

# **McDonald's Restaurant**



BROWN  
ALTMAN &  
DILEO, LLP

538 BROADHOLLOW ROAD | SUITE 301  
MELVILLE, NEW YORK 11747

TEL 516-222-0222 | FAX 516-222-0322  
KBDA@BROWNAITMAN.COM | WWW.BROWNAITMAN.COM

June 10, 2021

**VIA EMAIL AND FEDERAL EXPRESS**

Robyn A. Steinberg, AICP, CPESC  
Town of Yorktown Planning Department  
1974 Commerce Street, Room 222  
Yorktown Heights, New York 10598

Re: Amended Site Plan Application ("Application") to the Town of Yorktown ("Town") Planning Board ("PB"), by McDonald's Corporation ("McDonald's") in connection with the redevelopment of the property located at 3481 Crompond Road / U.S. Route 202, Cortlandt, New York ("Property"), WCTM No.: Block 1, Lot 10, Map 36.05

**McDonald's Site Id. No. 031-0170**

**Our Matter No. 100-284-038**

---

Dear Ms. Steinberg:

In connection with the upcoming public hearing before the Town of Yorktown Planning Board, enclosed please find the following:

1. One (1) Sign Notification Certification;
2. One (1) Affidavit of Posting;
3. Seven (7) Color Photographs of the Posted Signs;
4. One (1) Affidavit of Mailing;
5. One (1) true and accurate copy of each Notice to Interested Parties;
6. One (1) Certificate of Mailing;
7. One (1) Property Owner Mailing List; and
8. One (1) Location Map.

Should you have any questions or require any additional documentation, please do not hesitate to contact our office. We appreciate your assistance in this matter. Thank you.

Very truly yours,

BROWN ALTMAN & DILEO, LLP

By: Keith P. Brown (HM)  
Keith P. Brown, Esq.

Encls.

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 36.05 Block 1 Lot 10

Project Name: McDonald's Yorktown

Address: 3481 Crompond Road / U.S. 202, Cortland, New York 10567

Applicant's Name: McDonald's Corporation

Address: 110 North Carpenter Street, Chicago, IL 60607-2101

Phone: (516) 222-0222

No. Signs Posted: 2

Sign #1 Location: 3481 U.S. 202, Cortland, New York 10567 (North of the Property facing Rte 202)

Sign #2 Location: 3481 U.S. 202, Cortland, New York 10567 (South of the Property facing Old Crompond Rd.)

Sign #3 Location: \_\_\_\_\_

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature:

Keith P. Brown (HM)  
Keith P. Brown, Esq., Attorney for Applicant

Land Owner's Signature:

Keith P. Brown (HM)  
Keith P. Brown, Esq., Attorney for Applicant

AFFIDAVIT OF POSTING

State of New Jersey )

County of Passaic)

ss:

Anthony De Crescenzo, being duly sworn, deposes and says that he is over twenty-one years of age and works at 91 Tulip Avenue, Suite KD1, Floral Park, New York 11001, in the State of New York; that he is the President of Manhattan Signs and has been retained by the applicant in regard to the Site Plan application to the Town of Yorktown for the property located at 3481 Crompond Road / U.S. 202 Cortlandt, New York 10567. That on June 28, 2021 and May 2, 2021, he posted the notice signs at the property. Pictures of the posted signs have been annexed hereto.

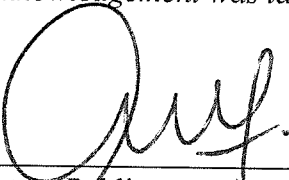
  
Anthony De Crescenzo

NEW YORK OUT OF STATE ACKNOWLEDGEMENT

STATE OF NEW JERSEY )

COUNTY OF Passaic) : ss.:

On the 10<sup>th</sup> day of June, in the year 2021, before me, the undersigned, personally appeared Anthony De Crescenzo, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the Peterston (insert the City or other political subdivision), Passaic County (and insert the State or County or other place the acknowledgement was taken).

  
\_\_\_\_\_  
Notary Public

CLAUDIA PERALTA  
NOTARY PUBLIC  
STATE OF NEW JERSEY  
ID # 50076651  
MY COMMISSION EXPIRES FEB. 21, 2023

**NOTICE**  
THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
BEFORE THE YORKTOWN  
PLANNING BOARD  
FOR MORE INFORMATION CONTACT THE PLANNING DEPT.  
814-362-3000  
WWW.YORKTOWNVA.GOV



**NOTICE**  
THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
BEFORE THE YORKTOWN  
PLANNING BOARD  
FOR MORE INFORMATION CONTACT THE PLANNING DEPT.  
314-982-6565  
WWW.YORKTOWNVA.GOV

McDonald's

AVAILABLE  
INSIDE

McDonald's





AVAILABLE  
INSIDE

McDonald's

**NOTICE**  
THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
BEFORE THE YORKTOWN  
PLANNING BOARD  
FOR MORE INFORMATION CONTACT THE PLANNING DEPT.  
914-982-5585  
WWW.YORKTOWNNY.ORG



# **NOTICE**

**THIS PROPERTY IS THE  
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BEFORE THE YORKTOWN  
PLANNING BOARD**

**FOR MORE INFORMATION CONTACT THE PLANNING DEPT.**

**914-962-6565**

**[WWW.YORKTOWNNY.ORG](http://WWW.YORKTOWNNY.ORG)**

MCCAFFREY SIGNS 814 737 7970



# **NOTICE**

**THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
BEFORE THE YORKTOWN  
PLANNING BOARD**

FOR MORE INFORMATION CONTACT THE PLANNING DEPT.

814-957-6561

[WWW.YORKTOWNNY.ORG](http://WWW.YORKTOWNNY.ORG)

**NOTICE**  
THE BOARD OF THE  
CITY OF NEW YORK  
OFFICE OF THE COMPTROLLER  
PLANNING BOARD  
PLANNING BOARD



NO PARKING  
ANYTIME

AFFIDAVIT OF MAILING

State of New York )  
 ) ss:  
County of Suffolk )

Karen A. Haase, being duly sworn, deposes and says that she is over twenty-one years of age and works at 538 Broadhollow Road, Melville, New York 11747; that she is a legal secretary for Brown Altman & DiLeo, LLP, attorneys for the applicant in regard to the Site Plan application to the Town of Yorktown for the property located at 3481 Crompond Road / U.S. 202 Cortlandt, New York 10567.

On June 3, 2021, she served notice, a copy of which is attached hereto, upon the following named persons at the addresses set forth, as shown on the attached list, by mailing true copies of the same via first class mail, enclosed and properly sealed in postpaid envelopes, which she entrusted to the exclusive care and custody of the United States Postal Service within the State of New York. Also attached is a Certificate of Mailing from the United States Postal Service.

  
Karen A. Haase

Sworn to and subscribed before me  
this 9th day of June 2021

  
NOTARY PUBLIC

MARGARET HOROWITZ  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01HO6307056  
Qualified in Suffolk County  
My Commission Expires 06-30-2022

**NOTICE TO INTERESTED PARTIES**

36.05-1-9

STATE OF NEW YORK

TO: \_ DEPT OF TRANSPORTATION  
\_ 4 BURNETT BOULVEVARD  
\_ POUGHKEEPSKIE, NY 12603

**PLEASE TAKE NOTICE** that the Planning Board of the Town of Yorktown will hold a **Public Hearing** on **Monday, June 14, 2021 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of McDonald’s for approval of an amended site plan, stormwater pollution prevention plan, and wetland permit with submitted plans titled, “Preliminary Site Plan for McDonald’s Corporation Proposed Restaurant Remodel,” prepared by Dynamic Engineering Consultants, P.C., and last revised November 4, 2020.

It is proposed to renovate the existing restaurant building and add 886 square feet of additional storage space and add an additional ordering lane for the drive-thru. Improvements to the parking lot are also proposed. The site is located at 3481 Crompond Road in the Town of Yorktown, also known as Section 36.05, Block 1, Lot 10 on the Town of Yorktown Tax Map.

Due to public health and safety concerns related to COVID-19, the Town of Yorktown Planning Board will not be meeting in-person. In accordance with the Governor’s Executive Order 202.1, the June 14, 2021 Planning Board meeting will be held via video conferencing. The public will have an opportunity to see and hear the meeting live and provide comments. The meeting will also be available to view on the Town’s YouTube channel.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to Robyn Steinberg at [rsteinberg@yorktownny.org](mailto:rsteinberg@yorktownny.org). Submitted written comments will be given to the Planning Board in advance of the meeting. Please check the meeting agenda posted on the town’s website [www.yorktownny.org](http://www.yorktownny.org) for information regarding joining the video conference and any additional updated information regarding this meeting.

The above listed site plan may be reviewed on the Town’s website at: <http://www.yorktownny.org/planning/public-hearings>.

This notice is being sent to you, pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined there under.

McDonald’s Corporation

Name of Applicant

Keith P. Brown, Esq. (AK)  
By: Keith P. Brown, Esq., Attorney for Applicant

June 1, 2021

Date

CERTIFICATE OF MAILING

McDONALD'S CORPORATION / YORKTOWN

This is to certify that on June 3, 2021:

1. Nine (9) envelopes numbered 1-8 with postage of \$.51 per envelope were delivered to the Melville Post Office;
2. A postage stamp in the amount of \$     per addressee for a total of \$3.96 representing the Certificate of Mailing cost for nine (9) envelopes was presented to the Melville Post Office (see attached).

9 envelopes x \$.51 per envelope = \$4.59

3. Certificate of Mailing:

1<sup>st</sup> Page - \$0.44 per addressee x 9 addressees = \$3.96

Total: \$     


Postage: \$ 4.59  
Certificate of Mailing: \$ 3.96

**Total: \$ 8.55**

**PLEASE DATE STAMP FOR PROOF  
OF CERTIFICATE OF MAILING:**



THIS IS TO CERTIFY THAT THE ABOVE IS TRUE  
AND CORRECT, THAT ON JUNE 3<sup>rd</sup>, 2021 THE ABOVE  
MAILING WAS SENT VIA FIRST CLASS MAIL

  
Keith P. Brown, Attorney for the Applicant

CERTIFICATE OF MAILING

36.05-1-10

① MC DONALD'S USA, LLC  
MC DONALD'S #1784  
10 MIDDLE ST., 17<sup>th</sup> FL  
BRIDGEPORT, CT 06601

36.05-1-11

② B.F. CURRY, LLC  
727 CENTRAL AVE.  
SCARSDALE, NY 10583

36.06-1-18

③ D'ALESSANDRO, ANTHONY & DANA  
2510 LINETTE CT.  
YORKTOWN HGTS., NY 10598

36.05-2-2

④ LOPEZ, KENNETH & ZAMBRANA, SHANDIZET  
3483 OLD CROMPOND RD.  
YORKTOWN HGTS., NY 10598

36.06-1-19

⑤ NYSARC INC WEST. CTY.  
CHAPTER  
ATTN.: ACCT DEPARTMENT  
265 SAW MILL RIVER ROAD  
HAWTHORNE, NY 10532

36.05-2-3

⑥ AVILA, LUIS JR., & GINA  
2494 MILL POND ST.  
YORKTOWN HGTS., NY 10598

36.05-2-20

⑦ CAVALLO, GUISEPPE & MARISOL  
2493 MILL POND ST.  
YORKTOWN HGTS., NY 10598

26.17-1-1

⑧ STATE LAND CORP.  
3967 PROVOST AVE.  
BRONX, NY 10466

36.05-1-9

⑨ STATE OF NEW YORK  
DEPT OF TRANSPORTATION  
4 BURNETT BOULVEVARD  
POUGHKEEPSKIE, NY 12603



0000

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JUN 03, 21  
AMOUNT  
**\$3.96**  
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MELVILLE, NY 11747-2230  
(800)275-8777

06/03/2021 04:38 PM

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CTOM - Firm - Domestic	9		\$3.96

Grand Total: \$3.96

Debit Card Remitted \$3.96

Card Name: MasterCard  
Account #: XXXXXXXXXXXXX2762  
Approval #: 000420  
Transaction #: 591  
Receipt #: 028264  
Debit Card Purchase: \$3.96 Chip  
AID: A0000000042203  
AL: Citibank Card  
PIN: Verified Citibank Card

\*\*\*\*\*  
USPS is experiencing unprecedented volume increases and limited employee availability due to the impacts of COVID-19. We appreciate your patience.  
\*\*\*\*\*

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Clerk: 09



~~36.05-1-8  
STATE OF NEW YORK  
DEPT. OF TRANSPORTATION  
4 BURNETT DRIVE  
POUGHKEEPSKIE, NY 12603~~

~~36.05-1-12  
B F CURRY REALTY LLC  
727 CENTRAL AVE.  
SCARSDALE, NY 10583~~

36.06-1-19  
NYSARC INC WEST. CTY.  
CHAPTER  
ATTN.: ACCT DEPARTMENT  
265 SAW MILL RIVER ROAD  
HAWTHORNE, NY 10532

26.17-1-1  
STATE LAND CORP.  
3967 PROVOST AVE.  
BRONX, NY 10466

36.05-1-10  
MC DONALD'S USA, LLC  
MC DONALD'S #1784  
10 MIDDLE ST., 17TH FL  
BRIDGEPORT, CT 06601

36.06-1-18  
D'ALESSANDRO, ANTHONY &  
DANA  
2510 LINETTE CT.  
YORKTOWN HGTS., NY 10598

36.05-2-3  
AVILA, LUIS JR., & GINA  
2494 MILL POND ST.  
YORKTOWN HGTS., NY 10598

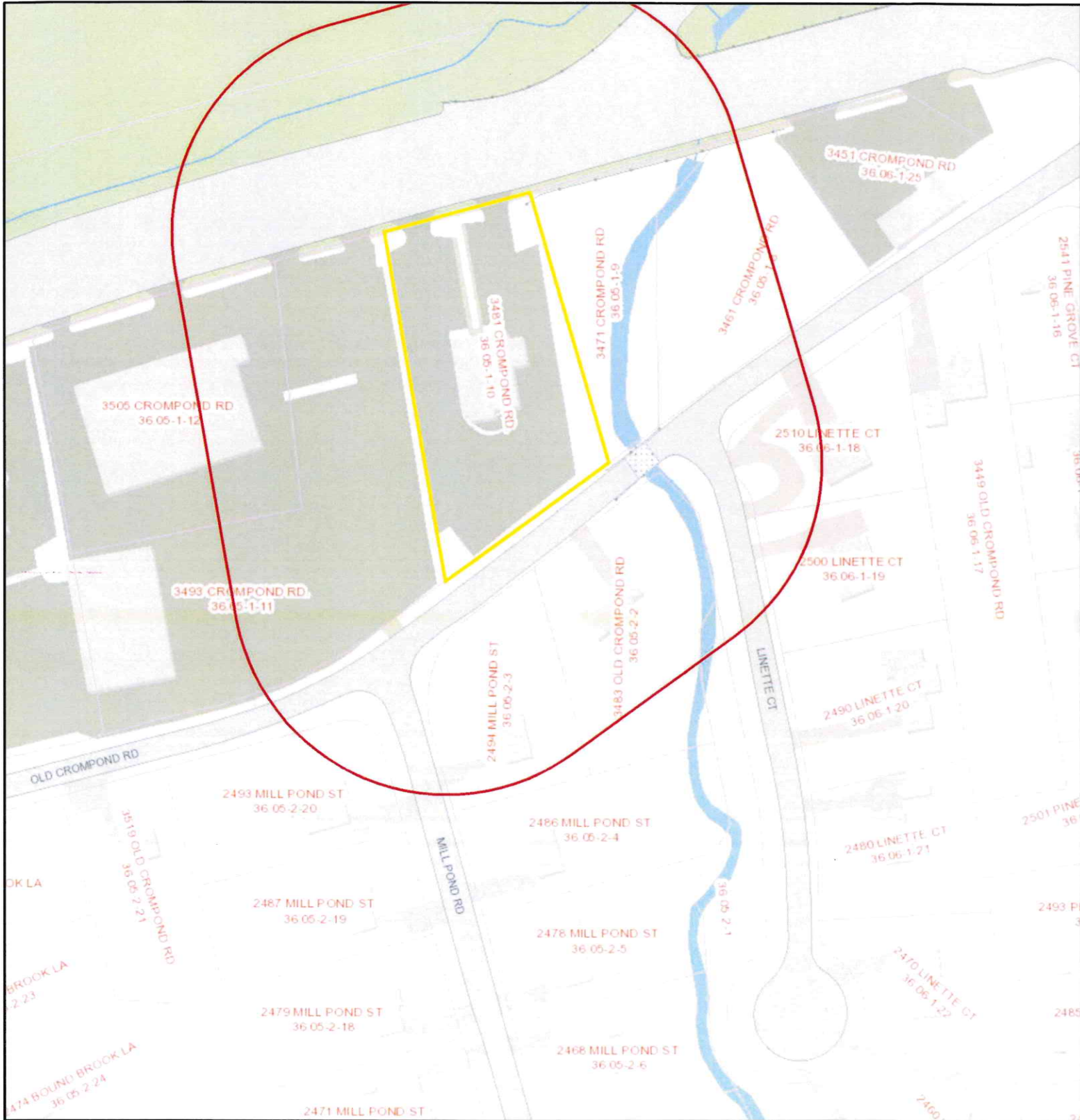
36.05-1-9  
STATE OF NEW YORK  
DEPT OF TRANSPORTATION  
4 BURNETT BOULEVARD  
POUGHKEEPSKIE, NY 12603

36.05-1-11  
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727 CENTRAL AVE.  
SCARSDALE, NY 10583

36.05-2-2  
LOPEZ, KENNETH &  
ZAMBRANA, SHANDIZET  
3483 OLD CROMPOND RD.  
YORKTOWN HGTS., NY 10598

36.05-2-20  
CAVALLO, GIUSEPPE &  
MARISOL  
2493 MILL POND ST.  
YORKTOWN HGTS., NY 10598

# 3481 CROMPOND RD.. ID: 36.05-1-10 (Yorktown )



June 3, 2021



Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.



## Westchester County GIS

GIS  
<http://giswww.westchestergov.com>  
Michaelian Office Building  
148 Martine Avenue Rm 214  
White Plains, New York 10601

**Nancy Calicchia**

RECEIVED  
PLANNING DEPARTMENT

MAY 13 2021

**From:** Zachariah, Mariyam <MZachariah@dep.nyc.gov>  
**Sent:** Thursday, May 13, 2021 12:37 PM  
**To:** adegroot@dynamiccec.com  
**Cc:** Tiago Duarte; Coppola, Jason; Planning Department; derek.moskal@us.mcd.com  
**Subject:** Mc Donalds Remodel Comments

TOWN OF YORKTOWN

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Anastasia,

We have received your latest submission on the above referenced on May 3, 2021. This is just to recapitulate what we have discussed through our phone conversation today regarding the final comments on the above-referenced project. Please address the following and send me a final email copy for a quick look. Let me know if you have any questions.

1. Add the temporary and maintenance table to the plan. Also, include the permeable pavers in the table with appropriate maintenance criteria and frequency.
2. Please state in the report and plan along with the maintenance table about who is responsible to inspect and maintain it.
3. The staging area shall be identified on the ECP plan.
4. Call out on the sequence when the permeable pavers and inlet filters will be installed. Also, include cleaning of accumulated sediments before the erosion control measures are removed as part of the sequence.
5. Since the 12" pipe from the inlet is going to be replaced, provide its pipe sizing calculations on the plan, and provide rock outlet protection where it discharges.

Thanks,

Mariam Zachariah | Associate Project Manager | NYC Environmental Protection  
Bureau of Water Supply | Regulatory & Engineering Programs  
(O) 914 749 5357 | (F) 914 749 5470 | [mzachariah@dep.nyc.gov](mailto:mzachariah@dep.nyc.gov)



Vincent Sapienza, P.E.  
Commissioner

Paul V. Rush, P.E.  
Deputy Commissioner  
Bureau of Water Supply  
prush@dep.nyc.gov

465 Columbus Avenue  
Valhalla, NY 10595  
T: (914) 749-5255  
F: (914) 749-5477

December 15, 2020

RECEIVED  
PLANNING DEPARTMENT

DEC 15 2020

TOWN OF YORKTOWN

Ms. Robyn A. Steinberg, Town Planner  
Town of Yorktown, Planning Board  
363 Underhill Avenue, P.O. Box 703  
Yorktown Heights, NY 10598

Re: **Notice of Intent to be Lead Agency**  
**McDonald's Restaurant Remodel**  
**3481 Crompond Road**  
**Town of Yorktown; Westchester County, NY**  
**Tax Map #: 36.05-1-10**  
**DEP Log #: 2019-CNC-0362-SQ.2**

Dear Ms. Steinberg and Members of the Planning Board:

The New York City Department of Environmental Protection (DEP) has reviewed the Town of Yorktown Planning Board's (Board) Notice of Intent to act as Lead Agency and short Environmental Assessment Form (EAF) for the above referenced project. DEP does not object to the Board acting as Lead Agency for the Coordinated Review of the proposed action pursuant to the New York State Environmental Quality Review Act (SEQRA).

The proposed site is located in the New Croton Reservoir drainage basin of New York City's Water Supply. As New Croton Reservoir is phosphorous restricted, water quality impacts to the receiving reservoir from pollutant-laden runoff must be avoided or mitigated.

The proposed action involves the construction of dual drive thru lanes and a change in parking spaces from 78 to 48 spaces, as well as expanding the building footprint to 4,321 square feet.

DEP's status as an involved agency stems from its review and approval authority for a Stormwater Pollution Prevention Plan (SWPPP) pursuant to Section 18-39 of the *Rules and Regulations for the Protection from Contamination, Degradation, and Pollution of the New York City Water Supply and Its Sources* (Watershed Regulations).

Based upon the review of the submitted documents, DEP respectfully submits the following comments for the Board's consideration:

1. This project is located in a Designated Main Street Area (DMSA) and, as such, the applicant's representative is directed to Section 18-39(b)(9) of the Watershed Regulations for guidance in stormwater planning and design since the total proposed land disturbance is less than one acre.
2. DEP is currently reviewing a SWPPP for the first layout/design, which is nearing approval. Since the latest revision to the project will result in a reduction in overall imperviousness, a color-coded impervious area comparison of existing conditions, the initial design plan and the new remodel plan should be provided for review. A legend with impervious to impervious, pervious to impervious and impervious to pervious area must be clearly identified on the comparison plan. Note that all newly proposed impervious area must be captured and treated to the extent practical in order to minimize adverse impacts to water quality.
3. As the project site is located entirely in a 100-year flood plain, the project sponsor is encouraged to employ runoff reduction practices (as noted in the NYSDEC Stormwater Design Manual) to minimize flooding impacts.
4. A municipal sewer main is shown adjacent to the project site. As such, if not already connected, it is recommended that the facility connect to the existing sewer district as part of this project.

Thank you for the opportunity to provide comments. You may reach the undersigned at [cgarcia@dep.nyc.gov](mailto:cgarcia@dep.nyc.gov) or (914) 749-5302 with any questions or if you care to discuss the matter further.

Sincerely,



Cynthia Garcia, Supervisor  
SEQRA Coordination Section

George Latimer  
County Executive

RECEIVED  
PLANNING DEPARTMENT

December 14, 2020

DEC 14 2020

Robyn A. Steinberg, Town Planner  
Town of Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

TOWN OF YORKTOWN

**County Planning Board Referral File YTN 20-015 – McDonald's, 3481 Crompond Road  
Site Plan Amendment**

Dear Ms. Steinberg:

The Westchester County Planning Board has received a revised site plan (dated revised May 24, 2019) for the proposed remodeling of a 3,435 square foot McDonald's fast food restaurant on a 1.05-acre site located at 3481 Crompond Road (US Route 202/NYS Route 35). In 2019, the Town granted approval to the applicant for site modifications to add dual drive-thru lanes and to reconfigure the existing parking area with 52 parking spaces. The current application proposes revisions to that existing approval by expanding the building footprint to 4,321 square feet and providing 48 parking spaces.

We have no objection to the Yorktown Planning Board assuming Lead Agency status for this review.

We previously reviewed this matter under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and we responded to the Town in a letter dated August 2, 2019. We again offer our previous comments for the Town's continued consideration:

**1. Croton Watershed protection**

We note that the site is located next to Hunter Brook, a waterway that connects to the Croton Reservoir. Currently, water runoff flows through an inlet pipe into the brook. While there is to be minimal disturbance of the site adjacent to the waterway, and the total impervious surface of the site will decrease by 1,733 square feet, we recommend that the Town work with the applicant to install additional stormwater treatment measures, such as a vegetative buffer, rain garden, or other natural water retention area in the southeast section of the site, in order to better manage stormwater runoff before it enters the brook.

Components of the site development may be subject to compliance with the New York City Department of Environmental Protection (NYC DEP) *Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and its Sources*, including the preparation of a Stormwater Pollution Prevention Plan. Adequate erosion and sediment control and stormwater runoff water quality protection, both during and after construction, are of critical importance.

**2. Recycling.**

We recommend the Town require the applicant to verify that sufficient storage measures are provided to accommodate the expanded County recycling program. County regulations for recycling may be found at: <http://environment.westchestergov.com>.


**3. Green building technology and bicycle parking.**

We recommend the applicant consider the potential for including “green” or sustainable building methods and technologies into the proposed remodeling plan. The applicant should also consider providing bicycle parking for employees and nearby residents.

Please inform us of the Town’s decision so that we can make it a part of the record.

Thank you for calling this matter to our attention.

Respectfully,  
WESTCHESTER COUNTY PLANNING BOARD

By: 

Norma V. Drummond  
Commissioner

NVD/LH

cc: Cynthia Garcia, Bureau of Water Supply, SEQR Coordination Section, NYC DEP

Christopher Taormina, RA  
Chairman

# TOWN OF YORKTOWN

## ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

RECEIVED  
PLANNING DEPARTMENT

DEC 02 2020

TOWN OF YORKTOWN

**To:** Planning Department  
**From:** ABACA  
**Date:** December 2, 2020  
**Subject:** McDonald's – Crompond Road  
SBL: 36.05-1-10

**Drawings Reviewed:**

Title:	Date:	Produced By:
Submission letter with associated materials Plan Set	11/5/2020 11/4/2020	Dynamic Engineering Consultants, PC

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject via video conference at the Board meeting held on Tuesday, November 24, 2020. David Pernick, Esq. of Brown & Altman; and Joe Riccadonna, PE of Dynamic Engineering were present.

The ABACA has the following comments:

1. The ABACA requests for the applicant to use natural, uncolored cedar or hardwood mulch. The Board also requests that the applicant notes in the plan and details that the mulch will not be mounded around the base of the trees and shrubs.
2. A material board with color palette and samples to be used was submitted to ABACA on 7-23-2019 with the initial submission. The applicant stated that the materials are the same and has not changed from what was submitted.
3. The Board originally requested for the applicant to submit an updated rendering of the building incorporating the building expansion but upon review of the original rendering and proposed exterior elevations showing the expansion, it was clear that the enlarged building would consist of a continuation of design and materials which were previously submitted and reviewed. Therefore, no additional review of the building design is requested.
4. The Board looks forward to reviewing the signage package once complete.

*Christopher Taormina*

Christopher Taormina, RA  
Chairman

/nc

cc: Applicant



Christopher Taormina, RA  
Chairman

## TOWN OF YORKTOWN

### ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

**To:** Planning Department  
**From:** ABACA  
**Date:** September 18, 2020  
**Subject:** McDonald's – Crompond Road  
SBL: 36.05-1-10

RECEIVED  
PLANNING DEPARTMENT

SEP 21 2020

TOWN OF YORKTOWN

**Drawings Reviewed:**

Title:	Drawing No.:	Date:	Produced By:
Submission letter with amended Site Plan Application and EAF Proposed preliminary site plan set	Sheets 1-16	09-12-2020 04-13-2020	Brown & Altman, LLP Dynamic Engineering Consultants, P.C.

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject via video conference at the Board meeting held on Tuesday, September 15, 2020. No representative was present. The applicant is proposing to amend a previously approved site plan to include an 886 sf building addition with associated site improvements. The ABACA has the following comments:

**Landscaping Plan:**

- The bedlines are erratic. The Board suggests that the applicant consider smoothing them out to make them more graceful and consistent.
- The plant selection is generally good. The Board suggests that the applicant replace the dwarf alberta spruce, and consider substituting the green emerald arborvitae with green giant. This substitution will change the quantity and spacing of the trees.
- The notes refer to pruning the plants to preserve the natural character of the material. What assurance do we have that the material won't be pruned beyond recognition?
- The plan calls for 4" of mulch. The Board requests that the applicant notes in the plan and details that the mulch must not be mounded around the base of trees and shrubs.

**Architecture:**

- The Board requests for the applicant to submit updated architectural drawings with the proposed addition for review.

**Parking:**

- The revision reduces the amount of parking spaces to below the minimum required so the Board is wondering if there is a way to add some additional spaces back and suggests for the applicant to study this further.

*Christopher Taormina*

Christopher Taormina, RA  
Chairman

/nc

cc: Applicant

Phyllis Bock - Co-Chair  
Diane Dreier - Co-Chair

Matthew Slater  
Supervisor

## Town of Yorktown Conservation Board

---

Town of Yorktown, Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598, Phone (914) 962-5722

---

### MEMORANDUM

To: Planning Board

From: Conservation Board

Date: November 19, 2020

Re: McDonalds 3481 Crompond Road

---

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PLANNING DEPARTMENT  
NOV 23 2020  
TOWN OF YORKTOWN

At the November 18, 2020 Conservation Board meeting the Board Joe Riccadonna of Dynamic Engineers reviewed site plans for McDonalds located at 3481 Crompond Road. The Applicant reviewed an amended plan with a proposed building addition. The Board has the following comments and recommendations:

- The board advises that the striped area at the rear of the applicant's site be reduced in size or be planted with native plant material to add screening along the rear of the property and reduce impervious surface.

Respectfully,

Diane Dreier

For the Conservation Board

CC: Town Board  
Town Engineer  
Town Clerk  
Applicant



Town of Yorktown [www.yorktownny.org](http://www.yorktownny.org)

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OCT 2 2020

TOWN OF YORKTOWN

## BUREAU OF FIRE PREVENTION

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598  
Tel. (914) 962-5722 ext.254

### MEMORANDUM

**Edward Kolisz, Fire Inspector**

Fax (914) 962-1731

Email: [ekolisz@yorktownny.org](mailto:ekolisz@yorktownny.org)

Office hours: Weekdays 8:00-10:00 a.m., 3:00-4:00 p.m.

TO: Planning Board, Town of Yorktown  
From: Edward Kolisz, Fire Inspector  
Re: McDonalds, 3481 Crompond Rd.  
Date: October 1, 2020

The Bureau of Fire Prevention reviewed the proposed changes to the site plan for the McDonald's on Crompond Rd. and has the following comment:

- The Bureau once again request that a fire hydrant be brought onto the property. The proposed Taco Bell also on Crompond Rd. did this with no hesitation. The Bureau and Fire District would like to see it near the front of the property but would accept a location in the rear of the property along the fence.

October 22, 2020

Town of Yorktown Planning Board  
Albert A. Capellini Community & Cultural Center  
1974 Commerce Street  
Yorktown Heights, NY 10598

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PLANNING DEPARTMENT

NOV 6 2020

TOWN OF YORKTOWN

**RE: Parking Assessment  
Proposed McDonald's Remodel  
3841 Crompond Road  
Town of Yorktown  
Westchester County, NY  
DT # 0114-99-146T**

Dear Board Members:

Dynamic Traffic has prepared the following parking assessment to determine if the proposed parking supply is sufficient in connection with a proposed remodel of an existing McDonald's restaurant located at 3481 Crompond Road in Yorktown, Westchester County, New York. The site is currently developed with a 3,435 SF McDonald's restaurant with 78 seats, a single drive-thru lane and 65 parking spaces. A prior approval was granted to provide dual drive-thru lanes and 52 parking spaces. The current proposal maintains the dual drive-thru lanes and expands the building footprint to 4,321 square feet. A total of 48 parking spaces will be provided under the amended redevelopment proposal and 58 seats are proposed within the restaurant.

Pursuant to Township requirements 1 parking space per 50 square feet of patron space and 1 parking space per 100 square feet of food preparation space is required. With 1,795 square feet of patron space and 2,526 square feet of food preparation space proposed, the parking requirement is calculated to be 62 spaces. As stated above, it is proposed to provide 48 parking spaces in support of the project and as such a variance is required.

National parking demand data has been collected by the Institute of Transportation Engineers (ITE) within their publication *Parking Generation, 5<sup>th</sup> Edition*. This publication establishes peak parking demands for multiple land uses. For Land Use Code (LUC) 934 – Fast-Food Restaurant with Drive-Thru, ITE sets forth an average peak demand of 0.44 vehicles per seat which equates to 26 parking spaces for the 58 proposed seats. In fact, the maximum parking demand reported by the ITE at any location was 0.77 spaces per seat which equates to 45 spaces. In other words, if the subject McDonald's generated the highest parking rate of any of the fast-food restaurants with drive-thru reported to the ITE, the proposed 48 parking spaces would still be sufficient. This is further supported by parking research conducted by our office at twenty-six (26) McDonald's Restaurants in the northeast United States. The highest accumulation of parked vehicles at any one time at any of these

locations was 30 and the highest parking ratio was 0.48 spaces per seat which would equate to 28 spaces at the subject location.

As supported by both nationally published data and research specific to McDonald's restaurants, as detailed in the body of this report, it is the professional opinion of Dynamic Traffic that the parking variance can be granted with no detrimental impacts and the proposed 48 parking spaces will be more than adequate to serve the maximum anticipated demands. Should you have any questions on the above, please do not hesitate to contact our office.

Sincerely,

**Dynamic Traffic, LLC**



Craig W. Perego, PE  
Principal



Cozey Chase, PE  
Principal

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PLANNING DEPARTMENT  
NOV 6 2020

November 5, 2020  
Via FedEx

TOWN OF YORKTOWN

Town of Yorktown Planning Department  
Albert A. Cappellni Community & Cultural Center  
1974 Commerce Street  
Yorktown Heights, NY 10598

Attn: Ms. Robyn A. Steinberg  
Town Planner

**RE: McDonald's Corporation  
Block 1; Lot 10; Map 36.05  
3481 Crompond Road  
Town of Yorktown  
Westchester County, NY  
DEC# 0114-99-146**

Dear Ms. Steinberg,

Enclosed please find the following for the Board's continued review in anticipation of the November 9, 2020 Planning Board work session for the above referenced project:

- Five (5) signed and sealed copies of the Preliminary Site Plan prepared by our office dated December 28, 2018, last revised November 4, 2020;
- Five (5) unsigned copies of the Approved vs. Amended Site Plan Exhibit, Sheet C-1, prepared by our office dated October 29, 2020; and
- Five (5) copies of the Parking Assessment prepared by Dynamic Traffic dated October 22, 2020.

The enclosed information has been revised to address the comments provided in the Planning Board Letter dated October 19, 2020, and Advisory Board of Architecture & Community Appearance (ABACA) Memo dated September 18, 2020. To assist in the Town's review, we offer the following itemized responses for your use:

**Planning Board Review Letter, prepared by Robyn Steinberg, Town of Yorktown Planner, dated October 19, 2020:**

1. Submit a side-by-side comparison of the amended site plan the Board approved in 2019 and this new proposed amended site plan.

*The requested side-by-side comparison of site plans has been prepared by our office and enclosed for your review.*

2. Now that the proposed plans removed existing parking spaces the Board is reconsidering the need for the return driveway in the front of the building. Couldn't the parking spaces in front of the drive-thru service as a location for patrons to pull in if they need to wait for their order or there is an error with their order?

*The recirculation driveway provides the site with improved vehicle circulation and safety by allowing site recirculation without exiting onto the State Highway. The enclosed letter by Dynamic Traffic further justifies the required variance for on-site parking.*

3. Is it possible to add any additional angled parking spaces along the eastern property line, instead of having parallel parking spaces along this side? Is it necessary to have 22.3 ft of driveway on this side of the property? If angled parking spaces could fit between the utility easement and this driveway, it would be beneficial to the site.

*While an 18' wide circulation aisle is sufficient for site circulation, there is not adequate space to replace the parallel parking spaces with angled parking along the easterly property line. Further, expanding the existing pavement area would encroach within the 100' stream buffer.*

4. Since a parking variance will be necessary if no additional parking can be obtained on the site, please submit a parking analysis based on existing McDonald's needs and statics to back up the claim that 48 parking spaces is enough for the operation of the restaurant.

*The requested parking analysis justifying the on-site parking variance is enclosed.*

*Advisory Board on Architecture & Community Appearance (ACABA) Memo, prepared by Christopher Taormina, ACABA Chairman, dated September 18, 2020:*

Landscaping Plan:

1. The bedlines are erratic. The Board suggest that the applicant consider smoothing them out to make them more graceful and consistent.

*The Landscaping Plan, Sheet C-6, has been revised to depict smoother bedlines throughout.*

2. The plant selection is generally good. The Board suggests that the applicant replace the dwarf alberta spruce, and consider substituting the green emerald arborvitae with green giant. This substitution will change the quantity and spacing of the trees.

*The Landscaping Plan, Sheet C-6, has been revised to incorporate the recommended substitute plantings.*

3. The notes refer to pruning the plants to preserve the natural character of the material. What assurance do we have that the material won't be pruned beyond recognition?

*The intent of the enclosed Landscaping Plan is to provide an attractive aesthetic on-site with native species that would not be accomplished with over pruning.*

4. The plan calls for 4" of mulch. The Board requests that the applicant notes in the plans and details that the mulch must not be mounded around the base of the trees and shrubs.

*The Landscaping Plan, Sheet C-6, includes callouts on the layout and planting details specifying the mulch to not be mounded around base of plans.*

Architecture:

1. The Board request for the applicant to submit updated architectural drawings with the proposed addition for review.

*Acknowledged, the updated Architectural Plans will be provided under a separate cover.*

Parking:

1. The revision reduces the amount of parking spaces to below the minimum required so the Board is wondering is there is a way to add some additional spaces back and suggests for the applicant to study this further.

*Acknowledged, the applicant has investigated all possible alternate on-site parking locations. Please find the enclosed Parking Assessment, prepared by Dynamic Traffic, justifying the variance for on-site parking.*

We trust that the enclosed items, as well as the responses above, satisfy the recently provide. Should you have any questions please feel free to contact our office.

Sincerely,

**Dynamic Engineering Consultants, PC**



Tiago F. Duarte, PE



Matthew J. Shubeck

Enclosures

Cc: Derek Moskal - McDonald's USA, LLC  
Keith Brown - Brown & Altman, LLP





Vincent Sapienza, P.E.  
Commissioner

Paul V. Rush, P.E.  
Deputy Commissioner  
Bureau of Water Supply  
[prush@dep.nyc.gov](mailto:prush@dep.nyc.gov)

P.O. Box 358  
Grahamsville, NY 12740  
T: (845) 340-7800  
F: (845) 334-7175

February 19, 2020

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PLANNING DEPARTMENT

FEB 19 2020

TOWN OF YORKTOWN

Mr. Tiago F. Duarte, P.E.  
Dynamic Engineering  
245 Main Street, Suite 110  
Chester, NJ 07930

Via Email: [TDuarte@dynamiccec.com](mailto:TDuarte@dynamiccec.com)

Re: Mc Donalds Remodel Stormwater Pollution Prevention Plan  
3481 Crompond Road (NYS Rte.202/35), Yorktown, NY  
Tax Map# 36.05-1-10  
Log # 2019-CNC-0362-SP.1  
New Croton Reservoir Drainage Basin

Dear Mr. Duarte:

The New York City Department of Environmental Protection (DEP) determined that the above referenced application was complete on February 7, 2020. Upon review of the materials submitted, it has been identified that the following items that must be satisfactorily addressed prior to approval.

**A. General**

1. All your responses under the general requirements on the previous letter to NYCDEP dated January 24, 2020 must be incorporated into the report.

**B. Hydrology & Stormwater practices**

1. Label the design points on the pre and post development drainage maps.
2. The one-year, 24 hour storm is considered as the water quality volume in EOH watershed. Therefore, include the one-year, 24 hour storm and not the two year, 24 hour storm in the pre and post development runoff rates table in the report.
3. Provide a detail and plan view for the proposed permeable pavers on the plan. Note that new impervious areas within the restricted offsets outside of the property line (and therefore outside of the designated main street area) are not permitted per the *Watershed Regulations*. Therefore, the pavers must be 50 % open at the surface in order for the product to be considered as a pervious surface by DEP.

4. Include the detail for the proposed permanent inlet filter. Provide the sizing calculations for the proposed inlet filter. You may opt to do the sizing in Hydrocad or manually. Clarify the model number chosen for the filter.
5. Clarify that the 10& 100-year runoff will be bypassed away from the filter.
6. It is recommended that the Engineer may inspect the downstream pipe from the inlet filter to the discharge point prior to the start of construction to evaluate the condition of the pipe. This shall be added to the construction sequence as a contingency.

**C. Erosion Control Plan, Inspection, Maintenance & Construction Sequence**

1. The limits of disturbance must include the proposed permeable paver area. All disturbed area must receive treatment.
2. Specify which type of inlet protection is proposed and give reference to the New York State Standards and Specifications for Erosion Control (Blue Book).
3. Include a maintenance table for the temporary and permanent practices proposed. Provide specific criteria and frequency of intervals for each of the maintenance item for the practices.
4. Include in the construction sequence that DEP should be notified 48hrs prior to the pre-construction meeting.
5. Show the staging area on the plan. Although labelled, show the exact location of the soil stockpile on the plan.
6. Please include a note in the sequence that Part 1.B. 1.b of the SPDES General Permit GP-015-002 must be adhered to regarding soil stabilization for East of Hudson Watershed. Accordingly, soil erosion & sediment control note 2 must be revised.
7. Provide a brief explanation in the report on how the runoff is managed from start to finish during construction. Include in the sequence when the permeable pavers and urban filter will be installed.

**D. Landscaping Plan**

1. The plan indicates that fertilizer applied three times during landscaping: before, during and after planting. The applicant should be made aware that phosphate

fertilizers have been banned in Westchester County since 2009, with the exception of establishing new lawns. DEP strongly recommends the applicant have the soil tested by a certified soil lab that tests for fertility before any fertilizer is applied. This will help minimize any further nutrient load to Muscoot Reservoir, a phosphorous restricted basin.

2. Planting Specifications Note 3. Indicates that processed sewer sludge shall be added as a soil conditioner and also that the conditioner will contain no human waste. Please explain how the sewer sludge will contain no human waste.
3. The plan indicates that guy wiring will be used for tree planting. Most arborists no longer recommend guy wiring when trees are planted in level soil because it prevents the tree from developing windfirmness in the root system. If the applicant does prefer to keep the guy wiring in the plan however, DEP recommends adding a note to be sure that the landscaper removes the wiring after 12-18 months to prevent girdle death.
4. The applicant has made some effort to use natives in the landscape. Native trees and shrubs provide food habitat for our native birds, pollinators and other animals. Several species used are not native however.
  - a. *Juniperus scopulorum* is native to the western US. It is sensitive to hot, humid summers. DEP recommends replacing with *Picea glauca* 'Conica'; a small landscaping evergreen similar in form to *J. scopulorum* but more tolerant of hot, humid summer weather typical of the lower Hudson Valley.
  - b. *Rhododendron x Girard* "Girard Pleasant White" is a not native to our region. Additionally, it prefers part shade. The plan indicates that 29 of these rhododendrons will be used along the south side of the building. DEP recommends the applicant consider replacing with a similar native shrub that is tolerant of sunny southern exposures. Some examples of native, sun loving flowering shrubs include *Hydrangea arborescens* (wild American hydrangea), *Rhododendron maximum* (rosebay rhododendron), or *Physocarpus opulifolius* (common ninebark).
  - c. *Juniperus conferta* is native the western US. The applicant might consider replacing with the native *Juniperus horizontalis*, which is similar in form and because it is native to our region will better support the climate of the lower Hudson Valley.
  - d. *Cercis canadensis* not native to New York but is actually endemic to the southern states. Suitable plants that are native to the Hudson Valley, with similar form and growth requirements include *Amelanchier canadensis* (Canadian serviceberry), *Hamamelis virginiana* (American witch hazel) or *Diospyros virginiana* (Common persimmon).
  - e. To determine precise, county-level plant nativity, visit this link:  
<http://newyork.plantatlas.usf.edu/>

Should you have any questions regarding this letter, please call the undersigned at (914)749-5357.

Sincerely,

A handwritten signature in black ink, appearing to read "Mariyam Zachariah", with a horizontal line underneath.

Mariyam Zachariah  
Associate Project Manager II  
EOH Project Review Group  
Regulatory & Engineering Programs

Cc: Derek Moskal- Mc Donald's USA, LLC., [derek.moskal@us.mcd.com](mailto:derek.moskal@us.mcd.com)

Town of Yorktown Planning Board, [planning@yorktownny.org](mailto:planning@yorktownny.org)



Vincent Sapienza, P.E.  
Commissioner

Paul V. Rush, P.E.  
Deputy Commissioner  
prush@dep.nyc.gov

465 Columbus Ave.  
Valhalla, New York  
10595

Tel. (845) 340-7800  
Fax (845) 334-7175

February 7, 2020

RECEIVED  
PLANNING DEPARTMENT

FEB 7 - 2020

TOWN OF YORKTOWN

Mr. Tiago F. Duarte, PE  
Dynamic Engineering  
245 Main Street, Suite 110  
Chester, NJ 07930

Via Email: [TDuarte@dynamicec.com](mailto:TDuarte@dynamicec.com)

Re: Mc Donalds Remodel Stormwater Pollution Prevention Plan  
3481 Crompound Road (NYS Rte.202/35)  
Yorktown, NY  
Tax Map# 36.05-1-10  
Log # 2019-CNC-0362-SP.1

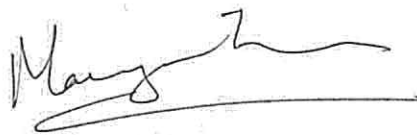
Dear Mr. Duarte:

The above-referenced project received by this department deemed complete on February 7, 2020. The department has commenced review and will notify you by March 23, 2020 of its determination.

If the department fails to notify you within the above referenced time frame, you may notify the Department of its failure by certified mail, return receipt requested. The notice should be sent to my attention at the address below. This notice must include your name, the location of the project, the office with which you filed the application originally, and a statement that a decision is sought in accordance with §18-23(d) (6) of the Rules and Regulations. If the Department fails to notify you within 10 days of the receipt of the notice, your application will be deemed approved, subject to standard terms and conditions as set forth in the regulations.

Should you have any questions regarding this letter, please call the undersigned at (914)749-5357.

Sincerely,



Mariyam Zachariah  
Associate Project Manager II  
EOH Project Review Group  
Regulatory & Engineering Programs

Cc: Derek Moskal- Mc Donald's USA, LLC., [derek.moskal@us.mcd.com](mailto:derek.moskal@us.mcd.com)  
Town of Yorktown Planning Board, [planning@yorktownny.org](mailto:planning@yorktownny.org)  
Stormwater Review Committee:  
Natalie S. Browne, NYSDEC, [natalie.browne@dec.nyc.gov](mailto:natalie.browne@dec.nyc.gov)  
Anthony Kunny, WCDOH, [ajk2@westchestergov.com](mailto:ajk2@westchestergov.com)

STATE OF NEW YORK  
**NEGATIVE DECLARATION**  
DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Project Name:

Date:

This project is not a project as defined in Section 87(2)(b) of the Environmental Conservation Law, and therefore does not require a permit under Article 87 of the Environmental Conservation Law.

The project is not a project as defined in Section 87(2)(b) of the Environmental Conservation Law, and therefore does not require a permit under Article 87 of the Environmental Conservation Law.

**Name of Action:**

McDonough Road Widening Project

**SEQR Status:**  Not a Project  
 Project

**Conditioned Negative Declaration:**  Yes  
 No

**Description of Action:**

The project consists of widening McDonough Road from 20 feet to 30 feet on the east side of the road between the intersection of McDonough Road and the intersection of McDonough Road and the intersection of McDonough Road.

The project is not a project as defined in Section 87(2)(b) of the Environmental Conservation Law, and therefore does not require a permit under Article 87 of the Environmental Conservation Law.

The project is not a project as defined in Section 87(2)(b) of the Environmental Conservation Law, and therefore does not require a permit under Article 87 of the Environmental Conservation Law.

**Location:** McDonough Road, between the intersection of McDonough Road and the intersection of McDonough Road and the intersection of McDonough Road.

The project is not a project as defined in Section 87(2)(b) of the Environmental Conservation Law, and therefore does not require a permit under Article 87 of the Environmental Conservation Law.

**Reasons Supporting This Determination:**

1. The taxpayer's return shows a net operating loss for the year 2025.

2. The taxpayer's return shows a net operating loss for the year 2025.

3. The taxpayer's return shows a net operating loss for the year 2025.

4. The taxpayer's return shows a net operating loss for the year 2025.

5. The taxpayer's return shows a net operating loss for the year 2025.

6. The taxpayer's return shows a net operating loss for the year 2025.

7. The taxpayer's return shows a net operating loss for the year 2025.

**If Conditioned Negative Declaration,** the taxpayer's return shows a net operating loss for the year 2025.

**For Further Information:**

1. The taxpayer's return shows a net operating loss for the year 2025.

2. The taxpayer's return shows a net operating loss for the year 2025.

3. The taxpayer's return shows a net operating loss for the year 2025.

**For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:**

1. The taxpayer's return shows a net operating loss for the year 2025.

2. The taxpayer's return shows a net operating loss for the year 2025.

3. The taxpayer's return shows a net operating loss for the year 2025.

4. The taxpayer's return shows a net operating loss for the year 2025.



**PLANNING BOARD  
TOWN OF YORKTOWN**

**RESOLUTION APPROVING  
AMENDED SITE PLAN, MS4 STORMWATER MANAGEMENT PERMIT  
AND WETLAND PERMIT FOR MCDONALDS**

**RESOLUTION NUMBER: #**

**DATE:**

On motion of \_\_\_\_\_, seconded by \_\_\_\_\_, and unanimously voted in favor by Fon, LaScala, Bock, Garrigan, and Visconti the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Proposed McDonalds Remodel," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020, was submitted to the Planning Board on behalf of McDonalds Corporation (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by the Applicant is located at 3481 Crompond Road, Yorktown Heights, also known as Section 36.05, Block 1, Lot 10 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this board that they are the lawful owners of the land within said site plan; and

WHEREAS an amended application fee of \$1,087.00 covering 1.05 acres has been received by this board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on \_\_\_\_\_.
3. A negative declaration has been adopted on \_\_\_\_\_, on the basis of a Short EAF dated June 25, 2020.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

**Site Plans**

1.  A map, Sheet C-1, titled "Cover Sheet," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
2.  A map, Sheet C-1, titled "Approved vs. Amended Site Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
3.  A map, Sheet C-2, titled "Aerial Map," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
4.  A map, Sheet C-3, titled "Demolition Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
5.  A map, Sheet C-4, titled "Site Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and

- 6.□ A map, Sheet C-5, titled “Grading, Drainage, & Utility Plan,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 7.□ A map, Sheet C-6 titled “Landscape & Lighting Plan,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 8.□ A map, Sheet C-7 titled “Soil Erosion & Sediment Control Plan,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 9.□ A map, Sheet C-8 titled “ADA Compliance and Construction Details,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 10.□ A map, Sheet C-9 titled “Construction Details,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 11.□ A map, Sheet C-10 titled “Construction Details,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 12.□ A map, Sheet C-11 titled “Construction Details,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 13.□ A map, Sheet C-12 titled “Construction Details,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 14.□ A map, Sheet C-13 titled “Construction Details,” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 15.□ A map, Sheet C-14 titled “Vehicle Circulation Plan (Refuse Truck),” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 16.□ A map, Sheet C-15 titled “Vehicle Circulation Plan (Delivery Truck),” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
- 17.□ A map, Sheet C-16 titled “Vehicle Circulation Plan (Fire Truck),” prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and

WHEREAS the building materials and colors have been reviewed by the Advisory Board on Architecture & Community Appearance and recommended for approval by this Board by memo dated July 30, 2019; and

WHEREAS as per Section §300-21D(13)(a)[1] a place serving food and beverage is an allowed use in the C-4 (Commercial General District); and

WHEREAS pursuant to Section §300-182A(5) of the Town of Yorktown Town Code, the applicant must provide one parking space for every 50 square feet devoted to patron use and one parking spot for every 100 square feet devoted to food preparation and ancillary use requiring a total of 62 parking spaces and 48 parking spaces are shown on the site plan; and  
WHEREAS the applicant obtained a variance from the Zoning Board of Appeals by Decision #1/21 dated March 26, 2021 to allow 48 parking spaces where 62 parking spaces are required by Town Code; and

WHEREAS the Property is located within a Designated Main Street Area and must receive approval from the New York City Department of Environmental Protection before the site plan is signed by the Planning Board Chairman; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

<b>Boards &amp; Agencies</b>	<b>Report Date</b>
ABACA	09/18/20, 12/02/20
Conservation Board	11/19/20
Fire Inspector	10/01/20
NYC DEP	02/07/20, 02/19/20, 12/15/20, 05/13/21
Westchester County Planning Board	12/14/20

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code by video conference on the said site plan application commencing and closing on June 14, 2021; and

BE IT NOW RESOLVED that the application of McDonalds Corporation for the approval of a site plan titled "Proposed McDonalds Remodel" as prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

**Modify plans to show:**

1. \_\_\_\_\_
2. \_\_\_\_\_

**Additional requirements prior to signature by the Planning Board Chairman:**

1.  Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the NYC DEP.
2.  Submission of inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are

submitted to the Town Engineer.

3.  All permits for work to be done in the Right of Way must be approved by the NYS DOT.

**Additional requirements:**

4.  Proposed plan must comply with all current applicable ADA standards.
5.  Prior to the issuance of a building permit, submission of all legal documents to effectuate the offers of cession, road dedications, easement, and other agreements set forth on the map or its notes, in form satisfactory to the Town Attorney.
6.  Applicant must obtain all necessary permits from outside agencies.
7.  Upon completion of the project, the Applicant must submit an as-built survey, on paper and in digital AutoCAD DWG readable format, showing all improvements on the site.

BE IT FURTHER RESOLVED, that in accordance with Town Code Chapter 178 and Chapter 248, the application of McDonalds Corporation for the approval of a Stormwater Pollution Prevention Plan and Wetland Permit **#WP-FSWPP-000-21** is approved subject to the conditions listed therein; and

RESOLVED, Permit **#WP-FSWPP-000-21** shall not be valid until it has been signed by the Chairman of this Board;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a “Qualified Inspector” as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by \_\_\_\_\_, or a time extension has been granted by the Planning Board, this approval will be null and void.



# PRELIMINARY SITE PLAN

## FOR

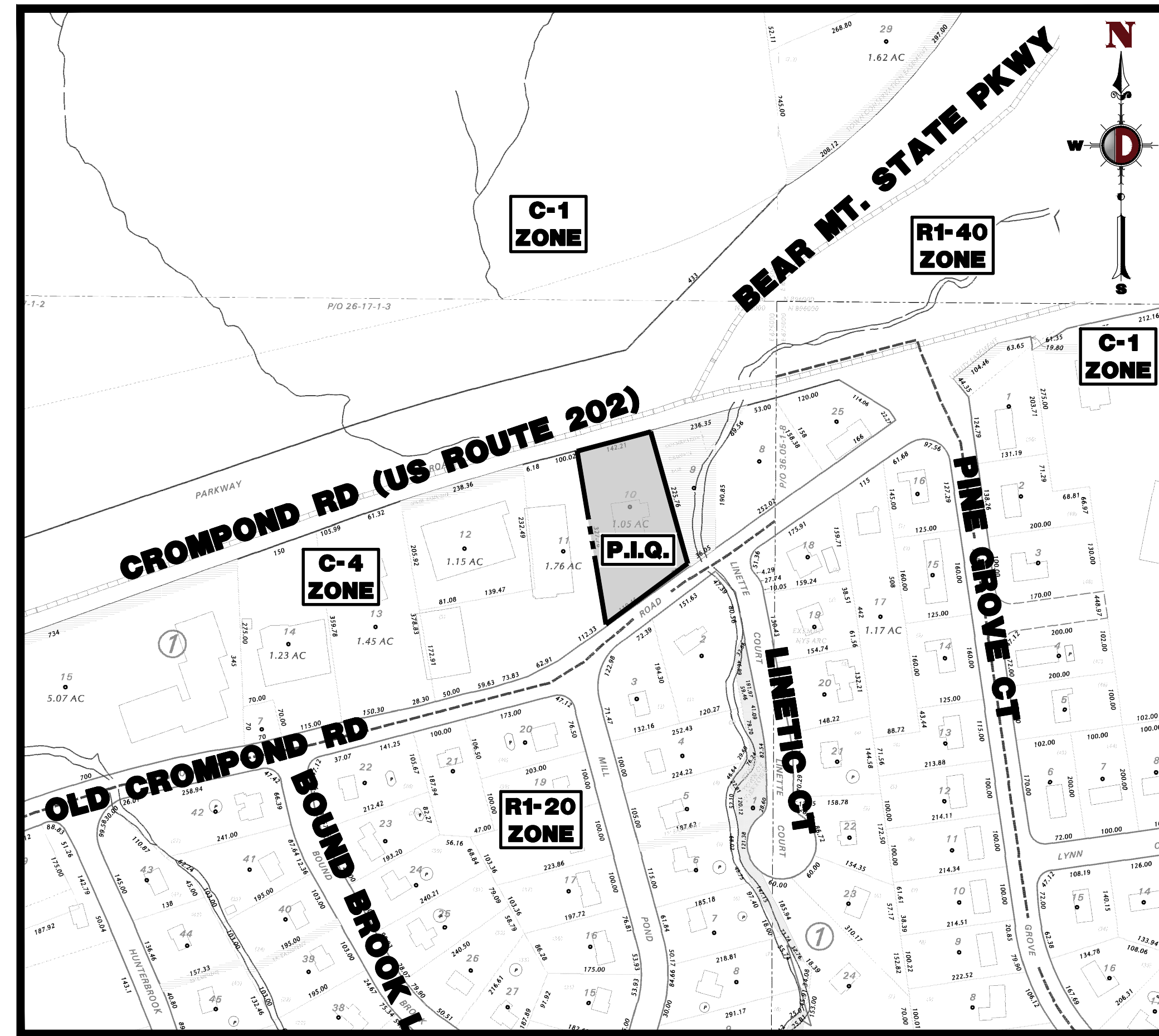
# McDONALD'S CORPORATION

# PROPOSED RESTAURANT REMODEL

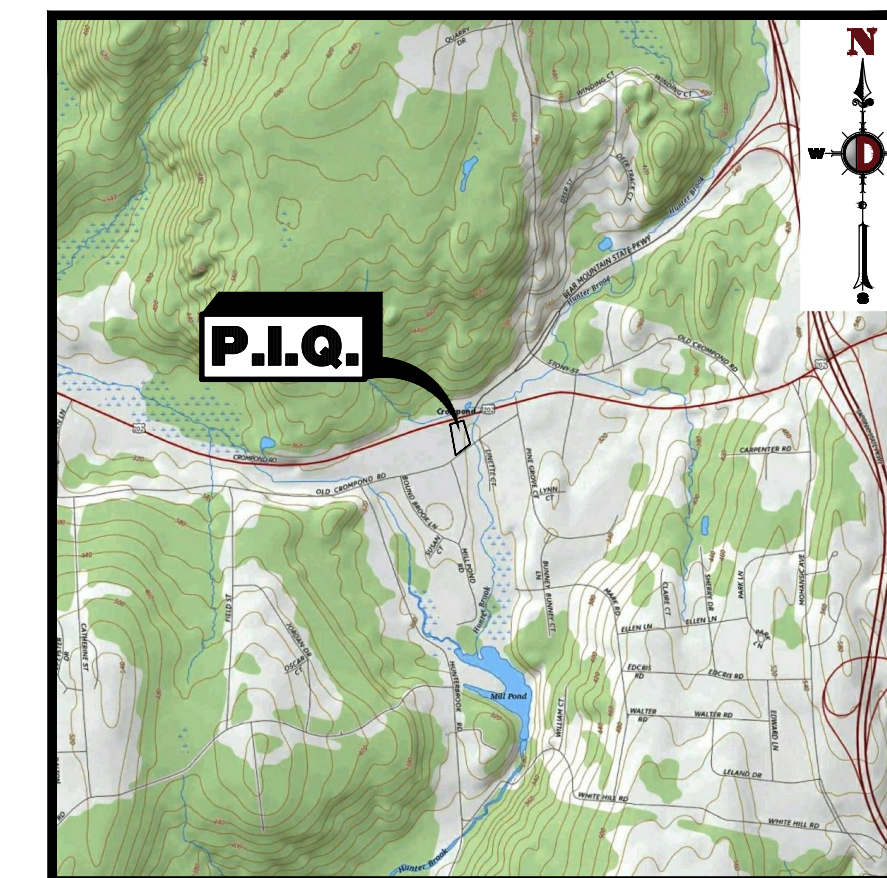
BLOCK 1, LOT 10; TAX MAP SHEET #36.05 - LATEST REV. DATED 07/23/2013  
 3481 CROMPOND ROAD (US ROUTE 202/STATE ROUTE 35)  
 TOWN OF YORKTOWN  
 WESTCHESTER COUNTY, NEW YORK

### ABUTTING PROPERTY OWNER'S LIST

	BLOCK	LOT
STATE LAND CORP 3967 PROVOST AVE BRONX, NY 10466	1	1
STATE OF NEW YORK DEPT. OF TRANSPORTATION 4 BURNETT DRIVE POUGHKEEPSIE, NY 12603	1	8
LOPEZ, KENNETH & ZAMBRANA, SHANDIZET 3483 OLD CROMPOND ROAD YORKTOWN HEIGHTS, NY 10598	2	2
AVILA, LUIS JR. & CIA 2494 MILL POND STREET YORKTOWN HEIGHTS, NY 10598	2	3
B.F. CURRY, LLC 727 CENTRAL AVENUE SCARSDALE, NY 10583	1	11



**AREA MAP**  
1" = 200'



**KEY MAP**  
1" = 2000'

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AERIAL MAP	2 of 16
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ADA COMPLIANCE AND CONSTRUCTION DETAILS	8 of 16
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CONSTRUCTION DETAILS	11 of 16
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VEHICLE CIRCULATION PLAN (REFUSE TRUCK)	14 of 16
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VEHICLE CIRCULATION PLAN (FIRE TRUCK)	16 of 16

PREPARED BY  
**DYNAMIC ENGINEERING CONSULTANTS, P.C.**  
 245 MAIN STREET - SUITE 110  
 CHESTER, NJ 07930  
 WWW.DYNAMICEC.COM

	<b>JOSEPH C. SPILLONE</b> PROFESSIONAL ENGINEER
	<b>TIAGO F. DUARTE</b> PROFESSIONAL ENGINEER

REV	DATE	DESCRIPTION
10	11/04/20	REVISED PER ABACA AND PLANNING BOARD COMMENTS
9	04/13/20	REVISED PER NEW BUILDING
8	01/20/20	REVISED PER NYCDP COMMENTS
7	11/09/19	REVISED PER PLANNING BOARD COMMENTS
6	10/25/19	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
5	10/09/19	REVISED PER PLANNING BOARD COMMENTS
4	09/26/19	REVISED PER PLANNING BOARD COMMENTS
3	09/08/19	REVISED PER PLANNING BOARD WORK SESSION #2
2	07/09/19	REVISED PER PLANNING BOARD WORK SESSION
REV		

245 Main Street - Suite 110  
 Chester, NJ 07930  
 Tel: 908.979.0229  
 Fax: 908.979.0228  
 www.dynamicec.com

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 LAND DEVELOPMENT CONSULTING • PERMITS • GEOGRAPHICAL • ENVIRONMENTAL • SURVEY • PLANNING & LENDING

PREPARED FOR:  
**McDonald's USA, LLC**  
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PREPARED BY:  
 DRAWN BY: KFG  
 STD ISSUE DATE: 12/28/2018  
 REVIEWED BY: TFD  
 DATE ISSUED: 12/28/2018

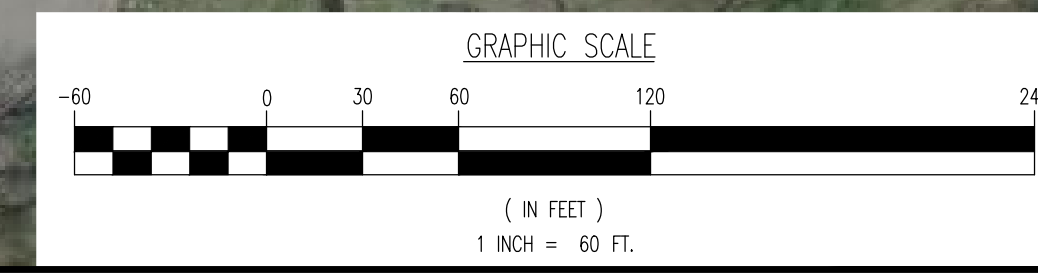
TITLE: PROPOSED MCDONALD'S REMODEL  
 DESCRIPTION: COVER SHEET

SITE ADDRESS: 3481 CROMPOND RD, US ROUTE 202/STATE ROUTE 35, YORKTOWN, WESTCHESTER COUNTY, NEW YORK

SHEET 1 OF 16

Plotfile: 11/05/20 - 10:26 AM; Bc: makuback; Product: Ver: 23.1s (LMS Tech); File: P:\DEPC PROJECTS\0114\_McDonald's 99-146\_Yorktown NY LC 310170\_Dwg\Site\Plan\011499146SK10.dwg; ---> 01 COVER SHEET

Plot: 11/05/20 - 10:26 AM. By: metuback. Product Ver: 23.1s (LMS Tech)  
 File: P:\DEPC PROJECTS\0114 McDonald's 99-146 Yorktown NY LC 310170\DWG\Site\Plan\011499146S10.dwg. ---> 02 AERIAL MAP



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS BETWEEN MARCH AND MAY 2015. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.



JOSEPH P. SPADONE  
 PROFESSIONAL ENGINEER

TIAGO F. DUARTE  
 PROFESSIONAL ENGINEER  
**C-2**  
 SHEET 2 OF 16

REV	DATE	DESCRIPTION
1	07/09/19	REVISED PER PLANNING BOARD WORK SESSION #2
2	07/09/19	REVISED PER PLANNING BOARD WORK SESSION #2
3	09/08/19	REVISED PER PLANNING BOARD COMMENTS
4	09/28/19	REVISED PER PLANNING BOARD COMMENTS
5	10/09/19	REVISED PER PLANNING BOARD COMMENTS
6	10/25/19	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
7	11/09/19	REVISED PER PLANNING BOARD COMMENTS
8	01/20/20	REVISED PER NYDEP COMMENTS
9	04/13/20	REVISED PER ABACA AND PLANNING BOARD COMMENTS
10	11/04/20	REVISED PER ABACA AND PLANNING BOARD COMMENTS

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 PREPARED FOR:  
**McDonald's USA, LLC**  
 PROPOSED MCDONALD'S REMODEL  
 AERIAL MAP

L/C#: 31-0170 L/C: YORKTOWN, NEW YORK  
 DRAWN BY: KFG  
 STD ISSUE DATE: -  
 REVIEWED BY: TFD  
 DATE ISSUED: 12/28/2018  
 SITE ID: 31-0170  
 SITE ADDRESS: 149 CROMPOND RD, YORKTOWN, NY 10594  
 BLOCK 1 LOT 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35

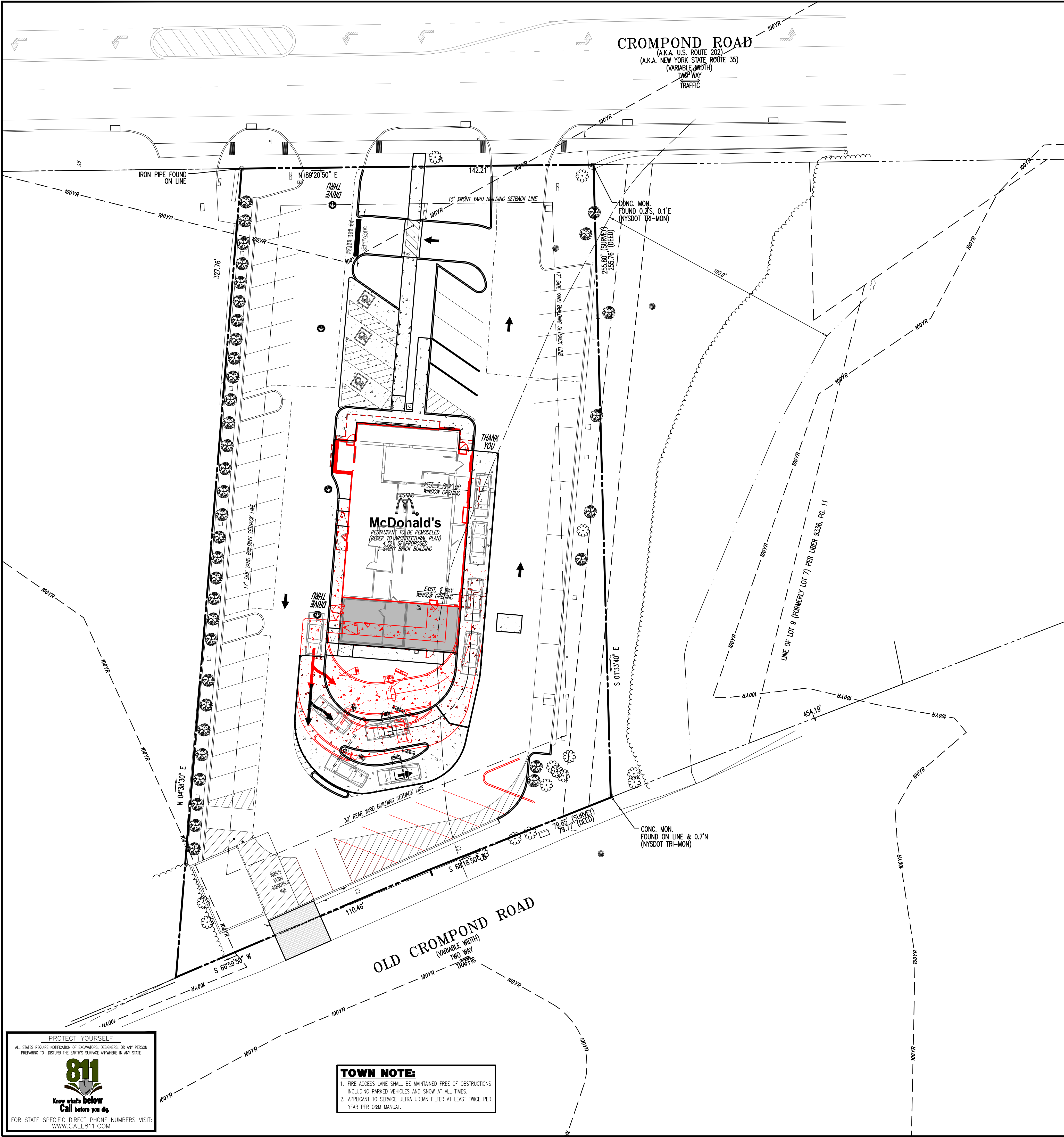
Plot: 11/05/20 - 9:27 AM By: mahuback Product Ver: 23.1a (LMS Tech) File: \\spsc-lca\projects\0114\_McDonald's\0114\_McDonald's\99-146\_Yorktown\_NY\_LC\_310170\DWG\Exhibits (Misc)\Rev 8-9 Comparison\0114991465XED.dwg ---> SSM - 24x36 McDonald's Standard Titleblock

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**TOWN NOTE:**  
1. FIRE ACCESS LANE SHALL BE MAINTAINED FREE OF OBSTRUCTIONS INCLUDING PARKED VEHICLES AND SNOW AT ALL TIMES.  
2. APPLICANT TO SERVICE ULTRA URBAN FILTER AT LEAST TWICE PER YEAR PER O&M MANUAL.



**GENERAL NOTES**

1. SCHEDULE OF ZONING REQUIREMENTS: §300 ATTACHMENT 2 APPENDIX B

ZONE REQUIREMENT	ZONE C-4	APPROVED	PROPOSED
MINIMUM LOT AREA	N/S	45,821 SF (1.05 AC)	45,821 SF (1.05 AC)
MINIMUM LOT WIDTH AT THE FRONT LINE OF MAIN BUILDING	25'	142.5'	NO CHANGE
MINIMUM LOT DEPTH	100'	257'	NO CHANGE
MINIMUM PRINCIPAL BUILDING SETBACK			
-FRONT (CROMPOND RD)	15'	103'	NO CHANGE
-REAR	30'	95.8'	77.1'
-SIDE (*)	17'	46.7'	NO CHANGE
MAXIMUM BUILDING HEIGHT	35'	17'-9"	17'-9"
MAXIMUM BUILDING COVERAGE	30%	7.0% (3,435 SF)	9.4% (4,321 SF)
IMPERVIOUS COVERAGE	N/S	78.3% (35,864 SF)	77.7% (35,592 SF)
N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE			
(*) SIDE YARD SETBACK SHALL BE 17' FOR ONE-WAY VEHICULAR ACCESS			

2. OFF-STREET PARKING REQUIREMENTS: §300-182  
MIN. STANDARD SPACE SIZE: 8.5' X 18.5' REQUIRED; 8.5' X 19' EXISTING, 8.5' X 18.5' PROPOSED. (COMPLIES)

PARKING SCHEDULE

REQUIRED PARKING: 1 SPACE PER 50 SF OF FLOOR AREA DEVOTED TO PATRON USE + 1 SPACE PER 100 SF OF FOOD PREPARATION THEREFORE:

USE	SPACE PER 50 SF X 1,795 SF =	SPACE PER 100 SF X 2,526 SF =
USE 1: PATRON USE	36 SPACES	26 SPACES
USE 2: FOOD PREPARATION	26 SPACES	62 SPACES
TOTAL REQUIRED SPACES:	62 SPACES	62 SPACES
TOTAL EXISTING SPACES:	65 SPACES (INCLUDING 4 ADA SPACES)	65 SPACES (INCLUDING 4 ADA SPACES)
TOTAL PROPOSED SPACES:	48 SPACES (INCLUDING 3 ADA SPACES)	48 SPACES (INCLUDING 3 ADA SPACES)

3. OFF-STREET LOADING REQUIREMENTS: §300-186

FOR RETAIL AND SERVICE BUSINESS ESTABLISHMENTS, RESTAURANTS AND OTHER PLACES SERVING FOOD AND BEVERAGES: ONE SPACE FOR THE FIRST 4,000 SQUARE FEET OF FLOOR AREA OR MAJOR PORTION THEREOF USED FOR BUSINESS PURPOSES AND ONE ADDITIONAL SPACE FOR EACH 40,000 SQUARE FEET OR MAJOR PORTION THEREOF IN EXCESS OF 4,000 SQUARE FEET. (E)

LOADING TO OCCUR WITHIN DRIVE AISLE DURING OFF-PEAK HOURS. TYPICAL PRODUCT DELIVERY SCHEDULE THREE (3)/WEEK.

SITE PLAN APPROVAL

L/C#	PCA#	
	INITIAL	DATE
DEVELOPMENT		
ACM		
ARM		
RCM		
RREM		
RDD		
OPERATIONS		
FSM		
DO		
VP_OSC		
OWNER OPERATOR		

BY:

JOSEPH C. SPARONE  
PROFESSIONAL ENGINEER  
NEW YORK LICENSE No. 089897

TIAGO F. DUARTE  
PROFESSIONAL ENGINEER

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PREPARED FOR: **McDonald's USA, LLC**

PREPARED BY: **DYNAMIC ENGINEERING**  
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100 West Street, Suite 1100, New York, NY 10013

DATE ISSUED: 10/29/2020

DATE ISSUED: 10/29/2020

SITE ADDRESS: 146 CROMPOND RD, YORKTOWN, NY 10595 (US ROUTE 202/STATE ROUTE 35)

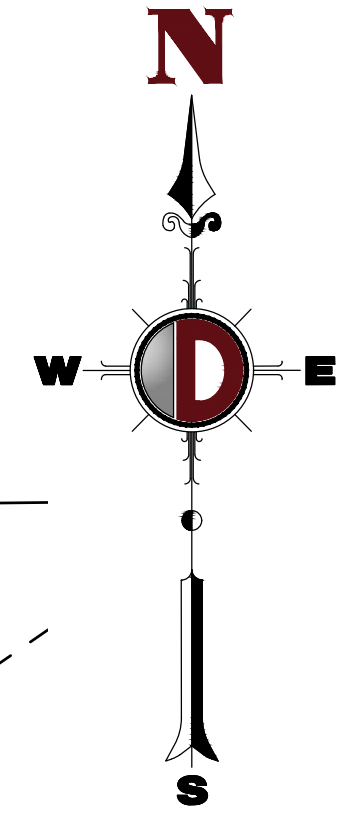
31-0170

911-99-146

**G-I**

SHEET 1 OF 1

**CROMPOND ROAD**  
(A.K.A. U.S. ROUTE 202)  
(A.K.A. NEW YORK STATE ROUTE 35)  
(VARIABLE WIDTH)  
TWO WAY TRAFFIC



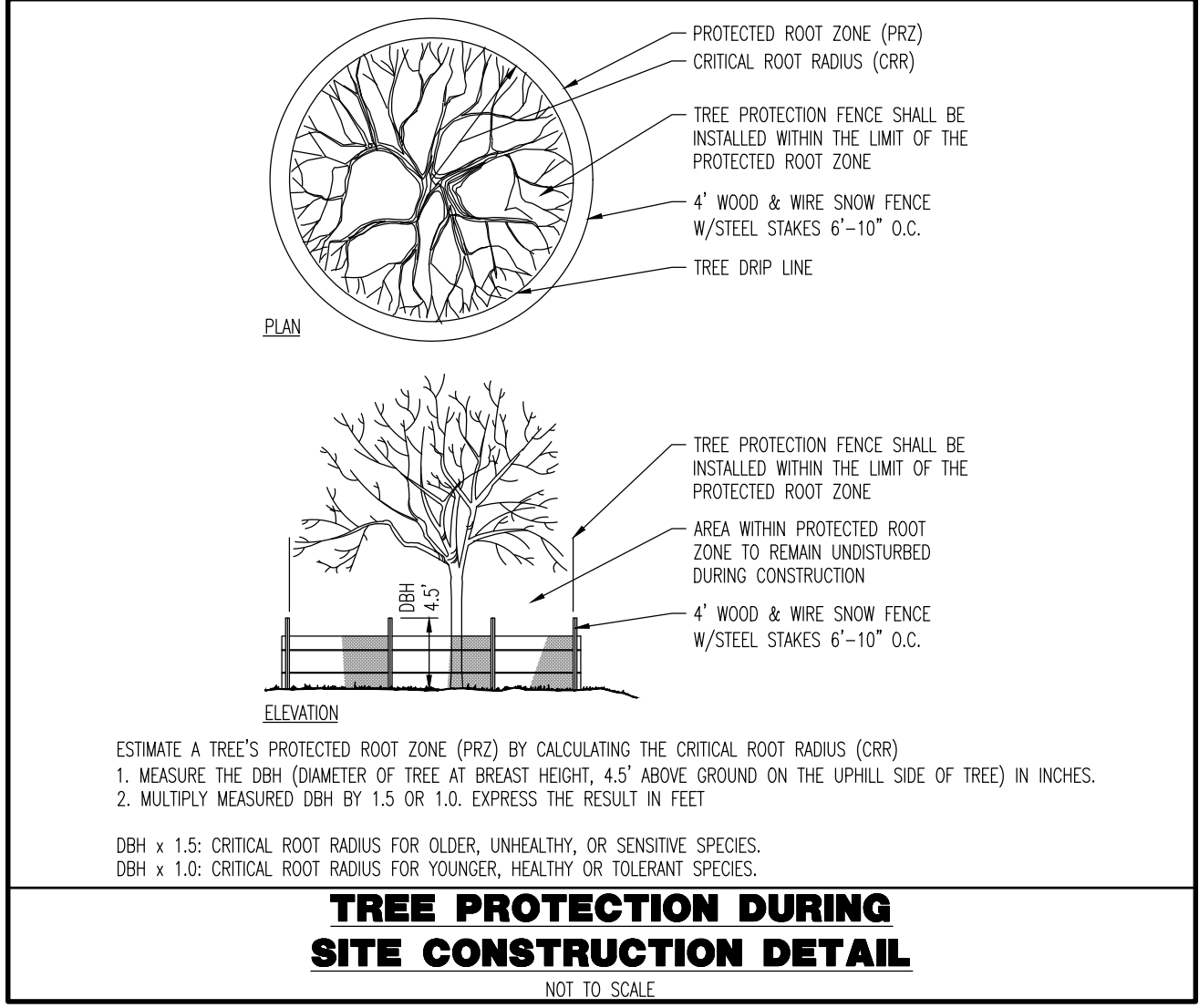
**DEMOLITION NOTES**

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOSTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING; ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR, BREAK BASEMENT FLOOR SLABS, SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITION EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. CONSISTING OF STONE, GRAVEL AND SAND. FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL PRIOR TO PLACEMENT OF FILL MATERIALS. UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION WORK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

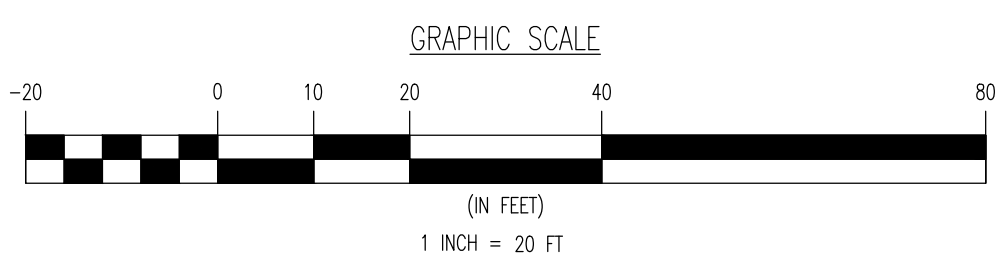
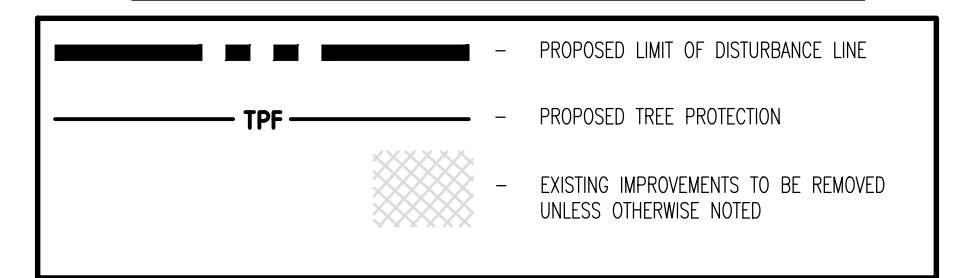
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10	11/04/20							
9	04/13/20							
8	01/20/20							
7	11/09/19							
6	10/25/19							
5	10/09/19							
4	09/26/19							
3	08/08/19							
2	07/09/19							
1								

**NOTES**

1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



**DEMOLITION PLAN LEGEND**



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PREPARED FOR: **McDonald's USA, LLC**

TITLE: **PROPOSED MCDONALD'S REMODEL DEMOLITION PLAN**

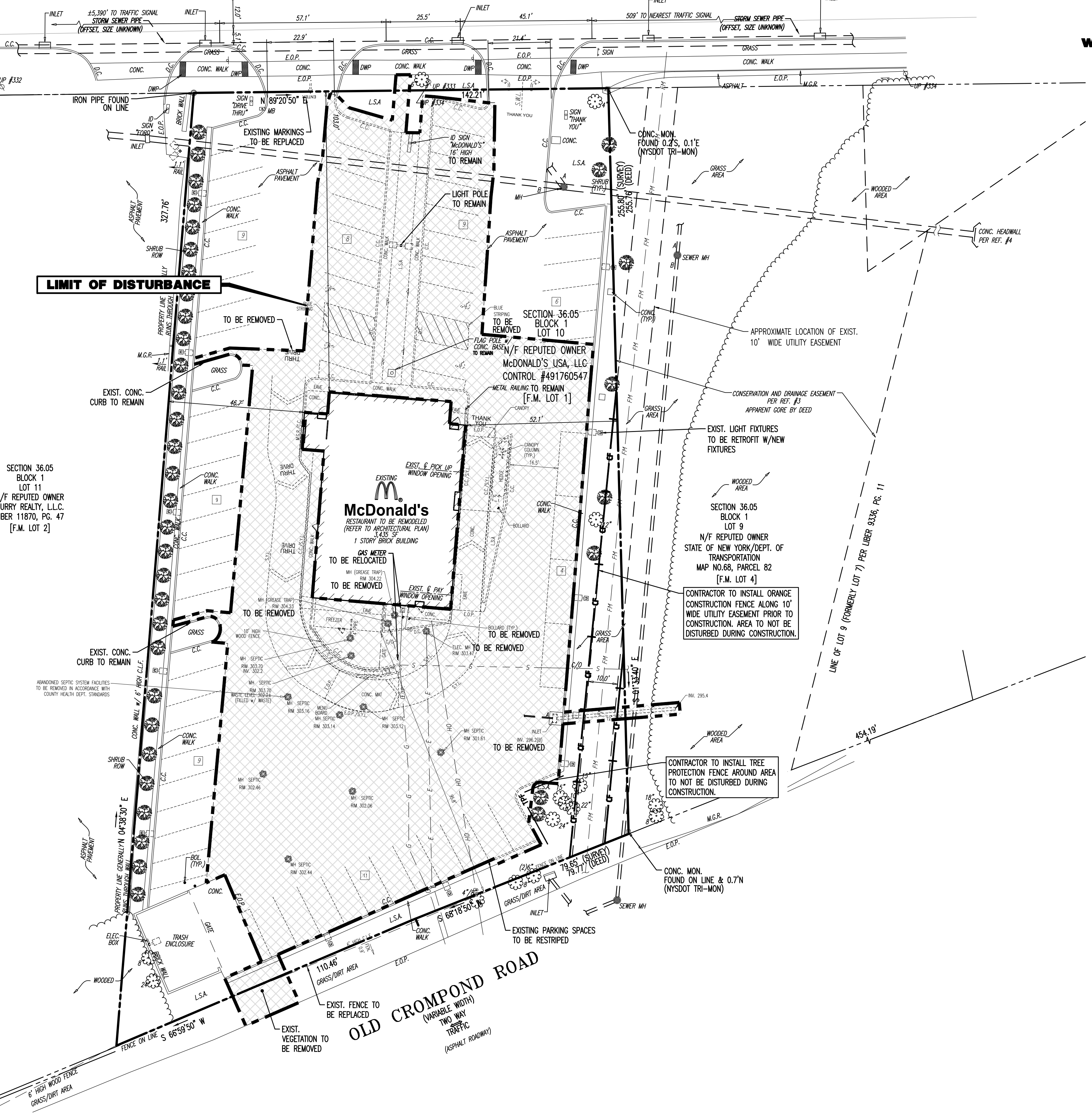
DATE ISSUED: **12/28/2018**

DRAWN BY: **JTG**

REVIEWED BY: **TFD**

SITE ADDRESS: **1110 CROMPOND ROAD, YORKTOWN, NY 11973**

PROJECT NO: **31-0170**



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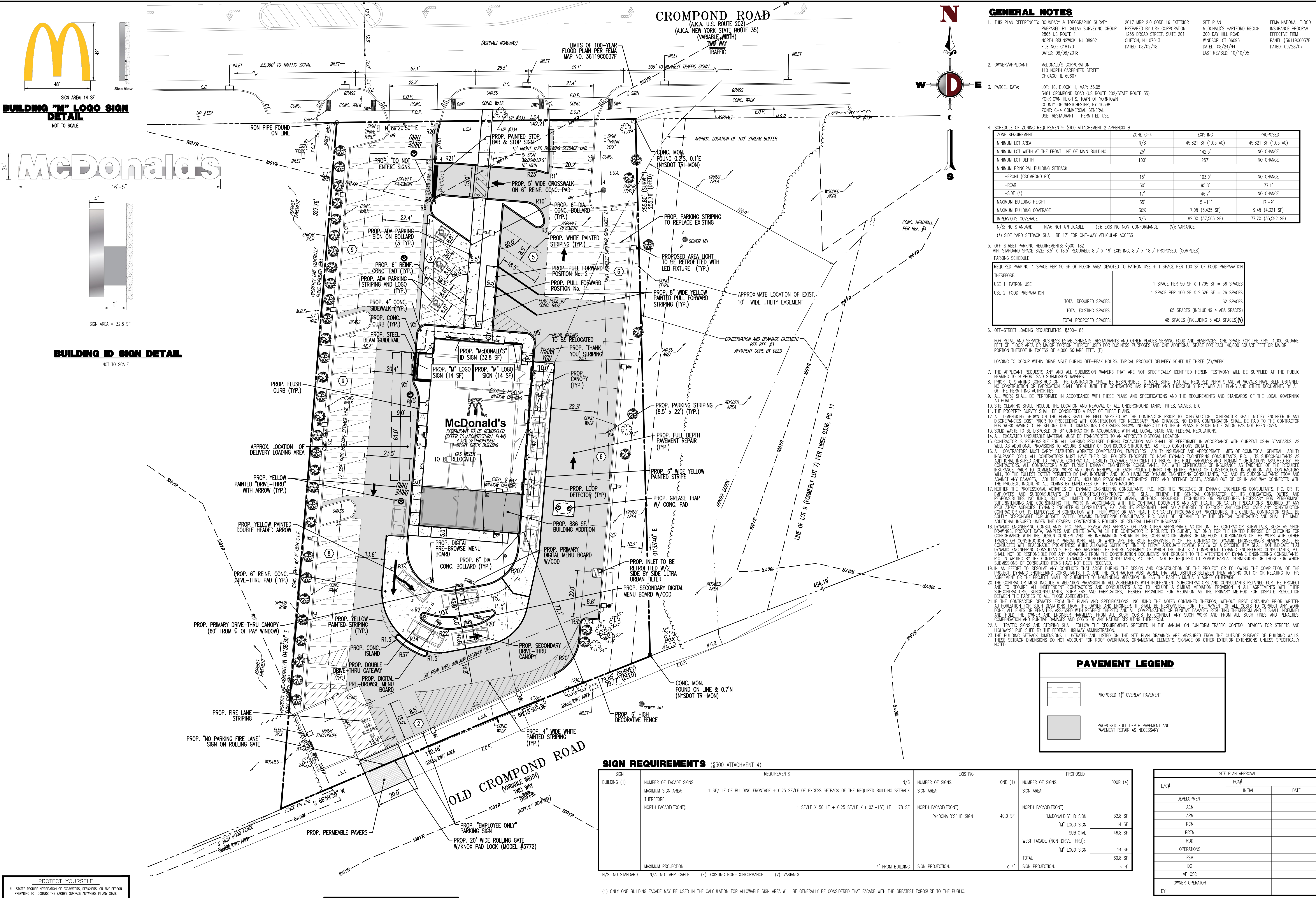
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**JOSEPH C. SPARONE**  
Professional Engineer  
1110 CROMPOND ROAD, YORKTOWN, NY 11973

**TIAGO F. DUARTE**  
Professional Engineer  
1110 CROMPOND ROAD, YORKTOWN, NY 11973

**C-3**  
SHEET 3 OF 16





### GENERAL NOTES

- THIS PLAN REFERENCES: BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY GALUS SURVEYING GROUP 2865 16 ROAD NORTH BRUNSWICK, NJ 08902 FILE NO.: G18170 DATED: 08/08/2018
- OWNER/APPLICANT: McDONALD'S CORPORATION 110 NORTH CARPENTER STREET CHICAGO, IL 60607
- PARCEL DATA: LOT: 10, BLOCK: 1, MAP: 36.05 3481 CROMPOND ROAD (US ROUTE 202/STATE ROUTE 35) YORKTOWN HEIGHTS, TOWN OF YORKTOWN COUNTY OF WESTCHESTER, NY 10598 ZONE: C-4 COMMERCIAL GENERAL USE: RESTAURANT - PERMITTED USE
- SCHEDULE OF ZONING REQUIREMENTS: §300 ATTACHMENT 2 APPENDIX B

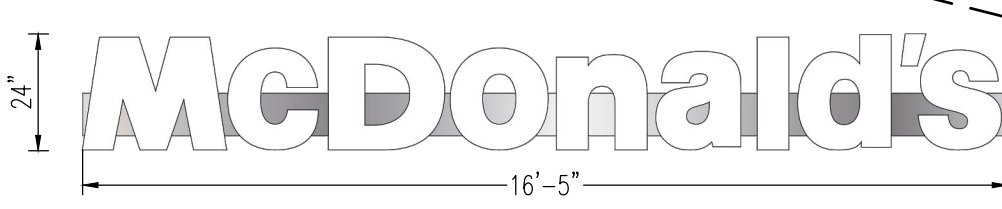
ZONE REQUIREMENT	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	45,821 SF (1.05 AC)
MINIMUM LOT WIDTH AT THE FRONT LINE OF MAIN BUILDING	25'	142.5'
MINIMUM LOT DEPTH	100'	257'
MINIMUM PRINCIPAL BUILDING SETBACK		
- FRONT (CROMPOND RD)	15'	103.0'
- REAR	30'	95.8'
- SIDE (*)	17'	46.7'
MAXIMUM BUILDING HEIGHT	35'	15'-11"
MAXIMUM BUILDING COVERAGE	30%	7.0% (3,435 SF)
IMPERVIOUS COVERAGE	N/A	82.0% (37,565 SF)

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE  
 (\*) SIDE YARD SETBACK SHALL BE 17' FOR ONE-WAY VEHICULAR ACCESS

5. OFF-STREET PARKING REQUIREMENTS: §300-182 MIN. STANDARD SPACE SIZE: 8.5' X 18.5' REQUIRED; 8.5' X 19' EXISTING; 8.5' X 18.5' PROPOSED. (COMPLIES)

PARKING SCHEDULE

USE	SPACE PER 50 SF OF FLOOR AREA DEVOTED TO PATRON USE + 1 SPACE PER 100 SF OF FOOD PREPARATION THEREFOR	SPACE PER 100 SF OF FLOOR AREA	TOTAL EXISTING SPACES	TOTAL PROPOSED SPACES
1. PATRON USE	1 SPACE PER 50 SF X 1,795 SF = 36 SPACES	1 SPACE PER 100 SF X 2,526 SF = 26 SPACES	62 SPACES	62 SPACES
2. FOOD PREPARATION	1 SPACE PER 100 SF X 2,526 SF = 26 SPACES	1 SPACE PER 100 SF X 2,526 SF = 26 SPACES	62 SPACES	62 SPACES
TOTAL EXISTING SPACES			62 SPACES (INCLUDING 4 ADA SPACES)	62 SPACES (INCLUDING 4 ADA SPACES)
TOTAL PROPOSED SPACES			62 SPACES (INCLUDING 4 ADA SPACES)	48 SPACES (INCLUDING 3 ADA SPACES)



**PROTECT YOURSELF**  
 ALL STATES REQUIRE NOTIFICATION OF EXISTING OBSTRUCTIONS, DESIGNERS, OR ANY PERSON PREPARING TO DISBURS THE EARTH'S SURFACE NOWHERE IN ANY STATE.

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### SIGN REQUIREMENTS

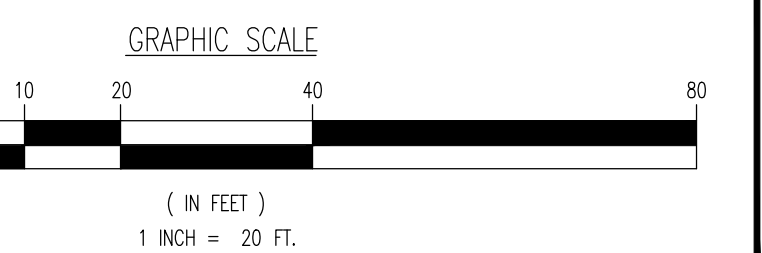
(§300 ATTACHMENT 4)

SIGN	REQUIREMENTS	EXISTING	PROPOSED
BUILDING (1)	NUMBER OF FACADE SIGNS: N/A MAXIMUM SIGN AREA: 1 SF / LF OF BUILDING FRONTAGE + 0.25 SF / LF OF EXCESS SETBACK OF THE REQUIRED BUILDING SETBACK THEREFORE: NORTH FACADE(FRONT): 1 SF / LF X 56 LF + 0.25 SF / LF X (103'-15') LF = 78 SF MAXIMUM PROJECTION: 4' FROM BUILDING	NUMBER OF SIGNS: ONE (1) SIGN AREA: NORTH FACADE(FRONT): "MCDONALD'S" ID SIGN 40.0 SF SIGN PROJECTION: < 4'	NUMBER OF SIGNS: FOUR (4) SIGN AREA: NORTH FACADE(FRONT): "MCDONALD'S" ID SIGN 32.8 SF "M" LOGO SIGN 14 SF SUBTOTAL 46.8 SF WEST FACADE (NON-DRIVE THRU): "M" LOGO SIGN 14 SF TOTAL 60.8 SF SIGN PROJECTION: < 4'

(1) ONLY ONE BUILDING FACADE MAY BE USED IN THE CALCULATION FOR ALLOWABLE SIGN AREA. WILL BE GENERALLY BE CONSIDERED THAT FACADE WITH THE GREATEST EXPOSURE TO THE PUBLIC.

### PAVEMENT LEGEND

[Symbol]	PROPOSED 1" OVERLAY PAVEMENT
[Symbol]	PROPOSED FULL DEPTH PAVEMENT AND PAVEMENT REPAIR AS NECESSARY



DATE	DESCRIPTION
11/04/20	REVISED PER ABACA AND PLANNING BOARD COMMENTS
04/13/20	REVISED PER NYCEP COMMENTS
01/20/20	REVISED PER PLANNING BOARD COMMENTS
11/09/19	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
10/25/19	REVISED PER PLANNING BOARD COMMENTS
10/09/19	REVISED PER PLANNING BOARD COMMENTS
09/26/19	REVISED PER PLANNING BOARD WORK SESSION #2
09/08/19	REVISED PER PLANNING BOARD WORK SESSION
07/09/19	REVISED PER PLANNING BOARD WORK SESSION

REVISED PER ABACA AND PLANNING BOARD COMMENTS	DATE
9	11/04/20
8	04/13/20
7	01/20/20
6	11/09/19
5	10/25/19
4	10/09/19
3	09/26/19
2	09/08/19
1	07/09/19

FOR RETAIL AND SERVICE BUSINESS ESTABLISHMENTS, RESTAURANTS AND OTHER PLACES SERVING FOOD AND BEVERAGES; ONE SPACE FOR THE FIRST 4,000 SQUARE FEET OF FLOOR AREA OR MAJOR PORTION THEREOF USED FOR BUSINESS PURPOSES AND ONE ADDITIONAL SPACE FOR EACH 40,000 SQUARE FEET OR MAJOR PORTION THEREOF IN EXCESS OF 4,000 SQUARE FEET. (E)

LOADING TO OCCUR WITHIN DRIVE ASLE DURING OFF-PEAK HOURS. TYPICAL PRODUCT DELIVERY SCHEDULE THREE (3) WEEK.

7. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.

8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGAIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.

9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.

10. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TRENCHES, PIPES, VALVES, ETC.

11. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.

12. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

13. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

14. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.

15. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE COMPLETED WITH CURRENT OSHA STANDARDS, AS WELL AS ANY ADDITIONAL PROVISIONS TO INSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

16. ALL CONTRACTORS MUST CARRY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (G.L.I.). ALL CONTRACTORS MUST HAVE THEIR POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNIFY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE. PRIOR TO COMMENCING WORK AND UPON REVIEW OF EACH POLICY DURING THE PERIOD OF CONSTRUCTION IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

17. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ASBESTOS SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INFORMED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

18. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DELAY OR STOPPAGE OF WORK DUE TO THE CONTRACTOR'S FAILURE TO OBTAIN NECESSARY PERMITS OR APPROVALS. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DELAY OR STOPPAGE OF WORK DUE TO THE CONTRACTOR'S FAILURE TO OBTAIN NECESSARY PERMITS OR APPROVALS. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF COMPLETED ITEMS HAVE NOT BEEN RECEIVED.

19. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.

20. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.

21. IF THE CONTRACTOR INCURS FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE. ALL FINES OR PENALTIES ASSESSED WITH RESPECT THEREOF AND ANY COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

22. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.

23. THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS; THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SPOKES OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.

PREPARED FOR: **McDonald's USA, LLC**  
 245 NEW YORK AVENUE, SUITE 1300, NEW YORK, NY 10019  
 TEL: (212) 879-6000  
 WWW.MCDONALDSUSA.COM

PREPARED BY: **DYNAMIC ENGINEERING CONSULTANTS, P.C.**  
 140 WEST STREET, SUITE 1100, NEW YORK, NY 10013  
 TEL: (212) 463-1000  
 WWW.DYNAMICENGINEERINGCONSULTANTS.COM

PROJECT: **PROPOSED MCDONALD'S REMODEL**

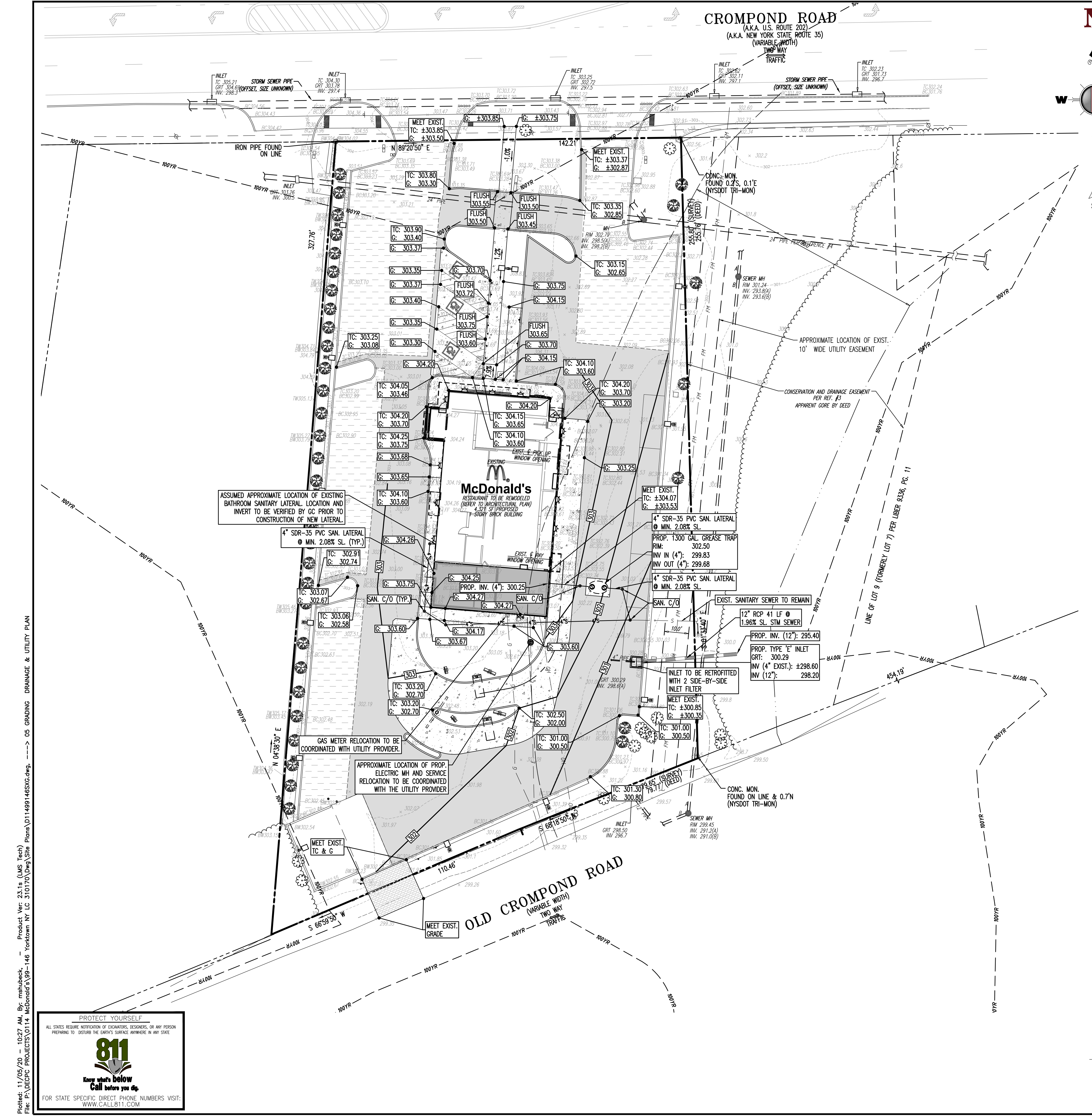
DATE ISSUED: **12/28/2018**

BY: [Signature]

**JOSEPH C. SPURONE**  
 PROFESSIONAL ENGINEER  
 STATE OF NEW YORK  
 LICENSE NO. 10102

**TIAGO F. DUARTE**  
 PROFESSIONAL ENGINEER  
 STATE OF NEW YORK  
 LICENSE NO. 10102

SHEET 4 OF 16



PROPERTY LINE (PARCEL IN QUESTION)			OFF-SITE PROPERTY LINES		
C	C	EXIST. CABLE LINE	C	C	PROP. CABLE LINE
E	E	EXIST. ELECTRIC LINE	E	E	PROP. ELECTRIC LINE
FO	FO	EXIST. FIBER OPTIC LINE	FO	FO	PROP. FIBER OPTIC LINE
FUEL	FUEL	EXIST. FUEL LINE	FUEL	FUEL	PROP. FUEL LINE
OH	OH	EXIST. OVERHEAD WIRES	OH	OH	PROP. OVERHEAD WIRES
T	T	EXIST. TELEPHONE LINE	T	T	PROP. TELEPHONE LINE
USET	USET	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	USET	USET	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
W	W	EXIST. WATER LINE	W	W	PROP. WATER LINE
SS	SS	EXIST. SANITARY SEWER LINE	SS	SS	PROP. SANITARY SEWER LINE
SD	SD	EXIST. STORM DRAIN LINE	SD	SD	PROP. STORM DRAIN LINE
CE	CE	EXIST. MINOR CONTOUR & ELEVATION	XX	XX	PROP. FINISH GRADE CONTOUR & ELEVATION
CM	CM	EXIST. MAJOR CONTOUR & ELEVATION			
MW	MW	EXIST. MONITORING WELL			
AP	AP	APPROX. TEST PIT LOCATION			
SE	SE	EXIST. SPOT ELEVATIONS	GE	000.00	PROP. GRADE SPOT ELEV.
CE	CE	EXIST. CUTTER ELEV.	TC	000.00	PROP. TOP OF CURB & FINISHED GRADE ELEV.
CE	CE	EXIST. TOP OF CURB ELEV.	TO	00.00	PROP. TOP OF CURB ELEV.
CE	CE	EXIST. FINISH FLOOR ELEV.	FF	000.00	PROP. FINISHED FLOOR ELEV.
CE	CE	EXIST. GARAGE FLOOR ELEV.	GL	000.00	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
CE	CE	EXIST. FIRE HYDRANT	TW	000.00	PROP. FINISHED FLOOR ELEV.
CE	CE	EXIST. WATER VALVE	CH	000.00	PROP. TOP OF EXTENDED CURB (GH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (GL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
CE	CE	EXIST. GAS VALVE	GL	000.00	PROP. TOP OF EXTENDED CURB (GH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (GL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
CE	CE	EXIST. GAS METER			
CE	CE	EXIST. ELECTRIC METER			
CE	CE	EXIST. ELECTRIC BOX			
CE	CE	EXIST. CLEAN OUT			
CE	CE	EXIST. WELL			
CE	CE	EXIST. WATER SHUT OFF VALVE			
CE	CE	EXIST. TELEPHONE BOX			
CE	CE	EXIST. CABLE TV BOX			
CE	CE	EXIST. UTILITY POLE			
CE	CE	EXIST. GUY WIRE			
CE	CE	EXIST. BUILDING LIGHT			
CE	CE	EXIST. SHOE BOX LIGHT			
CE	CE	EXIST. COBRA LIGHT POLE			
CE	CE	EXIST. TRAFFIC SIGNAL POLE			
CE	CE	EXIST. MANHOLE			
CE	CE	EXIST. "A" INLET			
CE	CE	EXIST. "B" INLET			
CE	CE	EXIST. "C" INLET			
CE	CE	EXIST. YARD INLET			
CE	CE	EXIST. FLARED END SECTION			
CE	CE	EXIST. HEADWALL			
CE	CE	EXIST. AREA LIGHT			
CE	CE	EXIST. OUTLET CONTROL STRUCTURE			
CE	CE	EXIST. DRAINAGE MANHOLE			
CE	CE	EXIST. SANITARY SEWER MANHOLE			
CE	CE	EXIST. "A" INLET			
CE	CE	EXIST. "B" INLET			
CE	CE	EXIST. "C" INLET			
CE	CE	EXIST. YARD INLET			
CE	CE	EXIST. FLARED END SECTION			
CE	CE	EXIST. HEADWALL			

**GRADING NOTES**

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN. SET THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTING REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE, WHILE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND CATCHERS, CURBS AND 1.00% ON ALL CONC. SURFACES, AND 1.12% MIN. ON ASPHALT. TO PREVENT PONDING, ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% COUNTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SUBGRADE MATERIAL FOR SIDEWALKS, CURB OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS, SHOULD SUBGRADE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 1% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTES, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE OWNER SHALL RETAIN DYNAMIC ENGINEERING, LLC (908-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
- CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

**EXISTING UTILITY NOTES**

**EXISTING WATER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**EXISTING GAS SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**SANITARY SEWER SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

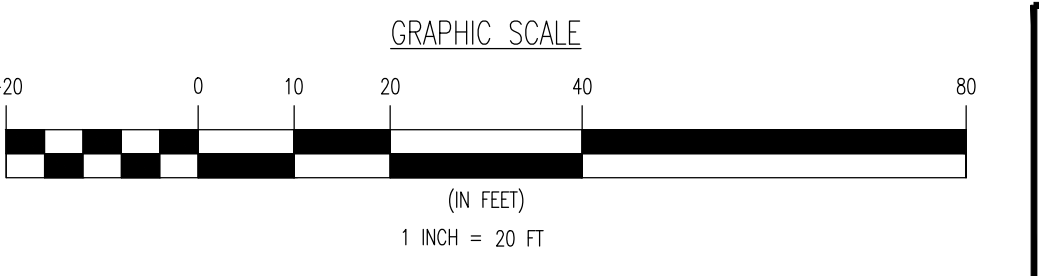
**SANITARY SEWER & WATER DEMAND NOTES**

FAST FOOD RESTAURANT: 25 GPD/SEAT + 500 GPD/DRIVE-THRU WINDOW

THEREFORE:  
 EXISTING: 78 SEATS \* 25 GPD/SEAT + 2 WINDOWS \* 500 GPD/WINDOW  
 TOTAL EXISTING DEMAND: 2,950 GPD

PROPOSED: 53 SEATS \* 25 GPD/SEAT + 2 WINDOWS \* 500 GPD/WINDOW  
 TOTAL PROPOSED DEMAND: 2,325 GPD

\* PER NYSDCE DESIGN STANDARDS TABLE B-3



JOSEPH J. SPERONE  
 PROFESSIONAL ENGINEER  
 No. 10111  
 STATE OF NEW YORK  
 LICENSED PROFESSIONAL ENGINEER

TIAGO F. DUARTE  
 PROFESSIONAL ENGINEER

**C-5**  
 SHEET 5 OF 16

Product Ver: 23.1s (LMS Tech)  
 Plotter: 11/05/20 - 10:27 AM. Bc: metuback  
 File: P:\DECPC PROJECTS\0114 McDonald's 99-146 \Yorktown NY LC 310170\Draw\Site\Site 05 GRADING DRAINAGE & UTILITY PLAN

**PROTECT YOURSELF**

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON  
 WORKING TO DISBURS THE EARTH'S SURFACE ANYWHERE IN ANY STATE.

**811**

Know what's below  
 Call before you dig.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:  
 WWW.CALL811.COM

NO.	DATE	BY	DESCRIPTION
1	01/19/20	JTG	REVISED PER NEW BUILDING COMMENTS
2	01/20/20	ARR	REVISED PER NYSDCE COMMENTS
3	01/20/20	ARR	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
4	01/20/20	ARR	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
5	01/20/20	ARR	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
6	01/20/20	ARR	REVISED PER BOARD COMMENTS
7	01/20/20	ARR	REVISED PER BOARD COMMENTS
8	01/20/20	ARR	REVISED PER BOARD COMMENTS
9	01/20/20	ARR	REVISED PER BOARD COMMENTS

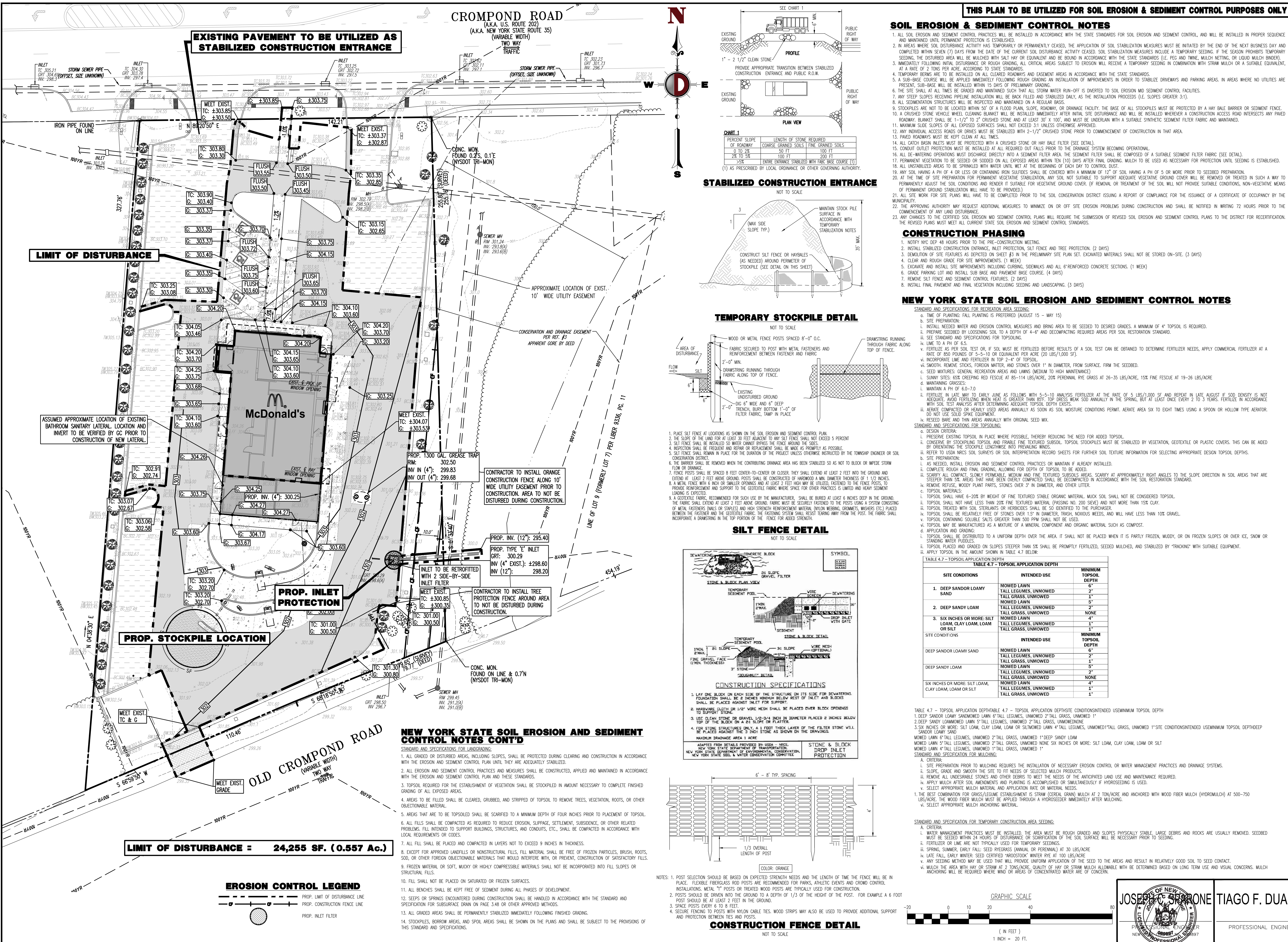
PREPARED BY: DYNAMIC ENGINEERING	DATE: 01/20/20
CHECKED BY: JOSEPH J. SPERONE	DATE: 01/20/20
DESIGNED BY: TIAGO F. DUARTE	DATE: 01/20/20

L/C#: 31-0170	L/C: YORKTOWN, NEW YORK
DRAWN BY: JTG	
DATE ISSUED: 12/28/2018	
REVIEWED BY: TJD	
DATE ISSUED: 12/28/2018	
PROJECT TITLE: PROPOSED MCDONALD'S REMODEL	
SITE ADDRESS: 146 CROMPOD ROAD, YORKTOWN, NEW YORK 10568	
SITE ID: 31-0170	



Product Ver: 23.1s (LMS Tech)  
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 File: P:\DEPC PROJECTS\0114 McDonald's 99-146 Yorktown NY LC 310170\Draw\Site\Plan\07 SOIL EROSION & SEDIMENT CONTROL PLAN



REVISION	DATE	DESCRIPTION
1	11/04/20	REVISED PER ABAMA AND PLANNING BOARD COMMENTS
2	04/13/20	REVISED PER NY DEP COMMENTS
3	01/20/20	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
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7	09/26/19	REVISED PER PLANNING BOARD WORK SESSION #2
8	07/09/19	REVISED PER PLANNING BOARD WORK SESSION
9		JTG
10		BY

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 Yorktown, NY 10994  
 Tel: 516.879.0222  
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**DYNAMIC ENGINEERING**

LAND DEVELOPMENT CONSULTING • REMEDIATION • ENVIRONMENTAL • SURVEY • PLANNING DIVISION

PREPARED FOR: **McDonald's USA, LLC**

PROJECT: **PROPOSED MCDONALD'S REMODEL**

DATE ISSUED: **12/28/2018**

DATE: **12/28/2018**

PROJECT NO: **31-0170**

PROJECT ADDRESS: **146 CROMPOND ROAD, YORKTOWN, NY 10994**

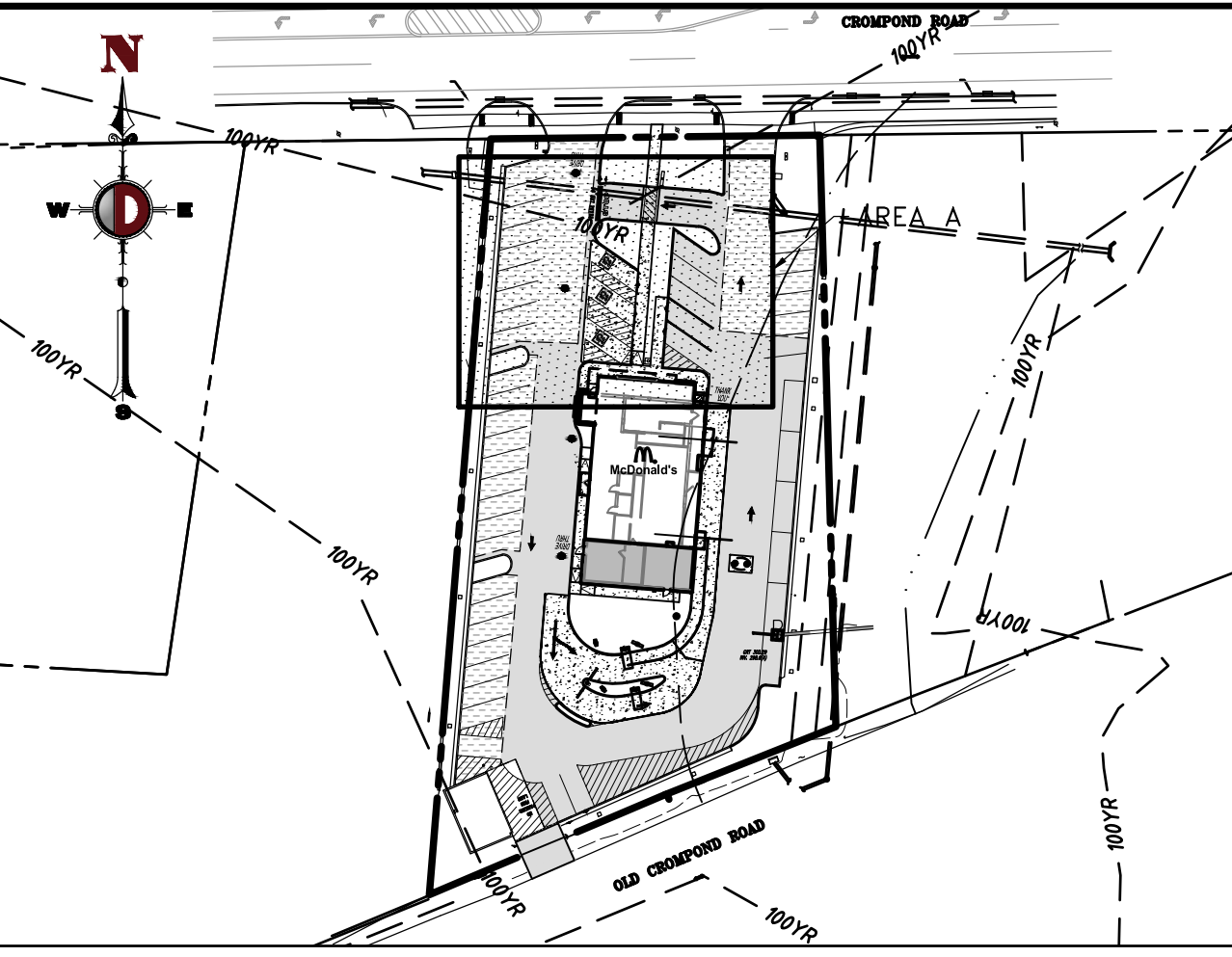
PROJECT DESCRIPTION: **SOIL EROSION & SEDIMENT CONTROL PLAN**

PROJECT ENGINEER: **JOSEPH J. SERRANO**

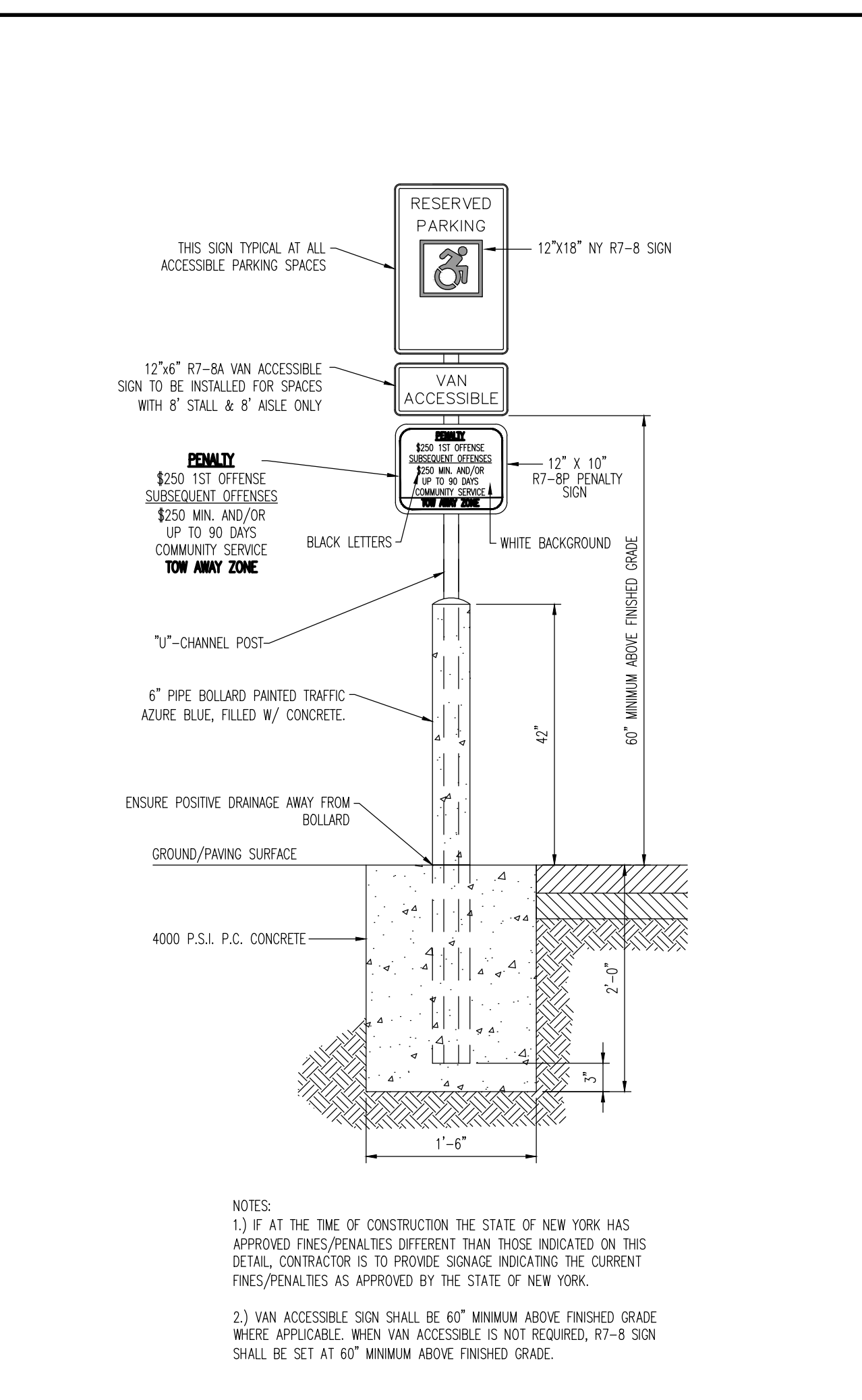
PROJECT ENGINEER: **TIAGO F. DUARTE**

PROJECT NO: **0114-99-146**

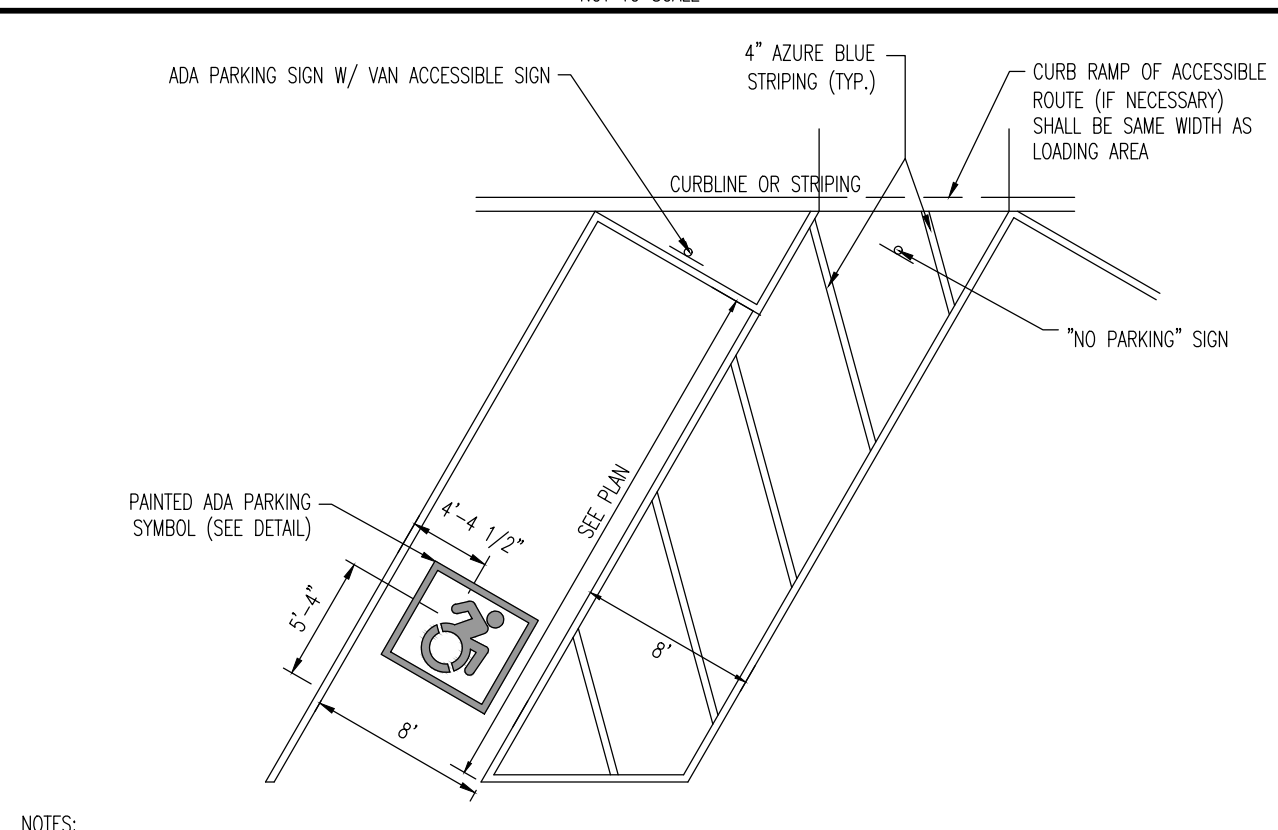
SHEET: **7** OF 16



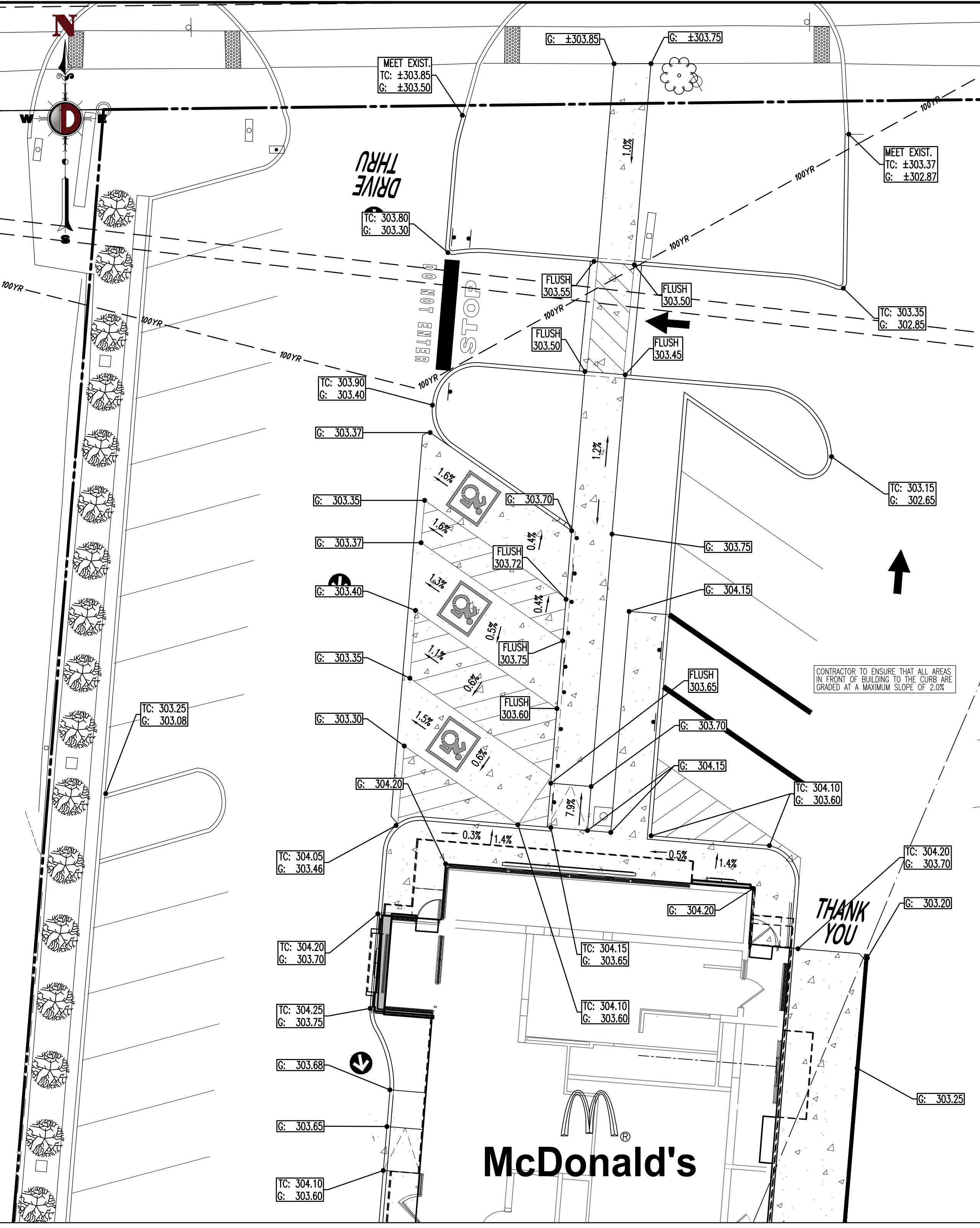
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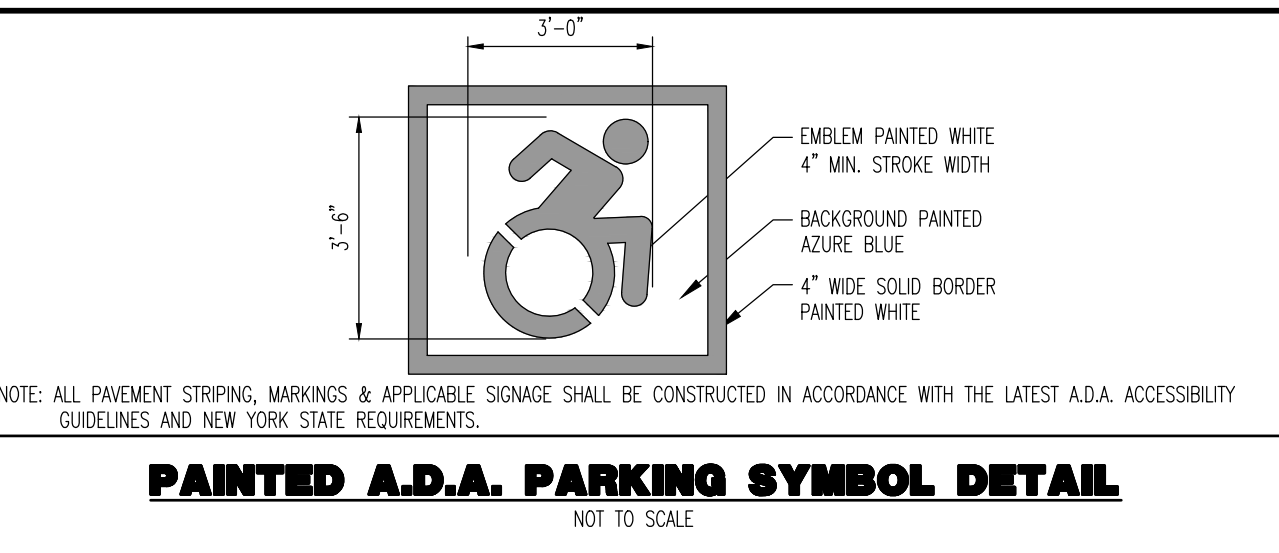
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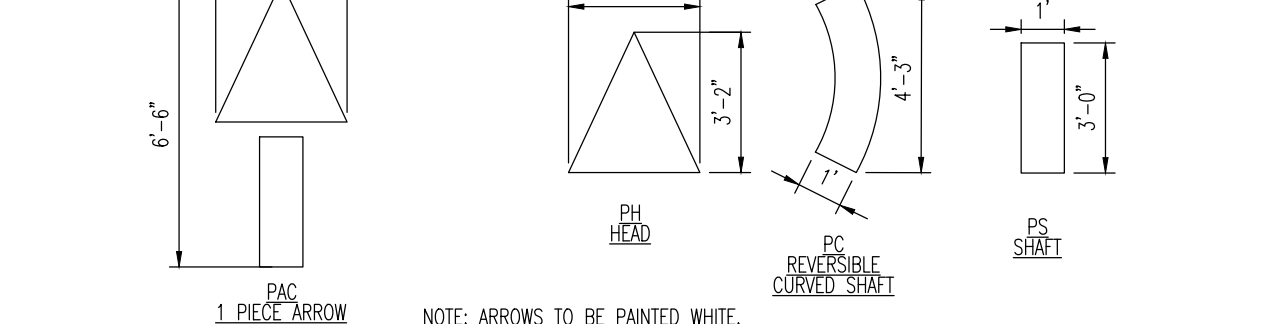
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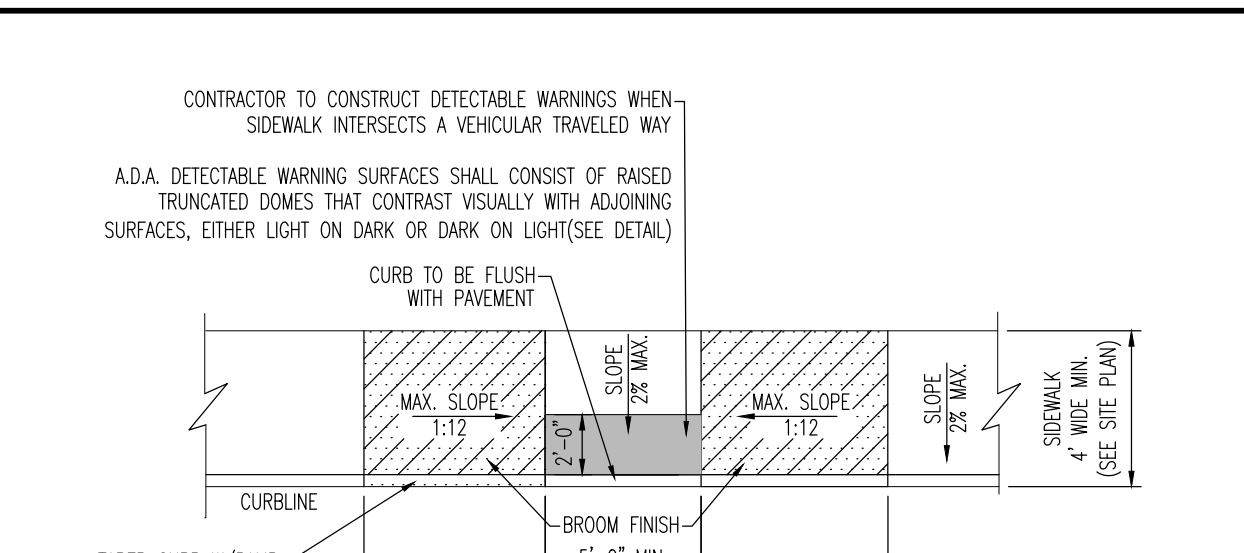
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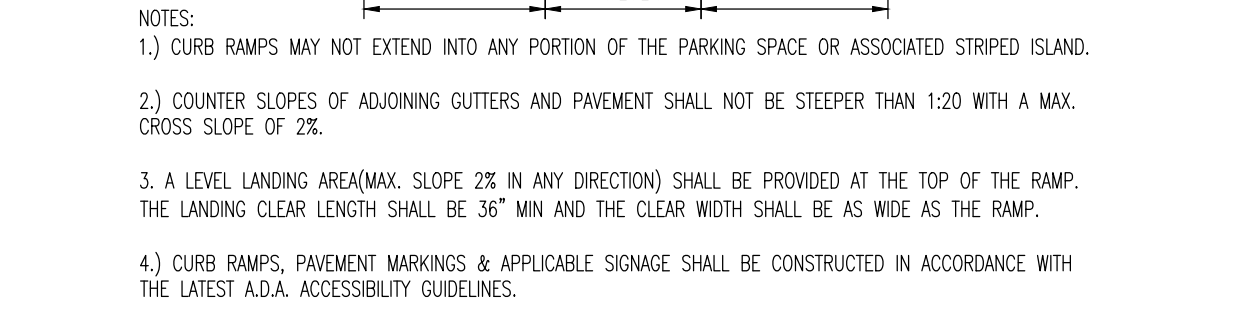
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NOT TO SCALE



**PAINTED PARKING LOT ARROW DETAILS**  
NOT TO SCALE



**A.D.A. PARALLEL CURB RAMP DETAIL**  
NOT TO SCALE



**A.D.A. PERPENDICULAR CURB RAMP DETAIL (W/OUT FLARE SIDES)**  
NOT TO SCALE

**ADA NOTES**  
ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:

**SIDEWALKS/ ACCESSIBLE ROUTES**  
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)  
- CROSS SLOPE: 1:48 (2.08%) MAX., 1.0% MIN. (1.5% MAX. FOR NEW CONSTRUCTION)  
- ADA REQUIRED MANEUVERING CLEARANCE/LANDING AREA SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)  
- ADA REQUIRED MANEUVERING CLEARANCE AT DOOR TO BE KEPT CLEAR OF DOOR

**CHANGE IN LEVELS:** 1" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.  
- GAPS: 1/2" MAX. WIDTH

**CURB RAMP**  
- SLOPE: 1:12 (8.3%) MAX. (7.5% MAX. FOR NEW CONSTRUCTION)  
- SIDE FLARE SLOPE: 1:10 (10%) MAX. (ALONG CURB TRANSITION)  
- BOTTOM LANDING: MIN. 48" x 60"; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)  
- TOP LANDING: 36" MIN. LENGTH, 60" IN FRONT OF DOORS; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)  
- COUNTER SLOPES OF ADJOINING GUTTERS AND PAVEMENT SHALL NOT BE STEEPER THAN 1:20 (5.0%) (4.5% MAX. FOR NEW CONSTRUCTION) WITH A MAX. CROSS SLOPE OF 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION).  
- MAX. RISE: 6"

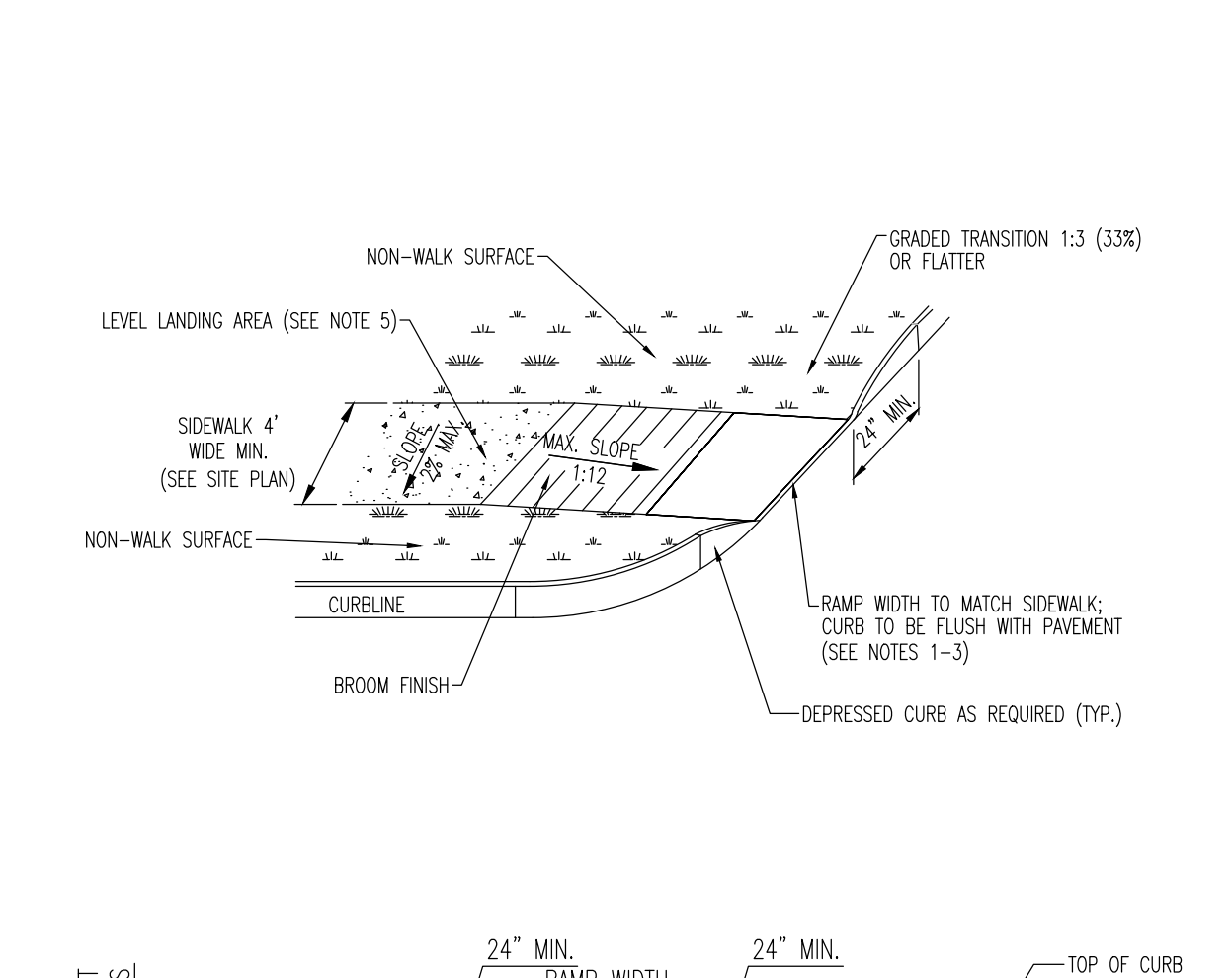
**ACCESSIBILITY PARKING STALLS**  
- SPACE AND ACCESS ASLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.8% MAX. FOR NEW CONSTRUCTION)

**CROSSWALKS**  
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)  
- CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)  
- CHANGE IN LEVELS: 1" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.  
- GAPS: 1/2" MAX.

**RAMPS**  
- SLOPE: 1:12 (8.3%) MAX. (7.5% MAX. FOR NEW CONSTRUCTION)  
- MAX. RISE: 30"  
- MIN. CLEAR WIDTH: 36"  
- MIN. LANDING CLEAR LENGTH: 60"  
- MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)

ADA NOTES CONFORM TO MOST CURRENT EDITION OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG).

CONTRACTOR TO ENSURE THAT ALL AREAS IN FRONT OF BUILDING TO THE CURB ARE GRADED AT A MAXIMUM SLOPE OF 2.0%



**TYPICAL ELEVATION FOR DEPRESSED CURB**

**NOTES:**

- CONSTRUCT DEPRESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT PAVEMENT. GRADE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING. FOR LEVEL TURNING SPACES BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE.
- CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
- COUNTER SLOPES OF ADJOINING GUTTERS AND PAVEMENT SHALL NOT BE STEEPER THAN 1:20 WITH A MAX. CROSS SLOPE OF 2%.
- A LEVEL LANDING AREA (MAX. SLOPE 2% IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF THE RAMP. THE LANDING CLEAR LENGTH SHALL BE 36" MIN AND THE CLEAR WIDTH SHALL BE AS WIDE AS THE RAMP.
- CURB RAMPS, PAVEMENT MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

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Yorktown, NY 10594  
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PREPARED FOR:  
**McDonald's USA, LLC**

PREPARED BY:  
**JTG**

DATE ISSUED:  
**12/28/2018**

REVIEWED BY:  
**TFD**

DATE ISSUED:  
**12/28/2018**

DATE ISSUED:  
**12/28/2018**

DATE ISSUED:  
**12/28/2018**

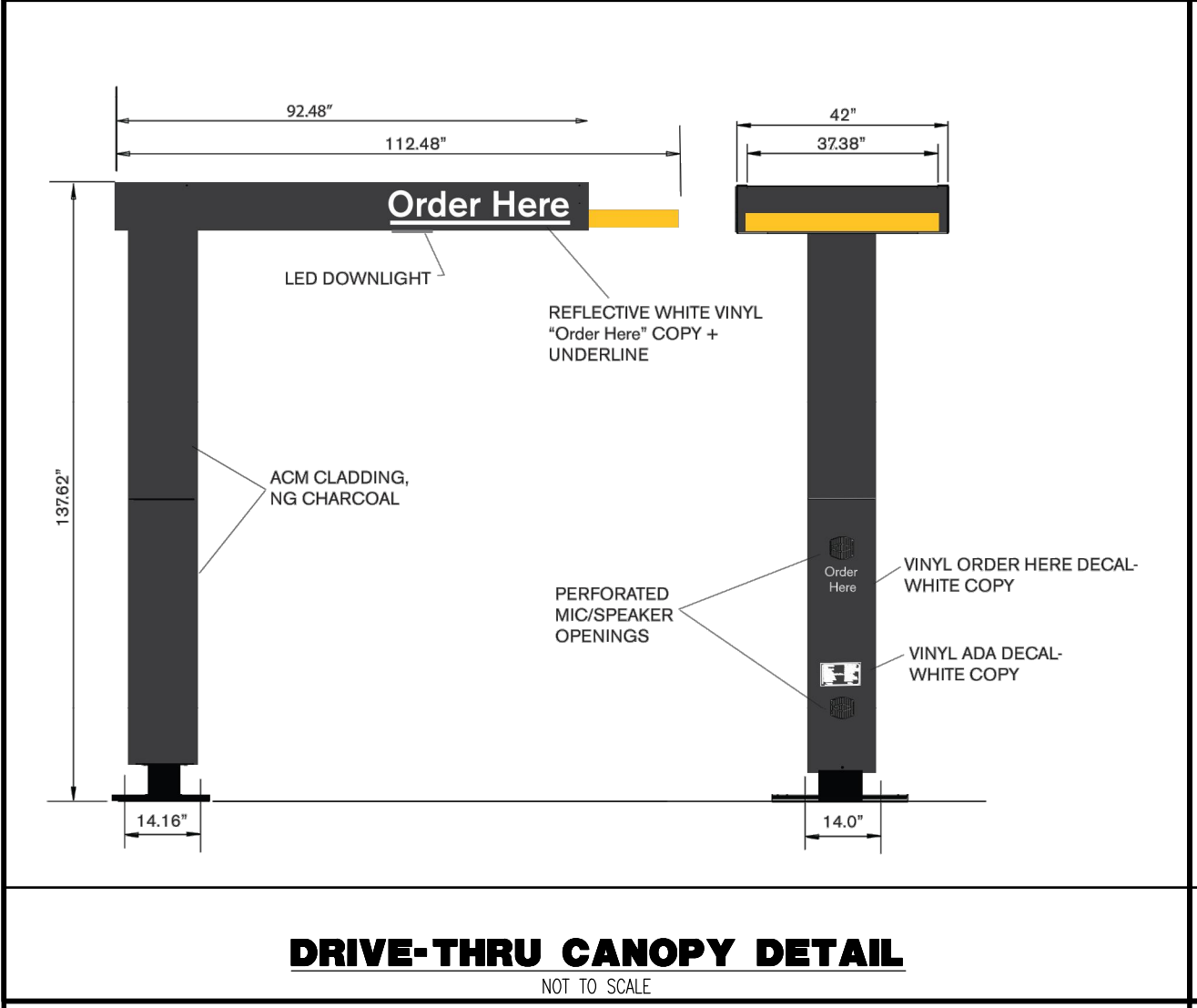
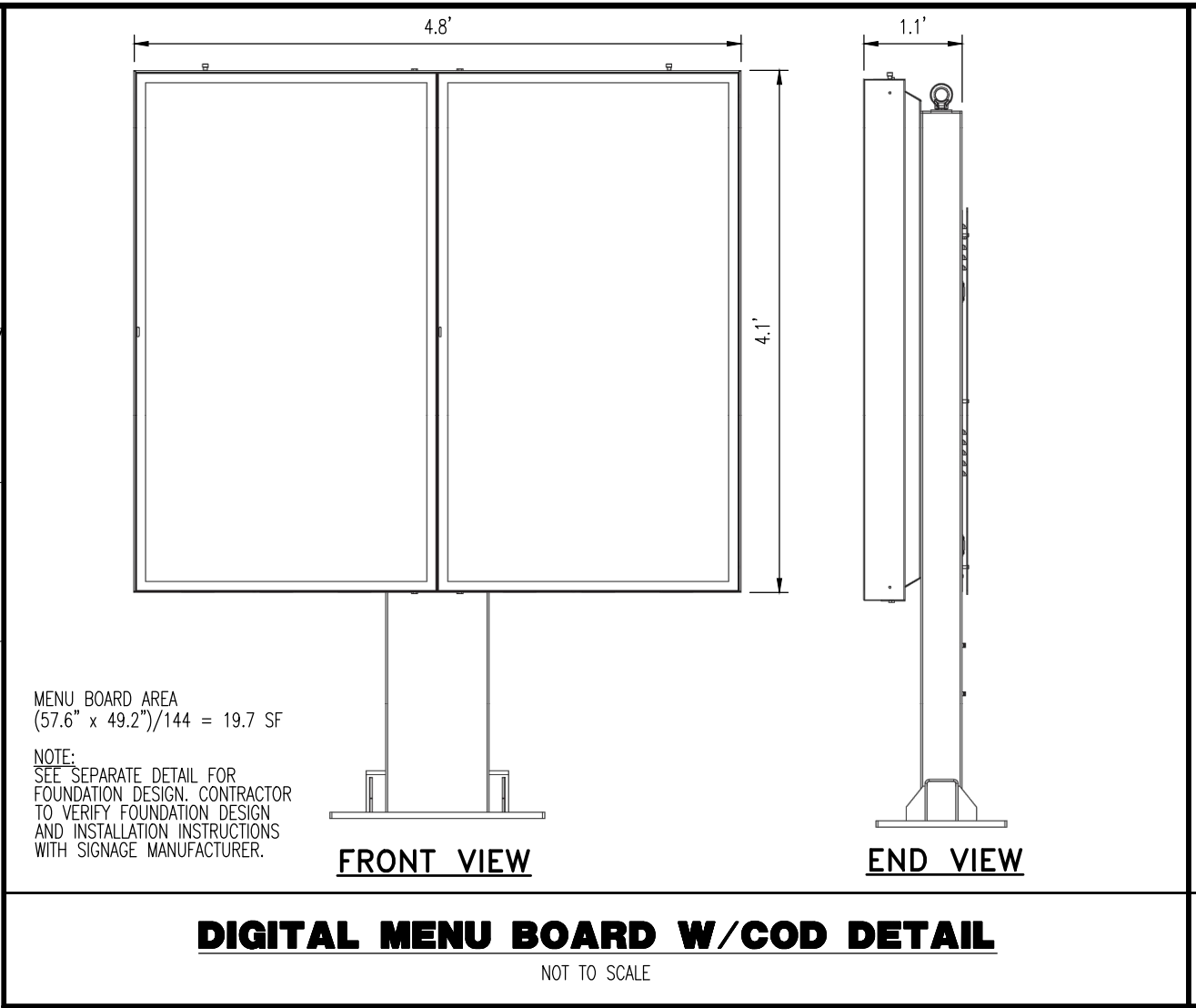
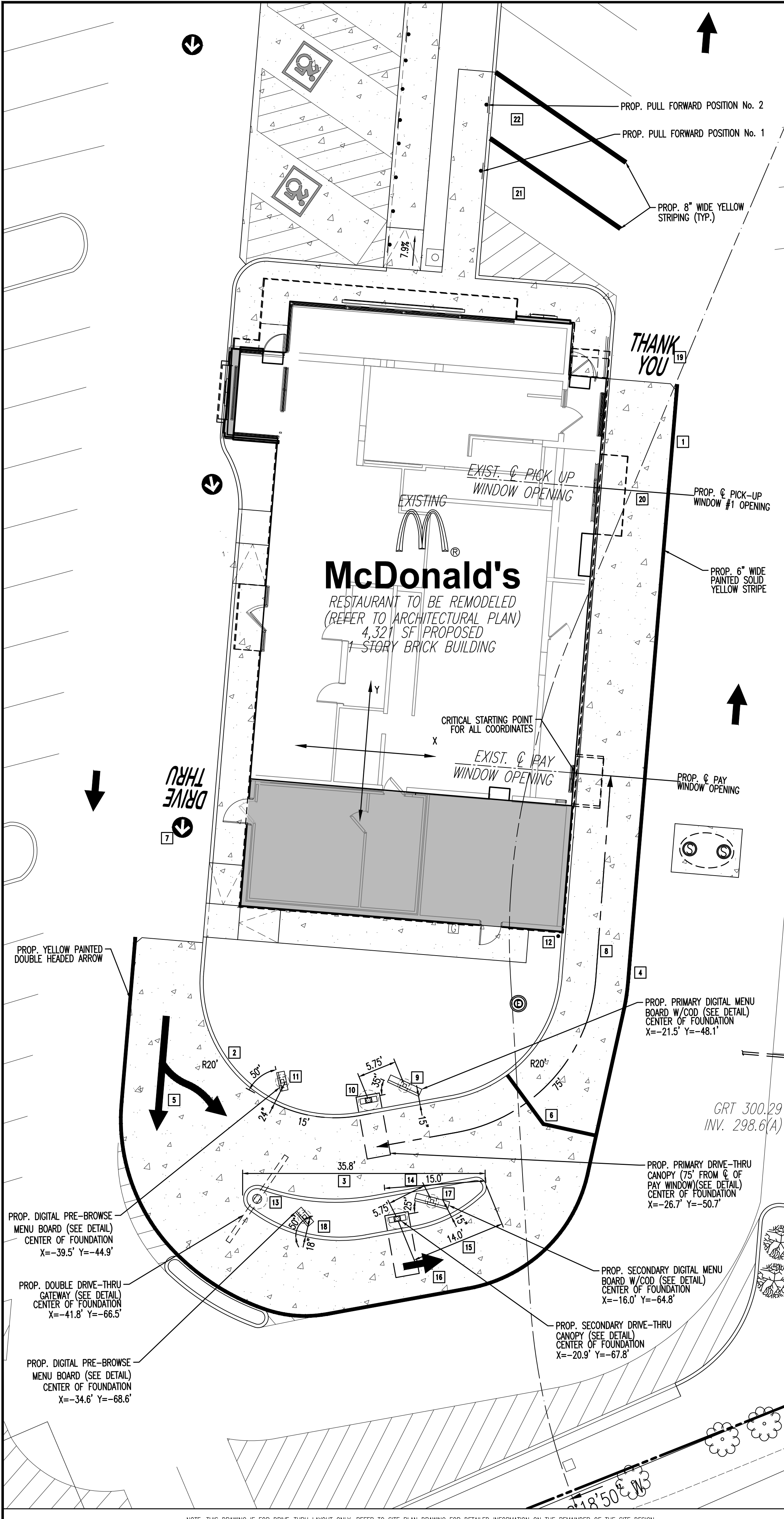
**PROPOSED MCDONALD'S REMODEL**

**ADA COMPLIANCE AND CONSTRUCTION DETAILS**

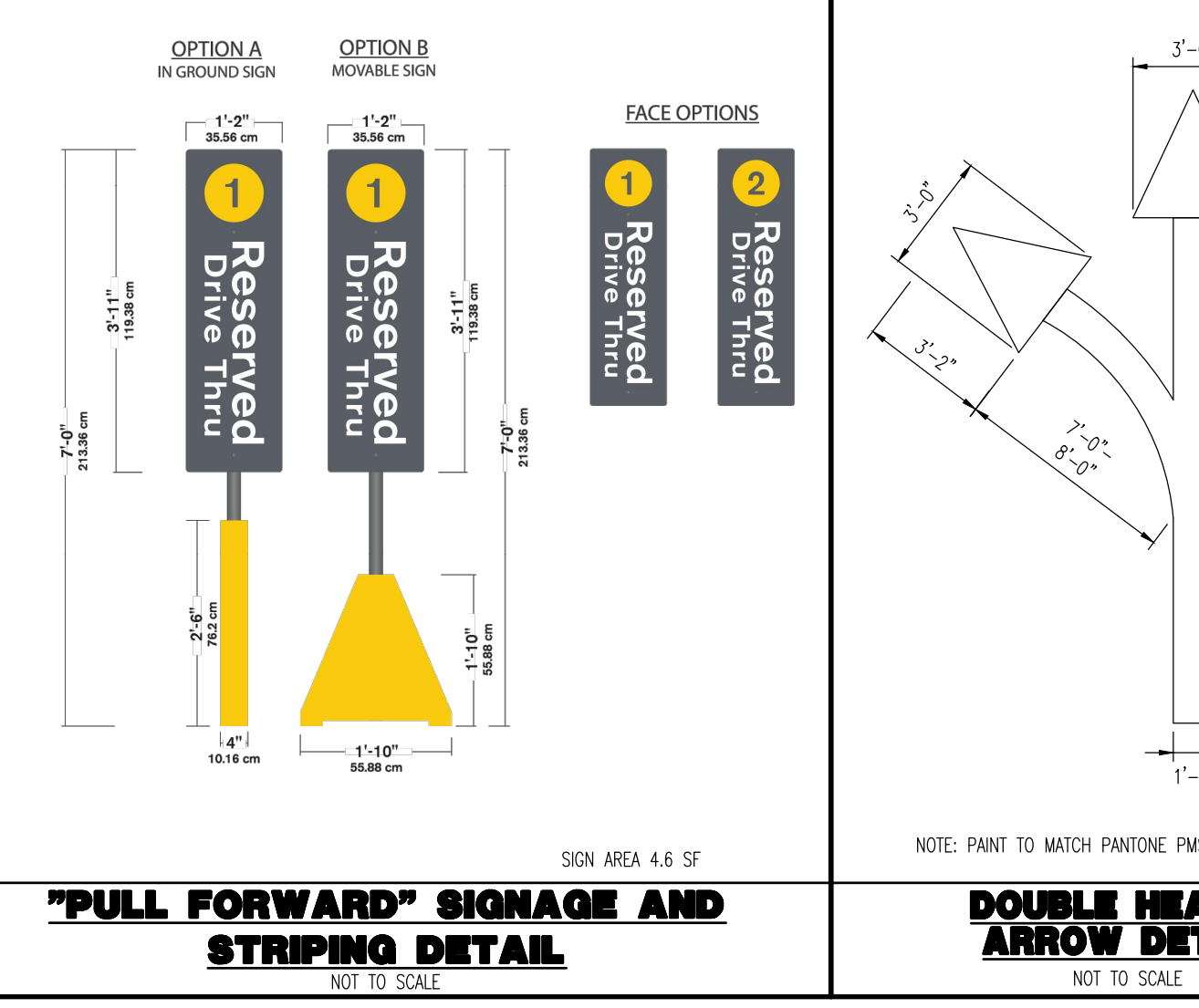
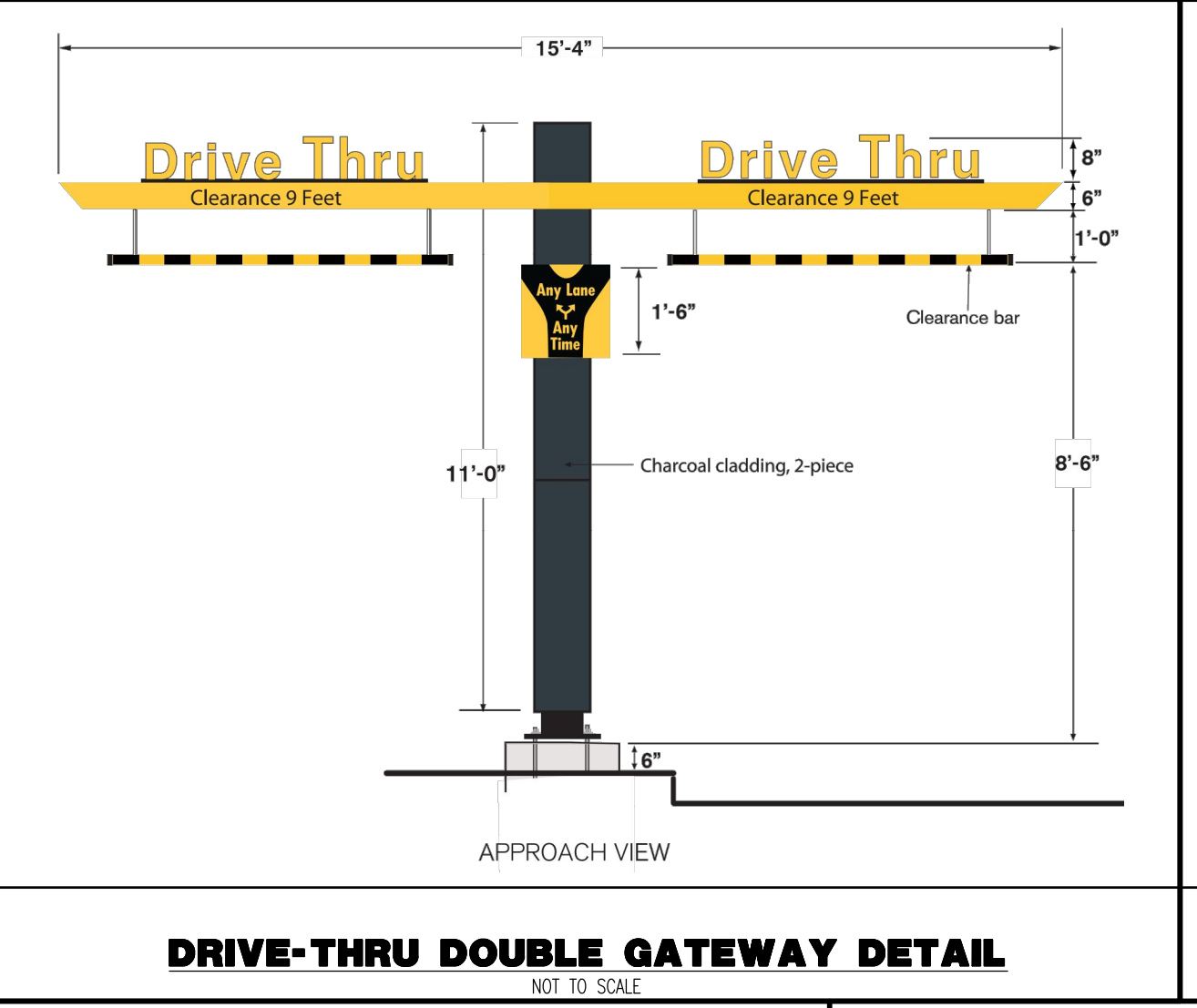
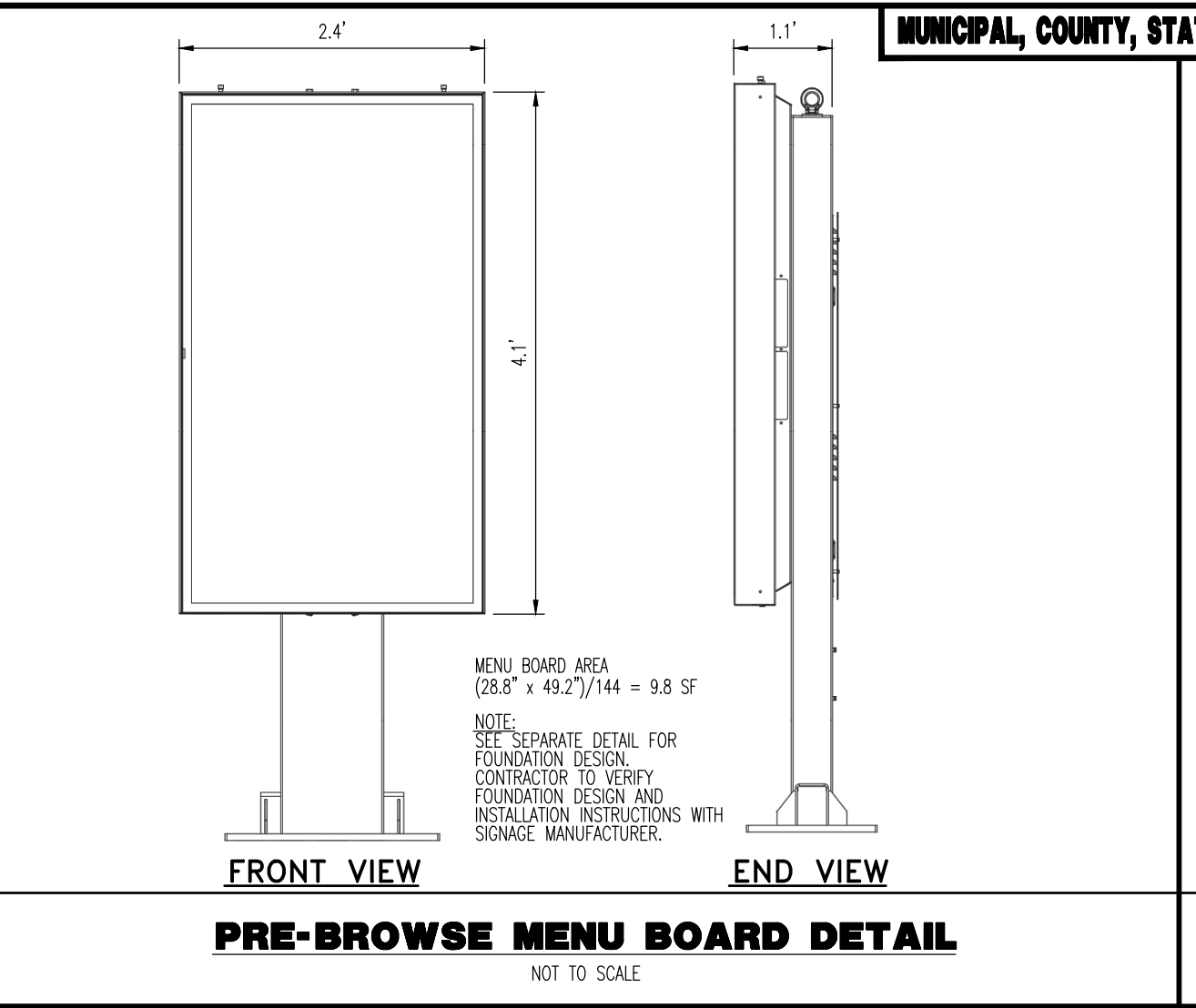
**JOSEPH J. SPARONE**  
PROFESSIONAL ENGINEER  
NEW YORK STATE LICENSE NO. 13022

**TIAGO F. DUARTE**  
PROFESSIONAL ENGINEER  
NEW YORK STATE LICENSE NO. 13022

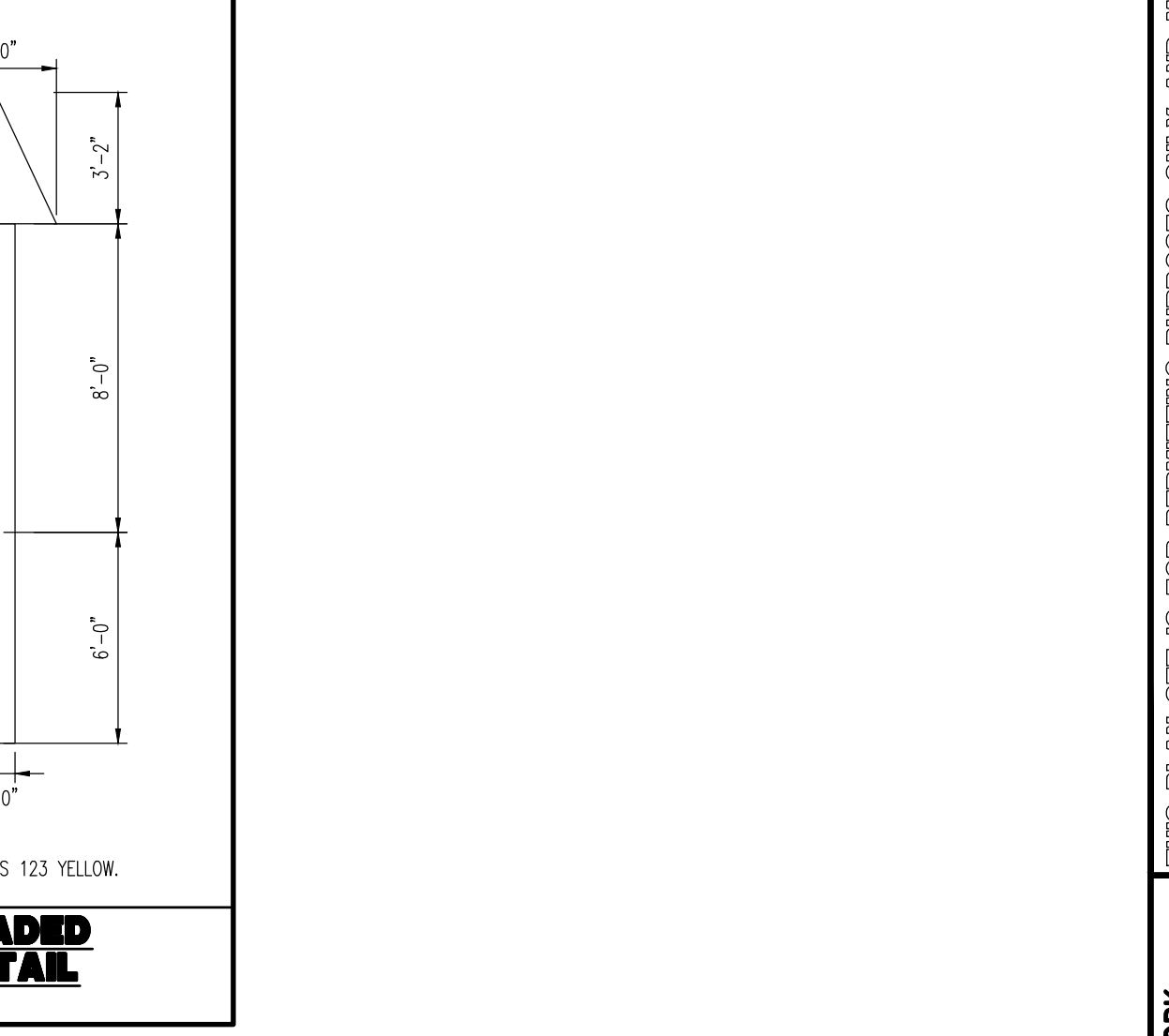
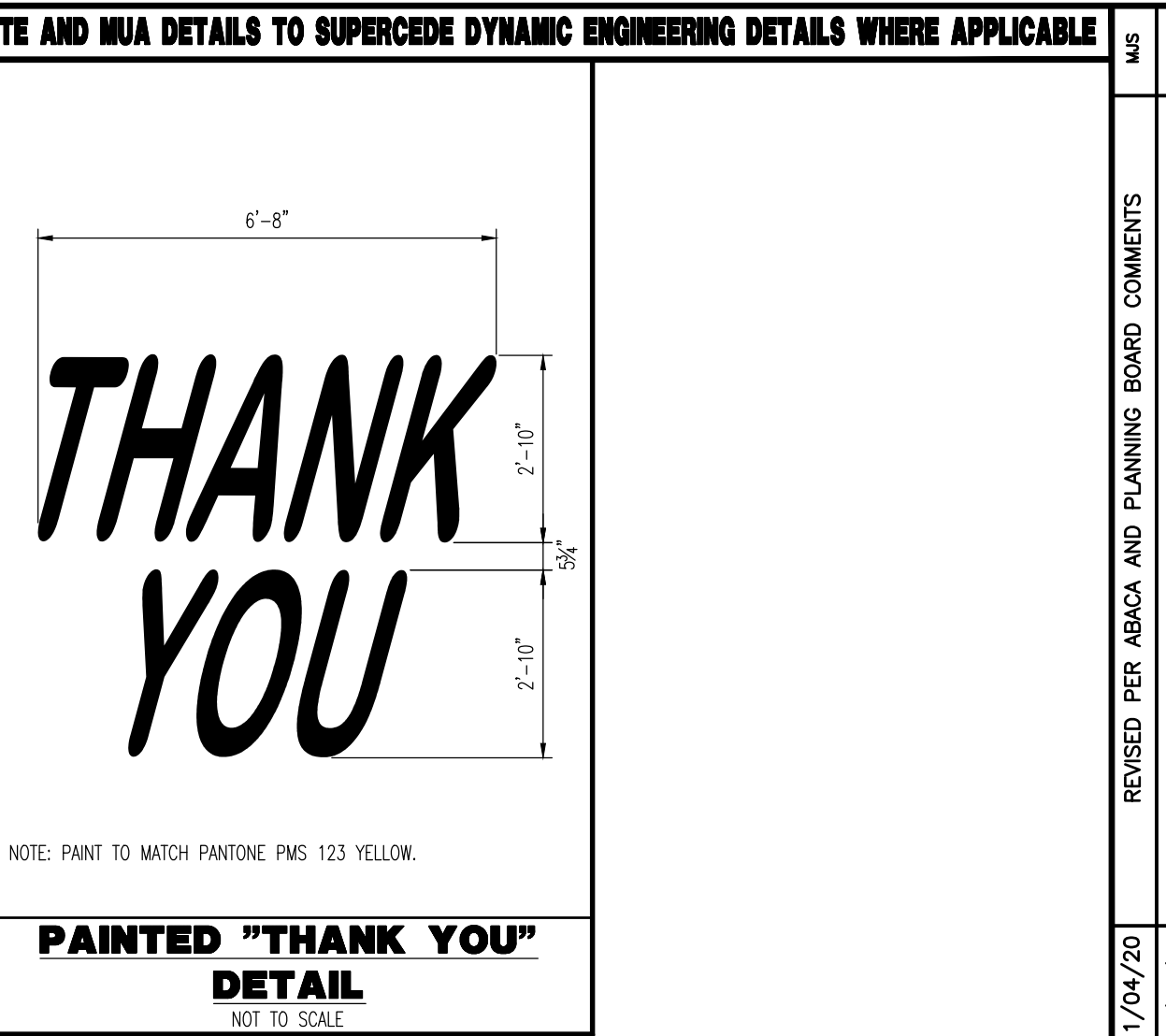
**C-8**  
SHEET 8 OF 16



- ### SIDE-BY-SIDE DRIVE-THRU CRITERIA NOTES
- 1 DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0", LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
  - 2 THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
  - 3 THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45"; THE LENGTH OF THE ISLAND FROM THE CANOPY ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT. THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6". THE ISLAND SHALL BE 6'-0" AT THE WIDEST POINT (FACE OF CURB).
  - 4 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE.
  - 5 DOUBLE HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 5'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.
  - 6 MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH CANOPY SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.
  - 7 A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.
  - 8 MIN. 60'-0" (+5', 60'-65") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE CANOPY FACE AND THE CENTER LINE OF THE OPEN ORDER WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (4' FOR 80', 100', AND 120') TO A MAX OF 120'. 100' IS OPTIMAL.
  - 9 THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE PRIMARY MENU BOARD NOT LESS THAN 15" FROM FACE OF CURB. THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE CANOPY AND WITH 100% VISIBILITY. THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY CANOPY.
  - 10 ALUGER "MCDONALD'S ORDER HERE CANOPY" DRIVE-THRU CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
  - 11 PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM CANOPY.
  - 12 A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
  - 13 ALUGER "MCDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
  - 14 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY CANOPY MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE CURB.
  - 15 TO POSITION THE SECONDARY CANOPY, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP, THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY CANOPY.
  - 16 WHEN THE SECONDARY CANOPY IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE CANOPY CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY CANOPY WHEN POSSIBLE.
  - 17 THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE SECONDARY MENU BOARD NOT LESS THAN 15" FROM FACE OF CURB. THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE CANOPY AND WITH 100% VISIBILITY.
  - 18 PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM CANOPY (PREFERRED 35°).
  - 19 THE WORDS "THANK YOU" ARE TO BE PLACED 10' FROM THE CENTER LINE OF THE OPEN PICKUP WINDOW OR 6' FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".
  - 20 DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING AT THE PAY AND PICKUP WINDOWS.
  - 21 PULL FORWARD POSITION NO. 1. PROVIDE 8" WIDE, 10' LONG, PAINTED (PMS 123 YELLOW) STRIPE 40' FROM CENTER OF OPEN PRESENT WINDOW AND PULL FORWARD IN-GROUND SIGN.
  - 22 PULL FORWARD POSITION NO. 2. PROVIDE 8" WIDE, 10' LONG, PAINTED (PMS 123 YELLOW) STRIPE 40' FROM PULL FORWARD POSITION NO. 1 STRIPE AND PULL FORWARD IN-GROUND SIGN.



- ### GENERAL DRIVE-THRU NOTES
1. SIGNAGE & DRIVE-THRU ELEMENTS: DRIVE-THRU CANOPY, GATEWAY, MENU BOARD AND PRE-BROWSE BOARD SHOULD BE CONSISTENT WITH THE CURRENT STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
  2. THE PLACEMENT OF THE CANOPY AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
  3. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, MCDONALD'S PROJECT MANAGER AND SIGNAGE SUPPLIER TO CONFIRM EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE PRIOR TO CONSTRUCTION. ALL WORK TO BE COORDINATED WITH OTHER TRADES.
  4. CONTACT MCDONALD'S AREA CONSTRUCTION MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
  5. SEE ARCHITECTURAL PLANS FOR DRIVE-THRU LOOP DETECTOR AND WIRING INFORMATION.
  6. GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND SIGN SUPPLIER.
  7. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP. SEE ARCHITECTURAL PLANS FOR DETAILS.
  8. GENERAL CONTRACTOR TO VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.
  9. IF 15' MIN. CLEARANCE CANNOT BE ATTAINED OR IF THERE IS A HIGH CHANCE OF AN IMPACT, A BOLLARD MAY BE INSTALLED TO PROTECT THE APPROPRIATE BOARD(S). 100% VISIBILITY OF THE BOARD(S) IS REQUIRED AFTER BOLLARD PLACEMENT.
  10. ALL DRIVE-THRU EQUIPMENT SUPPLIED BY MCDONALD'S APPROVED SUPPLIERS.



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1		DATE

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L/C#: 31-0170 L/C: YORKTOWN, NEW YORK

PROPOSED MCDONALD'S REMODEL

CONSTRUCTION DETAILS

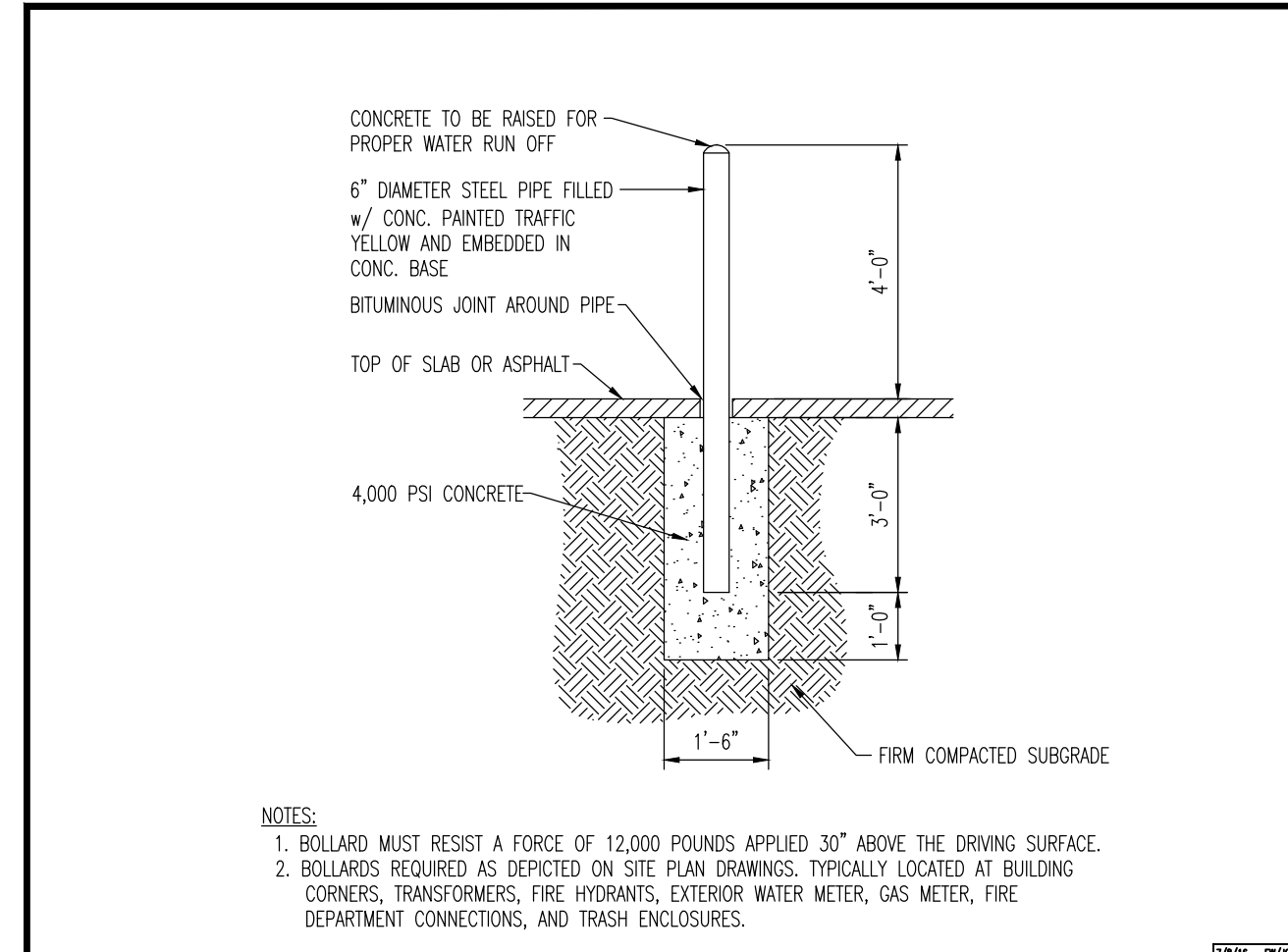
DATE ISSUED: 12/28/2018

SITE ADDRESS: 418 50th St, Yorktown, NY 10994

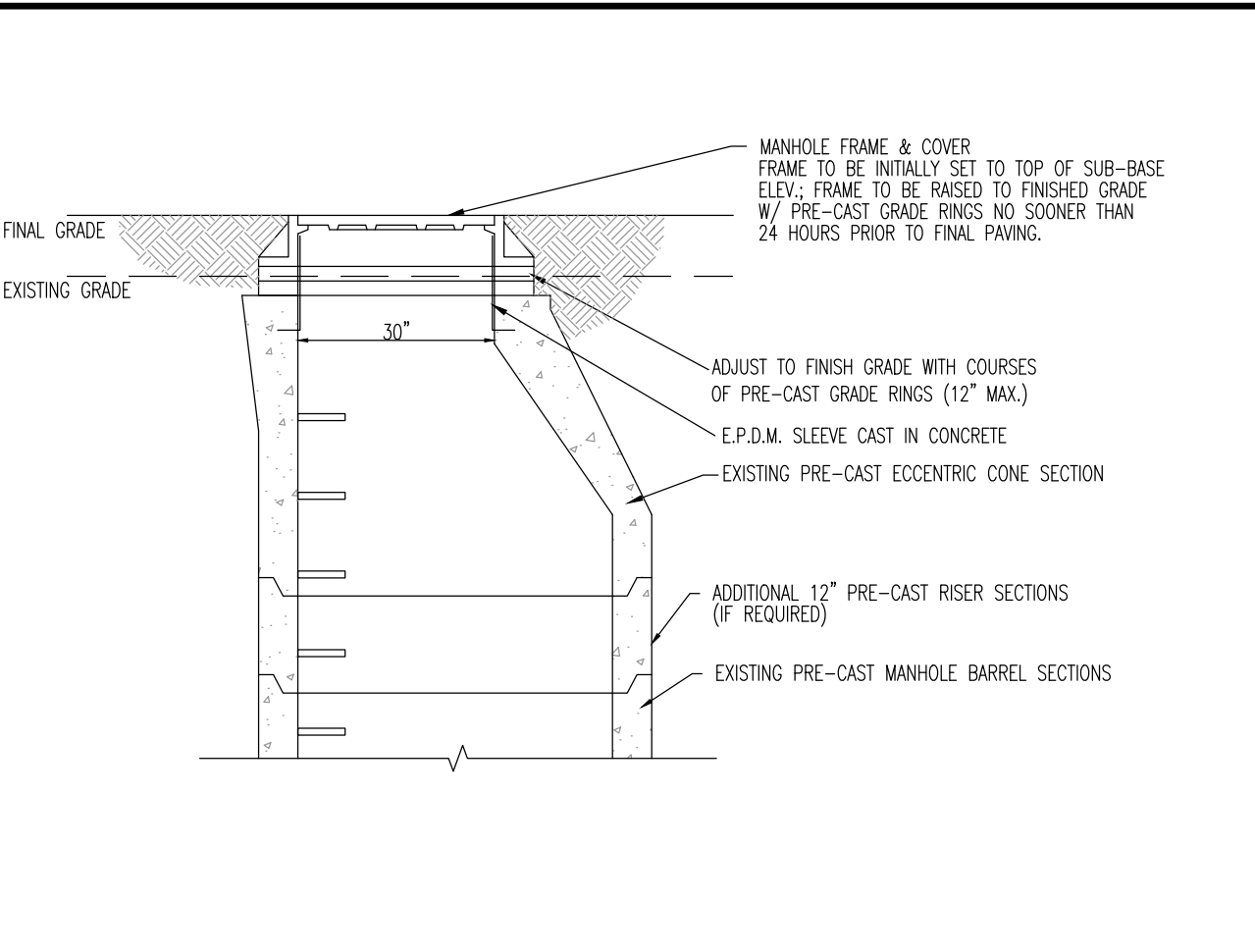
DATE: 12/28/2018

JOSEPH J. SERRONE  
TIAGO F. DUARTE  
PROFESSIONAL ENGINEER

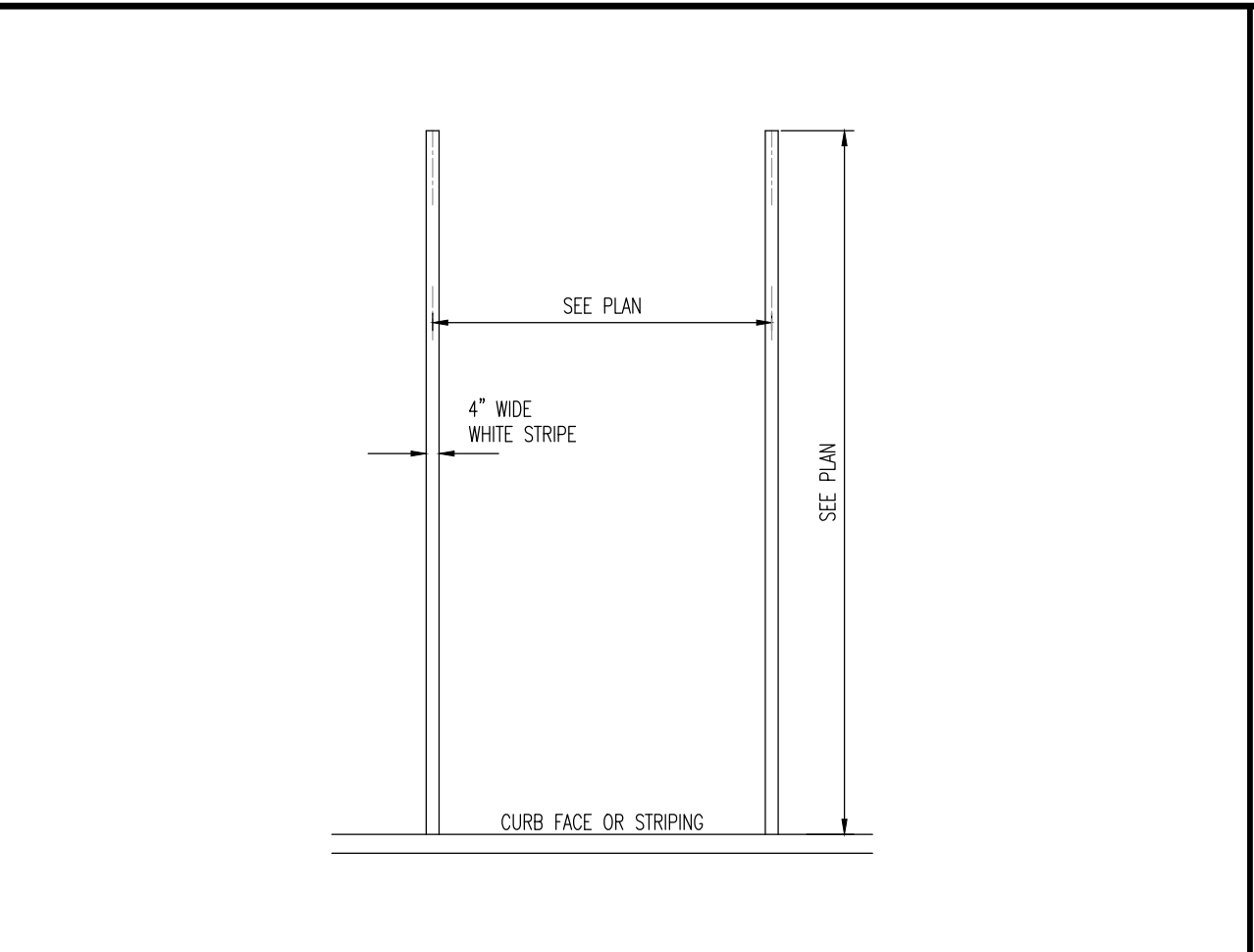
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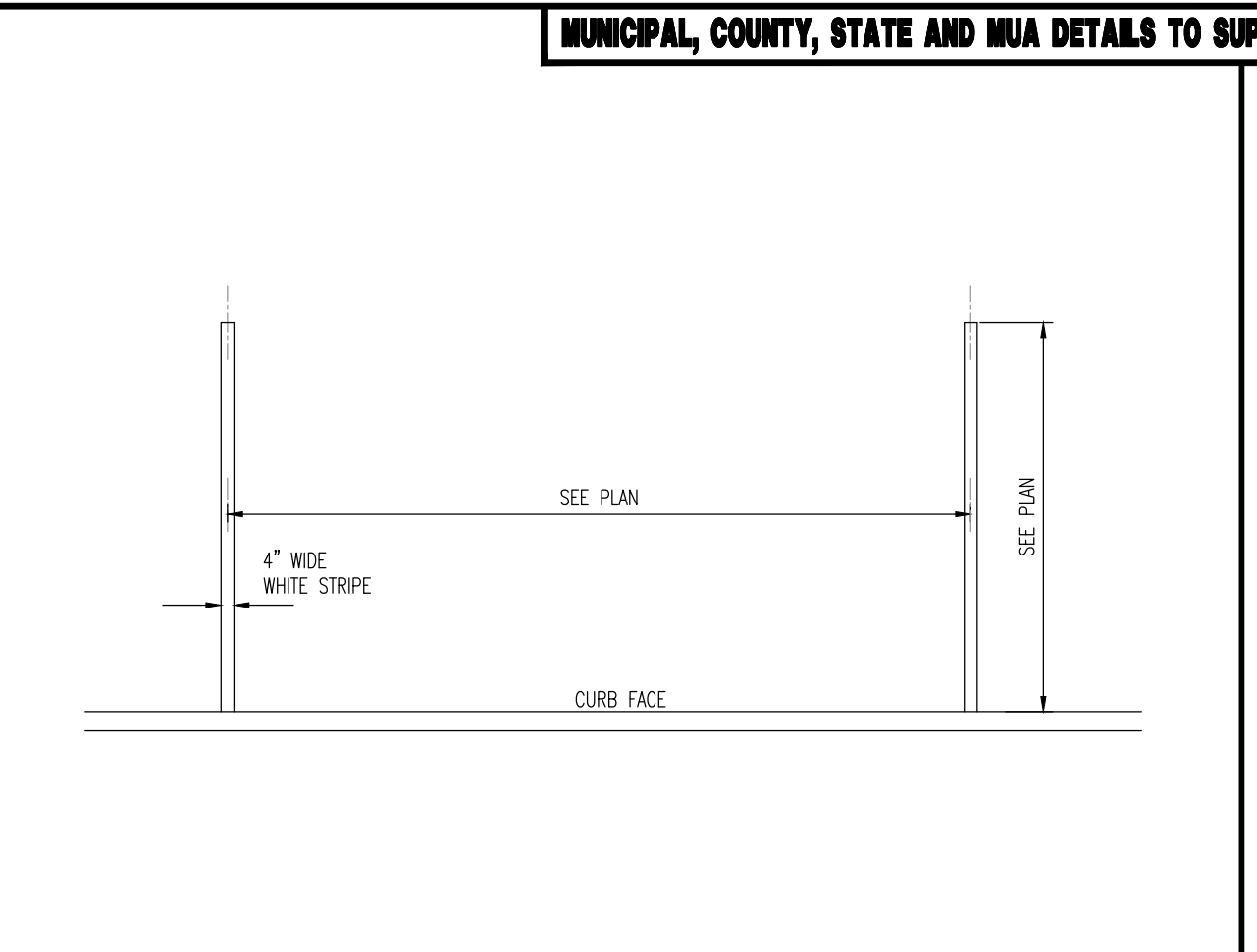
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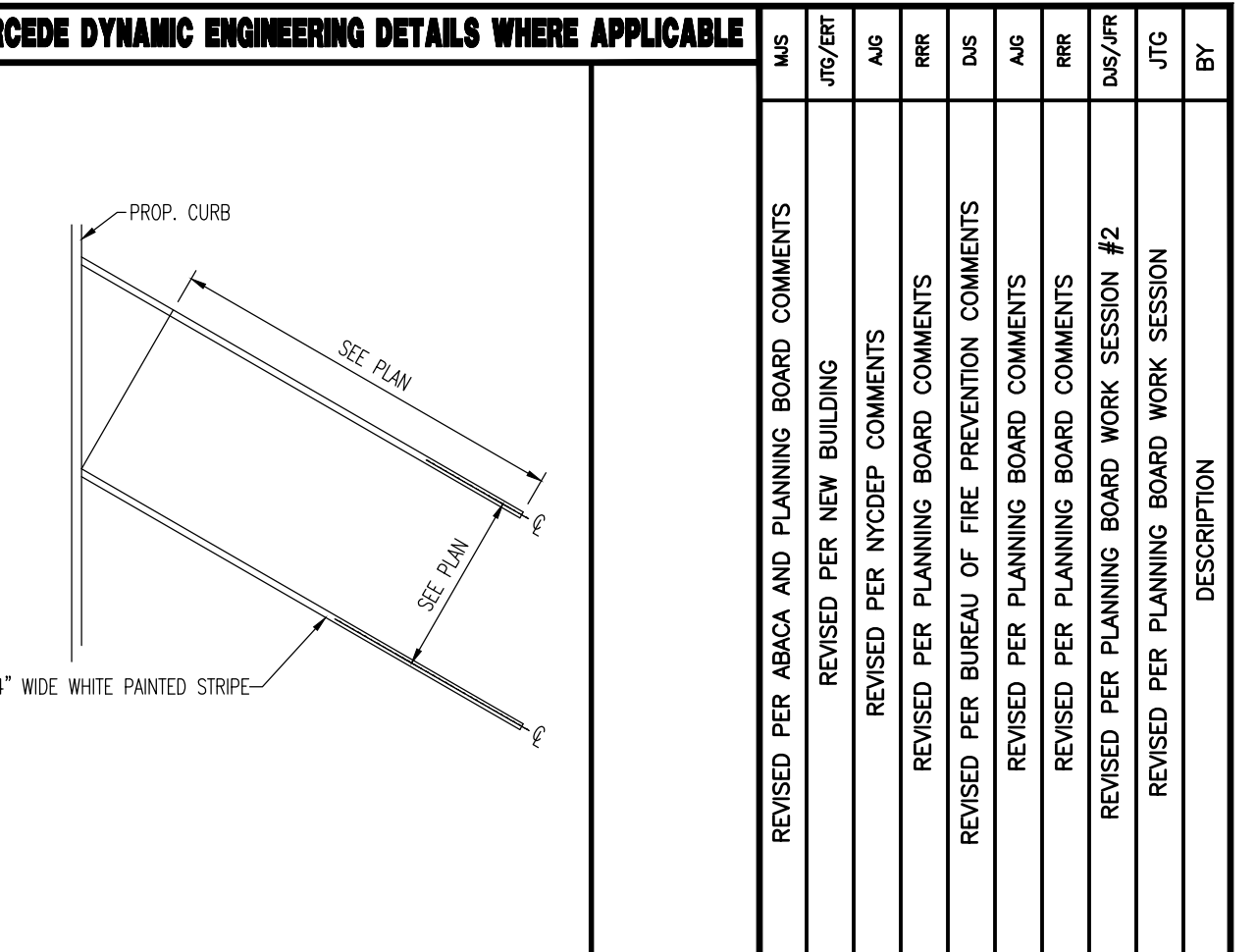
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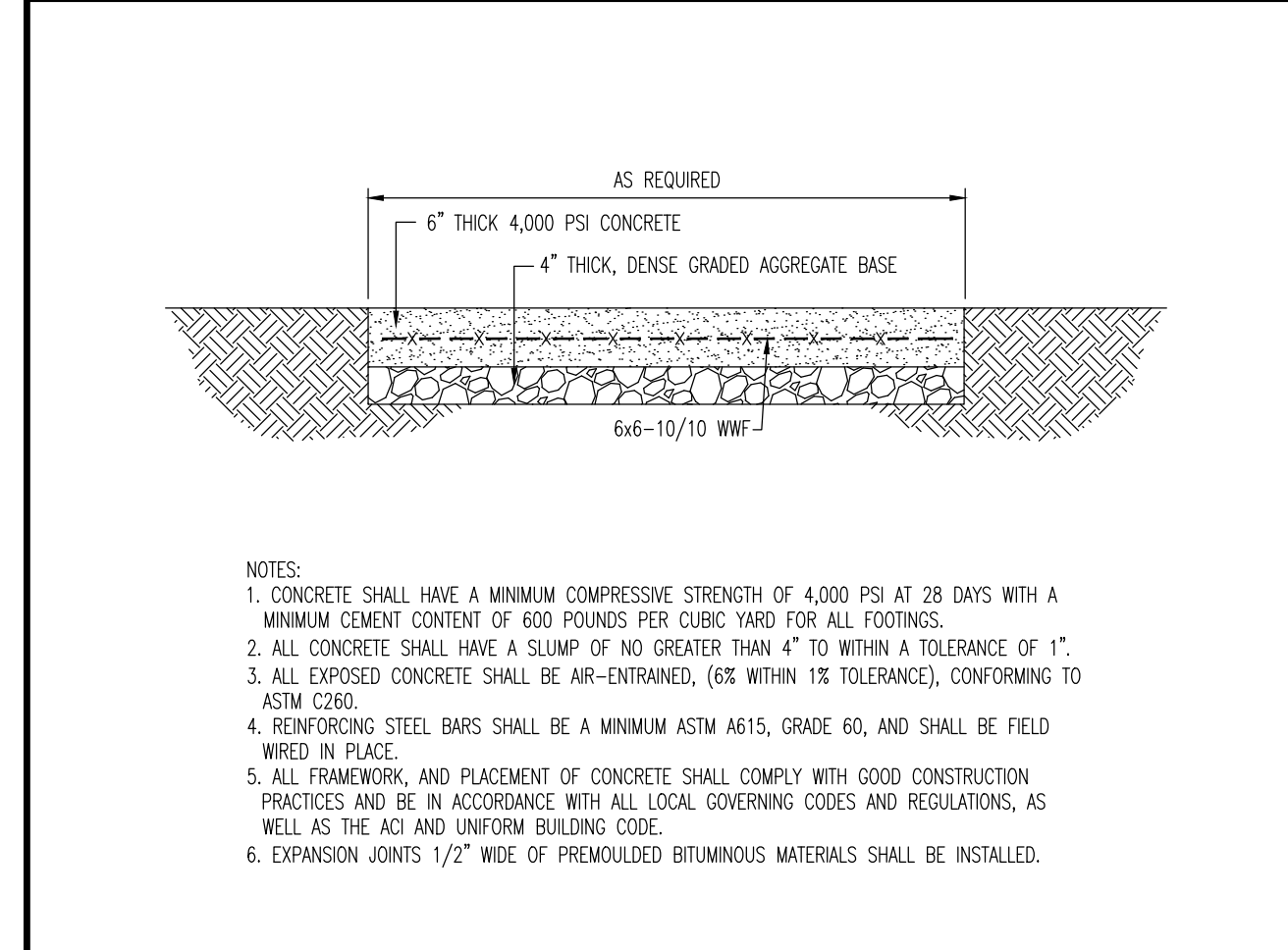
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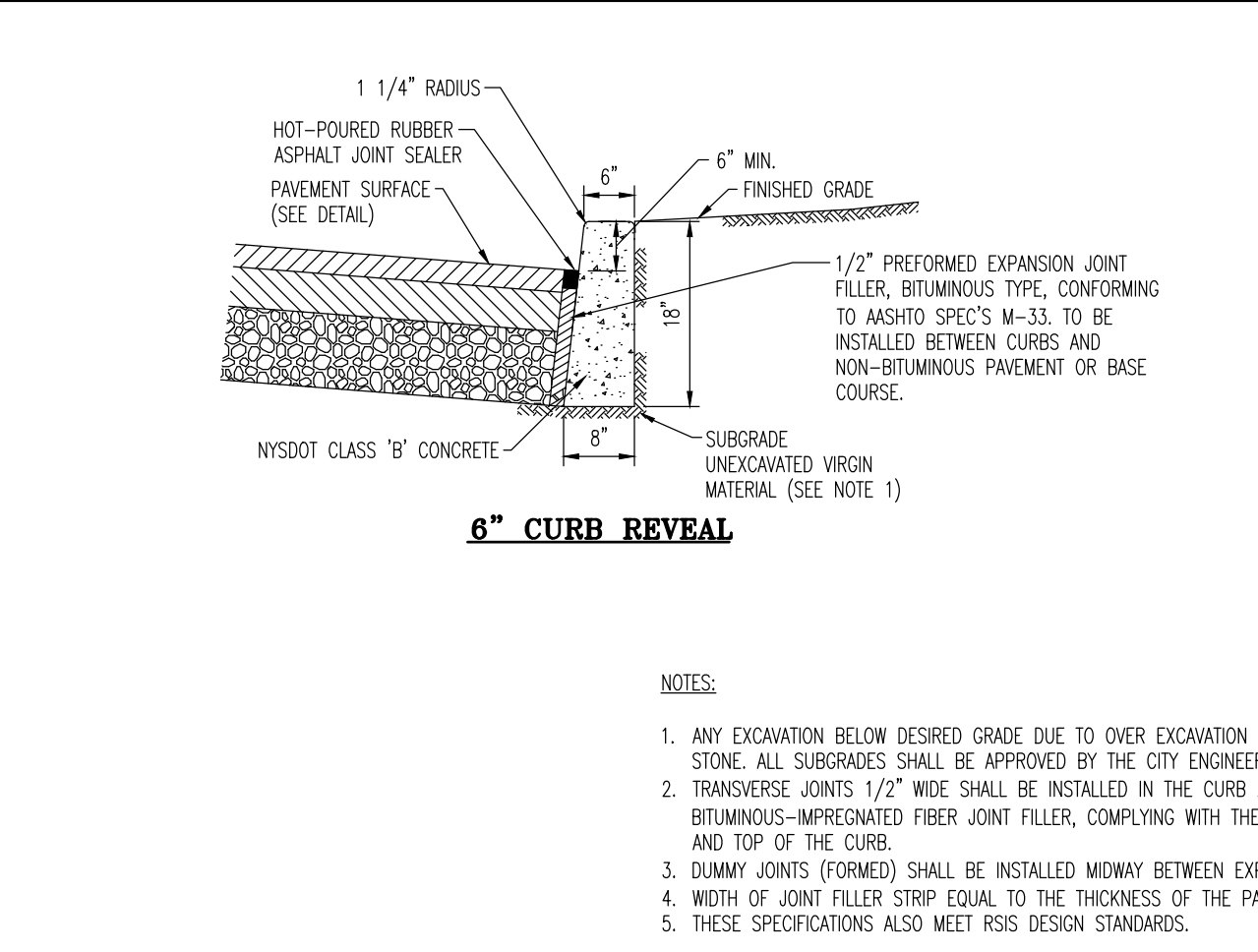
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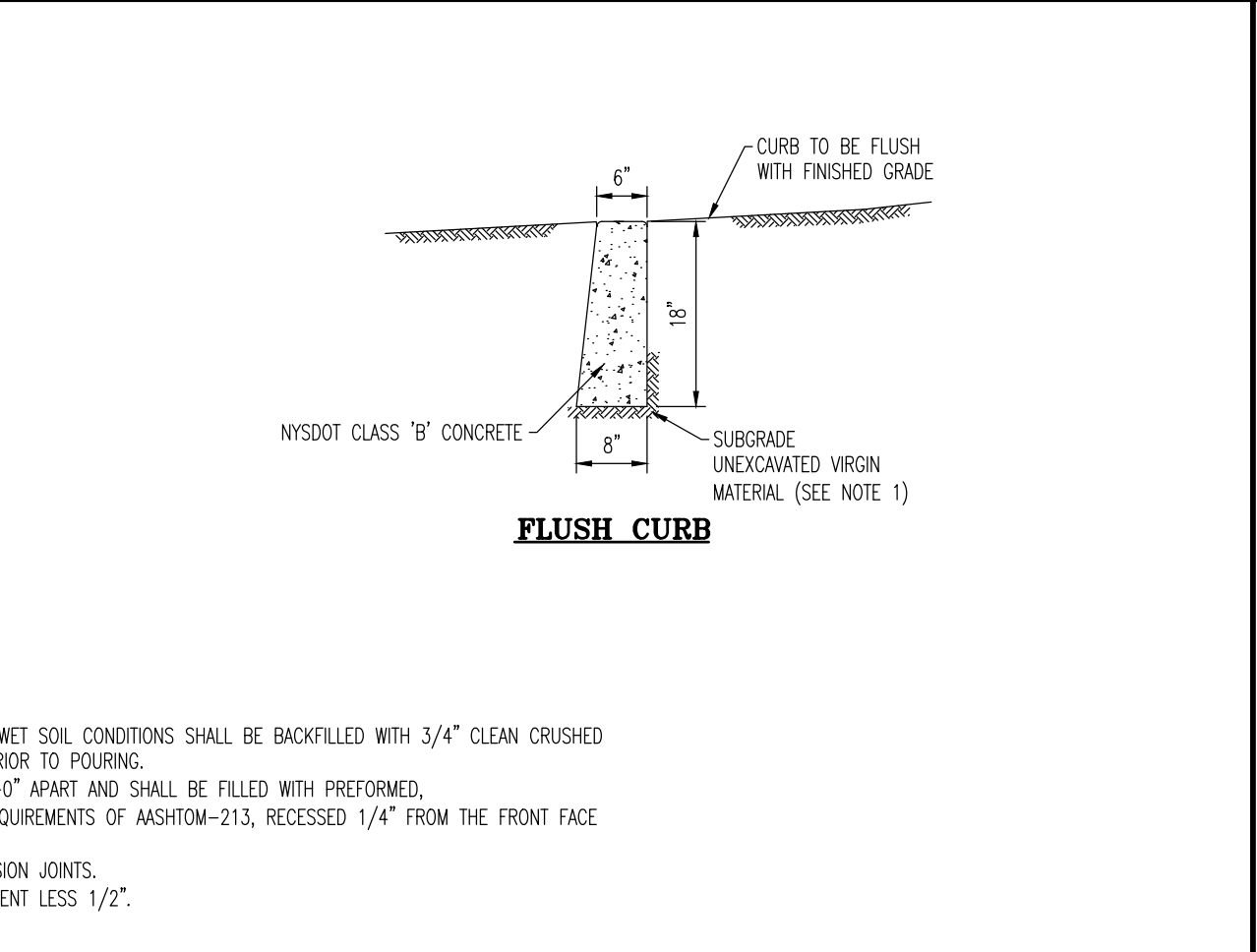
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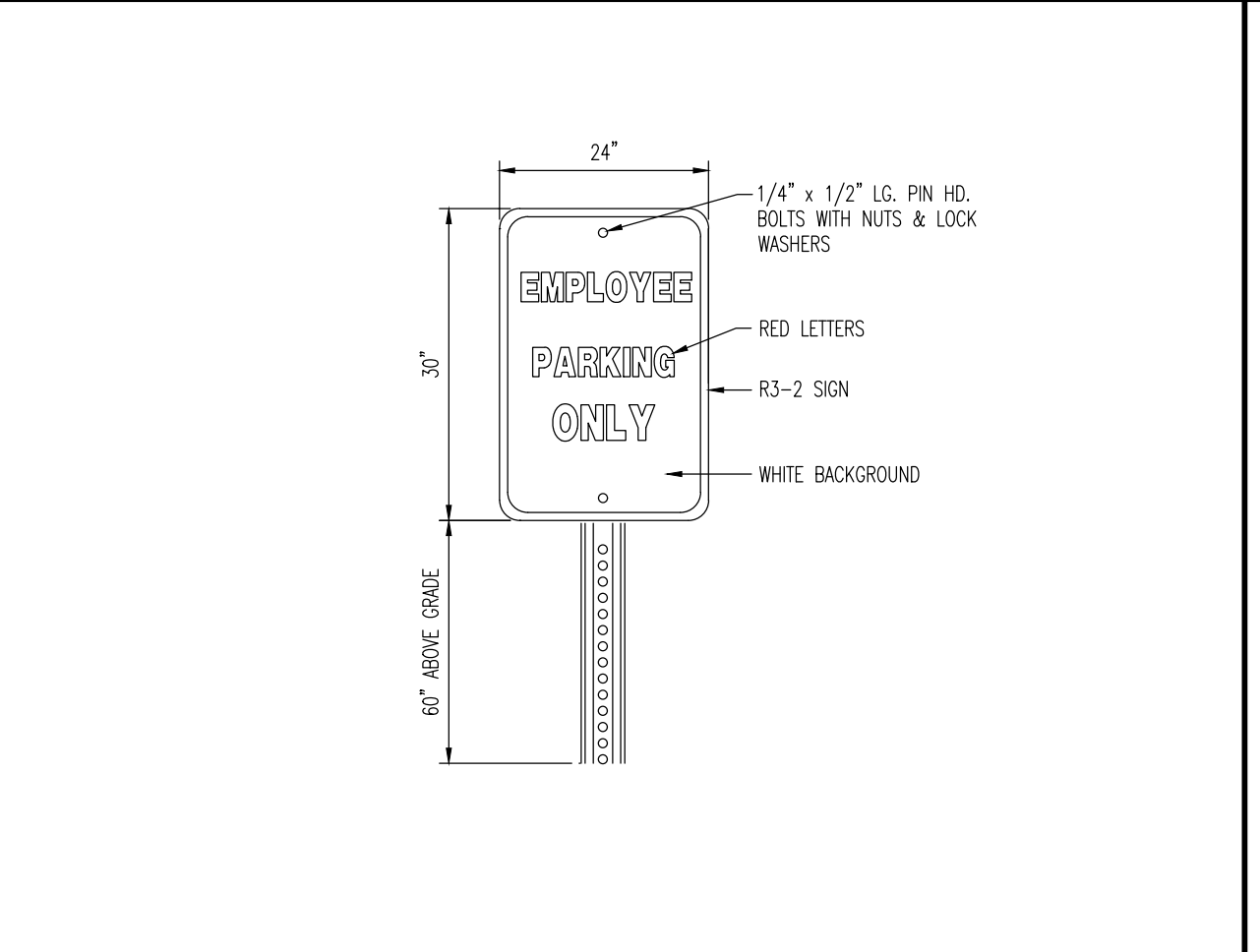
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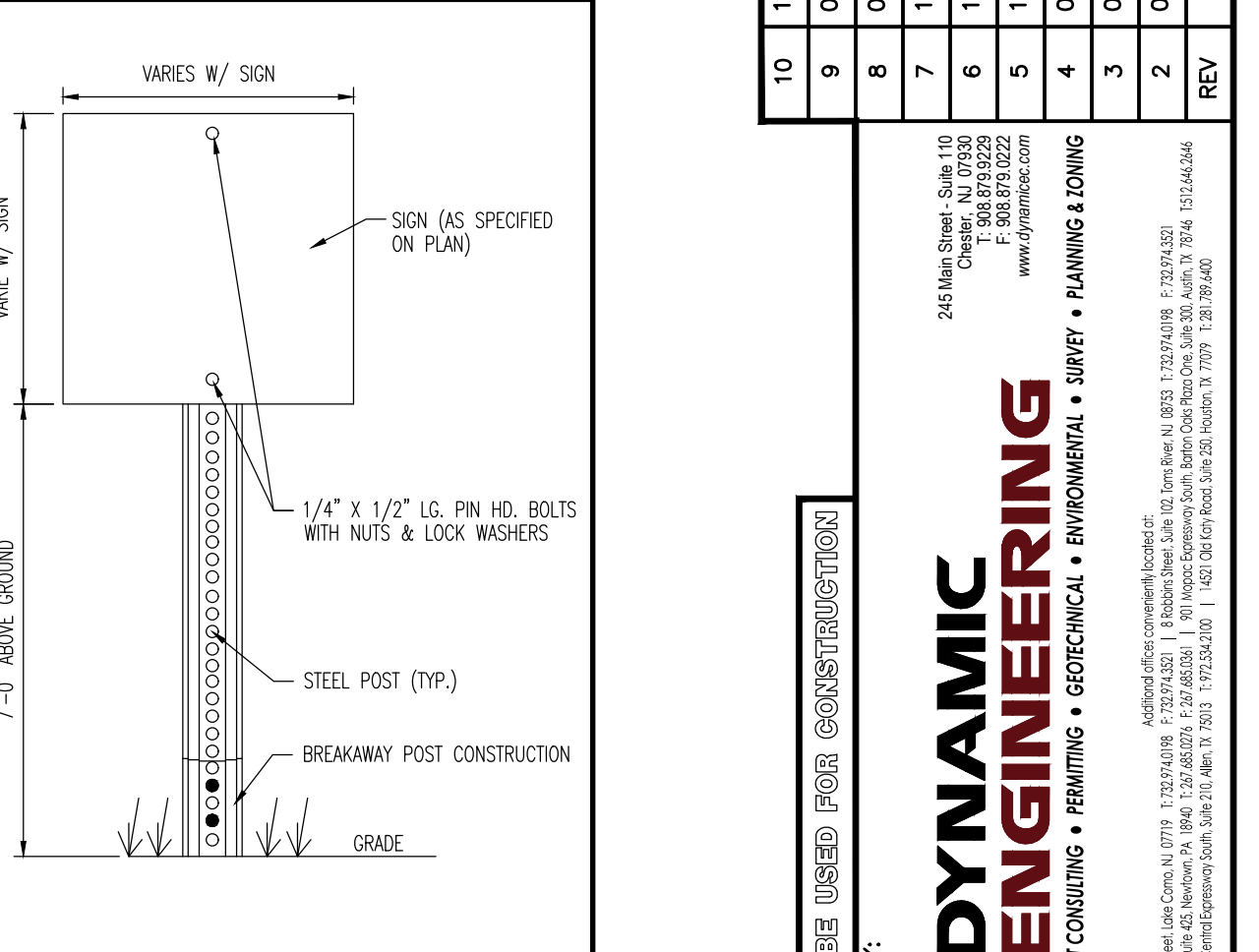
**6" CURB REVEAL**



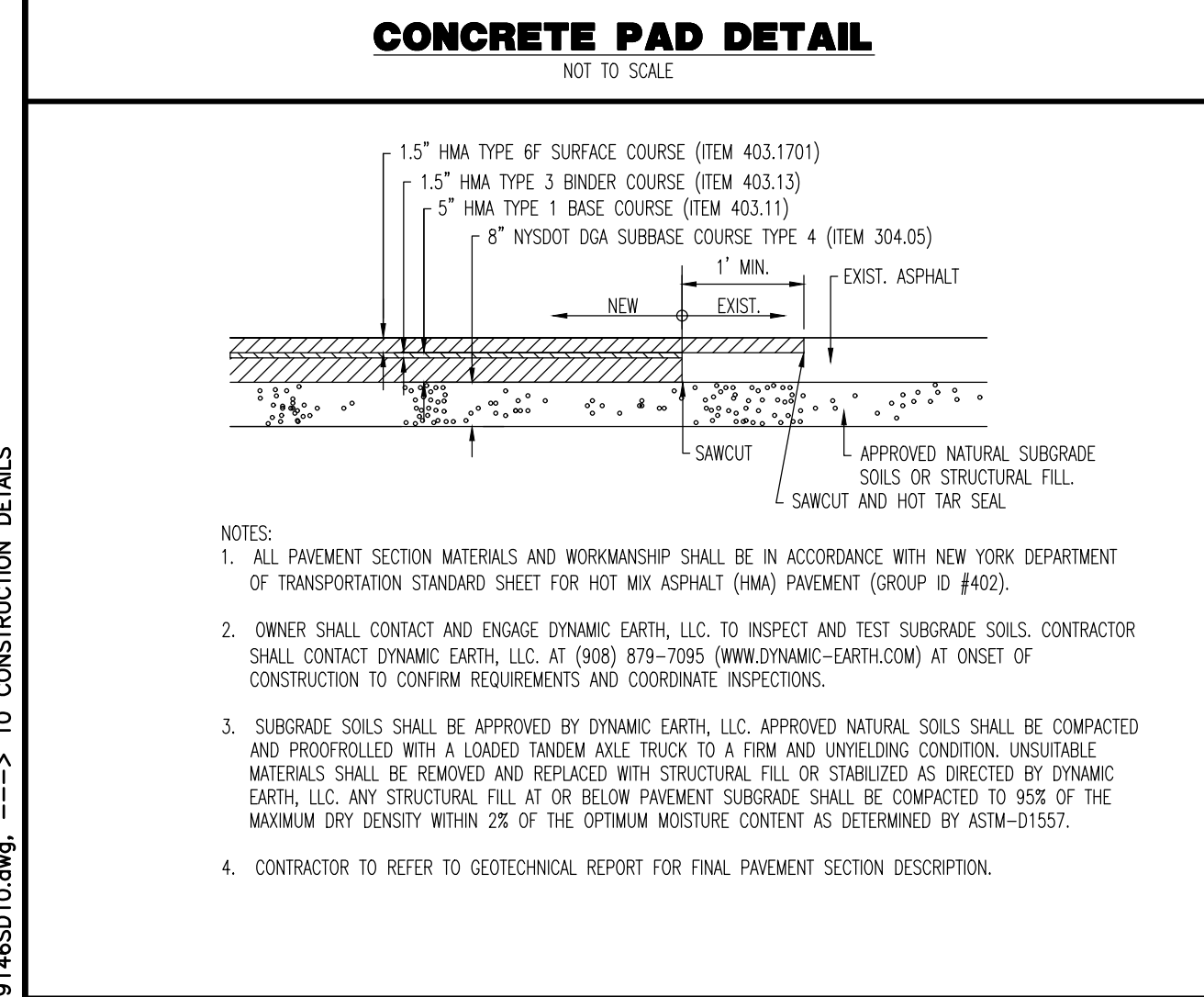
**FLUSH CURB**



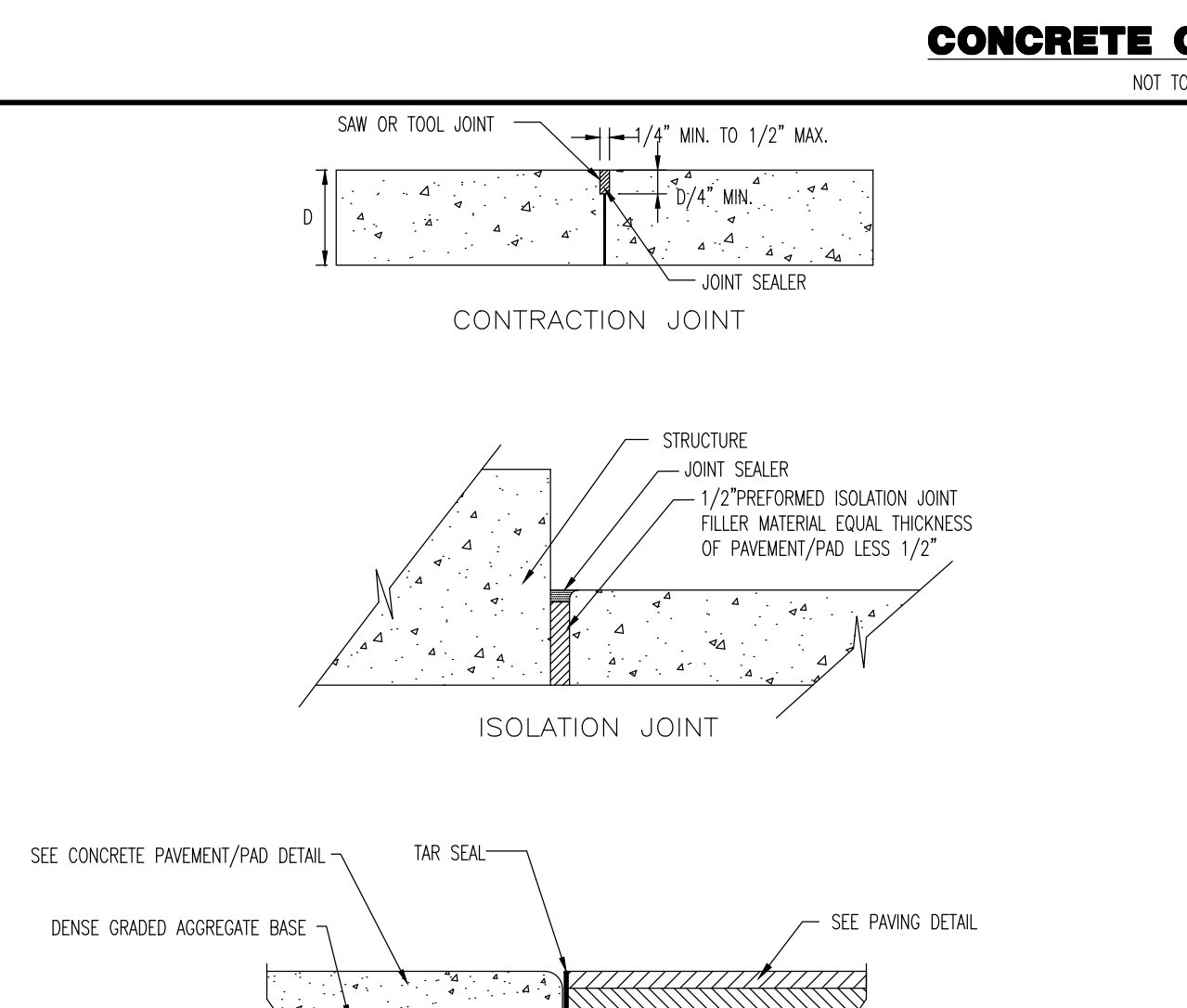
**"EMPLOYEE PARKING ONLY" SIGN DETAIL**  
NOT TO SCALE



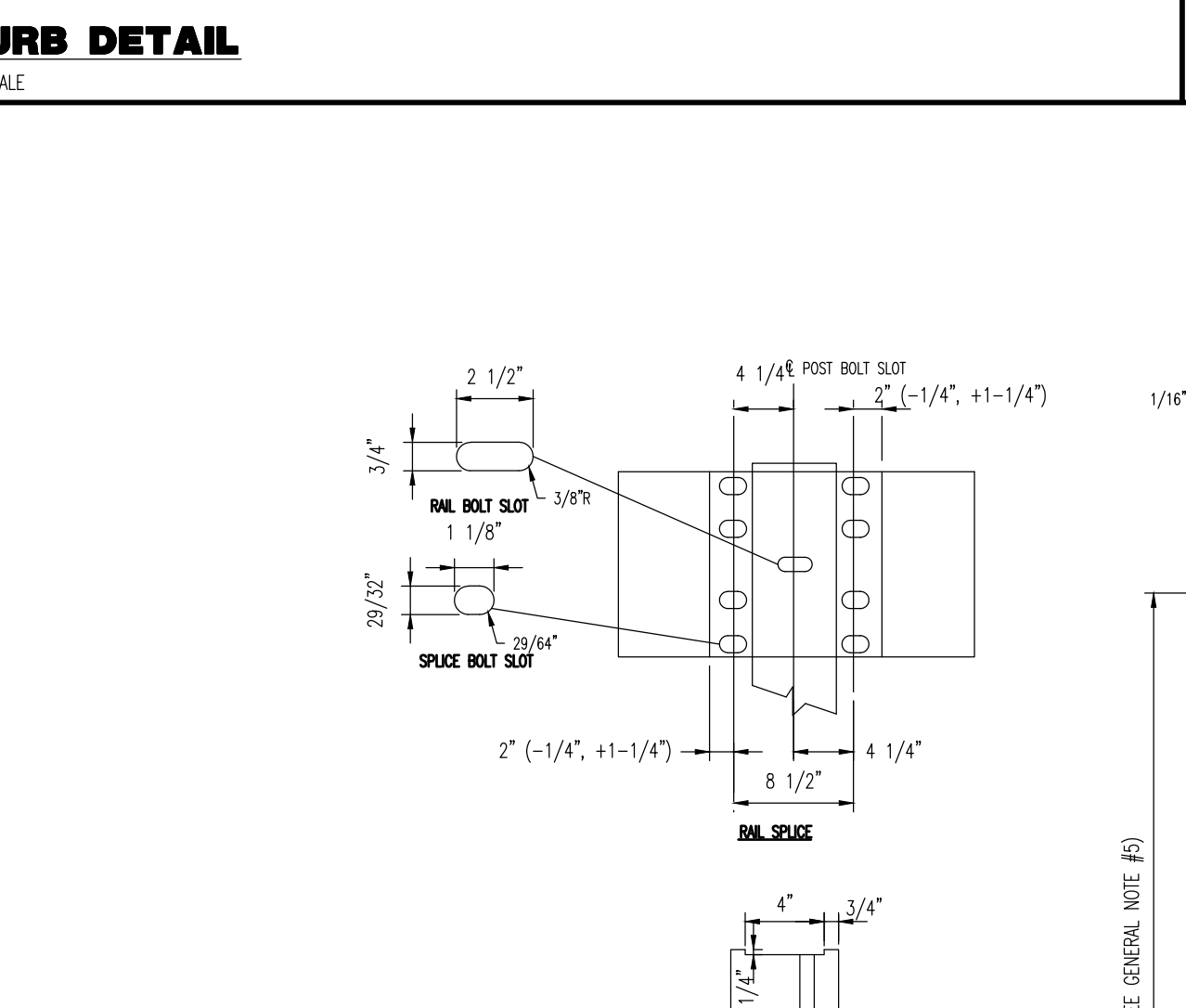
**SIGN POST DETAIL**  
NOT TO SCALE



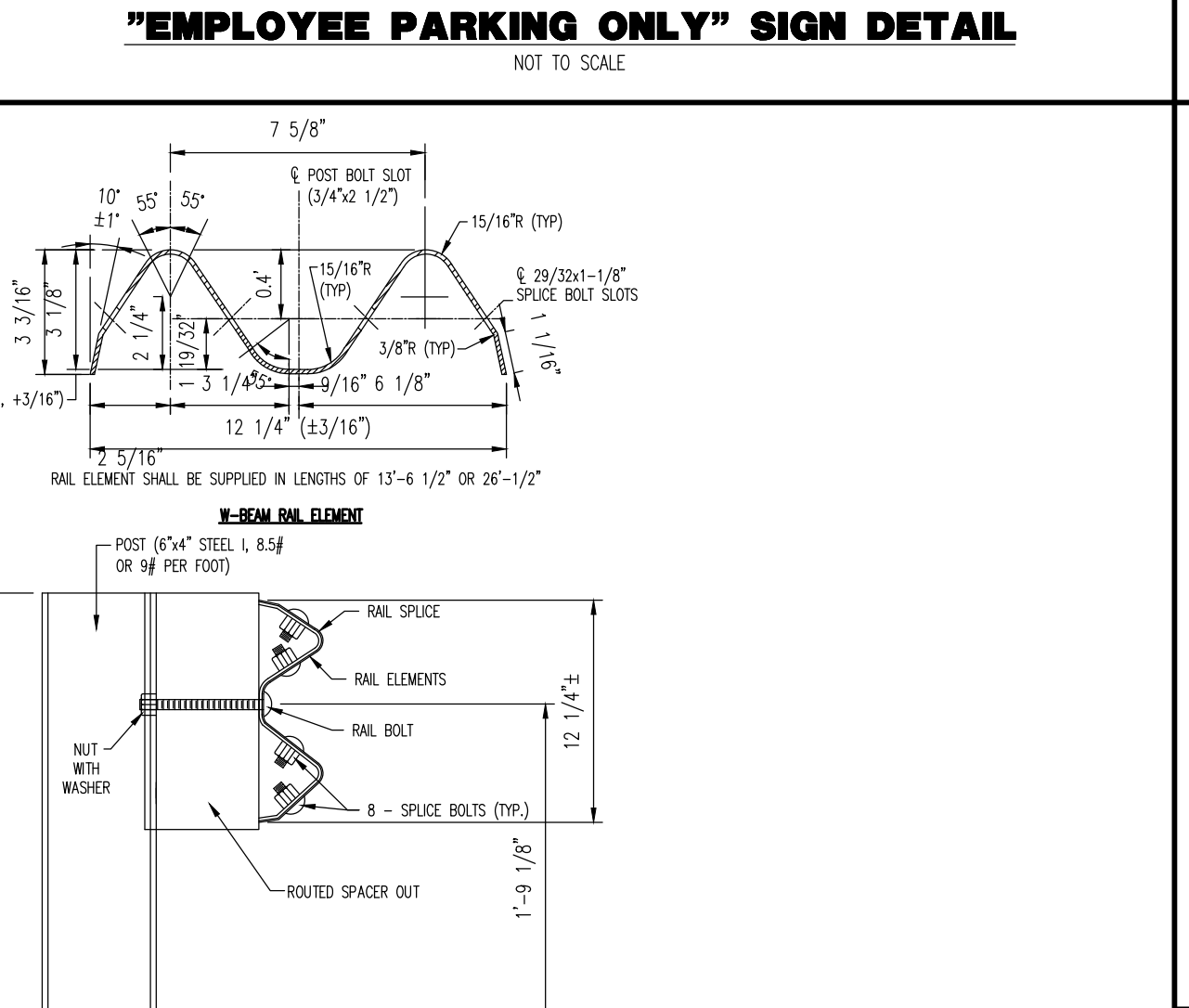
**PAVING DETAIL**  
NOT TO SCALE



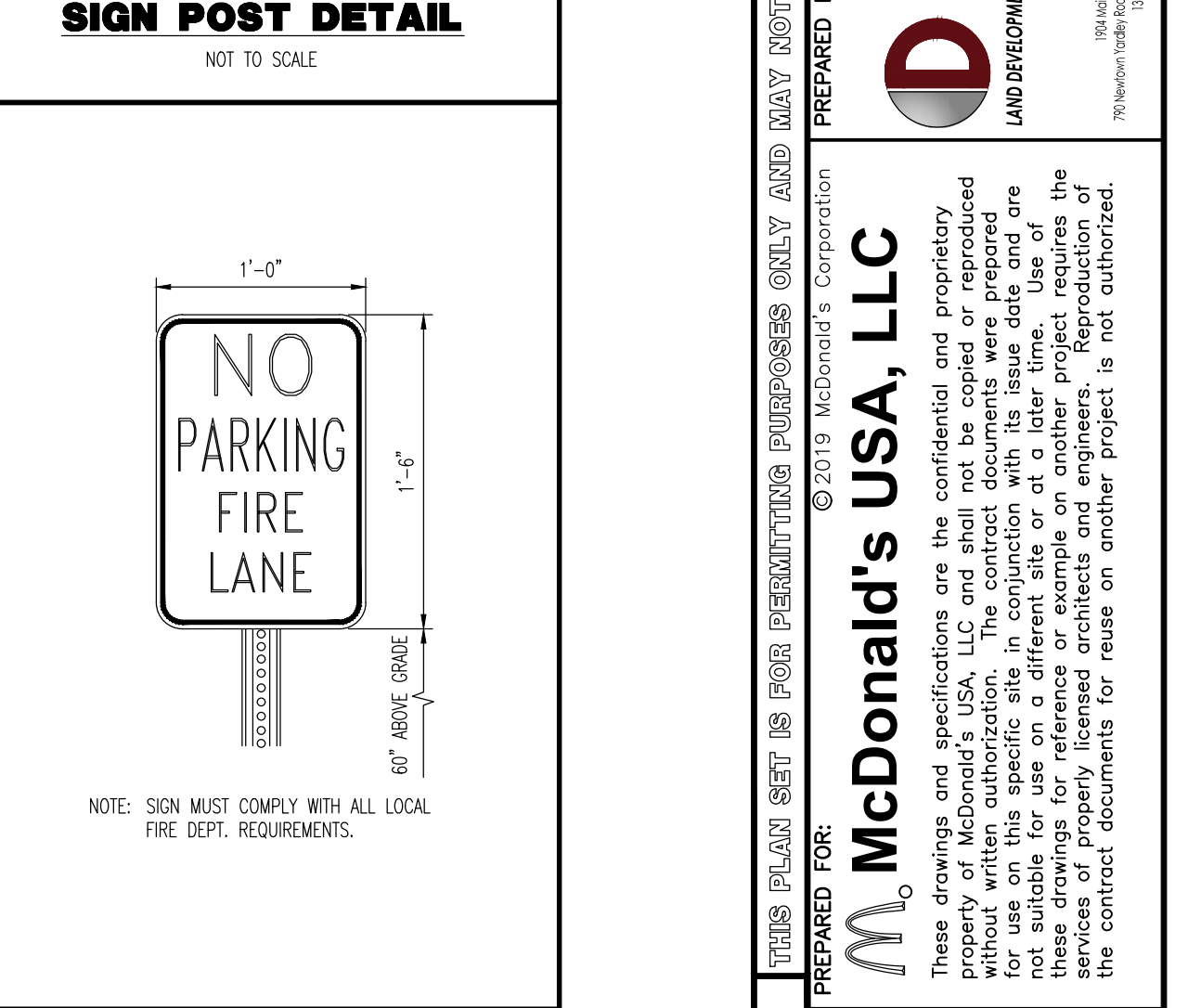
**CONCRETE CURB DETAIL**  
NOT TO SCALE



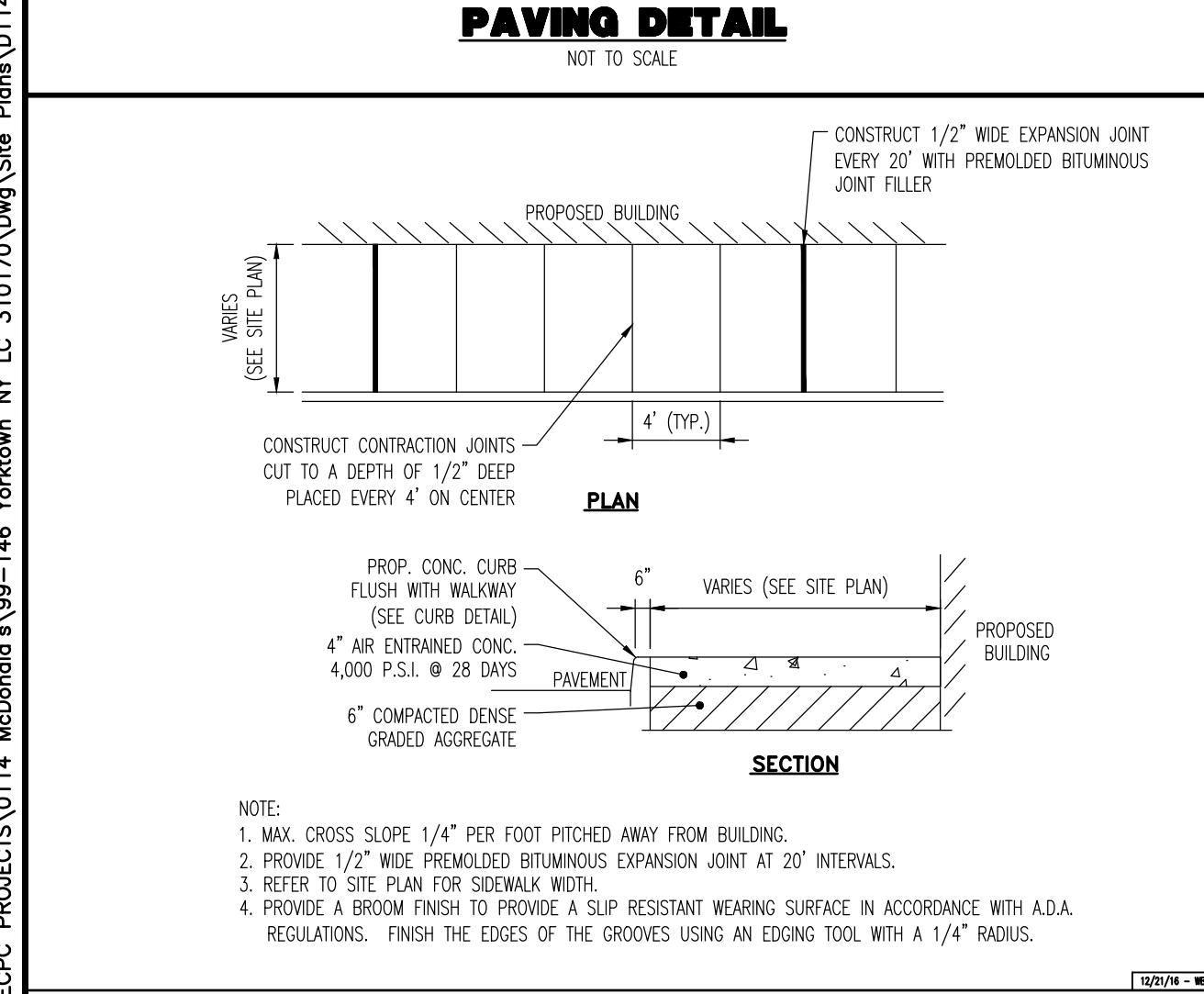
**CONCRETE PAVEMENT/PAD JOINT DETAILS**  
NOT TO SCALE



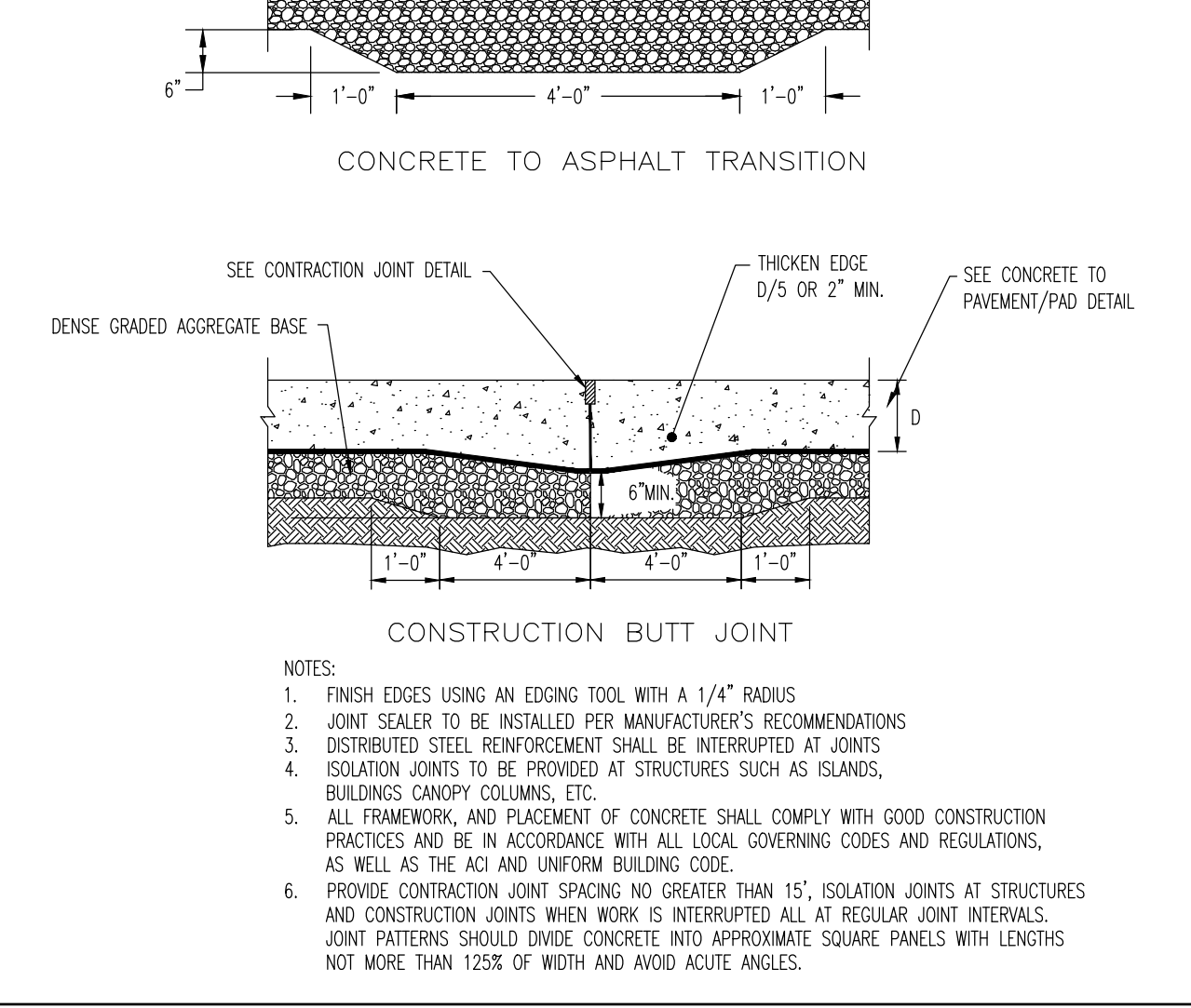
**W-BEAM GUIDE RAIL DETAIL**  
NOT TO SCALE



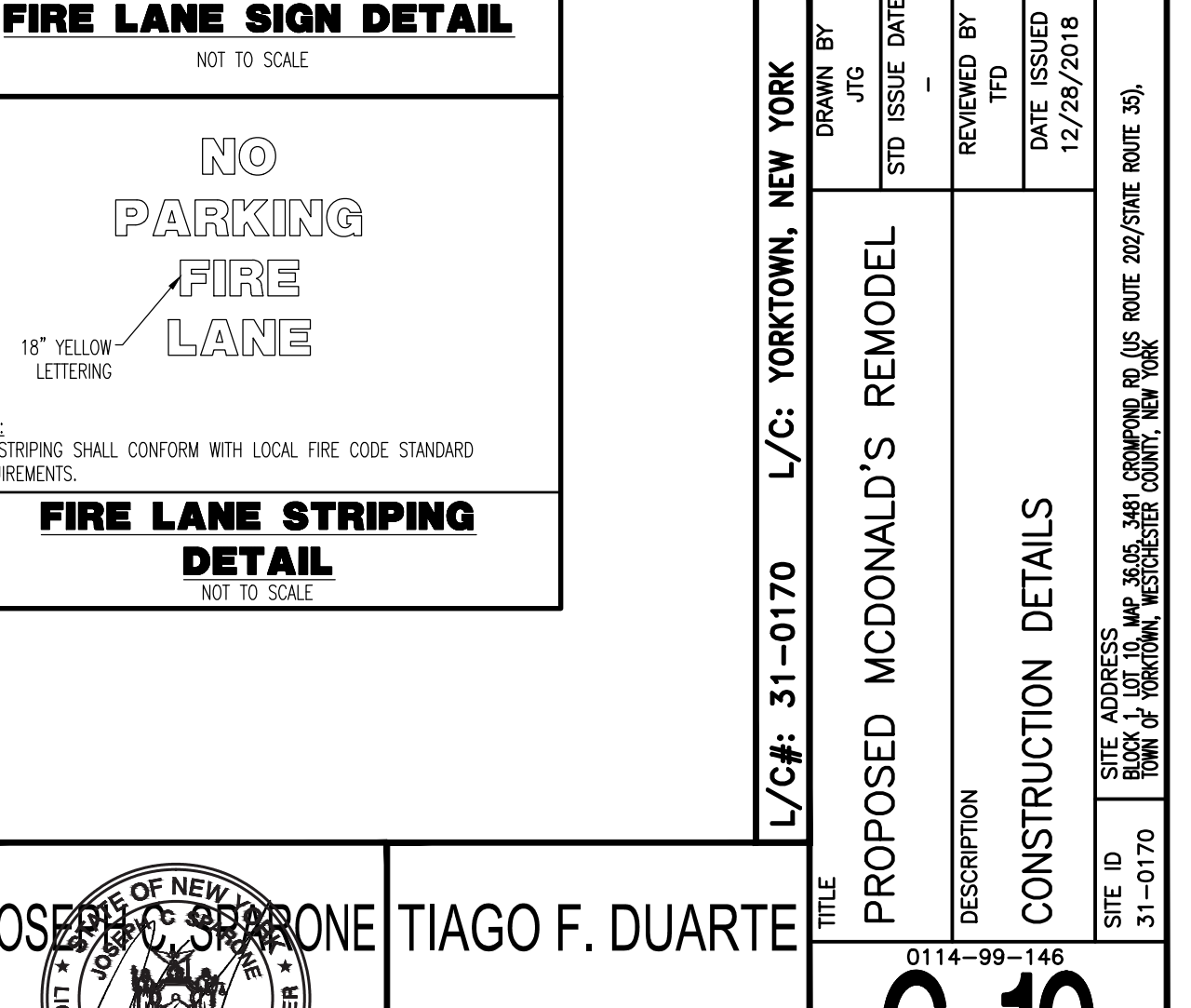
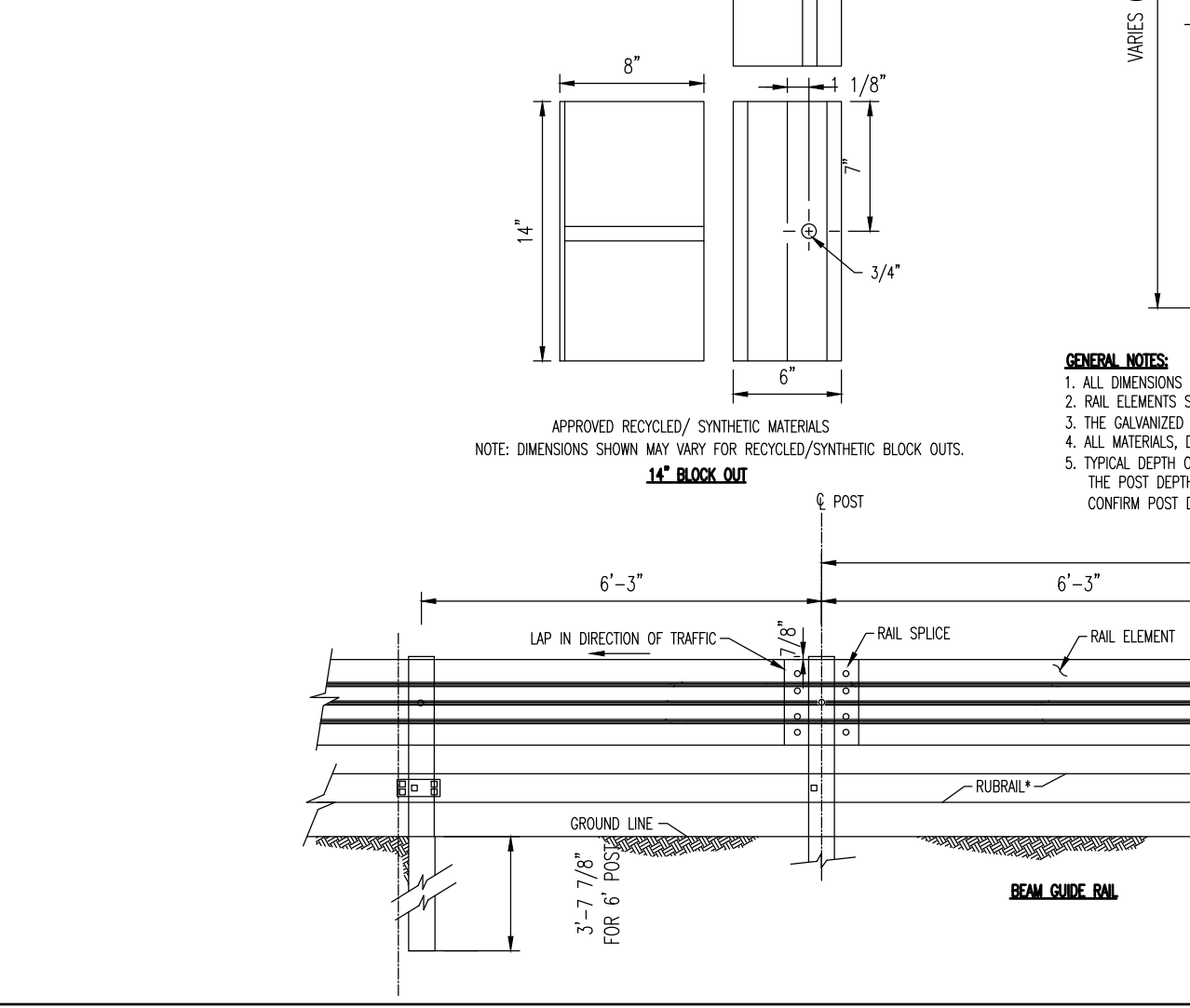
**FIRE LANE SIGN DETAIL**  
NOT TO SCALE



**CURB AND WALK DETAIL AT BUILDING**  
NOT TO SCALE



**CONCRETE PAVEMENT/PAD JOINT DETAILS**  
NOT TO SCALE



**FIRE LANE STRIPING DETAIL**  
NOT TO SCALE

REV	DATE	DESCRIPTION
1	07/09/19	REVISED PER PLANNING BOARD WORK SESSION #2
2	07/09/19	REVISED PER PLANNING BOARD WORK SESSION #2
3	09/08/19	REVISED PER PLANNING BOARD WORK SESSION #2
4	09/08/19	REVISED PER PLANNING BOARD COMMENTS
5	10/09/19	REVISED PER PLANNING BOARD COMMENTS
6	10/09/19	REVISED PER PLANNING BOARD COMMENTS
7	11/09/19	REVISED PER PLANNING BOARD COMMENTS
8	01/20/20	REVISED PER NYCDOT COMMENTS
9	04/13/20	REVISED PER ABACA AND PLANNING BOARD COMMENTS
10	11/04/20	REVISED PER ABACA AND PLANNING BOARD COMMENTS

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100 Main Street, Suite 100, Yorktown, NY 10594

PREPARED FOR:  
THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PREPARED BY:  
JTG

DATE ISSUED:  
12/28/2018

DATE REVIEWED:  
12/28/2018

DATE ISSUED:  
12/28/2018

DATE REVIEWED:  
12/28/2018

PROPOSED MCDONALD'S REMODEL

CONSTRUCTION DETAILS

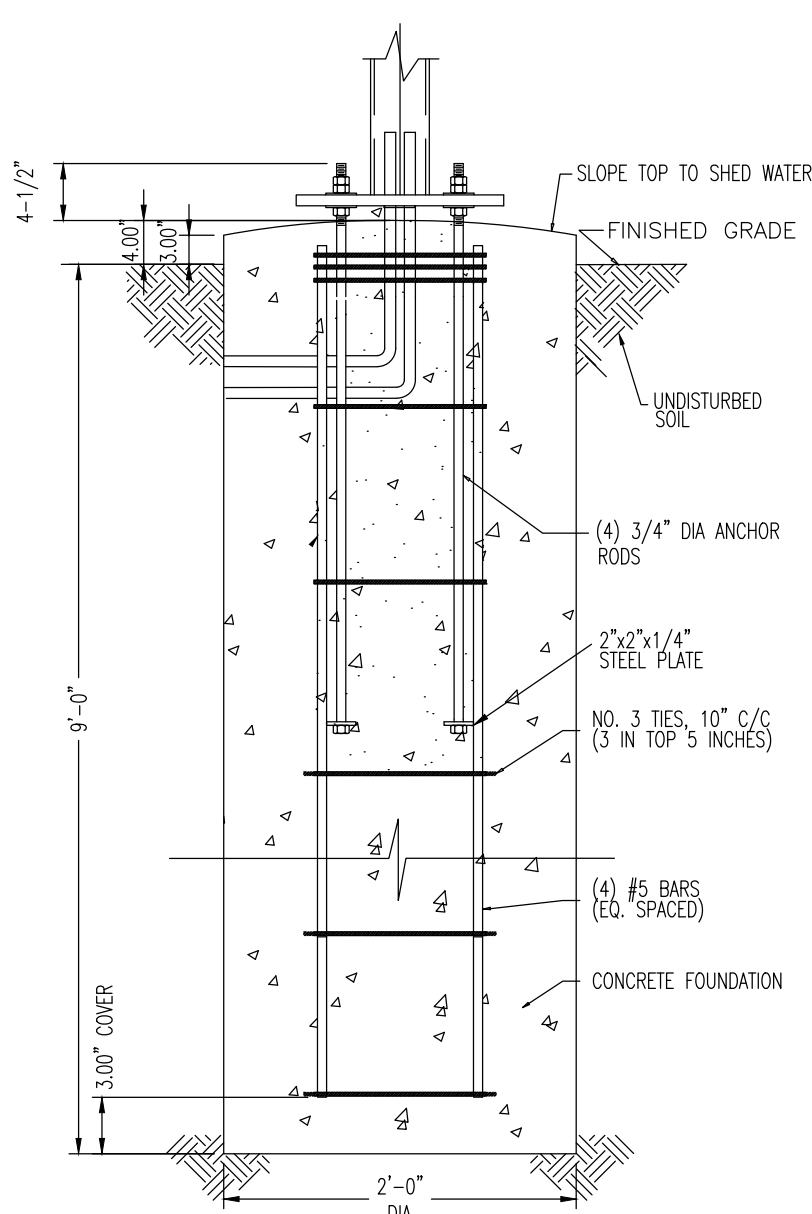
JOSEPH J. SPARONE  
Professional Engineer  
No. 10887

TIAGO F. DUARTE  
Professional Engineer  
No. 10887

0114-99-146  
**C-10**  
SHEET 10 OF 16

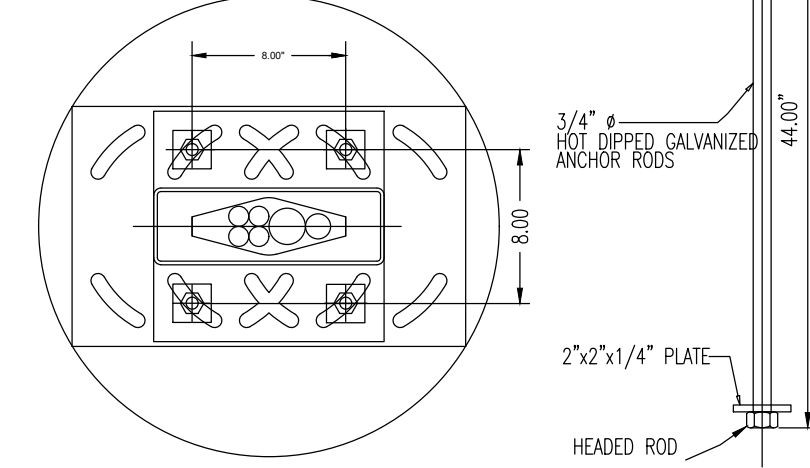
Product Ver: 23.1s (LMS Tech)  
 Yorktown NY LC 310170 (Dwg) Site  
 McDonald's 99-146  
 10 CONSTRUCTION DETAILS  
 11/05/20 10:28 AM By: mshuback  
 File: P:\DEPC PROJECTS\0114 McDonald's 99-146

NOTES:  
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)



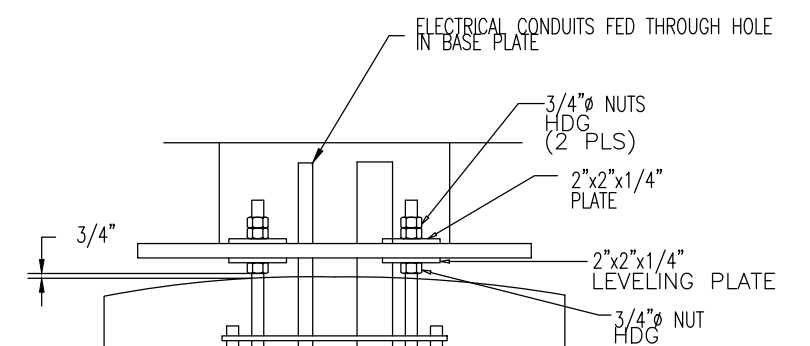
**FOUNDATION**

NOTES:  
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-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.



**ANCHOR BOLT PATTERN**

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.



**CONNECTION DETAILS**

**GENERAL NOTES**

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)  
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.  
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

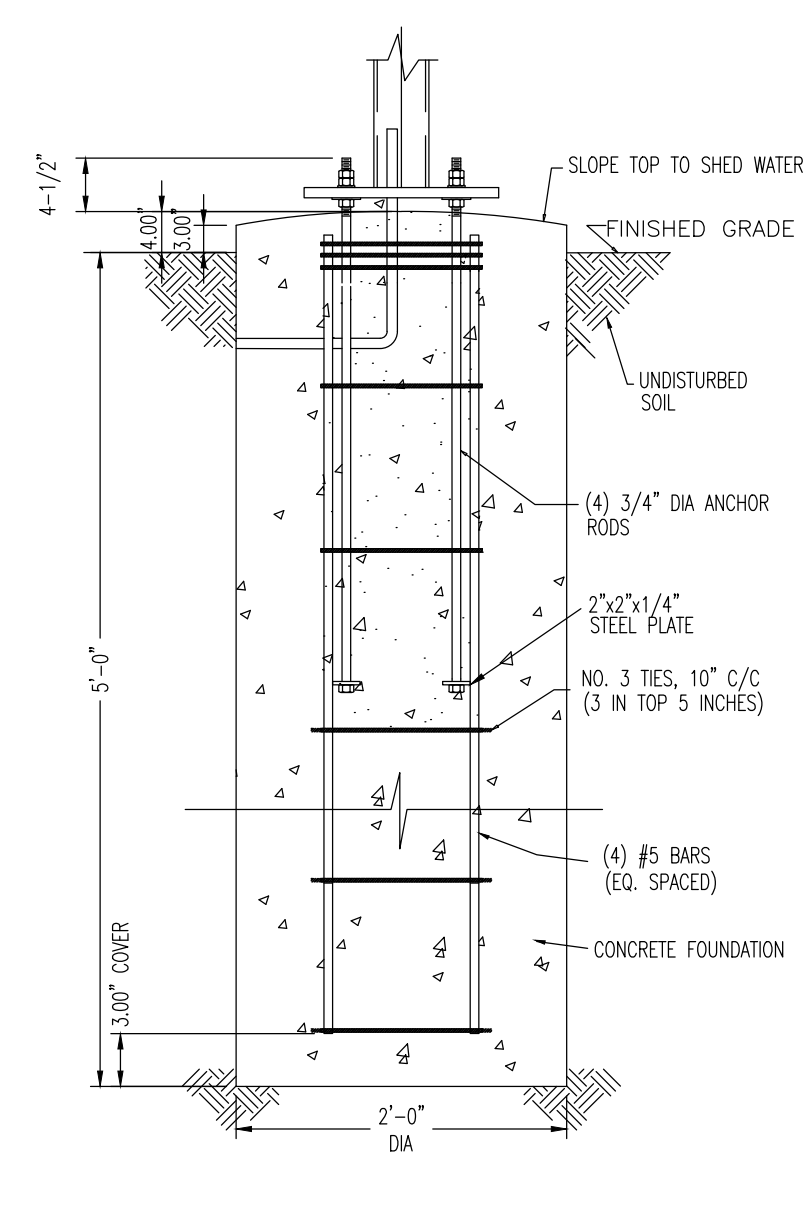
**CONCRETE:**  
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.  
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-MINIMUM CONCRETE STRENGTH (f'c=3,000 PSI) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6  
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.6-A & 2.13-A  
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14  
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.  
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5

**STEEL:**  
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (f<sub>y</sub>=35ksi)  
-HSS ROUND SECTION: ASTM A500 GRADE B (f<sub>y</sub>=42ksi)  
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (f<sub>y</sub>=48ksi)  
-HEAVY DUTY ANCHOR RODS ASTM F1554 OR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 OR 55, 51 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.

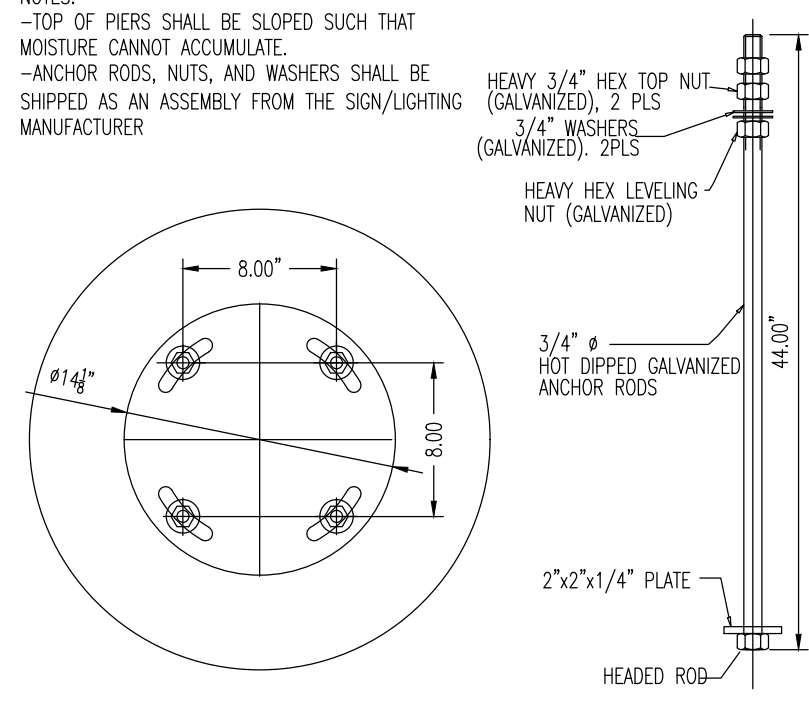
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
-REINFORCEMENT: ASTM A615 GRADE 60  
-NUTS: ASTM A563M, HEAVY HEX  
-WASHERS: ASTM F844 A36  
-USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL  
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE  
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION  
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.  
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.  
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS  
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

NOTES:  
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)

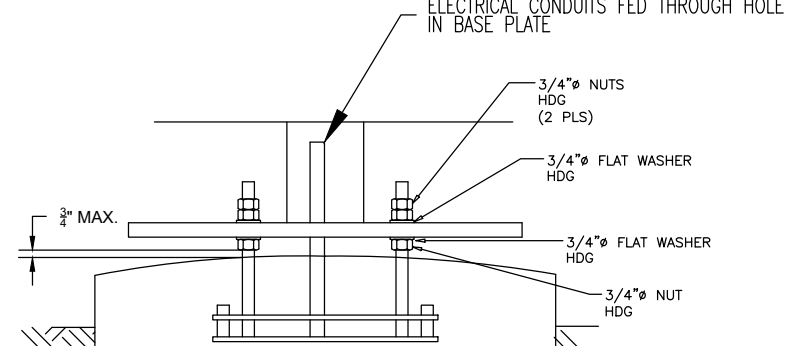


**FOUNDATION**



**ANCHOR BOLT PATTERN**

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.



**CONNECTION DETAILS**

**GENERAL NOTES**

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-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)  
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.  
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

**CONCRETE:**  
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.  
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
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-MINIMUM CONCRETE STRENGTH (f'c=3,000 PSI) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6  
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.6-A & 2.13-A  
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-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5

**STEEL:**  
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (f<sub>y</sub>=35ksi)  
-HSS ROUND SECTION: ASTM A500 GRADE B (f<sub>y</sub>=42ksi)  
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (f<sub>y</sub>=48ksi)  
-HEAVY DUTY ANCHOR RODS ASTM F1554 OR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 OR 55, 51 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.

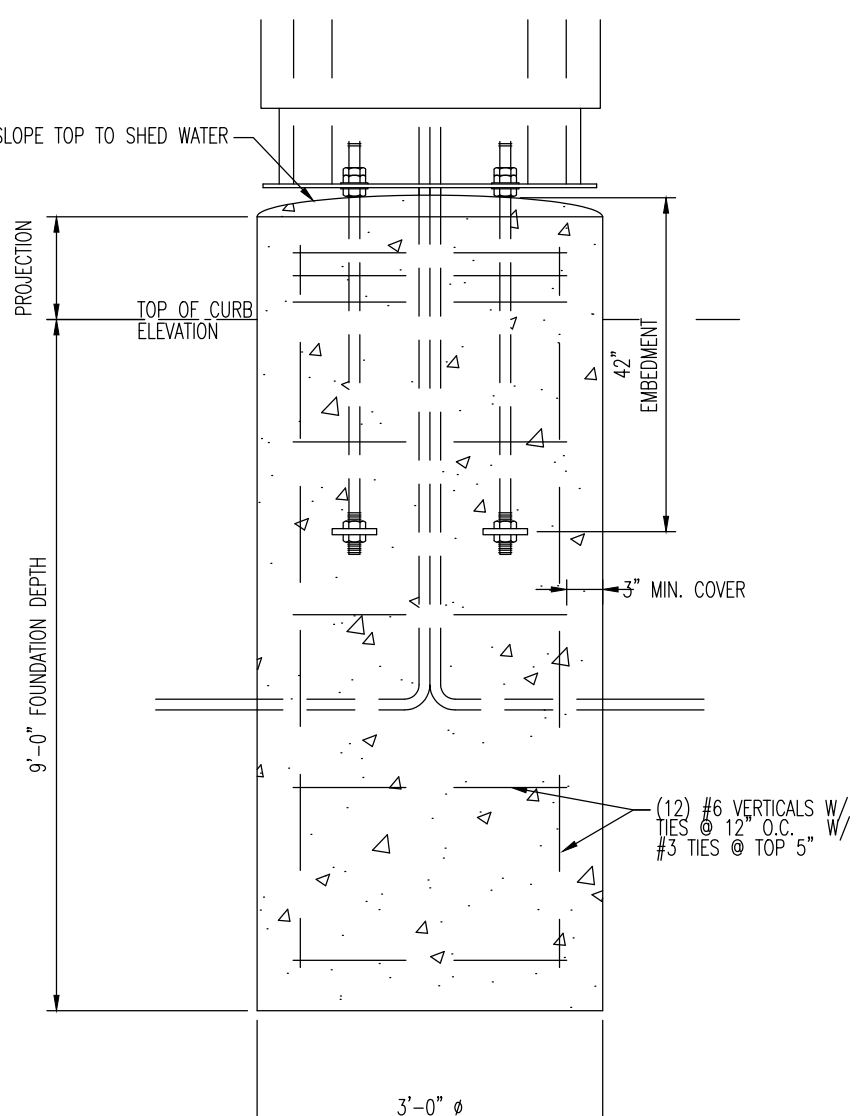
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
-REINFORCEMENT: ASTM A615 GRADE 60  
-NUTS: ASTM A563M, HEAVY HEX  
-WASHERS: ASTM F844 A36  
-USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL  
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE  
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION  
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.  
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-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS  
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

**DIGITAL MENU BOARD FOUNDATION DETAIL**

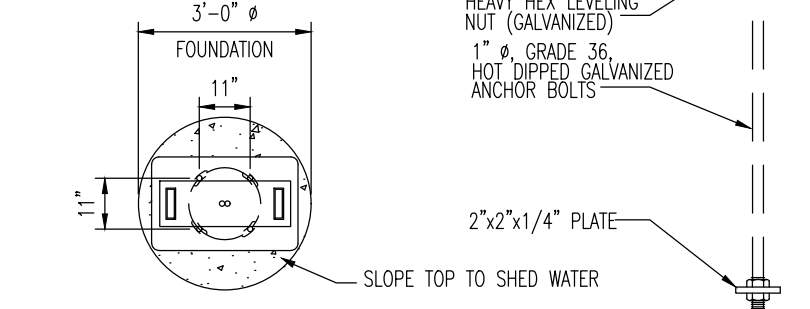
NOT TO SCALE

NOTE:  
-USE CONCRETE WITH A 3000PSI MINIMUM COMPRESSIVE STRENGTH (f'<sub>c</sub>)  
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)  
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).  
-PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.  
-FOUNDATIONS ARE DESIGNED FOR SINGLE OR DOUBLE POLE COLUMNS.



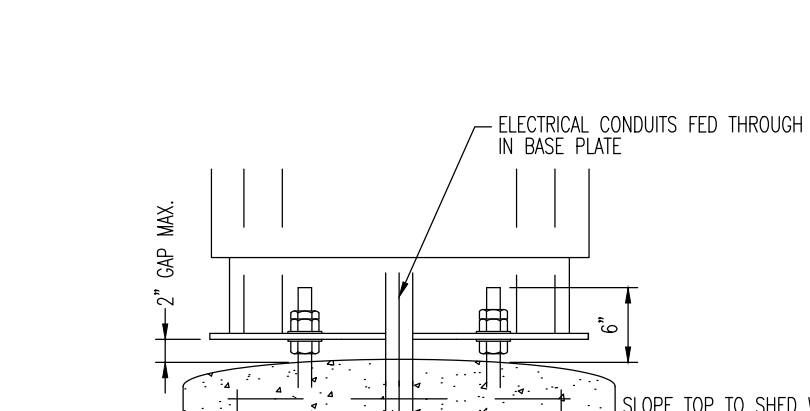
**ORDER HERE CANOPY**

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-USE F1554 GRADE 36 BOLTS MINIMUM  
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**ANCHOR BOLT PATTERN**

NOTES:  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**CONNECTION DETAILS**

**GENERAL NOTES**

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)  
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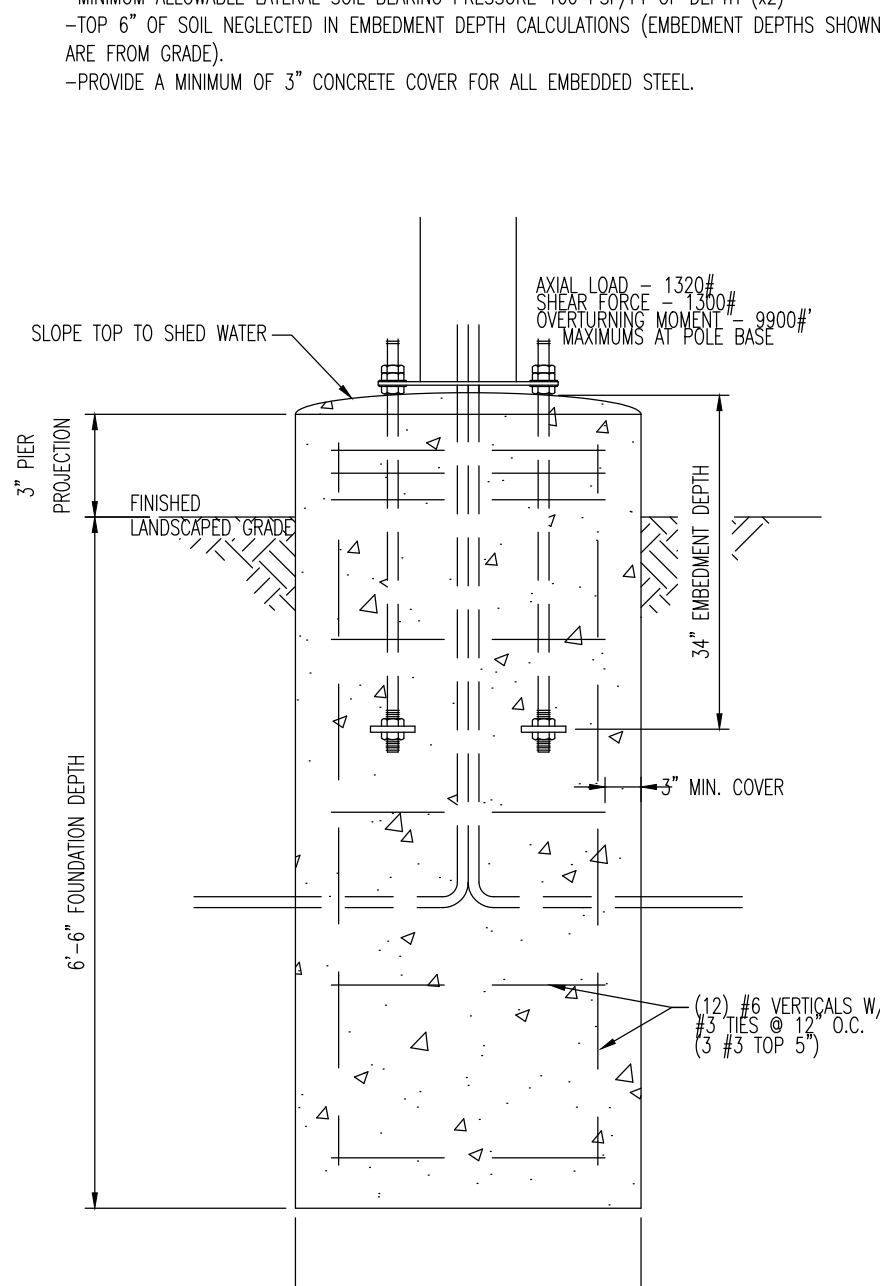
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

**CONCRETE:**  
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-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.  
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-MINIMUM CONCRETE STRENGTH (f'<sub>c</sub>) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6  
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-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5  
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE  
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E

**STEEL:**  
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (f<sub>y</sub> = 35ksi)  
-HSS ROUND SECTION: ASTM A500 GRADE B (f<sub>y</sub> = 42ksi)  
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (f<sub>y</sub> = 48ksi)  
-CONNECTION BOLTS A325  
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
-REINFORCEMENT: GRADE 60  
-NUTS: ASTM A194-2H  
-WASHERS: A36  
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
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-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE  
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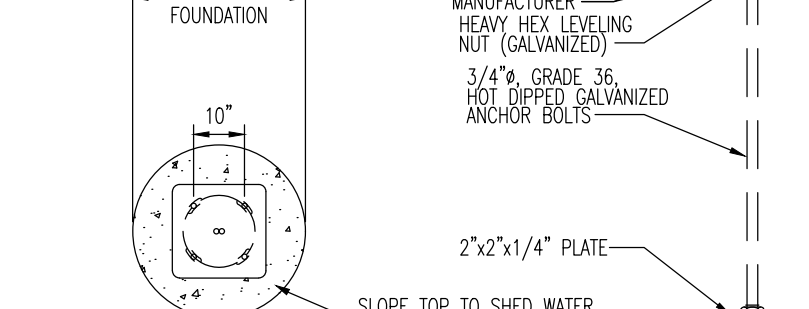
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NOTE:  
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-PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.



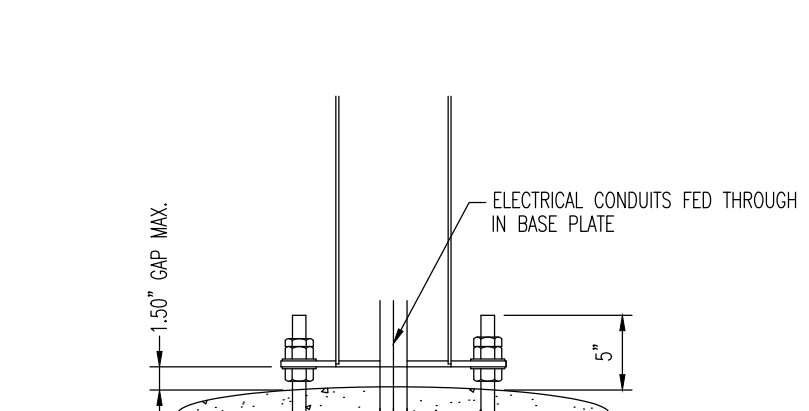
**CLEARANCE GATEWAY**

NOTES:  
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-USE F1554 GRADE 36 BOLTS MINIMUM  
-USE HOT DIPPED GALVANIZED BOLTS  
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**ANCHOR BOLT PATTERN**

NOTES:  
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-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



**CONNECTION DETAILS**

**MUNICIPAL COUNTY, STATE AND MVA DETAILS TO SUPERCEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE**

REVISED PER	DATE	REVISION
REVISED PER ABCA AND PLANNING BOARD COMMENTS	11/04/20	10
REVISED PER NEW BUILDING	04/13/20	9
REVISED PER NYCDPE COMMENTS	01/20/20	8
REVISED PER PLANNING BOARD COMMENTS	11/09/19	7
REVISED PER BUREAU OF FIRE PREVENTION COMMENTS	10/25/19	6
REVISED PER PLANNING BOARD COMMENTS	10/09/19	5
REVISED PER PLANNING BOARD COMMENTS	09/28/19	4
REVISED PER PLANNING BOARD WORK SESSION #2	08/06/19	3
REVISED PER PLANNING BOARD WORK SESSION	07/09/19	2
DESCRIPTION	DATE	REV

**DYNAMIC ENGINEERING**  
LAND DEVELOPMENT CONSULTING • FEMTECH • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING • LENDING

Product: 11/05/20 - 10:28 AM, By: msuhbeck  
File: P:\CEPC\PROJECTS\0114\_McDonald's\0114\_McDonald's\0114\_McDonald's\11 CONSTRUCTION DETAILS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

McDonald's USA, LLC

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TITLE: PROPOSED MCDONALD'S REMODEL

DESCRIPTION: CONSTRUCTION DETAILS

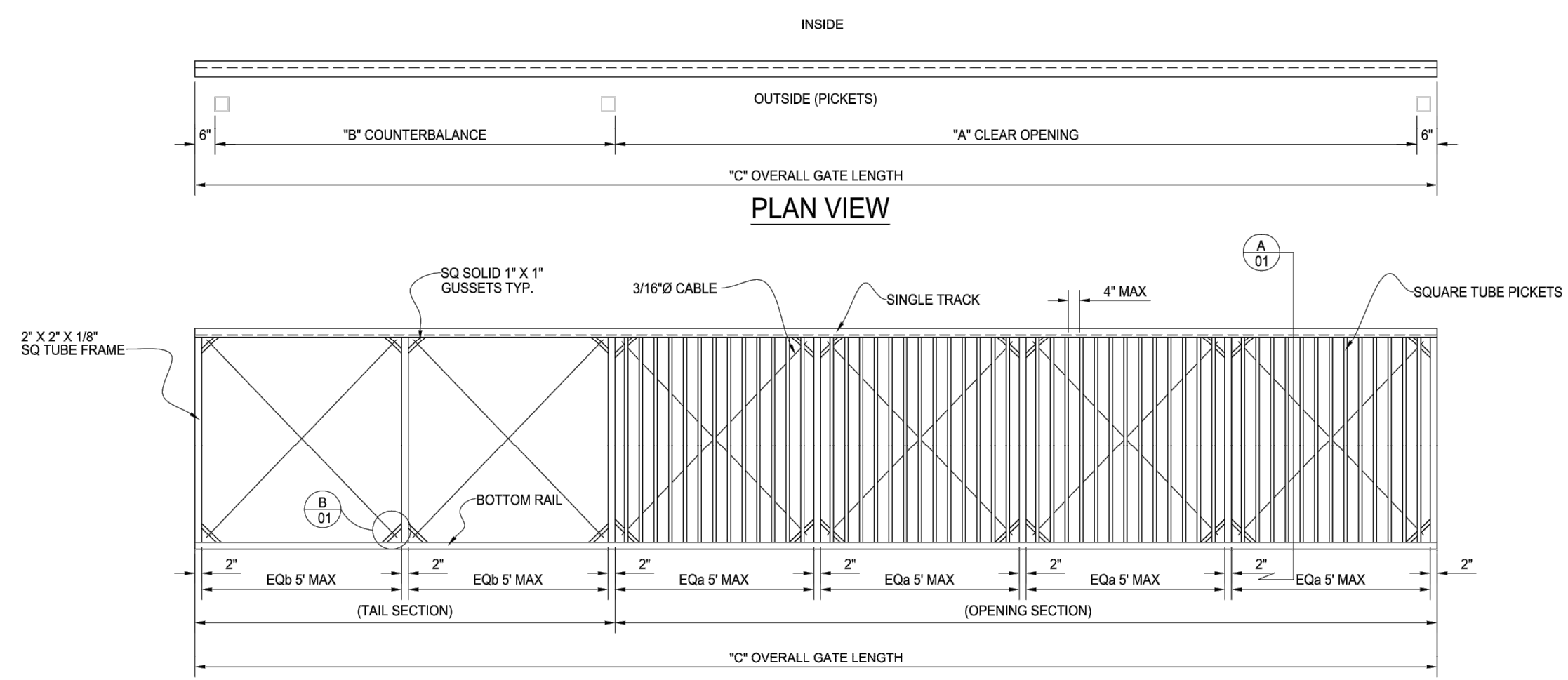
L/C#: 31-0170		L/C: YORKTOWN, NEW YORK	
DATE ISSUED	12/28/2018	DATE	12/28/2018
SITE ADDRESS	1000 E. HIGHWAY 100, YORKTOWN, NY 10586	PROJECT NO.	1000 E. HIGHWAY 100, YORKTOWN, NY 10586



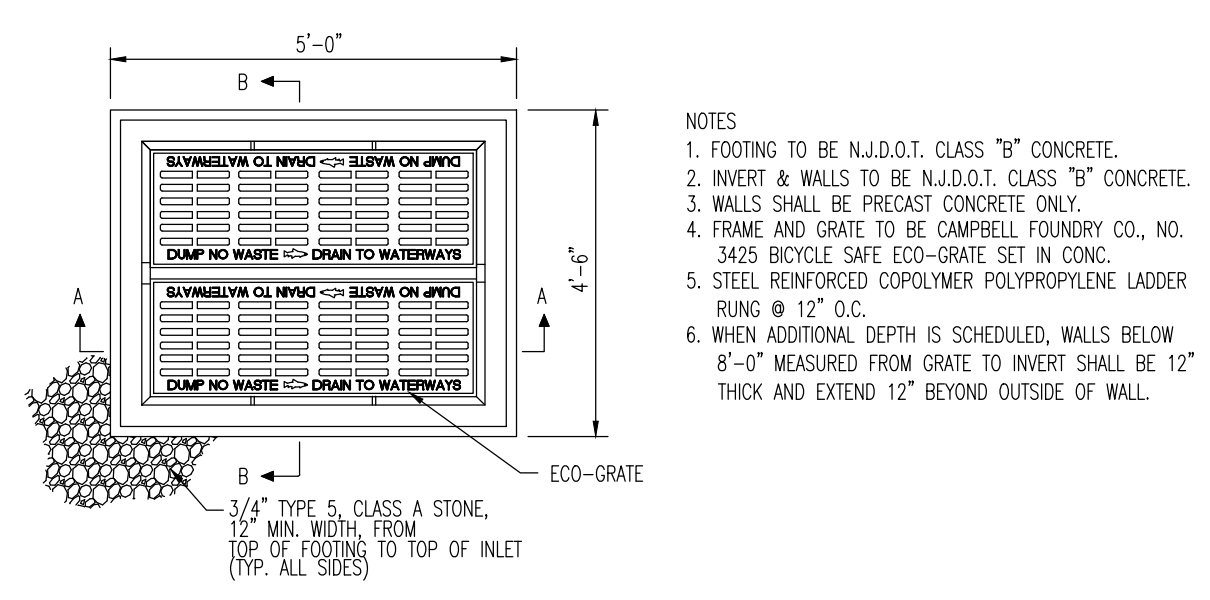
TIAGO F. DUARTE  
PROFESSIONAL ENGINEER



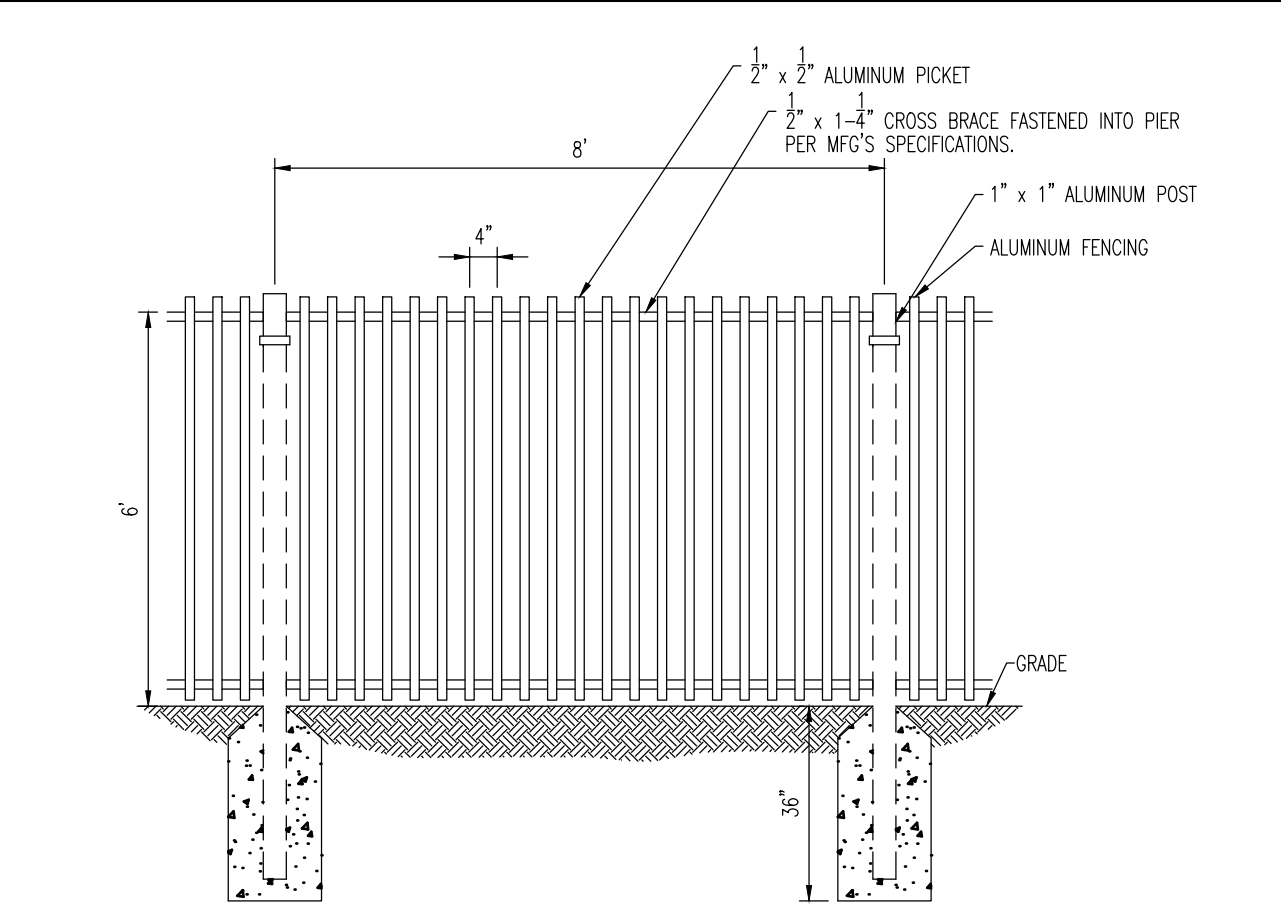




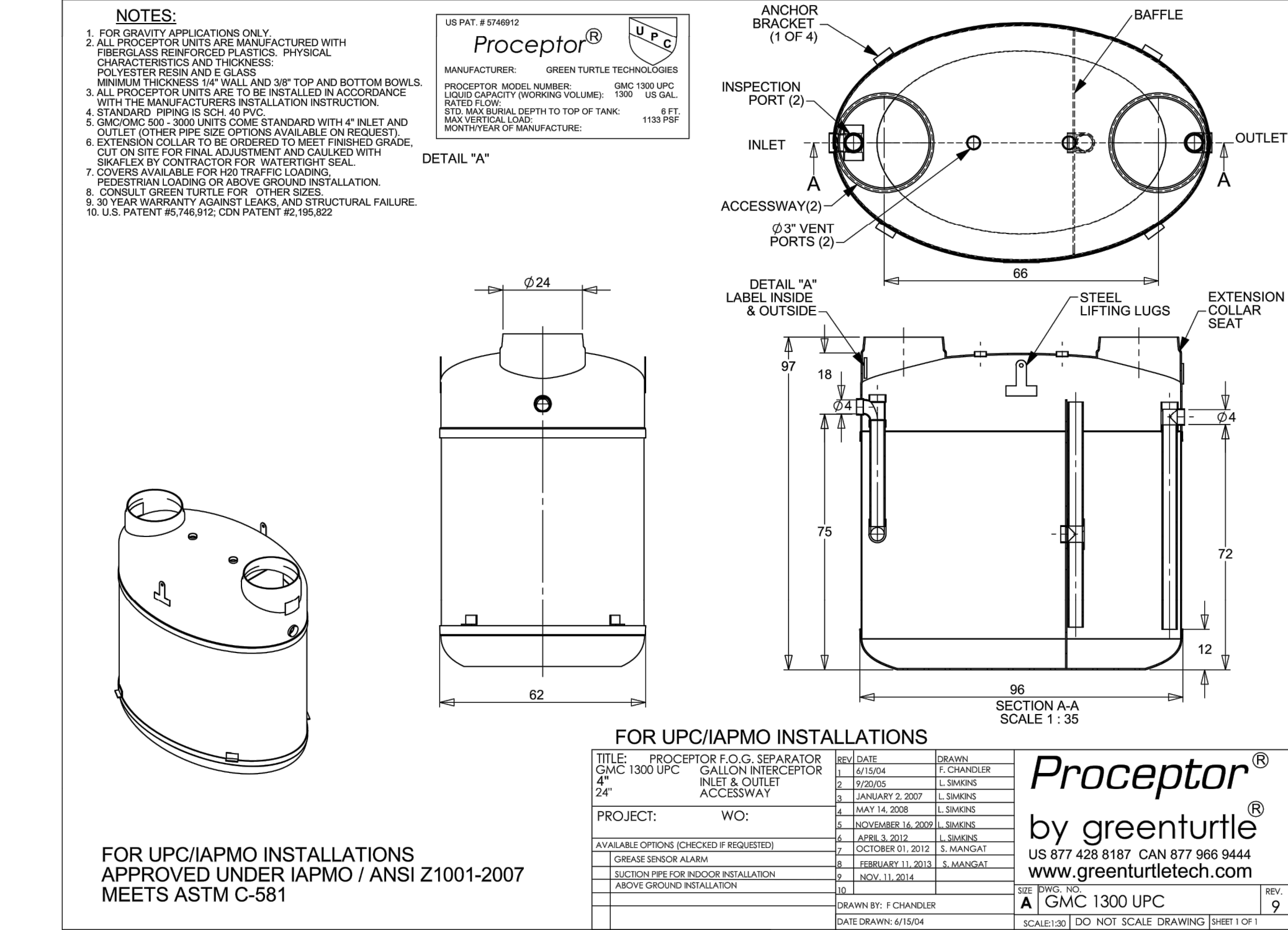
ELEVATION VIEW ALUMINUM CANTILEVER GATE  
 OUTSIDE LOOKING IN



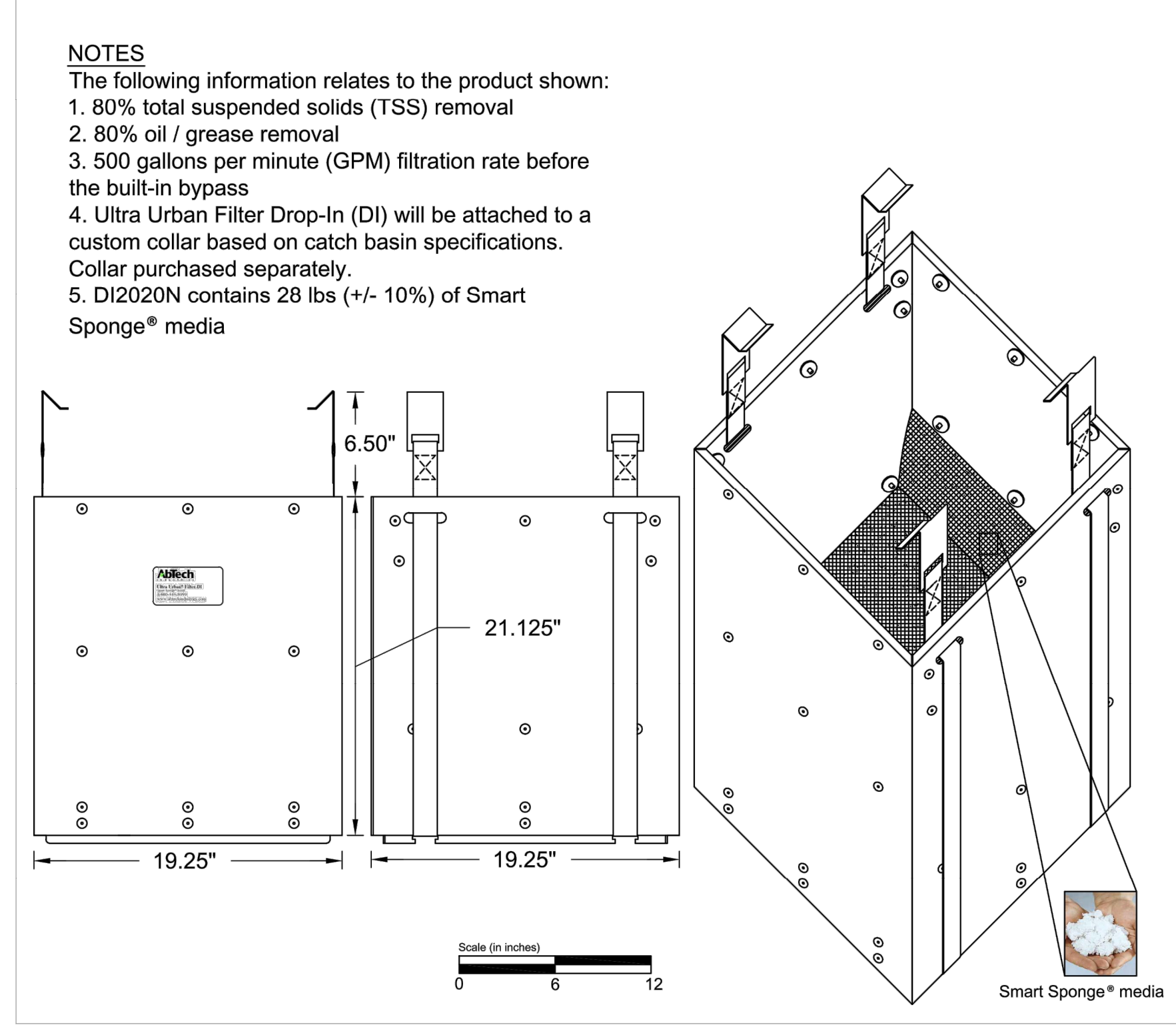
TYPE 'E' INLET  
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BLACK ALUMINUM PICKET FENCE DETAIL  
 NOT TO SCALE



GREASE TRAP DETAIL  
 NOT TO SCALE

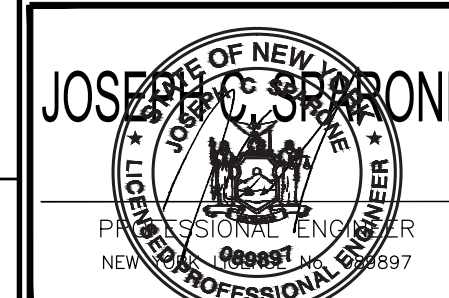


RETROFITTED INLET FILTER  
 NOT TO SCALE

**AbTech INDUSTRIES**  
 These drawings are the property of Abtech Industries, Inc. and shall not be copied or reproduced without written authorization. The contract documents were prepared by Abtech Industries, Inc. and shall not be used for any other project without the written consent of Abtech Industries, Inc.

PROJECT NAME:	ULTRA URBAN DROP-IN (DI) SMART BRIDGE FILTER
LOCATION:	CONY
PROJECT ENGINEER:	
CONTACT:	
SITE MANAGER:	

SCALE: 1/8" = 1'-0" (SEE DRAWING FOR DIMENSIONS)



TIAGO F. DUARTE  
 PROFESSIONAL ENGINEER

**C-13**  
 SHEET 13 OF 16

MUNICIPAL, COUNTY, STATE AND MUA DETAILS TO SUPERCEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE

NO.	DATE	REVISION	DESCRIPTION
10	11/04/20	REVISED PER ABMA AND PLANNING BOARD COMMENTS	
9	04/13/20	REVISED PER NEW BUILDING	
8	01/20/20	REVISED PER NYDEP COMMENTS	
7	11/09/19	REVISED PER PLANNING BOARD COMMENTS	
6	10/25/19	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS	
5	10/09/19	REVISED PER PLANNING BOARD COMMENTS	
4	09/26/19	REVISED PER PLANNING BOARD COMMENTS	
3	09/08/19	REVISED PER PLANNING BOARD WORK SESSION #2	
2	07/09/19	REVISED PER PLANNING BOARD WORK SESSION	
		JTG	
		BY	

PREPARED BY:  
**DYNAMIC ENGINEERING**  
 LAND DEVELOPMENT CONSULTING • FINITING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING ENGINEERING

245 Main Street, Suite 100  
 Yorktown, NY 10994  
 Tel: 516.879.8229  
 Fax: 516.879.8228  
 www.dynamiceng.com

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PREPARED FOR:  
**McDonald's USA, LLC**  
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PROJECT NAME:	ULTRA URBAN DROP-IN (DI) SMART BRIDGE FILTER
LOCATION:	CONY
PROJECT ENGINEER:	
CONTACT:	
SITE MANAGER:	

SCALE: 1/8" = 1'-0" (SEE DRAWING FOR DIMENSIONS)

DRAWN BY:	RRR
DATE:	12/28/2018
REVIEWED BY:	TFD
DATE ISSUED:	12/28/2018

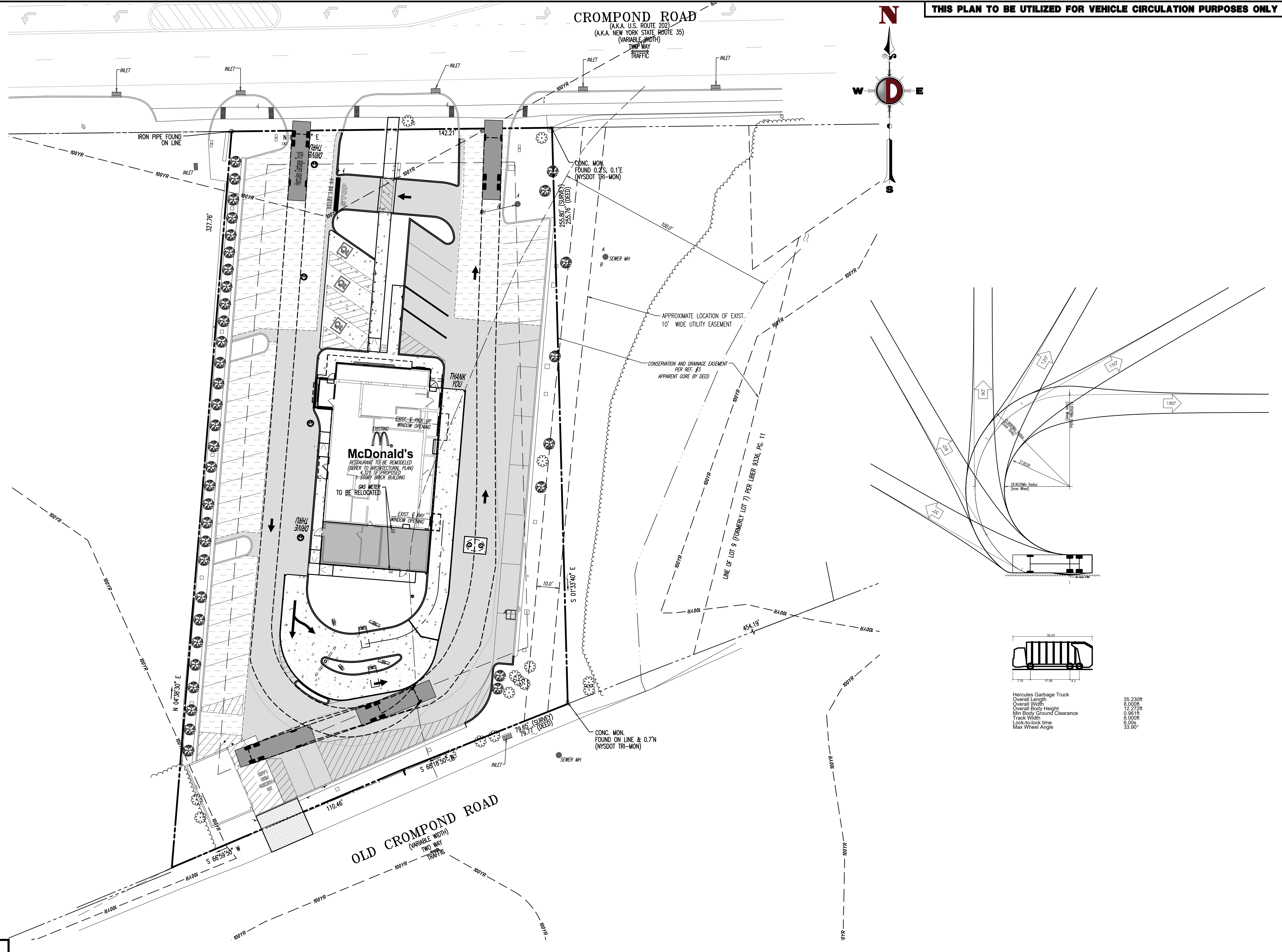
CONSTRUCTION DETAILS

SITE ADDRESS: 1491465D10 (SEE DRAWING FOR DIMENSIONS)

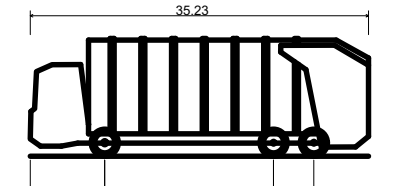
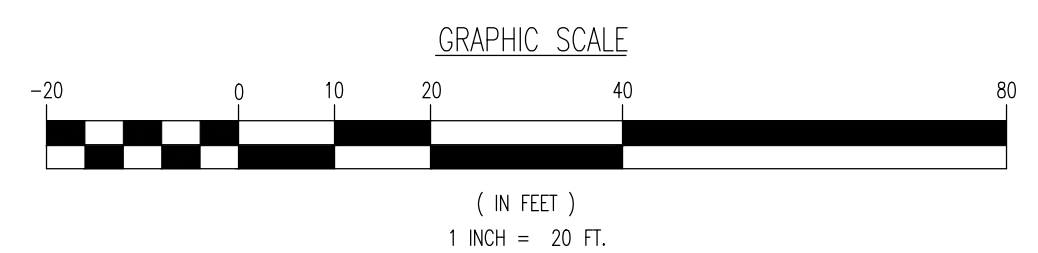
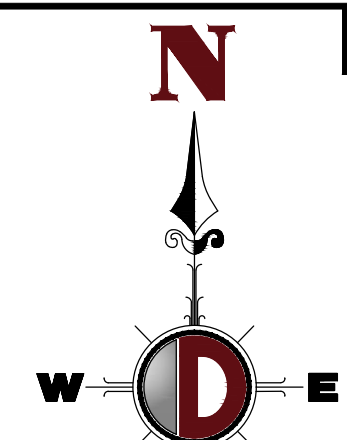
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 PREPARING TO DISBURSE THE EARTH'S SURFACE ANYWHERE IN ANY STATE.

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**THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY**



Hercules Garbage Truck  
 Overall Length 35.230ft  
 Overall Width 7.75ft  
 Overall Body Height 12.272ft  
 Min Body Ground Clearance 0.961ft  
 Track Width 8.000ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 33.90°

REV	DATE	DESCRIPTION
10	11/04/20	REVISED PER ABMA AND PLANNING BOARD COMMENTS
9	04/13/20	REVISED PER NEW BUILDING
8	01/20/20	REVISED PER NYCDP COMMENTS
7	11/09/19	REVISED PER PLANNING BOARD COMMENTS
6	10/25/19	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS
5	10/09/19	REVISED PER PLANNING BOARD COMMENTS
4	09/28/19	REVISED PER PLANNING BOARD COMMENTS
3	09/08/19	REVISED PER PLANNING BOARD WORK SESSION #2
2	07/09/19	REVISED PER PLANNING BOARD WORK SESSION
REV		

PREPARED BY:  
**DYNAMIC ENGINEERING**  
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245 Main Street, Suite 100  
 Yorktown Heights, NY 10598  
 Tel: 914.941.8222  
 www.dynamiceng.com

100 Main Street, Suite 100, Yorktown Heights, NY 10598  
 100 Main Street, Suite 100, Yorktown Heights, NY 10598  
 100 Main Street, Suite 100, Yorktown Heights, NY 10598

PREPARED FOR:  
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L/C#: 31-0170 L/C: YORKTOWN, NEW YORK  
 TITLE: PROPOSED MCDONALD'S REMODEL  
 DESCRIPTION: VEHICLE CIRCULATION PLAN (REFUSE TRUCK)  
 DRAWN BY: JTG  
 STD ISSUE DATE: 12/28/2018  
 REVIEWED BY: TFD  
 DATE ISSUED: 12/28/2018  
 SITE ADDRESS: 146 CROMBIE RD, YORKTOWN, NY 10598  
 BLOCK & LOT: 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

JOSEPH J. SPARONE  
 PROFESSIONAL ENGINEER  
 No. 12697

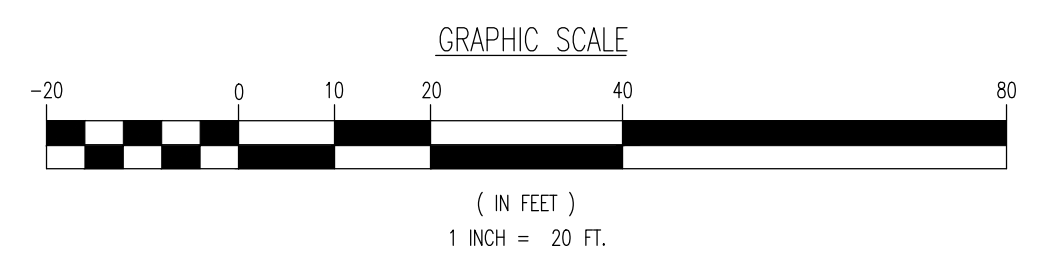
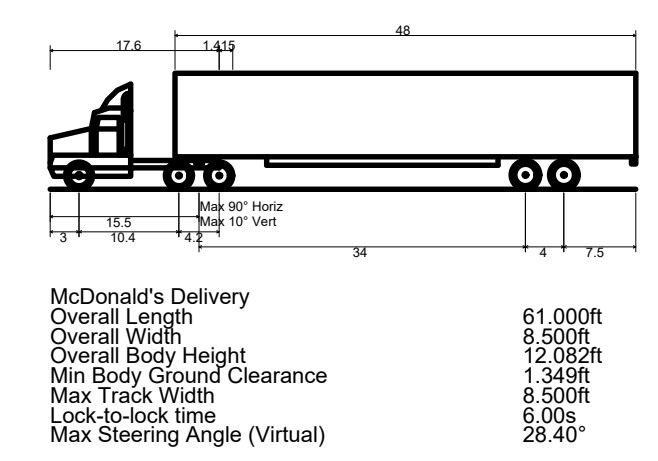
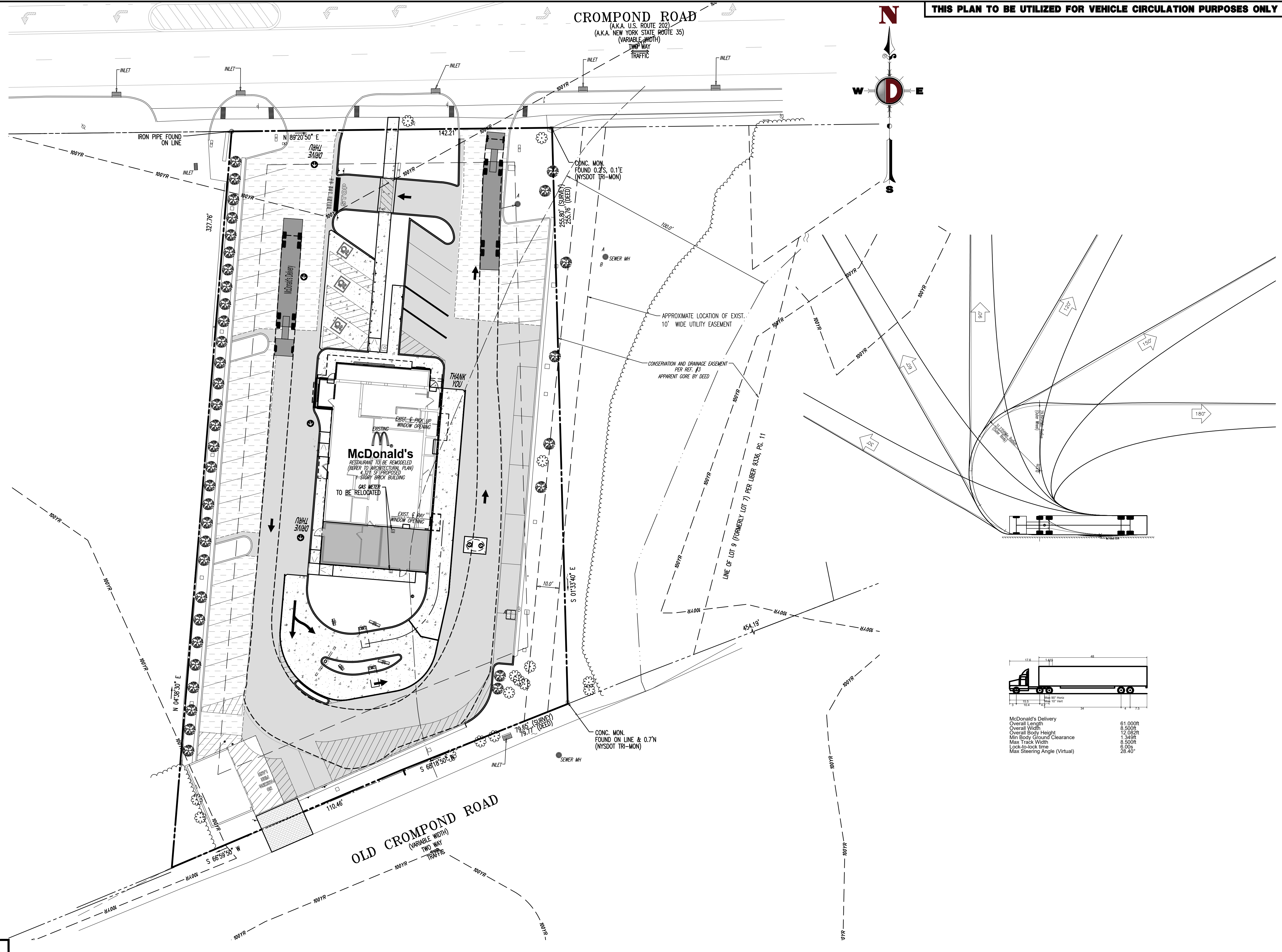
TIAGO F. DUARTE  
 PROFESSIONAL ENGINEER  
 No. 12697

0114-99-146  
**C-14**  
 SHEET 14 OF 16

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**JOSEPH J. SPARONE**  
 PROFESSIONAL ENGINEER  
 No. 0114-99-146

**TIAGO F. DUARTE**  
 PROFESSIONAL ENGINEER

**C-15**  
 SHEET 15 OF 16

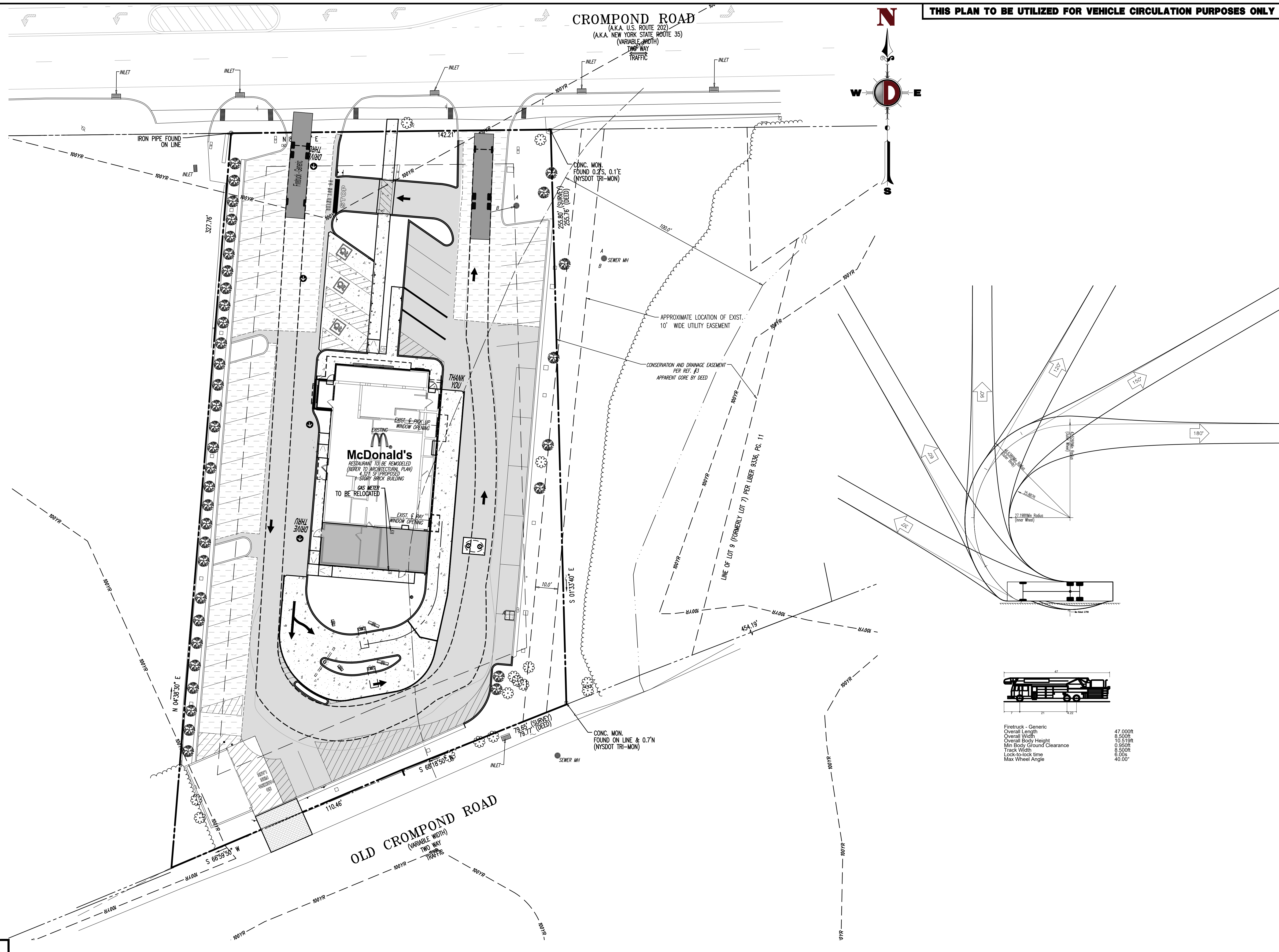
L/C#: 31-0170		L/C: YORKTOWN, NEW YORK		DRAWN BY: RRR STD ISSUE DATE:	PREPARED FOR: McDonald's USA, LLC © 2019 McDonald's Corporation These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.		
TITLE: PROPOSED McDONALD'S REMODEL		DESCRIPTION: VEHICLE CIRCULATION PLAN (DELIVERY TRUCK)		REVIEWED BY: TFD DATE ISSUED: 12/28/2018	PREPARED BY: DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • REMEDIATION • ENVIRONMENTAL • SURVEY • PLANNING & ENGINEERING 245 Main Street, Suite 100 Yorktown, NY 10594 Phone: 516.949.9229 Fax: 516.949.9228 www.dynamiceng.com		
SITE ID: 31-0170		SITE ADDRESS: 146 CROMBIE RD, YORKTOWN, NY 10594 (US ROUTE 202/STATE ROUTE 35)		REVISIONS:	REVISIONS:		
REV	DATE	DESCRIPTION	BY	REVISED PER ABACA AND PLANNING BOARD COMMENTS	10	11/04/20	
9	01/13/20	REVISED PER NYCDP COMMENTS	ARR	REVISED PER NYCDP COMMENTS	8	01/20/20	
7	11/09/19	REVISED PER PLANNING BOARD COMMENTS	ARR	REVISED PER PLANNING BOARD COMMENTS	7	11/09/19	
6	10/25/19	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS	DAS	REVISED PER BUREAU OF FIRE PREVENTION COMMENTS	6	10/25/19	
5	10/09/19	REVISED PER PLANNING BOARD COMMENTS	ARR	REVISED PER PLANNING BOARD COMMENTS	5	10/09/19	
4	09/26/19	REVISED PER PLANNING BOARD COMMENTS	RRR	REVISED PER PLANNING BOARD COMMENTS	4	09/26/19	
3	08/08/19	REVISED PER PLANNING BOARD WORK SESSION #2	DAS/ARR	REVISED PER PLANNING BOARD WORK SESSION #2	3	08/08/19	
2	07/09/19	REVISED PER PLANNING BOARD WORK SESSION	JTG	REVISED PER PLANNING BOARD WORK SESSION	2	07/09/19	
1					1		

THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY

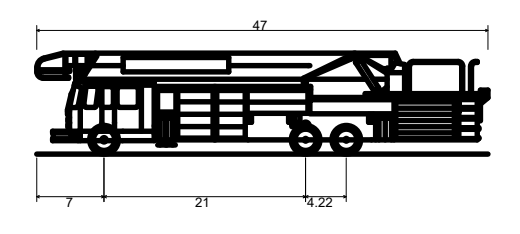
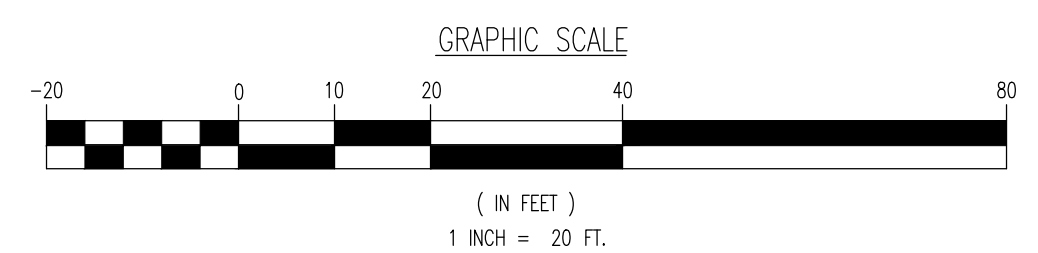
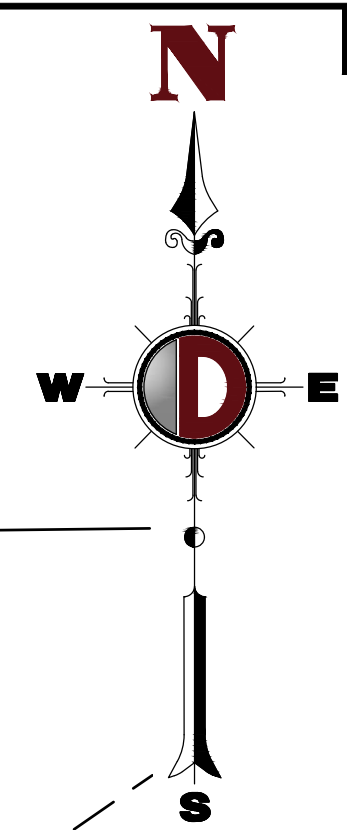
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**THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY**



Firetruck - Generic  
 Overall Length 47.00ft  
 Overall Width 8.50ft  
 Overall Body Height 10.51ft  
 Min. Body Ground Clearance 0.95ft  
 Track Width 8.50ft  
 Lock-to-lock time 6.05  
 Max Wheel Angle 40.00°

REV	DATE	DESCRIPTION
10	11/04/20	REVISED PER ABACA AND PLANNING BOARD COMMENTS
9	04/13/20	REVISED PER NYCDP COMMENTS
8	01/20/20	REVISED PER PLANNING BOARD COMMENTS
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4	09/26/19	REVISED PER PLANNING BOARD WORK SESSION #2
3	09/08/19	REVISED PER PLANNING BOARD WORK SESSION
2	07/09/19	REVISED PER PLANNING BOARD WORK SESSION
1	07/09/19	DATE

PREPARED BY:  
**DYNAMIC ENGINEERING**  
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245 Main Street, Suite 100  
 Yorktown Heights, NY 10598  
 Tel: 914.941.8000  
 www.dynamiceng.com

PREPARED FOR:  
**McDonald's USA, LLC**  
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**JOSEPH J. SEBASTIANE**  
 PROFESSIONAL ENGINEER  
 No. 0114-99-146

**TIAGO F. DUARTE**  
 PROFESSIONAL ENGINEER

**C-16**  
 SHEET 16 OF 16

# TOWN OF YORKTOWN PLANNING BOARD

AUG 12 2020

TOWN OF YORKTOWN

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

## APPLICATION FOR SITE PLAN APPROVAL

Date June 11, 2019

1. Name of Project: McDonald's - Yorktown

2. Tax Map Designation (Section, Block, Lot) 36.05-1-10

3. Zone: C-4 Total Acreage: 1.05

4. Is a statement of easements relating to property attached?  Yes  None exist

5. Project narrative (brief description of proposed development):  
Applicant proposes to redevelop the existing McDonald's restaurant, including a 886 square foot building addition  
together with associated site improvements, as depicted on the site plans incorporated herein and submitted herewith.

6. Contact Person - CHOOSE ONLY ONE:  
 Applicant  Owner  Architect  Wetland Scientist  
 Attorney  Engineer  Surveyor  Landscape Architect

7. Applicant  
Name McDonald's Corporation  
Firm N/A  
Address 110 North Carpenter Street, Chicago, IL 60607-2101  
Phone 516-222-0222  
Fax 516-222-0322  
Email brown@brownaltman.com

8. Owner of Record  
Name McDonald's USA, LLC  
Firm N/A  
Address 110 North Carpenter Street, Chicago, IL 60607-2101  
Phone 516-222-0222  
Fax 516-222-0322  
Email brown@brownaltman.com

9. Attorney

Name Keith P. Brown, Esq.  
Firm Brown & Altman, LLP  
Address 538 Broadhollow Road, Suite 301W  
Phone 516-222-0222  
Fax 516-222-0322  
Email brown@brownaltman.com

10. Engineer

Name Joseph C. Sparone  
Firm Dynamic Engineering  
Address 245 Main Street, Suite 110, Chester, NJ 07930  
Phone 908-879-9229  
Fax 908-879-0222  
Email jsparone@dynamicec.com  
Lic. No. 089897

11. Surveyor

Name Gregory S. Gallas  
Firm Gallas Surveying Group  
Address 2865 US Route 1, North Brunswick, NJ 08902  
Phone 732-422-6700  
Fax 732-940-8786  
Email ggallas@gallassurvey.com  
Lic. No. 50124

12. Architect

Name URS Corporation  
Firm N/A  
Address 1255 Broad Street, Suite 201, Clifton, NJ 07013-3988  
Phone 973-883-8590  
Fax 973-883-8501  
Email brown@brownaltman.com  
Lic. No. 033522

13. Wetland Scientist/Specialist

Name Dynamic Engineering  
Firm N/A  
Address 245 Main Street, Suite 110, Chester, NJ 07930  
Phone 908-879-9229  
Fax 908-879-0222  
Email jsparone@dynamicec.com

14. Landscape Architect

Name Dynamic Engineering  
Firm N/A  
Address 245 Main Street, Suite 110, Chester, NJ 07930  
Phone 908-879-9229  
Fax 908-879-0222  
Email jsparone@dynamicec.com  
Lic. No. 089897

15. Is this project within 500 feet of the Town line?  Yes  No

16. Is this project within 500 feet of the Putnam County line?  Yes  No

17. Is this project within the Sustainable Development Study Area?  Yes  No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road?  Yes  No

The boundary of an existing or proposed state or county park or any state or county recreation area?  Yes  No

The boundary of state or county-owned land on which a public building/institution is located?  Yes  No

An existing or proposed county drainage line?  Yes  No

The boundary of a farm located in an agricultural district?  Yes  No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination.  Yes  No

20. This project requires the following permits or approvals from the Town of Yorktown:

Wetland Permit

Stormwater Permit

Tree Permit

Planning Board special permit: \_\_\_\_\_

Town Board variance or approval: \_\_\_\_\_

Zoning Board of Appeals variance or special permit: Wall sign square footage



21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: Westchester County DPW, NYS DOT

22. This parcel is in the following districts:

School District	<u>Yorktown Central School District</u>	Water District	<u>Yorktown Consolidated Water District #1</u>
Fire District	<u>Yorktown Fire Department</u>	Sewer District	<u>Peekskill</u>

A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

Applicant

McDonald's Corporation

NAME (PLEASE PRINT)

By: *Brian Steady*

Name: Brian Steady

Title: Senior Counsel

4-10-2019

DATE

Owner of Record

McDonald's USA, LLC

NAME (PLEASE PRINT)

By: *Brian Steady*

Name: Brian Steady

Title: Senior Counsel

4-10-2019

DATE

**Note:** If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

**Note:** By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

\_\_\_\_\_, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

Illinois Cook  
STATE OF ~~NEW YORK~~, COUNTY OF ~~WESTCHESTER~~ SS.:

Brian T. Sheedy being duly sworn, deposes and says that he resides at \_\_\_\_\_ in the County of Cook and State of Illinois. That he is the senior counsel of McDonald's USA, LLC the corporation which is owner in fee of the property described in the foregoing application for McDonald's USA, LLC and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this 10th date of April, 2019

Andrea M. James  
Notary Public




\*\*\*\*\*

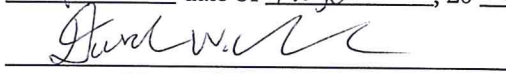
**AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER**

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

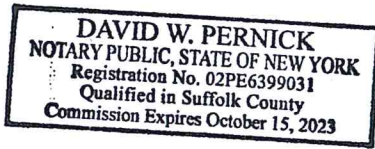
Keith P. Brown, being duly sworn, deposes and says that he is the agent named in the foregoing application for McDonald's Corporation and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.



Sworn before me this 11<sup>th</sup> date of August, 20 20



Notary Public



F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd  
Last updated: December 2011

# Short Environmental Assessment Form

## Part 1 - Project Information

RECEIVED  
PLANNING DEPARTMENT

AUG 12 2020

### Instructions for Completing

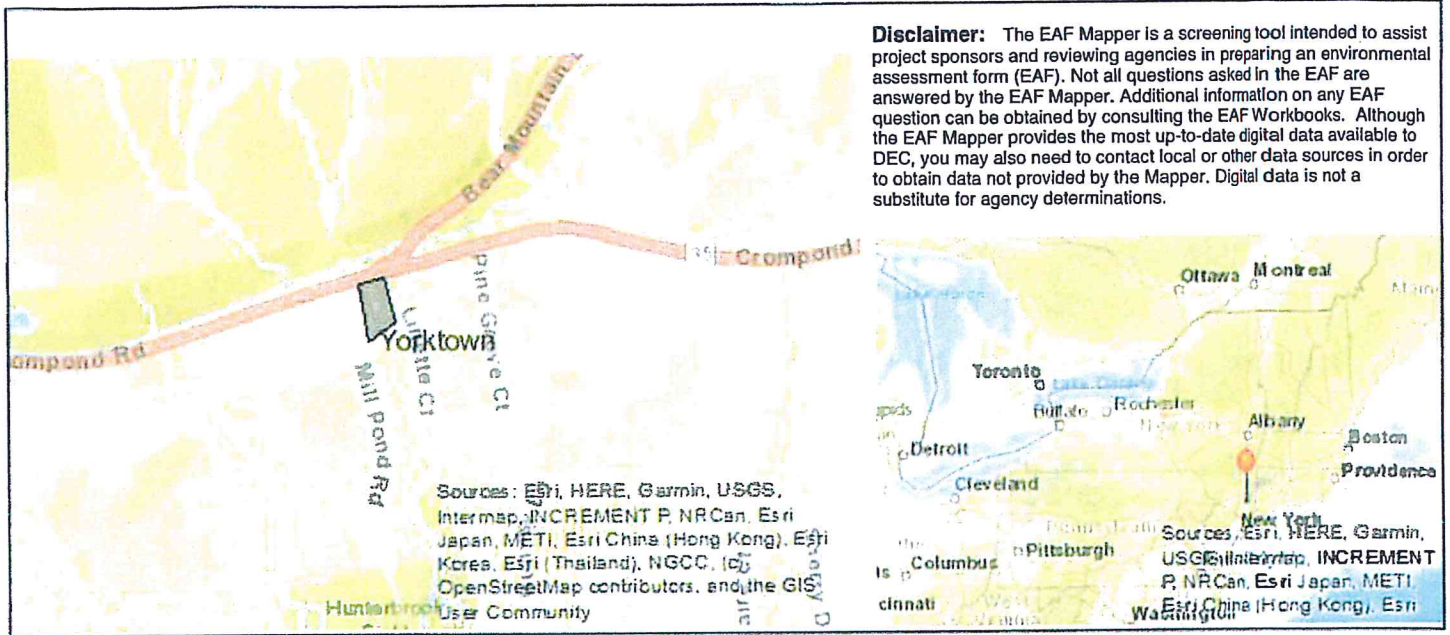
**Part 1 - Project Information:** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
McDonald's Corporation			
Name of Action or Project: Proposed McDonald's Remodel			
Project Location (describe, and attach a location map): 3481 Crompond Road, Town of Yorktown, Westchester County; Block 1 Lot 10			
Brief Description of Proposed Action: Remodel of existing building with new facade, interior renovation, expansion to rear of building, construction of side-by-side drive-thru lanes, ADA access improvements & associated site improvements.			
Name of Applicant or Sponsor: McDonald's Corp.		Telephone:	
Address: 110 N. Carpenter Street		E-Mail:	
City/PO: Chicago		State: IL	Zip Code: 60607
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYCDEP		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.05 acres	
b. Total acreage to be physically disturbed?		0.56 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.05 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5.	Is the proposed action,			
a.	A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify: _____				
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9.	Does the proposed action meet or exceed the state energy code requirements?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____				
10.	Will the proposed action connect to an existing public/private water supply?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing potable water: _____ _____				
11.	Will the proposed action connect to existing wastewater utilities?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If No, describe method for providing wastewater treatment: _____ _____				
12.	a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Brian T. Sheedy</u> Date: <u>6/25/2020</u>		
Signature: <u>Brian T. Sheedy</u> Title: <u>Senior Counsel</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook:
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

AUG 12 2020

TOWN OF YORKTOWN

**RESOLUTION  
OF  
MCDONALD'S CORPORATION**

WHEREAS, McDonald's Corporation (the "Company") has consented to applications to the Town of Yorktown Planning Board, Building Department and Zoning Board of Appeals for approval of McDonald's Corporation's Applications for the property located at 3481 Crompond Road, Cortlandt, New York, designated on the Westchester County Tax Map as: Section 36.05, Block 1, Lot 10.

WHEREAS, the Company is desirous of obtaining the approvals requested therein; and

WHEREAS, Brian T. Sheedy, as Senior Counsel (Title) of McDonald's Corporation is authorized to sign any and all documents related to this application, required by the Town of Yorktown Planning Board, Building Department or Zoning Board of Appeals; now therefore be it

RESOLVED, that Brian T. Sheedy by so executing said documents, binds McDonald's Corporation and represents the accuracy of the contents on behalf of the Company.

Dated: (City, State)  
(Date)

MCDONALD'S CORPORATION

By: Brian T. Sheedy  
Name: Brian T. Sheedy  
Title: Senior Counsel

Sworn to before me this

10th day of April 2019

Andrea M. Janes  
NOTARY PUBLIC





AUG 12 2020

TOWN OF YORKTOWN

**RESOLUTION  
OF  
MCDONALD'S USA, LLC**

WHEREAS, McDonald's USA, LLC (the "Company") has consented to applications to the Town of Yorktown Planning Board, Building Department and Zoning Board of Appeals for approval of McDonald's Corporation's Applications for the property located at 3481 Crompond Road, Cortlandt, New York, designated on the Westchester County Tax Map as: Section 36.05, Block 1, Lot 10.

WHEREAS, the Company is desirous of obtaining the approvals requested therein; and

WHEREAS, Brian T. Sheedy, as Senior Counsel (Title) of McDonald's USA, LLC is authorized to sign any and all documents related to this application, required by the Town of Yorktown Planning Board, Building Department or Zoning Board of Appeals; now therefore be it

RESOLVED, that Brian T. Sheedy by so executing said documents, binds McDonald's USA, LLC and represents the accuracy of the contents on behalf of the Company.

Dated: (City, State)  
(Date)

MCDONALD'S USA, LLC

By: *Brian T. Sheedy*  
Name: Brian T. Sheedy  
Title: Senior Counsel

Sworn to before me this

10th day of April 2019

*Andrea M. Janes*  
NOTARY PUBLIC



**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT  
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION  
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

**Section** 36.05      RECEIVED  
**Block** 1                      PLANNING DEPARTMENT  
**Lot #** 10                      AUG 12 2020  
    TOWN OF YORKTOWN

**Approval Authority:** TE [ ] PB [ ] TB [ ]  
**Application #:** \_\_\_\_\_  
**Date Received:** \_\_\_\_\_  
**Date Issued:** \_\_\_\_\_  
**Date Expires:** \_\_\_\_\_  
**Fee Paid:** \$ \_\_\_\_\_

**Job Site Address:** 3481 Crompond Road (US Route 202)

**City/State/Zip:** Town of Yorktown  
NY/10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

**APPLICANT:**

**YOUR NAME:** Brian T. Sheedy, Senior Counsel  
**COMPANY:** McDonald's Corporation  
**ADDRESS:** 110 N. Carpenter Street  
Chicago, IL                      ZIP 60607  
**PHONE:** (630-209-1540)  
**EMAIL:** Brian.Sheedy@us.mcd.com

**OWNER:**

**YOUR NAME:** Brian T. Sheedy, Senior Counsel  
**COMPANY:** McDonald's Corporation  
**ADDRESS:** 110 N. Carpenter Street  
Chicago, IL                      ZIP 60607  
**PHONE:** (630-209-1540)  
**EMAIL:** Brian.Sheedy@us.mcd.com

**APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES**

Select One	Type	Approval Authority	Cost
<input checked="" type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order/Notice of Violation as per Town Code.

**PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)**

**1. Description of wetlands (check all that apply):**

- |                       |                                     |                                    |                                     |
|-----------------------|-------------------------------------|------------------------------------|-------------------------------------|
| a. Lake/pond          | <input type="checkbox"/>            | Control area of lake/pond          | <input type="checkbox"/>            |
| b. Stream/River/Brook | <input checked="" type="checkbox"/> | Control area of stream/river/brook | <input checked="" type="checkbox"/> |
| c. Wetlands           | <input type="checkbox"/>            | Control area of wetlands           | <input type="checkbox"/>            |

**2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.**

Remodel, renovation and additional of existing building. Site work includes the construction of side-by-side drive-thru lanes, ADA access improvements and with associated site improvements. Site improvements will result in a decrease in impervious coverage when compared to existing conditions. Improvements within the existing watercourse buffer (within 100' of Hunters Brook) is limited to minor grading and repaving of existing asphalt areas.

**2b. Stormwater/Excavation - Description of proposed activity:**

Existing drainage patterns and stormwater management facilities will remain unchanged,

**3. Tree Removal: N/A**

~~Amount of trees and/or stumps to be removed: \_\_\_\_\_~~  
~~Sizes; approximate DBH: \_\_\_\_\_~~  
~~Species of trees to be removed (i.e. Birch, Spruce - if known): \_\_\_\_\_~~  
~~Reason for removal: \_\_\_\_\_~~  
Trees marked in field (trees must be marked prior to inspection): Yes:  No:   
Tree removal contractor: \_\_\_\_\_

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

**4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the **PROPERTY OWNER** is to complete, sign and date this authorization:**

I, \_\_\_\_\_ hereby authorize \_\_\_\_\_ to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

No application will be processed without the above-mentioned, required information.

**GENERAL CONDITIONS**

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
  - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
  - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
  - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Brian T. Sheedy  
PRINT NAME

*Brian T. Sheedy*  
SIGNATURE OF APPLICANT

6/25/2020  
DATE

# Short Environmental Assessment Form

## Part 1 - Project Information

RECEIVED  
PLANNING DEPARTMENT

AUG 12 2020

### Instructions for Completing

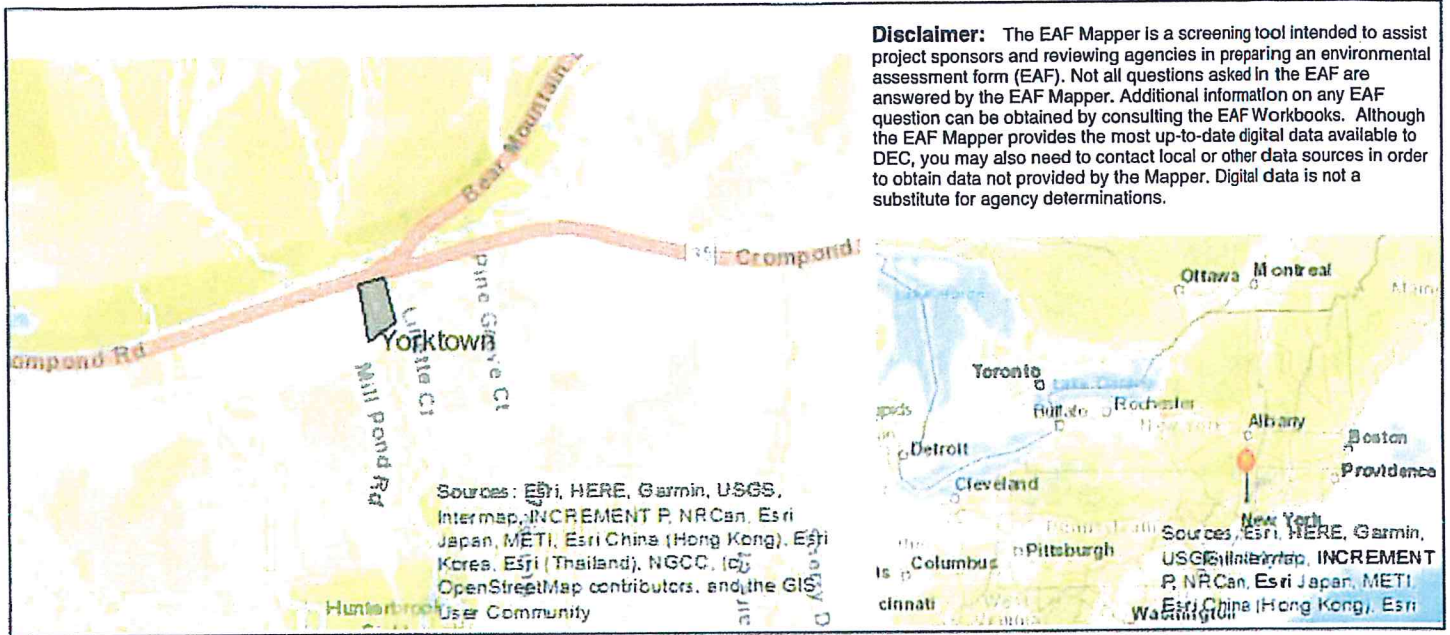
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Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
McDonald's Corporation			
Name of Action or Project: Proposed McDonald's Remodel			
Project Location (describe, and attach a location map): 3481 Crompond Road, Town of Yorktown, Westchester County; Block 1 Lot 10			
Brief Description of Proposed Action: Remodel of existing building with new facade, interior renovation, expansion to rear of building, construction of side-by-side drive-thru lanes, ADA access improvements & associated site improvements.			
Name of Applicant or Sponsor: McDonald's Corp.		Telephone:	
Address: 110 N. Carpenter Street		E-Mail:	
City/PO: Chicago		State: IL	Zip Code: 60607
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYCDEP		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.05 acres	
b. Total acreage to be physically disturbed?		0.56 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.05 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. <u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. <u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u> If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u> If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. <u>Will the proposed action connect to an existing public/private water supply?</u> If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. <u>Will the proposed action connect to existing wastewater utilities?</u> If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Brian T. Sheedy</u> Date: <u>6/25/2020</u>		
Signature: <u>Brian T. Sheedy</u> Title: <u>Senior Counsel</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook:
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



# Lajqi Permit

TOWN OF YORKTOWN TOWN BOARD

JUN 10 2021

TOWN OF YORKTOWN

Resolved, the Town Clerk is authorized to refer out to appropriate agencies for their review and/or recommendation an application submitted by Joseph C. Riina, Site Design Consultants, on behalf of owner Besim Lajqi, for a stormwater management permit for property located at 1039 Underhill Avenue, Yorktown Heights, NY 10598 for the purpose of renovation of an existing residence, reconstruction of the driveway, and construction of a rain garden for stormwater management.

Further Resolved, the Town Board declares its intent to act as Lead Agency. We are transmitting the following referral for your review and recommendation and ask that you respond back to the Town Clerk by July 1, 2021.

TO:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> File                                 | <input checked="" type="checkbox"/> <b>Westchester County</b>   |
| <input checked="" type="checkbox"/> Town Clerk                           | <input checked="" type="checkbox"/> Planning Department / Board |
| <input checked="" type="checkbox"/> ABACA                                | <input type="checkbox"/> Dept. of Public Works                  |
| <input checked="" type="checkbox"/> Building Inspector                   | <input type="checkbox"/> Dept. of Health                        |
| <input type="checkbox"/> Community Housing Board                         | <input type="checkbox"/> Parks & Recreation                     |
| <input checked="" type="checkbox"/> Conservation Board                   | <input type="checkbox"/> Environmental Facilities               |
| <input checked="" type="checkbox"/> Fire:                                | <input type="checkbox"/> Soil & Water                           |
| <input type="checkbox"/> Lake Mohegan                                    | <input type="checkbox"/> <b>New York State</b>                  |
| <input checked="" type="checkbox"/> Yorktown                             | <input type="checkbox"/> DEC Albany                             |
| <input checked="" type="checkbox"/> Highway Dept.                        | <input checked="" type="checkbox"/> DEC New Paltz (Region III)  |
| <input type="checkbox"/> Open Space Committee                            | <input type="checkbox"/> DOT                                    |
| <input checked="" type="checkbox"/> Planning Dept. / Board (6)           | <input type="checkbox"/> Parks & Recreation                     |
| <input checked="" type="checkbox"/> Police Dept.                         | <input checked="" type="checkbox"/> <b>NYC DEP</b>              |
| <input type="checkbox"/> Public Safety Committee                         | <input type="checkbox"/> <b>Army Corp. of Engineers</b>         |
| <input type="checkbox"/> Recreation Commission                           | <input type="checkbox"/> <b>Bordering Municipality</b>          |
| <input type="checkbox"/> School District:                                | <input type="checkbox"/> Town of Cortlandt                      |
| <input type="checkbox"/> Yorktown  | <input type="checkbox"/> Town of Ossining                       |
| <input type="checkbox"/> Lakeland  | <input type="checkbox"/> Town of Somers                         |
| <input checked="" type="checkbox"/> Town Attorney                        | <input type="checkbox"/> Town of Putnam Valley                  |
| <input checked="" type="checkbox"/> Town Board                           | <input type="checkbox"/> Yorktown Chamber of Commerce           |
| <input checked="" type="checkbox"/> Town Engineer                        | <input type="checkbox"/> Other                                  |
| <input checked="" type="checkbox"/> Tree Conservation Advisory Committee | <input type="checkbox"/> Other – Zoning Board of Appeals        |
| <input checked="" type="checkbox"/> Water Department                     |   |
| <input type="checkbox"/> Wetlands Inspector                              |   |
| <input type="checkbox"/> Yorktown Land Trust                             |   |

FROM: DIANA L. QUAST, YORKTOWN TOWN CLERK, CERTIFIED MUNICIPAL CLERK

SUBJECT: **We are transmitting the following: Stormwater Permit Application for property located at 1039 Underhill Avenue (owner: Besim Lajqi)**

DATE: June 10, 2021

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Application/Petition | <input type="checkbox"/> Report                      |
| <input checked="" type="checkbox"/> Drawings/Plans       | <input type="checkbox"/> Wetlands Permit Application |
| <input checked="" type="checkbox"/> EAF                  | <input type="checkbox"/> SEQRA Scope                 |
| <input type="checkbox"/> EAF Addendum                    | <input type="checkbox"/> Other – Proposed Local Law  |

FOR YOUR:  Information       Review       Comment

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT  
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION  
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 47.16  
Block 1  
Lot # 29

Approval Authority: TE [ ] PB [ ] TB [ ]  
Application #: FWPPP-032-21  
Date Received: 06-04-21  
Date Issued: \_\_\_\_\_  
Date Expires: \_\_\_\_\_  
Fee Paid: \$ 1,500

Job Site Address: 1039 Underhill Avenue  
City/State/Zip: Yorktown Hgts., NY 10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

**APPLICANT:**

YOUR NAME: Joseph C. Riina, P.E.  
COMPANY: Site Design Consultants  
ADDRESS: 251 F Underhill Ave  
Yorktown Hgts., NY ZIP 10598  
PHONE: (914) 962-4488  
EMAIL: jriina@sitedesignconsultants.com

**OWNER:**

YOUR NAME: Besim Lajqi  
COMPANY: \_\_\_\_\_  
ADDRESS: 1039 Underhill Avenue  
Yorktown Hgts., NY ZIP 10598  
PHONE: (917) 577-2890  
EMAIL: boralajki@optimum.net

**APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES**

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input checked="" type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

**PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)**

**1. Description of wetlands (check all that apply):**

- |                       |                          |                                    |                          |
|-----------------------|--------------------------|------------------------------------|--------------------------|
| a. Lake/pond          | <input type="checkbox"/> | Control area of lake/pond          | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands           | <input type="checkbox"/> | Control area of wetlands           | <input type="checkbox"/> |

**2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.**

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**2b. Stormwater/Excavation - Description of proposed activity:**

Renovation of an existing residence with associated grading, reconstruction of the driveway adjacent to residence, and construction of a Rain Garden for stormwater management.

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**3. Tree Removal:**

Amount of trees and/or stumps to be removed: 0  
Sizes; approximate DBH: \_\_\_\_\_  
Species of trees to be removed (i.e. Birch, Spruce - if known): \_\_\_\_\_  
Reason for removal: \_\_\_\_\_  
Trees marked In field (trees must be marked prior to inspection): Yes:  No:   
Tree removal contractor: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

**4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:**

I, Besim Lajçi hereby authorize Joseph C. Riina, P.E. to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: Besim Lajçi Date: 5/12/2021

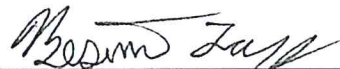
No application will be processed without the above-mentioned, required information.

**GENERAL CONDITIONS**

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
  - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
  - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
  - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Besim Lajqi

\_\_\_\_\_  
PRINT NAME



\_\_\_\_\_  
SIGNATURE OF APPLICANT

5-12-21

\_\_\_\_\_  
DATE

**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**


**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Besim Lajqi			
Name of Action or Project: Besim Lajqi			
Project Location (describe, and attach a location map): 1039 Underhill Avenue; SBL 47.16-1-29			
Brief Description of Proposed Action: Renovation of existing single family residence.			
Name of Applicant or Sponsor: Joseph C. Riina, P.E., Site Design Consultants		Telephone: 914-962-4488	
		E-Mail: jriina@sitedesignconsultants.com	
Address: 251-F Underhill Avenue			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of Yorktown Building Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 1.57 acres	
b. Total acreage to be physically disturbed?		_____ 0.33 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.57 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: All new construction will be in accordance with NYS Code. _____	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ On-Site Wastewater Treatment System	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	<input type="checkbox"/>	<input type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES On site stormwater management system _____ _____	NO	YES		
	<input type="checkbox"/>	<input type="checkbox"/>		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Joseph C. Riina</u> Date: <u>May 11, 2021</u>		
Signature: 		

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**



Department of  
Environmental  
Conservation

NYS Department of Environmental Conservation  
Division of Water  
625 Broadway, 4th Floor  
Albany, New York 12233-3505

**MS4 Stormwater Pollution Prevention Plan (SWPPP) Acceptance  
Form**

for

**Construction Activities Seeking Authorization Under SPDES General Permit**

\*(NOTE: Attach Completed Form to Notice Of Intent and Submit to Address Above)

**I. Project Owner/Operator Information**

1. Owner/Operator Name: Besim Lajqi  
2. Contact Person: Same  
3. Street Address: 1039 Underhill Avenue  
4. City/State/Zip: Yorktown Heights, NY 10598

**II. Project Site Information**

5. Project/Site Name: Besim Lajqi  
6. Street Address: 1039 Underhill Avenue  
7. City/State/Zip: Yorktown Heights, NY 10598

**III. Stormwater Pollution Prevention Plan (SWPPP) Review and Acceptance Information**

8. SWPPP Reviewed by:  
9. Title/Position:  
10. Date Final SWPPP Reviewed and Accepted:

**IV. Regulated MS4 Information**

11. Name of MS4:  
12. MS4 SPDES Permit Identification Number: NYR20A  
13. Contact Person:  
14. Street Address:  
15. City/State/Zip:  
16. Telephone Number:



# **Nadine's Outdoor Seating**

April 30, 2021

Richard Fon, Chairman  
Town of Yorktown Planning Board  
Albert A. Capellini Community & Cultural Center  
1974 Commerce Street, Room 222  
Yorktown Heights, NY 10598

RECEIVED  
PLANNING DEPARTMENT

MAY 7 2021

TOWN OF YORKTOWN

**Re: Site Development Plan  
Nadine's Restaurant  
715 Saw Mill River Road**

Dear Mr. Fon and Members of the Planning Board:

The above referenced project was discussed with Staff and the material submitted herein is in accordance with those discussions.

In support of the above and the application, find enclosed the following:

1. 1 copy of the Special Use Permit Application.
2. 1 copy of the Outdoor Seating Application.
3. Planning Board Application fee of \$625.
4. 4 copies of the Site Development Plan.
5. 1 copy of the Environmental Assessment Short Form.

This project site currently contains a restaurant with indoor dining, parking on site along Saw Mill River Road and an outdoor seating/dining area. The outdoor seating area was approved under the recent Covid-19 relief.

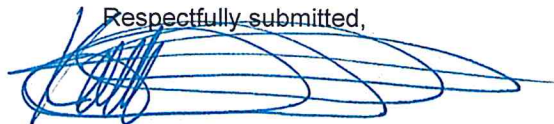
The outdoor dining area contains approximately 70 seats, and the entire dining area is covered with pea gravel. There are landscape plantings between the roadway and the outdoor dining area, providing screening from the road.

Since the Applicant established the outdoor dining area, it has become popular with the patrons. As such, the Applicant is desirous of continuing the outdoor dining area and is respectfully requesting the approval of the Special Use Permit for continued, year-round outdoor dining, as an option to the patrons.

The existing indoor restaurant contains approximately 54 seats.

Kindly review the enclosed information and place this project on the May 24, 2021 Planning Board agenda for consideration of approval. Should you have any questions or require additional information, please contact me at the above number. Thank you for your time and consideration in this matter.

Respectfully submitted,



Keith C. Staudohar  
Cronin Engineering P.E. P.C.

# TOWN OF YORKTOWN PLANNING BOARD

RECEIVED  
PLANNING DEPARTMENT

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

MAY 7 2021

## SPECIAL USE PERMIT APPLICATION

If this application is not being made in conjunction with a request for site plan approval from the Planning Board, a site plan/plot plan and Short EAF must also be submitted with this application. The required fee is \$625.00 for new applications and \$312.00 for requests to renew an existing permit.

Date April 30, 2021

1. Tax Map Designation (Section, Block, Lot) 59.14 - 01 - 23, 24

2. Property Address 715 Saw Mill River Road

3. Zone: CC Total Acreage: 0.255

### 4. Indicate requested special use permit:

- |                                     |                  |   |
|-------------------------------------|------------------|---|
| <input checked="" type="checkbox"/> | §300-21(8)(a)[1] | Outdoor service in commercial districts.  |
| <input type="checkbox"/>            | §300-40          | Bus passenger shelters.   |
| <input type="checkbox"/>            | §300-54          | Religious institutions, social, cultural, charitable and recreational nonprofit uses. |
| <input type="checkbox"/>            | §300-55          | Parochial, private elementary and high schools, colleges and seminaries.              |
| <input type="checkbox"/>            | §300-69          | Valet parking at banquet halls.   |
| <input type="checkbox"/>            | §300-71          | New and/or used car automobile sales.   |
| <input type="checkbox"/>            | §300-73.1(A)(2)  | Permanent seasonal outdoor sales in commercial districts.                             |
| <input type="checkbox"/>            | §300-75          | Warehouse or storage in retail shopping centers.                                      |
| <input type="checkbox"/>            | §300-78          | Cemeteries.   |
| <input type="checkbox"/>            | §300-79          | Self-storage centers.   |
| <input type="checkbox"/>            | §300-80          | Sidewalk cafes. (outdoor dining for more than 12 seats)                               |
| <input type="checkbox"/>            | §300-81.1        | Helistops.  |
| <input type="checkbox"/>            | §300-81.2        | Accessory recycling facilities.   |
| <input type="checkbox"/>            | §300-81.4        | Large-Scale Solar Power Generation Systems and Facilities                             |
| <input type="checkbox"/>            | §300-81.5        | Tier 2 Battery Energy Storage Systems   |
| <input type="checkbox"/>            | §300-238.1       | Multifamily dwelling units in the Country Commercial Zone.                            |

### 5. Description of proposed use (if applying for outdoor dining, indicate proposed dining area square footage and number of seats):

This project involves the approval for outdoor seating at an existing, operational restaurant, Nadine's Restaurant. The outdoor dining area is currently being used under the Covid-19 relief. The outdoor dining area covers approximately 2,800 square feet and contains approximately 70 seats. The Applicant would like to keep and operate the restaurant with the outdoor dining area.

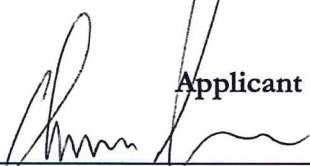
**6. Applicant**

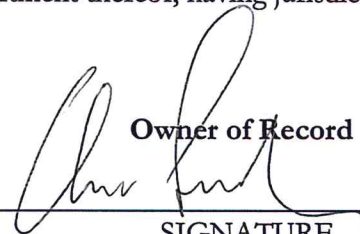
Name Christian Schienle  
Firm Nadine's Restaurant  
Address 715 Saw Mill River Road, Yorktown Heights, NY 10598  
Phone 646-238-0274  
Email chris@nadinesrestaurant.com

**7. Owner of Record**

Name Christian Schienle  
Firm Nadine's Restaurant  
Address 715 Saw Mill River Road, Yorktown Heights, NY 10598  
Phone 646-238-0274  
Email chris@nadinesrestaurant.com

In the event the permit is issued, the undersigned applicant will comply with all provisions of the Code of the Town of Yorktown and all other applicable laws, codes, rules and regulations of any Federal, State or County Government, bureau or department thereof, having jurisdiction over said premises and the use to be conducted thereat.

  
Applicant  
\_\_\_\_\_  
SIGNATURE  
Christian Schienle  
\_\_\_\_\_  
PRINT NAME  
April 30, 2021  
\_\_\_\_\_  
DATE

  
Owner of Record  
\_\_\_\_\_  
SIGNATURE  
Christian and Pamelan Schienle  
\_\_\_\_\_  
PRINT NAME  
April 30, 2021  
\_\_\_\_\_  
DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

F:\Office\WordPerfect\Application Forms\APP-SpecialPermit.wpd  
This form last updated: September 2020

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

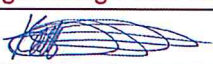
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

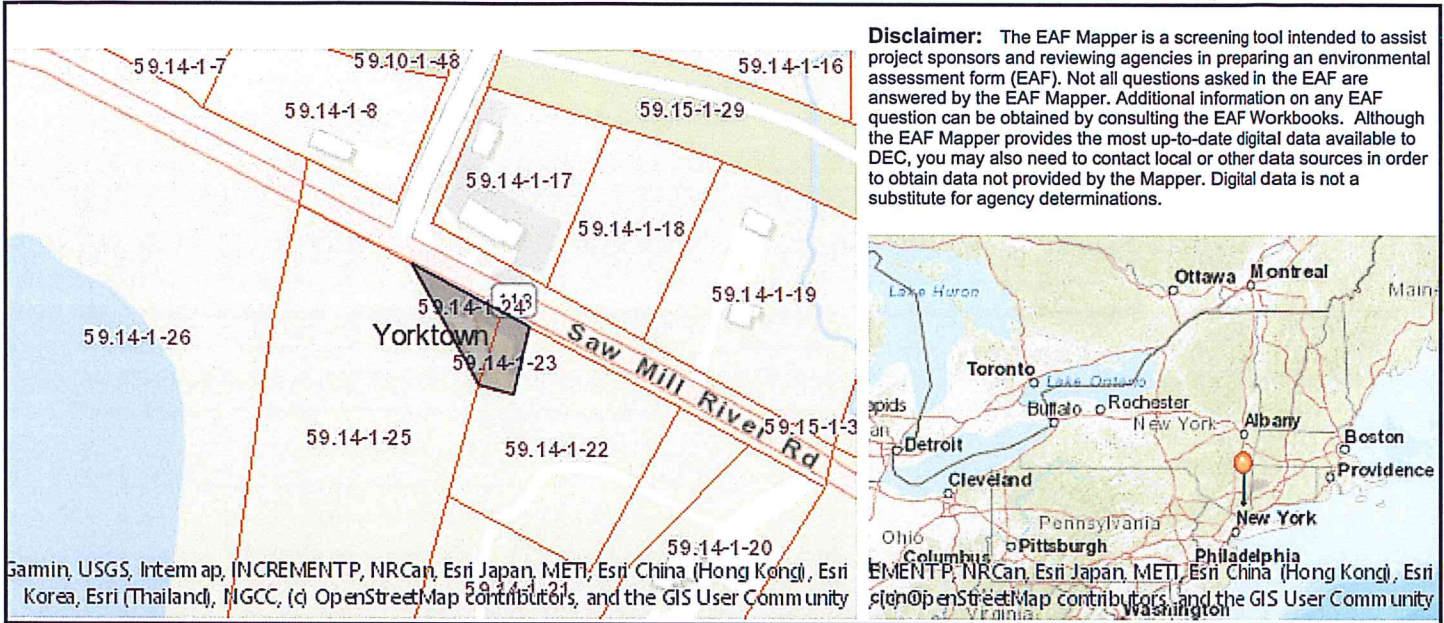
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: <b>Special Use Permit for Nadine's Restaurant</b>			
Project Location (describe, and attach a location map): <b>715 Saw Mill River Road</b>			
Brief Description of Proposed Action: <b>Project involves creating a permanent outdoor dining area to serve Nadine's Restaurant. The outdoor dining area is currently in place and received approval under the emergency Covid 19 relief. The Applicant is desirous of continuing the outdoor dining service.</b>			
Name of Applicant or Sponsor: <b>Christian Schientle</b>		Telephone: <b>646-238-0274</b>	
		E-Mail: <b>chris@nadinesrestaurant.com</b>	
Address: <b>715 Saw Mill River Road</b>			
City/PO: <b>Yorktown Heights</b>		State: <b>NY</b>	Zip Code: <b>10598</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <b>Yorktown-Planning Board</b>			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<u>0.255</u> acres	
b. Total acreage to be physically disturbed?		<u>0.0</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0.255</u> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

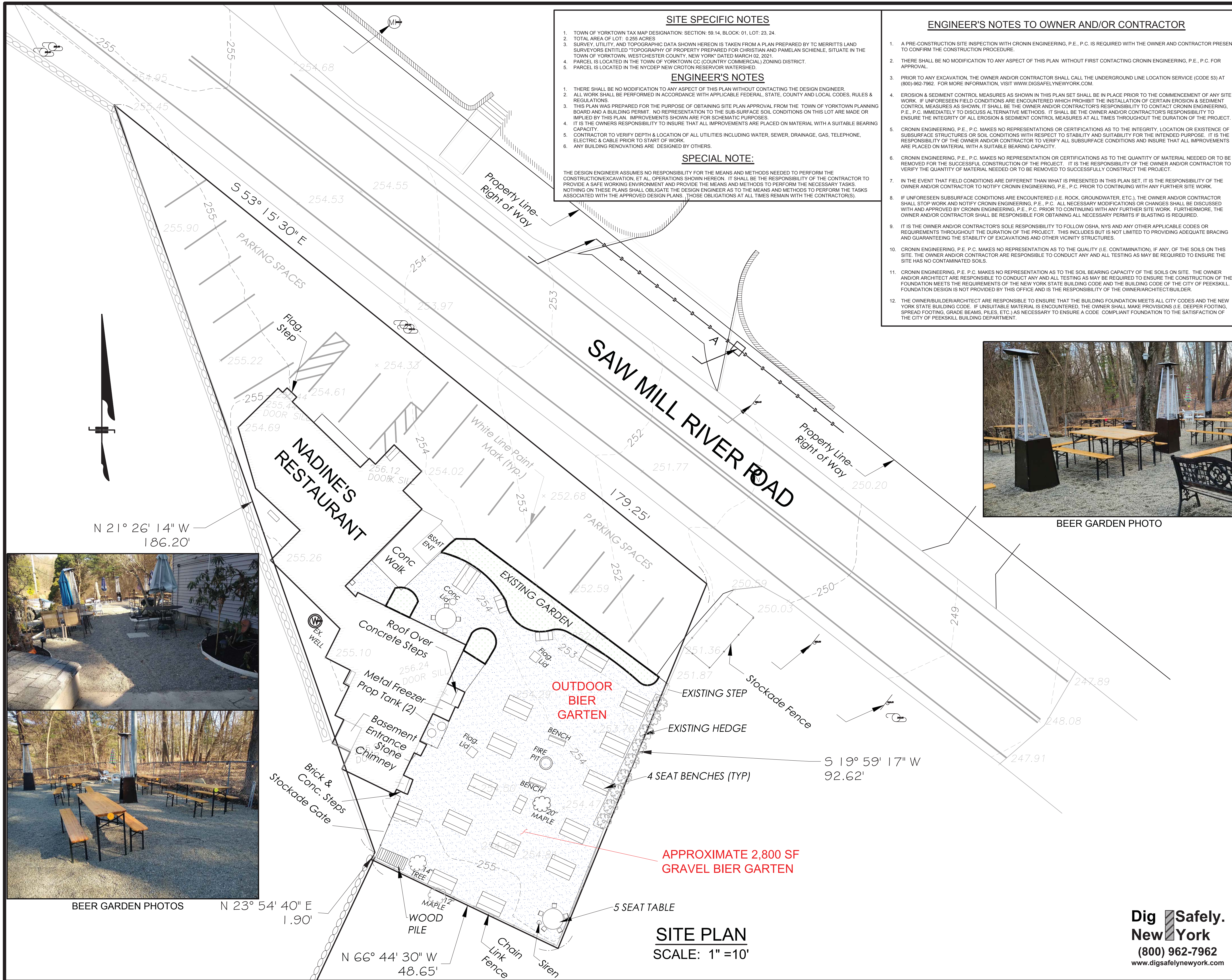


5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ <b>Existing on-site potable well water supply system</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ <b>Existing on-site wastewater treatment system</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input checked="" type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?  <b>Bald Eagle</b>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,  a. Will storm water discharges flow to adjacent properties?  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>Cronin Engineering P.E. P.C. / Keith Staudohar</u>      Date: <u>April 30, 2021</u></p> <p>Signature: <u></u>      Title: <u>Project Engineer</u></p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Bald Eagle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



**SITE SPECIFIC NOTES**

1. TOWN OF YORKTOWN TAX MAP DESIGNATION: SECTION: 59.14, BLOCK: 01, LOT: 23, 24.
2. TOTAL AREA OF LOT: 0.255 ACRES
3. SURVEY, UTILITY, AND TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM A PLAN PREPARED BY TC MERRITTS LAND SURVEYORS ENTITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR CHRISTIAN AND PAMELAN SCHIENLE, SITUATE IN THE TOWN OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK" DATED MARCH 02, 2021.
4. PARCEL IS LOCATED IN THE TOWN OF YORKTOWN CC (COUNTRY COMMERCIAL) ZONING DISTRICT.
5. PARCEL IS LOCATED IN THE NYDEC NEW CROTON RESERVOIR WATERSHED.

**ENGINEER'S NOTES**

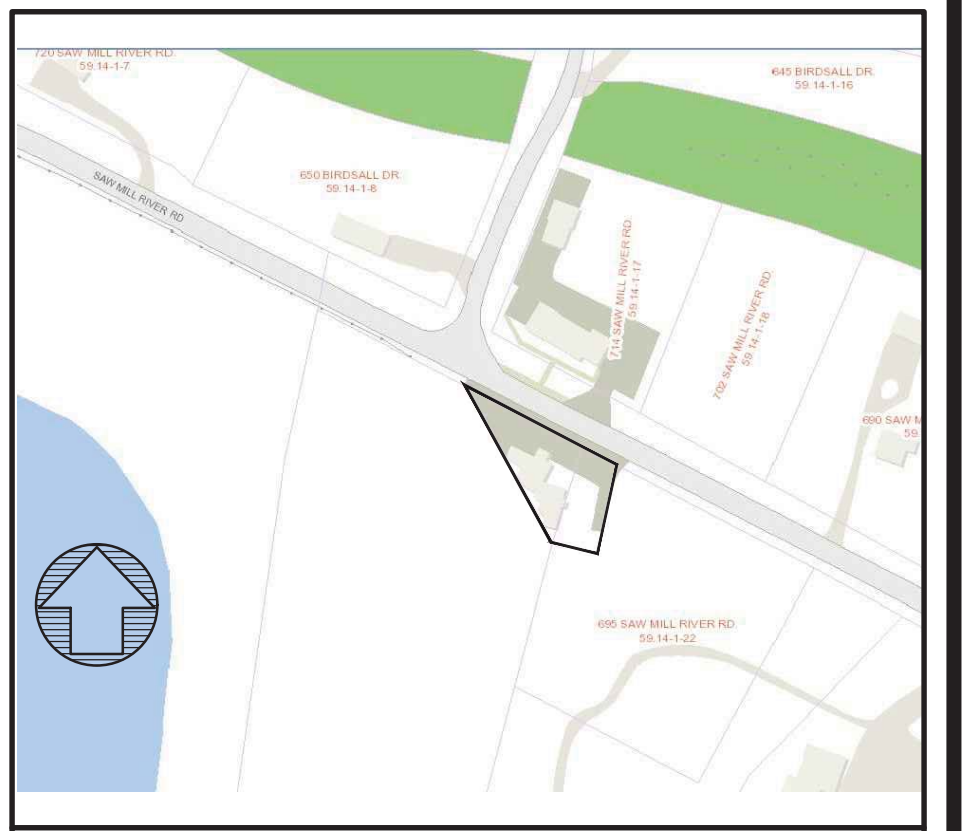
1. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES, RULES & REGULATIONS.
3. THIS PLAN WAS PREPARED FOR THE PURPOSE OF OBTAINING SITE PLAN APPROVAL FROM THE TOWN OF YORKTOWN PLANNING BOARD AND A BUILDING PERMIT. NO REPRESENTATION TO THE SUB-SURFACE SOIL CONDITIONS ON THIS LOT ARE MADE OR IMPLIED BY THIS PLAN. IMPROVEMENTS SHOWN ARE FOR SCHEMATIC PURPOSES.
4. IT IS THE OWNERS RESPONSIBILITY TO INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
5. CONTRACTOR TO VERIFY DEPTH & LOCATION OF ALL UTILITIES INCLUDING WATER, SEWER, DRAINAGE, GAS, TELEPHONE, ELECTRIC & CABLE PRIOR TO START OF WORK.
6. ANY BUILDING RENOVATIONS ARE DESIGNED BY OTHERS.

**SPECIAL NOTE:**

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS AND METHODS NEEDED TO PERFORM THE CONSTRUCTION/EXCAVATION, ET AL, OPERATIONS SHOWN HEREON. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING ENVIRONMENT AND PROVIDE THE MEANS AND METHODS TO PERFORM THE NECESSARY TASKS. NOTHING ON THESE PLANS SHALL OBLIGATE THE DESIGN ENGINEER AS TO THE MEANS AND METHODS TO PERFORM THE TASKS ASSOCIATED WITH THE APPROVED DESIGN PLANS. (THOSE OBLIGATIONS AT ALL TIMES REMAIN WITH THE CONTRACTOR(S)).

**ENGINEER'S NOTES TO OWNER AND/OR CONTRACTOR**

1. A PRE-CONSTRUCTION SITE INSPECTION WITH CRONIN ENGINEERING, P.E., P.C. IS REQUIRED WITH THE OWNER AND CONTRACTOR PRESENT TO CONFIRM THE CONSTRUCTION PROCEDURE.
2. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT FIRST CONTACTING CRONIN ENGINEERING, P.E., P.C. FOR APPROVAL.
3. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE (CODE 53) AT (800)962-7962. FOR MORE INFORMATION, VISIT WWW.DIGSAFELYNEWYORK.COM.
4. EROSION & SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN SET SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. IF UNFORESEEN FIELD CONDITIONS ARE ENCOUNTERED WHICH PROHIBIT THE INSTALLATION OF CERTAIN EROSION & SEDIMENT CONTROL MEASURES AS SHOWN, IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT CRONIN ENGINEERING, P.E., P.C. IMMEDIATELY TO DISCUSS ALTERNATIVE METHODS. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INTEGRITY OF ALL EROSION & SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT.
5. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO THE INTEGRITY, LOCATION OR EXISTENCE OF SUBSURFACE STRUCTURES OR SOIL CONDITIONS WITH RESPECT TO STABILITY AND SUITABILITY FOR THE INTENDED PURPOSE. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY ALL SUBSURFACE CONDITIONS AND INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
6. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION OR CERTIFICATIONS AS TO THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED FOR THE SUCCESSFUL CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED TO SUCCESSFULLY CONSTRUCT THE PROJECT.
7. IN THE EVENT THAT FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS PRESENTED IN THIS PLAN SET, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK.
8. IF UNFORESEEN SUBSURFACE CONDITIONS ARE ENCOUNTERED (I.E. ROCK, GROUNDWATER, ETC.), THE OWNER AND/OR CONTRACTOR SHALL STOP WORK AND NOTIFY CRONIN ENGINEERING, P.E., P.C. ALL NECESSARY MODIFICATIONS OR CHANGES SHALL BE DISCUSSED WITH AND APPROVED BY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK. FURTHERMORE, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
9. IT IS THE OWNER AND/OR CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW OSHA, NYS AND ANY OTHER APPLICABLE CODES OR REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING ADEQUATE BRACING AND GUARANTEEING THE STABILITY OF EXCAVATIONS AND OTHER VICINITY STRUCTURES.
10. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION AS TO THE QUALITY (I.E. CONTAMINATION), IF ANY, OF THE SOILS ON THIS SITE. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE SITE HAS NO CONTAMINATED SOILS.
11. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION AS TO THE SOIL BEARING CAPACITY OF THE SOILS ON SITE. THE OWNER AND/OR ARCHITECT ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE CONSTRUCTION OF THE FOUNDATION MEETS THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND THE BUILDING CODE OF THE CITY OF PEEKSKILL. FOUNDATION DESIGN IS NOT PROVIDED BY THIS OFFICE AND IS THE RESPONSIBILITY OF THE OWNER/ARCHITECT/BUILDER.
12. THE OWNER/BUILDER/ARCHITECT ARE RESPONSIBLE TO ENSURE THAT THE BUILDING FOUNDATION MEETS ALL CITY CODES AND THE NEW YORK STATE BUILDING CODE. IF UNSUITABLE MATERIAL IS ENCOUNTERED, THE OWNER SHALL MAKE PROVISIONS (I.E. DEEPER FOOTING, SPREAD FOOTING, GRADE BEAMS, PILES, ETC.) AS NECESSARY TO ENSURE A CODE COMPLIANT FOUNDATION TO THE SATISFACTION OF THE CITY OF PEEKSKILL BUILDING DEPARTMENT.



VICINITY MAP SCALE: 1" = ±200'

**OWNER/APPLICANT**

**CHRISTIAN & PAMELAN SCHIENLE**

713 OLD CROTON LAKE ROAD

**ARCHITECT**

TBD

**SURVEYOR**

**TC MERRITTS LAND SURVEYORS**

394 BEDFORD ROAD  
PLEASANTVILLE NY 10570

SCALE: AS NOTED



• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.  
• COPYRIGHT "2021" BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

**REVISIONS**

#	REASON	DATE

<b>MUNICIPAL TAX IDENTIFICATION:</b>	
SECTION:	59.14
BLOCK:	01
LOT:	23, 24
SUBLOT:	---
DRAWN BY:	KCS/SAR
CHECKED:	KS/TC3
PROJECT:	SCHIENLE
DATE: JOB	APRIL 30, 2021
#:	210109

**CRONIN ENGINEERING**  
PROFESSIONAL ENGINEERING & CONSULTING  
(914) 736-3664

39 Arlo Lane  
Cortlandt Manor, New York 10567

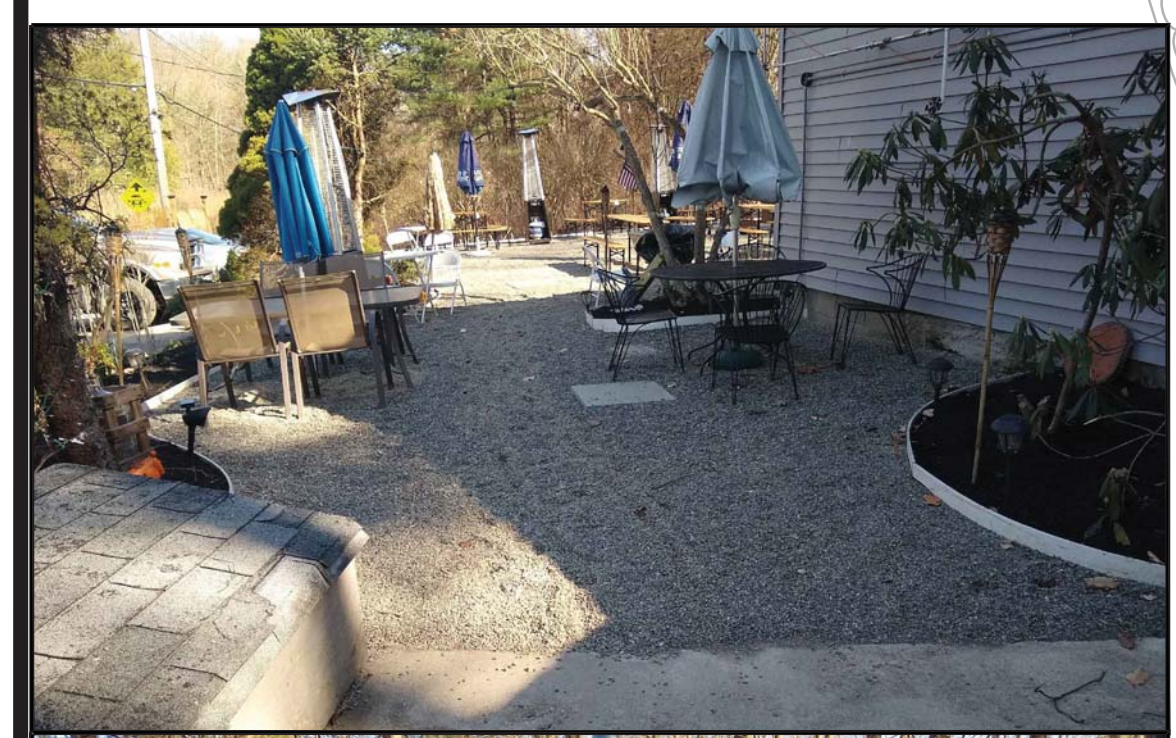
**SITE PLAN**

**SITE DEVELOPMENT PLAN FOR NADINES RESTAURANT**

LOCATION:  
713-715 SAW MILL RIVER ROAD, ROUTE 118  
YORKTOWN HEIGHTS, NY 10598

**Dig Safely.**  
New York  
(800) 962-7962  
www.digsafelynewyork.com

**SITE PLAN**  
SCALE: 1" = 10'



BEER GARDEN PHOTOS



BEER GARDEN PHOTO

N 21° 26' 14" W  
186.20'

N 23° 54' 40" E  
1.90'

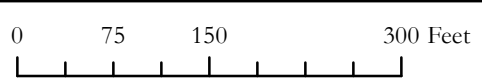
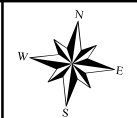
N 66° 44' 30" W  
48.65'

S 19° 59' 17" W  
92.62'

APPROXIMATE 2,800 SF  
GRAVEL BIER GARTEN



TOWN OF YORKTOWN PLANNING DEPARTMENT  
Albert A. Capellini Community & Cultural Center  
1974 Commerce Street, Yorktown Heights, NY 10598  
(914) 962-6565, [www.yorktownny.org/planning](http://www.yorktownny.org/planning)



1 inch = 150 feet

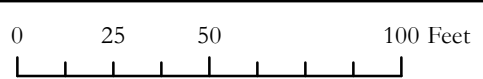
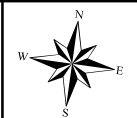
TITLE: Nadine's Restaurant  
DATE: June 10, 2021

FILE: F:\ArcGIS\PROJECTS\Nadines-Restaurant.mxd  
BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.



TOWN OF YORKTOWN PLANNING DEPARTMENT  
Albert A. Capellini Community & Cultural Center  
1974 Commerce Street, Yorktown Heights, NY 10598  
(914) 962-6565, [www.yorktownny.org/planning](http://www.yorktownny.org/planning)



1 inch = 50 feet

TITLE: Nadine's Restaurant  
DATE: June 10, 2021

FILE: F:\ArcGIS\PROJECTS\Nadines-Restaurant-Zoom.mxd  
BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.





BROSALC







