

TOWN OF YORKTOWN PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA VIDEO CONFERENCE

April 12, 2021
7:00 PM

This meeting will be broadcast Live on the Town's YGTV stations, Optimum channel 20 and FiOs channel 33, and on the Town's website at yorktownny.org/ygtv/live.

To participate in the video conference, please register in advance:

<https://us02web.zoom.us/meeting/register/tZwpfuGqpjsjHNeDy6GA6a8oU32ooxFhomFr>

If any interested members of the public would like to provide comments on the Public Hearings, please email the meeting host at rsteinberg@yorktownny.org. In addition, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to Robyn Steinberg at rsteinberg@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting.

1. Correspondence
2. Meeting Minutes – March 22, 2021

WORK SESSION

3. Martinez Subdivision Lot 2
Request for SWPPP Permit

Location: 35.16-1-2; 1767 Jacob Road
Contact: Westchester Modular Homes

Description: Applicant is requesting a SWPPP permit be granted by the Planning Board pursuant to Resolution #05-23 dated September 26, 2005, which required the approval of a permit prior to building permit.

4. Alek-Tris Subdivision
Zoning Board Referral

Location: 16.10-3-26; 1075 East Main Street, Shrub Oak
Contact: Architectural Visions, PLLC

Description: Applicant has requested the Zoning Board revisit their 1981 decision prohibiting future subdivision of Lot 26.

REGULAR SESSION

5. Hemlock Hills Farm Solar Farm
Decision Statement

Location: 46.08-1-1 (Yorktown) & 45.12-1-4 (Cortlandt); 500 Croton Avenue, Cortlandt Manor
Contact: Badey and Watson Surveying and Engineering, P.C.

Description: Proposed 1.69 MW solar farm on 4 acres of the 50 acre Hemlock Hill Farm property that is located in the Town of Yorktown.

6. Hansmann Major Subdivision
Public Informational Hearing

Location: 6.13-1-10, 6.17-2-63; 280 East Main Street, Jefferson Valley
Contact: Ralph Mastro Monaco, PE, PC

Description: Proposed 3 lot subdivision on 11.43 acres in the R1-80 zone.

7. Foothill Street Solar

Public Informational Hearing Site Plan & Special Permit

Location: 15.07-1-5; 3849 Foothill Street

Contact: Con Edison Clean Energy Businesses, Inc.

Description: Proposed installation of a 1.875 MW ground mounted solar panel system with associated access road, electric utility upgrades, and perimeter fencing.

8. Taco Bell – Mohegan Lake

Public Hearing Amended Site Plan & Special Use Permit for Outdoor Seating

Location: 15.16-1-21; 3571 Mohegan Avenue

Contact: JMC Site Development Consultants

Description: Proposed Taco Bell restaurant and drive-thru on 0.83 acres in the C-2 zone, at the corner of East Main Street and Mohegan Avenue.

WORK SESSION

9. Par 3 Golf Course

Discussion Site Plan

Location: 16.07-1-38; 795 Route 6

Contact: James Martorano Jr.

Description: Proposed Par 3 golf course on Town owned Parkland.

10. Proposed Planned Design District Overlay Zones

Town Board Referral

Last Revised – April 9, 2021

Correspondence

Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Town Board
From: ABACA
Date: April 1, 2021
Subject: Town Board Referral – 712 Kitchawan Road
Proposed amendment to 2018 transitional zone approval.

RECEIVED
PLANNING DEPARTMENT

APR 1 2021

TOWN OF YORKTOWN

Drawings Reviewed:

Title:	Date:	Produced By:
Town Board Referral	03/11/2021	Diana Quast, Yorktown Town Clerk

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject electronically as the referral was received after our meeting held on March 16, 2021 with comments due back to the Town Board prior to the ABACA's next meeting of April 6th. As a result, the Board was not able to review the proposal with the applicant to avoid uncertainty of some of the following comments:

- It is unclear from the proposal what the previously approved addition was and how it differs from the current proposed addition. It seems that they both occupy the existing greenhouse foundation.
- The location of the proposed addition is preferred since this will not disturb existing undisturbed areas however, the proposed addition seems larger than the existing foundation.
- While the 3D renderings look interesting, fresh and modern, it is hard to understand how and if this addition will relate to the existing structure.
- The ABACA requests for the applicant to provide a superimposed rendering which incorporates the new and existing portions of the building as one.
- The ABACA would like to review existing and proposed building materials.
- The images of the existing structure show that the existing building is in need of some maintenance and modernization. The Board feels that an approval for an addition should include a requirement for the applicant to update the existing portions of the existing structure
- While not subject to this review, the interior renovations pictured are quite nice so it would be great if this level of detail and improvements could carry through the entire facility.
- Site lighting is shown and it appears to be localized and not close to the property lines.
- The views of the existing facility provided demonstrates that it is difficult to see from the roadway, however, the new addition is much closer to the street and seems to be larger so this could be a concern. Some screening is shown but will this be adequate.
- Also, in an effort to promote the Town's green initiative, the Board suggests that the applicant consider installing solar panels on new flat roofs and if possible, existing roofs. All panels should be concealed from view.

Notwithstanding the above comments, the ABACA does not object to the approval of the minor site plan approval being granted or updated and looks forward to reviewing the application with respect to the aesthetics.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

cc: Town Clerk
Planning Department

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 262-6565

PLANNING DEPARTMENT

APR 1 2021

TOWN OF YORKTOWN

To: Town Board
From: ABACA
Date: April 1, 2021
Subject: Town Board Referral – Granite Knolls Sports Complex

A proposed resolution subject to permissive referendum authorizing the Yorktown Supervisor to sign a lease agreement to lease certain premises between the town and HESP Solar, LLC for the construction of a solar facility and four charging stations at the Granite Knolls Sports Complex.

Drawings Reviewed:

Title:	Date:	Produced By:
Town Board Referral	03/04/2021	Diana Quast, Yorktown Town Clerk

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their Board meeting held on Tuesday, March 16, 2021. The ABACA is not opposed to the alienation of parkland as proposed at the Granite Knolls facility and is in favor of the proposal since it will further the Town’s green initiatives by incorporating green technologies and infrastructure on Town owned properties and also provide income generation for the Town. However, the Board is concerned about the nature, scope, scale and potential impact its incorporation could have on the character and nature of the Granite Knolls facility.

The Board is specifically concerned that the system shown seems to cover the entire parking lot and therefore could make this existing space feel like a parking garage and change the character and nature of the place. Current open to the sky spaces will be now covered or blocked and the potential impacts to the facility from aesthetic, functional and atmospheric perspectives cannot be known from the proposed plan submitted. While covering parking lots with solar panels from a planning perspective makes sense, the Board feels that it is only ideal to fully cover a parking lot under the right circumstances and the scale of such facilities should be proportional to the scale of the space, use and facility type.

While this may not be the intent of the proposal, it is unclear from the documents and drawings submitted how this structure will be built, what it will look like, how tall it will be, if it will cover the entire parking lot or just the parking spaces, or if there will be glare created from the panels that will affect the function of the site, field of play and occupants in an adverse way. The Board is wondering if there are any different configurations of this system that would limit any of the above-mentioned concerns or if it is possible to create covered canopies or covered bleachers adjacent to the fields that could also serve dual functions of protecting spectators from the elements while decreasing the large system seemingly proposed to cover the entire parking lot. It may be better to have several smaller canopies rather than one large one but would need additional information to better understand this.

The Board is also concerned about the size, appearance and location of the infrastructure, circuitry, panels and wiring that will be required for this system and if it will require screening or protection for the occupants of the facility.

The Board feels that there is not enough information to make an informed decision about the actual system being proposed and hopes to be involved in the process to review the full scope of the proposal and when this occurs, that the applicant will be able to provide plans, renderings, superimposed images, site sections and details that will demonstrate a minimal impact to the site and the community. While there are clearly benefits and trade-offs that can be accepted, the community will be living with the decision for 25 years so the stakes are significant. The Board looks forward to seeing additional details of this proposal.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

cc: Town Clerk; Planning Department



Yorktown Town Hall
363 Underhill Avenue, P.O. Box 703
Yorktown Heights, NY 10598

(914) 962-5722
www.yorktownny.org

March 31, 2021

Kara Kennedy
Station-Glo of New England
4 Noe Place
Beacon Falls, CT 06403

Subject: Chestnut Petroleum Distributor, Inc
3205 Crompond Road
Tax Id: 36.07-1-13

Dear Ms. Kennedy,

The above-referenced property is the subject of an application for an amended special permit to allow new signage and visual modifications before the Town Board of the Town of Yorktown. By way of background, gasoline filling stations are regulated under section §300-46 of the Yorktown Zoning Code and require a special permit from the Town Board for all aspects of the development, including signage. As such, approvals for signage projects at gasoline stations are not ministerial actions. In 2003, the Town Board created a Sign Ordinance Manual which among other things, set forth design guidelines for signage in town. The Town has been following these guidelines since their inception.

One of the main criteria relates to freestanding signs, and as an example, the Board required the freestanding sign at the Mobil gasoline filling station at 2035 Saw Mill River Road to be redesigned as a monument sign. A page from the Sign Ordinance Manual and a photo of the monument sign is copied below for your reference.

At the last Town Board meeting at which you presented the proposed sign package for the above referenced property, the Board generally had a favorable response to the overall scheme, but directed you to investigate designs that convert the single pole freestanding sign to a monument sign that follows the guidelines set forth in the Signage Ordinance Manual.

As in the example above, the Town has consistently employed this approach, and has been

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Town of Yorktown Planning Department

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successful in improving the aesthetic environment within the commercial areas of the Town and wishes to accomplish a similar result at this site.

We trust this clarifies the communication of the Board and that this letter provides the necessary information you required. If you have any further questions, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in blue ink, appearing to read 'John A. Tegeder', written over a circular stamp or mark.

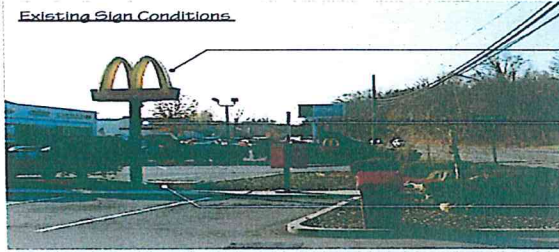
John A. Tegeder, R.A.
Director of Planning

cc: Town Board
Planning Board
Building Inspector
Town Engineer

w/ attachments

DESIGN GUIDELINES FOR THE HAMLET OF CROMPOND

Existing Sign Conditions

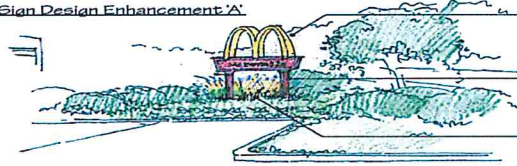


The sign is too tall in relation to the surrounding buildings, treeline & view of distant hills

Single, billboard style post detracts from the design: It is too utilitarian and unbalanced; looks like an afterthought

No integration of sign with landscape

Sign Design Enhancement 'A'

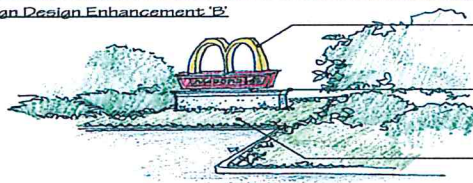


Lowered height brings sign into scale with its surroundings

Double posts add character and give the sign a more stable, balanced look

Plantings at base, such as perennial grasses & flowers, integrate the sign with the site & add to town character

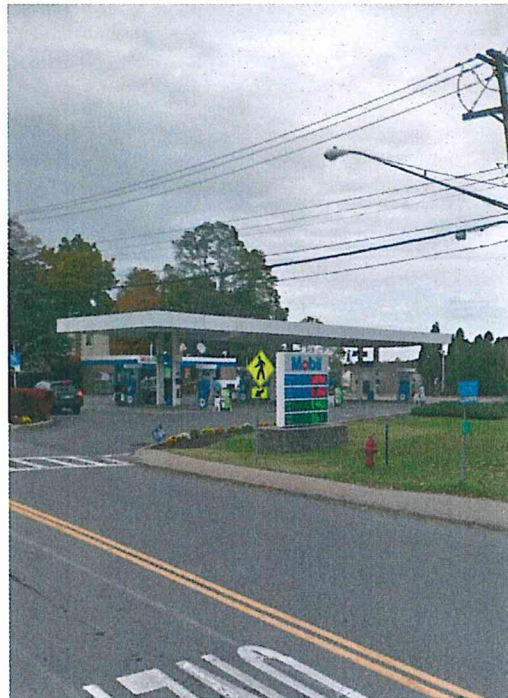
Sign Design Enhancement 'B'



Lowered height brings sign into scale with its surroundings

Stone or concrete base gives the sign a air of permanency and creates a more stable, balanced look

Plantings at base, such as low ground-cover & shrubs, integrate the sign with the site and add visual interest



To: Yorktown Town Board
From: Tree Conservation Advisory Commission (TCAC)
cc: Diana Quast, Town Clerk; Maura Weissleder, Deputy Town Clerk; Nancy Calicchia, Planning Dept.; Kim Hughes, Conservation Board; TCAC members; Louise Kobiliak, Engineering Dept.

Date: April 12, 2021

RECEIVED
PLANNING DEPARTMENT

APR 12 2021

TOWN OF YORKTOWN

Re: TCAC comments on 2678 Gregory St. referral

Dear Supervisor Slater and members of the Town Board:

1. Application requirements for non-administrative tree permits under Chapter 270 of the Town Code [§270-8(C)] need to be followed for protected tree removals **and** possible woodland disturbance.
2. Section §270-10(B), (C) and (D) (non-administrative permits) require preparation of a mitigation plan by the applicant. §270-10(D) requires referral for review of the mitigation plan to the Conservation Board and Tree Conservation Advisory Commission.

Sincerely,

Bill Kellner, Chair, Tree Conservation Advisory Commission
Lawrence W. Klein, PE, Member
Keith Schepart, ISA, Member
Tom Schmitt, Member



How New York's New Regulations of Major Renewable Energy Facilities Will Affect Municipalities

By Kathy Spencer, Principal Environmental Analyst, LaBella Associates

(Editor's Note: On Wednesday March 3, 2021, ORES released the final regulations under the new renewable energy siting law that was adopted last year and that are discussed in detail in the following article. More details will be forthcoming as AOT staff reviews the new regs. In November 2020, AOT submitted joint comments with NYCOM and NYSAC on the then-draft regulations to offer suggestions on how to improve them for local governments.)

This past fall, New York State took the next step in rolling out its new "Section 94-c" renewable energy siting process. Draft regulations were released that specify how the provisions of the April 2020 "Accelerated Renewable Energy Growth and Community Benefit Act (AREGCBA)" will be implemented. Also released was a first draft of the Uniform Standards and Conditions (USCs) applicable to all new large-scale renewable energy projects (20-25 MW and above) in the state. The draft regulations and USCs provide details not available within the law itself as to how the new siting and approval process will play out and allow a better understanding of the implications for municipalities.

The regulations and USCs, once finalized, have been crafted by ORES to apply to all new large-scale renewable energy projects, statewide. These provisions represent the base level to which all projects must adhere. And here is where it gets interesting: the Section 94-c process allows for the addition of more site-specific conditions on top of the USCs, but it does not include a waiver or appeals process. In other words, ORES can add more conditions or protections to a project under review, but cannot take away or provide relief from any requirements included in the final regulations and USCs.

Looking at the regulations and USCs through this lens allows one to see what provisions are most important to ORES and therefore made unchangeable. However, if one does not see a provision that might have been expected, it could still be added later as part of *Site-Specific Conditions*. When reviewing these changes, it will not be possible to distinguish if an anticipated requirement has been omitted because the ORES rejected it or merely because the ORES anticipates applying it to *some* projects as *site specific terms and conditions* rather than making them applicable to *all* projects.

So what does this mean for your town? LaBella's dedicated team of environmental and renewable energy professionals have done a deep-dive into the new siting process and how it will impact renewable energy projects going forward.

For the benefit of our municipal partners, we share our most important findings to date.

- The regulations now define to 25 exhibits (chapters) to be included in a Section 94-c application. Under the previous Article 10 siting and approval regulations, 41 exhibits were required. As most of the key exhibits remain, we believe that the list of proposed 94-c exhibits represents primarily a reorganization and refocusing of requirements rather than a wholesale change. Where changes occur, they likely indicate areas of greater emphasis under 94-c. The newly defined separate exhibits under Section 94-c are: *Agricultural Resources, NYS Threatened or Endangered Species, and Other Permits and Approvals.*

- LaBella identified remarkably little emphasis on Battery Energy Storage Systems (BESS) in the new regulations and USCs. This is surprising because fire and safety issues associated with battery storage often rise to the top of a municipality's list of concerns when reviewing solar projects.
- The draft regulations currently require that "salvage value" must be taken into account when determining the amount of the decommissioning fund that a developer must provide in a bond for the lifetime of the project. This represents a complete reversal of the Article 10 expectations and requirements. It means that the estimated decommissioning cost is discounted by the amount that could potentially be realized by recycling components of the project at the time it is dismantled. This is alarming because this change could severely reduce the funds available to a community for decommissioning if a wind or solar facility is abandoned.
- Under Article 10, there is a fairly standard set of noise thresholds that have been adopted (almost) consistently by the Siting Board. The 94-c set of noise thresholds match those under Article 10, with one exception – there is no nighttime noise standard. Generally, nighttime hours are when excessive noise is of most concern.
- In addition, the requirements for noise studies, primarily a concern for wind energy projects, have changed. Instead of conducting noise studies over several months to assess the existing noise conditions of an area, pre-construction sound surveys are only required under the Section 94-c regulations during a minimum seven-day period for wind projects and four-day period for solar projects.
- The USCs contain required setbacks for solar and wind projects, always an area of interest for municipalities. These Section 94-c uniform setbacks could override those in a local municipality's ordinance. A few examples:
 - Wind projects:
 - 2 times total wind turbine height from non-participating residences
 - 1.5 times total wind turbine height for participating residences
 - Solar projects:
 - 250 feet from non-participating residences
 - 100 lf from participating

residences

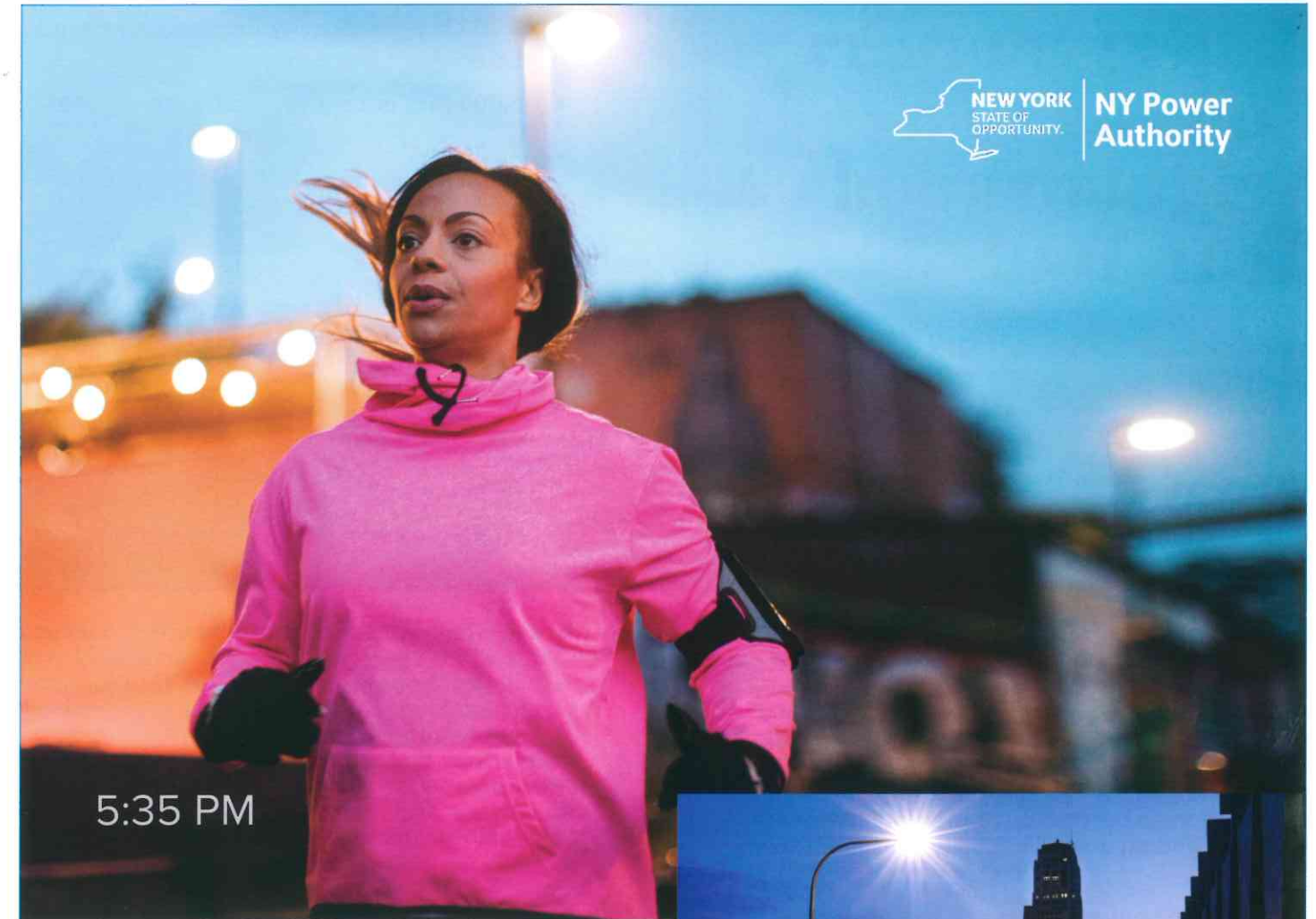
- Specific agricultural protections are included, aimed mostly at solar projects. "Active agricultural lands" are defined, and the most important agricultural soils are specified. For projects that impact active agricultural lands with important soils, the project will have to comply with stringent guidelines of the NYS Department of Agriculture & Markets with regard to construction, preservation, restoration and monitoring.
- Within a few months of an application being deemed complete, municipalities will need to prepare a statement as to how the project complies with the substance of its local laws. However, these local laws can be overridden under the Section 94-c process, and it will be easier to demonstrate that local laws are "overly burdensome" than it was under Article 10.

Perhaps the most important take-away for municipalities after the release of Section 94-c regulations remains the same as it was after the release of the law itself: review, update and strengthen the local ordinances that regulate wind, solar, battery storage or other renewable energy facilities in your municipality. Comprehensive plans, agricultural preservation plans, and open space plans do not carry the same weight as your renewable energy laws under Section 94-c, so upgrading your zoning ordinance is the critical step for consideration at this time.

The draft regulations and Uniform Standards & Conditions have yet to be finalized.

For questions about New York State's renewable energy efforts, you may contact LaBella's Renewable Energy Team at renewables@labellapc.com. □

Perhaps the most important take-away for municipalities after the release of Section 94-c regulations remains the same as it was after the release of the law itself: review, update and strengthen the local ordinances that regulate wind, solar, battery storage or other renewable energy facilities in your municipality.



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SCAN FOR DETAILS

Battery Storage: Coming to a Neighborhood Near You!

By Phil Schade, P.E. Senior Vice President/
Energy Market Director H2M architects +
engineers

The use of batteries for electricity storage has been a reality for more than 200 years. Recent technological developments and incentives for non-fossil fuel energy systems has resulted in application of batteries at the public utility scale, with installations in excess of 50 Megawatts (MW) of storage capacity not uncommon.

For example, H2M architects and engineers is supporting 174 Power Global on a historic battery energy storage project for Con Edison that will build the largest utility-owned battery site in the state, storing enough solar and wind energy to power 800 homes and businesses. Battery storage systems are helpful for municipalities in reducing the consumption peaks that drive monthly transmission costs and an annual capacity charge for townships.

Municipalities will find battery systems to be useful in areas that see certain challenges, including:

- Demand for greener non-fossil fuel power
- Requirement for back-up or uninterruptible power
- Local resource inadequacy
- Resiliency issues in fire-prone areas
- Impracticality of conventional transmission upgrades to meet peak demand
- Required storage for intermittent power sources, such as solar and wind

Battery energy storage facilities will also be useful in assisting municipalities as they work toward compliance with the statewide Climate Leadership and Community Protection Act (CLCPA).

In 2018, New York State adopted the Climate Leadership and Community Protection Act, which sets a new statewide milestone of 70 percent renewable energy by 2030 and 100 percent by 2040.

This legislation's requirements include:

- 9,000 MW of capacity from offshore wind by 2035
- 6,000 MW of capacity from solar by 2025
- 1,500 MW of energy storage capacity by 2023 increasing to 3,000 MW of energy storage capacity by 2030

Key Considerations

What should be "top of mind" when developing a new energy storage project? There are important considerations throughout the development process, including:

- financial viability
- planning
- siting
- zoning
- permitting
- design and construction
- utility interconnection
- operation
- maintenance

The associated challenges these items pose to a project also depend upon the size of the installation, density of population near the site, and utility interconnection available near the site.

The planning stages address the economic factors that are essential to developing a viable project. Beside the capital costs, zoning and permitting require considerable attention and can add time and money. Knowledge of local government's regulatory approval authority and processes are invaluable in determining the potential risks and benefits for development in a particular location. Many will look for sites proximate to existing substations/interconnection to the electric utility grid. Some projects are co-located with renewables to improve the attractiveness of a paired project from an overall grid operations standpoint.

Siting a facility in an urban area brings with it the benefit of proximity to a load center, thus minimizing impact on the transmission or distribution infrastructure required to connect the stored energy to local customers. Presently, battery energy storage is one method of subsidizing peak power demand without the need for extensive infrastructure improvements if nearby substation capacity exists. Storing the energy locally delays or eliminates the need to upgrade transmission lines by serving the



increased demand through utilization of stored energy. Use of battery energy storage for behind-the-meter applications is another type of installation where there is a growing interest by developers.

Grid issues that come with solar and wind power can be eased when projects are paired with batteries. Development timelines and costs are greatly influenced by each of these factors. Knowledge of zoning issues can help identify siting limitations and concerns. Other siting considerations include whether there is appropriate site access, low fire risk, proximate sensitive noise receptors and environmental habitat impacts. Land use regulations may be difficult to comply with as not all substation capacity is adjacent to industrial or commercially zoned parcels. This can present difficulties, although surmountable, to a BESS developer.

Battery energy storage systems usually consist of modular battery assemblies connected to inverters and then to a step-up transformer. For large-scale applications, there may be multiple medium voltage transformers connected to a collector feeder, which, in turn, is connected to a main high voltage step-up transformer to connect to the utility transmission line or substation. While the modular design simplifies the technical issues, a number of siting considerations remain.

Suitable Plot Size

It can be a challenge for planners in urban and congested suburban areas to find a suitable plot size to locate the equipment. We have developed projects rated at 2 MW on sites as small as 0.3 acres in residential areas. Generally, larger sites allow easier access to siting the modules as well as maintenance. The lessons learned from develop-

ing sites focus on the need to work with the local community planning group, the permitting agencies, and the local utility to identify potential issues in developing the site. The selection of the battery module should consider the transportation and rigging required to place the modules at the site. Generally, the modules are located as a single level outdoor installation.

Fire Protection and Access

Fire protection and fire alarm design should be an area of concern whenever siting a BESS development. The industry response to the Arizona Public Service Company (APS) battery fire in 2019 has resulted in improvements in battery monitoring fire detection and fire suppression designs for energy storage modules. It has also resulted in increased scrutiny of the design plans and the facility's emergency planning to deal with such an event. Local codes may have requirements that supersede the national codes.

Knowledge of the expectations of the Authority Having Jurisdiction (AHJ) over the fire codes at the site is helpful even at the initial stages of the design. The AHJ may require a fire alarm panel at the site entrance to alert the first responder of the detected emergency location before they enter the site. The AHJ may also require a subject matter expert be available at the site within a short time after an emergency notification is sent.

Current fire codes may allow installation of BESS in a multi-level structure, but this must be done with careful coordination with the AHJ. Firefighting in a multi-level structure may require particular access and shielding requirements that must be included in the initial design plan and site layout.

Security

BESS are generally unmanned during normal operation. Site security is important both to protect the equipment as well as to prevent injury to curious neighbors. Perimeter access monitoring and notification needs to be considered as part of the project development.

Permitting Constraints

Permitting activities require a good understanding of the local zoning laws, knowledge of the type and numbers of various permits and approvals required, and especially important, the knowledge to get permits and approvals processed in a timely manner to support project development. Knowledge of local permitting requirements, regulatory agencies and municipal landscape are invaluable to a successful project development effort. Permitting delays can be a significant risk for projects required to meet a specific in-service date.

Developing a site in a congested suburban or urban location will typically require notifying and obtaining approval from several agencies. Noise is always a consideration. Sites located near residences, schools or medical facilities are generally governed by regulations that require lower noise generation. Some areas have daytime and nighttime noise limits at the site boundaries. Furthermore, some locations have nighttime sound level limits of 50 dB or less at the site boundary. While BESS are generally not noise generators themselves, considerable noise can be generated by the battery module cooling systems and associated transformers.

Visual Barriers

Visual impact also needs to be considered. Urban areas may not have sufficient setback to allow landscaping to be the visual barrier. In these areas, architectural walls or fences may offer a solution for an acceptable visual barrier to the site. Potential facility lighting in congested areas needs to consider the impact on neighbors. Light trespass needs to be accounted for, while security lighting needs to be effective.

System Design and Interconnection Matters

Interconnection with the local utility requires consideration of existing utility criteria for the size of the battery energy storage interconnection. The electric transmission and distribution system are continually changing as generation and loads are added or removed. This is especially true for distribution systems in areas adding photovoltaic or other inverter-controlled power generators. These criteria are in place for safety and reliability reasons. They may require additional controls and protection, sometimes adding significant project costs, which are ideally identified as the project pro forma cost estimates

are developed. Large projects that connect to the electrical transmission system might incur transmission system upgrade costs that could be significant. These costs can be identified and included in the pro forma cost estimates prior to the formal interconnection application and interconnection study results are made.

Battery energy storage systems use inverters. Depending upon the size of the facility, the utility may require a direct transfer trip (DTT) to shut down the energy export in the event of an interruption of the circuit by the utility feeder breaker. This DTT generally requires a dedicated line, and therefore the need to lease a dedicated fiber link between the site and the utility substation. Installation of this line and the equipment necessary to install the DTT bring up cost and time considerations as it may take several months to get the fiber link provided by the communication supplier. The need for installing a DTT can change as the number and types of distributed energy resources are added to the distribution circuit.

BESS sized greater than 5 MW may require a direct connection to a local substation rather than a tap into existing distribution lines. This can be a considerable cost addition. In congested areas these dedicated lines may have to be installed underground.

For larger facilities with power export of 20 MW or more, applications to the Independent System Operator (ISO) need to be made as the facility is considered a "large generator." These large generator interconnections require studies to assess the impact on the transmission system resulting from the addition of the facility. System impact studies will serve to identify adverse impacts such as overloading transmission lines, transformers, or breakers under any of the various scenarios evaluated. The developer may be responsible for the cost of correcting these overloads.

In addition to transmission system upgrades, utilities may have transmission system criteria that requires a substation to be brought up to the current standard if an interconnection dictates any modification to the substation. In one such example, a developer was made aware of the potential upgrade costs in connection to a preferred local substation. These costs were so significant the project was redesigned to connect to a different substation. Knowing the potential impact a project might have on the utility substation is a significant value in planning for overall project and development costs.

Location Planning: Anticipate Local Concerns

Regional experts can add significant value when considering a development location given their knowledge of the nearby neighborhood and community. While most projects see relatively little public/neighborhood opposition and are supported by environmental groups interested in clean energy, it is always

sound development strategy to know and anticipate the concerns of the public and local stakeholders. For example, battery projects utilize 24-hour cooling systems to preclude overheating and optimize system performance. As indicated above, these systems can create noise impacts, which may become a point of contention.

Vetting a project site, developing a strategy, and determining realistic timelines go a long way toward minimizing risk. Due diligence teams should include a land use planner and attorney that work in conjunction with a designer to help determine the site-specific opportunities and constraints before a client purchases or leases a property. Local land use regulations and title restrictions play a major role in how long and difficult implementation will be. Having boots on the ground as well as an experienced team to strategize at the site selection phase will help deliver the most viable project.

Construction planning should consider the local availability of labor and if there is a need to use union labor. These requirements can vary significantly from region to region, or even within the same metropolitan area. Use of construction project labor agreements may also be a consideration.

Vendor Selection

To implement the battery storage vision, vendor choice is crucial — so a partnership with trusted technical experts who understand all facets of utility-grade challenges and opportunities provides the best recipe for project success.

Selection of the BESS vendor should ensure the system meets UL9450, has been tested in accordance with UL9450A and has the test report available for review. Any additional, location-specific requirements, such as additional fire detection and protection, or ventilation, may not be included in the base offering from the manufacturer and would need to be identified as a required add on.

In summary, utility-scale BESS are available to provide electrical energy storage and support load pocket, peak demand, and intermittent power needs. These systems are finding applicability in many areas where fossil fuel systems and/or traditional

upgrades are considered inefficient, impractical, or simply too expensive. Many factors can impact the successful development of such a project as well as its financial viability.

It is important to put together an experienced team that can work collaboratively to plan and execute these projects in the most cost and schedule-efficient manner possible. □

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Know greater connections. Know greater confidence.**



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Nicholas DeSantis,
David Gannon, Scott Oling,
& the Partners of
PKF O'Connor Davies

Re-Imagining Retail

Maximizing Existing Conditions and Planning for 2031

As COVID recedes, brick-and-mortar retailers and their host cities, towns, and villages will still be left to battle with Amazon-led, online shopping challenges

Identifying and attracting “just the right mix” of retailers to New York’s Main Streets has always been topic No. 1 at community planning, business and economic development meetings. Shy about being too prescriptive, many of those conversations used to turn more on which “retailers were not wanted,” with adult bookstores, cell phone stores, strip clubs, and rowdy nightclubs, for example, being told they were unwelcomed or pushed to the edge of towns. At the same time, even before the tsunami known as on-line shopping, competition from malls and big-box retailers camped on the edge of town had already left vacant storefronts or windows covered by the shades of professional services – accounting,

legal, and non-goods tenants.

COVID is an ‘Accelerant,’ not the Root Cause of Bricks & Mortar Stores’ Troubles

In early 2021, with virtually all of us carrying smart phones, we understandably forget that the smart-phone culture and the economy that has grown up around it is, for all intents and purposes, barely 15 years old. While the phrase “smart phone” was coined in 1995, the addictive power of the Blackberry (*‘crackberry’*) did not take hold until around 2005, with the first iPhone being introduced in 2007, and Android systems in 2008. Between 2011-2014, the sophisticated touchscreens and camera software we now take for granted started to appear as standard phone features, and with them, the battle truly commenced for the approximately \$27 trillion worldwide, retail consumer market.

Retail Snapshot: By the Numbers

Fast forward to 2020, and it is easy to blame the COVID-19 pandemic and the quarantining of America for the rapid downsizing and bankrupting of famed retailers like GNC Nutrition Center, Pier 1 Imports, Men’s Wearhouse, Stein Mart, JC Penney, Bed, Bath & Beyond, etc. And, in fact, according to the Census Department, US retail sales were anticipated to have fallen in 2020 by 10.5% (from \$5.47 trillion to \$4.89 trillion), with over 8,000 stores reported to have closed in 2020 and more than 10,000 more at risk in 2021. (Counterbalancing those losses, more than 3,000 stores are expected to open in 2021, and the retail industry continues to be the largest private-sector employer. Amazon’s “last-mile” delivery service employs over 500,000 contractors).

The online competition is daunting for brick-and-mortar stores that cannot adapt to the changing landscape. A reported 66 percent of consumers go first to Amazon alone when considering a purchase, and in early February, the *New York Times* reported that, propelled by its “Prime fast-shipping program,

which has more than 150 million members ... Amazon had posted a record \$125.6 billion in sales for the fourth quarter (2020), while profits more than doubled to \$7.2 billion from a year earlier. It was the first time the company had exceeded \$100 billion in sales in a single quarter ... Amazon shows no sign of pulling back from its ambition to push into more corners of the economy.”

Furthermore, the number of consumers now “preferring” online shopping crested 50 percent for the first time in 2020 (51 percent). A stunning 97 percent of consumers who had used online grocery store channels reported that they would do it again, and 73 percent of survey respondents prefer “multiple purchasing channels.”

At the same time, brick-and-mortar sales continued to account for 90 percent of all purchases in 2019. A “personalized service experience” continues to be preferred by 75 percent of consumers, and another 49 percent report that not being able to “try on” – to touch a product – before buying is their “least

favorite" aspect of the online shopping experience.

Moreover, with US retail sales expected to grow to nearly \$5.9 trillion by 2024, the incentive and opportunity for agile brick-and-mortar retailers remains enormous and their inherent advantage in creating an experience is still formidable. A survey of senior brand managers acknowledged that "customer experience" remains the key ingredient in realizing a sale.

"The retail and consumer goods industries will change more in the next 10 years than they have over the past 40," says Oliver Wright, managing director, global consumer goods lead, Accenture Strategy. "As expectations around cost, choice, convenience and experience continue to increase, consumers will challenge the industry to evolve and innovate, which will drive huge growth in digital commerce."

"Experience" Tops All – and Know Thy Customer!

The point of this article is to help town officials, property owners, and their retail tenants make the most of the next several years, not to rehash history or even shy from viewing online retail as asset. We hope this primer will help you imagine and plan for what *Main Street* brick-and-mortar spaces will look like in five to 10 years, and then again in 10 to 15 years, as robust broadband, software improvements, and virtual and artificial reality truly take hold.

Written from the perspective of HUNT's engineers, architects, and interior designers, our goal is to directly address the physical design issues that our developer, retail, and municipal partners are currently confronting, e.g.:

With baby boomers' spending habits starting to decline, answering the experience and shopping desires of their successors is imperative.

- What do we include in the design of a new building or space for potential retailers?
- How do we renovate an existing building for *on-demand* retailers not needing storage, but needing robust broadband and a personalized customer experience that complements, if not surpasses, the online shopping experience?
- How do municipalities continue to offer their residents and visitors a vibrant street-level experience that supports their tax bases and attracts more growth and development?

To keep our focus, when we refer to retail in this article, we are generally not including restaurants, bars, and coffee shops.

In *Outside Magazine's* most recent *Best Towns* listing, each city or town roughly shared the following attributes: at least one vibrant retail district comprised by art galleries; multiuse gathering spots (think lawn games, pop-up retail kiosks, craft beer and food);

gyms and yoga studios; "maker spaces," and, not surprisingly, bike and gear shops, walkability, and ready access to outdoor activities.

Driven by the dream of a "work/life balance," the ease of buying household commodities online, and an exhausted mall experience, consumers are openly admitting their desire for *experiential* activities over shopping pleasures. With baby boomers' spending habits starting to decline, answering the *experience* and shopping desires of their successors is imperative. A recent survey of "millennial-aged" consumers revealed that 75 percent of them preferred to spend their money on "experience and not products."

With respect and envy, we have researched the accomplishments of regional *retail-rock star towns* like Burlington VT, Lake Placid, Saratoga Springs, Ithaca, Watkins Glen, Corning, East Aurora, and Buffalo's Elmwood Avenue, but our focus is more modest.

Specifically, we see the transformation described by Oliver Wright as occurring in two phases, the *near term*, wherein there is still desire, wealth, and commerce to be

gained from the existing retail models, and the *longer term*, when ubiquitous and powerful broadband capacity drives a completely different consumer model led by the continued ease of online shopping and curbside and home delivery (think drones) and an experiential, in-store sales model driven by virtual reality, retina scanning, personalized 3-D avatars, etc. With Apple and Amazon Go in-store experiences the new standard, fixed cash-register sites are already being phased out by many retailers in lieu of iPad-carrying sales representatives.

With most shoppers already going to online sites first before purchasing, retail futurist Doug Stephens predicted in a recent *RetailDive* interview that by 2033,

the vast majority of consumption will be online, particularly of commodity items. Even now, he asserts, brick-and-mortar stores, have become "powerful media channels," not the final "purchase channel," with online media being the actual "ultimate store."

So, what is the **Year-2021-Main-Street property owner, retailer, and town official** who lacks sheer population density, neighboring college, or a dramatic physical tourist location to do?

With remote-working-models allowing for flight from expensive major cities, how do town managers create compelling Main Streets to service their existing residents and attract new ones?

Driven by the internet's reach

and the "influence culture," the lifespan of fashion, music, and other "fads" have multinational footprints and impacts. So, too, does the consumer's expectation that every town and city should have the same experiences and amenities.

Brick & Mortar, Practical Design Applications: 2021 & Beyond

First, the amount of square footage needed per retailer has been dramatically reduced, with traditional storage and display space needs dropping as the result of improved inventory control, real-time manufacturing capacity, and the consumer's desire for the personalization of products before purchasing.

This begs the question of both



what to do with store spaces configured for 20 years ago and how to divide square footage under existing rooftops. Among the answers are flex spaces and portable furniture; pop-up and easily transformed kiosks; and staged expansions wherein start-up retailers can expand their footprint as they grow and avoid unnecessary initial costs for unusable space. Curbside and store pickups of online purchases, locker systems, and self-service checkout counters will propel “front-of-store” designs and reconfiguration of storefronts, window treatments, sidewalks, and curb cuts.

In addition to mobile-web applications – *think of how your phone beeps when you are within a mile of a Starbucks* – clear, attractive, and unambiguous digital and fixed wayfinding signage leading to stores, parking, and local attractions must be supported by a robust Wi-Fi system.

Interior signage and design – back to the *experience* – must share the same attributes, with choices in lighting, color, and furniture becoming even more important. Do your customers prefer a utilitarian Walmartesque concrete and metal shelving-model that suggests aggressive pricing, or do they want a feeling of exclusivity and aspirational shopping -- art on the walls? A Nordstrom shopper will expect quite different amenities and customer service, propelling the location of cash registers and customer service centers. These are not new concerns, but the need to get it right has never been more urgent.

Meanwhile, given the number of first-floor vacancies and spaces undergoing changes from traditional retail to professional office spaces and even first-floor



residential uses, individual property owners and business associations need to improve and standardize window treatments. Such treatments create customer excitement and anticipation, share information, and reinforce existing or desired Main Street “brands.” If the resources are available, community and student projects can be highlighted in storefronts. Transparency -- or the ability to look into a space with anticipation and a sense of security – is paramount.

In Rochester, New York’s East End neighborhood, retailers and office tenants took these branding efforts a step further, collaborating with the City of Rochester and NYSEG on a business-funded, street-pole banner program highlighted by photographs of “local characters” and underlined by business website addresses. Elsewhere, non-commercial banner programs feature local service veterans. In more than 27 states and an even larger number of municipalities, “art taxes” or “percent for art” laws require developers to spend a fixed percentage-of-development costs on public art and landscape design.

Hunt Engineers, Architects, Land Surveyors & Landscape Architect, DPC (dba HUNT) has offices in Rochester and Horseheads, NY, as well as Towanda, PA. There are currently 10 licensed professionals, our Director of Finance, and our Director of Technology as stockholders. Celebrating over 45 years in business, our full-service firm specializes in consulting and design for the following clients: educational, institutional, and private sector facilities (architecture and building systems, interior design, campus amenities, and athletic fields); municipal infrastructure (water and wastewater systems, storm water management); state and county transportation facilities; and technology consulting and design.

Getting them to Main Street and then Fulfilling their Orders

So, you have made the physical changes to allow your stores and districts to compete, now how do we get consumers to leave the comforting “clickability of their own sofa-storefront” and visit the brick-and-mortar outlets?

While the desire for human interaction, the traditional “touch-and-feel” of an item, and the dopamine reward of impulse-shopping retain their allure, retailers have no choice but to acknowledge and compete with the web’s pricing and increasingly sophisticated and rapid-delivery capacity.

“Discounts and coupons, cooperative branding with adjacent stores and product suppliers, pre-sale social media engagement (invitations to a product event or opening), and then post-sale engagement and empowerment of consumers as your allied marketing team ... These are just a few of the tools left in the traditional retailer’s toolbox,” according to HUNT’s Tom Bailey, AIA, an architect and former Florida community planner. “Business and community leaders would also be wise to lobby for their government services offices to locate on Main Street and consequently bring consumers to town; to program events; and, to build secure and friendly public spaces. The *WeWork* remote-worker office rentals are great examples of attracting street-life and consumers.”

For their part, national retailers have also recognized their customers’ desire for downtown living and street-level experiences, with Target, Wegmans, and Dollar General (DGX) among others having designed urban-store models. □

Curbside and store pickups of online purchases, locker systems, and self-service checkout counters will propel “front-of-store” designs and reconfiguration of storefronts, window treatments, sidewalks, and curb cuts.

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Draft Minutes

Martinez Subdivision

Lot 2


TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: April 9, 2021
Subject: Martinez Subdivision Lot 2
SBL: 35.16-1-2

The Planning Board approved the Martinez 2 lot subdivision by Resolution #05-23 on September 26, 2005. The Board required as a condition of the approval that a separate Excavation permit and Erosion Control Permit are required prior to the issuance of a Building Permit for the lots. This permit is now the MS4 Stormwater Permit, therefore the applicant has submitted an application for this permit to be granted for Lot 2 of the subdivision. Submitted plans show the proposed improvements comply with the original approval therefore the Planning Department recommends approval of the requested permit #FSWPPP-020-21.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

**TOWN OF YORKTOWN
PLANNING BOARD**

**RESOLUTION APPROVING
STORMWATER POLLUTION PREVENTION PERMIT
FOR THE MARTINEZ SUBDIVISION LOT 2
SECTION 35.16 BLOCK 1 LOT 2**

RESOLUTION NUMBER: #

DATE:

Upon motion by _____, seconded by _____, and unanimously voted in favor by Fon, Kincart, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS subdivision plat and improvement plans were approved for the Martinez Subdivision by Resolution #05-23 on September 26, 2005; and

WHEREAS the Planning Board Chairman signed improvement plans, consisting of 10 sheets, titled "Proposed Subdivision prepared for Anthony C. Martinez," prepared by Site Design Consultants, and last revised October 7, 2010; and

WHEREAS Resolution #05-23 required an Excavation Permit and Erosion Control Permit, now referred to as a Stormwater Pollution Prevention Plan Permit, be obtained from the Planning Board prior to issuance of a building permit; and

WHEREAS the Board has received and reviewed the application and comments from staff; and

NOW THEREFORE BE IT RESOLVED that in accordance with Town Code Chapter 248, the application of Westchester Modular Homes, Inc. for approval of a Stormwater Pollution Prevention Plan Permit #FSWPPP-020-21 is approved subject to the conditions listed therein; and

BE IT FURTHER RESOLVED Permit #FSWPP-020-21 shall not be valid until it has been signed by the Chairman of this Board; and

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a "Qualified Inspector" as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

RESOLVED that unless a building permit has been issued or a time extension has been granted by the Planning Board, this approval will expire in one year from the date the permit is signed by the chairman.

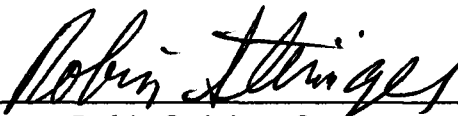
THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of Yorktown Planning Board Resolution:

**PLANNING BOARD
TOWN OF YORKTOWN**

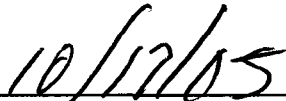
**RESOLUTION APPROVING
SUBDIVISION PLATS TITLED
MARTINEZ SUBDIVISION**

DATE OF RESOLUTION: SEPTEMBER 26, 2005

HEREBY signed by the secretary of the Planning Board:



Robin Steiniger, Secretary



Date

**TOWN OF YORKTOWN
PLANNING BOARD**

**RESOLUTION APPROVING
SUBDIVISION PLATS TITLED
MARTINEZ SUBDIVISION**

RESOLUTION NUMBER: 05-23

DATE: SEPTEMBER 26, 2005

Upon motion by Robert Giordano, seconded by David Klaus, and unanimously voted in favor by Klaus, Steiniger, Flynn, Crispi, and Giordano the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations adopted February 13, 1969 and as last revised July 1, 1999, a formal application for the approval of a subdivision plat entitled "Proposed Subdivision/Wetlands Mitigation Alternative Plan prepared for Anthony C. Martinez," Section 35.16 Block 1 Lot 2 (fka Section 7.02 Parcel 1 Lot 1), prepared by Site Design Consultants, dated September 12, 2005, was submitted to the Planning Board on the September 12, 2005, on behalf of Anthony C. Martinez, the applicant and the applicant has represented to this board that they are the lawful owners of the land within said subdivision; and

WHEREAS an application fee of \$1,620.00 covering 2 lots on 4.14 acres in the R1-40 and R1-80 zones has been received by this board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as a Type I action.
2. The Planning Board has been declared lead agency on September 26, 2005.
3. A negative declaration was adopted on September 26, 2005 on the basis of a Long EAF dated September 10, 2004.

WHEREAS the Planning Board has reviewed the recreation needs created by the subject subdivision as well as the present and anticipated future needs of the surrounding area as analyzed and planned for in the Town's Recreation Plan adopted in 1978; and

WHEREAS while additional recreation land is needed to meet the recreational needs created by the subject subdivision, as well as the surrounding neighborhood, recreation lands of suitably character or adequate size cannot be properly located within the subject subdivision or is otherwise not practical; and

BE IT RESOLVED that \$5,000 per one new lots (\$5,000) in lieu of recreation lands shall be provided by the applicant to satisfy the recreational needs created by the subject subdivision and to help meet the present and anticipated needs of the surrounding neighborhood; and

WHEREAS the applicant has submitted to this board as part of this application the following maps and documents:

1. A map, Sheet 1 of 1, titled "Proposed Subdivision/Wetlands Mitigation Alternative Plan prepared for Anthony C. Martinez," prepared by Site Design Consultants, dated September 12, 2005;
2. A report titled "Phase I/II Environmental Site Assessment Report for the Jacob Road Property Site," prepared for Anthony C. Martinez, prepared by Environmental Compliance Services, Inc., dated September 2005.

WHEREAS the Planning Board has referred this proposal to the following agencies and has received input from same:

Boards and Agencies	Report Date
Conservation Board	09/07/04, 05/10/05, 06/15/05, 07/21/05, 09/22/05
Environmental Planner	08/23/05
Planning & Engineering Departments	09/07/04, 05/05/05, 08/12/05, 09/08/05
NYC DEP	10/17/04
NYS DEC	10/06/04
NYS OPRHP	10/14/04

WHEREAS the requirements of this Board's Land Development Regulations have been met except as noted below; and

WHEREAS a Public Informational Hearing was held in accordance with §195-22A(5) of the Yorktown Town Code on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on October 18, 2004; and

WHEREAS a Public Hearing was held in accordance with §195-22E of the Yorktown Town Code on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on September 12, 2005; and

RESOLVED that for any site disturbance of one (1) acre or more Applicant must comply with New York State DEC Phase II Stormwater Regulations, latest amendment and the Town of Yorktown Stormwater Ordinance Chapter 248 of the Yorktown Town Code; and

BE IT THEREFORE NOW RESOLVED that the application of Anthony C. Martinez for the approval of a subdivision map titled "Proposed Subdivision/Wetlands Mitigation Alternative Plan prepared for Anthony C. Martinez," Sheet 1 of 1, prepared by Site Design Consultants

dated September 12, 2005, be approved subject to the following modifications and conditions and that the Chairman and Secretary of this board be and hereby are authorized to endorse this board's approval on said plat upon compliance by the applicant with such modification and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved.

Modify said plat to show the following:

1. Note stating no development may occur on either lot until sewer connections are complete.

Modify Improvement Plans to show the following:

1. Sewer connection for both lots to Field Street.

BE IT THEREFORE RESOLVED that said plat shall not be endorsed by the Planning Board until the improvements shown on the construction detail improvement plans as modified, are completed by the applicant to the satisfaction of the Superintendent of Highway, Town Engineer and Town Board within one (1) year from the date of this resolution or alternatively:

The applicant post 5% of estimated cost of improvements in the form of a letter of credit or other security acceptable by the Town Board and additionally a letter of credit for 95% of the estimated cost of improvements with the term of one (1) year approved by the Town Board as to manner of execution, form and sufficiency to guarantee and assure full compliance by the applicant with all the terms, conditions, requirements and provisions as set forth in this resolution.

BE IT THEREFORE RESOLVED that: Said letter of credit should contain the provisions that when the principals have fully and properly completed all of the work and improvements as required by this resolution and the work has been accepted by the Town Board for maintenance and repair, after recommendation of the Highway Superintendent and the Town Engineer, and upon the request of the applicant the same be canceled in the manner provided for by law. Said letter of credit shall not be canceled or reduced to less than 5% of the estimated cost of improvements and that the letter of credit so reduced and the deposit of cash surety remain in full force and effect to assure the satisfactory condition of said work and improvements until released by the town at the request of the applicant. Such release shall be not be earlier than one (1) year from the date of acceptance of the work and improvements. The taking over of the roads in the subdivision as town highways shall in no way impede the effectiveness of either or both letter(s) of credit.

BE IT FURTHER RESOLVED that said plat map shall not be endorsed by the Planning Board until:

- A) The deeds, offer of dedication, and certificate of title when required, insured by an approved titled company of any and all land reserved in fee to the town for drainage, flood control, park, or recreational purposes have been tendered to the town.
- B) Similar deed or conveyance giving rights of easement and use for all drainage and public facilities shown on said plat, have been tendered to the town to be held in escrow until formal acceptance by resolution of the Town Board.
- C) The deeds offer of dedication and certificate of title insured by an approved title company for the fee title to all streets has been tendered to the town to be held in escrow until formal acceptance of the roads by resolution of the Town Board.
- .D) An inspection fee to be estimated by the Town Engineer shall have been given to the town by paying over said sum to the Engineering Department.

E) The following additional requirements or conditions are met:

- 1. Submission of a statement signed by the Town's Tax Collector that all taxes due on this parcel have been paid.
- 2. Submission of fees to the Planning Department as per town requirements in the form of separate checks made payable to the Town of Yorktown:

ABACA	\$300.00
Recreation	\$5,000.00
General Development	\$720.00

- 3. Submission of fees and security to the Engineering Department per the Town Engineer's requirements:

Erosion Control Bond
 Performance Bond
 Inspection Fee

Fees to be determined after Planning Board approval and complete final set of drawings are submitted to the Town Engineer.

- 4. Provide monuments at all points of curvature and points of tangency as directed by the Town Engineer at right-of-way/property line, for all lots.

5. Applicant must submit final plats and as-builts in AutoCAD R-14.
6. Prior to the issuance of a building permit, submission of all legal documents to effectuate the offers of cession, road dedications, easement, and other agreements set forth on the map or its notes, in form satisfactory to the Town Attorney.
7. Soil remediation shall be completed to the satisfaction of the Environmental Planner, prior to any other excavation or construction activity on the subject property.

BE IT FURTHER RESOLVED that upon submission of a building permit for each lot of this subdivision, the owner shall submit a site plan or plot plan, to ABACA, at a minimum scale of 1" = 20' showing the following:

- a. The location of the proposed house.
- b. The proposed finished floor elevation of the first floor, garage, and basement.
- c. The proposed grade at the garage entrance.
- d. The percentage slope of the proposed driveway.
- e. All existing and proposed topographic contour lines. All contour lines must extend a minimum of 10'-0" beyond the property line.
- f. The line of all delineated wetland, wetland buffers, easements, etc.
- g. A line indicating the limit of the area which will be disturbed by construction.
- h. Any other pertinent information as shown on the subdivision and improvement plan.

BE IT FURTHER RESOLVED that upon application for a building permit for lots in this subdivision, the building inspector shall review the proposed building elevations to determine the requisite grading. Should the building inspector determine that the requisite grading exceeds by plus or minus two (2) feet the elevations the Planning Board approved on the final construction plans, the applicant shall apply to the Planning Board for approval of the proposed building plan. The Planning Board shall review such application to determine whether the proposed excavation is limited to the greatest extent practicable and does not create adverse environmental or aesthetic impacts. The board shall approve or deny the proposed additional grading by resolution.

BE IT FURTHER RESOLVED that no tree cutting on individual lots shall be permitted unless and until each lot has been reviewed by the ABACA.

BE IT FURTHER RESOLVED that no building permit for individual lots which require driveways in excess of ten (10) percent shall be issued by the Building Department unless approval by the Town Board.

BE IT FURTHER RESOLVED that no certificates of occupancy be issued for any lot unless and until the Environmental Officer has reported that all required erosion control measures are in place and functioning properly on entire site.

BE IT FURTHER RESOLVED that no certificate of occupancy will be issued unless the lot bounds are staked out and possession survey of premises is filed with the Building Inspector containing legend that stakes have been set as shown thereon.

BE IT FURTHER RESOLVED that the application for Wetland Permit #**WP-068-05** be approved subject to the requirements and conditions contained therein; and

BE IT FURTHER RESOLVED a separate Excavation Permit and Erosion Control Permit are required for this subdivision; and

BE IT FURTHER RESOLVED that upon consideration by the board the following requirements of these regulations be waived:

1. Sidewalks
2. Street Trees

BE IT FURTHER RESOLVED that upon due consideration by the board no other requirements of these regulations be modified.

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SUBDIVISION PLATS TITLED
MARTINEZ SUBDIVISION**

DATE OF RESOLUTION: SEPTEMBER 26, 2005

SIGNED BY:



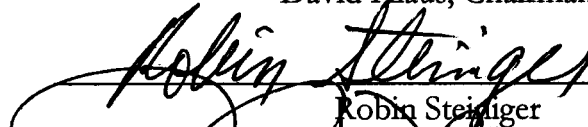
David Klaus, Chairman

ROLL CALL:

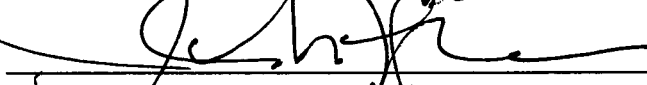
AYES:



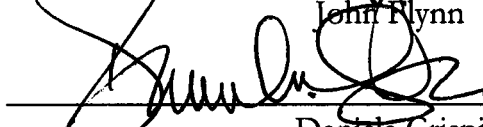
David Klaus, Chairman



Robin Steindiger



John Flynn



Daniela Crispi



Robert Giordano

NAYS:

ABSTAIN:

**TOWN OF YORKTOWN
WETLAND PERMIT
PLANNING BOARD APPROVAL**

Description of Permitted Activity

=====
Residential development on 4.14 acres into two lots within wetland buffer area and soil remediation to remove contaminated soils on the lot.

Submitted Plans

- =====
◆ Applicant has provided plans entitled "Proposed Subdivision/Wetlands Mitigation Alternative Plan prepared for Anthony C. Martinez" prepared by Site Design Consultants, dated September 12, 2005, a letter from Environmental Compliance Services, Inc. to the Conservation Board dated September 19, 2005, and a Phase I/II Environmental Site Assessment Report prepared by Environmental Compliance Services, Inc., dated September 2005. The plans, letter, and report are incorporated by reference to this permit.

Additional Conditions of Permit

- =====
◆ Applicant must secure any/all applicable permits from other jurisdictional authorities.
- ◆ The guidelines contained in the Westchester County Best Management Practices for Erosion and Sediment Control, December 1991 shall be followed around the perimeter of construction and stream banks.
- ◆ A **Wetland Bond** in the amount of **\$10,000** is to be posted. This bond will be returned at the end of a five-year period when it is confirmed that 85% of the planted species in all of the wetland and wetland buffer mitigation areas have grown and are viable. An As-Built map detailing the planted mitigation material, shall be provided to the Planning Board and Environmental Code Officer, prior to the issuance of a Certificate of Occupancy. A written agreement must be provided to the satisfaction of the Planning Board and Town Attorney to allow periodic inspections by the applicants Environmental Consultant and Town representatives. The consultant will furnish an annual report detailing the condition of the mitigation areas and steps needed to insure viability to the Planning Board and the Environmental Code Officer.
- ◆ A pre-construction meeting must be held at the site prior to the commencement of any work. The applicant or a representative must contact the Environmental Code Officer (914) 962-5722 x262 to arrange this meeting. All erosion controls and limits of disturbance lines (orange construction fencing) are to be installed prior to this inspection.
- ◆ An Environmental System Planner must be hired by the applicant to supervise the preparation and installation of the wetland buffer mitigation. The Environmental Systems Planner must provide a written report on a weekly basis to the Environmental Code Officer
- ◆ No planting substitutes must be made without the approval of the Environmental Code Officer.

- ◆ A soil remediation plan must be submitted and accepted by the Planning Board before the Plat is signed.
- ◆ Conservation Easement and Tree Preservation Agreement shall be submitted to and approved by the Town Attorney and Planning Board prior to issuance of the Certificate of Occupancy.
- ◆ Debris shall be removed as outlined in the Phase I/Phase II report.
- ◆ The border of the wetland buffer enhancement area and lawn areas as shown on the referenced plan shall be monumented by a dry stone wall to be approved by the Town Engineer.
- ◆ Road in front of property should be kept broom clean at all times.
- ◆ When area is re-vegetated and stabilized, notify the Environmental Code Officer, who will then inspect site and authorize bond release or further stabilization.
- ◆ The applicant shall provide an As-Built map of the wetland buffer plantings to the Building Inspector prior to the issuance of a Certificate of Occupancy.

Permit #WP-068-05

Dated: 09-26-05



David Klaus
Approval Authority

REVIEWED BY ENVIRONMENTAL PANEL Yes No

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
STORMWATER POLLUTION PREVENTION PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 35.16
Block 1
Lot # 2
Job Site Address: 1767 Jacob Road
City/State/Zip: Yorktown Heights
New York 10598

Approval Authority: TE [] PB [] TB []
 Application #: TSWPP-000-01
 Date Received: 04-01-21
 Date Issued: _____
 1st 90 day Ext: _____
 2nd 90 day Ext: _____
 Paid: \$ 11500

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT: (PLEASE PRINT)
 YOUR NAME: Vincent Leto
 COMPANY: Westchester Modular Homes, const. Corp
 ADDRESS: 1995 Route 22
Brewster, New York ZIP 10509
 PHONE: (845) 278-1700
 EMAIL: vleto@westchestermodular.com

OWNER: (PLEASE PRINT)
 YOUR NAME: Jason and Karen Levy
 COMPANY: _____
 ADDRESS: 300 E. 71st Street, Apt 5J
New York, New York ZIP 10021
 PHONE: (_____) _____
 EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Permit Type	Approval Authority	Cost – Application Fees are Non-Refundable
WETLAND - LEVEL ONE: ADMINISTRATIVE	TOWN ENGINEER	\$300.00 (* Includes \$200 escrow fee)
WETLAND – LEVEL TWO: ADMINISTRATIVE	TOWN ENGINEER	\$800.00 (* Includes \$500 escrow fee)
WETLAND- LEVELTHREE: NON-ADMINISTRATIVE	TOWN BOARD/PLANNING BOARD	\$1,800.00 (* Includes \$1,500 escrow fee)
BASIC - STORMWATER POLLUTION PREVENTION PLAN - ADMINISTRATIVE	TOWN ENGINEER	\$300.00 (* Includes \$200 escrow fee)
FULL - STORMWATER POLLUTION PREVENTION PLAN - NON- ADMINISTRATIVE	TOWN BOARD/PLANNING BOARD	\$1,500.00 (* Includes \$1,200 escrow fee)
ADMINISTRATIVE TREE PERMIT	TOWN ENGINEER	\$0.00

Application fees are doubled (i.e.\$300 becomes \$600) with issuance of a Stop Work Order as per amended Town Code Section 178-18(a).

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- a. Lake/pond _____ Control area of lake/pond _____
- b. Stream/River/Brook _____ Control area of stream/river/brook _____
- c. Wetlands _____ Control area of wetlands X

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

The creation of new wetlands and wetlands buffer enhancement as per Anthony Martinez subdivision approval resolution dated September 26th, 2005.

2b. Stormwater/Excavation - Description of proposed activity:

Creation of a stormwater detention system to mitigate increase in flows from the proposed house and driveway as shown on Anthony Martinez subdivision approval resolution dated September 26th, 2005.

3. TREE REMOVAL:

Amount of trees and/or stumps to be removed: _____

Sizes; approximate DBH: _____

Species of trees to be removed (i.e. Birch, Spruce - if known): _____

Reason for removal: _____

Trees marked in field (trees must be marked prior to inspection): Yes: _____ No: _____

Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If someone (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

PLEASE PRINT:

I, _____ hereby authorize Vincent Leto _____ to apply for this SWPPP/Wetland Permit/Tree Permit on my behalf.

Signature: (See Owner Consent letter) _____ Date: _____

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the law, all applicable regulations and the conditions specified herein or attached hereto.
2. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable. In addition to the application fee, the applicant will be required to post a bond (refundable) to ensure job completion.
3. The permitted work shall be subject to inspection by an authorized representative of the Town of Yorktown, which may order work suspended if the public interest so requires.
4. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a) scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b) permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c) newly discovered information or significant physical changes are discovered.
5. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority, including any forms, fees or supplemental information that may be required by the Approval Authority, by written notification, 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 - Expiration of a Permit.
6. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
7. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
8. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
9. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.
10. All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediment, fuels, solvents, lubricants, epoxy coating, paints, concrete, leachate or other environmentally deleterious materials associated with the project.
11. All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or his agent as part of the permit application.
12. To prevent silting to the wetlands, erosion controls shall be installed. The erosion controls shall be continuously maintained to prevent silting of the wetlands and shall be replaced as necessary or upon the direction of the Environmental Code Officer.

Vincent Loto
PRINT NAME

[Signature]
SIGNATURE OF APPLICANT

3/11/21
DATE

To Whom It May Concern:

I, Jason Levy, as the owner of vacant property located at 1767 Jacob Rd, Cortlandt, NY 10567, hereby grant Westchester Modular Homes Construction Corporation my full permission to apply for any and all necessary permits on my property located at 1767 Jacob Rd, Cortlandt, NY 10567 required by the town of Yorktown, NY in order to obtain a building permit.

Thank you in advance for your assistance in this matter.

Best regards,



Jason Levy

Director
County Executive

Westchester
gov.com

James Maisano
Director, Consumer Protection

Department of Consumer Protection Home Improvement License

WESTCHESTER MODULAR HOMES CONSTRUCTION CORP.

1995 ROUTE 22

BREWSTER, NY-10509

Issued in accordance with Article XVI of the Westchester County Consumer Protection Code and is valid only upon
official department seal. Proof of citizenship or immigration status is not required for issuance of this license.
NOT FOR FEDERAL PURPOSES



Date of Expiration

08/19/2022

Short Environmental Assessment Form

Part 1 - Project Information


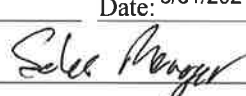
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

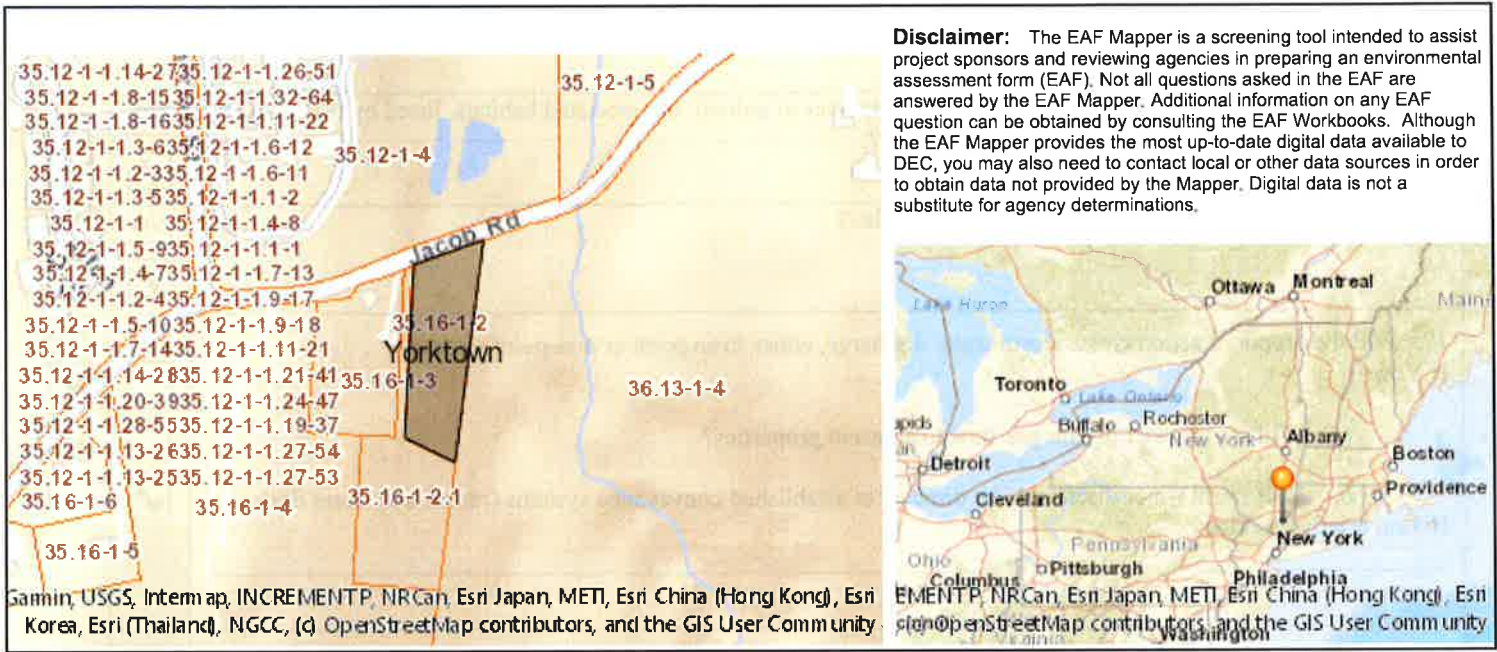
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Sponsor - Westchester Modular Homes Construction Corp,			
Name of Action or Project: Proposed Site Plan for Jason and Karen Levy			
Project Location (describe, and attach a location map): 1767 Jacob Road, Yorktown Heights, NY			
Brief Description of Proposed Action: Construct new modular home on empty lot located on south side of Jacob Road. Project involves the construction of a PVC force main up to the intersection and Catherine Street to an existing sewer manhole. ON-site stormwater mitigation is proposed as per the approved, "Martinez Subdivision" plans on file in the offices. Potable water will be provided with a proposed on-site well.			
Name of Applicant or Sponsor: Vincent Leto		Telephone: (845) 278-1700 E-Mail: vletto@westchestermodular.com	
Address: 1995 Route 22			
City/PO: Brewster		State: New York	Zip Code: 10509
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Engineering Stormwater Permit, Building Permit		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.848 acres	
b. Total acreage to be physically disturbed?		0.656 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.135 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

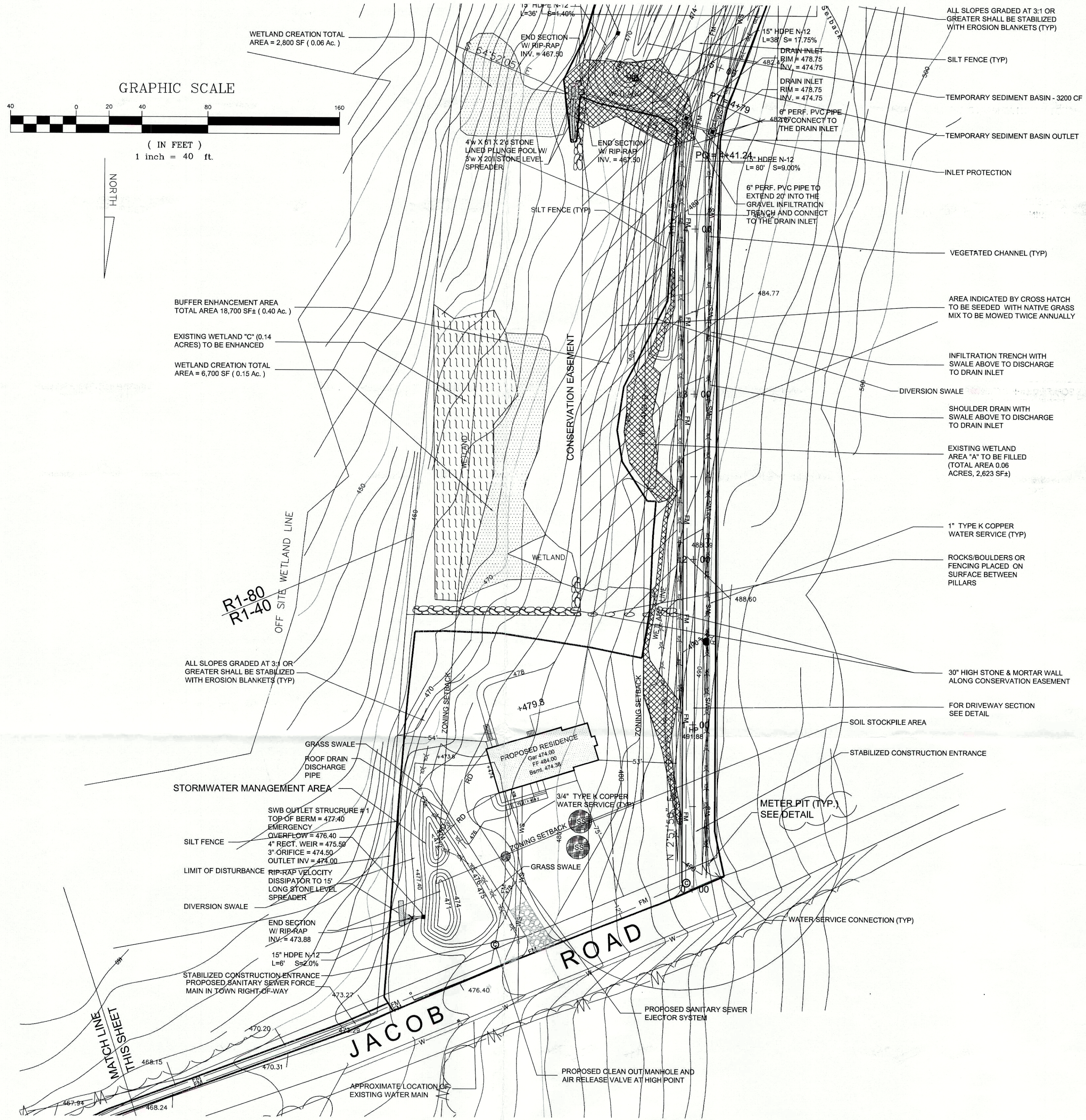
	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/> <input type="checkbox"/>	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The new modular home will exceed the requirements of the NYS Residential Energy Code _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ A new well is proposed for the site _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input type="checkbox"/> <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: Runoff mitigation ponds are proposed for the site as per the approved plans for the "Martinez Subdivision" on file in the Town offices. _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: Vincent Leto Date: 3/31/2021 Signature:  Title: 		

PRINT FORM



- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] No
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] No



ZONING SCHEDULE:

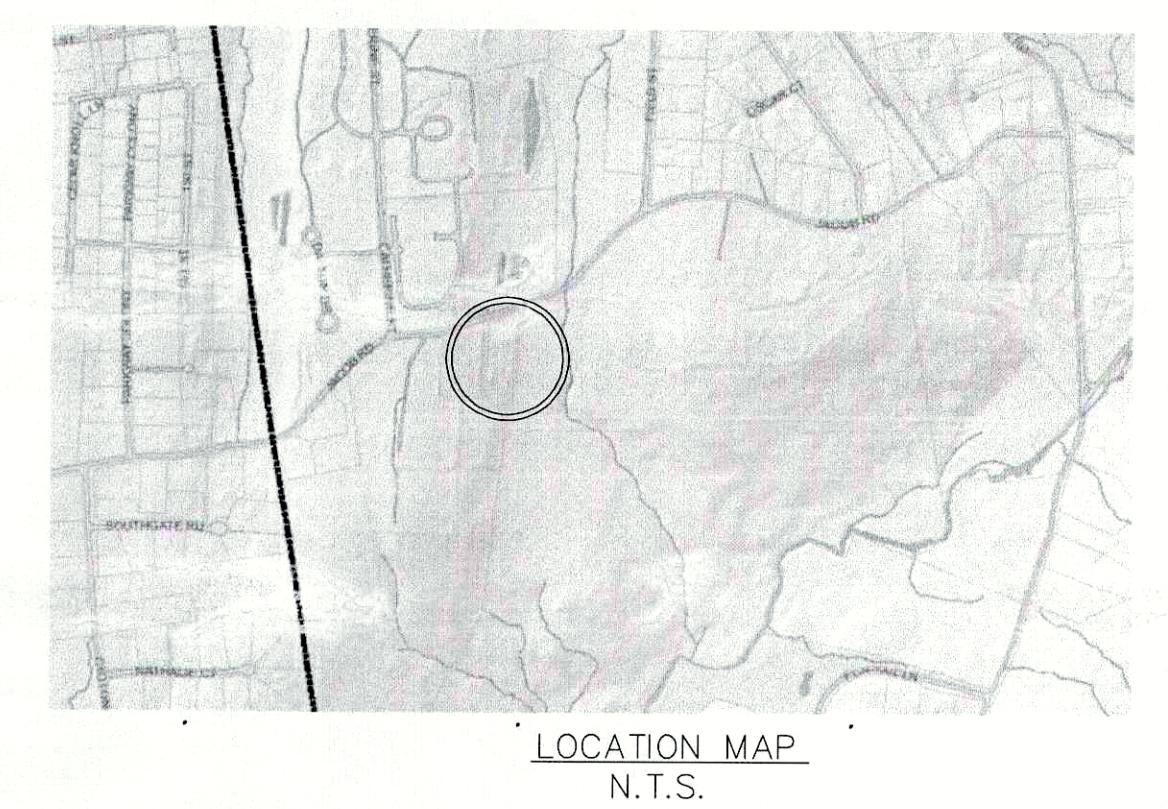
ZONING DISTRICT:	R1-40 SINGLE FAMILY RESIDENTIAL	
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED
MINIMUM SIZE OF LOT:		
LOT AREA:	40,000 SF.	80,507 SF.
LOT WIDTH AT MAIN BLDG. LINE:	150 FT.	172 FT.
LOT DEPTH:	150 FT.	508 FT.
MINIMUM YARD DIMENSIONS:		
PRINCIPAL BUILDING:		
FRONT YARD SETBACK:	50 FT.	75 FT.
REAR YARD SETBACK:	50 FT.	346 FT.
ONE SIDE YARD SETBACK:	20 FT.	53 FT.
COMBINED SIDE YARD SETBACK:	50 FT.	107 FT.
ACCESSORY BUILDINGS:		
FRONT YARD SETBACK:	50 FT.	NONE
REAR YARD SETBACK:	10 FT.	NONE
SIDE YARD SETBACK:	10 FT.	NONE
MAXIMUM HEIGHT:		
PRINCIPAL BUILDING - FEET:	35 FEET	35 FEET
ACCESSORY BUILDING - FEET:	15 FEET	15 FEET
MINIMUM USABLE FLOOR AREA OF DWELLING UNIT (SF)	1000 SF	>1000 SF
MAXIMUM BUILDING COVERAGE: ALL BUILDINGS:	15% OF LOT AREA	2.47%
REQUIRED OFF STREET PARKING SPACES PER DWELLING UNIT:	1 SPACE	4 SPACE
REQUIRED OFF STREET PARKING SPACES PER DWELLING UNIT:	1 SPACE	4 SPACE
ROAD FRONTAGE - FEET	150 FEET	195 FEET

PROPERTY OWNERS:
Jason and Karen Levy
300 E. 71st Street, Apt 5J
New York, N.Y. 10021

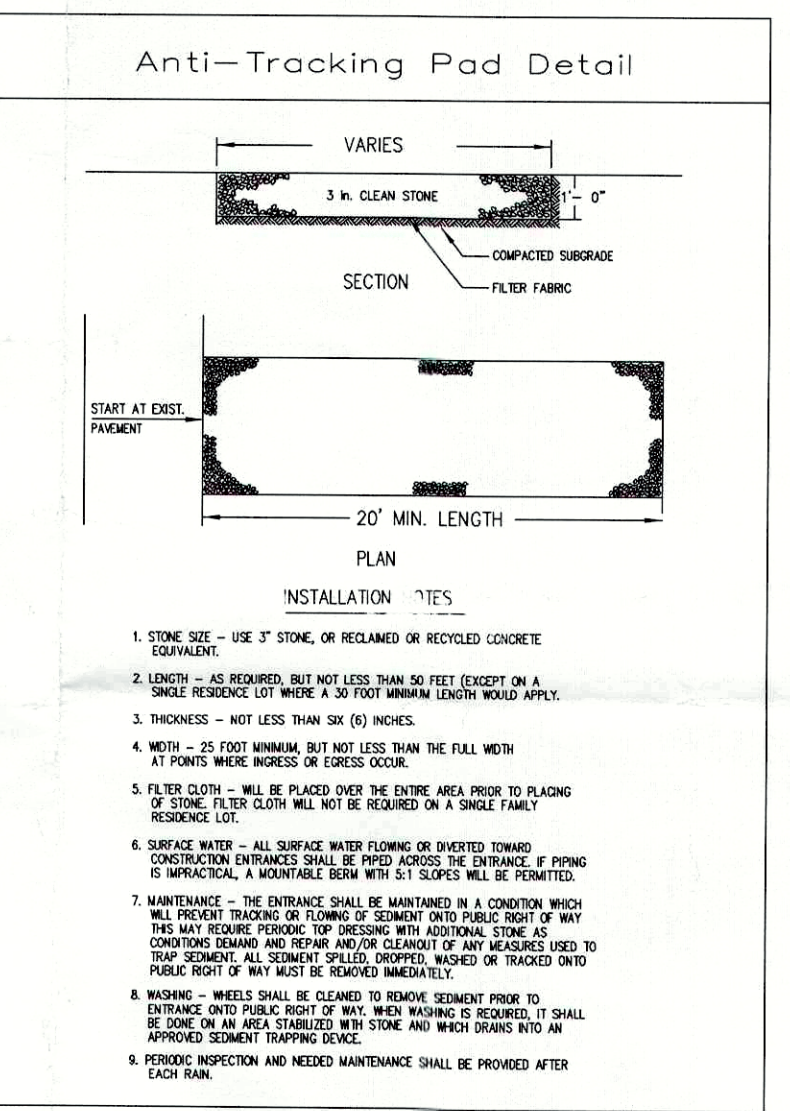
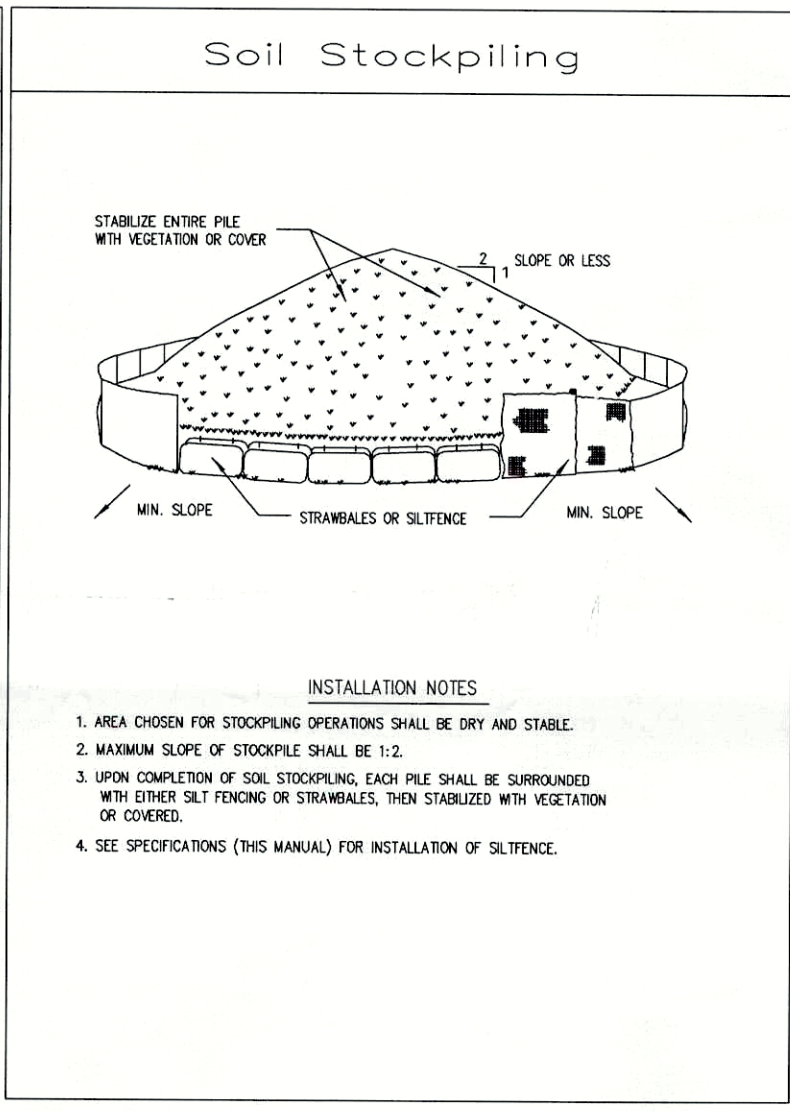
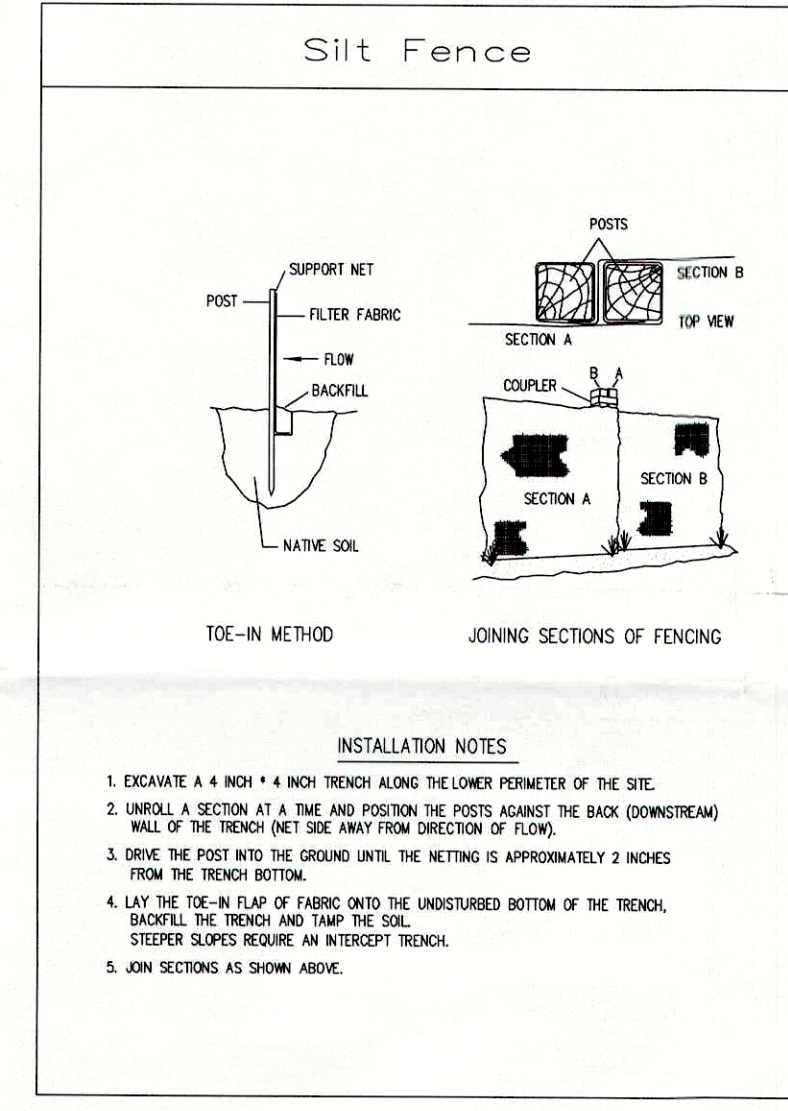
Section 35.16 Block 1 Lot 2

Contractor:
Westchester Modular Homes
Construction Corp.
1995 Route 22
Brewster, N.Y.
(845) 278-1700

Engineer:
Anthony S. Pisarri, P.E., P.C.
CONSULTING ENGINEER
3 Rosalind Manor, N.Y. 10567
(914) 739-6580
(914) 734-9121 fax



Prior to the day of the house set, WMH shall coordinate the delivery of the modules and the crane with the Town and the local police department.



NOTE: Stormwater Management Area shall be constructed as shown on the approved plans for the Anthony Martinez subdivision, approval resolution dated September 26, 2005.

NOTE:

- UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
- ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY GABRIEL E. SENOR, P.C., DATED 3/11/04, LAST. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

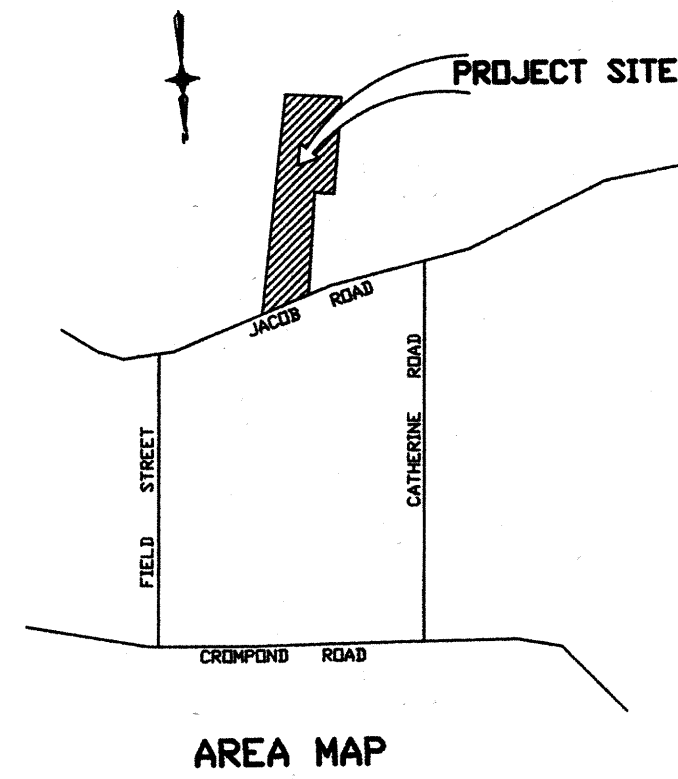


PROPOSED SITE PLAN FOR
Jason and Karen Levy - 1767 Jacob Road
Yorktown Heights, New York

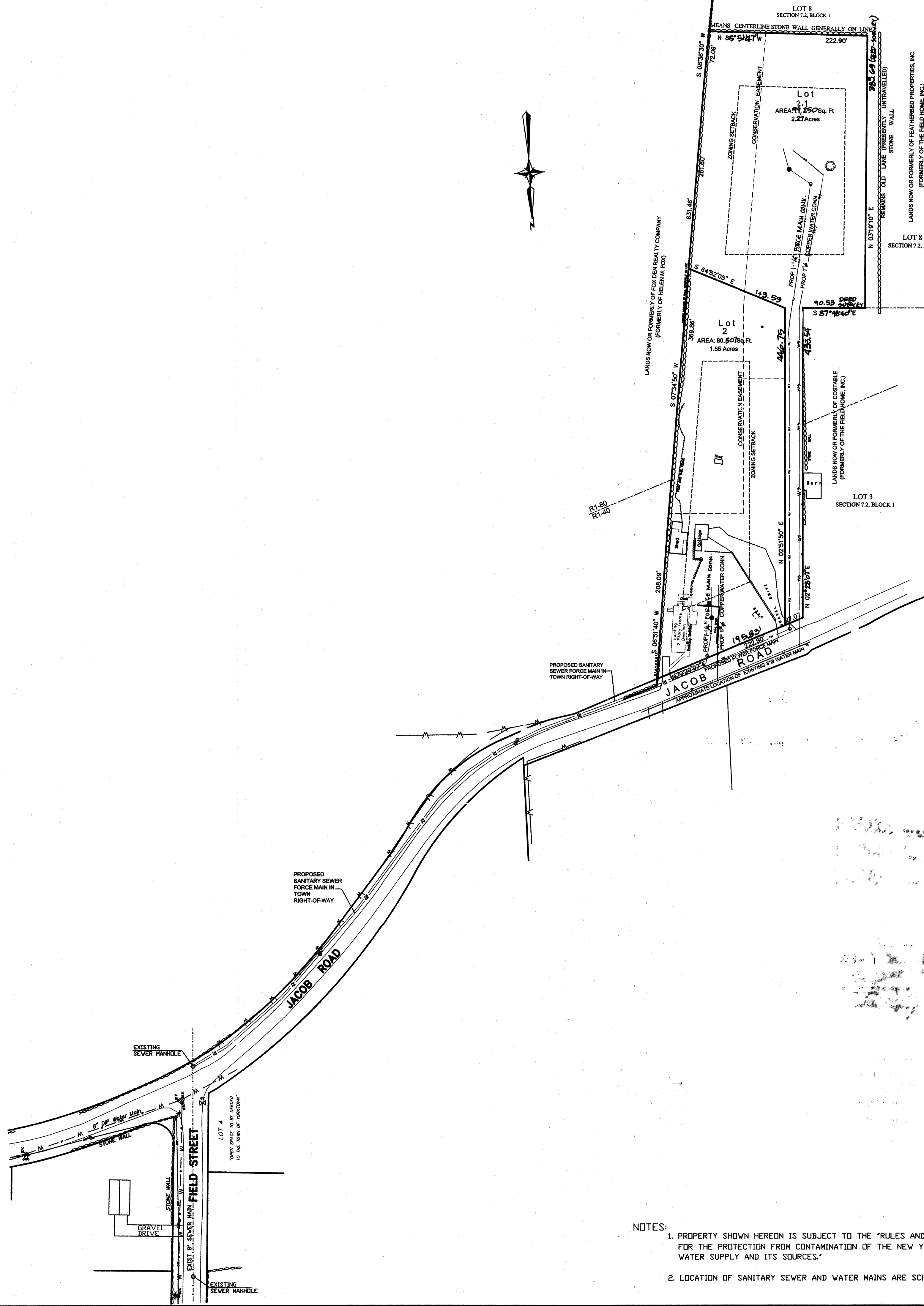
SHEET 2021-10-02
SCALE AS NOTED
FILE D:\2K7\WMHCC\LEVY
DATE 3/11/2021

ANTHONY S. PISARRI, P.E., P.C.
CONSULTING ENGINEER
3 Rosalind Drive, Cortlandt Manor, N.Y. 10567

8485



AREA MAP



I, ELIOT SENOR, THE SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED JULY 28, 2008 AND THAT THIS MAP WAS COMPLETED AUGUST 01, 2008



Eliot Senor DATE 7-20-2009
ELIOT SENOR, L.S. LICENSE # 049822

APPROVED FOR FILING IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS.

Anthony P. Marty DATE 3-17-09
ANTHONY P. MARTINEZ
1767 JACOB ROAD
YORKTOWN, NEW YORK

WESTCHESTER COUNTY DEPARTMENT OF HEALTH

APPROVED PURSUANT TO CHAPTER 873, ARTICLE X, SECTIONS 873.951 AND 873.1021 OF THE WESTCHESTER COUNTY SANITARY CODE SUBJECT TO THE PROVISION OF PUBLIC WATER SUPPLY AND PUBLIC SANITARY SEWER FACILITIES TO SERVE ALL STRUCTURES INTENDED FOR HUMAN OCCUPANCY CONSTRUCTED HEREIN.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS PLAT SHOWING THIS ENDORSEMENT ANY ERASURES, CHANGES, ADDITIONS OR ALTERATIONS OF ANY KIND EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE IN THIS PLAN AFTER THIS APPROVAL, SHALL INVALIDATE THIS APPROVAL.

APPROVED BY THE ASSISTANT COMMISSIONER OF HEALTH ON BEHALF OF THE DEPARTMENT OF HEALTH DATE 7-14-10

UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS MAP IS A VIOLATION OF SECTION 7209 SUB-SECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

APPROVED UNDER AUTHORITY OF A RESOLUTION ADOPTED BY THE PLANNING BOARD OF THE TOWN OF YORKTOWN 05-23 09/26/2005

TOWN OF YORKTOWN PLANNING BOARD APPLICATION # APPROVAL

John S. Klus DATE 7/27/10 SECRETARY TO THE PLANNING BOARD
David Klaus DATE 8/4/10 CHAIRMAN TO THE PLANNING BOARD
Date 12/7/10

SITE ENGINEERING DRAWINGS ATTACHED OR APPENDED DRAWINGS PREPARED BY SITE DESIGN CONSULTANTS

JOSEPH C. RIINA RE DATE 3/23/09
SITE DESIGN CONSULTANTS
251 UNDERHILL AVENUE
YORKTOWN, N.Y. 11968

TAX LOT 2, SECTION 35.16 BLOCK 1 LOT 2-1 AREA: 179,767 Sq Ft, 4.19 ACRES

FILED NOV 24 2010 NUMBER 28442 FEE PAID 10

SUBDIVISION MAP PREPARED FOR TAX LOT 2 SECTION 35.16 BLOCK 1 LOCATED IN THE TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK 1767 JACOB ROAD

COUNTY SHEET: 243 BLOCK: 10416

MARTINEZ MINOR SUBDIVISION

SCALE: 1" = 80' DATE: AUGUST 01, 2008 FEBRUARY 20, 2009(REV)

- NOTES:
1. PROPERTY SHOWN HEREON IS SUBJECT TO THE 'RULES AND REGULATIONS FOR THE PROTECTION FROM CONTAMINATION OF THE NEW YORK CITY WATER SUPPLY AND ITS SOURCES.'
2. LOCATION OF SANITARY SEWER AND WATER MAINS ARE SCHEMATIC ONLY.

8485

8485

Alek-Tris
ZBA Referral

TOWN OF YORKTOWN PLANNING DEPARTMENT


Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: April 9, 2021
Subject: Alek-Tris Subdivision
SBL: 16.10-3-26

At the meeting on March 8, 2021, the Planning Board reviewed a subdivision application for the subject subdivision pursuant to a variance granted by the Zoning Board on June 25, 1981. At that time the applicant thought that the subdivision referenced in the variance had never been filed. However, research showed that the Planning Board did approve a subdivision plat titled "Minor Subdivision Map prepared for William F. MacMaster" on December 21, 1981. The Zoning Board's variance restricted any further subdivision of front lot Section 4.6, Parcel 7, Lot 24, which is now known as Section 16.10, Block 3, Lot 26.

The current property owner has made application to the Zoning Board to request the removal of the restriction on further subdivision. If granted, the applicant would also need to obtain variances for lot area.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

MAR 17 2021

TOWN OF YORKTOWN, NY



Town of Yorktown www.yorktownny.org

2021

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 | Fax (914) 962-1731 | Email: building@yorktownny.org

Application for a Zoning Variance
(Please legibly complete all lines on the application)

Office use only			
Application #:	<u>10/21</u>	Fee Paid:	<u>Y- \$210</u>
		Date:	<u>3/17/21</u>
		Received by:	<u>KB</u>

A total of **6 copies** of the following are to be submitted to the Building Department:

- Application Form
- Notice of Denial
- A survey map or plot plan showing all existing and proposed buildings and structures
- All data relating to the variance
- *Please check with the Building Department to determine if you need to fill out an Environmental Assessment Form

Fee of \$210.00

Date: 3/12/2021

All items (1-9) must be completed

1. Premises located on the South side of East Main Street
(North, South, East, West) (Street, Road, Drive)

near Corner of Frost Road

2. Section 16.10 Block 3 Lot 26

3. Date the title of premise was acquired by the applicant _____

4. The same premises is now improved with a 2 Family House & Cottage

(Type of Building or Structure)

5. The Variance Requested is as follows: 1- Remove the following Condition from the Zoning Board of Appeals Decision dated 6/25/1981 "Applicant agreed to stipulate that lot 24 (the front lot) could not be further subdivided"
& area variances to subdivide the property into 3 lots- Lot #1, 36,009 SF no variance required
Lot #2 18,077SF & 1,923 SF Variance required & Lot #3 18,002 SF & 1,998 SF Variance required
_____ in a(n) R-10 zoning district.

6. Telephone Number (Home) _____ (Work) 914-242-0244

7. Email brian@sunrisecarpentry.com joel.greenberg@arch-visions.com

8. Address of Subject Property: 1075 East Main Street
Shrub Oak, NY 10588

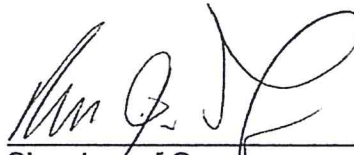
9. Address of Applicant/Owner: 3 Old Tomahawk Street
Yorktown Heights, NY 10588

Brian Goc- Alek Tris, LLC
Name of Applicant (please print)


Signature of Applicant

03/12/21
Date

Name of Owner (If not applicant)


Signature of Owner

03/12/21
Date

Short Environmental Assessment Form
Part 1 - Project Information

MAR 17 2021

TOWN OF YORKTOWN, NY

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Alek- Tris LLC			
Project Location (describe, and attach a location map): 1075 East Main St, Shrub Oak, NY 10588			
Brief Description of Proposed Action: 3 Lot Subdivision			
Name of Applicant or Sponsor: Brian Goc		Telephone: 914-245-0244 E-Mail: Brian@sunrisecarpentry.com	
Address: 3 Old Tomahawk Street			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: WCHD & Yorktown Bldg Dept.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.66	acres
b. Total acreage to be physically disturbed?		0.5	acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.66	acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
	<input type="checkbox"/>	<input type="checkbox"/>	

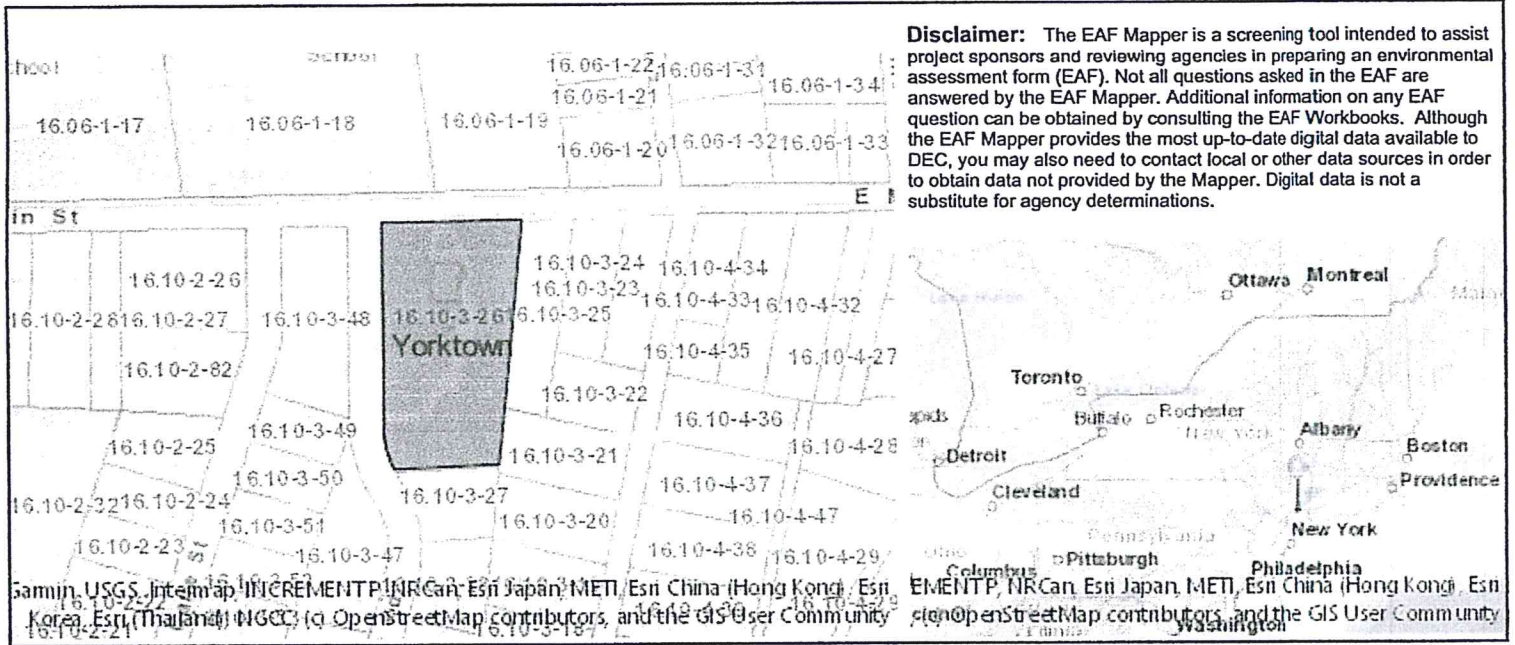
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

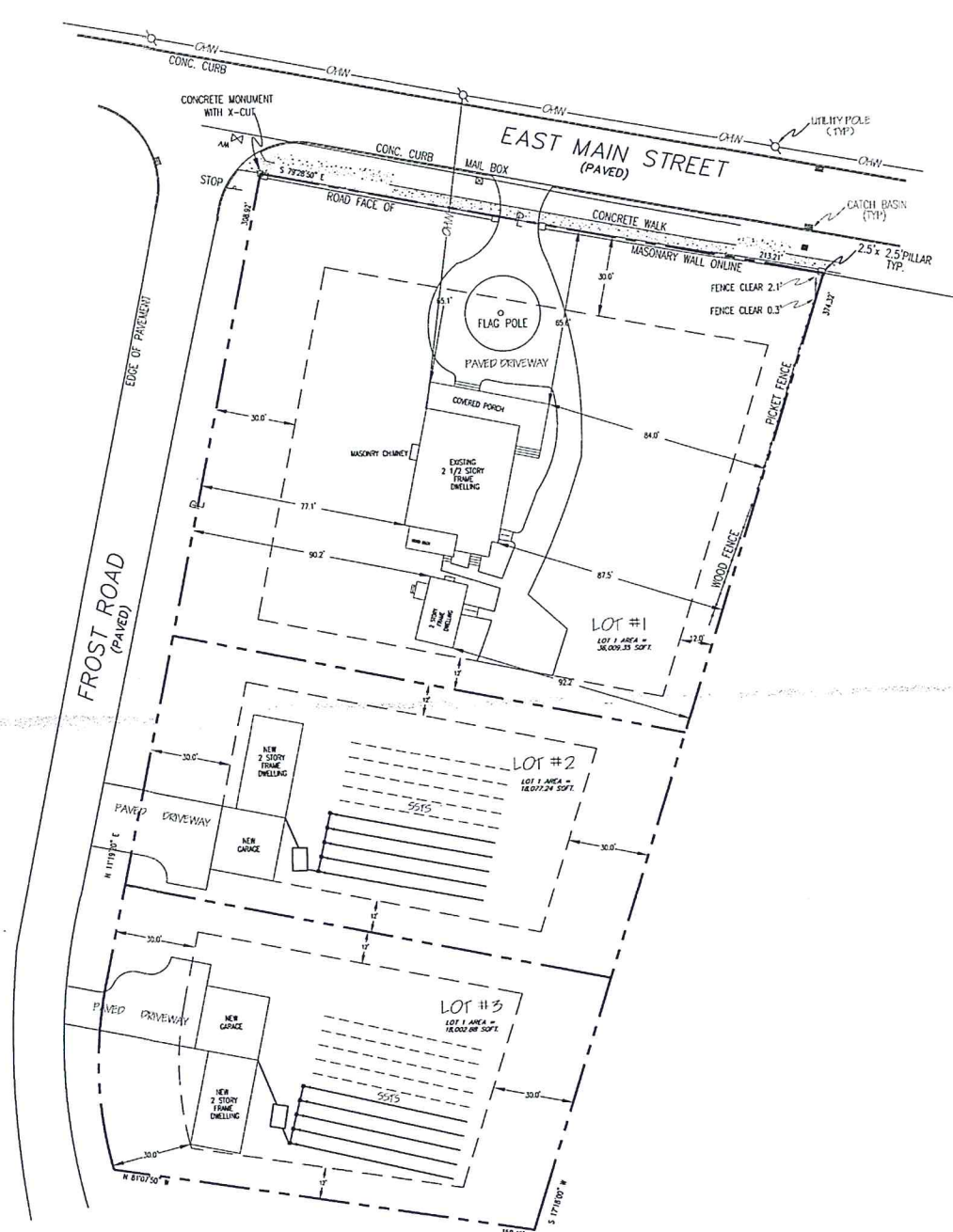
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

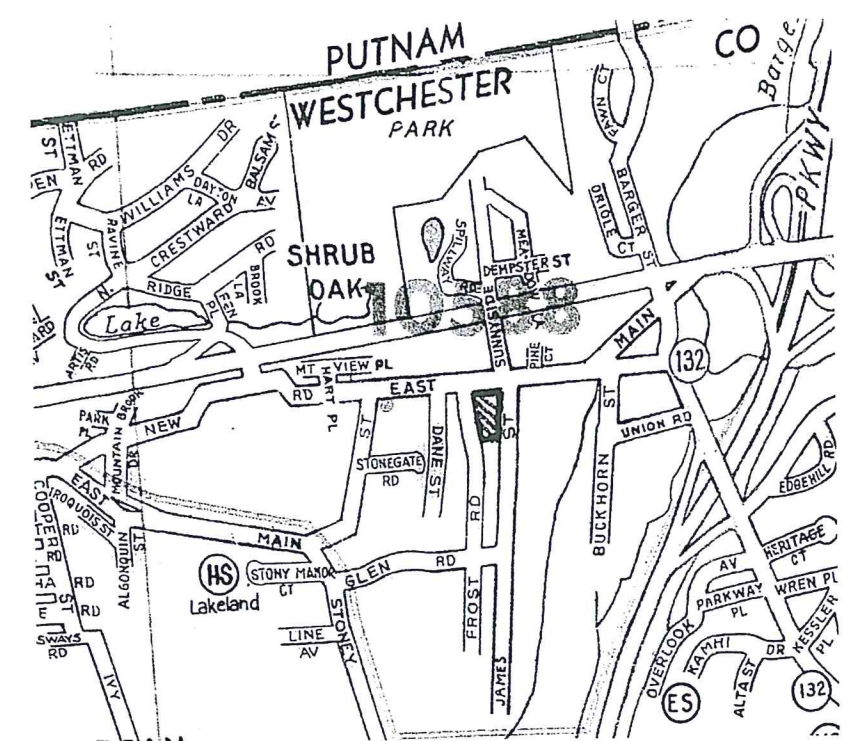
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Alek- Tris, LLC</u> Date: <u>02/8/2021</u>		
Signature: <u><i>Joel Greenberg</i></u> Title: <u>Project Architect</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



SITE PLAN
DIGED ON SURVEY BY STEVEN P. DODSON, P.L.L.C.
 11-25-2015



LOCATION MAP

ZONING CHART R-10

PROPOSED LOT 1 52,088	REQUIRED	PROVIDED
FRONT	30.0'	65.1'
SIDE(East)	30.0'	77.1'
SIDE(West)	12.0'	84.0'
REAR(South)	12.0'	45.7'

ZONING CHART R-10

PROPOSED LOT 2 20,000 *	REQUIRED	PROVIDED
FRONT	30.0'	30.0'
SIDE(North)	12.0'	12.0'
SIDE(South)	12.0'	12.0'
REAR	30.0'	129.1'

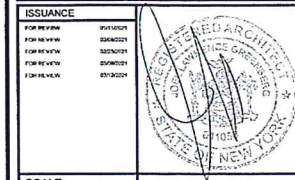
RECEIVED *KB*
 Zoning Board of Appeals Office
 MAR 17 2021
 TOWN OF YORKTOWN, NY



2 MUSCOT ROAD NORTH
 BAHOPAC NY, 10541
 JON GREENE@ARCHVISIONS.COM
 P: 845-628-6613
 F: 845-628-2807

PROJECT:
ALEK-TRIS, LLC
 PROJECT ADDRESS: 1075 EAST MAIN ST, SHRUB OAK, NY 10568
 MAILING ADDRESS: 3 OLD TOMAHAWK ST, YORKTOWN HTGS, NY 10598

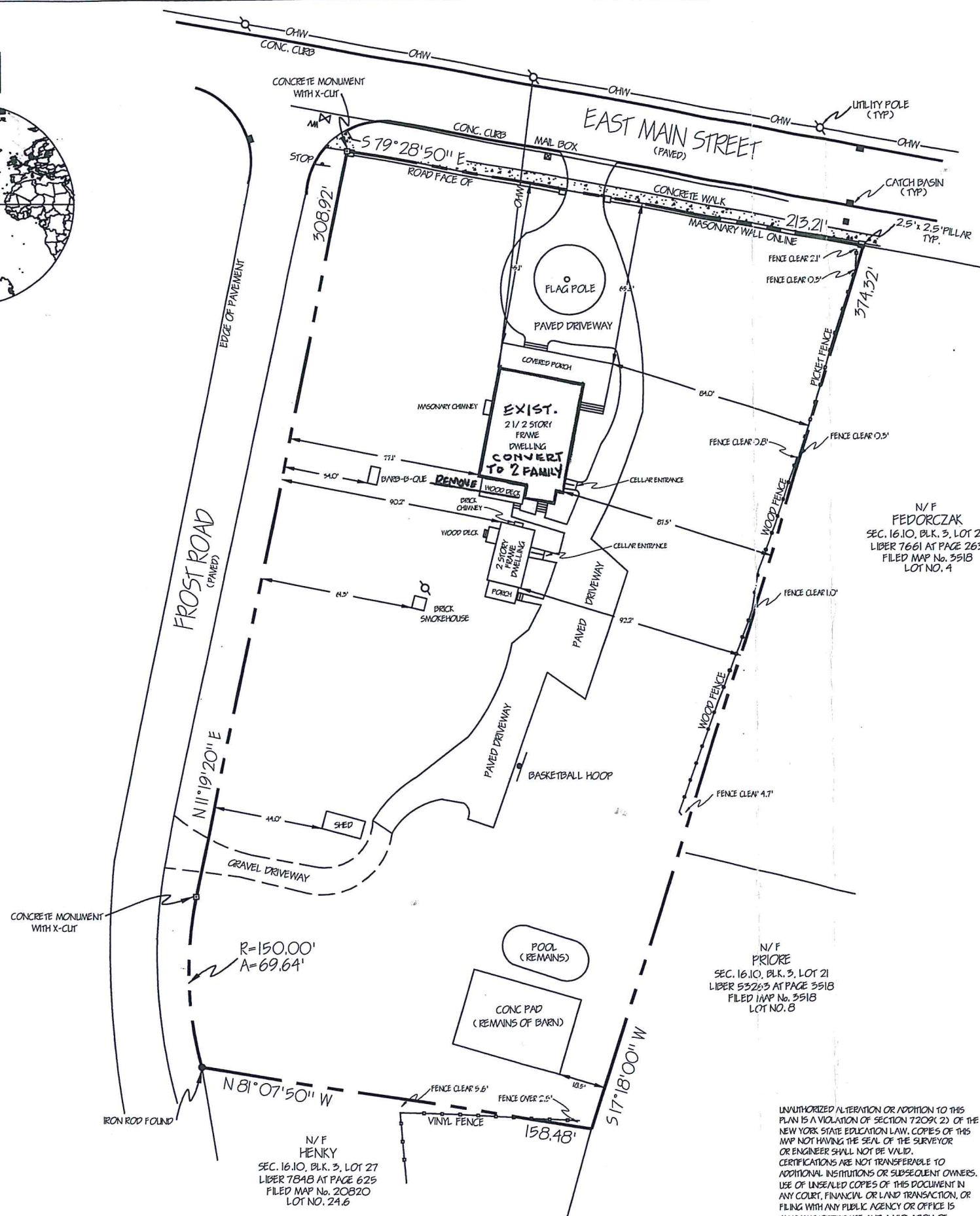
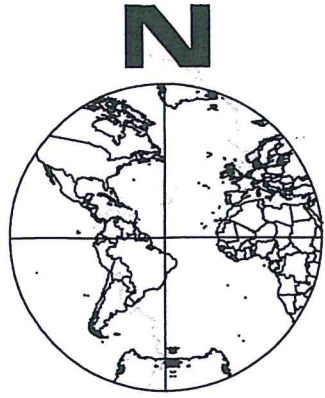
PROPOSED 3 LOT
 SUBDIVISION



SCALE
 AS NOTED
 DRAWN BY/CHKD BY
 TBC/JMCK/JLG
 PROJECT NO.
 11-15-142

AS-100

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE EMPOWERMENT OF A LICENSED ARCHITECT, TO ALTER OR REPRODUCE THESE PLANS AND DOCUMENTS IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL VISIONS, LLC. THE ARCHITECT'S SEAL AND SIGNATURE SHALL BE NECESSARY TO VALIDATE THESE PLANS AND DOCUMENTS. ANY ALTERATION OF THESE PLANS AND DOCUMENTS WITHOUT THE WRITTEN CONSENT OF ARCHITECTURAL VISIONS, LLC IS PROHIBITED. THE ARCHITECT'S SEAL AND SIGNATURE SHALL BE NECESSARY TO VALIDATE THESE PLANS AND DOCUMENTS.



NOTES:

1. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS/HER EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
2. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS/HER BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
4. REFERENCE: A MAP ENTITLED, "MINOR SUBDIVISION MAP - WILLIAM F MACMASTER", AS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON DECEMBER 29, 1981, AS MAP No. 20820. REFERENCE: A MAP ENTITLED, "MAP OF SUBDIVISION BELONGING TO EMILY K. MILLER", AS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON OCTOBER 25, 1929, AS MAP No. 3518. REFERENCE: DEED LIBER 55287 AT PAGE 3655, ADJOINERS AS NOTED.
5. SUBJECT TO AN ACCURATE AND UP TO DATE TITLE REPORT.
6. SUBJECT TO ANY EASEMENTS OR AGREEMENTS OF RECORD, IF ANY.

N/F FEDORCZAK
SEC. 16.10, BLK. 3, LOT 25
LIBER 7661 AT PAGE 263
FILED MAP No. 3518
LOT NO. 4

N/F PRIORE
SEC. 16.10, BLK. 3, LOT 21
LIBER 53263 AT PAGE 3518
FILED MAP No. 3518
LOT NO. 8

N/F HENKY
SEC. 16.10, BLK. 3, LOT 27
LIBER 7848 AT PAGE 625
FILED MAP No. 20820
LOT NO. 24.6

AREA = 1.66 + 1 - ACRES

TAX MAP SECTION 16.10, BLOCK 3, LOT 26
FILED MAP No. 20820, LOT No. 24

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION, OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS AN UNAUTHORIZED USE AND A VIOLATION OF FEDERAL COPYRIGHT LAWS.

DATE	REVISIONS	APPROVED
11/11/15	ORIGINAL PREPARATION	SPD

TITLE: SURVEY MAP OF LANDS OF: BRIAN GOC TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK		
DOLSON SURVEYING SERVICES		
30 TARA TERRACE PORT JERVIS, NEW YORK 12771		
PHONE: (845) 355-1355		MOBILE: (845) 551-8786
JOB NO. 15-016	DWG NO. 15-016SUR	REV 1
SCALE 1" = 50'	E-MAIL DSSDOLSON@LIVE.COM	SHEET 1 OF 1

STEPHEN P. DOLSON, P.L.S.
LICENSE NO. 050554 ©

CERTIFIED:
- AARON WISOTSKY

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS

June 25, 1981

MACMASTER, WILLIAM
#32/81

Application for variance to allow subdivision of property creating two new building lots with an area of 16,000 square ft where 20,000 square ft is required. Premises located on east side of Frost Road, aka/Section 4.6, Parcel 7, Lot 24 on the Tax Map of the Town of Yorktown.

Upon reading and filing the Certificate of Notice, the reports of the Building Inspector dated June 25, 1981, Conservation Board dated June 2, 1981, Tax Assessor dated June 25, 1981 and upon the report of the site committee and upon the testimony offered and received at the public hearing of this application, it is found and determined as follows:

The requested relief, although resulting in a 25% reduction in the area requirements is nevertheless in harmony with the surrounding area and exceeds the size of surrounding lots.

Applicant agreed to stipulate that lot 24 (the front lot) could not be further subdivided.

In order to preserve the open shed and eliminate the dog leg of the lot lines, Board and applicant agreed to rearrange same. Such rearrangement results in lot 24.1 being 14,043 square ft and lot 24.2 being 14,482 square ft.

Applicant presented proof of practical difficulty.

Based upon the above, the Board, after due consideration does grant the variance requested. Said variance is made expressly subject to the following conditions:

1. No further subdivisions on the lot facing East Main Street (24) shall be permitted.
2. Shed shall be restored by July 1, 1982.
3. Application is amended to rearrange the lot lines leaving one lot of 14,043 square ft (24.1) and one of 14,482 square ft (24.2).

Filed on the 30th day
of July, 1981.

Geraldine Schwalb
GERALDINE SCHWALB, Town Clerk

TOWN OF YORKTOWN
TOWN HALL
363 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NEW YORK 10598
PHONE: (914) 962-5722

MEMORANDUM:

June 25, 1981

TO: Zoning Board of Appeals
FROM: Building Inspector
RE: McMaster

I have reviewed the survey submitted with the application and inspected the parcel on June 23, 1981. The land in question was part of a 17+ acre parcel previously owned by Munson Frost which was the subject of two subdivision actions - "Section A of Frost Acres" in 1955 and "Map of Frost Road" in 1961.

According to records in the Assessor's office, the existing structures on the McMaster property were built prior to the institution of zoning in 1932.

Because the immediate area contains lots of similar or smaller size, I have no objection to the granting of the requested relief. Further, to increase the size of the lots to 20,000 square feet would require a shift in the proposed northerly lot line that would cause that line to bisect the existing barn structures.

I recommend however that the variance be granted with the condition that no new future building lots be created on the balance of the property.

Respectfully submitted,

William D. Gregory
William D. Gregory
Building Inspector

WDG/tb

0363

TOWN OF YORKTOWN
TOWN HALL
363 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NEW YORK 10598
PHONE: (914) 962-5722

M E M O R A N D U M

TO: Zoning Board of Appeals
FROM: Assessor
DATE: June 25, 1981
RE: Macmaster #32/81

In response to your memorandum of June 1, 1981 I offer the following:

Tax Map	Section	4.06
Designation	Parcel	7
of Subject	Lot	24

Owner(s): William and Mary Macmaster
Location: 1075 East Main Street
Lot Size: 2.31 AC (100,624 square feet)
Property Type: Improved Lot with

2½ sty dwelling (1496 S.F./floor)
2 sty dwelling (336 S.F./floor)
1 garage (with loft) (1395 S.F./floor)
1½ sty barn (1020 S.F./floor)
2 sty barn (1040 S.F./floor)
1 shed (1080 S.F.)
1 shed (128 S.F.)
1 swimming pool (512 S.F./swim area)

All improvements existed prior to 1930 except pool (Permit issued January 1, 1981).

William and Mary Macmaster purchased the subject property from Helen Frost on December 1, 1978 by deed Liber 7522 Page 95. (see attached).

Zoning Board of Appeals
Page 2
June 25, 1981

The subject property was part of the original Frost holdings which contained in excess of 17 acres (see copy of original tax map). Through the years this property was reduced in size by deed or subdivision, to its present 2.31 acres.

The most recent subdivision of this property prior to 1961. A list of these lots is as follows, complete with lot size and building permit numbers (see attached map).

<u>LOCATION</u>	<u>Sec./Par./Lot</u>	<u>SIZE</u>	<u>BUILDING PERMIT #</u>	<u>BUILDING PERMIT DATE</u>
3566 Frost	4.6/7/24.1	108 x 120 (12960 SF)	12465	3/22/72
3572 Frost	4.6/7/24.2	109 x 118 (12862 SF)	11004	9/23/68
3852 Frost	4.6/7/24.3	111 x 117 (12987 SF)	11916	3/16/71
3592 Frost	4.6/7/24.4	112 x 115 (12880 SF)	10846	5/17/68

Robert P. Killeen

RPK:dma

THIS IS TO CERTIFY THAT the attached copy is a true and correct
copy of the TOWN OF YORKTOWN PLANNING BOARD RESOLUTION APPROVING
MINOR SUBDIVISION WILLIAM F. MACMASTER

DATE OF RESOLUTION DECEMBER 21, 1981

HEREBY signed and certified by the Secretary of the Planning Board

Signature Carol Ann Sklar Date 12/21/81
Carol Ann Sklar

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING SUBDIVISION PLAT

WILLIAM F. MACMASTERS

Resolution No. 81-10

Date: DECEMBER 21, 1981

On Motion of Robert Potemski

seconded by William Gocha

the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations adopted February 13, 1969 and as last revised, a formal application for the approval of a subdivision plat titled Minor Subdivision Map prepared for William F. MacMaster was submitted to the Planning Board on the 14th day of December by William F. MacMaster; and the applicant has represented to this Board that he is the lawful owner of the land within said subdivision or has a valid contract or contracts of sale for such land; and

WHEREAS an application fee of \$175.00 covering 3 lots on 2.3 acres has been received by this Board; and

WHEREAS the proper endorsement of the County Health Officer and the approval of the Bureau of Water Supply of the City of New York and/or the Board of Water Supply of the City of Peekskill, New York have been obtained; and

Whereas the requirement of this Board's Land Development Regulations have been met except as noted below; and

WHEREAS a public hearing was held on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on the 21st day of December, 1981 and

WHEREAS the applicant has submitted to this Board as part of said application for plat approval, the following map titled: "Integrated Plot Plan", prepared by Thomas F. Perna P.E., for J. Henry Carpenter & Co., on the 2nd day of July, 1981, and last revised on the 12th day of August, 1981.

WHEREAS the Town Engineer has informed this Board that there are no public improvements to be built.

BE IT THEREFORE NOW RESOLVED that the application of William F. MacMasters for approval of subdivision map prepared by J. Henry Carpenter dated the 2nd day of July, 1981 and last revised the 12th day of August, 1981 be approved subject to the following modifications and conditions and that the Chairman and Secretary of this Board be and hereby are authorized to endorse this Board's approval on said plat upon compliance by the applicant with such modifications and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved. If said plat is not endorsed by the Chairman and Secretary of the Board nor the map filed within 60 days from the date of signing of the plat, the plat shall also be deemed disapproved.

Modify said plat to show the following:

NONE

Modify integrated plot plan to show the following:

NONE

BE IT FURTHER RESOLVED that said plat map shall not be endorsed by the Planning Board until:

A) The deeds, offer of dedication, and certificate of title when required, insured by an approved title company of any and all land reserved in fee to the Town for drainage, flood control, park, playground or recreational purposes or any similar deed or conveyance giving rights of easement and use for all drainage and public facilities shown on said plat, has been tendered to an accepted by the Town; and

B) The following additional requirements or conditions are met:

1) Payment of \$1,000.00 to the Town of Yorktown to satisfy the recreation requirement in accordance with Land Development Regulations.

2) The monuments set forth on the plat map be set, or alternatively a bond in the amount of \$1,500.00 payable to the Town of Yorktown be transmitted to the Town Engineer - such bond to be released upon setting of the monuments.

BE IT FURTHER RESOLVED that no certificate of occupancy will be issued unless the required monuments are set, the lot bounds are staked out and possession survey of premises is filed with the Building Inspector containing legend that stakes have been set as shown thereon.

BE IT FURTHER RESOLVED that upon due consideration by the Board: the following requirements of these Regulations be waived:

BE IT FURTHER RESOLVED that upon due consideration by the Board:
the following requirements of these Regulations be waived:

- A) Street lights sinbe they already exist
- B) Sidewalks since they already exist

Date of Resolution December 21, 1981

Signed by
Roll Call:

Bernard Grossfeld
, Chairman

Ayes:

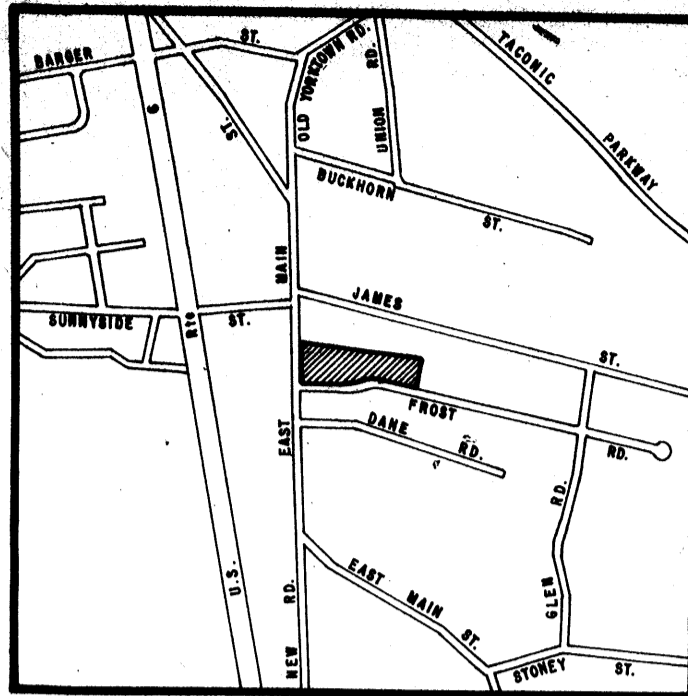
Bernard Grossfeld
Richard F. Fittman

Nays:

James W. Gillen

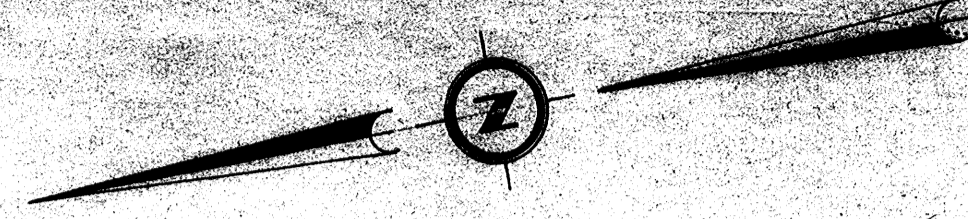
[Signature]

MAP No. **20820** FILED **Dec. 29, 1981**
 REDUCED 20 PERCENT



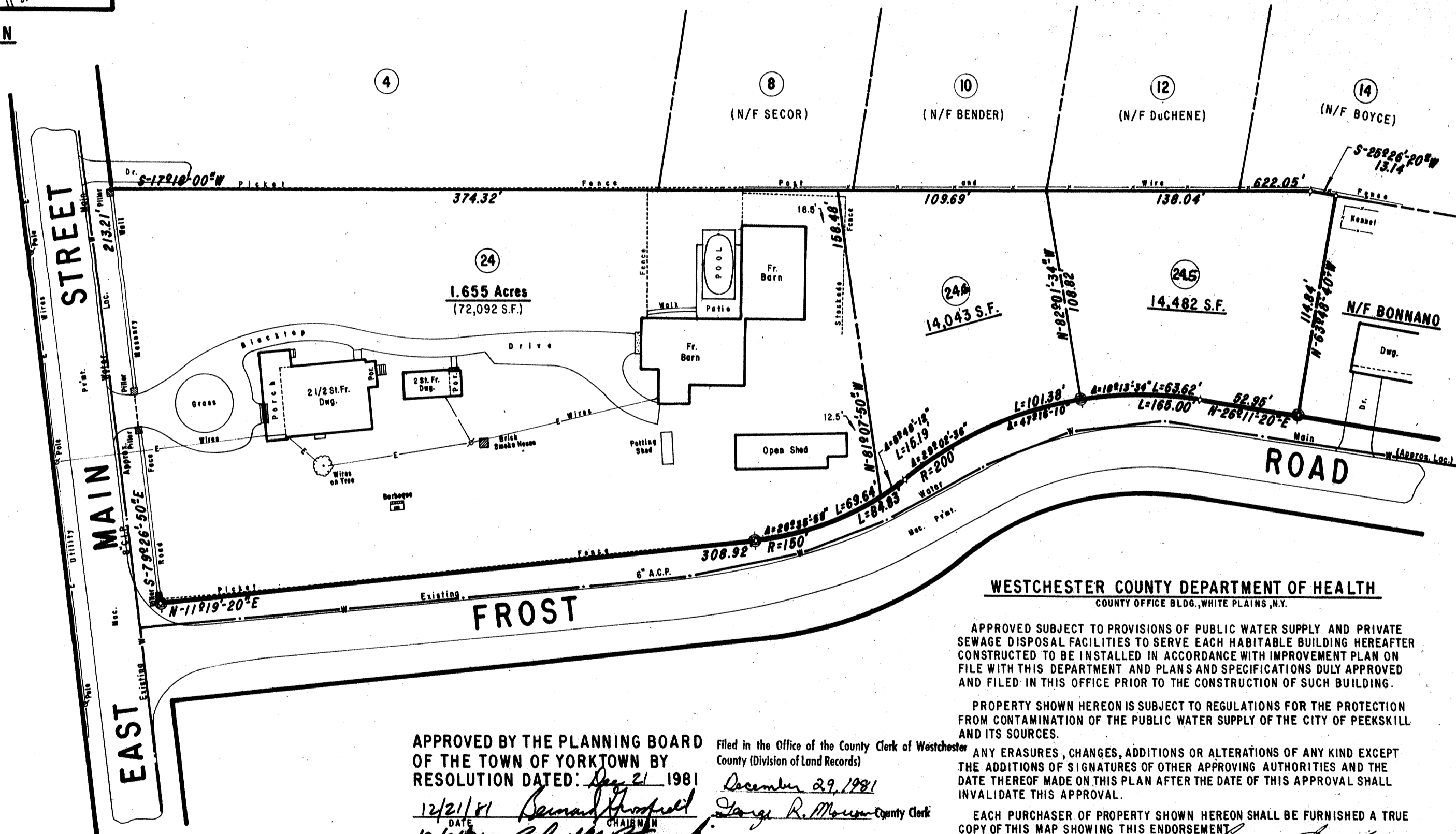
LOCALITY PLAN
 1" = 800'

"MAP OF SUBDIVISION BELONGING TO EMILY K. MILLER"
 (FILED OCT. 23, 1929 AS MAP No. 3518)



NOTE:
 Application For Variance To Allow Subdivision of Property Creating Two New Building Lots 24.1 and 24.2 as Shown Hereon With an Area Less Than The 20,000 S.F. Required. Approved By Resolution of The Zoning Board of Appeals of The Town of Yorktown on June 25, 1981. In Accordance With Said Resolution No Further Subdivision of Lot 24 Shall Be Permitted.

ROAD R.O.W. MONUMENT - Set or To Be Set as Required By Town Engineer.



WESTCHESTER COUNTY DEPARTMENT OF HEALTH
 COUNTY OFFICE BLDG., WHITE PLAINS, N.Y.

APPROVED SUBJECT TO PROVISIONS OF PUBLIC WATER SUPPLY AND PRIVATE SEWAGE DISPOSAL FACILITIES TO SERVE EACH HABITABLE BUILDING HEREAFTER CONSTRUCTED TO BE INSTALLED IN ACCORDANCE WITH IMPROVEMENT PLAN ON FILE WITH THIS DEPARTMENT AND PLANS AND SPECIFICATIONS DULY APPROVED AND FILED IN THIS OFFICE PRIOR TO THE CONSTRUCTION OF SUCH BUILDING.

PROPERTY SHOWN HEREON IS SUBJECT TO REGULATIONS FOR THE PROTECTION FROM CONTAMINATION OF THE PUBLIC WATER SUPPLY OF THE CITY OF PEESKILL AND ITS SOURCES.

ANY ERASURES, CHANGES, ADDITIONS OR ALTERATIONS OF ANY KIND EXCEPT THE ADDITIONS OF SIGNATURES OF OTHER APPROVING AUTHORITIES AND THE DATE THEREOF MADE ON THIS PLAN AFTER THE DATE OF THIS APPROVAL SHALL INVALIDATE THIS APPROVAL.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS MAP SHOWING THIS ENDORSEMENT

RECOMMENDED BY: *[Signature]* PE
 DATE: 11/25/81
 COMMISSIONER OF HEALTH

APPROVED BY THE PLANNING BOARD OF THE TOWN OF YORKTOWN BY RESOLUTION DATED: *Dec 21 1981*

DATE: *12/21/81* *[Signature]* CHAIRMAN
 DATE: *12/21/81* *[Signature]* SECRETARY

Filed in the Office of the County Clerk of Westchester County (Division of Land Records) *December 29, 1981*

[Signature] County Clerk

THE OWNER OF PROPERTY SHOWN HEREON CERTIFIES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ITS FILING.

DATE: *9-16-81*
 ADDRESS: EAST MAIN ST., SHRUB OAK, N.Y.

TOWN TAX MAP DATA:
 Section 4.6, Parcel 7, Lots 24, 24.1 and 24.2

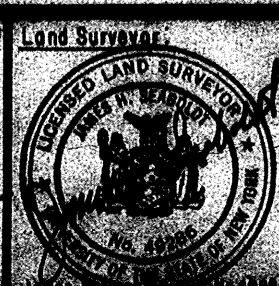
EXISTING ZONING STATUS:
 R1-10 (1 Family Residential)

TOWN WATER DISTRICT:
 Shrub Oak - Mohegan Water District

TOTAL AREA OF SUBDIVISION:
 2.3098 Acres, (100,616 S.F.)

WE, J. HENRY CARPENTER & CO. THE SURVEYORS WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE FIELD WORK UPON WHICH THIS MAP IS BASED WAS COMPLETED ON JUNE 30, 1981 AND THAT THE MAP ITSELF WAS COMPLETED JULY 2, 1981.

FILED DEC 29 1981
 NUMBER 20820
 AMT. PAID *[initials]*



MINOR SUBDIVISION MAP
 PREPARED FOR
WILLIAM F. McMASTER
 LOCATED IN
 TOWN OF YORKTOWN, WESTCHESTER COUNTY, N.Y.
J. HENRY CARPENTER & CO.
 LAND SURVEYING AND MAPPING
 YORKTOWN HEIGHTS, N.Y.

Scale: 1" = 40'
 Date: July 2, 1981
 Rev: 7/81
 County: Yorktown
 File No. 20820

Hemlock Hill Solar Decision

State Environmental Quality Review
NEGATIVE DECLARATION
 Notice of Determination of Non-Significance

Project Number _____

Date: _____

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The _____ as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

SEQR Status:	Type 1	G
	Unlisted	G

Conditioned Negative Declaration:	G Yes
	G No

Description of Action:

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person:

Address:

Telephone Number:

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT, WETLAND PERMIT, AND
STORMWATER POLLUTION PREVENTION PLAN
FOR HEMLOCK HILLS SOLAR FARM**

RESOLUTION NUMBER: #00-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, Kincart, LaScala, Bock, and Garrigan the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan and special use permit for a large-scale solar power generation system with submitted plans titled, "Site Plan Set prepared for Hemlock Hills Solar Farm," prepared by Badey & Watson Surveying & Engineering, P.C., and last revised March 31, 2021, was submitted to the Planning Board on behalf of 174 Power Global (hereinafter referred to as "the Applicant"); and

WHEREAS the Hemlock Hill Farm consists of 68.3 acres located in the Town of Cortlandt and 50 acres located in the Town of Yorktown; and is located at 500 Croton Avenue, Cortlandt Manor; and

WHEREAS the 4 acre solar farm is located on the Farm's property located in the Yorktown parcel also known as Section 46.08, Block 1, Lot 1 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS pursuant to SEQRA:

1. The action has been identified as a Type I action because Hemlock Hill Farm is located in the Westchester County Agricultural District and will disturb more than 2.5 acres for a non-agricultural purpose.
2. The Planning Board has been declared lead agency on <DATE>.
3. A negative declaration has been adopted on <DATE> on the basis of a Full EAF dated October 27, 2020.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A map, Sheet 1 of 3, titled "Site Plan Set prepared for Hemlock Hills Solar Farm – Existing Conditions," prepared by Badey & Watson Surveying & Engineering, P.C.,

and last revised March 31, 2021; and

2. A map, Sheet 2 of 3, titled “Site Plan Set prepared for Hemlock Hills Solar Farm – Site Plan and Erosion & Sediment Control Plan,” prepared by Badey & Watson Surveying & Engineering, P.C., and last revised March 31, 2021; and
3. A map, Sheet 3 of 3, titled “Site Plan Set prepared for Hemlock Hills Solar Farm – Details & Notes,” prepared by Badey & Watson Surveying & Engineering, P.C., and last revised March 31, 2021; and

Additional Documents

4. A Stormwater Pollution Prevention Plan, prepared by Badey & Watson Surveying & Engineering, P.C., dated February 8, 2021; and
5. A decommissioning plan titled “New York Community Solar Facility Decommissioning Plan,” prepared by OnForce Solar, and dated November 2020; and
6. A maintenance plan titled, “Schedule 2. Services,” outlining ongoing and scheduled maintenance; and
7. Specification sheets for the solar panels by Risen energy Co. Ltd.; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	12/02/2020
Advisory Committee on Open Space Conservation Board	11/22/2020
NYC DEP	10/20/2020, 02/19/2021
Town of Cortlandt	12/15/2020
Westchester County Planning Board	03/12/2021
Westchester Land Trust	02/25/2021, 03/17/2021
	12/21/2021

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application by Zoom video conference on December 21, 2020; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and

reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing and closing on March 22, 2021 at Town Hall in Yorktown Heights, New York;

RESOLVED the Planning Board finds the proposed site plan meets all the requirements and special use permit standards set forth in Section 300-81.4 Solar power generation systems and facilities; and

BE IT THEREFORE NOW RESOLVED that the application of 174 Global Power for the approval of a site plan and special use permit for a large-scale solar power generation system with submitted plans titled "Site Plan Set prepared for Hemlock Hills Solar Farm," prepared by Badey & Watson Surveying & Engineering, P.C., and last revised March 31, 2021, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. _____
2. _____

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the Planning Board.
2. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

Site Plan Application	\$5,449.00
ABACA Review	\$ 250.00

3. Submission of inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements:

4. Obtain permits and satisfy any conditions required by the Town of Cortlandt to install the solar array.
5. Applicant must obtain all necessary permits from outside agencies.

BE IT FURTHER RESOLVED, that in accordance with Chapter 178 and Town Code Chapter 248, the application of 174 Power Global for the approval of a Wetland Permit and Stormwater Pollution Prevention Plan **#WP-FSWPP-000-00** is approved subject to the conditions listed therein; and

RESOLVED, Permit **#WP-FSWPP-000-00** shall not be valid until it has been signed by the Chairman of this Board;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a “Qualified Inspector” as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by **<DATE>**, or a time extension has been granted by the Planning Board, this approval will be null and void.

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 46.08
Block 1
Lot # 1

RECEIVED
PLANNING DEPARTMENT
APR 12 2021
TOWN OF YORKTOWN

Approval Authority: TE [] PB [] TB []
Application #: _____
Date Received: _____
Date Issued: _____
Date Expires: _____
Fee Paid: \$ _____

Job Site Address: 500 Croton Avenue
City/State/Zip: Cortlandt Manor, NY
10567

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Margaret Smith McManus, P.E.
COMPANY: Badey & Watson, Surveying and Engineering
ADDRESS: 3063 Route 9
Cold Spring, NY ZIP 10516
PHONE: (845) 265-9217
EMAIL: mmcmanus@badey-watson.com

OWNER:

YOUR NAME: John Nicholas DeMaria Irrevocable Trust
COMPANY: _____
ADDRESS: 500 Croton Avenue, RFD 1
Cortlandt Manor, NY ZIP 10567
PHONE: (914) 844-5379
EMAIL: HHF500@gmail.com

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input checked="" type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order/Notice of Violation as per Town Code.

LETTER OF AUTHORIZATION

RE: Property of John N. DeMaria
Located at 500 Croton Avenue, Cortlandt Manor, NY 10567
T/V Yorktown Tax Map # 46.08-1-1

To Whom It May Concern:

I am the owner of the above mentioned property and authoriza the applicat, 174 Power Gobl to apply for Site Plan approval with the Town of Yorktown.

Signed: *John N DeMaria*
(Owner of Property)

John N DeMaria
(Print Name)

Mailing Address: 500 Croton Avenue
Cortlandt Manor

State: New York Zip 10567

Telephone: 914-879-5809

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

a. Lake/pond

<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>

Control area of lake/pond

b. Stream/River/Brook

Control area of stream/river/brook

c. Wetlands

Control area of wetlands

<input type="checkbox"/>
<input type="checkbox"/>
<input checked="" type="checkbox"/>

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Construction of solar farm array in a local wetland adjacent area. Driven pile construction will minimize disturbance.

2b. Stormwater/Excavation - Description of proposed activity:

Construction of solar farm array in a local wetland adjacent area. Driven pile construction will minimize disturbance.

Level spreaders / velocity dissipaters will be installed to minimize possibility of constricted flow.

3. Tree Removal:

Amount of trees and/or stumps to be removed: 1

Sizes; approximate DBH: 30"

Species of trees to be removed (i.e. Birch, Spruce - if known): Hickory

Reason for removal: remove shade from solar panels

Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: To be determined

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, _____ hereby authorize _____ to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: _____ Date: _____

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Margaret McManus

PRINT NAME

SIGNATURE OF APPLICANT



4/12/2021

DATE

*Full Environmental Assessment Form
Part 1 - Project and Setting*

RECEIVED
PLANNING DEPARTMENT

APR 12 2021

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval. Funding, are subject to public review, and may be subject to further verification.

TOWN OF YORKTOWN

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Hemlock Hill Solar Farm		
Project Location (describe, and attach a general location map): 500 Croton Avenue, Yorktown. Tax Id 46.08-1-1 (See attached driving directions, access via 500 Croton Avenue, Cortlandt)		
Brief Description of Proposed Action (include purpose or need): The applicant is proposing to install land based solar panels in an existing open pasture field. The panels will connect to the NY State power grid providing green energy to the people of New York.		
Name of Applicant/Sponsor: Badey & Watson Sureying & Engineering, P.C.		Telephone: 845-265-9217
		E-Mail: mmcmanus@badey-watson.com
Address: 3063 Route 9		
City/PO: Cold Spring	State: New York	Zip Code: 10516
Project Contact (if not same as sponsor; give name and title/role): Charles Feit of 174 Power Global NorthEast		Telephone: 347-590-5450
		E-Mail: charles.feit@174powerglobal.com
Address: 9 E 37th Street, 12th Floor		
City/PO: New York	State: New York	Zip Code: 10016
Property Owner (if not same as sponsor): John Nicholas DeMaria Irrevocable Trust		Telephone:
		E-Mail:
Address: 500 Croton Avenue, RFD 1		
City/PO: Cortlandt Manor	State: NY	Zip Code: 10567

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	special use permit and site plan approval	TBD
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	County Planning 239 referral	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):
 NYC Watershed Boundary _____

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
R1-160 One family residential district

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Yorktown Central School District

b. What police or other public protection forces serve the project site?
Town of Yorktown Police Department, Westchester Co Sheriff Dept, New York State Police

c. Which fire protection and emergency medical services serve the project site?
Yorktown Heights Fire Department

d. What parks serve the project site?
Hunterbrook Park, Franklin D Roosevelt State Park, Downing Park,

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Solar Power Generation System

b. a. Total acreage of the site of the proposed action? 50.0 acres
b. Total acreage to be physically disturbed? 4.0 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 118.6 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: 4 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes, ground mounted solar panels are proposed

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No

If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): construction in a local wetland adjacent area.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
 Construction in the wetland adjacent area is limited to driving piles into the ground to mount the solar panels on. The field is presently use as a pasture. After construction the solar panels will sit above the ground. Access paths will be required between the rows of panels but will consist of 6" of gravel the intended to be impervious.

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:
 • acres of aquatic vegetation proposed to be removed: _____
 • expected acreage of aquatic vegetation remaining after project completion: _____
 • purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
 • proposed method of plant removal: _____
 • if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____
 The areas under the solar panels will receive wetland or meadow wild flower mix to enhance the diversity of the ground cover

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ 4.0 acres (parcel size)
- Describe types of new point sources. no new point sources are anticipated
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
stormwater runoff will be directed to onsite surface water

- If to surface waters, identify receiving water bodies or wetlands: _____
 _____ on site tributaries that feed off site wetland
- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	_____ 9am to 5pm _____	• Monday - Friday:	_____ 24 hour a day _____
• Saturday:	_____ 9 am to 5pm _____	• Saturday:	_____ 24 hour a day _____
• Sunday:	_____ none _____	• Sunday:	_____ 24 hour a day _____
• Holidays:	_____ none _____	• Holidays:	_____ 24 hour a day _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): Park land

ii. If mix of uses, generally describe:

The project site is a working farm the surrounding parcels are generally single family residential and the east property line abuts a park.

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.5	0.5	0
• Forested	28.4	28.4	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	17.7	13.7	-4.0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	3.2	3.2	3.2
• Non-vegetated (bare rock, earth or fill)	0.2	0.2	0.2
• Other Describe: <u>solar farm</u>	0.0	4.0	+4.0

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
 If Yes:
i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 2 feet

b. Are there bedrock outcroppings on the project site? Yes No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ n/a %

c. Predominant soil type(s) present on project site:

Paxton	_____	23 %
Ridgebury	_____	42 %
woodbridge	_____	35 %

d. What is the average depth to the water table on the project site? Average: _____ 1 feet

e. Drainage status of project site soils: Well Drained: _____ 23 % of site
 Moderately Well Drained: _____ 35 % of site
 Poorly Drained _____ 42 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 76 % of site
 10-15%: _____ 21 % of site
 15% or greater: _____ 3 % of site

g. Are there any unique geologic features on the project site? Yes No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, Federal Waters _____ Approximate Size 3.2 _____
- Wetland No. (if regulated by DEC) A-37 on adacent parcel _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
If Yes:
i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: deer _____ snakes and small reptiles, amphibians _____ small animals, fox, squirrels, etc _____ birds _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: i. Species and listing (endangered or threatened): _____ _____ Fence Lizard	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: WEST001	
b. Are agricultural lands consisting of highly productive soils present? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No
 If Yes:
 i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District
 ii. Name: _____
 iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No
 If Yes:
 i. Describe possible resource(s): _____
 ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No
 If Yes:
 i. Identify resource: _____
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____
 iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No
 If Yes:
 i. Identify the name of the river and its designation: _____
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

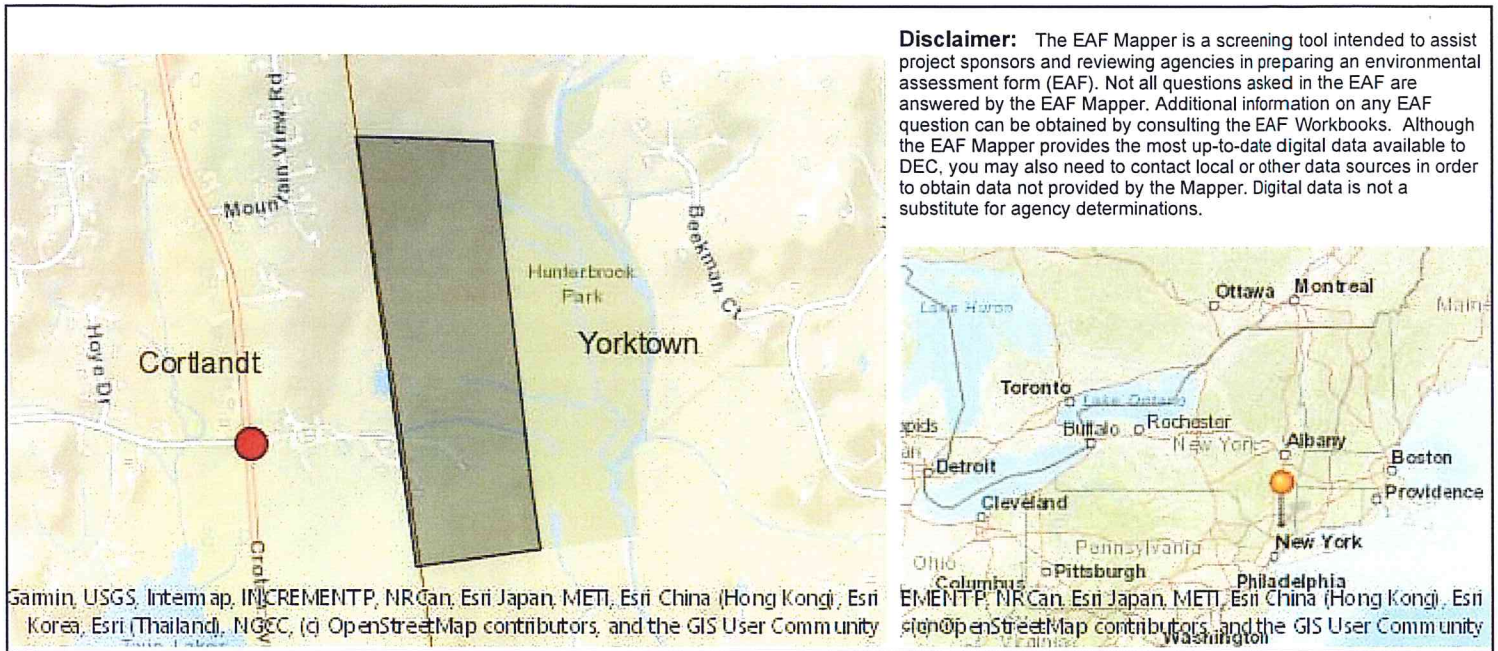
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Margaret McManus-Engineer for Applicant Date 10-27-2020

Signature Margaret McManus, PE Title SR. Project Engineer
BADEY & WATSON FOR APPLICANT



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No

E.2.b. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Fence Lizard
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	WEST001
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

RECEIVED
PLANNING DEPARTMENT

MAR 31 2021

TOWN OF YORKTOWN



March 31, 2021

Richard Fon, Chairman
Town of Yorktown Planning Board
Albert A. Capellini Community & Cultural Center
1974 Commerce Street
(Top Floor, Room 222)
Yorktown Heights, NY 10598

RE: 174 Power Global, Inc.
Solar Farm at Hemlock Hills Farm
Pre-Application Sketch Plan
Yorktown (T) (Tax ID 46.08-1-1)
Cortlandt (T) (Tax ID 45.12-1-1)

Dear Chairman Fon and Board members:

Enclosed are five (5) updated plans the Solar Farm at Hemlock Hills Farm. The following changes have been made to the plans to address comments from board and suggested changes from the letter by Westchester County Department of Planning from March 17, 2021.

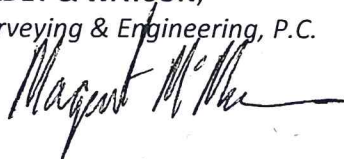
1. We have realigned the level spreaders / velocity dissipaters to run with the contours, one row at the center of the array and another at the end of the array.
2. We have revised the Ernst seed mix to that suggested by the Westchester County Department of Planning

Please place this project on the next available agenda where we look forward to further discussion of the project and hope for an approval.

Yours truly,

BADEY & WATSON,
Surveying & Engineering, P.C.

by


Margaret Smith McManus
845.265.9217 x219

mmcmanus@badey-watson.com

cc: Charles Feit
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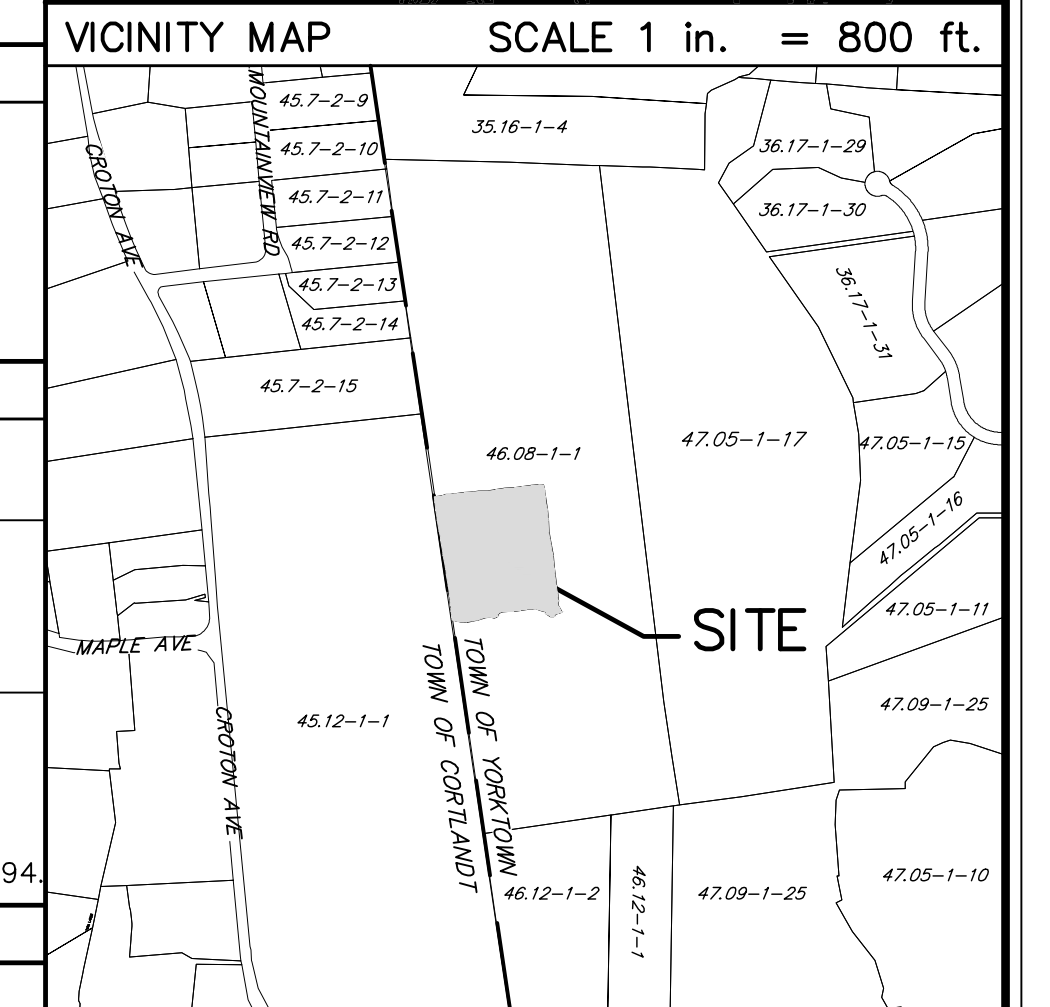
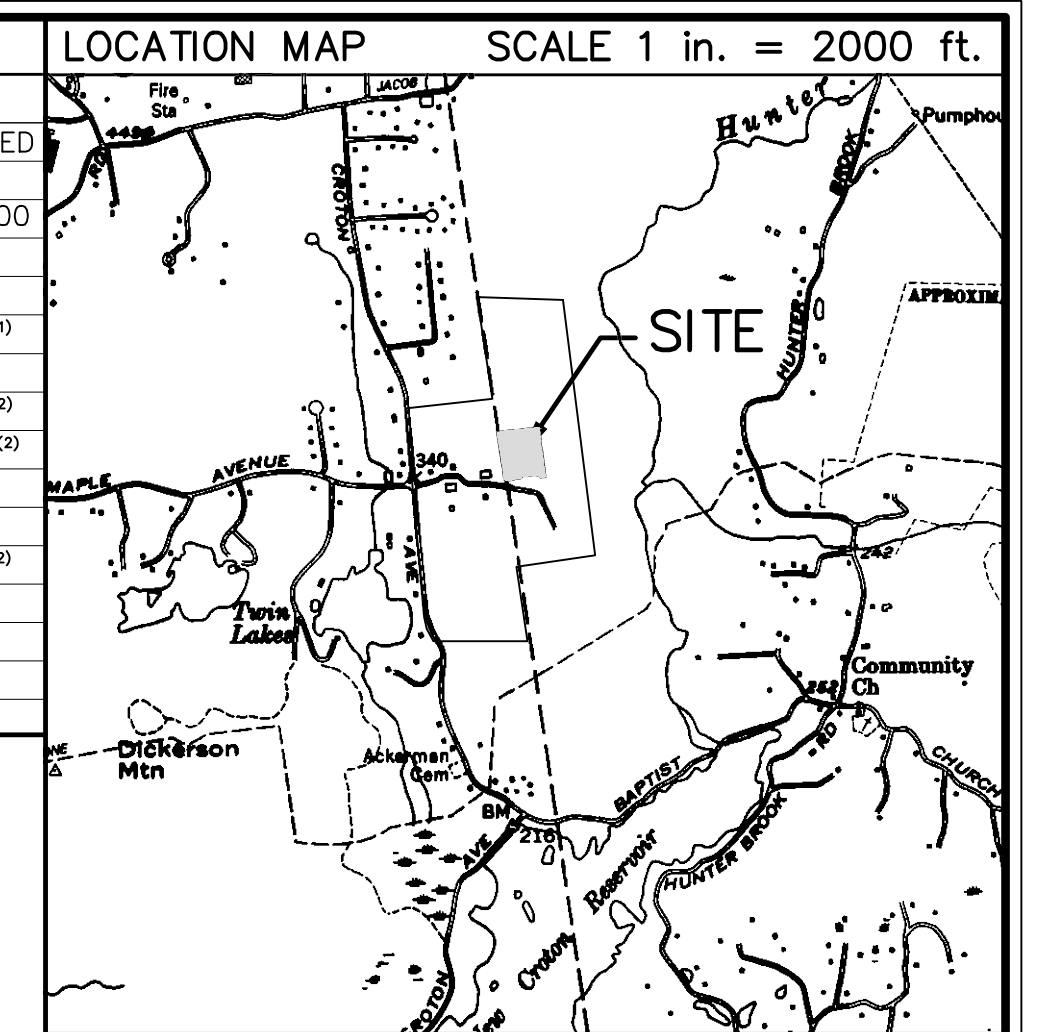


OVERALL EXISTING CONDITION PLAN
SCALE 1" = 200'

EXISTING CONDITION PLAN
SCALE 1" = 50'

ZONING DATA		
DISTRICT:	REQUIRED	PROPOSED
R1-160		
LOT AREA (SQ FT)	160,000	2,178,000
LOT WIDTH AT MAIN BUILDING (FT)	200	>200
LOT DEPTH (FT)	200	798
FRONT YARD SETBACK (FT)	75	157 ⁽¹⁾
SIDE YARD SETBACK		
MINIMUM EITHER SIDE	30	884 ⁽²⁾
COMBINED	80	2,270 ⁽²⁾
REAR YARD (FT)		
MAIN BUILDING	75	527
ACCESSORY BUILDING	10	385 ⁽²⁾
ROAD FRONTAGE (FT)	200	3270
LOT COVERAGE MAXIMUM	80.0%	8.2%
MAXIMUM HEIGHT OF GROUND MOUNTED ARRAY UNITS	15	<15

⁽¹⁾ TO MAIN BUILDING IN CORTLANDT FROM CROTON AVE. YORKTOWN PARCEL DOES NOT FRONT ON A ROAD
⁽²⁾ TO SOLAR ARRAY



SLOPE ANALYSIS LEGEND		
[White Box]	EXISTING SLOPES OF 0% TO 20%	
[Yellow Box]	EXISTING SLOPES OF 20% TO 35%	
[Orange Box]	EXISTING SLOPES OF 35% AND GREATER	

SOILS LEGEND		
MAP SYMBOL	HYDROLOGIC GROUP	SOIL NAME
RdA	C	RIDGEBURY loam, 0-3% Slopes
RdB	C	RIDGEBURY loam, 3-8% Slopes
WdB	C	WOODBRIIDGE loam, 3-8% Slopes

— SOIL DELINEATION (BOUNDARY) LINES
SOILS CLASSIFICATIONS AND DELINEATED LINES HAVE BEEN DERIVED FROM U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE "SOIL SURVEY OF PUTNAM & WESTCHESTER COUNTIES, NEW YORK" ISSUED SEPTEMBER 1994.

LEGEND	
○	Pole
—	Retaining Wall
—	Wire
△	Evergreen Tree
○	Deciduous Tree
○	Bush
○	Hedges
○	Bushes
—	Existing Trestle
○	Lamp (Single)
○	Lamp (Double)
○	Post
○	Sign
—	Underground Pipe
—	Contour Line
—	Spotgrade
—	Corrugated Metal Pipe
—	Corrugated Plastic Pipe
—	Guy
○	Post
—	Reinforced Concrete Pipe
—	Top/Bottom of Curb
—	Wire
—	Existing Stone Wall

SITE DATA	
TAX MAP NUMBER	
SECTION:	46.08
BLOCK:	01
LOT:	01

REVISIONS	
DATE	DESCRIPTION
11/12/2020	ORIGINAL DRAWING
02/08/2021	ADDRESS COMMENTS
03/31/2021	ADDRESS COMMENTS

PROJECT LOCATION	
500 CROTON AVENUE TOWN OF YORKTOWN COUNTY OF WESTCHESTER STATE OF NEW YORK	
APPLICANT	
174 POWER GLOBAL NORTHEAST 9 EAST 37TH STREET 12TH FLOOR NEW YORK, NY 10016	
PROJECT DESCRIPTION	
SPECIAL USE PERMIT FOR LARGE SCALE SOLAR POWER GENERATION SYSTEM	

SITE PLAN SET	
PREPARED FOR	
HEMLOCK HILLS SOLAR FARM	
by	
174 POWER GLOBAL	
EXISTING CONDITIONS	
SCALE : AS NOTED	

PRINTED
March 31, 2021
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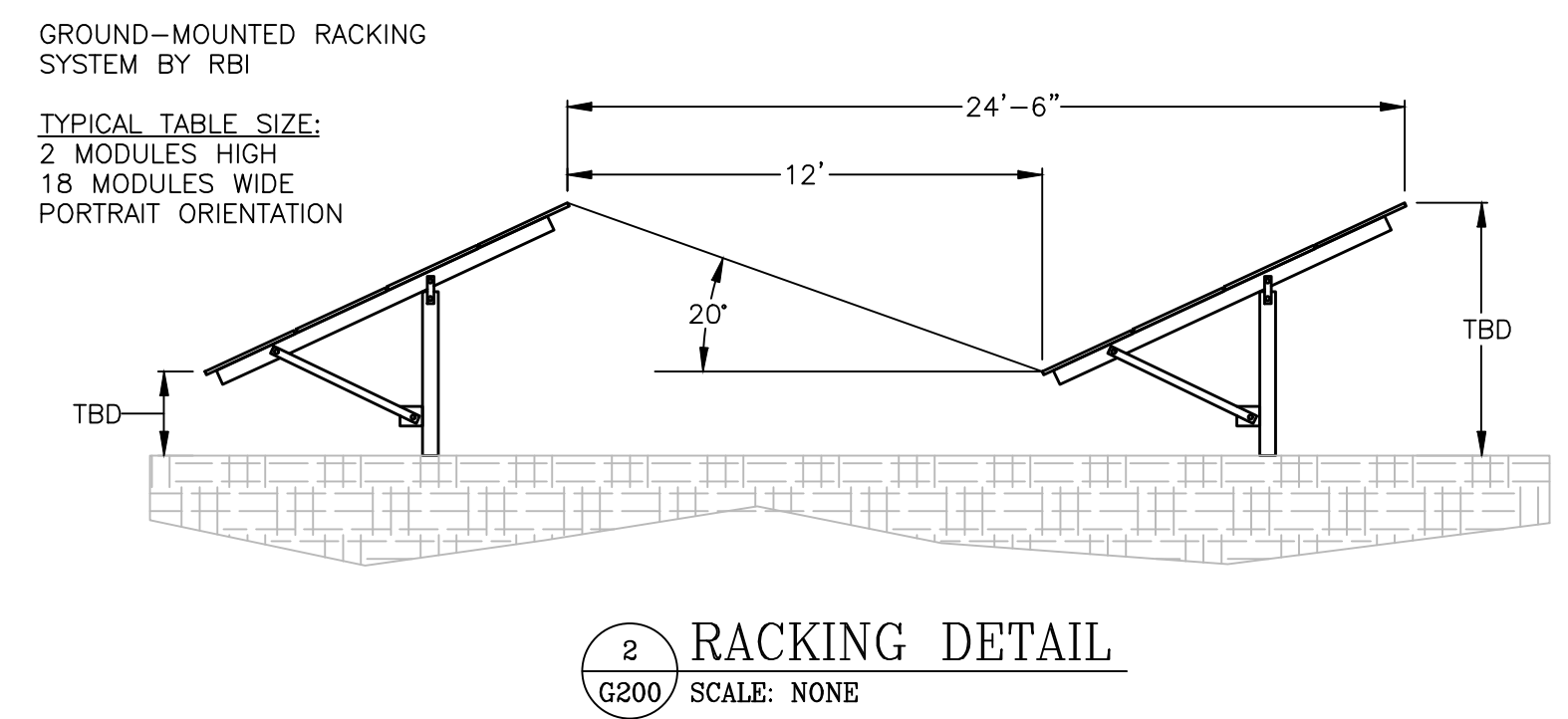
BADEY & WATSON
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3063 Route 9
Cold Spring, NY 10516
www.Badey-Watson.com
845.265.9317
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SHEET 1 OF 3

- NOTES**
- PROPERTY BOUNDARY SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "SURVEY OF PROPERTY HEMLOCK HILL FARM..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED OCTOBER 27, 2008, COMPLETED DECEMBER 12, 2008.
 - TOPOGRAPHIC DATA SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR 174 POWER GLOBAL..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED MAY 26, 2020, COMPLETED JUNE 05, 2020.
 - VERTICAL DATUM HEREON IS NAVD 1988.
 - WETLAND FLAGGING DELINEATED BY STEVE MARINO, TIM MILLER ASSOCIATES, ON APRIL 17, 2020 GPS LOCATED.

UNDERGROUND WARNING - NYS CODE RULE 753
NEW YORK STATE INDUSTRIAL CODE 53 REQUIRES EXCAVATORS TO CALL DIG SAFELY NEW YORK, INC. (800-962-7962) FOR A MEMBER-UTILITY LOCATION REQUEST AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS BEFORE ANY EXCAVATION OR DEMOLITION STARTS, REGARDLESS OF LOCATION. NOT ALL UTILITIES AND MUNICIPALITIES ARE MEMBERS OF DIG SAFELY NEW YORK, INC. AND NON-MEMBER UTILITY OPERATORS MUST BE CONTACTED DIRECTLY.

WARNING STAMP
ALTERATION OF THIS DOCUMENT, IN ANY WAY, BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK

DRAWING NAME: SP25245_003_M17 LAYOUT: EXISTING CONDITIONS W.O. NO. 25245 CHECKED BY: MSM SPELL CHECKED BY: MSM DRAWN BY: MSM T.M. : 46.08-01-01



LEGEND

- Pole
- Retaining Wall
- Wire
- Sign
- Evergreen Tree
- Deciduous Tree
- Bush
- Hedges
- Existing Tree Line
- Lamp (Single)
- Lamp (Double)
- Post
- Sign
- Underground Pipe
- Contour Line
- Spotgrade
- CMP Corrugated Metal Pipe
- CPP Corrugated Plastic Pipe
- Guy
- Post
- RCP Reinforced Concrete Pipe
- Top/Bottom of Curb
- Wires
- Existing Stone Wall
- WETLAND BUFFER
- WETLAND LIMITS
- 100' WETLAND BUFFER LINE
- WATER
- WETLAND AREA
- LEVEL SPREADER / VELOCITY DISSIPATER
- TREES TO BE REMOVED

NOTES

- PROPERTY BOUNDARY SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "SURVEY OF PROPERTY, HEMLOCK HILL FARM..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED OCTOBER 27, 2008, COMPLETED DECEMBER 12, 2008.
- TOPOGRAPHIC DATA SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR 174 POWER GLOBAL..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED MAY 26, 2020, COMPLETED JUNE 05, 2020.
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NEW YORK STATE INDUSTRIAL CODE 53 REQUIRES EXCAVATORS TO CALL DIG SAFELY NEW YORK, INC. (300-962-7982) FOR A MEMBER-UTILITY LOCATION REQUEST AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS BEFORE ANY EXCAVATION OR DEMOLITION STARTS, REGARDLESS OF LOCATION. NOT ALL UTILITIES AND MUNICIPALITIES ARE MEMBERS OF DIG SAFELY NEW YORK, INC. AND NON-MEMBER UTILITY OPERATORS MUST BE CONTACTED DIRECTLY.

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SLOPE ANALYSIS LEGEND

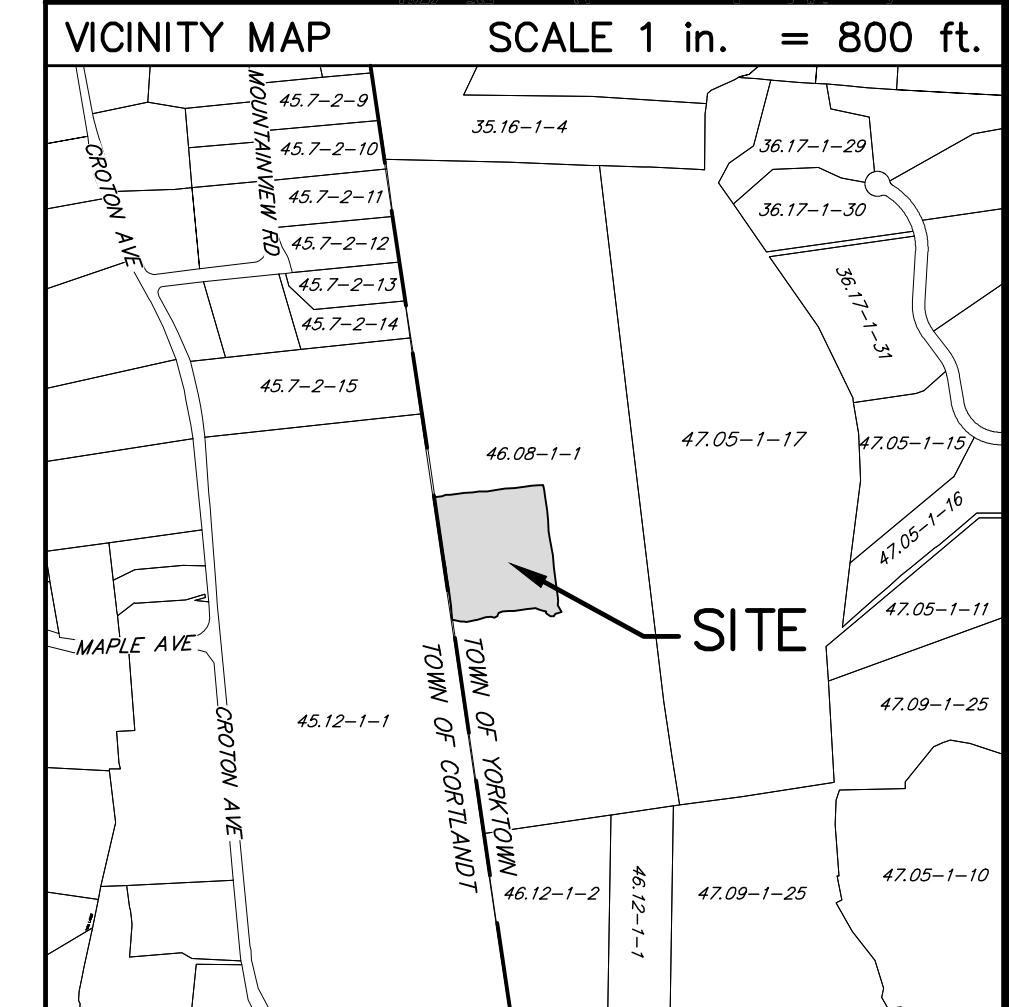
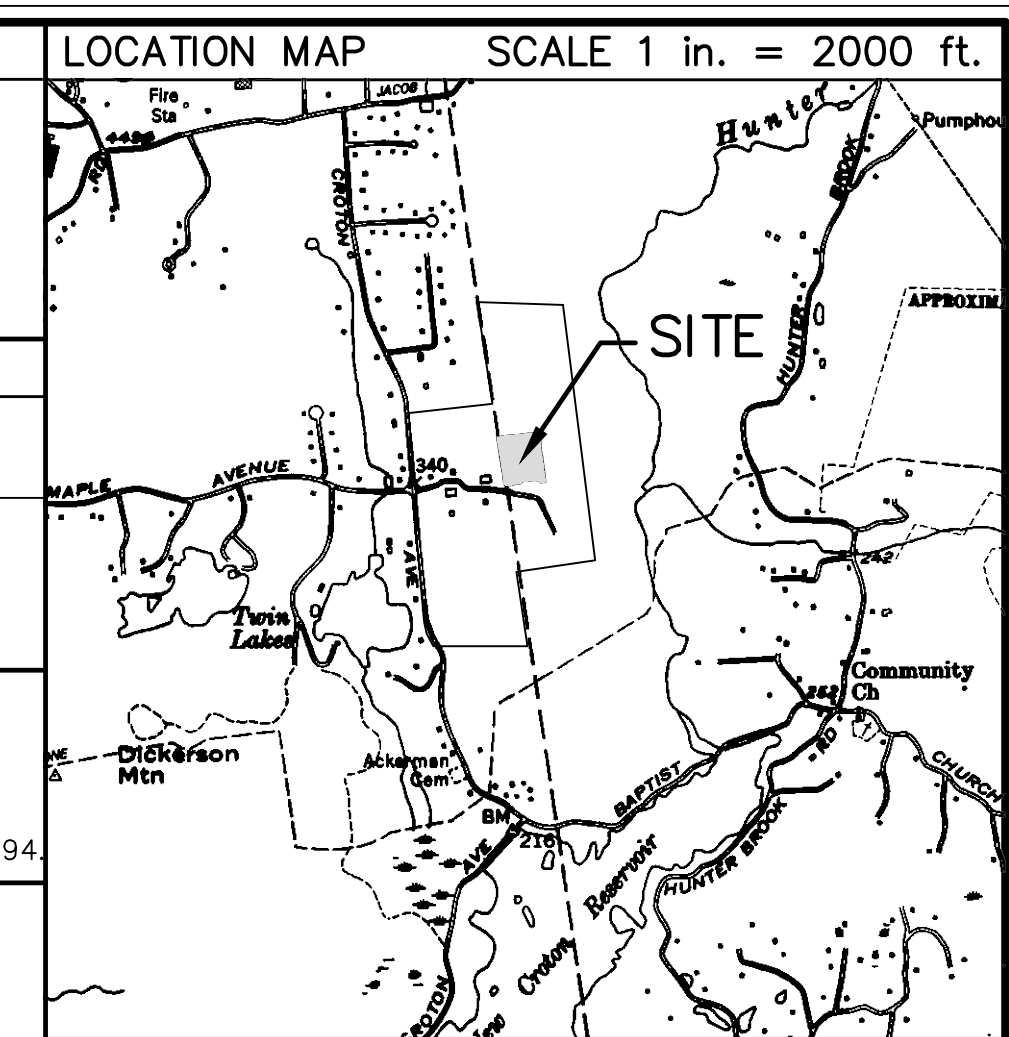
- EXISTING SLOPES OF 0% TO 20%
- EXISTING SLOPES OF 20% TO 35%
- EXISTING SLOPES OF 35% AND GREATER

SOILS LEGEND

MAP SYMBOL	HYDROLOGIC GROUP	SOIL NAME
RdA	C	RIDGEBURY loam, 0-3% Slopes
RdB	C	RIDGEBURY loam, 3-8% Slopes
WdB	C	WOODBIDGE loam, 3-8% Slopes

SOIL DELINEATION (BOUNDARY) LINES

SOILS CLASSIFICATIONS AND DELINEATED LINES HAVE BEEN DERIVED FROM U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE "SOIL SURVEY OF PUTNAM & WESTCHESTER COUNTIES, NEW YORK" ISSUED SEPTEMBER 1994.



SITE DATA

TAX MAP NUMBER

SECTION: 46.08
BLOCK: 01
LOT: 01

REVISIONS

DATE	DESCRIPTION
11/12/2020	ORIGINAL DRAWING
02/08/2021	ADDRESS COMMENTS
03/31/2021	ADDRESS COMMENTS

PROJECT LOCATION

500 CROTON AVENUE
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER
STATE OF NEW YORK

APPLICANT

174 POWER GLOBAL NORTHEAST
9 EAST 37TH STREET
12TH FLOOR
NEW YORK, NY 10016

PROJECT DESCRIPTION

SPECIAL USE PERMIT FOR LARGE SCALE SOLAR POWER GENERATION SYSTEM

SITE PLAN SET
PREPARED FOR
HEMLOCK HILLS SOLAR FARM
by
174 POWER GLOBAL
SITE PLAN AND EROSION & SEDIMENT CONTROL PLAN

SCALE: AS NOTED

PRINTED

March 31, 2021

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SHEET 2 OF 3



DRAWING NAME: SP25245_003_M17 LAYOUT: SITE PLAN W.O. NO. 25245 CHECKED BY: MSM SPELL CHECKED BY: MSM DRAWN BY: MSM T.M. : 46.08-01-01

SITE PLAN AND EROSION & SEDIMENT CONTROL PLAN

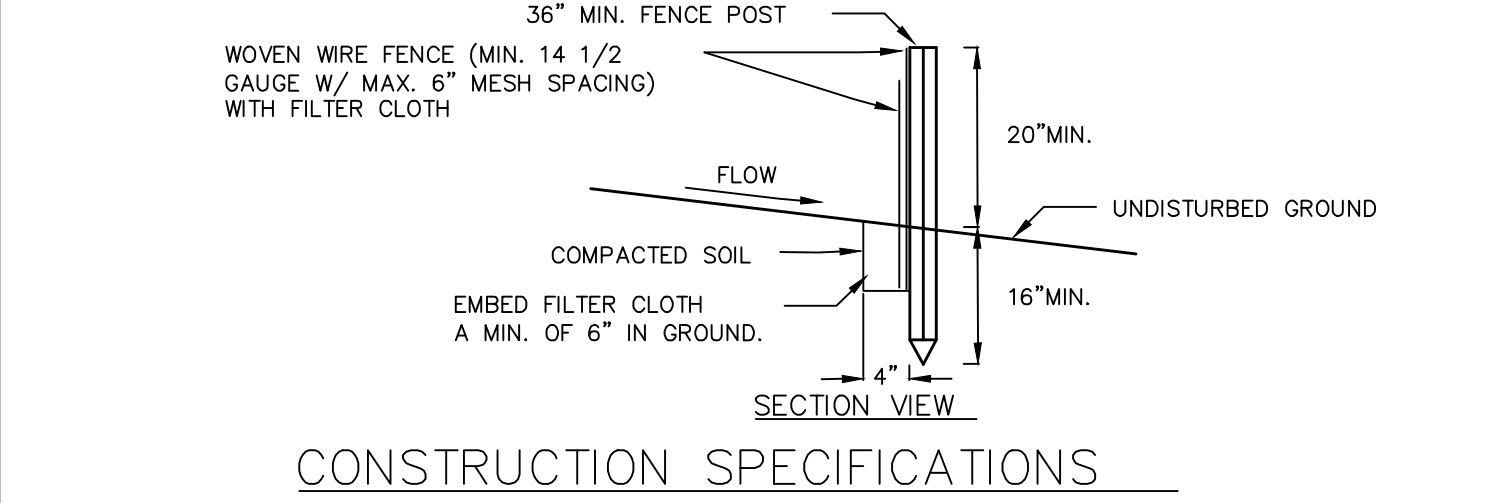
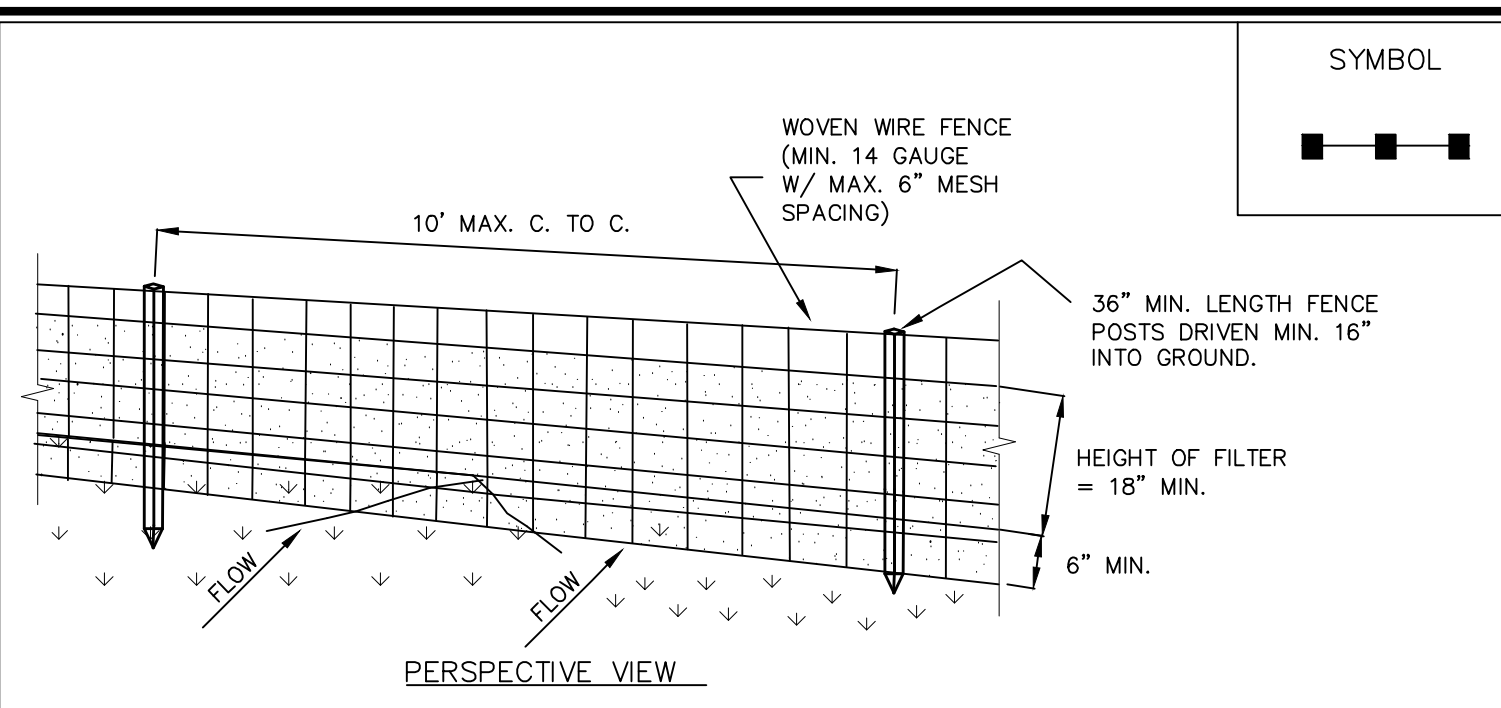
SCALE 1" = 50'

COVERAGE UNDER THE GENERAL STORMWATER PERMIT

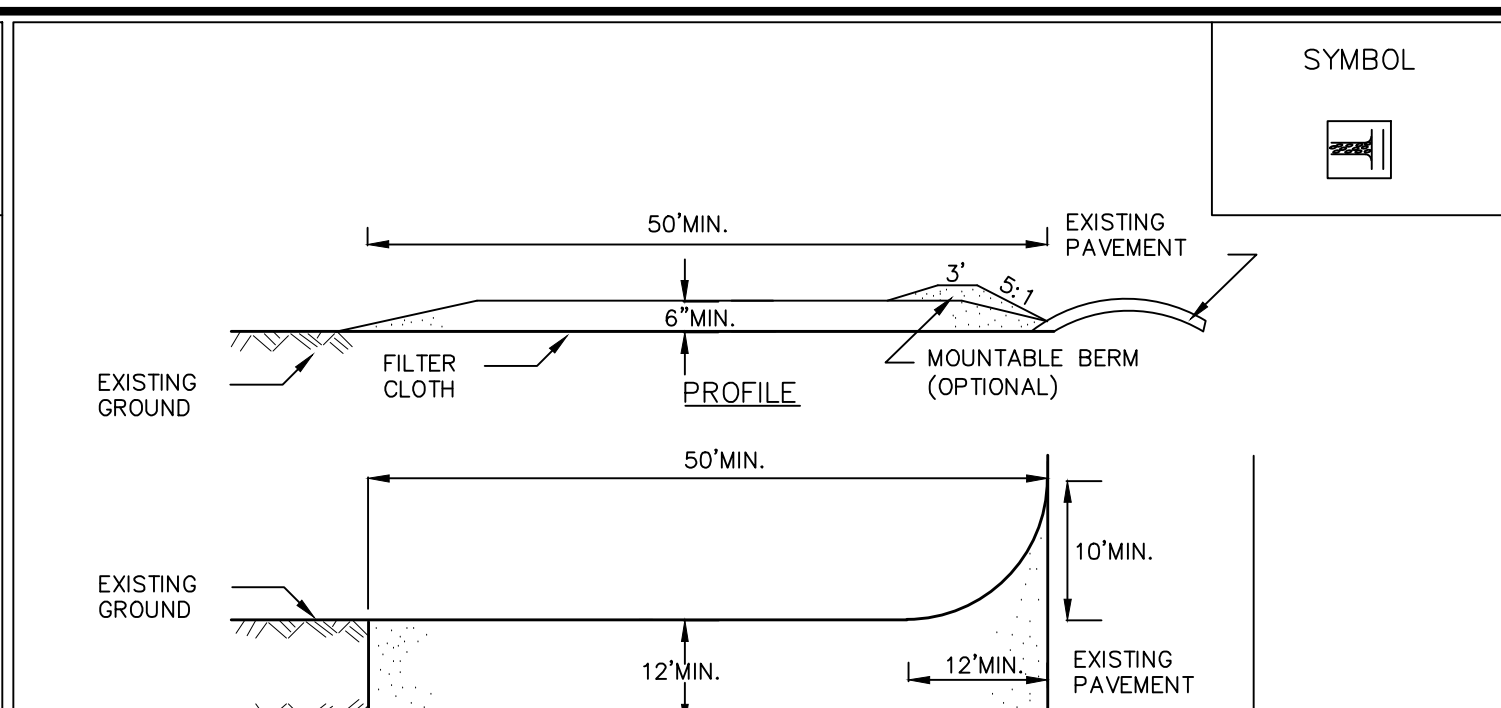
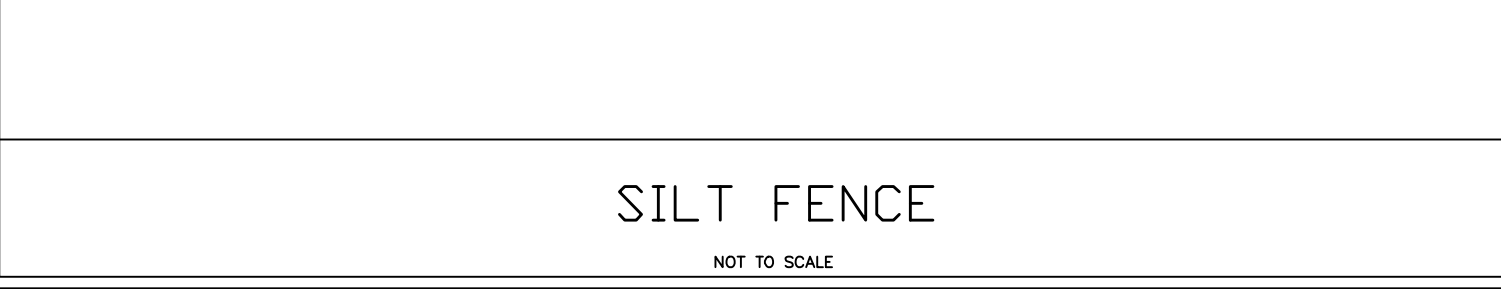
- BASED ON THE PROPOSED AREA OF SOIL DISTURBANCE SHOWN HEREON, THIS PROJECT REQUIRES COVERAGE UNDER THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S S.P.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (PERMIT NO. GP-0-20-001).
- A NOTICE OF INTENT (NOI) MUST BE FILED WITH THE NYSDEC AT THE ADDRESS ON THE NOI FORM TEN (10) BUSINESS DAYS BEFORE CONSTRUCTION ACTIVITIES TAKE PLACE, WHICH INCLUDES ANY CLEARING, GRADING, EXCAVATION, FILLING, DEMOLITION OR STOCKPILING ACTIVITIES THAT RESULT IN SOIL DISTURBANCE.
- THIS PLAN, OR SET OF PLANS, SHALL CONSTITUTE AS THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND HAS BEEN PREPARED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE PERMIT. IN THE CASE OF PROJECTS WHICH REQUIRE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES (STORMWATER MITIGATION), THIS PLAN OR SET OF PLANS, MAY BE ACCOMPANIED BY A REPORT AND/OR OTHER DOCUMENTATION.
- THE OWNER MUST HAVE THE SWPPP REVIEWED AND APPROVED BY THE REGULATED TRADITIONAL LAND USE CONTROL MS4 (TOWN), PRIOR TO SUBMITTING THE NOI TO THE NYSDEC.
- THE OWNER SHALL ALSO HAVE THE TOWN SIGN THE "MS4 ACCEPTANCE FORM", WHICH IS SUBMITTED WITH THE NOI.
- THE OWNER SHALL MAINTAIN A COPY OF THE PERMIT, NOI, NOI ACKNOWLEDGMENT LETTER, SWPPP, MS4 ACCEPTANCE FORM, INSPECTION REPORTS, AND ALL DOCUMENTATION NECESSARY TO DEMONSTRATE ELIGIBILITY WITH THE PERMIT AT THE CONSTRUCTION SITE UNTIL ALL DISTURBED AREAS HAVE ACHIEVED FINAL STABILIZATION AND THE NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE NYSDEC. THE DOCUMENTS MUST BE MAINTAINED IN A SECURE LOCATION ON-SITE, AND MUST BE ACCESSIBLE DURING NORMAL BUSINESS HOURS TO AN INDIVIDUAL PERFORMING A COMPLIANCE INSPECTION.
- THE NOT CANNOT BE SUBMITTED UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY THE OWNER MUST IDENTIFY THE CONTRACTOR(S) AND/OR SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR INSTALLING, CONSTRUCTING, REPAIRING, REPLACING, INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PRACTICES INCLUDED IN THE SWPPP, AND IN THE CASE OF PROJECTS WHICH REQUIRE STORMWATER MITIGATION, THE CONTRACTOR(S) AND/OR SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR CONSTRUCTION OF THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. EACH CONTRACTOR SHALL BE KNOWN AS THE TRAINED CONTRACTOR.
- THE TRAINED CONTRACTOR(S) MUST SIGN A CERTIFICATION STATEMENT(S) FOR THE STATE, AND IN MOST CASES THE COUNTY, MUST HAVE A CURRENT 4-HOUR NYSDEC ENDORSED TRAINING COURSE, AND MUST BE ON-SITE ANY TIME THERE IS SOIL DISTURBING ACTIVITIES TAKING PLACE.
- THE OWNER MUST ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES, AND IN THE CASE OF PROJECTS WHICH REQUIRE STORMWATER MITIGATION, THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES, ARE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE PERMIT.
- THE OWNER SHALL HAVE THE TRAINED CONTRACTOR INSPECT THE EROSION AND SEDIMENT CONTROLS, AND IN THE CASE OF PROJECTS WITH STORMWATER MITIGATION, THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES, WITHIN THE ACTIVE WORK AREA DAILY TO ENSURE THAT THEY ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITIONS AT ALL TIMES. THE SCOPE OF THE PROJECT MAY ALSO REQUIRE THE OWNER TO HAVE A QUALIFIED INSPECTOR CONDUCT SITE INSPECTIONS AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. GENERALLY, THE QUALIFIED INSPECTOR IS THE PREPARER OF THE SWPPP.
- ONCE THE SITE HAS ACHIEVED FINAL STABILIZATION, AND IN THE CASE OF PROJECTS THAT REQUIRE STORMWATER MITIGATION, ALL POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES HAVE BEEN CONSTRUCTED, COVERAGE UNDER THE PERMIT MUST BE TERMINATED.
- IF PART OF THE SWPPP, THE OWNER MUST IDENTIFY THE ENTITY, AND HAVE A MECHANISM IN-PLACE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES(S).
- THESE NOTES ARE NOT COMPREHENSIVE OF THE REQUIREMENTS OF THE SUBJECT PERMIT.

GOOD HOUSEKEEPING

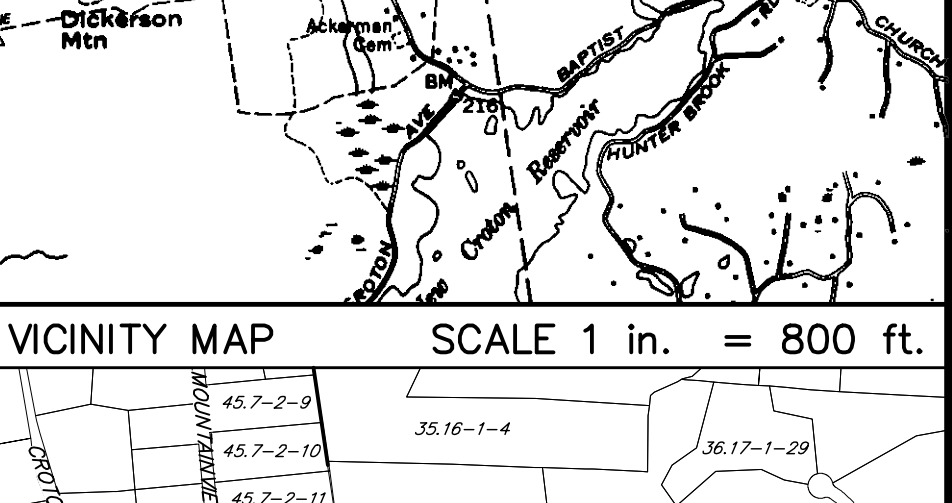
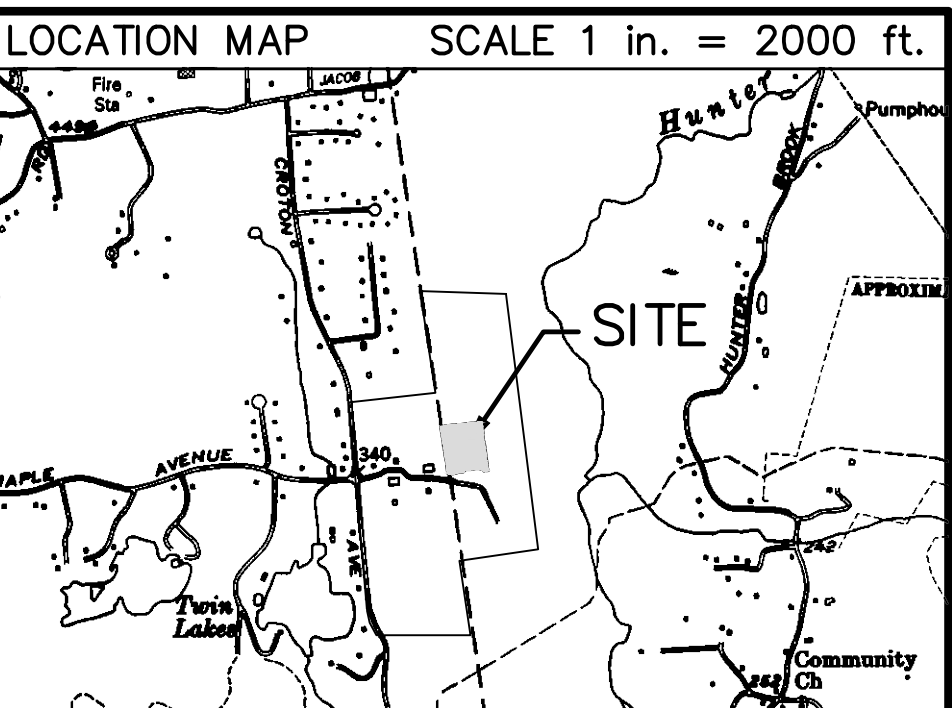
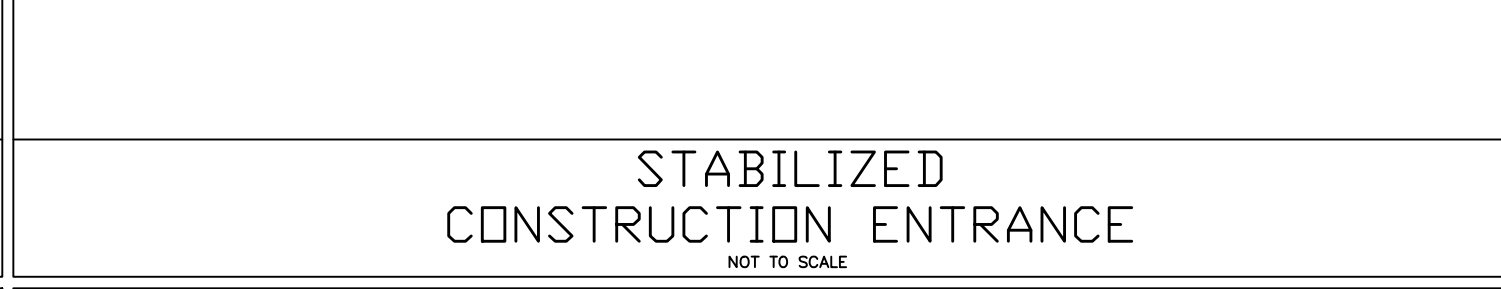
- ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER SUPPLIED BY A WASTE HANDLER THAT IS A LICENSED SOLID WASTE MANAGEMENT COMPANY. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER(S). THE DUMPSTER SHALL BE EMPTIED ON AN AS-NEEDED BASIS AND THE TRASH WILL BE HAULED TO AN APPROVED LANDFILL. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL.
- ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF TWO TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
- GOOD HOUSEKEEPING AND SPILL CONTROL PRACTICES WILL BE FOLLOWED DURING CONSTRUCTION TO MINIMIZE STORMWATER CONTAMINATION FROM PETROLEUM PRODUCTS, FERTILIZERS, PAINTS, AND CONCRETE. TO PREVENT STORMWATER CONTAMINATION FROM THE SITE, GOOD HOUSEKEEPING PRACTICES ARE LISTED BELOW.**
 - FERTILIZERS WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER, UNLESS SPECIFIED OTHERWISE BY THE ENGINEER AND WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER.
 - FERTILIZERS WILL BE STORED IN A COVERED SHED AND PARTIALLY USED BAGS WILL BE TRANSFERRED TO A SEALABLE BIN TO AVOID SPILLS.
 - A COVERED DUMPSTER WILL BE USED FOR ALL WASTE MATERIALS.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEAN-UP WILL BE KEPT IN THE TEMPORARY MATERIAL STORAGE TRAILER ON-SITE. EQUIPMENT WILL INCLUDE BUT NOT BE LIMITED TO: BROOMS, DUST PANS, MOPS, RAGS, GOGGLES, FAST ABSORBENT MATERIAL, SAND, SAW DUST, AND PLASTIC AND METAL TRASH CONTAINERS.
 - CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.
 - WHEN TESTING/CLEANING OF WATER SUPPLY LINES, THE DISCHARGE FROM THE TESTED PIPE WILL BE COLLECTED AND CONVEYED TO A COMPLETED STORMWATER COLLECTION SYSTEM.
 - STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENT.
 - DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/RAIL.
 - ALL RUTS CAUSED BY EQUIPMENT USED FOR SITE CLEARING AND GRADING WILL BE ELIMINATED BY RE-GRADING.
- VEHICLE MAINTENANCE - ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. ANY VEHICLE LEAKING FUEL OR HYDRAULIC FLUID WILL BE IMMEDIATELY SCHEDULED FOR REPAIRS AND USE WILL BE DISCONTINUED UNTIL REPAIRS ARE MADE.**
- SPILL PREVENTION AND RESPONSE - THE FOLLOWING CONTROLS AND PROCEDURES SHALL BE USED TO MINIMIZE THE POTENTIAL FOR LEAKS, SPILLS AND OTHER RELEASES.**
 - PERSONNEL WILL BE MADE AWARE OF EMERGENCY TELEPHONE NUMBERS.
 - THE OWNER/OPERATOR AND OR CONTRACTOR SHALL IMMEDIATELY CONTACT NYSDEC IN THE EVENT OF A SPILL, AND SHALL TAKE ALL APPROPRIATE STEPS TO CONTAIN THE SPILL.
 - STABILIZED CONSTRUCTION OF A DIKE AROUND THE SPILL AND PLACING ABSORBENT MATERIAL OVER THIS SPILL.
 - THE OWNER/OPERATOR AND OR CONTRACTOR SHALL INSTRUCT PERSONNEL THAT SPILLAGE OF FUELS, OILS, AND SIMILAR CHEMICALS MUST BE AVOIDED.
 - OILS AND CHEMICALS WILL BE STORED IN APPROPRIATE AND TIGHTLY CAPPED CONTAINERS. CONTAINERS SHALL NOT BE DISPOSED OF ON THE PROJECT SITE.
 - OILS, CHEMICALS, MATERIAL, EQUIPMENT, AND SANITARY FACILITIES WILL BE STORED/LOCATED AWAY FROM TREES AND AT LEAST 100 FEET FROM STREAMS, WELLS, WET AREAS, AND OTHER ENVIRONMENTALLY SENSITIVE SITES.
 - DISPOSE OF CHEMICAL CONTAINERS AND SURPLUS CHEMICALS OFF THE PROJECT SITE IN ACCORDANCE WITH LABEL DIRECTIONS AND LEGAL REQUIREMENTS.
 - USE TIGHT CONNECTIONS AND HOSES WITH APPROPRIATE NOZZLES IN ALL OPERATIONS INVOLVING FUELS.
 - USE FUNNELS WHEN POURING FUELS, LUBRICATING MATERIALS OR CHEMICALS.
 - REFUELING OF CONSTRUCTION EQUIPMENT WILL TAKE PLACE IN PARKING AREAS TO PROVIDE RAPID RESPONSE TO EMERGENCY SITUATIONS.
 - PETROLEUM SPILLS AND MOST HAZARDOUS MATERIALS SPILLS MUST BE REPORTED TO THE NYS DEC HOTLINE (1-800-457-7362), UNLESS THEY MEET ALL OF THE FOLLOWING CRITERIA:
 - THE SPILL IS KNOWN TO BE LESS THAN 5 GALLONS; AND
 - THE SPILL IS CONTAINED AND UNDER THE CONTROL OF THE SPILLER; AND
 - THE SPILL HAS NOT AND WILL NOT REACH THE STATE WATER OR ANY LAND; AND
 - THE SPILL IS CLEANED UP WITHIN 2 HOURS OF DISCOVERY.
 - SPILLS SHALL ALSO BE REPORTED TO THE LOCAL AUTHORITIES, IF REQUIRED. FOR SPILLS NOT DEEMED REPORTABLE, THE FACTS CONCERNING THE INCIDENT SHALL BE DOCUMENTED BY THE SPILLER, AND A RECORD MAINTAINED FOR ONE YEAR.



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1" OR 1 1/2" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILUNA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPIZZLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



SITE DATA

TAX MAP NUMBER	
SECTION: 46.08	LOT: 01
REVISIONS	
DATE	DESCRIPTION
11/12/2020	ORIGINAL DRAWING
02/08/2021	ADDRESS COMMENTS
03/31/2021	ADDRESS COMMENTS

EROSION & SEDIMENT CONTROL NOTES

- PRIOR TO THE START OF CONSTRUCTION ACTIVITY, THE TEMPORARY STRUCTURAL SEDIMENT CONTROLS (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, ETC.) FOR THE ANTICIPATED WORK MUST BE INSTALLED.
- THE LIMITS OF LAND DISTURBANCE MUST BE PHYSICALLY MARKED ON-SITE WITH ORANGE CONSTRUCTION FENCE. SILT FENCE MUST BE INSTALLED ON-CONTOUR AND SHALL NOT BE USED TO DELINEATE THE LIMIT OF PROPERTY LINE.
- MASS CLEARINGS AND GRADING MUST BE AVOIDED. CLEAR AND GRUB ONLY WHAT IS REQUIRED FOR IMMEDIATE CONSTRUCTION ACTIVITY.
- EXPOSED SOILS ANTICIPATED TO REMAIN IDLE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE IMMEDIATELY STABILIZED WITH TEMPORARY SEED AND MULCH.
- WHEREVER POSSIBLE, NATURAL VEGETATION IS TO BE PROTECTED BY LIMITING THE CLEARING AND GRUBBING OPERATION, AS WELL AS RESTRICTING CONSTRUCTION EQUIPMENT TO THE WORK AREA.
- WHERE FEASIBLE, LARGE TREES TO BE PRESERVED SHALL BE FENCED OFF SO THAT THE ROOT SYSTEM AND OVERHANGING BRANCHES ARE PROTECTED FROM CONSTRUCTION EQUIPMENT.
- OFF-SITE RUNOFF SHOULD BE DIVERTED FROM HIGHLY ERODIBLE SOILS AND STEEP SLOPES TO STABLE AREAS WITH TEMPORARY DIKES AND/OR SWALES.
- PERMANENT SEEDING SHOULD OPTIMALLY BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM SEPTEMBER TO OCTOBER 15. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER, PROVIDING AN ADEQUATE WATERING SCHEDULE IS MAINTAINED.
- DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS OTHERWISE FOUND TO BE IMPRACTICABLE, AN APPROPRIATE TEMPORARY MULCH SHALL BE APPLIED. TEMPORARY SEEDING WITH RYE CAN BE UTILIZED THROUGH NOVEMBER.
- ALL SLOPES STEEPER THAN 3H:1V AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS SHALL UPON COMPLETION BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES (RECP).
- MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL NOT BE DISTURBED.
- AREAS WHERE PERMANENT VEGETATION IS TO BE ESTABLISHED SHALL BE DRESSED WITH A MINIMUM OF 4 INCHES OF TOPSOIL. COMPACTED SUB-SOILS SHALL BE DISKED OR TILLED PRIOR TO PLACEMENT OF TOPSOIL. SURFACE SHALL BE RAKED SMOOTH, REMOVING STICKS, FOREIGN MATTER, AND STONES OVER 1" IN DIAMETER.
- TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20%. IT SHALL HAVE NOT LESS THAN 20% OF MATERIAL PASSING THE NO. 200 SIEVE, AND NOT MORE THAN 15% CLAY. IT SHALL BE RELATIVELY FREE OF STONES OVER 1-1/2" INCHES IN DIAMETER, TRASH, NOXIOUS WEEDS, AND SHALL HAVE LESS THAN 10% GRAVEL.
- SEEDING FOR TEMPORARY STABILIZATION OR IN PREPARATION OF WINTER SHUTDOWN SHALL BE APPLIED AT THE FOLLOWING RATE AND SCHEDULE: SPRING OR SUMMER OR EARLY FALL, USE RYEGRASS AT 30 LBS PER ACRE. LATE FALL OR EARLY WINTER, USE WINTER RYE AT 100 LBS PER ACRE.
- PERMANENT SEEDING FOR FINAL STABILIZATION SHOULD BE APPLIED EITHER FROM SPRING-THAW TO MID-MAY OR MID-AUGUST TO EARLY OCTOBER WITH A 65/20/15 MIX OF KENTUCKY BLUEGRASS/PERENNIAL RYEGRASS/FINE FESCUE AT 160 LBS. PER ACRE. IF SEEDING IS DONE BETWEEN MID-MAY AND MID-AUGUST, IRRIGATION MAY BE REQUIRED TO ACHIEVE FINAL STABILIZATION.
- HAY OR STRAW MULCH SHALL BE APPLIED TO ALL SEEDED AREAS, TEMPORARY OR PERMANENT, AT A RATE OF 2 TONS PER ACRE (OR 3 BALES PER 1,000 SQ FT).
- WHEN SPECIFIED, ROLLED EROSION CONTROL BLANKET SHALL BE STRAW BIODEGRADABLE DOUBLE-NET BLANKET (EX-S2 NN) AS MANUFACTURED BY CARTRIDGE MILLS, SHALL BE PROVIDED ON ALL FINAL GRADES STEEPER THAN 1 VERTICAL OVER 3 HORIZONTAL (UP TO 2H:1V).
- WHEN SPECIFIED, INLET PROTECTION SHALL BE INSTALLED CONCURRENTLY WITH CATCH BASIN INSTALLATION. IN THE SAME MANNER, ROCK OUTLET PROTECTION SHALL BE INSTALLED CONCURRENTLY WITH PIPE DISCHARGE INSTALLATION.
- EROSION AND SEDIMENT CONTROL PRACTICES WITHIN THE ACTIVE WORK AREA SHALL BE INSPECTED DAILY TO ENSURE THAT THEY ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CLEARED, THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS FROM THE DATE THE CURRENT SOIL DISTURBANCE ACTIVITY CEASED.
- DISCHARGES FROM DEWATERING ACTIVITIES, INCLUDING DISCHARGES FROM DEWATERING OF TRENCHES AND EXCAVATIONS, MUST BE MANAGED BY APPROPRIATE CONTROL MEASURES.
- STABILIZED CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED SO AS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE. SEDIMENT TRACKED ONTO PAVED RIGHTS-OF-WAY SHALL BE SWEEP CLEAN AT THE END OF EACH WORK DAY.
- SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT BECOMES 6" DEEP AT THE FABRIC. SILT FENCE SHALL BE REPLACED WHEN FABRIC BECOMES RIPPED OR FRADED.
- SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPPING DEVICES WHEN ACCOMMODATION REACHES 50% OF DESIGN CAPACITY. STONE SHALL BE CLEANED OR REPLACED WHEN SEDIMENT POOL NO LONGER DRAINS PROPERLY.

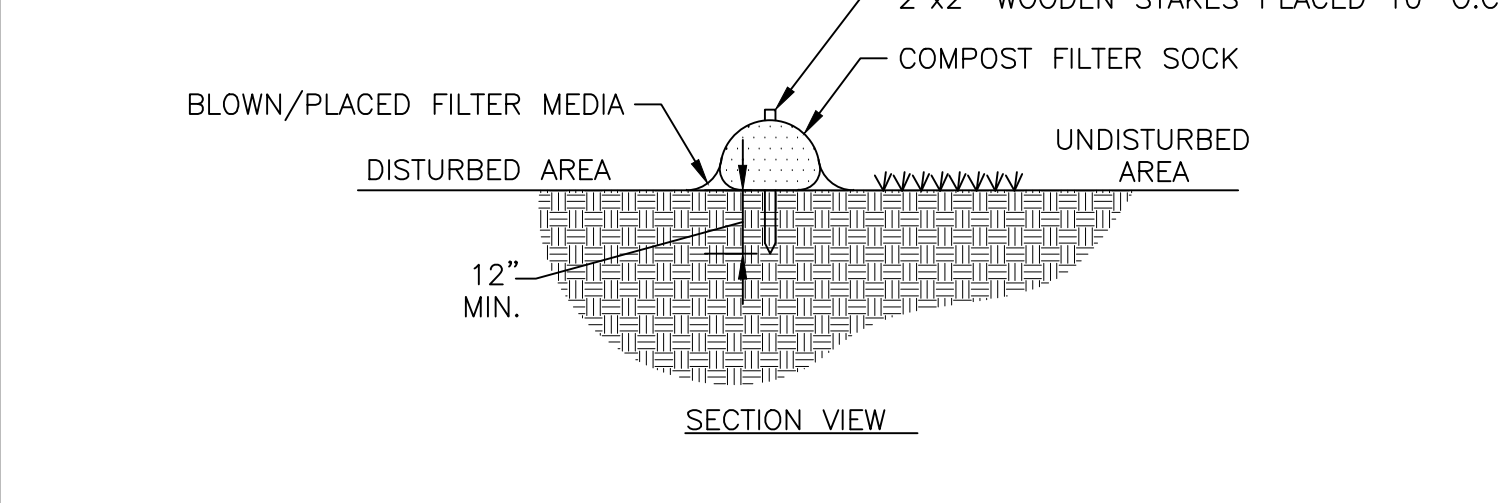
GENERAL LANDSCAPING NOTES

- ALL AREAS OUTSIDE THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN HEREON SHALL BE LEFT AS NATURAL TERRAIN, IF NOT DISTURBED BY FILLING, GRADING OR EXCAVATION.
- ALL LANDSCAPING MATERIALS PLACED WITHIN THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN HEREON SHALL BE OF A TYPE AND/OR SPECIES SUITABLE FOR THE LOCATION OF THE LOT IN TOWN, SUITABLE FOR THE SOIL CONDITIONS ON THE LOT, AND MAINTAINED IN ACCORDANCE WITH GOOD LANDSCAPING PRACTICE.
- LANDSCAPING WITHIN THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN HEREON SHALL BE ACCOMPLISHED THROUGH THE USE OF NATIVE PLANT MATERIALS.
- ALL LANDSCAPING PLACED WITHIN THE LIMIT OF DISTURBANCE AND WITHIN THE SCENIC PROTECTION OVERLAY DISTRICT SHOWN HEREON, INCLUDING GROWING MATERIALS, SHALL BE WELL MAINTAINED. FAILURE TO MAINTAIN HEALTHY LANDSCAPING ASSOCIATED WITH A SITE PLAN APPROVAL WILL BE A VIOLATION OF SAID APPROVAL.
- EXISTING NATIVE TREE STOCK EIGHT INCHES OR MORE IN DIAMETER AT BREAST HEIGHT SHALL BE PROTECTED AND PRESERVED TO THE EXTENT POSSIBLE.

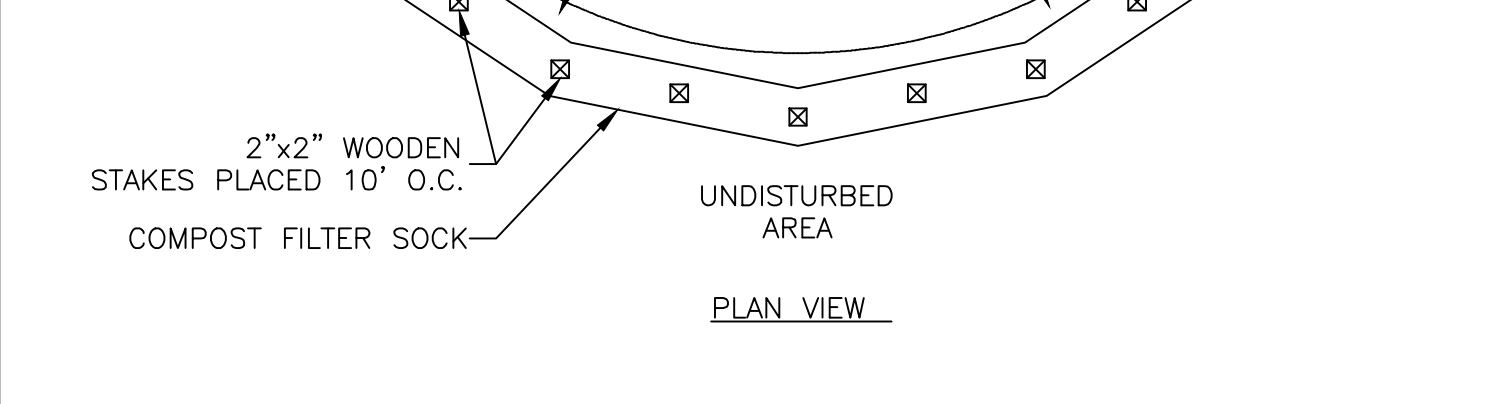
SEEDING NOTES

- A MINIMUM OF 6" OF TOPSOIL, TOPSOIL SHALL HAVE AT LEAST 6% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 20%. IT SHALL HAVE NOT LESS THAN 20% OF MATERIAL PASSING THE NO. 200 SIEVE, AND NOT MORE THAN 15% CLAY. IT SHALL BE RELATIVELY FREE OF STONES OVER 1-1/2" INCHES IN DIAMETER, TRASH, NOXIOUS WEEDS, AND SHALL HAVE LESS THAN 10% GRAVEL.
- PERMANENT SEEDING FOR FINAL STABILIZATION SHOULD BE APPLIED EITHER FROM SPRING-THAW TO MID-MAY OR MID-AUGUST TO EARLY OCTOBER WITH A 65/20/15 MIX OF KENTUCKY BLUEGRASS/PERENNIAL RYEGRASS/FINE FESCUE AT 160 LBS. PER ACRE. IF SEEDING IS DONE BETWEEN MID-MAY AND MID-AUGUST, IRRIGATION MAY BE REQUIRED TO ACHIEVE FINAL STABILIZATION.
- HAY OR STRAW MULCH SHALL BE APPLIED TO ALL SEEDED AREAS, TEMPORARY OR PERMANENT, AT A RATE OF 2 TONS PER ACRE (OR 3 BALES PER 1,000 SQ FT).

SILT FENCE

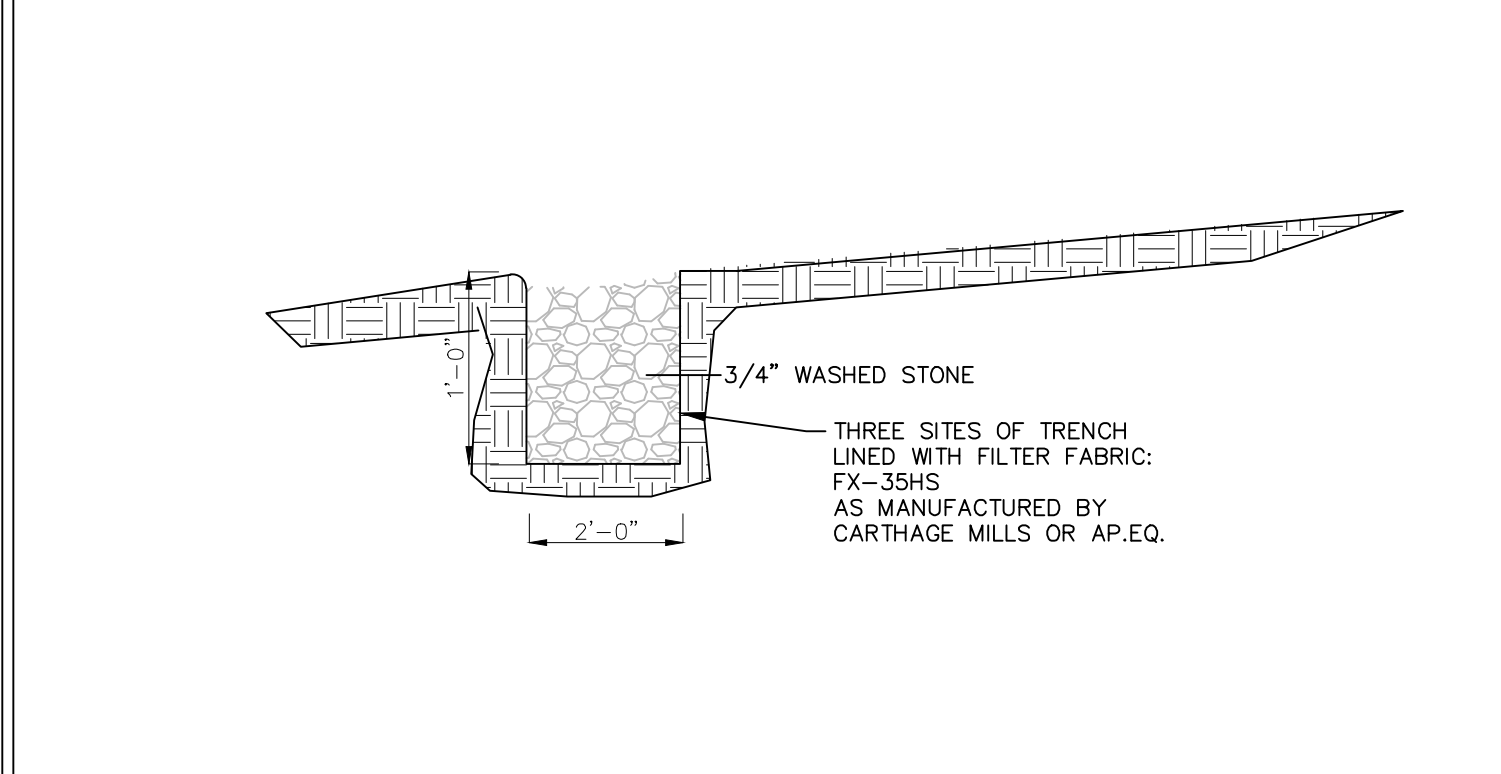


COMPOST FILTER SOCK



- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 5.1. COMPOST SHALL MEET THE STANDARDS LISTED ON OF TABLE 5.2.
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 5.2). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE X.X. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR.
- POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCKS, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STABILIZED CONSTRUCTION ENTRANCE



PROJECT LOCATION

500 CROTON AVENUE
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER
STATE OF NEW YORK

APPLICANT

174 POWER GLOBAL NORTHEAST
9 EAST 37TH STREET
12TH FLOOR
NEW YORK, NY 10016

PROJECT DESCRIPTION

SPECIAL USE PERMIT FOR LARGE SCALE SOLAR POWER GENERATION SYSTEM

SITE PLAN SET

PREPARED FOR
HEMLOCK HILLS SOLAR FARM
by
174 POWER GLOBAL

DETAILS & NOTES

SCALE : AS NOTED

PRINTED

March 31, 2021
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