

**C3 Holdings
(Generations Bldg)**

Site Design Consultants

Civil Engineers • Land Planners

October 27, 2021

Ms. Robyn Steinberg, AICP, Town Planner
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

Re: C3 Holdings LLC
1500 Front Street (fka Generations Building)

Dear Robyn:

We are submitting applications and plans for this project for review by the Planning Board at the November 8 Planning Board Meeting. This property has previously been approved under the former property owner known as Generations Building. The property owner is proposing the same construction as was approved. Please provide a Fee Schedule upon your review.

Enclosed please find the following items being submitted for distribution and discussion at the Planning Board Meeting:

- Application for Site Plan Approval;
- MS4 Application for Planning Board Permit;
- Previously submitted Full EAF – only the property owner's name has been changed;
- Five sets of plans titled "Site Plan Prepared for C3 Holdings LLC," Sheets 1-5 of 5, dated 11/12/08, last revised 10/27/21.

We are also forwarding you a digital copy of this submission. Please add this project to the agenda for the Planning Board Meeting and contact us if you have any questions. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

Cc: C3 Holdings LLC
Building Department
Engineering Department
Town Supervisor
Ed Lachterman

JCR / cm / Enc. / sdc 21-63



TOWN OF YORKTOWN PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date October 25, 2021

1. Name of Project: C3 Holdings LLC

2. Tax Map Designation (Section, Block, Lot) 48.11 - 1 - 51

3. Zone: M-2 Total Acreage: 2

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

2-story bldg (3600 sf total) to be used as a 3-bay parking garage on the 1st fl; material storage on the 2nd fl. for one of the extg business uses within the bldg. Utilities include storm, sewer, water.electric.

6. Contact Person - CHOOSE ONLY ONE:

Applicant

Owner

Architect

Wetland Scientist

Attorney

Engineer

Surveyor

Landscape Architect

7. Applicant

Name Robert Considine

Firm C3 Holdings, LLC

Address 1500 Front Street, Yorktown Heights, NY 10598

Phone 914-837-4000

Fax _____

Email bob@paddlepro.com

8. Owner of Record

Name Same as Applicant.

Firm _____

Address _____

Phone _____

Fax _____

Email _____

9. Attorney

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

10. Engineer

Name Joseph C. Riina, P.E.
Firm Site Design Consultants
Address 251-F Underhill Avenue, Yorktown Heights, NY 10598
Phone 914-962-4488
Fax 914-962-7386
Email jriina@sitedesignconsultants.com
Lic. No. 64431

11. Surveyor

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

12. Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No

16. Is this project within 500 feet of the Putnam County line? Yes No

17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road? Yes No

The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No

The boundary of state or county-owned land on which a public building/ institution is located? Yes No

An existing or proposed county drainage line? Yes No

The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

Wetland Permit

Stormwater Permit

Tree Permit

Planning Board special permit: _____

Town Board variance or approval: _____

Zoning Board of Appeals variance or special permit: _____

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

School District	<u>Yorktown Central</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Yorktown Heights</u>	Sewer District	<u>Hallocks Mill</u>

A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

Applicant

ROBERT COUSIDINE
NAME (PLEASE PRINT)

Robert Cousidine
SIGNATURE

10/25/21
DATE

Owner of Record

ROBERT COUSIDINE
NAME (PLEASE PRINT)

Robert Cousidine
SIGNATURE

10/25/21
DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

ROBERT CONSIDINE, being duly sworn, deposes and says that he resides at 1500 FRONT STREET in the County of WESTCHESTER and State of NY. That he is the OWNER of C3 HOLDINGS LLC the corporation which is owner in fee of the property described in the foregoing application for site plan approval and that the statements contained therein are true to the best of his knowledge and belief.

[Signature]

Sworn before me this 27th date of October, 2021

Catherine M. Mills
Notary Public

CATHERINE M. MILLS
Notary Public, State of New York
No. 5002516
Qualified in Westchester County
Commission Expires 10-5-2022

AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he is the agent named in the foregoing application for _____ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20 __

Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd
Last updated: December 2011

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 48.11
Block 1
Lot # 51

Approval Authority: TE [] PB [] TB []
Application #: _____
Date Received: _____
Date Issued: _____
Date Expires: _____
Fee Paid: \$ _____

Job Site Address: 1500 Front Street
City/State/Zip: Yorktown, NY
10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Robert Considine
COMPANY: C3 Holdings, LLC
ADDRESS: 1500 Front Street
Yorktown, NY ZIP 10598
PHONE: (914) 837-4000
EMAIL: bob@paddlepro.com

OWNER:

YOUR NAME: Same as applicant
COMPANY: _____
ADDRESS: _____
_____ ZIP _____
PHONE: (_____) _____
EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

a. Lake/pond

Control area of lake/pond

b. Stream/River/Brook

Control area of stream/river/brook

c. Wetlands

Control area of wetlands

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

2b. Stormwater/Excavation - Description of proposed activity:

It is proposed to construct a 2-story building (3600 sf total) to be used as a 3-bay parking garage on the 1st floor; material storage on the 2nd floor for one of the existing business uses within the building. Utilities will include storm, sewer, water and electric.

3. Tree Removal:

Amount of trees and/or stumps to be removed: _____

Sizes; approximate DBH: _____

Species of trees to be removed (i.e. Birch, Spruce - if known): _____

Reason for removal: _____

Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, Robert Considine hereby authorize Joseph C. Riina, P.E. to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: 

Date: 10/25/21

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Robert Considine

PRINT NAME



SIGNATURE OF APPLICANT

10/25/21

DATE

617.20
Appendix A
State Environmental Quality Review
FULL ENVIRONMENTAL ASSESSMENT FORM

Purpose: The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially-large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially-large, then Part 3 is used to evaluate whether or not the impact is actually important.

THIS AREA FOR LEAD AGENCY USE ONLY

DETERMINATION OF SIGNIFICANCE -- Type 1 and Unlisted Actions

Identify the Portions of EAF completed for this project:

Part 1

Part 2

Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

- A. The project will not result in any large and important impact(s) and, therefore, is one which **will not** have a significant impact on the environment, therefore **a negative declaration will be prepared.**
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore **a CONDITIONED negative declaration will be prepared.***
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore **a positive declaration will be prepared.**

*A Conditioned Negative Declaration is only valid for Unlisted Actions

Name of Action

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

PART 1--PROJECT INFORMATION
Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

Name of Action C3 Holdings LLC

Location of Action (include Street Address, Municipality and County)

1500 Front Street
Yorktown Heights, Westchester County

Name of Applicant/Sponsor Robert Considine

Address 1500 Front Street

City / PO Yorktown Hgts. State NY Zip Code 10598

Business Telephone 914-837-4000

Name of Owner (if different) Same as above

Address _____

City / PO _____ State _____ Zip Code _____

Business Telephone _____

Description of Action:

Project includes the development of a 2-story steel frame and masonry building approximately 3600 sf total in size (1800 sf per floor). The building is to be used as a three-bay parking garage on the first floor and a material storage area on the second floor for one of the existing business uses located within the existing building already on site. Associated utilities will also be constructed (storm, sewer, water, electric).

Please Complete Each Question--Indicate N.A. if not applicable

A. SITE DESCRIPTION

Physical setting of overall project, both developed and undeveloped areas.

1. Present Land Use: Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Other _____

2. Total acreage of project area: 2.0 acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
Meadow or Brushland (Non-agricultural)	<u>0</u> acres	<u>0</u> acres
Forested	<u>0.62</u> acres	<u>0.44</u> acres
Agricultural (Includes orchards, cropland, pasture, etc.)	<u>0</u> acres	<u>0</u> acres
Wetland (Freshwater or tidal as per Articles 24,25 of ECL)	<u>0</u> acres	<u>0</u> acres
Water Surface Area	<u>0</u> acres	<u>0</u> acres
Unvegetated (Rock, earth or fill)	<u>0</u> acres	<u>0</u> acres
Roads, buildings and other paved surfaces	<u>1.14</u> acres	<u>1.25</u> acres
Other (Indicate type) <u>Lawn / Landscape</u>	<u>0.24</u> acres	<u>0.31</u> acres

3. What is predominant soil type(s) on project site?
- a. Soil drainage: Well drained ____% of site Moderately well drained 100% of site.
 Poorly drained ____% of site
- b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? N/A acres (see 1 NYCRR 370).
4. Are there bedrock outcroppings on project site? Yes No
- a. What is depth to bedrock >3 (in feet)
5. Approximate percentage of proposed project site with slopes:
 0-10% 85% 10- 15% 10% 15% or greater 5%
6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or National Registers of Historic Places? Yes No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No
8. What is the depth of the water table? >3 (in feet)
9. Is site located over a primary, principal, or sole source aquifer? Yes No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No

11. Does project site contain any species of plant or animal life that is identified as threatened or endangered? Yes No

According to:

To be confirmed in writing by NYNHP.

Identify each species:

12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations?)

Yes No

Describe:

13. Is the project site presently used by the community or neighborhood as an open space or recreation area?

Yes No

If yes, explain:

14. Does the present site include scenic views known to be important to the community? Yes No

15. Streams within or contiguous to project area:

None.

a. Name of Stream and name of River to which it is tributary

N/A

16. Lakes, ponds, wetland areas within or contiguous to project area:

None.

b. Size (in acres):

N/A

17. Is the site served by existing public utilities? Yes No
- a. If YES, does sufficient capacity exist to allow connection? Yes No
- b. If YES, will improvements be necessary to allow connection? Yes No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No
20. Has the site ever been used for the disposal of solid or hazardous wastes? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate).
- a. Total contiguous acreage owned or controlled by project sponsor: 2.0 acres.
- b. Project acreage to be developed: 2.0 acres initially; 2.0 acres ultimately.
- c. Project acreage to remain undeveloped: 0.0 acres.
- d. Length of project, in miles: N/A (if appropriate)
- e. If the project is an expansion, indicate percent of expansion proposed. 2.1 %
- f. Number of off-street parking spaces existing 23; proposed 23
- g. Maximum vehicular trips generated per hour: 15 (upon completion of project)?
- h. If residential: Number and type of housing units:
- | | One Family | Two Family | Multiple Family | Condominium |
|------------|------------|------------|-----------------|-------------|
| Initially | <u>NA</u> | <u>NA</u> | <u>NA</u> | <u>NA</u> |
| Ultimately | <u>NA</u> | <u>NA</u> | <u>NA</u> | <u>NA</u> |
- i. Dimensions (in feet) of largest proposed structure: 25 height; 30 width; 60 length.
- j. Linear feet of frontage along a public thoroughfare project will occupy is? 135 ft.
2. How much natural material (i.e. rock, earth, etc.) will be removed from the site? 250 cy tons/cubic yards.
3. Will disturbed areas be reclaimed Yes No N/A
- a. If yes, for what intended purpose is the site being reclaimed?
- The disturbed areas will be reclaimed for the purpose of the construction of the building as well as stormwater management improvements.
- b. Will topsoil be stockpiled for reclamation? Yes No
- c. Will upper subsoil be stockpiled for reclamation? Yes No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 0.18 acres.

5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?

Yes No

6. If single phase project: Anticipated period of construction: 8 months, (including demolition)

7. If multi-phased:

a. Total number of phases anticipated N/A (number)

b. Anticipated date of commencement phase 1: N/A month N/A year, (including demolition)

c. Approximate completion date of final phase: N/A month N/A year.

d. Is phase 1 functionally dependent on subsequent phases? Yes No

8. Will blasting occur during construction? Yes No

9. Number of jobs generated: during construction 12 ; after project is complete

10. Number of jobs eliminated by this project 0 .

11. Will project require relocation of any projects or facilities? Yes No

If yes, explain:

12. Is surface liquid waste disposal involved? Yes No

a. If yes, indicate type of waste (sewage, industrial, etc) and amount _____

b. Name of water body into which effluent will be discharged _____

13. Is subsurface liquid waste disposal involved? Yes No Type _____

14. Will surface area of an existing water body increase or decrease by proposal? Yes No

If yes, explain:

15. Is project or any portion of project located in a 100 year flood plain? Yes No

16. Will the project generate solid waste? Yes No

a. If yes, what is the amount per month? 1 tons

b. If yes, will an existing solid waste facility be used? Yes No

c. If yes, give name Charles Point ; location Peekskill, NY

d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? Yes No

e. If yes, explain:

17. Will the project involve the disposal of solid waste? Yes No

a. If yes, what is the anticipated rate of disposal? _____ tons/month.

b. If yes, what is the anticipated site life? _____ years.

18. Will project use herbicides or pesticides? Yes No

19. Will project routinely produce odors (more than one hour per day)? Yes No

20. Will project produce operating noise exceeding the local ambient noise levels? Yes No

21. Will project result in an increase in energy use? Yes No

If yes, indicate type(s)

The project will require energy usage for the water, electric and gas services.

22. If water supply is from wells, indicate pumping capacity N/A gallons/minute.

23. Total anticipated water usage per day 50 gallons/day.

24. Does project involve Local, State or Federal funding? Yes No

If yes, explain:

25. Approvals Required:

			Type	Submittal Date
City, Town, Village Board	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	_____	_____
			_____	_____
			_____	_____
City, Town, Village Planning Board	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<u>Site Plan Approval</u>	_____
			<u>Erosion Control Permit</u>	_____
			_____	_____
			_____	_____
City, Town Zoning Board	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	_____	_____
			_____	_____
			_____	_____
City, County Health Department	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	_____	_____
			_____	_____
			_____	_____
Other Local Agencies	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	_____	_____
			_____	_____
			_____	_____
Other Regional Agencies	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	_____	_____
			_____	_____
			_____	_____
State Agencies	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<u>NYSDEC - Notice of Intent</u>	_____
			<u>under GP-0-08-001</u>	_____
			_____	_____
			_____	_____
Federal Agencies	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	_____	_____
			_____	_____
			_____	_____

C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? Yes No

If Yes, indicate decision required:

- | | | | |
|---|---|--|--------------------------------------|
| <input type="checkbox"/> Zoning amendment | <input type="checkbox"/> Zoning variance | <input type="checkbox"/> New/revision of master plan | <input type="checkbox"/> Subdivision |
| <input checked="" type="checkbox"/> Site plan | <input type="checkbox"/> Special use permit | <input type="checkbox"/> Resource management plan | <input type="checkbox"/> Other |

2. What is the zoning classification(s) of the site?

M-2, Industrial Mixed Use

3. What is the maximum potential development of the site if developed as permitted by the present zoning?

Maximum Building Coverage of 40% of Lot area. Existing coverage is 29.7%.

4. What is the proposed zoning of the site?

No change. M-2, Industrial Mixed Use

5. What is the maximum potential development of the site if developed as permitted by the proposed zoning?

Maximum Building Coverage of 40% of Lot area. Proposed coverage is 31.8%.

6. Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No

7. What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action?

M-2, Industrial Mixed Use
M-1, Planned Light Industrial
R-3, Multi-Family Residential
R1-10, Single-Family Residential - 1/4 acre
R1-20, Single-Family Residential - 1/2 acre
R1-40, Single-Family Residential - 1 acre
R1-200, Single-Family Residential - 5 acre

8. Is the proposed action compatible with adjoining/surrounding land uses with a ¼ mile? Yes No

9. If the proposed action is the subdivision of land, how many lots are proposed? NA

a. What is the minimum lot size proposed? _____

10. Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No

11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)?

Yes No

a. If yes, is existing capacity sufficient to handle projected demand? Yes No

The proposed action will require a demand for police and fire protection.

12. Will the proposed action result in the generation of traffic significantly above present levels? Yes No

a. If yes, is the existing road network adequate to handle the additional traffic. Yes No

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name Josefa Rivera Date 10/27/21

Signature 

Title _____

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

PART 2 - PROJECT IMPACTS AND THEIR MAGNITUDE

Responsibility of Lead Agency

General Information (Read Carefully)

- ! In completing the form the reviewer should be guided by the question: Have my responses and determinations been **reasonable?** The reviewer is not expected to be an expert environmental analyst.
- ! The **Examples** provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.
- ! The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- ! The number of examples per question does not indicate the importance of each question.
- ! In identifying impacts, consider long term, short term and cumulative effects.

Instructions (Read carefully)

- a. Answer each of the 20 questions in PART 2. Answer **Yes** if there will be **any** impact.
- b. **Maybe** answers should be considered as **Yes** answers.
- c. If answering **Yes** to a question then check the appropriate box(column 1 or 2)to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- d. Identifying that an Impact will be potentially large (column 2) does not mean that it is also necessarily **significant**. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.
- e. If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.
- f. If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the **Yes** box in column 3. A **No** response indicates that such a reduction is not possible. This must be explained in Part 3.

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

Impact on Land

1. Will the Proposed Action result in a physical change to the project site?

NO YES

Examples that would apply to column 2

- | | | | |
|---|--|--|--|
| <ul style="list-style-type: none"> • Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%. • Construction on land where the depth to the water table is less than 3 feet. • Construction of paved parking area for 1,000 or more vehicles. • Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface. • Construction that will continue for more than 1 year or involve more than one phase or stage. • Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year. | <input type="checkbox"/>

<input type="checkbox"/>

<input type="checkbox"/>

<input type="checkbox"/>

<input type="checkbox"/>

<input type="checkbox"/> | <input type="checkbox"/>

<input type="checkbox"/>

<input type="checkbox"/>

<input type="checkbox"/>

<input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No

<input type="checkbox"/> Yes <input type="checkbox"/> No

<input type="checkbox"/> Yes <input type="checkbox"/> No

<input type="checkbox"/> Yes <input type="checkbox"/> No

<input type="checkbox"/> Yes <input type="checkbox"/> No |
|---|--|--|--|

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Construction or expansion of a sanitary landfill.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction in a designated floodway.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

2. Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.)

NO YES

• Specific land forms:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

Impact on Water

3. Will Proposed Action affect any water body designated as protected? (Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)

NO YES

Examples that would apply to column 2

• Developable area of site contains a protected water body.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Dredging more than 100 cubic yards of material from channel of a protected stream.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Extension of utility distribution facilities through a protected water body.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction in a designated freshwater or tidal wetland.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

4. Will Proposed Action affect any non-protected existing or new body of water?

NO YES

Examples that would apply to column 2

• A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction of a body of water that exceeds 10 acres of surface area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

5. Will Proposed Action affect surface or groundwater quality or quantity?

NO YES

Examples that would apply to column 2

- | | | | |
|--|--------------------------|--------------------------|--|
| <ul style="list-style-type: none"> • Proposed Action will require a discharge permit. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action requires use of a source of water that does not have approval to serve proposed (project) action. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action requires water supply from wells with greater than 45 gallons per minute pumping capacity. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Construction or operation causing any contamination of a water supply system. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action will adversely affect groundwater. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action would use water in excess of 20,000 gallons per day. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action will require the storage of petroleum or chemical products greater than 1,100 gallons. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action will allow residential uses in areas without water and/or sewer services. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action locates commercial and/or industrial uses which may require new or expansion of existing waste treatment and/or storage facilities. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

6. Will Proposed Action alter drainage flow or patterns, or surface water runoff?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action would change flood water flows | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action may cause substantial erosion. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action is incompatible with existing drainage patterns. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow development in a designated floodway. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON AIR

7. Will Proposed Action affect air quality?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action will induce 1,000 or more vehicle trips in any given hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in the incineration of more than 1 ton of refuse per hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Emission rate of total contaminants will exceed 5 lbs. per hour or a heat source producing more than 10 million BTU's per hour. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow an increase in the amount of land committed to industrial use. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will allow an increase in the density of industrial development within existing industrial areas. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON PLANTS AND ANIMALS

8. Will Proposed Action affect any threatened or endangered species?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Reduction of one or more species listed on the New York or Federal list, using the site, over or near the site, or found on the site. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Removal of any portion of a critical or significant wildlife habitat.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Application of pesticide or herbicide more than twice a year, other than for agricultural purposes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

9. Will Proposed Action substantially affect non-threatened or non-endangered species?

NO YES

Examples that would apply to column 2

• Proposed Action would substantially interfere with any resident or migratory fish, shellfish or wildlife species.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action requires the removal of more than 10 acres of mature forest (over 100 years of age) or other locally important vegetation.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON AGRICULTURAL LAND RESOURCES

10. Will Proposed Action affect agricultural land resources?

NO YES

Examples that would apply to column 2

• The Proposed Action would sever, cross or limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Construction activity would excavate or compact the soil profile of agricultural land.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• The Proposed Action would irreversibly convert more than 10 acres of agricultural land or, if located in an Agricultural District, more than 2.5 acres of agricultural land.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• The Proposed Action would disrupt or prevent installation of agricultural land management systems (e.g., subsurface drain lines, outlet ditches, strip cropping); or create a need for such measures (e.g. cause a farm field to drain poorly due to increased runoff).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON AESTHETIC RESOURCES

11. Will Proposed Action affect aesthetic resources? (If necessary, use the Visual EAF Addendum in Section 617.20, Appendix B.)
 NO YES

Examples that would apply to column 2

• Proposed land uses, or project components obviously different from or in sharp contrast to current surrounding land use patterns, whether man-made or natural.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed land uses, or project components visible to users of aesthetic resources which will eliminate or significantly reduce their enjoyment of the aesthetic qualities of that resource.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Project components that will result in the elimination or significant screening of scenic views known to be important to the area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON HISTORIC AND ARCHAEOLOGICAL RESOURCES

12. Will Proposed Action impact any site or structure of historic, prehistoric or paleontological importance?
 NO YES

Examples that would apply to column 2

• Proposed Action occurring wholly or partially within or substantially contiguous to any facility or site listed on the State or National Register of historic places.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Any impact to an archaeological site or fossil bed located within the project site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will occur in an area designated as sensitive for archaeological sites on the NYS Site Inventory.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

	1	2	3
	Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

• Other impacts:

IMPACT ON OPEN SPACE AND RECREATION

13. Will proposed Action affect the quantity or quality of existing or future open spaces or recreational opportunities?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • The permanent foreclosure of a future recreational opportunity. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • A major reduction of an open space important to the community. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON CRITICAL ENVIRONMENTAL AREAS

14. Will Proposed Action impact the exceptional or unique characteristics of a critical environmental area (CEA) established pursuant to subdivision 6NYCRR 617.14(g)?

NO YES

List the environmental characteristics that caused the designation of the CEA.

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action to locate within the CEA? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in a reduction in the quantity of the resource? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in a reduction in the quality of the resource? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will impact the use, function or enjoyment of the resource? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
-------------------------------------	-----------------------------------	--

IMPACT ON TRANSPORTATION

15. Will there be an effect to existing transportation systems?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Alteration of present patterns of movement of people and/or goods. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will result in major traffic problems. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

IMPACT ON ENERGY

16. Will Proposed Action affect the community's sources of fuel or energy supply?

NO YES

Examples that would apply to column 2

- | | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Proposed Action will cause a greater than 5% increase in the use of any form of energy in the municipality. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two family residences or to serve a major commercial or industrial use. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

NOISE AND ODOR IMPACT

17. Will there be objectionable odors, noise, or vibration as a result of the Proposed Action?

NO YES

Examples that would apply to column 2

- | | | | | |
|--|--------------------------|--------------------------|------------------------------|-----------------------------|
| • Blasting within 1,500 feet of a hospital, school or other sensitive facility. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Odors will occur routinely (more than one hour per day). | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will produce operating noise exceeding the local ambient noise levels for noise outside of structures. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Proposed Action will remove natural barriers that would act as a noise screen. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

1	2	3
Small to Moderate Impact	Potential Large Impact	Can Impact Be Mitigated by Project Change

IMPACT ON PUBLIC HEALTH

18. Will Proposed Action affect public health and safety?

NO YES

- | | | | |
|--|--------------------------|--------------------------|--|
| <ul style="list-style-type: none"> • Proposed Action may cause a risk of explosion or release of hazardous substances (i.e. oil, pesticides, chemicals, radiation, etc.) in the event of accident or upset conditions, or there may be a chronic low level discharge or emission. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action may result in the burial of "hazardous wastes" in any form (i.e. toxic, poisonous, highly reactive, radioactive, irritating, infectious, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Storage facilities for one million or more gallons of liquefied natural gas or other flammable liquids. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action may result in the excavation or other disturbance within 2,000 feet of a site used for the disposal of solid or hazardous waste. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Other impacts: | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**IMPACT ON GROWTH AND CHARACTER
OF COMMUNITY OR NEIGHBORHOOD**

19. Will Proposed Action affect the character of the existing community?

NO YES

Examples that would apply to column 2

- | | | | |
|---|--------------------------|--------------------------|--|
| <ul style="list-style-type: none"> • The permanent population of the city, town or village in which the project is located is likely to grow by more than 5%. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • The municipal budget for capital expenditures or operating services will increase by more than 5% per year as a result of this project. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action will conflict with officially adopted plans or goals. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action will cause a change in the density of land use. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Proposed Action will replace or eliminate existing facilities, structures or areas of historic importance to the community. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • Development will create a demand for additional community services (e.g. schools, police and fire, etc.) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> Yes <input type="checkbox"/> No |

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Proposed Action will set an important precedent for future projects.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Proposed Action will create or eliminate employment.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
• Other impacts:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

20. Is there, or is there likely to be, public controversy related to potential adverse environment impacts?

NO YES

If Any Action in Part 2 Is Identified as a Potential Large Impact or If you Cannot Determine the Magnitude of Impact, Proceed to Part 3

Part 3 - EVALUATION OF THE IMPORTANCE OF IMPACTS

Responsibility of Lead Agency

Part 3 must be prepared if one or more impact(s) is considered to be potentially large, even if the impact(s) may be mitigated.

Instructions (If you need more space, attach additional sheets)

Discuss the following for each impact identified in Column 2 of Part 2:

1. Briefly describe the impact.
2. Describe (if applicable) how the impact could be mitigated or reduced to a small to moderate impact by project change(s).
3. Based on the information available, decide if it is reasonable to conclude that this impact is **important**.

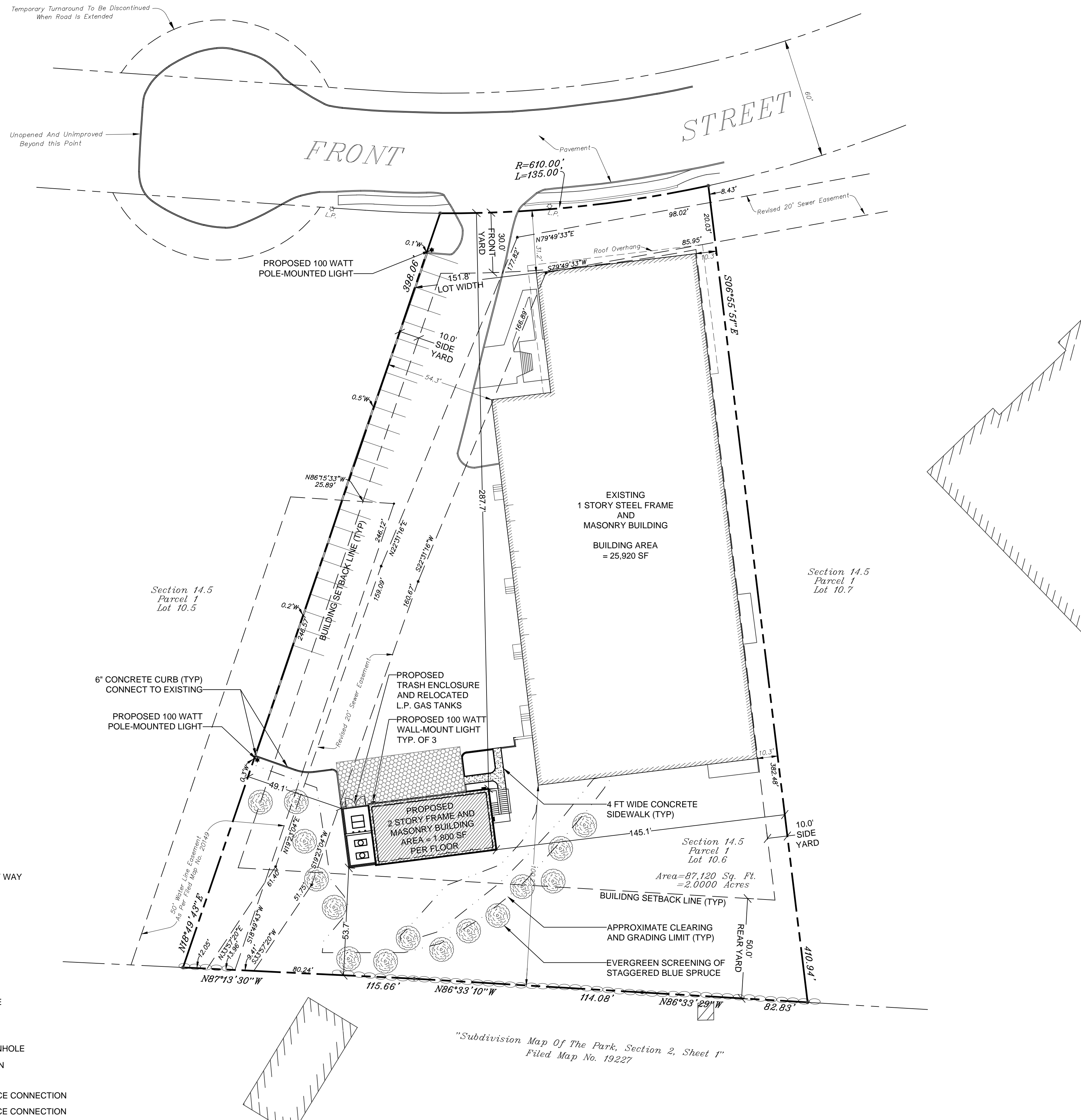
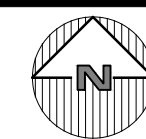
To answer the question of importance, consider:

- ! The probability of the impact occurring
- ! The duration of the impact
- ! Its irreversibility, including permanently lost resources of value
- ! Whether the impact can or will be controlled
- ! The regional consequence of the impact
- ! Its potential divergence from local needs and goals
- ! Whether known objections to the project relate to this impact.



SITE

LOCATION MAP
NOT TO SCALE



LEGEND

- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 — PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- EXISTING EASEMENT LINE
- ===== PROPOSED CURB
- W --- EXISTING WATER LINE
- F --- EXISTING FIRE HYDRANT
- S --- EXISTING DRAINAGE INLET
- S --- EXISTING SANITARY LINE
- S --- PROPOSED DRAINAGE LINE
- S --- PROPOSED CATCH BASIN
- S --- PROPOSED DRAINAGE MANHOLE
- FD --- PROPOSED FOOTING DRAIN
- RD --- PROPOSED ROOF DRAIN
- SS --- PROPOSED SEWER SERVICE CONNECTION
- WS --- PROPOSED WATER SERVICE CONNECTION

- NOTE:**
- UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
 - THIS IS NOT A SURVEY.** ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DONNELLY LAND SURVEYING, P.C., DATED APRIL 14, 2008. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
 - EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM AVAILABLE TOWN TOPOGRAPHY MAPS FOR THE PROJECT AREA.

SITE DATA:

OWNER / DEVELOPER: C3 HOLDINGS LLC.
1500 FRONT STREET
YORKTOWN HEIGHTS, NY 10598

PROJECT LOCATION: 1500 FRONT STREET
YORKTOWN HEIGHTS, NY 10598

EXISTING TOWN ZONING: I-2, PLANNED LIGHT INDUSTRY
PROPOSED USE: I-2, PLANNED LIGHT INDUSTRY
TOWN TAX MAP DATA: SECTION 48.11, BLOCK 1, LOT 51
SITE AREA: 2.00 ACRES (87,120.00 SF)

SEWAGE FACILITIES: PUBLIC SEWERS, HALLOCKS MILL DISTRICT
WATER FACILITIES: PUBLIC WATER FACILITIES, YORKTOWN CONSOLIDATED
SCHOOL DISTRICT: YORKTOWN CENTRAL
FIRE DISTRICT: YORKTOWN HEIGHTS

ZONING SCHEDULE:

ZONING DISTRICT: I-2, PLANNED LIGHT INDUSTRY			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	NONE	87,120.00 SF	NONE
MINIMUM LOT WIDTH:	75 FT	151.8 FT	NONE
MINIMUM LOT DEPTH:	75 FT	404.5 FT	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 F (SEE NOTE 1.1)	31.2 FT	NONE
REAR YARD SETBACK:	50 FT (SEE NOTE 1.2)	100.2 FT	NONE
SIDE YARD SETBACK:	10 FT (SEE NOTE 1.3)	10.3 FT AND 54.3 FT	NONE
ACCESSORY BUILDINGS:			
FRONT YARD SETBACK:	50 FT	287.7 FT	NONE
REAR YARD SETBACK:	50 FT (SEE NOTE 1.2)	53.7 FT	NONE
SIDE YARD SETBACK:	10 FT (SEE NOTE 1.3)	49.1 FT AND 145.1 FT	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
MAXIMUM COVERAGE (ALL BUILDINGS):	40% OF LOT AREA	29.7 % EXISTING 31.8 % PROPOSED	NONE NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	40 FEET	25 FT	NONE
ACCESSORY BUILDING - FEET:	40 FEET	25 FT	NONE

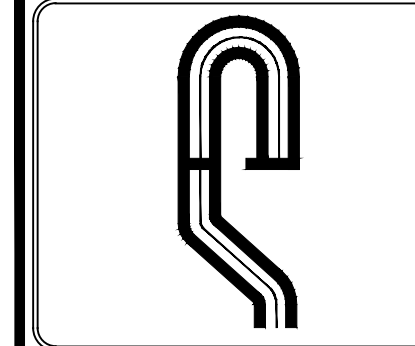
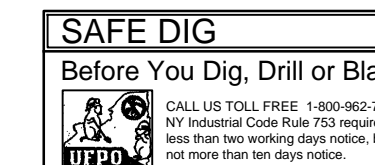
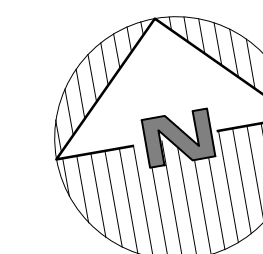
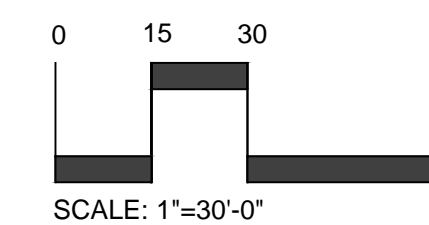
- ZONING REGULATION NOTES:**
- STRUCTURES IN M-2, INDUSTRIAL MIXED USE DISTRICT SHALL COMPLY WITH THE FOLLOWING YARD SETBACKS:
 - FRONT YARD SETBACK SHALL BE 30 FEET WITHOUT PARKING; 75 FEET WITH PARKING;
 - REAR YARD SETBACK SHALL BE 30 FEET; IF ADJOINS RESIDENTIAL DISTRICT SHALL BE 50 FEET;
 - NO MINIMUM SIDE YARD IS REQUIRED BUT IF PROVIDED SHALL BE 10 FEET; IF ADJOINS A RESIDENTIAL DISTRICT SHALL BE 50 FEET.

PARKING SCHEDULE

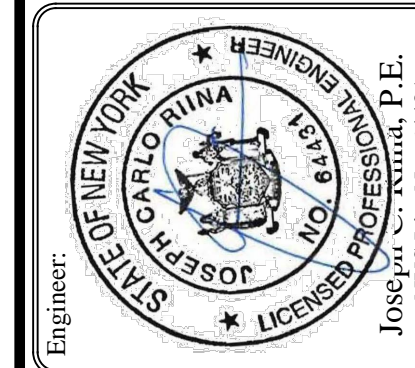
REQUIRED PARKING:	1 SPACE PER 3 EMPLOYEES + 10 VISITORS 18 EMPLOYEES / 3 SPACES PER EMPLOYEE = 6 SPACES 6 EMPLOYEE SPACES + 10 VISITOR SPACES = 16 TOTAL
EXISTING PARKING:	23 SPACES
ADDITIONAL REQUIRED PARKING:	0 SPACES (9 SPACES IF USED AS OFFICE - SEE BELOW) 3-BAY PARKING GARAGE (3 ADDITIONAL SPACES PROVIDED) STORAGE; IF USED AS OFFICE SPACE, REQUIRED PARKING = 5 SPACES PER 1,000 SF 5 SPACES x 1,800 SF / 1,000 SF = 9 SPACES
TOTAL PROVIDED PARKING:	26 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES

GENERAL NOTES:

- The Engineer whose seal appears hereon has not been retained for supervision of construction, subsequently, he is not responsible for construction and therefore assumes no responsibility for construction practices, procedures, and results therefrom.
- The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- The Town Engineer's office is to be notified 24 hours before commencing site construction.
- All work is to be completed in accordance with the Town's Code of Practice and Specifications.
- All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
- All changes made to the plans shall be approved by the Engineer and any such changes shall be filed as amendments to the original Building Permit.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- It is the Contractor's responsibility to call in a "CODE 53" prior to construction for underground utility locations.
- Substructures and their encroachments below grade, if any, are not shown.
- Contractor to verify all substructures encountered during construction.
- Any proposed electric and/or telephone service lines are to be placed underground.
- The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
- The Contractor shall be responsible to the Owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
- The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
- The contractor shall be responsible for obtaining all necessary permits for any blasting if required.



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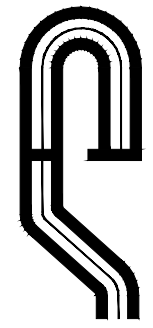


Revisions:	No.	Date	Comments
	1	1/12/09	Lighting / Planning
	2	4/06/09	SWPPP
	3	10/27/21	NEW OWNER

SCALE: 1" = 30'
DRAWN BY: JMC
DATE: 11/12/08

SITE PLAN

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
C3 HOLDINGS LLC.
1500 Front Street
Westchester Co., New York
Town Of Yorktown



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 Civil Engineers • Land Planners
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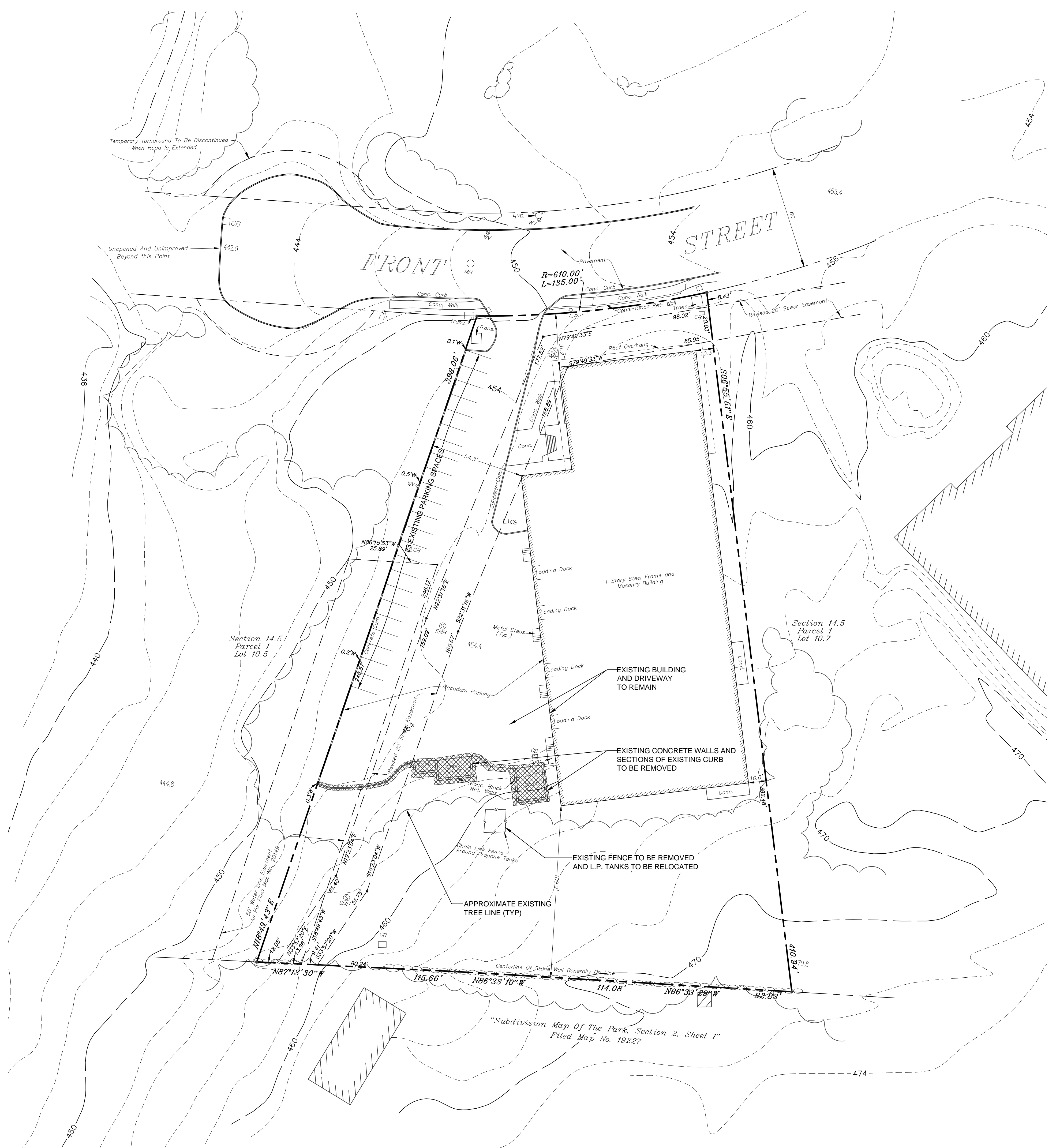


Revisions:	No.	Date	Comments
	1	1/12/09	Lighting / Planning
	2	4/06/09	SWPPP
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SCALE:	1" = 30'
DRAWN BY:	JMC
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EXISTING CONDITIONS PLAN

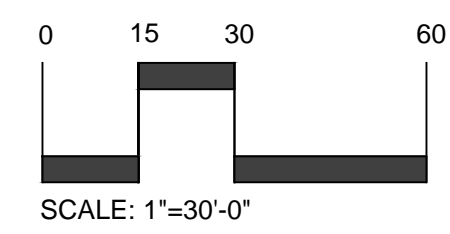
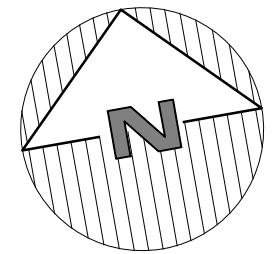
PROPOSED GARAGE WAREHOUSE
 PREPARED FOR
C3 HOLDINGS LLC.
 1500 Front Street
 Westchester Co., New York
 Town Of Yorktown



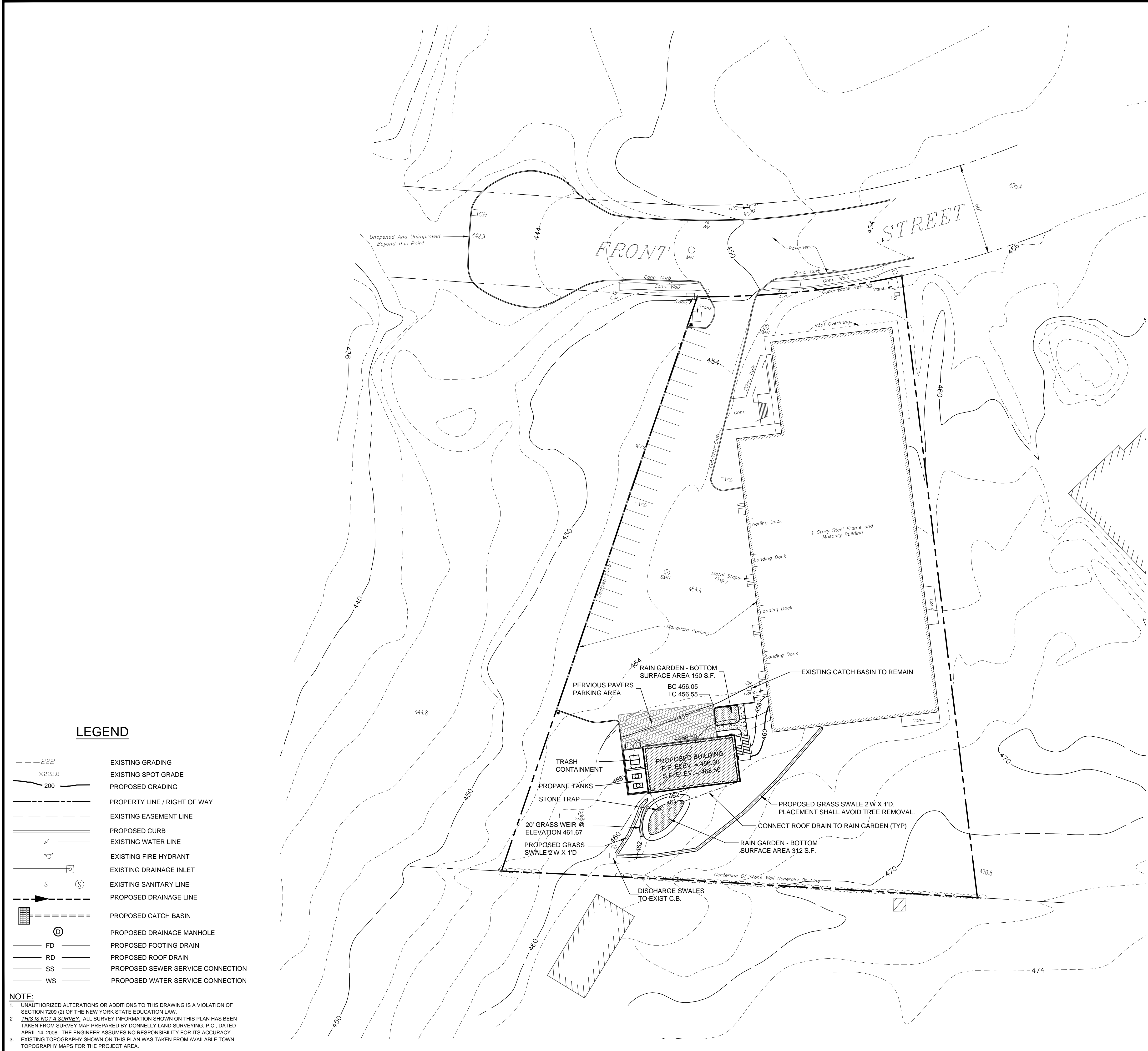
LEGEND

- EXISTING GRADING
- EXISTING SPOT GRADE
- PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- EXISTING EASEMENT LINE
- PROPOSED CURB
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING DRAINAGE INLET
- EXISTING SANITARY LINE
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- PROPOSED DRAINAGE MANHOLE
- PROPOSED FOOTING DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED SEWER SERVICE CONNECTION
- PROPOSED WATER SERVICE CONNECTION

NOTE:
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 3. EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM AVAILABLE TOWN TOPOGRAPHY MAPS FOR THE PROJECT AREA.



SAFE DIG
 Before You Dig, Drill or Blast!
 CALL US TOLL FREE 1-800-862-7862
 NY Industrial Code Rule 713 requires us
 to keep track of existing lines before we dig
 not more than ten days before.



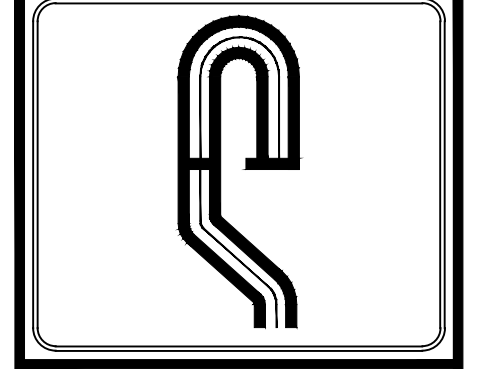
LEGEND

- 222--- EXISTING GRADING
- X222.8 EXISTING SPOT GRADE
- 200— PROPOSED GRADING
- — — — — PROPERTY LINE / RIGHT OF WAY
- — — — — EXISTING EASEMENT LINE
- — — — — PROPOSED CURB
- W — — — — — EXISTING WATER LINE
- ⊕ — — — — — EXISTING FIRE HYDRANT
- — — — — EXISTING DRAINAGE INLET
- — — — — EXISTING SANITARY LINE
- — — — — PROPOSED DRAINAGE LINE
- — — — — PROPOSED CATCH BASIN
- ⊙ PROPOSED DRAINAGE MANHOLE
- FD — — — — — PROPOSED FOOTING DRAIN
- RD — — — — — PROPOSED ROOF DRAIN
- SS — — — — — PROPOSED SEWER SERVICE CONNECTION
- WS — — — — — PROPOSED WATER SERVICE CONNECTION

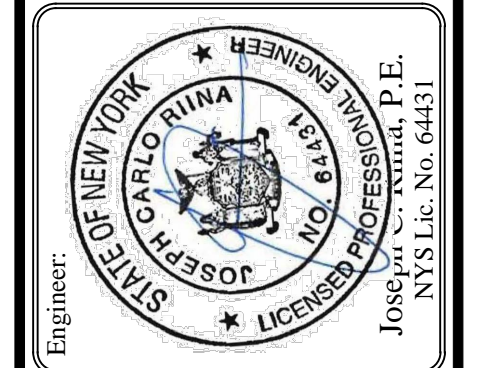
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3. EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM AVAILABLE TOWN TOPOGRAPHY MAPS FOR THE PROJECT AREA.

- GENERAL GRADING & UTILITY NOTES:**
1. It is the Contractor's responsibility to call in a "Code 53" prior to any excavation or construction of underground utilities.
 2. No top soil shall be removed from the site.
 3. Any and all construction demolition debris generated by this project shall be properly handled by the Contractor and disposed of at an approved off-site disposal facility.
 4. All structures shall be set flush with pavement finished grade.
 5. Any proposed electric and/or telephone service lines are to be placed underground.
 6. The Contractor shall be responsible to obtain all necessary permits for any blasting if required and permitted by the Town.
 7. Roof leaders and footing drains shall empty into storm drainage systems. Elevation of footing shall be adjusted accordingly to permit proper drainage. Under no circumstances shall the discharge of ground water or storm water, either by gravity or by pumping, be discharged to any sanitary sewer system.
 8. It is the Contractor's responsibility to properly shore existing utilities & existing improvements as required by construction.
 9. The building shall be constructed at such an elevation that the ground will slope away from it in all directions. The Owner shall guarantee positive drainage.
 10. Owner shall provide designed retaining walls on all slopes exceeding 1V:1.5H.
 11. Swales may be required, as determined by the Town Engineer, along property lines to minimize rain run-off.



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Revisions:	No.	Date	Comments
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	3	10/27/21	NEW OWNER

SCALE: 1" = 30'
 DRAWN BY: JMC
 DATE: 11/12/08

GRADING AND UTILITY PLAN

PROPOSED GARAGE WAREHOUSE
 PREPARED FOR
C3 HOLDINGS LLC.
 1500 Front Street
 Westchester Co., New York

0 15 30 60
 SCALE: 1"=30'-0"

SAFE DIG
 Before You Dig, Drill or Blast!

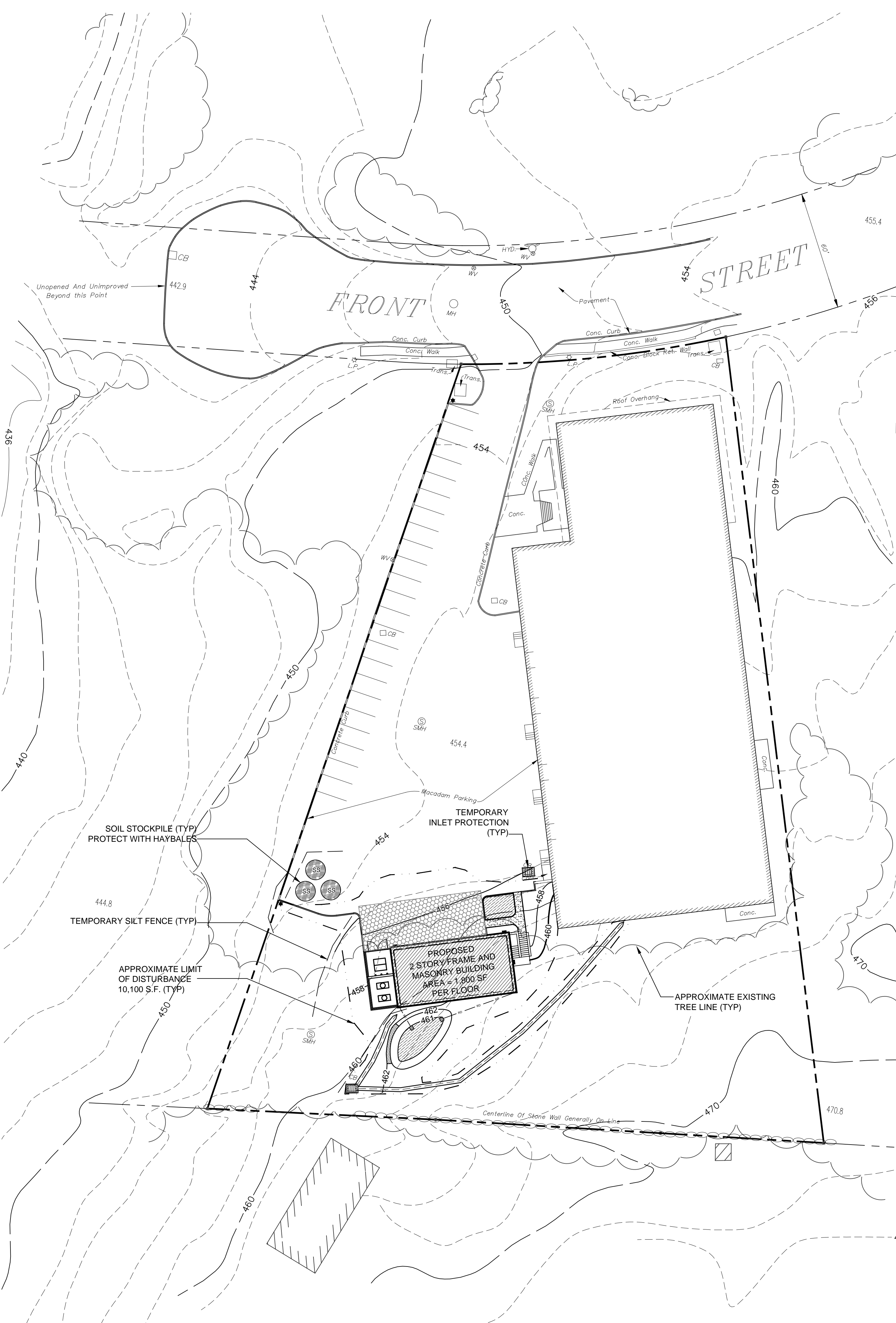
CALL US TOLL FREE 1-800-862-7862
 NY Industrial Code Rule 713 requires no less than two working days notice, but not more than ten days notice.

Construction Sequence

- Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and Stormwater practices.
- Prior to commencement of work, an on-site preconstruction meeting will be held. This will be attended by the Owner responsible for any fines or penalties, the Operator responsible for complying with the approved construction drawings including the E&S plan and details, the Environmental Planner responsible for E&S monitoring during construction, Town representatives from the Engineering Department and Code Enforcement, and a NYC DEP representative.
- Temporary erosion and sediment controls (E&SCs) as shown on the approved construction drawings shall be installed as detailed.
- Remove brush and other surface features in the limit of construction.
- Excavate for and install foundation. Upon completion of foundation walls backfill and grade area around building.
- Construct swales, rear rain garden, and stabilize with permanent vegetation all areas in rear of building not subject to further disturbance.
- Begin construction of the remainder of the building.
- Install concrete curbing.
- Install the porous paver section with stone reservoir and construct rain garden in the front in the building.
- Install walks and final plantings.
- Topsoil, rake, seed and mulch all disturbed areas.
- Upon stabilization of all disturbed areas and approval from the Town representative remove all temporary erosion and sediment controls.

LEGEND

- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 — PROPOSED GRADING
- --- PROPERTY LINE / RIGHT OF WAY
- --- EXISTING EASEMENT LINE
- --- PROPOSED CURB
- --- EXISTING WATER LINE
- --- EXISTING FIRE HYDRANT
- --- EXISTING DRAINAGE INLET
- --- EXISTING SANITARY LINE
- --- PROPOSED DRAINAGE LINE
- --- PROPOSED CATCH BASIN
- --- PROPOSED DRAINAGE MANHOLE
- --- PROPOSED FOOTING DRAIN
- --- PROPOSED ROOF DRAIN
- --- PROPOSED SEWER SERVICE CONNECTION
- --- PROPOSED WATER SERVICE CONNECTION
- --- PROPOSED SOIL STOCKPILES
- --- PROPOSED SILT FENCE
- --- PROPOSED CRUSHED STONE INLET PROTECTION
- --- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- --- PROPOSED LIMIT OF DISTURBANCE
- --- PROPOSED EROSION BLANKET / PERMANENT SEED
- --- EXISTING TREE TO BE PROTECTED
- --- EXISTING TREE TO BE REMOVED



- NOTE:**
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GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder grading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas and basin have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 14 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 14 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Village officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place one half the volume of seed mix prior to laying net, and place the remaining seed after laying the stabilized blanket.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-08-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.

- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or the sediment pond. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 14 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	---	INSP.	INSP.	CLEAN/REPLACE	REMOVE
WHEEL CLEANER	CLEAN	---	---	---	REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor. The depth can be measured from the inspection port of the chamber.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - 1.1. Install erosion control measures.
 - 1.2. Scarify compacted soil areas.
 - 1.3. Lime as required to ph 6.5.
 - 1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - 1.5. Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	
KENTUCKY BLUE GRASS	20
CREeping RED FESCUE	28
RYE GRASS OR REDTOP	5
ALT. B	
CREeping RED FESCUE	20
REDTOP	2
TALL FESCUE/SMOOTH BLOOMGRASS	20
- SEEDING
 - 3.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
 - 3.2. Apply soil amendments and integrate into soil.
 - 3.3. Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
 - 3.4. Stabilize seeded areas in drainage swales.
 - 3.5. Irrigate to fully saturate soil layer, but not to dislodge planting soil.
 - 3.6. Seed between April 1st and May 15th or August 15th and October 15th. Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

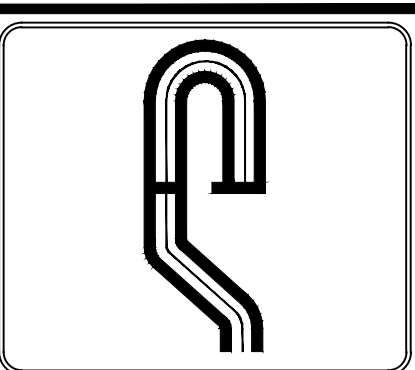
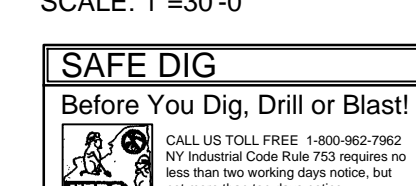
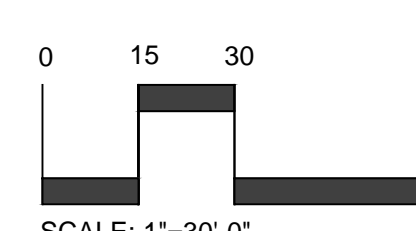
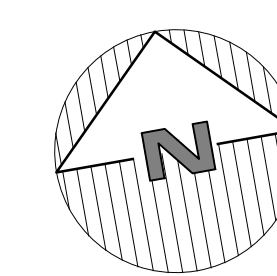
- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to ph 6.5.

SEED SPECIES:

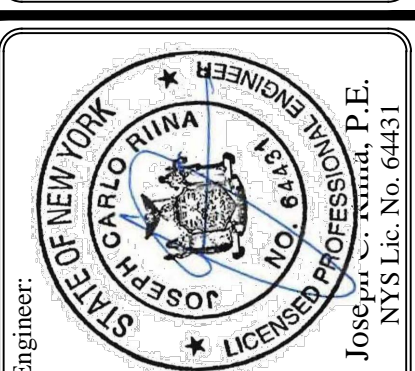
MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

Same as permanent vegetative cover



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Revisions:

No.	Date	Comments
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2	4/06/09	SNPPP
3	10/27/11	NEW OWNER

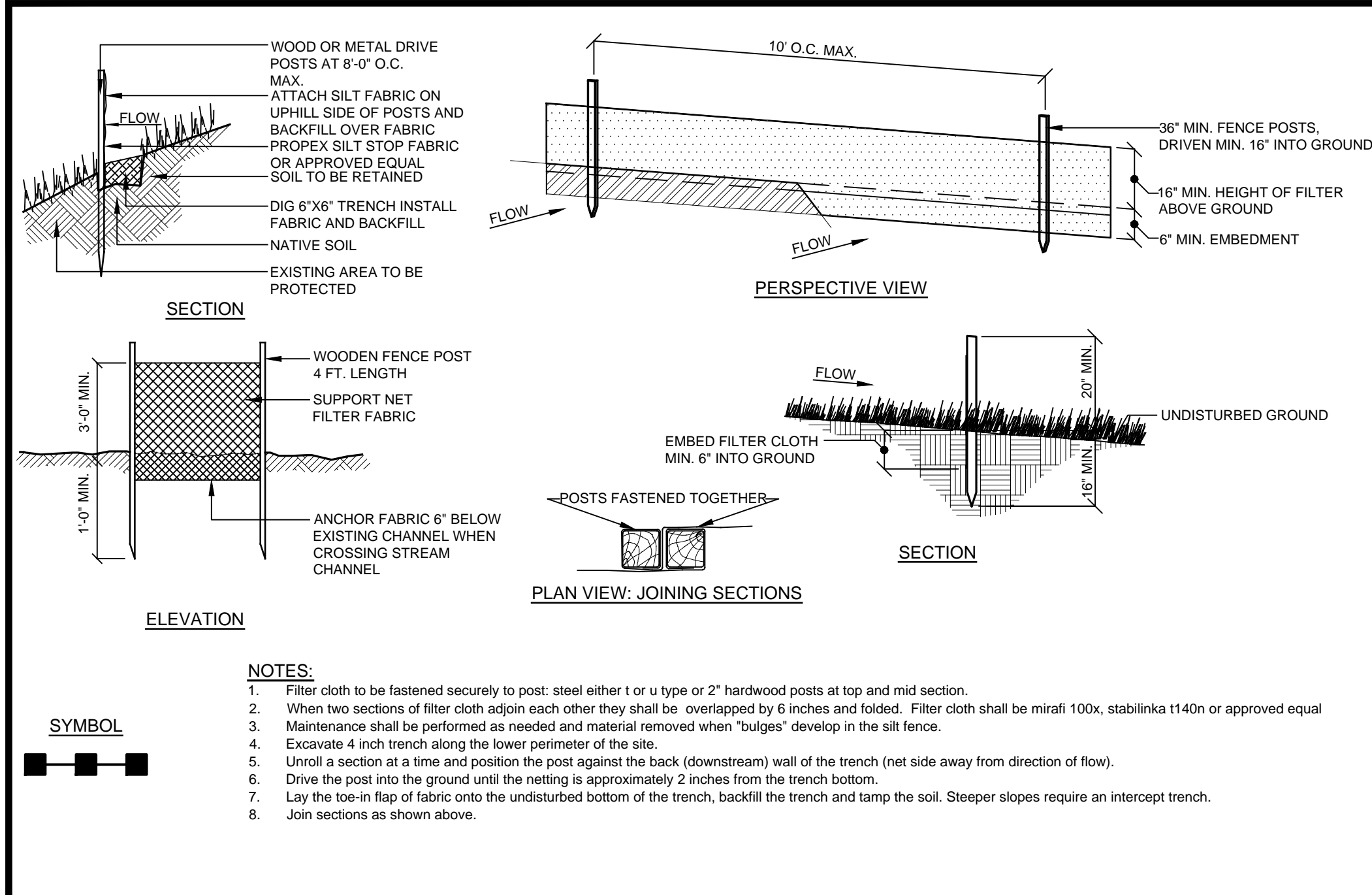
SCALE: 1" = 30'

DRAWN BY: JMC

DATE: 11/12/08

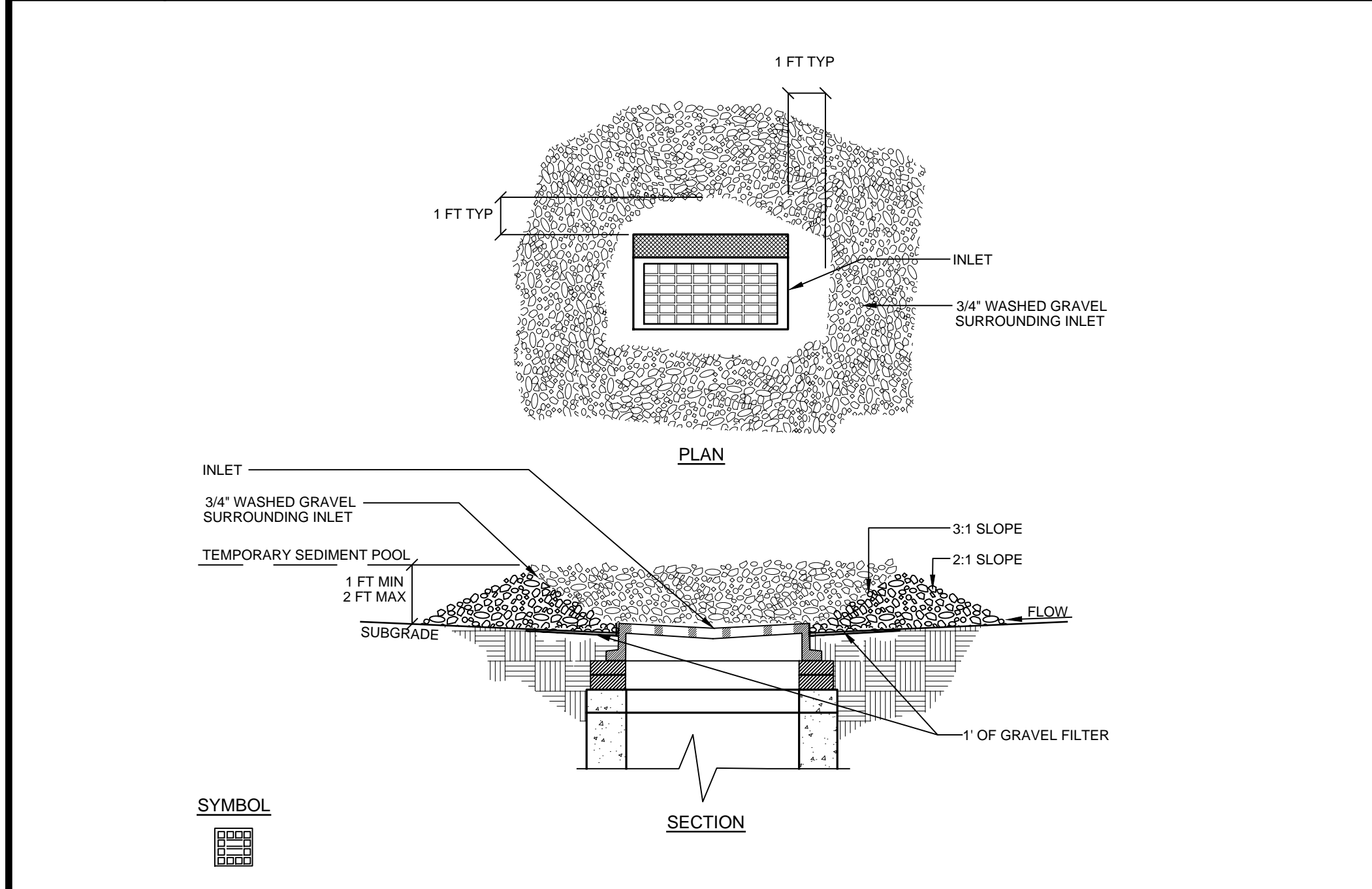
EROSION AND SEDIMENT CONTROL PLAN

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C3 HOLDINGS LLC.
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 Westchester Co., New York
 Town Of Yorktown

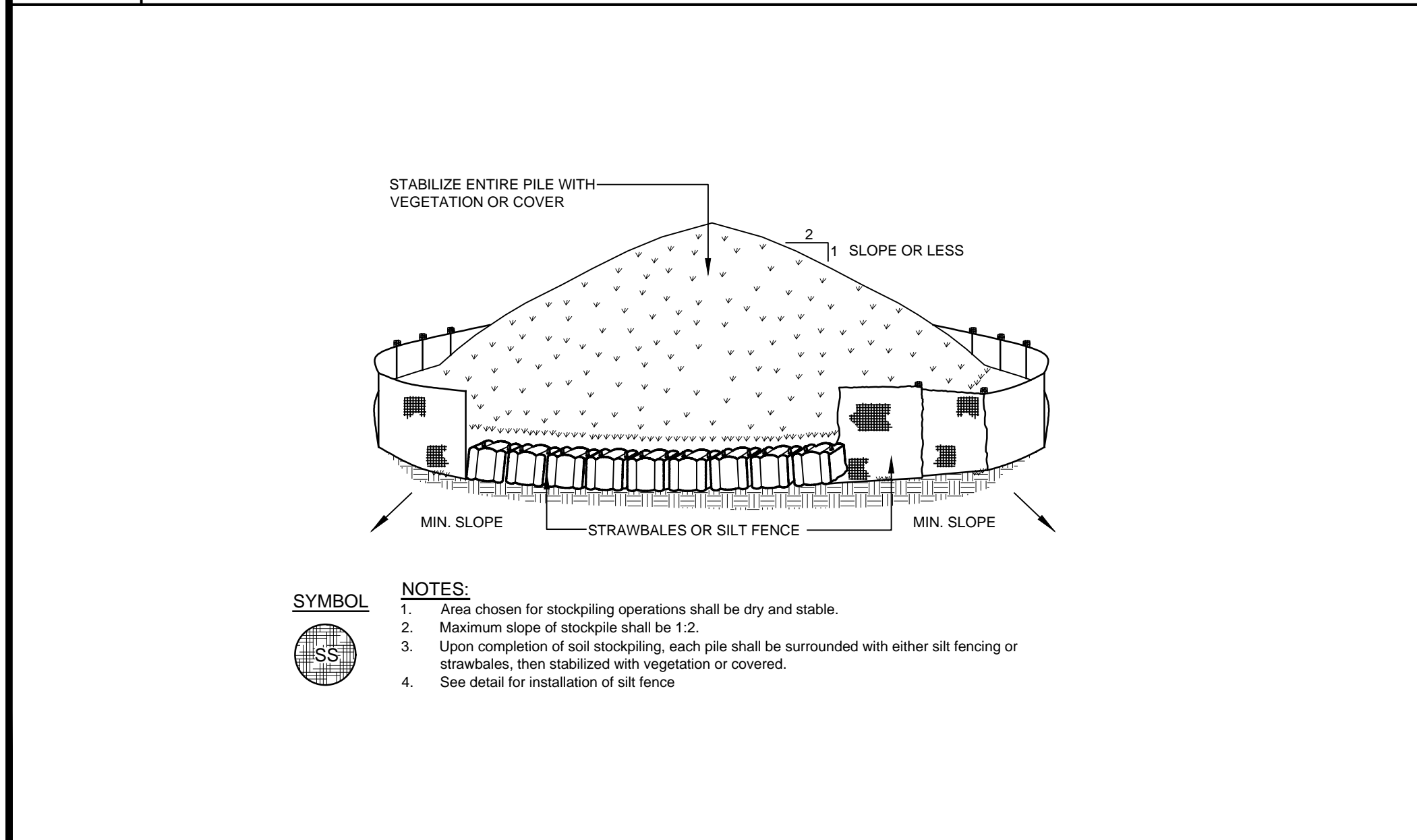


- NOTES:**
- Filter cloth to be fastened securely to post: steel either 1 or 2" hardwood posts at top and mid section.
 - When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be mirafi 100x, stabilinka 140n or approved equal.
 - Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
 - Excavate 4 inch trench along the lower perimeter of the site.
 - Unroll a section at a time and position the post against the back (downstream) wall of the trench (net side away from direction of flow).
 - Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
 - Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
 - Join sections as shown above.

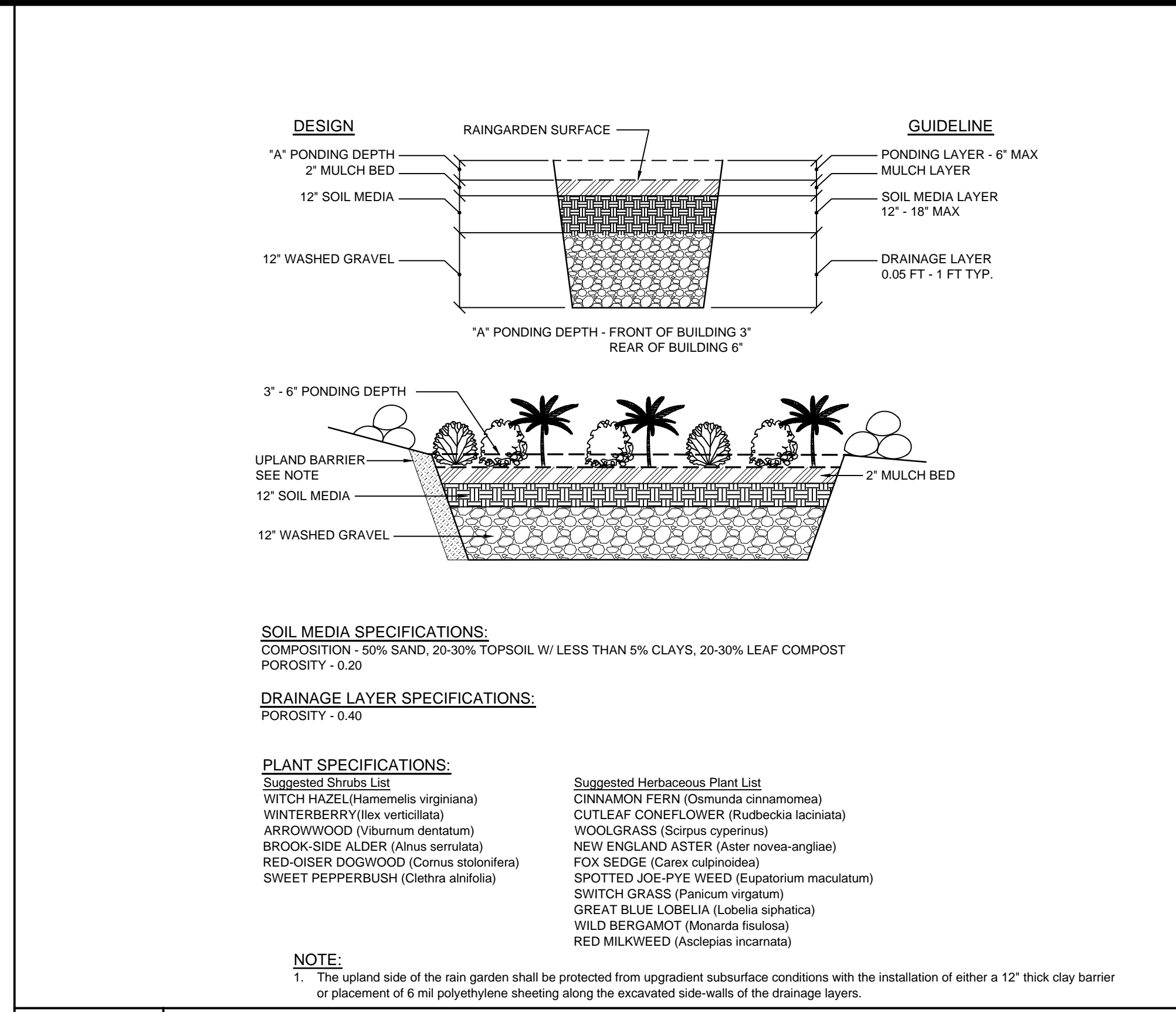
E-1 **SILT FENCE DETAIL**
NOT TO SCALE



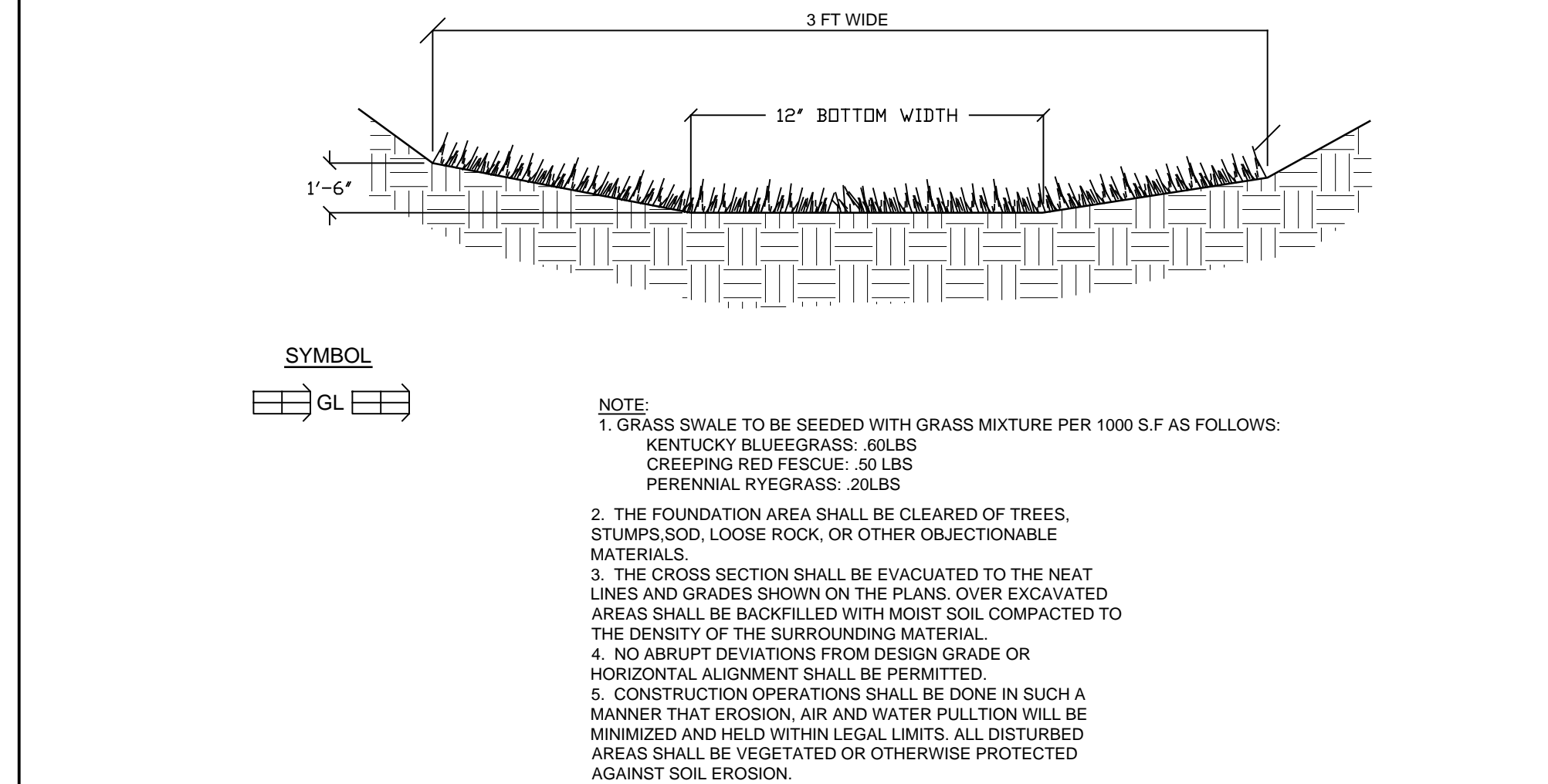
E-2 **INLET PROTECTION DETAIL**
NOT TO SCALE



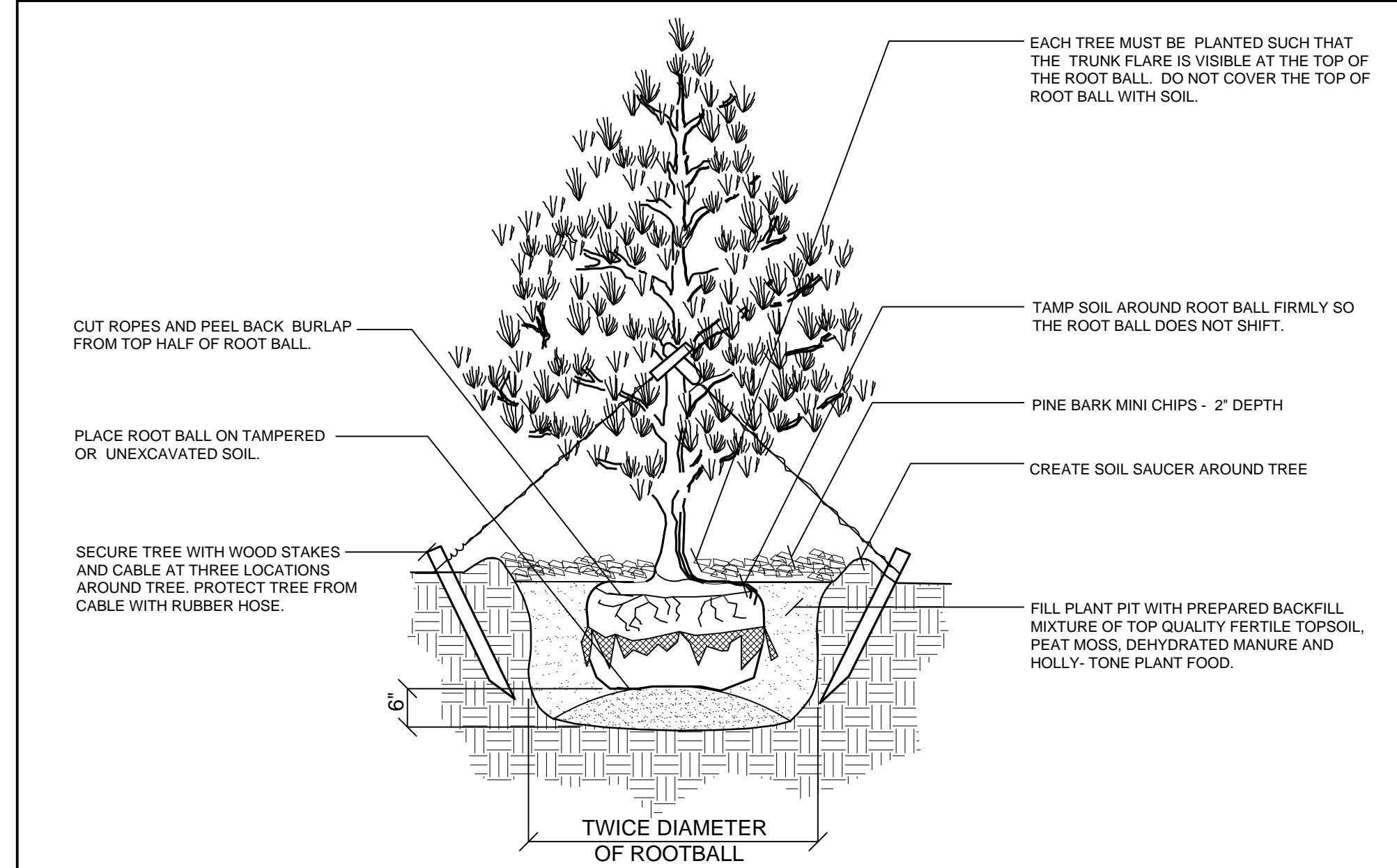
E-3 **SOIL STOCKPILE DETAIL**
NOT TO SCALE



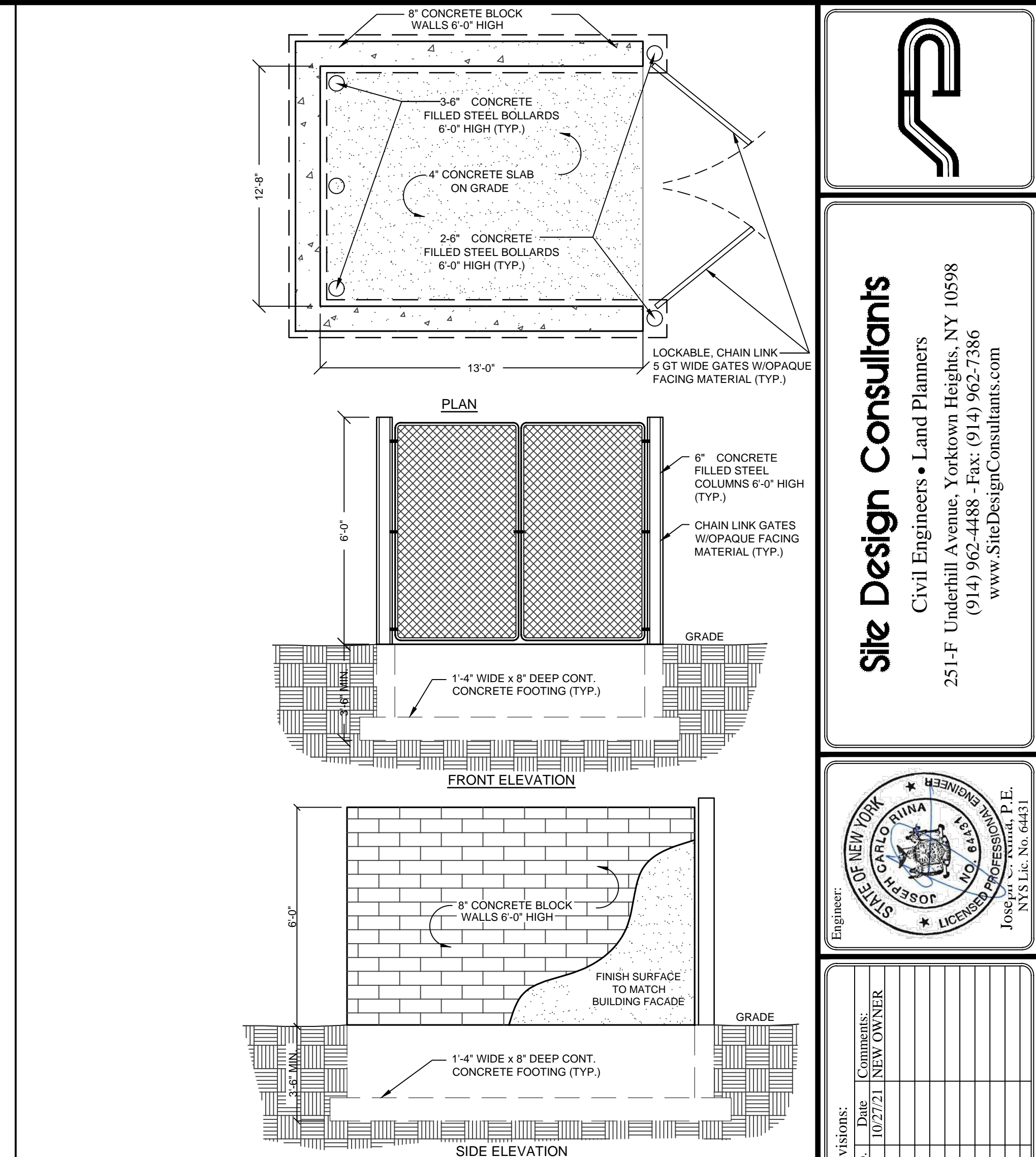
SW-1 **RAIN GARDEN DETAIL**
NOT TO SCALE



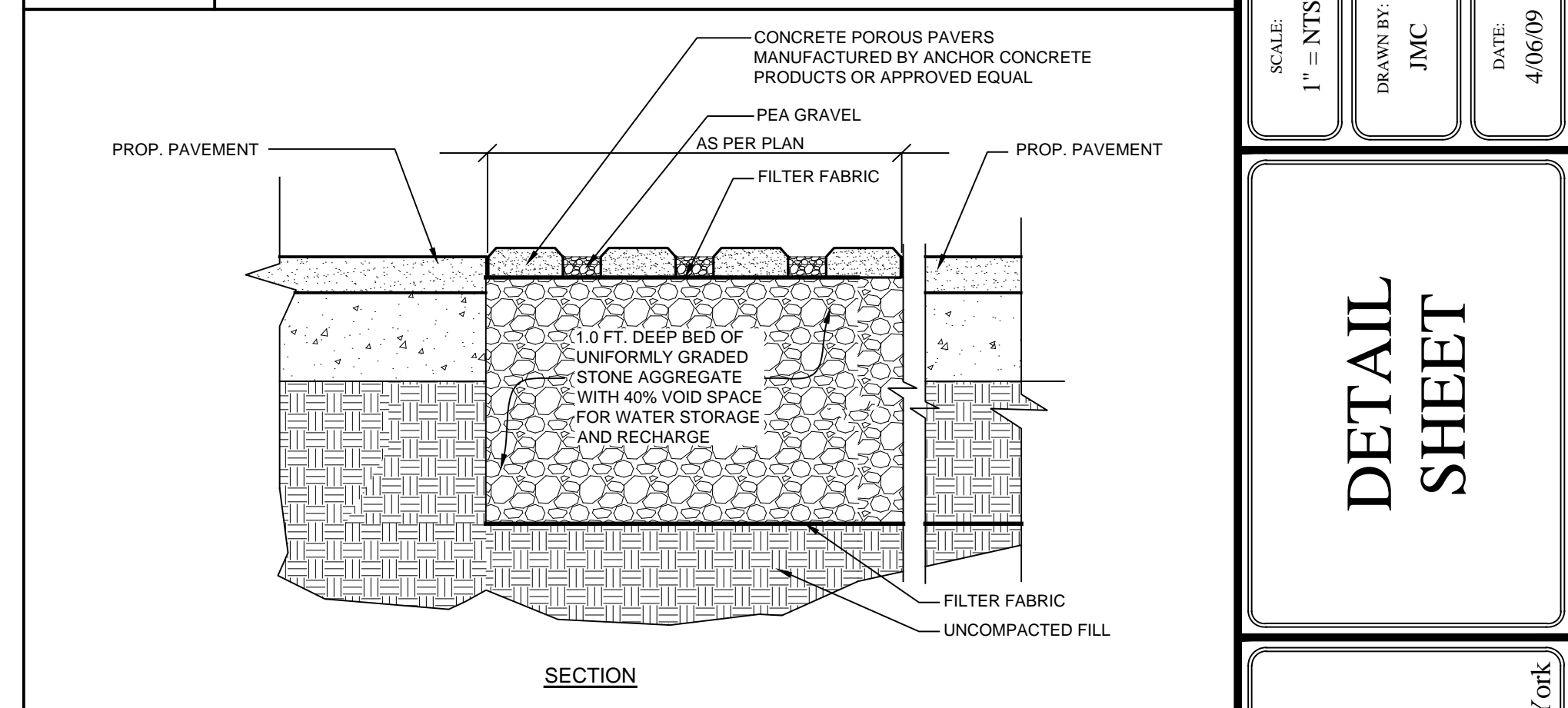
SW-2 **GRASS SWALE DETAIL**
NOT TO SCALE



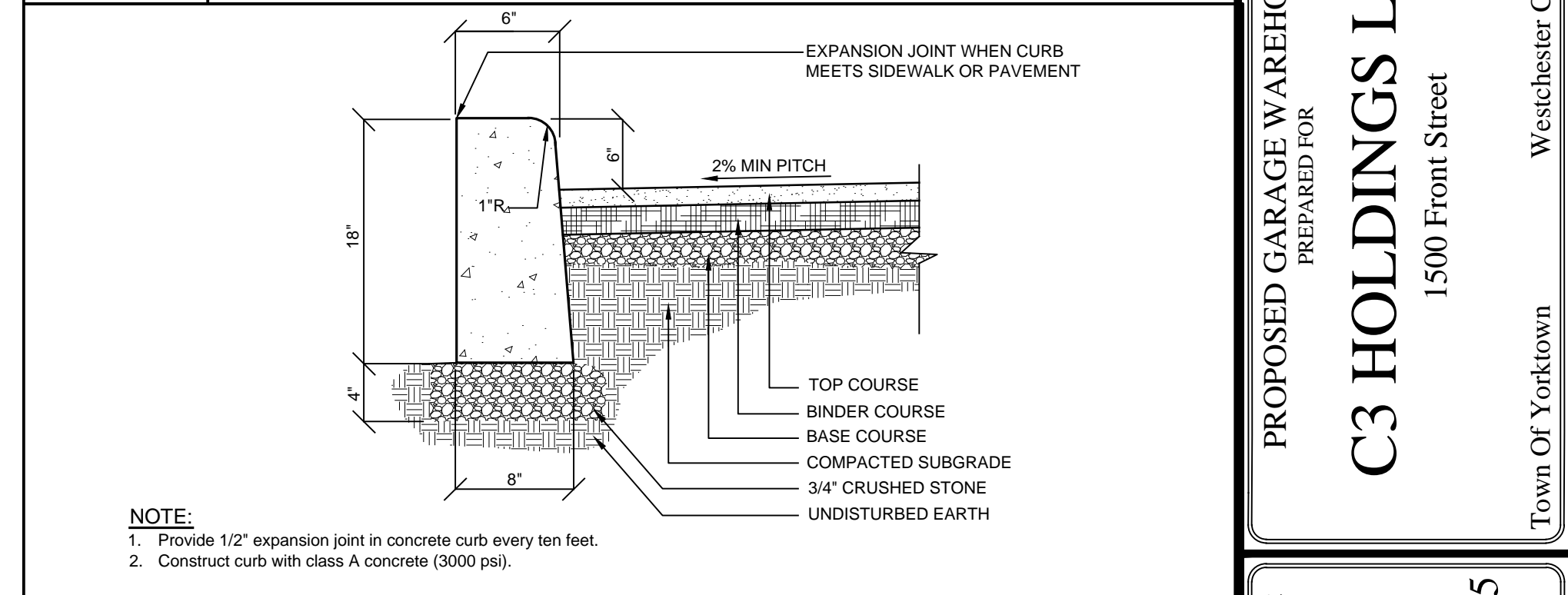
S-1 **EVERGREEN PLANTING DETAIL**
NOT TO SCALE



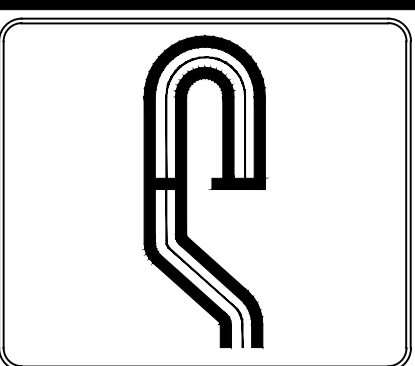
S-2 **TRASH ENCLOSURE DETAIL**
NOT TO SCALE



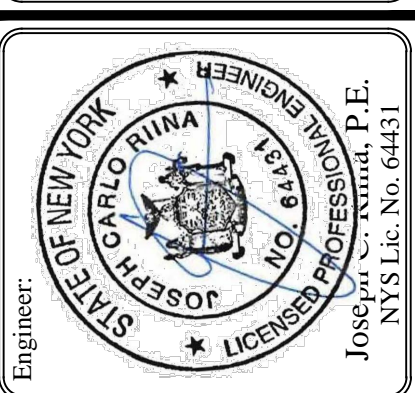
R-1 **POROUS PAVER WITH STONE RESEVOIR DETAIL**
NOT TO SCALE



R-2 **CONCRETE CURB DETAIL**
NOT TO SCALE



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Revisions:	No.	Date	Comments
	10/27/21		NEW OWNER

SCALE: 1" = NTS
DRAWN BY: JMC
DATE: 4/06/09

DETAIL SHEET

PROPOSED GARAGE WAREHOUSE PREPARED FOR
C3 HOLDINGS LLC.
1500 Front Street
Westchester Co., New York
Town Of Yorktown

THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of Yorktown Planning Board Resolution:

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN FOR THE
GENERATIONS BUILDING**

DATE OF RESOLUTION: March 9, 2009

HEREBY signed by the secretary of the Planning Board:



John Savoca, Assistant Secretary

3/23/09
Date

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN FOR THE
GENERATIONS BUILDING**

RESOLUTION NUMBER: #09-08

DATE: March 9, 2009

On motion of John Flynn, seconded by John Savoca, and unanimously voted in favor by Klaus, Flynn, Giordano, and Savoca, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations adopted February 13, 1969 and as last revised July 1, 1999, a formal application for the approval of a site plan titled "Generations Building," Section 48.11 Block 1 Lot 51 ("the Property"), prepared by Site Design Consultants, dated November 12, 2008, and last revised January 12, 2009, was submitted to the Planning Board on behalf of Anthony DeVito (hereinafter referred to as "the Applicant") and the applicant has represented to this board that he is the lawful owner of the land within said site plan; and

WHEREAS an application fee of \$4,723.00 covering 1.0 acre has been received by this board; and

WHEREAS pursuant to SEQRA the Planning Board declared lead agency on March 9, 2009;

WHEREAS pursuant to SEQRA this action has been identified as a Type II action under SEQRA 617.5 (c)(7). This action has been determined not to have a significant impact on the environment or is otherwise precluded from environmental review under Environmental Conservation Law article 8;

WHEREAS the applicant has submitted as part of his application the following maps and documents:

1. A map, Sheet 1 of 4, titled "Site Plan," prepared by Site Design Consultants, dated November 12, 2008 and last revised January 12, 2009;
2. A map, Sheet 2 of 4, titled "Existing Conditions Plan," prepared by Site Design Consultants, dated November 12, 2008 and last revised January 12, 2009;
3. A map, Sheet 3 of 4, titled "Grading & Utility Plan," prepared by Site Design Consultants, dated November 12, 2008 and last revised January 12, 2009;
4. A map, Sheet 1 of 4, titled "Erosion and Sediment Control Plan," prepared by Site Design Consultants, dated November 12, 2008 and last revised January 12, 2009;

WHEREAS pursuant to the Town of Yorktown Town Code, the applicant has provided 1 parking space for every 3 employees and 10 visitors spaces, in addition to 5 parking spaces for every 1,000 square feet, of the proposed storage building should it be used as office space in the future, thereby requiring a total of 25 parking spaces where 26 parking spaces are provided on the site plan; and

WHEREAS the Property is located within a Designated Main Street Area and must receive approval or a letter of no jurisdiction from the New York City Department of Environmental Protection before the site plan is signed by the Planning Board Chairman; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	11/20/08, 12/17/08
Conservation Board	12/15/08
Planning Department	11/21/08
Town Engineer	10/20/08, 01/23/09
NYS DEC	12/22/08
NYC DEP	

WHEREAS the requirements of this Board's Land Development Regulations have been met except as noted below; and

WHEREAS a Public Informational Hearing was held in accordance with §195-22A(5) of the Yorktown Town Code on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on January 12, 2009; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing on the said site plan application commencing on February 9, 2009, and continuing and closing on March 9, 2009 at Town Hall in Yorktown Heights, New York;

RESOLVED the Applicant will retain a certified professional to serve as an Environmental Systems Planner to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority and the Environmental Inspector throughout construction; and

RESOLVED that for any site disturbance of five thousand (5,000) square feet or more the Applicant must comply with New York State DEC Stormwater Regulations, latest amendment and the Town of Yorktown Stormwater Ordinance Chapter 248 of the Yorktown Town Code; and

BE IT NOW RESOLVED that the application of Anthony DeVito for the approval of a site plan titled "Generations Building" as prepared by Site Design Consultants, dated November 12, 2008 and last revised January 12, 2009, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

ABACA	\$610.00
General Development	\$252.00

2. Submission of fees and security to the Engineering Department as required by the Town Engineer:

Erosion Control Bond
Performance Bond
Inspection Fee

Fees to be determined after Planning Board approval and complete final set of drawings are submitted to the Town Engineer.

Additional requirements:

3. An Excavation Permit must be obtained prior to issuance of a building permit.
4. Proposed plan must comply with all current applicable ADA standards.
5. Applicant must obtain all necessary permits from outside agencies in order to complete project.
6. Upon completion of the project, the applicant must submit final plans and as-builts showing all improvements in AutoCAD R14 readable format to the Engineering Department prior to the release of the site performance bond.

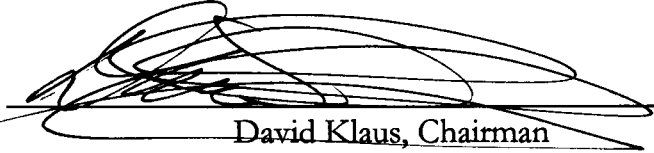
BE IT FURTHER RESOLVED that unless a building permit has been issued within 360 days of the date of this resolution, **March 4, 2010**, this approval will be null and void.

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN FOR THE
GENERATIONS BUILDING**

DATE OF RESOLUTION: March 9, 2009

SIGNED BY:



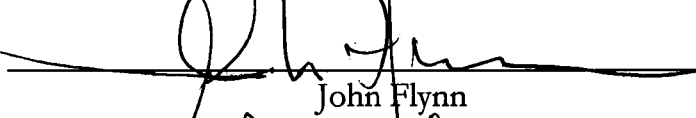
David Klaus, Chairman

ROLL CALL:

AYES:



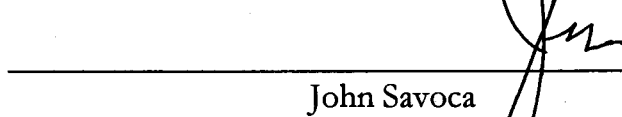
David Klaus, Chairman



John Flynn



Robert Giordano



John Savoca

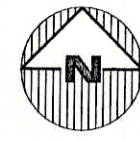
NAYS:

ABSTAIN:



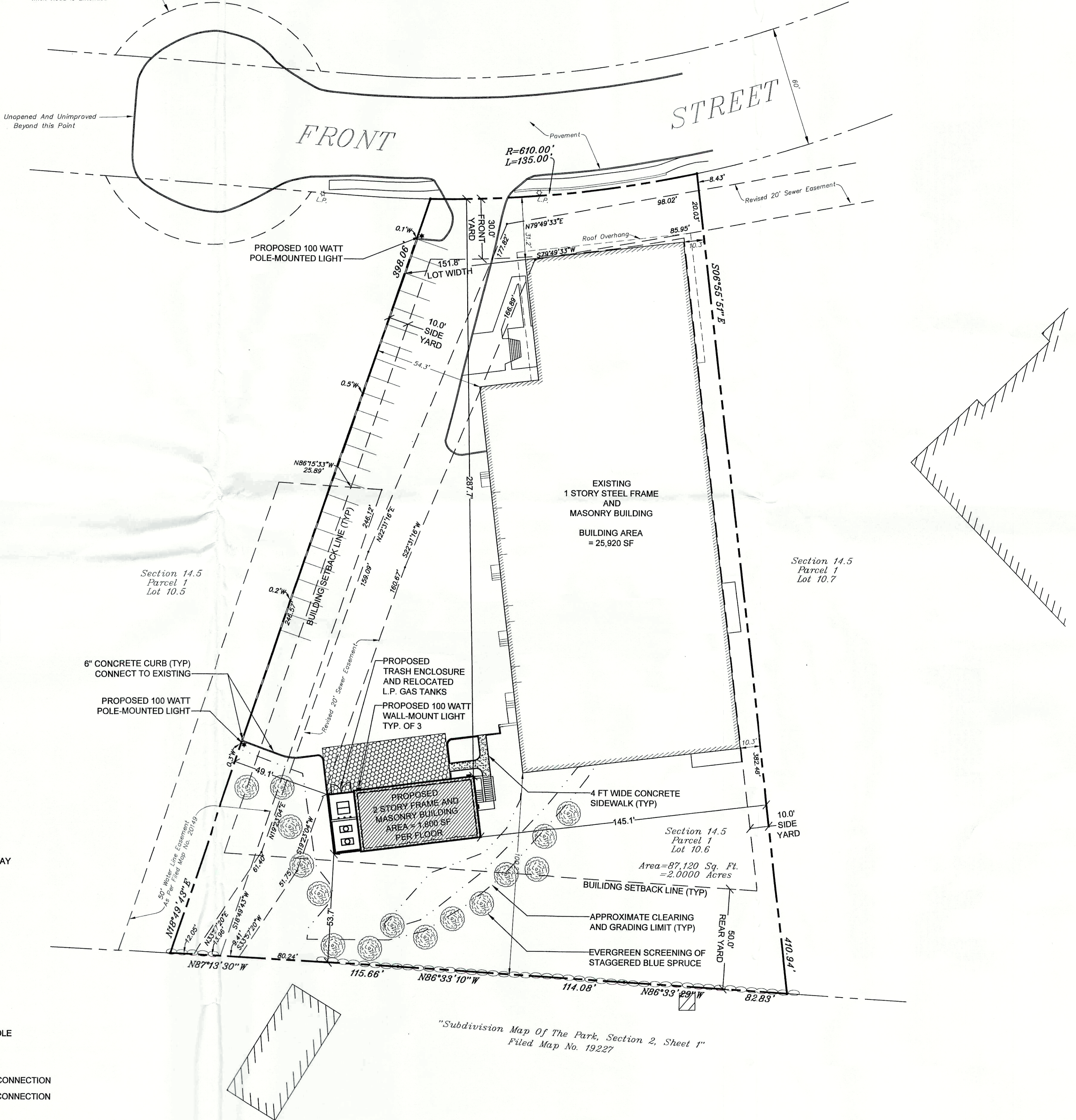
SITE

LOCATION MAP
NOT TO SCALE



Temporary Turnaround To Be Discontinued
When Road Is Extended

Unopened And Unimproved
Beyond this Point



LEGEND

- 222 --- EXISTING GRADING
- x 222.8 --- EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- --- PROPERTY LINE / RIGHT OF WAY
- --- EXISTING EASEMENT LINE
- --- PROPOSED CURB
- --- EXISTING WATER LINE
- --- EXISTING FIRE HYDRANT
- --- EXISTING DRAINAGE INLET
- --- EXISTING SANITARY LINE
- --- PROPOSED DRAINAGE LINE
- --- PROPOSED CATCH BASIN
- ⊙ --- PROPOSED DRAINAGE MANHOLE
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- RD --- PROPOSED ROOF DRAIN
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 3. EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM AVAILABLE TOWN TOPOGRAPHY MAPS FOR THE PROJECT AREA.

SITE DATA:

OWNER / DEVELOPER: ANTHONY DeVITO
 1500 FRONT STREET
 YORKTOWN HEIGHTS, NY 10598

PROJECT LOCATION: 1500 FRONT STREET
 YORKTOWN HEIGHTS, NY 10598

EXISTING TOWN ZONING: M-2, INDUSTRIAL MIXED USE
 PROPOSED USE: M-2, INDUSTRIAL MIXED USE
 TOWN TAX MAP DATA: SECTION 48.11, BLOCK 1, LOT 51
 SITE AREA: 2.00 ACRES (87,120.00 SF)

SEWAGE FACILITIES: PUBLIC SEWERS, HALLOCKS MILL DISTRICT
 WATER FACILITIES: PUBLIC WATER FACILITIES, YORKTOWN CONSOLIDATED
 SCHOOL DISTRICT: YORKTOWN CENTRAL
 FIRE DISTRICT: YORKTOWN HEIGHTS

ZONING SCHEDULE:

ZONING DISTRICT:		M-2, INDUSTRIAL MIXED USE		
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED	
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	NONE	87,120.00 SF	NONE	
MINIMUM LOT WIDTH:	75 FT	151.8 FT	NONE	
MINIMUM LOT DEPTH:	75 FT	404.5 FT	NONE	
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:				
FRONT YARD SETBACK:	30 FT (SEE NOTE 1.1)	31.2 FT	NONE	
REAR YARD SETBACK:	50 FT (SEE NOTE 1.2)	100.2 FT	NONE	
SIDE YARD SETBACK:	10 FT (SEE NOTE 1.3)	10.3 FT AND 54.3 FT	NONE	
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	50 FT	287.7 FT	NONE	
REAR YARD SETBACK:	50 FT (SEE NOTE 1.2)	53.7 FT	NONE	
SIDE YARD SETBACK:	10 FT (SEE NOTE 1.3)	49.1 FT AND 145.1 FT	NONE	
MAXIMUM % OF LOT TO BE OCCUPIED:				
MAXIMUM COVERAGE (ALL BUILDINGS)	40% OF LOT AREA	29.7 % EXISTING 31.8 % PROPOSED	NONE	
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	40 FEET	25 FT	NONE	
ACCESSORY BUILDING - FEET:	40 FEET	25 FT	NONE	

ZONING REGULATION NOTES:
 1. STRUCTURES IN M-2, INDUSTRIAL MIXED USE DISTRICT SHALL COMPLY WITH THE FOLLOWING YARD SETBACKS:
 1.1. FRONT YARD SETBACK SHALL BE 30 FEET WITHOUT PARKING; 75 FEET WITH PARKING;
 1.2. REAR YARD SETBACK SHALL BE 30 FEET; IF ADJOINS RESIDENTIAL DISTRICT SHALL BE 50 FEET;
 1.3. NO MINIMUM SIDE YARD IS REQUIRED BUT IF PROVIDED SHALL BE 10 FEET; IF ADJOINS A RESIDENTIAL DISTRICT SHALL BE 50 FEET.

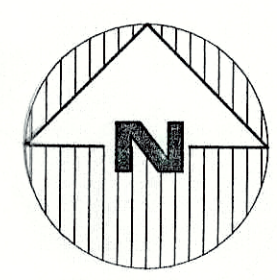
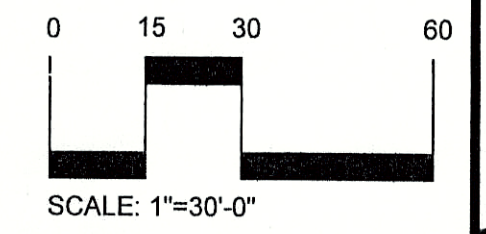
PARKING SCHEDULE

REQUIRED PARKING:	1 SPACE PER 3 EMPLOYEES + 10 VISITORS 18 EMPLOYEES / 3 SPACES PER EMPLOYEE = 6 SPACES 6 EMPLOYEE SPACES + 10 VISITOR SPACES = 16 TOTAL
EXISTING PARKING:	23 SPACES
ADDITIONAL REQUIRED PARKING:	0 SPACES (9 SPACES IF USED AS OFFICE - SEE BELOW)
PROPOSED FIRST FLOOR USE:	3-BAY PARKING GARAGE (3 ADDITIONAL SPACES PROVIDED)
PROPOSED SECOND FLOOR USE:	STORAGE; IF USED AS OFFICE SPACE, REQUIRED PARKING = 5 SPACES PER 1,000 SF 5 SPACES x 1,800 SF / 1,000 SF = 9 SPACES
TOTAL PROVIDED PARKING:	26 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES

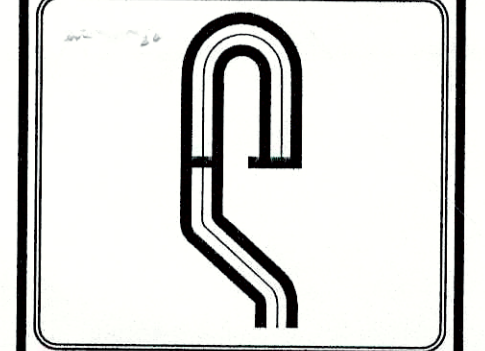
GENERAL NOTES:

- The Engineer whose seal appears hereon has not been retained for supervision of construction, subsequently, he is not responsible for construction and therefore assumes no responsibility for construction practices, procedures, and results therefrom.
- The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- The Town Engineer's office is to be notified 24 hours before commencing site construction.
- All work is to be completed in accordance with the Town's Code of Practice and Specifications.
- All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
- All changes made to the plans shall be approved by the Engineer and any such changes shall be filed as amendments to the original Building Permit.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- It is the Contractor's responsibility to call in a "CODE 53" prior to construction for underground utility locations.
- Substructures and their encroachments below grade, if any, are not shown.
- Contractor to verify all substructures encountered during construction.
- Any proposed electric and/or telephone service lines are to be placed underground.
- The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
- The Contractor shall be responsible to the Owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
- The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
- The contractor shall be responsible for obtaining all necessary permits for any blasting if required.

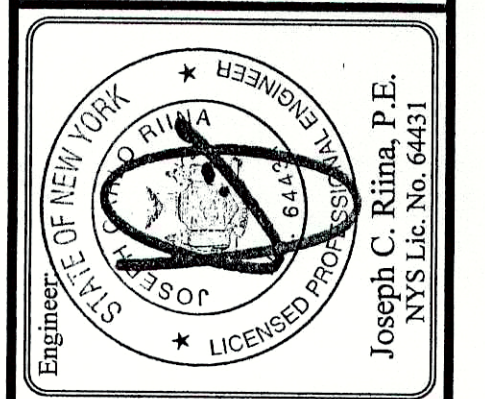
APPROVED
 on the 5th day of May 2008
 Planning Board, Town of Yorktown, NY
 by Resolution Number 01-08
 David J. DeVito, Chairman
 Date 7/13/09



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 NY Statewide Code Book 723 requires us
 to have this logo on every notice, bill
 and every time we dig or drill.



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Revisions:

No.	Date	Comments
1	7/12/09	Lighting / Plumbing
2	4/06/09	SWPPP

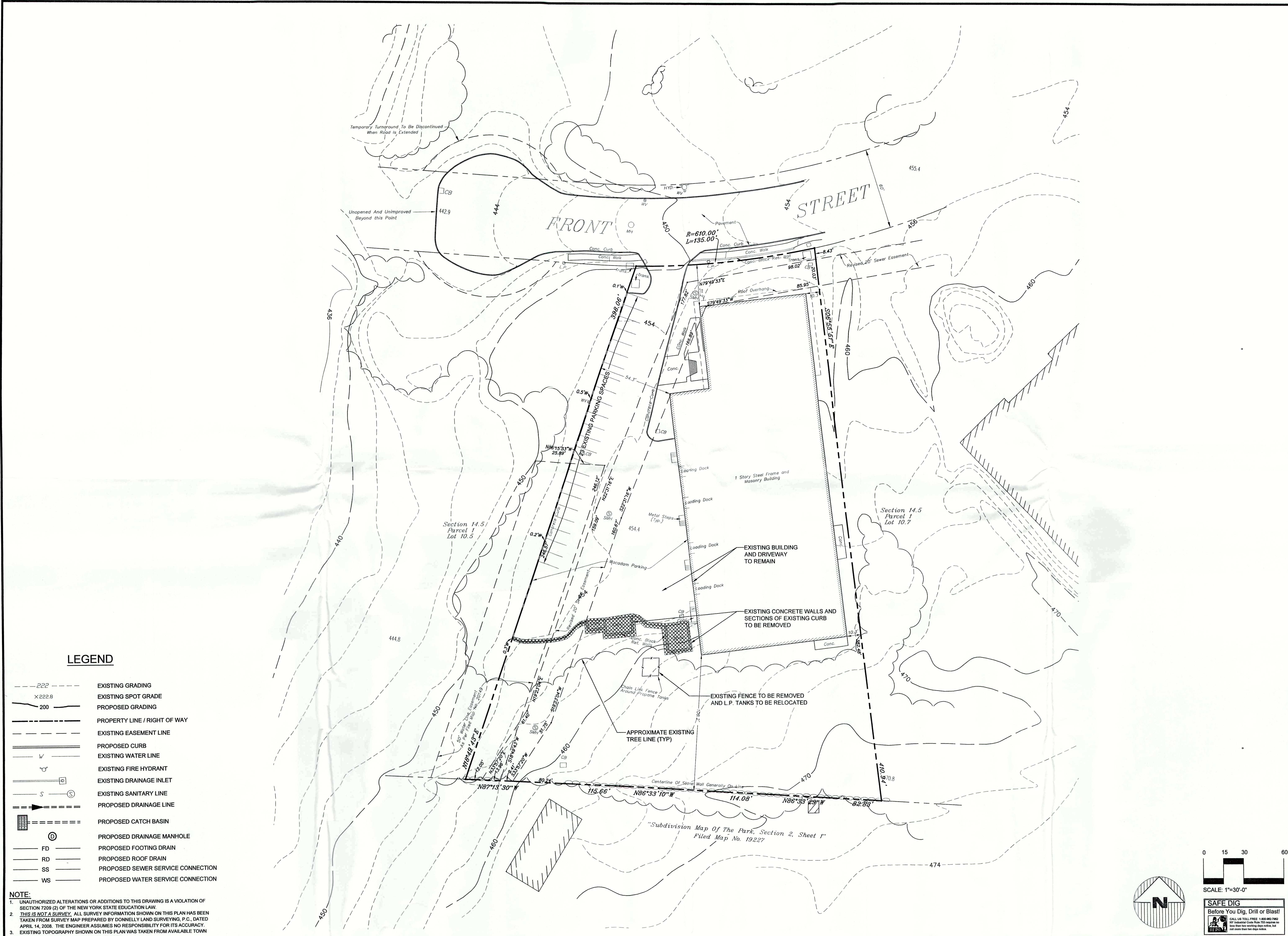
SCALE: 1" = 30'
 DRAWN BY: JMC
 DATE: 11/12/08

SITE PLAN

PROPOSED GARAGE WAREHOUSE
 PREPARED FOR
Generations Building
 a.k.a. Anthony DeVito
 1500 Front Street
 Town Of Yorktown
 Westchester Co., New York

F:\2008\08-39 ANTHONY DEVITO\ENGINEERING\CAD\LDLT-08-39 ANTHONY DEVITO\DWG\08-39 DEVITO SITE.DWG, 4/10/2009 3:29:40 PM

FL:2009.08-59 ANTHONY DEVITO\ENGINEERS\CAD\LOT-08-59 ANTHONY DEVITO\DWG\08-59 DEVITO SITE DWG - 4/10/2009 3:31:18 PM



LEGEND

- 222 --- EXISTING GRADING
- x222.8 --- EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- EXISTING EASEMENT LINE
- PROPOSED CURB
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SCALE: 1"=30'-0"

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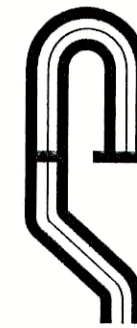
Revisions:	No.	Date	Comments
	1	1/12/09	Lighting / Planting
	2	4/06/09	SWPPP

SCALE: 1" = 30'	DRAWN BY: JMC	DATE: 11/12/08
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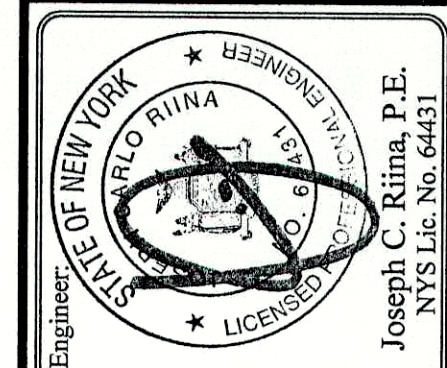
EXISTING CONDITIONS PLAN

PROPOSED GARAGE WAREHOUSE
 PREPARED FOR
Generations Building
 a.k.a. Anthony DeVito
 1500 Front Street
 Westchester Co., New York

Sheet 2 of 5



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Revisions:	No.	Date	Comments / Lighting / Planting / SWPPP
	1	11/12/09	
	2	4/06/09	SWPPP

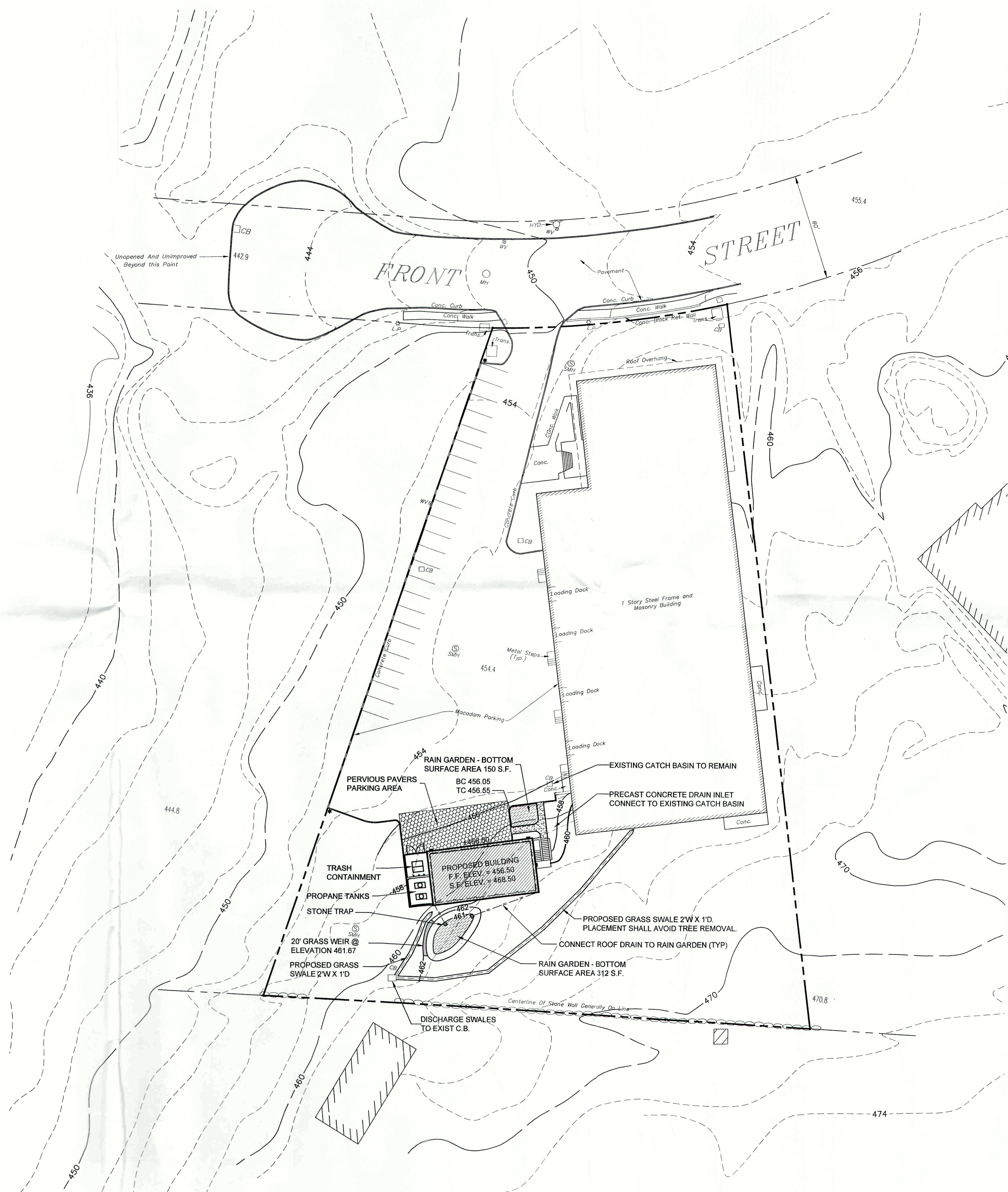
SCALE: 1" = 30'	DRAWN BY: JMC	DATE: 11/12/08
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GRADING AND UTILITY PLAN

PROPOSED GARAGE WAREHOUSE
 PREPARED FOR
Generations Building
 a.k.a. Anthony DeVito
 1500 Front Street
 Westchester Co., New York
 Town Of Yorktown

GENERAL GRADING & UTILITY NOTES:

1. It is the Contractor's responsibility to call in a "Code 53" prior to any excavation or construction of underground utilities.
2. No top soil shall be removed from the site.
3. Any and all construction demolition debris generated by this project shall be properly handled by the Contractor and disposed of at an approved off-site disposal facility.
4. All structures shall be set flush with pavement finished grade.
5. Any proposed electric and/or telephone service lines are to be placed underground.
6. The Contractor shall be responsible to obtain all necessary permits for any blasting if required and permitted by the Town.
7. Roof leaders and footing drains shall empty into storm drainage systems. Elevation of footing shall be adjusted accordingly to permit proper drainage. Under no circumstances shall the discharge of ground water or storm water, either by gravity or by pumping, be discharged to any sanitary sewer system.
8. It is the Contractor's responsibility to properly shore existing utilities & existing improvements as required by construction.
9. The building shall be constructed at such an elevation that the ground will slope away from it in all directions. The Owner shall guarantee positive drainage.
10. Owner shall provide designed retaining walls on all slopes exceeding 1V:1.5H.
11. Swales may be required, as determined by the Town Engineer, along property lines to minimize rain run-off.

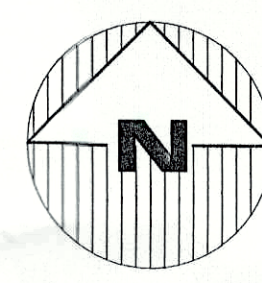
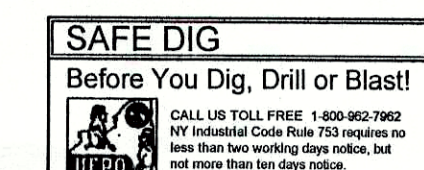
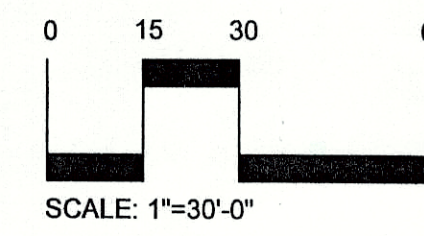


LEGEND

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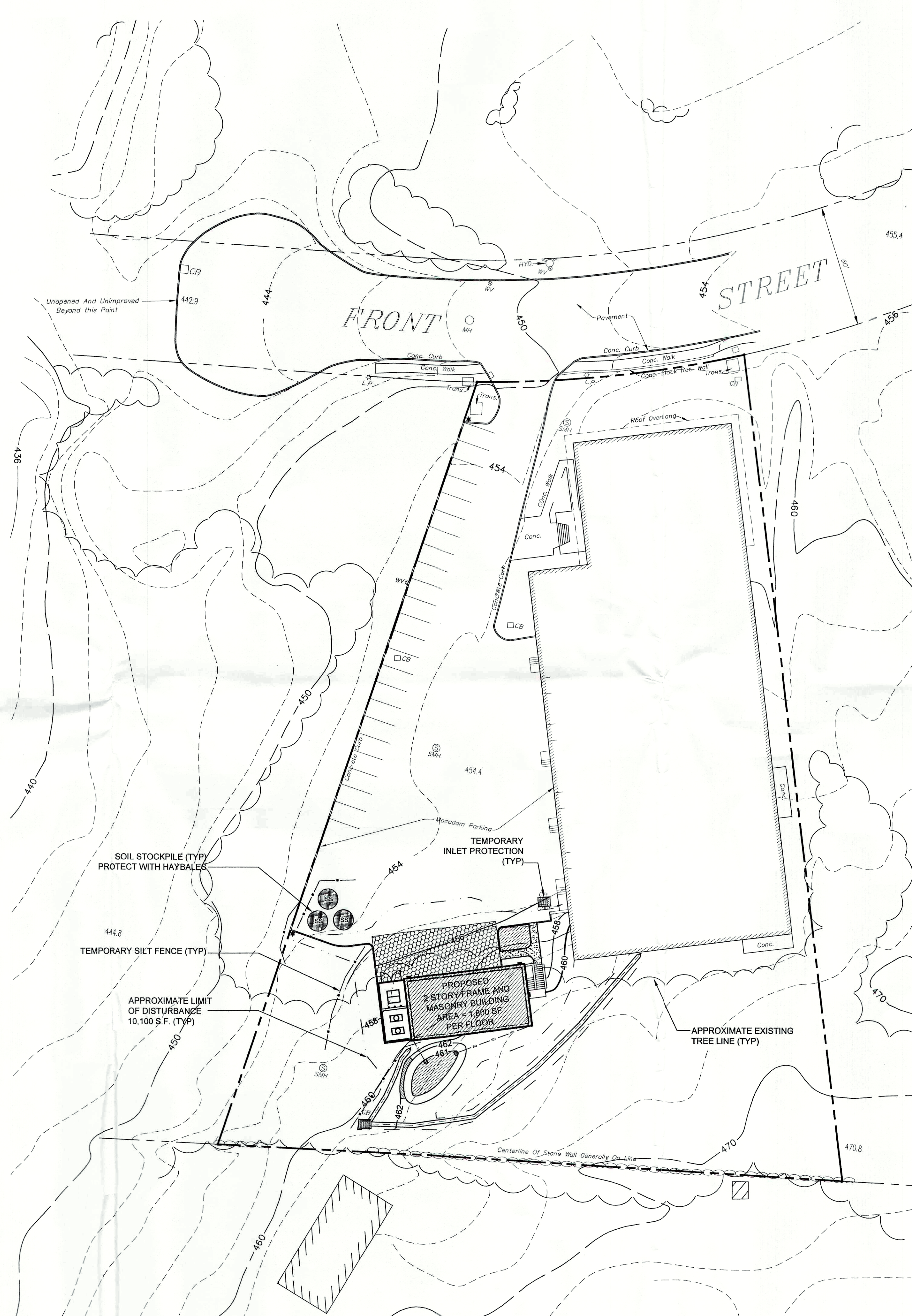


Construction Sequence

- Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and Stormwater practices.
- Prior to commencement of work, an on-site preconstruction meeting will be held. This will be attended by the Owner responsible for any fines or penalties, the Operator responsible for complying with the approved construction drawings including the E&SC plan and details, the Environmental Planner responsible for E&SC monitoring during construction, Town representatives from the Engineering Department and Code Enforcement, and a NYC DEP representative.
- Temporary erosion and sediment controls (E&SCs) as shown on the approved construction drawings shall be installed as detailed.
- Remove brush and other surface features in the limit of construction.
- Excavate for and install foundation. Upon completion of foundation walls backfill and grade area around building.
- Construct swales, rear rain garden, and stabilize with permanent vegetation all areas in rear of building not subject to further disturbance.
- Begin construction of the remainder of the building.
- Install concrete curbing.
- Install the porous paver section with stone reservoir and construct rain garden in the front in the building.
- Install walks and final plantings.
- Topsoil, rake, seed and mulch all disturbed areas.
- Upon stabilization of all disturbed areas and approval from the Town representative remove all temporary erosion and sediment controls.

LEGEND

- 222 --- EXISTING GRADING
- x222.8 EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- --- PROPERTY LINE / RIGHT OF WAY
- --- EXISTING EASEMENT LINE
- --- PROPOSED CURB
- W --- EXISTING WATER LINE
- ⊕ --- EXISTING FIRE HYDRANT
- ⊕ --- EXISTING DRAINAGE INLET
- S --- EXISTING SANITARY LINE
- S --- PROPOSED DRAINAGE LINE
- --- PROPOSED CATCH BASIN
- ⊙ --- PROPOSED DRAINAGE MANHOLE
- FD --- PROPOSED FOOTING DRAIN
- RD --- PROPOSED ROOF DRAIN
- SS --- PROPOSED SEWER SERVICE CONNECTION
- WS --- PROPOSED WATER SERVICE CONNECTION
- ⊙ --- PROPOSED SOIL STOCKPILES
- --- PROPOSED SILT FENCE
- --- PROPOSED CRUSHED STONE INLET PROTECTION
- --- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- --- PROPOSED LIMIT OF DISTURBANCE
- EB/PS --- PROPOSED EROSION BLANKET / PERMANENT SEED
- --- EXISTING TREE TO BE PROTECTED
- --- EXISTING TREE TO BE REMOVED



GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas and basin have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 14 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 14 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Village officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place one half the volume of seed mix prior to laying net, and place the remaining seed after laying the stabilized blanket.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-08-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
 - Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
 - Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
 - Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or the sediment pond. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
 - For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
 - All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
 - All sites shall be stabilized with erosion control materials within 14 days of final grading.
 - Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	---	INSP.	INSP.	CLEAN/REPLACE	REMOVE
WHEEL CLEANER	CLEAN	---	---	---	REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor. The depth can be measured from the inspection port of the chamber.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

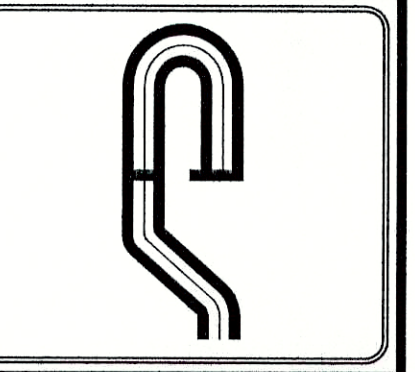
MIXTURE	LBS/ACRE
ALT. A	
KENTUCKY BLUE GRASS	20
CREEPING RED FESCUE	28
RYE GRASS OR REDTOP	5
ALT. B	
CREEPING RED FESCUE	20
REDDTOP	2
TALL FESCUE/SMOOTH BLOOMGRASS	20
- SEEDING
 - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
 - Apply soil amendments and integrate into soil.
 - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
 - Stabilize seeded areas in drainage swales.
 - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
 - Seed between April 1st and May 15th or August 15th and October 15th. Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

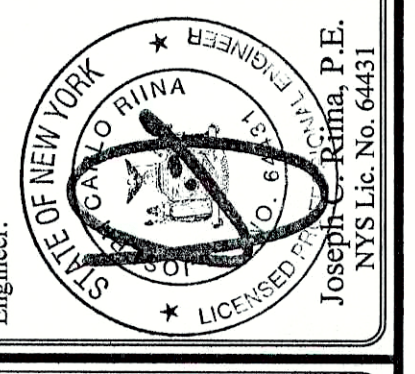
- SITE PREPARATION:**
- Install erosion control measures.
 - Scarify areas of compacted soil.
 - Fertilize with 10-10-10 at 400/acre.
 - Lime as required to pH 6.5.

SEED SPECIES:	LBS/ACRE
MIXTURE	
Rapidly germinating annual ryegrass	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:
Same as permanent vegetative cover



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Revisions:

NO.	DATE	DESCRIPTION
1	1/12/09	Comments/Plumbing
2	4/06/09	SWPPP

SCALE: 1" = 30'

DRAWN BY: JMC

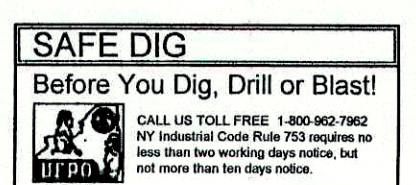
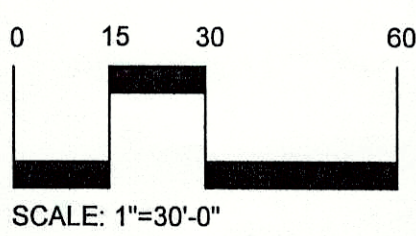
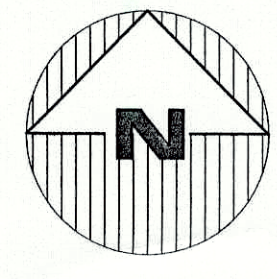
DATE: 11/12/08

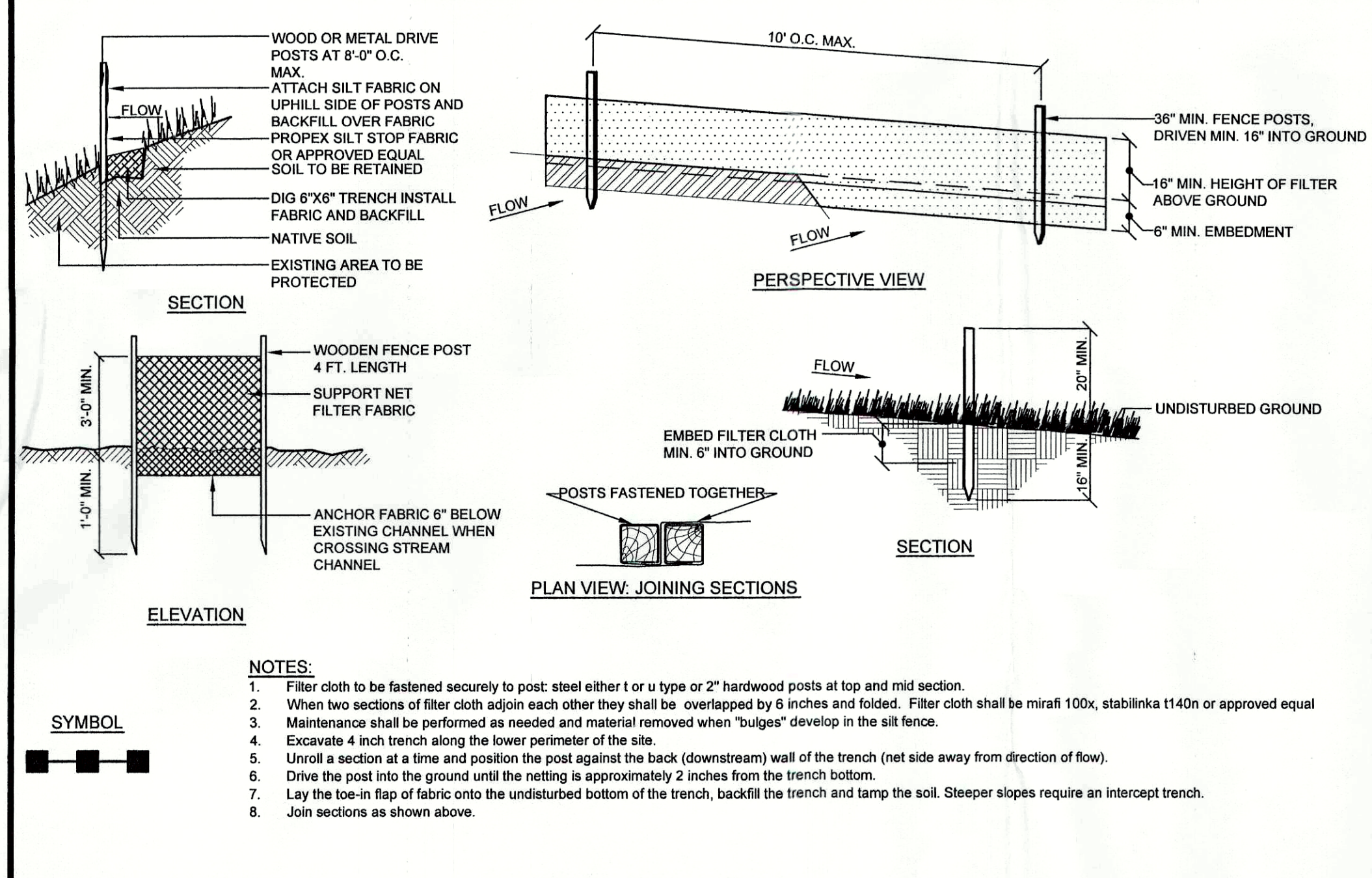
EROSION AND SEDIMENT CONTROL PLAN

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
Generations Building
a.k.a. Anthony DeVito
1500 Front Street
Westchester Co., New York

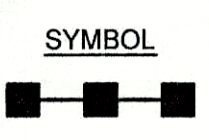
F:\2008\08-30 ANTHONY DEVITO\ENGINEERING\CAD\LD1-08-30 ANTHONY DEVITO\DWG\08-30 DEVITO SITE.DWG, 4/10/2009 3:32:44 PM

NOTE:
1. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
2. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DONNELLY LAND SURVEYING, P.C., DATED APRIL 14, 2008. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
3. EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM AVAILABLE TOWN TOPOGRAPHY MAPS FOR THE PROJECT AREA.

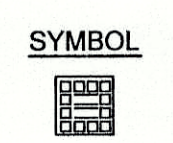
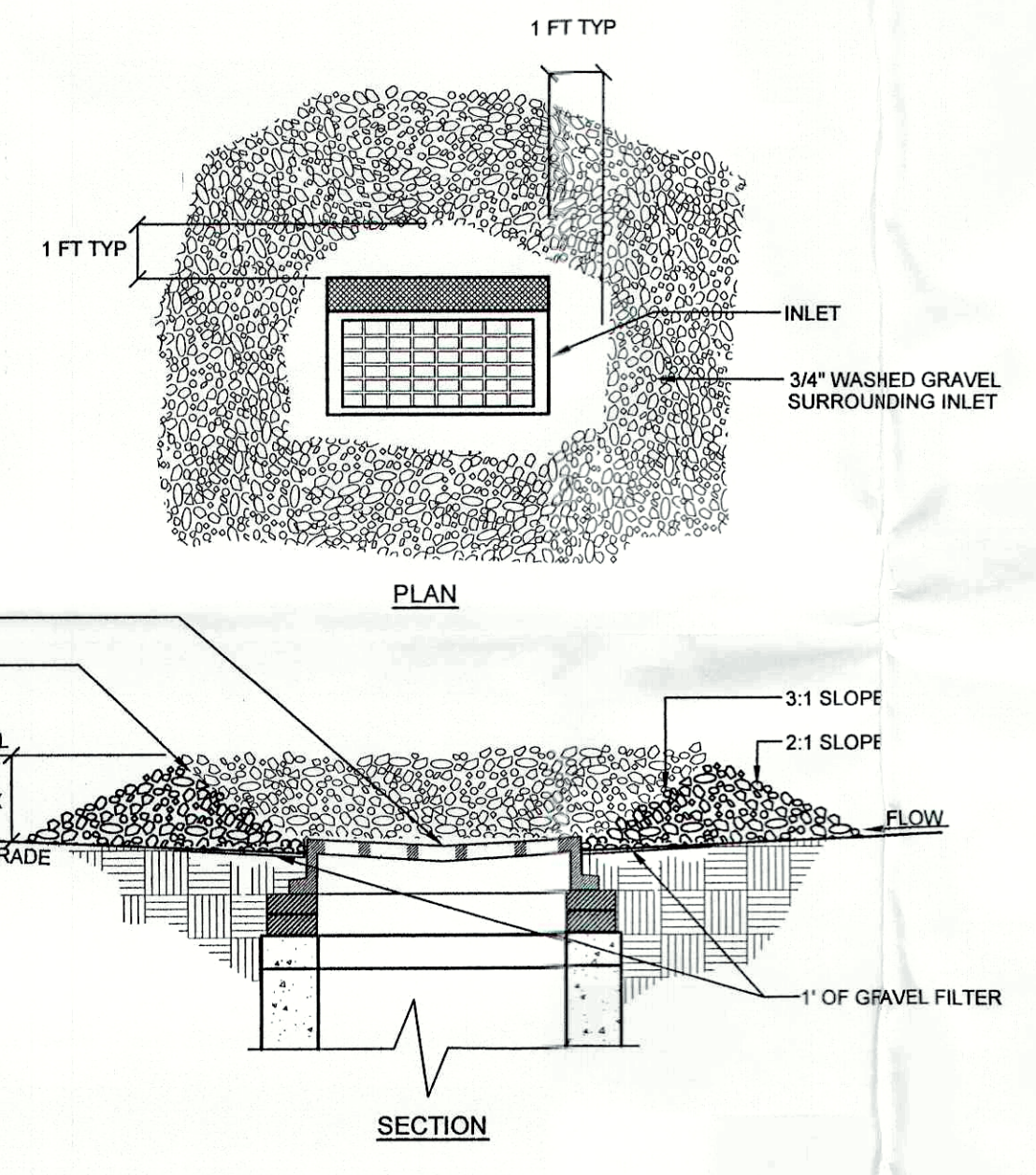




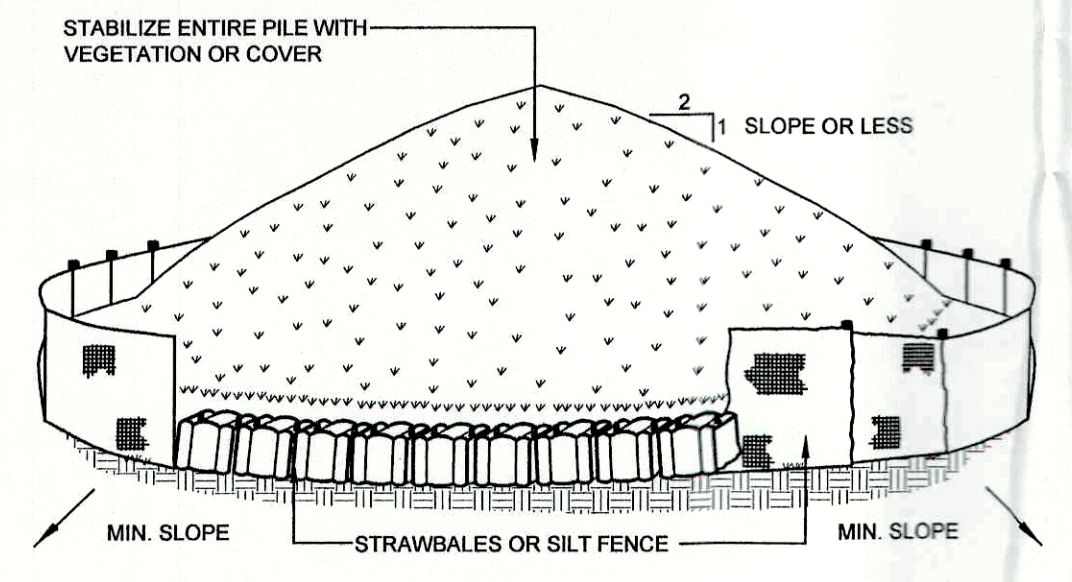
- NOTES:**
1. Filter cloth to be fastened securely to post steel either t or u type or 2" hardwood posts at top and mid section.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be miraf 100x, stabilinka 1140n or approved equal.
 3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
 4. Excavate 4 inch trench along the lower perimeter of the site.
 5. Unroll a section at a time and position the post against the back (downstream) wall of the trench (net side away from direction of flow).
 6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
 7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
 8. Join sections as shown above.



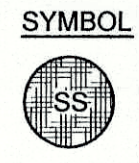
E-1 SILT FENCE DETAIL
NOT TO SCALE



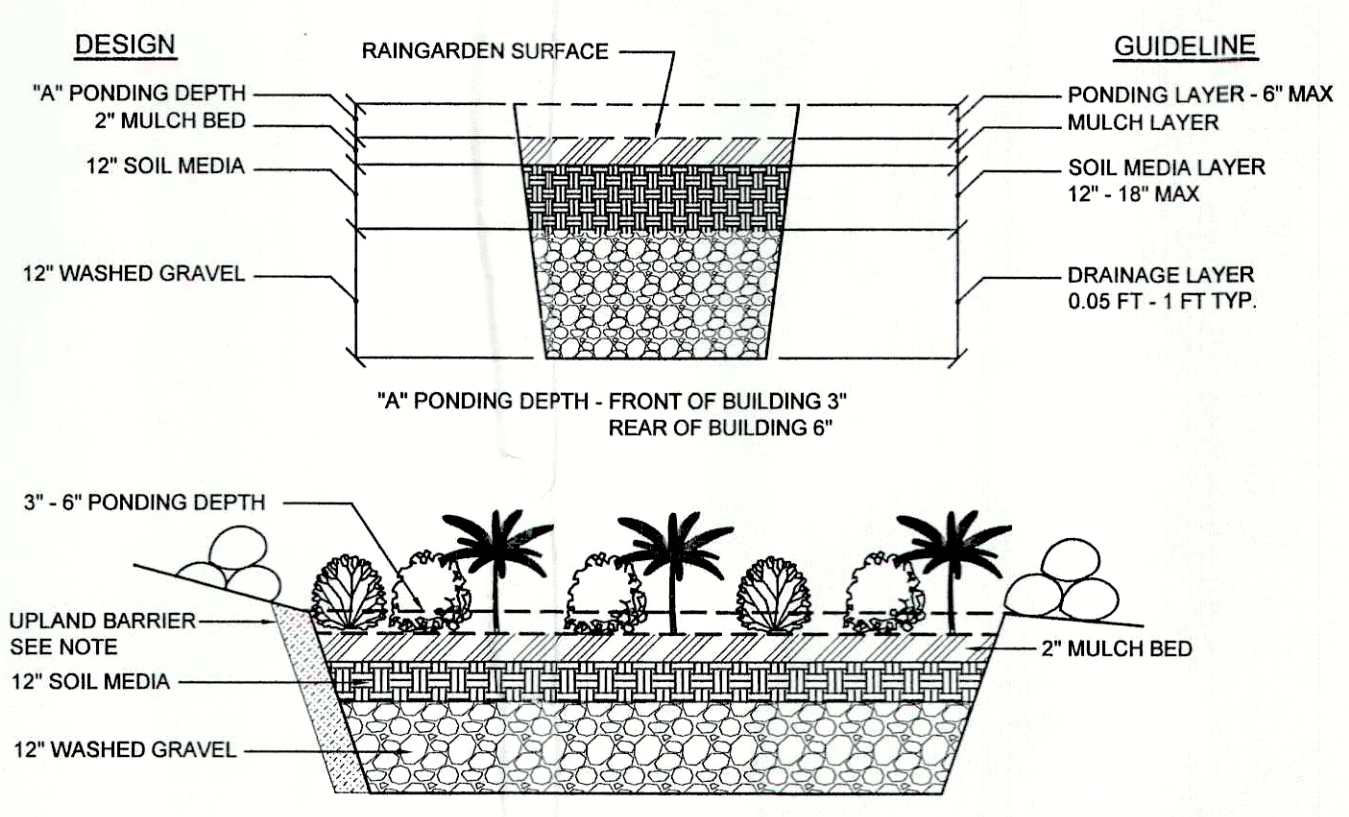
E-2 INLET PROTECTION DETAIL
NOT TO SCALE



- NOTES:**
1. Area chosen for stockpiling operations shall be dry and stable.
 2. Maximum slope of stockpile shall be 1:2.
 3. Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
 4. See detail for installation of silt fence.



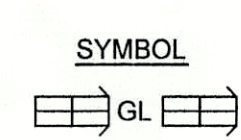
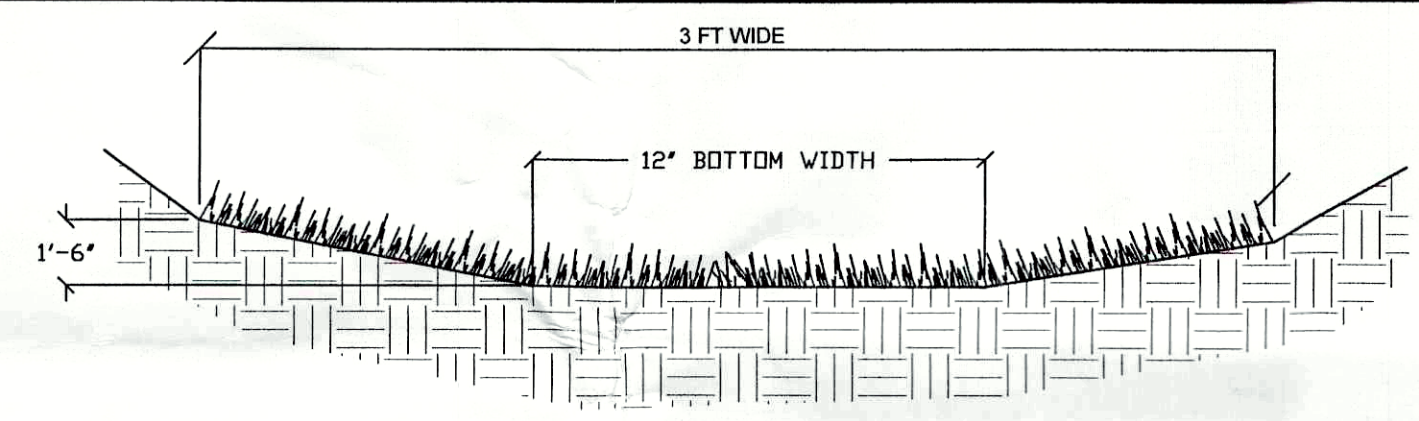
E-3 SOIL STOCKPILE DETAIL
NOT TO SCALE



- SOIL MEDIA SPECIFICATIONS:**
COMPOSITION - 50% SAND, 20-30% TOPSOIL W/ LESS THAN 5% CLAYS, 20-30% LEAF COMPOST
POROSITY - 0.20
- DRAINAGE LAYER SPECIFICATIONS:**
POROSITY - 0.40
- PLANT SPECIFICATIONS:**
Suggested Shrub List
WITCH HAZEL (*Hamelis virginiana*)
WINTERBERRY (*Ilex verticillata*)
ARROWWOOD (*Viburnum dentatum*)
BROOK-SIDE ALDER (*Alnus serrulata*)
RED-OISER DOGWOOD (*Cornus stolonifera*)
SWEET PEPPERBUSH (*Clethra alnifolia*)
- Suggested Herbaceous Plant List*
CINNAMON FERN (*Osmunda cinnamomea*)
CUTLEAF CONEFLOWER (*Rudbeckia laciniata*)
WOOLGRASS (*Scirpus cyperinus*)
NEW ENGLAND ASTER (*Aster novae-angliae*)
FOX SEDGE (*Carex culpinoides*)
SPOTTED JOE-PYE WEED (*Eupatorium maculatum*)
SWITCH GRASS (*Panicum virgatum*)
GREAT BLUE LOBELIA (*Lobelia siphicalica*)
WILD BERGAMOT (*Monarda fistulosa*)
RED MILKWEED (*Acelepis incarnata*)

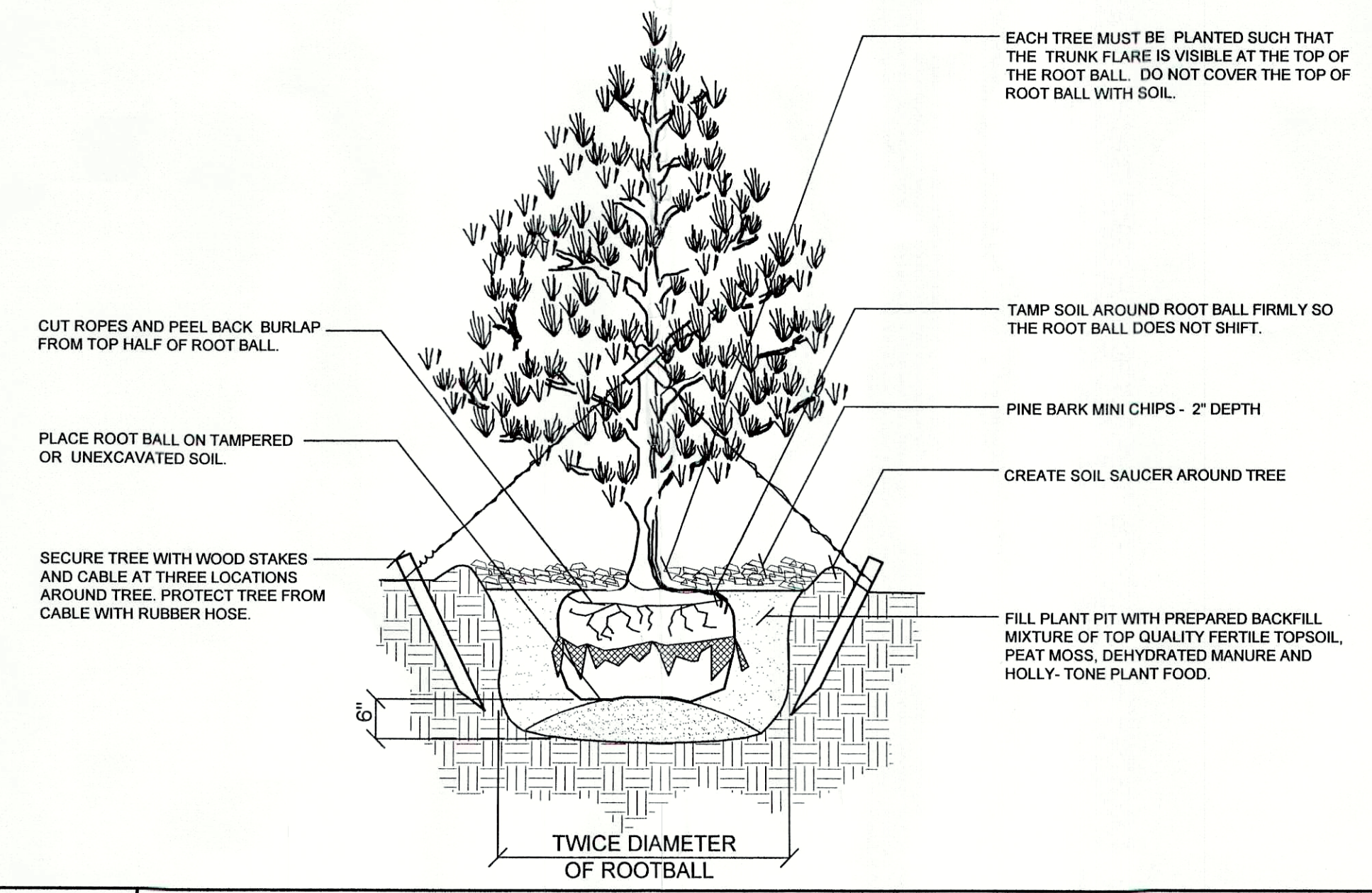
- NOTE:**
1. The upland side of the rain garden shall be protected from upgradient subsurface conditions with the installation of either a 12" thick clay barrier or placement of 6 mil polyethylene sheeting along the excavated side-walls of the drainage layers.

SW-1 RAIN GARDEN DETAIL
NOT TO SCALE

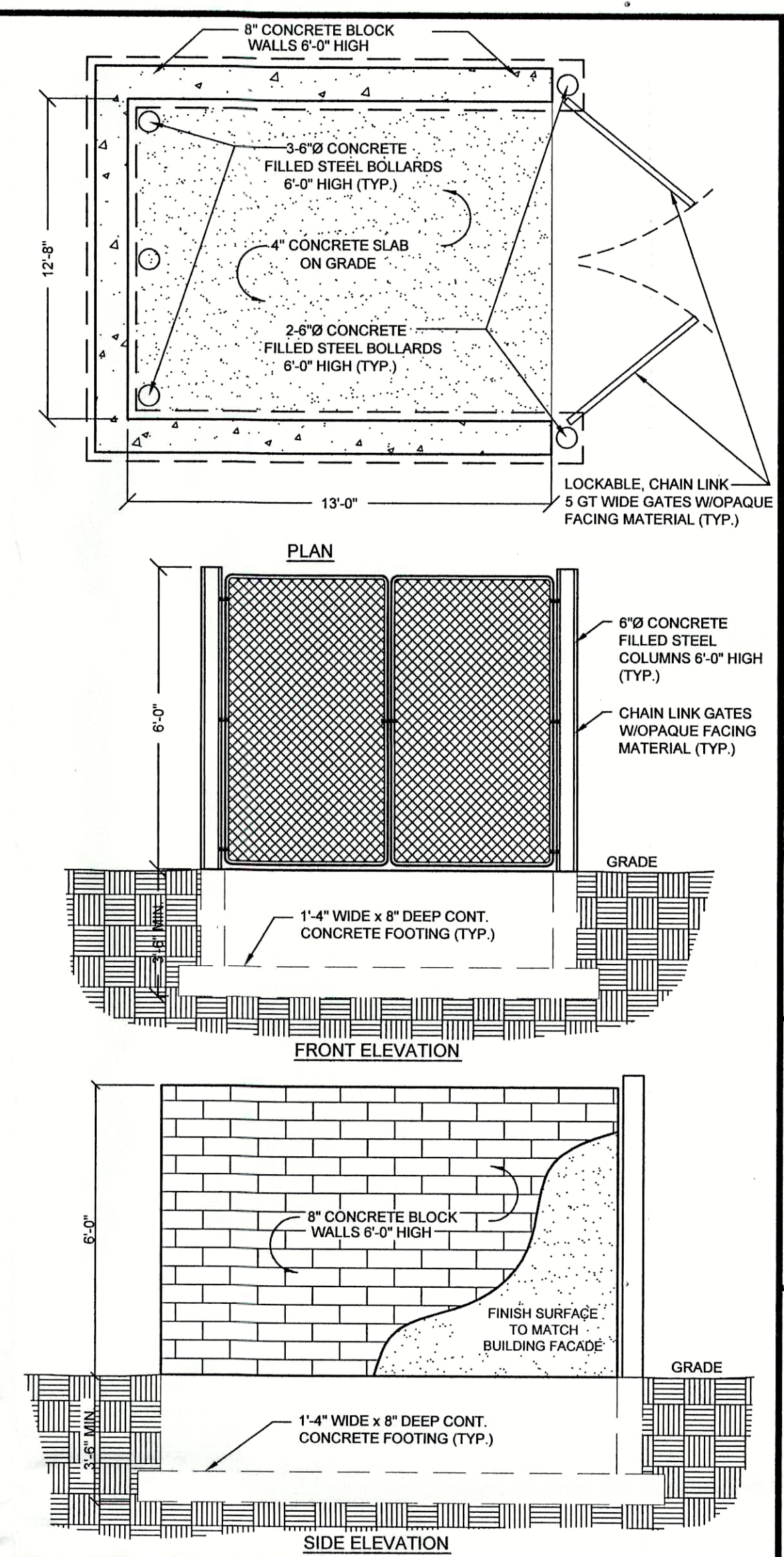


- NOTE:**
1. GRASS SWALE TO BE SEEDED WITH GRASS MIXTURE PER 1000 S.F AS FOLLOWS:
KENTUCKY BLUEGRASS: 60LBS
CREEPING RED FESCUE: 50 LBS
PERENNIAL RYEGRASS: 20LBS
 2. THE FOUNDATION AREA SHALL BE CLEARED OF TREES, STUMPS, SOD, LOOSE ROCK, OR OTHER OBJECTIONABLE MATERIALS.
 3. THE CROSS SECTION SHALL BE EVACUATED TO THE NEAT LINES AND GRADES SHOWN ON THE PLANS. OVER EXCAVATED AREAS SHALL BE BACKFILLED WITH MOIST SOIL COMPACTED TO THE DENSITY OF THE SURROUNDING MATERIAL.
 4. NO ABRUPT DEVIATIONS FROM DESIGN GRADE OR HORIZONTAL ALIGNMENT SHALL BE PERMITTED.
 5. CONSTRUCTION OPERATIONS SHALL BE DONE IN SUCH A MANNER THAT EROSION, AIR AND WATER POLLUTION WILL BE MINIMIZED AND HELD WITHIN LEGAL LIMITS. ALL DISTURBED AREAS SHALL BE VEGETATED OR OTHERWISE PROTECTED AGAINST SOIL EROSION.

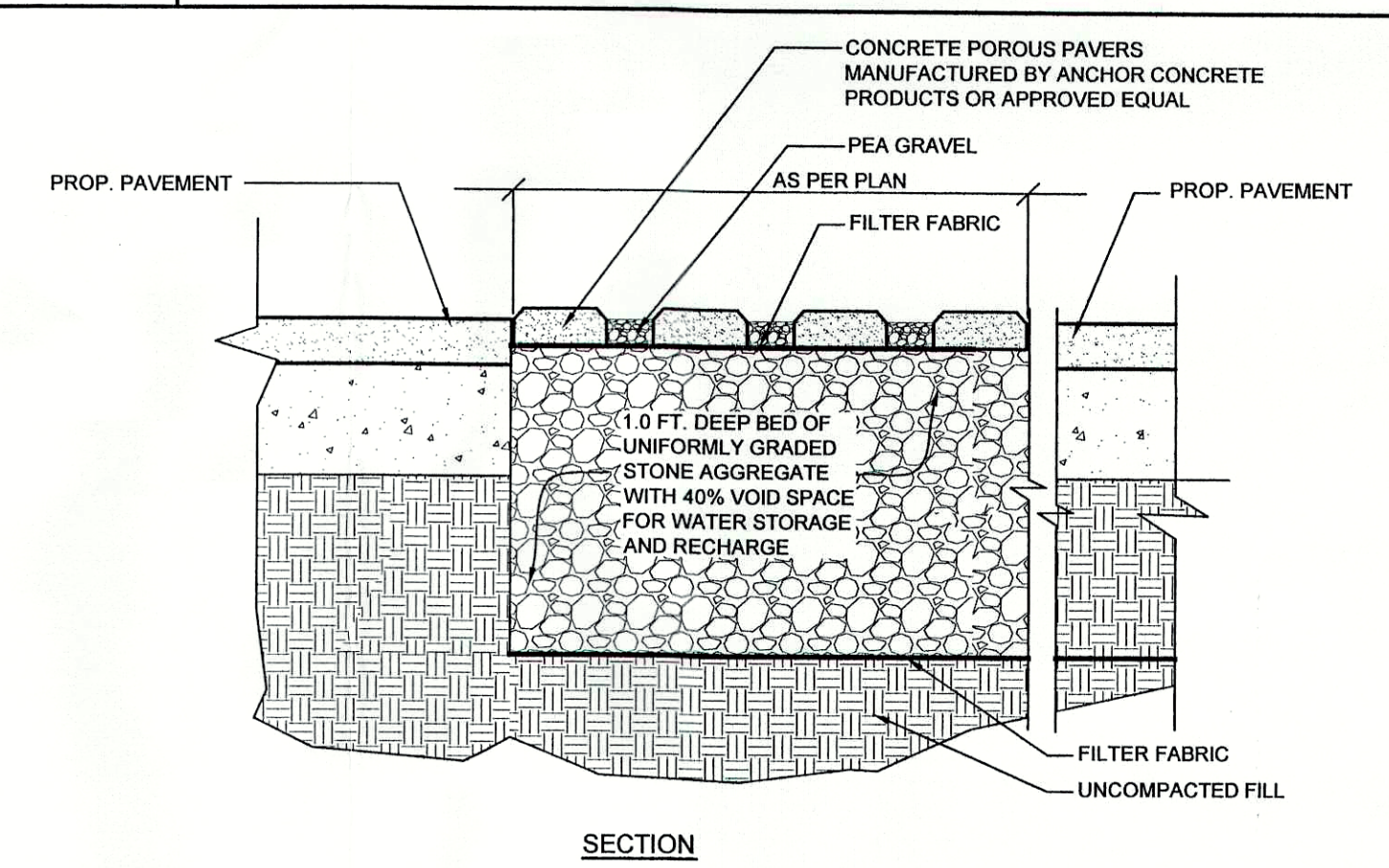
SW-2 GRASS SWALE DETAIL
NOT TO SCALE



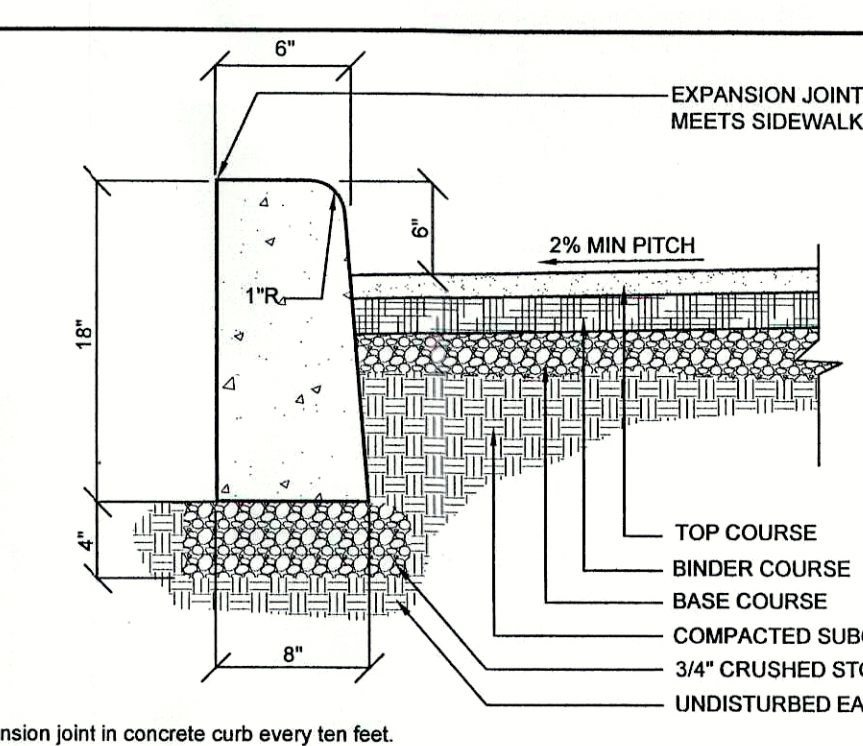
S-1 EVERGREEN PLANTING DETAIL
NOT TO SCALE



S-2 TRASH ENCLOSURE DETAIL
NOT TO SCALE

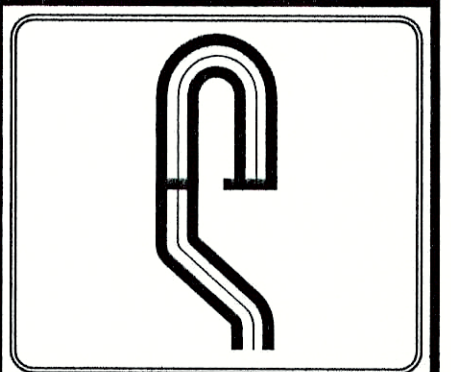


R-1 POROUS PAVER WITH STONE RESEVOIR DETAIL
NOT TO SCALE

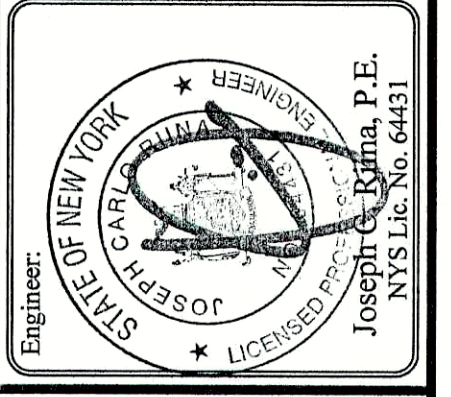


- NOTE:**
1. Provide 1/2" expansion joint in concrete curb every ten feet.
 2. Construct curb with class A concrete (3000 psi).

R-2 CONCRETE CURB DETAIL
NOT TO SCALE



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Revisions:	No.	Date	Comments

SCALE: 1" = NTS
DRAWN BY: JMC
DATE: 4/06/09

DETAIL SHEET

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
Generations Building
a.k.a. Anthony DeVito
1500 Front Street
Westchester Co., New York

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Yorktown Rehab & Nursing Solar

NOV 5 2021

TOWN OF YORKTOWN

To: Yorktown Planning Board
From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: 5 November 2021
Re: **Yorktown Rehab & Nursing Center (YRNC), Follow-up to 22 June 2021 Referral**

Chairman Fon and members of the Planning Board,

The TCAC has reviewed the materials received on 23 September 2021, submitted as follow-up to the referral initially received on 22 June 2021 for the referenced project. The TCAC finds that the Reports "Planting Plan" L-701 and "Tree Work Plan" L-100 fail to meet the requirements of the Chapter 270 tree ordinance.

1. The Arborist has presented a Planting Plan, L-701 with a Plant Schedule that describes proposed plantings by height and caliper, not dbh. Chapter 270-4 Definitions – Mitigation Ratio states that the replacement ratio rate will be expressed in base terms of diameter at breast height(dbh). The Planting Plan must be stated in terms of dbh, not height in order to allow calculation of the mitigation ratio. Concerning the Tree Inventory, there is a column labeled "Diameter". If the numbers in this column are actually dbh, it should be labeled accordingly. When this is corrected, the Arborist will be able to calculate a mitigation ratio and prepare a mitigation plan based on trees planted and if necessary, a payment into the Tree Bank Fund.
2. The Arborist does not address the fact that the proposal will be disturbing a Protected Woodland which is defined as a woodland that is 10,000 square feet or greater. Furthermore, the Tree Work Plan, L-100 does not have a scale to accurately measure the square footage of the disturbed area. Nonetheless, it appears the disturbed woodland area exceeds 15,000 square feet. The mitigation for disturbance to a protected woodland includes but is not limited to payment of \$300 into the Tree Bank Fund for every 5,000 square feet of protected woodland disturbance. This area of disturbed woodland needs to be accurately measured and mitigated.
3. A few other plans are missing scales as mentioned in #2 above, the compass rose is off by 90 degrees on the Tree Work Plan L-100 and two of the proposed trees may not be appropriate for this site which appears to be far from a natural water source and relatively dry. They are Beula Nigra (River Birch) and Picea glauca (White Spruce) which do better in moist environments. The Picea glauca also prefers a cooler climate where July temperatures average 64 degrees Fahrenheit. Its southern range is near the Canadian border and it is not even on the schedule of Recommended Tree & Shrub Species for Planting provided by the Arborist.

In conclusion, the Arborist must do the following and then resubmit their plans for further review:

- Confirm if on the Tree Inventory diameter is the same as dbh
- Provide dbh for all new plantings
- Calculate mitigation ratio for trees to be removed
- Provide mitigation plan for trees removed
- Calculate square footage of disturbed woodland
- Provide mitigation plan for disturbed woodland
- Propose native trees that are appropriate for this site
- Correct inconsistencies and missing information in Plans

Respectfully yours,
Lawrence W. Klein, PE, Member
Tom Schmitt, Member
Keith Schepart, ISA, Member

JUL 26 2021

TOWN OF YORKTOWN

From: Julia Magliozzo <julia.magliozzo@ecogyenergy.com>

Sent: Monday, July 26, 2021 9:24 AM

To: tom500sf@aol.com

Cc: Nancy Calicchia <ncalicchia@yorktownny.org>; Brittany Friese <brittany@ecogyenergy.com>

Subject: Yorktown Rehabilitation and Nursing Center Solar - Tree Inventory Update

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Mr. Schmitt,

I am writing with an update of the tree inventory for the Yorktown Rehabilitation and Nursing Center Solar project at 2300 Catherine St. We received a copy of your comments from the Planning Board during the Work Session on July 12 and would like to address them.

First, we apologize for the omission of the list of recommended tree species. I have attached the recommendations below. We will work with this list while putting together our landscaping plan to also accomplish mitigation.

Second, we have asked our arborist to better identify the inventoried trees on the map. I have attached an updated inventory below. Please note that the exact location of every tree is not marked on this map because it would be too difficult to read. All of the trees have been physically tagged on site to ensure that only those marked will be removed.

 **_06-22-2021 Yorktown Rehab Tree Inventory Result...**

Please let me know if you have any further comments or questions about any of these items.

Best regards,

Julia Magliozzo

Director of Operations

Ecogy Energy

www.ecogyenergy.com

Brooklyn, NY

Office: 718-304-0945 ext 2

Mobile: 347-410-1198

Please consider the environment before printing this email.

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Nancy Calicchia

From: tom500sf@aol.com
Sent: Monday, July 12, 2021 7:42 AM
To: Nancy Calicchia
Cc: Matthew Slater; Jenna Belcastro; Dan Ciarcia; Louise Kobiliak; Kim Hughes; Diana Quast; Maura Weissleder; John Tegeder; Robyn Steinberg; Lawrence Klein; Keith Schepart
Subject: Yorktown Rehabilitation and Nursing Center.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Chairman Fon and members of the Planning Board

The TCAC received and reviewed the Tree Inventory and Evaluation Results in connection with Yorktown Rehabilitation and Nursing Center and have the following comments.

1. One of the stated goals of the study is that a list of tree species suitable and recommended for mitigation plantings will be compiled. No such list was submitted.
2. The proposal indicates 120 trees will be removed and an inventory was provided. However, only 55 trees located in Area A and Area B are identified on the aerial map on page 5. We need all 120 trees identified.

In conclusion, we need additional information as indicated above before we can complete our review of the project and provide our comments.

Lawrence W.Klein, PE, Member
Tom Schmitt, Member
Keith Schepart ISA, Member

RECEIVED
PLANNING DEPARTMENT

JUL 12 2021

TOWN OF YORKTOWN

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

RECEIVED
PLANNING DEPARTMENT

OCT 25 2021

TOWN OF YORKTOWN

To: Planning Board

From: Conservation Board

Date: October 25, 2021

Re: Yorktown Rehabilitation and Nursing Center: 2300 Catherine Street

The Conservation Board at its October 20, 2021 meeting discussed a proposed Solar Project at 2300 Catherine Street with Julia Magliozzo of Ecogy Energy. The Conservation Board has the following comments:

In a previous memo the Board was in support of the canopy arrays over the parking lot and requested additional screening be provided from Catherine Street. The applicant returned to the Board with acceptable screening of the canopy panels over the parking lot from Catherine Street.

The Board previously was not in favor of the ground arrays and requested a site visit. After the site visit and further review of the plans submitted, the Board is still not in support of the ground arrays. The layout of the ground mounted units plans prepared by Ecogy Energy do not match the plans prepared by SLR or YOST Landscape Architects. The document prepared by SLR state runoff of storm events will increase and show no practices for preventing erosion or maintaining the hydrology on site. The documents are lacking information of dimensions between the rows, stormwater disconnection practices and mitigation for the tree removal of 107 trees, 88 which are viable. The Board does not believe the documents have addressed the environmental impact for approval of the ground mounted units.

The Board recommends approval of the canopy panels and disapproval of the ground mounted panels.

Respectfully submitted:

Diane Dreier

For the Conservation Board
CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
Applicant

Solar Canopy & Tier 1 Battery Storage

TOWN OF YORKTOWN PLANNING BOARD

Albert A. Caspellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date 6/25/21

1. Name of Project: YRNC Canopy Solar and Storage Energy System

2. Tax Map Designation (Section, Block, Lot) 35.12-1-3

3. Zone: RSP-3 Total Acreage: 12.8

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

Installation of a Ground-Mounted canopy solar energy system located within the existing parking lot at 2300 Catherine Street.

The existing use of the parking lot will not be altered. A Tier 1 - 548 kWh Battery Storage Energy system will be paired with the Canopy solar energy system and has been approved for interconnection by Con Edison. The Battery will be located near the western most canopy structure.

6. Contact Person - CHOOSE ONLY ONE:

- | | | | |
|---|-----------------------------------|------------------------------------|--|
| <input checked="" type="checkbox"/> Applicant | <input type="checkbox"/> Owner | <input type="checkbox"/> Architect | <input type="checkbox"/> Wetland Scientist |
| <input type="checkbox"/> Attorney | <input type="checkbox"/> Engineer | <input type="checkbox"/> Surveyor | <input type="checkbox"/> Landscape Architect |

7. Applicant

Name John A. Bertuzzi

Firm Ecogy New York X LLC

Address 315 Flatbush Ave #393, Brooklyn NY 11217

Phone 718-304-0945

Fax _____

Email projectmanagement@ecogysolar.com

8. Owner of Record

Name Jay Walden

Firm YRNC Realty LLC

Address 20 Wood Court, Tarrytown, NY 10591

Phone 917-597-7639

Fax _____

Email jay@phcare.com

9. Attorney

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

10. Engineer

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

11. Surveyor

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

12. Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No

16. Is this project within 500 feet of the Putnam County line? Yes No

17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:
The right-of-way of any existing or proposed state or county road? Yes No

The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No

The boundary of state or county-owned land on which a public building/ institution is located? Yes No

An existing or proposed county drainage line? Yes No

The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

Wetland Permit

Stormwater Permit

Tree Permit

Planning Board special permit: Large-Scale Solar Energy System

Town Board variance or approval: _____

Zoning Board of Appeals variance or special permit: Height Variance , Setback variance

21. This project requires the following permits or approvals from other outside agencies:

Westchester County Board of Health

NYC DEP

NYS DEC

Other: _____

22. This parcel is in the following districts:

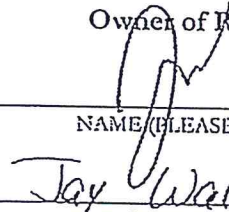
School District	<u>Yorktown</u>	Water District	<u>Yorktown Consolidated #1</u>
Fire District	<u>Mohegan FD</u>	Sewer District	<u>Peekskill</u>

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

Applicant	Owner of Record
Jack Bertuzzi	
DocuSigned by: <u>Jack Bertuzzi</u> 59B5A7A3E78D427	<u>Jay Walden</u>
NAME (PLEASE PRINT)	NAME (PLEASE PRINT)
SIGNATURE	SIGNATURE
<u>6/24/2021</u>	<u>6/29/2021</u>
DATE	DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Jay Waldes, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this 29 date of June, 20 21
[Signature]
Notary Public

Abraham Silber
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SI8347243
Qualified in Rockland County
My Commission Expires August 29, 2024

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

being duly sworn, deposes and says that he resides at in the County of and State of. That he is the of the corporation which is owner in fee of the property described in the foregoing application for and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this date of, 20
Notary Public

TOWN OF YORKTOWN PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

SPECIAL USE PERMIT APPLICATION

If this application is not being made in conjunction with a request for site plan approval from the Planning Board, a site plan/plot plan and Short EAF must also be submitted with this application. The required fee is \$625.00 for new applications and \$312.00 for requests to renew an existing permit.

Date 6/25/21

1. Tax Map Designation (Section, Block, Lot) 35.12-1-3

2. Property Address 2300 Catherine St, Cortlandt Manor, 10567

3. Zone: RSP-3

Total Acreage: 12.8

4. Indicate requested special use permit:

- §300-21(8)(a)[1] Outdoor service in commercial districts.
- §300-40 Bus passenger shelters.
- §300-54 Religious institutions, social, cultural, charitable and recreational nonprofit uses.
- §300-55 Parochial, private elementary and high schools, colleges and seminaries.
- §300-69 Valet parking at banquet halls.
- §300-71 New and/or used car automobile sales.
- §300-73.1(A)(2) Permanent seasonal outdoor sales in commercial districts.
- §300-75 Warehouse or storage in retail shopping centers.
- §300-78 Cemeteries.
- §300-79 Self-storage centers.
- §300-80 Sidewalk cafes. (outdoor dining for more than 12 seats)
- §300-81.1 Helistops.
- §300-81.2 Accessory recycling facilities.
- §300-81.4 Large-Scale Solar Power Generation Systems and Facilities
- §300-81.5 Tier 2 Battery Energy Storage Systems
- §300-238.1 Multifamily dwelling units in the Country Commercial Zone.

5. Description of proposed use (if applying for outdoor dining, indicate proposed dining area square footage and number of seats):

Installation of a Ground-Mounted canopy solar energy system located within the existing parking lot at 2300 Catherine Street. The existing use of the parking lot will not be altered. ~~A separate Special Use Permit application for the battery storage system is filed in conjunction with this application.~~

A Tier 1 - 548 kWh Battery Storage Energy system will be paired with the Canopy solar energy system and has been approved for interconnection by Con Edison. The Battery will be located near the western most canopy structure.

6. Applicant

Name John A. Bertuzzi

Firm Ecogy New York X LLC

Address 315 Flatbush Ave #393, Brooklyn NY 11217

Phone 718-304-0945

Email projectmanagement@ecogysolar.com

7. Owner of Record

Name Jay Walden

Firm YRNC Realty LLC

Address 20 Wood Court, Tarrytown NY 10591

Phone 917-597-7639

Email jay@phcare.com

In the event the permit is issued, the undersigned applicant will comply with all provisions of the Code of the Town of Yorktown and all other applicable laws, codes, rules and regulations of any Federal, State or County Government, bureau or department thereof, having jurisdiction over said premises and the use to be conducted thereat.

DocuSigned by: Applicant

Jack Bertuzzi
5060A7A3E78D427...

SIGNATURE

Jack Bertuzzi

PRINT NAME

6/24/2021

DATE

Owner of Record

Jay Walden

SIGNATURE

Jay Walden

PRINT NAME

6/29/2021

DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

F:\Office\WordPerfect\Application Forms\APP-SpecialPermit.wpd
This form last updated: September 2020

TOWN OF YORKTOWN PLANNING BOARD

Large Scale Solar Power Generation Systems & Facilities
Special Permit Application Addendum

GENERAL PROJECT INFORMATION

Project Name: YRNC Canopy Solar and Storage Energy System
Section, Block, Lot: 35.12-1-3 Zone: RSP-3
Existing Site Use: Residential Commercial Agriculture
Is Applicant? Property Owner Lessee
Proposed Lot Coverage: 0.089%

PROVIDE THE TOTAL SYSTEM CAPACITY RATING

A Large Scale Solar Energy system is a Solar Energy System that exceeds 20 kW DC as rated by its nameplate capacity. The maximum system capacity and the maximum area of land upon which the system shall be erected are as follows:

- (1) Up to one megawatt AC on an area of land no larger than 10 acres, excluding any easement for accessing the parcel; or over 1 but not to exceed 5 Megawatt AC on an area of land no larger than 20 acres, excluding any easement for accessing the parcel.

Total System Capacity Rating: 0.4666 MW Power Rating 697.9 kW (Select One) AC or DC

SELECT INSTALLATION TYPE

Ground Rooftop

PROPOSED SOLAR ENERGY SYSTEM INSTALLATION INFORMATION

Sponsor Company
Contact Name Julia Magliozzo
Business Name Ecogy New York X LLC
Address 315 Flatbush Ave #393, Brooklyn NY 11217
Phone 718-304-0945
Email projectmanagement@ecogysolar.com

Contractor/Installation Company

Contact Name John A. Bertuzzi
Business Name Ecogy Solar LLC
Address 315 Flatbush Ave #393, Brooklyn NY 11217
Phone 718-304-0945
Email projectmanagement@ecogysolar.com

PROPOSED OWNER AND/OR OPERATOR (IF DIFFERENT FROM ABOVE)

Name John A. Bertuzzi
Firm Ecogy New York X LLC
Address 315 Flatbush Ave #393, Brooklyn NY 11217
Phone 718-304-0945
Email assetmanagement@ecogysolar.com

SUBMITTAL REQUIREMENTS

In order to submit a complete permit application for a new large-scale solar power generation system, the applicant must include:

- a) Completed Planning Board Special Use Permit Application with this Large Scale Solar Power Generation System Addendum.
- b) A special permit application fee of \$625.00 paid by check made payable to the Town of Yorktown.
- c) Required documents as listed in Section 300-84.1(F):
 - Equipment specification sheets shall be submitted for all photovoltaic panels, significant components, mounting systems, and inverters that are to be installed.
 - A property Operation and Maintenance Plan shall be submitted.
 - A carbon sequestration for tree loss calculation.
 - Proposed tree loss mitigation, if applicable.
 - A Decommissioning Plan
- d) All site plan application requirements pursuant to Section 300-85/1(I) of the Town of Yorktown Town Code.

Short Environmental Assessment Form

Part I - Project Information

Instructions for Completing

Part I – Project Information. The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part I – Project and Sponsor Information				
Name of Action or Project: Ecogy Yorktown Nursing Canopy Solar Energy and Battery Storage System				
Project Location (describe, and attach a location map): 2300 Catherine Street, Yorktown, NY 10567				
Brief Description of Proposed Action: Ecogy Solar LLC as the Contractor for its Customer, Ecogy New York X LLC, proposes to install a 466.6 kW AC canopy solar PV system in the existing parking lot at 2300 Catherine Street. Ecogy New York X LLC is the Host Customer and Owner of the solar PV system. Ecogy Solar LLC, as the Contractor for its Customer, Ecogy New York X LLC, also plans to install a 250kVA/548 kWh energy storage system. The project includes the installation of modules, electrical equipment, a new utility meter, and interconnection of the system to the Con Edison electric grid. Ecogy New York X LLC has entered into a site lease agreement for the relevant areas of the property, as required for installation and operation, with the property owner.				
Name of Applicant or Sponsor: Ecogy New York X LLC		Telephone: 718-304-0945 E-Mail: projectmanagement@ecogysolar.com		
Address: 315 Flatbush Ave #393				
City/PO: Brooklyn		State: NY	Zip Code: 11217	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Yorktown Planning Board, Zoning Board, and Building Dept approval			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		12.8 acres		
b. Total acreage to be physically disturbed?		0.011 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.15 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Long Term Care <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: The proposed project will generate clean energy once operational. _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Potable water is not required for the installation or operation of this project. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ Wastewater treatment is not required for the installation or operation of this project. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ As part of project diligence, Ecology has conducted a wetlands delineation to ensure that we do not encroach into any existing wetlands. _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

- Shoreline
- Forest
- Agricultural/grasslands
- Early mid-successional
- Wetland
- Urban
- Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?
If Yes,

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

a. Will storm water discharges flow to adjacent properties?

<input checked="" type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

<input checked="" type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------

If Yes, briefly describe:

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, explain the purpose and size of the impoundment:

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, describe: _____

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, describe: _____

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

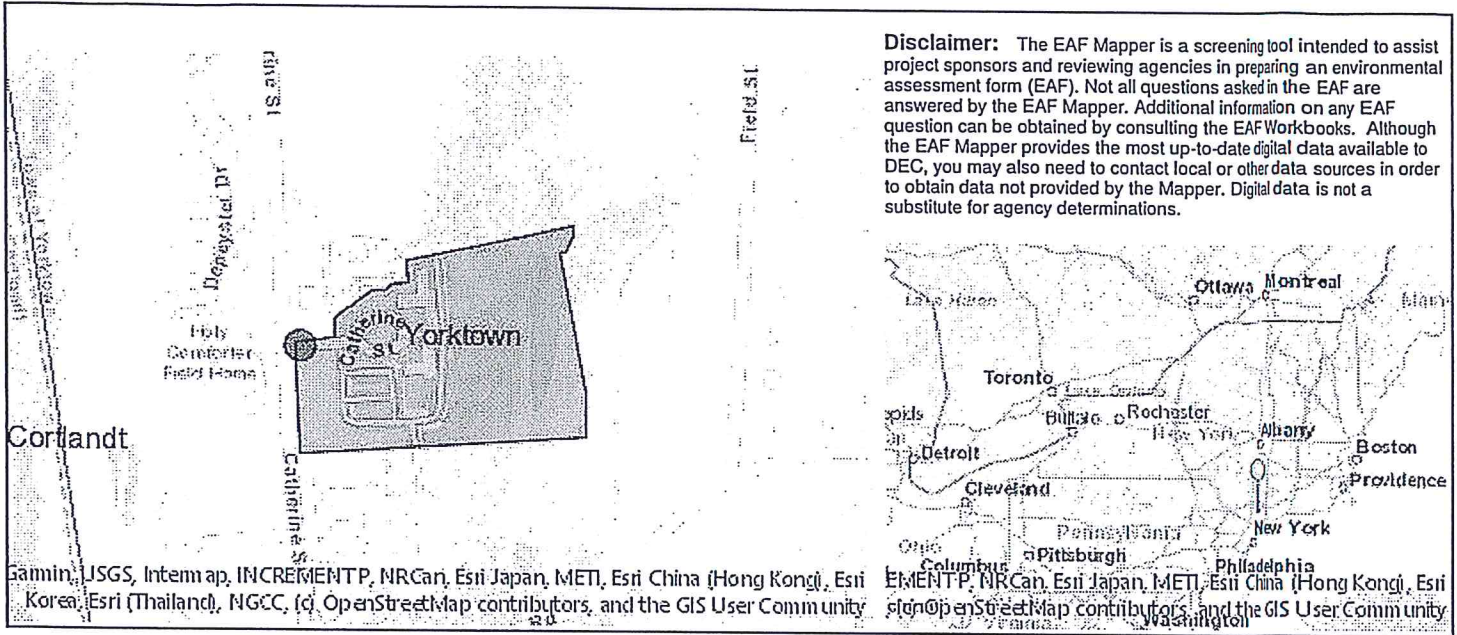
Applicant/s _____ DocuSigned by: _____ zi _____ Date: 5/18/21

Signature: John A Bertuzzi _____ Title: CEO

59B6A7A3E78D427...

EAF Mapper Summary Report

Saturday, May 15, 2021 1:46 PM



Source: ESRI, USGS, Intermap, INCREMENTP, NRCAN, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



610353370LAG001S

Westchester County Recording & Endorsement Page

Submitter Information

Name: Ecogy Energy Phone: 7183040945
 Address 1: 315 Flatbush Ave #393 Fax:
 Address 2: Email: projectmanagement@ecogyenergy.com
 City/State/Zip: Brooklyn NY 11217 Reference for Submitter: Ecogy YRNC Canopy Solar Lease and

Document Details

Control Number: **610353370** Document Type: Lease Agreement (LAG)
 Package ID: 2021020400166001001 Document Page Count: 7 Total Page Count: 8

Parties

1st PARTY Additional Parties on Continuation page
 1: YRNC REALTY LLC - Other 1: ECOGY NEW YORK X LLC - Other
 2: 2: - Other

Property

Street Address: 2300 CATHERINE ST. Additional Properties on Continuation page
 City/Town: YORKTOWN Tax Designation: 35.12 -1 -3
 Village:

Cross-References

1: 2: 3: 4: Additional Cross-Refs on Continuation page

Supporting Documents

1: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$40.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$0.00
 TP-584 Filing Fee: \$5.00
 RPL 291 Notice Fee: \$0.00
 Total Recording Fees Paid: \$85.00

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: \$0.00

Transfer Taxes

Consideration: \$0.00
 Transfer Tax: \$0.00
 Mansion Tax: \$0.00
 Transfer Tax Number: 27037

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 03/29/2021 at 09:17 AM
 Control Number: **610353370**
 Witness my hand and official seal

Timothy C. Idoni
 Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Ecogy Energy LLC
 315 Flatbush Ave #393

Brooklyn, NY 11217
 Attn: Julia Magliozzo

<p>RECORDING REQUESTED BY AND WHEN RECORDED RETURN TO:</p> <p>Anthony J. Lebe RECL Group 39 Quail Court Suite #306 Walnut Creek, CA 94596</p>	<p style="text-align: center;">EXHIBIT REVIEWED</p>
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Space above this line for Recorder's Use

MEMORANDUM OF OPTION AND LEASE AGREEMENT

THIS MEMORANDUM OF OPTION AND LEASE AGREEMENT ("**Memorandum**"), dated as of January 28, 2011, is entered into by and between YRNC REALTY, LLC ("**Lessor**"), and Ecogy New York X LLC, a Delaware limited liability company ("**Lessee**"). All capitalized terms used but not otherwise defined shall have the meanings ascribed to them in the Option and Lease Agreement (defined below).

WITNESSETH:

That for value received, Lessor and Lessee do hereby covenant, promise and agree as follows:

LESSOR: YRNC Realty, LLC, a New York Limited Liability Company, whose address on file with the Secretary or Department of Corporations, as applicable is 20 Wood Court, Tarrytown NY 10591.

LESSEE: Ecogy New York X LLC, a Delaware Limited Liability Company, whose address on file with the Secretary or Department of Corporations, as applicable is 9 Binney Lane Old Greenwich CT 06870.

DESCRIPTION OF PREMISES:

The Premises consists of that certain area of approximately fifty thousand (50,000) square feet of the Property and related airspace and commonly known as the Parking Lot at 2300 Catherine St. Yorktown NY 10567. The Property is more particularly described in Exhibit 1 attached to and incorporated into this Memorandum.

For Lessor's title to the Property, reference is herein made to Deed dated and recorded at the Westchester County Registry of Deeds under Control # 561183111 and designated as Section 35.12, Block 1, Lot 3 and also known as 2300 Catherine St. Yorktown NY 10567.

OPTION COMMENCEMENT DATE:

The Effective Date of the Option and Lease Agreement.

LEASE COMMENCEMENT DATE:

EXHIBIT REVIEWED

The date Lessee exercises the Option.

TERM OF OPTION:

Five hundred forty (540) days.

TERM OF LEASE:

25 years from the Commercial Operation Date of the System.

Three (3) five (5) year extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

YRNC REALTY, LLC,
a New York limited liability company

By: 

Name: Yehudah Walden
Title: President

LESSEE:

Ecogy New York X LLC,
a Delaware limited liability company

By: _____

Name: _____
Title: _____

The date Lessee exercises the Option.

TERM OF OPTION:

Five hundred forty (540) days.

TERM OF LEASE:

25 years from the Commercial Operation Date of the System.

Three (3) five (5) year extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

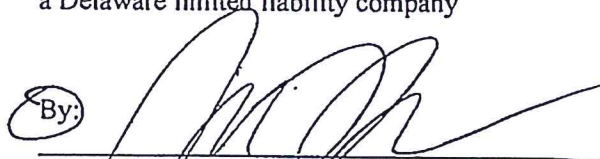
YRNC REALTY, LLC,
a New York limited liability company

By: _____

Name:
Title:

LESSEE:

Ecogy New York X LLC,
a Delaware limited liability company

By: 

Name: JACK BERTUZZI
Title: MEMBER

7

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of New York
County of Rockland

On December 15, 2020, before me, Abraham Silber
(insert name of notary)

Notary Public, personally appeared
Yehudah Walden

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of New York that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 

(Seal)

Abraham Silber
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SI6347243
Qualified in Rockland County
My Commission Expires August 29, 2024

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CT
County of FAIRFIELD

On 1/28/21, before me, BENJAMIN MCEACHIN
(insert name of notary)

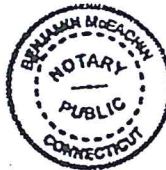
Notary Public, personally appeared JACK BERTUZZI

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of CT that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



BENJAMIN MCEACHIN
NOTARY PUBLIC
State of Connecticut
My Commission Expires
May 31, 2025
(Seal)

✓

Exhibit 1 to Memorandum

Description of Property

That real property commonly known as: Section 35.12, Block 1, Lot 3, Westchester County and also known as 2300 Catherine St. Yorktown, NY 10567. and more fully described in the Legal Description set forth below:

LEGAL DESCRIPTION

ALL that certain plot, piece or parcel of property situate, lying and being located in the Town of Yorktown, County of Westchester, State of New York and more particularly bounded and described as follows:

BEING A PORTION OF Lot 3.1 shown on map entitled "Minor Subdivision Map prepared for the Field Home Inc. located in the Town of Yorktown, Westchester County, N.Y." prepared by J. Henry Carpenter & Co. on November 4, 1983, filed in the Office of the Clerk of Westchester County, New York on September 28, 1984 as Filed Map No. 21730, said parcel being more particularly described as follows:

BEGINNING at a point on the westerly side of Lot 3.1 where it intersects with the easterly side of Catherine Street which point being distance 1716.73 feet as measured along said easterly side of Catherine Street from the southerly side of Lands of the City of New York-R.O.W. for the Catskill Aqueduct to the POINT OF BEGINNING.

THENCE from said point of beginning along the division line between Lots 3 and 3.1 the following courses and distances:

1 N.82° 41'16" E., a distance of 129.21 feet;

2 N.00°51'31" E., a distance of 68.48 feet;

3 N.52°04'00"E., a distance of 152.68 feet;

4 N.85°03'30"E., a distance of 50.00 feet;

5 N.40.0 03'30"E., a distance of 25.29 feet;

6 N.85°03'30"E., a distance of 56.77 feet;

7 N.04°58'30"W., a distance of 76.72 feet;

8 N. 77°20'13"E., a distance of 573.14 feet to a point on the division line between Lots 3.3, 3.1 and 3;

THENCE along the division line between Lots 3.3 and 3.1, S.00°09'40"W., a distance of 33.52 feet to a point on the division line between Lot 3.1 and 4 (Subdivision known as "Foxden Estates, West Section, Sheet 2 of 2");

THENCE along said said division line and a stone wall generally along line the following courses and distances:

1 S.23°08'20"W., a distance of 64.37 feet;

2 N.87°41'00"W., a distance of 19.89 feet;

3 S. 11°37'50"E., a distance of 230.12 feet;

4 S.09°48'00"E., a distance of 264.77 feet;

5 S00°10'30"E, a distance of 144.32 feet to a point on the division line between Lots 3.1 and 3.2

THENCE along said division line, S.85°57'20"W., a distance of 955.51 feet to a point on the easterly side of

Catherine Street;

THENCE along said easterly side of Catherine Street, N.02°45'31"W., a distance of 380.95 feet to the division line between lots 3 and 3.1, the point and place of BEGINNING.

Containing 559,519 square feet or 12.8448 acres, more or less. (For Info Only)

Being and intended to be the same premises conveyed by Deed recorded in Control # 561183111.

Together with Utility Easement Agreement dated January 24, 2006 made by and between Glassbury Court at Hunterbrook, LLC and Catherine Field Home and recorded August 9, 2006 as Control #462200034.

Together with and subject to the following Easements and Right of Way created in Declaration dated March 29, 2018 made by Field Home-Holy Comforter and Catherine Field Home, declarants recorded on April 5, 2018 in the Office of the Westchester County Clerk at Control Number 580823271:

- I: Roadway Access Easement
- ii: Varying Width Water Line Easement
- III: Future 20-foot wide Water line Easement
- IV: 20-foot wide Sanitary Sewer Easement
- V: Gas and Electric Easement

Note: Address, Block & Lot shown for informational purposes only

Designated as Section 35.12, Block 1, Lot 3, Westchester County, and also known as 2300 Catherine Street, Yorktown, NY 10567.

RIVERSIDE ABSTRACT, LLC
As Agent for
FIDELITY NATIONAL TITLE INSURANCE COMPANY

SCHEDULE A continued

Catherine Street;

THENCE along said easterly side of Catherine Street, N.02°45'31"W., a distance of 380.96 feet to the division line between lots 3 and 3.1, the point and place of BEGINNING.

Containing 559,519 square feet or 12.8448 acres, more or less. (For Info Only)

Being and intended to be the same premises conveyed by Deed recorded in Control # 561183111.

Together with Utility Easement Agreement dated January 24, 2005 made by and between Glassbury Court at Hunterbrook, LLC and Catherine Field Home and recorded August 9, 2005 as Control #462200034.

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- V: Gas and Electric Easement

Note: Address, Block & Lot shown for informational purposes only

Designated as Section 35.12, Block 1, Lot 3, Westchester County, and also known as 2300 Catherine Street, Yorktown, NY 10567.

Commitment (NY)

Riverside Abstract, LLC
3839 Flatlands Avenue, Suite 208
Brooklyn, NY 11234
TEL: 718-252-4200 FAX: 718-252-4226

RANY-30037

YORKTOWN RNC CANOPY SOLAR

697.9 KW-DC SOLAR PV SYSTEM
2300 CATHERINE STREET
YORKTOWN, NY 10598



ECOGY ENERGY
315 FLATBUSH AVENUE #393
BROOKLYN, NY 11217
assetmanagement@ecogyenergy.com
(718)-304-0945

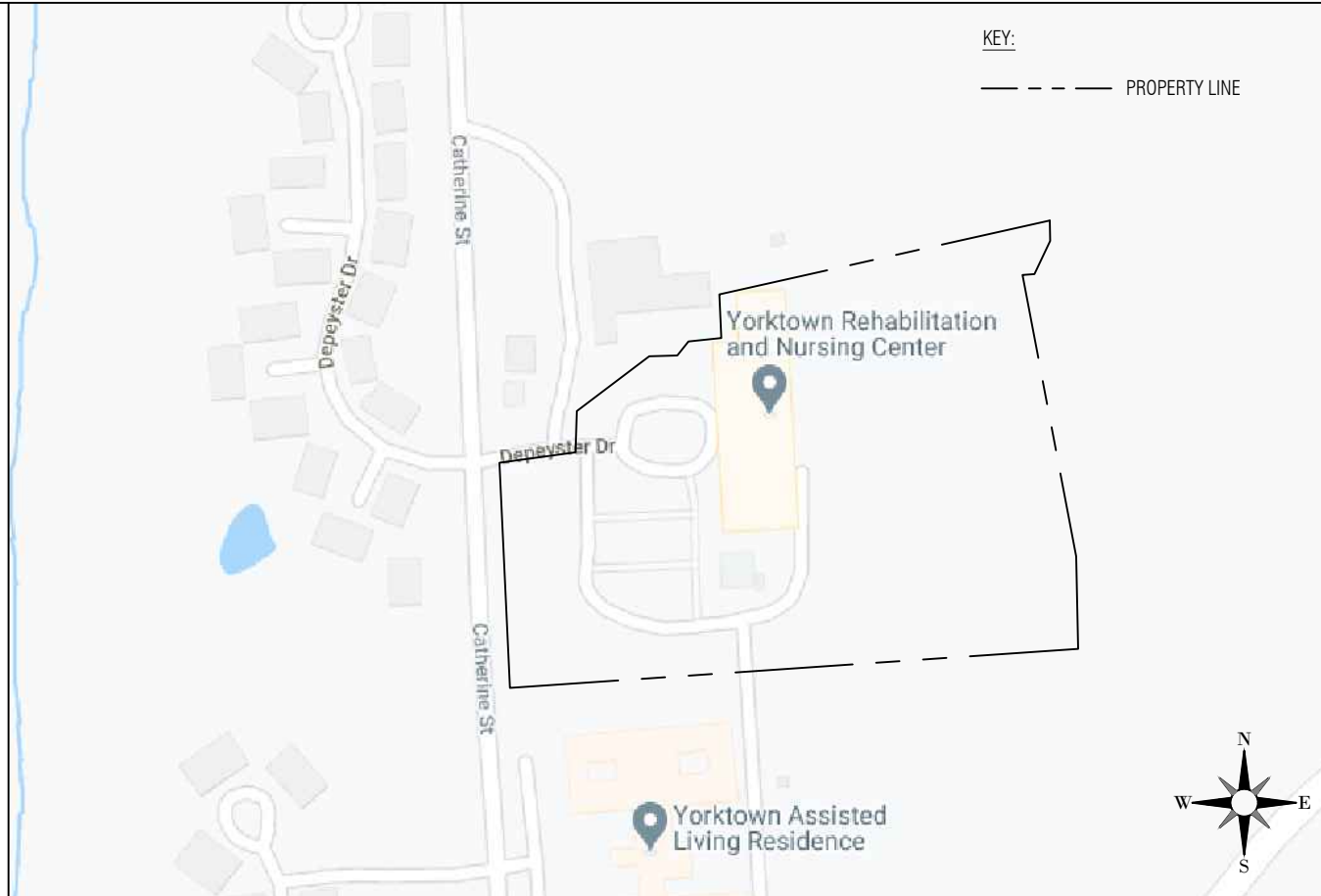
Project Name:
**YORKTOWN RNC
697.9 KW-DC PV SYSTEM
548 kWh ENERGY STORAGE**

Project Site:
**2300 CATHERINE STREET
YORKTOWN, NY 10598**

Account No: xxxxx
New Service Case #: xxxxx

LOCATION MAP

SCALE: NTS



SATELLITE MAP

SCALE: NTS



#	REVISION DESCRIPTION	DATE	BY

SCOPE OF WORK:

TO INSTALL A SOLAR PHOTOVOLTAIC (PV) SYSTEM LOCATED ON THE GROUND WITH THE POWER GENERATED BY THE PV SYSTEM WILL BE INTERCONNECTED WITH THE UTILITY GRID.

THE PV SYSTEM DOES NOT INCLUDE STORAGE BATTERIES.

SYSTEM SUMMARY:

697.9 kW DC / 466.6 kW-AC
TILT ANGLE = 7°
AZIMUTH = 177,267°

EQUIPMENT:

MODULES:
1420 - TRINA 485W MODULE

INVERTERS:
(4) - SOLAREEDGE SE100 K-US INVERTERS
(1) - SOLAREEDGE SE66.6 K-US INVERTERS

RACKING:
T.B.D.

DAS:
ECOGY ECONODE

ENERGY STORAGE:
SUNGROW ST548
548 kWh
250 KVA

SITE SPECIFICATIONS:

WIND EXPOSURE:
CATEGORY X

DESIGN WIND SPEED:
XXX

GROUND SNOW LOAD:
XXX PSF

BUILDING OCCUPANCY:
XXX

Professional Stamp

SHEET NAME:

TITLE SHEET

PROJECT NUMBER: XXXX	DRAWN BY: DQP	CHECKED BY: ---
DATE: 06/25/2021	DWG. NUMBER: G-001	
SHEET NUMBER: - of -		

DRAWING LIST

DWG. NO.	DRAWING TITLE
G-001	TITLE SHEET
PV-100	SITE PLAN
PV-200	CANOPY ELEVATIONS
PV-200.1	CANOPY ELEVATIONS
L-100	TREE WORK PLAN

REVIEW PLAN SET
ISSUE DATE: 09/21/2021



ECOGY ENERGY
 315 FLATBUSH AVENUE #393
 BROOKLYN, NY 11217
 assetmanagement@ecogyenergy.com
 (718)-304-0945

Project Name:
YORKTOWN RNC
697.9 kW-DC PV SYSTEM
548 kWh ENERGY STORAGE

Project Site:
2300 CATHERINE STREET
YORKTOWN, NY 10598

Account No: xxxxx
 New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp

PRELIMINARY

SHEET NAME:

SITE MAP

PROJECT NUMBER: XXXX	DRAWN BY:	CHECKED BY:
DATE: 11/16/2020	DWG. NUMBER:	
SHEET NUMBER: - of -	PV-100	

UTILITY EQUIPMENT KEY:

① NEW 1000 KVA TRANSFORMER 13.8 KV / 480 V
 (UTILITY OWNED TO BE CONFIRMED)

CUSTOMER EQUIPMENT KEY:

Ⓐ AC DISCONNECT SWITCH (89L) (PV SYSTEM)
 (4) SE100kW SOLAREEDGE INVERTERS
 (1) SE66.6kW SOLAREEDGE INVERTER
 AC COMBINER PANEL 1200 AMP 480 V
 DAS

Ⓑ BATTERY SYSTEM 548 KWH / 250 KVA 480 VAC

Ⓒ EXISTING PAD MOUNTED SWITCHGEAR 13.8 KV

ARRAY LEGEND

ARRAY	ARRAY CONFIGURATION	MODULE COUNT	SIZE KW
1	46 X 7	322	156.17
2	35 X 7	245	118.83
3	32 X 7	224	108.64
4	59 X 6	354	171.69
5	25 X 6	150	72.75
6	36 X 4	144	69.84
TOTAL		1439	697.92

TRINA DEG15VC.20(II) 485 W MODULES

SYMBOLS LEGEND:

Ⓔ EXISTING UTILITY POLE

Ⓕ PROPOSED UTILITY POLE

LINETYPE LEGEND:

--- APPROXIMATE PROPERTY LINE

— PROPERTY LINE SETBACK

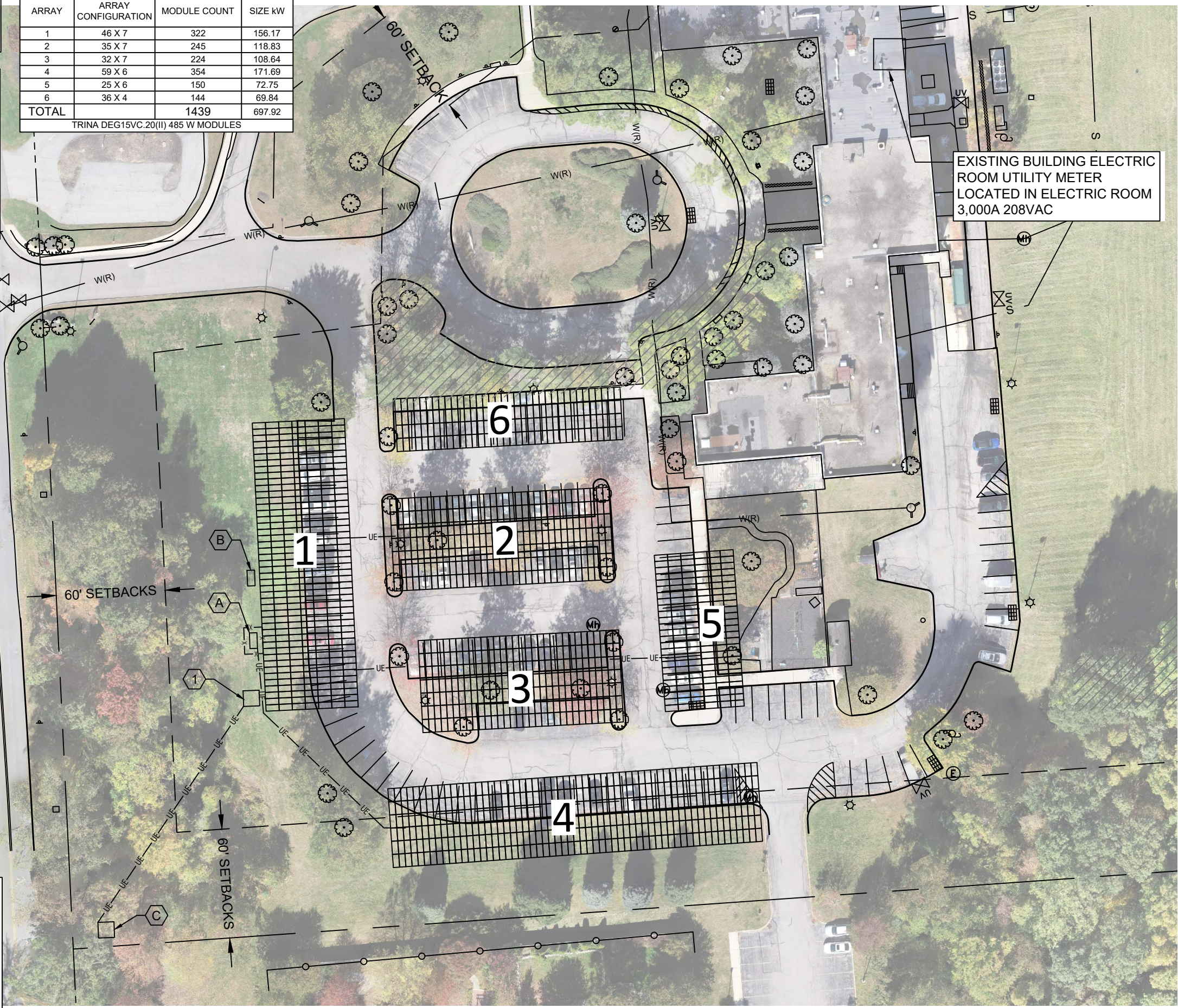
-X-X- PROPOSED CHAINLINK FENCE

-OE-OE- OVERHEAD ELECTRIC

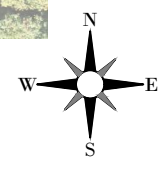
-UE-UE- UNDERGROUND ELECTRIC

- · · - APPROXIMATE WETLAND BOUNDARY

- - - WETLAND 100' BUFFER



EXISTING BUILDING ELECTRIC ROOM UTILITY METER LOCATED IN ELECTRIC ROOM 3,000A 208VAC





ECOGY ENERGY

ECOXY ENERGY
 315 FLATBUSH AVENUE #393
 BROOKLYN, NY 11217
 assetmanagement@ecogyenergy.com
 (718)-304-0945

Project Name:
YORKTOWN RNC
697.9 kW-DC PV SYSTEM
548 kWh ENERGY STORAGE

Project Site:
2300 CATHERINE STREET
YORKTOWN, NY 10598

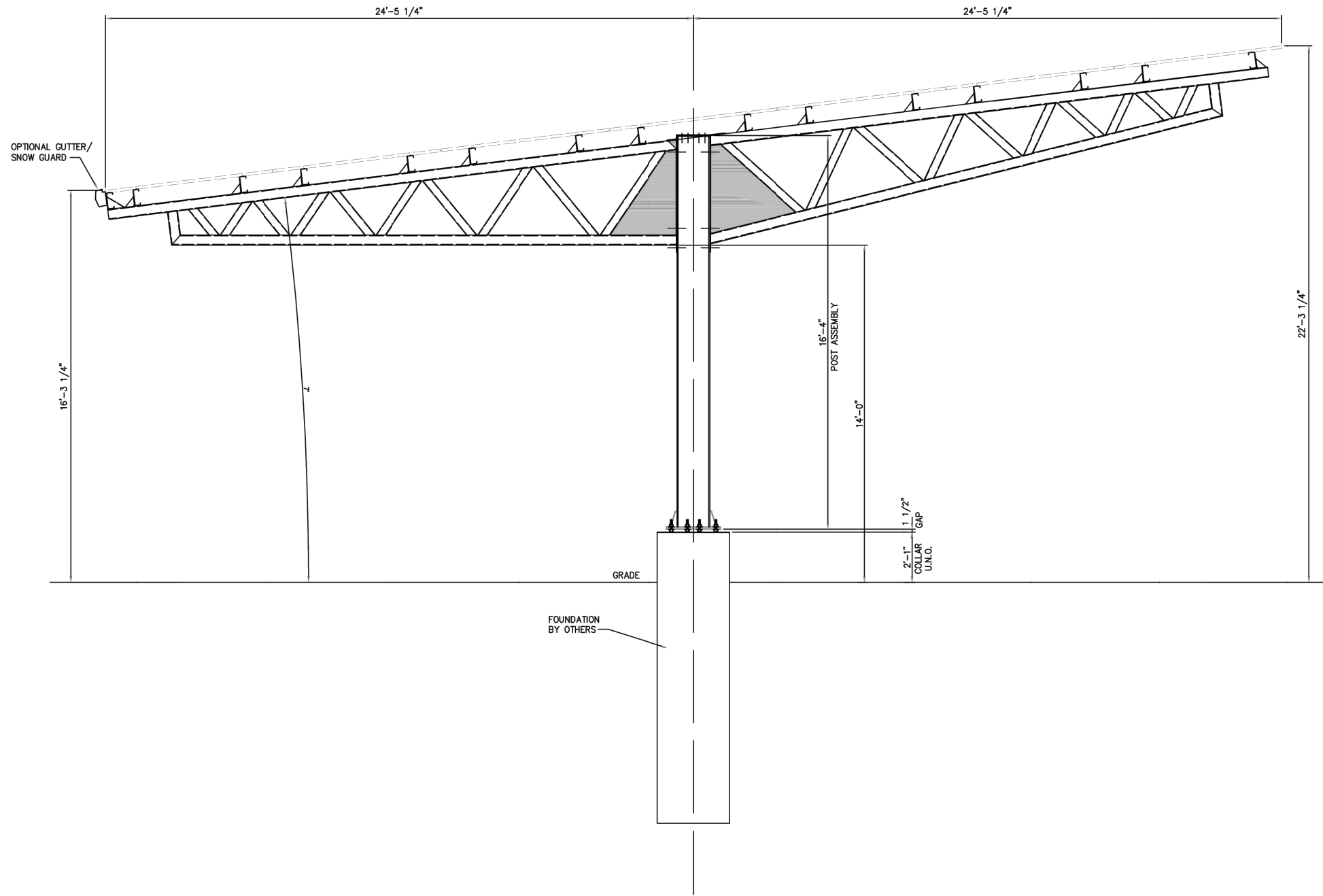
Account No: xxxxx
 New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp

SHEET NAME:
**CANOPY
 ELEVATION**

PROJECT NUMBER: XXXX | DRAWN BY: DQP | CHECKED BY: ---
 DATE: 06/23/2021 | DWG. NUMBER:
 SHEET NUMBER: - of - | **PV-200**



CANOPIES #1, #2 & #3
 N.T.S.



ECOGY ENERGY

ECOGY ENERGY
315 FLATBUSH AVENUE #393
BROOKLYN, NY 11217
assetmanagement@ecogyenergy.com
(718)-304-0945

Project Name:
**YORKTOWN RNC
697.9 kW-DC PV SYSTEM
548 kWh ENERGY STORAGE**

Project Site:
**2300 CATHERINE STREET
YORKTOWN, NY 10598**

Account No: xxxxx
New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

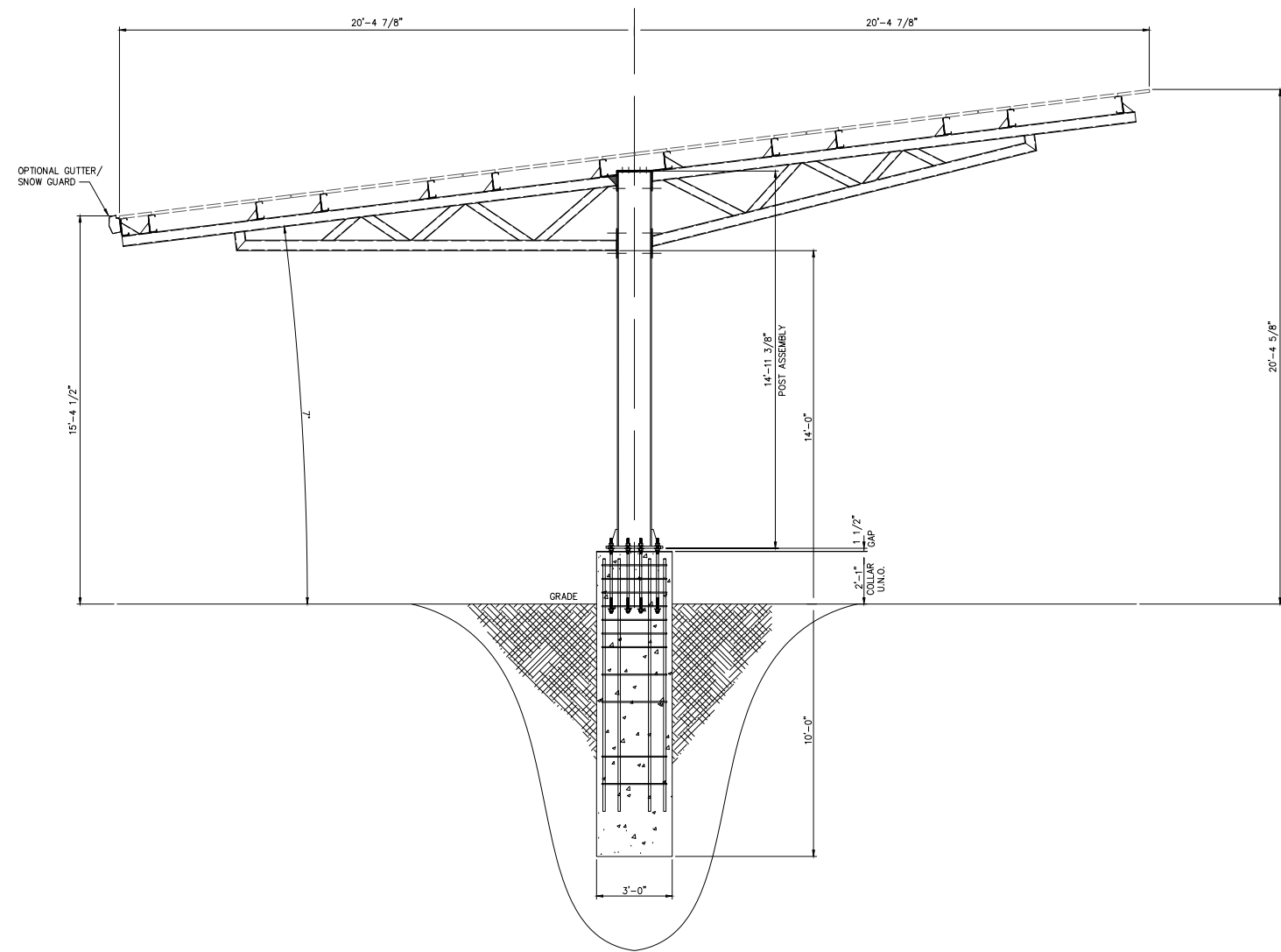
Professional Stamp

SHEET NAME:
**CANOPY
ELEVATIONS**

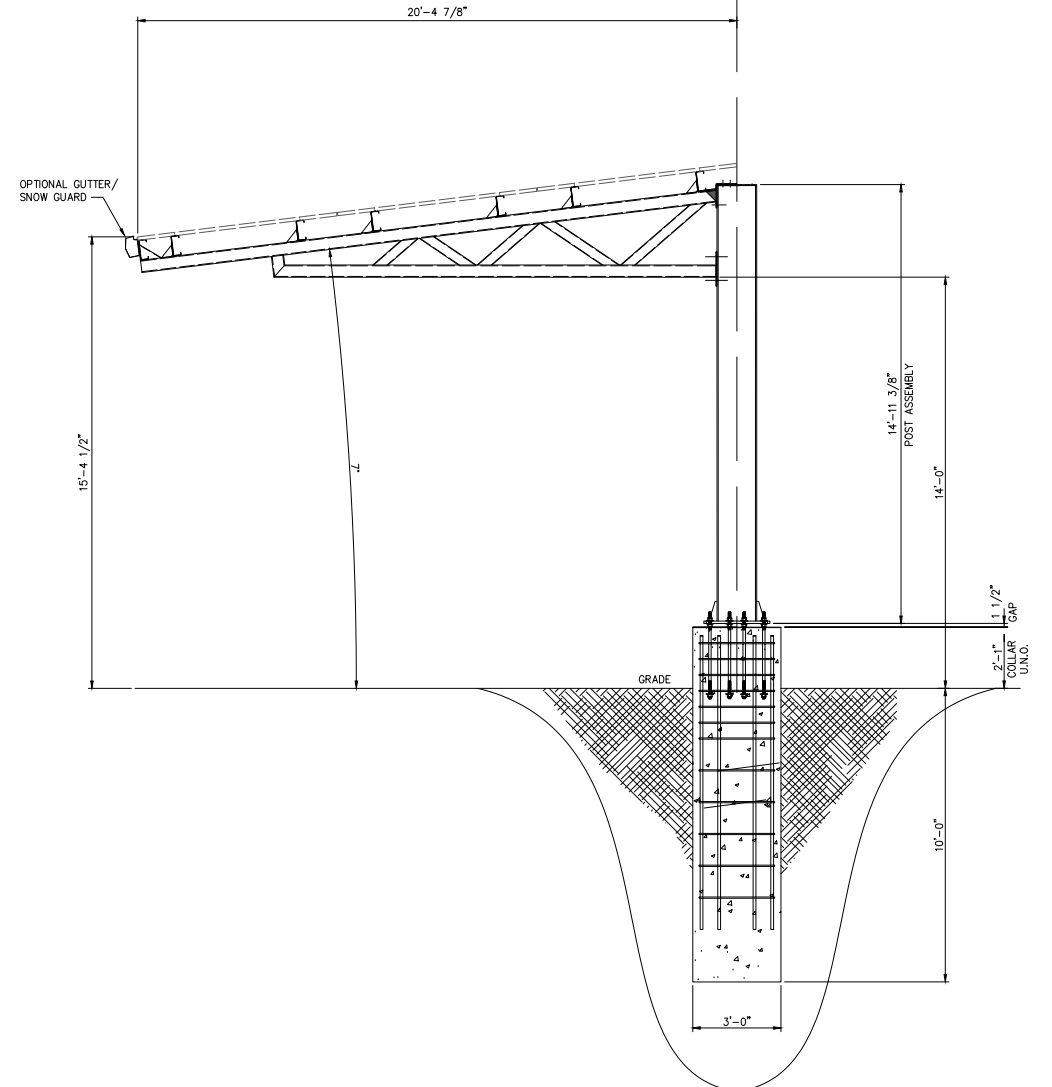
PROJECT NUMBER: XXXX	DRAWN BY: DQP	CHECKED BY: ---
-------------------------	------------------	--------------------

DATE: 06/23/2021	DWG. NUMBER:
---------------------	--------------

SHEET NUMBER: - of -	PV-200.1
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CANOPIES #4 & #5
N.T.S.



CANOPY #6
N.T.S.

SYMBOLS LEGEND:

-  INDIVIDUAL TREE TO BE REMOVED
-  GROUP OF TREES TO BE REMOVED

GENERAL NOTESE:

SEE TREE INVENTORY DATED 6/22/2021 FOR DETAILS ON INDIVIDUAL TREES
 ONLY TREES PROPOSED TO BE REMOVED IDENTIFIED ON DRAWING



ECOLOGY ENERGY
 315 FLATBUSH AVENUE #393
 BROOKLYN, NY 11217
 assetmanagement@ecogyenergy.com
 (718)-304-0945

ECOLOGY NY XII LLC

Project Name:
**YORKTOWN RNC
 283.8 kW-DC PV SYSTEM
 GROUND MOUNT**

Project Site:
**2300 CATHERINE STREET
 YORKTOWN, NY 10598**

Account No: xxxxx
 New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp

SHEET NAME:
TREE WORK PLAN

PROJECT NUMBER: XXXX	DRAWN BY: SCG	CHECKED BY: ---
DATE: 11/16/2020	DWG. NUMBER: L-100	
SHEET NUMBER: - of -		

STORMWATER ASSESSMENT REPORT

Yorktown RNC Canopy Solar
2300 Catherine Street
Yorktown, NY 10598

August 25, 2021



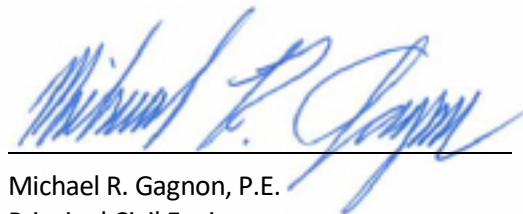
Yorktown RNC Canopy Solar

2300 Catherine Street
Yorktown, NY 10598

Prepared for:
Ecogy Energy
315 Flatbush Avenue, #393
Brooklyn, New York 11217

Prepared by:
SLR Engineering, Landscape Architecture, and Land Surveying, P.C. (SLR)
231 Main Street, Suite 102
New Paltz, New York 12561

This document has been prepared by SLR. The material and data in this report were prepared under the supervision and direction of the undersigned.



Michael R. Gagnon, P.E.
Principal Civil Engineer

CONTENTS

- 1. Site Description 3**
 - 1.1 Project Overview 3
 - 1.2 Existing Conditions 3
- 2. Proposed Conditions 5**
 - 2.1 Proposed Conditions 5
 - 2.2 Impervious Cover and Stormwater Management Capacity Assessment 5

TABLES

Table 2-1 Site Impervious Cover Summary

FIGURES

Figure 1 USGS Location Map
 Figure 2 Impervious Cover Map

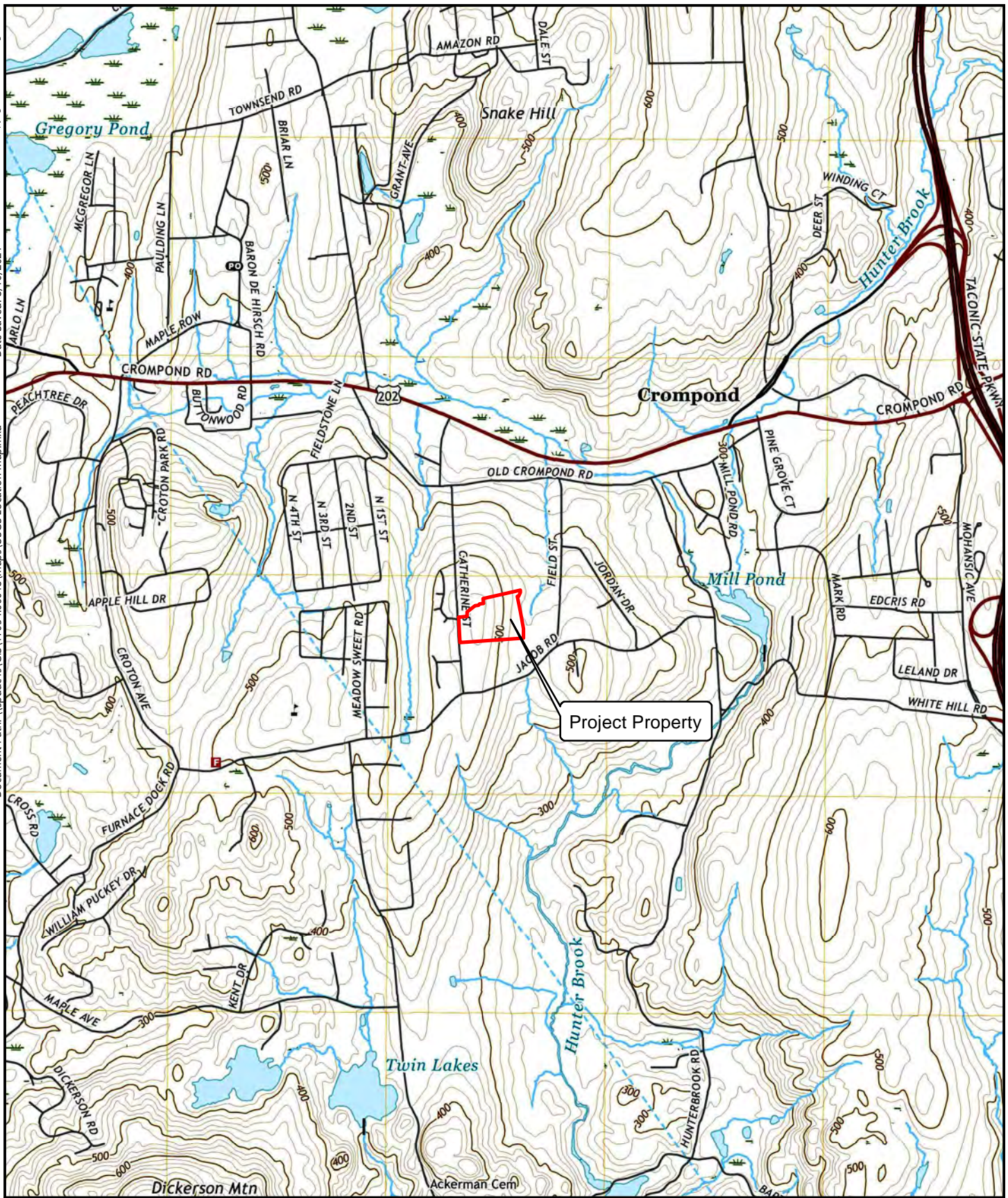
1. SITE DESCRIPTION

1.1 PROJECT OVERVIEW

Ecogy Energy has retained SLR Engineering, Landscape Architecture, and Land Surveying, P.C. (SLR) for professional engineering services for the stormwater assessment for the proposed carport canopy photovoltaic (PV) solar facility located in the parking area at 2300 Catherine Street in Yorktown, New York.

1.2 EXISTING CONDITIONS

The existing ±12.8-acre site is located at 2300 Catherine Street in Yorktown, New York. The property is identified as parcel 35.12-1-3 and is zoned as Continuous Care (RSP-3). The property is accessed at the west from Catherine Street. The site primarily consists of a rehabilitation and nursing center and a parking area on the west and central portions of the site, a grass lawn area, and a wooded area on the eastern side of the site. The building and parking area drain to a series of catch basins located throughout the parking lot. Stormwater runoff from the west side of the site drains towards Catherine Street, and the east side of the site behind the building drains towards the wooded area on the eastern side of the site. Topography is mild in the central developed region of the site and is steeper in the grass and wooded areas. There are no known wetland areas within the project vicinity.



SLR

231 MAIN STREET
 SUITE 102
 NEW PALTZ, NY 12561
 845.633.8153

USGS SITE LOCATION MAP

YORKTOWN RNC CANOPY SOLAR
 ECOGY ENERGY
 2300 CATHERINE STREET
 YORKTOWN, NEW YORK

N

0 500 1,000 1,500 2,000
Feet

SCALE 1" = 2,000'

DATE 8/25/2021

17054.00018
 PROJ. NO.

FIG. 1

2. PROPOSED CONDITIONS

2.1 PROPOSED CONDITIONS

Ecogy Energy intends to construct a photovoltaic (PV) solar carport canopy system on the property located at 2300 Catherine Street in Yorktown, New York. The solar canopies will be constructed at the parking area to the southwest of the building. The proposed project consists of five solar carport canopies supported by a galvanized steel structure, mounted at the required tilt angle and exposure. The project also includes four equipment pads west of the parking lot. The canopies will be located over the existing parking spaces along the west, south, east, and central areas of the parking lot. The proposed layout is shown on Figure 2.

2.2 IMPERVIOUS COVER AND STORMWATER MANAGEMENT CAPACITY ASSESSMENT

Existing site drainage patterns are maintained under proposed conditions. A majority of the stormwater runoff from the project will drain to existing catch basins in the southwest parking area. Stormwater from the western and southernmost arrays will drain to the west of the site into the wooded area along the western property line. No new stormwater facilities will be constructed with this project.

Total additional impervious cover as a result of the project is approximately 11,316-square-feet, which represents an overall 9% increase in impervious area for the site as shown on Figure 2, and as summarized in Table 2-1. The increase in impervious area is a result of canopy overhang to the lawn area for the canopies located at the edge of the parking lot, and the addition of canopies over the landscaped islands in the central area of the parking lot. It is anticipated that the existing stormwater collection system that drains the parking area has the capacity to accommodate the minor additional impervious area associated with this project.

Table 2-1
Site Impervious Cover Summary

Description	Area (SF)	Area (Ac)
Total Parcel	559,516	12.8
Total Existing Impervious Site Cover	128,056	2.94
Proposed Additional Impervious Cover	11,316	0.26
Total Proposed Impervious Site Cover	139,372	3.20
Net Percent Change – Existing vs. Proposed	+9%	

Ground Mounted Solar Array

TOWN OF YORKTOWN PLANNING BOARD

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date 6/25/21

1. Name of Project: YRNC Ground Mount Solar Energy System

2. Tax Map Designation (Section, Block, Lot) 35.12-1-3

3. Zone: RSP-3 Total Acreage: 12.8

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

Installation of a 261kW DC Ground-Mounted solar energy system, located within the greenfield behind the existing building at 2300 Catherine Street.

6. Contact Person - CHOOSE ONLY ONE:

Applicant

Owner

Architect

Wetland Scientist

Attorney

Engineer

Surveyor

Landscape Architect

7. Applicant

Name John A. Bertuzzi

Firm Ecogy New York XII LLC

Address 315 Flatbush Ave #393, Brooklyn, NY 11217

Phone 718-304-0945

Fax _____

Email projectmanagement@ecogysolar.com

8. Owner of Record

Name Jay Walden

Firm YRNC Realty LLC

Address 20 Wood Court, Tarrytown NY 10591

Phone 917-597-7639

Fax _____

Email jay@phcare.com

9. Attorney

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

10. Engineer

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

11. Surveyor

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

12. Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No

16. Is this project within 500 feet of the Putnam County line? Yes No

17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road? Yes No

The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No

The boundary of state or county-owned land on which a public building/ institution is located? Yes No

An existing or proposed county drainage line? Yes No

The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

Wetland Permit

Stormwater Permit

Tree Permit

Planning Board special permit: Large-Scale Ground-Mounted Solar Energy System

Town Board variance or approval: _____

Zoning Board of Appeals variance or special permit: n/a

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

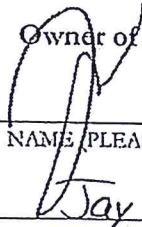
School District	<u>Yorktown</u>	Water District	<u>Yorktown Consolidated #1</u>
Fire District	<u>Mohegan FD</u>	Sewer District	<u>Peekskill</u>

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

<p>Applicant</p> <p>Jack Bertuzzi</p> <hr/> <p><small>DocuSigned by:</small> NAME (PLEASE PRINT)</p> <p><u>Jack Bertuzzi</u></p> <hr/> <p>SIGNATURE</p> <p>6/24/2021</p> <hr/> <p>DATE</p>	<p>Owner of Record</p> <p></p> <hr/> <p>NAME (PLEASE PRINT)</p> <p><u>Jay Walden</u></p> <hr/> <p>SIGNATURE</p> <p><u>6/29/2021</u></p> <hr/> <p>DATE</p>
--	---

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

Jay Walden, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this 29 date of June, 20 24

[Signature]
Notary Public

Abraham Silber
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SI6347243
Qualified in Rockland County
My Commission Expires August 29, 2024

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he resides at _____ in the County of _____ and State of _____. That he is the _____ of _____ the corporation which is owner in fee of the property described in the foregoing application for _____ and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20 ____

Notary Public

TOWN OF YORKTOWN PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

SPECIAL USE PERMIT APPLICATION

If this application is not being made in conjunction with a request for site plan approval from the Planning Board, a site plan/plot plan and Short EAF must also be submitted with this application. The required fee is \$625.00 for new applications and \$312.00 for requests to renew an existing permit.

Date 6/25/21

1. Tax Map Designation (Section, Block, Lot) 35.12-1-3

2. Property Address 2300 Catherine St, Cortlandt Manor, NY 10567

3. Zone: RSP-3 Total Acreage: 12.8

4. Indicate requested special use permit:

- §300-21(8)(a)[1] Outdoor service in commercial districts.
- §300-40 Bus passenger shelters.
- §300-54 Religious institutions, social, cultural, charitable and recreational nonprofit uses.
- §300-55 Parochial, private elementary and high schools, colleges and seminaries.
- §300-69 Valet parking at banquet halls.
- §300-71 New and/or used car automobile sales.
- §300-73.1(A)(2) Permanent seasonal outdoor sales in commercial districts.
- §300-75 Warehouse or storage in retail shopping centers.
- §300-78 Cemeteries.
- §300-79 Self-storage centers.
- §300-80 Sidewalk cafes. (outdoor dining for more than 12 seats)
- §300-81.1 Helistops.
- §300-81.2 Accessory recycling facilities.
- §300-81.4 Large-Scale Solar Power Generation Systems and Facilities
- §300-81.5 Tier 2 Battery Energy Storage Systems
- §300-238.1 Multifamily dwelling units in the Country Commercial Zone.

5. Description of proposed use (if applying for outdoor dining, indicate proposed dining area square footage and number of seats):

Installation of a 261kW DC Ground-Mounted solar energy system, located within the greenfield behind the existing building at 2300 Catherine Street.

6. Applicant

Name John A. Bertuzzi

Firm Ecogy New York XII LLC

Address 315 Flatbush Ave #393, Brooklyn, NY 11217

Phone 718-304-0945

Email projectmanagement@ecogysolar.com

7. Owner of Record

Name Jay Walden

Firm YRNC Realty LLC

Address 20 Wood Court, Tarrytown NY 10591

Phone 917-597-7639

Email jay@phcare.com

In the event the permit is issued, the undersigned applicant will comply with all provisions of the Code of the Town of Yorktown and all other applicable laws, codes, rules and regulations of any Federal, State or County Government, bureau or department thereof, having jurisdiction over said premises and the use to be conducted thereat.

DocuSigned by: **Applicant**

Jack Bertuzzi
59B8A7A3E78D427

SIGNATURE

Jack Bertuzzi

PRINT NAME

6/24/2021

DATE

Owner of Record

[Signature]

SIGNATURE

Jay Walden

PRINT NAME

6/29/2021

DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

TOWN OF YORKTOWN PLANNING BOARD

Large Scale Solar Power Generation Systems & Facilities
Special Permit Application Addendum

GENERAL PROJECT INFORMATION

Project Name: YRNC Ground Mount Solar Energy System
Section, Block, Lot: 35.12-1-3 Zone: RSP-3
Existing Site Use: Residential Commercial Agriculture
Is Applicant? Property Owner Lessee
Proposed Lot Coverage: 0.089%

PROVIDE THE TOTAL SYSTEM CAPACITY RATING

A Large Scale Solar Energy system is a Solar Energy System that exceeds 20 kW DC as rated by its nameplate capacity. The maximum system capacity and the maximum area of land upon which the system shall be erected are as follows:

- (1) Up to one megawatt AC on an area of land no larger than 10 acres, excluding any easement for accessing the parcel; or over 1 but not to exceed 5 Megawatt AC on an area of land no larger than 20 acres, excluding any easement for accessing the parcel.

Total System Capacity Rating: 0.2592 MW Power Rating 283.8 kW (Select One) AC or DC

SELECT INSTALLATION TYPE

Ground Rooftop

PROPOSED SOLAR ENERGY SYSTEM INSTALLATION INFORMATION

Sponsor Company
Contact Name Julia Magliozzo
Business Name Ecogy New York XII LLC
Address 315 Flatbush Ave #393, Brooklyn NY 11217
Phone 718-304-0945
Email projectmanagement@ecogysolar.com

Contractor/Installation Company

Contact Name John A. Bertuzzi
Business Name Ecogy Solar LLC
Address 315 Flatbush Ave #393, Brooklyn NY 11217
Phone 718-304-0945
Email projectmanagement@ecogysolar.com

PROPOSED OWNER AND/OR OPERATOR (IF DIFFERENT FROM ABOVE)

Name John A. Bertuzzi
Firm Ecogy New York XII LLC
Address 315 Flatbush Ave #393, Brooklyn NY 11217
Phone 718-304-0945
Email assetmanagement@ecogysolar.com

SUBMITTAL REQUIREMENTS

In order to submit a complete permit application for a new large-scale solar power generation system, the applicant must include:

- a) Completed Planning Board Special Use Permit Application with this Large Scale Solar Power Generation System Addendum.
- b) A special permit application fee of \$625.00 paid by check made payable to the Town of Yorktown.
- c) Required documents as listed in Section 300-84.1(F):
 - Equipment specification sheets shall be submitted for all photovoltaic panels, significant components, mounting systems, and inverters that are to be installed.
 - A property Operation and Maintenance Plan shall be submitted.
 - A carbon sequestration for tree loss calculation.
 - Proposed tree loss mitigation, if applicable.
 - A Decommissioning Plan
- d) All site plan application requirements pursuant to Section 300-85/1(I) of the Town of Yorktown Town Code.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Ecogy Yorktown Nursing Ground Mount Solar Energy System			
Project Location (describe, and attach a location map): 2300 Catherine Street, Yorktown, NY 10567			
Brief Description of Proposed Action: Ecogy Solar LLC as the Contractor for its Customer, Ecogy New York XII LLC, proposes to install a 259.2 kW AC, ground-mounted solar PV system in the grass lawn to the east of the main building .Ecogy New York XII LLC is the Host Customer and Owner of said solar PV system. The project includes the installation of modules, electrical equipment, a new utility meter, and interconnection of the system to the Con Edison electric grid. Ecogy New York XII LLC has entered into a site lease for the relevant areas of the property as required for installation with the property owner.			
Name of Applicant or Sponsor: Ecogy New York XII LLC		Telephone: (718) 3034-0945 E-Mail: projectmanagement@ecogyenergy.com	
Address: 315 Flatbush Ave #393			
City/PO: Brooklyn		State: NY	Zip Code: 11217
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Yorktown Planning Board, Zoning Board, and Building Dept approval			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		12.8 acres	
b. Total acreage to be physically disturbed?		0.069 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.38 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Long Term Care			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The proposed solar project will generate clean electricity once the system is operational _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Potable water is not required for the installation or operation of this project.	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Wastewater treatment is not required for the installation or operation of this project.	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ As part of project diligence, Ecogy has conducted a wetlands delineation to ensure we do not encroach into any existing wetlands. _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional
 Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? NO YES

16. Is the project site located in the 100-year flood plan? NO YES

17. Will the proposed action create storm water discharge, either from point or non-point sources?
If Yes,

a. Will storm water discharges flow to adjacent properties? NO YES

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?
If Yes, briefly describe: NO YES

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?
If Yes, explain the purpose and size of the impoundment: NO YES

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?
If Yes, describe: NO YES

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?
If Yes, describe: NO YES

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/DocuSigned by: _____ Date: 3/3/2021
Signature: *John A Bertuzzi* _____ Title: CEO
59B6A7A3E78D427...

EAF Mapper Summary Report

Monday, March 1, 2021 1:52 PM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Map data: © OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



Permitting Application by Ecogy New York XII LLC for Construction of a Ground Mounted Solar Energy System at 2300 Catherine Street

Solar Energy System Details

Location: 2300 Catherine St, Cortlandt Manor NY 10567 (RSP-3 Zone)

Type of System: Ground-Mounted system located in the greenfield to the east of the existing main building.

Size: 283.8 kW DC / 259.8 kW AC

The proposed solar system is a Community Solar Project interconnected with Con Edison's distribution grid.

Contact Information

System Owner and Applicant:

Ecogy New York XII LLC

c/o Ecogy Energy

Attn: John Bertuzzi and Julia Magliozzo

315 Flatbush Ave #393, Brooklyn, NY 11217

Email: projectmanagement@ecogysolar.com

Phone: (718) 304-0945

RECEIVED
PLANNING DEPARTMENT
JUL 6 2021
TOWN OF YORKTOWN

Property Owner:

YRNC Realty LLC

Attn: Jay Walden

20 Wood Court

Tarrytown, NY

Permitting Application by Ecogy New York XII LLC for Construction of a Ground Mounted Solar Energy System at 2300 Catherine Street

Executive Summary and Contents

Ecogy respectfully submits this permitting application to the Yorktown Planning Board for review of the proposed ground-mounted solar project at 2300 Catherine Street for issuance of a special use permit and site plan approval by the Planning Board. This application contains:

- (1) Project Narrative
- (2) Legal consent among all parties
- (3) A Site Plan showing the proposed location of the solar canopies and associated equipment as required for interconnection with Con Edison.
- (4) A Survey and other documentation required by the Planning Board showing the layout of the solar energy system signed by a professional engineer
- (5) Equipment specification sheets
- (6) A statement detailing the loss of trees and other vegetation to be removed and the quantity of carbon sequestered by said trees and vegetation
- (7) A completed Short Environmental Assessment Form
- (8) O&M Plan
- (9) Decommissioning Plan
- (10) An application fee of \$625.00

Ecogy Energy YRNC Ground Mount Solar Project Narrative

The proposed Ecogy Energy YRNC Ground Mount Solar Project is a 259.8 kW AC solar ground mounted system. The ground mounted system will be installed within the green field to the east of the existing building. The project will be developed by Ecogy Energy for YRNC Realty LLC as a community solar project, which will allow businesses and residents of Yorktown to subscribe to the solar generation and receive discounted solar electricity credits on their Con Edison utility bills. Please be advised that Ecogy has submitted a separate application for a Canopy Solar and Battery Storage energy system at the same property.

In addition to the monetary benefits brought by the solar project, Ecogy believes the proposed solar system is an excellent example of favorable land use for solar development. The solar system will be located behind the existing building, therefore maintaining the aesthetics of the surrounding area.

Of course, the benefits of this solar project also extend to the environment and in meeting New York's Reforming the Energy Vision 2030 Renewable Energy Goals. The proposed system will generate approximately 324.9 MWh of clean, renewable energy every year, which represents significant environmental benefits.

Ecogy contracted an arborist who has identified and evaluated 65 trees to be removed. The results are provided in the attached tree inventory as Trees #56-120. Ecogy's contracted arborist additionally included carbon sequestration values for such trees to be removed, which can also be found in the attached report.

Ecogy plans to perform a geotech analysis of the subsurface conditions to ensure proper engineering of the ground mount foundations. We have completed a property survey to ensure compliance with lot size and setback requirements. Our system should not exceed the height and setbacks limitations dictated by the code. Ecogy will comply with all other requirements as outlined in the Yorktown Solar Code as shown on the site plan, equipment specification sheets, operation and maintenance plan, and decommissioning plan provided with this application.

Ecogy thanks you for your consideration of the proposed YRNC Ground Mount Solar Project and hopes to receive all Town approvals as required by the Yorktown Solar Code to be permitted to construct the ground mounted solar energy project at 2300 Catherine Street.

Ecogy YRNC Ground Mount Solar Project Operation and Maintenance Plan

Ecogy Energy will partner with a dedicated Operations and Maintenance provider ("Contractor") for the below services throughout the life of the ground mounted solar system. Ecogy can submit information about the Operations and Maintenance Contractor to the Town for the record once a contract has been signed with a provider.

Description of System Services that Contractor will provide on a MONTHLY basis:

- I. Performance Monitoring:
 - A. Contractor shall monitor System production beginning on Commencement Date continuously throughout the Term and shall provide a System performance report on a monthly basis, detailing the following:
 1. Actual vs. expected performance of the System for the prior period expressed in kWh
 2. Any shortfall in System production resulting in less than 85% of expected performance

Description of System Services that Contractor will provide on a SEMI-ANNUAL basis:

- I. Site and System Inspection:
 - A. Contractor shall perform Site and System inspection on or around a mutually agreed upon date no later than six months after Commencement Date and then on a semi-annual basis thereafter. Results of inspection will be provided to Customer within five business days of inspection and shall include:
 1. Array Inspection
 - a) Inspect PV modules for damage, discoloration or delamination
 - b) Inspect mounting system for damage or corrosion
 2. Site Conditions
 - a) Inspect drainage conditions
 - b) Inspect system site for array shading which may diminish efficiency of the System (i.e. vegetation, construction, etc.)
 - c) Inspect System for fire hazards
 - d) Inspect safety conditions and proper signage
 3. Maintenance Reporting
 - a) Record results of all inspections
 - b) Take photographs of any damage or defects identified
 - c) Inform Customer and warranty providers of all deficiencies identified
 - d) Provide Customer with recommendations for corrective actions
 - e) Take photographs of the System and Site, dated within 30 days of end of semi-annual period

Description of System Services that Contractor will provide on an ANNUAL basis:

- I. Performance Monitoring:
 - A. Contractor will provide, on or around the first anniversary of the Contract and annually thereafter, an annual operations and maintenance report, such report to include:

1. Actual vs. expected production of solar energy by System for the previous year and on a cumulative basis to date, expressed in kWh
 2. System Availability percentage
 3. Performance Index Measure
 4. Operation and Maintenance Records
 5. Safety, Accidents and Environmental Reporting
 6. Proposal of Recommended Actions
 7. Photographs of the System and Premises, dated within 30 days of anniversary period.
- B. Preventative Maintenance, Inspections & Testing:
1. Array
 - a) Inspect PV modules for damage, discoloration or delamination
 - b) Inspect mounting system for damage or corrosion
 2. Inverter
 - a) Torque checks on critical electrical terminations
 - b) Clean all filters and fans
 - c) Inspect inverter pad and container
 3. Electrical Balance of System (BOS)
 - a) Inspect ground braids, electrodes and conductors for damage
 - b) Perform thermo-graphic analysis of combiner boxes, inverters, transformers, and conductor connections to buses, breakers or disconnects
 4. Premises Conditions
 - a) Inspect drainage conditions
 - b) Inspect site for array shading which may diminish efficiency of the System (i.e. vegetation, construction, etc.)
 - c) Inspect System for fire hazards
 - d) Inspect safety conditions and proper signage
 5. Maintenance Reporting
 - a) Record results of all inspections
 - b) Take photographs of any damage or defects identified
 - c) Inform Customer and warranty providers of all deficiencies identified
 - d) Provide Customer with recommendations for corrective actions

Description of System Services that Contractor will provide on an AS-NEEDED basis at an additional cost:

- I. Corrective Maintenance, including:
 - A. Module cleaning, to include surface washing of all modules with pressure washing settings not to exceed 1,500 PSI. Contractor will provide before and after photographs of System.
 - B. On-site troubleshooting & diagnostics of all system components (service included at no additional cost for systems under Contractor Warranty)
 - C. Inverter and Data Acquisition System resets: (service included at no additional cost for systems under Contractor Warranty):
 1. Remote resets (if capability enabled and connection available)

2. On-site resets

- D. Processing of warranty claims on behalf of Customer and verification of replaced equipment (service included at no additional cost for systems under Contractor Warranty)
- E. Management of repair and replacement for equipment out of warranty (service included at no additional cost for systems under Contractor Warranty).
- F. Ongoing warranty support and representation of Customer's interest with System equipment manufacturers (service included at no additional cost for systems under Contractor Warranty).
- G. All repair and replacement services beyond the installation and workmanship warranty as outlined in Section 3.1.
- H. Repair and replacement of equipment covered by the Manufacturer's warranties as listed in Attachment D.

If the system is performing at or above 100% of the expected system production for the prior six month period, Contractor may elect to forgo the scheduled semi-annual site inspection, maintenance and testing.

Ecogy YRNC Ground Mount Solar Project Decommissioning Plan

1. Executive Summary:

As stated in the Yorktown Solar Code, a decommissioning plan for the solar energy system shall be submitted by the applicant. Below is a full report of Ecogy's decommissioning plan for the YRNC Ground Mount Solar Project, including costs and timeline.

This report includes an analysis of the estimated decommissioning costs broken down by system components, as well as a description of the associated time required to perform the decommissioning tasks. In addition, we describe each component's salvage value, the time required to decommission and remove the solar energy system and any ancillary structures, and the time required to repair any damage caused to the property on which the solar energy system is located by the removal of the system. Future costs projected in the model escalate 2% annually due to estimated inflation over the next 25 years.

2. Methodology

Throughout this report, assumptions are based on current market values, assessments of labor costs, and our professional development experience. Table 1 below shows the proposed ground mounted solar system's technical specifications as submitted with this application.

2.1 Proposed PV System Details

Table 1. YRNC Ground Mount Solar Project Technical Details

Proposed Solar System Technical Details	
AC System Size	259.8 kW AC
Racking Type	Ground Mounted

2.2 Solar PV Decommissioning Tasks and Costs

Through Ecogy's 10 years of experience and additional research, we have created a list of solar system equipment and its associated decommissioning tasks and timelines. This list forms the basis of Ecogy's decommissioning plan and outlines the steps Ecogy would take to remove the solar canopies from the property. The equipment and steps are as follows:

1. Modules: The modules' frame and surface would be mechanically separated. The glass and aluminum frames would be sold as recycled material.
2. Inverters: Inverters would be properly disposed of at an electronic waste facility.
3. Racking: Racking would be consolidated and sold as recycled scrap steel.
4. Wiring: All wiring would be disconnected and sold as recycled insulated cable.
5. Foundations: Foundations would be broken up on site and either removed or recycled as ABC material. Remediation on site would be limited to re-paving portions of the parking lot disrupted by the foundations since no vegetation currently exists on those portions of the lot.
6. Power Poles: Grid connection wiring and utility owned transformer would be removed or kept

depending on preference of the landowner.

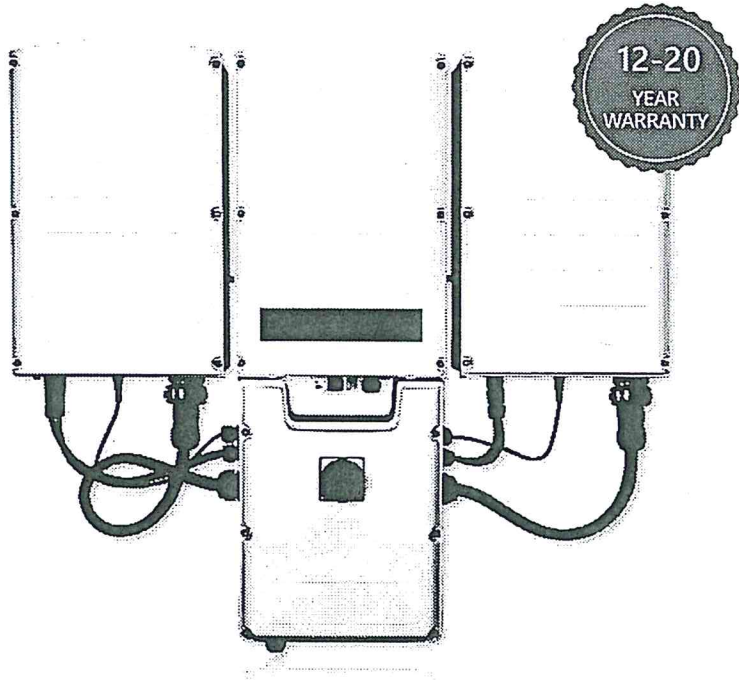
To estimate the associated costs for major tasks needed to decommission a PV system, Ecogy used the NYSERDA "*Decommissioning Solar Panel Systems; Information for local governments and landowners on the decommissioning of large-scale solar panel systems - 2016*", which provides estimates of potential decommissioning costs for a ground-mounted 2,000 kW solar panel system. The costs were scaled to reflect the smaller size of our proposed 259.8 kW AC system. It is estimated that many components could be salvaged to offset the labor cost.

Ecogy analyzed the decommissioning costs and salvage values with a 2% escalator over the lifetime of the solar system of 25 years. Ecogy has determined decommissioning costs to be approximately **\$14,654.03** but a **\$9,843.64** salvage value would offset this cost. Lastly, decommissioning would take approximately **10 weeks**.

Three Phase Inverter with Synergy Technology

for the 208V Grid for North America

SE43.2KUS



INVERTERS

Specifically designed to work with power optimizers

- Easy two-person installation – each unit mounted separately, equipped with cables for simple connection between units
- Balance of System and labor reduction compared to using multiple smaller string inverters
- Independent operation of each unit enables higher uptime and easy serviceability
- No wasted ground area: wall/rail mounted, or horizontally mounted under the modules (10° inclination)
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- Fixed voltage inverter for superior efficiency (97%) and longer strings
- Integrated DC Safety Switch
- Built-in RS485 Surge Protection, to better withstand lightning events
- Built-in module-level monitoring with Ethernet or cellular GSM

Three Phase Inverter with Synergy Technology

for the 208V Grid for North America

SE43.2KUS

SE43.2KUS

OUTPUT

Rated AC Power Output	43200	VA
Maximum AC Power Output	43200	VA
AC Output Line Connections	4-wire WYE (L1-L2-L3-N) plus PE or 3 wire Delta	
AC Output Voltage Minimum-Nominal-Maximum ⁽¹⁾ (L-N)	105-120-132.5	Vac
AC Output Voltage Minimum-Nominal-Maximum ⁽¹⁾ (L-L)	183-208-229	Vac
AC Frequency Min-Nom-Max ⁽¹⁾	59.3 - 60 - 60.5	Hz
Maximum Continuous Output Current (per Phase) @208V	120	A
GFDI Threshold	1	A
Utility Monitoring, Islanding Protection, Configurable Power Factor, Country Configurable Thresholds	Yes	

INPUT

Maximum DC Power (Module STC), Inverter / Unit	58200 / 19400	W
Transformer-less, Ungrounded	Yes	
Maximum Input Voltage DC to Gnd	300	Vdc
Maximum Input Voltage DC+ to DC-	600	Vdc
Nominal Input Voltage DC to Gnd	200	Vdc
Nominal Input Voltage DC+ to DC-	400	Vdc
Maximum Input Current	38 x 3	Adc
Maximum Input Short Circuit Current	135	Adc
Reverse-Polarity Protection	Yes	
Ground-Fault Isolation Detection	350kΩ Sensitivity per Unit	
CEC Weighted Efficiency	97	%
Nighttime Power Consumption	< 12	W

ADDITIONAL FEATURES

Supported Communication Interfaces	RS485, Ethernet, Cellular GSM (optional)	
Rapid Shutdown	NEC2014 and NEC2017 compliant/certified, upon AC Grid Disconnect	
RS485 Surge Protection	Built-in	

DC SAFETY SWITCH

DC Disconnect	1000V / 3 x 40A	
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STANDARD COMPLIANCE

Safety	UL1741, UL1741 SA, UL1699B, UL1998, CSA 2.22	
Grid Connection Standards	IEEE 1547, Rule 21, Rule 14 (HI)	
Emissions	FCC part15 class A	

INSTALLATION SPECIFICATIONS

Number of units	3	
AC Output Conduit Size / Max AWG / Max PE AWG	2" / 4/0 / 4	
DC Output Conduit Size / Terminal Block AWG Range / Number of Strings ⁽²⁾	2 x 1.25" / 6-14 / 9 strings	
Dimensions (H x W x D)	Primary Unit: 37 x 12.5 x 10.5 / 940 x 315 x 260; Secondary Unit: 21 x 12.5 x 10.5 / 540 x 315 x 260	in / mm
Weight	Primary Unit: 105.8 / 48; Secondary Unit 99.2 / 45	lb / kg
Operating Temperature Range	-40 to +140 / -40 to +60 ⁽³⁾	°F / °C
Cooling	Fan (user replaceable)	
Noise	< 60	dBA
Protection Rating	NEMA 3R	
Mounting	Bracket provided	

(1) For other regional settings please contact SolarEdge support

(2) Single input option per unit (up to 3AWG) available

(3) For power de-rating information refer to: <https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf>

STORMWATER REPORT

**Yorktown RNC Ground Mount
2300 Catherine Street
Yorktown, NY 10598**

August 11, 2021



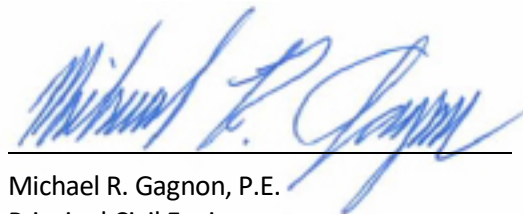
Yorktown RNC Ground Mount

2300 Catherine Street
Yorktown, NY 10598

Prepared for:
Ecogy Energy
315 Flatbush Avenue, #393
Brooklyn, New York 11217

Prepared by:
SLR Engineering, Landscape Architecture, and Land Surveying, P.C. (SLR)
231 Main Street, Suite 102
New Paltz, New York 12561

This document has been prepared by SLR. The material and data in this report were prepared under the supervision and direction of the undersigned.



Michael R. Gagnon, P.E.
Principal Civil Engineer

CONTENTS

- 1. Site Description 3**
 - 1.1 Overview 3
 - 1.2 Existing Conditions 3
 - 1.3 Proposed Conditions 3
- 2. Hydrologic Analysis 5**
 - 2.1 Methodology 5
 - 2.2 Results 6

TABLES

Table 2-1 Peak-Flow Rates

FIGURES

Figure 1 USGS Location Map

APPENDIX

Watershed Maps

1. SITE DESCRIPTION

1.1 OVERVIEW

Ecogy Energy has retained SLR Engineering, Landscape Architecture, and Land Surveying, P.C. (SLR) for professional engineering services for the stormwater management design and permitting for the proposed ground mount photovoltaic (PV) solar facility located at 2300 Catherine Street in Yorktown, New York.

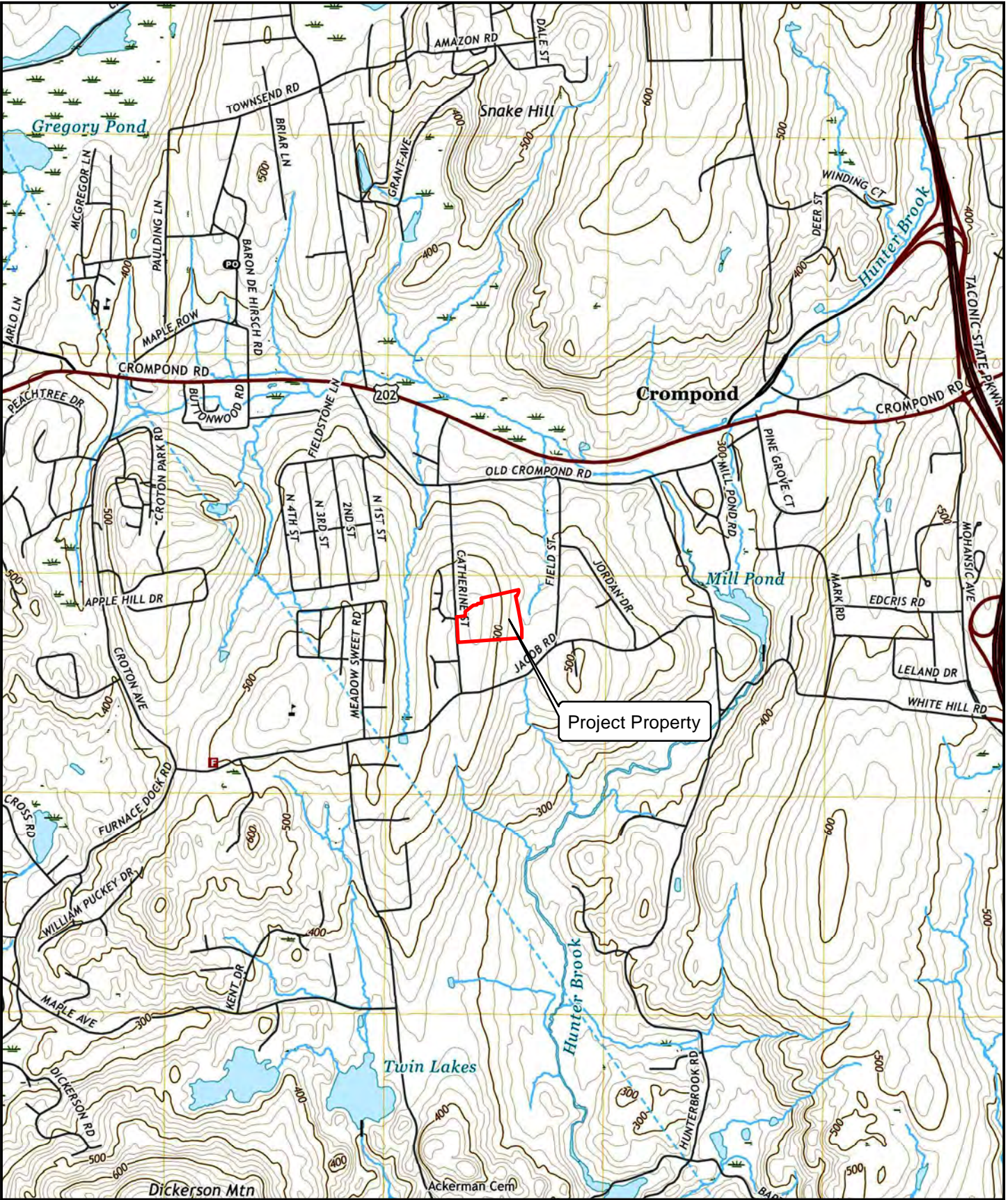
1.2 EXISTING CONDITIONS

The existing ±12.8-acre site is located at 2300 Catherine Street in Yorktown, New York. The property is identified as parcel 35.12-1-3 and is zoned as Continuous Care (RSP-3). The property is accessed at the west from Catherine Street. The site primarily consists of a rehabilitation and nursing center and a parking area on the west and central portions of the site, a grass lawn area, and a wooded area on the eastern side of the site. The building and parking area drain to a series of catch basins located throughout the parking lot. Stormwater runoff from the west side of the site drains towards Catherine Street, and the east side of the site behind the building drains towards the wooded area on the eastern side of the site. Topography is mild in the central developed region of the site and is steeper in the grass and wooded areas. There are no known wetland areas within the project vicinity.

1.3 PROPOSED CONDITIONS

Ecogy Energy intends to construct an approximately 0.8-acre ground mount PV solar facility on the property located at 2300 Catherine Street in Yorktown, New York. The solar facility will be located on the open grass area along the east side of the building, between the rear driveway and the eastern wooded area. The proposed project consists of ground-mounted PV solar panel arrays supported by galvanized steel brackets above grade to facilitate the required vertical angle and southerly exposure of the PV panels. A chain link security fence will enclose the entire compound. Approximately 0.35 acre will be disturbed as a result of panel and equipment pad installation. The proposed layout is shown on the attached plansheets.

Existing site drainage patterns are maintained under proposed conditions. Proposed stormwater best management practices (BMPs) utilize nonstructural practices such as natural stormwater conveyances present under existing conditions, and the disconnection of impervious runoff from the PV solar panels. Runoff from the elevated PV solar arrays will drain directly onto the grass below where it can soak into and filter over the grass area.



Project Property



231 MAIN STREET
 SUITE 102
 NEW PALTZ, NY 12561
 845.633.8153

USGS SITE LOCATION MAP

YORKTOWN RNC GROUND MOUNT
 ECOGY ENERGY
 2300 CATHERINE STREET
 YORKTOWN, NEW YORK



0 500 1,000 1,500 2,000
 Feet

SCALE 1" = 2,000'

DATE 8/10/2021

17054.00018
PROJ. NO.

FIG. 1

2. HYDROLOGIC ANALYSIS

2.1 METHODOLOGY

A hydrologic analysis was conducted to analyze predevelopment versus postdevelopment peak-flow rates from the project site. In order to analyze the peak rates of runoff from the site, an analysis point was chosen on the east side of the site. Runoff analysis points are chosen based on drainage patterns that drain toward similar points for existing and proposed conditions.

A watershed area encompassing the project site was used to determine the peak-flow rates based on topography and drainage patterns to develop the existing conditions hydrology model. A similar drainage area was used for the proposed conditions model and was modified to reflect the proposed land cover.

Peak flows were determined using the Natural Resources Conservation Service (NRCS) hydrologic method. The *HydroCAD* computer program was used to conduct watershed modeling. The *HydroCAD* computer program forecasts the rate of surface water runoff and runoff volume based upon several factors. The input data includes information on land use, hydrologic soil group, vegetative cover, contributing watershed area, time of concentration, rainfall data, storage volumes, and the hydraulic capacity of structures. The computer model predicts the amount of runoff as a function of time with the ability to include the attenuation effect due to natural storage effects. The input data for rainfall events with statistical recurrence frequencies of 1, 2, 10, 25, 50 and 100-years was obtained from the Hydrometeorological Design Studies Center of the National Oceanic and Atmospheric Administration (NOAA) National Weather Service (NWS). It released updated precipitation frequency estimates for the northeastern states, including New York, on September 30, 2015, and revised in 2019. The precipitation frequency estimates are published in NOAA Atlas 14, Volume 10: *Precipitation-Frequency Atlas of the United States, Northeastern States*. The NOAA Atlas 14 precipitation frequency estimates supersede the estimates published in NWS HDYRO-35 (1977), Technical Paper No. 40 (1961), Technical Paper No. 49 (1964), and General Memorandum No. 14-04 "Interim 24-hour Precipitation Rates". For analysis in Westchester County, New York, the Type III rainfall pattern with a 24-hour duration is appropriate.

Land use and coverage for the analysis under existing and proposed conditions were determined from project base mapping, review of orthophotos of the project area, and past use of the site. Land use types used in the analysis include pavement, building, woods, and open space. Soil types in the watershed were obtained from the NRCS Web Soil Survey for Westchester County, New York. For this analysis, the study area was determined to be hydrologic soil group "C".

2.2 RESULTS

Peak rates of runoff were obtained from the hydrologic model results at the analysis points (AP) as shown in the following table.

TABLE 2-1
Peak-Flow Rates

	1-Year	2-Year	10-Year	25-Year	50-Year	100-Year
Existing	2.00	3.10	6.87	9.38	11.29	13.36
Proposed	2.28	3.43	7.30	9.85	11.77	13.84
Change	0.28	0.33	0.43	0.47	0.48	0.48

The results of the hydrologic analysis show a slight increase in peak flow for the storm events. Increase in peak flow is mainly attributed to the installation of the PV solar panels and equipment pads. PV solar panel arrays were analyzed as unconnected impervious areas that allow runoff from each individual panel array to contact the ground directly below and dissipate over the surrounding grass surface.

APPENDIX

WATERSHED MAPS

**Yorktown RNC Ground Mount
2300 Catherine Street
Yorktown, NY 10598**

Ecogy Energy
315 Flatbush Avenue, #393
Brooklyn, New York 11217

August 11, 2021



NO.	DESCRIPTION

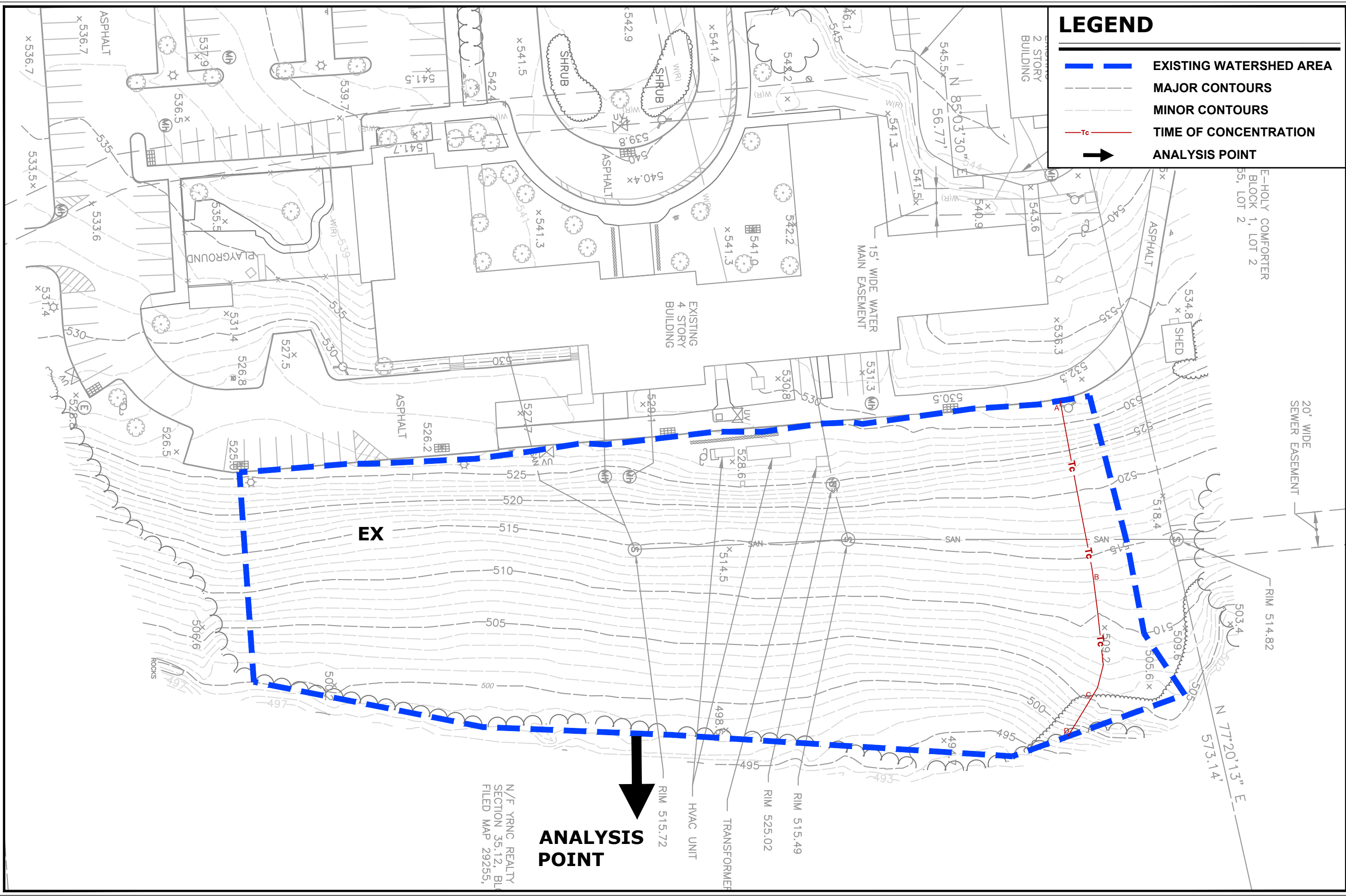
WATERSHED MAP - EXISTING CONDITIONS
 YORKTOWN RNC GROUND MOUND
 2300 CATHERINE STREET
 YORKTOWN, NEW YORK

HMM DESIGNED	HMM DRAWN	MRG CHECKED
SCALE: 1"=50'		
DATE: AUGUST 10, 2021		
PROJECT NO: 17054.00018		

EX

LEGEND

- EXISTING WATERSHED AREA
- MAJOR CONTOURS
- MINOR CONTOURS
- TIME OF CONCENTRATION
- ANALYSIS POINT



ANALYSIS POINT

N/F YRNC REALTY
 SECTION 35.12, BL
 FILED MAP 29255,



SLR
 231 MAIN STREET, SUITE 102
 NEW PALM, NY 12561
 SLRCONSULTING.COM

NO.	DESCRIPTION	DATE

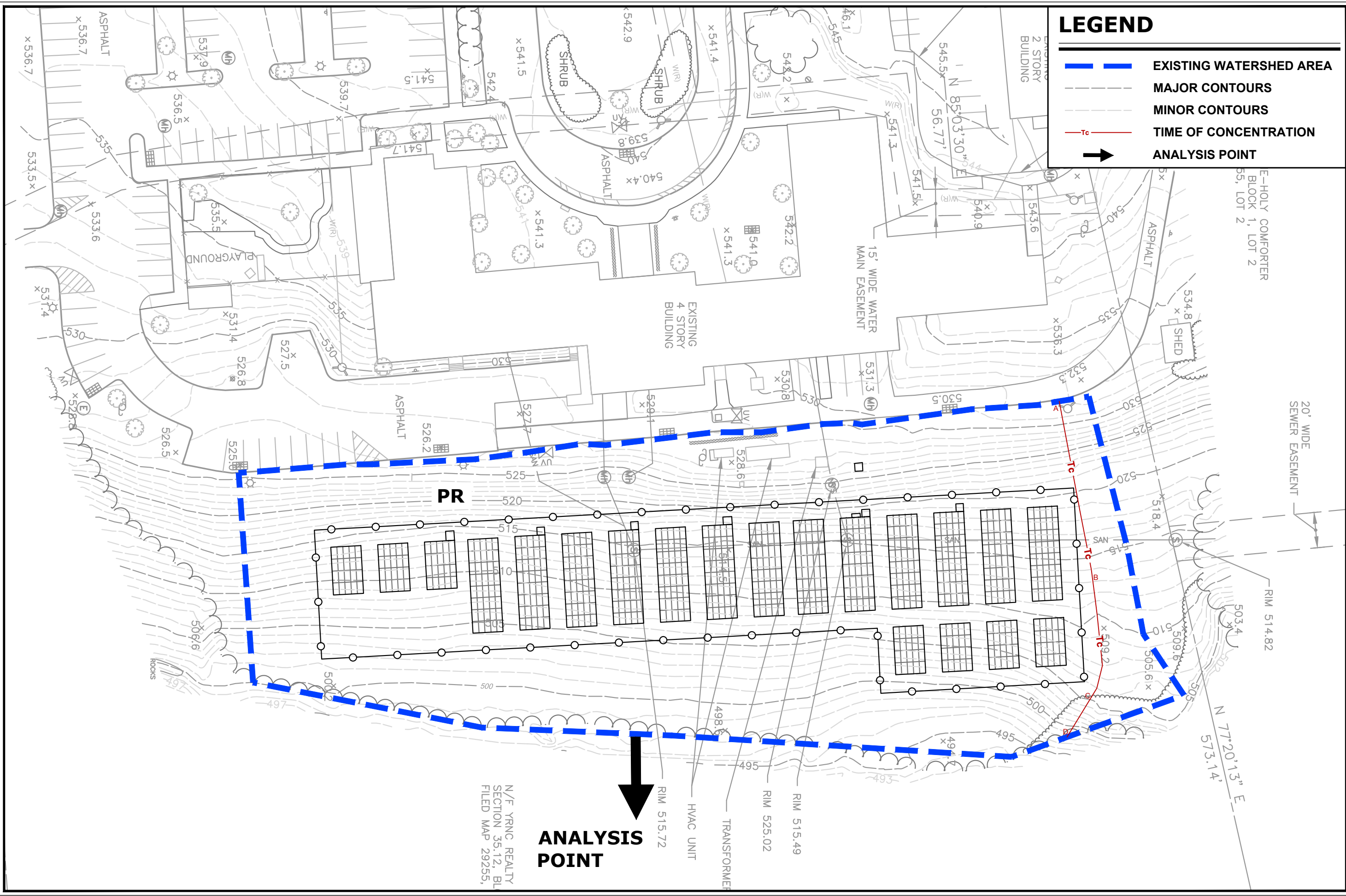
WATERSHED MAP - PROPOSED CONDITIONS
 YORKTOWN RNC GROUND MOUND LN
 2300 CATHERINE STREET
 YORKTOWN, NEW YORK

HMM DESIGNED	HMM DRAWN	MRG CHECKED
SCALE: 1"=50'		
DATE: AUGUST 10, 2021		
PROJECT NO: 17054.00018		

PR

LEGEND

- EXISTING WATERSHED AREA
- MAJOR CONTOURS
- MINOR CONTOURS
- TIME OF CONCENTRATION
- ➔ ANALYSIS POINT



ANALYSIS POINT

N/F YRNC REALTY
 SECTION 35.12, BL
 FILED MAP 29255,

YORKTOWN RNC GROUND MOUNT SOLAR

283.8 KW-DC SOLAR PV SYSTEM
2300 CATHERINE STREET
YORKTOWN, NY 10598



ECOGY ENERGY

ECOGY ENERGY
315 FLATBUSH AVENUE #393
BROOKLYN, NY 11217
assetmanagement@ecogyenergy.com
(718)-304-0945

ECOGY NY XII LLC

Project Name:
**YORKTOWN RNC
283.8 KW-DC PV SYSTEM
GROUND MOUNT**

Project Site:
**2300 CATHERINE STREET
YORKTOWN, NY 10598**

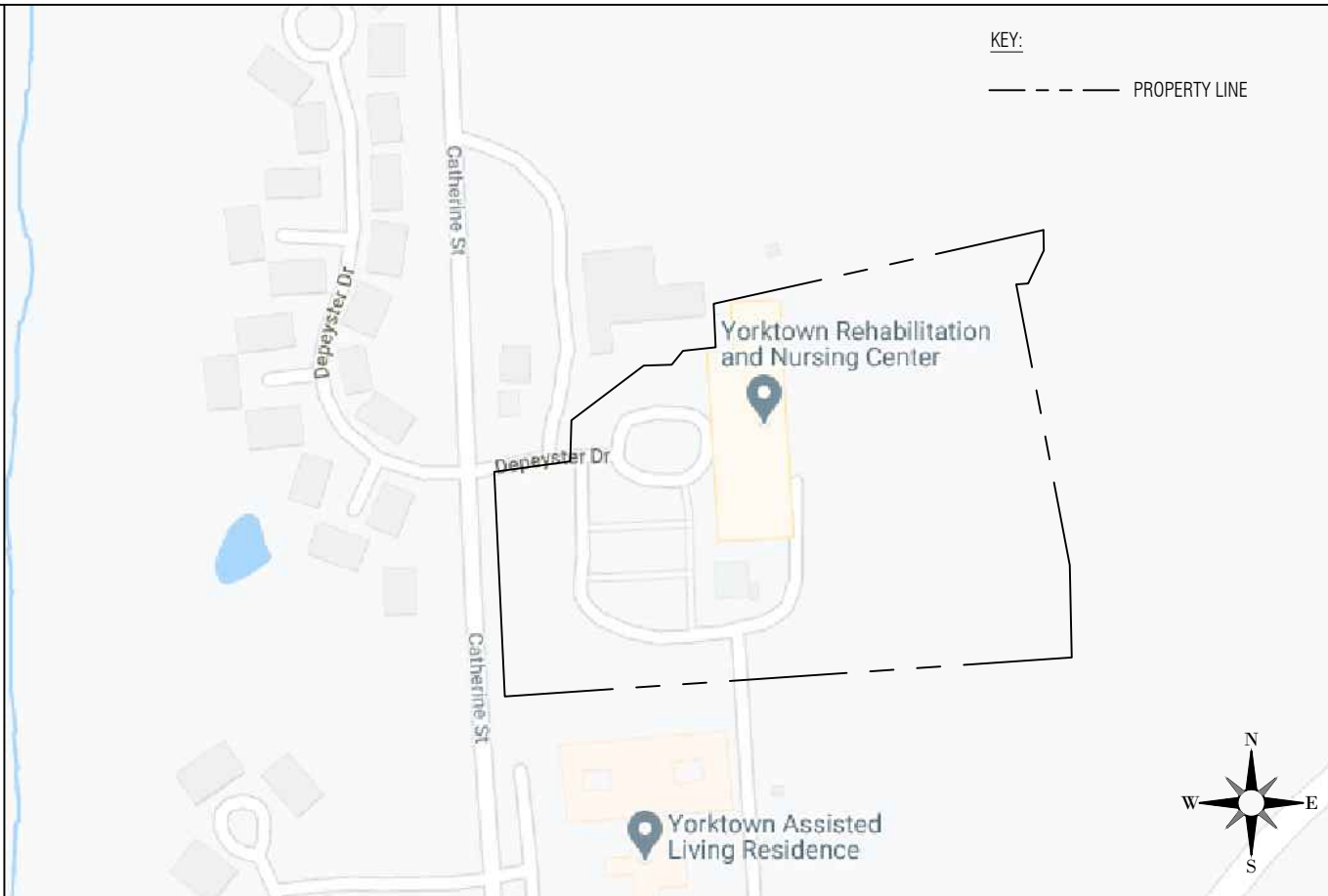
Account No: xxxxx
New Service Case #: xxxxx

LOCATION MAP

SCALE: NTS

KEY:

----- PROPERTY LINE



SATELLITE MAP

SCALE: NTS



SCOPE OF WORK:

TO INSTALL A SOLAR PHOTOVOLTAIC (PV) SYSTEM LOCATED ON THE GROUND WITH THE POWER GENERATED BY THE PV SYSTEM WILL BE INTERCONNECTED WITH THE UTILITY GRID.

THE PV SYSTEM DOES NOT INCLUDE STORAGE BATTERIES.

SYSTEM SUMMARY:

283.8 kW DC / 259.8 kW-AC
TILT ANGLE = 20°
AZIMUTH = 178°

EQUIPMENT:

MODULES:
628 - LONGI 445W
INVERTERS:
(6) - SOLAREEDGE SE43.3 K-US INVERTERS
RACKING:
T.B.D.
DAS:
ECOGY ECONODE

SITE SPECIFICATIONS:

WIND EXPOSURE:
CATEGORY X
DESIGN WIND SPEED:
XXX
GROUND SNOW LOAD:
XXX PSF
BUILDING OCCUPANCY:
XXX

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp

SHEET NAME:

TITLE SHEET

PROJECT NUMBER: XXXX	DRAWN BY: DQP	CHECKED BY: ---
DATE: 06/25/2021	DWG. NUMBER: G-001	
SHEET NUMBER: - of -		

DRAWING LIST

DWG. NO.	DRAWING TITLE
G-001	TITLE SHEET
PV-100	SITE PLAN
PV-200	GROUND MOUNT ELEVATION
L-100	TREE WORK PLAN

REVIEW PLAN SET
ISSUE DATE: 09/22/2021



ECOGY ENERGY

ECOgy ENERGY
315 FLATBUSH AVENUE #393
BROOKLYN, NY 11217
assetmanagement@ecogyenergy.com
(718)-304-0945

ECOgy NY XII LLC

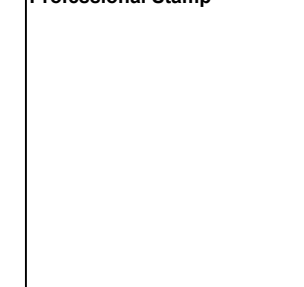
Project Name:
**YORKTOWN RNC
283.8 kW-DC PV SYSTEM
GROUND MOUNT**

Project Site:
**2300 CATHERINE STREET
YORKTOWN, NY 10598**

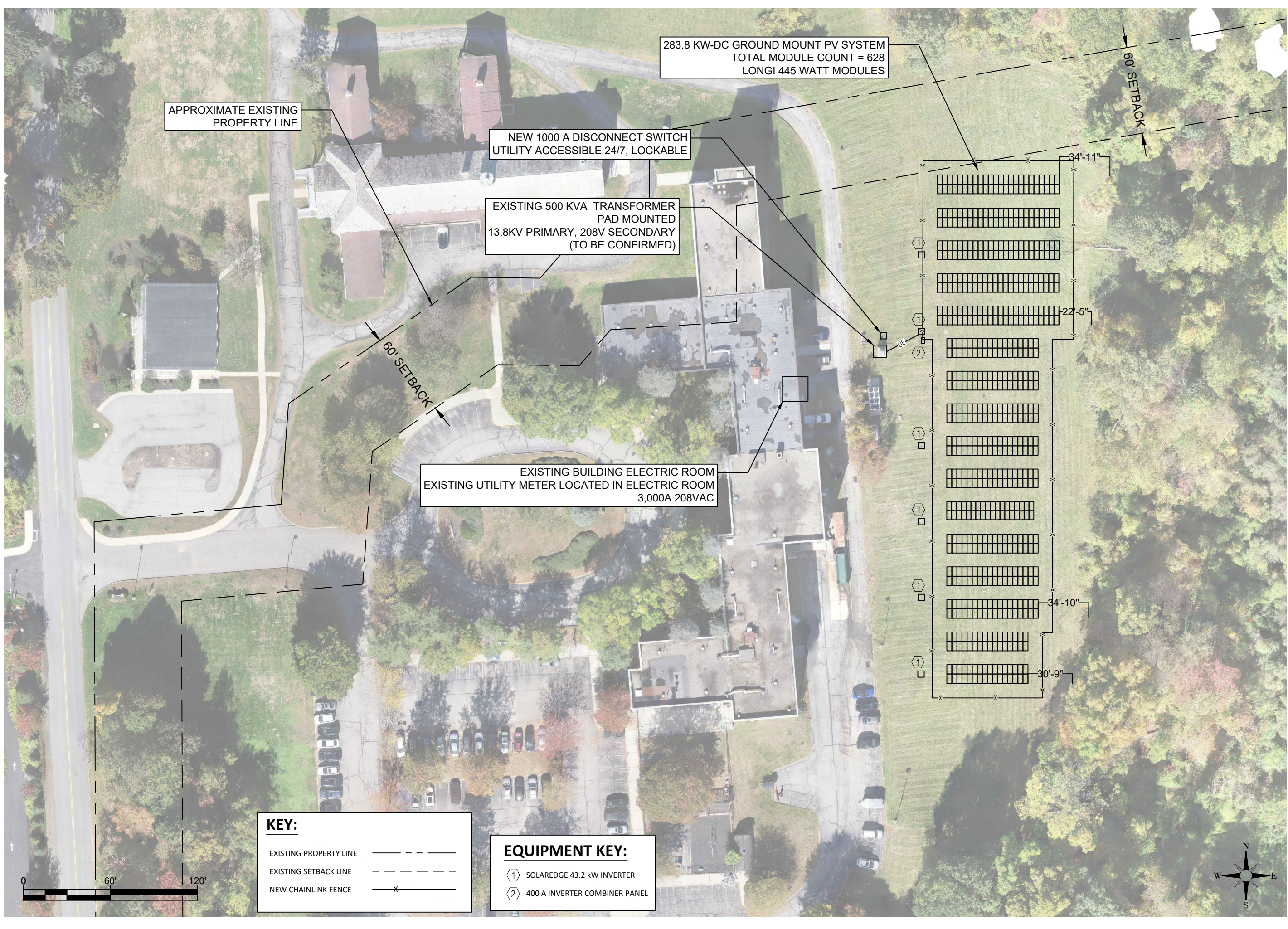
Account No: xxxxx
New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp



SHEET NAME: SITE MAP		
PROJECT NUMBER: XXXX	DRAWN BY:	CHECKED BY:
DATE: 11/16/2020	DWG. NUMBER: PV-100	
SHEET NUMBER: - of -		



APPROXIMATE EXISTING PROPERTY LINE

NEW 1000 A DISCONNECT SWITCH
UTILITY ACCESSIBLE 24/7, LOCKABLE

EXISTING 500 KVA TRANSFORMER
PAD MOUNTED
13.8KV PRIMARY, 208V SECONDARY
(TO BE CONFIRMED)

EXISTING BUILDING ELECTRIC ROOM
EXISTING UTILITY METER LOCATED IN ELECTRIC ROOM
3,000A 208VAC

283.8 kW-DC GROUND MOUNT PV SYSTEM
TOTAL MODULE COUNT = 628
LONGI 445 WATT MODULES

KEY:

EXISTING PROPERTY LINE ————

EXISTING SETBACK LINE - - - - -

NEW CHAINLINK FENCE — x ————

EQUIPMENT KEY:

(1) SOLAREEDGE 43.2 kW INVERTER

(2) 400 A INVERTER COMBINER PANEL



ECOGY ENERGY
 315 FLATBUSH AVENUE #393
 BROOKLYN, NY 11217
 assetmanagement@ecogyenergy.com
 (718)-304-0945

ECOGY NY XII LLC

Project Name:
**YORKTOWN RNC
 283.8 kW-DC PV SYSTEM
 GROUND MOUNT**

Project Site:
**2300 CATHERINE STREET
 YORKTOWN, NY 10598**

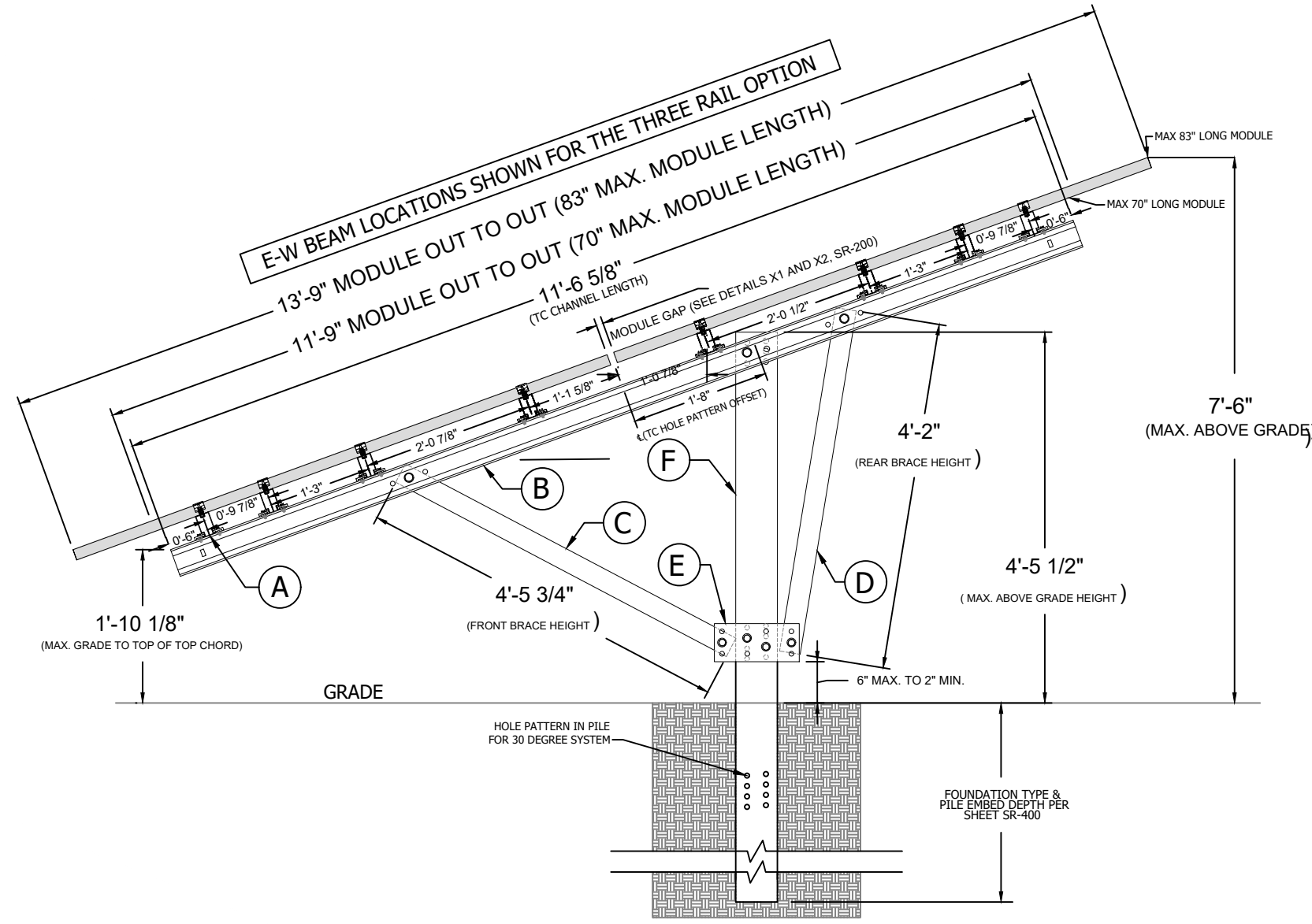
Account No: xxxxx
 New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp

SHEET NAME:
**GROUND MOUNT
 ELEVATION**



PROJECT NUMBER: XXXX	DRAWN BY:	CHECKED BY:
DATE: 06/25/2021	DWG. NUMBER:	
SHEET NUMBER: - of -	PV-200	



SECTION VIEW OF GFT TABLE - 20° TILT

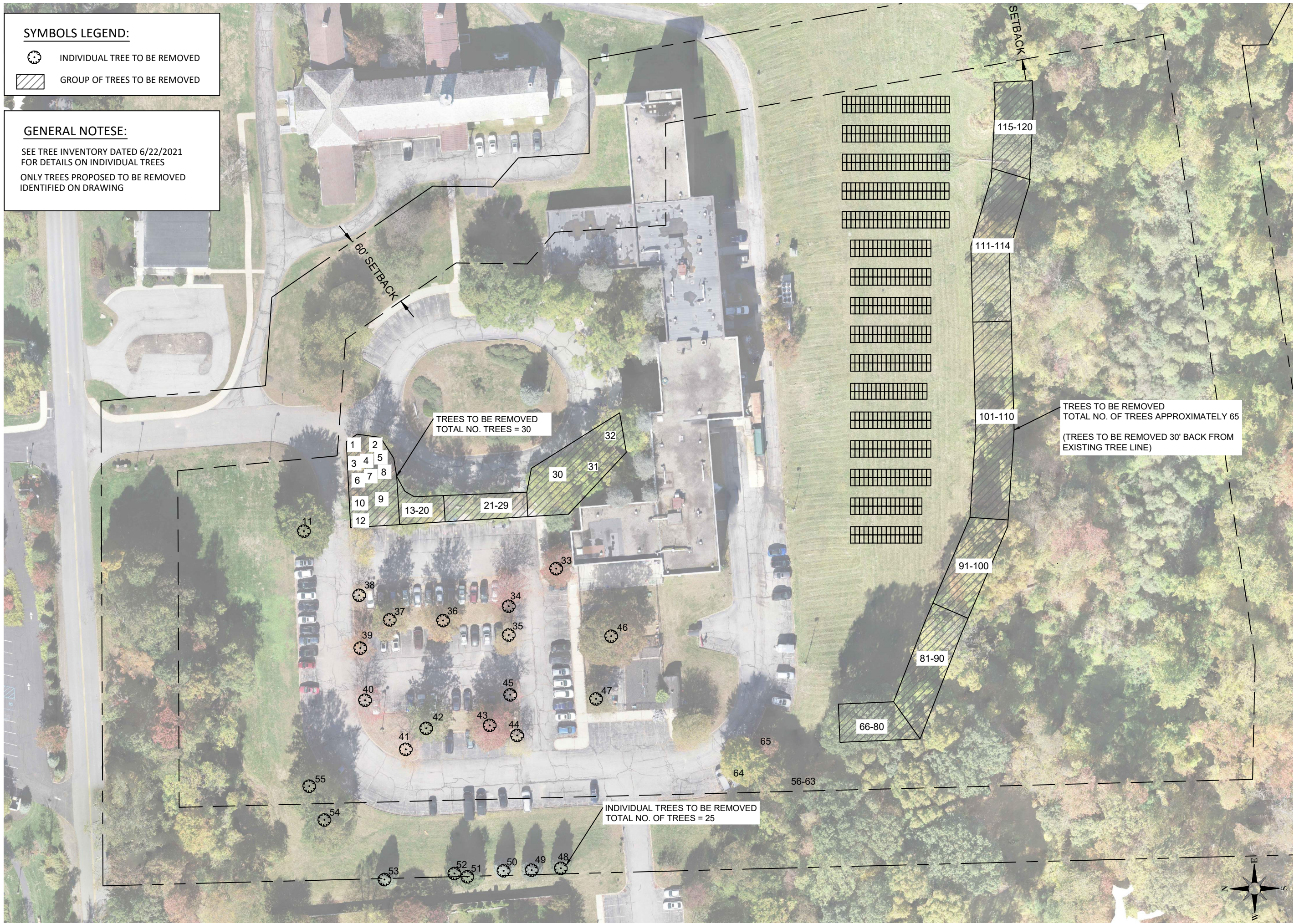
NOTE:
 1. GROUND MOUNT ARRAY MAX. HEIGHT ABOVE GRADE 7'-6\"

SYMBOLS LEGEND:

-  INDIVIDUAL TREE TO BE REMOVED
-  GROUP OF TREES TO BE REMOVED

GENERAL NOTESE:

SEE TREE INVENTORY DATED 6/22/2021 FOR DETAILS ON INDIVIDUAL TREES
 ONLY TREES PROPOSED TO BE REMOVED IDENTIFIED ON DRAWING



ECOGY ENERGY
 315 FLATBUSH AVENUE #393
 BROOKLYN, NY 11217
 assetmanagement@ecogyenergy.com
 (718)-304-0945

ECOGY NY XII LLC

Project Name:
**YORKTOWN RNC
 283.8 kW-DC PV SYSTEM
 GROUND MOUNT**

Project Site:
**2300 CATHERINE STREET
 YORKTOWN, NY 10598**

Account No: xxxxx
 New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp

Professional Stamp area with lines for signature and title.

SHEET NAME:
TREE WORK PLAN

PROJECT NUMBER: XXXX	DRAWN BY: SCG	CHECKED BY: ---
DATE: 11/16/2020	DWG. NUMBER: L-100	
SHEET NUMBER: - of -		

JUL 26 2021

TOWN OF YORKTOWN

11 N. Beverwyck Road
Lake Hiawatha, New Jersey 07034
v. 973.276.0599
f. 973.276.9616
w. www.paulcowieandassociates.com
e. pcowie@paulcowieandassociates.com

June 22, 2021

Shelby Hang
Ecogy Energy
315 Flatbush Avenue #393
Brooklyn, NY 11217

**Re: Yorktown Rehabilitation and Nursing Center, Yorktown, NY
Tree Inventory and Evaluation Results**

Dear Shelby:

As requested, Paul Cowie + Associates (PC+A) inventoried and evaluated the condition of existing trees at 2300 Catherine Street on June 7, 9, and 16, 2021.

The goals of this study were to:

1. Identify, measure, and evaluate the current health and structural condition of existing 'Protected Trees' within the designated tree removal areas;
2. Calculate carbon storage and sequestration benefits provided by these inventoried trees;
3. Compile a list of tree species suitable and recommended for mitigation plantings based on a review of current species performance, existing site conditions, Town preferences, and other relevant factors.

The data collected and the recommendations made for each inventoried tree are presented in the attached spreadsheet. The following is an explanation of the data parameters included and an overview of our general finding and recommendations.

Tree Included

This tree inventory and evaluation was limited to trees within the proposed tree removal areas, as indicated on the attached aerial image. Tree stumps, standing dead tree trunks less than 15-feet in height, shrubs, vines, and other vegetation within these areas were not inventoried and evaluated. No other trees in any other portions of the property, or on adjacent properties, were inventoried and evaluated.

Within the designated tree removal areas, trees were included based on whether they met the definition of a 'Protected Tree,' as per Chapter 270 of the Yorktown Town Code, *Trees*. Specifically, trees rooted on the subject private property were included if they possessed at least one stem measuring at least 8.0-inches in diameter (DBH). 'Street Trees' (defined by Town Code as trees with their base at least 50-percent within the public right-of-way) were included regardless of size.

A temporary aluminum tag hand-embossed with the corresponding tree ID number (#1 - #120) was attached to each inventoried tree. The approximate location of each tree, or number series, is indicated on the attached aerial image map; we did not attempt to precisely plot every individual tree in densely treed areas.

A total of 120 standing trees were individually inventoried and evaluated. The following describes the various data collected and presented in the attached tables.

Tree Species + Exotic Invasive Status

Each tree is identified in the attached data table by both its regionally accepted common name and its botanical name.

The invasive status of each species is indicated based on species index information published by the Lower Hudson Partnership for Regional Invasive Species Management and accessed via <https://www.lhprism.org/species-information> on February 26, 2021. Twenty-two of the inventoried trees (18.3%) are of species classified as invasive.

Tree Size + Age Classification

The diameter of each inventoried tree was measured with a diameter tape to the nearest one-tenth inch at a point 4.5-feet above ground level (DBH), or at the height indicated when branching or abnormal swellings at 4.5-feet would produce an inaccurate measurement.

In the case of multiple-stem trees, the diameter of each stem was measured and recorded, and the root sum squared of the stems ($RSS = \text{SQRT}(D1^2 + D2^2 + D3^2 \dots)$) was calculated to provide a single-stem equivalence for the purpose of determining critical root zone radii.

Total tree height, crown height, and crown width were measured using a Leica Disto D810 Touch laser distance meter.

- Total tree height was measured to the nearest whole foot from the ground to the highest main body foliage.
- Crown height was measured from the ground to the bottom of main body foliage at the outer edge of the crown and/or lowest scaffold branch (whichever came first); individual low hanging small branches were excluded.
- Crown spread was measured as the average spread of the main body drip line; individual small branches extending beyond the main body crown were excluded. For asymmetrical crowns, the crown was either measured 1) by averaging two perpendicular crown diameters or 2) by averaging four crown radii at right angles relative to each other, multiplying by 2, and adding the diameter in feet. Measurements were rounded to the nearest whole foot.

The age class of each individually inventoried tree was recorded based on apparent age relative to the normal life expectancy of the species. Age was classified as 'Young' if the tree had exhausted up to 20% of the species' typical life expectancy, 'Mature' if it had exhausted 20% to 80% of the species' life expectancy, or 'Over-Mature' if it had exhausted more than 80% of the species' life expectancy.

Critical Root Zone (CRZ)

Critical root zone radius (CRZ) is the ground area around a tree which, if fully protected from soil compaction, grade changes, excavation, and other soil and root-damaging impacts, will ensure that tree health and structural integrity will not be compromised by construction activity. This information is provided to assist designers in locating grading, pavement, underground utilities, and other proposed improvements in a manner that minimizes impacts to any trees that may be retained.

Tree Condition

The condition of each inventoried tree was systematically evaluated and rated with consideration given to both the health and vigor and the structural integrity of the root system, primary stems, scaffold branching, small branches and twigs, and foliage.

A rating of 'Good', 'Fair', or 'Poor' was assigned separately to the health and vigor as well as to the structure and form of each inventoried tree. An 'Overall Condition' rating was then assigned, as follows:

- **Good:** The tree had no more than one or two minor health disorders and/or structural defects and was growing with normal vigor;

- *Fair:* The tree had 2 – 4 minor, or one major, health disorders and/or structural defects, and/or was growing with below-normal vigor or other limitations.
- *Poor:* The tree had several minor, or two or more major, health disorders and/or structural defects, and/or was declining in vigor.
- *Dead:* 75% or more of the crown was dead and any remaining live portions were deteriorating in health.

For the purpose of carbon benefits modeling, health and vigor ratings were converted to corresponding percentages (i.e. Good = 75% - 100%, Fair = 50% - 75%, Poor = 25% - 50%, Dead/Dying = 0% - 25%) and percent crown dieback and percent missing crown were recorded.

Please note that inspection of the inventoried trees was limited to visual observations from the ground and did not include climbing, aerial inspections, subsurface exploration, wood strength testing, or other advanced diagnostic techniques, which may be necessary to fully identify and evaluate the severity of certain health disorders and structural defects. Therefore, certain health disorders and/or structural defects may have not been noted or their extent may not have been fully determined.

Observations

The 'Disorders + Defects, Comments, Additional Recommendations' column contains various comments regarding the nature and severity of disorders and defects noted, particularly where they resulted in reduced condition ratings and/or recommendations for tree removal.

Additionally, this column contains additional treatment recommendations not included in the subsequent recommendation columns.

Maintenance Recommendations

It is PC+A's understanding that all existing trees within the designated areas are proposed for removal. Nevertheless, where appropriate, recommendations for pruning to remove dead, dying, damaged, and/or diseased limbs, pruning to improve branch architecture, cabling to reduce the risk of failure at certain branch defects, or other treatments were made based on conditions observed at the time each tree was evaluated.

This information is provided to further characterize the trees' current condition and provide guidance in the event that decisions are made to preserve any of the trees.

Terminology for various pruning types (e.g. 'Clean Crown', 'Raise Crown', 'Reduce Crown', 'Structural prune', etc.) correspond to ANSI A300 *American National Standard for Tree Care Operations*.

Each recommendation was prioritized based on the severity of potential safety risks first (e.g. large dead trees versus small dead trees, trees containing large dead limbs versus small dead branches, etc.) and addressing tree health and appearance second. The priority of each recommendation was ranked as High ('H'), Medium ('M'), or Low ('L'). These recommendations should be implemented in order of decreasing priority.

Tree Removal Recommendations

Definitive recommendations for tree removal were made for trees that were dead, had substantial dieback and/or limited remaining life expectancy, or possessed severe, irreparable structural defects that pose potential safety risks.

It is PC+A's opinion that those trees for which a specific removal recommendation was made should be removed whether or not the project proceeds. Further, it is PC+A's interpretation that those trees satisfy the 'Permit Not Required' exemptions provided in Section 270-5 of the Yorktown Town Code.

At this time, thirteen trees (10.8%) are recommended for removal due to death (4 trees, 3.3%), severely deteriorated and irreparable health or structural condition, and/or limited remaining life expectancy.

Tree Inventory Summary

Count of Protected Trees by Lower Hudson PRISM invasive status and current condition (Viable Trees = trees to be removed for design reasons only; Non-Viable Trees = trees requiring removal regardless of the design because they are dead, dying, diseased, or in an otherwise deteriorated and irreparable health or structural condition and, therefore, exempt from permit requirements.

INVASIVE STATUS	VIABLE TREES TO BE REMOVED	NON-VIABLE TREES REQUIRING REMOVAL DUE TO CONDITION	TOTAL
Invasive	19	3	22
Non-Invasive	88	10	98
TOTAL	107	13	120

Carbon Benefits Estimation via iTree Eco

The *Eco* module of the *iTree* software suite was used to calculate current carbon storage and annual sequestration rates for the inventoried trees. Relevant reports produced by the *iTree Eco* model are attached.

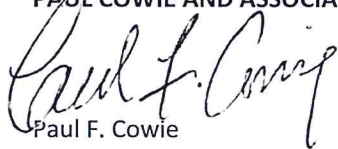
iTree was developed and is under active review and constant improvement by a consortium of industry organizations and experts led by the U.S. Forest Service. It is widely considered to be the current state of the art and is the most widely used tool for calculating the level and value of a variety of ecosystem services that trees provide in urban and rural settings.

iTree Eco requires specific inputs to run its models. PC+A used the following data derived from the measurements described above to run the carbon models:

- Weather: 2016 weather and pollution data from the Westchester County Airport weather station in White Plains, NY.
- Species
- DBH: Diameter at breast height (4.5-feet above the ground), or the single-stem equivalent for multi-stem trees.
- Total Tree Height
- Crown Height
- Crown Width
- Crown Condition
- Crown Dieback / Missing Crown

Please do not hesitate to contact me if you have any questions or require any additional information.

Sincerely,
PAUL COWIE AND ASSOCIATES



Paul F. Cowie
President

PFC:pc
Encl.



★ Revised - 7/26/2021

#	SITE TYPE (SIZE)	OVERHEAD WIRES	SPECIES	LOWER HUDSON PRISM TIER 1-4 INVASIVE SPECIES	DIAMETER (in) (dead stems)	SINGLE-STEM EQUIVALENT (RSS)	TREE HEIGHT (FT)	CROWN HEIGHT (FT)	CROWN WIDTH (FT)	AGE CLASS	CRZ (ft radius)	HEALTH + VIGOR	STRUCTURE + FORM	OVERALL CONDITION	DISORDERS + DEFECTS, COMMENTS, ADDITIONAL RECOMMENDATIONS	CLEAN CROWN	RAISE CROWN	REDUCE CROWN	STRUCTURAL PRUNE	CABLE	CLEAR VINES	INSPECT	REMOVE (CONDITION)	
60	Woodland	No	Black birch <i>Betula lenta</i>	---	11.9	11.9	75	36	37	Mature	20.6	Good	Fair	Good	Vine competition (moderate).							L		
61	Woodland	No	Northern red oak <i>Quercus rubra</i>	---	24.7	24.7	95	35	43	Mature	14.8	Good	Fair	Fair	Lean in main trunk (moderate).	H								
62	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	8.2	8.2	69	27	21	Young	16.8	Good	Good	Good	---									
63	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	9.8	9.8	78	36	19	Young	27.4	Good	Good	Good	---	M								
64	Lawn	No	Red maple <i>Acer rubrum</i>	---	19.5	19.5	54	7	41	Mature	22.8	Good	Fair	Fair	Root zone restricted by curb and pavement (moderate). 2 weak crotches in main trunk (moderately severe).	M	M							
65	Lawn	No	Norway maple <i>Acer platanoides</i>	Tier 4	11.3	11.3	47	5	26	Young	17.5	Good	Good	Good	Root zone restricted by curb and pavement (moderate).		L							
66	Woodland	No	Red maple <i>Acer rubrum</i>	---	8.2	8.2	37	11	21	Young	10.8	Good	Fair	Fair	Lean in upper trunk (moderately severe).									
67	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	12.3	12.3	85	39	22	Mature	6.3	Good	Good	Good	Vine competition (moderate).	M						L		
68	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	8.9	8.9	88	31	22	Young	18.8	Good	Good	Good	---									
69	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	8.0	8.0	73	36	15	Young	19.8	Good	Fair	Good	---									
70	Woodland	No	Northern red oak <i>Quercus rubra</i>	---	8.0	8.0	69	32	16	Young	10.1	Fair	Fair	Fair	---									
71	Woodland	No	Northern red oak <i>Quercus rubra</i>	---	23.0	23.0	94	29	41	Mature	10.2	Good	Good	Good	Vine competition (moderate).	H						L		
72	Woodland	No	Northern red oak <i>Quercus rubra</i>	---	23.5	23.5	93	22	43	Mature	11.9	Good	Good	Good	---	H								
73	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	8.6	8.6	78	33	19	Young	21.6	Good	Good	Good	---									
74	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	8.4	8.4	71	27	19	Young	8.6	Good	Good	Good	---									
75	Woodland	No	Tree of Heaven <i>Ailanthus altissima</i>	Tier 4	12.4	12.4	90	57	24	Mature	24.7	Good	Fair	Good	---	M								
76	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	9.3	9.3	64	10	24	Young	10.5	Good	Fair	Fair	---									
77	Woodland	No	Tree of Heaven <i>Ailanthus altissima</i>	Tier 4	8.0	8.0	68	51	29	Young	5.2	Fair	Poor	Poor	Lean in upper trunk (very severe).									
78	Woodland	No	Tree of Heaven <i>Ailanthus altissima</i>	Tier 4	9.5	9.5	83	31	21	Young	4.3	Fair	Poor	Poor	Crooks and lean in upper trunk (moderately severe). Suppressed by adjacent trees (moderately severe).									
79	Woodland	No	Shagbark hickory <i>Carya ovata</i>	---	21.5	21.5	43	27	40	Mature	8.2	Good	Poor	Poor	Decay in lower trunk (severe).									H
80	Woodland	No	Tree of Heaven <i>Ailanthus altissima</i>	Tier 4	13.2	13.2	88	39	26	Mature	9.8	Fair	Fair	Fair	Suppressed by adjacent trees (moderately severe).	M								
81	Woodland	No	American linden <i>Tilia americana</i>	---	9.0	9.0	30	6	33	Young	9.2	Good	Good	Good	Vine competition (moderate).							L		

Carbon Storage of Trees by Species

Location: Yorktown, Westchester, New York, United States of America

Project: Yorktown Rehab + Nursing, Series: All Trees, Year: 2021

Generated: 6/22/2021



Species	Carbon Storage (ton)	Carbon Storage (%)	CO ₂ Equivalent (ton)
White fir	0.2	0.4%	0.9
Norway maple	2.1	3.3%	7.6
Red maple	11.6	18.5%	42.4
Sugar maple	1.6	2.6%	6.0
Tree of heaven	13.6	21.8%	50.0
Black birch	3.1	4.9%	11.3
Shagbark hickory	5.2	8.3%	18.9
White ash	0.5	0.8%	1.8
Tulip tree	0.4	0.6%	1.4
Norway spruce	0.6	0.9%	2.0
Blue spruce	0.7	1.1%	2.5
Eastern white pine	3.3	5.3%	12.0
Black cherry	0.8	1.3%	3.1
White oak	5.3	8.5%	19.5
Pin oak	6.3	10.0%	22.9
Northern red oak	4.7	7.5%	17.1
Pagoda tree	2.4	3.9%	9.0
American basswood	0.1	0.1%	0.3
Total	62.4	100%	228.9

Due to limits of available models, i-Tree Eco will limit carbon storage to a maximum of 7,500 kg (16,534.7 lbs) and not estimate additional storage for any tree beyond a diameter of 254 cm (100 in). Whichever limit results in lower carbon storage is used.

Annual Carbon Sequestration of Trees by Species

Location: Yorktown, Westchester, New York, United States of America

Project: Yorktown Rehab + Nursing, Series: All Trees, Year: 2021

Generated: 6/22/2021



Species	Gross Carbon Sequestration (ton/yr)	CO ₂ Equivalent (ton/yr)
White fir	0.00	0.01
Norway maple	0.01	0.03
Red maple	0.25	0.92
Sugar maple	0.03	0.11
Tree of heaven	0.07	0.26
Black birch	0.03	0.11
Shagbark hickory	0.04	0.13
White ash	0.01	0.02
Tulip tree	0.01	0.04
Norway spruce	0.01	0.04
Blue spruce	0.01	0.05
Eastern white pine	0.08	0.30
Black cherry	0.02	0.09
White oak	0.02	0.06
Pin oak	0.09	0.32
Northern red oak	0.02	0.07
Pagoda tree	0.03	0.11
American basswood	0.00	0.01
Total	0.73	2.67

Carbon Storage of Trees by Species

Location: Yorktown, Westchester, New York, United States of America

Project: Yorktown Rehab + Nursing, Series: Viable + Non-Invasive Trees Only, Year: 2021

Generated: 6/22/2021



Species	Carbon Storage (ton)	Carbon Storage (%)	CO ₂ Equivalent (ton)
White fir	0.2	0.6%	0.9
Red maple	11.3	29.4%	41.3
Sugar maple	1.6	4.3%	6.0
Black birch	2.3	6.1%	8.5
Shagbark hickory	4.3	11.1%	15.6
Tulip tree	0.4	1.0%	1.4
Norway spruce	0.6	1.5%	2.0
Blue spruce	0.7	1.8%	2.5
Eastern white pine	2.6	6.8%	9.5
Black cherry	0.8	2.2%	3.1
Pin oak	6.3	16.3%	22.9
Northern red oak	4.7	12.2%	17.1
Pagoda tree	2.4	6.4%	9.0
American basswood	0.1	0.2%	0.3
Total	38.3	100%	140.4

Due to limits of available models, i-Tree Eco will limit carbon storage to a maximum of 7,500 kg (16,534.7 lbs) and not estimate additional storage for any tree beyond a diameter of 254 cm (100 in). Whichever limit results in lower carbon storage is used.

Annual Carbon Sequestration of Trees by Species

Location: Yorktown, Westchester, New York, United States of America

Project: Yorktown Rehab + Nursing, Series: Viable + Non-Invasive Trees Only, Year: 2021

Generated: 6/22/2021



Species	Gross Carbon Sequestration (ton/yr)	CO ₂ Equivalent (ton/yr)
White fir	0.00	0.01
Red maple	0.24	0.90
Sugar maple	0.03	0.11
Black birch	0.03	0.09
Shagbark hickory	0.02	0.09
Tulip tree	0.01	0.04
Norway spruce	0.01	0.04
Blue spruce	0.01	0.05
Eastern white pine	0.08	0.28
Black cherry	0.02	0.09
Pin oak	0.09	0.32
Northern red oak	0.02	0.07
Pagoda tree	0.03	0.11
American basswood	0.00	0.01
Total	0.60	2.20

Old Hill Farm Solar



November 3rd, 2021

Richard Fon, Chairman of the Planning Board
Town of Yorktown
363 Underhill Avenue
Yorktown, NY 10598

Re: Updated Mitigation Plan for Proposed Old Hill Farm Solar Farm
Hillside Solar, LLC
Town of Yorktown, Westchester County, New York

Dear Mr. Fon:

The proposed 3.75 MW AC Old Hill Farm Solar Farm project ("Project") is located on Westchester County Parcels 16.08-1-4 and 16.08-1-17, which consist primarily of abandoned grazing and agricultural fields. The Project will involve the proposed removal of approximately 572 trees, of which 209 (37%) are dead, poor (unsalvageable or in advanced decline) or invasive. As per The Town of Yorktown's Tree Law, a mitigation plan and Tree Permit is required for the Project. The Tree Permit Application is included as Enclosure A of this mitigation plan. Also enclosed is an analysis of the species, number, and condition of trees on the project site.

The mitigation measures provided below are based upon the options provided in the Tree Law, as well as items deemed likely to be important to the Town. We look forward to discussing these in further detail to refine the Mitigation Plan.

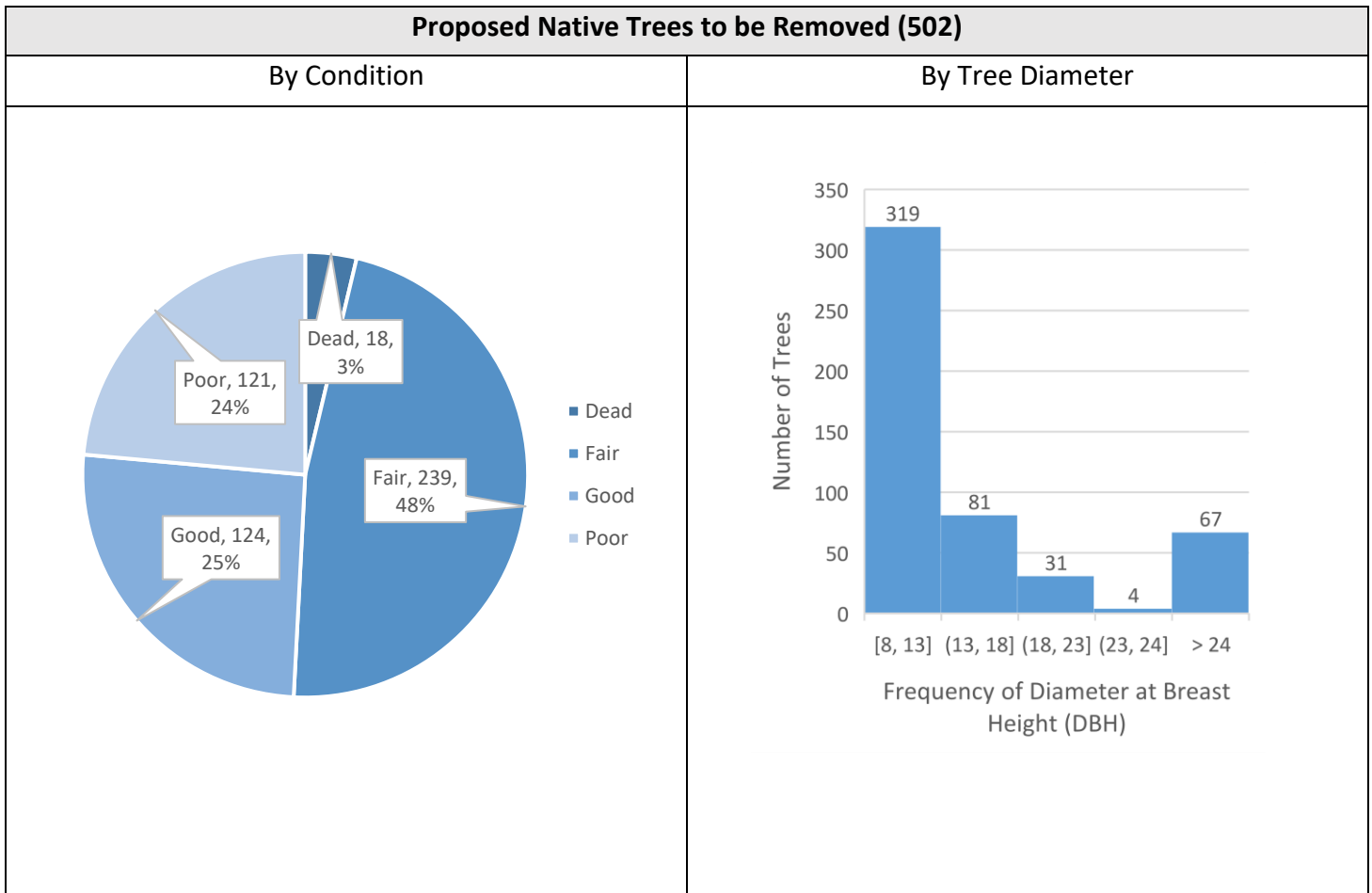
Tree Survey:

The tree survey was performed by certified arborist, Bartlett Tree Experts, which included a completed inventory of the trees within the proposed fence line and the adjacent areas in proximity to the fence line. Specifically, the borders of the surveyed area are along East Main Street, Club Fit, the western border of the property and the southern and eastern boundaries of the proposed fence line. We did not survey the trees in the wetlands, wetland buffer, under the power line or to a great extent outside of the proposed fence line. Each tree was marked and listed as "dead", "poor", "fair", or "good". Trees that are considered poor are falling apart, hazardous, and beyond salvaging. There are a total of 692 trees within the surveyed area and of that we are proposing to remove 572 trees. Of these 572 trees, 70 are invasive, 121 are in "poor" condition and 18 are dead resulting in 363 trees that we are proposing the following mitigation measures to compensate for the impact of their removal.



Total Trees Surveyed (w/o Wetlands or Power Line Area)	692
Total Trees to be Removed	572
Less: Invasives	70
Less: Dead/Poor Native Trees	139
Fair or Good Trees to be Removed	363
DBH of Fair or Good Trees to be Removed (in.)	5,540
Total DBH to be Mitigated (in.)	5,540

Total DBH to be Mitigated (in.)	5,540
Avg. DBH of Replacement Trees (in.)	5
Total Trees Required for Mitigation Credit	1,108
Less: New Screening Trees Planted	262
Less: Invasives Removed Outside of Fence	12
# of Trees to be Paid for Tree Bank	834





New Tree Plantings:

The Landscaping Plan for the Project involves planting approximately 262 new evergreen trees (approximately 2,450 linear feet) across selected boundaries of the property. This includes the boundary of the Project site facing East Main Street, bordering the properties along Bank Road and the houses on the western side of the site, and strategically placed to reduce visibility to the Eastern side of the site from Hill Boulevard and Route 6. All of the trees planted will be evergreen species in order to provide year-round coverage, including Eastern Red Cedar, White Spruce, White Fir, and Colorado Spruce.

The Cedar will have an installed height of 8ft, with a mature size of 30-60ft. The Spruces will have an installed height of 8ft with a mature size of 40-60ft. The Fir will have an installed height of 6-7ft with a mature size of 50-75ft. These trees will act as screening for the Project and will also help fulfill our mitigation goals for tree planting. All four species will have an average installed diameter at breast height (DBH) of 5 inches.

No living and native trees along East Main Street will be removed. The proposed mitigation plan calls for the pruning of existing trees along East Main Street to allow for better light for the new trees and to improve the appearance of the site and the existing stone wall along East Main Street.

Invasive Species Removal:

Our tree survey identified several invasive species, including 70 invasive trees in the surveyed area. The invasive trees include 52 Ailanthus Altissima, 17 Black Locust-Robinia Pseudoaccacia, and 1 Poplar Deltoides. The tree survey also found that there is an abundance of invasive vines on the property, including Bittersweet and Porcelianberry. These vines are causing major damage to the trees (images below). We will work with Bartlett to coordinate the appropriate removal & special handling of these species and ask the Conservation Board to consider this as part of our tree mitigation plan to provide credit for the removal of the trees on the Project site. Our goal is to preserve the ecological capacity of the parcel to the maximum extent practicable. Removal of invasive species will help to obtain this goal and protect native and older growth trees on the site.



(site images including Bittersweet Vines)

Planting of Pollinator Friendly Seed Mix and Use of Fencing:

Our proposal will help maintain the existing ecosystem. To that end, we have included a 6 inch gap in the bottom of our fencing in the Eastern (adjacent to the wetland area) and Southern boundaries of the property. This should allow smaller animals to enter and cross through the project site. Also, a pollinator friendly seed mix will be spread at the Project site at the completion of construction in an effort to support a diverse ecosystem and habitat for pollinators within the project site.

Town of Yorktown Tree Bank Fund Donation:

We are proposing a monetary donation to the Tree Bank fund for the Town in instances where we are not replacing a lost protected tree (approximately 846 trees). This donation will help to fund planting initiatives in and around the Town of Yorktown, at locations determined by the Town. These planting initiatives will help to mitigate the impacts from the proposed tree cutting as a result of this Project.

Proposed Solar Farm Carbon Offset:

The EPA Greenhouse Gas Calculator was utilized to determine the positive environmental impacts that the proposed 3.75MW AC Project will have. We estimate the Project can save approximately ~4,410,000 Metric Tons of Carbon Dioxide emissions per year. This is equivalent to the Carbon Dioxide sequestered by 6,407 acres of U.S. forests, 1,137 passenger vehicles driven per year or the offset of residential home electricity generated by 630 homes per year. Over the 25 year lifespan of the Project, the carbon offset will result in an enormously positive environmental impact by its carbon offset alone.

Suggestions from Tree Conservation Advisory Commission, Conservation Board, Planning Board and Public:



Any suggestions from the Tree Conservation Advisory Commission, Conservation Board, Planning Board and the Public will be considered for this Project. These suggestions may include additional mitigation opportunities, or any other measures deemed necessary for a complete Mitigation Plan for the Project.

We look forward to your consideration of this Mitigation Plan. It is our goal to cooperate with the Town as much as possible to ensure this Projects construction and completion. The clean, renewable, energy provided by this Project will be a great benefit to the Town and its citizens, allowing for a successful partnership for all involved parties for the life of this Project.

If you should have any questions or require any additional information, please do not hesitate to contact me via phone at 518.389.1109 or by email at cvoss@bergmannpc.com.

Sincerely,

Charles A. Voss, AICP
Senior Project Manager, BERGMANN

Enclosures:

Enclosure A: Tree Permit Application



October 27, 2021

Town of Yorktown
Planning Department
Attn: Robyn Steinberg
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

OCT 27 2021

TOWN OF YORKTOWN

RE: Old Hill Farm Solar Farm
Site Plan and Special Use Permit Application

Dear Ms. Steinberg;

On behalf of Hillside Solar LLC, please find enclosed an update to our Site Plan and Special Use Permit Application submission for the Old Hill Farm Solar Farm project. By submission of these updated materials, we are requesting to be placed on the agenda for the November 8th, 2021 Planning Board meeting to review the proposed solar project. As you and the Planning Board may recall, the project involves the installation of ground mounted photovoltaic panels on a parcel south of East Main Street and north of Route 6. At The November 8th Meeting we will be requesting to schedule a Public Information Session.

Please find the enclosed items for your review:

- Cover Letter
- Eight (8) copies of the updated Site Plan Set
- One (1) copy of the Stormwater Pollution Prevention Plan (SWPPP)
- Updated Visual Renderings & Key Map are forthcoming
- Conservation Board Materials and Tree Mitigation Plan
 - a. Landscaping & Tree Mitigation Site Plan
 - b. Mitigation Letter
 - c. Survey Letter from Arborist

Should you have any questions or require additional information, do not hesitate to contact me at (518) 556-3631 or by email at cvoss@bergmannpc.com.

Sincerely,

Charles A. Voss, AICP
Senior Project Manager, BERGMANN

October 20th, 2021

Richard Fon, Chairman of the Planning Board
Town of Yorktown
363 Underhill Avenue
Yorktown, NY 10598

RECEIVED
PLANNING DEPARTMENT
OCT 27 2021
TOWN OF YORKTOWN

Re: Draft Mitigation Plan for Proposed Old Hill Farm Solar Farm
Hillside Solar, LLC
Town of Yorktown, Westchester County, New York

Dear Mr. Fon:

The proposed 3.75 MW AC Old Hill Farm Solar Farm project ("Project") is located on Westchester County Parcels 16.08-1-4 and 16.08-1-17, which consist primarily of abandoned grazing and agricultural fields. The Project will involve the proposed removal of approximately 572 trees, of which 202 (35%) are dead, poor (unsalvageable or in advanced decline) or invasive. As per The Town of Yorktown's Tree Law, a mitigation plan and Tree Permit is required for the Project. The Tree Permit Application is included as Enclosure A of this mitigation plan. Also enclosed is an analysis of the species, number, and condition of trees on the project site.

The mitigation measures provided below are based upon the options provided in the Tree Law, as well as items deemed likely to be important to the Town. We look forward to discussing these in further detail to refine the Mitigation Plan.

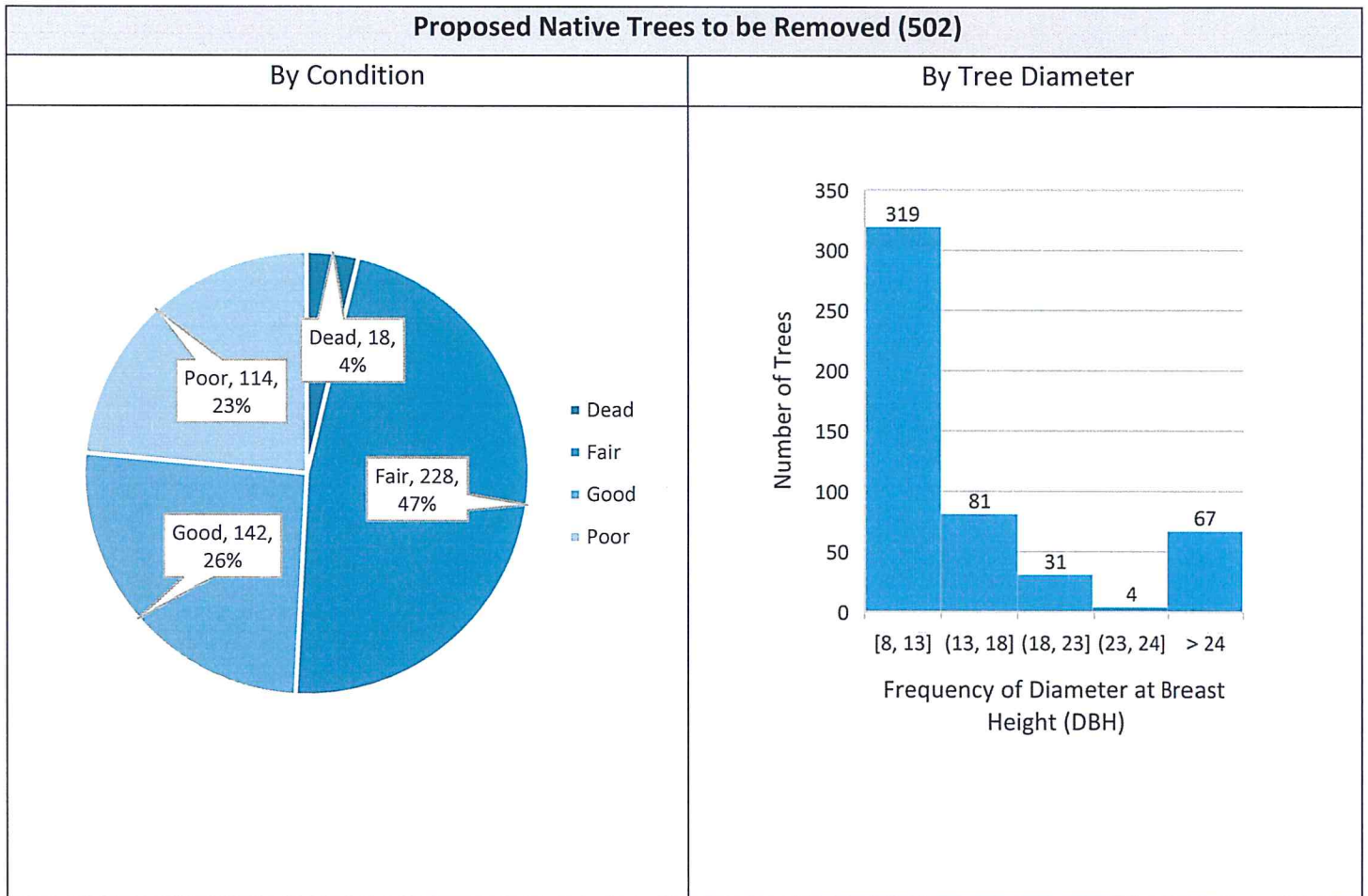
Tree Survey:

The tree survey was performed by certified arborist, Bartlett Tree Experts, which included a completed inventory of the trees on the property (excluding the wetland areas, wetland buffer, and area under the power-lines which are not being impacted by the Project). Each tree was marked and listed as "dead", "poor", "fair", or "good". Trees that are considered poor are falling apart, hazardous, and beyond salvaging. There are a total of 692 trees within the surveyed area and of that we are proposing to remove 572 trees. Of these 572 trees, 70 are invasive, 114 are in "poor" condition and 18 are dead resulting in 370 trees that we are proposing the following mitigation measures to compensate for the impact of their removal.



Total Trees Surveyed (w/o Wetlands or Power Line Area)	692
Total Trees to be Removed	572
Less: Invasives	70
Less: Dead/Poor Native Trees	132
Fair or Good Trees to be Removed	370
Total Trees to be Mitigated	370

Total Trees to be Mitigated	370
Less: New Screening Trees Planted	262
Less: Invasive Trees for Mitigation Credit	70
Trees to be Paid for with Tree Bank	38





New Tree Plantings:

The Landscaping Plan for the Project involves planting approximately 262 new evergreen trees (approximately 2,450 linear feet) across selected boundaries of the property. This includes the boundary of the Project site facing East Main Street, bordering the properties along Bank Road and the houses on the western side of the site, and strategically placed to reduce visibility to the Eastern side of the site from Hill Boulevard and Route 6. All of the trees planted will be evergreen species in order to provide year-round coverage, including Eastern Red Cedar, White Spruce, White Fir, and Colorado Spruce.

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(site images including Bittersweet Vines)

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Suggestions from Tree Conservation Advisory Commission, Conservation Board, Planning Board and Public:



Any suggestions from the Tree Conservation Advisory Commission, Conservation Board, Planning Board and the Public will be considered for this Project. These suggestions may include additional mitigation opportunities, or any other measures deemed necessary for a complete Mitigation Plan for the Project.

We look forward to your consideration of this Mitigation Plan. It is our goal to cooperate with the Town as much as possible to ensure this Projects construction and completion. The clean, renewable, energy provided by this Project will be a great benefit to the Town and its citizens, allowing for a successful partnership for all involved parties for the life of this Project.

If you should have any questions or require any additional information, please do not hesitate to contact me via phone at (518) 556-3631 or by email at eredding@bergmannpc.com.

Sincerely,

Eric Redding, PE, LEED AP
Discipline Leader, BERGMANN

Enclosures:

Enclosure A: Tree Permit Application



BARTLETT TREE EXPERTS

SCIENTIFIC TREE CARE SINCE 1907

2240 SAW MILL RIVER ROAD
ELMSFORD, NY 10523
(914) 592-4520
(914) 592-5068(FAX)

October 2nd, 2021

Powerflex
805 Third Avenue
New York, NY 10022

RECEIVED
PLANNING DEPARTMENT

OCT 27 2021

Re: Tree Survey for 571 East Main Street

TOWN OF YORKTOWN

Dear Romer,

We have completed the inventory of the trees on the site. This included tagging each tree with a unique number and recoding species, DBH and condition. Each tree was also geolocated and we can provide the shape file for use if required. The site is a mix of open areas, existing houses and wooded areas. Some portions are very thick with vines and so I had to have someone on site to just cut the paths needed to get to the trees. We recorded all trees over 8" in diameter.

The breakdown of condition and definitions listed below:

- 1) 25 trees are Dead-
- 2) 187 trees are Poor Condition (on this site many of the trees are in this category due to excess overgrowth from invasive vines)
- 3) 328 trees are in Fair Condition -
- 4) 160 trees are in Good Condition-

Dead

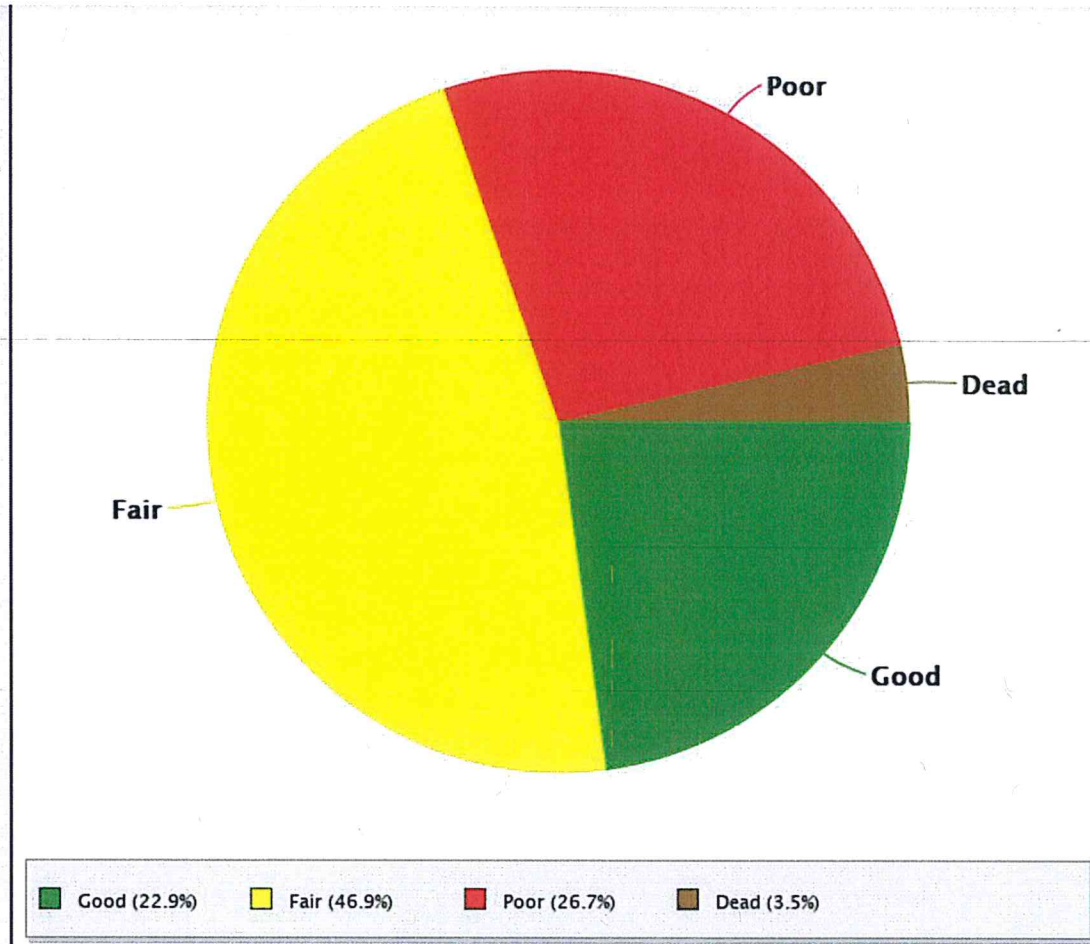
Poor: Most of the canopy displays dieback and undesirable leaf color, inappropriate leaf size or inadequate new growth. Tree or parts of tree are in the process of failure.

Fair: Parts of canopy display undesirable leaf color, inappropriate leaf size, and inadequate new growth. Parts of the tree are likely to fail.

Good: Tree health and condition are acceptable.

You requested a breakdown of invasive tree species on the site as well. I used the NYS Department of Environmental Conservation's list of invasive tree species and found the following species on the site:

- 1) 51 Ailanthus Altissima
- 2) 16 Black Locust – Robinia Psuedoaccacia
- 3) 1 Poplar deltoides



I did not cross reference how many of these invasive species may be listed as being poor or dead, but the attached Excel can be sorted any way you like.

The biggest problem on site with the trees is the invasive vines including Bittersweet and Porcelianberry. These vines are causing major damage to the trees and if cut would still require some follow up treatments to get good control. I have included some photos below.





Feel free to let me know any questions.
Thanks

Trevor Hall
Bartlett Tree Experts
Certified Arborist #PD 0269

Tree ID	Common Name	Genus	Species	DBH	Stems	Condition	(Tree and Shrub Work Phase
1201	Maple-Sugar	Acer	saccharum		14	1 Good	...
1202	Maple-Sugar	Acer	saccharum		13	1 Good	...
1203	Maple-Sugar	Acer	saccharum		28	1 Good	...
1204	Maple-Sugar	Acer	saccharum		32	1 Good	...
1205	Maple-Sugar	Acer	saccharum		35	1 Good	...
1206	Maple-Sugar	Acer	saccharum		13	1 Fair	...
1207	Maple-Sugar	Acer	saccharum		39	1 Good	...
1208	Poplar-Eastern	Populus	deltoides		10	2 Poor	...
1209	Dogwood-Flowering	Cornus	florida		9	1 Fair	...
1210	Cherry	Prunus	sp		8	1 Fair	...
1211	Maple-Sugar	Acer	saccharum		8	1 Fair	...
1212	Maple-Sugar	Acer	saccharum		12	4 Good	...
1213	Maple-Sugar	Acer	saccharum		39	1 Good	...
1214	Maple-Sugar	Acer	saccharum		28	1 Good	...
1215	Birch-Sweet	Betula	lenta		10	1 Good	...
1216	Maple-Sugar	Acer	saccharum		31	1 Poor	...
1217	Birch-Sweet	Betula	lenta		13	1 Good	...
1218	Spruce-Norway	Picea	abies		29	1 Dead	...
1219	Maple-Red	Acer	rubrum		8	1 Fair	...
1220	Maple-Sugar	Acer	saccharum		9	1 Fair	...
1221	Spruce-Norway	Picea	abies		42	1 Dead	...
1222	Maple-Sugar	Acer	saccharum		29	1 Poor	...
1223	Maple-Sugar	Acer	saccharum		8	1 Poor	...
1224	Maple-Sugar	Acer	saccharum		29	1 Poor	...
1225	Hickory-Shagbark	Carya	ovata		9	1 Good	...
1226	Hickory-Shagbark	Carya	ovata		9	1 Good	...
1227	Maple-Sugar	Acer	saccharum		36	1 Good	...
1228	Spruce-Norway	Picea	abies		26	1 Dead	...
1229	Spruce-Norway	Picea	abies		31	1 Poor	...
1230	Spruce-Norway	Picea	abies		19	1 Good	...
1231	Maple-Sugar	Acer	saccharum		38	1 Good	...
1232	Maple-Sugar	Acer	saccharum		7	2 Fair	...
1233	Planetree-London	Platanus	x acerifolia		28	1 Good	...
1234	Crabapple	Malus	sp		8	1 Poor	...
1235	Maple-Sugar	Acer	saccharum		26	2 Good	...
1236	Maple-Sugar	Acer	saccharum		22	1 Fair	...
1237	Maple-Sugar	Acer	saccharum		9	1 Good	...
1238	Maple-Sugar	Acer	saccharum		33	1 Good	...
1239	Maple-Sugar	Acer	saccharum		15	2 Fair	...
1240	Maple-Sugar	Acer	saccharum		20	2 Good	...
1241	Maple-Sugar	Acer	saccharum		19	1 Good	...
1242	Ash-White	Fraxinus	americana		15	1 Poor	...
1243	Cherry	Prunus	sp		8	1 Poor	...
1244	Cherry	Prunus	sp		14	1 Poor	...
1245	Maple-Sugar	Acer	saccharum		28	1 Fair	...
1246	Maple-Sugar	Acer	saccharum		30	1 Fair	...
1247	Maple-Sugar	Acer	saccharum		31	1 Good	...
1248	Maple-Sugar	Acer	saccharum		34	1 Poor	...
1249	Maple-Sugar	Acer	saccharum		35	1 Good	...
1250	Maple-Sugar	Acer	saccharum		37	1 Good	...
1251	Maple-Sugar	Acer	saccharum		8	1 Fair	...
1252	Maple-Sugar	Acer	saccharum		42	1 Good	...
1253	Maple-Sugar	Acer	saccharum		8	1 Poor	...
1254	Maple-Sugar	Acer	saccharum		28	1 Good	...
1255	Maple-Sugar	Acer	saccharum		23	1 Good	...
1256	Maple-Sugar	Acer	saccharum		12	1 Poor	...
1257	Maple-Sugar	Acer	saccharum		8	1 Fair	...
1258	Maple-Sugar	Acer	saccharum		15	1 Poor	...
1259	Maple-Sugar	Acer	saccharum		22	1 Poor	...
1260	Hickory-Shagbark	Carya	ovata		9	1 Poor	...
1261	Crabapple	Malus	sp		12	3 Fair	...
1262	Crabapple	Malus	sp		18	1 Poor	...
1263	Crabapple	Malus	sp		23	1 Fair	...
1264	Cherry	Prunus	sp		8	1 Poor	...
1265	Maple-Red	Acer	rubrum		28	2 Fair	...
1266	Crabapple	Malus	sp		8	4 Fair	...
1267	Maple-Sugar	Acer	saccharum		9	1 Fair	...
1268	Maple-Sugar	Acer	saccharum		13	1 Fair	...
1269	Ash-White	Fraxinus	americana		16	1 Dead	...
1270	Crabapple	Malus	sp		31	3 Poor	...
1271	Crabapple	Malus	sp		31	1 Good	...
1272	Maple-Sugar	Acer	saccharum		16	1 Good	...
1273	Maple-Sugar	Acer	saccharum		17	3 Fair	...
1274	Maple-Sugar	Acer	saccharum		21	1 Good	...
1275	Maple-Sugar	Acer	saccharum		21	2 Good	...
1276	Maple-Sugar	Acer	saccharum		10	3 Fair	...
1277	Tree of Heaven	Ailanthus	altissima		13	1 Fair	...
1278	Maple-Sugar	Acer	saccharum		14	1 Good	...
1279	Cherry	Prunus	sp		10	1 Fair	...
1280	Maple-Sugar	Acer	saccharum		10	1 Poor	...

RECEIVED
PLANNING DEPARTMENT
OCT 27 2021
TOWN OF YORKTOWN

1281	Maple-Sugar	Acer	saccharum	25	1 Fair	...
1282	Cherry	Prunus	sp	28	1 Good	...
1283	Cherry	Prunus	sp	13	1 Poor	...
1284	Maple-Sugar	Acer	saccharum	14	1 Fair	...
1285	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1286	Maple-Sugar	Acer	saccharum	12	1 Fair	...
1287	Maple-Sugar	Acer	saccharum	9	1 Fair	...
1288	Hickory-Shagbark	Carya	ovata	8	1 Good	...
1289	Oak-Northern Red	Quercus	rubra	13	1 Fair	...
1290	Hickory-Shagbark	Carya	ovata	14	1 Good	...
1291	Maple-Sugar	Acer	saccharum	16	1 Poor	...
1292	Oak-Northern Red	Quercus	rubra	18	1 Good	...
1293	Hickory-Shagbark	Carya	ovata	10	1 Fair	...
1294	Maple-Sugar	Acer	saccharum	9	1 Fair	...
1295	Tuliptree	Liriodendron	tulipifera	20	1 Good	...
1296	Maple-Sugar	Acer	saccharum	12	2 Fair	...
1297	Tuliptree	Liriodendron	tulipifera	49	1 Good	...
1298	Oak-White	Quercus	alba	16	1 Fair	...
1299	Cherry	Prunus	sp	9	1 Fair	...
1300	Hickory-Shagbark	Carya	ovata	11	1 Good	...
1301	Cherry	Prunus	sp	12	1 Poor	...
1302	Hickory-Shagbark	Carya	ovata	16	1 Good	...
1303	Maple-Sugar	Acer	saccharum	13	1 Good	...
1304	Maple-Sugar	Acer	saccharum	9	1 Fair	...
1305	Maple-Sugar	Acer	saccharum	12	1 Good	...
1306	Maple-Red	Acer	rubrum	10	1 Poor	...
1307	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1308	Cherry	Prunus	sp	9	1 Dead	...
1309	Maple-Red	Acer	rubrum	29	5 Good	...
1310	Pear-Common	Pyrus	communis	26	1 Fair	...
1311	Birch-Sweet	Betula	lenta	18	2 Good	...
1312	Hickory-Shagbark	Carya	ovata	10	1 Fair	...
1313	Oak-English	Quercus	robur	23	1 Good	...
1314	Elm-American	Ulmus	americana	8	1 Poor	...
1315	Beech-American	Fagus	grandifolia	14	2 Fair	...
1316	Hickory-Shagbark	Carya	ovata	14	1 Fair	...
1317	Cherry	Prunus	sp	10	2 Poor	...
1318	Cherry	Prunus	sp	11	1 Poor	...
1319	Maple-Sugar	Acer	saccharum	16	2 Good	...
1320	Cherry	Prunus	sp	21	1 Fair	...
1321	Maple-Sugar	Acer	saccharum	17	1 Good	...
1322	Maple-Sugar	Acer	saccharum	17	3 Good	...
1323	Birch-Yellow	Betula	alleghaniensis	7	3 Poor	...
1324	Oak-Northern Red	Quercus	rubra	25	1 Fair	...
1325	Cherry	Prunus	sp	9	1 Poor	...
1326	Cherry	Prunus	sp	15	1 Poor	...
1327	Oak-Northern Red	Quercus	rubra	11	1 Fair	...
1328	Cherry	Prunus	sp	11	2 Fair	...
1329	Oak-Swamp White	Quercus	bicolor	9	1 Fair	...
1330	Hickory-Shagbark	Carya	ovata	12	1 Poor	...
1331	Cherry	Prunus	sp	12	1 Dead	...
1332	Oak-Northern Red	Quercus	rubra	25	1 Fair	...
1333	Cherry	Prunus	sp	16	3 Poor	...
1334	Oak-Northern Red	Quercus	rubra	33	1 Good	...
1335	Cherry	Prunus	sp	13	1 Poor	...
1336	Oak-Northern Red	Quercus	rubra	17	1 Fair	...
1337	Tuliptree	Liriodendron	tulipifera	28	1 Fair	...
1338	Maple-Sugar	Acer	saccharum	12	1 Fair	...
1339	Maple-Sugar	Acer	saccharum	17	1 Good	...
1340	Cherry	Prunus	sp	14	1 Dead	...
1341	Cherry	Prunus	sp	12	1 Poor	...
1342	Hickory-Shagbark	Carya	ovata	10	1 Fair	...
1343	Hickory-Shagbark	Carya	ovata	9	1 Fair	...
1344	Oak-Northern Red	Quercus	rubra	8	1 Fair	...
1345	Oak-Northern Red	Quercus	rubra	18	1 Good	...
1346	Oak-Northern Red	Quercus	rubra	8	1 Fair	...
1347	Hickory-Shagbark	Carya	ovata	8	1 Good	...
1348	Oak-Northern Red	Quercus	rubra	22	1 Good	...
1349	Maple-Sugar	Acer	saccharum	10	1 Good	...
1350	Cherry	Prunus	sp	14	1 Poor	...
1351	Maple-Sugar	Acer	saccharum	12	1 Fair	...
1352	Hickory-Shagbark	Carya	ovata	17	1 Good	...
1353	Hickory-Shagbark	Carya	ovata	14	1 Good	...
1354	Cherry	Prunus	sp	14	1 Poor	...
1355	Maple-Sugar	Acer	saccharum	11	1 Good	...
1356	Cherry	Prunus	sp	8	1 Dead	...
1357	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1358	Maple-Sugar	Acer	saccharum	41	1 Good	...
1359	Tuliptree	Liriodendron	tulipifera	25	1 Fair	...
1360	Cherry	Prunus	sp	13	1 Dead	...
1361	Maple-Red	Acer	rubrum	8	1 Poor	...

1362	Tuliptree	Liriodendron	tulipifera	8	1	Poor	...
1363	Cherry	Prunus	sp	14	1	Poor	...
1364	Cherry	Prunus	sp	14	1	Fair	...
1365	Maple-Red	Acer	rubrum	19	1	Fair	...
1366	Tuliptree	Liriodendron	tulipifera	26	1	Good	...
1367	Maple-Red	Acer	rubrum	16	2	Fair	...
1368	Maple-Red	Acer	rubrum	8	1	Dead	...
1369	Tuliptree	Liriodendron	tulipifera	12	1	Dead	...
1370	Maple-Red	Acer	rubrum	24	1	Fair	...
1371	Maple-Red	Acer	rubrum	13	1	Fair	...
1372	Cherry	Prunus	sp	18	1	Poor	...
1373	Maple-Red	Acer	rubrum	31	1	Fair	...
1374	Tuliptree	Liriodendron	tulipifera	38	1	Fair	...
1375	Maple-Red	Acer	rubrum	37	1	Good	...
1376	Cherry	Prunus	sp	12	1	Fair	...
1377	Cherry	Prunus	sp	8	1	Good	...
1378	Maple-Red	Acer	rubrum	16	1	Fair	...
1379	Cherry	Prunus	sp	6	4	Fair	...
1380	Cherry	Prunus	sp	7	6	Good	...
1381	Tuliptree	Liriodendron	tulipifera	26	2	Fair	...
1382	Tuliptree	Liriodendron	tulipifera	15	1	Dead	...
1383	Tuliptree	Liriodendron	tulipifera	30	1	Fair	...
1384	Hickory-Shagbark	Carya	ovata	8	2	Good	...
1385	Maple-Red	Acer	rubrum	8	4	Fair	...
1386	Oak-Northern Red	Quercus	rubra	8	1	Poor	...
1387	Maple-Red	Acer	rubrum	24	5	Poor	...
1388	Tuliptree	Liriodendron	tulipifera	29	1	Fair	...
1389	Cherry	Prunus	sp	20	1	Dead	...
1390	Maple-Sugar	Acer	saccharum	8	1	Fair	...
1391	Maple-Sugar	Acer	saccharum	19	4	Fair	...
1392	Maple-Sugar	Acer	saccharum	28	1	Fair	...
1393	Hickory-Shagbark	Carya	ovata	16	1	Good	...
1394	Hickory-Shagbark	Carya	ovata	15	1	Fair	...
1395	Tuliptree	Liriodendron	tulipifera	16	1	Dead	...
1396	Oak-Northern Red	Quercus	rubra	8	1	Fair	...
1397	Tree of Heaven	Ailanthus	altissima	8	1	Poor	...
1398	Tree of Heaven	Ailanthus	altissima	13	1	Poor	...
1399	Tree of Heaven	Ailanthus	altissima	8	1	Poor	...
1400	Tree of Heaven	Ailanthus	altissima	9	1	Poor	...
1401	Tree of Heaven	Ailanthus	altissima	9	1	Fair	...
1402	Tree of Heaven	Ailanthus	altissima	8	1	Poor	...
1403	Tree of Heaven	Ailanthus	altissima	10	1	Fair	...
1404	Hickory-Shagbark	Carya	ovata	13	1	Fair	...
1405	Tree of Heaven	Ailanthus	altissima	11	1	Poor	...
1406	Elm-American	Ulmus	americana	8	1	Dead	...
1407	Tree of Heaven	Ailanthus	altissima	13	1	Fair	...
1408	Tree of Heaven	Ailanthus	altissima	16	2	Fair	...
1409	Cherry	Prunus	sp	13	1	Poor	...
1410	Hickory-Shagbark	Carya	ovata	14	1	Good	...
1411	Hickory-Shagbark	Carya	ovata	21	1	Good	...
1412	Hickory-Shagbark	Carya	ovata	9	1	Fair	...
1413	Cherry	Prunus	sp	15	2	Fair	...
1414	Oak-Northern Red	Quercus	rubra	8	1	Fair	...
1415	Oak-Northern Red	Quercus	rubra	18	1	Fair	...
1416	Tuliptree	Liriodendron	tulipifera	27	1	Poor	...
1417	Hickory-Shagbark	Carya	ovata	8	1	Fair	...
1418	Hickory-Shagbark	Carya	ovata	14	1	Good	...
1419	Oak-Northern Red	Quercus	rubra	11	1	Fair	...
1420	Oak-Northern Red	Quercus	rubra	10	1	Fair	...
1421	Cherry	Prunus	sp	9	1	Poor	...
1422	Oak-Northern Red	Quercus	rubra	8	1	Fair	...
1423	Tuliptree	Liriodendron	tulipifera	26	3	Fair	...
1424	Tree of Heaven	Ailanthus	altissima	34	3	Fair	...
1425	Tree of Heaven	Ailanthus	altissima	8	1	Poor	...
1426	Maple-Sugar	Acer	saccharum	8	1	Fair	...
1427	Maple-Sugar	Acer	saccharum	10	1	Fair	...
1428	Maple-Sugar	Acer	saccharum	13	1	Good	...
1429	Tree of Heaven	Ailanthus	altissima	19	1	Fair	...
1430	Tree of Heaven	Ailanthus	altissima	8	1	Fair	...
1431	Tree of Heaven	Ailanthus	altissima	8	1	Poor	...
1432	Tree of Heaven	Ailanthus	altissima	8	1	Fair	...
1433	Tree of Heaven	Ailanthus	altissima	8	1	Poor	...
1434	Tree of Heaven	Ailanthus	altissima	9	1	Poor	...
1435	Tree of Heaven	Ailanthus	altissima	10	1	Poor	...
1436	Cherry	Prunus	sp	13	2	Fair	...
1437	Tree of Heaven	Ailanthus	altissima	13	1	Fair	...
1438	Pear-Common	Pyrus	communis	17	1	Good	...
1439	Birch-Sweet	Betula	lenta	13	3	Good	...
1440	Birch-Sweet	Betula	lenta	17	2	Good	...
1441	Birch-Sweet	Betula	lenta	17	1	Fair	...
1442	Tree of Heaven	Ailanthus	altissima	8	1	Poor	...

1443	Tree of Heaven	Ailanthus	altissima	11	1 Fair	...
1444	Tree of Heaven	Ailanthus	altissima	15	1 Fair	...
1445	Tree of Heaven	Ailanthus	altissima	16	1 Fair	...
1446	Tree of Heaven	Ailanthus	altissima	8	1 Poor	...
1447	Birch-Sweet	Betula	lenta	8	1 Fair	...
1448	Cherry	Prunus	sp	8	1 Fair	...
1449	Maple-Red	Acer	rubrum	9	2 Fair	...
1450	Birch-Sweet	Betula	lenta	15	1 Fair	...
1451	Tree of Heaven	Ailanthus	altissima	13	1 Fair	...
1452	Tree of Heaven	Ailanthus	altissima	12	1 Poor	...
1453	Birch-Sweet	Betula	lenta	8	1 Fair	...
1454	Birch-Sweet	Betula	lenta	25	1 Dead	...
1455	Hickory-Shagbark	Carya	ovata	8	1 Fair	...
1456	Tree of Heaven	Ailanthus	altissima	12	1 Poor	...
1457	Hickory-Shagbark	Carya	ovata	15	1 Fair	...
1458	Tree of Heaven	Ailanthus	altissima	14	1 Poor	...
1459	Tree of Heaven	Ailanthus	altissima	8	1 Poor	...
1460	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1461	Hickory-Shagbark	Carya	ovata	9	1 Poor	...
1462	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1463	Tree of Heaven	Ailanthus	altissima	9	1 Poor	...
1464	Tree of Heaven	Ailanthus	altissima	13	2 Poor	...
1465	Tree of Heaven	Ailanthus	altissima	9	1 Poor	...
1466	Tree of Heaven	Ailanthus	altissima	8	1 Poor	...
1467	Tree of Heaven	Ailanthus	altissima	8	1 Poor	...
1468	Tree of Heaven	Ailanthus	altissima	29	4 Poor	...
1469	Tree of Heaven	Ailanthus	altissima	8	1 Poor	...
1470	Tree of Heaven	Ailanthus	altissima	16	1 Poor	...
1471	Cherry	Prunus	sp	9	1 Dead	...
1472	Hickory-Shagbark	Carya	ovata	14	2 Fair	...
1473	Maple-Red	Acer	rubrum	8	1 Fair	...
1474	Cherry	Prunus	sp	8	2 Poor	...
1475	Cherry	Prunus	sp	8	1 Poor	...
1476	Cherry	Prunus	sp	8	1 Poor	...
1477	Hickory-Shagbark	Carya	ovata	14	1 Fair	...
1478	Hickory-Shagbark	Carya	ovata	8	1 Good	...
1479	Cherry	Prunus	sp	8	1 Poor	...
1480	Oak-Northern Red	Quercus	rubra	20	1 Good	...
1481	Cherry	Prunus	sp	8	1 Poor	...
1482	Hickory-Shagbark	Carya	ovata	11	1 Fair	...
1483	Hickory-Shagbark	Carya	ovata	13	1 Good	...
1484	Cherry	Prunus	sp	8	1 Fair	...
1485	Cherry	Prunus	sp	8	1 Poor	...
1486	Maple-Red	Acer	rubrum	13	2 Fair	...
1487	Cherry	Prunus	sp	8	1 Poor	...
1488	Cherry	Prunus	sp	8	1 Fair	...
1489	Ash-White	Fraxinus	americana	7	2 Dead	...
1490	Cherry	Prunus	sp	8	1 Poor	...
1491	Cherry	Prunus	sp	9	1 Fair	...
1492	Cherry	Prunus	sp	8	1 Poor	...
1493	Oak-Northern Red	Quercus	rubra	8	1 Poor	...
1494	Cherry	Prunus	sp	8	1 Fair	...
1495	Cherry	Prunus	sp	8	1 Poor	...
1496	Cherry	Prunus	sp	8	1 Poor	...
1497	Cherry	Prunus	sp	12	1 Good	...
1498	Cherry	Prunus	sp	8	1 Fair	...
1499	Cherry	Prunus	sp	8	1 Fair	...
1500	Cherry	Prunus	sp	8	1 Poor	...
1501	Cherry	Prunus	sp	11	1 Good	...
1502	Cherry	Prunus	sp	8	2 Poor	...
1503	Cherry	Prunus	sp	8	2 Poor	...
1504	Cherry	Prunus	sp	8	1 Poor	...
1505	Cherry	Prunus	sp	9	1 Fair	...
1506	Cherry	Prunus	sp	8	1 Fair	...
1507	Cherry	Prunus	sp	9	1 Fair	...
1508	Cherry	Prunus	sp	8	1 Fair	...
1509	Cherry	Prunus	sp	8	1 Fair	...
1510	Cherry	Prunus	sp	8	1 Poor	...
1511	Cherry	Prunus	sp	9	1 Fair	...
1512	Cherry	Prunus	sp	7	2 Poor	...
1513	Cherry	Prunus	sp	8	1 Poor	...
1514	Cherry	Prunus	sp	8	2 Poor	...
1515	Cherry	Prunus	sp	12	2 Fair	...
1516	Cherry	Prunus	sp	8	1 Poor	...
1517	Cherry	Prunus	sp	9	1 Poor	...
1518	Cherry	Prunus	sp	8	1 Poor	...
1519	Cherry	Prunus	sp	13	1 Fair	...
1520	Cherry	Prunus	sp	9	1 Fair	...
1521	Cherry	Prunus	sp	10	1 Fair	...
1522	Maple-Red	Acer	rubrum	8	1 Poor	...
1523	Cherry	Prunus	sp	8	1 Fair	...

1524	Cherry	Prunus	sp	8	1 Poor	...
1525	Cherry	Prunus	sp	9	1 Fair	...
1526	Cherry	Prunus	sp	8	1 Poor	...
1527	Cherry	Prunus	sp	8	1 Poor	...
1528	Cherry	Prunus	sp	8	1 Poor	...
1529	Cherry	Prunus	sp	15	1 Fair	...
1530	Cherry	Prunus	sp	8	1 Fair	...
1531	Cherry	Prunus	sp	8	1 Poor	...
1532	Cherry	Prunus	sp	10	1 Fair	...
1533	Cherry	Prunus	sp	12	1 Poor	...
1534	Cherry	Prunus	sp	13	1 Poor	...
1535	Cherry	Prunus	sp	13	1 Fair	...
1536	Cherry	Prunus	sp	11	1 Fair	...
1537	Cherry	Prunus	sp	10	2 Fair	...
1538	Cherry	Prunus	sp	8	1 Fair	...
1539	Cherry	Prunus	sp	10	1 Fair	...
1540	Cherry	Prunus	sp	9	1 Poor	...
1541	Cherry	Prunus	sp	8	1 Poor	...
1542	Cherry	Prunus	sp	9	1 Poor	...
1543	Cherry	Prunus	sp	8	1 Fair	...
1544	Cherry	Prunus	sp	9	2 Fair	...
1545	Cherry	Prunus	sp	12	1 Poor	...
1546	Cherry	Prunus	sp	13	1 Poor	...
1547	Hickory-Shagbark	Carya	ovata	20	1 Good	...
1548	Locust-Black	Robinia	pseudoacacia	9	1 Fair	...
1549	Hickory-Shagbark	Carya	ovata	8	1 Good	...
1550	Locust-Black	Robinia	pseudoacacia	8	1 Poor	...
1551	Locust-Black	Robinia	pseudoacacia	8	1 Poor	...
1552	Locust-Black	Robinia	pseudoacacia	8	1 Poor	...
1553	Locust-Black	Robinia	pseudoacacia	12	1 Fair	...
1554	Locust-Black	Robinia	pseudoacacia	8	1 Poor	...
1555	Locust-Black	Robinia	pseudoacacia	10	1 Fair	...
1556	Locust-Black	Robinia	pseudoacacia	8	1 Poor	...
1557	Locust-Black	Robinia	pseudoacacia	9	1 Poor	...
1558	Locust-Black	Robinia	pseudoacacia	9	1 Poor	...
1559	Locust-Black	Robinia	pseudoacacia	9	1 Fair	...
1560	Cherry	Prunus	sp	10	1 Fair	...
1561	Tuliptree	Liriodendron	tulipifera	16	2 Good	...
1562	Cherry	Prunus	sp	14	1 Poor	...
1563	Tree of Heaven	Ailanthus	altissima	8	2 Poor	...
1564	Tree of Heaven	Ailanthus	altissima	8	1 Poor	...
1565	Tree of Heaven	Ailanthus	altissima	8	1 Fair	...
1566	Tree of Heaven	Ailanthus	altissima	8	1 Fair	...
1567	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1568	Hickory-Shagbark	Carya	ovata	15	1 Fair	...
1569	Hickory-Shagbark	Carya	ovata	9	1 Fair	...
1570	Maple-Red	Acer	rubrum	8	1 Poor	...
1571	Hickory-Shagbark	Carya	ovata	10	1 Fair	...
1572	Hickory-Shagbark	Carya	ovata	13	1 Fair	...
1573	Cherry	Prunus	sp	10	1 Fair	...
1574	Cherry	Prunus	sp	8	1 Fair	...
1575	Cherry	Prunus	sp	8	1 Fair	...
1576	Cherry	Prunus	sp	10	2 Fair	...
1577	Hickory-Shagbark	Carya	ovata	12	1 Fair	...
1578	Hickory-Shagbark	Carya	ovata	8	1 Fair	...
1579	Dogwood-Flowering	Cornus	florida	8	1 Good	...
1580	Oak-Northern Red	Quercus	rubra	17	1 Fair	...
1581	Maple-Sugar	Acer	saccharum	13	1 Good	...
1582	Tuliptree	Liriodendron	tulipifera	10	1 Fair	...
1583	Oak-Northern Red	Quercus	rubra	20	1 Fair	...
1584	Tuliptree	Liriodendron	tulipifera	21	1 Fair	...
1585	Hickory-Shagbark	Carya	ovata	8	1 Good	...
1586	Tuliptree	Liriodendron	tulipifera	28	1 Good	...
1587	Oak-Northern Red	Quercus	rubra	19	1 Good	...
1588	Oak-Northern Red	Quercus	rubra	25	1 Fair	...
1589	Oak-Northern Red	Quercus	rubra	10	1 Fair	...
1590	Tuliptree	Liriodendron	tulipifera	10	1 Fair	...
1591	Tuliptree	Liriodendron	tulipifera	13	2 Good	...
1592	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1593	Hickory-Shagbark	Carya	ovata	12	1 Fair	...
1594	Hickory-Shagbark	Carya	ovata	11	1 Fair	...
1595	Hickory-Shagbark	Carya	ovata	13	1 Good	...
1596	Oak-Northern Red	Quercus	rubra	13	1 Fair	...
1597	Hickory-Shagbark	Carya	ovata	22	1 Good	...
1598	Ash-White	Fraxinus	americana	17	1 Poor	...
1599	Hickory-Shagbark	Carya	ovata	8	1 Fair	...
1600	Birch-Sweet	Betula	lenta	25	1 Good	...
1601	Hickory-Shagbark	Carya	ovata	8	1 Fair	...
1602	Tuliptree	Liriodendron	tulipifera	9	1 Fair	...
1603	Tuliptree	Liriodendron	tulipifera	27	1 Good	...
1604	Hickory-Shagbark	Carya	ovata	13	1 Good	...

1767	Maple-Sugar	Acer	saccharum	24	2 Fair	...
1768	Maple-Sugar	Acer	saccharum	14	1 Fair	...
1769	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1770	Cherry	Prunus	sp	13	1 Dead	...
1771	Cherry	Prunus	sp	14	1 Poor	...
1772	Maple-Sugar	Acer	saccharum	14	3 Fair	...
1773	Maple-Sugar	Acer	saccharum	14	4 Fair	...
1774	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1775	Cherry	Prunus	sp	16	2 Poor	...
1776	Maple-Sugar	Acer	saccharum	11	1 Fair	...
1777	Locust-Black	Robinia	pseudoacacia	26	1 Fair	...
1778	Maple-Sugar	Acer	saccharum	22	3 Fair	...
1779	Maple-Sugar	Acer	saccharum	9	1 Fair	...
1780	Hemlock-Canadian	Tsuga	canadensis	16	1 Poor	...
1781	Maple-Sugar	Acer	saccharum	10	2 Fair	...
1782	Maple-Red	Acer	rubrum	14	1 Fair	...
1783	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1784	Maple-Sugar	Acer	saccharum	34	1 Fair	...
1785	Juniper-Eastern Redcec	Juniperus	virginiana	14	4 Poor	...
1786	Birch-Sweet	Betula	lenta	34	1 Good	...
1787	Juniper-Eastern Redcec	Juniperus	virginiana	8	1 Fair	...
1788	Maple-Sugar	Acer	saccharum	39	1 Good	...
1789	Beech-American	Fagus	grandifolia	21	4 Good	...
1790	Maple-Sugar	Acer	saccharum	37	1 Good	...
1791	Tuliptree	Liriodendron	tulipifera	11	1 Good	...
1792	Tuliptree	Liriodendron	tulipifera	28	1 Poor	...
1793	Maple-Red	Acer	rubrum	15	1 Good	...
1794	Maple-Sugar	Acer	saccharum	13	1 Fair	...
1795	Maple-Sugar	Acer	saccharum	26	1 Good	...
1796	Tuliptree	Liriodendron	tulipifera	31	1 Good	...
1797	Tuliptree	Liriodendron	tulipifera	25	2 Fair	...
1798	Cherry	Prunus	sp	17	1 Fair	...
1799	Oak-White	Quercus	alba	9	1 Fair	...
1800	Oak-Northern Red	Quercus	rubra	9	1 Fair	...
1801	Birch-Sweet	Betula	lenta	13	1 Fair	...
1802	Maple-Sugar	Acer	saccharum	20	1 Good	...
1803	Hickory-Shagbark	Carya	ovata	13	1 Fair	...
1804	Maple-Sugar	Acer	saccharum	9	1 Fair	...
1805	Tuliptree	Liriodendron	tulipifera	31	1 Good	...
1806	Hickory-Shagbark	Carya	ovata	9	1 Fair	...
1807	Hickory-Shagbark	Carya	ovata	12	2 Good	...
1808	Maple-Sugar	Acer	saccharum	14	1 Fair	...
1809	Oak-Northern Red	Quercus	rubra	8	1 Fair	...
1810	Pine-Eastern White	Pinus	strobus	13	1 Fair	...
1811	Pine-Eastern White	Pinus	strobus	8	1 Poor	...
1812	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1813	Pine-Eastern White	Pinus	strobus	10	1 Poor	...
1814	Pine-Eastern White	Pinus	strobus	14	1 Poor	...
1815	Pine-Eastern White	Pinus	strobus	16	1 Poor	...
1816	Pine-Eastern White	Pinus	strobus	9	1 Poor	...
1817	Pine-Eastern White	Pinus	strobus	13	1 Poor	...
1818	Pine-Eastern White	Pinus	strobus	13	1 Fair	...
1819	Pine-Eastern White	Pinus	strobus	9	1 Poor	...
1820	Pine-Eastern White	Pinus	strobus	16	1 Fair	...
1821	Pine-Eastern White	Pinus	strobus	13	1 Fair	...
1822	Pine-Eastern White	Pinus	strobus	13	1 Fair	...
1823	Pine-Eastern White	Pinus	strobus	17	1 Fair	...
1824	Maple-Sugar	Acer	saccharum	8	1 Good	...
1825	Maple-Sugar	Acer	saccharum	11	1 Good	...
1826	Maple-Sugar	Acer	saccharum	11	1 Fair	...
1827	Maple-Sugar	Acer	saccharum	18	1 Good	...
1828	Maple-Sugar	Acer	saccharum	10	1 Poor	...
1829	Hickory-Shagbark	Carya	ovata	13	1 Good	...
1830	Maple-Sugar	Acer	saccharum	15	1 Good	...
1831	Pine-Eastern White	Pinus	strobus	9	1 Fair	...
1832	Pine-Eastern White	Pinus	strobus	13	1 Fair	...
1833	Pine-Eastern White	Pinus	strobus	14	1 Fair	...
1834	Pine-Eastern White	Pinus	strobus	14	1 Fair	...
1835	Pine-Eastern White	Pinus	strobus	15	1 Fair	...
1836	Tuliptree	Liriodendron	tulipifera	13	1 Fair	...
1837	Cherry	Prunus	sp	9	1 Fair	...
1838	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1839	Tuliptree	Liriodendron	tulipifera	12	1 Fair	...
1840	Tuliptree	Liriodendron	tulipifera	17	1 Good	...
1841	Maple-Sugar	Acer	saccharum	8	2 Fair	...
1842	Cherry	Prunus	sp	12	1 Fair	...
1843	Cherry	Prunus	sp	12	1 Poor	...
1844	Cherry	Prunus	sp	14	1 Fair	...
1845	Cherry	Prunus	sp	13	1 Fair	...
1846	Cherry	Prunus	sp	11	1 Poor	...
1847	Cherry	Prunus	sp	13	2 Fair	...

1848	Maple-Sugar	Acer	saccharum	8	1 Fair	...
1849	Maple-Sugar	Acer	saccharum	9	1 Fair	...
1850	Maple-Sugar	Acer	saccharum	8	1 Poor	...
1851	Oak-White	Quercus	alba	1	2 Good	...
1852	Maple-Sugar	Acer	saccharum	8	1 Good	...
1853	Maple-Sugar	Acer	saccharum	9	1 Fair	...
1854	Ash-White	Fraxinus	americana	22	1 Dead	...
1855	Oak-Northern Red	Quercus	rubra	8	1 Poor	...
1856	Tuliptree	Liriodendron	tulipifera	30	2 Fair	...
1857	Oak-Northern Red	Quercus	rubra	10	1 Fair	...
1858	Maple-Red	Acer	rubrum	19	1 Dead	...
1859	Birch-Sweet	Betula	lenta	12	1 Fair	...
1860	Birch-Sweet	Betula	lenta	18	1 Good	...
1861	Birch-Sweet	Betula	lenta	15	1 Fair	...
1862	Birch-Sweet	Betula	lenta	24	1 Good	...
1863	Oak-White	Quercus	alba	14	1 Good	...
1864	Cherry	Prunus	sp	8	1 Poor	...
1865	Cherry	Prunus	sp	9	1 Fair	...
1866	Oak-Northern Red	Quercus	rubra	10	1 Fair	...
1867	Hickory-Shagbark	Carya	ovata	13	1 Good	...
1868	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1869	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1870	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1871	Oak-Northern Red	Quercus	rubra	9	1 Poor	...
1872	Maple-Red	Acer	rubrum	20	3 Poor	...
1873	Birch-Sweet	Betula	lenta	22	2 Poor	...
1874	Oak-Northern Red	Quercus	rubra	16	1 Fair	...
1875	Hickory-Shagbark	Carya	ovata	18	1 Good	...
1876	Hickory-Shagbark	Carya	ovata	8	2 Fair	...
1877	Hickory-Shagbark	Carya	ovata	8	1 Good	...
1878	Hickory-Shagbark	Carya	ovata	21	1 Good	...
1879	Hickory-Shagbark	Carya	ovata	16	1 Fair	...
1880	Oak-Northern Red	Quercus	rubra	8	1 Fair	...
1881	Oak-White	Quercus	alba	10	1 Good	...
1882	Hickory-Shagbark	Carya	ovata	8	1 Fair	...
1883	Hickory-Shagbark	Carya	ovata	9	1 Fair	...
1884	Hickory-Shagbark	Carya	ovata	12	1 Poor	...
1885	Hickory-Shagbark	Carya	ovata	13	1 Fair	...
1886	Hickory-Shagbark	Carya	ovata	8	1 Fair	...
1887	Maple-Red	Acer	rubrum	8	1 Poor	...
1888	Hickory-Shagbark	Carya	ovata	10	1 Poor	...
1889	Hickory-Shagbark	Carya	ovata	9	1 Fair	...
1890	Hickory-Shagbark	Carya	ovata	12	1 Fair	...
1891	Birch-Sweet	Betula	lenta	19	1 Fair	...
1892	Maple-Sugar	Acer	saccharum	13	1 Fair	...
1893	Maple-Sugar	Acer	saccharum	8	1 Poor	...
1894	Birch-Sweet	Betula	lenta	12	4 Good	...
1895	Tree of Heaven	Ailanthus	altissima	8	1 Poor	...
1896	Tree of Heaven	Ailanthus	altissima	9	1 Poor	...
1897	Cherry	Prunus	sp	9	1 Poor	...
1898	Hickory-Shagbark	Carya	ovata	8	1 Poor	...
1899	Maple-Red	Acer	rubrum	17	2 Good	...
1900	Maple-Sugar	Acer	saccharum	10	1 Fair	...



BARTLETT TREE EXPERTS

SCIENTIFIC TREE CARE SINCE 1907

2240 SAW MILL RIVER ROAD
ELMSFORD, NY 10523
(914) 592-4520
(914) 592-5068(FAX)

October 2nd, 2021

Powerflex
805 Third Avenue
New York, NY 10022

Re: Tree Survey for 571 East Main Street

Dear Romer,

We have completed the inventory of the trees on the site. This included tagging each tree with a unique number and recoding species, DBH and condition. Each tree was also geolocated and we can provide the shape file for use if required. The site is a mix of open areas, existing houses and wooded areas. Some portions are very thick with vines and so I had to have someone on site to just cut the paths needed to get to the trees. We recorded all trees over 8" in diameter.

The breakdown of condition and definitions listed below:

- 1) 25 trees are Dead-
- 2) 187 trees are Poor Condition (on this site many of the trees are in this category due to excess overgrowth from invasive vines)
- 3) 328 trees are in Fair Condition –
- 4) 160 trees are in Good Condition-

Dead

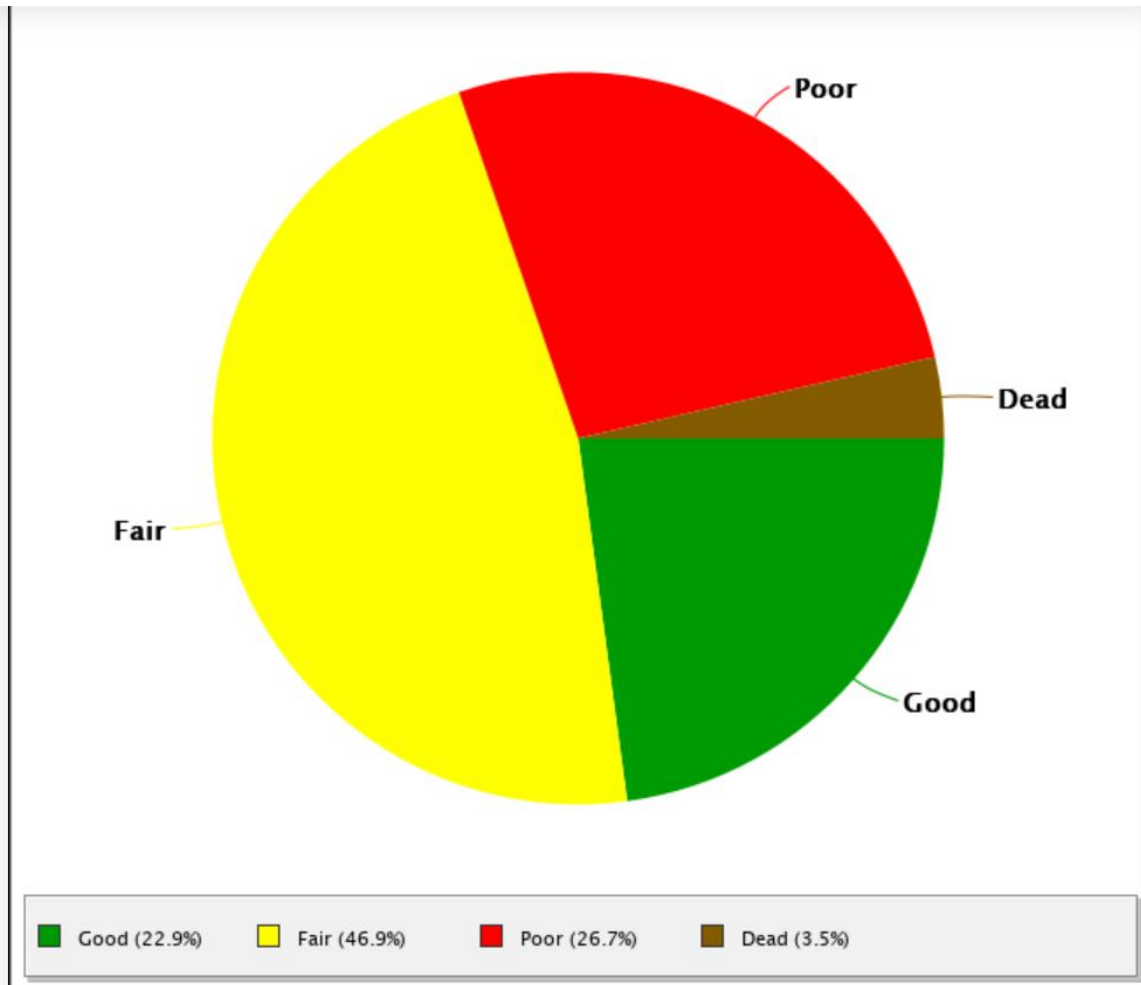
Poor: Most of the canopy displays dieback and undesirable leaf color, inappropriate leaf size or inadequate new growth. Tree or parts of tree are in the process of failure.

Fair: Parts of canopy display undesirable leaf color, inappropriate leaf size, and inadequate new growth. Parts of the tree are likely to fail.

Good: Tree health and condition are acceptable.

You requested a breakdown of invasive tree species on the site as well. I used the NYS Department of Environmental Conservation's list of invasive tree species and found the following species on the site:

- 1) 52 Ailanthus Altissima
- 2) 17 Black Locust – Robinia Psuedoaccacia
- 3) 1 Poplar deltoides



I did not cross reference how many of these invasive species may be listed as being poor or dead, but the attached Excel can be sorted any way you like.

The biggest problem on site with the trees is the invasive vines including Bittersweet and Porcelainberry. These vines are causing major damage to the trees and if cut would still require some follow up treatments to get good control. I have included some photos below.





Feel free to let me know any questions.
Thanks

Trevor Hall
Bartlett Tree Experts
Certified Arborist #PD 0269



**BARTLETT
TREE EXPERTS**

SCIENTIFIC TREE CARE SINCE 1907

**2240 SAW MILL RIVER ROAD
ELMSFORD, NY 10523
(914) 592-4520
(914) 592-5068(FAX)**

November 1, 2021

Powerflex
805 Third Avenue
New York, NY 10022

Re: Tree Survey for 591 East Main Street

Dear Romer

I wanted to respond to question about the condition class definitions. In an inventory assessment there is typically a request for a rating of the general condition of each tree. The most typical condition classes are Good, Fair, Poor, and Dead. We have established those definitions for our inventory program, and they are listed below.

Dead

Poor: Most of the canopy displays dieback and undesirable leaf color, inappropriate leaf size or inadequate new growth. Tree or parts of tree are in the process of failure.

Fair: Parts of canopy display undesirable leaf color, inappropriate leaf size, and inadequate new growth. Parts of the tree are likely to fail.

Good: Tree health and condition are acceptable.

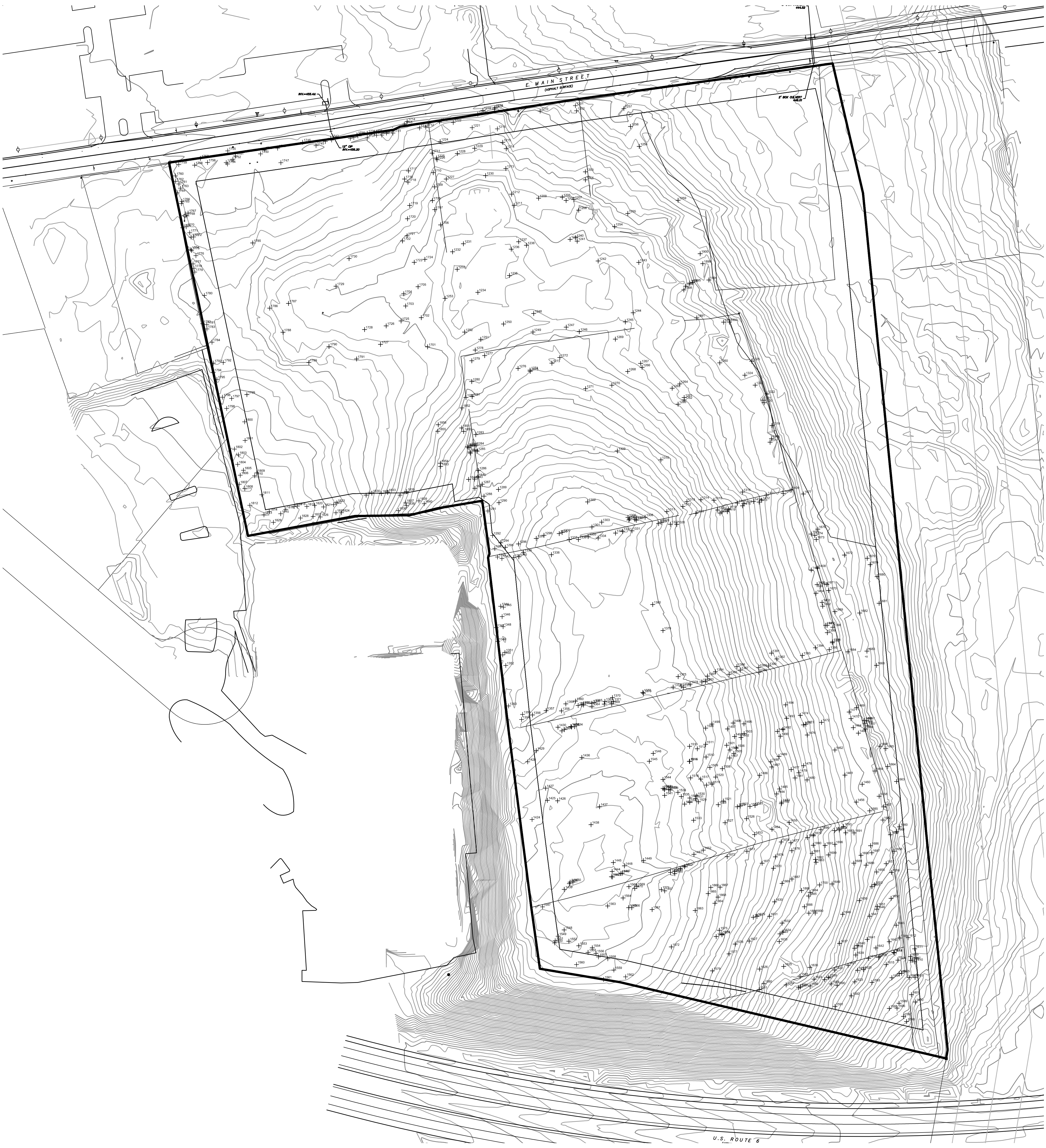
There is not actually an established definition of these condition classes by the ISA or ASCA an so many companies or Towns are likely to have slightly different definitions. In this case the Town definition is listed below.

“hazardous, damaged, beyond salvaging or in an advanced state of decline”. (Chapter 270-5.A)

It seems to me as if both the town definition of “poor” and our definition of “poor” are pretty much aligned. None of the trees would pose a hazard as there are no targets to cause harm to, but they both account for the tree being in a state beyond recovery. I would say that all of the trees that we had rated as poor would qualify under the town definition of poor.

Please free to let me know any questions.
Thanks

Trevor Hall
Bartlett Tree Experts
Certified Arborist #PD 0269



OCT 29 2021

TOWN OF YORKTOWN

To: Yorktown Planning Board
From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: 29 October 2021

RE: Old Hill Farm Solar Farm

Chairman Fon and members of the Planning Board

The TCAC has reviewed the materials in the referrals for the referenced project that were received on 28 October 2021. The TCAC rejects this referral for the following reasons:

1. The Engineer has used a "one tree replacement for one tree removal" as the mitigation ratio. This is not in accordance with the Chapter 270 tree ordinance. The ordinance defines the mitigation ratio as:
 - "The replacement rate expressed in base terms of diameter at breast height (dbh) shall be calculated by dividing the dbh of each lost tree by the average dbh of replacement trees. The result shall be the number of replacement trees required to be planted in compensation for each lost tree." For example, if there were only 12 9"(dbh) trees being removed and the average replacement tree's dbh was 3", the required number of replacement trees would be 36. Similarly, a 33" dbh tree removal would require 11 replacement trees.
2. The Engineer states that there are 70 invasive tree removals. The Arborist states that there are 68 invasive tree removals. The Engineer lists the same 68 invasive trees as the Arborist does. The Engineer's letter needs to be corrected.
3. The Engineer has provided a LANDSCAPE & TREE MITIGATION PLAN. This plan shows, only, the location of each tree to be removed. It does not identify each tree in accordance with the Arborist's Tree Inventory List ID number. CHAPTER 270-8.C.1(b) requires "Within the proposed area of disturbance, the number, location and species of protected trees to be removed".
4. The Arborist's Tree Inventory list does not indicate which trees are being removed. There is no way to determine the total tree dbh being removed, the numerator in the mitigation ratio.
5. The Engineer gives the average heights of the replacement trees. He does not give the average dbh of the replacement trees, the denominator in the mitigation ratio.
6. The Engineer correctly discounts the removal of invasive and dead trees, although he does not identify the number of dead trees. However, he also discounts trees that the Arborist deems to be in poor condition. The tree ordinance does not mention a discount for trees in poor condition. The Arborist does not identify which of the poor condition trees are "hazardous, damaged, beyond salvaging or in an advanced state of decline". (Chapter 270-5.A) Such designation would allow such trees to be discounted in the mitigation calculation.

7. The Engineer tries to take mitigation credit for the removal of all invasive trees. Only the removal of invasive trees not required for construction of the solar farm, would count towards mitigation credit.
8. The Engineer tries to take mitigation credit for the removal of all invasive vines. Only the removal of invasive vines from trees that are to remain would count towards mitigation credit. The areas of such removals are not indicated on the LANDSCAPE & TREE MITIGATION PLAN.

The Engineer and the Arborist must correct the above noted deficiencies and resubmit their plans. Once this is done, the Engineer needs to recalculate the mitigation ratio to determine the required replacement trees and what the payment to the Tree Bank fund will be.

Sincerely,
Lawrence W. Klein, PE, Member
Tom Schmitt, Member
Keith Schepart ISA, Member

Maryel School

Robyn Steinberg

From: Maryel School of New York <mail@maryel.org>
Sent: Thursday, October 28, 2021 3:01 PM
To: Robyn Steinberg; John Tegeder
Subject: Saint Andrew's Church and Maryel School documents
Attachments: Saint Andrew's Lutheran Church.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Tegeder and Ms. Steingberg,

Thank you very much for taking the time to meet with me and Pastor Dave last week. As per your request, I'm attaching to this email the following:

- 1- Letter from Pastor Dave Dockweiler (Saint Andrew's Lutheran Church) stating his interest in leasing to us the space at 2405 Crompond Road, Yorktown Heights. You will find documents that prove that this space was occupied by Our Montessori School during many years. This packet includes two Certificates of Occupancy and other documents that show that the space has been used as preschool and elementary school.
- 2- Letter from Maryell School explaining our strategic plan.
- 3- Floor plan of the current space. We are planning to use the space "as is"
- 4- Survey of the property
- 5- Letter from the Building Department.
- 6- Statement from the Office of Children and Family Services that proves that Maryel School will not be required to obtain a license from the Office of Children since our preschool program will be located on school grounds, and we will not have children under 3.

We ask you to please review these documents as we would like to move forward as soon as possible.

Please do not hesitate to contact me if you need additional information.

Sincerely,

Celi Cacho
Head of School

Maryel School of New York
www.maryelschool.org

St. Andrew's Lutheran Church

2405 CROMPOND ROAD
YORKTOWN HEIGHTS, NEW YORK 10598

October 27, 2021

We at St. Andrew's are delighted that Juan and Celi Cacho have approached us about renting our available space to use as a school.

Our Montessori School (OMS) was the prior tenant that rented the space we are looking to rent now to the Maryel School of New York. OMS rented this space from us for over 40 years through June 15, 2020. OMS rented additional space not included in Maryel's proposal. At its peak (1989-1990), OMS used the large room to educate 64 children under the supervision of 4 teachers. The following documentation demonstrates that OMS operated continuously at this location for many years.

On pages 2-4 of this document you will find screen shots from OMS's website describe how OMS used the space. These pages can be found at <http://www.ourmontessorischool.com/covid-19.php> To summarize, the grades were preschool/kindergarten through 3rd grade and the ages of the students ranged from three to eight years. The number of students attending ranged from 40 – 60 over the last ten years.

Page 6, a letter from Yorktown School Superintendent verifying the education being provided at our location is consistent with public schooling-dated Feb 6, 1985.

Pages 7-12 is a copy of OMS annual report from this location-dated 2019-2020.

Pages 13 includes 2 Certificates of Occupancy the first from 1968, the second from 2002.

Pages 14-16 are copies of various Fire Inspections on this site for OMS with signatures from Ed Kolisz and Joh Landi.

Pages 17-20 is a copy of a report from New York State Office of Child and Family Services, page 18 and 20 state that an elementary school has operated at our location-dated March 26, 2007

Page 21 is the tuition schedule of their elementary school grades 1-6 for the year 2020-2021 published before going out of business.

The proposal from Maryel School reflects usage of our building that very similar to the way in which it was used by OMS.

Thank you for your consideration of this proposal,

Pastor Dave Dockweiler



About Us

Our Montessori School in Yorktown and Carmel has been offering quality care and education since 1972. We provide programs for infants, toddlers, nursery and kindergarten -age children as well as an elementary school that goes through the sixth grade.

Our child-to-teacher ratio is excellent and averages six to one. Classes use the Montessori learning materials, which are designed to teach concepts in a concrete way, then help the child make the leap from the concrete to the abstract. Our primary aim is to preserve the child's natural curiosity and nourish and encourage the love of learning that is present in each child. Children learn respect for each other and the environment and develop confidence and a "can-do" attitude through many small successes.

Curriculum

In addition to "the basics" we feature a variety of special subjects, including instrumental and choral music, dance, art, computers, drama, French, physical education and chess. Always, we emphasize a hands-on, learning by doing approach as we strive toward excellence.

Teachers

Our teachers are hand-picked and superbly trained, and most have been with us for many years. They create a warm, nurturing atmosphere which makes the children feel relaxed and allows them to progress and learn at their optimum rate.

Hours & Transportation

Regular school hours are from 9:00AM-12:00AM and 12:30Pm - 3:30PM. Many children attend both mornings and afternoons, and extended hours are available from 7:00AM to

Nursery / Kindergarten



A happy place to learn!

COVID-19 ANNOUNCEMENT

FOR DETAILS

Click on the Coronavirus COVID-19 Updates and OMS Link on top of the page.

At Our Montessori School we mold the education to fit the child, not the child to fit the program. By this we mean many things. One is that we respect each youngster as an individual possessing a unique combination of interests, needs and abilities. We mean that these elements shape his or her learning process, and that children learn better and more happily when they are allowed to work at their own pace.

Our nursery and kindergarten program presents the children with a rich and balanced variety of interesting activities. In addition to the traditional preschool program of easel painting, sculpture, blocks and games, there is the opportunity to take part in frequent music, dance, or dramatic productions, to learn French with our native French teacher, or to join a group engaged in sewing, cooking, or crafts. Visitors from outside the classroom are an integral part of the program.

"Thank you for making us the envy of our peers...our children actually look forward to coming to school!"

— ...Grace F., parent



Program Overview

[Our Philosophy](#)

[Our Program](#)

[Our Teachers](#)

[Location, Hours & Transportation](#)

Our Programs

The complete set of the excellent Montessori material for mathematics, science, and perceptual learning is available to each class. In addition, we have developed dozens of original learning materials which extend and complement the standard Montessori set. Throughout, teachers encourage the children to learn through all of their senses. With the help of these materials, the learning of complex skills is broken down step by step, allowing the children to master one difficulty at a time.

For example, to write the letter "A" requires knowledge of the shape of the letter, as well as the ability to control the pencil. Little fingers learn to hold a pencil by working with special puzzles and other small pick-up games. The children learn to control the pencil by doing "insets," tracing the outline of a geometric figure and then shading the figure with parallel lines in various colors. At the same time, they learn the shape of the letter by using their fingers to trace it on the sandpaper alphabet and to copy it in a pan filled with sand. Next, they might write it on a piece of tracing paper laid over a large picture of the letter. Finally, they put all these skills together and proudly write the letter "A" on a blank piece of paper.

A large percentage of our three-, four-, and five-year olds are learning to read by using our reading program which was developed by Betty Hengst, based on Dr. Montessori's ideas. Reading is the key to advanced learning, and the program encourages our children to acquire this skill by making it an exciting, rewarding, and spontaneous activity.

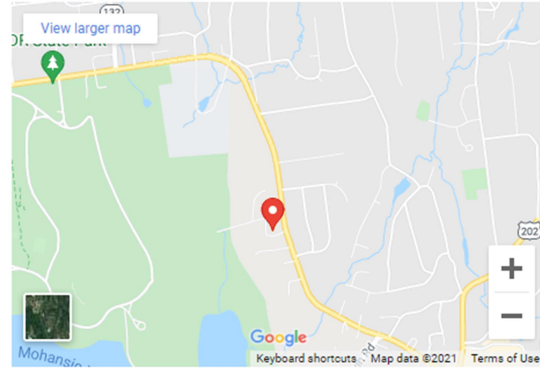
**Our Montessori School
Campus Locations**

Our Students come from the following towns:

- New York
- Amawalk
- Bedford
- Bedford Hills
- Brewster
- Carmel
- Chappaqua
- Cold Spring
- Cortlandt Manor
- Crompond
- Cross River
- Croton Falls
- Croton-on-Hudson
- Garrison
- Goldens Bridge
- Granite Springs
- Holmes
- Hopewell Junction
- Katonah
- Lake Peekskill
- Lincolndale
- Mahopac

St. Andrew's Lutheran Church

- Phone: (914)962-9466



Thank you for making us the envy of our peers, our friends, and our community!
— Grace F. parent



Program Overview

[Our Philosophy](#)

[Our Program](#)

[Our Teachers](#)

[Location, Hours & Transportation](#)

Location, Hours & Transportation

Our nursery-kindergarten classes are located in three Yorktown sites: at St. Andrew's Lutheran Church, 2405 Crompond Road; United Methodist Church, 2300 Crompond Road; In Carmel there is one site at 4 Glenna Drive. We have large, modern classrooms with lots of natural sunshine and a warm, friendly atmosphere. For outdoor activities, there are large play areas. Our nature area is an inviting space for the study of plants and animals.

We are a non-denominational, non-sectarian school. Children are accepted without regard to race, creed, or national origin. Children must be three by December 31 of the school year in which they enter.

The nursery-kindergarten program has both morning (9:00-12:00) and afternoon (12:30-3:30) sessions. Children normally attend one session per week, though a limited number of two-, three-, and four-day children are accepted in the nursery program. Some of our children attend both morning and afternoon sessions.

2300 Crompond Rd Yorktown Heights, NY



[Home \(index.html\)](#) / [Our Faculty](#)

COVID-19 Updates

We are sorry to announce, that Our Montessori School has had to close its doors.

A combination of factors including the challenges of the Covid pandemic, age and declining health of the founder, and a last minute change of plans by the person who was to take over the school, has made it impossible for the school to continue. Despite herculean efforts to avoid this outcome, ultimately it was not in our control. Thank you for your understanding, and thank you to all who have helped over the past 48 years to make it a wonderful place for children to learn and grow. We know that valuable time spent together lives on in the lives of former students and the community.

All tuition deposits have been refunded. If you need to get in touch with us for record requests or other matters, please use the contact email provided.

There is a wide variety of wonderful Montessori materials, furniture, and other school supplies available for sale. We are leaving the website with pictures up for a couple of months, for the good memories, and also for people who might be interested in seeing pictures that include some of the materials for sale. Please contact us if you are interested.

All the best, OMS

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YORKTOWN

CENTRAL SCHOOLS

DR. RICHARD S. GREENE
SUPERINTENDENT OF SCHOOLS

2723 CROMPOND ROAD - YORKTOWN HEIGHTS, NEW YORK 10598

914-245-6037

February 6, 1985

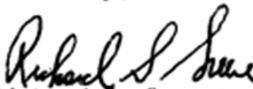
Mrs. Betty Hengst
Our Montessori School
P.O. Box 72
Yorktown Heights, NY 10598

Dear Mrs. Hengst:

After reviewing the data recently submitted by you, this letter serves as confirmation that Our Montessori School's elementary program offers equivalency of instruction to the public schools. This includes the classes at the United Methodist Church, 2300 Crompond Road, as well as the first grade class at St. Andrew's Lutheran Church, 2405 Crompond Road.

As is the case with all transfer students, children from Our Montessori School will be placed in the Yorktown School System in accordance with their ages, subject to our placement procedures.

Sincerely,


Richard S. Greene

Superintendent

RSG:dc

THE UNIVERSITY OF THE STATE OF NEW YORK
THE STATE EDUCATION DEPARTMENT
 Office of Early Learning (OEL)
 89 Washington Avenue, Rm. 319 EB, Albany, New York 12234
 Phone: (518) 474-5807 | Fax: (518) 473-7737



2019 – 2020 Annual Report for Registered Nonpublic Nursery Schools & Kindergartens
Due Date: July 31, 2020

SCHOOL INFORMATION	
School Name	
Check <u>all</u> that apply	<input checked="" type="checkbox"/> Nursery School <input checked="" type="checkbox"/> Prekindergarten <input checked="" type="checkbox"/> Kindergarten <input checked="" type="checkbox"/> Montessori School <input type="checkbox"/> Parent Cooperative <input type="checkbox"/> Mission of a Church or Synagogue
School Address	P.O. Box 72, 2405 Crowpond Road
City and Zip Code	Yorktown Heights 10598
Telephone Number	914-962-9466
Web Address (www.)	www.ourmontessorischool.com
School Owner, Director & Administrator Information	Complete page 2
REGULATORY AUTHORITY	
Registered/ Licensed by a Regulatory Agency?	<input type="checkbox"/> OFFICE OF CHILDREN & FAMILY SERVICES (OCFS) <input type="checkbox"/> NYC DEPT. OF HEALTH & MENTAL HYGIENE (NYC DOHMH) <input checked="" type="checkbox"/> N/A (NOT LICENSED OR REGISTERED BY A REGULATORY AGENCY) License # (OCFS) or Permit # (NYCDOH)

I verify that the information provided in this report is correct and reflects the current status of program operations.

Authorized Signature Elizabeth Silverman Date 07/31/2020
 Title (print) Executive Director

FIRE SAFETY REPORT
<p>All nonpublic nursery schools and kindergartens that are registered with the New York State Education Department are required to submit an annual fire inspection report as per Commissioner's Regulations, Part 125.10 (b). The law states that all NYSED registered nursery schools and kindergartens not licensed by The Office of Children and Family Services (OCFS), those that are located outside of the Big Four and NYC school districts and those who are not part of a college, university or larger elementary school campus, must complete the NYSED Fire Safety Report form. All other registered nurseries and kindergartens must attach a copy of the document that confirms the nursery site passed all fire safety requirements as set forth under their authority.</p> <p>The Fire Safety Report must be submitted by December 1st to: NYS Education Department, Office of Facilities Planning, 89 Washington Avenue – Room 1060 EBA, Albany, NY 12234. In addition, a copy of the Fire Safety Report must be submitted <u>with the Annual Report</u> for Registered Nonpublic Nursery Schools and Kindergartens by July 31st to the Office of Early Learning. The Fire Safety Report form can be downloaded on the Facilities Planning website.</p>

By signing below, I am confirming that I have attached a copy of our most recent completed NYSED Fire Safety Report or the equivalent report completed by our regulatory authority to this Annual Report form.

Authorized Signature Elizabeth Silverman

SED USE ONLY	
RWAR	<input type="checkbox"/> SED FSR <input type="checkbox"/> FSI DOC <input type="checkbox"/> NYC DOHMH - PC FID _____ <input type="checkbox"/> NR
RQD FSR	

The University of the State of New York
THE STATE EDUCATION DEPARTMENT
 Office of Early Learning
 89 Washington Avenue, Room 319 EB
 Albany, New York 12234

VOLUNTARY REGISTERED NONPUBLIC
 NURSERY SCHOOLS & KINDERGARTENS

Site Contact Information Form

Revised 04/2020

Please complete the form below in its entirety.

This contact form must be completed annually as well as any time there is a change in Educational Director, Administrative Director, and/or other school contact information. Per regulations this form must be submitted within 10 days of any changes. This form can be submitted by e-mail to: oe1@nysed.gov or by fax to (518) 473-7737.

School Name	
Educational Director Name	Sarah Marinelli (contract ended 6/30/20) Looking for replacement
Email Address	oms9@verizon.net
Telephone Number & Ext.	914-962-9466
Fax Number	914-962-9470
Administrative Director Name	Barbara Diehl
Email Address	barbaradiehlaw@yahoo.com
Telephone Number & Ext.	914-245-7402
Fax Number	
Other School Administrator Name	Elizabeth Silverman
Title	Executive Director
Email Address	oms9@VERIZON.NET
Telephone Number & Ext.	914-962-9466
Fax Number	914-962-9470
Site Director(s) Name	
Owner	OUR MONTESSORI SCHOOL, INC.
Board President	Betty Hengst

Is the above listed Educational Director new since the 2019-20 school year? Yes* No

*If yes, please include all of the following documents:

- Completed Staff Background Form (see page 5)
- Copy of Teacher Certification Certificate
- Resume or written narrative that provides evidence of instruction and/or experience in supervision and administration.

Is the above listed Administrative Director new as of the 2019-20 school year? Yes* No

*If yes, please include a completed Staff Background Form

School Operation & Enrollment

School Name	Our Montessori School, Inc.
-------------	-----------------------------

SCHOOL YEAR SESSION & FACILITY HOURS OF OPERATION

(Only report for the school year that began in 2019)

Date School Began	09 15 2019	Date School Ended	06 15 2020	Time Facility Opens	7:00	Time Facility Closes	6:00
-------------------	------------	-------------------	------------	---------------------	------	----------------------	------

in-person classes ended 03/13/2020

STUDENTS SERVED

Ages of Students Served	<input checked="" type="checkbox"/> 3 <input checked="" type="checkbox"/> 4 <input checked="" type="checkbox"/> 5	← check all that apply
# of Nursery Students	16	*The Voluntary Registration Program is for 3-5-yr-olds ONLY (3s are students who turn 3 on or before December 1*) *Do not include infants or toddlers in the number of students
# of Prekindergarten Students	18	
# of Kindergarten Students	4	
TOTAL # OF STUDENTS	38	← must provide the <u>total number of 3-5-year-olds</u> served

Please only complete this section for classrooms serving 3-5-year-olds ONLY

Total # of Classrooms	2	# of Lead Classroom Teachers	2
# of Teacher Assistants	4	# of Classroom Aides	
# of Parent Assistants		← only for parent cooperatives	

Staffing Assignments (3-5-year-old classes ONLY)

In the charts below, please list the staff that were employed in your school during the 2019-2020 school year. Please indicate if the staff member will be returning for the 2020-2021 school year and if they have been approved by SED. SED approval requires the submission of a completed Staff Background Form, credentials and study plan (when required). Attach additional pages as needed. **If you have any new staff, please be sure to complete the Staff Background Form and submit with this report (page 5).**

LEAD TEACHERS

*Please be sure to submit updated Staff Study Plans for teachers where required (see page 6).

Teacher Name	Employed 2019-2020	Returning 2020-2021	Approved by SED	*Updated Study Plan Submitted (if required)
Alexandra Ruddle	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input checked="" type="checkbox"/> N/A
Sylvia Stiehl	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input checked="" type="checkbox"/> N/A
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input type="checkbox"/> N/A
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input type="checkbox"/> N/A
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input type="checkbox"/> N/A
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input type="checkbox"/> N/A
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input type="checkbox"/> N/A
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Submitted <input type="checkbox"/> N/A

Due to low enrollment we may only need one N/K class for 2020/2021.

TEACHING ASSISTANTS & AIDES (only Staff Background Forms required)

Teaching Assistant/Aide Name	Employed 2019-2020	Returning 2020-2021	Approved by SED
Robyn Mabus	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes? <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Krystyna Sewenyn	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes? <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Aatika Shaukar	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes? <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Luisa Siles	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes? <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

Due to low enrollment the need for aides will be lower. To be determined later in the summer.

Significant Changes

1. Is the nursery/kindergarten site **planning** any indoor or outdoor construction, renovations, or changes to structures, surfaces, equipment, borders or fencing?
 YES (please see Site Construction Process at www.nysed.com/OEL) NO
2. Has the nursery/kindergarten site **completed** any prior approved indoor or outdoor construction, renovations, or changes to structures/surfaces/ equipment/borders or fencing?
 YES (please submit for a final review) N/A NO

Please note that all registered nursery/kindergarten sites are required to complete and submit the CRP-1 form for any planned construction/renovation projects. The school must receive approval from the department prior to work commencing.

Please describe only significant changes in the areas listed below (information in parenthesis are examples only)

EMERGENCY PROCEDURES (procedures for responding to illness, accident, fire, emergency evacuation, sheltering in place)

No change

HEALTH POLICIES (e.g. administration of medication and staff training)

No change

STUDENT ENROLLMENT (e.g. ages and grades served and number of children in each group/session)

Enrollment is much lower for 2020/2021 probably due to COVID-19 health concerns

EDUCATIONAL PROGRAM (e.g. changes to daily schedule, curriculum and/or assessment)

No change

Annual Report Checklist

Listed below are the required documents for a complete report. Use this checklist to ensure that your report is complete and in compliance with the instructions before submitting.

Required Documents	Checked by Registered School	Checked by SED OEL
Report Cover Page (<i>complete and sign – two signatures</i>)	<input checked="" type="checkbox"/> Included	<input type="checkbox"/>
Fire Safety Report/Fire Safety Inspection Document (<i>attach to Annual Report</i>)	<input checked="" type="checkbox"/> Included	<input type="checkbox"/>
Contact Information Form - page 2 (<i>complete</i>)	<input checked="" type="checkbox"/> Included	<input type="checkbox"/>
School Operation & Enrollment - page 3 (<i>complete</i>)	<input checked="" type="checkbox"/> Included	<input type="checkbox"/>
Classroom and Staffing Assignments- page 4 (<i>complete</i>)	<input checked="" type="checkbox"/> Included	<input type="checkbox"/>
Staff Background Form - page 5 (<i>complete for new staff, promotions, reassignments</i>)	<input type="checkbox"/> Included <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>
Staff Study Plan - page 6 (<i>complete for lead teachers not permanently certified in EC; updated plans must be submitted for all staff on an approved plan of study</i>)	<input type="checkbox"/> Included <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>
Significant Changes – page 7 (<i>complete</i>)	<input checked="" type="checkbox"/> Included	<input type="checkbox"/>

Submit the completed Annual Report, Fire Safety Report and other supporting documents to ael@nysed.gov or mail to:

New York State Education Department
Office of Early Learning
89 Washington Avenue, Room 319 EB
Albany, New York 12234
Attn: 19-20 NSK Annual Report

After your report has been reviewed, you will be notified by e-mail if any additional information is needed.

Certificate of Occupancy
TOWN OF YORKTOWN
TOWN HALL

ORIGINAL

Nº 5474

Underhill Road, Yorktown Heights, N. Y.

Date Aug 19 1968

This CERTIFICATE OF OCCUPANCY is hereby issued by the DEPARTMENT OF BUILDINGS to St. Andrew's Lutheran Church of 2405 Crompond Road for buildings located on Crompond Road, designated on the Town Tax Map as Section 9 Block Par 12 Lot 12A in a Residential District, erected under the terms of Building Permit No. 10664, Dated Oct 24 1967

The building has been completed, and conforms substantially with the regulations and requirements of all Ordinances of the Town of Yorktown and Laws of the State of New York, applying to buildings of its class and type, and is hereby certified for occupancy as a Class Rooms

Remarks:

Receipt of fee of \$ is herewith acknowledged.

Andrew Diano

Building Inspector, Town of Yorktown

A. DeFLAVIS & SON
2337 CROMPOND ROAD
YORKTOWN HEIGHTS, N. Y. 10598

ORIGINAL

19733

Certificate of Occupancy
TOWN OF YORKTOWN
TOWN HALL

Underhill Road, Yorktown Heights, NY

Date October 16, 2002

This CERTIFICATE OF OCCUPANCY is hereby issued by the DEPARTMENT OF BUILDINGS to St. Andrew's Lutheran Church of 2404 Crompond Road for buildings located on 2404 Crompond Road, designated on the Town Tax Map as Section 9.02 Parcel 12 Lot 16 in a District, erected under the terms of Building Permit No. 26338, Dated June 3, 2002

The building has been completed, and conforms substantially with the regulations and requirements of all Ordinances of the Town of Yorktown and Laws of the State of New York, applying to buildings of its class and type, and is hereby certified for occupancy as a addition to church and school

Remarks:

Receipt of fee of \$ 20,000 (cash) is herewith acknowledged.

Brad Goodman ABE/IBI

Building Inspector, Town of Yorktown

August 2014

The University of the State of New York
THE STATE EDUCATION DEPARTMENT
Office of Facilities Planning - Room 1060 Education Building Annex
Albany, New York 12234

Dec. 2019
email 12/13/19

NONPUBLIC SCHOOL BUILDING FIRE SAFETY REPORT

PLEASE PRINT

All buildings which are owned, operated, or leased by nonpublic schools must be inspected annually for compliance with applicable sections of 8NYCRR155 Regulations of the Commissioner of Education and for compliance with the New York State Uniform Fire Prevention and Building Code (NYSUFPBC).

School Name

OUR MONTESSORI SCHOOL

Facility/Building Name

ST. ANDREWS LUTHERAN CHURCH

Street Address (NO PO Box Numbers)

2405 CROMPOND ROAD

City/Town/Village

Zip Code

YORKTOWN HEIGHTS 10598

Name of Municipality Responsible for Local Code Enforcement

TOWN OF YORKTOWN

Nonpublic School BEDS Code

662402997931 003

INSTRUCTIONS

- Read the "Manual for New York State Nonpublic School Facility Fire Safety Inspections" prior to inspecting the facility.
- A separate report must be completed for each building and location.
- **Part I: General Information.** School officials must complete this section annually.
- **Part II-B Regulations of the Commissioner 155.25:** This section must be completed for schools with electrically operated partitions (Question 8, Non-Conformance Report Sheet) pursuant to the Fire Code and Property Maintenance Code of New York State.
Questions 9-26 on the Non-Conformance Report Sheet must be completed for all schools.
- **Part III Certifications.** To be completed by individuals as indicated.
- This form must be kept on file at the school for three years and must be available for public review.
- **Submitting the Report:** The final submission package includes a total of five pages. After the inspection, sign the Certifications page (Part III, p.5), staple the pages together, and mail to the address above.

Section III-A. Fire Inspector

The individual noted below inspected this building on 12/9/19 (date) and the information in this Report represents, to the best of their knowledge and belief, an accurate description of the building and conditions they observed. The individual that performed this inspection has maintained their certification requirements pursuant to Title 19 Part 434.5(a)(2).

Name: Edward Korus Telephone #: (914) 962-5722
 Title: FIRE INSPECTOR Registry #: NY2009205
 (as designated by the NYS Fire Administrator)
 Signature: [Signature]

Section III-B. Building Administrator or Designee

The individual noted below certifies that this building was inspected as indicated in Section III-A above.

Name: David Hamm Telephone #: (914) 739-5880
 Title: Treasurer

Section III-C. School Administrator, Director, or Headmaster

I hereby submit this fire inspection report on behalf of the Board of Trustees and certify that:

1. Public notice of report availability has been published, and that
2. Any nonconformances noted as corrected on the *Nonpublic Fire Safety Non-Conformance Report Sheet* portion of this report were corrected on the date indicated, and that
3. For any uncorrected nonconformances that appear on this report, the Board of Trustees, at the meeting held pursuant to Section 807-a of New York State Education Law, adopted a written plan of correction for those nonconformances, and such plan is available for public inspection.

Name: Elizabeth Silverman Telephone #: (914) 962-9466
 Title: Executive Director Signature: [Signature]

Section III-D. Local Municipal Code Enforcement Official

The nonpublic school official shall enter the name and telephone number of the local municipal code enforcement official having jurisdiction over this facility, and the name of the municipality where this nonpublic school facility is sited.

Name: DAN LANDI Telephone #: (914) 962-5722
 City/Town/Village: Yonkers

12/9/19

Inspection Date
Operating Permit Required

Town Of Yorktown
Fire Inspection Report
914-962-5722 x 254

Follow Up Date 1/9/19
Inspection #

Business Name: CAR MONTROSSI SCHOOL Address: 2405 CROMWELL RD Phone #: _____

Interviewed: G. SWANNE AND HARR Business Use: CHURCH SCHOOL

	Pass	Fail	N/A		Pass	Fail	N/A
Section 304 - Combustible Waste Material				Section 903 Sprinklers			
304.1 - Waste Accumulation Prohibited	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	903.3.5 - Backflow Protection	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
304.3 - Containers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 904 Alt. Auto Fire-Ext. Systems	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 315 - Combustible Storage				Section 905 Standpipes	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
315.2 - Storage in Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 906 Portable Fire Extinguishers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
315.3 - Outside Storage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 907 - Fire Alarm & Detection Systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Section 404 - Fire Safety & Evac Plans				Section 912 - Fire Department Connections	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
404.2 - Where Required	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 913 - Fire Pumps	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 405 - Emergency Evacuation Drills				Section 1027 - Maint. Of the Means of Egress	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
405.2 - Frequency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Section 1028 - Means of Egress for Existing Bldgs.			
Section 407 - Hazard Communication				1028.2 - Locks & Latches	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
407.2 - MSDS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1028.4 - Posting of Occupant Load	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section 504 - Access to Building Openings & Roofs				1028.7 - Exit Signs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
504.3 Stairway Access to Roof	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1028.9 - Illumination Emergency Power	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Section 505 - Premises Identification				1028.11 - Aisles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
505.1 - Address Numbers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1028.12 - Handrails	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Section 506 - Key Boxes				Chapter 15 - Flammable Finishes			
506.1 - Where Required	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1503 - Protection of Operations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 508 - Fire Protection Water Supplies				1504.6 - Spray Finishing, Fire Protection	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
508.5 - Fire Hydrant Systems	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Chapter 22 - Motor Fuel-Disp. & Repair Facilities			
Section 510 - F.D. Access to Equipment				2203.2 - Emergency Disconnect Switch	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
510.1 - Identification	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2205.5 - Fire Extinguishers	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 603 - Fuel-Fired Appliances				2205.6 - Warning Signs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
603.4.1 - Portable Unvented Heaters, Prohibited Occupancies	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2206.8 - Fire Protection System	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
603.6 - Chimneys and Appliances	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2211 - Repair Garages	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 605 - Electrical				Chapter 26 - Welding & Other Hot Work			
605.1 - Abatement of Electrical Hazards	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Chapter 27 - Hazardous Materials-General			
605.3 - Working Space and Clearance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2703.5 - Hazard Identification Signs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
605.4 - Multiplug Adaptors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2703.8.6 - Gas Cabinets	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
605.5 - Extension Cords	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2703.9.3 - Protection From Vehicles (312)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
605.6 - Unapproved Conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2703.9.8 - Separation of Incompatible Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 607 - Elevators				Chapter 30 - Compressed Gases			
Section 610 - Commercial Cooking Hoods				3003.3 - Security	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 611 - Carbonmonoxide Alarms				Chapter 38 - LPG			
Section 703 - Fire-Resistance Rated Const.				3804 - Location of Containers	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Section 901 - Fire Protection Systems-General				3805.3 - Balconies	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
901.6 - Inspection, Testing & Maintenance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3807.4 - Protection From Vehicles	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
				3809 - Storage of Portable LP-Gas Containers Awaiting Use or Resale	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Remarks: INSPECT FIRE EXTINGUISHERS
REPLACE ALL SMOKE DETECTORS > 10 YEARS OLD.
CHECK ALL EMERGENCY LIGHTS.

Inspected By: [Signature]



New York State
Office of Children
& Family Services

March 26, 2007

Elliot Spitzer
Governor

Betty Hengst
Hengst, Betty
2405 Crompond Road
Yorktown Height, NY 10598

Gladys Carrión, Esq.
Commissioner

RE: Inspection ID: 2007-I-YRO-001420
Inspection Type: Monitoring, Monitoring - Enforcement
Inspected By: Sheletha Cannady-Chang, Licensor
00307198-DCC
Facility Name: Hengst, Betty
County: Westchester

Bureau of Early
Childhood Services
Yonkers Regional Office

525 Nepperhan Avenue
Suite 205
Yonkers, NY 10703

Dear Betty Hengst:

The inspection on March 22, 2007 identified no new violations of the regulations of the New York State Office of Children and Family Services. The violation(s) from previous inspection(s) that you have corrected can be found on the attached Report of Corrected Violations. We are pleased to inform you that based on your response and/or our additional investigation, we find you are now in compliance with the regulations of the New York State Office of Children and Family Services.

We are including the following reports for your reference:

1. **Report of Corrected Violations:** This provides details of all corrected violations and the steps you have taken to achieve compliance.
2. **List of Cited Regulations:** This provides details of all regulations referenced in the attached reports.



An Equal Opportunity
Employer

Inspection with CAP
Revised 01/2005

On March 22, 2007 Office staff conducted an unannounced inspection at 2405 Crompond Road in Yorktown Heights. The purpose of the inspection was to determine if elementary or secondary education is being provided at 2405 Crompond Road. During the inspection Office staff learned that an elementary education class is provided at the location.

If you have any questions concerning this matter or are in need of technical assistance, please contact me at (914) 376-8815.

Sincerely,



ANGELA RESHARD-PLAYER
Licensing Supervisor



FRANCES FRANCO-MONTERO
Regional Manager

cc: Sheletha Cannady-Chang

Report of Corrected Violations

Violation #	CORRECTED VIOLATION INFORMATION	Compliance Date
1	<p>Inspection ID: 2007-I-YRO-001140</p> <p>Inspection Date: 03/08/2007</p> <p>Inspected By: Cannady-Chang, Sheletha</p> <p>Inspection Type: Complaint</p> <p>Regulation(s): 413.2(g), 418-1.15(a)(1)</p> <p>Observed Severity: Serious</p> <p>Specific Deficiency: On March 8, 2007 Office staff conducted an unannounced inspection at 2405 Crompond Road, in Yorktown Heights, New York. During the inspection Office staff confirmed that childcare is being provided for more than three children for more than three consecutive hours per day per child.</p> <p>Office staff learned that children from a licensed day care center located at 2966 Crompond Road, in Yorktown Heights were moved to 2405 Crompond Road while the building which houses their program is undergoing construction. The program at 2405 Crompond Road is owned and operated by the same individuals who own and operate the licensed day care centers located at 2966 Crompond Road and 1243 Whitehill Road in Yorktown Heights. The children who regularly attend the program at 2405 Crompond Road are between three to five years of age. They attend the program Monday through Friday for three or more hours per day.</p> <p>On March 12, 2007 the Owners/Operators of the Our Montessori Schools (located at 2405 Crompond Road, 2966 Crompond Road, 2300 Crompond Road, and 1243 Whitehill Road all in Yorktown Heights) met with the Regional Office Manager, Frances I. Franco-Montero; Licensing Supervisor, Angela Reshard-Player; and Sheletha Cannady-Chang, Licensor. During the meeting the Owners confirmed that they are operating a program at 2405 Crompond Road, which serves children between three to five years of age and that they are providing care for more than three hours per day. The Owners noted that in previous years they were providing elementary education, however, this semester, (September of 2006 thru June of 2007) they were not providing elementary or secondary education as there were no students enrolled.</p>	03/22/2007
	<p>Required Action: Cease operating a program for which a license is required. The program may also want to consider providing education as required under the Compulsory Education Act at the 2405 Crompond Road location.</p>	
	<p>Response Date: 03/22/2007</p>	

Inspection with CAP
Revised 01/2005

ID: 00307198; Inspection ID: 2007-I-YRO-001420; Name: Hengst, Betty

Page 3 of 5

Report of Corrected Violations

Violation #	CORRECTED VIOLATION INFORMATION	Compliance Date
Provider Response:	On March 12, 2007 the owners/operators of the Our Montessori School attended a meeting at the Office held by Frances Franco-Montero. Attendees were Angela Reshard-Player, Sheletha Cannady-Chang, Werner Hengst; Betty Hengst (owner/operators) also in attendance was the Executive Director Elizabeth Silverman. During the meeting Mr. and Mrs. Hengst agreed to resume providing elementary education at 2405 Crompond Road in Yorktown Heights.	
Compliance Status:	In Compliance. Office staff conducted an unannounced inspection of the program located at 2405 Crompond Road in Yorktown Heights. The program is now providing elementary education classes.	



TUITION SCHEDULE - 2020/2021 Elementary School

IMPORTANT UPDATE: In order to alleviate at least a little of the financial anxiety faced by families during this challenging time, the April 1, 2020 tuition payment to hold a spot for September is deferred to June 1, 2020.

The **annual** tuition for each student is payable in **five** equal installments. The first payment to hold the spot for September is due on April 1, 2020, or when you receive your acceptance letter. The remaining payments are due as follows: September 1, and November 1, 2020, January 1 and March 1, 2021.

	Total Annual Tuition	5 Payments of
Juniors (Grades 1-3)	\$14500	\$2900
Seniors (Grades 4-6)	\$16000	\$3200

To ease the burden on families with more than one child enrolled in the school, we offer a 10% sibling discount for the second child and a 20% discount for the third child and so on. Children are numbered in the order of the annual cost of their program.

As in the past, we are relying on you to keep up this schedule and send in your payments on time. We now send an email reminder a week before a due date. If you wish to make any of the payments before its due date, we will be grateful. If you wish to pay in full by September 15, you will receive a 1% discount.

Because the school's expenses continue even when a child is absent, you will understand that we cannot give refunds when a child is temporarily absent for a vacation or an illness, or when the school is closed due to inclement weather. If more than the normal number of snow closings occur, we will schedule appropriate make-up days.

While most parents have been very cooperative about remembering to send in payments on time, a few people have required an inordinate amount of reminding. We don't think it's fair to penalize those who pay on time for the expense of repeated telephone calls, notices etc., sent to those who don't pay on time. To deal with this problem, we have established the following policy:

1. Tuition payments are due on the dates indicated unless a special arrangement has been made with the school.
2. Any payment not received by the school within seven days of its due date incurs a \$25 late fee.
3. There will be a charge of \$25 for checks returned by your bank for insufficient funds or any other reason.

Please remember that our teachers, our rent and other bills must be paid on time, and we can only do this if we receive your tuition payments on time. Thank you so much for your cooperation.



**MARYEL
SCHOOL**

Friday, October 22, 2021

Planning Department
Town of Yorktown
John A. Tegeder, R.A.

Maryel is a private, co-educational day school offering high quality bilingual education from Preschool through 5th Grade. The school is currently located in Manhattan and it is our desire to establish a sister school at 2405 Crompond Road, Yorktown Heights, NY.

This location has the following space available and we are not planning to do structural renovations to the current space:

7 Classrooms (divided by temporary walls)
Reception Area
Large Gym/Indoor playroom
2 Bathrooms
School Office
Kitchen (Shared with the Church during the weekends)
Reception area (Shared with the Church during the weekends)
Outdoor Playground

(See survey and floor plan attached)

Strategic Plan (5 Years)

Year 1: 2022-2023 School Year (Expected enrollment: 25-32 students)

Maryel will offer enrollment to children in grades Pk3 through 1st grade. We will use four classrooms. Each group will have one Head Teacher and one Assistant Teacher.

- Pk3: 8 students
- Pk4: 8 students
- Kindergarten: 8 students
- First Grade: 8 students

Year 2: 2023-2024 School Year (Expected enrollment: 40-44 students)

Maryel will offer enrollment to children in grades Pk3 through 2nd grade. We will use five classrooms. Each group will have one Head Teacher and one Assistant Teacher.

- PK3: 10 students
- PK4: 10 students
- Kindergarten: 8 students
- First Grade: 8 students
- Second Grade: 8 students

Year 3: 2024-2025 School Year (Expected enrollment: 50-56 students)

Maryel will offer enrollment to children in grades Pk3 through 3rd grade. We will use six classrooms. Each group will have one Head Teacher and one Assistant Teacher.

- PK3: 10 students
- PK4: 10 students
- Kindergarten: 10 students
- First Grade: 10 students
- Second Grade: 8 students
- Third Grade: 8 students

Year 4: 2025-2026 School Year (Expected enrollment: 60-66students)

Maryel will offer enrollment to children in grades Pk3 through 4th grade. We will use seven classrooms. Each group will have one Head Teacher and one Assistant Teacher.

- PK3: 10 students
- PK4: 10 students
- Kindergarten: 10 students
- First Grade: 10 students
- Second Grade: 10 students
- Third Grade: 8 students
- Fourth Grade: 8 students

Year 5: 2026-2027 School Year (Expected enrollment: 70-80students)

Maryel will offer enrollment to children in grades Pk3 through 5th grade. We will use seven existing classrooms and we will expand the school premises using additional space that it will need to be built to accommodate the new grade. Each group will have one Head Teacher and one Assistant Teacher.

- PK3: 10 students
- PK4: 10 students
- Kindergarten: 10 students

- First Grade: 10 students
- Second Grade: 10 students
- Third Grade: 10 students
- Fourth Grade: 10students
- Fifth Grade: 10 students

LICENSES

Preschool (ages 3-5)

Maryel School does not require licensure/registration from the Office of Children and Family services to operate the preschool program since the preschool program will be located on the school grounds. (See attached the policy statement from the Office of Children and Family Services)

Elementary School (Kindergarten-5th Grade)

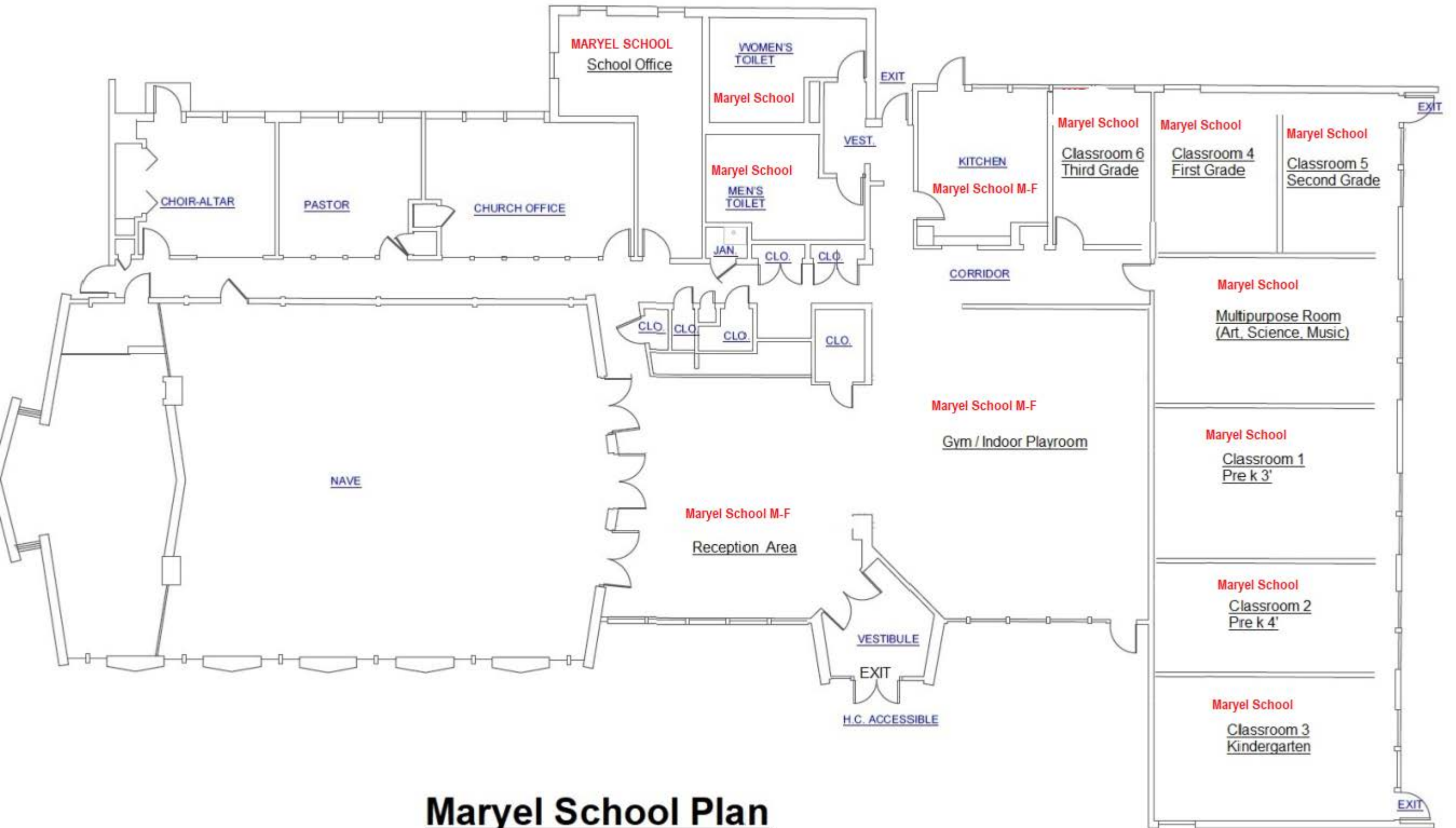
Maryel School is currently licensed by the New York State Education Department to operate a nonpublic school from Preschool to 5th Grade at 28 East 35th Street, New York, NY 10016. In order to open a new location will need to apply for Commissioner's consent and submit a Certificate of No Objection, Certificate of Use, Certificate of Compliance, or equivalent document that states that educational use is allowed in this location.

As mentioned before, It is our desire to establish a new bilingual elementary school in this location which we believe would be a great addition to Yorktown educational system. For that reason we ask you to please consider this petition.

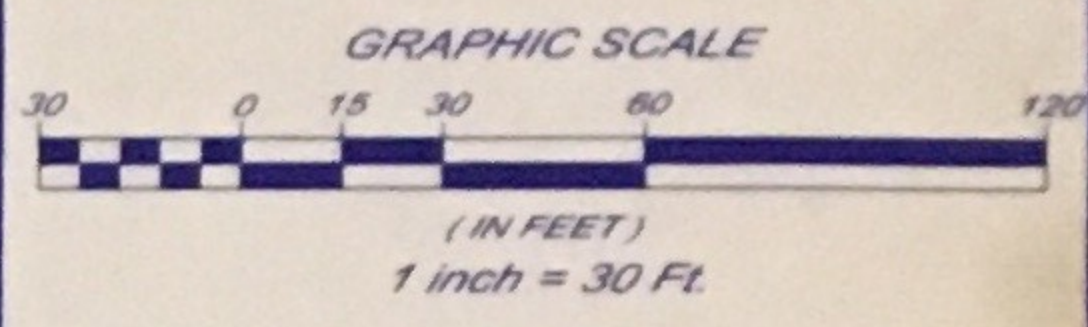
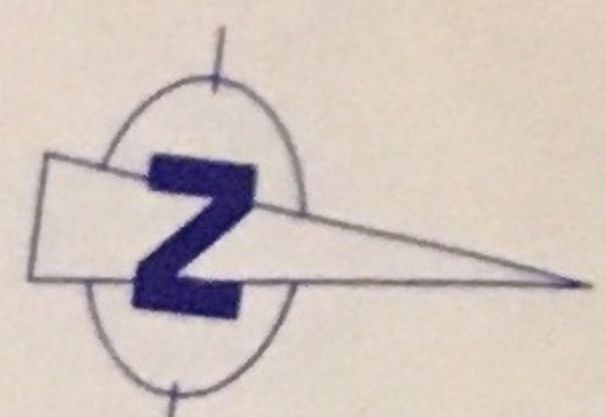
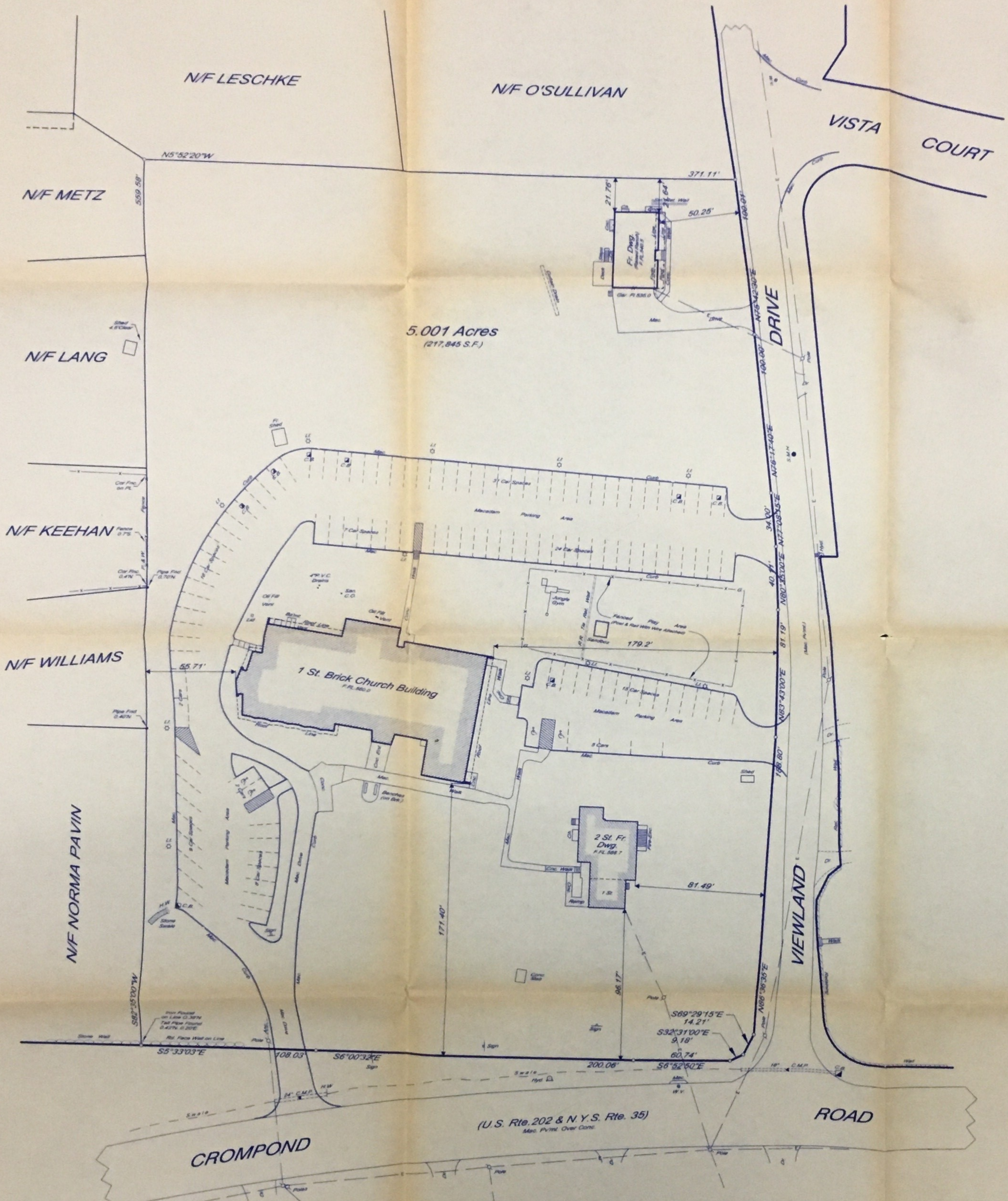
Sincerely,

Celi Cacho
Head of School

Maryel School of New York



Maryel School Plan



LEGEND:

- - CATCH BASIN
- ⊕ - DRAIN MANHOLE
- - GAS VALVE
- ⊠ - HYDRANT
- - MONUMENT
- - SEWER MANHOLE
- ⊕ - TEST BORING
- ⊠ - UTILITY POLE
- - WATER VALVE
- - LAMP POST
- 4"- - WETLAND FLAG LOC.
- - STONE WALL
- - STORM DRAIN
- - UTILITY WIRES
- - WATER LINE
- - WIRE FENCE
- - WOODEN FENCE
- - TREE LINE/TREE
- - CONCRETE
- - GAS LINE
- - SAN SEWER LINE
- ▲ - WET AREA

TOWN TAX MAP DATA

Section 9.02, Parcel 12, Lot 16

TOTAL SITE AREA: 5.001 Acres, (217,845 S.F.)

Survey Notes

Surveyed As In Possession/No Lines of Possession Other Than Those Indicated.
 Substructures and/or Their Encroachments Below Grade, if Any, are Not Shown.
 Subject to Electric and/or Telephone Company Easements, if Any, For Overhead and/or Underground Service.
 Building Offsets Shown Taken to Siding or Trim.
 Property Corners Not Staked.

Certifications Indicated Hereon Signify That This Survey Was Prepared in Accordance With The Existing Code of Practice For Land Surveys Adopted By The New York State Association of Professional Land Surveyors. Said Certifications Shall Run Only to the Person(s) For Whom the Survey Was Prepared and On Their behalf to the Title Company, Governmental Agency, and Lending Institution Listed Hereon, and to the Assignees of the Lending Institution. Certifications Are Not Transferable to Additional Institutions or Subsequent Owners.

All Certifications Listed Hereon are Void For This Map and Copies Thereof Only If said Map or Copies Bear the Impressed Seal of the Surveyor Whose Signature Appears Hereon.

Additions or Alterations to This Map Other Than By J. Henry Carpenter & Co. Shall Void This Certification.

Copyright © 2002 J. Henry Carpenter & Co. by James H. Seabolt, L.S. All Rights Reserved, Including Rights of Reproduction.

THIS SURVEY IS HEREBY CERTIFIED ONLY TO:

1. St. Andrew's Evangelical Lutheran Church of Yorktown
- 2.
- 3.

SURVEY OF PROPERTY

PREPARED FOR

ST. ANDREW'S

EVANGELICAL LUTHERAN CHURCH OF YORKTOWN

LOCATED IN

TOWN OF YORKTOWN

WESTCHESTER COUNTY, N. Y.

DATE: Sept. 12, 2002

J. HENRY CARPENTER & CO.
 LAND SURVEYING & MAPPING
 2070 SAW MILL RIVER ROAD
 YORKTOWN HEIGHTS, N. Y.

We, J. Henry Carpenter & Co., Do Herewith Certify That on Sept. 10, 2002 a Survey of the Premises Shown Hereon was Made and That This Map is Made in Accordance with the Field Notes of Said Survey.
 James H. Seabolt, L.S. No. 42098

AS BUILT
 Survey
 9/16/02



Town of Yorktown www.yorktownny.org

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.254

MEMORANDUM

Edward Kolisz, Fire Inspector

Fax (914) 962-1731

Email: ekolisz@yorktownny.org

Office hours: Weekdays 9:00-10:00 a.m., 3:30-5:00 p.m.

TO: David Dockweiler, Pastor
From: Edward Kolisz, Fire Inspector
Re: 2405 Crompond Rd., St. Andrews Lutheran Church
Date: October 15, 2021

I have researched your request to determine if the property located at 2405 Crompond Rd. could continue to be used as an elementary school and if a preschool could be added. According to our zoning map the property is located in an R1-20 zone. Per the Zoning Code section 300-21-c(1)(b)[6] preschools are an allowed main use by special permit in accordance with section 300-53. Per the Zoning Code section 300-21-c(1)(b)[8] private and parochial elementary schools are an allowed main use by special permit in accordance with section 300-55. In order to bring in a new school they would have to obtain Planning Department and Zoning board approvals in accordance with the Zoning Code of the Town. Please contact the Building Department with any questions.



Office of Children and Family Services

Andrew M. Cuomo
Governor

52 WASHINGTON STREET
RENSELAER, NY 12144

Sheila J. Poole
Acting Commissioner

DIVISION OF CHILD CARE SERVICES POLICY STATEMENT

17-4

Community-Based Organizations Operating Programs in School Buildings

ID NUMBER: 17-4

TOPIC: Community-Based Organizations Operating Programs in School Buildings

MODALITIES IMPACTED: Day Care Centers, Small Day Care Centers, School-Age Child Care

APPLICABLE REGULATIONS: Title 18 of the New York State Code of Rules and Regulations §§: 413.2(a)(2)(v)

CONTACT: Regional Offices
<http://ocfs.ny.gov/main/childcare/regionaloffices.asp>

EFFECTIVE: IMMEDIATELY

THIS POLICY STATEMENT IS EFFECTIVE IMMEDIATELY AND CANCELS ALL PREVIOUS MEMOS OR STATEMENTS ON THIS TOPIC.

The purpose of this policy statement is to clarify when a community-based organization (CBO) operating a child care program located in a public or private school is required by New York State Social Services Law and New York State child day care regulation to be licensed or registered with the New York State Office of Children and Family Services as a child day care program.

Section 390(1)(a)(ii)(D) of the Social Services Law and Title 18 of the New York State Codes of Rules and Regulations § 413.2(a)(2)(v) exempt from the definition of child day care:

“...a kindergarten, pre-kindergarten, or nursery school for children three years of age or older, or after-school program for children operated by a public school district or by a private school or academy which is providing elementary or secondary education or both, in accordance with the compulsory education requirements of the education law, provided that the kindergarten, pre-kindergarten, nursery school, or after school program is located on the premises or campus where the elementary or secondary education is provided.”

In determining whether a license or registration is required, the following factors must be considered:

- The ages of the children in care
- The identity of the operator (school administrators or CBO)
- The location of the program
- The number of hours the program is in session (as applicable)

Absent any verification that the school is acting as the operator (the entity with responsibility for oversight and direction of the program), the CBO shall be considered the legal entity responsible for the oversight of the child day care program. As such, the CBO as the operator of the program must be licensed or registered.

In situations when the school is responsible for the operation of the program, the program is exempt from licensure or registration. A letter from a school official such as a principal or superintendent that stipulates the school has responsibility for the oversight and direction of the program would be sufficient verification.

The chart below illustrates examples of programs that would or would not require licensure/registration.

Location of the program	Hours of operation	Who is the operator?	Ages- of- children	Required to be Licensed / Registered?
On or off school grounds	3 hours or less	CBO or school	2-, 3- and 4-year-old children	Not required to be licensed or registered based on the hours of operation (3 hours or less)
On school grounds	More than 3 hours	School	3- and 4-year-olds	Not required to be licensed or registered based on the location of the program, school verified as the operator and no children younger than 3
On school grounds	More than 3 hours	CBO	3- and 4-year-olds	Required to be licensed based on identification of the CBO as the operator and the hours of operation (more than 3 hours)
On school grounds	More than 3 hours	CBO or school	2-, 3-, and 4-year-olds	Required to be licensed because program is caring for children under 3 and the hours of the program exceed 3 hours
Off school grounds	More than 3 hours	CBO or School	3- and 4-year-olds	Required to be licensed or registered based on the program location.
On school grounds	Before and after school	School	3-, 4-, 5-, 6-, 7-year-olds and older	Not required to be licensed or registered based on the school as operator, the location and ages of the children (ages 3 or older)
On school grounds	Before and after school	CBO	3-, 4-, 5-,6-,7-year-olds and older	Required to be licensed or registered based on CBO as operator.

May there be both an unlicensed/unregistered program and a licensed/registered program operating at the same site?

- Yes. There are situations in which both an unlicensed/unregistered program and a licensed/registered program may operate at the same site. There may be cases in which the unlicensed/unregistered program is operated by the school, on school grounds and cares for children who are three years of age and older, and the other program (or classroom in some cases) may be a licensed day care center caring for children under three years of age.

Can these two entities, the unlicensed/unregistered program and the licensed/registered program operate under one umbrella program structure?


- No. The two programs must operate as separate and distinct entities. For example, if toddler classrooms are operating as part of the unlicensed/unregistered program, then the entire program must be licensed as a day care center. However, if the toddler classrooms are operated as a separate and distinct program, only those toddler classrooms need be licensed.

To determine if the toddler classroom is a separate program, the following conditions must be met:

- Staff are not shared between the preschool and toddler classrooms during their work schedules. Although a staff member may be employed by both programs, the hours scheduled in each classroom must be distinct. For example, if a staff person's scheduled hours are 8 a.m. to 4 p.m. in the toddler classroom, they may not be assigned to a preschool classroom during those hours for any reason; and
- Preschool and toddler children are not mixed at any time, nor do the toddlers share activities with preschool children in classrooms, outdoor play areas or dining rooms; and
- The toddler classroom must be administered by a person who has the minimal qualifications set in child day care regulation to perform the functions of a child day care director. If the director of the toddler room is also an administrator for the preschool program, he/she must be employed by both programs and have separate scheduled hours that are distinct to each program.

If any of the above conditions are not met, the programs are not considered separate and distinct and the entire program must be licensed as a child day care program.

Approved By:



Date: August 21, 2017

Janice M. Molnar, Ph.D.
Deputy Commissioner

2678 Gregory Street

arc 22 2021 in tes

own board referral - 208 Gregory Street

Location: 27.14-1-17; 2678 Gregory Street

Contact: Gabriel E. Senior, P.E.

Description: Proposed single-family residence requiring a stormwater permit from the Town Board.

Comments:

Eliot Senior was present. Mr. Senior stated that proposal is for the construction of a single-family residence that is to be located on the easterly corner of Granite Springs Road and Gregory Street. The driveway will be as far from the corner as possible. Soil testing is complete. The application meets the setback requirements. There are no wetlands on the site. The site is wooded and tree removal is proposed. Mr. Kincart asked the applicant if any trees have been removed at the site currently. Mr. Senior responded that he didn't think so but was not sure and noted that the builder is familiar with the regulations. Mr. Tegeder asked about the tree mitigation. Mr. Senior responded that they are proposing to install a row of green giant arbovitae along Granite Springs and the neighboring driveways for screening purposes but is unsure of the amount.

The Board requested that the Town Engineer and Mr. Tegeder conduct a site visit to ensure there are no violations with respect to tree removal. If there are no issues, the Board requested that the Planning Department send a memo to the Town Board stating that there are no Planning objections.

NOV 2 2021

TOWN OF YORKTOWN

To: Chairman Fon and members of the Planning Board
From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: November 3, 2021
RE: Mitigation Plan - 2678 Gregory Street

The TCAC has reviewed the revised referral materials for the subject project that were received on November 1, 2021 and offer the following comments:

Chapter 270 - 10.C(4) - Use of native species of trees, understory shrubs and herbaceous ground cover if planting is required. The mitigation plan for 2678 Gregory Street fails the provisions of this part of the tree ordinance.

1. *Picea abies* = Norway Spruce. Although these trees were introduced in the 19 century they are native to Europe. We note that we made this same comment in our October 23, 2021 memo.
2. *Picea pungens* hoops = Hoops Spruce. This tree is native to the central Rocky Mountains. We, again, note that we made this same comment in our October 23, 2021 memo.
3. *Picea mariana* = Black Spruce. This species is native to New York State. It grows in the Adirondack mountain bogs and is not suitable to this site.

These three species are a 99" DBH deduction from the total proposed planting of 258"DBH.

The TCAC is very concerned with the false statement in the original permit that stated all trees removed were 12" DBH or less. Tree #11 Spruce 24" DBH and tree #43 Tulip 24" DBH were specimen trees. Tree #21 Oak 20" DBH and tree #41 Tulip 22" DBH are far greater than 12" DBH. This is why it is essential to include a tree inventory with all applications.

Lastly, we note that the Arborist has incorrectly calculated the amount due to the Tree Bank Fund. According to Chapter 270, the mitigation ratio is defined as follows:

- "The replacement rate expressed in base terms of diameter at breast height (dbh) shall be calculated by dividing the dbh of each lost tree by the average dbh of replacement trees. The result shall be the number of replacement trees required to be planted in compensation for each lost tree."

According to the Arborist's Tree Mitigation Proposal, there are 317" DBH of regulated trees being removed. It is noted that the removal of 4 7" DBH trees are unregulated. Therefore, 317" DBH divided 3" DBH (average replacement tree) results in the need for 106 replacement trees.

This means that there is a 20 tree replacement deficiency. This results in a payment to the tree Bank Fund of \$2000.00. See Chapter 270-10.D.(4)(f).

We request that the Engineer and Arborist, revise their mitigation plans accordingly.

Sincerely,
Lawrence W. Klein, PE, Member
Tom Schmitt, Member
Keith Schepart ISA, Member

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Town Board
From: Conservation Board
Date: October 21, 2021
Re: 2678 Gregory Street (Farrell)

RECEIVED
PLANNING DEPARTMENT
OCT 26 2021
TOWN OF YORKTOWN

The Conservation Board at its October 20, 2021 meeting discussed the Mitigation Plan for construction of a two story single family home with Elliott Senor and John Farrell. The Conservation Board has the following comments:

- The Conservation Board is in support of the screening along the property line. The Board recommends staggering the plantings instead of planting in a row to increase screening and provide a more natural look.
- In addition the Board recommends eliminating the Magnolia and replacing it with Amelanchier Canadensis – Serviceberry/Shadblow Tree and to increase Evergreen Trees with Picea Mariana - Black Spruce.

Respectfully submitted:

Diane Dreier

For the Conservation Board

CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
Applicant

TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

MEMORANDUM

To: Town Board
From: Planning Department
Date: October 25, 2021
Subject: 2678 Gregory Street
SBL: 27.14-1-74
Zone: R1-20

SUBMISSION:

- Site Plan - Revised 9.16.2020
- Landscape Plan - Revised 4.28.2021

The Planning Department has reviewed the submitted plans and offers the following comments:

1. There are approximately 28 trees proposed to be removed as shown on sheet 1 of 1 prepared by Gabriel Senor PC. However the applicant's engineer stated that additional trees were removed along the southern border of the property, these trees should be shown on the plan as being removed. Most, if not all, of these trees have been removed already without a valid tree permit.
2. A tree permit is required. The application form does not reflect that a tree permit is being sought from the Town Board. We note that at least one specimen tree is, or has, been removed. We also note that the trees removed at the southern boundary are mostly within a regulated buffer as defined in Chapter 270.
3. A landscape plan shows approximately 45 trees to be planted as part of the project. However, we did not observe a distinct tree removal mitigation plan detailing the removals and the replantings or other mitigation. Note that if tree planting is the only mitigation measure offered, then the total diameter at breast height (DBH) of new trees must equal the total DBH of removed trees. For tree mitigation measures and requirements, see Town of Yorktown Town Code Chapter 270-8C and Chapter 270-10.
4. The DBH of the proposed trees are not identified. This should be noted on the plans and as part of the mitigation. A note on the Landscape plan states that 7000 square feet of protected woodlands are being disturbed. There is no identifying line or area shown to verify the stated amount. This quantity should be verified and shown on the plans in accordance with chapter 270. Note that a threshold of 10000 square feet of protected woodland disturbance is identified in Chapter 270.
5. The Planning Board additionally reviewed this plan in spring. At that time it was not yet confirmed that trees had been removed prior to obtaining a tree removal permit. The Board did not identify any planning issues beyond properly addressing tree removals.

If you have any further questions please contact this office.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'J. Tegeder', with a stylized flourish at the end.

John A. Tegeder
Director of Planning

cc: Town Engineer
Planning Board
Conservation Board
Tree Commission

F:\Office\WordPerfect\Town Board\REFERRALS\2678 Gregory Street aka 363 Granite Springs - 27.14-1-17\TB Referral -
2021-10-20\PDME102521.wpd

OCT 25 2021

TOWN OF YORKTOWN

From: Keith Schepart <keith@taconictreecare.com>
Sent: Sunday, October 24, 2021 6:25 PM
To: Maura Weissleder <mauraw@yorktownny.org>
Cc: phyllisabock@gmail.com; dianedri@aol.com; richfon@aol.com; John Tegeder <jtegeder@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Kim Hughes <kimh@yorktownny.org>
Subject: **Re: 2678 Gregory Street**

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: October 23, 2021
RE: **Mitigation Plan and Tree Removals - 2678 Gregory Street**

Chapter 270 - 10.C(4) Use of native species of trees, understory shrubs and herbaceous ground cover if planting is required. The mitigation plan for 2678 Gregory Street fails the provisions of this part of the tree ordinance.

- 1) Magnolia soulangeana = Saucer Magnolia. This tree is a hybrid native to china.
- 2) Picea abies = Norway Spruce. Although these trees were introduced in the 19 century they are native to Europe
- 3) Picea pungens hoops = Hoops Spruce. This tree is native to the central rocky mountains.
- 4) Picea pungens pendula = Weeping Blue Spruce = This is a man made tree created by grafting.

The TCAC suggests referencing www.plantnative.org for native NYS trees and shrubs.

Permit #3 Tree Removal

Amount of trees and/or stumps to be removed has " Trees per plan "
Sizes; Approximate DBH " Approx 12" or less

The tree removal map notes the location of trees to be removed. There are initials next to these locations such as, Spr24, blr14, map10. Are these the species and DBH of the trees? If so, we request a list of them to clarify what is being removed. Norway Maple is an invasive tree that is exempt when calculating the mitigation ratio.

Sincerely,

Lawrence W. Klein, PE, Member

Tom Schmitt, Member

Keith Schepart ISA, Member

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 27.14 RECEIVED TOWN OF YORKTOWN Approval Authority: TE [] PB [] TB []
 Block 1 Application #: # FSWPPP 005-21
 Lot # 17 Date Received: 1/21/21
 Date Issued: 1/21/21
 Expires: 1/21/22
 Fee Paid: \$ 1500.00

Job Site Address: 2678 GREGORY ST
 City/State/Zip: YORKTOWN, NY
10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT: **OWNER:**
 YOUR NAME: TON FARRELL YOUR NAME: TON FARRELL
 COMPANY: AMERICAN CUSTOM BUILDERS COMPANY: AMERICAN CUSTOM BUILDERS
 ADDRESS: 369 BIRDSALL DRIVE ADDRESS: 369 BIRDSALL DRIVE
Yorktown ZIP 10598 YORKTOWN ZIP 10598
 PHONE: (914) 245-2242 PHONE: (914) 245-2242
 EMAIL: CHEFMASONRY@GMAIL.COM EMAIL: CHEFMASONRY@GMAIL.COM

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- | | | | |
|-----------------------|--------------------------|------------------------------------|--------------------------|
| a. Lake/pond | <input type="checkbox"/> | Control area of lake/pond | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands | <input type="checkbox"/> | Control area of wetlands | <input type="checkbox"/> |

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

2b. Stormwater/Excavation - Description of proposed activity:

EXCAVATION FOR NEW 2 STORY SINGLE FAMILY HOME
W/ UTILITY & DRAINAGE SYSTEM

3. Tree Removal:

Amount of trees and/or stumps to be removed: TREES PER PLANS-28
Sizes; approximate DBH: APPROX 12" OR LESS
Species of trees to be removed (i.e. Birch, Spruce - if known):
Reason for removal: CONSTRUCTION OF HOME
Trees marked in field (trees must be marked prior to inspection): Yes: No:
Tree removal contractor: CLIFF MANDERALE
PO BOX 1389
YONKOWN, NY 10598

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, _____ hereby authorize _____ to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: _____ Date: _____

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Jon Fornow

PRINT NAME

[Handwritten Signature]

SIGNATURE OF APPLICANT

1/20/21

DATE

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <i>Now known as</i>							
<i>363 GRANITE SPRINGS ROAD 2678 GREGORY STREET</i>							
Project Location (describe, and attach a location map):							
<i>2678 GREGORY STREET</i>							
Brief Description of Proposed Action:							
<i>PROPOSED CONSTRUCTION OF 2 STORY SINGLE FAMILY RESIDENCE</i>							
Name of Applicant or Sponsor:		Telephone: <i>914-245-2242</i>					
		E-Mail: <i>CHET MASONRY@GMAIL.COM</i>					
Address: <i>PO BOX 1389</i>							
City/PO: <i>YORKTOWN,</i>		State: <i>NY</i>	Zip Code: <i>10598</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres							
b. Total acreage to be physically disturbed? _____ acres							
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: _____	Date: _____	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	X	
2. Will the proposed action result in a change in the use or intensity of use of land?	X	
3. Will the proposed action impair the character or quality of the existing community?	X	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	X	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	X	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	X	
7. Will the proposed action impact existing: a. public / private water supplies?	X	
b. public / private wastewater treatment utilities?	X	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	X	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	X	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	X	
11. Will the proposed action create a hazard to environmental resources or human health?	X	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

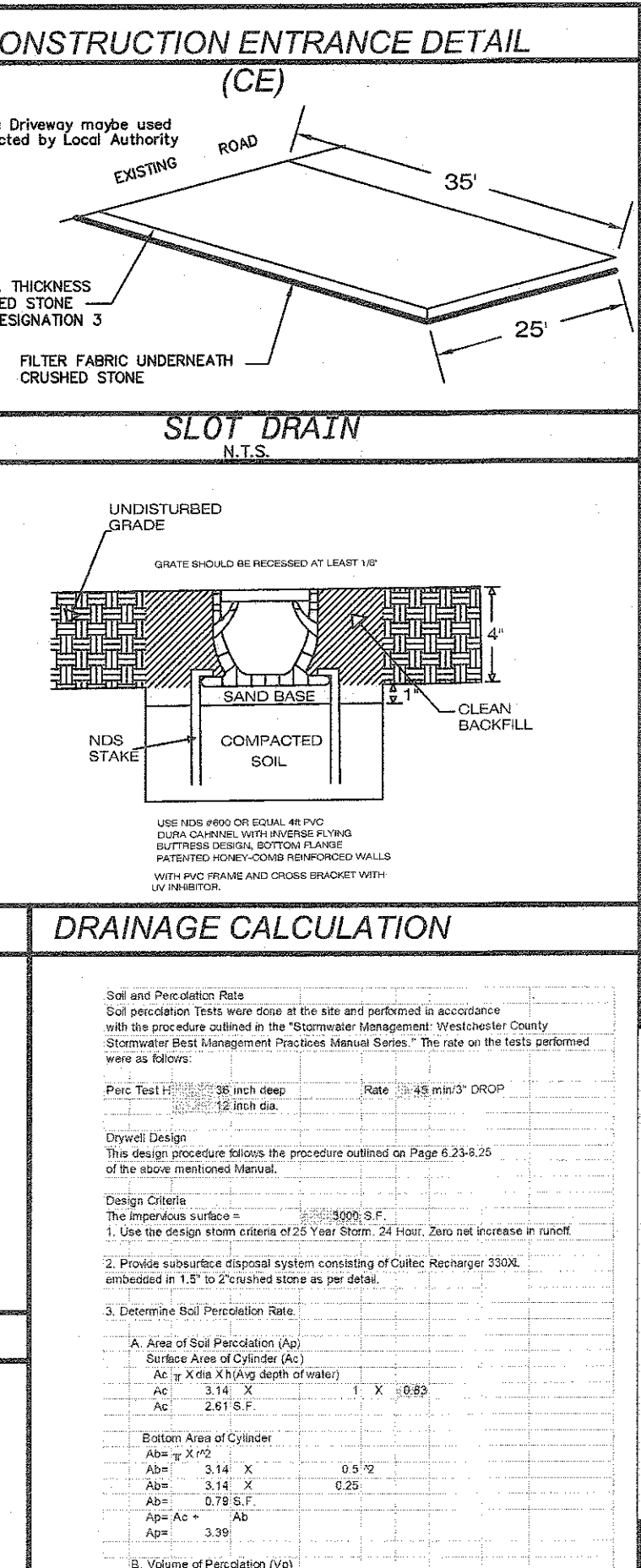
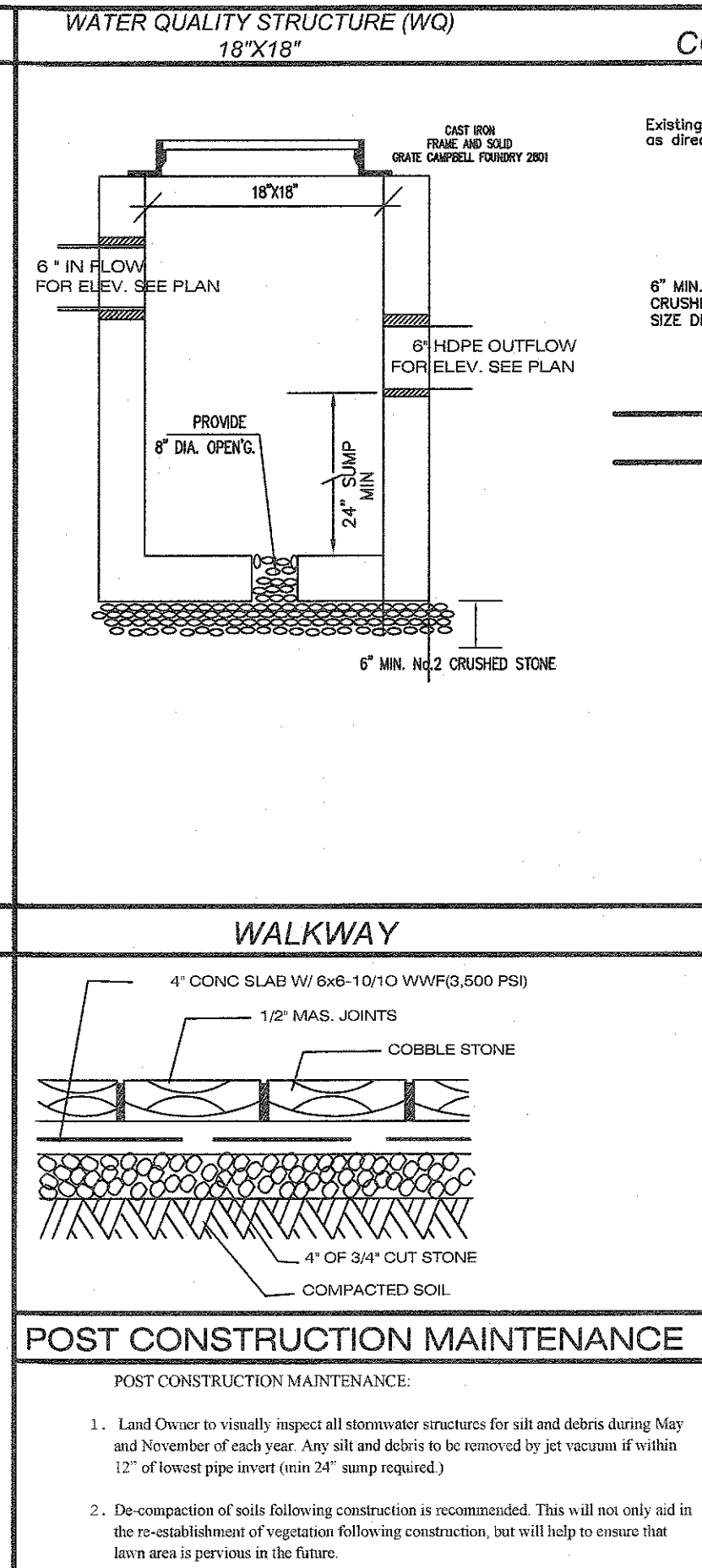
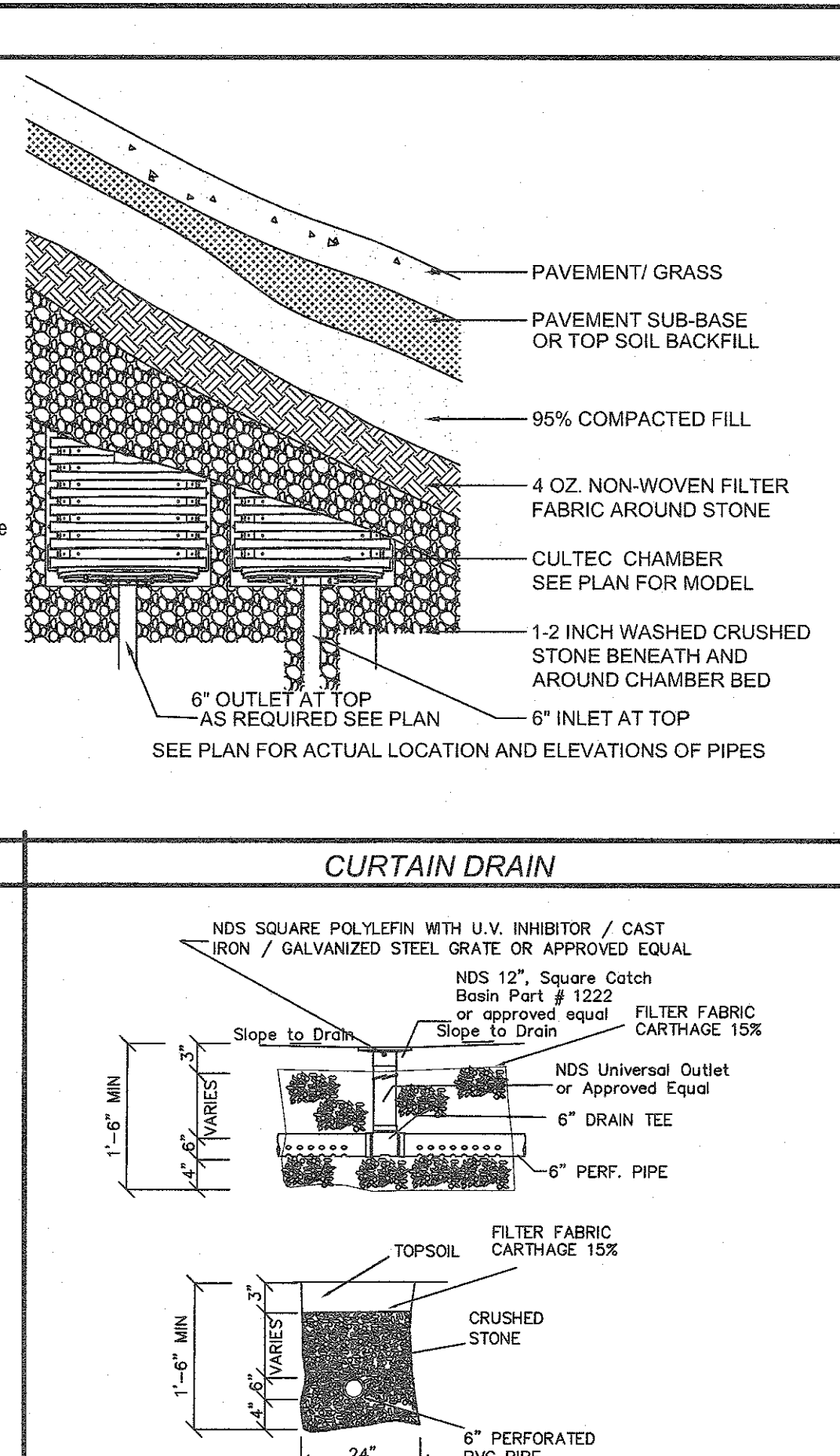
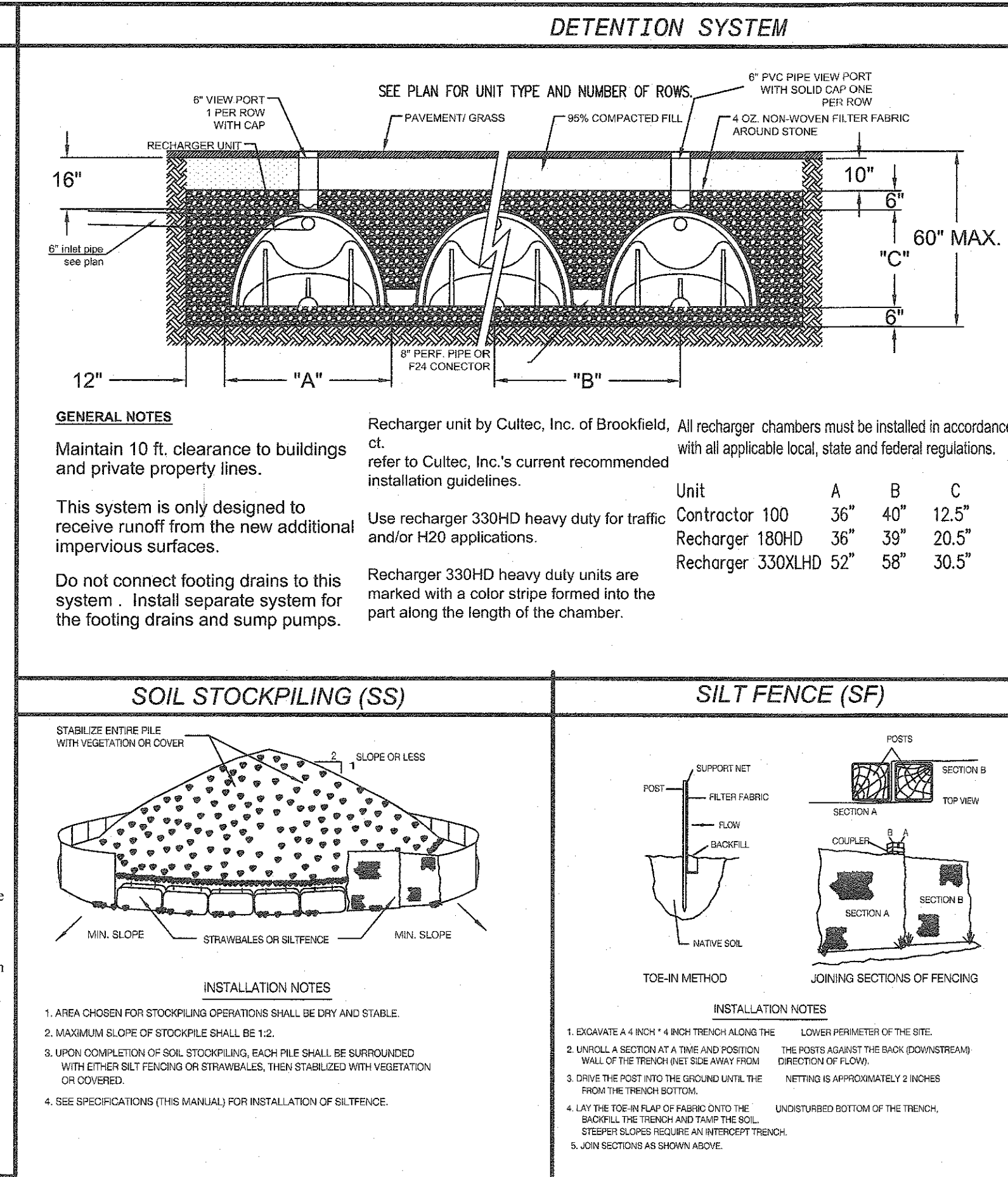
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT

RESET

GENERAL NOTES

- Gabriel E. Senor, P.C. is not responsible for construction supervision unless retained under separate contract.
- Gabriel E. Senor, P.C. must be notified prior to backfilling any storm water system for inspection if the Engineering Dept. will require a final letter of certification from the design engineer for the storm water approval, site work and drainage installation.
- Any changes to these plans shall be approved by Gabriel E. Senor, P.C. Any changes must be filed and approved by the appropriate Department as amendments.
- Gabriel E. Senor, P.C. is not responsible for damages if changes are made and not approved as in item 1 above.
- All conditions, locations, dimensions and elevations shall be verified by the Contractor or Owner and must report all discrepancies to the Design Engineer prior to the start of construction.
- All work and materials shall comply with all applicable codes including, but not limited to the following: NYS Building Code, Local Zoning Code, ACS and AISC.
- The Contractor is responsible for all construction means and methods to implement the designs shown.
- Safety during construction is the responsibility of the Contractor and shall conform to all Local, State and Federal Agencies' requirements.
- The Contractor shall apply for and receive all necessary permits to perform the work shown on these plans prior to the start of construction.
- Final grading shall be sloped away from the building and foundations.
- Unless noted, all drainage piping on this plan is to be 6" rigid HDPE ASTM F810-07 or better.
- This storm water design plan is not designed to accept footing drains. Refer to Architectural plans for footing drain design. Do not connect footing drains to this surface water drainage system.
- If the drainage system is to be built in a filled area, the fill should be well drained material with a setting period of one to three months prior to the system installation. Additional requirements are required after the setting period and the system design will be revised as necessary.
- Proposed Silt Fence to be installed along existing and proposed contours.
- Orange Construction Fence to be installed along the limits of the proposed disturbance limits line.
- Roof leaders to be connected to the drainage system with 6" rigid HDPE pipe at 2% min. slope or as shown.
- The Contractor and all Sub-Contractors must submit a "Contractor Certification Statement" as per section 294-8 of the NYSDEC "Stormwater Pollution Prevention Plan" manual prior to the start of construction.
- If imported fill material is required, it shall be certified in writing by a New York State Licensed Professional Engineer as non-contaminated, clean fill suitable for the intended use. Percolation tests shall be performed by the Design Engineer to demonstrate that the stormwater management practice will draw down the entire water quality volume within 48 hours. The results of the percolation test (s) shall be submitted to the Municipal Engineer for review and approval.
- All proposed temporary seeding mixture shall be in accordance with the New York State Standards and Specifications for Urban Erosion Control, dated August 2005.
- New sewer laterals are required for all new construction. Laterals must be extra heavy cast iron or ductile iron pipe or as directed by Municipal Engineers.
- Connection permits are required from the Department of Public Works for Sewer, Water, and Storm Water System overflows.
- All trenches in the Municipality Right of Way must be backfilled with controlled density fill (k-crete) or as directed by Municipal Engineer.
- A street opening permit must be obtained from the Municipality, all work in the Right of Way and an inspection performed prior to back filling and final approvals.
- Replace or re-lay stone curb as directed by Municipal Engineer.
- A non-conversion agreement for the basement in Special Flood Hazard Zone must be signed and filed prior to the issuance of a C. of O. for properties subjected to flooding.
- Curb cut permit is required from the Department of Public Works. Curb cut maximum width is 18 feet.
- The contractor shall schedule with the Municipality a rough grading inspection prior to any framing of a building above the first floor braced decking. Excess soils of significance shall be removed and disposed of upon completion of the rough grading.
- The structures for the storm water management system shall be installed at the earliest date possible when the structure's roof is complete. The contractor shall consult with the Municipality and schedule this work upon completion and inspection of the rough grading activities.
- The contractor shall secure a Street Opening Permit with the Municipality for all work to take place on the right of way including construction of a new driveway apron, and installation of new service laterals.
- If necessary, the Contractor shall secure a Tree Removal Permit with the Municipality prior to the commencement of construction activities.
- Contractor required to provide Dig Safe NY ticket prior to issuance of permits.



EROSION CONTROL NOTES

INSTALLATION & MAINTENANCE OF EROSION CONTROL

CONSTRUCTION SCHEDULE

NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES

- Install all erosion control measures prior to start of construction.
- Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 Days prior to finish.

INSPECTION BY MUNICIPALITY

MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

- After any rain causing runoff, Contractor to inspect all fences, etc. and remove any excessive sediment and inspect stockpiles and correct and problems with seed establishment.
- Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.

STOCK PILING OF EXCAVATED MATERIAL

- Strip Topsoil and Stockpile.
- Stockpile Excavation Subgrade.
- Seed piles with 1 lb. total annual eye or remove from site within two days.

INSPECTION BY MUNICIPALITY

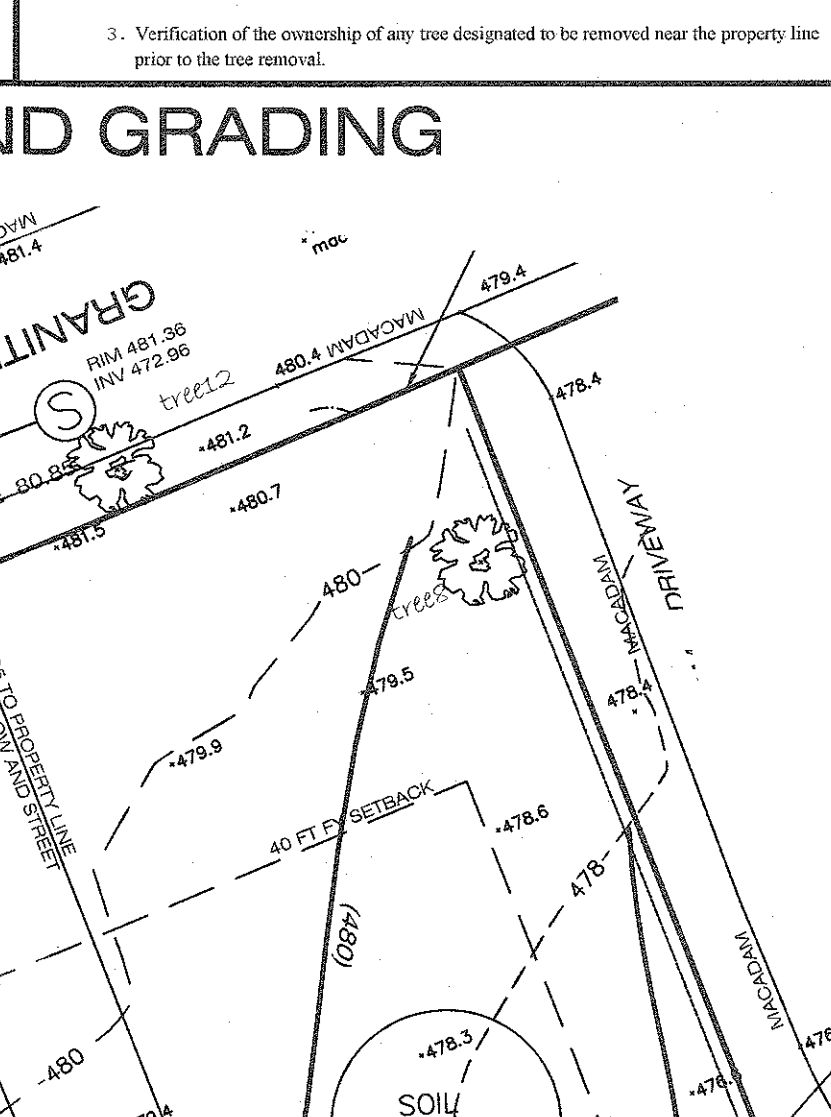
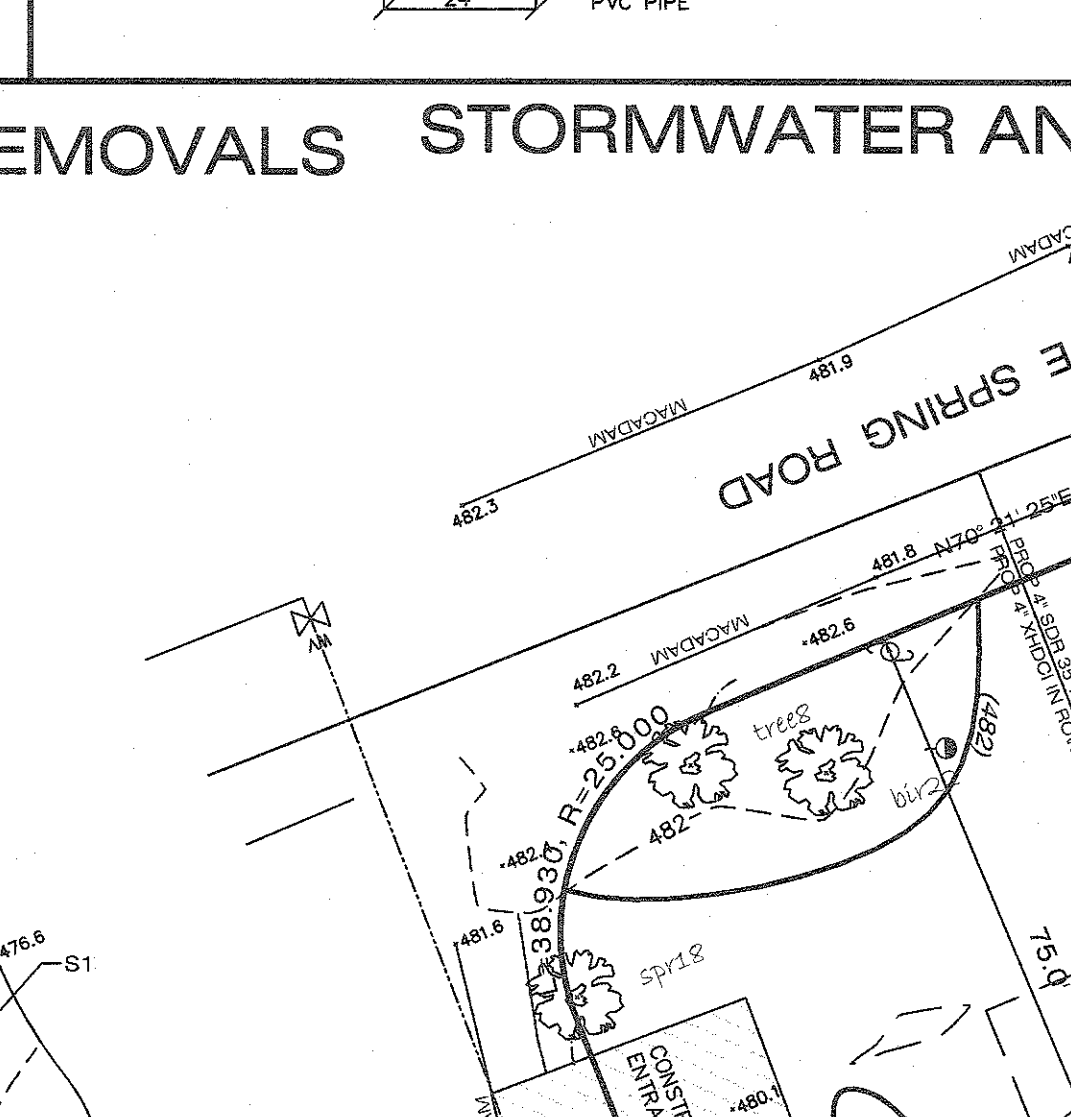
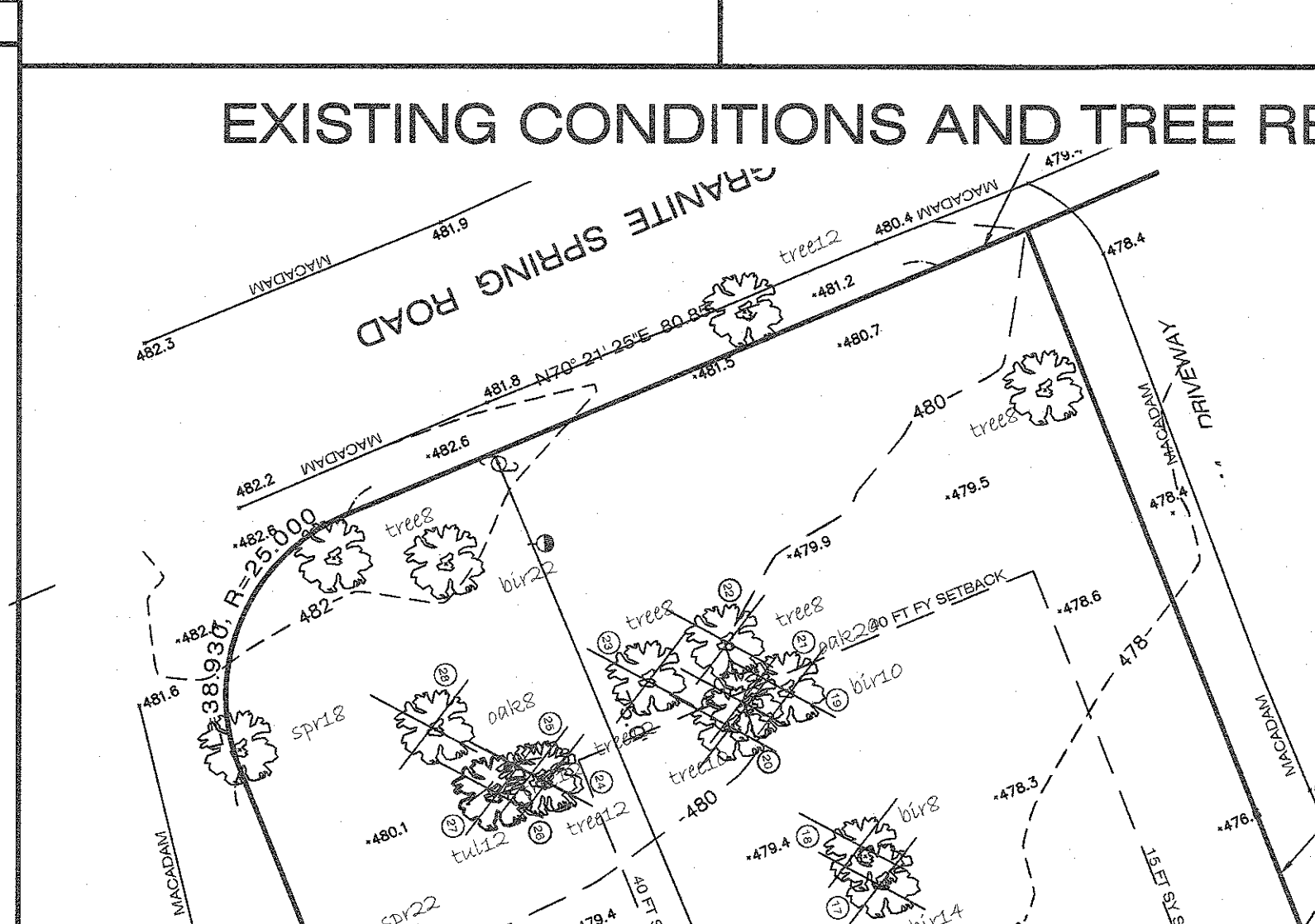
FINAL GRADING

- Remove unseeded subgrade from site.
- Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

LANDSCAPING

- Spread topsoil evenly over areas to be seeded. Hand rake level.
- Broadcast 1 2lb. bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded.



DRAINAGE CALCULATION

Soil and Precipitation Data

Soil percolation tests were run at the site and performed in accordance with the procedure outlined in the "Stormwater Management (Technical) Chapter Stormwater Best Management Practices Manual Series". The rate on the tests performed were as follows:

Percolation Test: 18 inch depth Rate: 1.45 inch/Hr DROPP

Driveway Design

The design procedure follows the procedure outlined on Page 6.234.15 of the above referenced Manual.

Design Criteria

The impervious surface is: 2700 sq. ft.

- Use the design storm criteria of 2.5 Year Storm, 24 Hour. Two set increase in runoff.
- Provide subsurface disposal system consisting of Cultec Recharger 330HD, unburied in 1.5' to 2' crushed stone as per detail.
- Determine Soil Percolation Rate:

A. Area of Soil Percolation (sq. ft.)	2700
B. Percolation Rate (in/hr)	1.45
C. Volume of Percolation (cu ft)	3915
D. Volume of Precipitation (cu ft)	3915
E. Volume of Storage (cu ft)	3915

EXISTING CONDITIONS AND TREE REMOVALS

Rainfall intensity was utilized for 25 Year storm event at 6.41" for a 24 hour rainfall in Westchester County. The development is the construction of a single family residence with associated impervious areas. The site originally consisted of a vacant lot. For the post development condition, excess surface stormwater generated by the impervious surfaces of the building and the driveway areas shall be stored in cultec drainage structures to be constructed on-site.

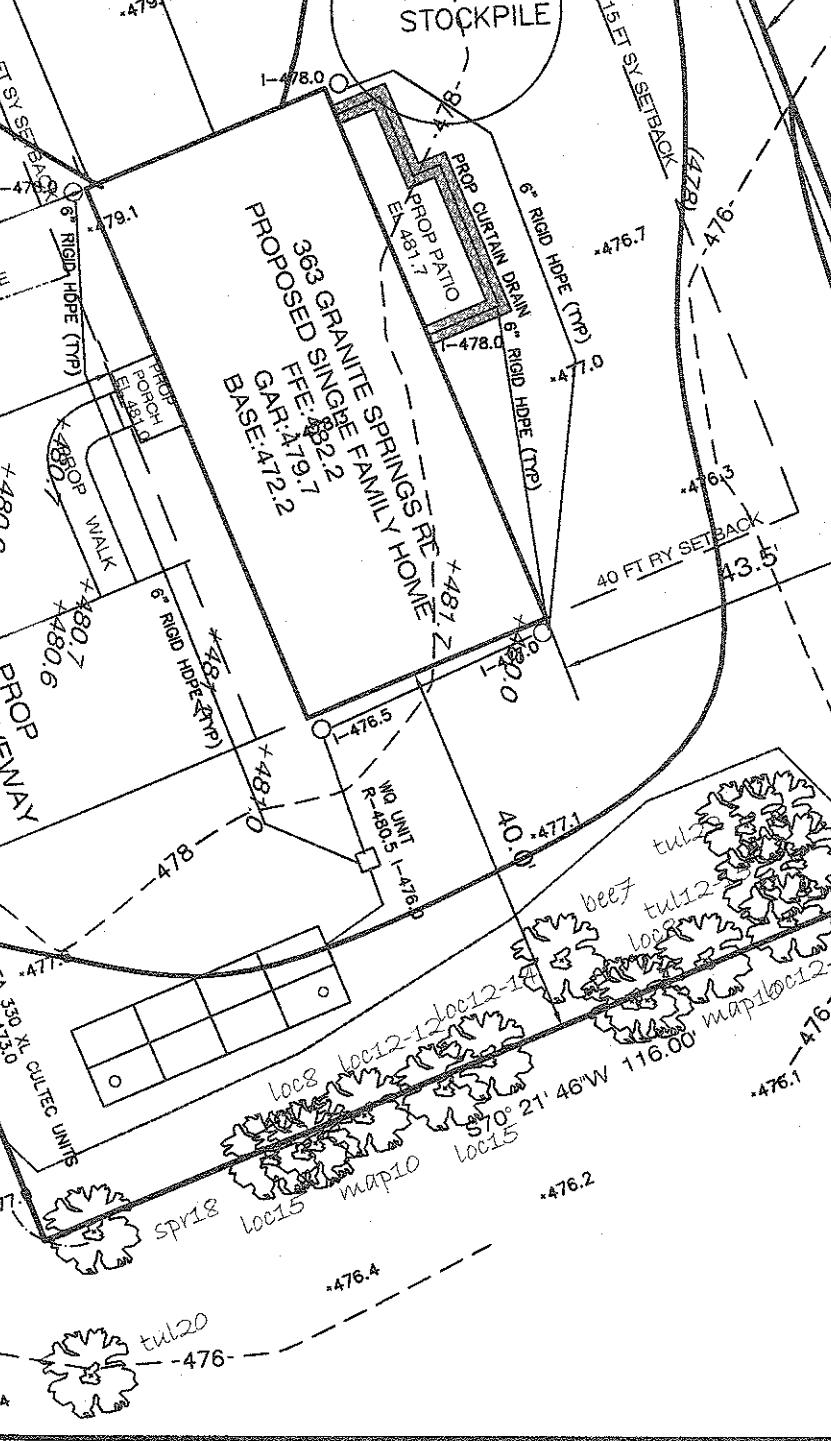
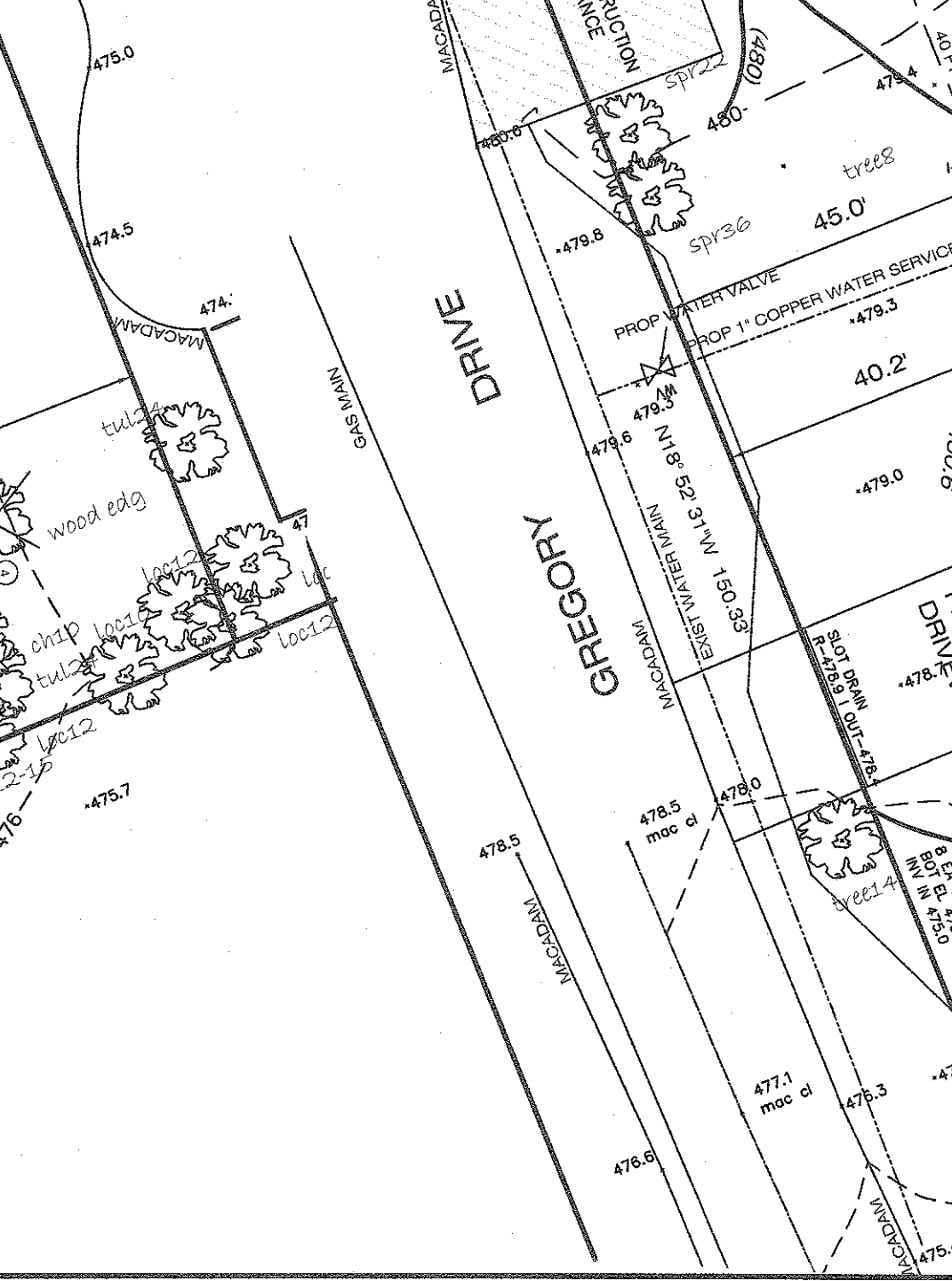
Runoff is to be mitigated by one system of 330 xl Cultec drainage structures which will be connected to the roof leader system of the entire house.

The system is designed to take the runoff of all impervious areas on the property (approx. 2700 sq.ft.) The system is designed for 3000 SF. This system consists 8 cultecs. See configuration on Site Plan.

Given the Post Development basin routing runoff rates for the selected storms shown peak runoff has no significant net increase of those of the Pre Development condition. It is concluded that the proposed design satisfactorily meets the Village regulation of no net increase in the rate of offsite stormwater discharge.

Zoning Analysis Chart R1-20

	Required/Allowable	Actual
Lot Area (Sq. ft.)	20000	20890
Lot Width	100	117
Lot Depth	100	175
Front Yard (ft.)	40	40
Corner Lot Front	40	75
Side Yard	15	40
Rear Yard (ft.)	40	40
Max Height	35	28.7
Min Usable Floor Area	800	2160
Off-street Parking	1	2
Bldg Coverage	20%	6%



LEGEND

UTILITY POLE	SEWER MANHOLE
SIGN POST	WATER MANHOLE
HYDRANT	ELECTRIC MANHOLE
WATER VALVE	DRAIN MANHOLE
GAS VALVE	MANHOLE
LIGHT POLE	ELECTRIC BOX
GUY WIRES	EXISTING GRADE (102)
TELE. MANHOLE	PROPOSED GRADE
SILT FENCE / AREA OF DISTURBANCE & CHAIN LINK FENCE (AS REQ'D BY MUNICIPALITY)	14 TREE
	SIZE
	TREE TO BE REMOVED

STORMWATER POLLUTION PREVENTION AND EROSION CONTROL PLAN

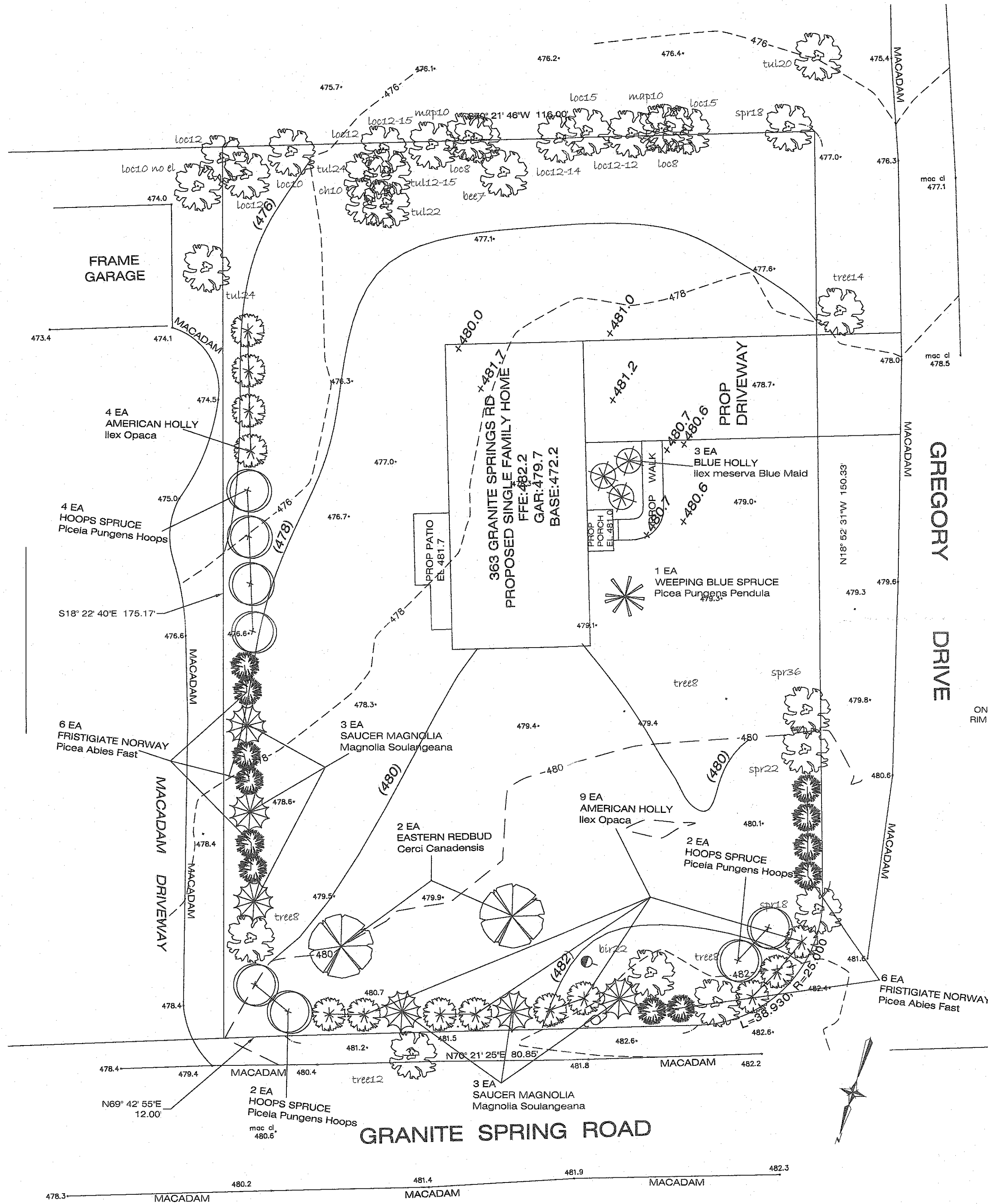
PREPARED FOR: JON FARREL
STREET: 363 GRANITE SPRING RD
CITY: YORKTOWN, NY
A.K.A. SECTION 27.14 - TAX BLOCK 1 - LOT 17
LOT No. 17


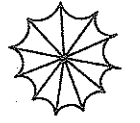

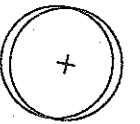
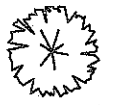

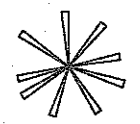
SITUATED IN THE TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK
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CONSULTING ENGINEER - LAND SURVEYORS
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530
(914) 422-0070 FAX 422-3009

SCALE: 1" = 20'
DATE: JUNE 15, 2020
DRAWN BY: GC
CHECKED BY: ES.

SHEET 1 OF 1 SHEETS



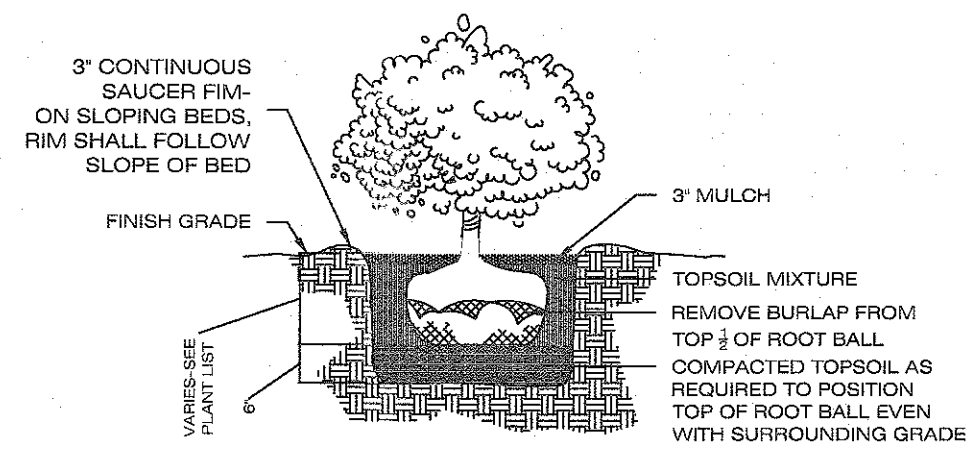
-  2 EA EASTERN REDBUD
Cercis Canadensis
3" Cal.
 -  6 EA SAUCER MAGNOLIA
Magnolia Soulangeana
HT. 6'-8'
 -  12 EA FRISTIGIATE NORWAY
Picea Abies Fast
HT. 6'-8'
 -  8 EA HOOPS SPRUCE
Picea Pungens Hoops
HT. 6'-8'
 -  13 EA AMERICAN HOLLY
Ilex Opaca
HT. 6'-8'
 -  3 EA CHOKE CHERRY
Prunus Virginiana
HT. 3'
 -  1 EA WEEPING BLUE SPRUCE
Picea Pungens Pendula
HT. 4'-5'
- WOODLAND DISTURBANCE AREA = APPROX. 7,000 SF

1	04/28/2021	comm	GC
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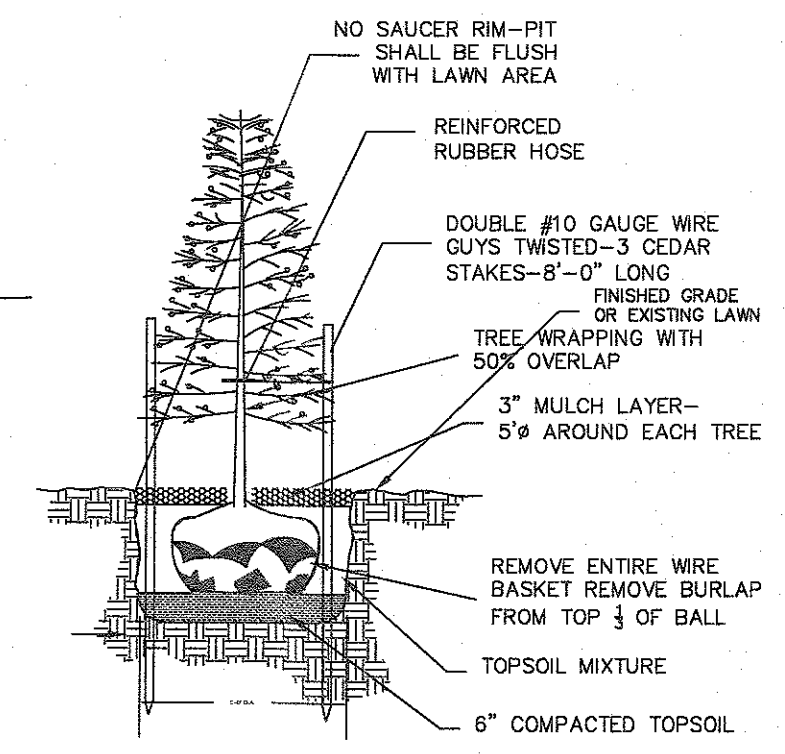
LANDSCAPE PLAN

PREPARED FOR: Jon Farrell
 STREET: 2678 GREGORY ST.
 CITY: YORKTOWN, NY
 A.K.A. SECTION 27.14 - TAX BLOCK 1 - LOT 17
LOT No. 17
 SITUATED IN THE
TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK

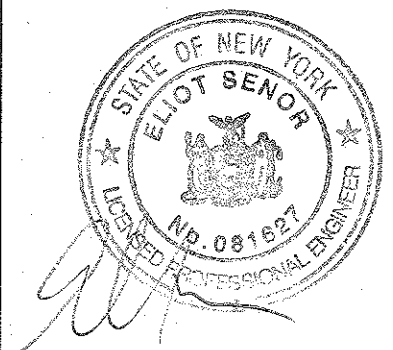
SHRUB PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL





















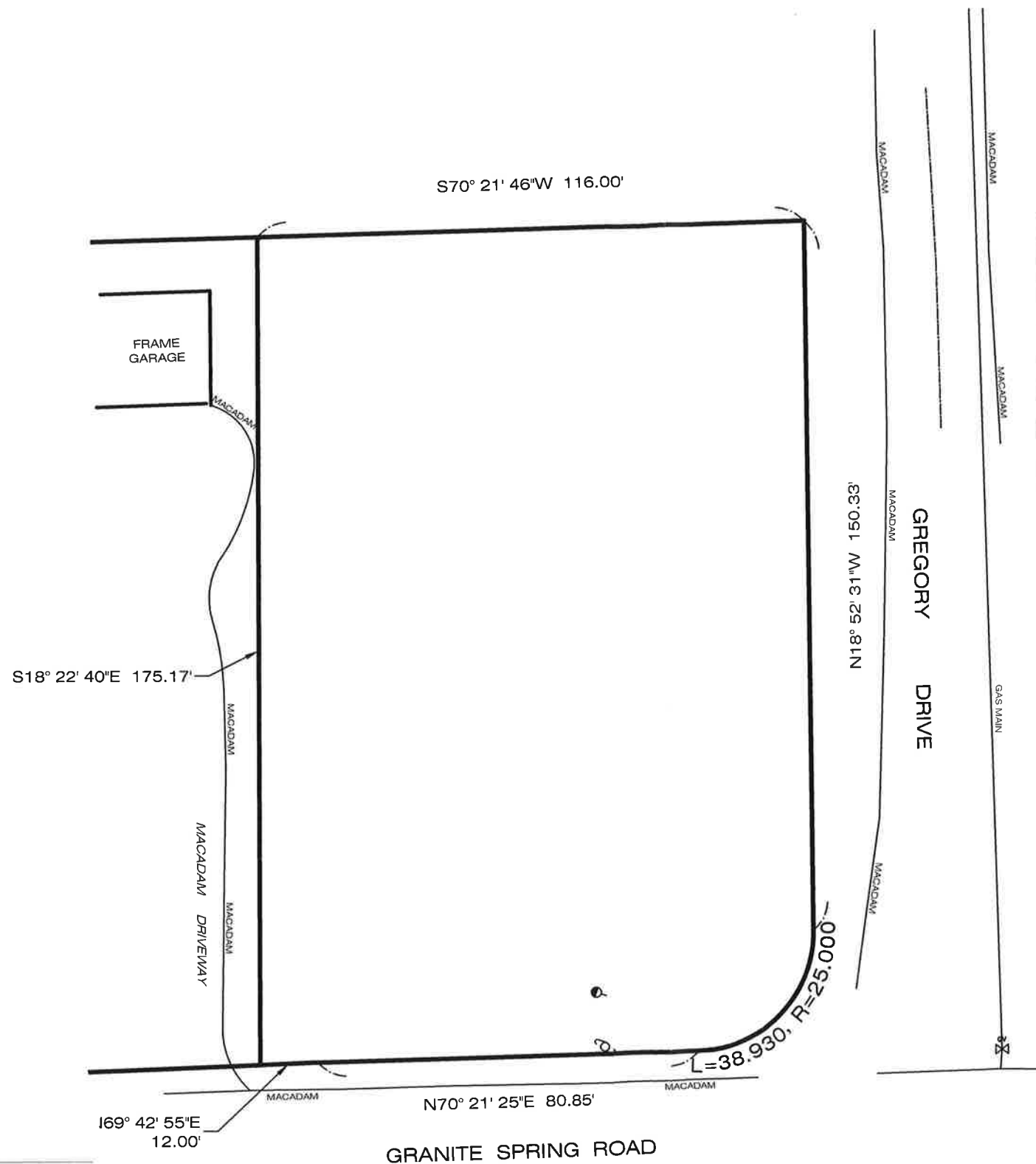
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SCALE: 1" = 15'
 DATE: 04/10/2021
 DRAWN BY: MCN. CHECKED BY: ES.

LEGEND

-  CATCH BASIN
-  DRAIN INLET
-  UTILITY POLE
-  SIGN POST
-  HYDRANT
-  WATER VALVE
-  GAS VALVE
-  LIGHT POLE
-  TRAFFIC POLE
-  TELE. MANHOLE
-  ELECTRIC BOX
-  SEWER MANHOLE
-  WATER MANHOLE
-  ELECTRIC MANHOLE
-  DRAIN MANHOLE
-  MANHOLE
- +242.5 EXIST. ELEV.
- +(242.5) PROP'D ELEV.
-  EVERGREEN
-  14TREE
- SIZE



Possession NOT indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on May 11, 2020, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

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A Title report lists easements and restrictions if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not guaranteed. Fences or possession lines generally do not follow a straight line. The survey shows straight lines between located points. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

NOT FOR TITLE TRANSFER

**SURVEY OF
LOT No.1
AS SHOWN ON SUBDIVISION MAP OF
CRISDCI ESTATES
LOCATED IN THE
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK.**

SCALE: 1" = 20'

DATE: MAY 11, 2020

Said "Map" is filed in the Westchester County Clerk's office, Division of Land Records, on October 20, 1966 as R.O. Map number 15013.

GABRIEL E. SENOR, P.C.

CONSULTING ENGINEER • LAND SURVEYORS
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530
(914) 422-0070 FAX 422-3009