

**Northern
Westchester
Executive Park**

VIA HAND DELIVERED

RECEIVED
PLANNING DEPARTMENT

June 21, 2021

JUN 22 2021

TOWN OF YORKTOWN

Planning Board
Town of Yorktown
1974 Commerce Street, Room 222
Yorktown Heights, New York 10598

Attn: Ms. Robyn A. Steinberg, AICP

RE: GHP Strang, LLC
2649-2651 Strang Boulevard
Yorktown Heights, NY 10598

Dear Ms. Steinberg:

On behalf of the applicant, GHP Strang, LLC, Kellard Sessions Consulting is pleased to submit, herewith, the materials listed below in connection with the above referenced project. An electronic copy of the submission materials has also been emailed.

- Application for Site Plan Approval
- MS4 Stormwater Management Permit Application
- Tree Permit Application
- Full Environmental Assessment Form Part 1
- Four copies (4) of the following plans, prepared by Kellard Sessions Consulting, dated (last revised) June 18, 2021, consisting of the following sheets:
 - Sheet 1/8 Overall Existing Conditions Plan
 - Sheet 2/8 Overall Site Plan
 - Sheet 3/8 Enlarged Site Plan
 - Sheet 4/8 Enlarged Grading and Utilities Plan
 - Sheet 5/8 Enlarged Erosion and Sediment Control Plan
 - Sheet 6/8 Driveway Profiles

CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE | SITE & ENVIRONMENTAL PLANNING

500 MAIN STREET, ARMONK, NY 10504 | T: 914.273.2323 | F: 914.273.2329

WWW.KELSES.COM

Ms. Robyn Steinberg, AICP

June 21, 2021

Page 2

- Sheet 7/8 Details
- Sheet 8/8 Details

- Four copies (4) of the following plans, prepared by Cardarelli Design & Architecture, P.C., dated (last revised) June 18, 2021, consisting of the following sheets:
 - Sheet 1/7 Cover Sheet
 - Sheet 2/7 Demolition Plan
 - Sheet 3/7 Foundation Plan
 - Sheet 4/7 Construction Plan
 - Sheet 5/7 Elevations
 - Sheet 6/7 Elevations
 - Sheet 7/7 Wall Sections

In an effort to provide general aesthetic improvements to the building and flexibility for potential tenant space, the owner is proposing to improve the existing north building entrance and expand the existing parking facilities. The existing building entry includes pedestrian access, as well as accommodations for two (2) loading docks. The loading docks are proposed to remain; however, the pedestrian access will be upgraded to provide separate ADA accessibility, as well as a stair entry with architectural separation from the loading area. In order to provide flexibility for tenant use of the lower level, the plan proposes to provide a lower level parking lot and loading area. It is important to note that the parking is not required for zoning compliance but rather as an amenity to a perspective tenant. The parking lot will provide for a total of 27 additional parking spaces, as well as a loading dock that can accommodate a typical delivery truck (UPS, FedEx, or similar vehicle). A stormwater management system is proposed to mitigate the increased runoff generated by the project. Detailed design and preparation of a Stormwater Pollution Prevention Plan (SWPPP) will be developed as the project progresses and after we are able to perform soil testing to be witnessed by the Town Consulting Engineer.

Ms. Robyn Steinberg, AICP
June 21, 2021
Page 3

We thank the Board and staff in advance, for their time and consideration reviewing this project. As always, please contact me with any questions or if you require further information.

Very truly yours,

A handwritten signature in black ink, appearing to read "Joseph M. Cermele". The signature is fluid and cursive, with a large loop at the beginning and end.

Joseph M. Cermele, P.E., CFM
Kellard Sessions Consulting

JMC/md

cc: Michael Cinicolo
Stefano Cardarelli, AIA

JUN 22 2021

TOWN OF YORKTOWN

TOWN OF YORKTOWN PLANNING BOARD

Albert V. Capolino Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date June 16, 2021

1. Name of Project: Parking Expansion for 2649-2651 Strang Boulevard

2. Tax Map Designation (Section, Block, Lot) 26.19-1-2

3. Zone: OB Total Acreage: 18.62

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

Project proposes to expand the existing parking lot to provide
flexibility for lower level tenant(s).

6. Contact Person - CHOOSE ONLY ONE:

- Applicant Owner Architect Wetland Scientist
 Attorney Engineer Surveyor Landscape Architect

7. Applicant

Name Joseph M. Cermele, P.E., CFM
Firm Kellard Sessions Consulting
Address 500 Main Street, Armonk, New York 10504
Phone 914-273-2323
Fax _____
Email jcermele@kelses.com

8. Owner of Record

Name Michael Cinicolo
Firm GHP Strang LLC
Address 4 West Red Oak Lane, White Plains, New York 10604
Phone 914-642-9300 Ext.310
Fax _____
Email mcinicolo@ghpoffice.com

9. Attorney

Name None
Firm _____
Address _____
Phone _____
Fax _____
Email _____

10. Engineer

Name Joseph M. Cermele, P.E., CFM
Firm KellardSessions Consulting
Address 500 Main Street, Armonk, New York 10504
Phone 914-273-2323
Fax _____
Email jcermele@kelses.com
Lic. No. _____

11. Surveyor

Name Ted Haines
Firm Tectonic Engineering
Address 70 Pleasant Hill Road, Mountainville New York 10953
Phone 845-534-5959
Fax _____
Email tjhaines@tectonicengineering.com
Lic. No. 50695 (Jay Kimler, PLS)

12. Architect

Name Stefano Cardarelli
Firm Cardarelli Design & Architecture, P.C.
Address 297 Knollwood Rd Ste 202 White Plains, NY, 10607
Phone 201- 693-8892
Fax _____
Email stefano@cardarelli-design.com
Lic. No. 028818

13. Wetland Scientist/Specialist

Name None
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name None
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No

16. Is this project within 500 feet of the Putnam County line? Yes No

17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road? Yes No

The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No

The boundary of state or county-owned land on which a public building/institution is located? Yes No

An existing or proposed county drainage line? Yes No

The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit
- Stormwater Permit
- Tree Permit
- Planning Board special permit: _____
- Town Board variance or approval: _____
- Zoning Board of Appeals variance or special permit: _____

21. This project requires the following permits or approvals from other outside agencies:

Westchester County Board of Health

NYC DEP

NYS DEC

Other: _____

22. This parcel is in the following districts:

School District	<u>Yorktown</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Yorktown Heights</u>	Sewer District	<u>Water District #1</u>

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

Applicant

Owner of Record

Joseph Cermele, P.E., CFM

NAME (PLEASE PRINT)


SIGNATURE

06/21/21

DATE

Michael Cinicolo

NAME (PLEASE PRINT)


SIGNATURE

6/21/21

DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

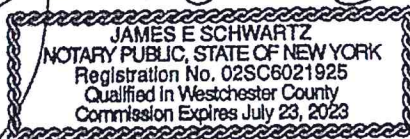
AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

Michael Conicola, being duly sworn, deposes and says that he resides at 4 W. Red Oak Lane in the County of Westchester and State of New York. That he is the Vice President of GHP Office Realty the corporation which is owner in fee of the property described in the foregoing application for Parking Expansion and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this 21 date of June, 2021

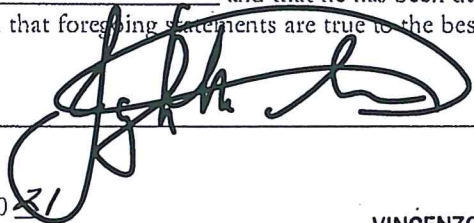
Notary Public



AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

Joseph M. Cermele, P.E., CFM _____, being duly sworn, deposes and says that he is the agent named in the foregoing application for GHP Strang LLC and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.



Sworn before me this 21st date of June, 2021

Vincenzo Federici
Notary Public

VINCENZO FEDERICI
Notary Public, State of New York
No. 01FE6392056
Qualified in Dutchess County
Commission Expires May 20, 2023

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd
Last updated: December 2011

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 26.19 RECEIVED
 Block 1 PLANNING DEPARTMENT
 Lot # 2 JUN 22 2021
 TOWN OF YORKTOWN

Approval Authority: TE [] PB [] TB []
 Application #: _____
 Date Received: _____
 Date Issued: _____
 Date Expires: _____
 Fee Paid: \$ _____

Job Site Address: 2649-2651 Strang Boulevard
 City/State/Zip: Yorktown Heights,
 New York 10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:
 YOUR NAME: Joseph M. Cermele, P.E., CFM
 COMPANY: Kellard Sessions Consulting
 ADDRESS: 500 Main Street
Armonk, New York ZIP 10504
 PHONE: (914) 273-2323
 EMAIL: jcermele@kelses.com

OWNER:
 YOUR NAME: Michael Cinicolo
 COMPANY: GHP Strang, LLC
 ADDRESS: 4 West Red Oak Lane
White Plains, New York ZIP 10604
 PHONE: (914) 642-9300 Ext. 310
 EMAIL: mcinicolo@ghpoffice.com

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

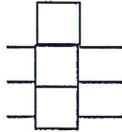
Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order/Notice of Violation as per Town Code.

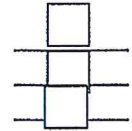
PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

a. Lake/pond



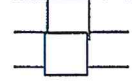
Control area of lake/pond



b. Stream/River/Brook



Control area of stream/river/brook



c. Wetlands



Control area of wetlands



2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Parking expansion, project proposes to expand the existing parking lot to provide flexibility to lower level tenant(s).

2b. Stormwater/Excavation - Description of proposed activity:

Stormwater runoff generated by proposed parking lot will be collected and mitigated by an infiltration system.

3. Tree Removal:

Amount of trees and/or stumps to be removed: 4

Sizes; approximate DBH: (2)15"maple; (1)18"maple; (1)24"pine

Species of trees to be removed (i.e. Birch, Spruce - if known): see above

Reason for removal: parking and access

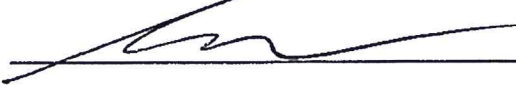
Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: T.B.D.

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, Michael Cinicolo hereby authorize Joseph M. Cermele, P.E., CFM to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: 

Date: 6/21/21

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Joseph M. Cermele, P.E., CFM

PRINT NAME



SIGNATURE OF APPLICANT

06/21/21

DATE

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 26.19
Block 1
Lot # 2

Approval Authority: TE [] PB [] TB []
Application #: _____
Date Received: _____
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Date Expires: _____
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Job Site Address: 2649-2651 Strang Boulevard
City/State/Zip: Yorktown Heights,
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NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

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COMPANY: Kellard Sessions Consulting
ADDRESS: 500 Main Street
Armonk, New York ZIP 10504
PHONE: (914) 273-2323
EMAIL: jcermele@kelses.com

OWNER:

YOUR NAME: Michael Cinicolo
COMPANY: GHP Strang LLC
ADDRESS: 4 West Red Oak Lane
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PHONE: (914) 642-9300 ext.310
EMAIL: mcinicolo@ghpoffice.com

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

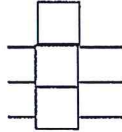
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<input checked="" type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

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PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

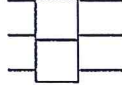
1. Description of wetlands (check all that apply):

a. Lake/pond



Control area of lake/pond

b. Stream/River/Brook

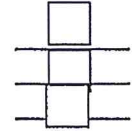


Control area of stream/river/brook

c. Wetlands



Control area of wetlands



2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Parking expansion, project proposes to expand the existing parking lot to provide flexibility for lower level tenant(s).

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Stormwater runoff generated by proposed parking lot will be collected and mitigated by an infiltration system.

3. Tree Removal:

Amount of trees and/or stumps to be removed: 4

Sizes; approximate DBH: (2)15"maple;(1)18"maple; (1)24" pine

Species of trees to be removed (i.e. Birch, Spruce - if known): see above

Reason for removal: parking and access

Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: T.B.D.

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, Michael Cinicola hereby authorize Joseph M. Cermele, P.E., CFM to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: [Signature] Date: 6/21/21

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Joseph M. Cermele, P.E., CFM

PRINT NAME



SIGNATURE OF APPLICANT

06/21/21

DATE

*Full Environmental Assessment Form
Part 1 - Project and Setting*

RECEIVED
PLANNING DEPARTMENT

JUN 22 2021

TOWN OF YORKTOWN

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Parking expansion		
Project Location (describe, and attach a general location map): 2649-2651 Strang Boulevard, Yorktown Heights, New York 10598		
Brief Description of Proposed Action (include purpose or need): Parking expansion		
Name of Applicant/Sponsor: Joseph M. Cermele, P.E., CFM		Telephone: 914-273-2323
		E-Mail: jcermele@kelses.com
Address: 500 Main Street		
City/PO: Armonk	State: New York	Zip Code: 10504
Project Contact (if not same as sponsor; give name and title/role): P.E., CFM		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Michael Cinicolo		Telephone:
		E-Mail:
Address: 4 West Red Oak Lane		
City/PO: White Plains	State: New York	Zip Code: 10604

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board Site Plan Approval	6/14/21
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC General Permit	6/14/21
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):
 NYC Watershed Boundary
Project proposes greater than 5,000 s.f. but less than 1 acre of disturbance and will require coverage under the NYSDEC General Permit, GP-0-20-001.

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
OB- Office/Laboratory
- b. Is the use permitted or allowed by a special or conditional use permit? Yes No
- c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

- a. In what school district is the project site located? Yorktown Central School District
- b. What police or other public protection forces serve the project site?
Yorktown
- c. Which fire protection and emergency medical services serve the project site?
Yorktown Heights
- d. What parks serve the project site?
FDR State Park

D. Project Details

D.1. Proposed and Potential Development

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Parking expansion for existing office space.
- b. a. Total acreage of the site of the proposed action? 18.62 acres
b. Total acreage to be physically disturbed? 0.8 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 18.62 acres
- c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____
- d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____
- e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: 4 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 27 Parking Sp

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- ii. Describe types of new point sources. _____

- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____

 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- ii. In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 8am-5 pm _____
- Saturday: _____ 8am-5pm _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____ 9am-5pm _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
- ii. Anticipated rate of disposal/processing:
 - _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 - _____ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____
- ii. Generally describe processes or activities involving hazardous wastes or constituents: _____
- iii. Specify amount to be handled or generated _____ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
- Forest Agriculture Aquatic Other (specify): Park Land

ii. If mix of uses, generally describe:

Office complex is located adjacent to residential area and across the street from FDR Park.

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	10.11	10.41 +	.3
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Lawn</u>	8.51	8.21 -	.3

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ > 6 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

ChD	_____	10 %
PnB	_____	10 %
Uf	_____	80 %

d. What is the average depth to the water table on the project site? Average: _____ >3 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 90 % of site
 10-15%: _____ 5 % of site
 15% or greater: _____ 5 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:

i. Name of aquifer: Principal Aquifer _____

m. Identify the predominant wildlife species that occupy or use the project site: _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): Red Maple-Hardwood Swamp
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ 0.0 acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: County & State Park Lands
 ii. Basis for designation: Exceptional or unique character
 iii. Designating agency and date: Agency: Westchester County, Date: 1-31-90

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: Taconic State Parkway

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information


Attach any additional information which may be needed to clarify your project.

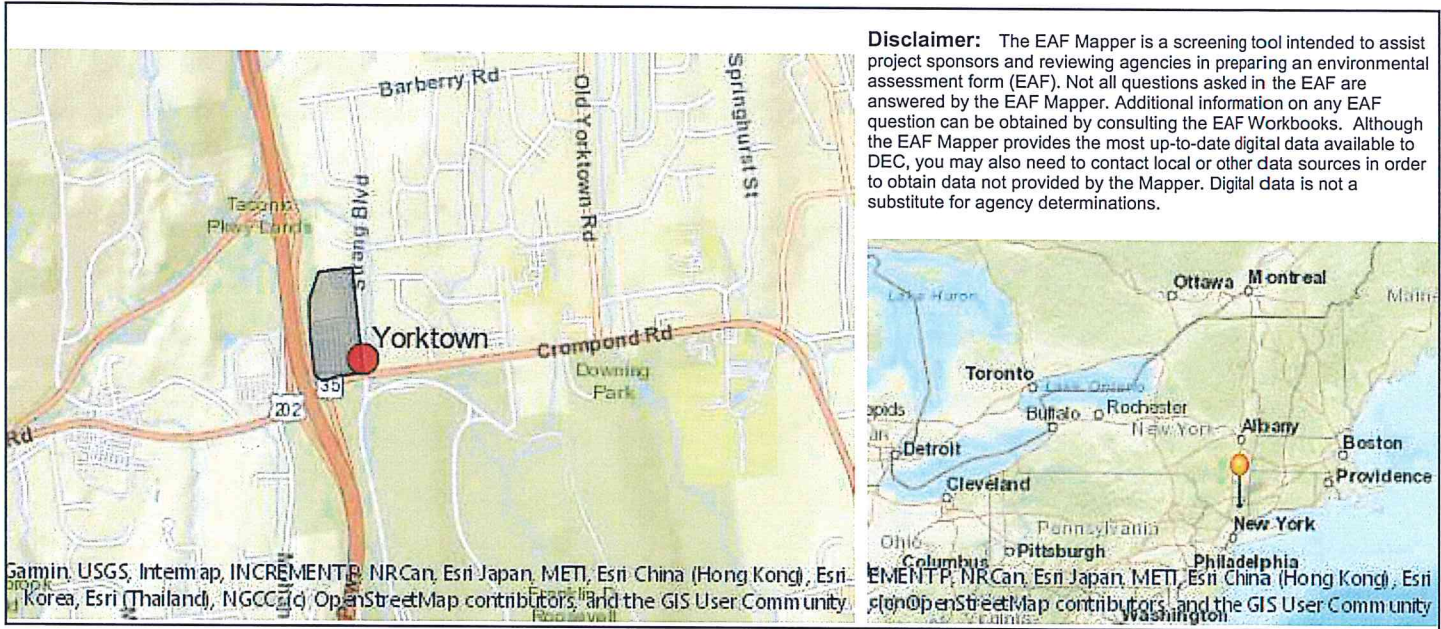
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Joseph M. Cermele, P.E., CFM Date 6/16/21

Signature  Title Principal



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E. 1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E. 1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E. 1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E. 1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	Yes
E.2.n.i [Natural Communities - Name]	Red Maple-Hardwood Swamp

E.2.n.i [Natural Communities - Acres]	0.0
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	County & State Park Lands
E.3.d.ii [Critical Environmental Area - Reason]	Exceptional or unique character
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Westchester County, Date:1-31-90
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Taconic State Parkway
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

RECEIVED
PLANNING DEPARTMENT
JUN 22 2021
TOWN OF YORKTOWN

Approval Authority: TE [] PB [] TB []
 Application #: _____
 Date Received: _____
 Date Issued: _____
 Date Expires: _____
 Fee Paid: \$ _____

Section 26.19
 Block 1
 Lot # 2

Job Site Address: 2649-2651 Strang Boulevard
 City/State/Zip: Yorktown Heights,
New York 10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:
 YOUR NAME: Joseph M. Cermele, P.E., CFM
 COMPANY: Kellard Sessions Consulting
 ADDRESS: 500 Main Street
Armonk, New York ZIP 10504
 PHONE: (914) 273-2323
 EMAIL: jcermele@kelses.com

OWNER:
 YOUR NAME: Michael Cinicolo
 COMPANY: GHP Strang, LLC
 ADDRESS: 4 West Red Oak Lane
White Plains, New York ZIP 10604
 PHONE: (914) 642-9300 Ext. 310
 EMAIL: mcinicolo@ghpoffice.com

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order/Notice of Violation as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

a. Lake/pond

Control area of lake/pond

b. Stream/River/Brook

Control area of stream/river/brook

c. Wetlands

Control area of wetlands

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Parking expansion, project proposes to expand the existing parking lot to provide flexibility to lower level tenant(s).

2b. Stormwater/Excavation - Description of proposed activity:

Stormwater runoff generated by proposed parking lot will be collected and mitigated by an infiltration system.

3. Tree Removal:

Amount of trees and/or stumps to be removed: 4

Sizes; approximate DBH: (2)15"maple; (1)18"maple; (1)24"pine

Species of trees to be removed (i.e. Birch, Spruce - if known): see above

Reason for removal: parking and access

Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: T.B.D.

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, Michael Cinicola hereby authorize Joseph M. Cermele, P.E., CFM to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature:  Date: 6/21/21

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Joseph M. Cermele, P.E., CFM

PRINT NAME



SIGNATURE OF APPLICANT

06/21/21

DATE

PARKING LOT EXPANSION PLANS

PREPARED FOR 2649 - 2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS, WESTCHESTER COUNTY, NEW YORK

DATE: JUNE 18, 2021

SITE DATA:

OWNER: GHP STRANG LLC
4 WEST RED OAK
WHITE PLAINS, NY 10604

PROJECT SITE: 2649-2651 STRANG BOULEVARD
YORKTOWN HEIGHTS

TAX MAP ID NUMBER: SECTION 26.19, BLOCK 1, LOT 2

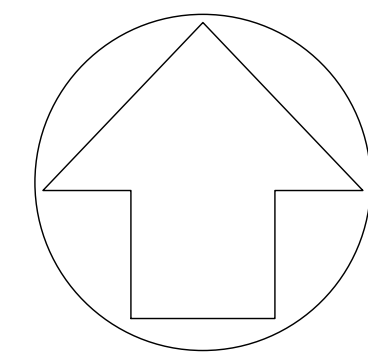
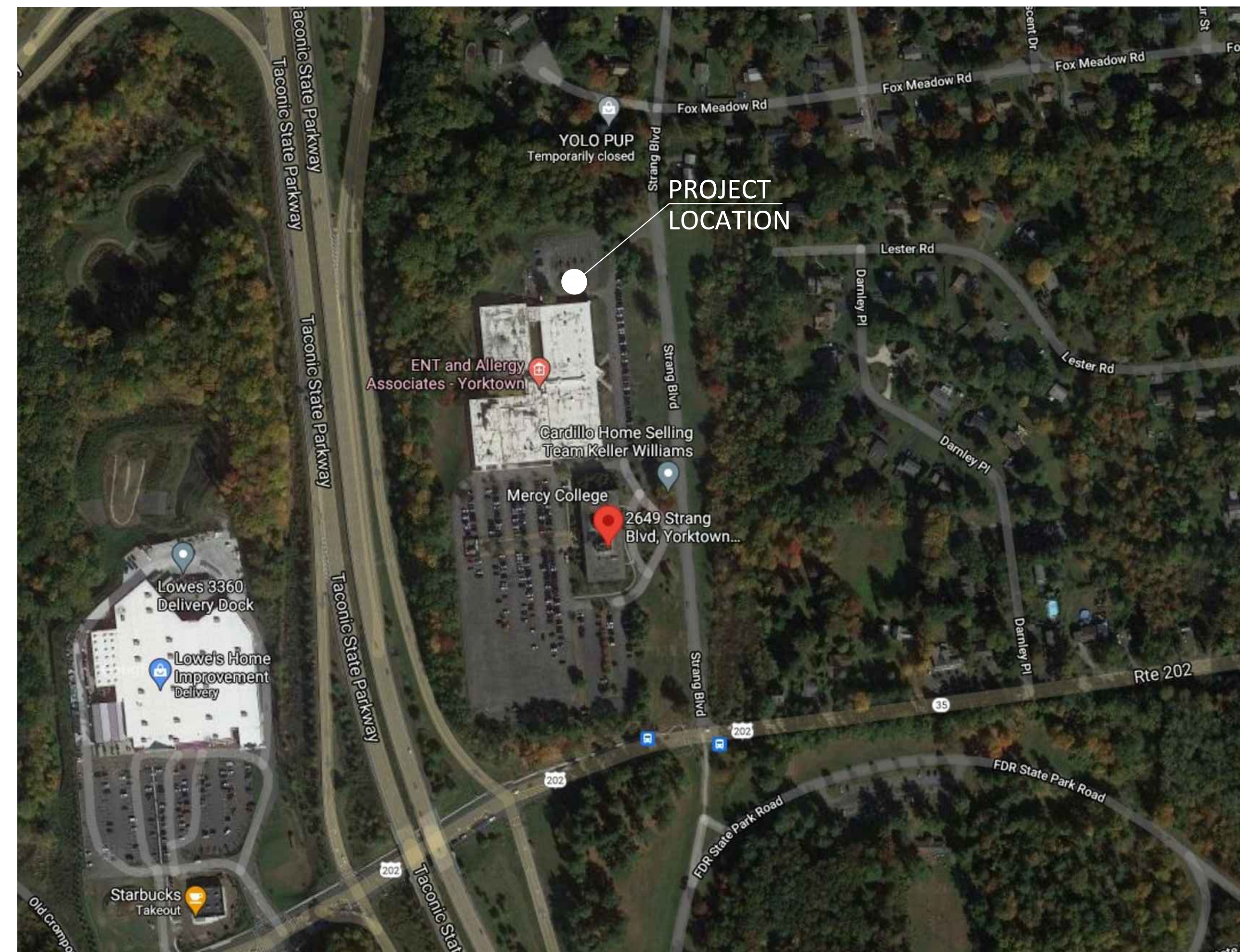
LOT AREA: ± 18.62 AC

ZONING DISTRICT: OB - RESEARCH LABORATORY AND OFFICE

FIRE DISTRICT: YORKTOWN HEIGHTS FIRE DISTRICT

SCHOOL DISTRICT: YORKTOWN SCHOOL DISTRICT

WATER SUPPLY: YORKTOWN CONSOLIDATED WATER DISTRICT



VICINITY MAP
SCALE: N.T.S.

SHEET INDEX

SITE CIVIL DRAWINGS

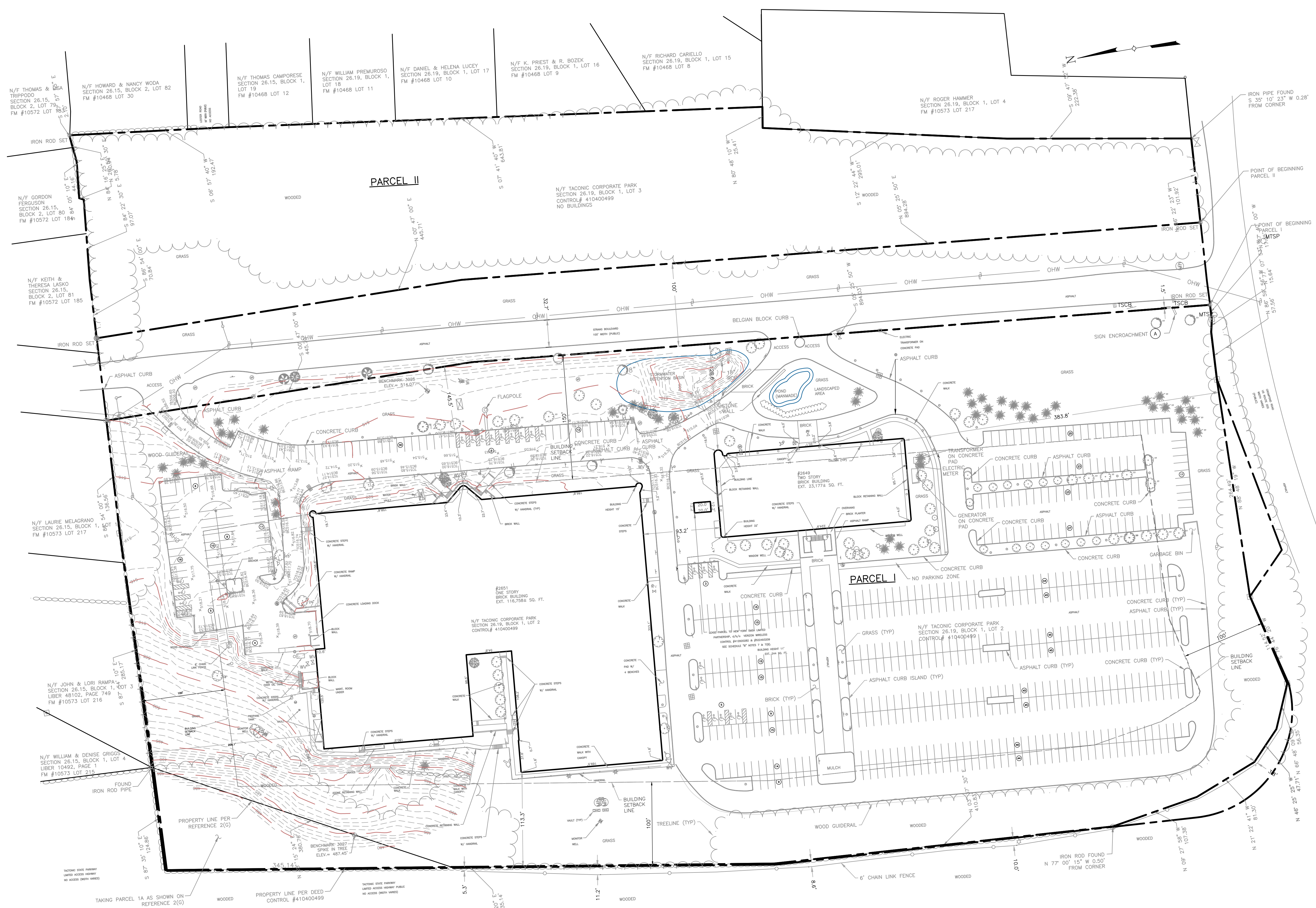
COVER SHEET	1/8
OVERALL EXISTING CONDITIONS PLAN	2/8
OVERALL SITE PLAN	3/8
ENLARGED SITE PLAN	4/8
ENLARGED GRADING AND UTILITIES PLAN	5/8
ENLARGED EROSION AND SEDIMENT CONTROL PLAN	6/8
DRIVEWAY PROFILES	7/8
DETAILS	8/8

FOR ARCHITECTURAL DRAWINGS REFER TO PLAN SET DEVELOPED BY CARDARELLI DESIGN AND ARCHITECTURE, P.C. DATED MAY 17, 2021.



CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE | SITE & ENVIRONMENTAL PLANNING
500 MAIN STREET, ARMONK, NY 10549
T: (914) 273-2323 | F: (914) 273-2329
WWW.KELSES.COM

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LEGEND	
	EXISTING PROPERTY LINE
	EXISTING TREE TO REMAIN
	EXISTING BUILDING
	EXISTING BUILDING SETBACK LINE
	EXISTING 5 FT CONTOUR
	EXISTING 1 FT CONTOUR

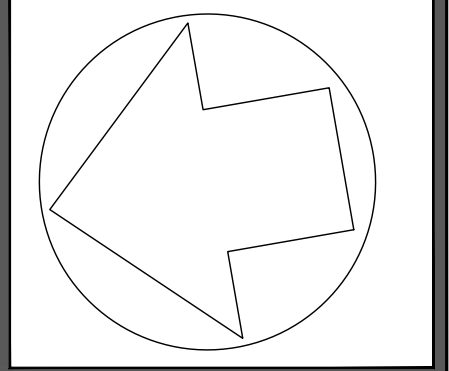
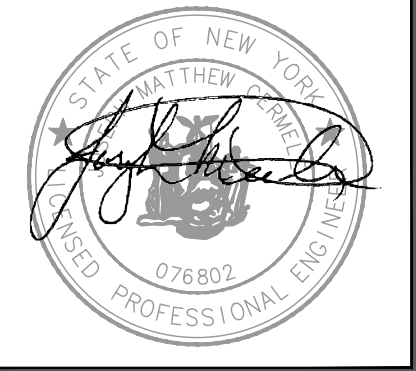


OVERALL EXISTING CONDITIONS PLAN

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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GENERAL NOTES:

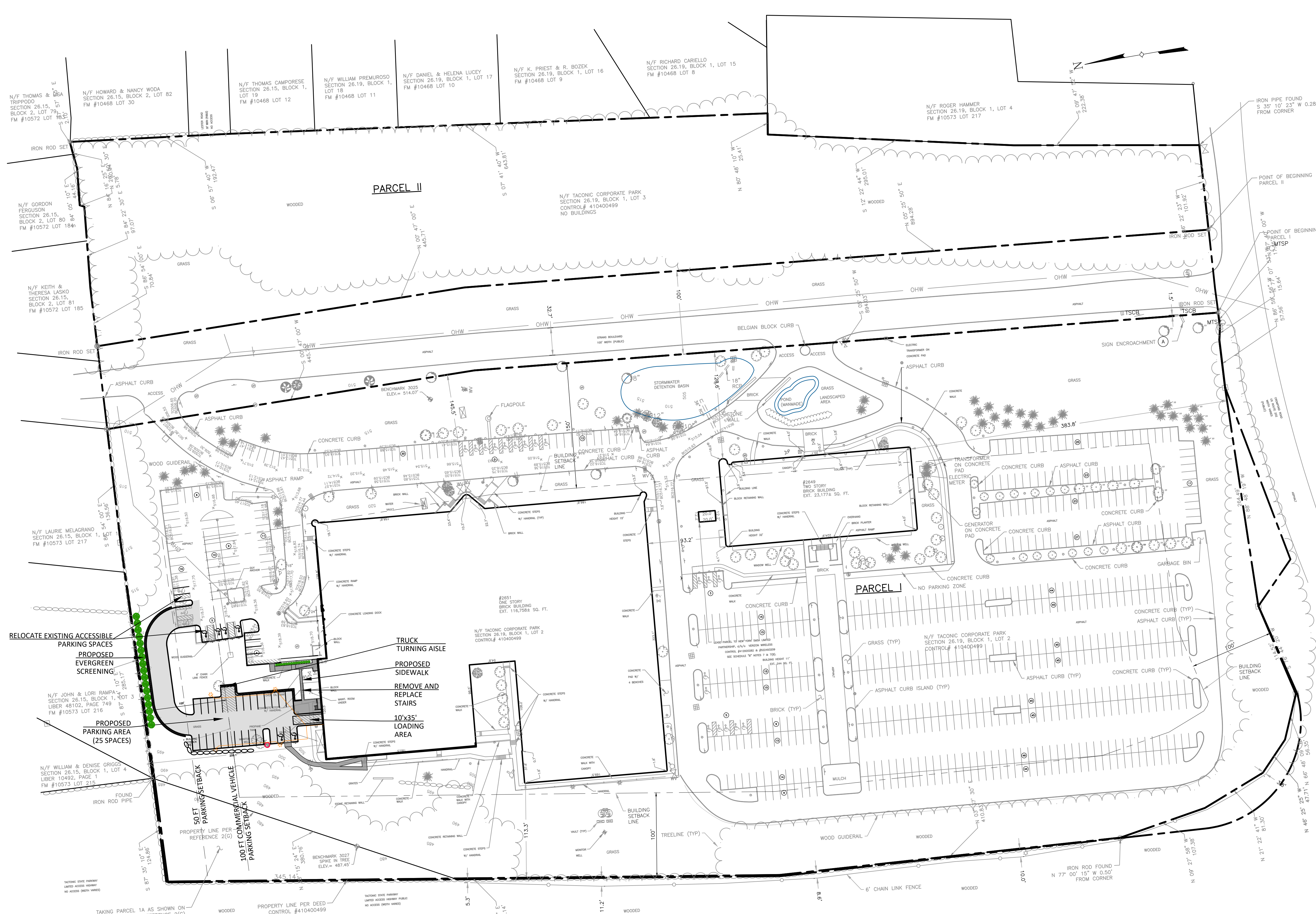
- SURVEY INFORMATION AND TOPOGRAPHY IS BASED UPON THE MAP ENTITLED "TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS, AND LAND SURVEYORS, D.P.C., LAST DATED, APRIL 20, 2021.
- AERIAL IMAGERY OBTAINED FROM AVAILABLE WESTCHESTER COUNTY GIS DATA, 2016 / CONNECTEXPLORER™, PICTOMETRY BY EAGLE VIEW TECHNOLOGIES, INC., DATED 2019.
- THERE ARE NO LOCAL OR STATE REGULATED WETLANDS WITHIN 100 FT OF THE PROJECT SITE.
- THE PROPERTY SITE IS NOT LOCATED WITHIN A FEMA 100-YR FLOODPLAIN.
- THE PROJECT SITE IS LOCATED WITHIN THE CROTON RIVER RESERVOIR BASIN, AND BECAUSE LAND DISTURBANCE IS LESS THAN 2 ACRES, IT IS NOT SUBJECT TO NYCDEP REGULATIONS.

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PROJECT I.D.: YRHP600
 DATE: JUNE 18, 2021

Call811
 THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 30 DAYS PRIOR TO ANY EXCAVATION.

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LEGEND

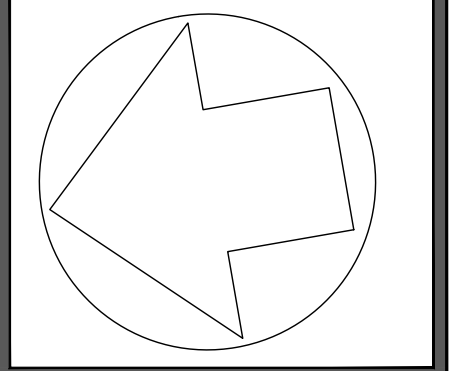
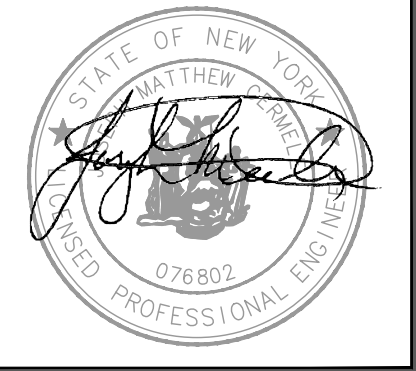
- EXISTING PROPERTY LINE
- EXISTING TREE TO REMAIN
- EXISTING BUILDING
- EXISTING SETBACK LINE
- EXISTING BUILDING SETBACK LINE
- PROPOSED DRIVEWAY
- PROPOSED EVERGREEN
- PROPOSED BUILDING MODIFICATION
- PROPOSED RETAINING WALL



OVERALL SITE PLAN
2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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PROJECT I.D.: YRGP600
DATE: JUNE 18, 2021

BULK ZONING SUMMARY-OB-1, LAB, OFFICE

BULK REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM PARKING SETBACK	50 FT	50 FT	NO CHANGE
MINIMUM COMMERCIAL VEHICLE PARKING SETBACK	100 FT	100 FT	NO CHANGE

- GENERAL NOTES:**
1. SURVEY INFORMATION AND TOPOGRAPHY IS BASED UPON THE MAP ENTITLED "TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS, AND LAND SURVEYORS, D.P.C., LAST DATED, APRIL 20, 2021.
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Call811
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LAURIE MELAGRANO
 SECTION 26.15, BLOCK 1,
 #10573 LOT 217

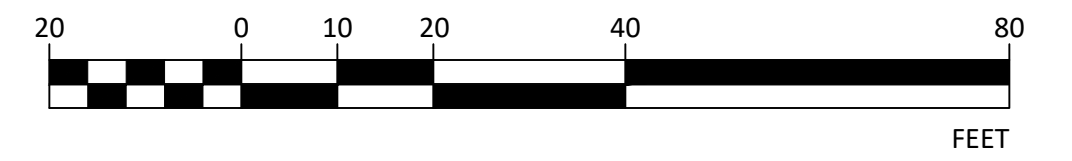
N/F JOHN & LORI RAMPA,
 SECTION 26.15, BLOCK 1, LOT 3
 LIBER 48102, PAGE 749
 FM #10573 LOT 216

N/F WILLIAM & DENISE GRIGGS
 SECTION 26.15, BLOCK 1, LOT 4
 LIBER 10492, PAGE 1
 FM #10573 LOT 215

Call811
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LEGEND	
	EXISTING PROPERTY LINE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING BUILDING
	EXISTING SETBACK LINE
	EXISTING SETBACK LINE
	PROPOSED DRIVEWAY
	PROPOSED EVERGREEN
	PROPOSED RETAINING WALL
	PROPOSED PARKING COUNT



ENLARGED SITE PLAN

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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PROJECT I.D.: YRHP600

DATE: JUNE 18, 2021

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW

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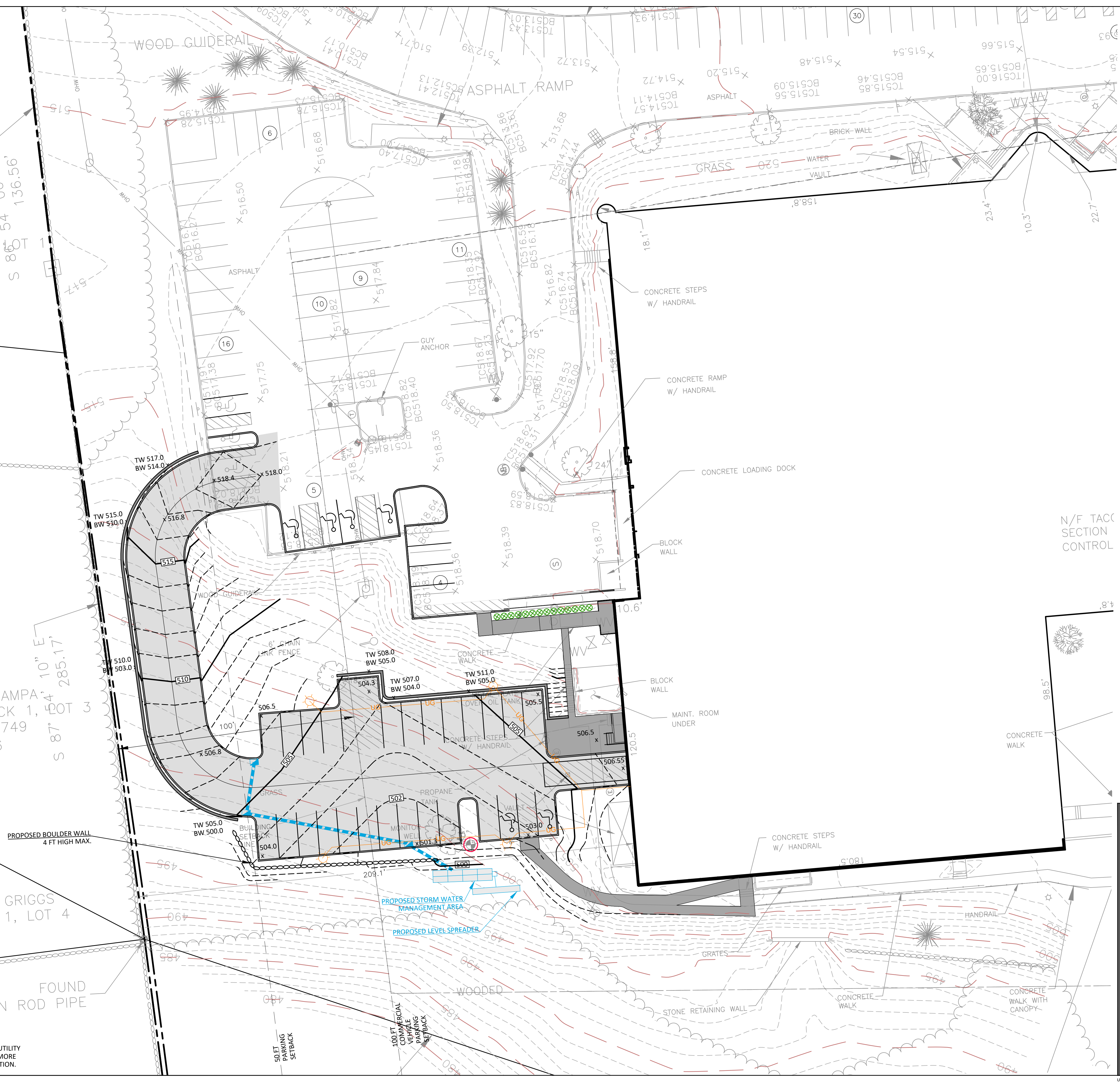
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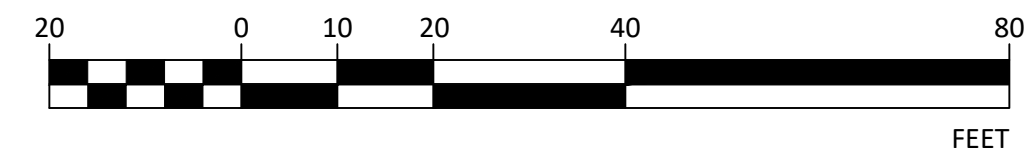
FOUND
IRON ROD PIPE

Call811
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LEGEND

- EXISTING PROPERTY LINE
- EXISTING TREE TO REMAIN
- EXISTING BUILDING
- EXISTING 5 FT CONTOUR
- EXISTING 1 FT CONTOUR
- EXISTING SETBACK LINE
- PROPOSED DRIVEWAY
- PROPOSED 5 FT CONTOUR
- PROPOSED 1 FT CONTOUR
- PROPOSED DRAINAGE LINE
- PROPOSED STORMWATER MITIGATION SYSTEM
- PROPOSED CATCH BASIN
- PROPOSED LEVEL SPREADER
- PROPOSED SITE LIGHTING
- PROPOSED UNDERGROUND ELECTRIC



ENLARGED GRADING AND UTILITIES PLAN

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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REVISIONS

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PROJECT I.D.:	YRHP600
DATE:	JUNE 18, 2021

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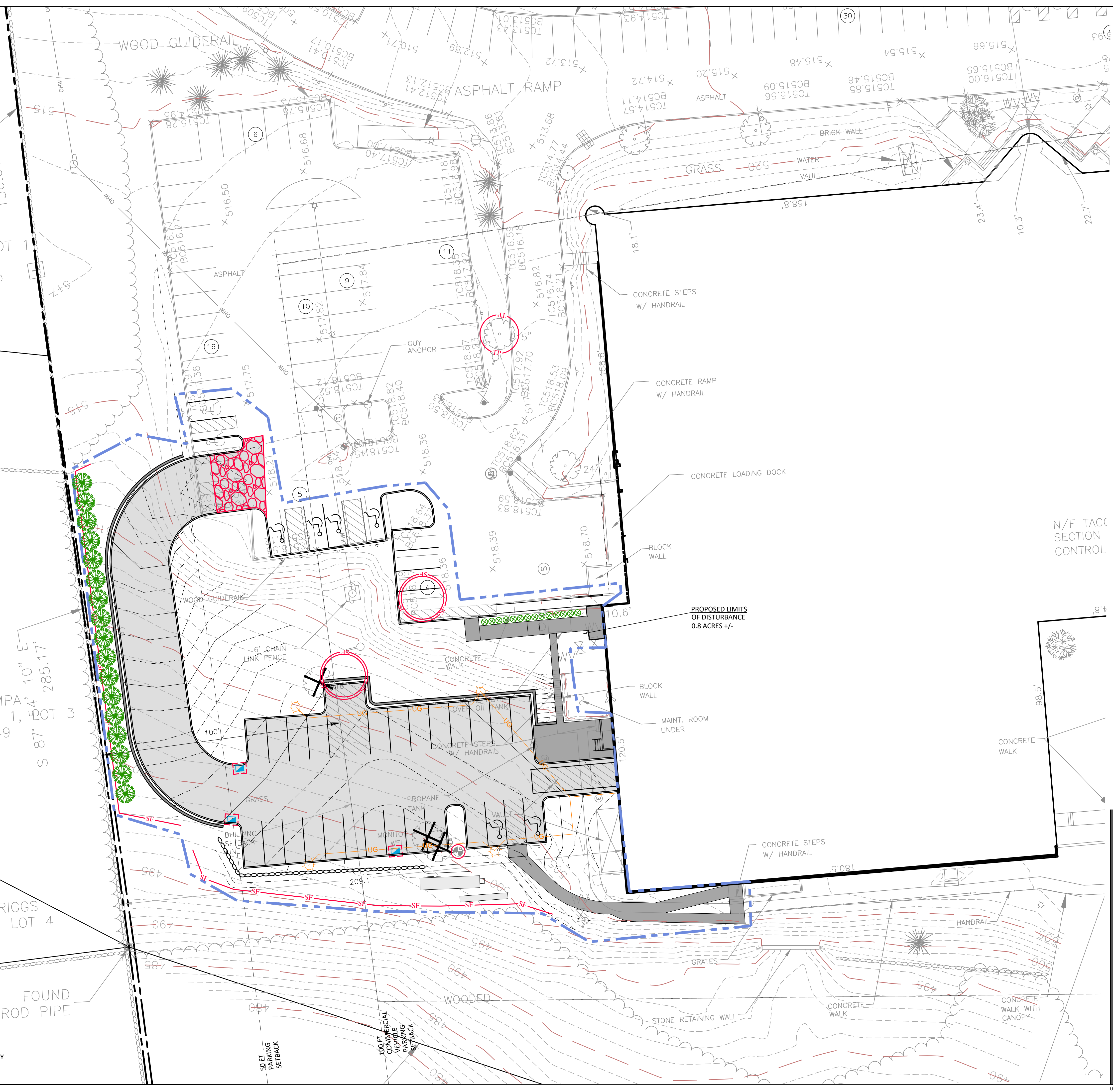
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- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING BUILDING
- EXISTING 5 FT CONTOUR
- EXISTING 1 FT CONTOUR
- EXISTING SETBACK LINE
- PROPOSED DRIVEWAY
- PROPOSED 10 FT CONTOUR
- PROPOSED 1 FT CONTOUR
- PROPOSED EVERGREEN
- LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- PROPOSED SOIL STOCKPILE



ENLARGED EROSION AND SEDIMENT CONTROL PLAN

2649-2651 STRANG BOULEVARD

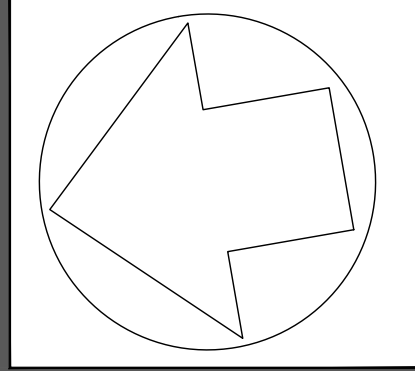
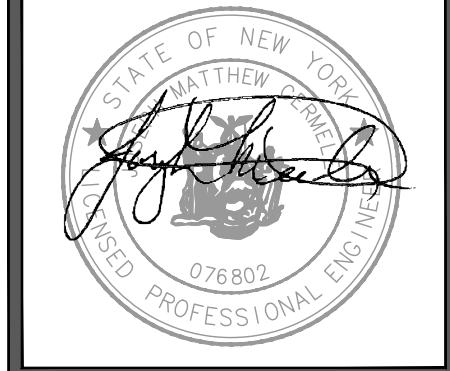
TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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&
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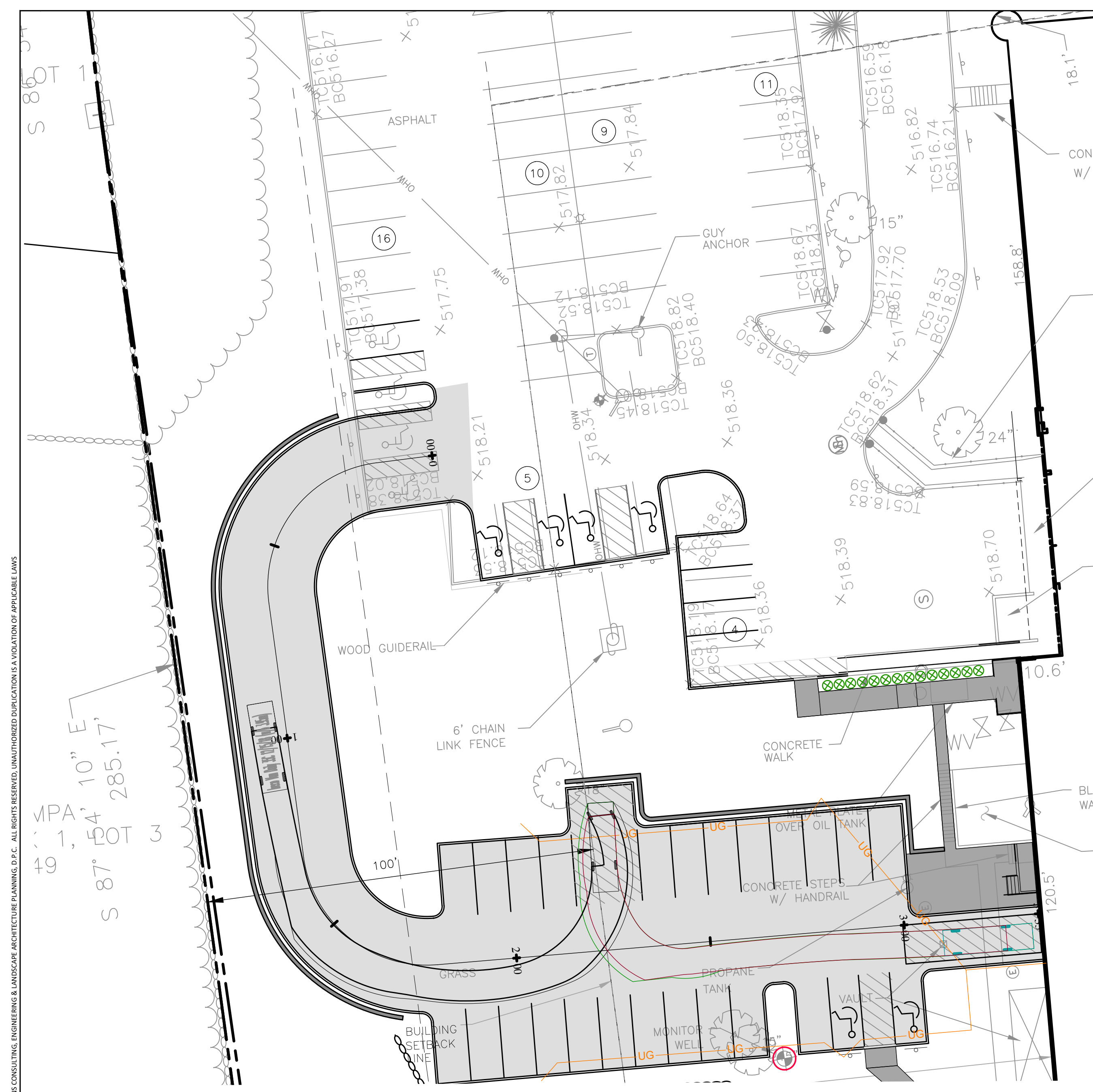


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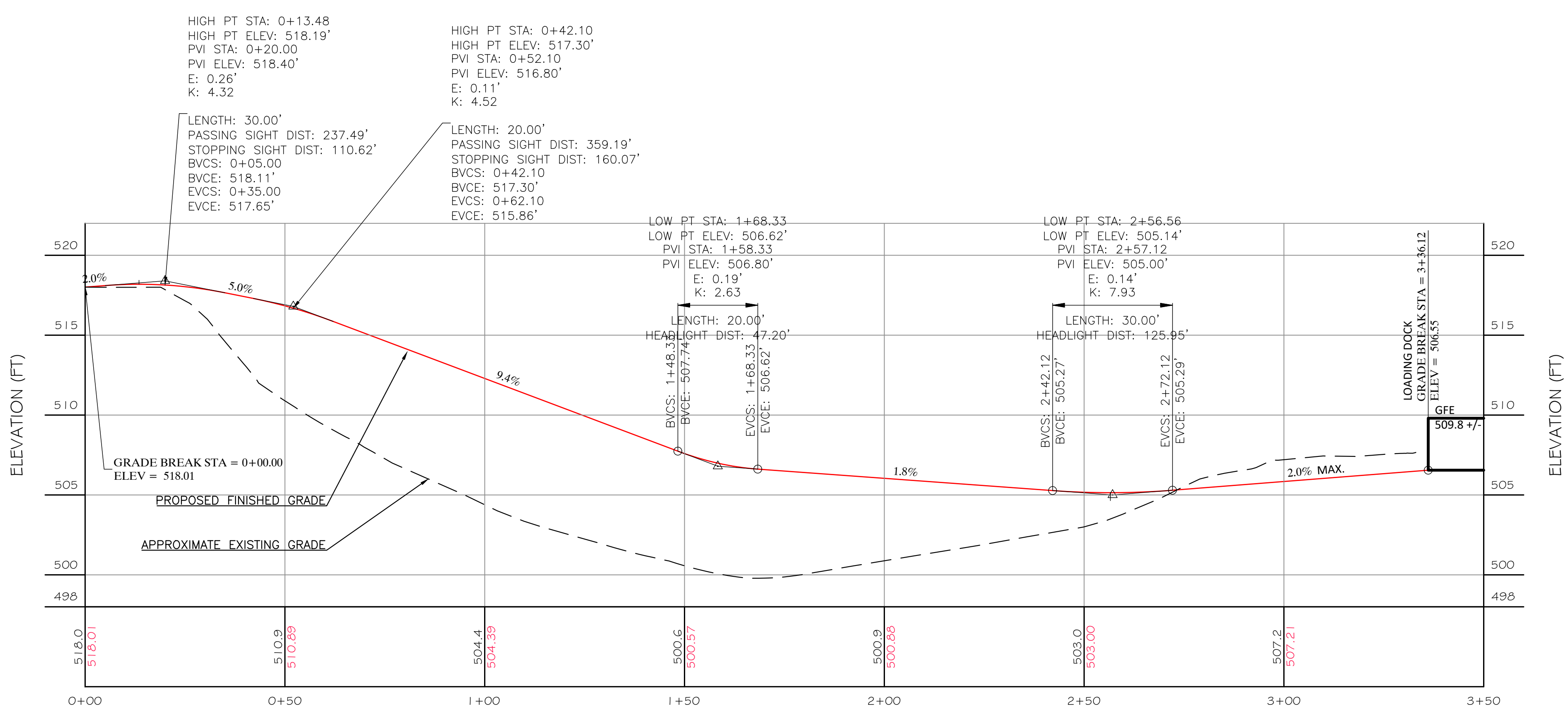
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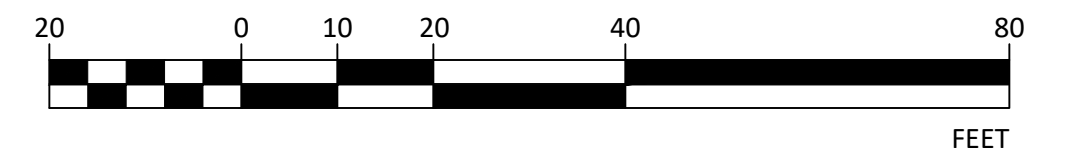
TRUCK TURNING ANALYSIS

NOTE: TRUCK MANEUVER SHOWN FOR TYPICAL DELIVERY TRUCK (30 FT.)



PROPOSED DRIVEWAY

PROFILE SCALE:
HORIZ: 1"=20'
VERT: 1"=5'

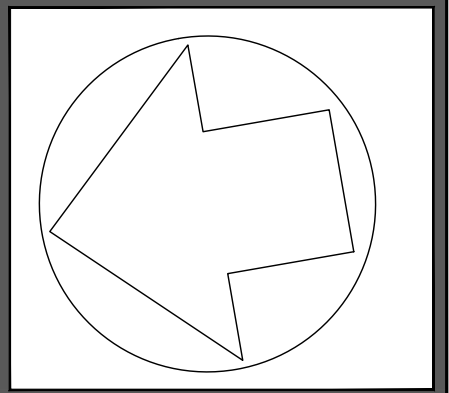
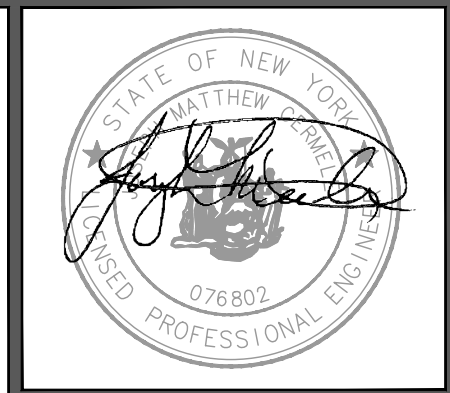


DRIVEWAY PROFILES

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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8.		<p>6 8</p> <p>PROJECT I.D.: YRHP600</p> <p>DATE: JUNE 18, 2021</p>
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Call811 THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

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EROSION AND SEDIMENT CONTROL PLAN

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- New York Standards and Specifications for Erosion and Sediment Control, latest edition
- New York State SPDES General Permit for Stormwater Runoff from Construction Activity (GP-0-20-001)
- Town Code of Yorktown Chapter 248 "Stormwater Management"

The primary aim of the soil erosion and sediment control plan is to reduce soil erosion from areas stripped of vegetation during and after construction and to prevent silt from reaching the drainage structures, culvert infiltration systems, wetland systems, watercourses, waterbodies and downstream properties. The culvert infiltration systems will not be put into service until the contributing drainage areas to the system have been stabilized. As outlined in the construction sequencing notes below and on the Sediment & Erosion Control Plans, the Sediment & Erosion Control Plan is an integral component of the construction phasing and sequencing and will be implemented to control sediment and re-establish vegetation as soon as practicable. The plan will be implemented prior to the commencement of any earthmoving activities and will be maintained through the duration of the project.

A copy of the contractor certification form is provided in Stormwater Pollution Prevention Plan Report. This form will be signed by the contractor prior to the commencement of construction activity. Each contractor and subcontractor shall identify at least one (1) person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the *trained contractor*. The *trained contractor* shall be on site on a daily basis when soil disturbance activities are being performed. The *trained contractor* must receive four (4) hours of NYSDEC endorsed training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other NYSDEC endorsed entity. The *trained contractor* must receive four (4) hours of training every three (3) years.

The owner/operator shall maintain at the construction site a copy of the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activities, GP-0-20-001, the Notice of Intent (NOI), the NOI acknowledgment letter, the Stormwater Pollution Prevention Plan Report for American Capital Energy Corporation, the MS4 SWPPP Acceptance Form and inspection reports from the qualified inspector until all disturbed areas have achieved final stabilization and the Notice of Termination (NOT) has been filed with the NYSDEC.

The applicant or developer or their representative shall be on site at all times when construction or grading activity takes place. A *qualified inspector* shall conduct site inspections a minimum of once every seven (7) calendar days. The *qualified inspector* shall inspect and document the effectiveness of all erosion and sediment control practices. The *qualified inspector* shall prepare an inspection report subsequent to each and every inspection. The reports shall be forwarded to the Town's Stormwater Management Officer and also copied to the site logbook. The *qualified inspector* must be a licensed Professional Engineer, a Certified Professional in Erosion and Sediment Control (CPESC), a Registered Landscape Architect or someone working under the direct supervision of, and at the same company as, the Licensed Professional Engineer or Registered Landscape Architect, provided they have received four (4) hours of NYSDEC endorsed training in proper erosion and sediment control principles from a soil and water conservation district.

The proposed soil erosion and sediment control devices include the planned erosion control practices outlined below. Maintenance procedures for each erosion control practice are also provided herein. The owner or operator must ensure that all erosion and sediment control practices identified herein are maintained in effective operating condition at all times.

STABILIZED CONSTRUCTION ENTRANCE

A stabilized construction entrance shall be installed at the project entrance as indicated on the plans. The purpose of the stabilized construction entrance is to prevent vehicles leaving the site from tracking sediment, mud or any other construction-related materials from the site onto Strang Boulevard.

Maintenance/Inspection
Stabilized construction entrance shall be inspected a minimum of twice every seven (7) calendar days. The Contractor shall maintain the construction entrance in a manner which prevents or significantly reduces the tracking of sediment/soil onto Strang Boulevard. The Contractor shall inspect the construction entrance daily and after each rain event for displacement or loss of aggregate. The Contractor shall top-dress the construction entrance when displacement/loss of aggregate occurs, or if the aggregate becomes clogged or silted to the extent that the entrance can no longer perform its intended function. The Contractor shall inspect the vicinity of the construction entrance several times a day and immediately remove any sediment dropped or washed onto Strang Boulevard.

SILT FENCE
Silt fence (geotextile filter cloth) shall be placed in locations depicted on the approved plans. The purpose of the silt fence is to reduce the velocity of sediment-laden stormwater from small drainage areas and to intercept the transported sediment load. In general, silt fence shall be used at the down-drainage end of disturbed areas, toe of slopes or intermediately within slopes where obvious channel concentration of stormwater is not present. Silt fence shall always be installed parallel to the contours in order to prevent concentrated flows from developing along the silt fence.

Maintenance/Inspection
Silt fencing shall be inspected a minimum of twice every seven (7) calendar days. Inspections shall include ensuring that the fence material is tightly secured to the wood posts. In addition, overlapping filter fabric shall be secure and the fabric shall be maintained a minimum of six (6) inches below grade. In the event that any "bulges" develop in the fence, that section of fence shall be replaced immediately with a new fence section. Any visible sediment build-up against the fence shall be removed immediately and deposited on-site a minimum of 100 feet outside of any wetland area.

INLET PROTECTION
After the drain inlets have been installed and the site is completely stabilized, these drain inlets will receive stormwater from the driveways and overland watersheds. During construction, a filter fabric drop inlet barrier shall be placed around the drain inlets to allow stormwater to be filtered prior to the stormwater being discharged to the drainage system.

Maintenance/Inspection
Inlet protection devices shall be inspected a minimum of twice every seven (7) calendar days. Care shall be taken to ensure that all inlet protection devices are properly located and secure and do not become displaced. Upon stabilization of the drainage areas, remove all materials and sediment and dispose of properly. Any accumulated sediments shall be removed from the device and deposited not less than 100 feet from a wetland area.

TREE PROTECTION
All significant trees to be preserved located within the limits of disturbance and on the perimeter of the disturbance limits shall be protected from harm by erecting a three (3) feet high (minimum) snow fence completely surrounding the tree. Snow fence should extend to the drip-line of the tree to be preserved. Trees designated to be protected/saved are illustrated on the construction drawings and will be identified in the field prior to construction.

Maintenance/Inspection
The snow fence shall remain at the drip-line of the tree to be preserved. The snow fence shall be inspected a minimum of twice every seven (7) calendar days. Any damaged portions of the fence shall be repaired or replaced. Care shall also be taken to ensure that no construction equipment is driven or parked within the drip-line of the tree to be preserved.

RIP-RAP OUTLET PROTECTION
The outlets of all stormwater discharge areas will be protected from erosion by the placement of stone rip-rap at the culvert outlet. The purpose of the stone outlet protection is to reduce the velocities of the discharged water such that flows will not erode the receiving area.

Maintenance/Inspection
Maintenance of the outlet protection devices shall be inspected twice every seven (7) calendar days to determine if any scouring beneath the rip-rap has occurred and/or if any rip-rap has been displaced. All displaced rip-rap shall be re-positioned or replaced with new rip-rap. In addition, all leaves, twigs and brush shall be removed in the vicinity of the culvert/swale outlet to ensure that stormwater is flowing unobstructed.

SOIL/MATERIAL STOCKPILING
All soil/material stripped from the construction area during grubbing and grading shall be stockpiled in locations illustrated on the approved plans, or in practical locations on-site.

Maintenance/Inspection
All stockpiles shall be inspected a minimum of twice every seven (7) calendar days for signs of erosion or problems with seed establishment. Soil stockpiles shall be protected from erosion by vegetating the stockpile with a rapidly-germinating grass seed and surrounded with either silt fence or staked haybales. If the project is ongoing during the non-growing season, the stockpiles shall be protected by a tarpaulin covering the entire stockpile.

SURFACE STABILIZATION
All disturbed areas will be protected from erosion with the use of vegetative measures (e.g., grass seed mix, sod), hydromulch, hay or erosion control blankets.

Erosion control barriers consisting of silt fencing shall be placed around exposed areas during construction. Any areas stripped of vegetation during construction will be vegetated and/or mulched immediately to prevent erosion of the exposed soils. In areas where significant erosion potential exists (steep slopes) and/or where specifically directed, Curlex Excelsior erosion control blankets (manufactured by American Excelsior or approved equal) shall be installed. Materials that may be used for mulching include straw, hay, salt hay, wood fiber, synthetic soil stabilizers, mulch netting, erosion control blankets or sod. A permanent vegetative cover will be established upon completion of construction of those areas which have been brought to finish grade and to remain undisturbed.

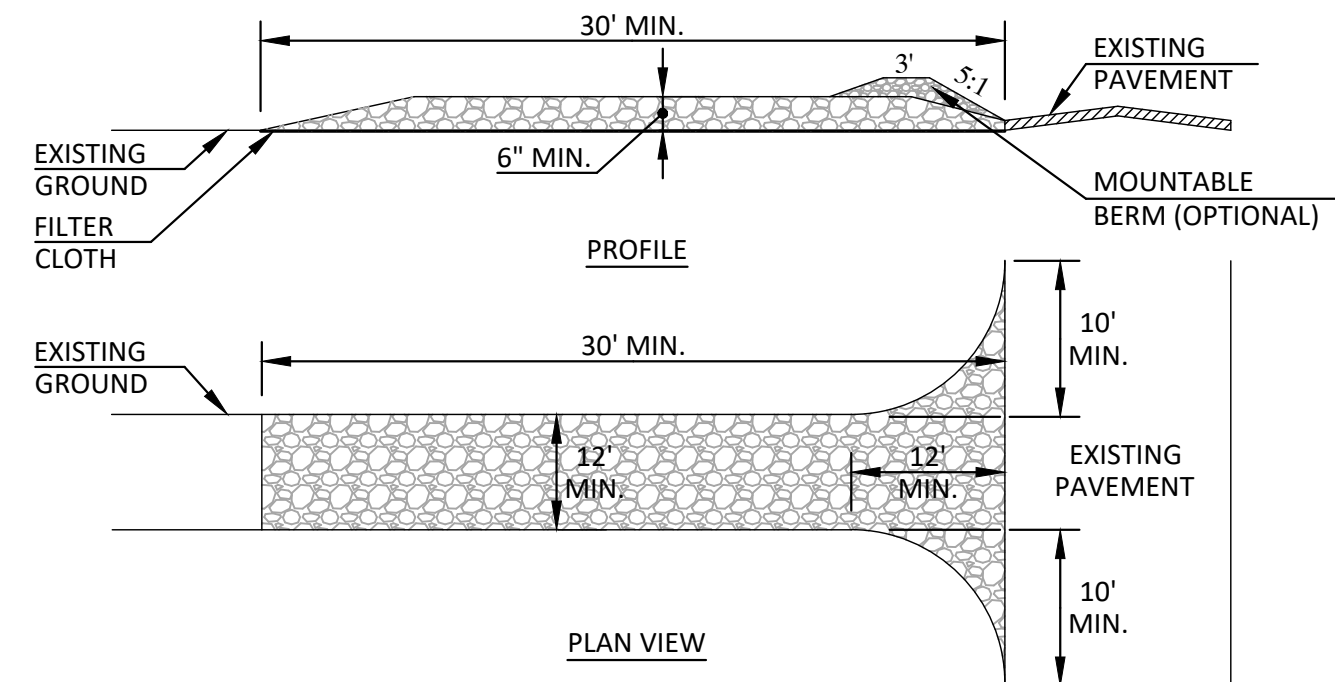
GENERAL LAND GRADING
The applicant/developer or their representatives shall be on-site at all times when construction or grading activity takes place and shall inspect and document the effectiveness of all sediment and erosion control practices. No more than five (5) acres of disturbed land will be exposed without stabilization at any one time.

The intent of the erosion controls is to control all disturbed areas, such that soils are protected from erosion by temporary methods and, ultimately by permanent vegetation.

DUST CONTROL
Where vegetative or mulch cover is not practicable in disturbed areas of the site, dust shall be controlled by the use of water sprinkling. The surface shall be sprayed until wet. Dust control shall continue until such time as the entire site is adequately stabilized with permanent vegetative cover.

POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES
Pollution prevention practices for preventing litter, construction chemicals (if applicable) and construction debris from becoming a pollutant source in stormwater discharge include daily pickup of construction debris, inspection, and physical controls such as silt fencing. Inspections will also be conducted to ensure that control measures are necessary. During construction, maintenance, construction and waste materials will be stored within suitable areas/dumpsters, as appropriate, to minimize the exposure of the materials to stormwater and spill prevention. All maintenance and construction waste will be disposed of in a safe manner in accordance with all applicable regulations.

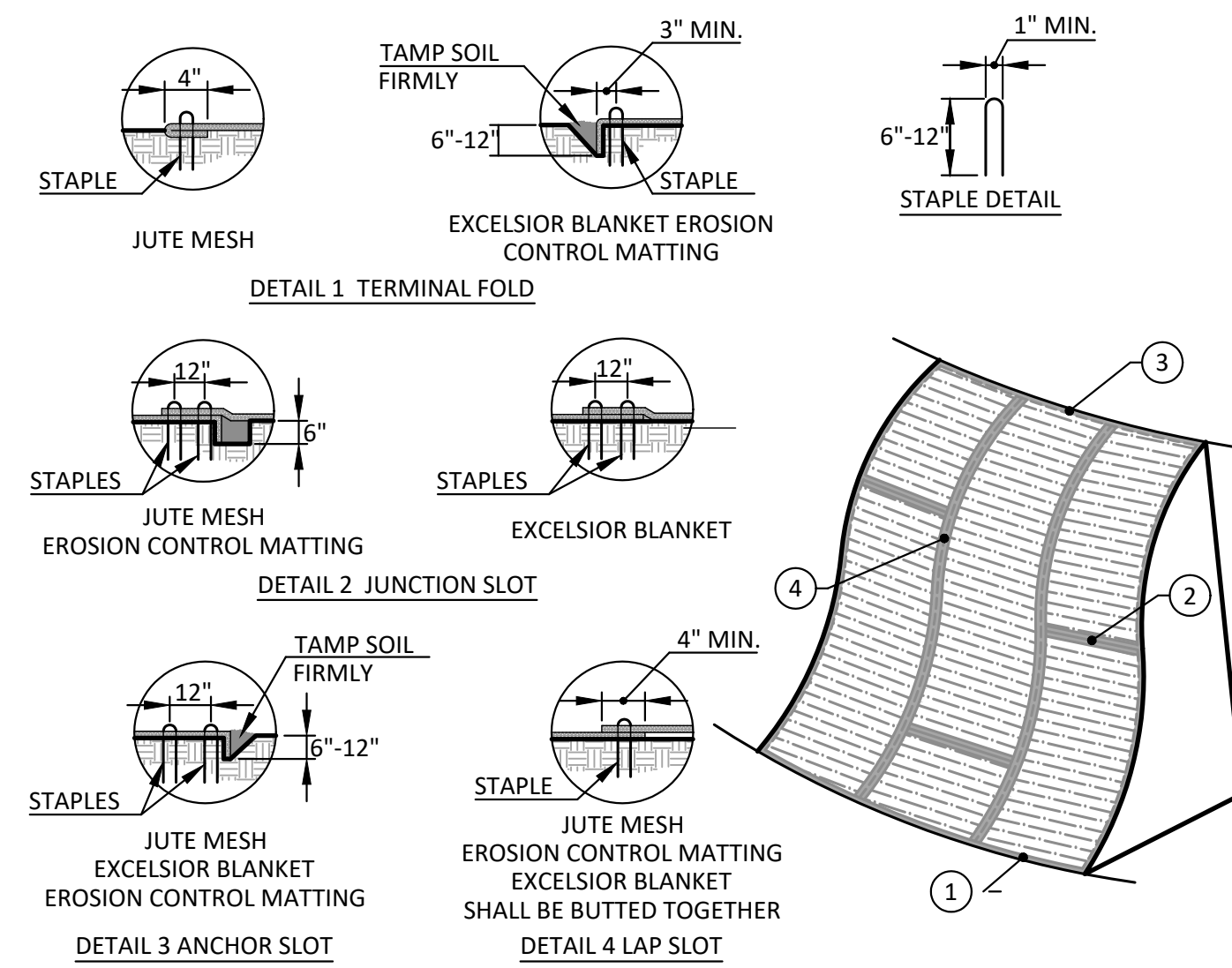
**STABILIZED CONSTRUCTION ENTRANCE
DETAIL (N.T.S.)**



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 30 FEET
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

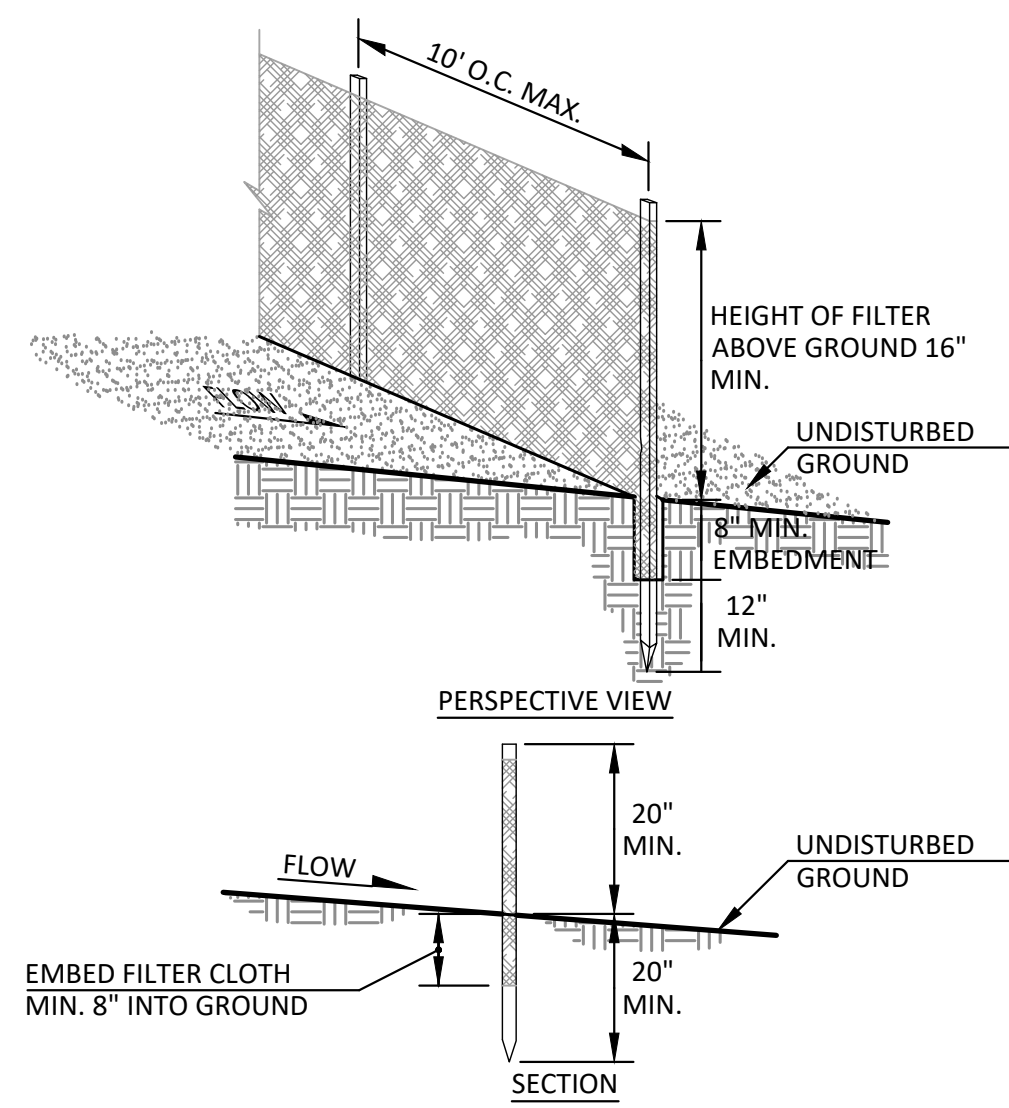
EROSION CONTROL BLANKET DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

1. APPLY TO SLOPES GREATER THAN 3H:1V OR WHERE NECESSARY TO AID IN ESTABLISHING VEGETATION.
2. APPLY FERTILIZER, LIME AND SEED PRIOR TO PLACING MATTING.
3. STAPLES ARE TO BE PLACED ALTERNATELY, IN COLUMNS APPROXIMATELY 2' APART AND IN ROWS APPROXIMATELY 3' APART. APPROXIMATELY 175 STAPLES ARE REQUIRED PER 4' X 225' ROLL OF MATERIAL AND 125 STAPLES ARE REQUIRED PER 4' X 150' ROLL OF MATERIAL.
4. DISTURBED AREAS SHALL BE SMOOTHLY GRADED. EROSION CONTROL MATERIAL SHALL BE PLACED LOOSELY OVER GROUND SURFACE. DO NOT STRETCH.
5. ALL TERMINAL ENDS AND TRANSVERSE LAPS SHALL BE STAPLED AT APPROXIMATELY 12" INTERVALS.

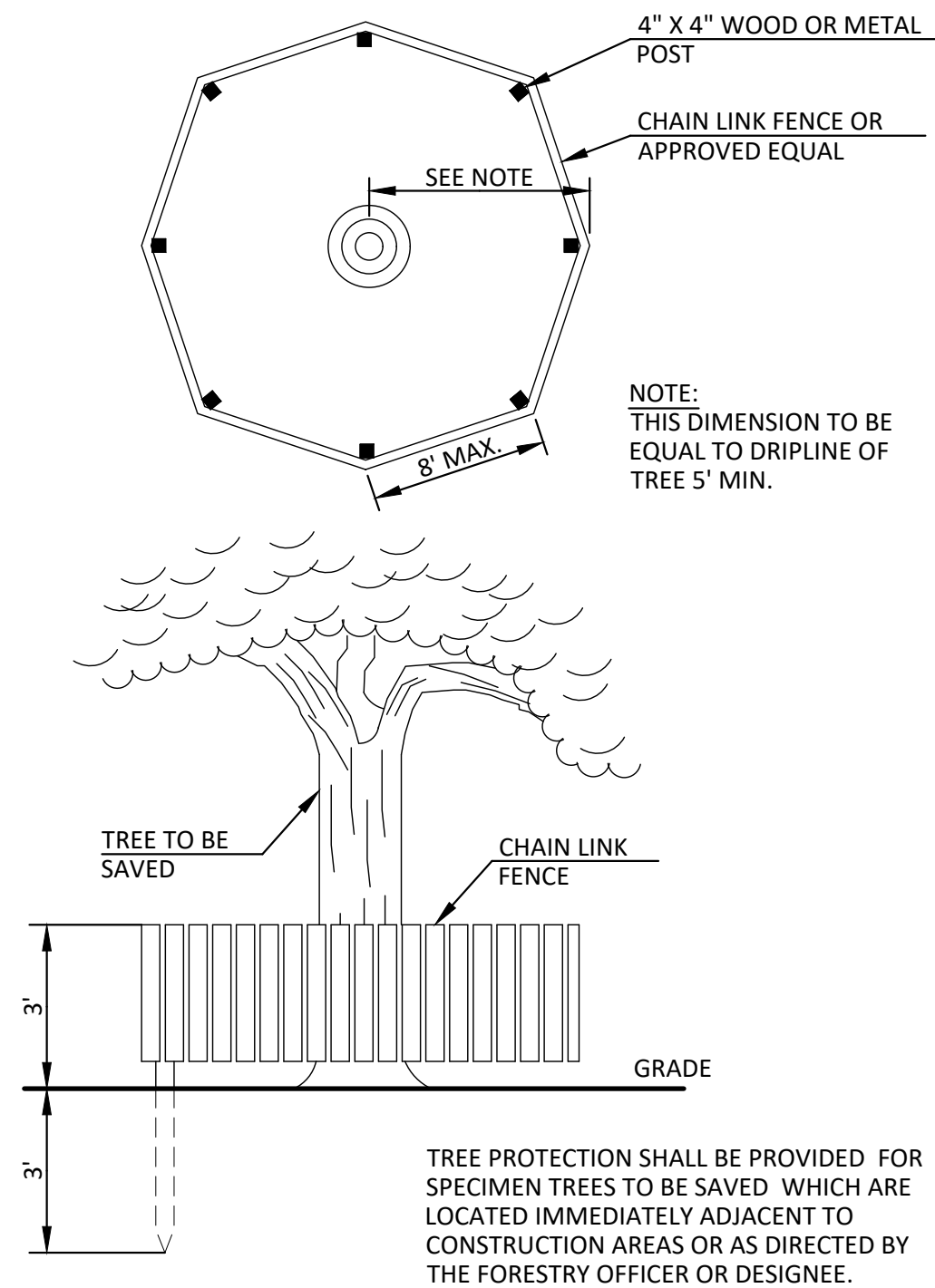
SILT FENCE DETAIL (N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

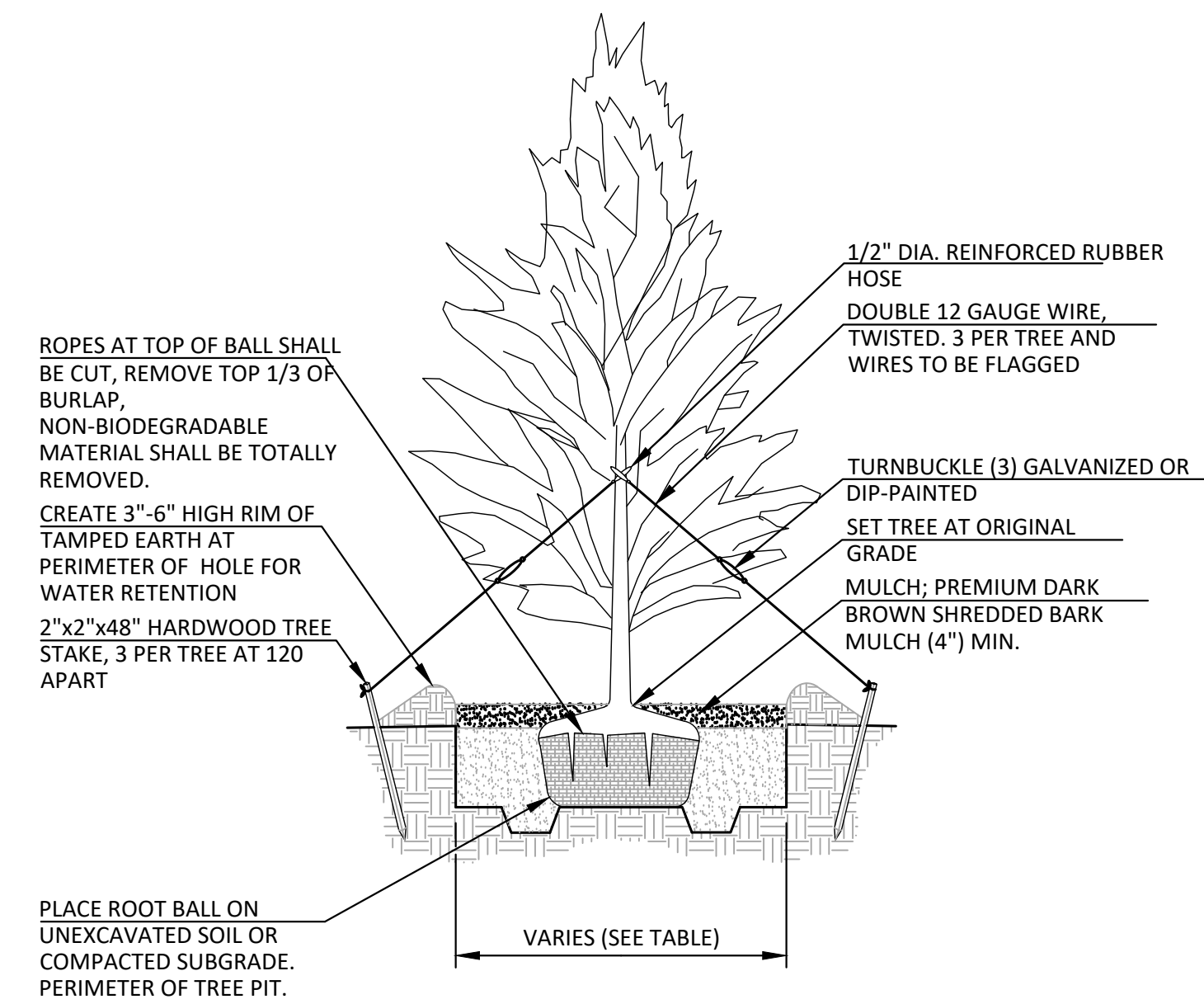
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION. POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES. FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

TREE PROTECTION DETAIL (N.T.S.)



TREE PROTECTION SHALL BE PROVIDED FOR SPECIMEN TREES TO BE SAVED WHICH ARE LOCATED IMMEDIATELY ADJACENT TO CONSTRUCTION AREAS OR AS DIRECTED BY THE FORESTRY OFFICER OR DESIGNEE.

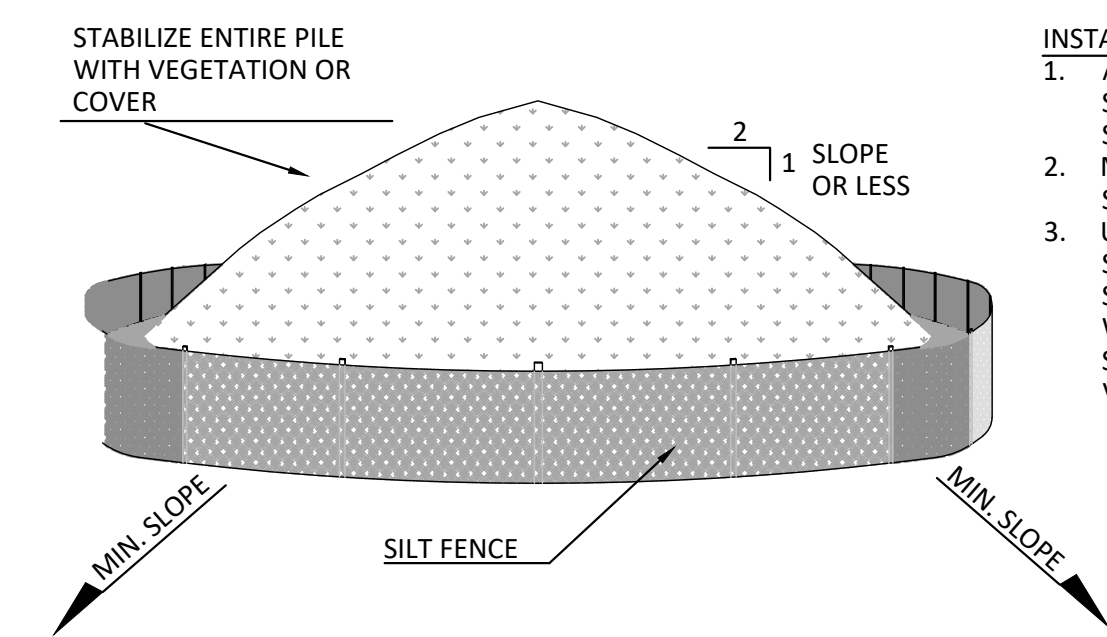
EVERGREEN TREE PLANTING DETAIL (N.T.S.)



HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4' Ø	2X BALL Ø
4'-5' Ø	1 3/4X BALL Ø
GREATER THAN 5' Ø	1 1/2X BALL Ø

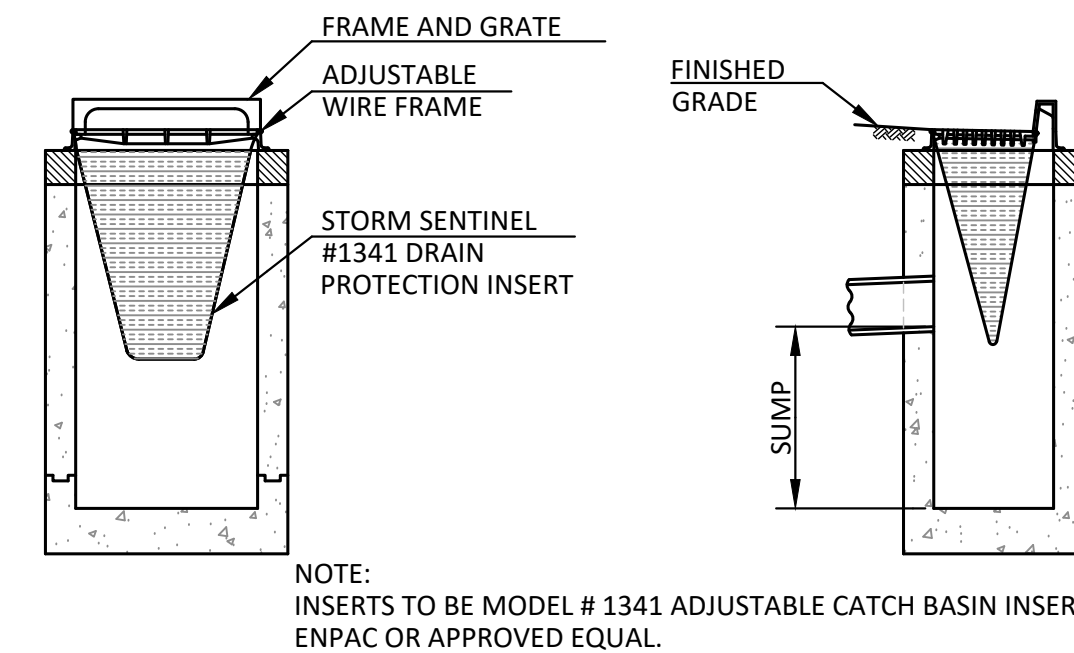
NOTE: PLANTED TREES SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



- INSTALLATION NOTES**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 2. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

CATCH BASIN FILTERS - INLET PROTECTION DETAIL (N.T.S.)



Call 811
THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

DETAILS

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

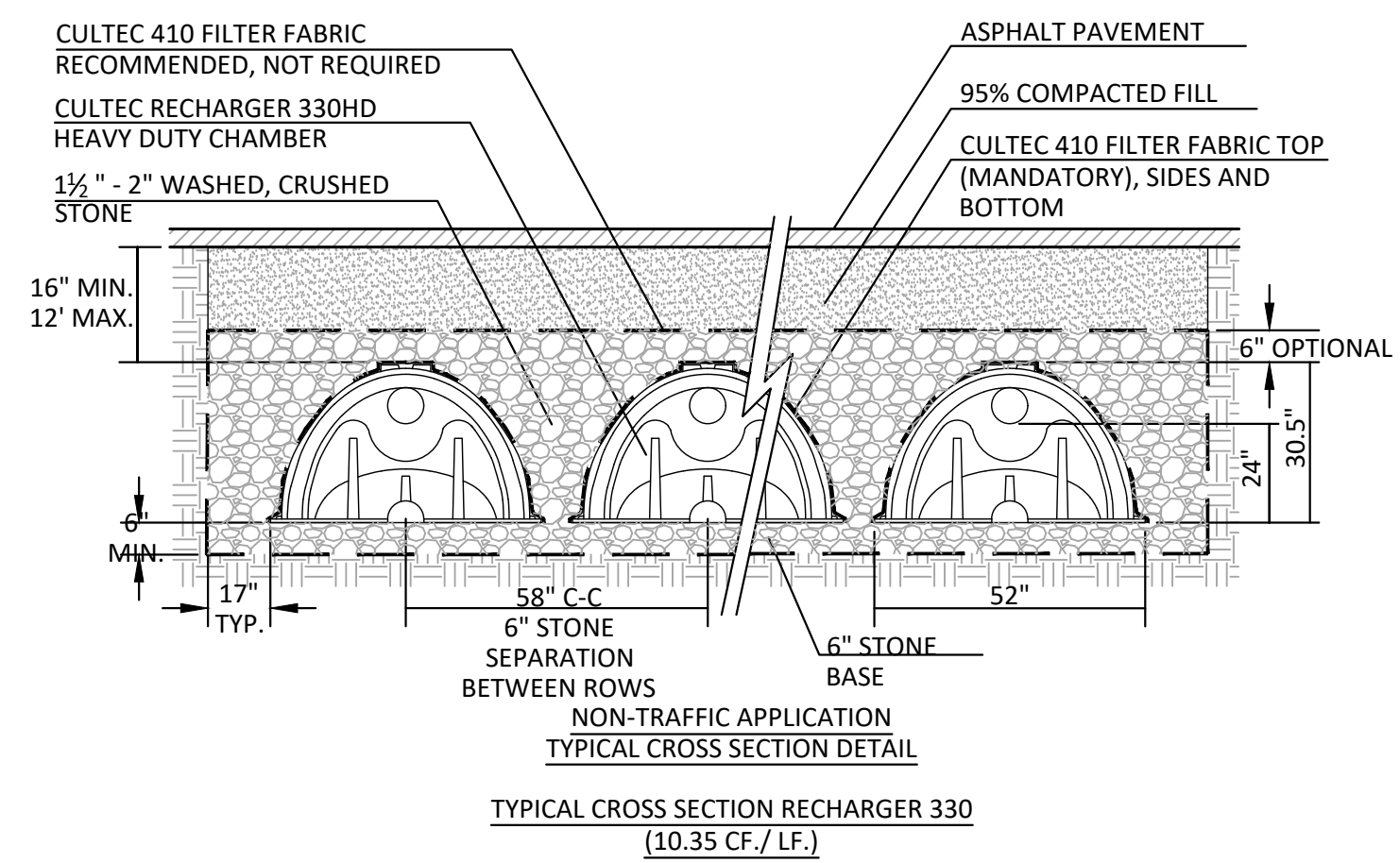
KELLARD SESSIONS
CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C.
500 MAIN STREET ARMONK, N.Y. 10504
P: (914) 273-2323 F: (914) 273-2329 WWW.KELSES.COM

STATE OF NEW YORK
J. Andrew Sessions
076902
REGISTERED PROFESSIONAL ENGINEER

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PROJECT I.D.: YRHP600
DATE: JUNE 18, 2021
REVISIONS

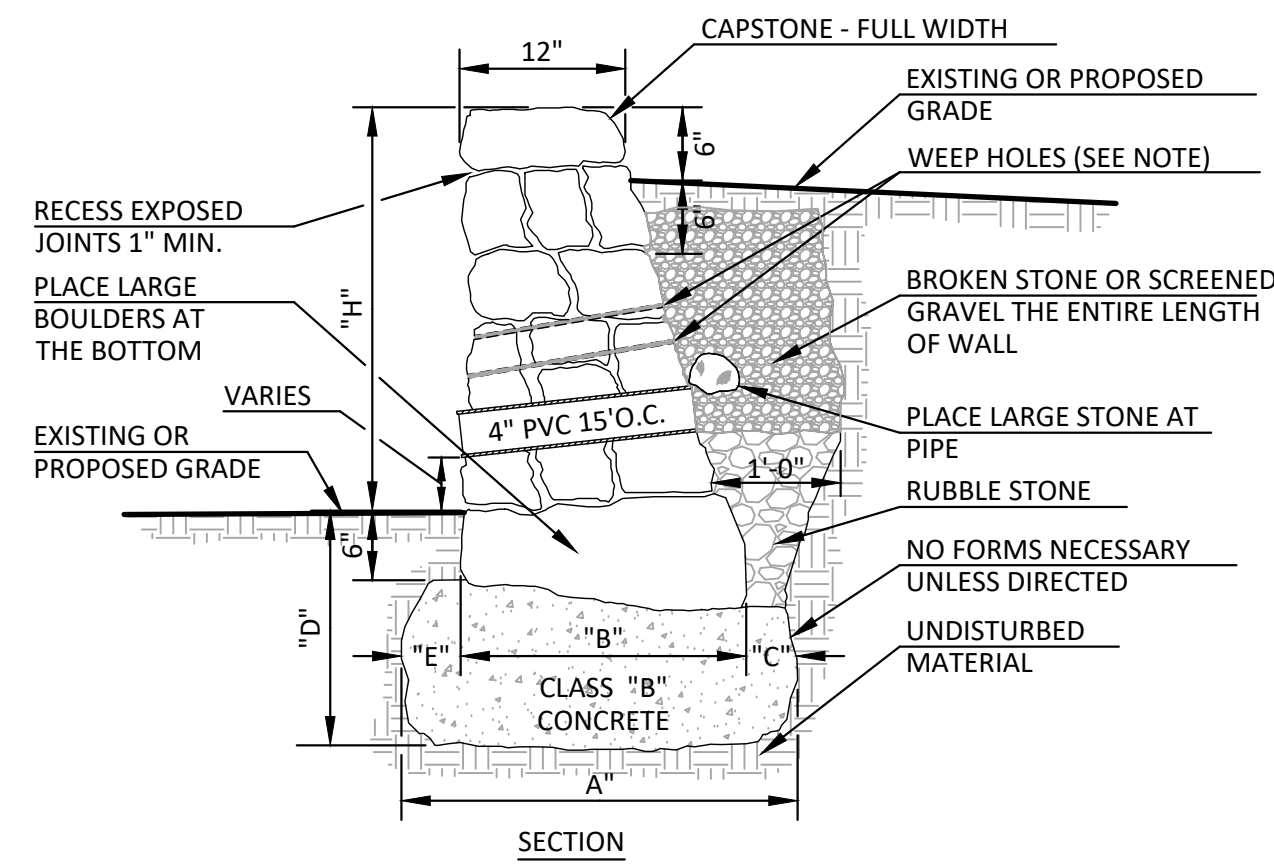
330 HD CULTEC RECHARGER CHAMBER SYSTEM DETAIL (N.T.S.)



CALCULATIONS BASED ON 40% STONE VOID

GENERAL NOTES
 RECHARGER™ 330 BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER™ 330 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO MANUFACTURER, CULTEC, INC.'S RECOMMENDED INSTALLATION GUIDELINES. ALL RECHARGER™ 330HD HEAVY DUTY UNITS ARE MARKED WITH A 4\"/>

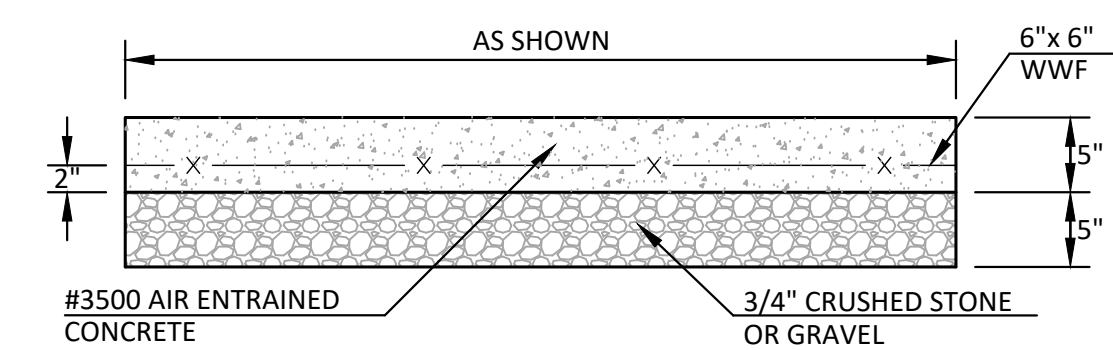
RUBBLE STONE MASONRY RETAINING WALL DETAIL (N.T.S.)



DIMENSIONS					
H(Ft)	"A"	"B"	"C"	"D"	"E"
1	2'-0"	1'-6"	3"	2'-0"	3"
2	2'-6"	2'-0"	3"	2'-0"	3"
3	3'-2"	2'-6"	4"	3'-0"	4"
4	3'-8"	3'-0"	4"	3'-0"	4"
5	4'-6"	3'-6"	6"	3'-0"	6"
6	5'-0"	4'-0"	6"	3'-0"	6"

- NOTES:**
- RETAINING WALLS OVER 6FT. IN HEIGHT SHALL BE ENGINEERED OR IN CASE OF ROCK OCCURRENCE; 8 ON 1 ROCK CUT SHALL BE UTILIZED.
 - STAGGER WEEP HOLES 18" O.C. VERTICALLY.
 - IN ROCK CUT AREAS; ALL ROCK CUTS SHALL BE STABILIZED TO THE SATISFACTION OF THE TOWN'S REPRESENTATIVE.

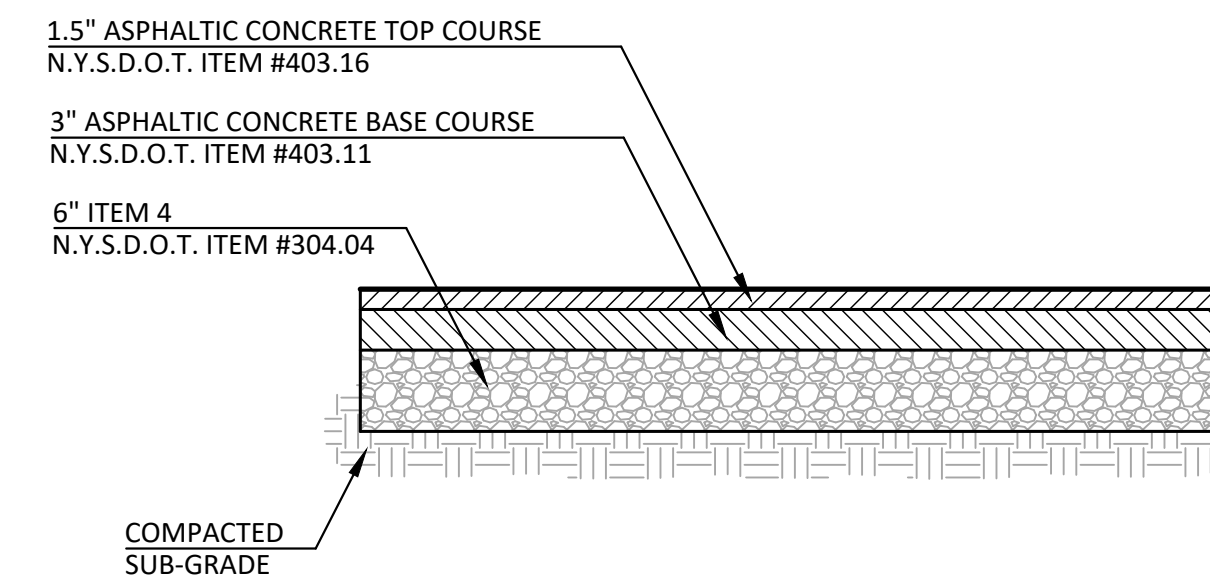
CONCRETE SIDEWALK DETAIL (N.T.S.)



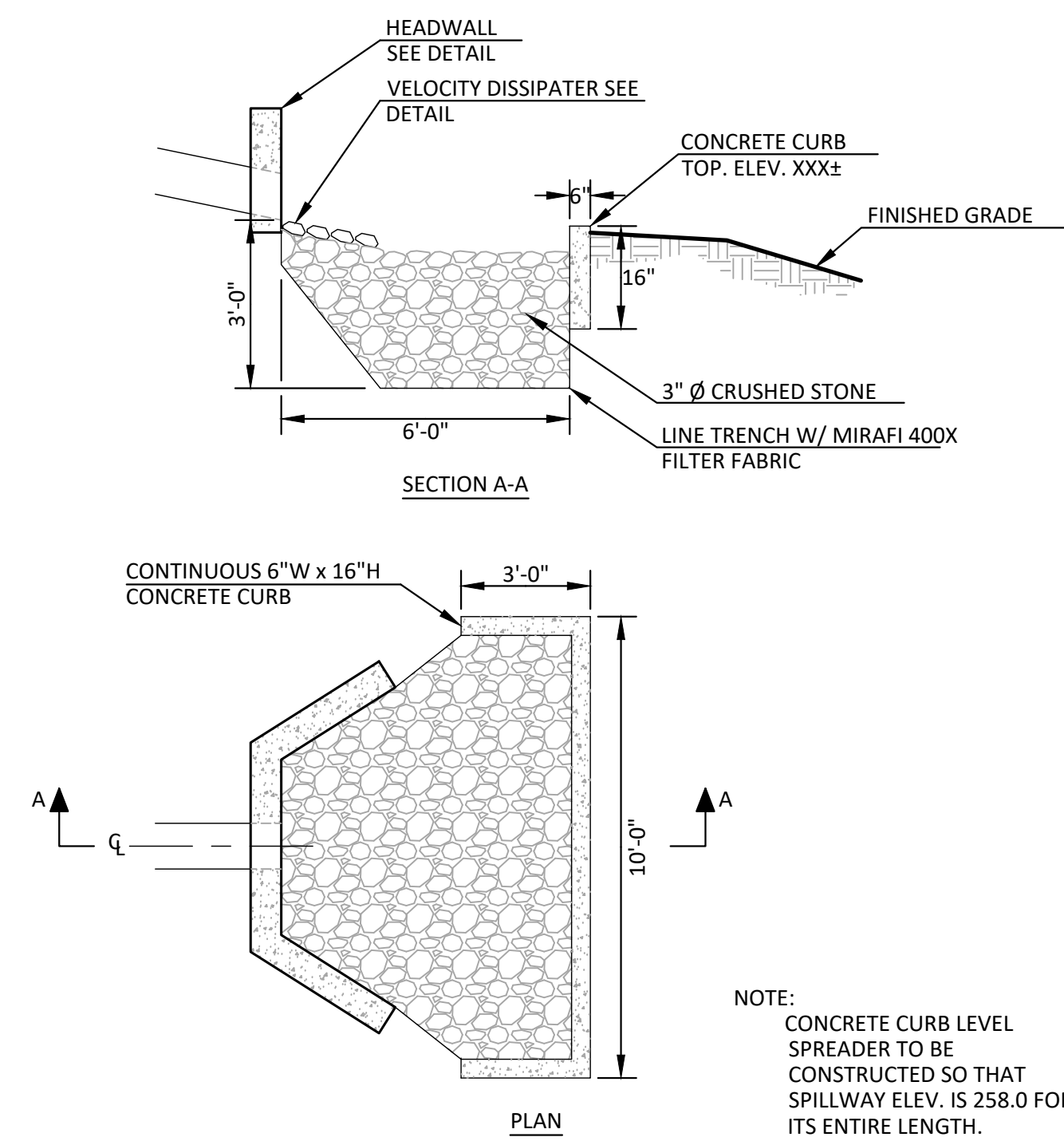
NOTES:

- SIDEWALK TO BE CONSTRUCTED WITH SLOPE OF 1/4" PER FOOT AND PITCHED TOWARDS DRIVEWAY.
- BITUMINOUS EXPANSION JOINTS @ 40' O.C.
- CONTRACTION JOINTS @ 5' O.C.

CONCRETE PAVEMENT DETAIL (N.T.S.)

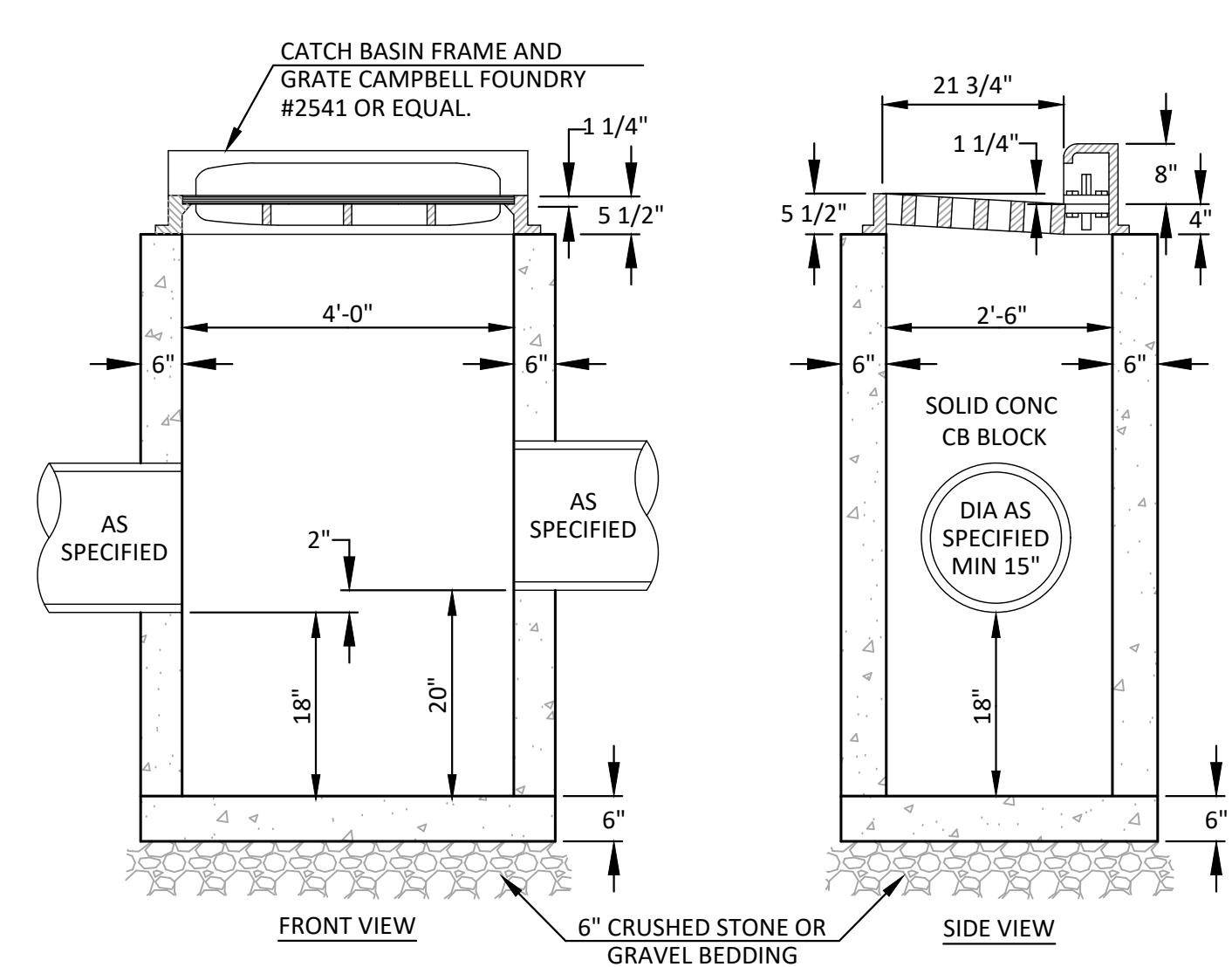


LEVEL SPREADER/VELOCITY DISSIPATER DETAIL (N.T.S.)



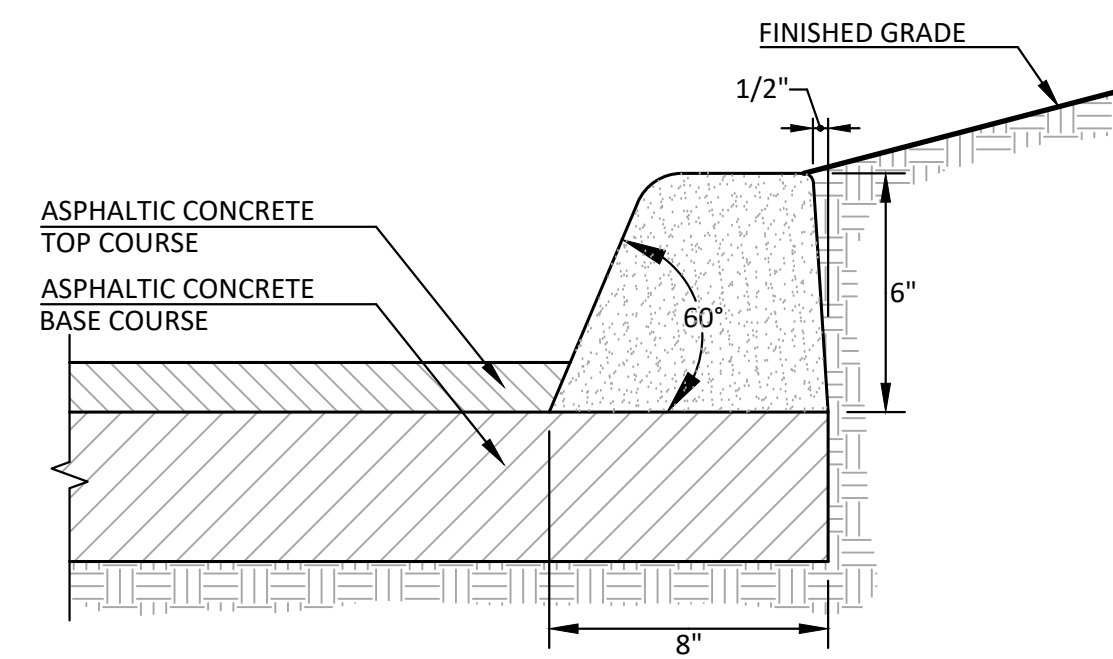
NOTE:
 CONCRETE CURB LEVEL SPREADER TO BE CONSTRUCTED SO THAT SPILLWAY ELEV. IS 258.0 FOR ITS ENTIRE LENGTH.

CATCH BASIN DETAIL (N.T.S.)

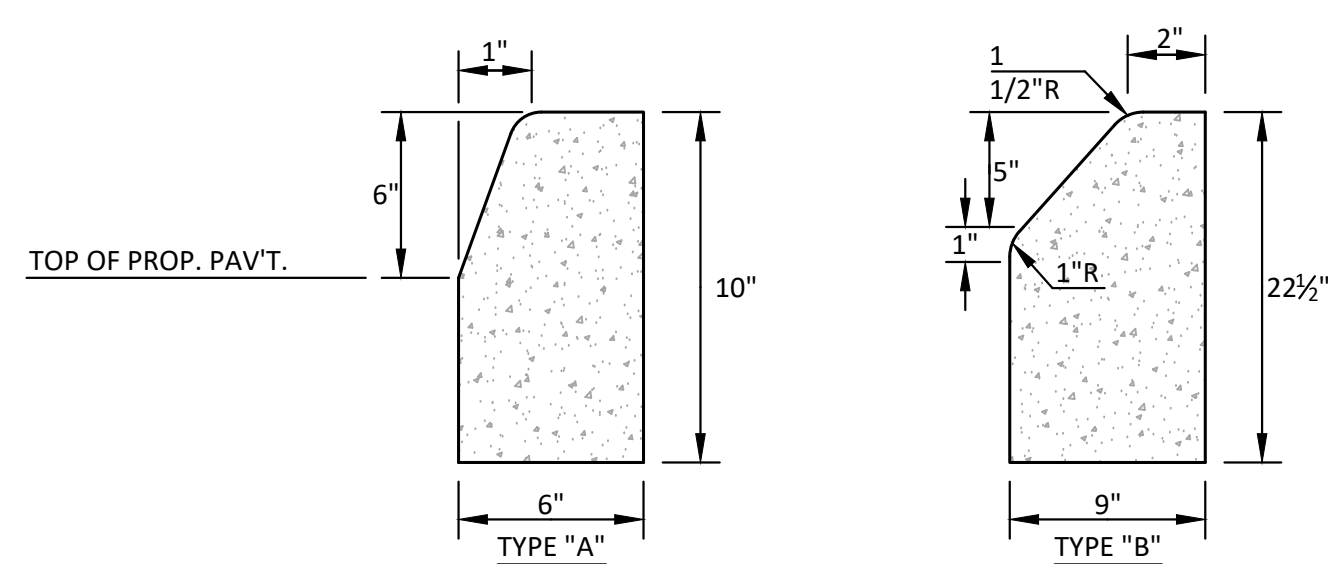


NOTE:
 TYPE A CATCH BASIN AS SHOWN HERE ON WILL BE UTILIZED WHERE THE NEED FOR A DROP INLET EXISTS. THE CURB TYPE CASTING SHALL BE SUBSTITUTED WITH CAMPBELL FOUNDRY FRAME AND GRATE # 3433 OR EQUAL.

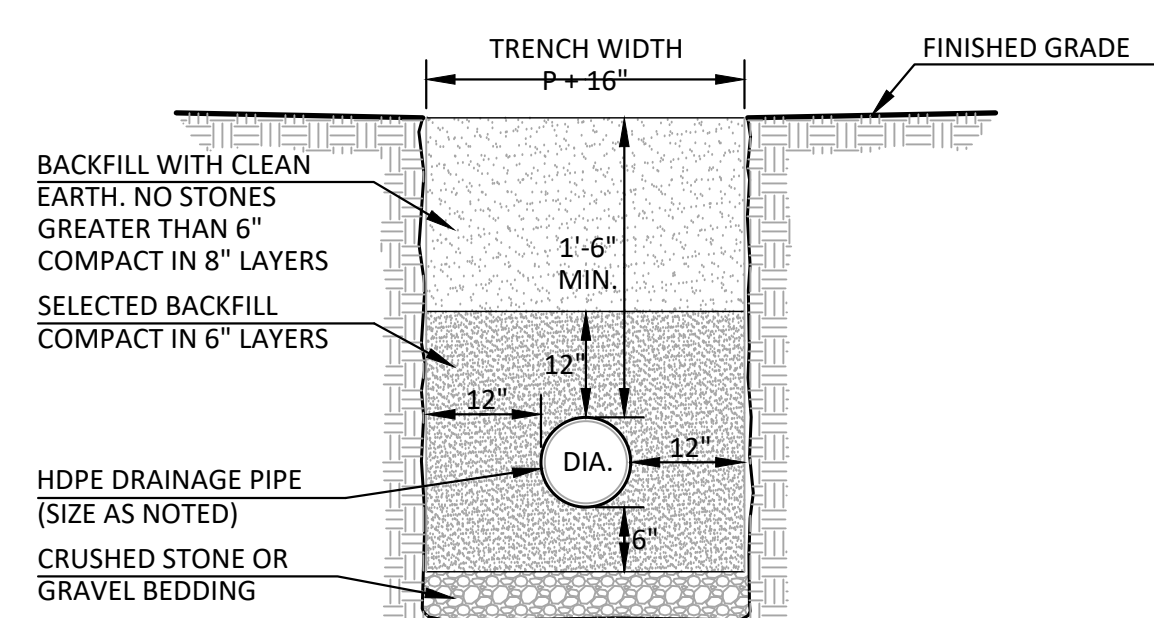
ASPHALTIC CONCRETE CURB DETAIL (N.T.S.)



CONCRETE CURB DETAIL (N.T.S.)



TRENCH DETAIL (N.T.S.)



DETAILS

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

KELLARD SESSIONS

CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C.

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PROJECT I.D.:	YRHP600
DATE:	JUNE 18, 2021

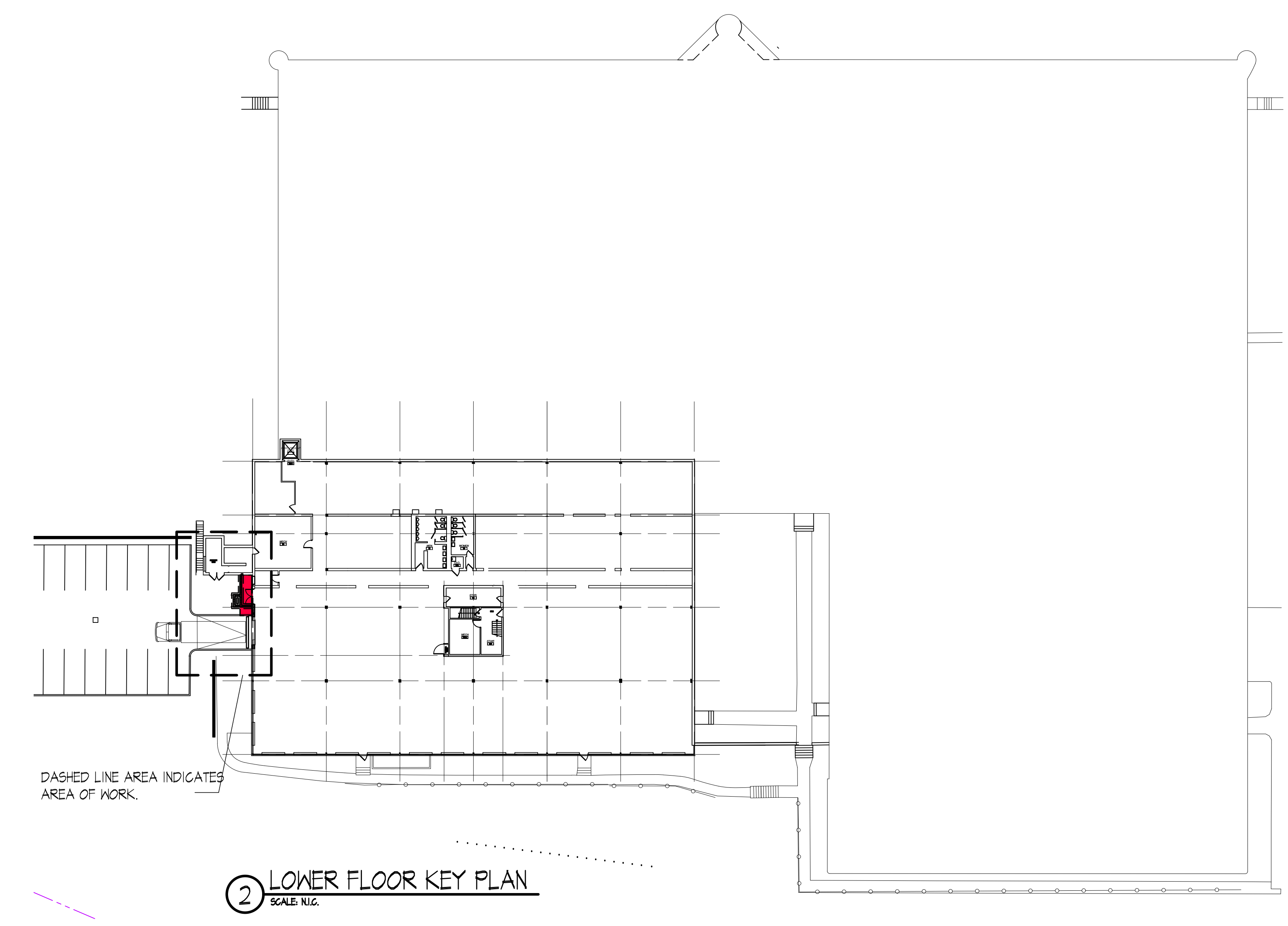
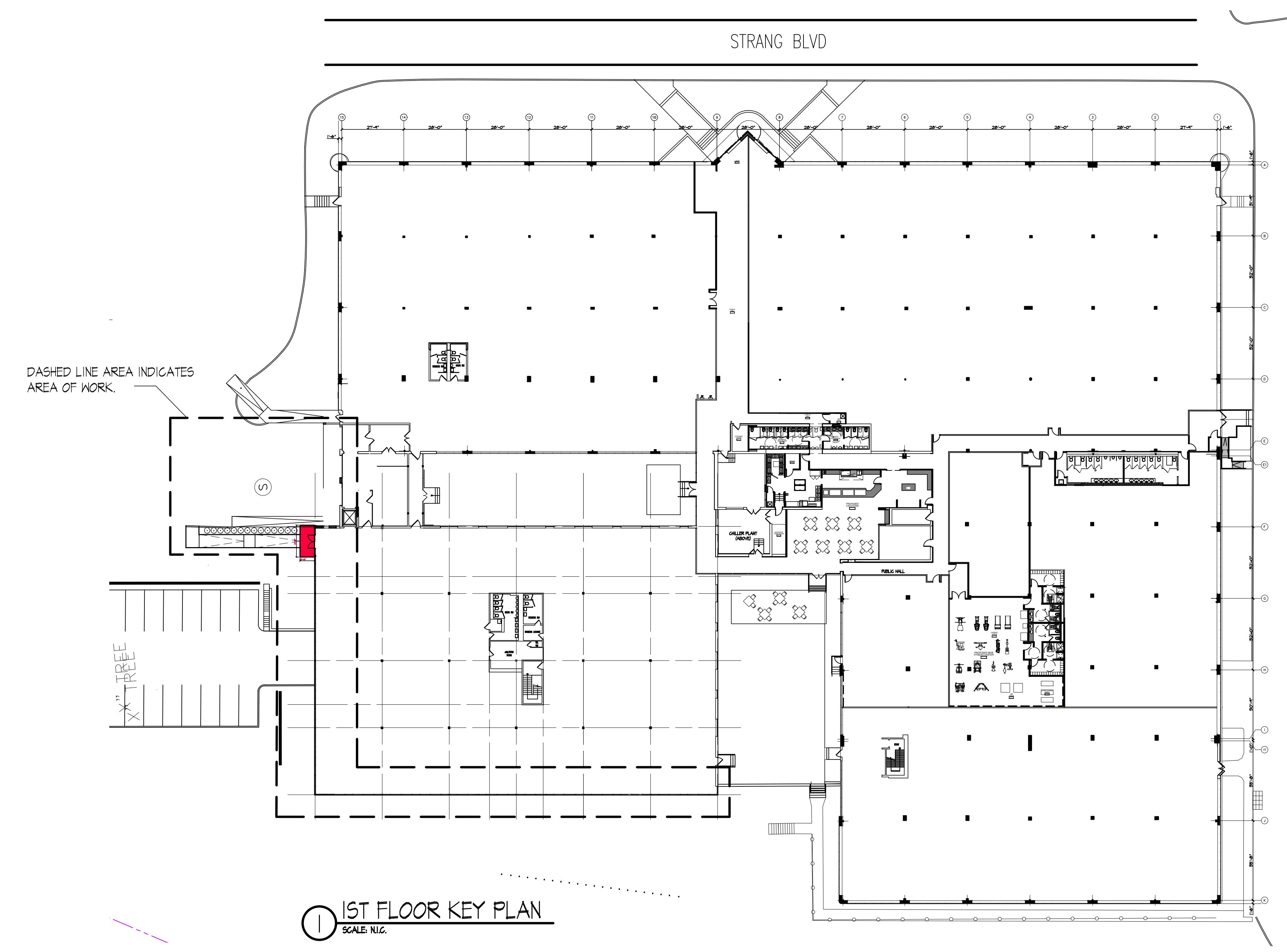
Call 811
 THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

PROPOSED EXTERIOR BUILDING RENOVATIONS

2651 STRANG BOULEVARD

YORKTOWN HEIGHTS, NEW YORK 10598

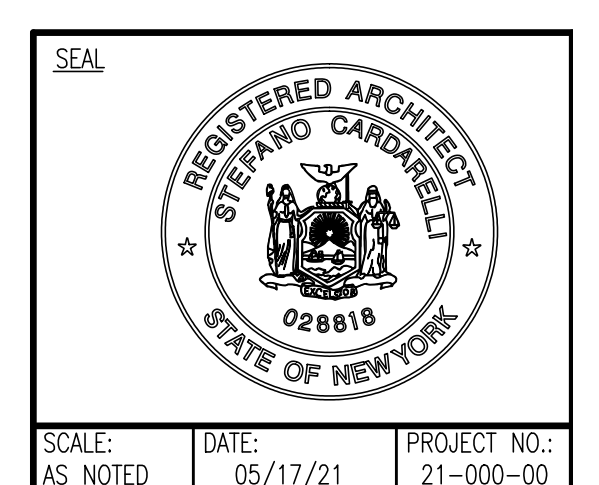
ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2



DRAWING LIST	
ARCHITECTURAL DRAWINGS	
COVER SHEET	A0
DEMOLITION PLAN	DNE
CONSTRUCTION PLAN	A1
FOUNDATION PLAN	A2
ELEVATIONS	A3
ELEVATIONS	A4
WALL SECTIONS	A5

PROJECT: PROPOSED EXTERIOR BUILDING RENOVATIONS
 2651 STRANG BOULEVARD
 YORKTOWN HEIGHTS, NEW YORK 10598
 GROUND FLOOR
 ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2

NO.	DATE	DESCRIPTION
1	05/17/21	ISSUE FOR PLANNING BOARD REVIEW

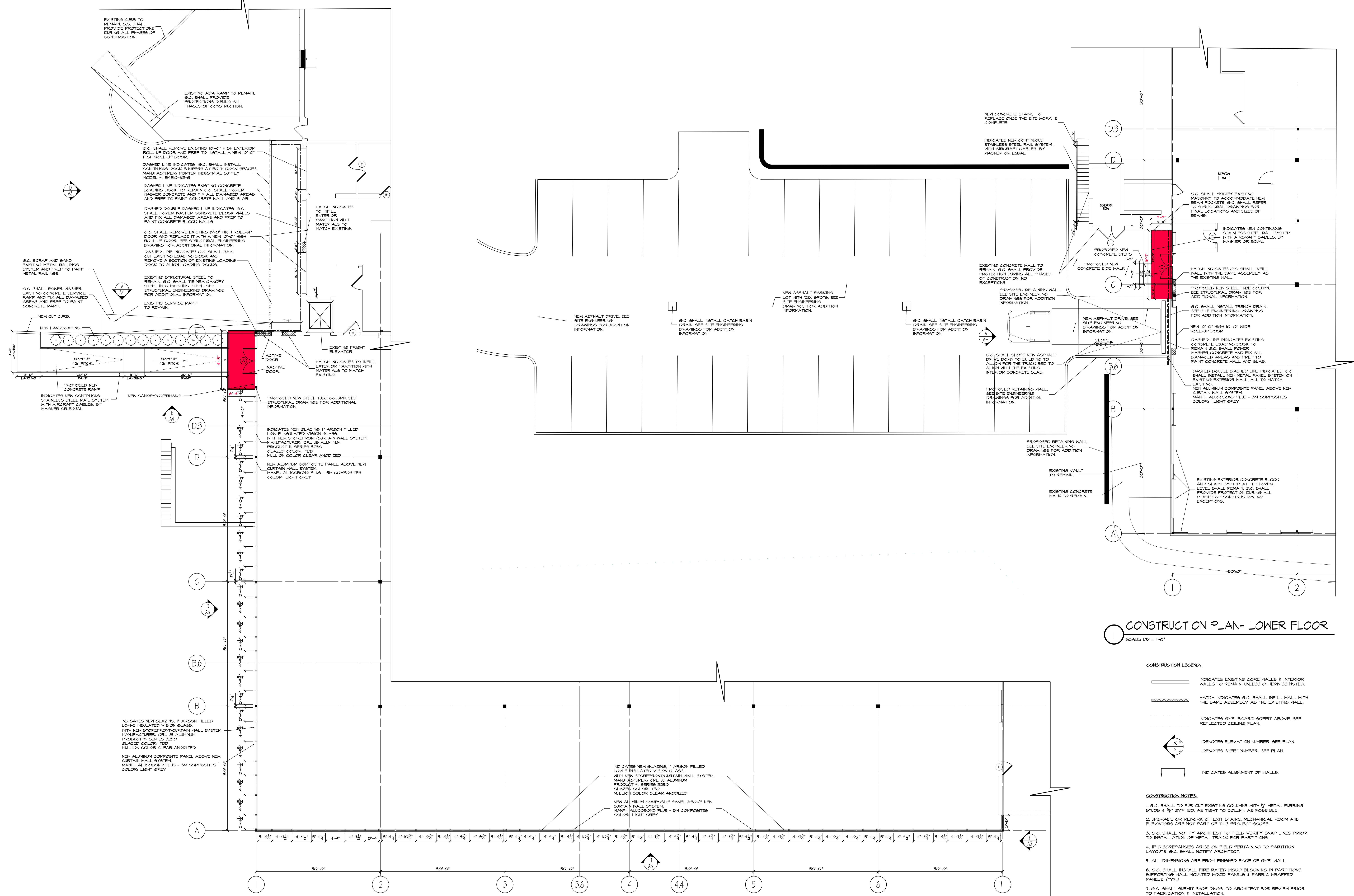


SCALE: AS NOTED	DATE: 05/17/21	PROJECT NO.: 21-000-00
DRAWN BY: A.M.	CHECKED BY:	APPROVED BY:
DRAWING TITLE:		

COVER SHEET

DRAWING NO.: A0

PROPOSED EXTERIOR BUILDING RENOVATIONS
2651 STRANG BOULEVARD
YORKTOWN HEIGHTS, NEW YORK 10598
GROUND FLOOR
 ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2



1 CONSTRUCTION PLAN - LOWER FLOOR
 SCALE: 1/8" = 1'-0"

- CONSTRUCTION LEGEND:**
- INDICATES EXISTING CORE WALLS & INTERIOR WALLS TO REMAIN, UNLESS OTHERWISE NOTED.
 - HATCH INDICATES G.C. SHALL INFILL WALL WITH THE SAME ASSEMBLY AS THE EXISTING WALL.
 - - - - - INDICATES GYP. BOARD SOFFIT ABOVE. SEE REFLECTED CEILING PLAN.
 - ⊗ DENOTES ELEVATION NUMBER. SEE PLAN.
 - ⊕ DENOTES SHEET NUMBER. SEE PLAN.
 - INDICATES ALIGNMENT OF WALLS.

- CONSTRUCTION NOTES:**
1. G.C. SHALL TO FUR OUT EXISTING COLUMNS WITH 3" METAL FURRING STUDS & 3/4" GYP. BD. AS TIGHT TO COLUMN AS POSSIBLE.
 2. UPGRADE OR REPAIR OF EXIT STAIRS, MECHANICAL ROOM AND ELEVATORS ARE NOT PART OF THIS PROJECT SCOPE.
 3. G.C. SHALL NOTIFY ARCHITECT TO FIELD VERIFY SNAP LINES PRIOR TO INSTALLATION OF METAL TRACK FOR PARTITIONS.
 4. IF DISCREPANCIES ARISE ON FIELD PERTAINING TO PARTITION LAYOUTS, G.C. SHALL NOTIFY ARCHITECT.
 5. ALL DIMENSIONS ARE FROM FINISHED FACE OF GYP. WALL.
 6. G.C. SHALL INSTALL FIRE RATED WOOD BLOCKING IN PARTITIONS SUPPORTING WALL MOUNTED WOOD PANELS & FABRIC FRAMED PANELS. (TYP.)
 7. G.C. SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION & INSTALLATION.
 8. G.C. SHALL SUBMIT ALL MILLWORK FINISH SAMPLES IN TRIPPLICATES TO ARCHITECT FOR REVIEW & TENANT SIGN-OFF.
 9. G.C. SHALL PATCH AND SCAM GOAT ALL EXISTING CORE WALLS AND PREP TO RECEIVE NEW FINISHES.
 10. EXISTING CORE WALLS TO BE SCAM GOAT WALLS TO LEVEL 2 FINISH AND PREP TO RECEIVE NEW FINISHES.

2 CONSTRUCTION PLAN - UPPER FLOOR
 SCALE: 1/8" = 1'-0"

DOOR FRAME AND HARDWARE SCHEDULE:

DOOR AND FRAME TYPE:
 INDICATES (1) PAIR 2'-0" X 7'-0" X 1 3/4" KAMNEER FLUSHLINE ENTRANCES, ALUMINUM FRAMED VISION LITES, TYPE AVL-4, 6" X 32" LOCK SIDE PLACEMENT 1" FROM TOP OF DOOR AND JAMB, FLAIN ALUM. SHEET EXTERIOR AND INTERIOR, COLOR AND FINISH TO MATCH STOREFRONT FINISHING.

HARDWARE TYPE:
 PAIR AND HALF BUTT HINGE, KAMNEER STANDARD, KAMNEER STANDARD EXIT DEVICE, DUR-O-MATIC / FALCON 1760 EXTERIOR FULL STYLE CO-4 KAMNEER STANDARD KEYPAD RIM CYLINDER SURFACE CLOSER 1260 ALUMINUM THRESHOLD GASKETING 4 SKEEP (PMK60)

G.C. TO INSTALL METAL ASTRAGAL TO MATCH DOOR FINISH ONTO ACTIVE DOOR.

DOOR CLOSER, ARKON LOCK MODEL #MOON SERIES, MEETS (ADA) BARRIER FREE REQUIREMENTS OF 3' LESS. MAXIMUM DOORS, G.C. SHALL INSTALL DOOR CLOSERS ON BOTH DOORS.

IVES FLOOR MOUNTED DOOR STOP, IVES FS436 - SATIN CHROME HARDWARE FINISH, 626-SATIN CHROME PLATED.

DOOR AND FRAME TYPE:
 INDICATES (2) PAIR 2'-0" X 7'-0" X 1 3/4" KAMNEER FLUSHLINE ENTRANCES, ALUMINUM FRAMED VISION LITES, TYPE AVL-4, 6" X 32" LOCK SIDE PLACEMENT 1" FROM TOP OF DOOR AND JAMB, FLAIN ALUM. SHEET EXTERIOR AND INTERIOR, COLOR AND FINISH TO MATCH STOREFRONT FINISHING.

HARDWARE TYPE:
 PAIR AND HALF BUTT HINGE, KAMNEER STANDARD, KAMNEER STANDARD EXIT DEVICE, DUR-O-MATIC / FALCON 1760 EXTERIOR FULL STYLE CO-4 KAMNEER STANDARD KEYPAD RIM CYLINDER SURFACE CLOSER 1260 ALUMINUM THRESHOLD GASKETING 4 SKEEP (PMK60)

G.C. TO INSTALL METAL ASTRAGAL TO MATCH DOOR FINISH ONTO ACTIVE DOOR.

DOOR CLOSER, ARKON LOCK MODEL #MOON SERIES, MEETS (ADA) BARRIER FREE REQUIREMENTS OF 3' LESS. MAXIMUM DOORS, G.C. SHALL INSTALL DOOR CLOSERS ON BOTH DOORS.

IVES FLOOR MOUNTED DOOR STOP, IVES FS436 - SATIN CHROME HARDWARE FINISH, 626-SATIN CHROME PLATED.

RESCALES EXISTING DOOR FRAME AND HARDWARE:
 INDICATES EXISTING DOOR FRAME AND HARDWARE SHALL REMAIN, G.C. SHALL PROTECT DURING ALL PHASES OF CONSTRUCTION.

CRITICAL NOTE:
 1. G.C. SHALL ASSURE ALL HARDWARE ARE FULLY FUNCTIONAL UPON COMPLETION OF CONSTRUCTION. G.C. SHALL ASSURE ALL HARDWARE FUNCTIONS ARE COORDINATE WITH TENANT PRIOR TO INSTALLING.

2. ALL DOORS IN THE AREA OF HORS SHALL BE PREP TO RECEIVE NEW PAINT. SEE PAINT AND FINISH PLAN FOR ADDITIONAL INFORMATION.

DOOR SCHEDULE NOTES:

1. ALL HARDWARE FINISH SHALL BE: SATIN CHROME PLATED #626
2. G.C. SHALL PROVIDE ALL MISCELLANEOUS DOOR HARDWARE REQUIRED FOR PROPER OPERATION OR TO MEET CODE REQUIREMENTS.
3. ALL DOORS SHALL BE UNDERGUT AS REQUIRED TO ALLOW FOR PROPER CLEARANCE FOR FLOOR FINISH.
4. G.C. SHALL PROVIDE TO ARCHITECT HARDWARE SPECIFICATION AND SHOP DWGS. FOR REVIEW PRIOR TO ORDERING OR FABRICATING.
5. OWNER SHALL BE RESPONSIBLE FOR MASTER KEYING DOOR HARDWARE / LOCKSETS.
6. G.C. SHALL INSTALL DOOR SILENCERS AT ALL DOOR FRAMES.

INDICATES CARD KEY DEVICES TO ACTIVATE ELECTRIC STRIKES. CARD READER SYSTEM WILL BE PROVIDED AND INSTALLED BY TENANT VENDOR. G.C. SHALL INSTALL 3/4" DIA. CONDUIT UP TO 6' ABOVE FINISHED CEILING AND 4" BOX IN PARTITION. G.C. TO COORDINATE WITH CARD READER SECURITY SYSTEM VENDOR FOR J-BOX REQUIREMENTS. CARD READER SYSTEM SHALL BE WIRED BACK TO BUILDING FIRE ALARM SYSTEM TO ALLOW FOR FAUL-SAFE OPERATION. NO EXCEPTIONS.

PER FEDERAL REGISTER, RULES AND REGULATIONS SECTION 4.19.10 DOOR CLOSERS: IF THE DOOR HAS A CLOSER, THEN THE SNEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 2 SECONDS TO MOVE TO A POINT 9" FROM THE LATCH MEASURED TO THE LEADING EDGE OF THE DOOR.

PER FEDERAL REGISTER, RULES AND REGULATIONS SECTION 4.19.11 DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:

- (1) FIRE DOORS SHALL HAVE THE MINIMUM OPEN FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
- (2) OTHER DOORS:
 - (a) EXTERIOR HINGED DOORS: 5 LBF (22.23N)
 - (b) INTERIOR HINGED DOORS: 8 LBF (35.57N)
 - (c) SLIDING OR FOLDING DOORS: 5 LBF (22.23N)

THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT MAY HOLD THE DOOR IN A CLOSED POSITION.

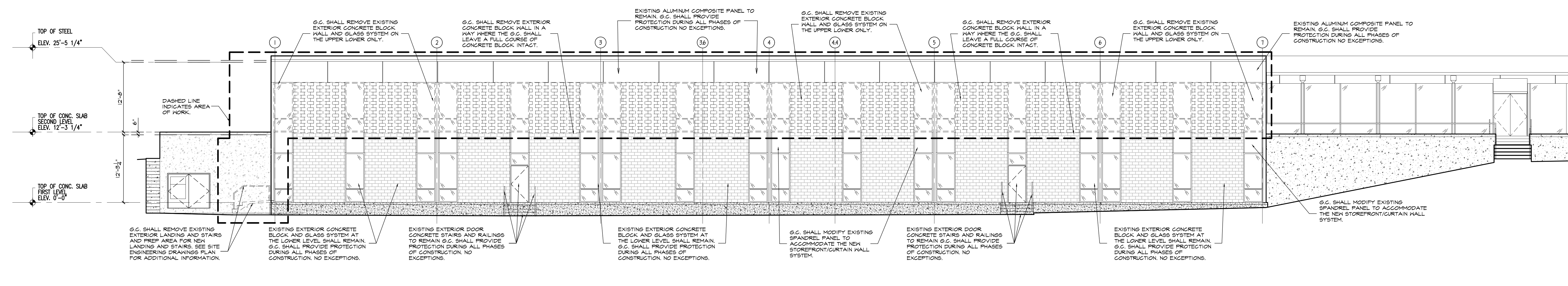
G.C. SHALL SUBMIT TO ARCHITECT (3) SAMPLES OF DOOR STAINFINISH FOR REVIEW PRIOR TO DOOR FABRICATION/ORDERING AND FINAL FINISH APPLICATION.

11. G.C. SHALL SUPPLY MASTER KEY TO TENANT TO OPERATE ALL DOORS.

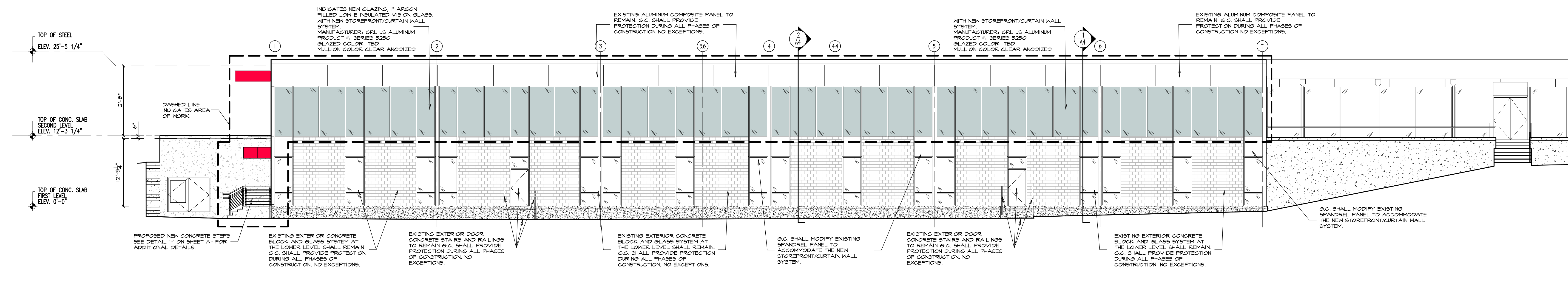
NO.	DATE	ISSUE OR REVISION
1	09/19/21	ISSUE FOR PERMANENT REVIEW

REGISTERED ARCHITECT
 STATE OF NEW YORK
 02819

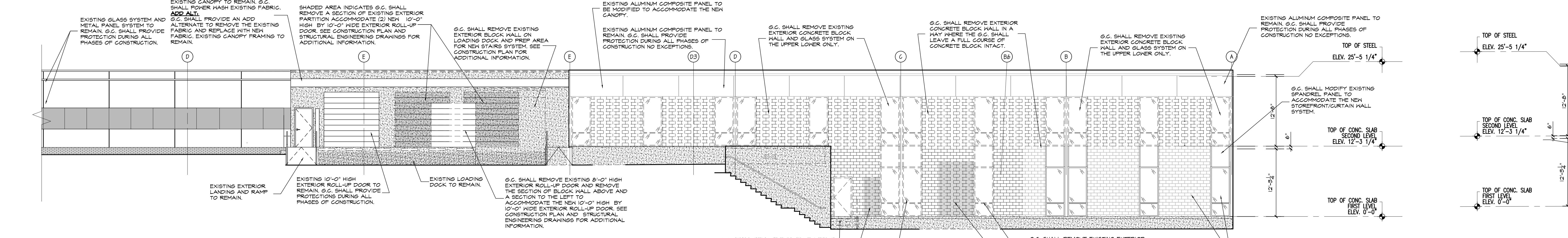
SCALE: AS NOTED
 DATE: 05/17/21
 DRAWN BY: []
 CHECKED BY: []
 PROJECT NO.: 21-000-00
 APPROVED BY: []
 DRAWING TITLE: CONSTRUCTION PLAN



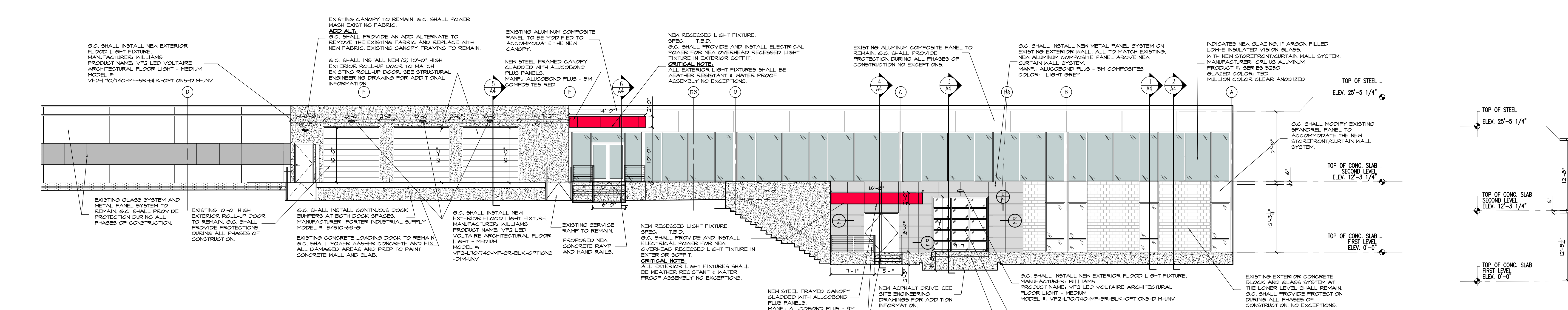
A PROPOSED DEMOLITION OF REAR ELEVATION
SCALE: 1/8"=1'-0"



B PROPOSED NEW REAR ELEVATION
SCALE: 1/8"=1'-0"

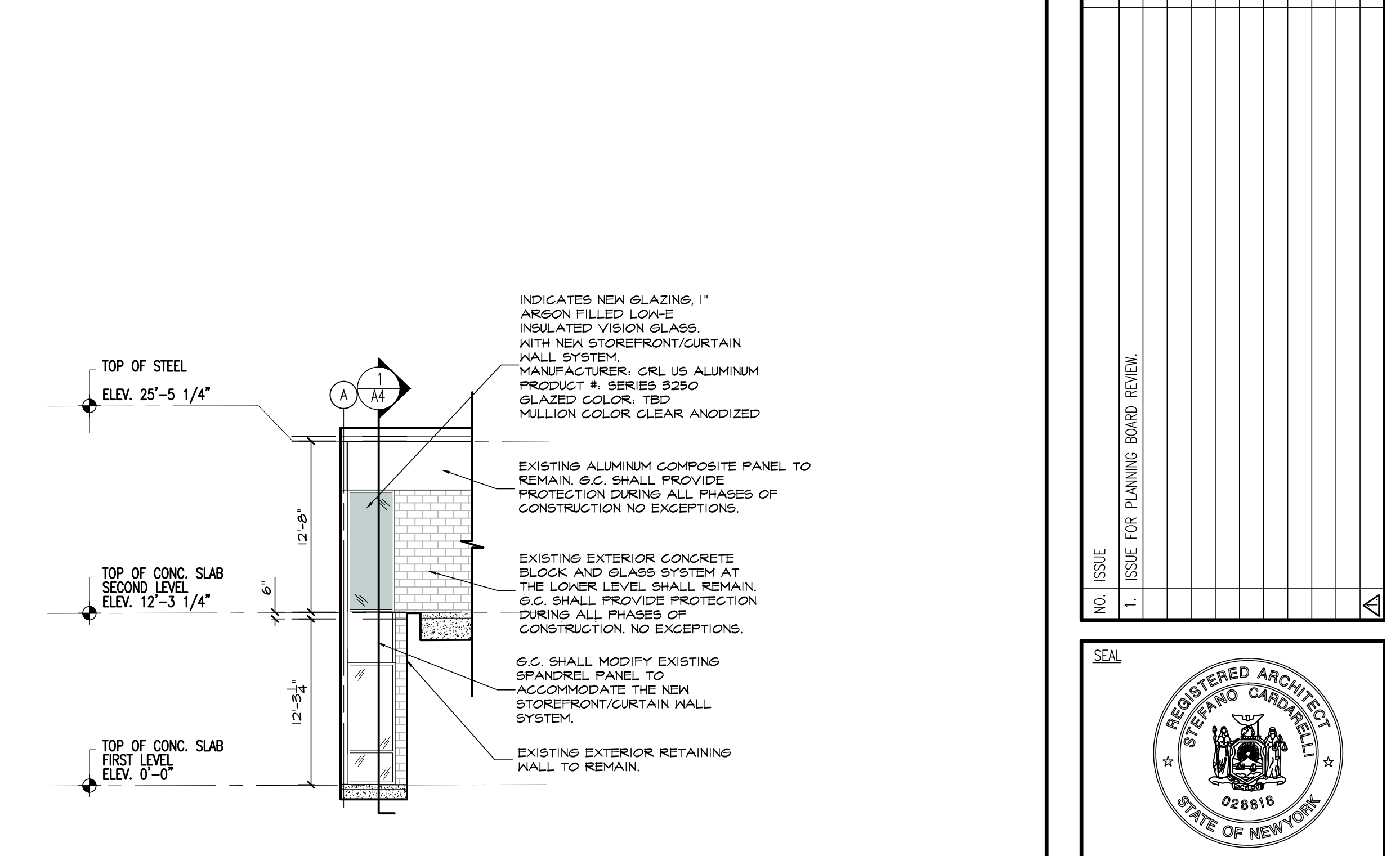


C PROPOSED DEMOLITION OF SIDE ELEVATION
SCALE: 1/8"=1'-0"



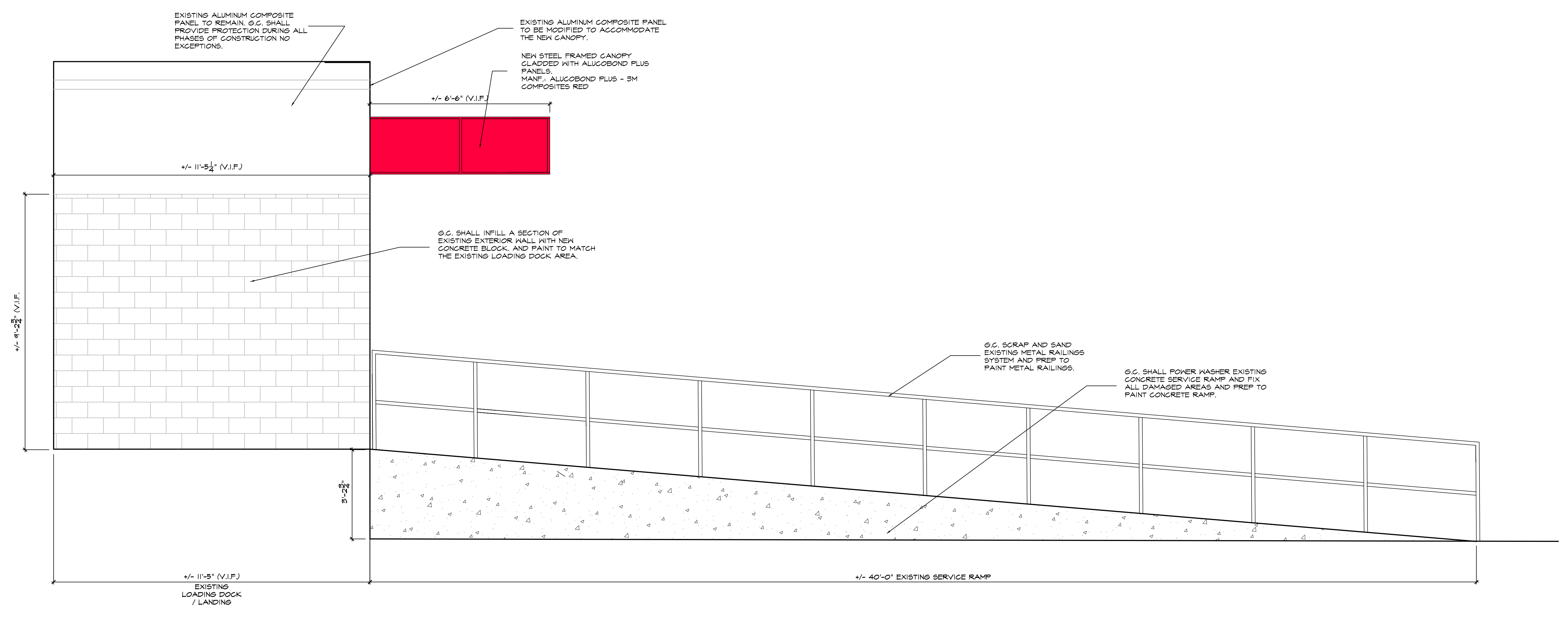
D PROPOSED PARTIAL SIDE ELEVATION
SCALE: 1/8"=1'-0"

E PROPOSED DEMOLITION OF SIDE ELEVATION
SCALE: 1/8"=1'-0"

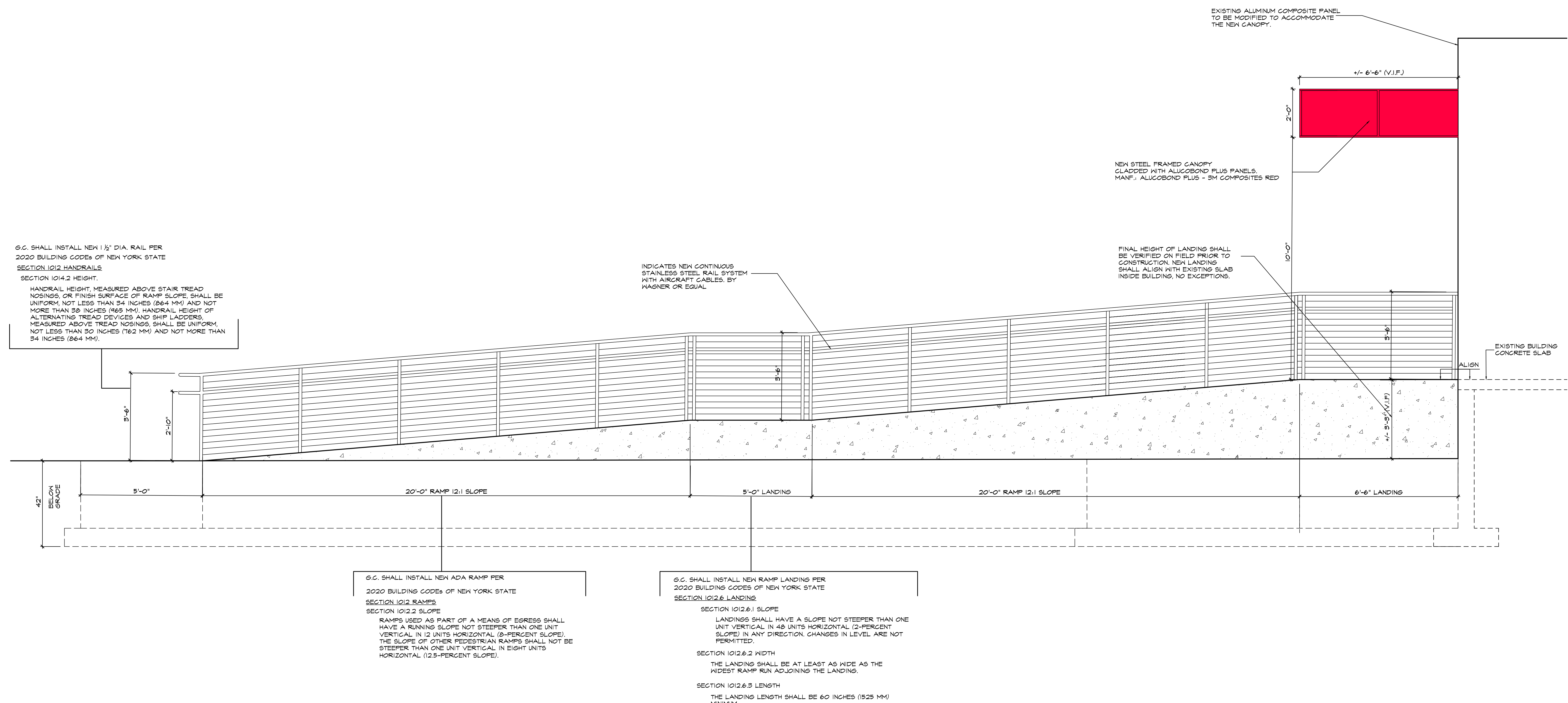


F PROPOSED PARTIAL SIDE ELEVATION
SCALE: 1/8"=1'-0"

DATE:	05/17/21
SCALE:	1" = 10'-0"
PROJECT NO.:	21-000-00
DRAWN BY:	A.M.
CHECKED BY:	
APPROVED BY:	
DRAWING TITLE:	ELEVATIONS




A PROPOSED BUILDING ENCLOSURE AND EXISTING SERVICE RAMP
SCALE: 1/2"=1'-0"



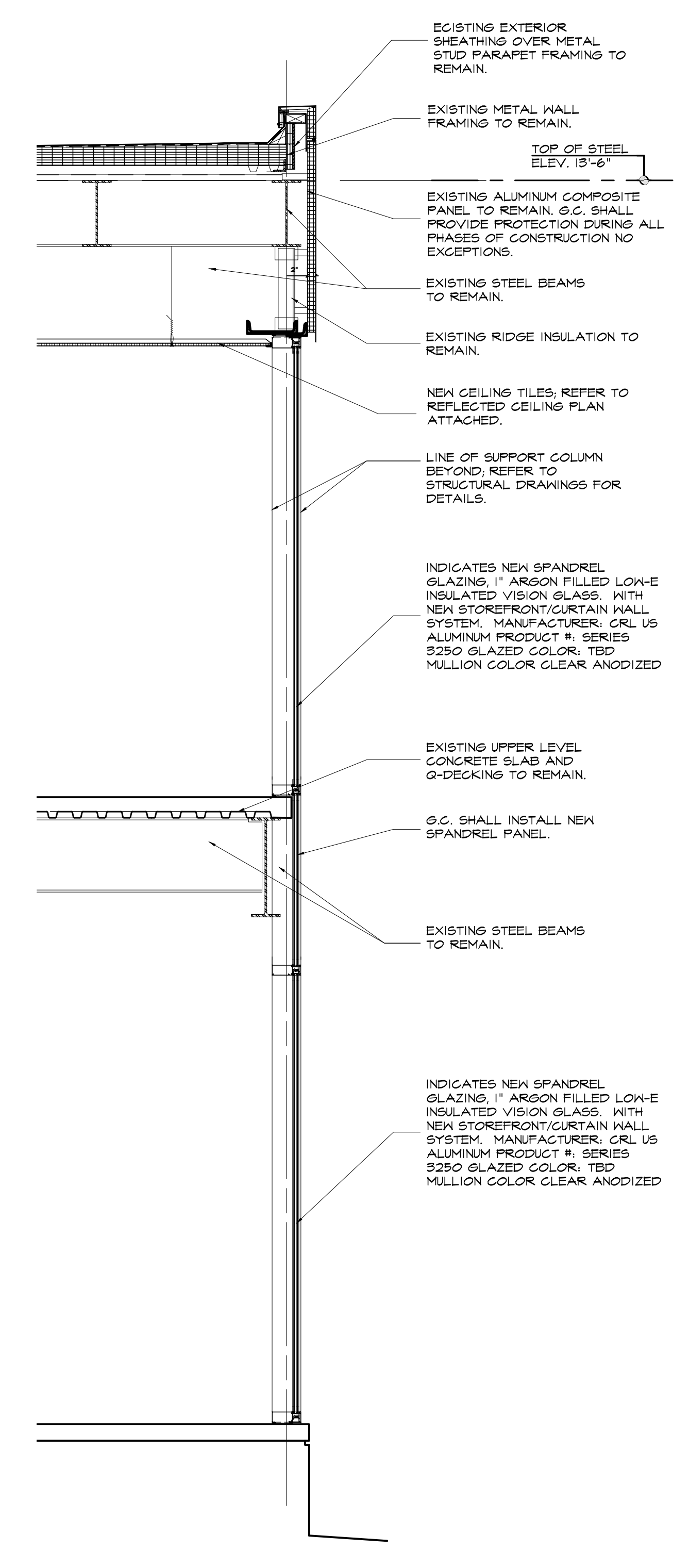
B PROPOSED ADA RAMP AND CANOPY
SCALE: 1/2"=1'-0"

NO.	DATE	ISSUE OR REVISION
1	05/17/21	ISSUE OF PLANNING BOARD REVIEW

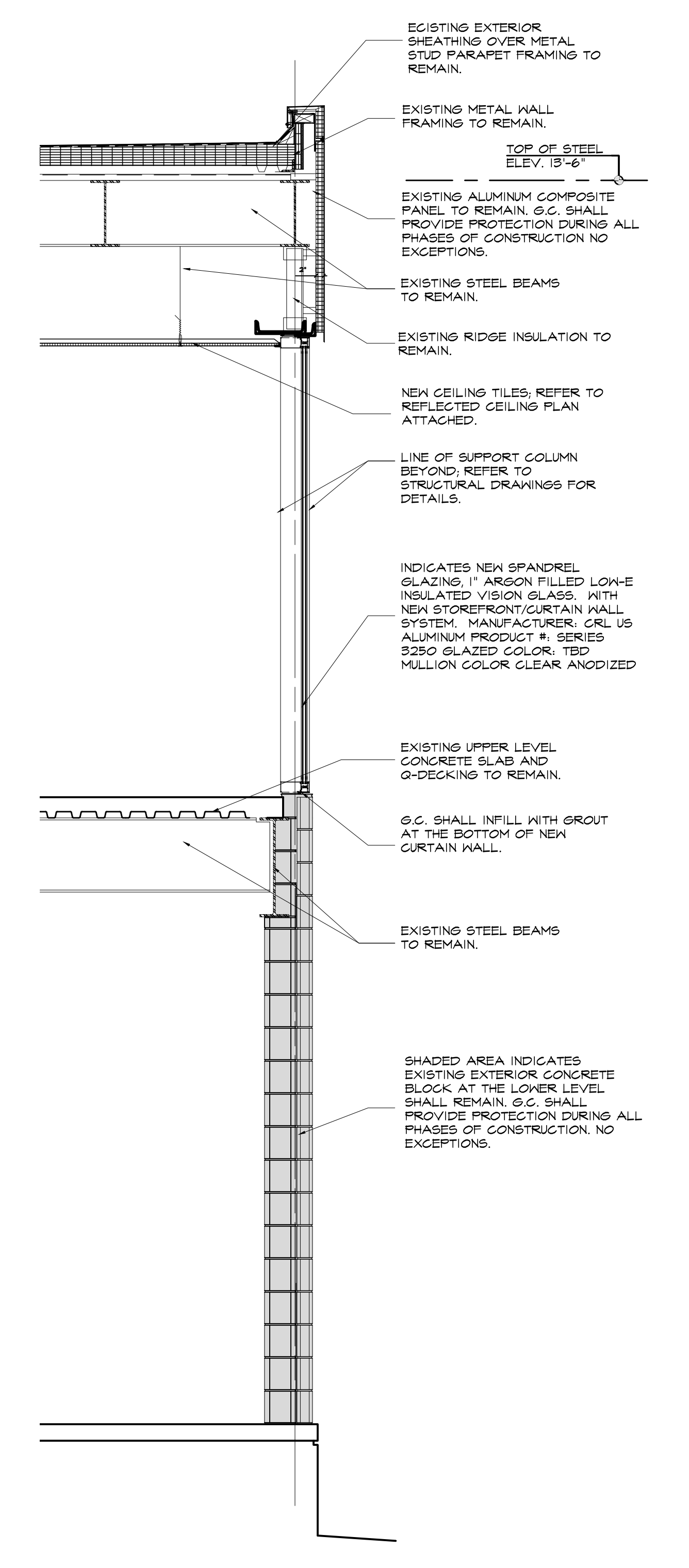
SEAL



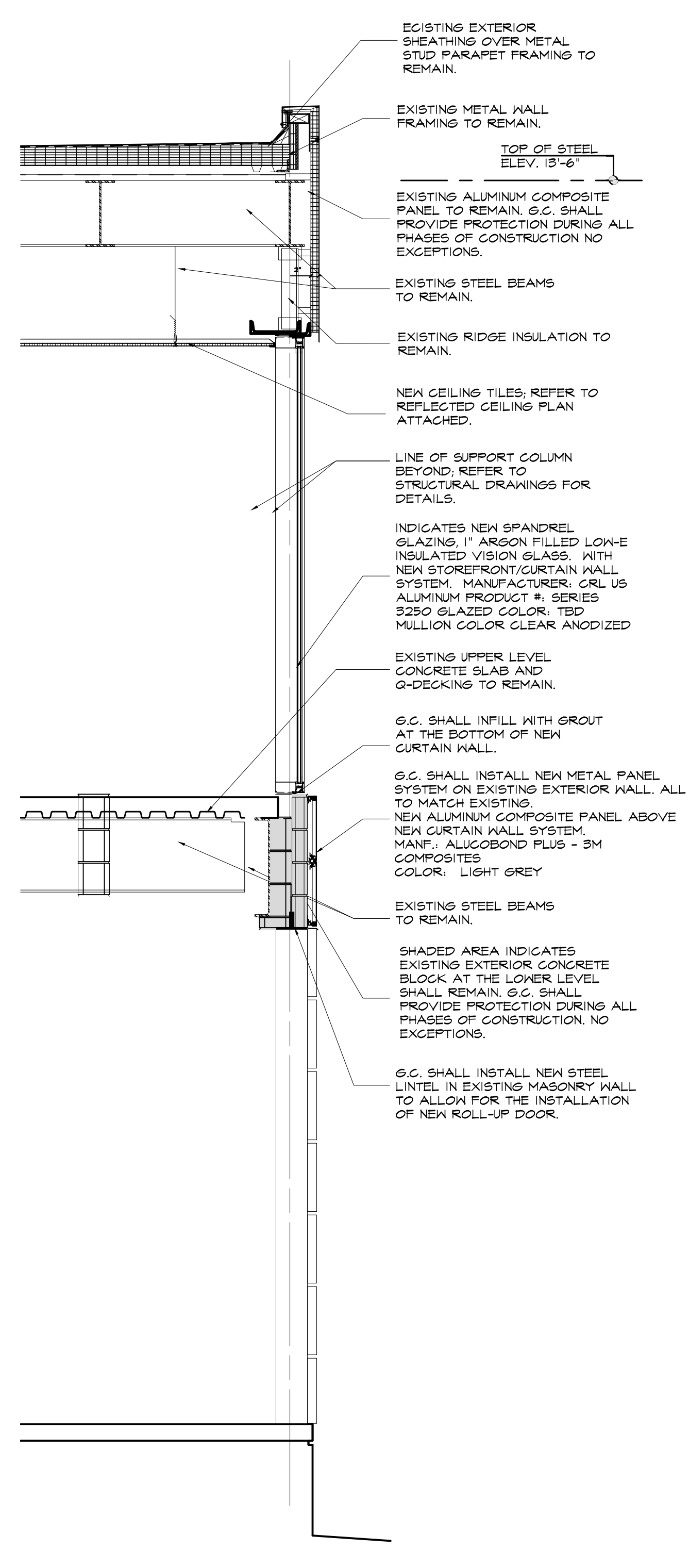
DATE: 05/17/21
PROJECT NO: 21-000-00
SCALE: AS NOTED
DRAWN BY: A.M.
CHECKED BY:
APPROVED BY:



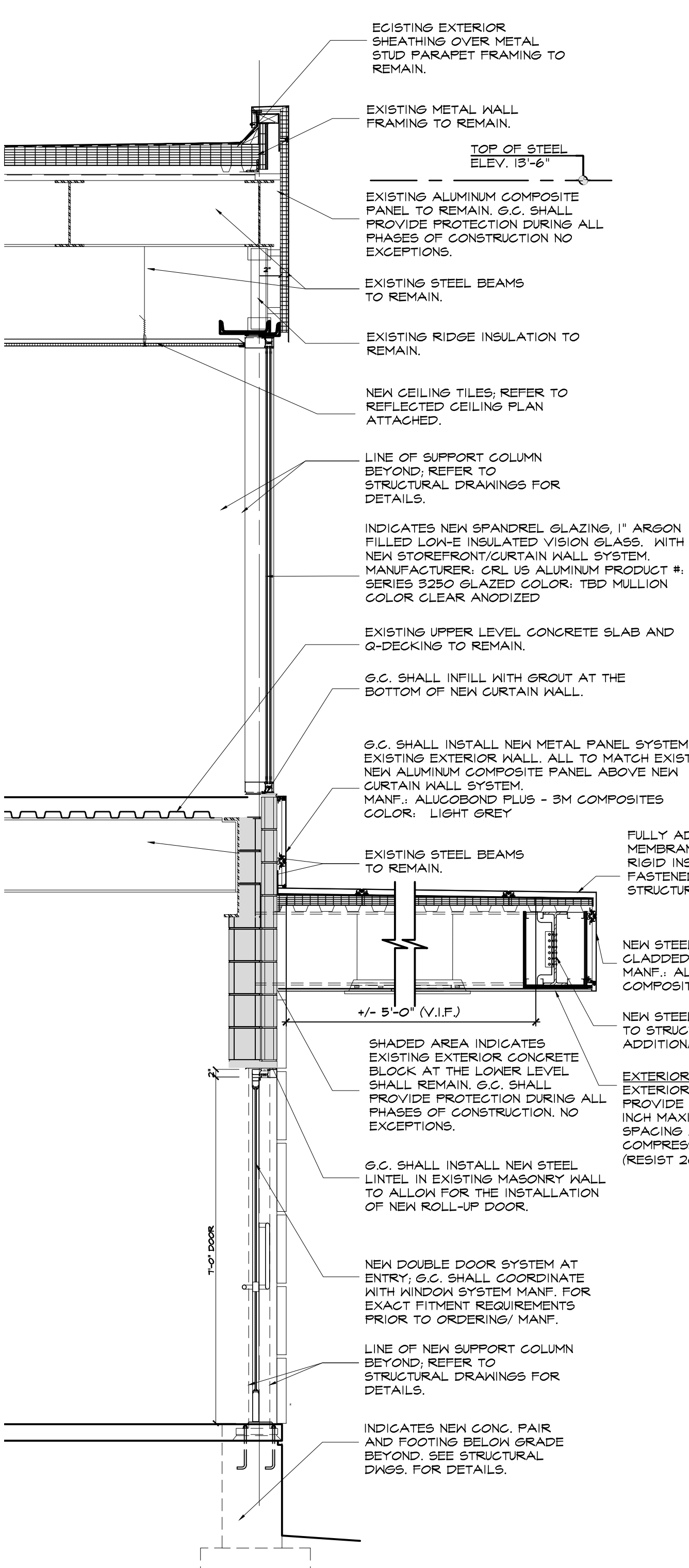
1 WALL SECTION
SCALE: 1/2" = 1'-0"



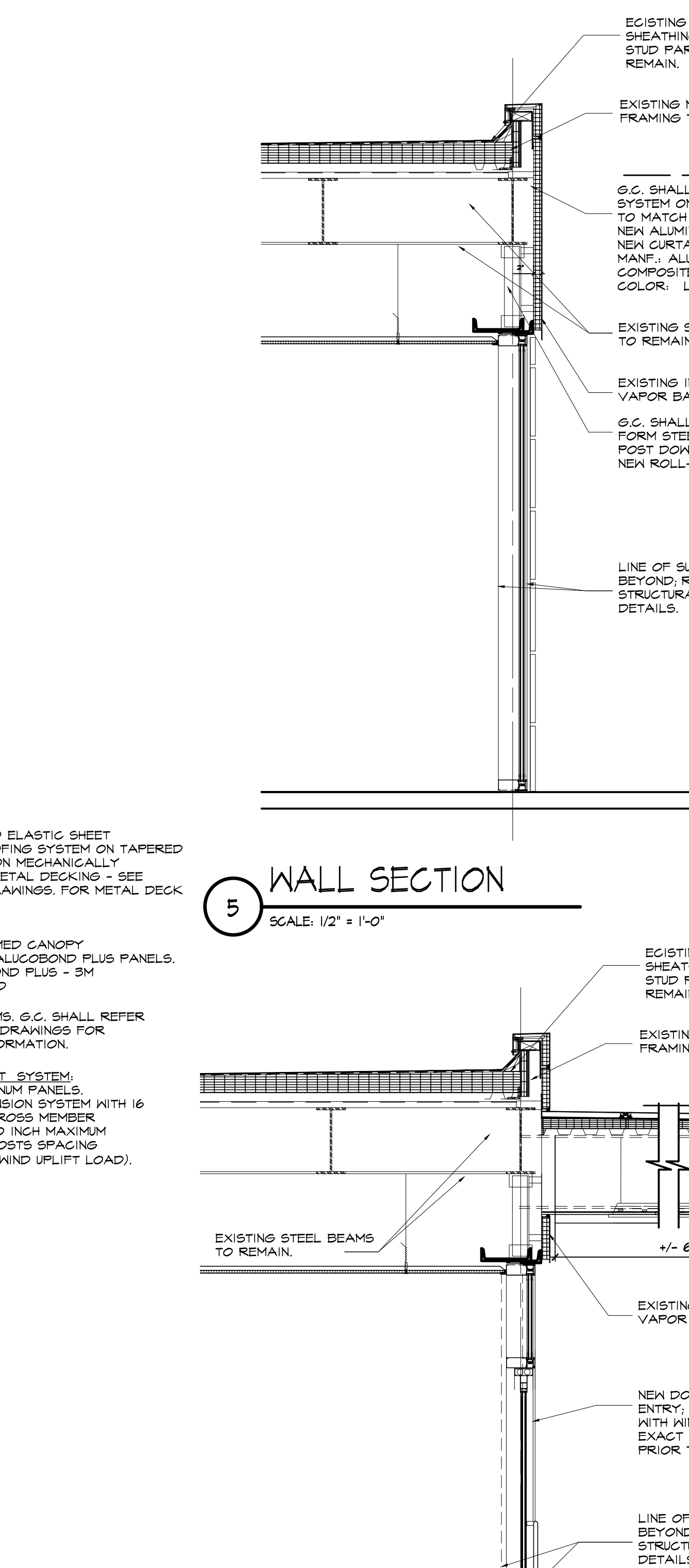
2 WALL SECTION
SCALE: 1/2" = 1'-0"



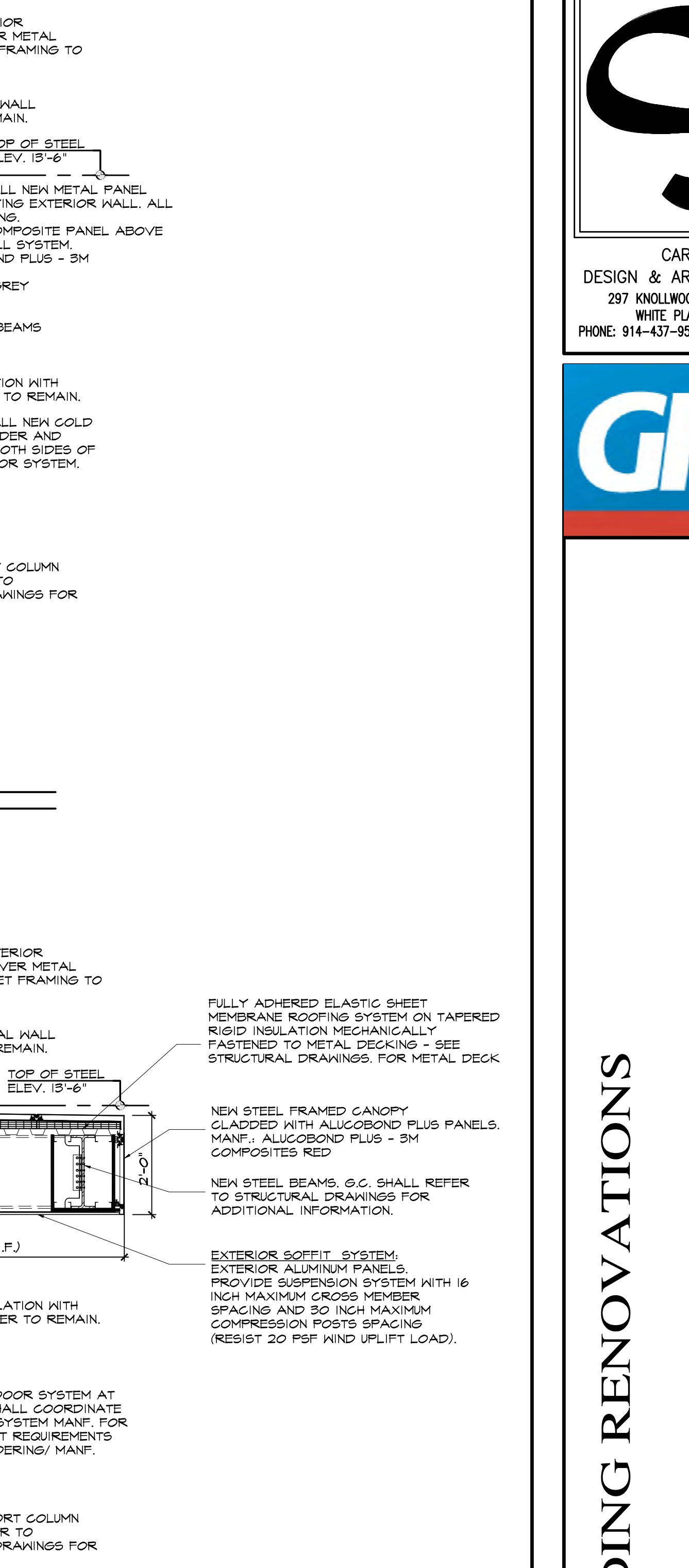
3 WALL SECTION
SCALE: 1/2" = 1'-0"



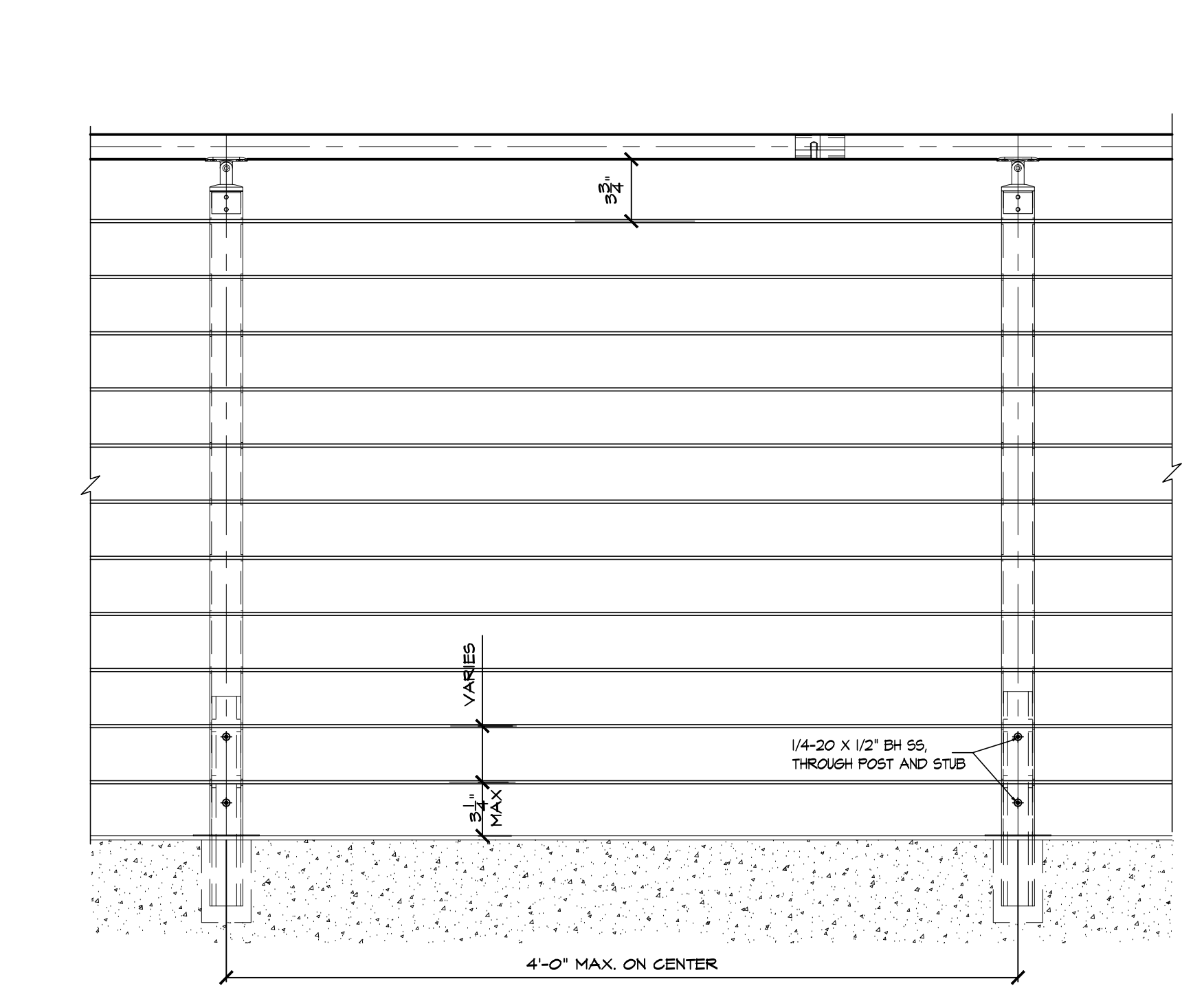
4 WALL SECTION
SCALE: 1/2" = 1'-0"



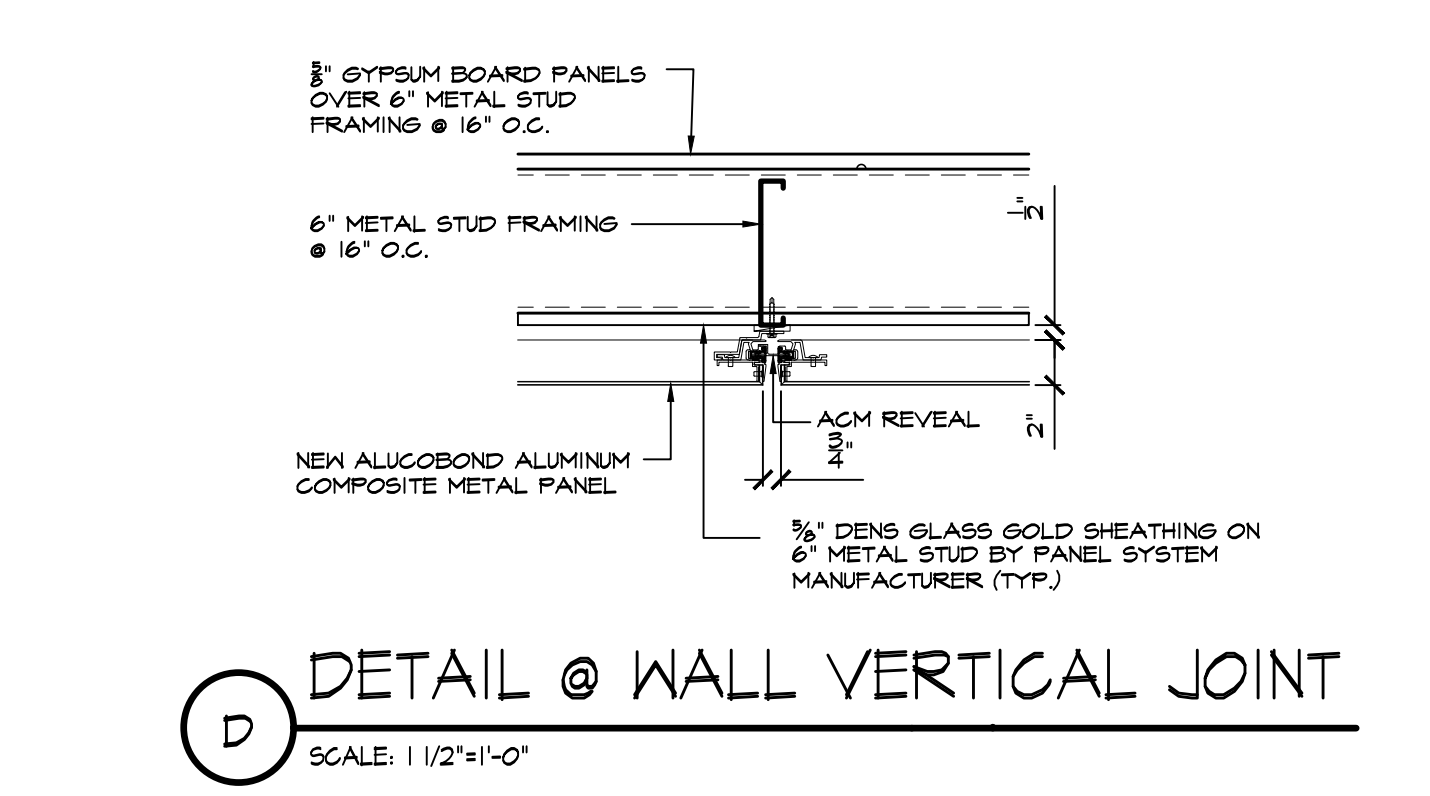
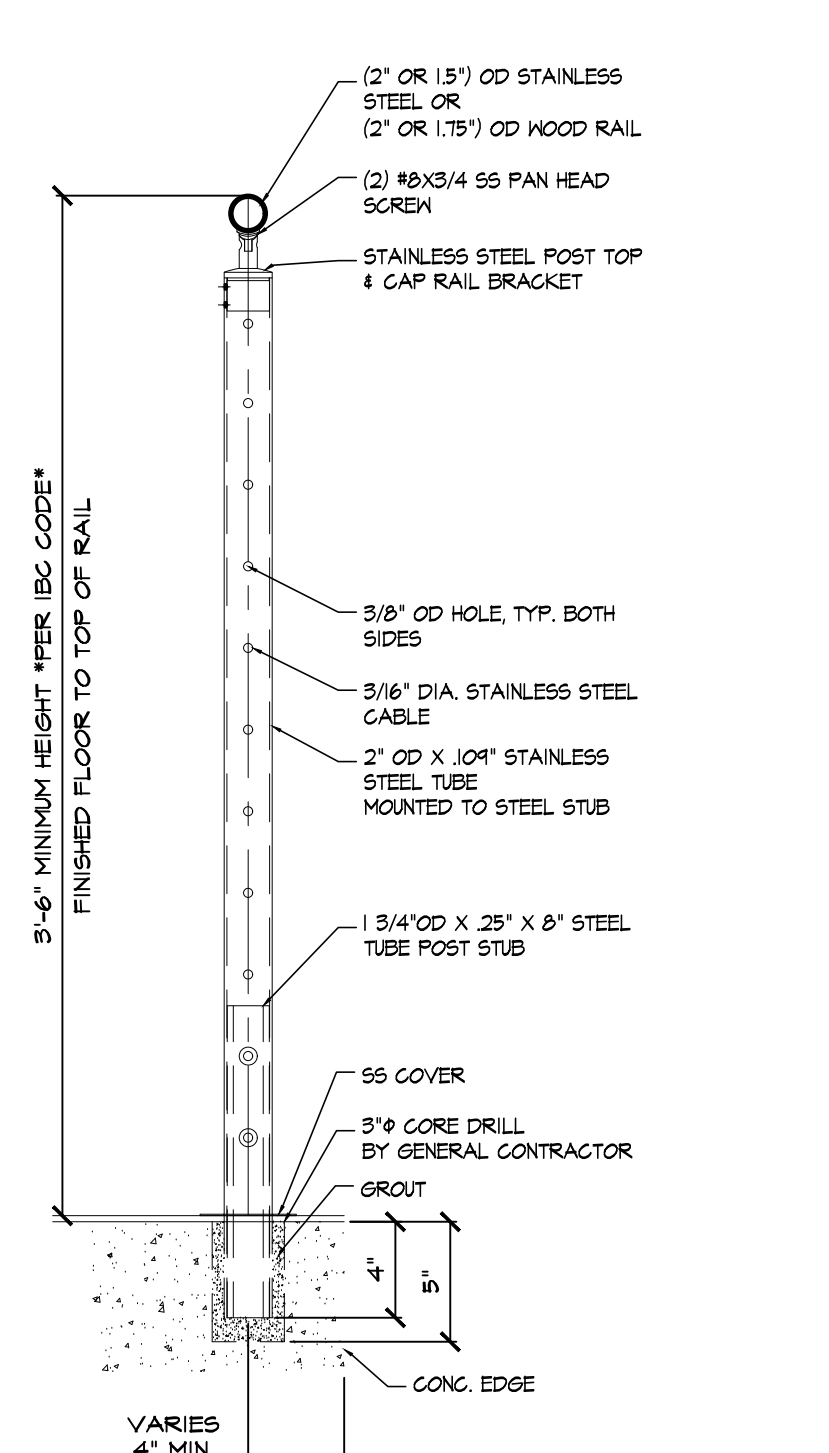
5 WALL SECTION
SCALE: 1/2" = 1'-0"



6 WALL SECTION
SCALE: 1/2" = 1'-0"

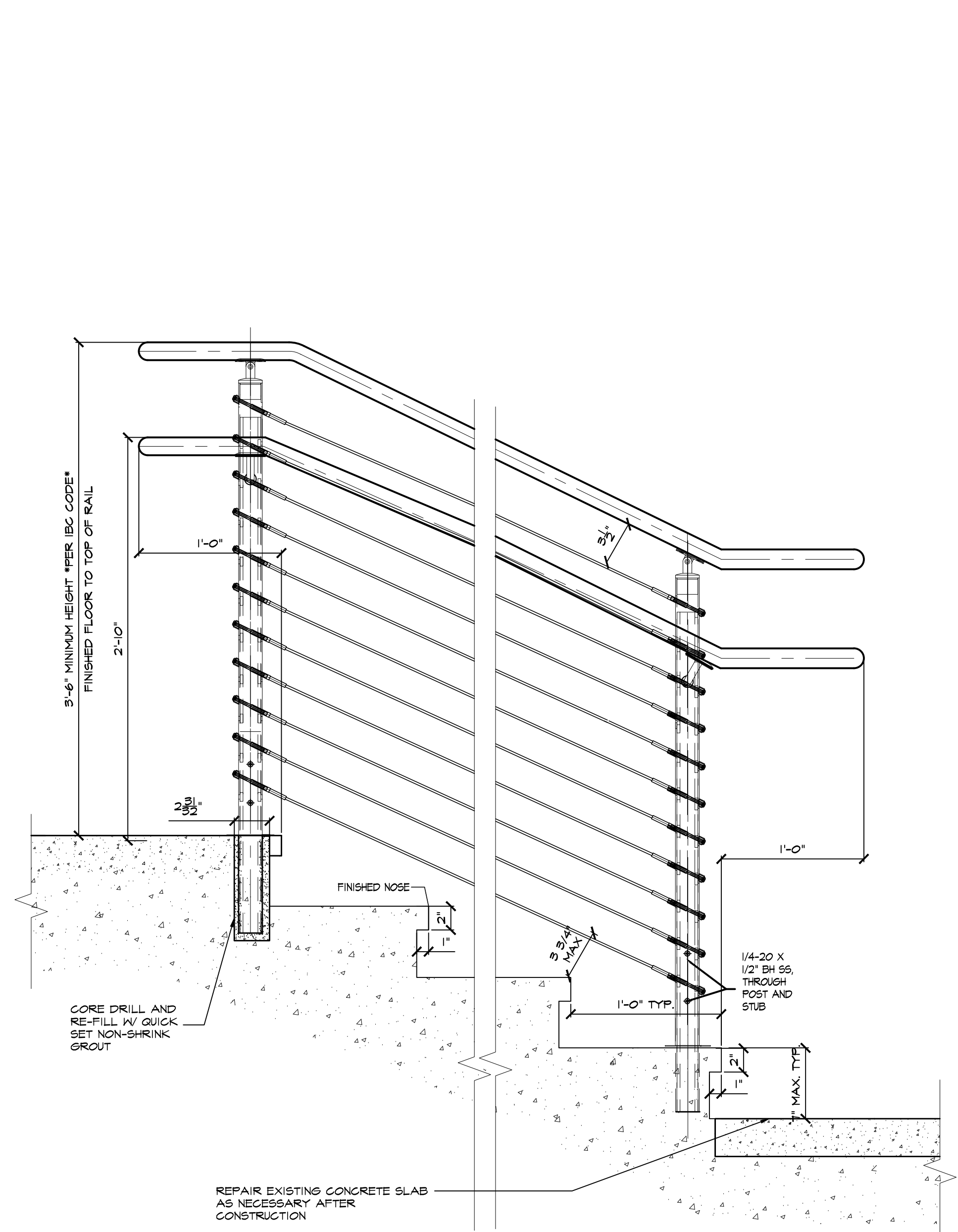


A ELEVATION @ STAIR/ RAMP RAIL - TYP
SCALE: 1/2" = 1'-0"



D DETAIL @ WALL VERTICAL JOINT
SCALE: 1/2" = 1'-0"

E DETAIL @ WALL HORIZONTAL
SCALE: 1/2" = 1'-0"



B TYP. SECTION @ STAIR TREADS
SCALE: 1/2" = 1'-0"

NO.	DATE	BY	REVISION
1	05/17/21	ISSUE FOR PERMITS	REVISION

REGISTERED ARCHITECT
STATE OF NEW YORK
02819

Envirogreen Associates

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

RECEIVED
PLANNING DEPARTMENT

JUL 12 2021

TOWN OF YORKTOWN

To: Planning Board

From: Conservation Board

Date: July 8, 2021

Re: Envirogreen Associates 1851 East Main Street

The Conservation Board at its July 7, 2021 meeting discussed Envirogreen Associates located at 1851 East Main Street with Joe Riina of Site Designs and Steve Marino of Tim Miller Associates. The Board reviewed a plan to remove invasive species and plant native species to enhance the function and viability of the existing pond. Pervious pavers will be used for the proposed additional parking abutting the wetland to the east side of the property.

The Conservation Board is in favor of this plan moving forward.

Respectfully submitted:

Phyllis Bock

For the Conservation Board

CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
Applicant

Site Design Consultants

Civil Engineers • Land Planners

June 29, 2021

Rich Fon, Chairman
Members of the Yorktown Planning Board

c/o Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

JUL 1 2021

TOWN OF YORKTOWN

Re: Envirogreen Associates, Inc.
1851 East Main Street, Mohegan Lake

Dear Chairman Fon and Members of the Planning Board:

We are in receipt of the Conservation Board Memo to the Planning Board dated April 22, 2021, and offer the following responses:

1. This is understood, the only proposed disturbance in the wetland is the rehabilitation of the existing stormwater pond in the wetland area. This pond does not meet current standards of the NYS DEC stormwater manual. It is proposed to improve the condition and function of the pond in accordance with the standards of the DEC design manual. As a result of this, all disturbed areas will be stabilized. The limits of the wetland will be marked out prior to construction.
2. No response needed.
3. Details of the stormwater management systems have been provided in another submission on the Plans and SWPPP Report.
4. Porous asphalt is included in this submission.
5. Tree plantings are proposed along the parking area. This will help reduce the thermal impacts of the parking area.
6. This is not being considered by the property owner at this time but may consider it in the future. The number of existing trees and new plantings may be a factor in the decision once established.
7. All proposed lighting is night sky compliant.

We are in receipt of the ABACA Memo to the Planning Department dated April 26, 2021, and offer the following responses:

Site Plan

1. No response needed.
2. No response needed.
3. No response needed.
4. No response needed.

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60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



5. The existing entrance allows traffic to circulate through the site more easily.
6. It should be noted that the plan maximizes the potential building that can be proposed. At this stage what is shown is conceptual and may change in size or shape in accordance with tenant(s) need at the time of construction. The future tenants may or may not be a food-service type use and may not benefit from outdoor seating. With that said, the owner is not ruling out an outdoor seating space subject to the tenants(s) that have been secured.

Landscape Plan

7. No response needed.
8. No response needed.

Architecture – Items no. 9-19 have been addressed by the Architect at the subsequent ABACA meeting.

We are in receipt of the ABACA Memo to the Planning Department dated May 10, 2021, and offer the following comments:

1. The building footprint is now symmetrical.
2. These suggestions have been included to the greatest extent possible.
 - A reverse gable is not desired by the owner as he believes the roof then becomes the more dominant feature of the building.
 - An elevation was examined increasing the dormer size and was not in balance with the spaces below. The windows were increased however, and more detail added.
 - See above.
 - This was looked at and not desirable to the owner.
 - The owner does not care for cupolas being added to the building.
 - No response required.
3. All mechanical equipment will be ground mounted behind the building.
4. This has been addressed. The signage has been moved out to the fascia and no longer at the building fence.
5. There is not enough room to increase the width of the sidewalks which are currently 5-feet and provide the area for the proposed rain gardens along the front. The rain gardens are required for the stormwater management system. In order to accommodate columns and maintain the clear 5-foot, the columns can be incorporated as a 12" x 12" extension of the sidewalk into the planting beds also pushing out the overhang 1-foot further. The base of the column could carry over the same stone facing as on the building.
6. To clarify, it will be a stone veneer not faux stone. The owner will obtain samples and submit for review.
7. A lighting plan has been submitted. The intent is that the signs will be backlit.
8. See above response.
9. No response needed.

In addition, under separate cover, we have submitted two copies of the Stormwater Management Plan, two sets of plans titled "Site Plan Prepared for Envirogreen Associates," dated 2-20-2021, Sheets 1-12 of 12; and two prints of the single sheet Mitigation Plan prepared by Tim Miller Associates dated 6-21-2021.

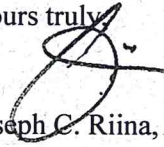


Rich Fon, Chairman
Members of the Yorktown Planning Board
June 29, 2021
Page 3 of 2

In this submission, we have included two sets of the architectural plan sheets as well as digital copies for your review.

Please advise if additional copies are required. We have included copies of the three memos for reference. We look forward to discussion of this project at the July 12th Planning Board Meeting.

Yours truly,



Joseph C. Riina, P.E.

Cc: Envirogreen Associates
Planning Department
Town Engineer
Building Department
Water Department
ABACA
Conservation Board
E. Lachterman

JCR / cm / Enc. / sdc 14-14



TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: May 10, 2021
Subject: Envirogreen
SBL: 15.16-1-30

RECEIVED
PLANNING DEPARTMENT
MAY 10 2021
TOWN OF YORKTOWN

Drawings Reviewed:

Title:	Date:	Produced By:
Architectural Plan	05-05-2021	Gene Vetrano, Architect

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject via video-conference at the Board meeting held on Tuesday, May 4, 2021. Gene Vetrano, Architect and Rick Cipriani, property owner were present. The ABACA has the following comments:

1. The Board had concerns about the lack of symmetry of the building and suggests for the recessed area of the floor plan and the large dormer be centered on the building.
2. The Board had several concerns about the mass and composition of the roof and the proposed dormers and requested for the applicant to study this further as follows:
 - o Possibly incorporate reverse gables to anchor the sides of the street facing roof.
 - o Modify the scale of the faux dormers.
 - o Modify the scale and composition of the windows on all the faux dormers.
 - o It was suggested to possibly incorporate hips to the dormers in lieu of the gabled dormers,
 - o If the design includes reverse gables and a large centered dormer or other components, perhaps the small dormers could be removed entirely.
 - o The Board suggested for the applicant to study the integration of a cupola or multiple cupolas as appropriate (*centered on the ridge, at each hip intersection or a hierarchy of scaled cupolas with one larger in the center and two smaller at the hip intersections, etc.*)
 - o The Board feels that there are many ways for the roof and its components to be composed and looks forward to seeing what the applicant develops in response to these comments and observations
3. The applicant is not interested in carving out a small rear facing flat roof to allow for mechanicals as previously recommended in order to maintain constructability and utilize a roof truss system, therefore has highlighted several possible site locations adjacent to the rear of the building to locate equipment to be determined.
The Board has no objections to this, but requested for this equipment to be appropriately screened with landscaping, a fence or a combination of the two.
4. The Board was concerned that the sign band may be too small like some of the adjacent buildings. The sign band as shown is 36" tall and proposes signs with 24" high letter, which seems to be acceptable.
5. The Board is concerned that the walkway in front of the storefronts is not wide enough to allow passage when storefront doors are opened, therefore encourages the applicant to increase the width of this walkway as required and feels that the planting bed is important and should remain. The applicant is proposing to extend the overhang to cover the walkway but the Board is concerned that if the overhang is too deep, it will make view of the signage difficult when in shade.

Upon further discussion, the Board feels that due to the challenges with the walkway depth and sign bands, that the sign band should be pulled out to the face of the overhang and for real columns to be incorporated to create a covered walkway with masonry planters or plant beds in between. This would allow for greater sign visibility, greater flexibility for the storefront layout, and protection for pedestrians from the elements and from vehicles.

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Envirogreen
May 10, 2021
Page 2

6. The applicant stated that at the suggestion of the ABACA, the base wall is now proposed to be faux stone in the color of gray. While the Board appreciates the integration of this additional material, it wants to make sure that materials and details are authentically used and incorporated.

The Board likes the general direction of the building materials and requests for the applicant to submit a material board with samples and color palette for review when determined.

7. The Board looks forward to seeing a site lighting plan with lighting levels and lighting specifications when developed. Lighting fixture selections for the site should be drawn from adjacent sites if possible and be related to lighting selections for the building.
8. The Board still feels that this building has the potential to be significant in the Mohegan Lake area and feels that outdoor seating could contribute to the buildings viability and prominence, especially if the building contains a restaurant tenant.
9. The applicant mentioned that the building will likely be tailored to coordinate with actual tenants to be determined prior to construction and will present building updates to the Board accordingly.

The Board does not object to a site plan approval for this project.

Christopher Taormina
Christopher Taormina, RA
Chairman

/nc
cc: Applicant

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board

From: Conservation Board

Date: April 22, 2021

Re: Envirogreen Associates 1851 East Main Street

The Conservation Board, at its April 21st 2021 meeting discussed Envirogreen Associates located at 1851 East Main Street with Joe Riina of Site Designs, Steve Marino of Tim Miller Associates and Frank Giuliano . The Conservation Board has the following comments:

The Board usually requests any development either be out of or minimize the intrusion into the wetland buffer. The Board understands the previous development was in the wetland buffer with disturbance up to the wetland boundary. This development is in the wetland buffer and extends up to the flagged wetland. Applicant should use extra care not to disturb the wetland when construction begins, especially when constructing the walls shown on the plan. To ensure no intrusion into the wetland during construction, the Applicant should clearly mark the wetland boundary prior to construction.

The Board is appreciative of the mitigation plans to enhance this productive wetland by removing invasive species and planting the edge with native species.

Applicant did not show the Stormwater management details. Board request review of the Stormwater management details to ensure no additional pollutants are discharged into the wetland.

The Board encourages the use of permeable pavement if soil borings allow for all paved area.

The Board recommends adding Planting Island for trees in the large parking lot in the rear to reduce the heat island effect.

The Board encourages the use of solar panels over the large parking area in the rear.

The Board recommends all light should be led and night sky compliant fixtures.

Respectfully submitted:

Diane Dreier

For the Conservation Board

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: April 26, 2021
Subject: Envirogreen
SBL: 15.16-1-30

Drawings Reviewed:

Title:	Drawing No.:	Date:	Produced By:
Landscape Plan	Sheet 5	11/6/2017	Frank Giuliano, Landscape Architect
Mitigation Plan	Sheet 1	11/6/2017	Site Design Consultants
Plan Set			Site Design Consultants

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject via video-conference at the Board meeting held on Tuesday, April 20, 2021. Joseph Riina, P.E. of Site Design Consultants and Frank Giuliano, Landscape Architect were present. The ABACA has the following comments:

Site Plan

1. The Site Plan has been developed to reflect the wetlands limits and enhanced restoration area.
2. The parking on the site is for the existing building and expanded for the new structure and as shown assumes the significant parking load required for a restaurant use. The portion of the site toward the rear that is planned for this excess parking will not be developed unless there is a restaurant.
3. The Board likes that the new site work connects the existing site to the northeast and that it allows vehicles to exit toward Lakeland Street as an alternate to exiting directly out onto Route 6.
4. One of the existing buildings on site will be removed and two existing curb cuts to the roadway are being eliminated allowing for two main entrances to the site. The Board likes the simplicity of the parking layout of the site as proposed.
5. The Board is concerned with the existing site entrance adjacent to the existing one story building that is to remain since it is awkward and wonders if there is a way it can be improved.
6. The site plan provides few opportunities for outdoor dining or gathering. The Board feels that the plan would be greatly improved by this, and would be more attractive to restaurants who benefit from the expanded seating.

Landscape Plan

7. The applicant's Landscape Architect said that the site is fully planted and the Board feels that the planting plan is generally acceptable.
8. The Board appreciates that plantings will be irrigated using a drip system, which will aid in planting viability and limit water usage. The Board also appreciates that rainwater harvesting will be utilized on this site.

Architecture

9. The Board feels that the site plan could be significantly improved if the building footprint is altered to incorporate some gathering/public space option particularly if a restaurant tenant is being considered. The existing covered entrance area on the site was discussed as a public area but does not really lend itself to this. The addition of an outdoor terrace area for outdoor opened air seating or a sitting area with landscaping could really enhance the building, site and greater area. Perhaps there is also an opportunity to add another public area between the roadway and the existing building at the south side of the site, if the site entrance is altered and improved as suggested above.
10. While the building has a recessed area for the main entrance of the building, additional entrances were shown on the rendering opening directly onto the walkway. As presented there is a deep overhang shown over this walkway, but it does not seem deep enough to allow for doors opening out onto the walkway or for the incorporation of awnings. If this is the intent of the plan, the Board feels that the face of the building should be pushed back to allow for deeper or covered walkway be incorporated.
11. While this area of Mohegan Lake lacks a cohesive style and aesthetic, the Board hopes that the Architect can draw from nearby successful buildings and develop a building that attempts to unify or bridge the areas structural

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Envirogreen

April 26, 2021

Page 2 of 2

- diversity. The Board further feels that this building since it is centrally positioned within Mohegan Lake, can be prominent and help to define the aesthetic of the area.
12. The Board thought that the building as presented lacks pertinent detail to be fully understood and looks forward to seeing additional drawings, details and renderings of the building at future meetings.
 13. The Board feels that the pilasters shown on the rendering seem small and insignificant. If they remain or if they become columns, the Board suggests that they be larger and in better proportion to the building.
 14. The Board feels that the design could benefit from the incorporation of additional textures and additional materials to the palette such as stone or brick.
 15. The Board feels that the applicant should be using quality building materials and looks forward to seeing an updated rendering with color demonstrating this along with a material samples and color palette for review and approval.
 16. Some of the adjacent building have limited spaces for signage making the facades look busy and congested so the Board encourages the applicant to consider an appropriate sign band for the design of this building.
 17. The Board is always concerned about visibility of mechanicals, so would be interested in understanding how the applicant will address concealing of equipment.
 18. The building proposed has a large pitched roof with dormers, which could look nice, but the Board feels that the applicant could develop a building that contains a pitched mansard with adequate architectural detailing while maintaining a flat roof beyond to house and conceal mechanicals and solar panels. Incorporation of solar panels on flat roofs of new buildings would be consistent with the Town's green building initiatives.
 19. The Board looks forward to seeing a site lighting plan with lighting levels and lighting specifications when developed. Lighting fixture selections for the site should be drawn from adjacent sites if possible and be related to lighting selections for the building.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

cc: Applicant

Site Design Consultants

Civil Engineers • Land Planners

June 29, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT
JUN 30 2021
TOWN OF YORKTOWN

Re: Envirogreen Associates, Inc.
1851 East Main Street, Mohegan Lake

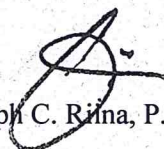
Dear Robyn:

Enclosed please find the following items for distribution and review of the above referenced project:

- Town of Yorktown Site Plan Application;
- Full EAF;
- Two copies of the "Stormwater Management Plan Prepared for Envirogreen Associates," 1851 Main Street, Mohegan Lake, dated June 2021;
- Two sets of plans titled "Site Plan Prepared for Envirogreen Associates," dated 2-20-2021, Sheets 1-12 of 12;
- Two prints of the single sheet Mitigation Plan prepared by Tim Miller Associates dated 6-21-2021.

In addition, we are forwarding a digital copy for your use. Please place this project on the Planning Board Agenda for July 12 and advise if you need additional information. Thank you.

Yours Truly,


Joseph C. Rina, P.E.

Cc: Envirogreen Associates
Town Engineer
Building Department
Water Department
ABACA
Conservation Board
E. Lachterman

/cm /Enc./ sdc 14-14

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



TOWN OF YORKTOWN PLANNING BOARD

RECEIVED
PLANNING DEPARTMENT

JUN 30 2021

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York, 10598, Phone (914) 962-6562, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

TOWN OF YORKTOWN

Date June 18, 2021

1. Name of Project: Envirogreen Associates Inc.

2. Tax Map Designation (Section, Block, Lot) Section 15.16 Block 1 Lot 30

3. Zone: C-3 and R-120 Total Acreage: 6.902

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

It is proposed to re-develop the referenced property removing 2 existing buildings and parking area, and construct a new 13,278 SF retail building with associated parking, and through road connection to adjoining properties.

6. Contact Person - CHOOSE ONLY ONE:

Applicant Owner Architect Wetland Scientist
 Attorney Engineer Surveyor Landscape Architect

7. Applicant

Name Richard Cipriani
Firm Envirogreen Associates, Inc.
Address 11 Hageman Court, Katonah, NY 10536
Phone 914-469-8706
Fax _____
Email rcipriani@optonline.com

8. Owner of Record

Name Same as Applicant
Firm _____
Address _____
Phone _____
Fax _____
Email _____

9. Attorney

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

10. Engineer

Name Joseph C. Riina, P.E.
Firm Site Design Consultants
Address 251-F Underhill Avenue, Yorktown Heights, NY 10598
Phone 914-962-4488
Fax 914-962-7386
Email jriina@sitedesignconsultants.com
Lic. No. 64431

11. Surveyor

Name Erik J. Link
Firm Link Land Surveyors P.C.
Address 21 Clark Place, Suite 1B, Mahopac, NY 10541
Phone 845-628-5857
Fax 845-621-0013
Email elink@linklandsurveyors.com
Lic. No. 050542

12. Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name Steve Marino
Firm Tim Miller Associates Inc.
Address 10 North Street, Cold Spring, NY 10515
Phone 845-265-4400
Fax 845-265-4418
Email smarino@timmillerassociates.com

14. Landscape Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No
16. Is this project within 500 feet of the Putnam County line? Yes No
17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

- The right-of-way of any existing or proposed state or county road? Yes No
The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No
The boundary of state or county-owned land on which a public building/institution is located? Yes No
An existing or proposed county drainage line? Yes No
The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit
 Stormwater Permit
 Tree Permit
 Planning Board special permit: _____
 Town Board variance or approval: _____
 Zoning Board of Appeals variance or special permit: Setback variance

21. This project requires the following permits or approvals from other outside agencies:

Westchester County Board of Health

NYC DEP

NYS DEC

Other: NYS DOT

22. This parcel is in the following districts:

School District	<u>Lakeland</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Lake Mohegan</u>	Sewer District	<u>WC Sanitary Sewer</u>


A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

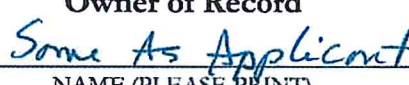
The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

Applicant

 Richard Cipriani
 NAME (PLEASE PRINT)

 SIGNATURE

 6.30.2021
 DATE

Owner of Record

 Same As Applicant
 NAME (PLEASE PRINT)

 SIGNATURE

 DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Rick Cipriani, being duly sworn, deposes and says that he resides at 11 Hageman Court, Katonah in the County of Westchester and State of New York. That he is the President of Envision Associates, the corporation which is owner in fee of the property described in the foregoing application for Site Plan Approval and that the statements contained therein are true to the best of his knowledge and belief.

Rick P. Cipriani

Sworn before me this 1st date of July, 2021

Catherine M. Mills
Notary Public

CATHERINE M. MILLS
Notary Public, State of New York
No. 5002516
Qualified in Westchester County
Commission Expires 10-5-2022

AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the agent named in the foregoing application for _____ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20 __

Notary Public

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Last updated: December 2011

**Full Environmental Assessment Form
Part 1 - Project and Setting**

RECEIVED
PLANNING DEPARTMENT

JUN 30 2021

Instructions for Completing Part 1

TOWN OF YORKTOWN

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: 1851 E Main St		
Project Location (describe, and attach a general location map): The project is located near the intersection of East Main street (US RT. 6) and Lakeland Street, on the north side of East Main Street.		
Brief Description of Proposed Action (include purpose or need): It is proposed to construct a 1 story commercial buildings with a total of 16,000 sf of space. In order to construct the project two existing structures will be removed. The parking area will be reconstructed to accommodate 135 parking spaces. Some of the square footage may be dedicated to a restaurant and the remainder will be retail space. The site will have access through east main street and a new proposed driveway will be replacing two existing driveways and curb cuts, as well as connection to the parking lot in the adjacent lot. This will allow for access to Lakeland Street. Project will have landscape features as well as pedestrian connection and outdoor public space.		
Name of Applicant/Sponsor: Site Design Consultants	Telephone: 914 962 4488	E-Mail: jriina@siedesignconsultants.com
Address: 251-F Underhill Avenue		
City/PO: Yorktown Heights	State: New York	Zip Code: 10598
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board Site Plan Approval, Stormwater and wetland permits	
c. City Council, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Front yard zoning variance Yorktown ZBA	
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Permit, Sewer Permit	
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DEC GP-0-015-002, Freshwater Wetlands NYSDOT - Driveway access permits	
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Army Corp. of Engineers - Filling of Wetlands	
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		

C. Planning and Zoning

C.1. Planning and zoning actions.	
<p>Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
<p>a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, identify the plan(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, identify the plan(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	

C.3. Zoning

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
C-3 Limited Commercial, R1-20 Residential
- b. Is the use permitted or allowed by a special or conditional use permit? Yes No
- c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

- a. In what school district is the project site located? Lakeland School District
- b. What police or other public protection forces serve the project site?
Yorktown Police Department
- c. Which fire protection and emergency medical services serve the project site?
Mohegan Fire Department
- d. What parks serve the project site?
Mohegan Highlands Park

D. Project Details

D.1. Proposed and Potential Development

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial
- b. a. Total acreage of the site of the proposed action? _____ 6.9 acres
b. Total acreage to be physically disturbed? _____ 2.46 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 6.9 acres
- c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 83 increase Units: _____
- d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____
- e. Will proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: _____ months
ii. If Yes:
 - Total number of phases anticipated _____ 1
 - Anticipated commencement date of phase 1 (including demolition) _____ 6 month 2022 year
 - Anticipated completion date of final phase _____ 6 month 2023 year
 - Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,
 i. Total number of structures 1
 ii. Dimensions (in feet) of largest proposed structure: 30 height; 192 width; and 71.5 length
 iii. Approximate extent of building space to be heated or cooled: 13,278 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,
 i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:
 i. What is the purpose of the excavation or dredging? To construct project infrastructures, wetland creation
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): none (all material will remain on site)
 • Over what duration of time? 2 years
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

Miscellaneous fill and organic materials _____
 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. Organic material will be stockpiled on site and use for cover material
 v. What is the total area to be dredged or excavated? 0.58 acres
 vi. What is the maximum area to be worked at any one time? < 1 acres
 vii. What would be the maximum depth of excavation or dredging? 4 to 6 feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____
 It is proposed to utilize all soil material on-site. _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): NYS DEC Freshwater Wetland A-28(2)

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
The proposed action would rehabilitate and increase an existing stormwater pond located within the wetland. This will result in approx. 0.32 acres of disturbance

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: The proposed action will require removing some organic cover material

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: 0.32 acres
- expected acreage of aquatic vegetation remaining after project completion: unknown at this time
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): The vegetation will be removed to construct the project improvements.
- proposed method of plant removal: excavation
- if chemical/herbicide treatment will be used, specify product(s): none

v. Describe any proposed reclamation/mitigation following disturbance:

An upland area at the north end of the site is proposed to be used as mitigation area for the creation of wetlands.

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: 1660 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Yorktown Consolidated Water District #1
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project:
- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If, Yes:

- Applicant/sponsor for new district:
- Date application submitted or anticipated:
- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project:

vi. If water supply will be from wells (public or private), maximum pumping capacity: gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: 1660 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Westchester County WWTP Peekskill
- Name of district: Peekskill Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

Yes No
 Yes No

Do existing sewer lines serve the project site?
 Will line extension within an existing district be necessary to serve the project?
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ 1.28 acres (impervious surface)
 _____ Square feet or _____ 6.90 acres (parcel size)
 ii. Describe types of new point sources. Newly developed impervious area and redevelopment areas.

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 Stormwater runoff will be directed to on-site stormwater management systems in compliance with local and state regulations.

 • If to surface waters, identify receiving water bodies or wetlands: _____
 Existing pond and NYS DEC Freshwater Wetland A-28(2)

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
(See Traffic Study Prepared by Maser Consulting)

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
The proposed improvements will allow for access to the adjacent lots through the parking lot. Additionally, one of the existing access drives will be relocated along rt 6.

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
The estimated annual electricity demand is estimated to be approximately 48,000 watts a year.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Local Utility- Con Edison

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7 am to 5 pm</u> • Saturday: <u>8 am to 5 pm</u> • Sunday: <u>none</u> • Holidays: <u>none</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>all day</u> • Saturday: <u>all day</u> • Sunday: <u>all day</u> • Holidays: <u>all day</u>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
 During construction building process typical construction noise due to heavy equipment, trucks, and trade labor

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n.. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Typical LED lighting, downward aim night-sky fixtures.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ 100 tons per _____ one week (unit of time)
 • Operation : _____ <1 tons per _____ week (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: C & D will be hauled off site to a mandate waste facility for recycling

 • Operation: Standard recycling of plastic, glass, metals, and paper will be practiced

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: Removed from site by a licensed hauler to waste management facility

 • Operation: removed from site by a licensed hauler to Westchester county waste management facility

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
- ii. Anticipated rate of disposal/processing:
 - _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 - _____ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____
- ii. Generally describe processes or activities involving hazardous wastes or constituents: _____
- iii. Specify amount to be handled or generated _____ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban Industrial Commercial Residential (suburban) Rural (non-farm)
- Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.80	1.461	+0.66
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)	5.05	5.05	- 0.00
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: Lawn	1.05	0.389	-0.661

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
The Learning Experience

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): C360103
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ > 6 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Ridgebury Loam	50.2 %
Urban land-Woodbridge complex	19.8 %
Woodbridge loam	15.5 %

d. What is the average depth to the water table on the project site? Average: _____ 2 feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained 100 % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name NYS Wetland _____ Approximate Size NYS Wetland (in a... _____
- Wetland No. (if regulated by DEC) A-28 _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Principal Aquifer _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Typical Suburban and forest wildlife _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input checked="" type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
Not at this location - does not include this site. ***	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

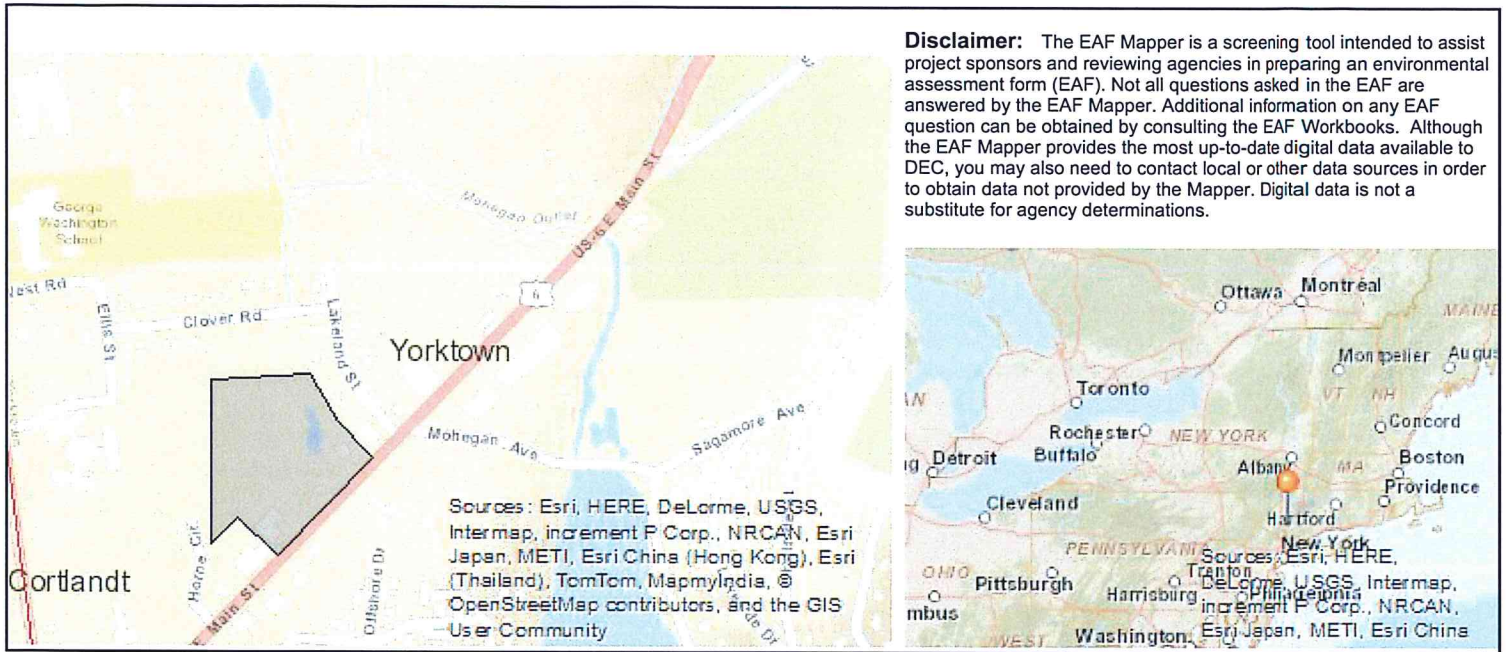
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

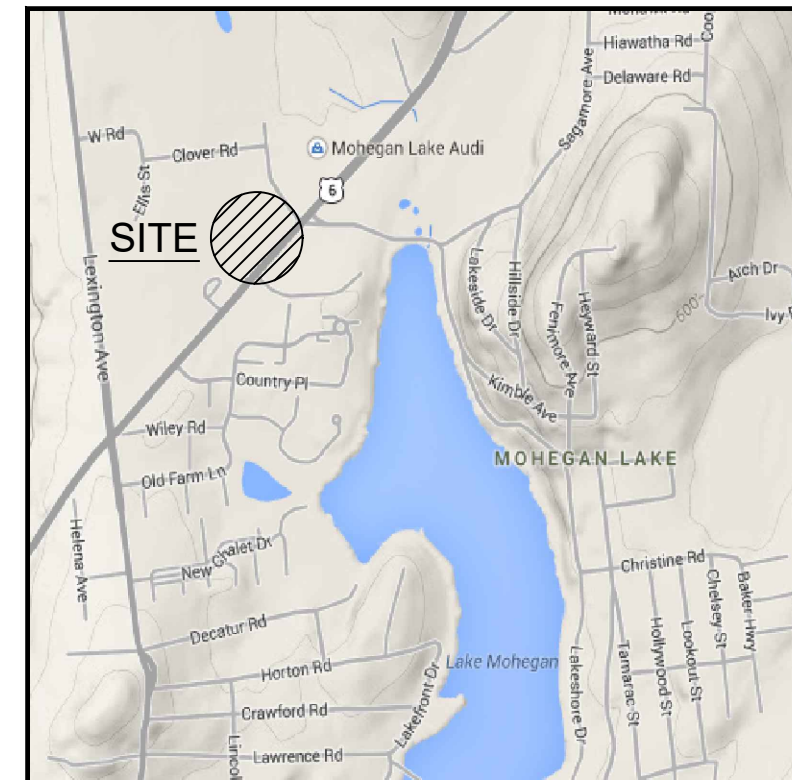
Applicant/Sponsor Name Joseph C. Riina, P.E. / Site Design Consultants Date 6/18/21

Signature _____ Title Project Engineer



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	C360103
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	NYS Wetland
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):54.7
E.2.h.iv [Surface Water Features - DEC Wetlands Number]	A-28
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No

E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.i. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



SITE DATA:

OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.
 11 HAGEMAN CT
 KATONAH, N.Y. 10536
 PROJECT LOCATION: 1851 EAST MAIN STREET
 MOHEGAN LAKE, N.Y., 10547
 EXISTING TOWN ZONING: C-3, LIMITED COMMERCIAL - R1-20 RESIDENTIAL
 PROPOSED USE: RETAIL / COMMERCIAL
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31
 SITE AREA: 8.795 ACRES (383,114.7 SF)
 SEWAGE FACILITIES: PUBLIC SEWERS
 WATER FACILITIES: PUBLIC WATER FACILITIES

WETLAND DISTURBANCE:

	EXISTING		PROPOSED		NET INCREASE		PROPOSED MITIGATION CREATED WETLAND
	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	
WETLAND	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	~ tbd SF
100' WETLAND ADJACENT AREA	61,570 SF	34,920 SF	73,228 SF	65,815 SF	11,658 SF	30,895 SF	

PARKING SCHEDULE

EXISTING BUILDING:	7,770 S.F.	
RESTAURANT PARKING	PATRON: 1,000 S.F. @ 1 SPACES/50 S.F. = 20 SPACES SERVICE: 900 S.F. @ 1 SPACES/100 S.F. = 9 SPACES 5,870 S.F. @ 4 SPACES/1000 S.F. = 24 SPACES	TOTAL REQUIRED: 53
PROPOSED BUILDING:	13,278 S.F.	
RETAIL PARKING	BUILDING #1: 13,278 S.F. @ 4 SPACES/1000 S.F. = 54 SPACES	TOTAL REQUIRED: 54
REQUIRED PARKING:		107 SPACES
PROVIDED PARKING:		102 STANDARD 5 HANDICAP
TOTAL PROVIDED PARKING:		109 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES	
PROPOSED BUILDING WITH RESTAURANT USE:	13,278 S.F.	
RESTAURANT PARKING	PATRON: 1,520 S.F. @ 1 SPACES/50 S.F. = 31 SPACES SERVICE: 480 S.F. @ 1 SPACES/100 S.F. = 5 SPACES	TOTAL REQUIRED: 135
RETAIL PARKING	BUILDING #1: 11,278 S.F. @ 4 SPACES/1000 S.F. = 45 SPACES	REQUIRED: TOTAL REQUIRED: 81

*Note: 7 parking spaces are to be shared with 1821 East Main Street.

ZONING SCHEDULE:

ZONING DISTRICT: C-3, COMMERCIAL LIMITED				
DIMENSIONAL REGULATIONS:	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	10,000 SF.	338,114 SF.	338,114 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	460 FT.	460 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	NONE	NONE	NONE
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:				
FRONT YARD SETBACK:	30 FT. W/O/PARKING 75 FT. W/PARKING	36.5 FT. 38.5 FT.	61.3 FT. 61.3 FT.	NONE 13.7'
REAR YARD SETBACK:	30 FT.	471 FT.	317.3 FT.	NONE
ONE SIDE YARD SETBACK:	NONE (1)	11.6 FT.	11.6 FT. (EXIST. BLDG)	NONE
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	50 FT.	NONE	NONE	NONE
REAR YARD SETBACK:	30 FT.	NONE	NONE	NONE
ONE SIDE YARD SETBACK:	NONE (1)	NONE	NONE	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:				
PRINCIPAL BUILDING COVERAGE:	30% OF LOT AREA	2.9 % OF LOT AREA	4.2 % OF LOT AREA	NONE
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	3 1/2	2	1	NONE
ACCESSORY BUILDING - FEET:	20 FEET	NONE	NONE	NONE
ACCESSORY BUILDING - STORIES:	2	NONE	NONE	NONE

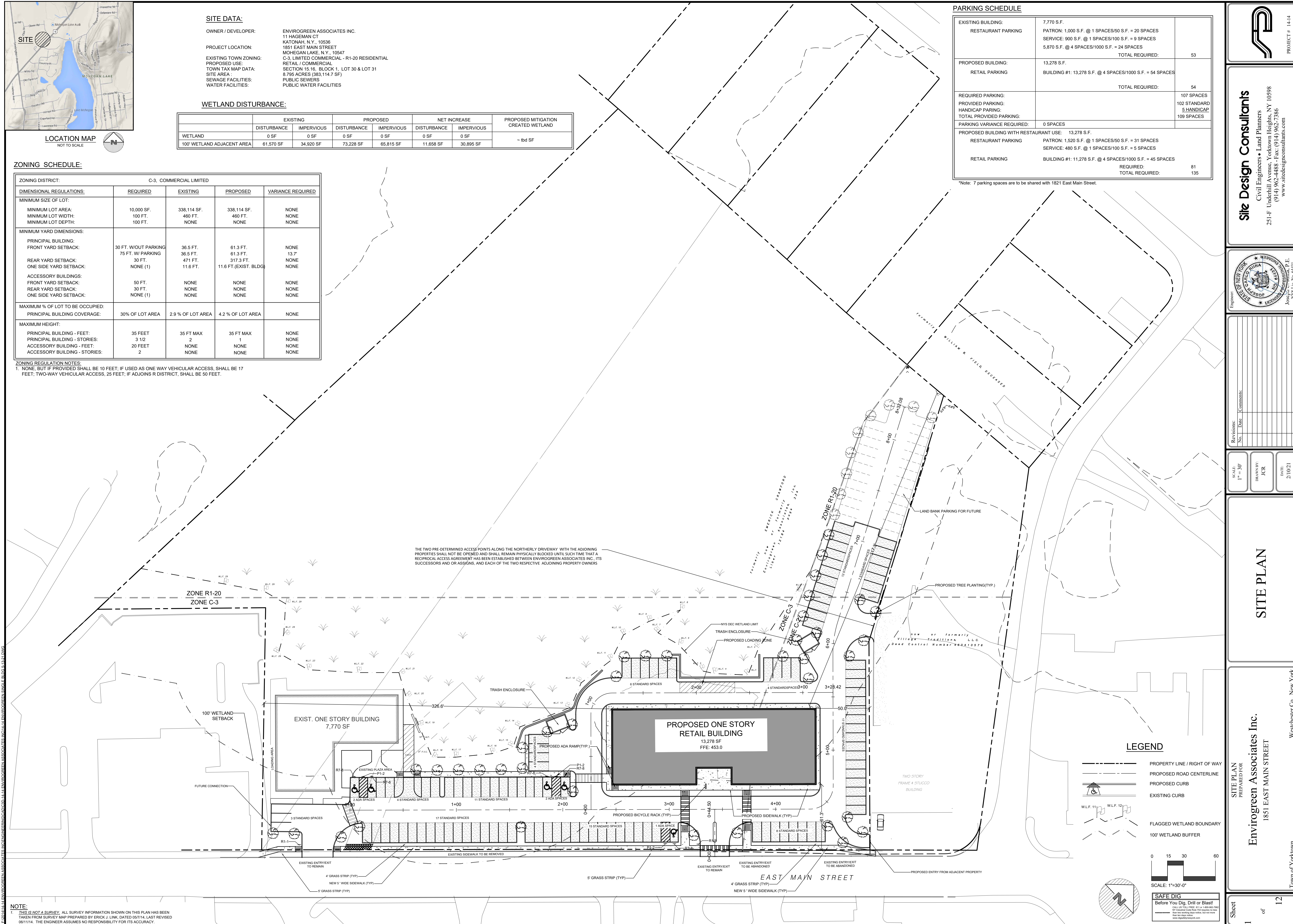
ZONING REGULATION NOTES:
 1. NONE, BUT IF PROVIDED SHALL BE 10 FEET; IF USED AS ONE WAY VEHICULAR ACCESS, SHALL BE 17 FEET; TWO-WAY VEHICULAR ACCESS, 25 FEET; IF ADJOINS R DISTRICT, SHALL BE 50 FEET.



ZONING SCHEDULE:

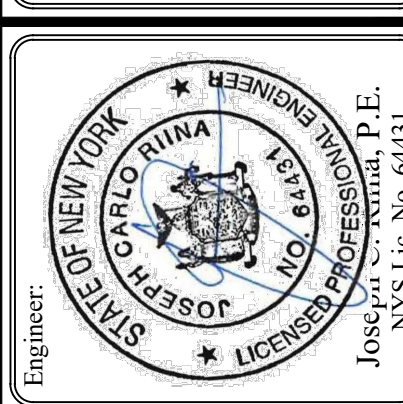
ZONING DISTRICT: C-3, COMMERCIAL LIMITED				
DIMENSIONAL REGULATIONS:	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	10,000 SF.	338,114 SF.	338,114 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	460 FT.	460 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	NONE	NONE	NONE
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:				
FRONT YARD SETBACK:	30 FT. W/O/PARKING 75 FT. W/PARKING	36.5 FT. 38.5 FT.	61.3 FT. 61.3 FT.	NONE 13.7'
REAR YARD SETBACK:	30 FT.	471 FT.	317.3 FT.	NONE
ONE SIDE YARD SETBACK:	NONE (1)	11.6 FT.	11.6 FT. (EXIST. BLDG)	NONE
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	50 FT.	NONE	NONE	NONE
REAR YARD SETBACK:	30 FT.	NONE	NONE	NONE
ONE SIDE YARD SETBACK:	NONE (1)	NONE	NONE	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:				
PRINCIPAL BUILDING COVERAGE:	30% OF LOT AREA	2.9 % OF LOT AREA	4.2 % OF LOT AREA	NONE
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	3 1/2	2	1	NONE
ACCESSORY BUILDING - FEET:	20 FEET	NONE	NONE	NONE
ACCESSORY BUILDING - STORIES:	2	NONE	NONE	NONE

ZONING REGULATION NOTES:
 1. NONE, BUT IF PROVIDED SHALL BE 10 FEET; IF USED AS ONE WAY VEHICULAR ACCESS, SHALL BE 17 FEET; TWO-WAY VEHICULAR ACCESS, 25 FEET; IF ADJOINS R DISTRICT, SHALL BE 50 FEET.



NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERICK J. LINK, DATED 05/7/14, LAST REVISED 06/11/14. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

Site Design Consultants
 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 • Fax: (914) 962-7386
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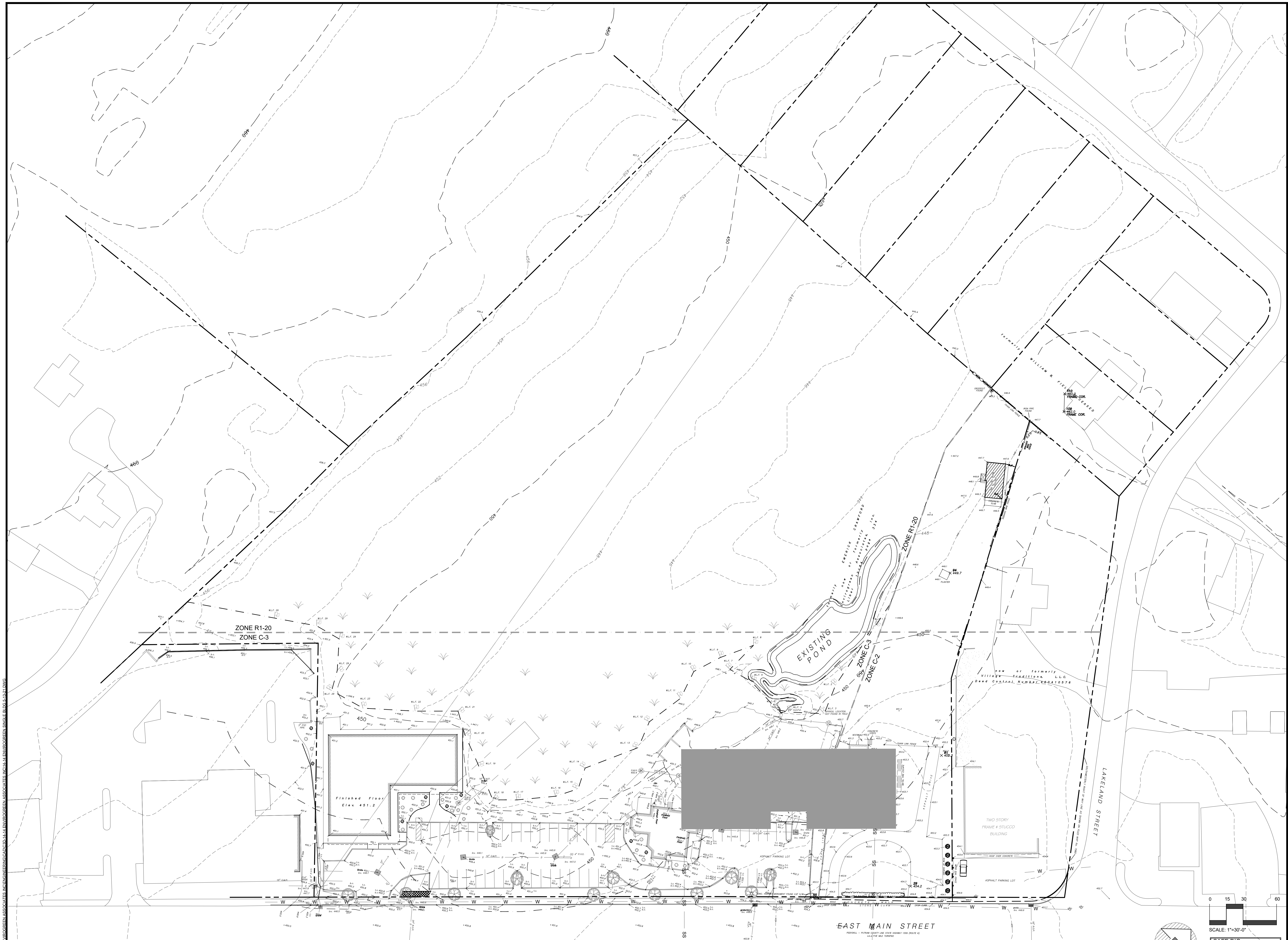


Revisions:	No.	Date	Comments:
	1		

SCALE: 1"=30'
 DRAWN BY: JCR
 DATE: 2/10/21

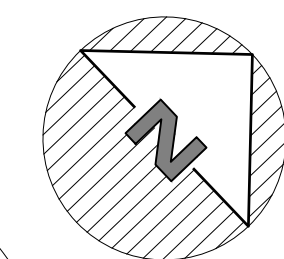
SITE PLAN

Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Westchester Co., New York

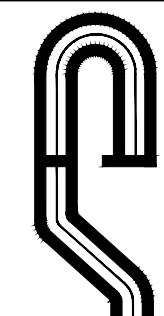


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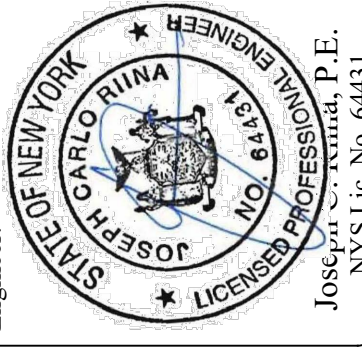


SAFE DIG
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 Call 811 or visit www.call811.com
 NY Statewide One-Call System
 811 is a free service that provides critical information to utility companies about your project. It helps them locate underground utilities and avoid accidental damage to them. This information is vital to your safety and the safety of the community.



PROJECT # 14-14

Site Design Consultants
 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 - Fax: (914) 962-7386
 www.sitedesignconsultants.com



Engineer:
 Joseph J. Green, P.E.
 NYS Lic. No. 6451

Revisions:	No.	Date	Comments

SCALE: 1"=30'

DRAWN BY: JCR

DATE: 2/10/21

EXISTING CONDITIONS

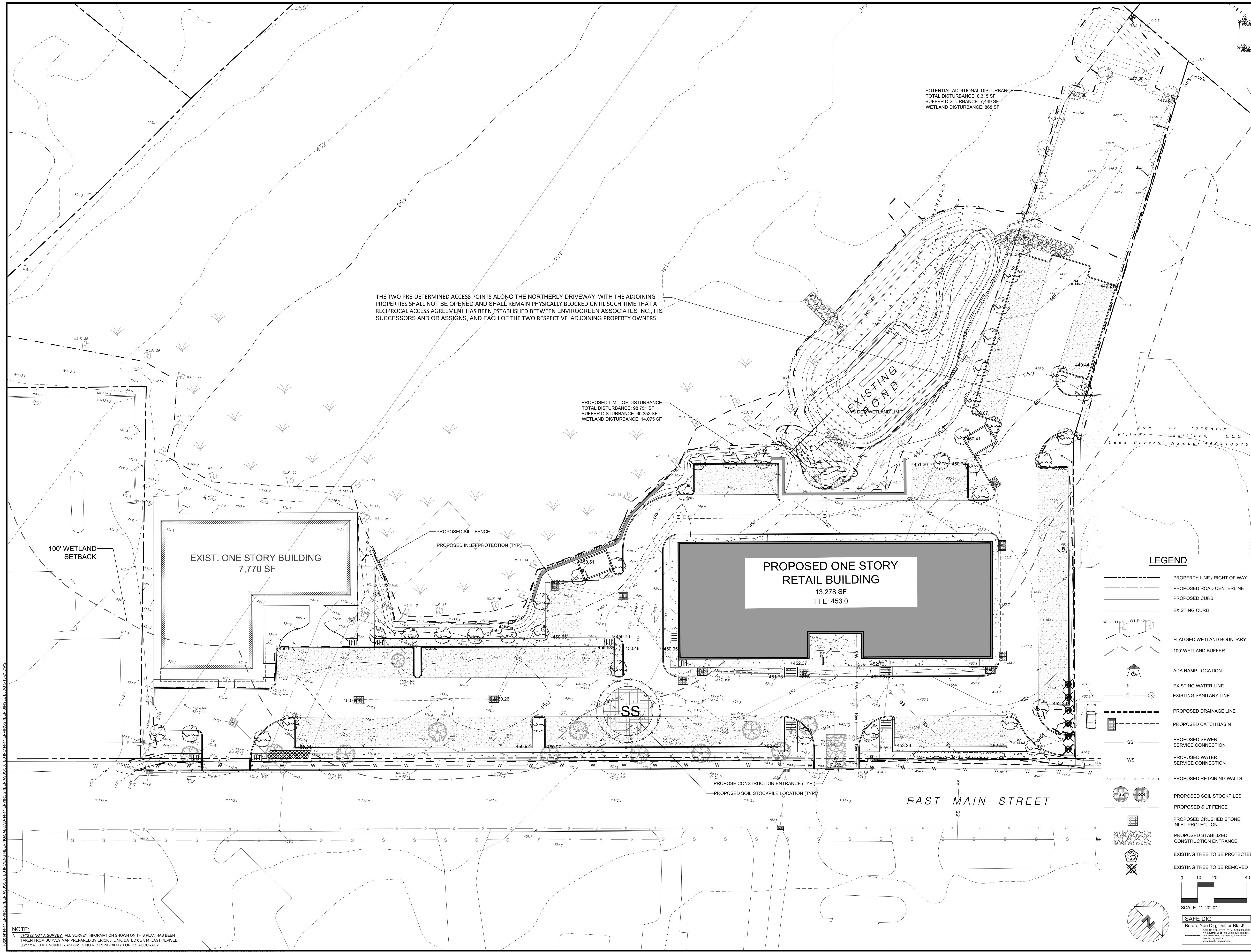
ENVIROGREEN ASSOCIATES
 1851 EAST MAIN STREET
 Town of Yorktown
 Westchester County, New York

Sheet

2 of 12

ENVIROGREEN ASSOCIATES, INC. ENGINEERING, ARCHITECTURE, ENVIRONMENTAL CONSULTING, LANDSCAPE ARCHITECTURE, SINGLE-BUILDING DESIGN

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THE TWO PRE-DETERMINED ACCESS POINTS ALONG THE NORTHERLY DRIVEWAY WITH THE ADJOINING PROPERTIES SHALL NOT BE OPENED AND SHALL REMAIN PHYSICALLY BLOCKED UNTIL SUCH TIME THAT A RECIPROCAL ACCESS AGREEMENT HAS BEEN ESTABLISHED BETWEEN ENVIROGREEN ASSOCIATES INC., ITS SUCCESSORS AND OR ASSIGNS, AND EACH OF THE TWO RESPECTIVE ADJOINING PROPERTY OWNERS

POTENTIAL ADDITIONAL DISTURBANCE
TOTAL DISTURBANCE: 8,315 SF
BUFFER DISTURBANCE: 7,449 SF
WETLAND DISTURBANCE: 868 SF

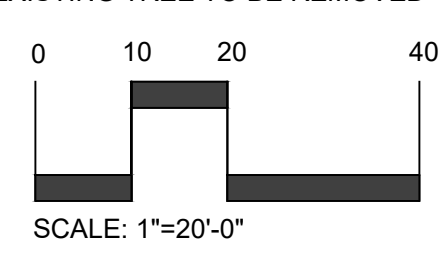
PROPOSED LIMIT OF DISTURBANCE
TOTAL DISTURBANCE: 98,751 SF
BUFFER DISTURBANCE: 60,352 SF
WETLAND DISTURBANCE: 14,075 SF

EXIST. ONE STORY BUILDING
7,770 SF

PROPOSED ONE STORY
RETAIL BUILDING
13,278 SF
FFE: 453.0

now or formerly
Village Traditions, L.L.C.
Deed Control Number 260410576

- LEGEND**
- PROPERTY LINE / RIGHT OF WAY
 - PROPOSED ROAD CENTERLINE
 - PROPOSED CURB
 - EXISTING CURB
 - - - FLAGGED WETLAND BOUNDARY
 - - - 100' WETLAND BUFFER
 - ♿ ADA RAMP LOCATION
 - EXISTING WATER LINE
 - EXISTING SANITARY LINE
 - PROPOSED DRAINAGE LINE
 - PROPOSED CATCH BASIN
 - SS --- PROPOSED SEWER SERVICE CONNECTION
 - WS --- PROPOSED WATER SERVICE CONNECTION
 - PROPOSED RETAINING WALLS
 - SS --- PROPOSED SOIL STOCKPILES
 - PROPOSED SILT FENCE
 - PROPOSED CRUSHED STONE INLET PROTECTION
 - PROPOSED STABILIZED CONSTRUCTION ENTRANCE
 - ⊗ EXISTING TREE TO BE PROTECTED
 - ⊗ EXISTING TREE TO BE REMOVED



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100' WETLAND SETBACK

100' WETLAND SETBACK

100' WETLAND SETBACK

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Revisions:	Comments:

SCALE: 1"=20'

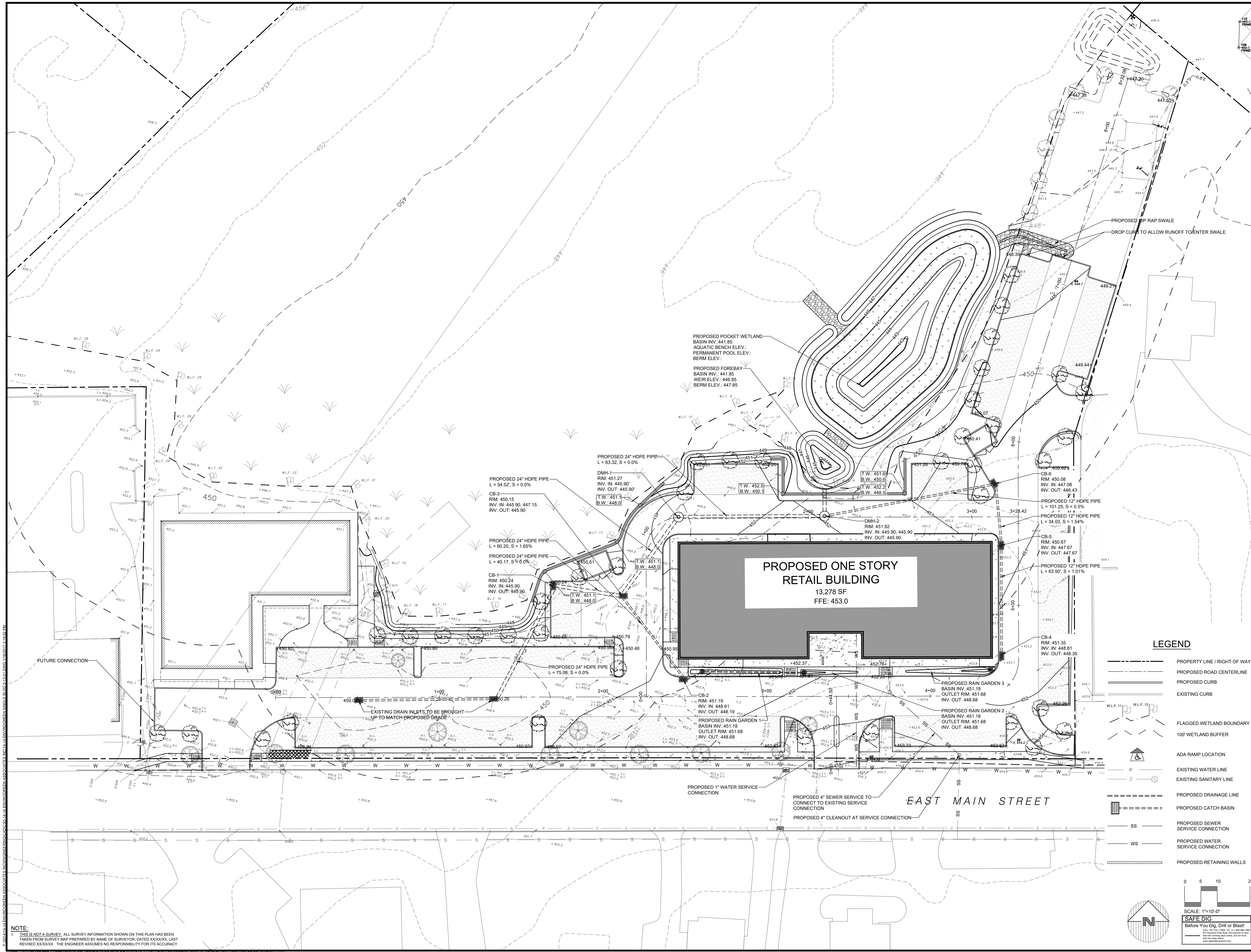
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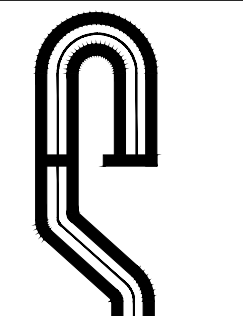
DATE: 11/06/17

E&S PLAN

SITE PLAN PREPARED FOR
ENVIROGREEN ASSOCIATES
1851 EAST MAIN STREET
Town of Yorktown
Westchester County, New York

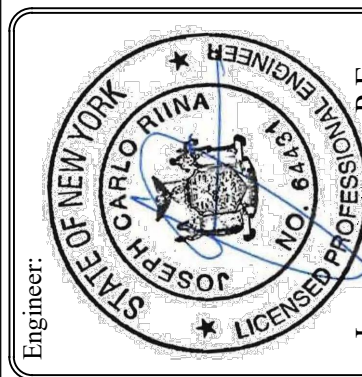
Sheet 3 of 12





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Revisions:	Comments:
No.	Date

SCALE:	DRAWN BY:	DATE:
1" = 20'	JR	2/10/21

IMPROVEMENT PLAN

ENVIROGREEN ASSOCIATES

1851 EAST MAIN STREET

Westchester County, New York

NOTE:

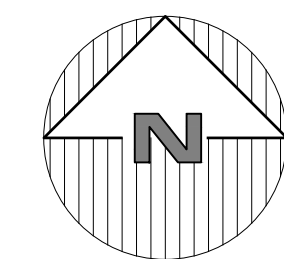
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XXXXXX, LAST REVISED XXXXXX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- FLAGGED WETLAND BOUNDARY
- 100' WETLAND BUFFER
- ADA RAMP LOCATION
- EXISTING WATER LINE
- EXISTING SANITARY LINE
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- PROPOSED SEWER SERVICE CONNECTION
- PROPOSED WATER SERVICE CONNECTION
- PROPOSED RETAINING WALLS

EAST MAIN STREET



SCALE: 1"=10'-0"

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Sheet 4 of 12

Site Plan Prepared For: **ENVIROGREEN ASSOCIATES**

1851 EAST MAIN STREET

Town of Yorktown

D-Series Pole Mount LED Area Luminaire

Specifications Luminaire

EPA: 0.6 ft
 Width: 13.3/4" (32.7mm)
 Length: 11.5" (29.3mm)
 Height: 8" (203mm)
 Weight: 16.03 lbs (7.27kg)

Introduction

The D-Series Pole Mount luminaire is a stylish, fully integrated LED solution for area and site applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Pole Mount is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSXWPM LED 20C 1000 40K TSM MVOLT SPUBA DBDXD

Series	LED	Power (watts)	Color Temperature	Beam Spread	Mounting	Notes
DSXWPM LED	10 LEDs	1000	40K	TSM	Type V medium	Shipped included
	20 LEDs	2000	40K	TSM	Type V short	SPUBA: Square pole arm with mounting adapter
	20 LEDs	2000	40K	TSM	Type V wide	SPUBA: Square pole arm with mounting adapter
	20 LEDs	2000	40K	TSM	Type V wide	SPUBA: Square pole arm with mounting adapter

Accessories

Part Number	Description	Notes
00000	Base (not shown)	Not shown
00001	Base (not shown)	Not shown
00002	Base (not shown)	Not shown
00003	Base (not shown)	Not shown
00004	Base (not shown)	Not shown
00005	Base (not shown)	Not shown
00006	Base (not shown)	Not shown
00007	Base (not shown)	Not shown
00008	Base (not shown)	Not shown
00009	Base (not shown)	Not shown
00010	Base (not shown)	Not shown
00011	Base (not shown)	Not shown
00012	Base (not shown)	Not shown
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00018	Base (not shown)	Not shown
00019	Base (not shown)	Not shown
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00050	Base (not shown)	Not shown

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Submittal Spec Sheet

Overview

Pedestrian in scale only, the D-Series LED Area, Size 0 is an extraordinary luminaire that can be configured to meet any site's lighting needs. The versatility and power of this luminaire prove big things really do come in small packages. Coupled with Light² AIR wireless controls, the D-Series family provides enhanced end-user experiences and unmatched energy savings.

The sleek design reflecting the embedded high-performance LED outdoor lighting technology makes the D-Series, Size 0 the ideal choice for courtyards, bike paths, walkways, and retail sites.



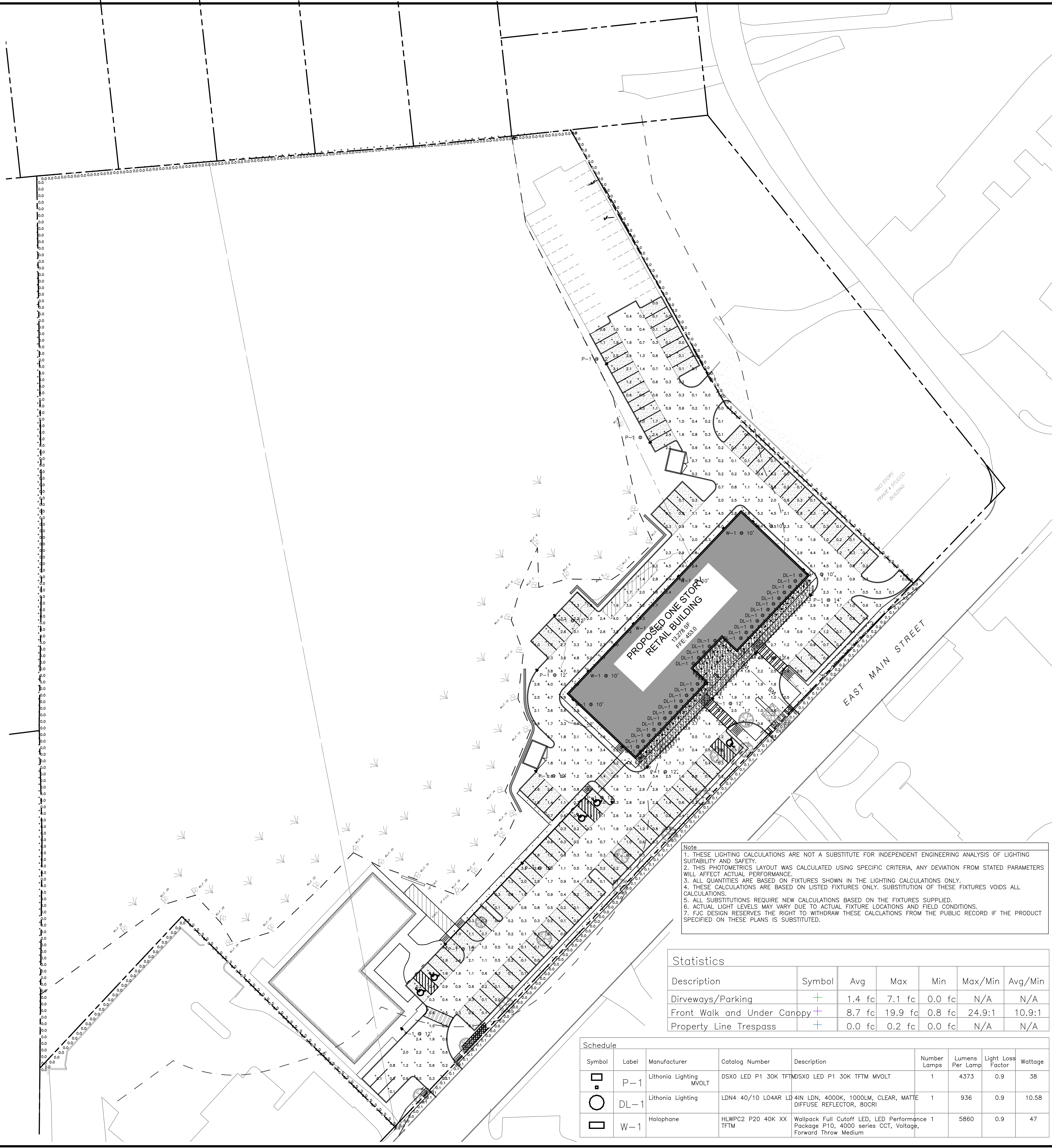
Ordering Information DSX0 LED P1 40K TTFM MVOLT SPA NLTAR2 PIRN DBDXD

Series	Lamp Type	LED Configuration
DSX0	D-Series Size 0 LED Area Luminaire	P1 Package 1 P10 Package 10 P11 Package 11 P12 Package 12 P13 Package 13 P2 Package 2 P3 Package 3 P4 Package 4 P5 Package 5

Correlated Color Temperature	Distribution	Lens Type and Pattern
3000K	RLC Backlight control	DDL Diffuse drop lens
4000K	LOCO Left Corner Cutoff Optic	
5000K	RCCO Right Corner Cutoff Optic	
AMBPC Ambient Phosphor Converted	T1S Type I Short	
	T2M Type II Medium	
	T2S Type II Short	
	T3M Type III Medium	
	T3S Type III Short	
	T4M Type IV Medium	
	T4S Type IV Short	

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NOTE:
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Note

1. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SUITABILITY AND SAFETY.
2. THIS PHOTOMETRICS LAYOUT WAS CALCULATED USING SPECIFIC CRITERIA, ANY DEVIATION FROM STATED PARAMETERS WILL AFFECT ACTUAL PERFORMANCE.
3. ALL QUANTITIES ARE BASED ON FIXTURES SHOWN IN THE LIGHTING CALCULATIONS ONLY.
4. THESE CALCULATIONS ARE BASED ON LISTED FIXTURES ONLY. SUBSTITUTION OF THESE FIXTURES Voids ALL CALCULATIONS.
5. ALL SUBSTITUTIONS REQUIRE NEW CALCULATIONS BASED ON THE FIXTURES SUPPLIED.
6. ACTUAL LIGHT LEVELS MAY VARY DUE TO ACTUAL FIXTURE LOCATIONS AND FIELD CONDITIONS.
7. FUG DESIGN RESERVES THE RIGHT TO WITHDRAW THESE CALCULATIONS FROM THE PUBLIC RECORD IF THE PRODUCT SPECIFIED ON THESE PLANS IS SUBSTITUTED.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Driveways/Parking	+	1.4 fc	7.1 fc	0.0 fc	N/A	N/A
Front Walk and Under Canopy	+	8.7 fc	19.9 fc	0.8 fc	24.9:1	10.9:1
Property Line Trespass	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
P-1	P-1	Lithonia Lighting	DSX0 LED P1 30K TTFM	DSX0 LED P1 30K TTFM MVOLT	1	4373	0.9	38
DL-1	DL-1	Lithonia Lighting	LDN4 40/10 LO4AR	4IN LDN, 4000K, 1000LM, CLEAR, MATTE DIFFUSE REFLECTOR, 80CRI	1	936	0.9	10.58
W-1	W-1	Holophane	HLWPC2 P20 40K XX TTFM	Wallpack Full Cutoff LED, LED Performance 1 Package P10, 4000 series CCT, Voltage, Forward Throw Medium	1	5860	0.9	47

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Engineer: Joseph C. Rima, P.E.
 NYS Lic. No. 6451

Scale: 1" = 30'
 Drawn by: JCR
 Date: 11/06/17

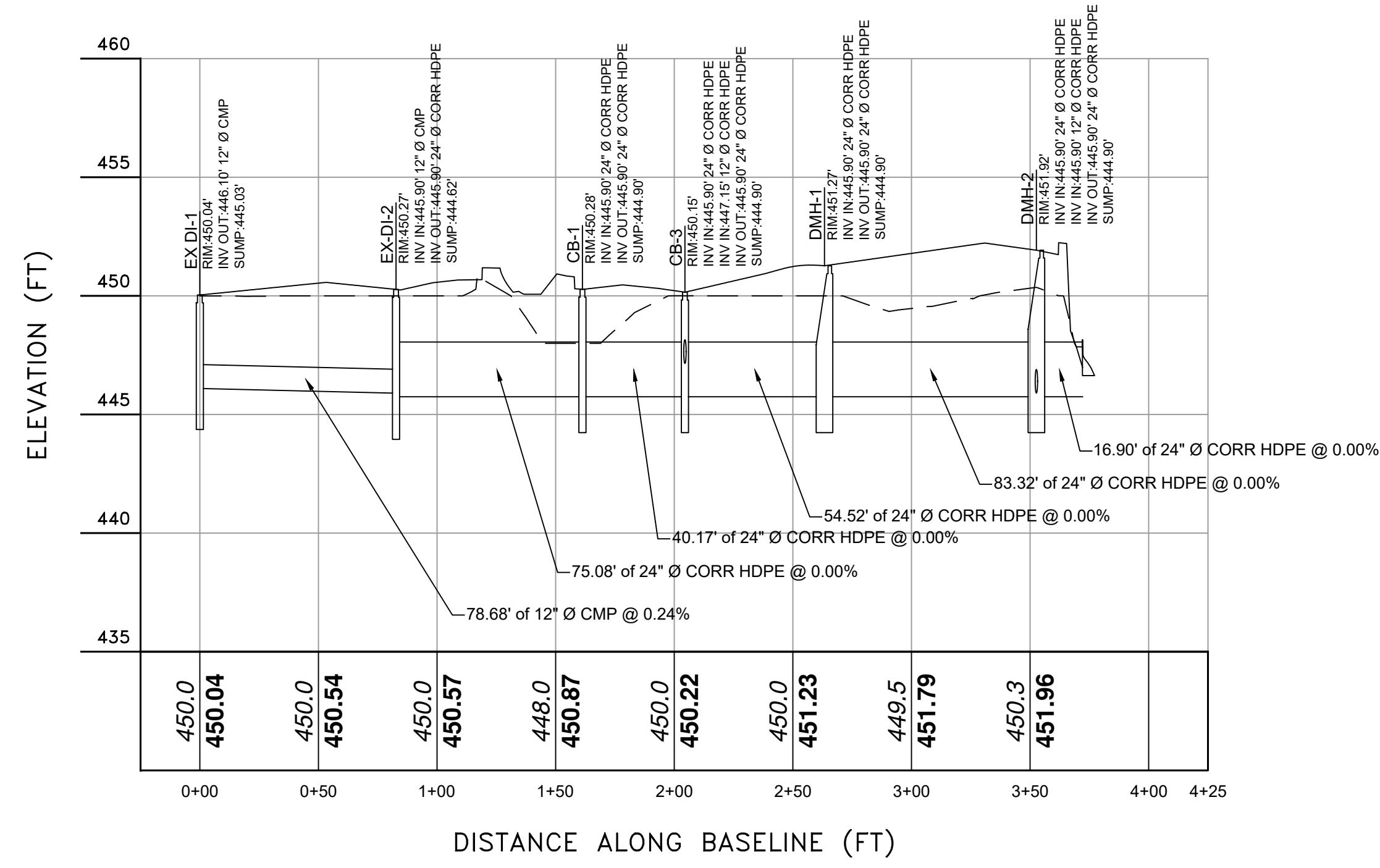
LIGHTING PLAN

Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Westchester Co., New York

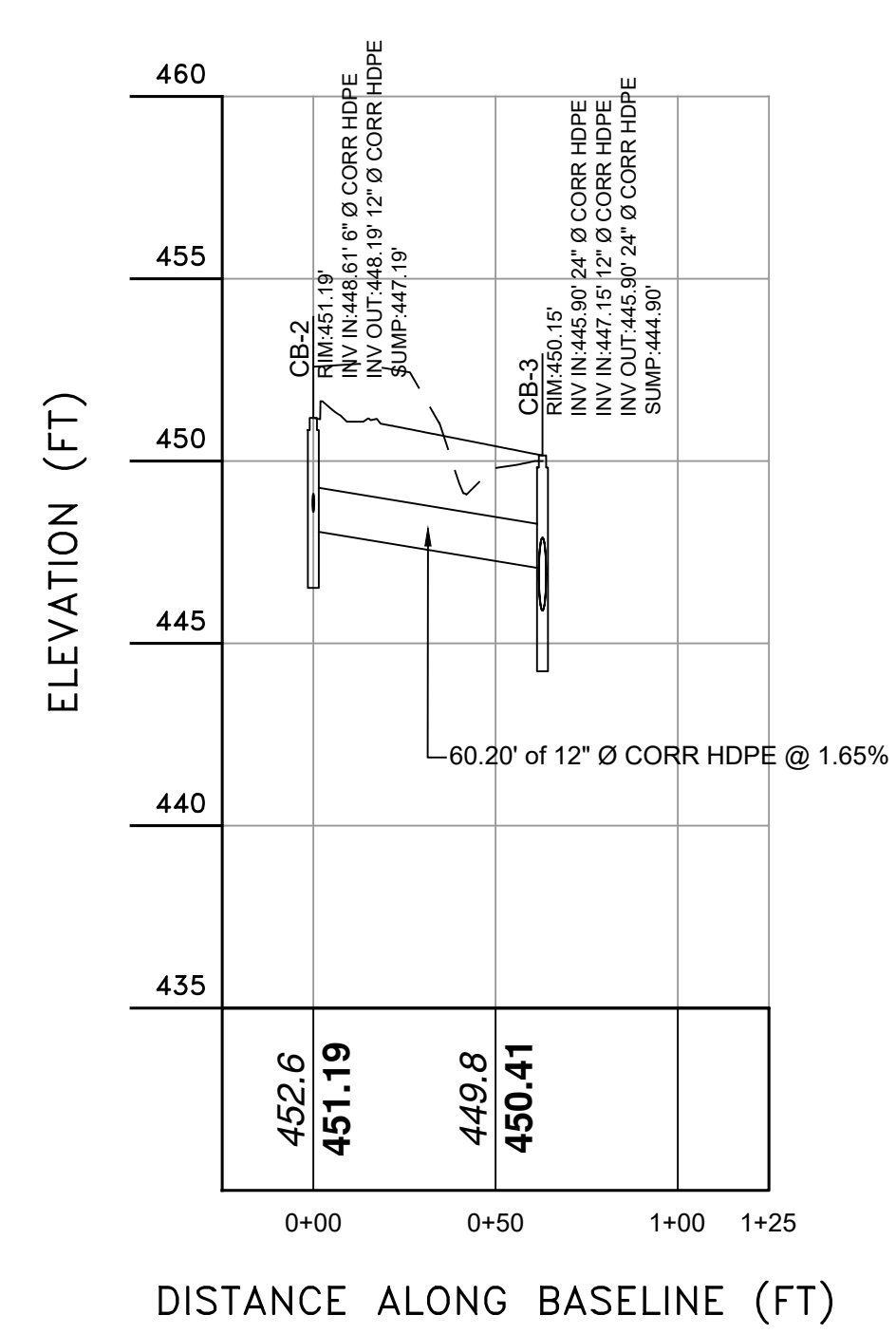
Sheet 6 of 12

Town of Yorktown

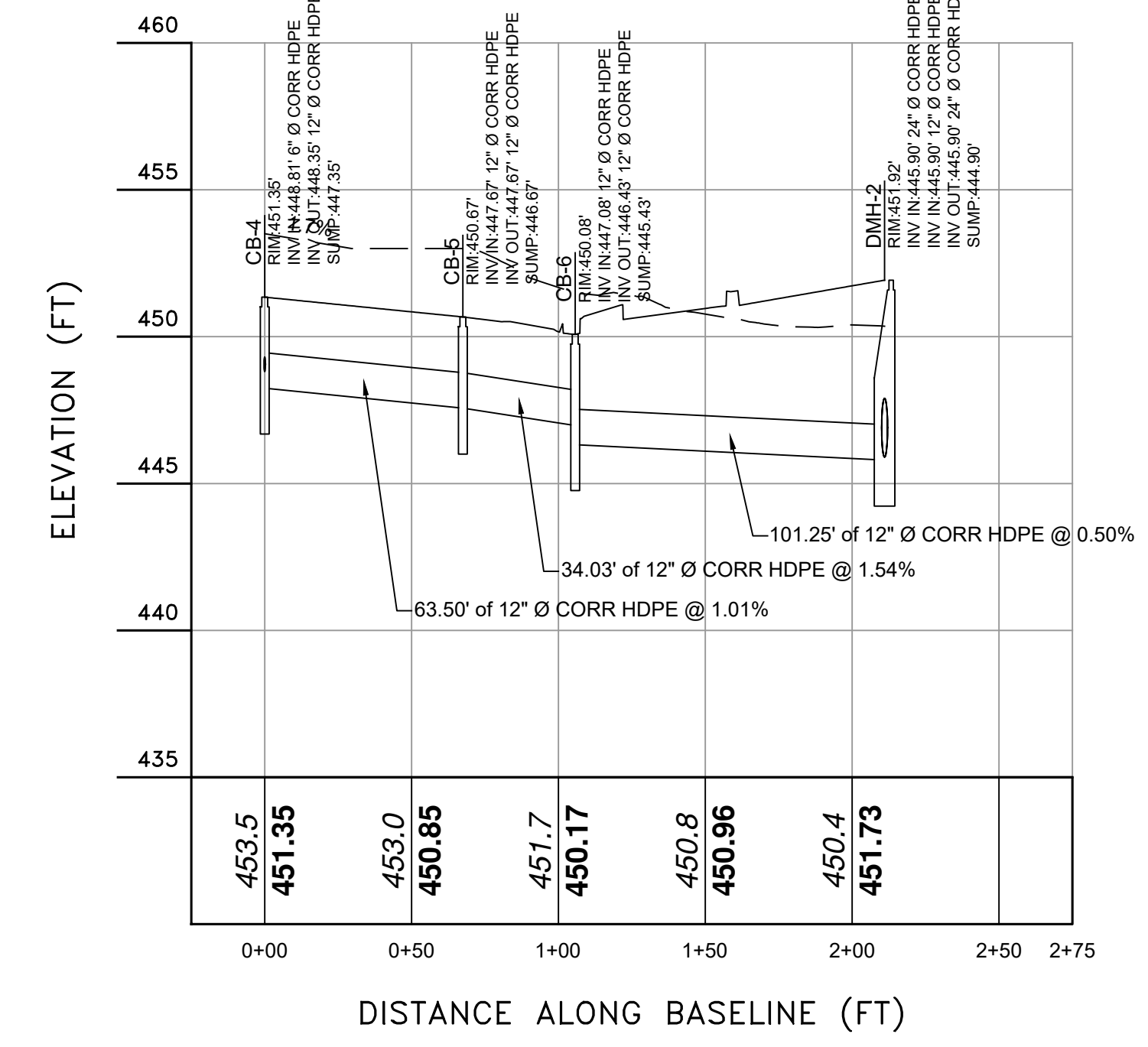
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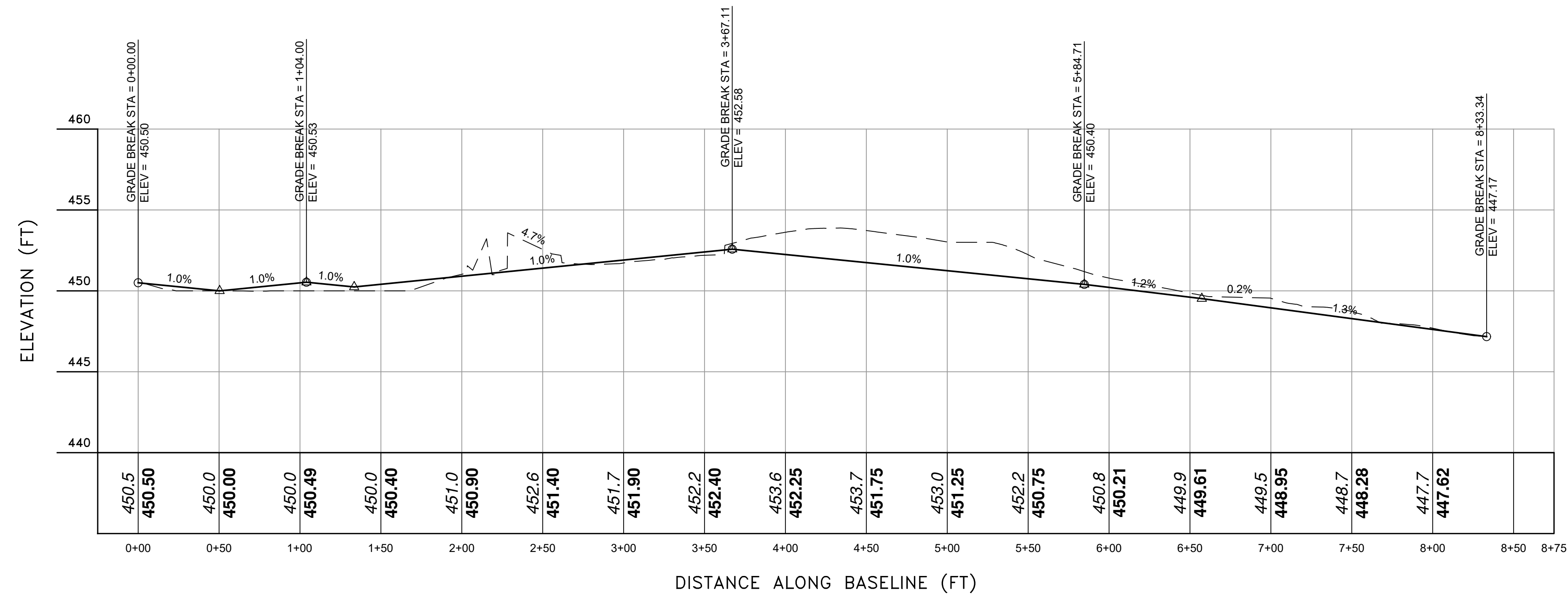
EX DI-1 TO POCKET POND
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



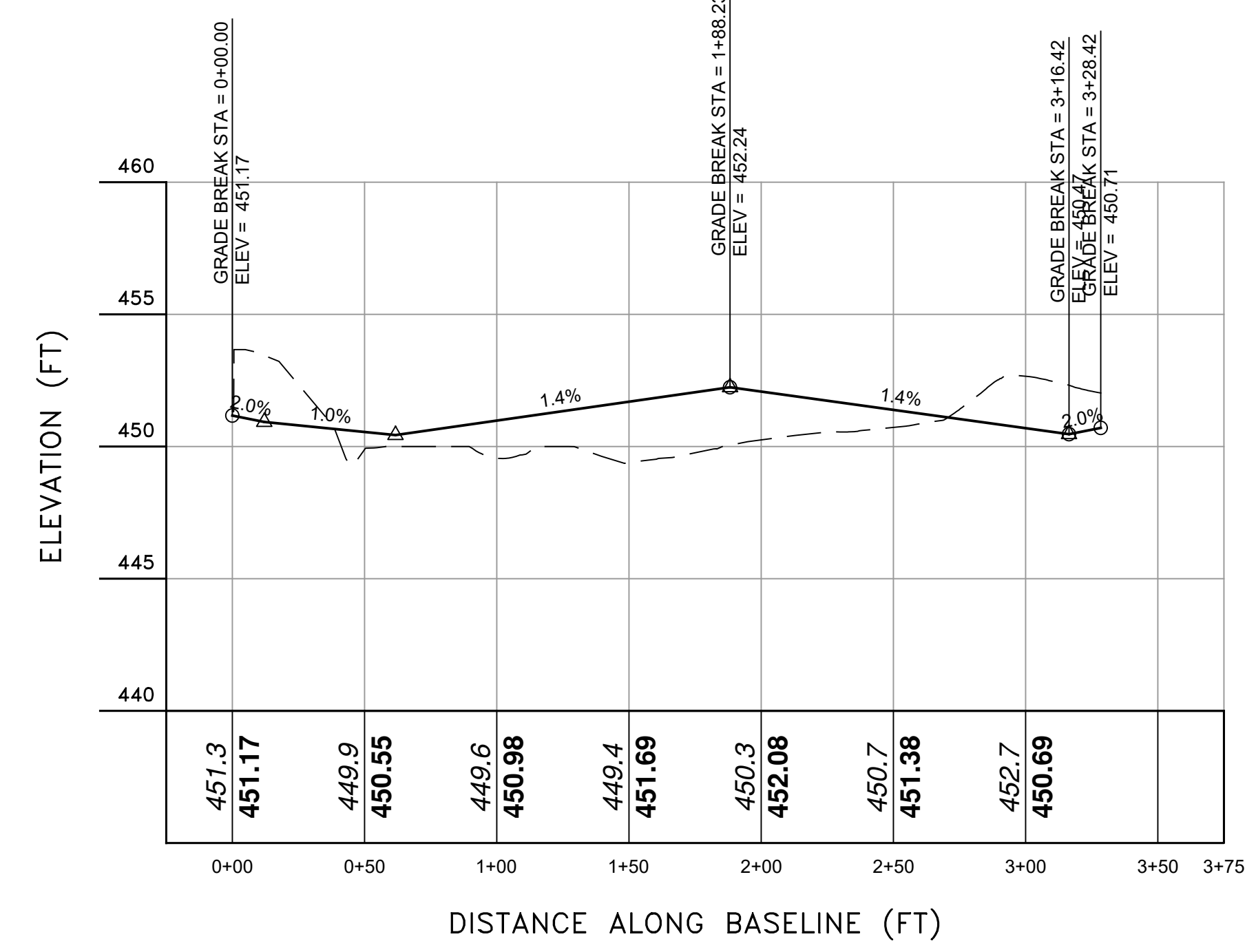
CB-2 TO CB-3
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



CB-4 TO DMH-2
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



MAIN DRIVEWAY
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



REAR DRIVEWAY
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'

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Engineer:
JOSEPH CARLO GUINA
Professional Engineer
No. 13420
NYS Lic. No. 6451

Scale:
NTS

Drawn By:
JCR

Date:
11/06/17

PROFILES

SITE PLAN
PREPARED FOR
Envirogreen Associates Inc.
1851 EAST MAIN STREET

Westchester Co., New York
Town of Yorktown

Sheet 7 of 12

GENERAL NOTES:

- 1. THE ENGINEER WHOSE SEAL APPEARS HEREON HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION. SUBSEQUENTLY HE IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.

CONTRACTOR RESPONSIBILITIES:

- 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONSTRUCTION NOTES:

- 1. BENCH MARKS USING U.S.G.S. DATUM SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS.

GENERAL STORM DRAINAGE & UTILITY NOTES

- 1. ALL UTILITIES, INCLUDING ELECTRIC LINES, TELEPHONE, WATER, SANITARY SEWER LINES, AND STORM SEWER LINES SHALL BE LOCATED UNDERGROUND AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF OSSINING AND THE UTILITY COMPANIES HAVING JURISDICTION.

GENERAL EROSION CONTROL NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES, THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- 1. TREES AND VEGETATION SHALL BE PROTECTED AT ALL TIMES AS SHOWN ON THE DETAIL DRAWING AND AS DIRECTED BY THE ENGINEER.

MAINTENANCE SCHEDULE:

Table with columns: Activity, Daily, Weekly, Monthly, After Rainfall, Necessary to Maintain Function, After Approval of Inspector. Rows include Silt Fence, Wheel Cleaner, Inlet Protection.

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

THE STORMWATER MANAGEMENT SYSTEM AND OUTLET STRUCTURE SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER EVERY RAINFALL EVENT. SEDIMENT BUILD UP SHALL BE REMOVED FROM THE INLET PROTECTION REGULARLY TO INSURE DETENTION CAPACITY AND PROPER DRAINAGE.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

CONTROLS (INCLUDING RESPECTIVE OUTLET STRUCTURES) SHOULD BE INSPECTED PERIODICALLY FOR THE FIRST FEW MONTHS AFTER CONSTRUCTION AND ON AN ANNUAL BASIS THEREAFTER. THEY SHOULD ALSO BE INSPECTED AFTER MAJOR STORM EVENTS.

DEBRIS AND LITTER REMOVAL:

TWICE A YEAR, INSPECT OUTLET STRUCTURE AND DRAIN INLETS FOR ACCUMULATED DEBRIS. ALSO, REMOVE ANY ACCUMULATIONS DURING EACH MOVING OPERATION.

STRUCTURAL REPAIR/REPLACEMENT:

OUTLET STRUCTURE MUST BE INSPECTED TWICE A YEAR FOR EVIDENCE OF STRUCTURAL DAMAGE AND REPAIRED IMMEDIATELY.

EROSION CONTROL:

UNSTABLE AREAS TRIBUTARY TO THE BASIN SHALL IMMEDIATELY BE STABILIZED WITH VEGETATION OR OTHER APPROPRIATE EROSION CONTROL MEASURES.

SEDIMENT REMOVAL:

SEDIMENT SHOULD BE REMOVED AFTER IT HAS REACHED A MAXIMUM DEPTH OF FIVE INCHES ABOVE THE STORMWATER MANAGEMENT SYSTEM FLOOR.

TOPSOIL:

- EXISTING TOPSOIL WILL BE REMOVED AND STORED IN PILES SUFFICIENTLY AS TO AVOID MIXING WITH OTHER EXCAVATION. STOCKPILES SHALL BE SURROUNDED BY EROSION CONTROL AS OUTLINED ON THESE PLANS.

PERMANENT VEGETATIVE COVER:

- 1. SITE PREPARATION: 1.1. INSTALL EROSION CONTROL MEASURES. 1.2. SCARIFY COMPACTED SOIL AREAS.

TEMPORARY VEGETATIVE COVER:

- 1. INSTALL EROSION CONTROL MEASURES. 2. SCARIFY AREAS OF COMPACTED SOIL.

SEED SPECIES:

Table with columns: Mixture, LBS./ACRE. Rows include Kentucky Blue Grass, Creeping Red Fescue, Ryegrass, etc.

SEEDING:

SAME AS PERMANENT VEGETATIVE COVER

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- 1. Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and stormwater practices.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost.

CONTRACTOR CERTIFICATION STATEMENT

Certification Statement: All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 12, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

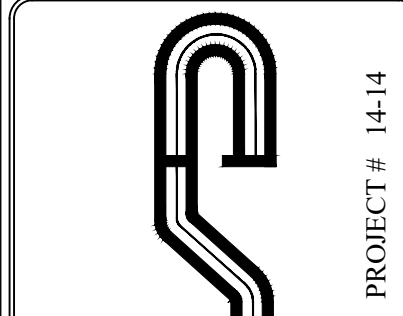
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: Name and Title (please print): Signature of Contractor: Company / Contracting Firm: Name of Company: Address of Company: Telephone Number / Cell Number: Site Information: Address of Site: Today's Date:

OWNER / OPERATOR CERTIFICATION

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): Title: Date: Address: Phone: E-mail: Signature:



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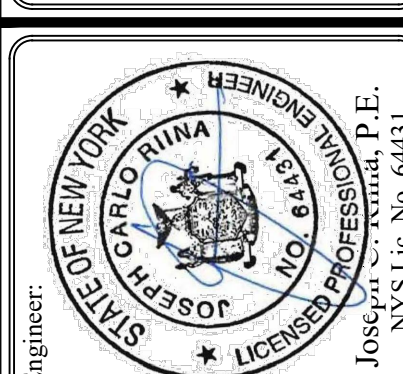


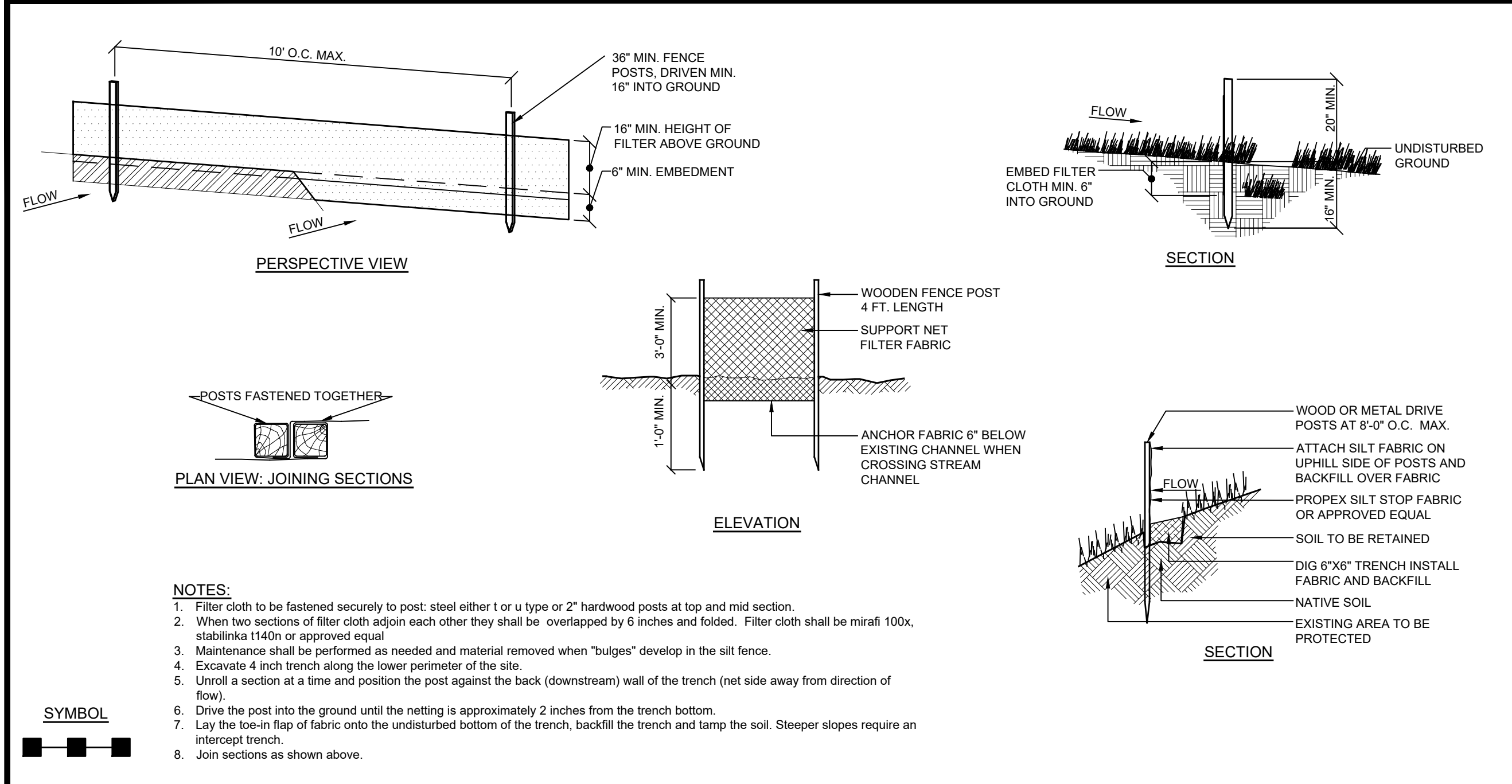
Table with columns: Revisions, No., Date, Comments.

Table with columns: Scale, NTS, Drawn By, JR, Date, 2/10/21.

NOTES

ENVIROGREEN ASSOCIATES 1851 EAST MAIN STREET Yorktown, Westchester County, New York

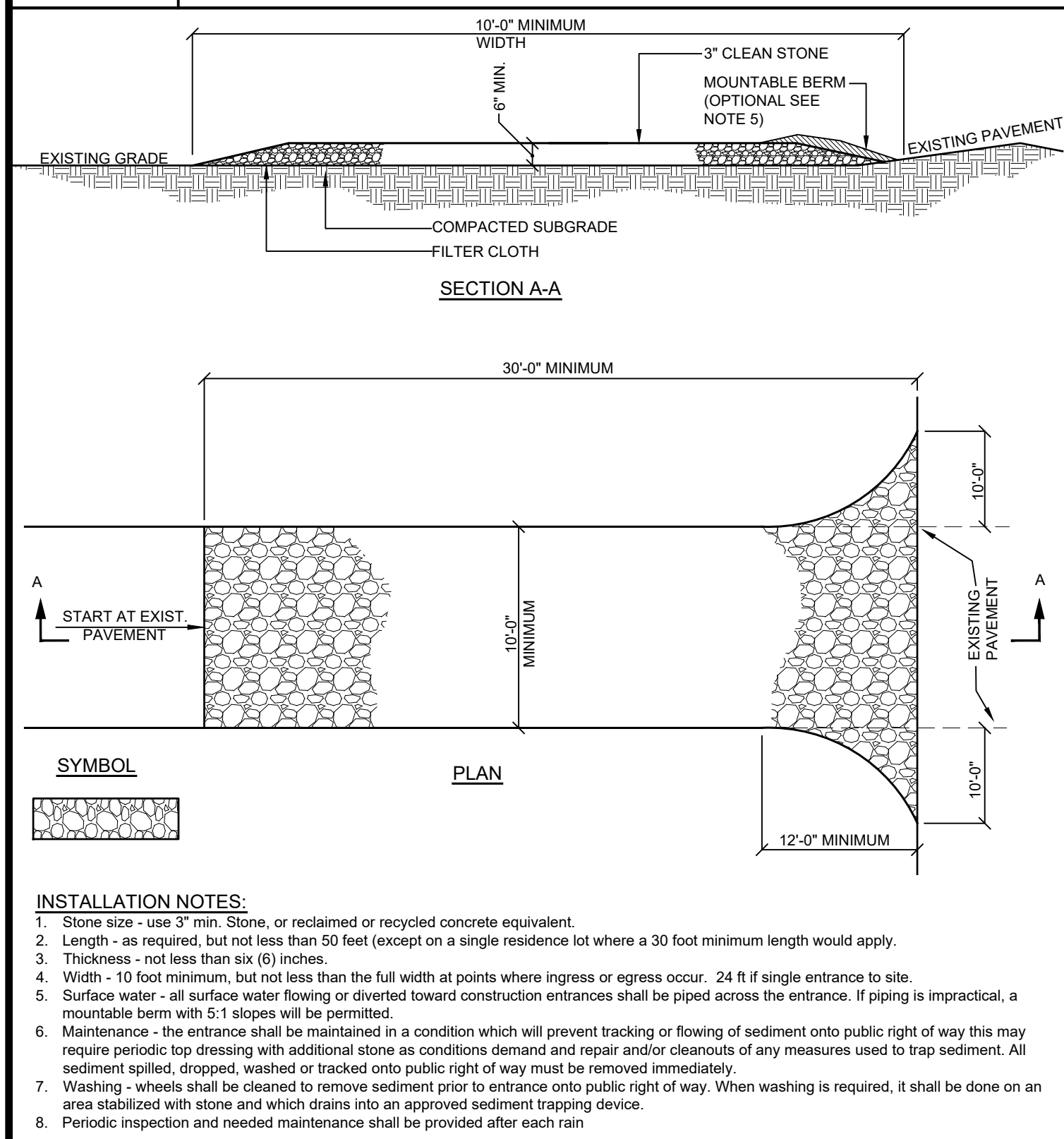
NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209.27(6) OF THE NEW YORK STATE EDUCATION LAW.



NOTES:
 1. Filter cloth to be fastened securely to post: steel either 1" or u type or 2" hardwood posts at top and mid section.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be mfr'd 100% polypropylene 1140 or approved equal.
 3. Maintenance shall be performed as needed and material removed when "balding" develop in the silt fence.
 4. Excavate 4 inch trench along the lower perimeter of the site.
 5. Untroll a section at a time and position the post against the back (downstream) wall of the trench (set side away from direction of flow).
 6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
 7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
 8. Join sections as shown above.

E-1

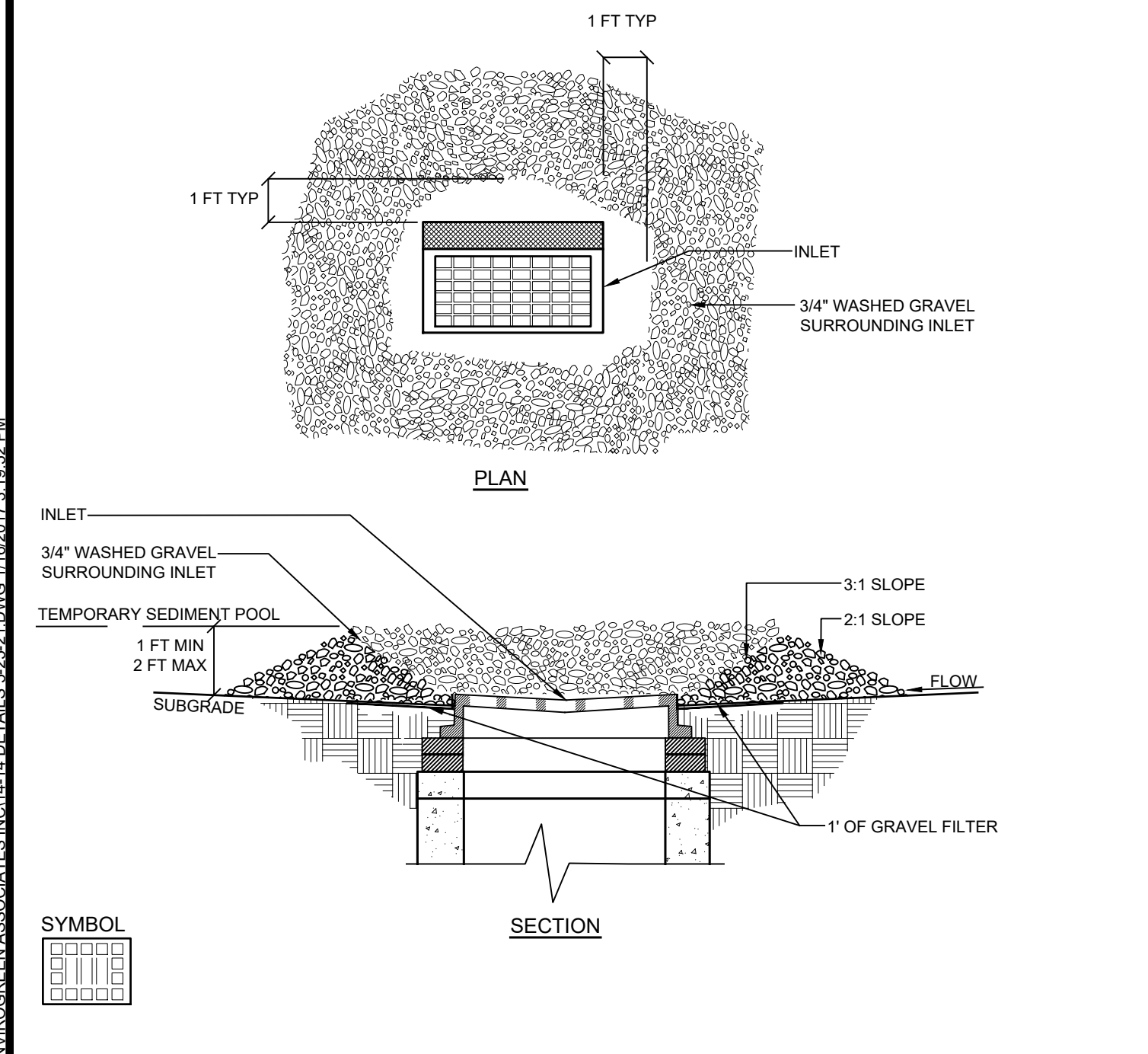
SILT FENCE DETAIL
NOT TO SCALE



INSTALLATION NOTES:
 1. Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent.
 2. Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 3. Thickness - not less than six (6) inches.
 4. Width - 10 foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
 5. Surface water - all surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 6. Maintenance - the entrance shall be maintained in a condition which will prevent tracking or soiling of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right of way must be removed immediately.
 7. Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 8. Periodic inspection and needed maintenance shall be provided after each rain.

E-2

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

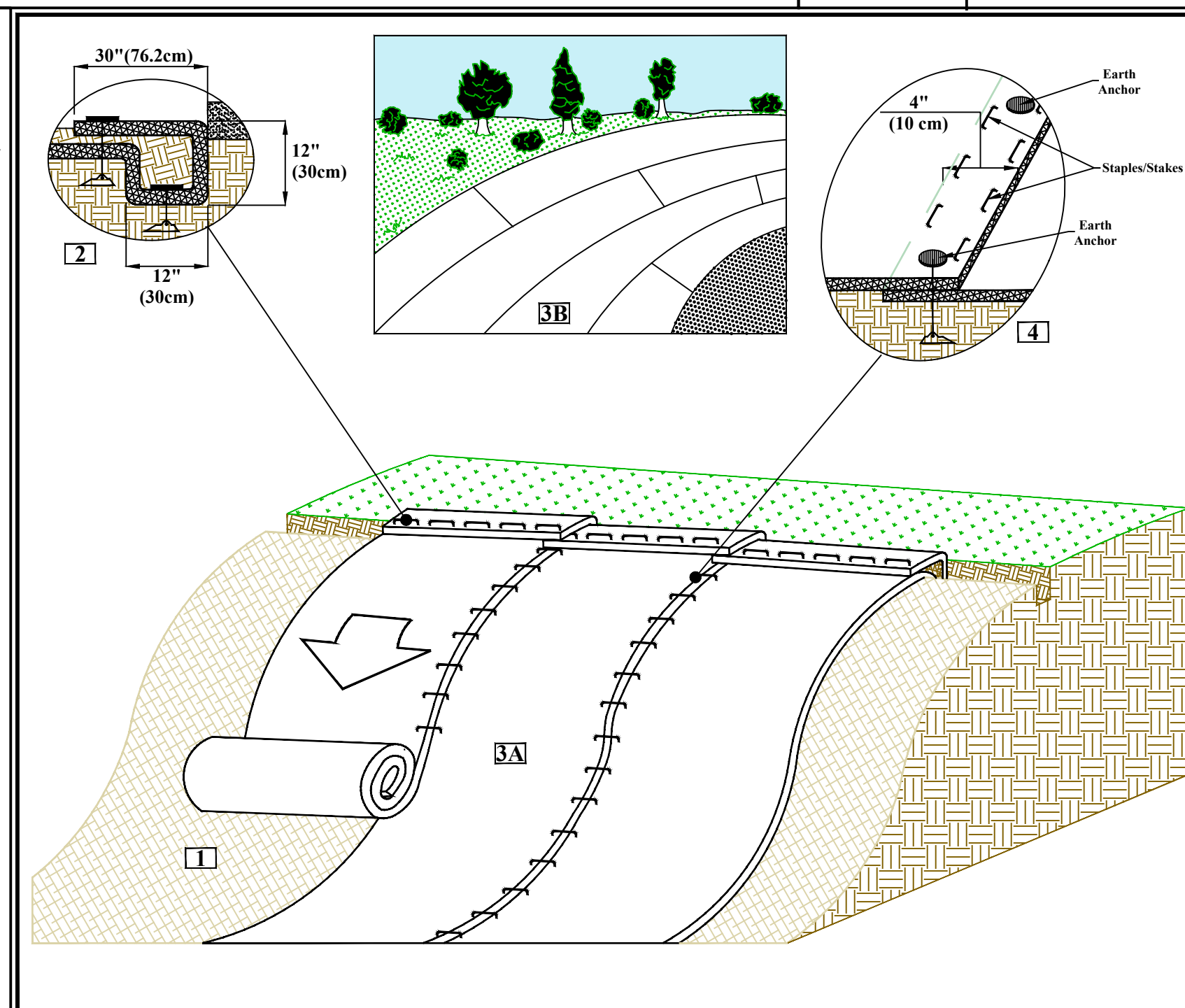


E-3

INLET PROTECTION DETAIL
NOT TO SCALE

E-4

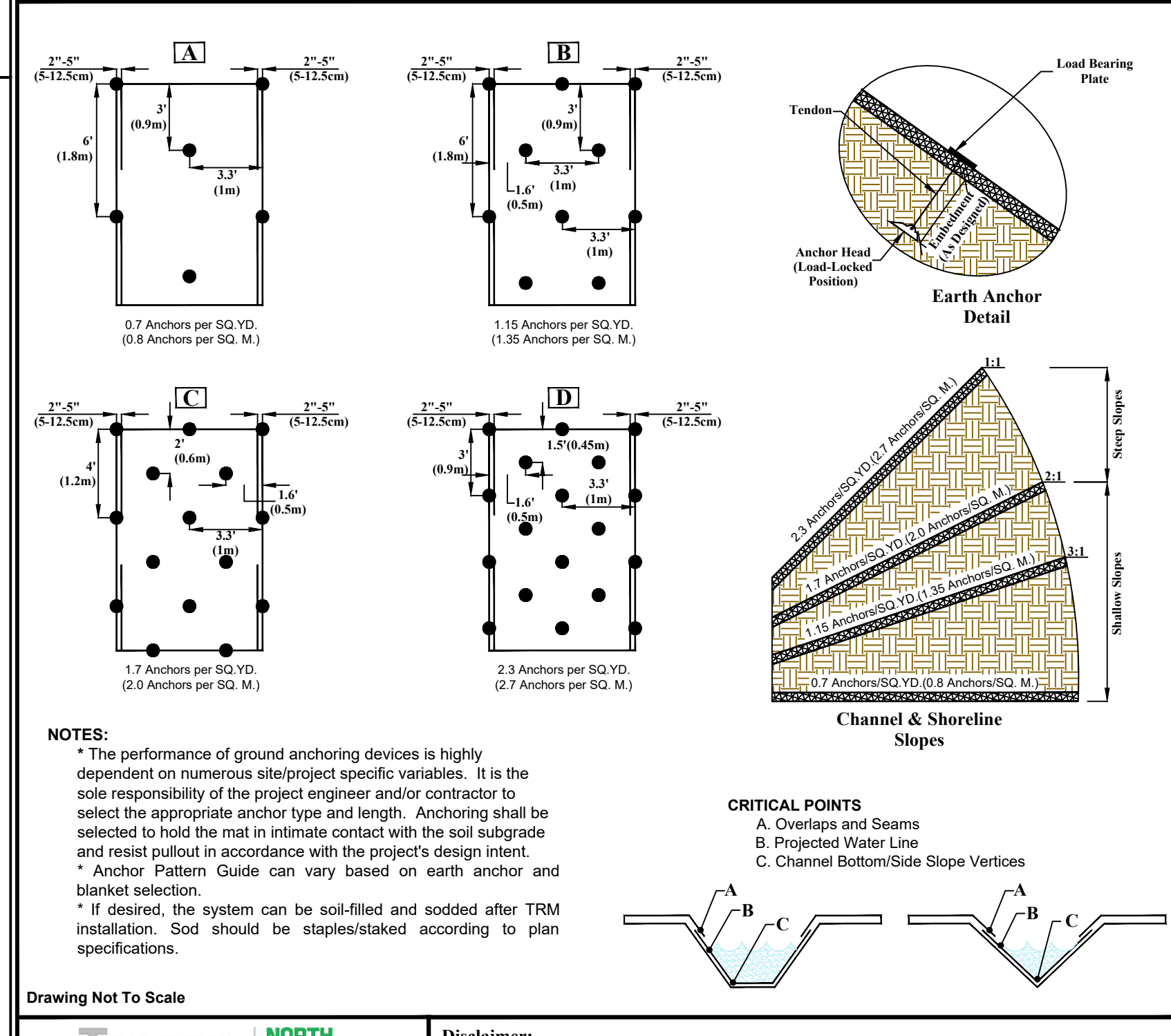
TREE TRUNK ARMOR / TREE PROTECTION DETAIL
NOT TO SCALE



SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL

1. Prepare soil before installing high-performance surf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
 2. Begin at the top of the slope by anchoring the HP-TRM in a 12" (30 cm) deep x 12" (30cm) wide trench with approximately 30" (76.2 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRM with an alternating row of staples and anchors approximately 30" (76.2 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Field remaining 30" (76.2 cm) portion of HP-TRMs back over compacted soil. Secure HP-TRMs over compacted soil with an alternating row of staples/anchors spaced approximately 18" (45 cm) apart across the width of the HP-TRMs.
 3. Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/anchors in appropriate locations as shown in the staple pattern guide.
 4. The edges of parallel HP-TRMs must be stapled between earth anchors with approximately 4" (10 cm) overlap depending on the HP-TRM type. For curved sections, adjust the overlap edges of parallel HP-TRMs accordingly with a minimum of 4" (10 cm) overlap to accommodate transitional segments.

NOTE: In loose soil conditions, the use of staples or stake lengths greater than 6"(15cm) may be necessary to properly secure the HP-TRMs.

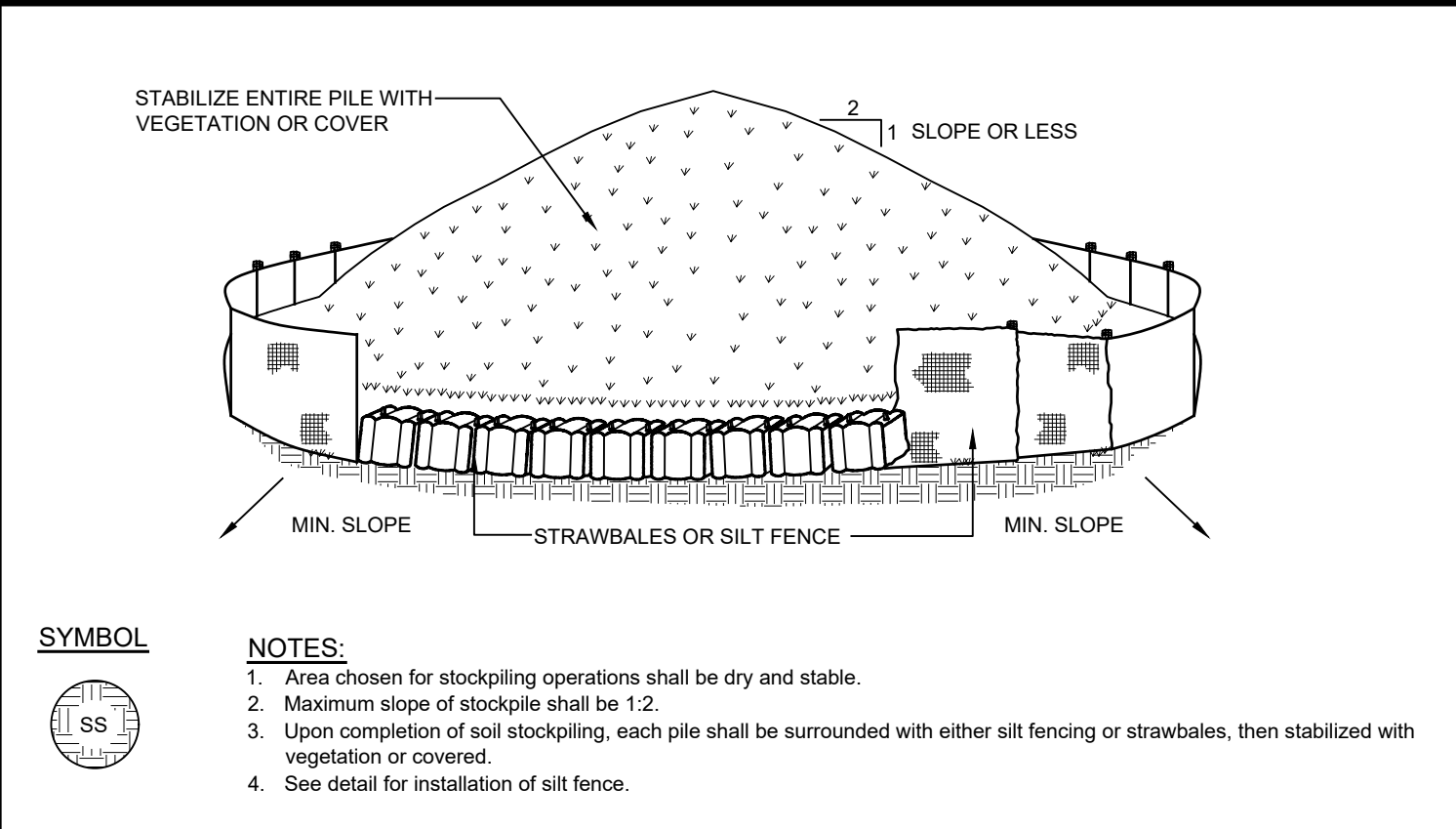


SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL

1. Prepare soil before installing high-performance surf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
 2. Begin at the top of the slope by anchoring the HP-TRM in a 12" (30 cm) deep x 8" (15 cm) wide trench with approximately 12" (30 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRMs with a row of staples and anchors approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of HP-TRMs back over seed and compacted soil. Secure HP-TRMs over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the HP-TRMs.
 3. Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
 4. The edges of parallel HP-TRMs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the HP-TRM type.
 5. Consecutive HP-TRMs spliced down the slope must be end over end (staple to staple) with approximate 3"(7.5cm) overlap. Staple through overlapped area, approximately 12"(30cm) apart across entire HP-TRM width.

NOTE: In loose soil conditions, the use of staples or stake lengths greater than 6"(15cm) may be necessary to properly secure the HP-TRMs.

CRITICAL POINTS
 A. Overlaps and Seams
 B. Projected Water Line
 C. Channel Bottom/Slope Vertices



SOIL STOCKPILE DETAIL
NOT TO SCALE

NOTES:
 1. Area chosen for stockpiling operations shall be dry and stable.
 2. Maximum slope of stockpile shall be 1:2.
 3. Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
 4. See detail for installation of silt fence.

E-5

SOIL STOCKPILE DETAIL
NOT TO SCALE

CONTRACTOR CERTIFICATION STATEMENT
 Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 28, 2010, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP.

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: _____
 Name and Title (please print): _____
 Signature of Contractor: _____
 Company / Contracting Firm: _____
 Name of Company: _____
 Address of Company: _____
 Telephone Number / Cell Number: _____
 Site Information: _____
 Address of Site: _____
 Today's Date: _____

OWNER / OPERATOR CERTIFICATION
 "I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): _____
 Title: _____
 Date: _____
 Address: _____
 Phone: _____
 E-mail: _____
 Signature: _____

ENVIROGREEN ASSOCIATES, INC. ENGINEERS, ARCHITECTS, ENVIRONMENTAL SCIENTISTS, AND PLANNERS. 1851 EAST MAIN STREET, YORKTOWN, NY 10598. TEL: 914.962.4488. FAX: 914.962.7386. WWW.ENVIROGREENASSOCIATES.COM

Site Design Consultants
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 251-F Underhill Avenue, Yorktown Heights, NY 10598
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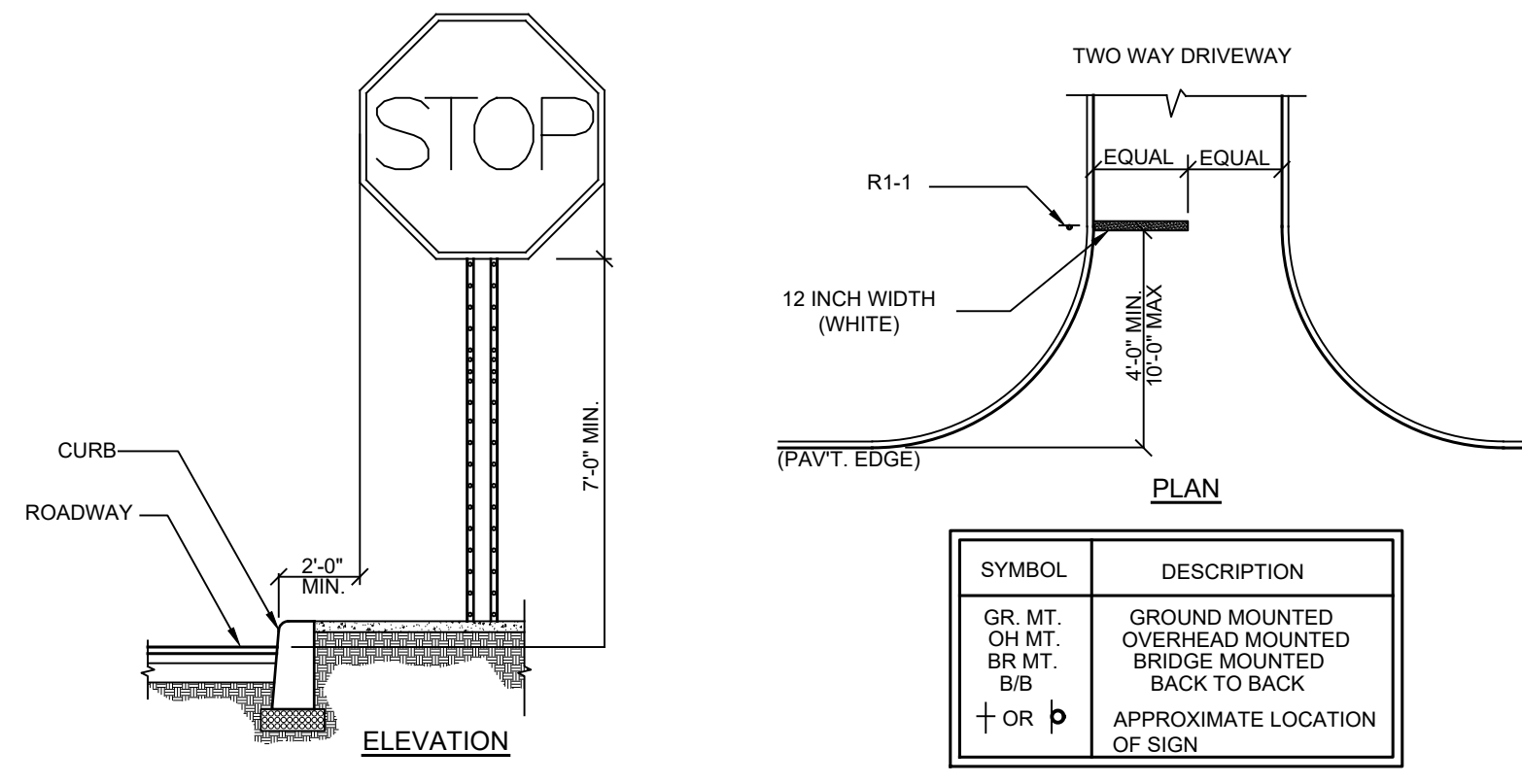
Professional Engineer
 License No. 1414
 License No. 6451

Revises:	No.	Date	Comments:
SCALE:	NTS	DRAWN BY:	JR
		DATE:	2/10/21

E&S DETAILS

ENVIROGREEN ASSOCIATES
 1851 EAST MAIN STREET
 Yorktown, New York
 Westchester County, New York

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



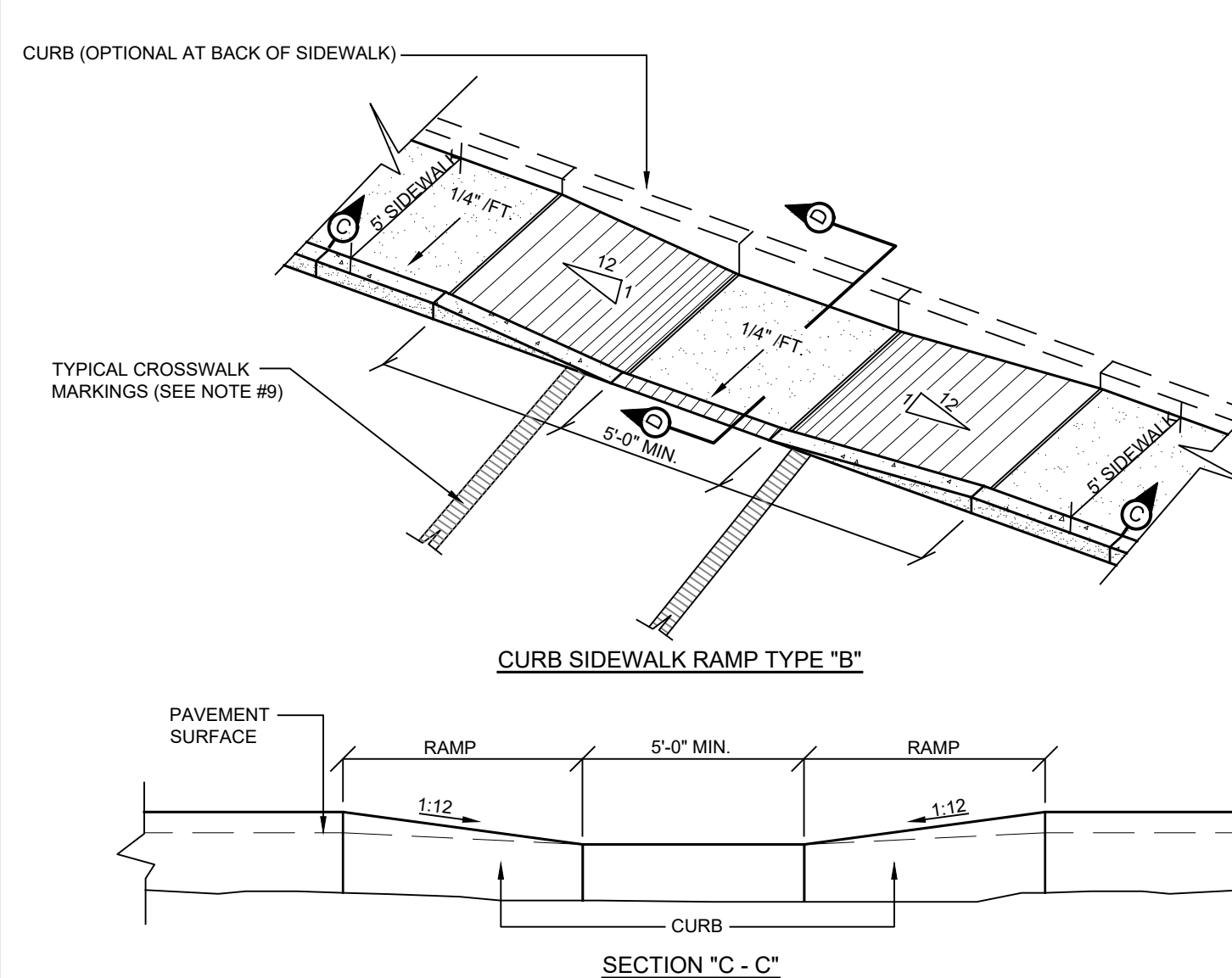
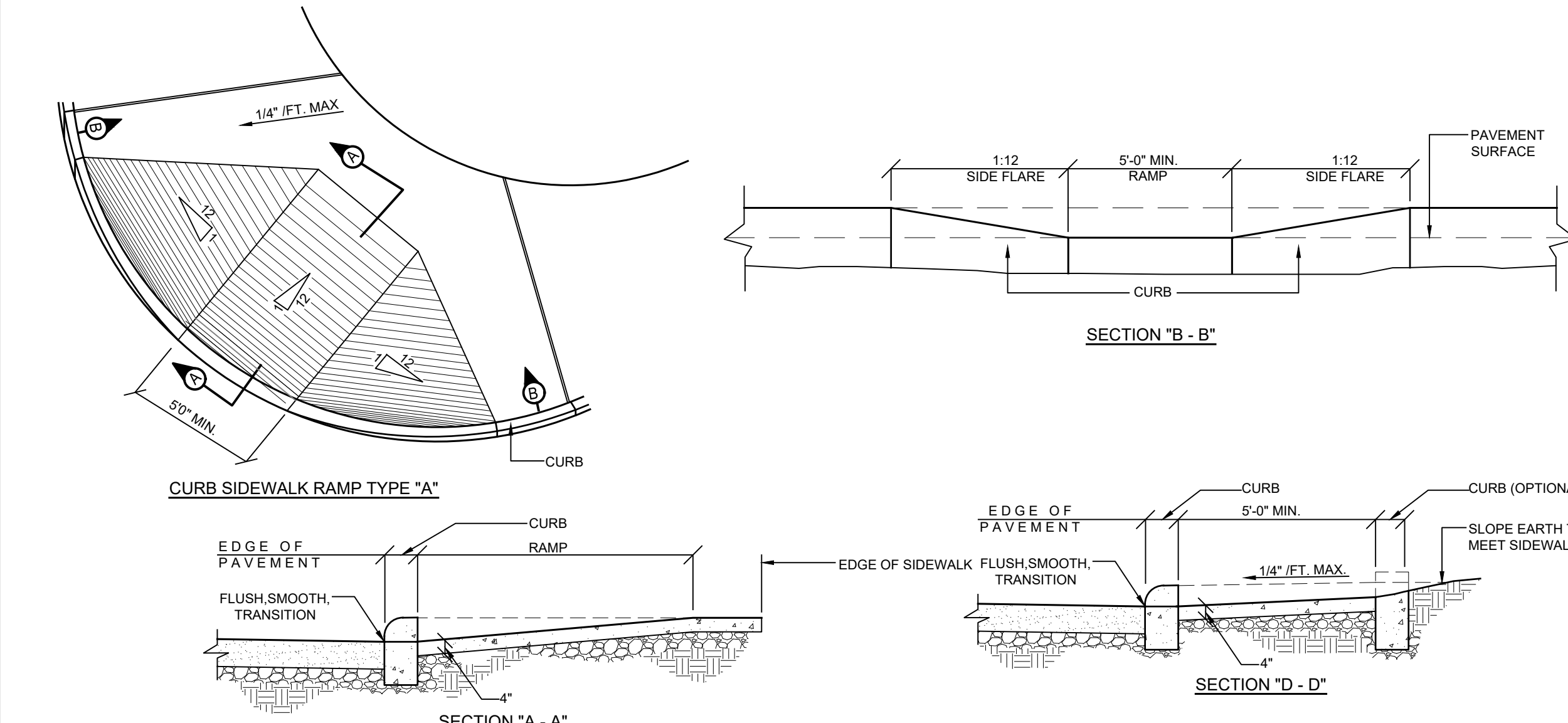
TYPICAL INSTALLATION GUIDELINES

SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
	R1-1	30" X 30"	GR. MT.
	R7-6	12" X 18"	GR. MT.

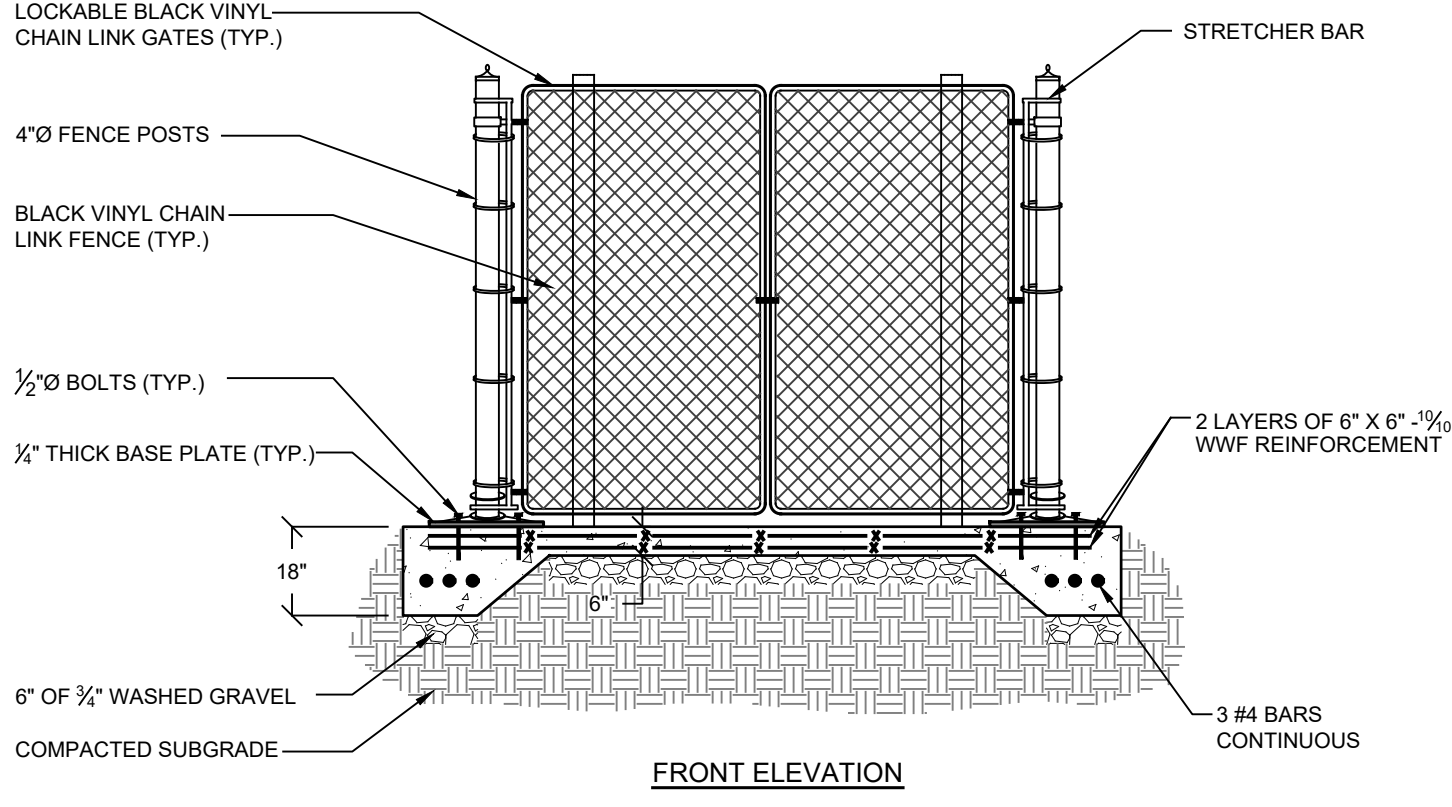
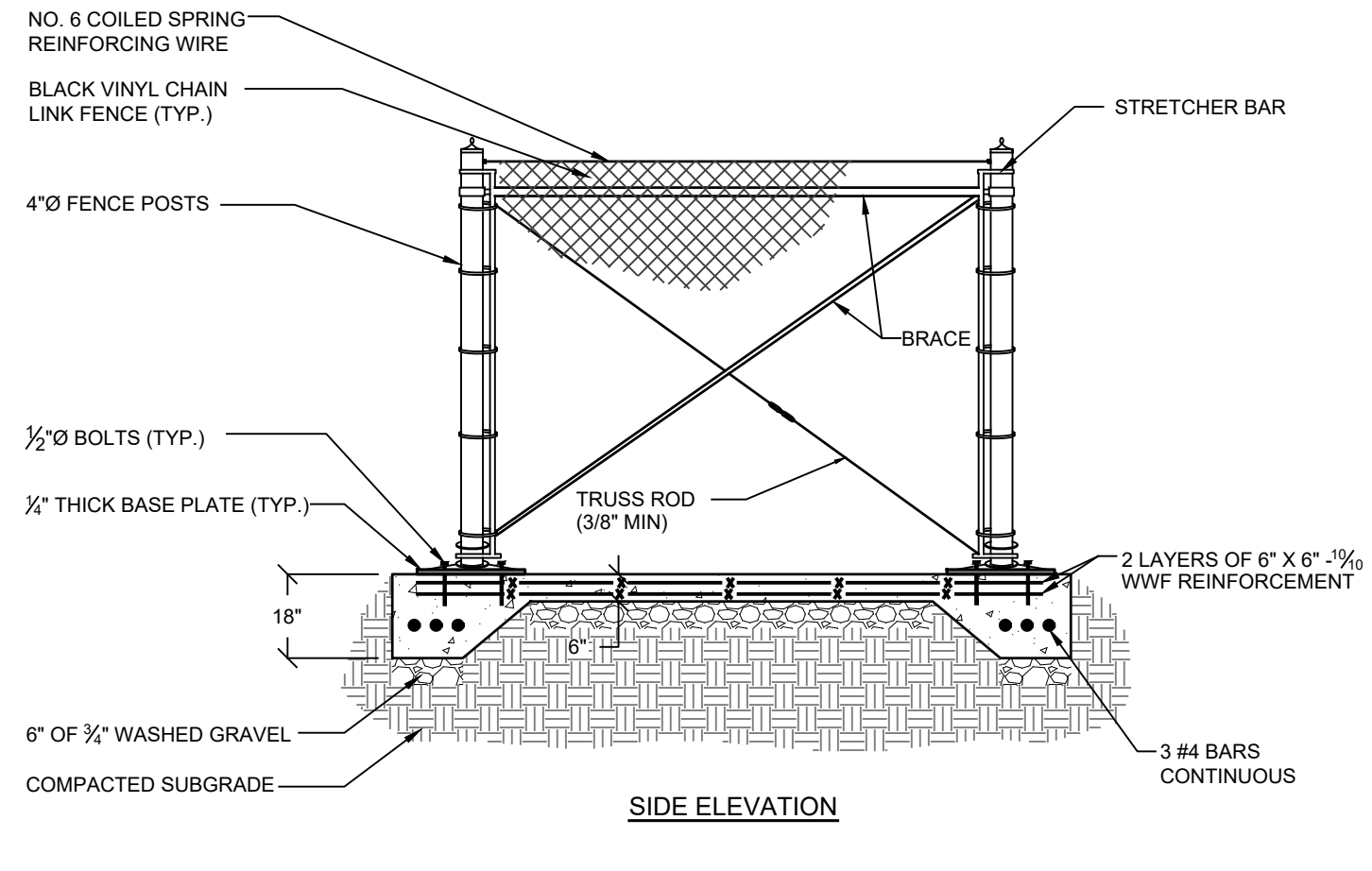
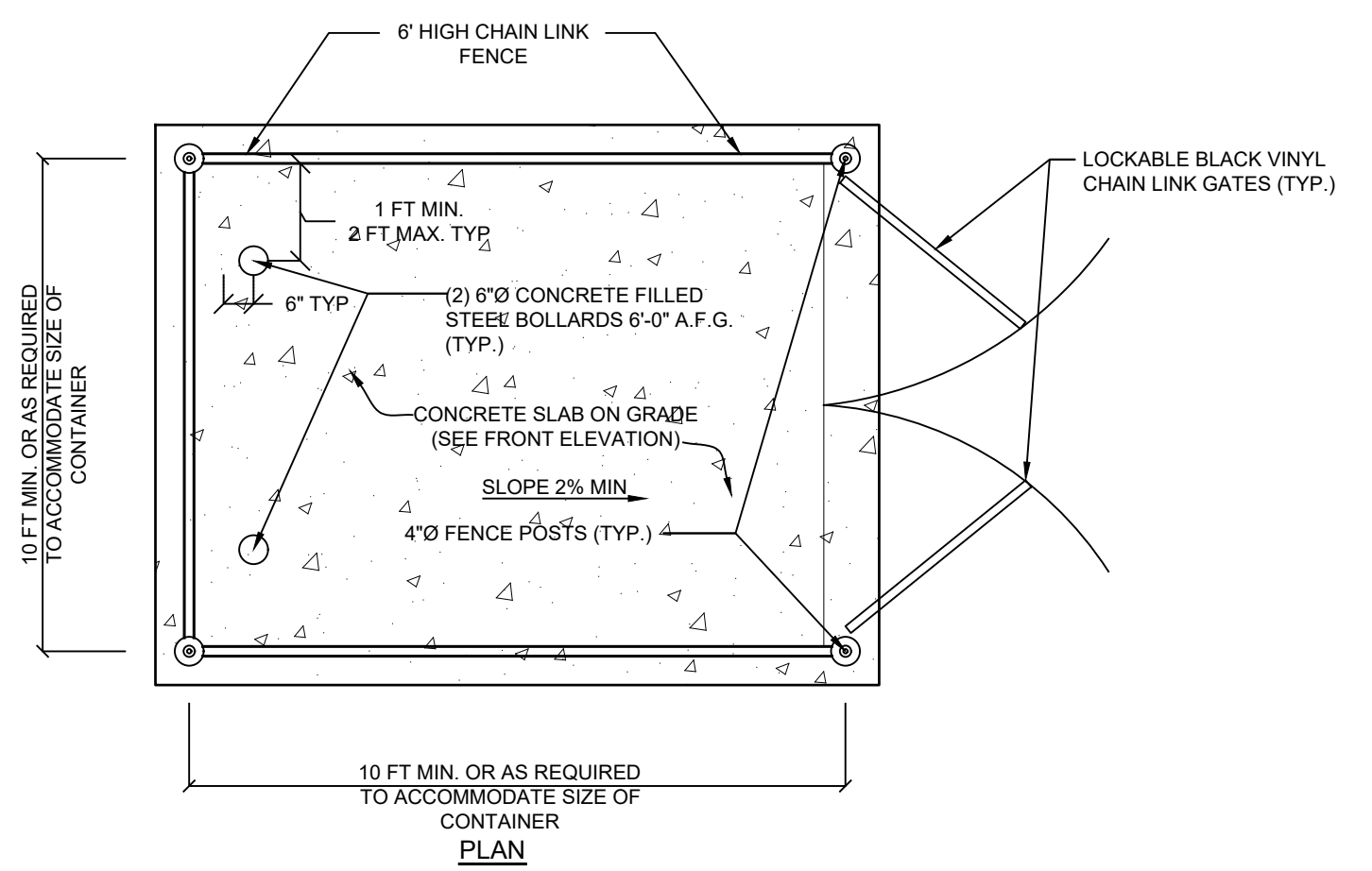
SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
	P1-2	12" X 18"	GR. MT.

- GENERAL NOTES:**
- All signage shall be in accordance with the latest edition of the national MUTCD and the N.Y.S Supplement (MUTCD), September 2007, including the following:
 - A. Letter size and series
 - B. Legend and background color
 - C. Reflectivity
 - D. Size of sign
 - The type of characters as specified in the standard specifications shall be as follows:

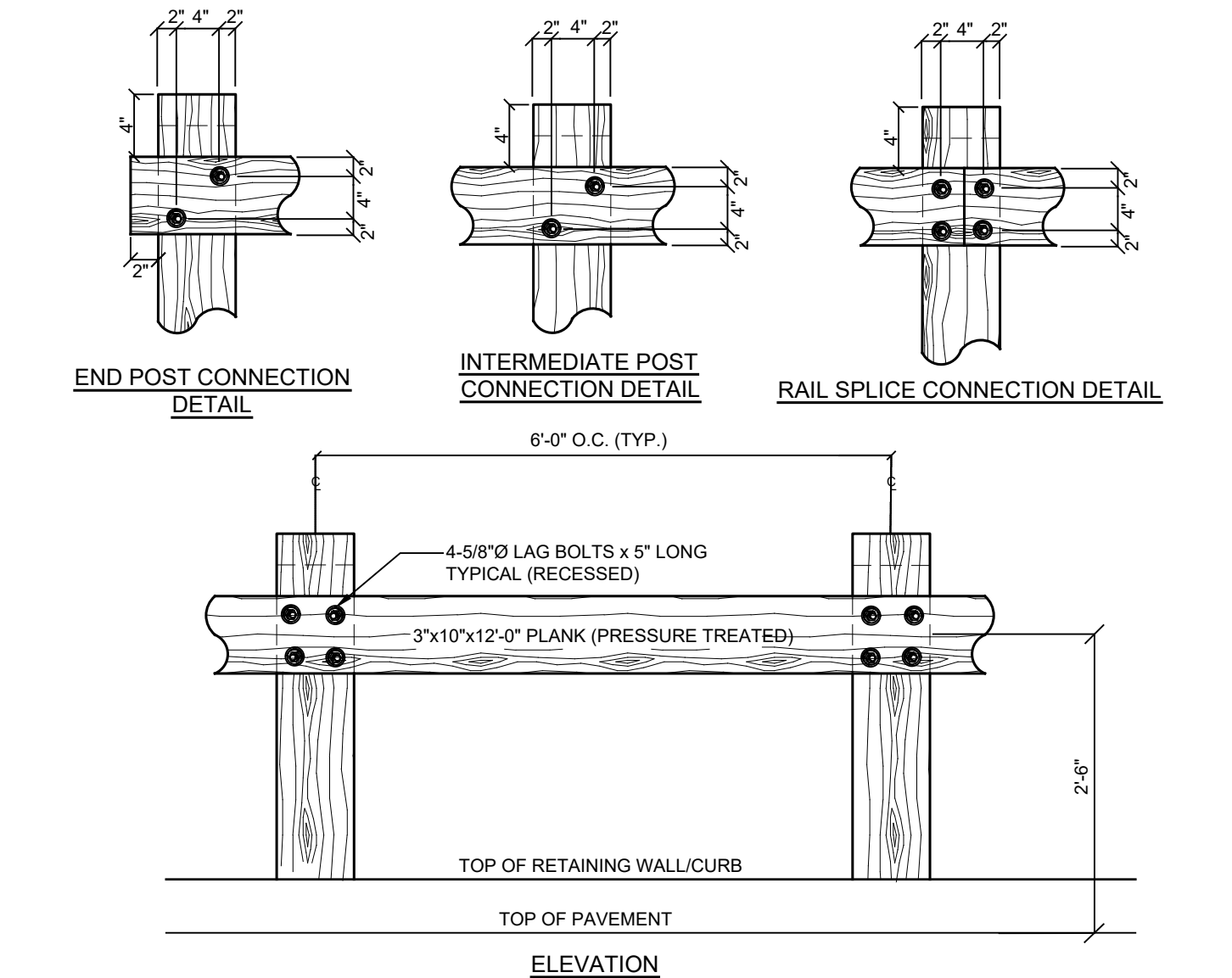
MUTCD CODE LETTERS	TYPE OF CHARACTER
R, P, W, M	TYPE IV OR V
G, J	TYPE IV
O, I	TYPE IV OR V
 - Sign locations as shown on plans are approximate. The Contractor shall relocate existing signs and install new signs in accordance with the MUTCD, latest edition. The Contractor shall contact the Town Engineer to discuss/resolve problem areas.
 - Except where otherwise specified, parking signs shall be placed facing approaching traffic at an angle of between 30 and 45 degrees with the line of traffic flow. Parking signs shall be placed at each end of a regulation (single-headed arrow) and, within the regulation (double-headed arrow), at intervals not to exceed 200 ft.
 - Where new signs are installed the Contractor shall affix a label to the back of the sign panel. This label will show the date of installation and identification numbers.
 - Placement of WS-17 sign is prescribed in the General Municipal Law.



- NOTES:**
- GENERAL:**
- Sidewalk curb ramp type and location are as shown on the plans or as directed.
 - All sidewalk curb ramp types may be used as straight or curved curb sections.
 - Sidewalk curb ramp types may be different at each location within an intersection.
- SIDEWALK CURB RAMP CRITERIA:**
- The maximum slope of a sidewalk curb ramp shall be 1:12.
 - The maximum width of a sidewalk curb ramp shall be five feet. Exclusive of flared sides.
 - All sidewalk curb ramps shall have flush, smooth transitions to the adjacent street or highway surface.
- SURFACE FINISH:**
- The surface of all sidewalk curb ramps shall be stable, firm, and slip resistant (E.G. A coarse broom finish perpendicular to the ramp slope is acceptable on cement concrete curb ramps.)
 - All proposed sidewalk curb ramps shall have a detectable warning surface installed on the back of the curb for a distance of 2 feet in the direction of travel on the ramp and extending the full width of the ramp, excluding the ramp sides or flares. The detectable warning surface shall comply with the requirements of section 4.29.2 of the Americans with Disabilities Act accessibility guidelines (ADAAG).
- SIDEWALK CURB RAMP PLACEMENT:**
- At a corner, where the curb radius is 25-feet or less, a single ramp (either type a or b) located diagonally can often serve crosswalks in two directions. However, a single ramp shall only be used where there is a minimum clear space of 48" falling entirely within the projection of the intersection curb (see figure 1). Where the radius exceeds 25' or the minimum 48" clear space is not achievable, then separate ramps should be provided for each crosswalk.
- PAVEMENT MARKINGS AT CROSSWALKS:**
- Sidewalk curb ramps at marked crossings shall be wholly contained within the markings excluding any flared sides.
 - At a corner where a single ramp (either type a or b) located diagonally serves two crosswalks, this shall be a 48" minimum clear space at the ramp bottom wholly contained within the intersection crosswalk markings.
 - Where stop lines are necessary, they shall be located in advance of sidewalk curb ramps.
- UTILITIES - DRAINAGE INLETS OR GRATES:**
- Where feasible, provide for drainage inlets or grates immediately upstream from the curb ramps. Rectangular or rectangular drainage grates are to be used in the area of curb ramps.
 - Do not place signal poles, sign posts, utility poles, fire hydrants, etc., within the ramp or side flare areas.

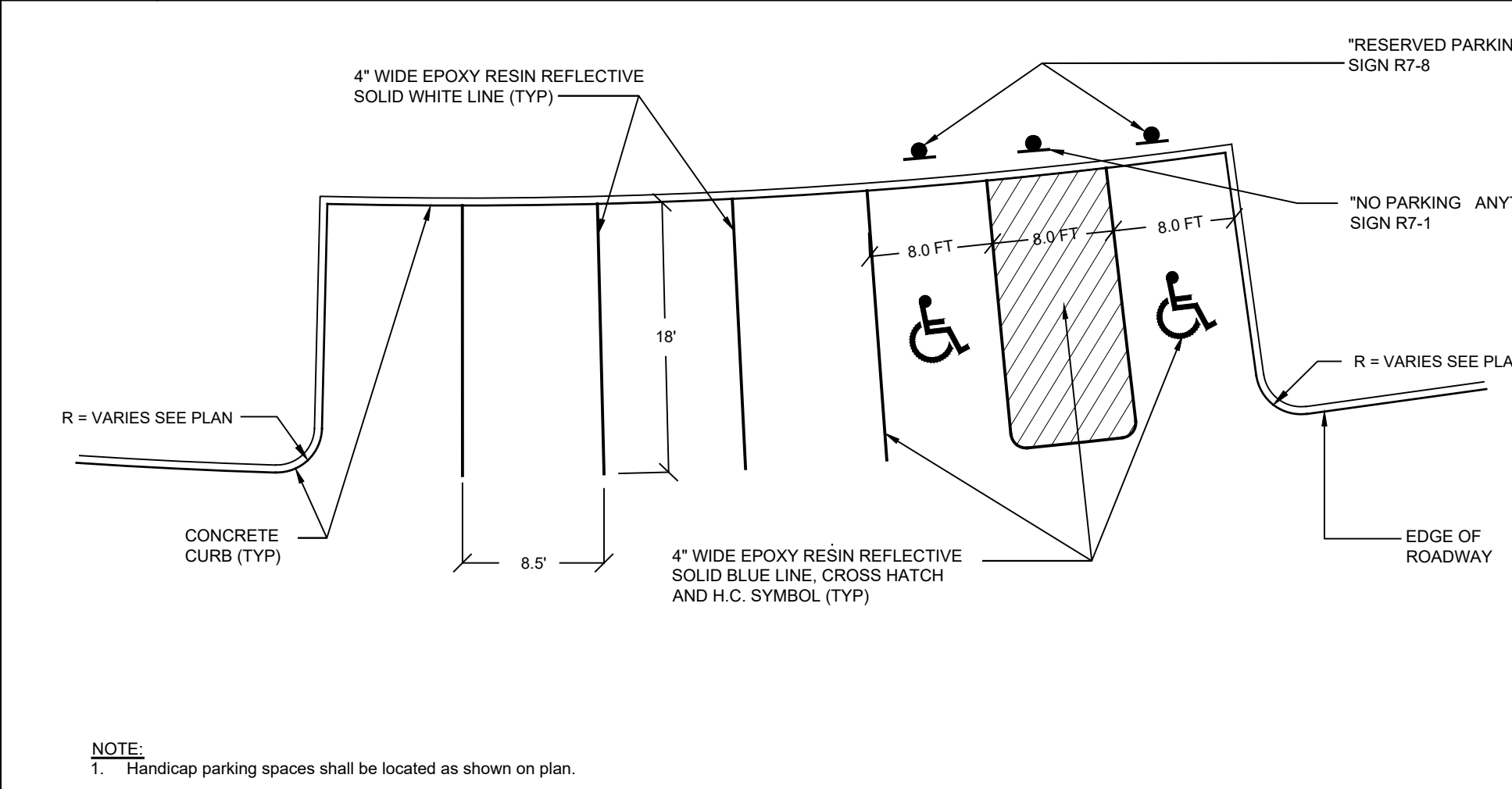


S-1 TRASH ENCLOSURE DETAIL NOT TO SCALE

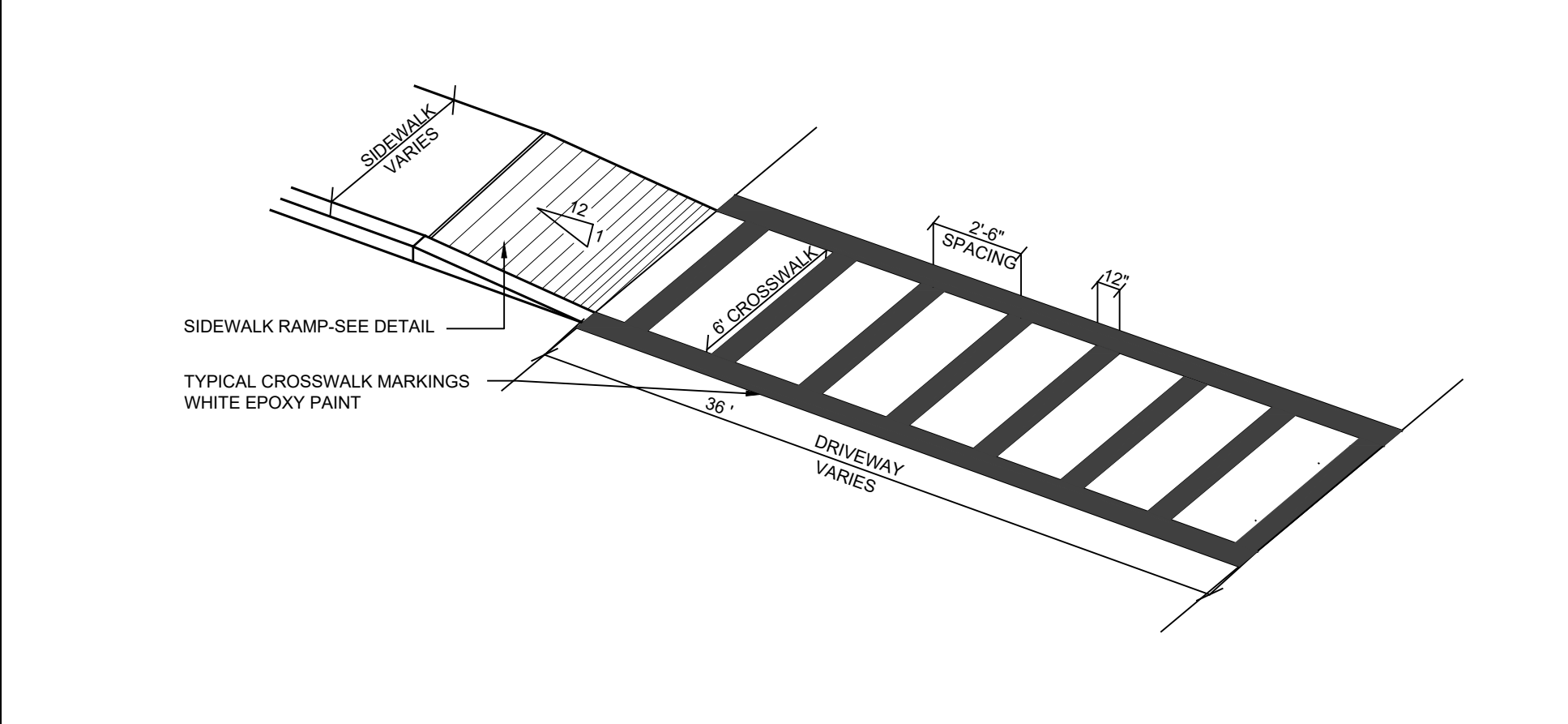


R-9 TIMBER GUARDRAIL DETAIL NOT TO SCALE

R-1 TRAFFIC SIGN DETAIL NOT TO SCALE

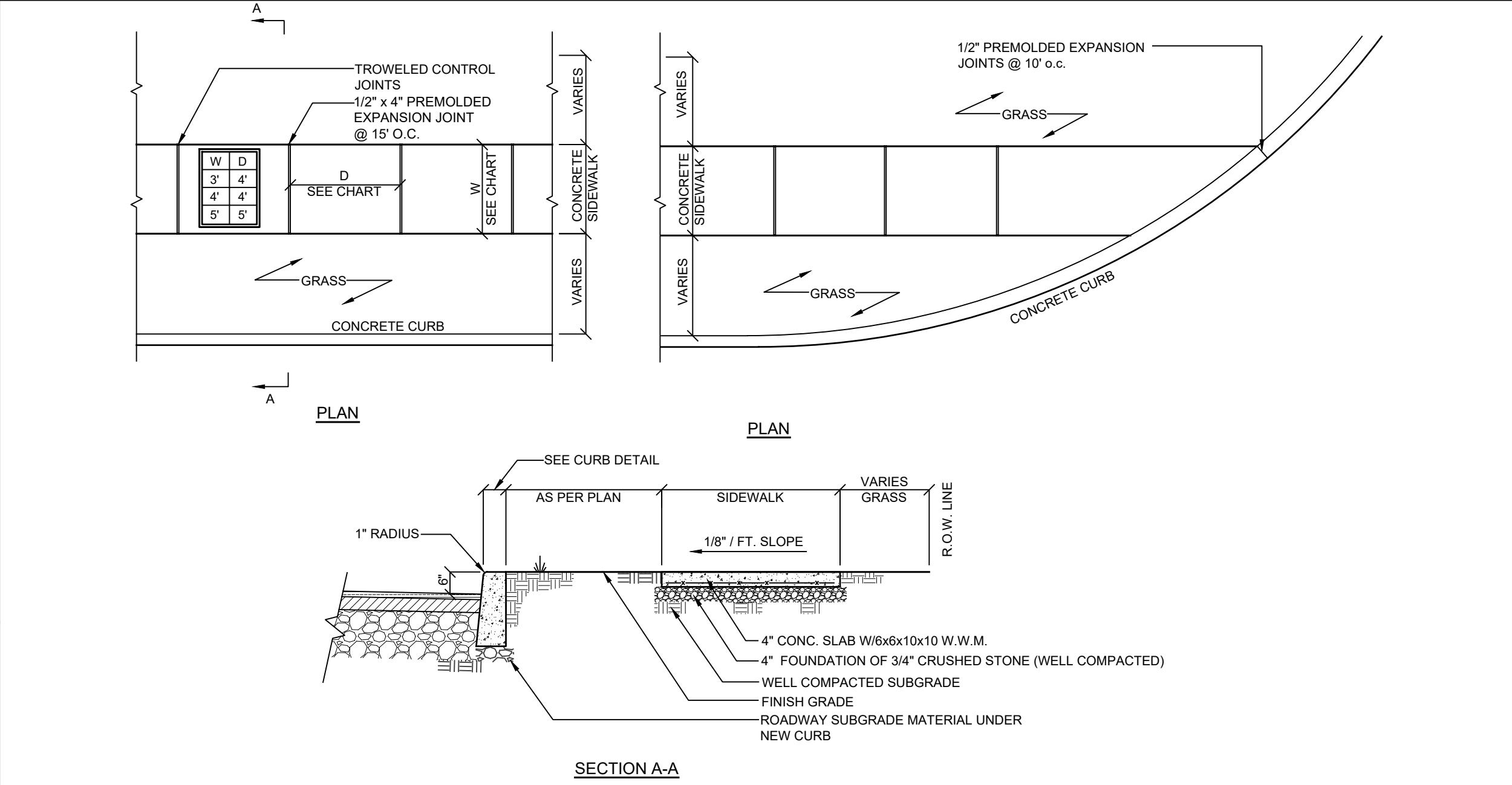


R-2 TYPICAL PARKING STALL LAYOUT NOT TO SCALE

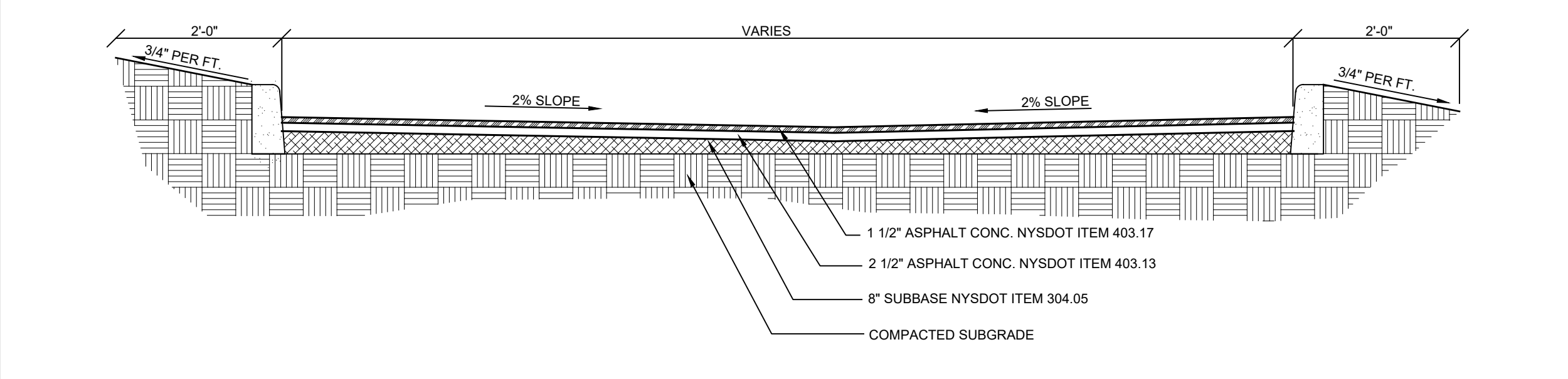


R-3 PAINTED CROSS WALK NOT TO SCALE

R-4 SIDEWALK CURB-RAMP DETAIL NOT TO SCALE



R-5 CONCRETE SIDEWALK DETAIL NOT TO SCALE



R-6 TYPICAL DRIVEWAY AND PARKING LOT SECTION NOT TO SCALE

PROJECT # 14-14

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 • Fax: (914) 962-7386
www.sitedesignconsultants.com

Engineer:

SCALE: NTS
DRAWN BY: JR
DATE: 2/10/21

SITE DETAILS

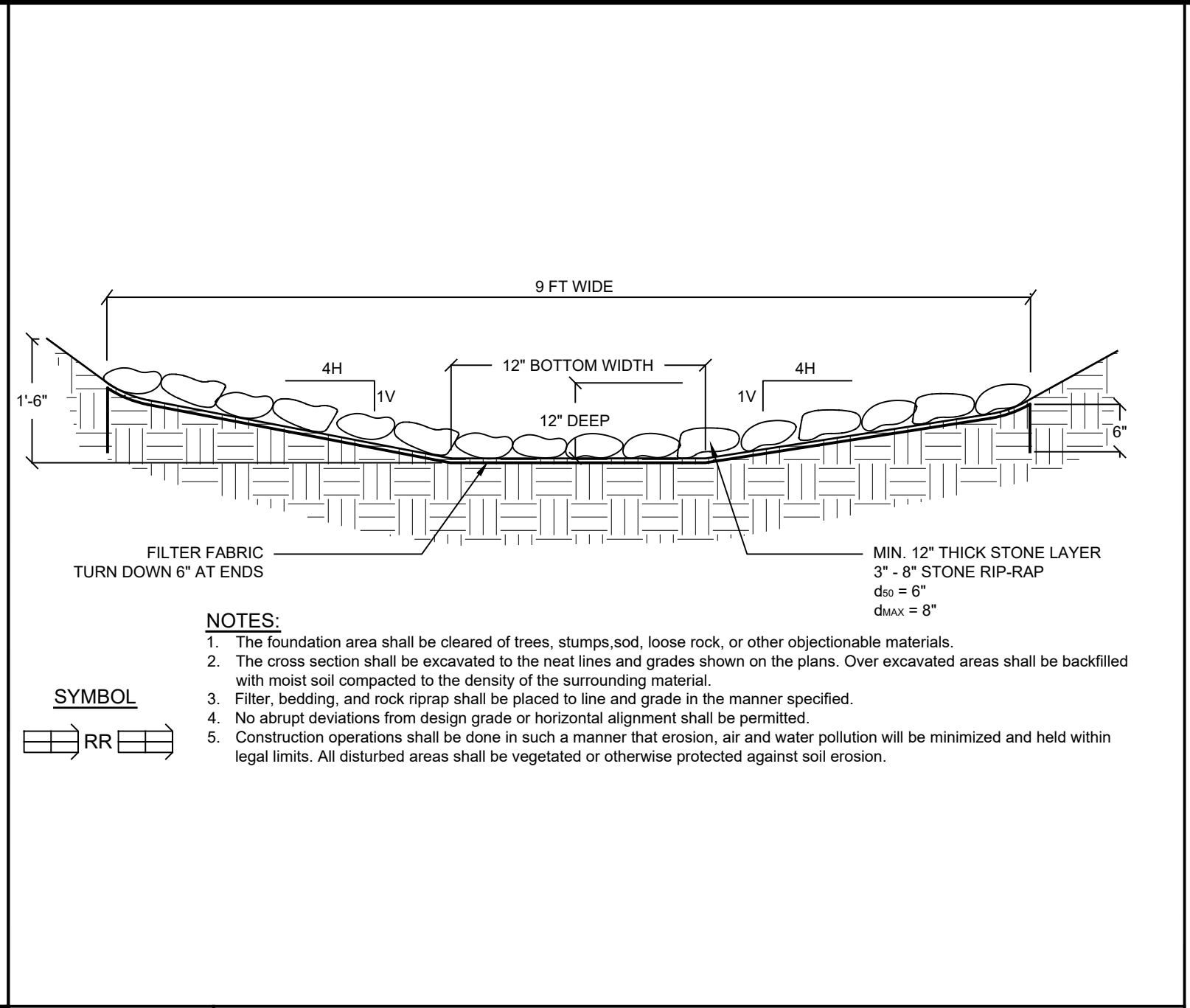
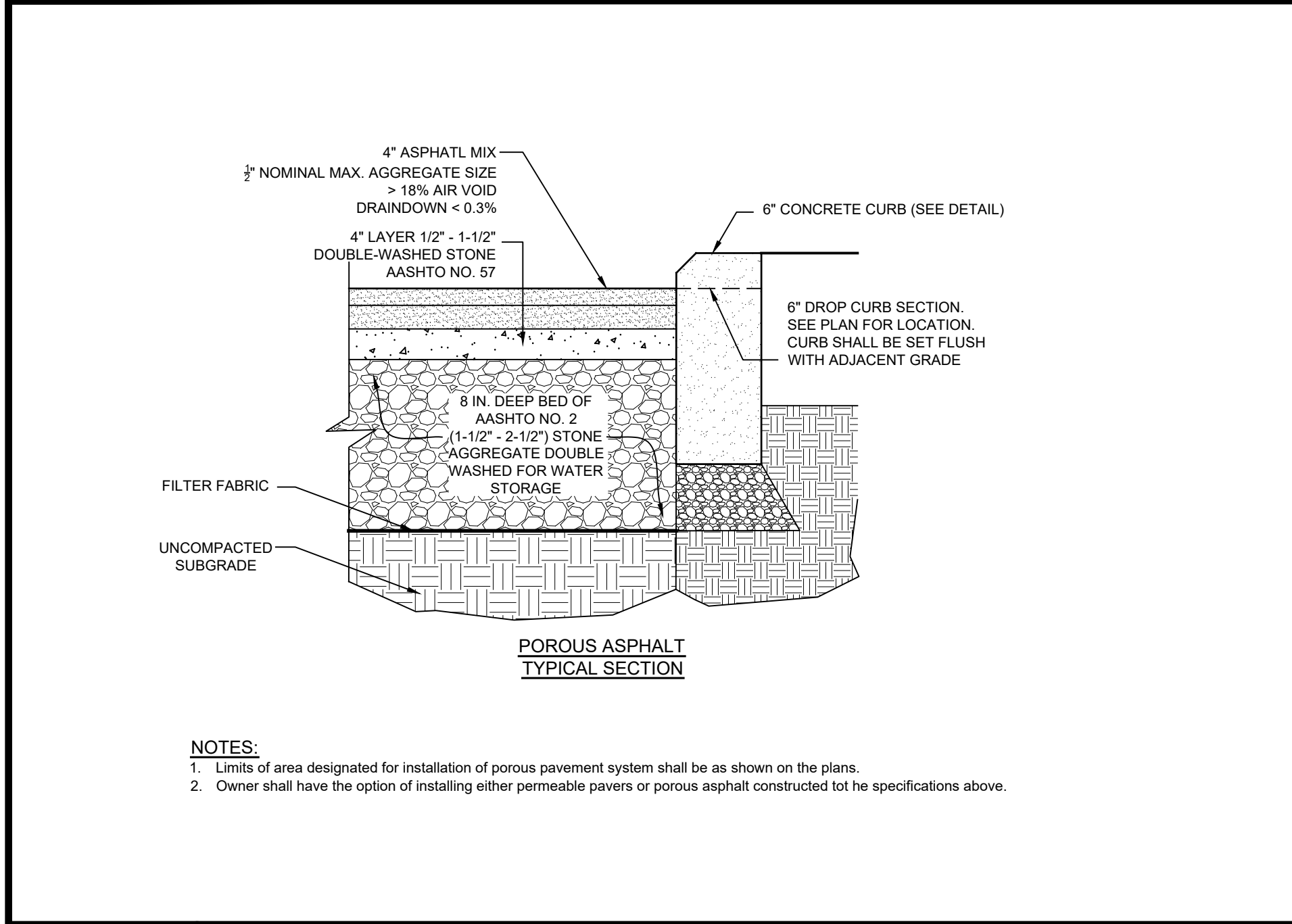
ENVIROGREEN ASSOCIATES
1851 EAST MAIN STREET
Town of Yorktown
Westchester County, New York

Sheet 10 of 12

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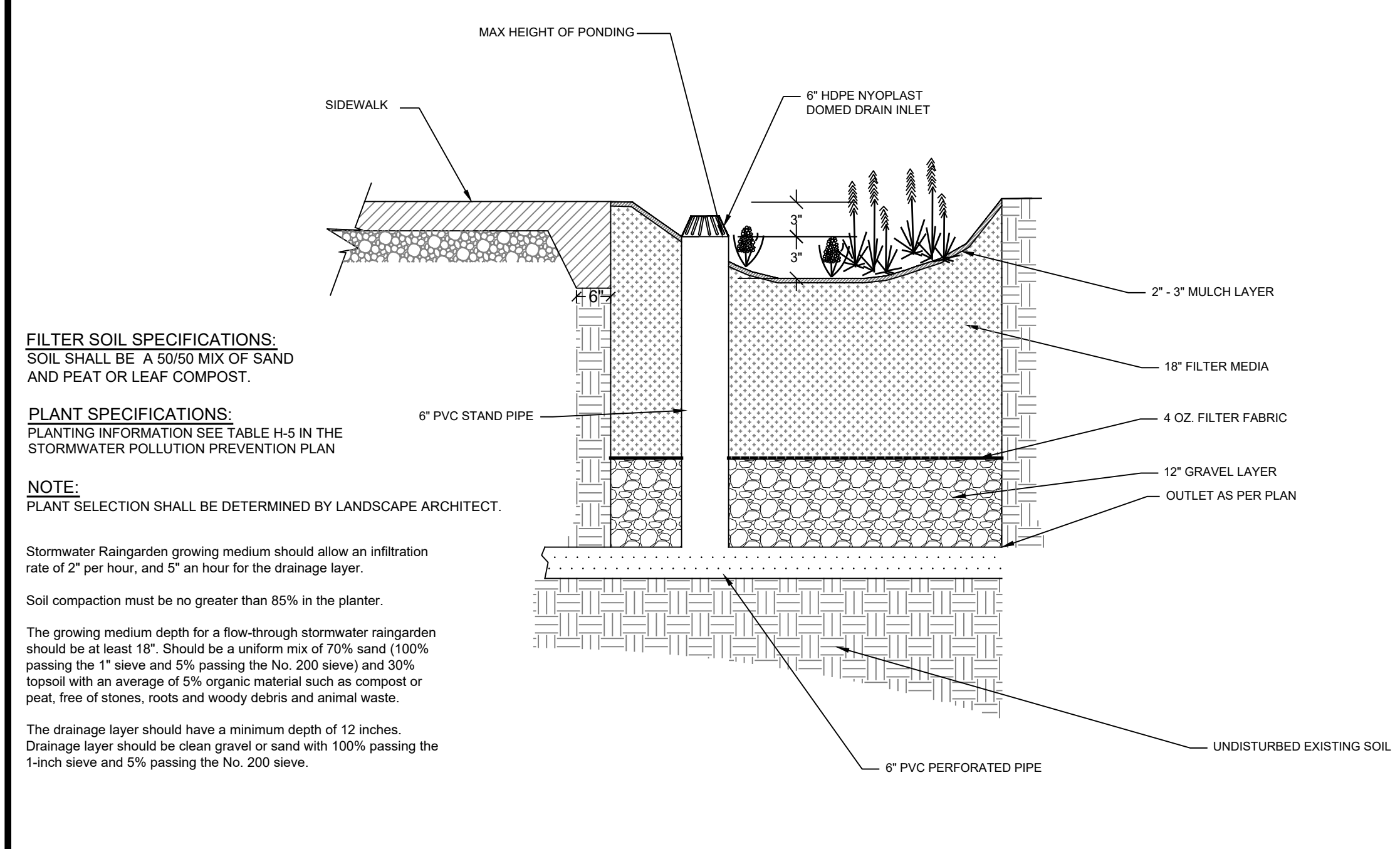
ENVIROGREEN ASSOCIATES, INC. ENGINEERING, ARCHITECTURE, ENVIRONMENTAL CONSULTING, LANDSCAPE ARCHITECTURE, AND PLANNING SERVICES. 1851 EAST MAIN STREET, YORKTOWN HEIGHTS, NY 10598

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

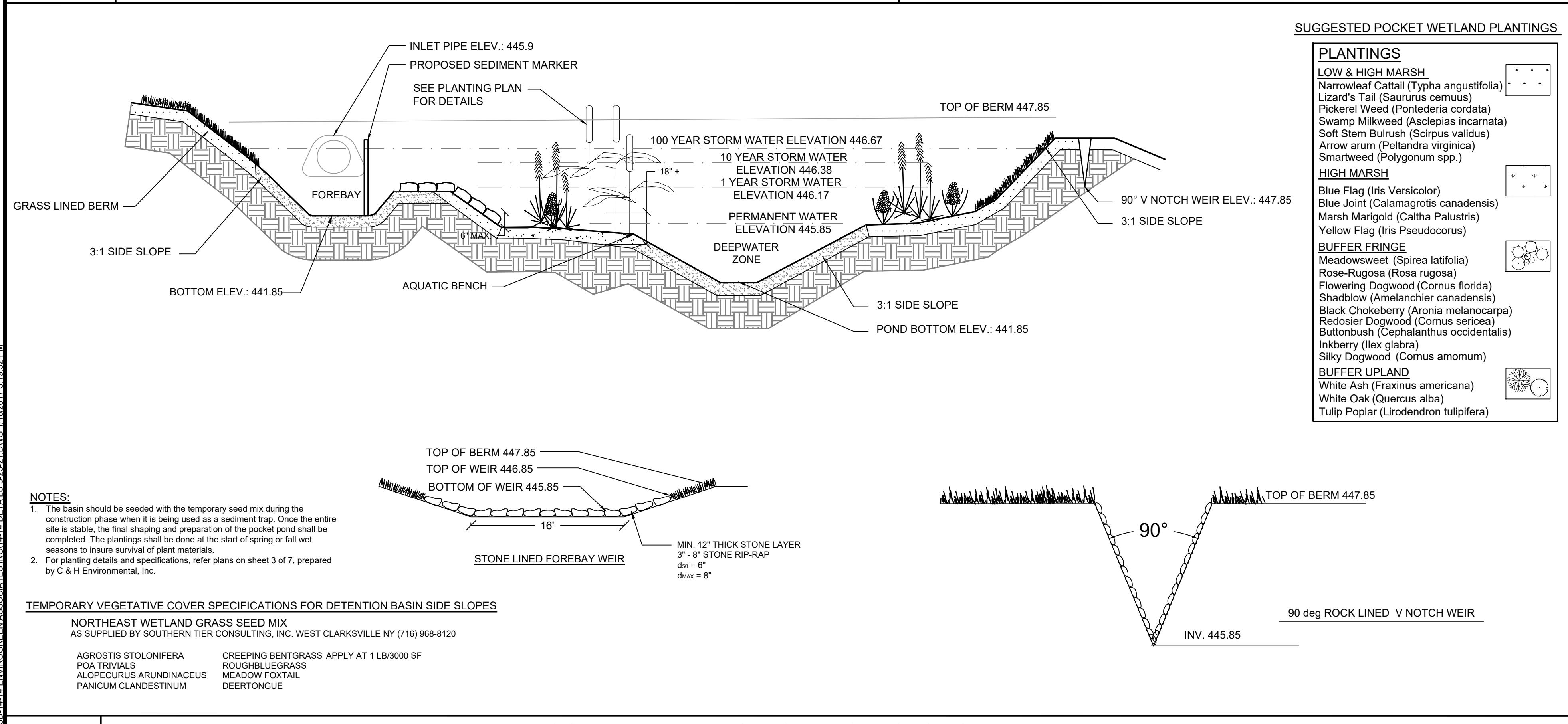


SW-4 **POROUS PAVEMENT DETAIL**
NOT TO SCALE

SW-1 **RIP-RAP SWALE DETAIL**
NOT TO SCALE



SW-4 **RAINGARDEN DETAIL**
NOT TO SCALE



SW-1 **POCKET WETLAND (W-4) TYPICAL SECTION**
NOT TO SCALE

SUGGESTED POCKET WETLAND PLANTINGS

PLANTINGS	SYMBOL
LOW & HIGH MARSH	
Narrowleaf Cattail (<i>Typha angustifolia</i>)	[Symbol]
Lizard's Tail (<i>Saururus cernuus</i>)	[Symbol]
Pickeral Weed (<i>Pontederia cordata</i>)	[Symbol]
Swamp Milkweed (<i>Asclepias incarnata</i>)	[Symbol]
Soft Stem Bulrush (<i>Scirpus validus</i>)	[Symbol]
Arrow arum (<i>Peltandra virginica</i>)	[Symbol]
Smartweed (<i>Polygonum</i> spp.)	[Symbol]
HIGH MARSH	
Blue Flag (<i>Iris Versicolor</i>)	[Symbol]
Blue Joint (<i>Calamagrostis canadensis</i>)	[Symbol]
Marsh Marigold (<i>Caltha Palustris</i>)	[Symbol]
Yellow Flag (<i>Iris Pseudocorus</i>)	[Symbol]
BUFFER FRINGE	
Meadowsweet (<i>Spiraea latifolia</i>)	[Symbol]
Rose-Rugosa (<i>Rosa rugosa</i>)	[Symbol]
Flowering Dogwood (<i>Cornus florida</i>)	[Symbol]
Shadbowl (<i>Amelanchier canadensis</i>)	[Symbol]
Black Chokeberry (<i>Aronia melanocarpa</i>)	[Symbol]
Redosier Dogwood (<i>Cornus sericea</i>)	[Symbol]
Buttonbush (<i>Cephalanthus occidentalis</i>)	[Symbol]
Inkberry (<i>Ilex glabra</i>)	[Symbol]
Silky Dogwood (<i>Cornus amomum</i>)	[Symbol]
BUFFER UPLAND	
White Ash (<i>Fraxinus americana</i>)	[Symbol]
White Oak (<i>Quercus alba</i>)	[Symbol]
Tulip Poplar (<i>Liriodendron tulipifera</i>)	[Symbol]

NOTES:

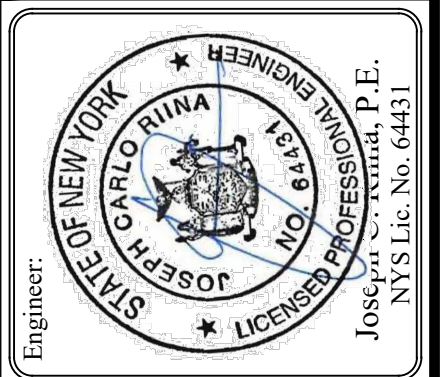
- The basin should be seeded with the temporary seed mix during the construction phase when it is being used as a sediment trap. Once the entire site is stable, the final shaping and preparation of the pocket pond shall be completed. The plantings shall be done at the start of spring or fall wet seasons to insure survival of plant materials.
- For planting details and specifications, refer plans on sheet 3 of 7, prepared by C & H Environmental, Inc.

TEMPORARY VEGETATIVE COVER SPECIFICATIONS FOR DETENTION BASIN SIDE SLOPES

NORTHEAST WETLAND GRASS SEED MIX
AS SUPPLIED BY SOUTHERN TIER CONSULTING, INC. WEST CLARKSVILLE NY (716) 968-8120

AGROSTIS STOLONIFERA	CREeping BENTGRASS APPLY AT 1 LB/3000 SF
POA TRIVIALIS	ROUGH BLUEGRASS
ALOPECURUS ARUNDINACEUS	MEADOW FOKTAL
PANICUM CLANDESTINUM	DEERTONGUE

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Revisions:	No.	Date:	Comments:

SCALE:	NTS
DRAWN BY:	JR
DATE:	2/10/21

STORMWATER DETAILS

ENVIROGREEN ASSOCIATES
1851 EAST MAIN STREET
Town of Yorktown
Westchester County, New York

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

Invasive Species Monitoring and Control Program

Japanese barberry, oriental bittersweet, *Phragmites australis* and multiflora rose are all noted as present within and adjacent to the wetlands on the project site. These invasive species favor areas of disturbed soils and edge areas. This plan will implement an invasive species monitoring and manual control program for the duration of construction and development of the project. It has been designed to carry over into the needed maintenance plans that will need to be developed and implemented by the Project Owner.

Those areas of the site that are closest to the existing wetlands and watercourses have been disturbed and re-graded over the years. These are the portions of the site that are known to support invasive species which are altering the character of the wetlands and adjacent areas and represent a long term risk to the native vegetative community. For this project, those areas within 50 feet of the wetland boundary will be assessed and treated per this plan.

By controlling exotic vegetation, and reducing deer populations due to increased human activity on the site, nearby native plants will have less competition and therefore have more resources available for their own growth. An invasive species monitoring and control program will be implemented at the project site as part of the overall development plan. Species targeted for removal include the following:

- Tree-of-heaven (Ailanthus altissima)*
- Multiflora rose (Rosa multiflora)*
- Mugwort (Artemisia vulgaris)*
- Autumn olive (Elaeagnus umbellata)*
- Garlic mustard (Alliaria petiolata)*
- Purple loosestrife (Lythrum salicaria)*
- Common reed (Phragmites australis)*
- Oriental bittersweet (Celastrus orbiculatus)*
- Porcelainberry (Ampelopsis brevipedunculata)*
- Japanese Barberry (Berberis thunbergii)*
- Japanese Stilt Grass (Microstegium vimineum)*
- Winged Euonymus (Euonymus alatus)*

The above listed species and all other invasive non-native plants that are detrimental to the ecology of the project site will be removed during site development to the extent practicable. The goal of this program is to reduce the presence of exotic/invasive species to a threshold of less than ten percent total cover within the areas shown on the Wetland Restoration and Buffer Enhancement Plan (the "Plan"). A qualified biologist/botanist will supervise the removal of invasive species. Invasive species can be removed in several ways, depending on the location and species of the plant:

1. If a shrub is isolated and does not have its root system entwined with other plants, it may be removed mechanically. As much of the root system as possible should be removed to prevent the possibility of the invasive plant sprouting from root pieces left behind.
2. If a shrub is growing amongst other native plants in a way that uprooting it may disturb surrounding native plants warranting preservation, the plant may be most safely and effectively removed by chemical means. To remove by chemical means, the plant shall first be cut back to a few stubs and stumps, about twelve inches from the base. An EPA approved solution of glyphosate (Round-up or equivalent) shall be painted on the ends of the stumps. This technique shall be applied in the early fall months before the onset of plant dormancy. Proper notification must be made prior to the application of all restricted pesticides, and application made by a licensed applicator, if required. During project construction, glyphosate will only be applied by a licensed herbicide applicator, as coordinated with the Environmental Site Monitor. Only hand-cutting and removal will be allowed within the Wetland Controlled Area.
3. Highly invasive groundcovers, such as Japanese honeysuckle, are difficult to eliminate due to their habit of rooting along the stem. Groundcovers of this type will be removed by hand or mechanically. If after the second year of treatment the species persists, it may be sprayed with glyphosate, using a very close and targeted application during the active growing season. If the plant is growing among other herbaceous or shrub material that would be harmed by spraying, the glyphosate shall be applied by brush or mechanical removal should be considered. Repeated treatments may be necessary to remove the plant completely.
4. Highly invasive annuals, such as garlic mustard, are difficult to eliminate due to their growth from seed that is widespread among the soil seed bank where the plants are found. Several methods may be utilized in removing this type of invasive plants. If the species is growing densely without other plants, the area will be sprayed with glyphosate during the active growing season, following the manufacturer's recommendations. Species will also be removed by hand. Both methods should be performed before plants set seed. Both methods shall be performed multiple times over a season and possibly over several seasons to completely eradicate the target species.

Monitoring and Maintenance Schedule

Following development of the site, a maintenance plan will include the regular inspection of undisturbed areas as shown on the Plan, and removal of these species as necessary. This represents the transitional areas that are most susceptible to opportunistic settling of invasive species. It is anticipated that a schedule of inspections three times a year for the first three years following full project build out (early, mid and late growing season) will be adequate for the identification and removal of the invasive species in this area.

The Town Building Inspector and Wetlands Inspector will be consulted prior to the proposed removal of invasive species within the controlled area. In addition, all activities related to invasive species control, monitoring and assessment of achievement of the 10 percent tolerance threshold for coverage by all invasive species on the project site will be coordinated with the Environmental Site Monitor. These inspections will include the mapping and identification of locations and extent of cover of invasive species, and identify the methods to be used for the subsequent removal. Following treatment, a brief report outlining extent, location and removal method for each species shall be prepared and filed with the Town Planning Office.

Map Symbol	Quantity*	Scientific Name	Common Name	Size
Trees				
Aru	11	Acer rubrum	Red Maple	5' - 6'
Shrubs				
CSe	44	Cornus sericea	Redtiller dogwood	3' - 4'
AC	6	Amelanchier canadensis	Shadblow	4' - 5'
IV	42	Ilex verticillata	Winterberry holly	3' - 4'
VC	14	Vaccinium corymbosum	Highbush blueberry	4' - 5'
VD	35	Viburnum dentatum	Aronwood	4' - 5'
SD	14	Salix discolor	Pussy willow	4' - 5'
SC	7	Sambucus canadensis	Elderberry	4' - 5'
Herbaceous Plants				
CS (Zone 2)	100	Carex stricta	Tussock sedge	2" plug
CS (Zone 2)	100	Carex crinita	Fringed sedge	2" plug
JE (Zone 2)	100	Juncus effusus	Soft rush	2" plug
EP (Zone 1)	100	Eupatorium purpure	Joe pye weed	2" plug
AI (Zone 1)	100	Asclepias incarnata	Swamp milkweed	2" plug
VH (Zone 1)	100	Verbena hastata	Blue vervain	2" plug
Seed Mix				
SWM	8 pounds	Riparian Buffer Mix ERNMX-154	Or equivalent	

* Plant quantities will be held, but final locations will be determined in the field following removal of invasive and dead plant materials.

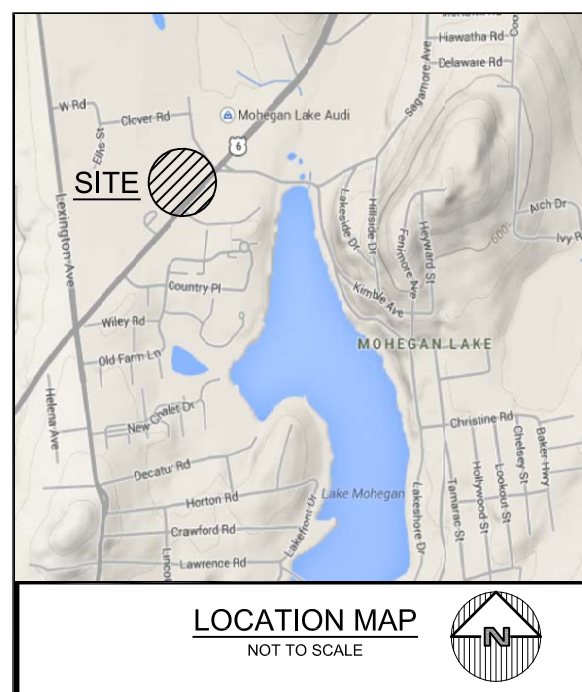
Wetland Buffer Enhancement Areas

Following the removal of non-native invasive species as specified in the invasive species eradication plan, wetland and buffer areas will be seeded using the following seed mixes:

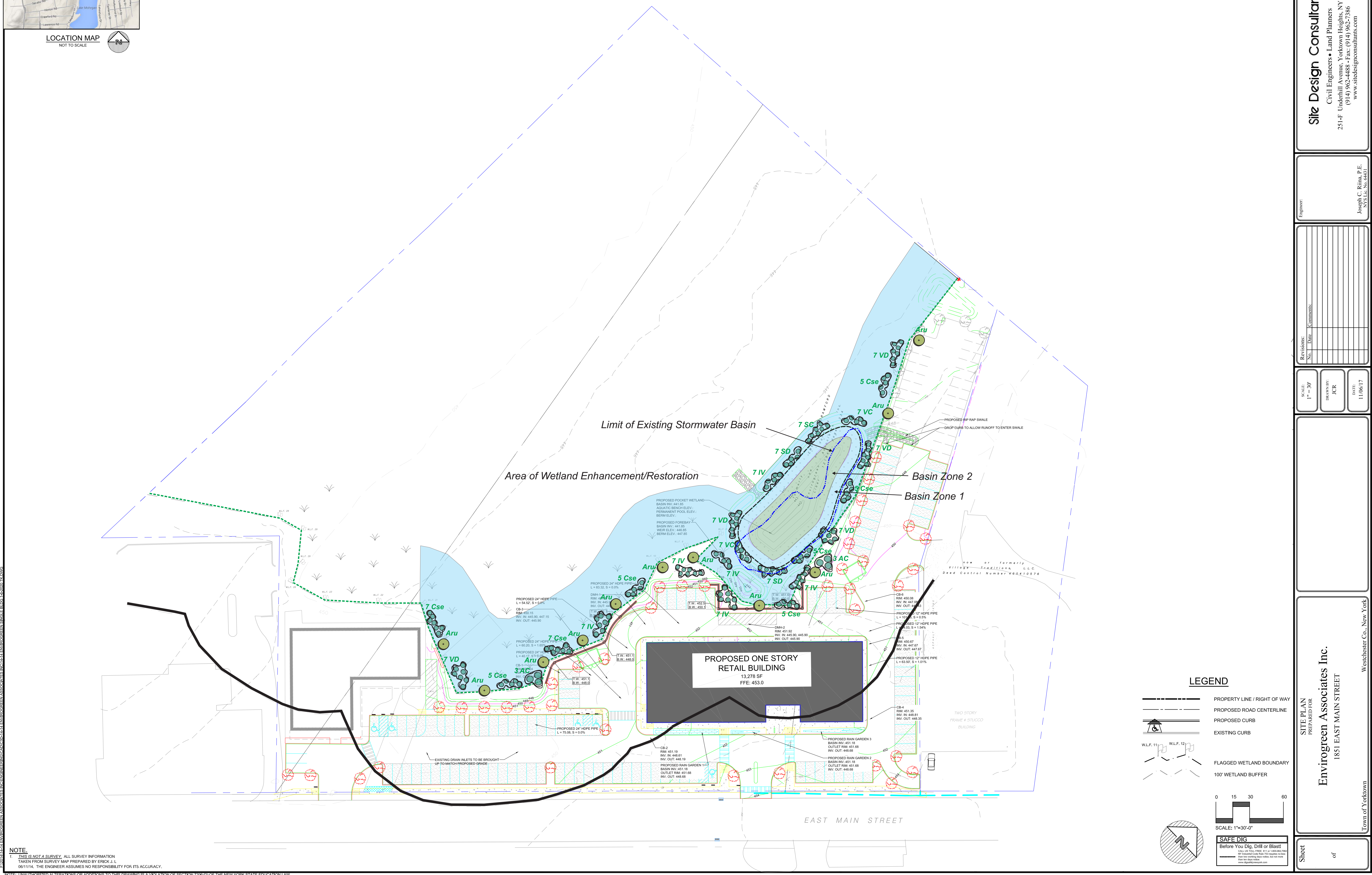
Buffer Areas - Riparian Buffer Mix (ERNMX-154 or equivalent) at 20 lbs/acre.

Zone 1 plantings will be interplanted with seeding on the sloped banks of the pocket wetland.

Zone 2 plantings will be planter in and along the edges of the permanent pool in the pocket wetland basin.



SITE DATA:
 OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.
 PROJECT LOCATION: 11 HAGEMAN CT, KATONAH, N.Y. 10536, 185 EAST MAIN STREET, MOHESAN LAKE, N.Y. 10547
 EXISTING TOWN ZONING: C-3 LIMITED COMMERCIAL - R1-20 RESIDENTIAL
 PROPOSED USE: RETAIL / COMMERCIAL
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31
 SITE AREA: 8.795 ACRES (333,114.7 SF)
 SEWAGE FACILITIES: PUBLIC SEWERS
 WATER FACILITIES: PUBLIC WATER FACILITIES



LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- FLAGGED WETLAND BOUNDARY
- 100' WETLAND BUFFER

SCALE: 1"=30'-0"

SAFE DIG
 Below You Dig, Dig or Blast
 Call for Utility Location Information
 800-4-A-SAFE-DIG
 www.4-safe-dig.com

NOTE:
 THIS IS NOT A SURVEY. ALL SURVEY INFORMATION TAKEN FROM SURVEY MAP PREPARED BY ERICK J. QUINN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
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Site Design Consultants
 Civil Engineers & Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 Tel: 914-361-1200
 www.sitedesignconsultants.com

PROJECT # 14-14

DATE: 11/06/17

REVISIONS:

No.	Date	Comments

SCALE: 1"=30'-0"

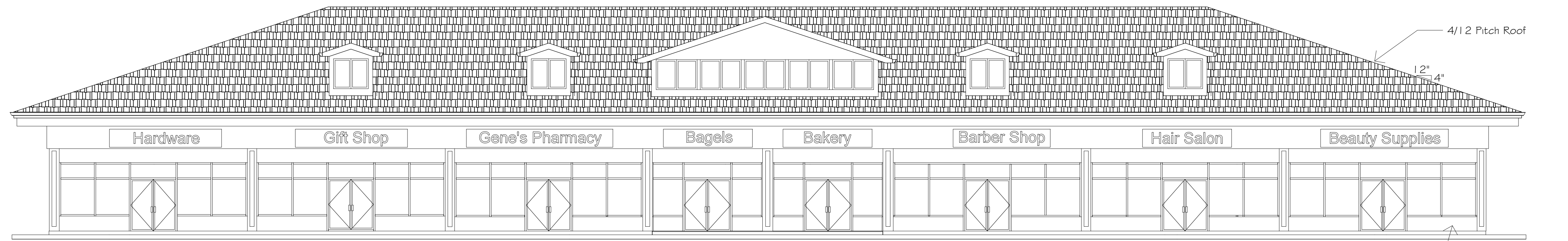
PREPARED FOR: JCR

ENVIROGREEN ASSOCIATES INC.
 11 HAGEMAN CT
 KATONAH, NY 10536

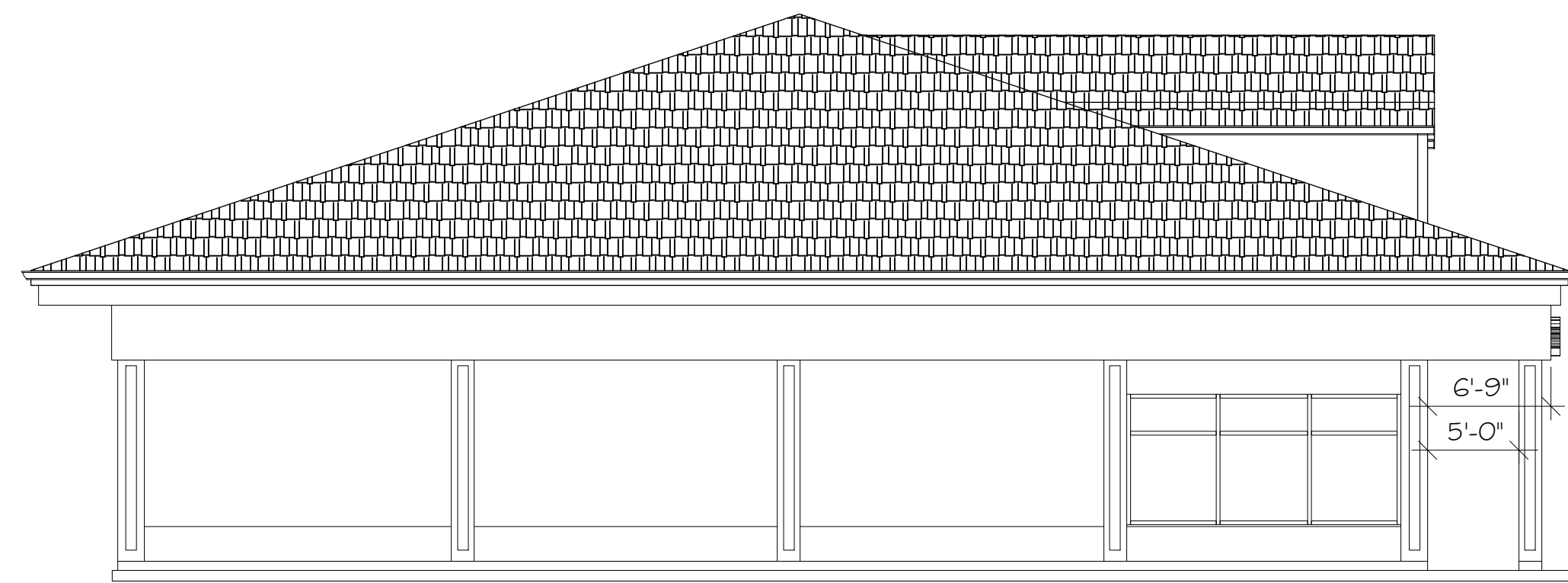
Westchester Co., New York

1851 EAST MAIN STREET

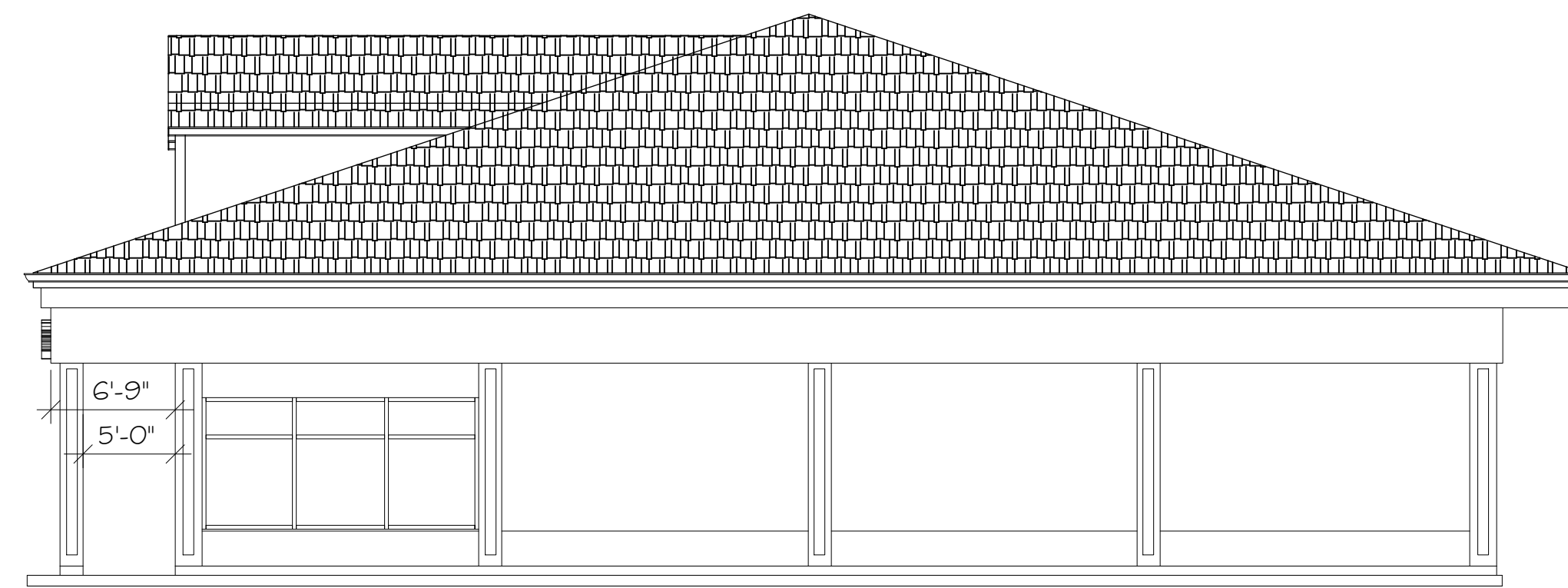
Sheet of



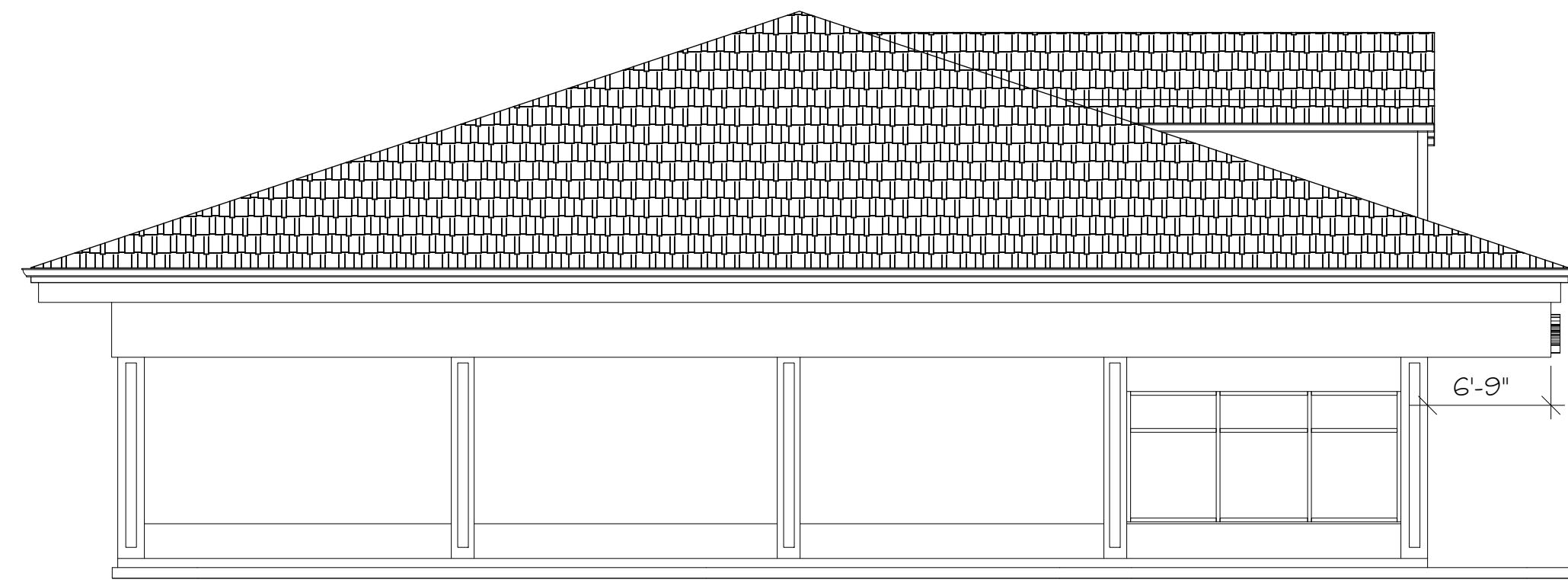
FRONT ELEVATION



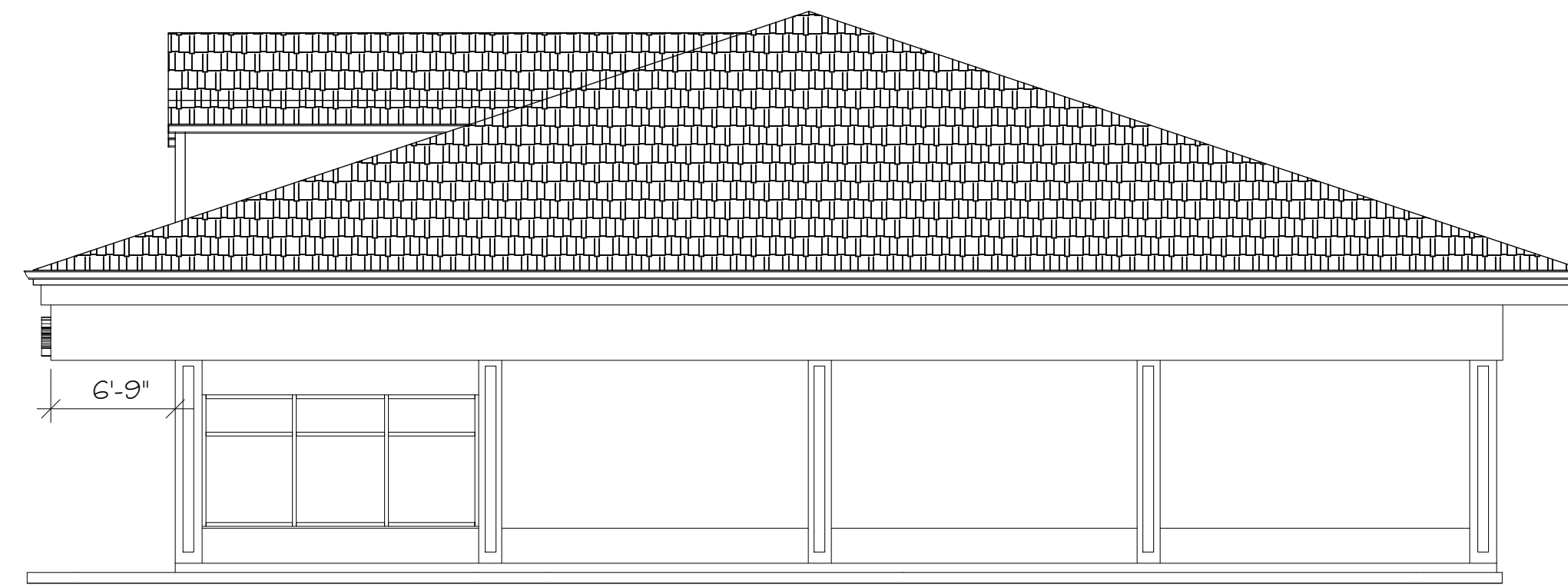
LEFT SIDE ELEVATION
w/ COLUMNS



RIGHT SIDE ELEVATION
w/ COLUMNS



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

SALVATORE MANCINI, RA

ARCHITECTS

P.O. BOX 301
NEWTOWN, CT 06470
N.Y. ARCHITECTURAL LICENSE # 013600
CT. ARCHITECTURAL LICENSE # 58825
FL ARCHITECTURAL LICENSE # A00015689

PROJECT TITLE:
CONCEPTUAL ELEVATIONS
ENVIROGREEN ASSOCIATES INC.
1851 EAST MAIN STREET
TOWN OF YORKTOWN

REVISION #	DATE	DESCRIPTION

DATE	ISSUED TO
7/1/21	PLANNING BOARD
11/15/17	PLANNING BOARD
11/13/17	OWNER'S REVIEW
11/2/17	OWNER'S REVIEW

SCALE	FILE #	DRAWN BY	CHECKED-BY
	CIPRIANI117	GVSM	SM

DRAWING NUMBER

A-1b



FRONT ELEVATION



ZBA Referral
Musto #33/21

JUN 16 2021

TOWN OF YORKTOWN, NY
2021



Town of Yorktown www.yorktownny.org

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 | Fax (914) 962-1731 | Email: building@yorktownny.org

Application for a Zoning Variance
(Please legibly complete all lines on the application)

Office use only

Application #: 33/21 Fee Paid: Y-\$210 Date: 6/16/21 Received by: KB

A total of **6 copies** of the following are to be submitted to the Building Department:

- Application Form
- Notice of Denial
- A survey map or plot plan showing all existing and proposed buildings and structures
- All data relating to the variance
- *Please check with the Building Department to determine if you need to fill out an Environmental Assessment Form

Fee of \$210.00

Date: 6/13/21

All items (1-9) must be completed

1. Premises located on the West side of Farsund Ct
(North, South, East, West) (Street, Road, Drive)

near Oslo Dr

2. Section 27.15 Block 1 Lot 58

3. Date the title of premise was acquired by the applicant _____

4. The same premises is now improved with a single family dwelling

(Type of Building or Structure)

5. The Variance Requested is as follows: This is an application for a rear enclosed porch with a rear yard setback of 37.58' where a minimum of 40' is required as per 300.21 of Appendix A of the Town Zoning Code.

_____ in a(n) R1-20 zoning district.

6. Telephone Number (Home) 914-589-6275 (Work) _____

7. Email richard.a.musto@hotmail.com

8. Address of Subject Property: 2691 Farsund CT
Yorktown, NY

9. Address of Applicant/Owner: Richard Musto

Richard Musto
Name of Applicant (please print)

Richard Musto
Signature of Applicant

6/15/21
Date

Name of Owner (if not applicant)

Signature of Owner

Date



Town of Yorktown www.yorktownny.org

JUN 16 2021

TOWN OF YORKTOWN, NY

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 Fax (914) 962-1731

Notice of Denial

To: Musto
2691 FAYSUND CT.

Date: 6-11-21

Regarding:

Application Number: _____ Date of Application: _____

Name of Applicant: Musto

Proposed Use/Development: _____

Location of Proposed Use/Development: 2691 FAYSUND CT.

Tax #: Section: 27.15 Block: 1 Lot(s): 58

Type of Application:

- Building Permit
- Special Use Permit Type of Proposed Use: _____
- Other (specify): _____

Zoning district: R1-20

Please Take Notice that your application is denied on the following grounds:

This is An Application for A Rear enclosed porch with A Rear yard setback of 37.58' where A minimum of 40' is Required As per 300.21 + Appendix A of the Town Zoning Code

Please Take Further Notice that it is the right of the property owner or his/her authorized representative to appeal this determination to the Town of Yorktown Zoning Board of Appeals by applying for a *use variance*, *area variance* or *interpretation* of the applicable section of local law. Appeals applications are available at the Building Department and at the Town web site at www.yorktownny.org


 Building Inspector Assistant Building Inspector

Short Environmental Assessment Form
Part 1 - Project Information

JUN 16 2021

TOWN OF YORKTOWN, NY

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">Musto</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">2691 Farsund Ct, Yorktown, NY (27.15-1-58)</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">Area Variance for rear yard setback for proposed porch</p>			
Name of Applicant or Sponsor: <p style="text-align: center; font-size: 1.2em;">Richard Musto</p>		Telephone: 914 589-6275 E-Mail: jimflandreau@yahoo.com	
Address: <p style="text-align: center; font-size: 1.2em;">2691 Farsund Ct</p>			
City/PO: <p style="text-align: center; font-size: 1.2em;">Yorktown</p>		State: <p style="text-align: center; font-size: 1.2em;">NY</p>	Zip Code: <p style="text-align: center; font-size: 1.2em;">10598</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ <i>NA</i> _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional

Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO YES

16. Is the project site located in the 100-year flood plan?

NO YES

17. Will the proposed action create storm water discharge, either from point or non-point sources?

If Yes,

a. Will storm water discharges flow to adjacent properties? NO YES

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? NO YES

If Yes, briefly describe:

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

If Yes, explain the purpose and size of the impoundment: _____

NO YES

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

If Yes, describe: _____

NO YES

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

If Yes, describe: _____

NO YES

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Richard Musto Date: 6/15/21

Signature: Richard Musto Title: _____

MUSTO RESIDENCE

2691 FARSUND COURT YORKTOWN, NY SECTION 27.15, BLOCK 1, LOT 58

RECEIVED KB
Zoning Board of Appeals Office

JUN 16 2021

TOWN OF YORKTOWN, NY

CONNECTORS - SIMPSON STRONG TIES	
FOOTING TO WOOD POST	CBS44 - 4x4 POST CBS66 - 6x6 POST
WOOD POST TO WOOD BEAM	BC4 - 4x4 POST BC6 - 6x6 POST
JOIST FLUSH MOUNT	LUS HANGERS (BY JOIST SIZE)
JOIST TOP MOUNT	H2.5AZ HURRICANE TIE
POST TO DECK FRAMING	DTT2 DECK TENSION TIE
STAIR CONNECTOR	LSCZ ADJUSTABLE STAIR CONNECTOR
LEGDER ATTACHMENT	DTT2 DECK TENSION TIE
DECK POSTS - WOOD POSTS SHALL BE PLACED NO MORE THEN 5'-0" O.C. RAILING SYSTEMS SHALL BE INSTALLED AS PER MANUFACTURE SPECIFICATIONS.	

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA							
GROUND SNOW LOAD	WIND SPEED	TOPO EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	CLIMATE ZONE	ICE SHIELD UNDERLAYMENT REQUIRED
30 PSF	115 TO 120 MPH	NO	YES	NO	C	4A	YES
SUBJECT TO DAMAGE FROM				FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
WEATHERING	FROST LINE DEPTH	TERMITE					
SEVERE	3'-6"	MODERATE TO HEAVY		NO	1,500	51.6	

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE STRICTEST REQUIREMENTS OF RESIDENTIAL CODE OF NEW YORK STATE (2020) AND ALL THOSE APPLICABLE CODES WHETHER SPECIFICALLY STATED OR NOT.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES & REGULATIONS AND FOR OBTAINING ALL NECESSARY AND REQUIRED INSPECTIONS, APPROVALS AND PERMITS, NECESSARY TO PERFORM ALL WORK AND SERVICES HEREIN NOTED OR INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING PROPERTY AS RESULT OF HIS WORK. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR HIS WORK. THE CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITION AND EXISTING ELEMENT DAMAGED AS A RESULT OF HIS WORK.
- WORK INCLUDED IN THIS CONTACT SHALL BE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION AS SHOWN OR IMPLIED IN ACCORDING TO THE INTENT OF THESE DRAWINGS AND SHALL BE FIRST CLASS IN ALL RESPECTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DEBRIS, DUST OR DIRT FROM LEAVING THE JOB SITE AND ADJACENT FINISHED AREAS. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR DIRECTED.
- THE CONTRACTOR, UPON ACCEPTANCE OF THESE DRAWINGS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND HE WILL BE EXPECTED TO COMPLY WITH THE SPIRIT, AS WELL THE LETTER IN WHICH THEY WERE WRITTEN AND DRAWN.
- ARCHITECT IS NOT ENGAGED IN THE SUPERVISION OF CONSTRUCTION OF THIS PROJECT. IF MUNICIPALITY REQUIRES ARCHITECT TO WITNESS/CERTIFY ANY PART OF CONSTRUCTION, THE MUNICIPALITY SHALL PROVIDE IN WRITING WHICH PARTS REQUIRES THE ARCHITECT TO WITNESS/CERTIFY ANY PART OF CONSTRUCTION.
- THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS AND INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, THE CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY SUBSTITUTIONS BEFORE THEY ARE MADE.
- ANY ERRORS, OMISSIONS OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IN WRITING AND RESOLVED AND DOCUMENTED IN WRITING BEFORE CONTINUING WITH THE WORK IN QUESTION.
- IF THERE ARE ANY DISCREPANCIES ON THE DRAWINGS, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY PRIOR TO WORK COMMENCING. IF THE CONTRACTOR MAKES CHANGES WITHOUT NOTIFYING THE ARCHITECT, THEY TAKE SOLE RESPONSIBILITY FOR THE CHANGES AND SHALL PAID ANY ADDITIONAL COSTS IF ARCHITECT IS REQUIRED BY THE TOWN TO PROVIDE AS-BUILT DRAWINGS.
- ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO OWNER.
- THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AND ENGINEER.

NOTE:

- CONTRACTOR SHALL NOT SCALE DRAWINGS, BUT SHALL USE DIMENSIONS INDICATED. DRAWINGS MAY BE OUT OF SCALE IN SOME INSTANCES CAUSED BY SHRINKAGE, PRINTING, CHANGES, ETC.

CONCRETE:

- ALL CONCRETE SHALL TEST 3,000 PSI AT 28 DAYS. THE SLUMP JUST PRIOR TO PLACING SHALL BE 4 INCHES WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH (MAX). NOTE: GARAGE SLABS, PORCHES, PATIO SLABS, AND CONCRETE WALKS SHALL TEST 3500 PSI AT 28 DAYS AND SHALL BE AIR ENTRAINED.
- ALL CONCRETE SHALL BE PLACED IN THE DRY. NO CONCRETE SHALL BE PLACED LATER THAN 90 MINUTES AFTER MIXING HAS BEGUN. DEPOSIT CONCRETE IN ITS FINAL POSITION WITHOUT SEGREGATION AND REHANDLING.

- REINFORCING STEEL SHALL BE NEW BILLET HIGH STRENGTH STEEL OF U.S.A. MANUFACTURE CONFORMING TO LATEST A.S.T.M. A-615 GRADE 60 FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF THE C.R.S.I., UNLESS OTHERWISE NOTED AND PLACING OF REINFORCING SHALL BE IN ACCORDANCE WITH A.C.I. BUILDING CODE. MANUAL OF STANDARD PRACTICE, AND THE LATEST RESIDENTIAL CODE OF NEW YORK STATE.
- REINFORCING SHALL HAVE 3" COVER IN FOOTINGS; 2" COVER ON MAIN REINFORCEMENT IN STEM WALLS.
- BOTTOM OF ALL EXTERIOR FOOTING SHALL BE MINIMUM 3'-6" BELOW EXTERIOR FINISH GRADE.

CARPENTRY

- ALL LIGHT FRAMING AND STUDS, STRUCTURAL JOISTS AND PLANKS, ETC. SHALL CONFORM TO THE STANDARDS OF WOOD CONSTRUCTION SET FORTH BY THE WESTERN WOOD PRODUCTS ASSOC. (WWPA) AND ALL CONSTRUCTION PLYWOOD SHALL CONFORM TO THE NATIONAL BUREAU OF STANDARDS, PRODUCT STANDARD DIVISION.
- ALL MEMBERS SHALL BE PROPERLY BRACED, PLUMBED AND LEVEL. A SUFFICIENT NUMBER OF NAILS, SCREWS, AND BOLTS SHALL BE USED TO INSURE THE RIGIDITY OF THE CONSTRUCTION. USE GALVANIZED FOR EXTERIOR APPLICATIONS.
- ALL TJI AND MICRO-LAM STRUCTURAL MEMBERS SHALL BE MANUFACTURED, ERECTED AND BRACED IN ACCORDANCE TO THE LATEST SPECIFICATIONS AND/OR RECOMMENDATIONS OF THE "TRUSS JOIST CORPORATION".

FLOORS:

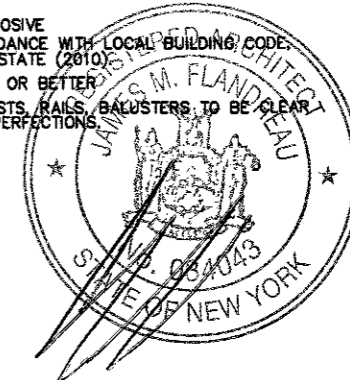
- ALL WOOD FRAMING MEMBERS SHALL BE SELECT STRUCTURAL GRADE DOUGLAS FIR-LARCH #1 IN ACCORDANCE WITH THE LATEST EDITION OF TABLE R502.3.1(2), TABLE 802.4(1) AND TABLE 802.5.1(1-8) OF THE RESIDENTIAL CODE OF NEW YORK STATE SPECIFICATIONS FOR STRESS GRADE LUMBER.
- UNLESS OTHERWISE SPECIFIED IN THESE DOCUMENTS, ALL OPENINGS IN WALLS SHALL RECEIVE (2)2x12 DOUGLAS FIR #1 WOOD HEADERS POSTED WITH 4x4 OR DOUBLE JACKS. THIS INCLUDES, BUT IS NOT LIMITED TO ALL DOORS AND WINDOWS.
- SEE FIGURE R502.2 FOR TYPICAL FLOOR CONSTRUCTION.
- THE END OF EACH FLOOR JOIST SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.
- CUTTING OR NOTCHING OF STRUCTURAL ROOF MEMBERS SHALL COMPLY AS PER SECTION R502.8 AND FIGURE R502.8.
- FLOOR JOIST SHALL BE PROVIDED WITH SOLID BLOCKING AT INTERVALS NOT EXCEEDING 8 FEET.
- PROVIDE PRESERVATIVE TREATED WOOD IN LOCATIONS AS PER SECTIONS R319.

FLASHING AND SHEET METAL

- PROVIDE FLASHING AND SHEET METAL AS REQUIRED TO PREVENT PENETRATION OF THE ELEMENTS THROUGH THE EXTERIOR SHELL OF THE BUILDING.
- WHERE SHEET METAL IS REQUIRED AND NO MATERIAL OR GAUGE IS INDICATED IN THE DRAWINGS. PROVIDE THE HIGHEST GAUGE AND QUALITY.
- FORM, FABRICATE, AND INSTALL SHEET METAL SO AS TO ADEQUATELY PROVIDE FOR EXPANSION AND CONTRACTION IN THE FINISHED WORK:
 - FINISH WATERTIGHT AND WEATHERTIGHT AS REQUIRED.
 - EMBED METALS IN CONNECTION WITH ROOFS IN A SOLID BED OF APPROVED SEALANT.
 - WHENEVER POSSIBLE, SECURE METAL BY MEANS OF CLIPS OR CLEATS WITHOUT NAILING THROUGH THE METAL.
 - SPACE NAILS, RIVETS, AND SCREWS NOT MORE THAN 8" APART AND USE LEAD WASHERS WHERE EXPOSED TO THE WEATHER.
 - FOR NAILING INTO WOOD USE BARBED ROOFING NAILS, 1-1/4" LONG LI GAUGE.
 - FOR NAILING INTO CONCRETE USE DRILLED PLUG HOLES AND PLUGS.

DECK NOTES

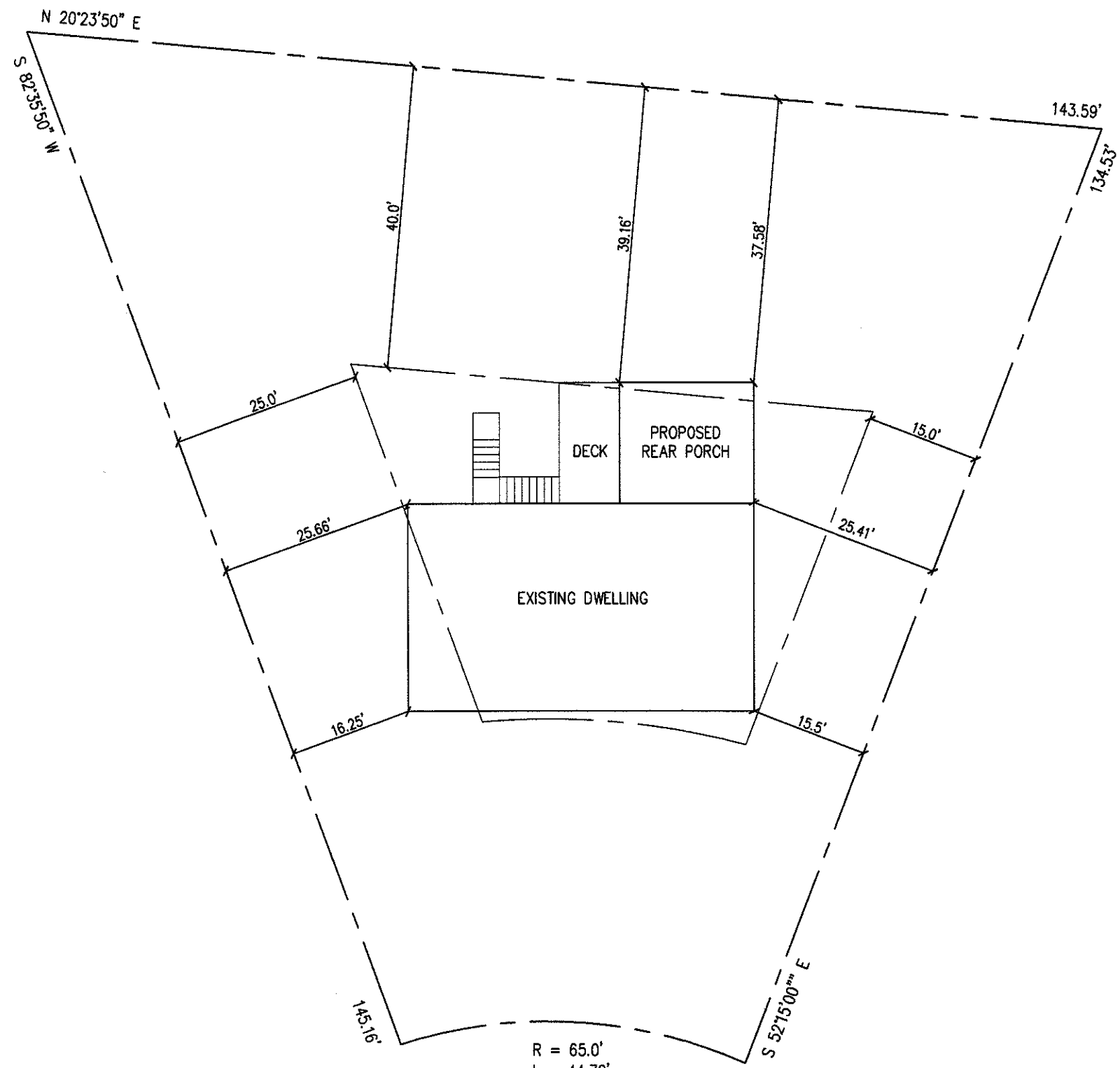
- ALL LUMBER TO BE TREATED OR CEDAR.
- ALL FRAMING TO BE CONNECTED WITH GALVANIZED METAL JOIST HANGERS, POST BASE AND CAPS.
- ALL FASTENERS TO BE NON-CORROSIVE
- ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL BUILDING CODE, RESIDENTIAL CODE OF NEW YORK STATE (2010).
- ALL FRAMING LUMBER TO BE No.2 OR BETTER
- ALL FINISH LUMBER FOR DECK POSTS, RAILS, BALUSTERS TO BE CLEAR OF KNOTS, CHECKS OR OTHER IMPERFECTIONS.



JMF Architects
2287 Mark Road
Yorktown, NY 10598
914-733-2214 Tel.
914-962-4163 Fax
jimflandreau@yahoo.com

Owner's Information
MUSTO RESIDENCE
2691 FARSUND COURT
YORKTOWN, NY
SECTION 27.15, BLOCK 1, LOT 58

Original Date: 4/1/21
Project No: 13-21
A-1
1 of 8 Sheets

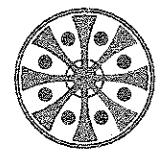


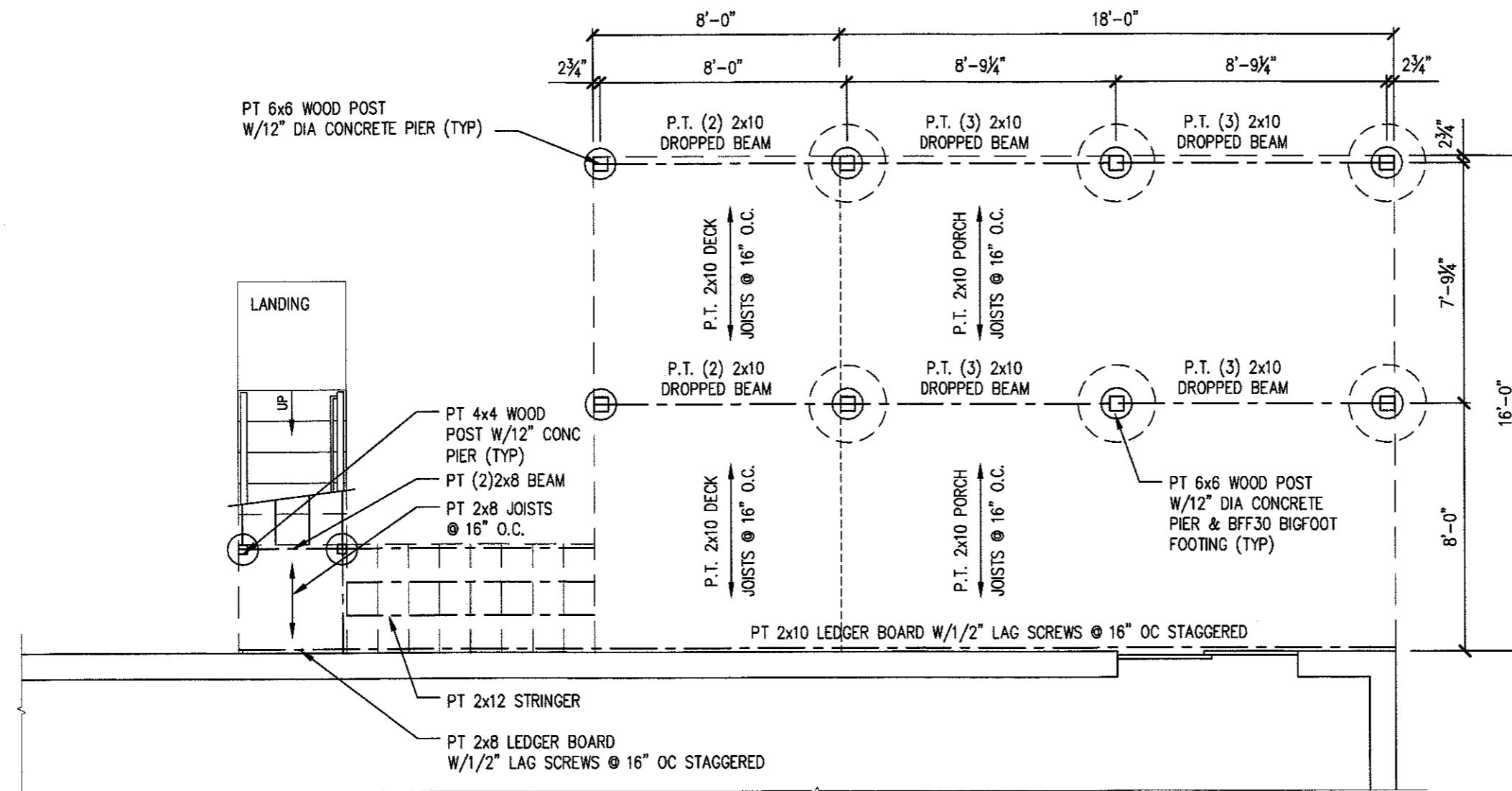
R = 65.0'
 L = 44.70'
 1 PLOT PLAN
 A-2 SCALE 1/16" = 1'-0"
 FARSUND COURT



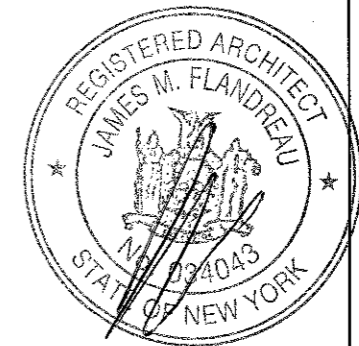
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MUSTO RESIDENCE
2691 FARSUND COURT
YORKTOWN, NY
SECTION 27.15, BLOCK 1, LOT 58

Original Date:
 4/1/21
 Project No:
 13-21
A-2
 2 of 8 Sheets


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 914-733-2214 Tel.
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 jimflandreau@yahoo.com



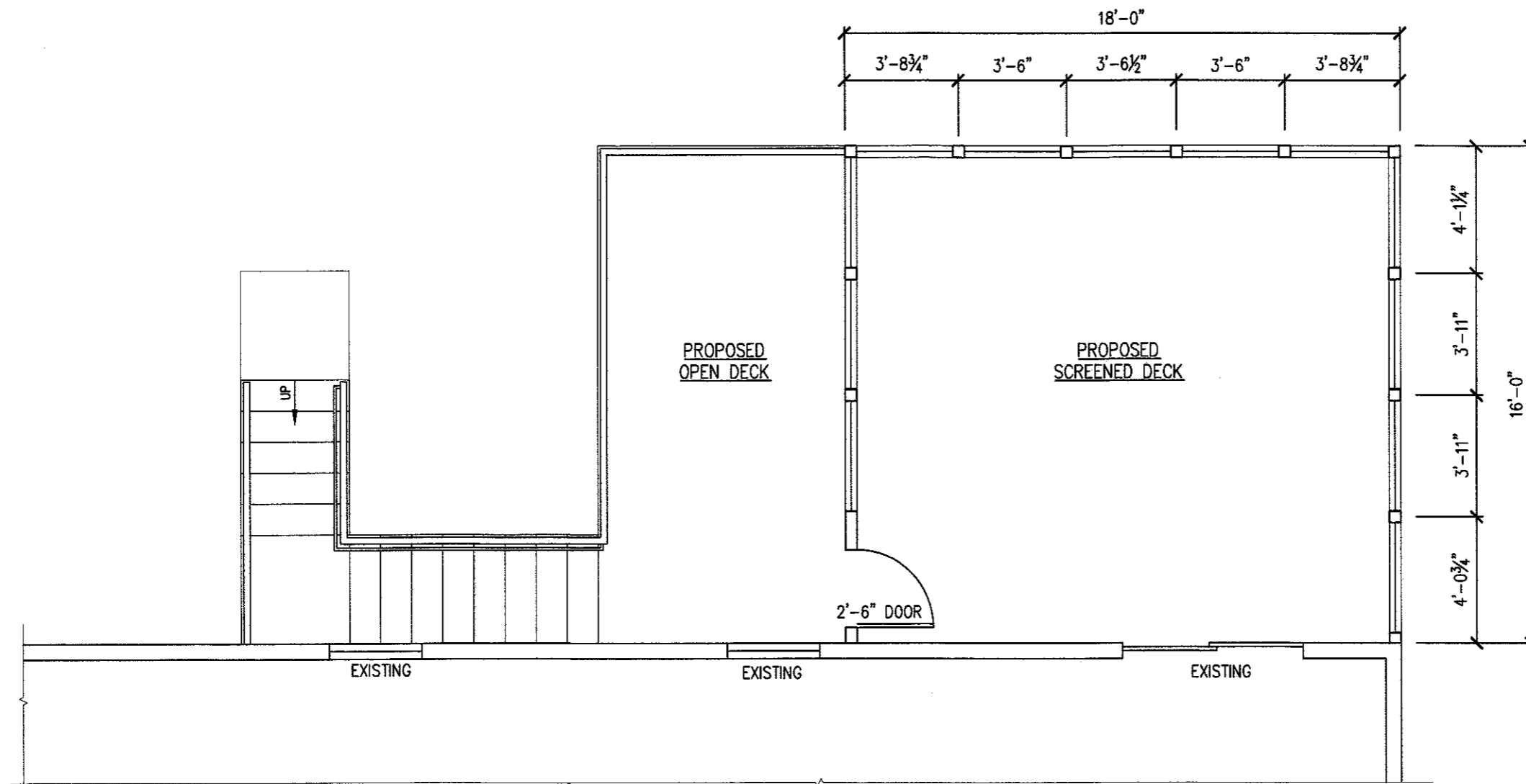
1 FRAMING PLAN
 A-3 SCALE 1/4" = 1'-0"



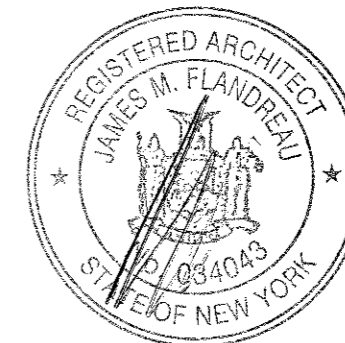
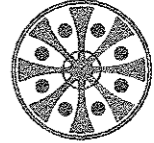
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Owner's Information
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YORKTOWN, NY
SECTION 27.15, BLOCK 1, LOT 58

Original Date:
 4/1/21
 Project No:
 13-21
 A-3
 3 of 8 Sheets



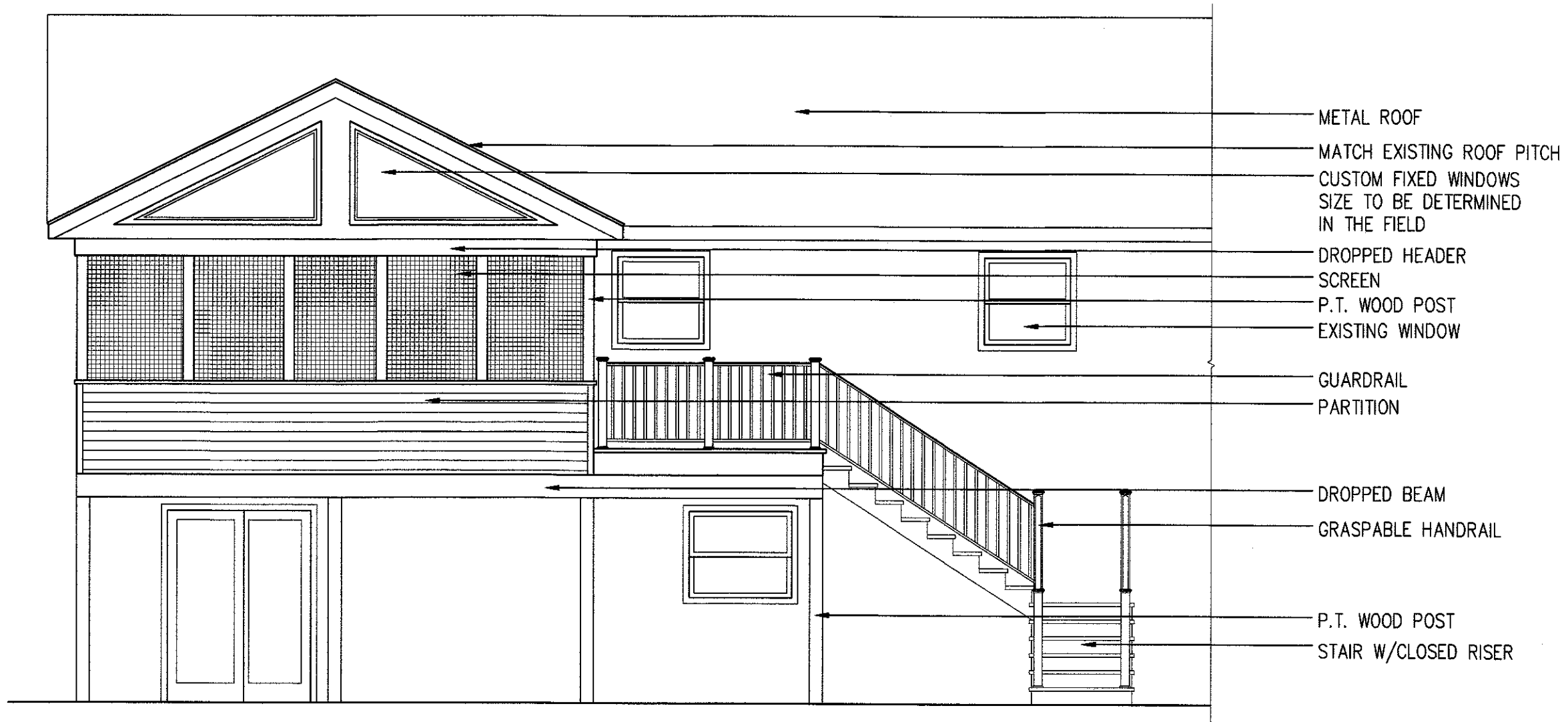
1 PORCH PLAN
 A-4 SCALE 1/4" = 1'-0"

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 914-962-4163 Fax
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 2691 FARSUND COURT
 YORKTOWN, NY
 SECTION 27.15, BLOCK 1, LOT 58

Original Date:
 4/1/21
 Project No:
 13-21
 A-4
 4 of 8 Sheets



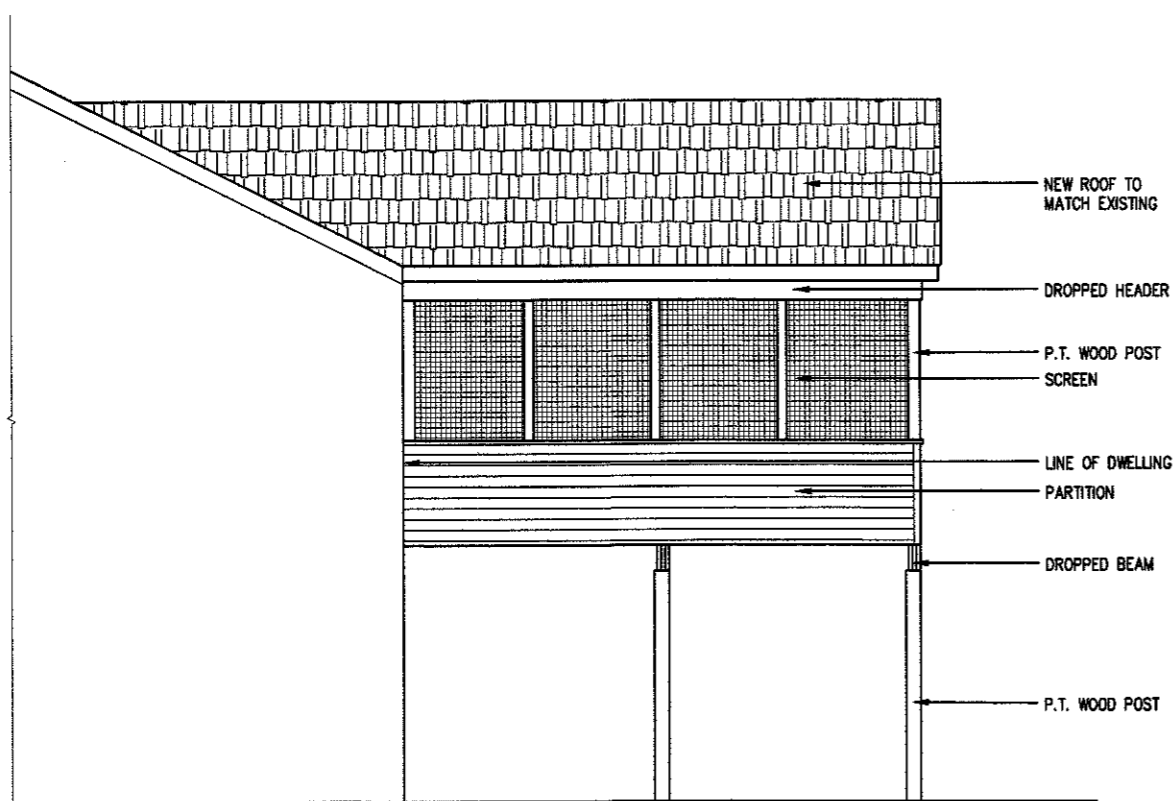
1 REAR ELEVATION
A-5 SCALE 1/4" = 1'-0"



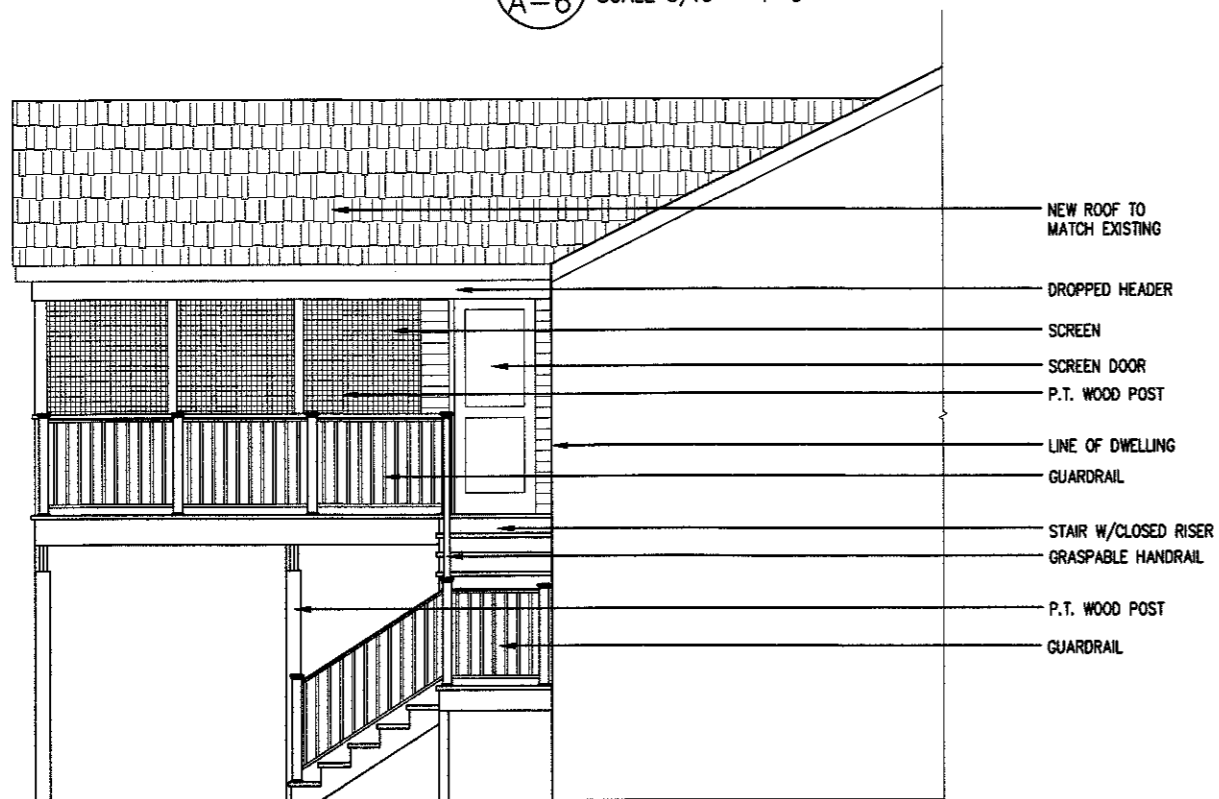
JMF Architects
2287 Mark Road
Yorktown, NY 10598
914-733-2214 Tel.
914-962-4163 Fax
jimflandreau@yahoo.com

Owner's Information
MUSTO RESIDENCE
2691 FARSUND COURT
YORKTOWN, NY
SECTION 27.15, BLOCK 1, LOT 58

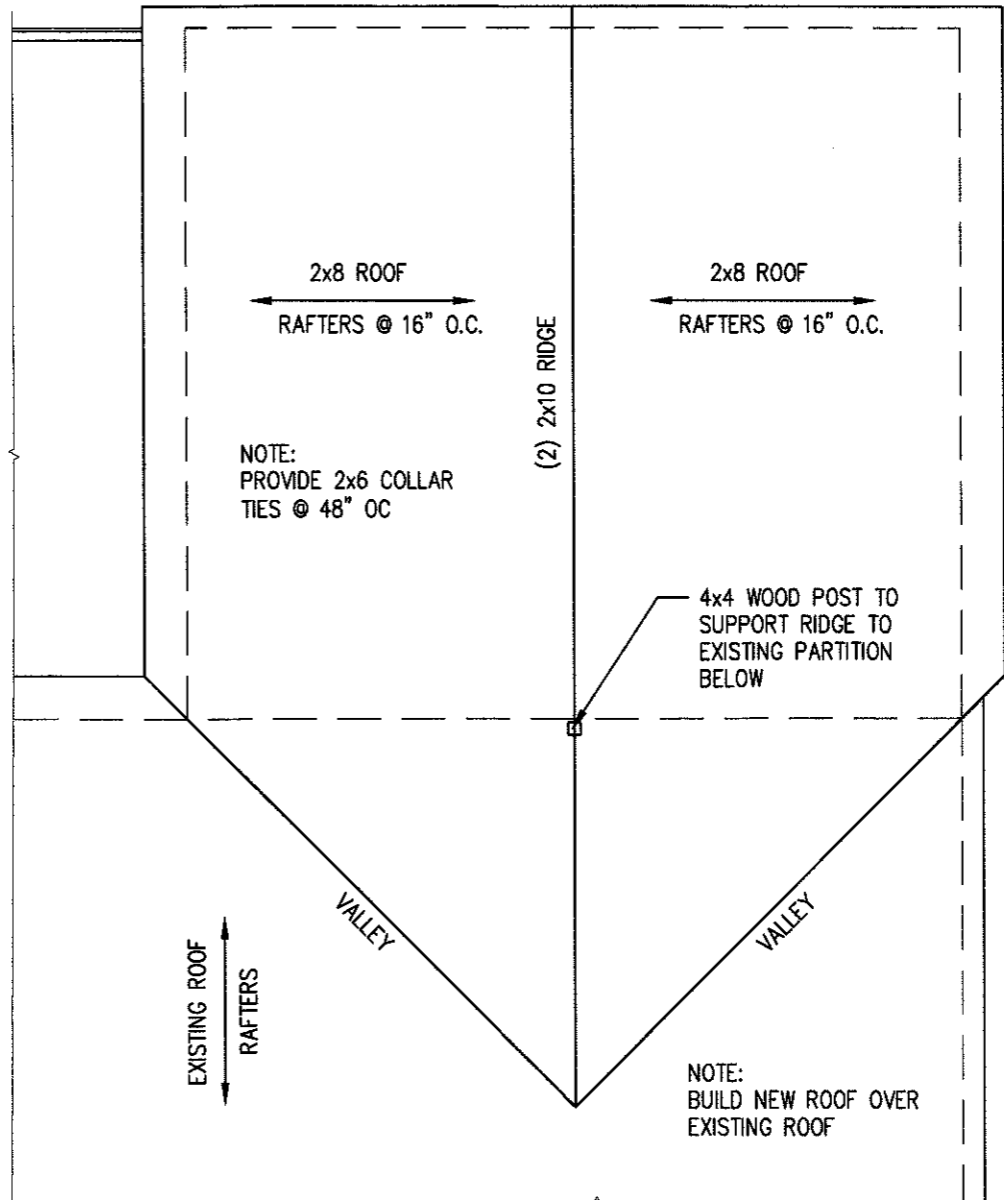
Original Date:
4/1/21
Project No:
13-21
A-5
5 of 8 Sheets



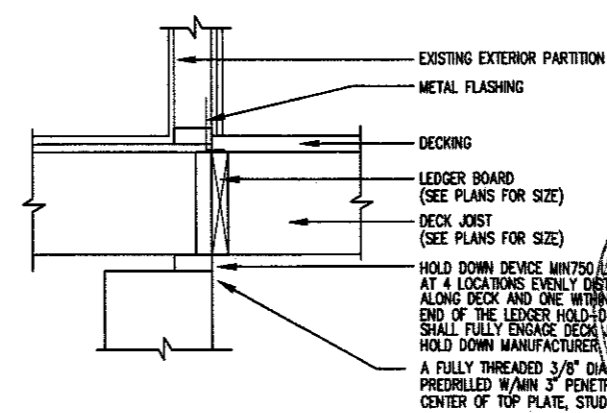
1 SIDE ELEVATION
A-6 SCALE 3/16" = 1'-0"



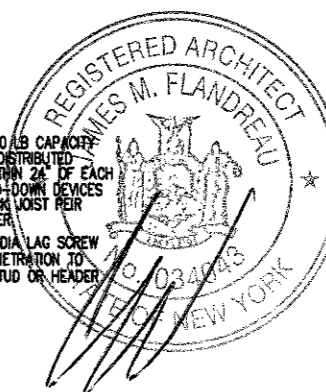
2 SIDE ELEVATION
A-6 SCALE 3/16" = 1'-0"



3 ROOF PLAN
A-6 SCALE 1/4" = 1'-0"



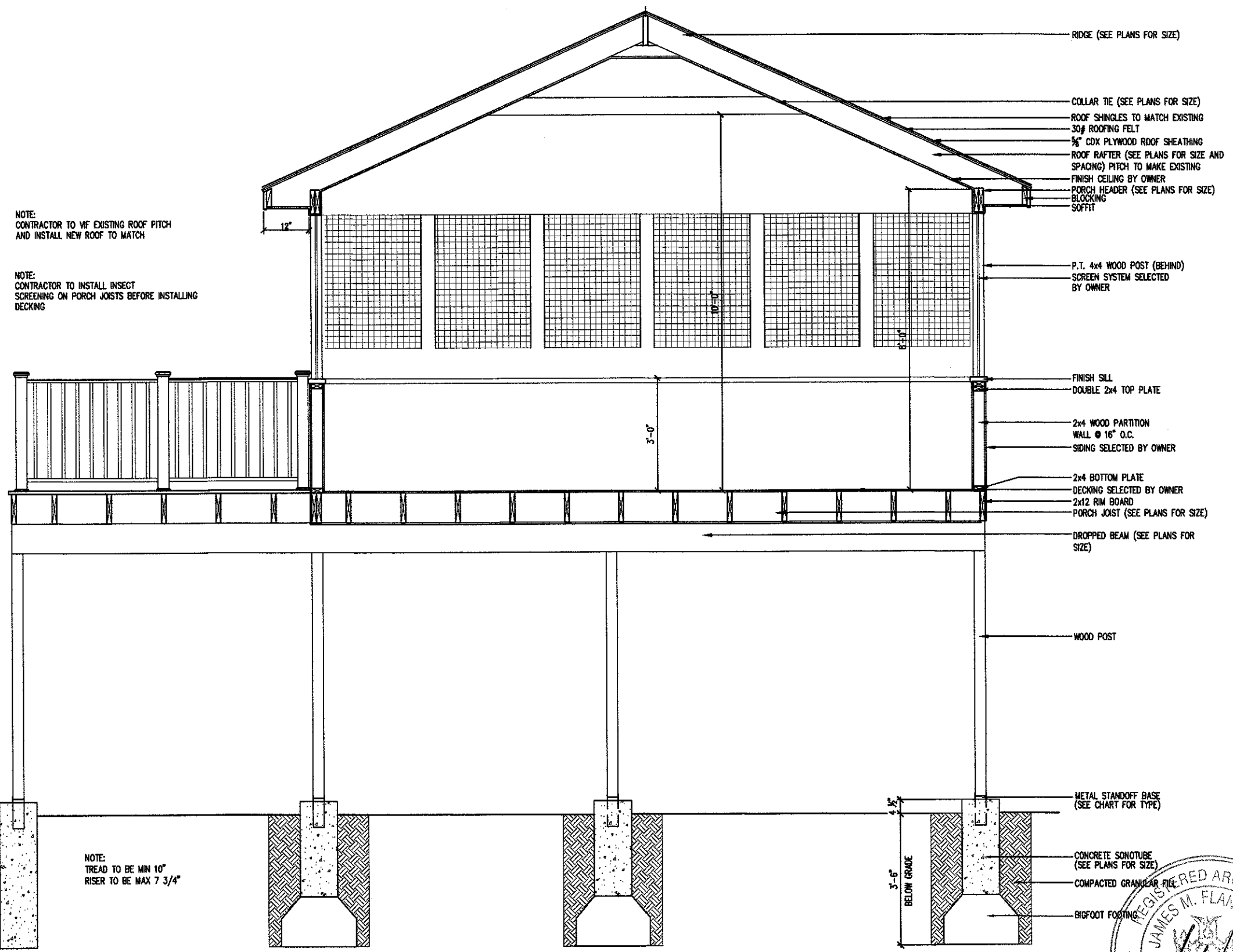
4 DETAIL
A-6 SCALE 3/4" = 1'-0"



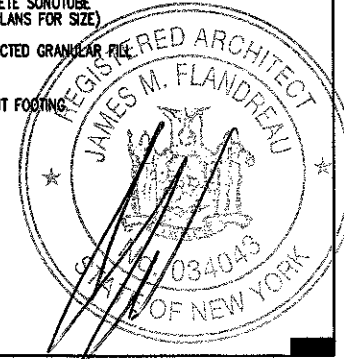
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Original Date: 4/1/21
Project No: 13-21
A-6
6 of 8 Sheets



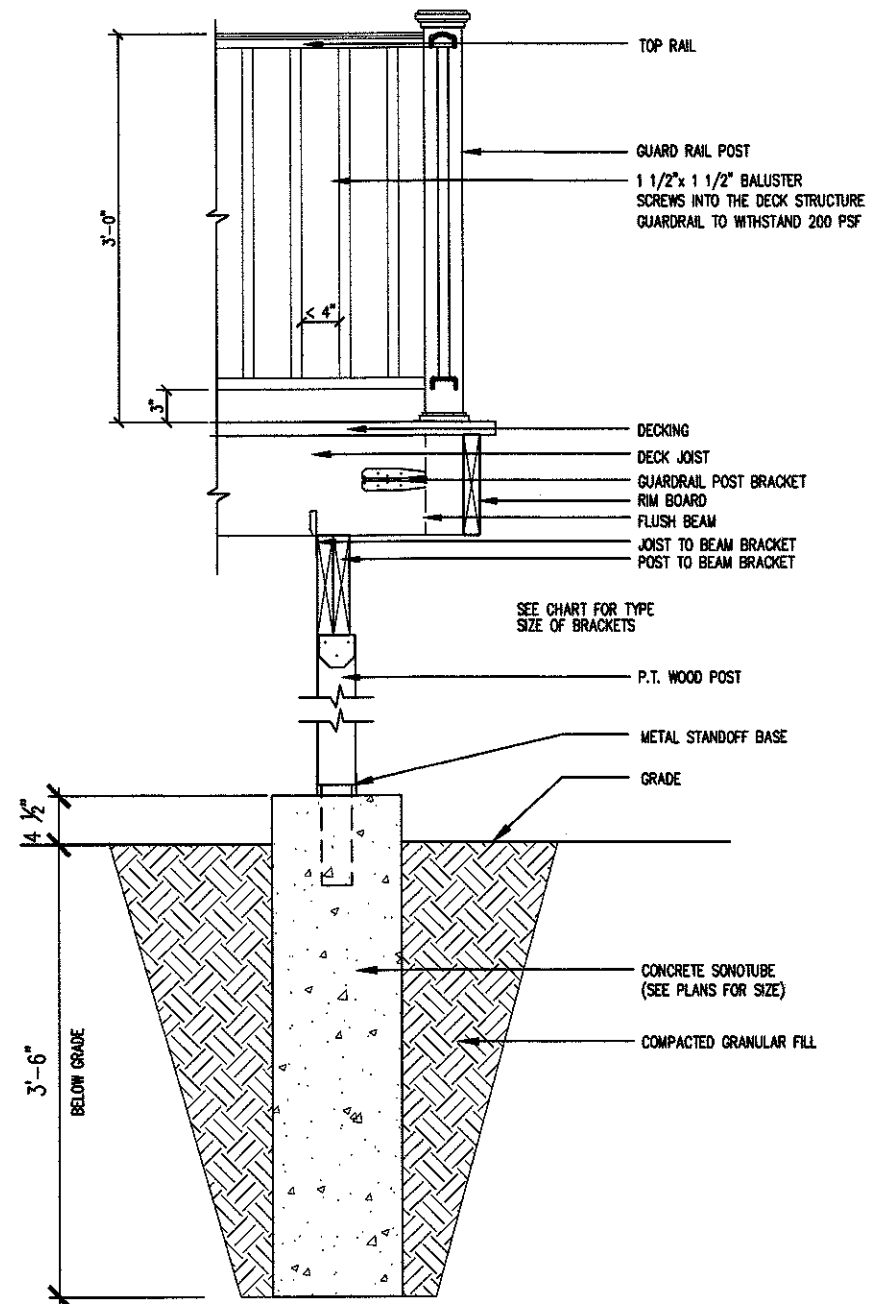
1 CROSS SECTION
A-7 SCALE 3/8" = 1'-0"



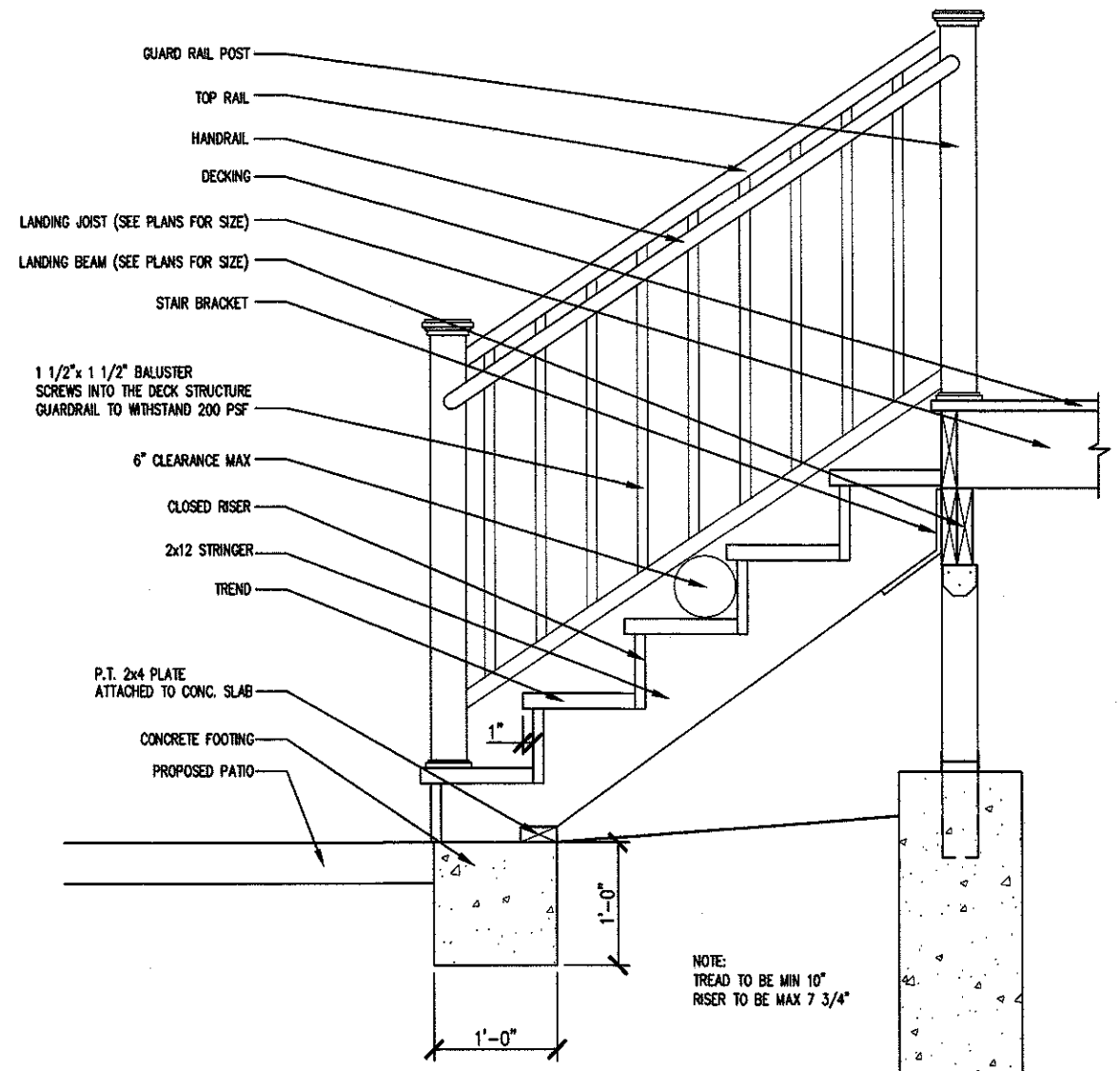
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YORKTOWN, NY
SECTION 27.15, BLOCK 1, LOT 58

Original Date:
4/1/21
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13-21
A-7
7 of 8 Sheets



2 DETAIL
A-7 SCALE 3/4" = 1'-0"



2 DETAIL
A-7 SCALE 3/4" = 1'-0"



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Original Date:
4/1/21
Project No:
13-21
A-8
8 of 8 Sheets

TB Referral Cannabis Opt-Out

TOWN OF YORKTOWN TOWN BOARD

Resolved, the Town Clerk is authorized to refer out to appropriate agencies for their review and/or recommendation a proposed amendment to the Yorktown Town Code by adding Chapter 301 to opt out of allowing cannabis retail dispensaries and on-site consumptions sites as authorized under Cannabis Law Article 4.

Further Resolved, the Town Board declares its intent to act as Lead Agency. We are transmitting the following referral for your review and recommendation and ask that you respond back to the Town Clerk by Tuesday, July 6, 2021, 12 noon.

TO:

RECEIVED
PLANNING DEPARTMENT

JUN 30 2021

TOWN OF YORKTOWN

- File
- Town Clerk
- ABACA
- Building Inspector
- Community Housing Board
- Conservation Board
- Fire:
 - Lake Mohegan
 - Yorktown
- Highway Dept.
- Open Space Committee
- Planning Dept. / Board (6)
- Police Dept.
- Public Safety Committee
- Recreation Commission
- School District:
 - Yorktown
 - Lakeland
 - Ossining
 - Croton Harmon
- Town Attorney
- Town Board
- Town Engineer
- Water Department
- Yorktown Land Trust

- Westchester County**
- Planning Department / Board
 - Dept. of Public Works
 - Dept. of Health
 - Parks & Recreation
 - Environmental Facilities
 - Soil & Water

- New York State**
- DEC Albany
 - DEC New Paltz (Region III)
 - DOT
 - Parks & Recreation

- NYC DEP**
- Army Corp. of Engineers**

- Bordering Municipality**
- Town of Cortlandt
 - Town of Somers
 - Town of Ossining
 - Town of Putnam Valley
 - Yorktown Chamber of Commerce
 - Yorktown Volunteer Ambulance
 - Lake Mohegan Volunteer Ambulance

FROM: DIANA L. QUAST, YORKTOWN TOWN CLERK, CERTIFIED MUNICIPAL CLERK

SUBJECT: **We are transmitting the following: Proposed Local Law amending Yorktown Town Code by Adding Chapter 301 – Cannabis Opt Out**

DATE: June 30, 2021

- | | |
|---|--|
| <input type="checkbox"/> Application/Petition | <input type="checkbox"/> Report |
| <input type="checkbox"/> Drawings | <input type="checkbox"/> Wetlands Permit Application |
| <input type="checkbox"/> EAF | <input type="checkbox"/> SEQRA Scope |
| <input type="checkbox"/> EAF Addendum | <input checked="" type="checkbox"/> Other – Proposed Local Law |

FOR YOUR: Information Review Comment

JUN 30 2021

TOWN OF YORKTOWN

A LOCAL LAW to amend the Code of the Town of Yorktown to add Chapter 301 to opt out of allowing cannabis retail dispensaries and on-site consumption sites as authorized under Cannabis Law Article 4

Be it enacted by the Town Board of the Town of Yorktown as follows:

Section 301-1. Legislative Intent

It is the intent of this local law to opt out of allowing cannabis retail dispensaries and on-site cannabis consumption sites in the Town of Yorktown that would otherwise be allowed under Cannabis Law Article 4.

Section 301-2. Statement of Authority.

This local law is adopted pursuant to Cannabis Law § 131 which expressly authorizes the Town Board to adopt a local law requesting the Cannabis Control Board to prohibit the establishment of cannabis retail dispensary licenses and/or on-site consumption licenses within the jurisdiction of the Town of Yorktown, and is subject to a permissive referendum, the procedure of which is governed by Municipal Home Rule Law § 24.

Section 301-3. Local Opt-Out

The Town Board of the Town of Yorktown hereby opts out of allowing cannabis retail dispensaries and on-site cannabis consumption sites from being established and operated within the Town's jurisdiction.

Section 301-4. Permissive Referendum/Referendum on Petition

This local law is subject to a referendum on petition in accordance with Cannabis Law § 131 and the procedure outlined in Municipal Home Rule Law § 24.

Section 301-5. Severability.

If any clause, sentence, phrase, paragraph or any part of this local law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this local law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this local law would have been adopted had any such provisions been excluded.

Section 301-6. Effective Date.

This local law shall become effective immediately upon filing in the office of the Secretary of State.