

## TOWN OF YORKTOWN PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

### PUBLIC MEETING AGENDA VIDEO CONFERENCE

March 22, 2021

7:00 PM

To participate in this meeting, please register in advance:

[https://us02web.zoom.us/meeting/register/tZEsdigrD0pGNE6XvsncRhCcTPBKF\\_xFjE](https://us02web.zoom.us/join/zoom-join?meeting=us02web.zoom.us/meeting/register/tZEsdigrD0pGNE6XvsncRhCcTPBKF_xFjE)

1. Correspondence
2. Meeting Minutes – March 8, 2021

#### REGULAR SESSION

3. **Hemlock Hills Farm Solar Farm  
Public Hearing Plan & Special Use Permit**  
*Location:* 46.08-1-1 (Yorktown) & 45.12-1-4 (Cortlandt); 500 Croton Avenue, Cortlandt Manor  
*Contact:* Badey and Watson Surveying and Engineering, P.C.  
*Description:* Proposed 1.69 MW solar farm on a portion of the 50 acre Hemlock Hill Farm property that is located in the Town of Yorktown.
4. **Albert French Subdivision  
Public Informational Hearing**  
*Location:* 12.11-17-23; 1762 French Hill Road  
*Contact:* Site Design Consultants  
*Description:* Proposed 2 Lot subdivision where there are three existing residences. A Zoning Board decision from 1983 supports this subdivision.
5. **Envirogreen Associates  
Public Informational Hearing**  
*Location:* 15.16-1-30 & 31; 1833, 1851, 1867, and 1875 East Main Street  
*Contact:* Site Design Consultants  
*Description:* Proposed redevelopment of a portion of the referenced property by removing one of the existing buildings and parking area, and constructing a 16,000 sf retail center with associated parking.

#### WORK SESSION

6. **Correia Site Plan  
Discussion Site Plan**  
*Location:* 6.17-2-65; 250 East Main Street  
*Contact:* Site Design Consultants  
*Description:* Proposed storage facility on 8.22 acres in the Country Commercial zone consisting of two 1 ½ story buildings of 6,000 sf each.
7. **Foothill Street Solar  
Discussion Site Plan & Special Permit**  
*Location:* 15.07-1-5; 3849 Foothill Street  
*Contact:* Con Edison Clean Energy Businesses, Inc.  
*Description:* Proposed installation of a 2.8 MW ground mounted solar panel system with associated access road, electric utility upgrades, and perimeter fencing.

- 8. Taco Bell – Mohegan Lake**  
**Discussion Amended Site Plan & Special Use Permit for Outdoor Seating**  
*Location:* 15.16-1-21; 3571 Mohegan Avenue  
*Contact:* JMC Site Development Consultants  
*Description:* Proposed Taco Bell restaurant and drive-thru on 0.83 acres in the C-2 zone, at the corner of East Main Street and Mohegan Avenue.
- 9. Shrub Oak International School**  
**Discussion Amended Site Plan**  
*Location:* 26.05-1-4 & 26.06-1-2; 3151 Stony Street  
*Contact:* Divney Tung Schwalbe LLP  
*Description:* Proposed amendments to the site plan approval for Phase 2 site improvements.
- 10. Large-Scale Solar Power Generation System at Shrub Oak Plaza**  
**Discussion Special Permit**  
*Location:* 16.09-2-13; 1426 East Main Street, Shrub Oak  
*Contact:* Ecology New York  
*Description:* Proposed installation of a 260 kW DC/233.3 kW AC Large-Scale Roof-mounted and Ground-mounted solar energy system at the existing Shrub Oak Plaza.
- 11. 712 Kitchawan Road**  
**Town Board Referral**  
*Location:* 70.06-1-4; 712 Kitchawan Road  
*Contact:* Cuddy & Feder  
*Description:* Proposed amendment to 2018 transitional zone approval.
- 12. 2572 Gregory Street (Collier)**  
**Town Board Referral**  
*Location:* 27.14-1-2; 2572 Gregory Street  
*Contact:* Architectural Visions, PLLC  
*Description:* Proposed single-family residence requiring a stormwater and wetland permit from the Town Board.
- 13. 2678 Gregory Street**  
**Town Board Referral**  
*Location:* 27.14-1-17; 2678 Gregory Street  
*Contact:* Gabriel Senor, P.E.  
*Description:* Proposed single-family residence requiring a stormwater permit from the Town Board.

**Last Revised – March 18, 2021**

# **Correspondence**

RECEIVED  
PLANNING DEPARTMENT

MAR 15 2021

TOWN OF YORKTOWN

March 12, 2021



Mr. Joseph C. Riina, P.E.  
Site Design Consultants  
251-F Underhill Avenue,  
Yorktown heights, NY- 10598

Via Email: [jriina@sitedesignconsultants.com](mailto:jriina@sitedesignconsultants.com)

**Vincent Sapienza, P.E.**  
*Commissioner*

Re: Stormwater Pollution Prevention Plan (SWPPP)  
Atlantic Appliance  
2010 Maple Hill Street, Yorktown, NY  
Tax Map # 37.15-1-31  
Log # 2020-MU-0119-SP.1  
Muscoot Reservoir Drainage Basin

**Paul V. Rush, P.E.**  
Deputy Commissioner  
Bureau of Water Supply  
[prush@dep.nyc.gov](mailto:prush@dep.nyc.gov)

Dear Mr. Riina:

465 Columbus Avenue  
Valhalla, NY 10595  
T: (845) 340-7800  
F: (845) 334-7175

The above-referenced project was received by this department on February 8, 2021. Based on the discussion at the Teams meeting we had with Tom Kerrigan from your office on March 3, 2021, the following comments must be satisfactorily addressed prior to approval.

1. It appears that 20 trees are used for area reduction in drainage area 4. Please note the tree plantings shown in proximity to the drainage area boundary should only receive partial credit for that drainage area. Please revise the RRv calculations in Appendix H accordingly and show that the RRV requirement per DEC manual are met in one or both drainage areas (DA3 & DA4) tributary to the standard stormwater practice (pocket wetland).
2. Call out the area provided for the green roof with a suitable CN in the CN calculations for post drainage area DA3. In addition, the stormwater planter area and pocket wetland area shall be assigned a CN of 98 and not 80 for calculating the WQv.
3. The green roof is currently utilized as an impervious area reduction practice for this project. Per the DEC manual, the green roof shall be utilized as a volume reduction practice too. To accomplish this, it shall be modelled as a pond in the modelling software (Hydrocad) and shown that enough storage is available to store the WQv from its own area to claim runoff reduction volume. Note that for WQv purposes, the area reduction and volume reduction cannot be applied together for the same practice.

4. It appears that the stormwater planter is not bypassing any of the volume from large storm events. The design must be revised to accommodate bypass of 10- and 100-year storms effectively.
5. 5' and 6' weirs are shown on the improvement plan for the stormwater planter; the Hydrocad model indicates two 5' weirs at 388.5. The detail SW3 on sheet 10 shows the 5' weir at 388. Correct the elevation of the 5' weir as needed. Also, the 12" orifice is modelled at 388.75' but the detail on the plan shows it at 388.5. Please revise for consistency.
6. Demonstrate that the stormwater planters can store the WQV for less than 12 hours as required by the DEC Manual.
7. Per the Hydrocad model, the permanent pool elevation is at 385 and the storage provided at that elevation is 0.112 acre-feet. Therefore, the table on page 13 must be verified for accuracy for the 50%WQv provided in the permanent pool. Please verify whether the weir elevation should be at 385 or at a higher elevation.
8. Per the drainage pipe sizing provided on the plans and SWPPP report, several sections of drainage piping have low slopes (less than 1%) and long runs (greater than 30 feet). The combination of these two factors can make construction of the sections of pipe difficult and may lead to negative slope drainage. Please consider measures such as reducing the pipe lengths by adding manholes or increasing the slopes to promote positive drainage.
9. The sediment basin and its outlet structure maintenance must be added on the temporary maintenance schedule on the plans. Show a sediment marker on the erosion control plan at the depth at which sediment shall be removed.
10. Include a permanent maintenance schedule for the green roof on Sheet 7. Accordingly, revise the table in the maintenance agreement as well.
11. Specify a suitable area on the ECP for disposing of the sediments from the sediment trap.
12. Please include a note in the sequence that Part 1.B. of the SPDES General Permit GP-015-002 must be adhered to regarding soil stabilization east of the Hudson Watershed. Per this note, step 7 of the construction sequence must be revised as the work is occurring in the EOH watershed.

If the department fails to notify you within the above referenced time frame, you may notify the Department of its failure by certified mail, return receipt requested. The notice should be sent to my attention at the address below. This notice must include your name, the location of the project, the office with which you filed the application originally, and a statement that a decision is sought in accordance with §18-23(d) (6) of the Rules and Regulations. If the Department fails to notify you within 10 days of the receipt of the notice, your application will be deemed approved, subject to standard terms and conditions as set forth in the regulations.

If you have any questions regarding this application, please call me at (914) 749- 5357 or [mzachariah@dep.nyc.gov](mailto:mzachariah@dep.nyc.gov).

Sincerely,

*Mariyam Zachariah*

Mariyam Zachariah  
Associate Project Manager II  
EOH Project Review Group  
Regulatory & Engineering Programs

C: Owner, [joey@atlantic-appliance.com](mailto:joey@atlantic-appliance.com)  
Town of Yorktown Planning Board, [planning@yorktownny.org](mailto:planning@yorktownny.org)

# FOR THE APRIL 12TH AGENDA

Nancy Calicchia

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**From:** Maura Weissleder  
**Sent:** Tuesday, March 16, 2021 2:47 PM  
**To:** 'archipose@aol.com'; John Landi; 'Ken Belfer'; 'pbock@teatown.org'; 'dianedri@aol.com'; lbarbieri@LMFD.net; 'Yorktownfire'; David Paganelli; 'wdhikes@gmail.com'; 'wealthmaker10598@yahoo.com'; 'richfon@aol.com'; Robert Noble; John Delulio; 'rrohr@yorktownpd.org'; 'jfalco1057@yahoo.com'; 'jff9@westchestergov.com'; 'rhattar@yorktown.org'; 'blyons@lakelandschools.org'; 'lcosenza@lakelandschools.org'; 'dan@ciarcia.com'; 'Sharon Robinson'; Kenny Rundle; 'com'; 'jes24york@aol.com'; 'Lynn Briggs'; 'Herbert, Lukas'; g.finelaw@verizon.net; 'hjj7@westchestergov.com'; 'kelly.tururro@dec.ny.gov'; 'dec.sm.DEP.R3'; 'cgarcia@dep.nyc.gov'; 'akhter.shareef@dot.ny.gov'; 'cenan.publicnotices@usace.army.mil'; 'laroues@townofcortlandt.com'; 'townclerk@somersny.com'; 'sdonnely@townofossining.com'; 'showard@putnamvalley.com'; showard13@aol.com; 'info@yorktownchamber.org'; Adam Rodriguez; Adam Rodriguez; Alice Roker; Alice Roker; Ed Lachterman; Ed Lachterman (edlachterman@gmail.com); Matthew Slater; Thomas Diana; Vishnu Patel  
**Cc:** Nancy Calicchia; Kim Hughes; Louise Kobiliak; Diana Quast  
**Subject:** Referral: Amendment to Local Law No. 13 of 2020 (Chapter 300, New Article XXXI - Planned District Overlay Zones)  
**Attachments:** Overlay District LL.pdf; Overlay Districts\_EAF (Signed).pdf; Yorktown Heights - Map.pdf; Lake Osceola - Map.pdf

RECEIVED  
PLANNING DEPARTMENT  
MAR 16 2021  
TOWN OF YORKTOWN

Attached please find documents regarding the above-referenced referral. We respectfully request that you review the attached and send any comment/recommendations to Town Clerk Diana Quast, [dquast@yorktownny.org](mailto:dquast@yorktownny.org), by April 15, 2021.

Thank you for your review.

Regards,

*Maura Weissleder*

Deputy Town Clerk  
Town of Yorktown  
363 Underhill Avenue  
Yorktown Heights, NY 10598  
Ph: (914)962-5722, ext. 210  
Fax: (914)962-6591

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A LOCAL LAW to amend Chapter 300 of the Code of the Town of Yorktown entitled "ZONING"

Be it enacted by the Town Board of the Town of Yorktown as follows:

Section I. Statement of Authority.

This local law is authorized by the New York State Constitution, the provisions of the New York Municipal Home Rule Law, the relevant provisions of the Town Law of the State of New York, the laws of the Town of Yorktown and the general police power vested with the Town of Yorktown to promote the health, safety and welfare of all residents and property owners in the Town.

Section II. Article XXXI of Section 300 of the Code of the Town of Yorktown, entitled Planned Design District Overlay Zones. is hereby replaced in its entirety with the following:

**§ 300-248 Purpose and Intent.**

- A. It is found and determined that there is a need throughout the Town of Yorktown to encourage and establish further economic development. To stimulate that growth and provide for revitalization, the Town requires the use of smart-growth techniques capable of creating smarter, less wasteful, and more economically efficient development patterns. Specifically, the Town needs flexibility in land uses which bolster economic development by providing not only a diverse array of commercial businesses, but mixed-use residential and commercial parcels to both provide abundant job opportunities and contribute to the local tax base.
- B. This Article regulates the location, design, occupancy, and use of structures and the use of land within the areas known as the "Planned Design District Overlay Zones" (hereinafter "PDDOZ") within the Town of Yorktown. The primary purpose of this Article is to institute a legally enforceable zoning code for each unique Planned Design District ("PDD") adopted herein or prospectively, based upon and in furtherance of the goals established Chapter 4 of the Town of Yorktown Comprehensive Plan adopted on July 15, 2010 (hereinafter "the Comprehensive Plan") and as hereinafter amended. The applicability of the provisions of this Article shall only apply to the specific overlay zones duly adopted and set forth herein and to those properties within said zones that the Town Board has determined granting the flexibility allowed by the Planned Design District will result in a significantly better site plan that still protects the health, safety, and welfare of Yorktown's businesses and residents.
- C. This Article is intended to promote the health, safety and general welfare of the Town by creating a holistic and comprehensive economic development strategy that utilizes the principles of social, economic, and environmental responsibility to encourage the



economic development within a mixed-use setting. This Article is intended to create an opportunity for a more economically successful and environmentally responsible Town by enabling a hamlet with a more harmonious and pedestrian-oriented public realm than can be achieved under the regulations in the underlying zoning in effect at the time of adoption of this Article. Specifically, this Article will promote Complete Streets approach and practices as one of many mechanisms to fulfill the purpose and intention herein.

- D. It is also the intent of this legislation to further the economic development goals of the town's Comprehensive Plan to invigorate the hamlet business centers as hubs of civic life and community identity, and promote a mix of retail, professional office, park/civic uses, and compatible residential uses that create a special sense of place. The intent of the overlay zones is to promote flexibility in design, allowed uses, and bulk requirements to make infill and redevelopment of the hamlets both desirable for residents and economically feasible for investors. It is also the intent of this legislation to provide for suitable mixed-use developments within the PDDs, blending the surrounding commercial and residential zones.
- E. This Article will assist in achieving preservation and retention of the remaining historic and architecturally significant buildings and encourage the renovation and construction of other buildings consistent with architectural designs of buildings constructed during the early history of the Town.

**§ 300-249 Definitions.**

As used in this article, the following terms shall have the meanings indicated:

**FAR (Floor Area Ratio)**

Floor Area Ratio as defined in §300-3, "Definitions; word usage."

**INCENTIVE**

A zoning benefit that is granted, pursuant to §261-b of the Town Law, to adjust provisions of Chapter 300, Zoning, of the Town Code of the Town of Yorktown for the purpose of bringing about revitalization in a Planned Design District.

**LIVE-WORK UNIT/SPACE**

Live-work unit or Live-work space. A building or space within a building used jointly for commercial and residential purposes where the residential use of the space is secondary or accessory to the primary use as a place of work. The residential space must be occupied by the owner of the commercial business to which it is accessory.

**MIXED-USE BUILDING**

A building that houses varied uses normally segregated from one another by zoning classification within the Yorktown Zoning Code such as residential uses and retail uses, but not limited thereto.

## **PLANNED DESIGN DISTRICT**

For the purposes of this chapter, an independent zoning district identified by the Town Board as ideal to promote development in accordance with the Comprehensive Plan, wherein the zoning regulations need not be uniform for each class or type of land use, but where the use of land shall be in accordance with a set of criteria and smart growth techniques as established by the Town Board herein.

## **UNIQUE BUILDINGS**

Existing buildings that should be retained because of their distinctive cultural, architectural, or historical references to the Town's history as decided by the Town Board and listed herein

### **§ 300-250 Applicability.**

The provisions of this Article XXI shall apply to all parcels, lots or properties lying within each Planned Design Districts and may be applied to new development, redevelopment, exterior alterations, changes of use, site plan alteration, commercial signs and exterior lighting within the Planned Design District Overlay Zones.

When the provisions of this Chapter are applied by the Planning Board, in any Planned Design District, no buildings or premises shall be used, and no buildings or part of a building or structure shall be erected, constructed, enlarged, altered, arranged or designed to be used, in whole or in part, except for one or more of the uses herein cited in §300-255 through §300-259, or the underlying zoning, provided that a site plan of development in accordance with Chapter 195 of the Yorktown Town Code is approved by the Planning Board, after public notice and hearing, as being in conformity with this Chapter.

### **§ 300-251 Authorization to approve plans; Procedures.**

- A. Authorization is hereby granted to the Planning Board of the Town of Yorktown, as herein set forth, to simultaneously with the approval of a site plan or subdivision map, pursuant with this article, modify applicable provisions of Chapter 300 subject to the conditions set forth in this article and such other reasonable conditions as the Town Board of the Town of Yorktown may, in its discretion, add thereto.
- B. An applicant desiring to use the standards set forth in this article shall file with the Town Board a written request for authorization for consideration and review under the overlay district, which shall include a detailed statement setting forth the nature of modifications, changes or supplementation of existing underlying zoning provisions and the reasons in support of those changes or modifications. Said statement shall include the manner in which such modifications, changes or supplementations of existing zoning provisions will benefit the Town and will further the economic development, public health, safety, or welfare of the community. The applicant shall also file plans and other drawings, sketches, or renderings necessary to understand and consider the proposed project. The town board shall consider the request and evaluate the project for such authorization. The Town Board, at its discretion, may refer the request, plans, and other documentation to other Boards,

departments or agencies for comment and recommendation. The Town Board may hold a public hearing in accordance with Chapter 205 of the Town Code.

The Town Board shall make a determination whether to authorize the project for consideration under the overlay district after making the following determinations:

- 1) That the project is consistent with the general goals of the Comprehensive Plan;
- 2) That the project will not likely be detrimental to the character of its immediate neighboring properties, or the district and town at large;
- 3) That the scope of the project will not likely cause operational difficulties on the site that have potential to negatively affect the health, safety, and welfare of the public;
- 4) That the town's infrastructure is capable of servicing the project or that the impacts or deficiencies of the infrastructure can be appropriately mitigated;
- 5) That the project will eliminate a blight or potential blight within the district;
- 6) That the project is consistent with the goals and intent of the overlay district;
- 7) That the project is consistent with the requirements of the overlay district and does not exceed the limitations or requirements set forth therein;
- 8) That the project is likely to contribute to the economic development of the district and the town at large.

The Town Board need not find all of the foregoing to authorize the project, provided it sets forth a reasoned elaboration of its findings respecting each of the listed attributes. The Town Board shall adopt a resolution authorizing or denying the project to be considered under the overlay district, and shall attach thereto any conditions it finds necessary to maintain the highest standards that are represented by the intent and goals of the overlay district regulations. Projects that are authorized by the Town Board shall be referred, together with the authorizing resolution, to the Planning Board for site plan review and approval.

- C. Once a project has been authorized for review and approval under this Article by the Town Board, the applicant shall file with the Planning Board the application and plans required for site plan or subdivision review and approval as set forth in Chapter 195, Land Development. The Town of Yorktown Signage ordinance manual shall govern all matters relating to signs within each overlay zone. Such application and plans shall have clearly marked upon their face that said plan is for development in accordance with the standards or this Article. The applicant may be required, at various stages of the planning process, to further justify his request to use the standards and procedures set forth herein.
- D. The Recreation Requirements as set forth within this Chapter and the Town of Yorktown Town Code shall remain applicable to the provisions of this Article.

**§ 300-252 Conflicting provisions.**

In the event that any provisions of this article shall be inconsistent or in conflict with the other provisions of this Chapter, then the provisions of this article shall prevail and be complied with.

### **§ 300-253 Development Incentives.**

The following list of Development Incentives may be applied by the Planning Board to any project filed under this Article. In the event the Applicant includes “green-building” standards as recognized by the United States Green Building Council (“USGBC”) and the recognized Leadership in Energy and Environmental Design (“LEED”) standards, the Applicant will be granted priority in approval and shall not be limited in its requests for any and all of the incentives set forth below. In addition, an Applicant bringing forth a proposal that would qualify for LEED certification (though no certification is required) shall be entitled to propose additional incentives, not listed below, to be considered as part of the site plan approval process under this Article. The incentives adopted herein are as follows:

1. Priority of application review and agenda placement.
2. Enhanced staff guidance, including additional staff meetings, throughout the approval process.
3. Relief from area and bulk requirements, parking requirements upon demonstration of proximity to downtown pedestrian access and public transportation, or a social, cultural or economic need or benefit.
4. In the event an Applicant agrees to make infrastructure improvements that benefit the Town to an extent greater than what is required by the conditions of this Article, the Planning Board may grant incentives in relation to density, area and bulk requirements and including parking relief.
5. In the event an Applicant provides real-property or rentable square footage to the Town, the Planning Board may grant incentives in relation to density, area and bulk requirements and including parking relief.

### **§ 300-254 Flexibility Standards; Area and Bulk Requirements**

1. The Planning Board, in considering an application for site plan or subdivision approval within any Planned Design District Overlay Zone, shall be guided by but shall not be strictly bound by the considerations and standards within the underlying zone in which a proposed project exists, as amended, and as applicable to each Planned Design District, upon which the Planning Board shall be the approval authority as set forth herein. In general, these standards shall be deemed to be the minimum requirements for the convenience, economic benefit, health, safety and welfare of the Town and in compliance with the Comprehensive Plan.
2. In the course of project site plan review, as required by this article and SEQRA, the Planning Board may, pursuant to its stated purposes, vary the zoning requirements as to open space requirements, lot area, lot frontage, side yard requirements, front and rear yard requirements, maximum allowable coverage, parking regulations, building heights, floor area ratios, unit density per acre, off-street parking and loading spaces, and all bulk regulations in connection with a specific plan of development on a specific parcel of land in any Planned Design District, and other matters related to the siting and construction of

improvements listed in the Schedule of Regulations, provided that the Planning Board shall determine that such variations are in the public interest and necessary in order to foster high-quality development and redevelopment, are in compliance with the general purpose and intent of this Chapter, and will ensure compatibility with uses on adjoining properties. In no case shall the variation of any requirement be greater than 60% of said requirement, unless otherwise stated in §300-255 through §300-259. Such variations shall apply only to the particular site plan and proposals thereon which are under review and shall not apply to the maximum FAR.

3. The Planning Board may adjust the regulations and reduce the procedural requirements in accordance with this Section to implement the Intent and Purpose of this Article so that the public interest is secured, provided that any such adjustment or procedural modification will not have the effect of nullifying the spirit and intent of this Article.

### **§ 300-255 Yorktown Heights Planned Design District Overlay Zone**

Purpose and intent. The Yorktown Heights Planned Design District consists of the parcels and rights-of-way within the boundary shown on as shown on the zoning map of the Town of Yorktown. This area was once the center of commerce in the town, was redeveloped during urban renewal to accommodate automobile centered life with many large commercial buildings and large paved parking areas. Many of these buildings are now vacant as lifestyles and buying habits transition to digital consumerism making this area ripe for other types of redevelopment. The intent of this overlay zone is to encourage a walkable hamlet-style development that is both a commercial and community center that better serves the needs of its residents and surrounding neighborhoods. Further, the Town Board notes that the Yorktown Heights hamlet supports several developments such as the Underhill Apartments the Kear Street Apartments and the Beaver Ridge Apartments, which were built with densities exceeding the multi-family R-3 zoning district regulations, and these developments do not exhibit adverse impacts related to their density. The Yorktown Heights hamlet business center is able to support appropriate density above that shown in the R-3 zone. It is the intent of this legislation to promote development of appropriate densities that will support the downtown, promote economic development, and increase housing types within town, while also improving the walkability and quality of open spaces. Specifically, the following objectives are encouraged:

1. Phase out of incompatible, nonconforming uses and signs.
2. Construction of attractive building facades along Commerce Street, Downing Drive, Veterans Road, Kear Street, and Underhill Avenue with off-street rear parking lots.
3. Transportation design that emphasizes Complete Street design methods and practices and that includes the pedestrian and bicycle experience to encourage users of the North County Trailway, connected town trailways, and the disabled to be able to move through the overlay zone safely.
4. Creation of off-street parking lots for shared parking between adjoining and neighboring principal uses.

5. Application of enhanced street access, building design, off-street parking, landscaping and buffering controls by the Planning Board to enhance the physical appearance of properties in the Yorktown Heights Planned Design District Overlay Zone.
6. Development of multi-family residential uses not to exceed three stories, unless otherwise stated herein.
7. Creation of mixed-use space that includes live-work space or professional office use in a residence pursuant to §300-76.

**A. Permitted Main Uses.**

1. The same main uses permitted in the underlying zone in which the subject property lies.
2. Mixed-use development.
3. Multi-family and town-house style residential development.
4. Live-work unit developments
5. Stores or shops for the conduct of retail business, bank, post office, restaurant and other places serving food and beverages, professional and business offices, and personal service establishments, including the grooming of house pets, except that no use shall be permitted where any part of the service is conducted outside the premises unless a special use permit has been issued by the Planning Board after due notice and public hearing.
6. Government buildings and uses.
7. Community based uses for senior citizens.

**B. Permitted Uses by Special Permit**

1. The same Special uses permitted by the underlying zone in which the subject property lies.
2. Boutique hotels in accordance with the regulations set forth in §300-52

**C. Permitted Accessory Uses.**

1. The same permitted accessory uses allowed in the underlying zone in which the subject property lies.
2. Signs as approved on the site plan.
3. Outdoor public gathering places.

**D. Permitted Accessory Uses by Special Permit.**

1. The same permitted accessory uses by special permit allowed in the underlying zone in which the subject property lies.
2. Outdoor dining and sidewalk cafés pursuant to §300-80.

**E. Area and Bulk Requirements.**

The area and bulk regulations for the Yorktown Heights Planned Design District Overlay Zone shall comply as follows:

1. Any project within a planned design district overlay zone and authorized by the Town Board to be considered under the regulations set forth herein shall remain subject to the discretion of the Planning Board set forth in §300-253 and §300-254 to modify the requirements due to the special circumstances of a particular project. The discretion granted in §300-253 and §300-254 is subject to the following requirements:
  - a. Area and Bulk requirements shall be as set forth in the underlying zone and subject to variations and limitations as set forth herein. For residential or mixed use residential projects the Planning Board may be guided by the area and bulk requirements of the R-3 multi-family zone and may apply variations to those requirements within the limitations set forth herein.
  - b. FAR shall be allowed up to, but may not exceed, 0.55;
  - c. Maximum height of building shall be as set forth in the underlying zone subject to variation of up to 25% and may not exceed three stories. Enclosed space may be allowed at roof level which may not exceed 50% of the area of the area of the roof.
  - d. Maximum height may be increased to 52 feet and a maximum of 4 stories provided that the lot on which a project is proposed is a single contiguous lot that is a minimum of 10 acres in size.
2. [Reserved]
3. [Reserved]

**F. Design Requirements.**

In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed-use buildings in the Yorktown Heights Planned Design District Overlay Zone:

1. Architectural Designs. All applicants shall adhere to the following guidelines for design standards of any renovation or new construction on a property within the Yorktown Heights Planned Design District:
  - a. Exterior renovations or additions to historic buildings shall make every effort to restore the original appearance to the exterior of the building, with modifications only as approved.
  - b. Acceptable architectural forms will include Colonial, Federal, Georgian, and Victorian styles. Exact duplicates of historic buildings are not required; however, designs should reflect a sense of historical styles at an appropriate scale.
  - c. Appropriate use of sheathing (exterior covering) and decorative details. All new construction will be in brick or wood, unless it is demonstrated to the Advisory Board on Architecture & Community Appearance that some other material may be more appropriate given extenuating circumstances of the project, such as an addition on an existing building. Modern sheathing techniques may be used as long as the overall appearance conveys use of traditional building materials.
  - d. The following materials are not preferred for use in the Yorktown Heights Planned Design District:
    - i. Prefabricated metal siding, typical of manufactured commercial buildings.
    - ii. Dryvit-faced buildings or similar stucco-type surfaces.

- iii. Prefabricated rock aggregate faced buildings.
  - iv. Concrete block faced buildings.
  - v. Tilt-up concrete panels.
  - vi. Ribbon glass, tinted glass panels as sheathing, or tinted glass windows, windows that appear to be frameless.
- e. Unique Buildings. All applicants for renovation of a unique building or new construction on a property on which exists a unique building within the Yorktown Heights Planned Design District shall be required to submit plans that respect the precedents and styles that relate to the early history of the Town. All plans must be in keeping with these guidelines for:
- i. Existing unique buildings. For any proposal that includes an existing unique building whether to be modified or not, the applicant shall provide information concerning the original design of the building and the modifications that have taken place to the building. Every effort shall be made to restore the original appearance of the exterior of the building, with modifications only as considered appropriate by the Advisory Board on Architecture and Community Appearance and the Heritage Preservation Commission, should the unique building be a Designated Landmark.
  - ii. Design elements. All proposed improvements to buildings shall be evaluated by the Advisory Board on Architecture and Community Appearance for the appropriateness of the improvement in terms of the following design elements:
    - (a) Overall design and cohesiveness;
    - (b) Appropriate use of exterior sheathing and decorative details;
    - (c) Window and door configuration; and
    - (d) Setbacks and parking areas and site plan considerations.
2. Signage. The following types of signs shall be preferred in the Yorktown Heights Planned Design District Overlay Zone as outlined in the Town of Yorktown Signage ordinance Manual.
- a. Sign designs should utilize historically-referenced styles, colors, and materials to create attractive, functional, legible signs that can further enhance the town's character.
  - b. Freestanding signs should be monument signs. Using brick piers or bases with uplighting is encouraged.
  - c. Building sign designs should enhance and accent the architecture and character of the building. Signs should not block or dominate the building façade.
  - d. Building signs, painted wood signs or awning signs that are coordinated with the style, shape, color, and scale of the building are preferable to internally lit 'box signs'.
3. Site Planning and Design. Every effort shall be made to maintain and encourage designs and layouts that enhance the pedestrian experience of the Town within the Yorktown Heights Planned Design District Overlay Zone:



- a. Loading docks, overhead doors, and other service entries shall be screened and not be located facing primary street facades.
- b. Applicants shall be encouraged to contribute to the public spaces Lighting fixtures and street furniture installed along public rights-of-way shall match the Yorktown Heights streetscape design plan to visually link the overlay zone.
- c. Landscaping. Landscaping shall be provided to create attractive facades and screen views of parking, loading, and refuse areas from the property frontage and from residential uses.
- d. Parking shall not be located in the front yard unless this requirement is waived by the Planning Board due to the special circumstances of a particular site.
- e. Shared parking and conservation parking spaces shall be encouraged wherever possible to reduce unnecessary underutilized parking areas.
- f. Sidewalks. All sidewalks shall be properly maintained in accordance with Town regulations. All new property developments and redevelopments must provide sidewalks along any property lines that front on public streets, unless this requirement is waived by the Planning Board due to the special circumstances of a particular site. Internal sidewalks will be provided as deemed appropriate by the Planning Board.

**G. Access to Site; Off-Street Parking.**

- 1. The required parking for residential units is 1.5 parking spaces per dwelling unless modified by the Planning Board.
- 2. The required parking for commercial uses shall be as required by §300-182 unless modified by the Planning Board due to special circumstances of a particular site including, but not limited to:
  - a. The use of shared parking between different uses on the same site and/or shared parking between adjacent properties.
  - b. The use of conservation parking spaces.
  - c. The availability of on-street parking or public parking within close proximity to the site.
  - d. Variation in the probable time of maximum use of differing uses on the same site.

**H. Recreation.**

The required recreation for multi-family units built within mixed use development projects shall be as required in the R-3 zone except that the Planning Board may modify this requirement due to special circumstances of a particular site and the proximity of the site to nearby public recreation.

**I. Plan of Development.**

No building permit or certificate of occupancy for any building designed for multi-family mixed-use residential developments, town-house style residential developments, stores or shops for the conduct of retail business, or professional and business office developments within the Yorktown Heights Planned Design District Overlay Zone shall be issued, except in accordance with a plan of development or amendment thereof approved by the Planning Board, and after said approved plan of development, signed and certified by the Chairperson of the Planning Board is issued and filed in the records of the Town.

**J. Official submission and review of plan.**

The Planning Board shall take action within 62 days of the submission to it of the plan of development. The site plan shall be considered officially submitted only when all the required surveys, plans and data in accordance with the requirements of Chapter 195, Land Development described in the above sections have been checked for completeness by the Town Engineer and Director of Planning and filed with the Planning Board.

**K. Unique buildings.**

The Town Board acknowledges that there are unique buildings holding historical value within the Town and the Board may, in its discretion, designate a building as a unique building upon under its own incentive or referral by the Advisory Board on Architecture and Community Appearance. Modifications necessary to accommodate a new use will be permitted; however, it is the intention to require that all project plans retain original features of the buildings, including window type and configuration, front entries, storefronts (if applicable), and identifying decorative details, including those that provide a historical reference to the original use of the building. This provision shall be in addition to the the requirements of Chapter 198: Heritage Preservation, should a unique building be a Designated Landmark.

The Town Board hereby designates the following buildings in this Yorktown Heights Planned Design District as unique buildings:

**322 UNDERHILL AVENUE** (Spadaccia Insurance building now Westchester Health)

c. 1890. Wood shingle residence converted to offices. Large center chimney (parged); projecting pedimented gable over 2nd floor bay window; rear 1-story ell; 3 front gable dormers.

**360 UNDERHILL AVENUE** - Former home of Edward Kear aka The Grace Building  
c. 1890. This onetime home of Edward Kear, who served as Town Supervisor for thirteen years, is one of the last of the grand Victorian homes that were built around the town center that the railroad established in the late 19th century, and in January of 2017 was named a Home of Historic Distinction by the Yorktown Landmarks Preservation Commission.

**363 UNDERHILL AVENUE** – Town Hall

Yorktown's town hall was built in 1935 at the corner of Underhill Avenue and Saw Mill River Road (Route 118) during the administration of Supervisor Theodore Hill. The police department and the town court, once housed here, were moved at different times to other facilities. Additional

wings were built on either side of the original building in [insert date]. The building is colonial revival style with brick faced concrete walls and a slate roof.

**366 UNDERHILL AVENUE** - Coldwell Banker building

c. 1890. Gothic Revival. Brick center chimney; gabled side ell; Doric columns on front porch; bay window on 1st floor front facade; one-story hipped extension front on left rear corner.

**370 UNDERHILL AVENUE** - Captain Underhill House

Completed in 1881, the Captain Underhill Manor & Estate. The estate was most recently used by the Soundview Preparatory private school. Prior to the school the farmhouse was used by the Gilbert Beaver conference center.

**1803 COMMERCE STREET** (Dubovsky)

c. 1870. 2-bay storefront (4 bays deep) addition w/2 sets of triple windows, flat roof (now vacant); house resided w/metal

**1807 COMMERCE STREET** (Trailside Café)

c.1870. Colonial Revival storefront addition c. 1950; stucco; parapet wall has been covered w/vinyl; upper windows on storefront replaced.

**1811 COMMERCE STREET** (Wishes)

c. 1930. Tudor Revival. ½ timbering w/half circle design on front attic level; wood shingle pent over store front windows; side ell for stairway to 2nd floor apts.; fully exposed brick side wall chimney; 1-story rear ell; sunburst pattern in side gable peak & on front of side ell stairwell.

**1826 COMMERCE STREET** – Yorktown Heights Railroad Station

The Yorktown Heights Railroad Station was built around 1878 as part of the Old Putnam Line of the New York & Northern Railroad. By 1914, the New York Central Railroad and its Putnam Division operated the line from High Bridge to Brewster. The last passenger train ran on the Old Put line on Thursday, May 29, 1958 and the last freight movement picked up an empty box car at Creed Brothers lumber yard in Yorktown Heights on September 17, 1962. By spring of 1963, the rails were removed. Since that time, the abandoned railroad bed was sold to New York State and the station building was acquired by the town's urban renewal agency. The station building has been designated a Local (1976), State (1981), and Federal (1981) Landmark. The station became the center of Railroad Park and has gone through several refurbishment attempts. A complete restoration of the building was finally completed in July of 2020. The station building is the last remaining building of its unique design on the Old Putnam Line.

**1932 COMMERCE STREET** – Conciatori Building/Emilio's Castle aka Starbucks Coffee  
c. 1920. Small side ell, left c.2000. False brick endwall chimneys; granite block door & window surrounds; rear extension that once housed service station stalls.

**1952 COMMERCE STREET** (former Mulvey Realty, corner of Commerce & Veterans) c. 1920. Last remaining wood Victorian era home along Commerce Street.

**1974 COMMERCE STREET** – Albert A. Capellini Community & Cultural Center  
Although not within the planned design district boundaries, the former Central School District #2 building is a Town Designated Landmark that is a significant part of the fabric of Yorktown Heights. Originally built in 1923, the school district added a north wing in 1927 and a south wing and gymnasium was added in 1935. The auditorium/theater was completed in the rear of the school between 1954 and 1955. In 1975 the school was closed due to declining enrollments and new schools built in other parts of the community. In July of 1980, the town acquired the old school building to use for several town offices and a community center. In 2019, the town designated the building as a Local Landmark. The structure has exterior walls of masonry, terracotta block and brick facing, with plaster interior finish.

### **§ 300-256 Lake Osceola Development Overlay Zone**

Purpose and Intent. The Lake Osceola Development Design District shall consist of the parcels and rights-of-way within the boundary shown on the map set forth here as Attachment [TBD]. The purpose of this section shall be to implement the goals of this Article and to promote and ensure that the Jefferson Valley Mall remains a viable economic engine and center of retail and restaurant activity while enhancing the recreational and tourism activities and opportunities provided by the lakefront. The Jefferson Valley Mall has been major regional shopping destination and this Article and specifically this overlay-zone will facilitate the region’s continued success. Additionally, while providing for the continued health of the Mall, this section shall also offer incentives for the transformation of Hill Boulevard into a walkable “main-street” attraction by expanding public transportation options and opening increased access to the recreational and tourism opportunities offered by the lakefront. The consistent goals of this Article are to strengthen the economic health of the hamlets within the Town.

#### **A. Permitted Main Uses.**

1. The same main uses permitted in the underlying zone in which the subject property lies.
2. The same main uses permitted in the CR (Commercial Recreation) zone.
3. Mixed-use development.
4. Multi-family residential development.
5. Live-work unit developments
6. Stores or shops for the conduct of retail business, bank, post office, restaurant and other places serving food and beverages, professional and business offices, and personal service establishments, including the grooming of house pets, except that no use shall be permitted where any part of the service is conducted outside the premises unless a special use permit has been issued by the Planning Board after due notice and public hearing.

#### **B. Permitted Main Uses by Special Permit**

1. The same Special uses permitted by the underlying zone in which the subject property lies.
- 2.

**C. Permitted Accessory Uses.**

1. The same permitted accessory uses allowed in the underlying zone in which the subject property lies.
2. Signs as approved on the site plan.
3. Outdoor public gathering places.

**D. Permitted Accessory Uses by Special Permit.**

1. The same permitted accessory uses by special permit allowed in the underlying zone in which the subject property lies.
- 2.

**E. Area and Bulk Requirements.**

The area and bulk regulations for the Lake Osceola Planned Design District Overlay Zone shall comply as follows:

1. Any project within a planned design district overlay zone and authorized by the Town Board to be considered under the regulations set forth herein shall remain subject to the discretion of the Planning Board set forth in §300-253 and §300-254 to modify the requirements due to the special circumstances of a particular project. The discretion granted in §300-253 and §300-254 is subject to the following requirements:
  - a. Area and Bulk requirements shall be as set forth in the underlying zone and subject to variations and limitations as set forth herein. For multi-family residential or mixed-use residential projects the Planning Board may be guided by the area and bulk requirements of the R-3 multi-family zone and may apply variations to those requirements within the limitations set forth herein.
  - b. FAR. shall be allowed up to, but may not exceed, 0.55;
  - c. Maximum height of building shall be as set forth in the underlying zone subject to variation of up to 25% and may not exceed three stories.

**F. Design Requirements.**

In addition to any other design regulations provided in this Code, the following design guidelines shall apply to mixed-use buildings in the Lake Osceola Planned Design District Overlay Zone:

1. Architectural Designs. All applicants shall adhere to the following guidelines for design standards of any renovation or new construction on a property within the Lake Osceola Planned Design District:

- a. Exterior renovations or additions to historic buildings shall make every effort to restore the original appearance to the exterior of the building, with modifications only as approved.
- b. Acceptable architectural forms will include Colonial, Federal, Georgian, and Victorian styles. Exact duplicates of historic buildings are not required; however, designs should reflect a sense of historical styles at an appropriate scale.
- c. Appropriate use of sheathing (exterior covering) and decorative details. All new construction will be in brick or wood, unless it is demonstrated to the Advisory Board on Architecture & Community Appearance that some other material may be more appropriate given extenuating circumstances of the project, such as an addition on an existing building. Modern sheathing techniques may be used as long as the overall appearance conveys use of traditional building materials.
- d. The following materials are not preferred for use in the Lake Osceola Planned Design District:
  - i. Prefabricated metal siding, typical of manufactured commercial buildings.
  - ii. Dryvit-faced buildings or similar stucco-type surfaces.
  - iii. Prefabricated rock aggregate faced buildings.
  - iv. Concrete block faced buildings.
  - v. Tilt-up concrete panels.
  - vi. Ribbon glass, tinted glass panels as sheathing, or tinted glass windows, windows that appear to be frameless.
- e. Unique Buildings. All applicants for renovation of a unique building or new construction on a property on which exists a unique building within the Jefferson Valley Planned Design District shall be required to submit plans that respect the precedents and styles that relate to the early history of the Town. All plans must be in keeping with these guidelines for:
  - iii. Existing unique buildings. For any proposal that includes an existing unique building whether to be modified or not, the applicant shall provide information concerning the original design of the building and the modifications that have taken place to the building. Every effort shall be made to restore the original appearance of the exterior of the building, with modifications only as considered appropriate by the Advisory Board on Architecture and Community Appearance and the Heritage Preservation Commission, should the unique building be a Designated Landmark.
  - iv. Design elements. All proposed improvements to buildings shall be evaluated by the Advisory Board on Architecture and Community Appearance for the appropriateness of the improvement in terms of the following design elements:
    - (a) Overall design and cohesiveness;
    - (b) Appropriate use of exterior sheathing and decorative details;
    - (c) Window and door configuration; and
    - (d) Setbacks and parking areas and site plan considerations.

4. Signage. Sign requirements shall be as required by the underlying zone. The following types of signs shall be preferred in the Lake Osceola Planned Design District Overlay Zone as outlined in the Town of Yorktown Signage ordinance Manual.
  - a. Sign designs should utilize historically-referenced styles, colors, and materials to create attractive, functional, legible signs that can further enhance the town's character.
  - b. Freestanding signs should be monument signs. Using brick piers or bases with uplighting is encouraged.
  - c. Building sign designs should enhance and accent the architecture and character of the building. Signs should not block or dominate the building façade.
  - d. Building signs, painted wood signs or awning signs that are coordinated with the style, shape, color, and scale of the building are preferable to internally lit 'box signs'.
  
5. Site Planning and Design. Every effort shall be made to maintain and encourage designs and layouts that enhance the pedestrian experience and experience of Lake Osceola, including enhancing views, providing public gathering spaces, and public use of the lake:
  - a. Development shall attempt to offer amenities that include use of or enhanced views of the lake. Lakefront properties should be encouraged to participate in a boardwalk or pedestrian walkway system when feasible.
  - b. Loading docks, overhead doors, and other service entries shall be screened and not be located facing primary street facades.
  - c. Applicants shall be encouraged to contribute to the public spaces. Lighting fixtures and street furniture installed along public rights-of-way shall match to visually link the overlay zone.
  - d. Landscaping. Landscaping shall be provided to create attractive facades and screen views of parking, loading, and refuse areas from the property frontage and from residential uses.
  - e. Parking shall not be located in the front yard unless this requirement is waived by the Planning Board due to the special circumstances of a particular site.
  - f. Shared parking and conservation parking spaces shall be encouraged wherever possible to reduce unnecessary underutilized parking areas.
  - g. Sidewalks. All sidewalks shall be properly maintained in accordance with Town regulations. All new property developments and redevelopments must provide sidewalks along any property lines that front on public streets, unless this requirement is waived by the Planning Board due to the special circumstances of a particular site. Internal sidewalks will be provided as deemed appropriate by the Planning Board.

**G. Access to Site; Off-Street Parking.**

1. The required parking for residential units is 1.5 parking spaces per dwelling unless modified by the Planning Board.
2. The required parking for commercial uses shall be as required by §300-182 unless modified by the Planning Board due to special circumstances of a particular site including, but not limited to:

- a. The use of shared parking between different uses on the same site and/or shared parking between adjacent properties.
- b. The use of conservation parking spaces.
- c. The availability of on-street parking or public parking within close proximity to the site.
- d. Variation in the probable time of maximum use of differing uses on the same site.

#### **H. Recreation.**

The required recreation for multi-family units built within mixed use development projects shall be as required in the R-3 zone except that the Planning Board may modify this requirement due to special circumstances of a particular site and the proximity of the site to nearby public recreation.

#### **I. Plan of Development.**

No building permit or certificate of occupancy for any building designed for multi-family mixed-use residential developments, town-house style residential developments, stores or shops for the conduct of retail business, or professional and business office developments within the Jefferson Valley Planned Design District Overlay Zone shall be issued, except in accordance with a plan of development or amendment thereof approved by the Planning Board, and after said approved plan of development, signed and certified by the Chairperson of the Planning Board is issued and filed with the Town Clerk in the records of the Town.

#### **J. Official submission and review of plan.**

The Planning Board shall take action within 62 days of the submission to it of the plan of development. The site plan shall be considered officially submitted only when all the required surveys, plans and data in accordance with the requirements of Chapter 195, Land Development described in the above sections have been checked for completeness by the Town Engineer and Director of Planning and filed with the Planning Board.

#### **K. Unique buildings.**

The Town Board acknowledges that there are unique buildings holding historical value within the Town and the Town Board may, in its discretion, designate a building as a unique building under its own incentive or upon referral by the Advisory Board on Architecture and Community Appearance. Modifications necessary to accommodate a new use will be permitted; however, it is the intention to require that all project plans retain original features of the buildings, including window type and configuration, front entries, storefronts (if applicable), and identifying decorative details, including those that provide a historical reference to the original use of the building. This provision shall be in addition to the the requirements of Chapter 198: Heritage Preservation, should a unique building be a Designated Landmark.

The Town Board hereby designates the following buildings in this Jefferson Valley Planned Design District as unique buildings:



**466 EAST MAIN STREET**

A gothic revival style wood frame structure built in 1861 and once known as Bailey’s Lodge.

**3642 HILL BOULEVARD – LOURDES BUILDING**

Built in 1975, the shopping center with large mansard roof is part of the unique character of the Jefferson Valley hamlet.

§ 300-257 [Reserved]

§ 300-258 [Reserved]

§ 300-259 [Reserved]

§ 300-260 [Reserved]

§ 300-261 [Reserved]

Section III. Severability.

If any clause, sentence, phrase, paragraph or any part of this local law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this local law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this local law would have been adopted had any such provisions been excluded.

Section IV. Repeal

All ordinances, local laws and parts thereof inconsistent with this Local Law are hereby repealed to the extent of such inconsistency.

Section V. Effective Date.

This local law shall become effective upon filing in the office of the Secretary of State in accordance with the provisions of the Municipal Home Rule Law.

*Full Environmental Assessment Form  
Part 1 - Project and Setting*

**Instructions for Completing Part 1**

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Proposed Planned Design District Overlay Zones		
Project Location (describe, and attach a general location map): Areas as designated by the Town Board in the Town of Yorktown		
Brief Description of Proposed Action (include purpose or need): The Town Board has determined that there is a need throughout the Town of Yorktown to encourage and establish further economic development. To stimulate that growth and provide for revitalization, the Town requires the use of smart-growth techniques capable of creating smarter, less wasteful, and more economically efficient development patterns. Specifically, the Town needs flexibility in land uses which bolster economic development by providing not only a diverse array of commercial businesses, but mixed-use residential and commercial parcels to both provide abundant job opportunities and contribute to the local tax base.  The Proposed Action is to create a new Article XXXI in the Town of Yorktown Town Code entitled Planned Design District Overlay Zones giving the Town Board the authority to designate areas within the Town of Yorktown as Planned Design District Overlay Zones. This article would allow the Town Board to adopt subsequent subsections to regulate the location, design, occupancy, and use of the structures and the use of land within each of the designated districts.		
Name of Applicant/Sponsor: Town of Yorktown Town Board	Telephone: 914-962-5722 x200	E-Mail: supervisor@yorktownny.org
Address: 363 Underhill Avenue		
City/PO: Yorktown Heights	State: NY	Zip Code: 10598
Project Contact (if not same as sponsor; give name and title/role): John Tegeder, Director of Planning	Telephone: 914-962-6565 x326	E-Mail: jtegeder@yorktownny.org
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board	
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
various

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site?

**C.4. Existing community services.**

a. In what school district is the project site located? Yorktown, Lakeland

b. What police or other public protection forces serve the project site?  
Yorktown

c. Which fire protection and emergency medical services serve the project site?  
Mohegan Lake, Yorktown

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Mixed use

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

- ii. If Yes:
- Total number of phases anticipated \_\_\_\_\_
  - Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
  - Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year
  - Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

- i. Total number of structures \_\_\_\_\_
- ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length
- iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

- i. Purpose of the impoundment: \_\_\_\_\_
- ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

- iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
- v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

### D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
\_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
\_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

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iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)

ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

---

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

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f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:
 

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>		
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>		
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend  <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>		
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>		
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul> </td> </tr> </table>	<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Explain: _____</li> </ul>	
<b>E.2. Natural Resources On or Near Project Site</b>	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: _____ %	
_____ %	
_____ %	
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site	
<input type="checkbox"/> Moderately Well Drained: _____ % of site	
<input type="checkbox"/> Poorly Drained _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input type="checkbox"/> 0-10%: _____ % of site	
<input type="checkbox"/> 10-15%: _____ % of site	
<input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes, describe: _____	
_____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
ii. Do any wetlands or other waterbodies adjoin the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
<ul style="list-style-type: none"> <li>• Streams: Name _____ Classification _____</li> <li>• Lakes or Ponds: Name _____ Classification _____</li> <li>• Wetlands: Name _____ Approximate Size _____</li> <li>• Wetland No. (if regulated by DEC) _____</li> </ul>	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
_____	
i. Is the project site in a designated Floodway? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
j. Is the project site in the 100-year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
k. Is the project site in the 500-year Floodplain? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes:	
i. Name of aquifer: _____	

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No  
 If Yes:  
 i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District  
 ii. Name: \_\_\_\_\_  
 iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No  
 If Yes:  
 i. Describe possible resource(s): \_\_\_\_\_  
 ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No  
 If Yes:  
 i. Identify resource: \_\_\_\_\_  
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_  
 iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No  
 If Yes:  
 i. Identify the name of the river and its designation: \_\_\_\_\_  
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

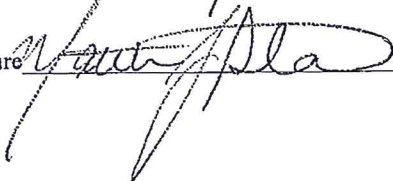
Attach any additional information which may be needed to clarify your project.

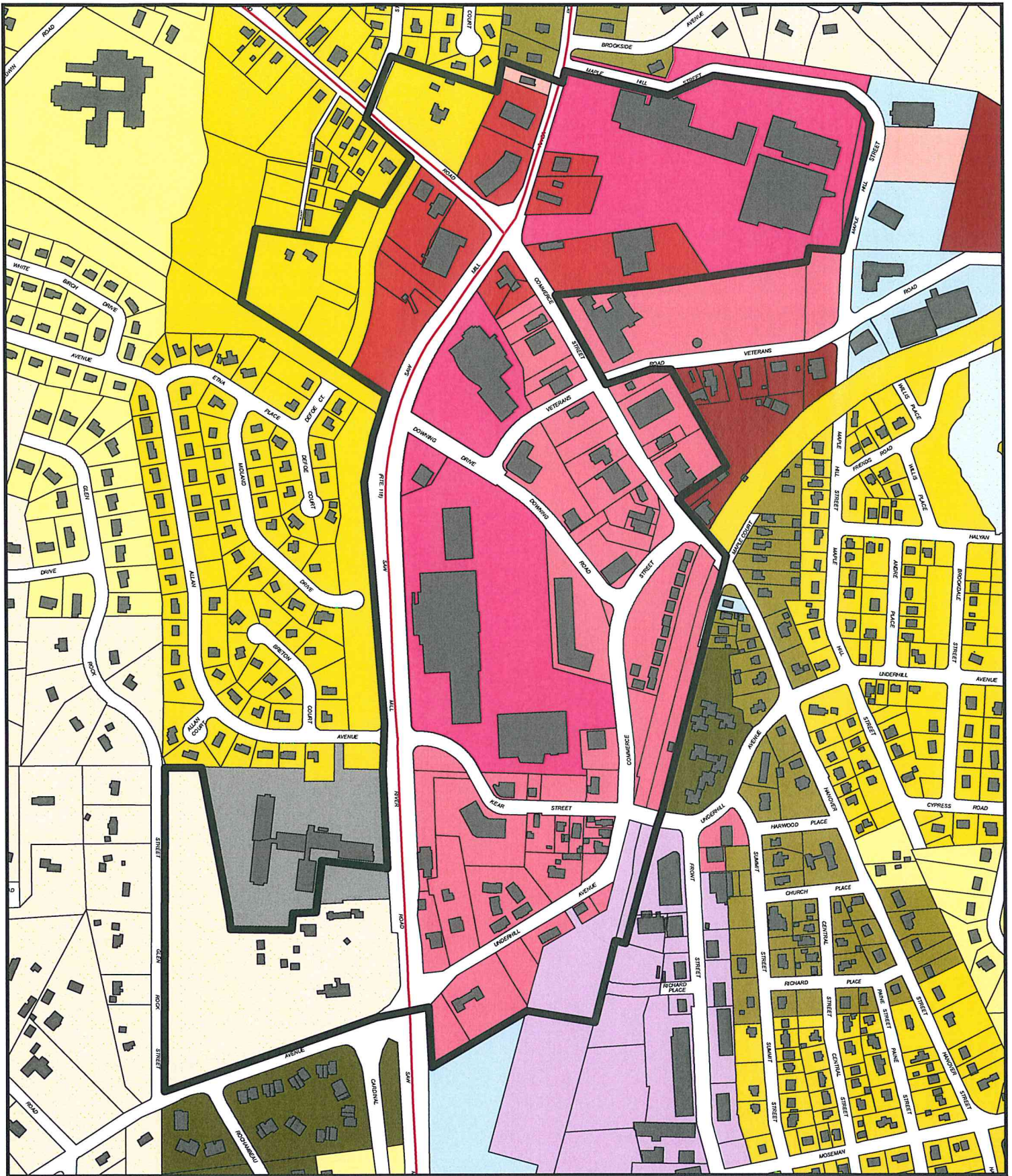
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name MATHEW J. SLATER Date 9/25/2020

Signature  Title TOWN SUPERVISOR



TOWN OF YORKTOWN PLANNING DEPARTMENT  
 Albert A. Capellini Community & Cultural Center  
 1974 Commerce Street, Yorktown Heights, NY 10598  
 (914) 962-6565, www.yorktownny.org/planning



0 250 500 Feet



1 inch = 500 feet

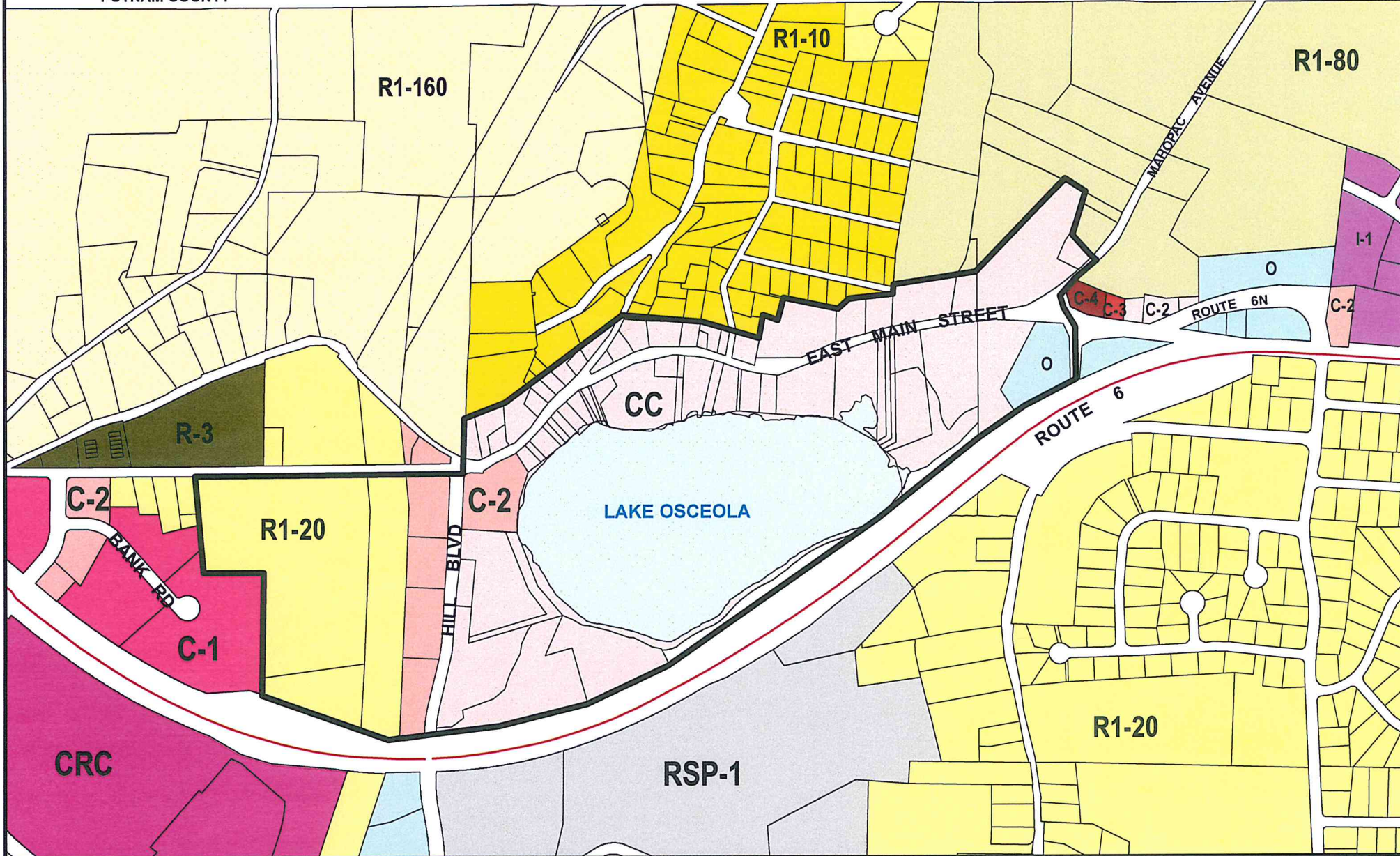
TITLE: Yorktown Heights Planned Design District  
 DATE: March 4, 2021

FILE: F:\ArcGIS\PROJECTS\Overlay Districts\Yorktown Heights.mxd  
 BY: RAS

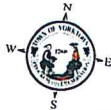


Yorktown Heights Planned Design District Boundary

Source: Town of Yorktown GIS 2020.



TOWN OF YORKTOWN PLANNING DEPARTMENT  
 Albert A. Capellini Community & Cultural Center  
 1974 Commerce Street, Yorktown Heights, NY 10598  
 (914) 962-6565, www.yorktownny.org/planning



1 inch = 700 feet

TITLE: Lake Osceola Development Overlay Zone  
 DATE: March 4, 2021

FILE: F:\ArcGIS\PROJECTS\Overlay Districts\Lake Osceola.mxd  
 BY: RAS

Sources: Town of Yorktown GIS.



# **Draft Minutes**

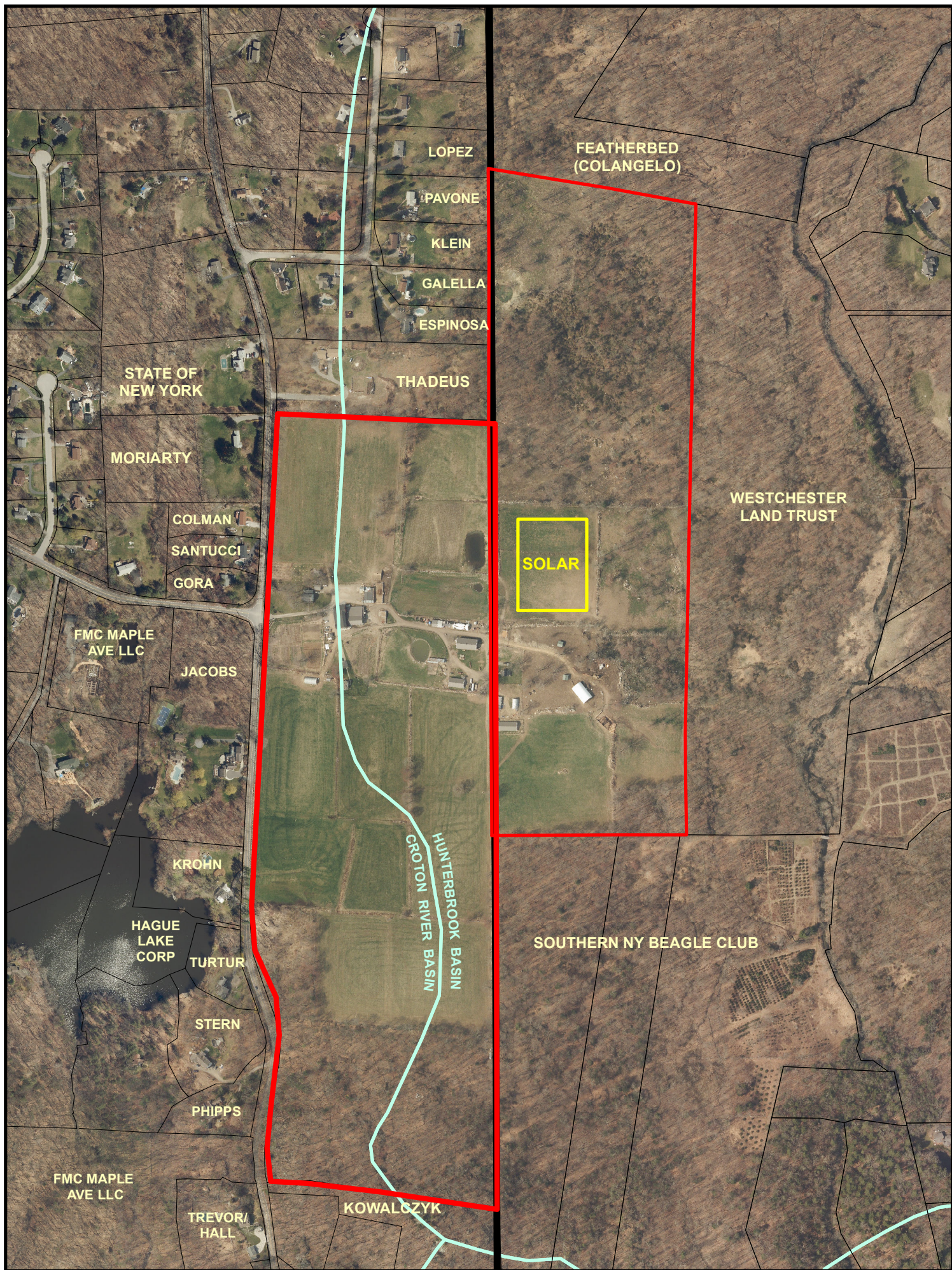
# **Hemlock Hill Solar Public Hearing**

**Mailing Notices Certification**

**Hemlock Hills Solar Farm**

**Public Hearing – March 22, 2021**

OWNERNAME	MailADDRESS	MailCITY	MailZIP	sec blk lot	PROPADDRESS	PROPCITY	PROPZIP
FEATHERBED PROPERTIES,	8 Cotage Place	Tuckhoe, NY	10707	35.16-1-4	1805 JACOB RD.	YORKTOWN HEIGHTS	10598
SOUTHERN N.Y. BEAGLE c/o Jesse	3 Hill and Dale Road	Cortlandt Manor, NY	10567	46.12-1-1 & 2 & 47.09-1-25	1875 HUNTERBROOK RD.	YORKTOWN HEIGHTS	10598
WESTCHESTER LAND TRUST	403 Harris Rd	Bedford Hills, NY	10507	47.05-1-17	BEEKMAN CT.	YORKTOWN HEIGHTS	10598
FMC MAPLE AVENUE LLC	285 Cenral Park W Suite	New York, NY	10024	45.15-3-2	CROTON AVE	CORTLANDT MANOR	10567
Katy White, Trevor Hall	597 CROTON AVE	Cortlandt Manor, NY	10567	45.15-3-3	597 CROTON AVE	CORTLANDT MANOR	10567
TOWN OF CORTLANDT	1 Heady Street	CORTLANDT MANOR	10567	45.16-1-1	CROTON AVE	CORTLANDT MANOR	10567
KOWALCZYK JOHN	1274 W.W. Hunnicut Ave	Port Saint Lucie, FL	34953	45.16-1-5	CROTON AVE	CORTLANDT MANOR	10567
STATE OF NEW YORK c/o Letchwor	PO Box 470	Thiells, NY	10984	45.7-1-11	455 CROTON AVE	CORTLANDT MANOR	10567
Rafael & Marlene Lopez	118 Mountain View Rd	Cortlandt Manor, NY	10567	45.7-2-10	118 Mountain View Rd	Cortlandt Manor, NY	10567
Robert & Valerie Pavone	114 Mountain View Rd	Cortlandt Manor, NY	10567	45.7-2-11	114 Mountain View Rd	Cortlandt Manor, NY	10567
Roland & Catherine Kline	112 Mountain View Rd	Cortlandt Manor, NY	10567	45.7-2-12	112 Mountain View Rd	Cortlandt Manor, NY	10567
Elaine & Joseph Galella	110 Mountain View Rd	Cortlandt Manor, NY	10567	45.7-2-13	110 Mountain View Rd	Cortlandt Manor, NY	10567
Frank & Andrea Espinosa	108 Mountain View Rd	Cortlandt Manor, NY	10567	45.7-2-14	108 Mountain View Rd	Cortlandt Manor, NY	10567
THADDEUS EVA	9 Darby Ave	Croton-on-Hudson, NY	10520	45.7-2-15	456 CROTON AVE	CORTLANDT MANOR	10567
MORIARTY JOHN	469 CROTON AVE	CORTLANDT MANOR	10567	45.11-1-26	469 CROTON AVE	CORTLANDT MANOR	10567
COLMAN EMILIO S & BLANCA	481 CROTON AVE	CORTLANDT MANOR	10567	45.11-1-27	481 CROTON AVE	CORTLANDT MANOR	10567
SANTUCCI ROMALO J & BRIDG	485 CROTON AVE	CORTLANDT MANOR	10567	45.11-1-28	485 CROTON AVE	CORTLANDT MANOR	10567
GORA THOMAS	2590 MAPLE AVE	CORTLANDT MANOR	10567	45.11-1-29	2590 MAPLE AVE	CORTLANDT MANOR	10567
JACOBS WILLIAM I	507 CROTON AVE	CORTLANDT MANOR	10567	45.11-1-32	507 CROTON AVE	CORTLANDT MANOR	10567
KROHN DEBORAH	537 CROTON AVE	CORTLANDT MANOR	10567	45.11-1-33	537 CROTON AVE	CORTLANDT MANOR	10567
TURTUR MARINO	553 CROTON AVE	CORTLANDT MANOR	10567	45.11-1-35	553 CROTON AVE	CORTLANDT MANOR	10567
STERN PAUL	563 CROTON AVE	CORTLANDT MANOR	10567	45.15-2-5	563 CROTON AVE	CORTLANDT MANOR	10567
PHIPPS THOMAS LANG	581 CROTON AVE	CORTLANDT MANOR	10567	45.15-2-6 & 45.11-1-34.1	581 CROTON AVE	CORTLANDT MANOR	10567



LOPEZ

FEATHERBED  
(COLANGELO)

PAVONE

KLEIN

GALELLA

ESPINOSA

STATE OF  
NEW YORK

THADEUS

MORIARTY

COLMAN

SANTUCCI

GORA

FMC MAPLE  
AVE LLC

JACOBS

SOLAR

WESTCHESTER  
LAND TRUST

KROHN

HAGUE  
LAKE  
CORP

TURTUR

STERN

PHIPPS

FMC MAPLE  
AVE LLC

TREVOR/  
HALL

KOWALCZYK

HUNTERBROOK BASIN  
CROTON RIVER BASIN

SOUTHERN NY BEAGLE CLUB

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 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
SOUTHERN N.Y. BEAGLE  
c/o Jesse Stackhouse  
3 Hill and Dale Road  
Cortlandt Manor, NY, 10567  
46.12-1-1 & 47.09-1-25  
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 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
Sent To: *Feather Bed Properties*  
School and Apt. No. of PO Box:  
*2 Cortlandt Manor*  
*Tuckee, NY 10707*  
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Postage \$  
Total Postage and Fees \$  
Rafael & Marlene Lopez  
118 Mountain View Rd  
Cortlandt Manor, NY, 10567  
45.7-2-10  
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 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
KOWALCZYK JOHN  
1274 W.W. Hunnicut Ave  
Port Saint Lucie, FL, 34953  
45.16-1-5  
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Postage \$  
Total Postage and Fees \$  
GORA THOMAS  
2590 MAPLE AVE  
CORTLANDT MANOR, 10567  
45.11-1-29  
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 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
FMC MAPLE AVENUE LLC  
285 Cenral Park W Suite  
New York, NY, 10024  
45.15-3-2  
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 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
STATE OF NEW YORK  
c/o Letchworth Office  
PO Box 470  
Thiells, NY, 10984  
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 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
KROHN DEBORAH  
537 CROTON AVE  
CORTLANDT MANOR, 10567  
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 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
Katy White, Trevor Hall  
597 CROTON AVE  
Cortlandt Manor, NY, 10567  
45.15-3-3  
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 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
TURTUR MARINO  
553 CROTON AVE  
CORTLANDT MANOR, 10567  
45.11-1-35  
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 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
STERN PAUL  
563 CROTON AVE  
CORTLANDT MANOR, 10567  
45.15-2-5  
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 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
TOWN OF CORTLANDT  
1 Heady Street  
CORTLANDT MANOR, 10567  
45.16-1-1  
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Postage \$  
Total Postage and Fees \$  
PHIPPS THOMAS LANG  
581 CROTON AVE  
CORTLANDT MANOR, 10567  
45.15-2-6 & 45.11-1-34.1  
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 Adult Signature Restricted Delivery \$  
Postage \$  
Total Postage and Fees \$  
Roland & Catherine Kline  
112 Mountain View Rd  
Cortlandt Manor, NY, 10567  
45.7-2-12  
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Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total P \$ \_\_\_\_\_

Sent To Elaine & Joseph Galella  
110 Mountain View Rd  
Cortlandt Manor, NY, 10567

Street # 45.7-2-13

City, St \_\_\_\_\_

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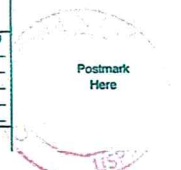
Total P \$ \_\_\_\_\_

Sent To Robert & Valerie Pavone  
114 Mountain View Rd  
Cortlandt Manor, NY, 10567

Street # 45.7-2-11

City, St \_\_\_\_\_

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Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_


Total P \$ \_\_\_\_\_

Sent To THADDEUS EVA  
9 Darby Ave  
Croton-on-Hudson, NY, 10520

Street # 45.7-2-15

City, St \_\_\_\_\_

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Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total P \$ \_\_\_\_\_

Sent To COLMAN EMILIO S & BLANCA  
481 CROTON AVE  
CORTLANDT MANOR, 10567

Street # 45.11-1-27

City, St \_\_\_\_\_

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Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total P \$ \_\_\_\_\_

Sent To MORIARTY JOHN  
469 CROTON AVE  
CORTLANDT MANOR, 10567

Street # 45.11-1-26

City, St \_\_\_\_\_

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Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_


Total P \$ \_\_\_\_\_

Sent To Frank & Andrea Espinosa  
108 Mountain View Rd  
Cortlandt Manor, NY, 10567

Street # 45.7-2-14

City, St \_\_\_\_\_

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Adult Signature Restricted Delivery \$ \_\_\_\_\_

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Sent To JACOBS WILLIAM I  
507 CROTON AVE  
CORTLANDT MANOR, 10567

Street # 45.11-1-32

City, St \_\_\_\_\_

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Adult Signature Restricted Delivery \$ \_\_\_\_\_

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Sent To SANTUCCI ROMALO J & BRIDG  
485 CROTON AVE  
CORTLANDT MANOR, 10567

Street # 45.11-1-28

City, St \_\_\_\_\_

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 46.08 Block 1 Lot 1

Project Name: Hemlock Hills star Farm by 174 Power Global

Address: 500 Croton Avenue, Cortlandt Manor, NY 10567

Applicant's Name: John N DeMaria Family Trust

Address: 500 Croton Avenue, Cortlandt Manor, NY 10567

Phone: 914-879-5809

No. Signs Posted: 1

Sign #1 Location: on Croton Avenue at the entrance to the Farm

Sign #2 Location: \_\_\_\_\_

Sign #3 Location: \_\_\_\_\_

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: Margaret McManus, PE

Land Owner's Signature: Margaret McManus  
Engineer for Project  
Badley & Watson

Sign was  
Checked on  
March 12, 2021



sign checked on March 12, 2021

PLANNING BOARD PUBLIC HEARING  
TOWN OF CORTLAND  
FOR THIS PROPERTY  
CASE NUMBER: 20-17  
DATE & TIME OF HEARING: 12/7/00  
CONTACT TOWN OF CORTLAND PLANNING OFFICE  
734-1000  
WWW.TOWNOFCORTLAND.COM

**NOTICE**  
THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
BEFORE THE YORKTOWN  
PLANNING BOARD  
FOR MORE INFORMATION CONTACT THE PLANNING DEPT.  
800-862-7669  
WWW.YORKTOWNVA.GOV

HOLIDAY  
ORDERS  
1-800-862-7669



sign placed on Saturday December 12, 2020



MAR 17 2021

TOWN OF YORKTOWN

**From:** Kvinge, David [<mailto:dsk2@westchestergov.com>]

**Sent:** Wednesday, March 17, 2021 3:38 PM

**To:** Charles Feit <[charles@enforcesolar.com](mailto:charles@enforcesolar.com)>; Margaret McManus <[mmcmanus@badey-watson.com](mailto:mmcmanus@badey-watson.com)>

**Cc:** Steven Marino <[smarino@timmillerassociates.com](mailto:smarino@timmillerassociates.com)>; Hemlock Hill Farm <[hhf500@gmail.com](mailto:hhf500@gmail.com)>; John Tegeder <[jtegeder@yorktownny.org](mailto:jtegeder@yorktownny.org)>; Chris Kehoe <[ChrisK@townofcortlandt.com](mailto:ChrisK@townofcortlandt.com)>; Drummond, Norma <[nvv1@westchestergov.com](mailto:nvv1@westchestergov.com)>; Miller, Brian <[bdm1@westchestergov.com](mailto:bdm1@westchestergov.com)>

**Subject:** RE: Westchester Planning Dept - Request for Solar Panels - Hemlock Hill Farm

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

In response to your request to install a solar array on a portion of Hemlock Hill Farm, please find attached a letter granting such approval pursuant to the conditions and stipulations of the agricultural conservation easement granted by the property owner to Westchester County in 2011.

The solar array will be installed on an approximately 4-acre portion of the approximately 118-acre farm and will be a community solar project providing benefits to electric consumers in the area. From the information provided, there will be minimal impacts to the agricultural soils or the agricultural operation, and a decommissioning plan has been developed with assurances to restore the area and make it available for agricultural use at such time that the array is no longer in use.

Note that we have included recommendations that we believe will further reduce potential impacts and improve the project benefits. We strongly encourage these recommendations be incorporated into the development plans and project implementation.

We have copied the farm owner as well as the Planning Boards for both the Town of Yorktown and the Town of Cortlandt.

If you have any questions, please contact me.

**David S. Kvinge, AICP, RLA, CFM**  
**Director of Environmental Planning**  
Westchester County Department of Planning  
Room 432, 148 Martine Avenue  
White Plains, NY 10601  
Phone: (914) 995-2089  
FAX: (914) 995-3780  
Email: [dsk2@westchestergov.com](mailto:dsk2@westchestergov.com)

Westchester County wants to contact you in an emergency. Sign up at [www.westchestergov.com](http://www.westchestergov.com).  
**Save paper. Don't print this E mail unless you really need to!**

MAR 17 2021

TOWN OF YORKTOWN

George Latimer  
County Executive

Department of Planning

Norma V. Drummond  
Commissioner

March 17, 2021

Mr. Charles Feit, CEO  
OnForce Solar, Inc.  
325 5<sup>th</sup> Avenue, 33<sup>rd</sup> Floor  
New York, NY 10016

SENT BY EMAIL

**SUBJECT: Request to Construct Solar Energy Facility**

Dear Mr. Feit:

We are in receipt of your notice of intent to construct a solar energy facility on a portion of Hemlock Hill Farm, located in the Towns of Cortlandt and Yorktown. As you may be aware, the County is the grantee and administrator of an agricultural easement over the entire property, financed in part with funds from the New York State Department of Agriculture and Markets. In 2019, the County received a request from the property owner to install a community solar project of approximately 2.8 acres in size on an underutilized portion of the 118-acre farm. After review, the County granted the request, pursuant to the conditions of Section 18 of the agricultural conservation easement.

In February of 2021, an amended request was submitted to the County by email. The amendments consisted of relocating the proposed array north to an area formerly used as grazing pasture and enlarging the area to approximately four acres in size, generating approximately one megawatt of electricity. The array will be installed on a post and rack system with the panels elevated above the surface of the ground and requiring minimal disturbance of the ground and underlying soils for the posts. An existing pathway will remain through the center of the area to allow for livestock passage, minimizing disturbance of the existing livestock operation. The farm owner continues to work with the Watershed Agricultural Council and the USDA Natural Resources Conservation Service on the implementation of a Comprehensive Nutrient Management Plan, including the implementation of a number of agricultural Best Management Practices on the site. The Watershed Agricultural Council has confirmed that the proposed location of the solar array will not interfere with or impede the continued implementation of the CNMP.

Detached solar arrays are specifically mentioned as allowed outside of the Farmstead Complex with the permission of the County, subject to a review pursuant to Section 18. Section 10(k), Ancillary Improvements, states that "Without permission from Grantee, other improvements, including, but not limited to facilities for the generation and transmission of electrical power or telecommunications, such as cell towers, windmills, or detached solar arrays may be built within

the Farmstead Complex. Such improvements may be built outside the Farmstead Complex only with the permission of Grantee, pursuant to Section 18 (“Permission”).”

Section 18 states that “Where Grantor is required to obtain Grantee's permission for a proposed action hereunder, said permission shall be requested in writing. Grantee shall grant permission unless it determines that such action would 1) violate the Purpose of this Easement, 2) impair the potential for long-term agricultural viability associated with the Property, or 3) unnecessarily impede the use of Property’s prime, statewide important or unique soils.”

You have made this request for permission based upon Section 10(k) of the conservation easement that Mr. De Maria granted to the County in 2011 (the “Easement”), which provides as follows:

“Without permission from [the County], other improvements, including, but not limited to facilities for the generation and transmission of electrical power or telecommunications, such as cell towers, windmills, or detached solar arrays may be built within the Farmstead Complex. Such improvements may be built outside the Farmstead Complex only with the permission of [the County], pursuant to Section 18 (“Permission”).”

The above-referenced Section 18 of the Easement provides, in pertinent part, as follows:

“Where [Mr. De Maria] is required to obtain [the County’s] permission for a proposed action hereunder, said permission shall be requested in writing. [The County] shall grant permission unless it determines that such action would 1) violate the Purpose of this Easement, 2) impair the potential for long-term agricultural viability associated with the Property, or 3) unnecessarily impede the use of Property’s prime, statewide important or unique soils.”

Section 2 of the Easement provides as follows:

“The Primary Purpose of this easement is to conserve viable agricultural land and soil resources by preventing uses of the Property that will significantly impair or interfere with the Property’s agricultural and forestry viability and productive capacity.

All other purposes listed below shall be secondary and non shall conflict with or significantly diminish the Primary Purpose of this Easement. The Secondary Purpose of this Easement is to conserve and protect the Croton Reservoir, which is one of New York City’s sources of drinking water.”

The County’s understanding of your proposal is that the Site is a little-used, small portion of the overall property; a de-commissioning plan for restoration of the Site has been prepared and an escrow will be established to ensure restoration in accordance with the plan whenever the Solar Array is eventually removed; and the soil at the Site will not be significantly excavated or graded as part of the installation of the Solar Array, leaving the soil cover in its natural state and available for future use. Further, the area will be planted with an appropriate seed mix to encourage the establishment of pollinator-friendly plants and will be inspected regularly and maintained

appropriately to ensure the continued establishment of groundcover and prevention of erosion of the soils. Towards such goals, we recommend the following:

1. According to the consultant, much of the solar farm is within an area of poorly drained soil. The consultant's information was apparently obtained from the generalized USDA-NRCS's Soil Survey of Putnam and Westchester Counties, NY. Although much of the solar farm is within an area of poorly drained (i.e., hydric) soil, the consultant identified and delineated only two areas of wetland that are adjacent to the proposed solar farm footprint despite the fact that the generalized soil survey shows an area of hydric soil that is much larger than the delineated wetland. It is certainly possible that the area of regulated wetland is smaller than the area of hydric soil shown on the generalized soil survey. But this discrepancy warrants a review of the wetland report prepared by the consultant. The report must contain data sheets, photographs, the methodology used to identify and delineate wetland, a general characterization of the study area(s), the name of the wetland scientist(s) who prepared the report, and any other pertinent information.
2. The plan includes proposed infiltration trenches along the driplines of many solar panels. These trenches would create temporary and permanent disturbances on modestly sloping ground that may likely be unwarranted. The stormwater pollution prevention plan prepared appears to contradict the site plans and other documentation prepared by the consultant concerning the infiltration trenches. Although infiltration trenches are shown on the site plan, the stormwater pollution prevention plan does not mention infiltration trenches. In fact, the stormwater pollution prevention plan (excerpt from Pages 1 and 2 included below) supports the general understanding that infiltration trenches are unnecessary and would cause unwarranted short- and long-term disturbances:
  - “1. Solar panels are constructed on post or rack systems and elevated off the ground surface.
  2. The panels are spaced apart so that rain water can flow off the down gradient side of the panel and continue as sheet flow across the ground surface, see appendix H.
  3. For solar panels constructed on slopes, the individual rows of solar panels are generally installed along the contour so rain water sheet flows down slope, see appendix H.
  4. The ground surface below the panels consists of a well-established vegetative cover (see “Final Stabilization” definition in appendix A of GP-0-20-001. Stormwater Pollution Prevention Plan.
  5. The project does not include the construction of any traditional impervious areas (i.e., building, substation pads, gravel access roads or parking areas, etc.).
  6. Construction of the solar panels will not alter the hydrology from pre-to post development conditions (see Appendix A of the GP-1-20-001, for definitions of “Alter the hydrology...”). Note: The design professional shall perform the necessary site assessment/hydrology analysis to make this determination.”
3. The Showy Northeast Native Wildflower and Grass Mix from Ernst Seeds should be sown at a seeding rate of five to 10 pounds per acre with 30 pounds per acre of a cover

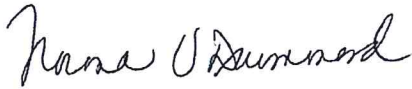
Solar Array Installation  
March 17, 2021  
Page Two

crop (grain oats, January 1 to August 1; grain rye, August 1 to January 1), according to Ernst. The seeding instructions shown on the site plan does not conform to Ernst's specifications and should be revised. Furthermore, to ensure the long-term success of the solar farm as a pollinator pathway, Ernst's Partially Shaded Area Roadside Mix (ERNMX-140) should also be included. The modest increase in cost will produce a better product.

With incorporation of the recommendations described above, the County does not believe that the Solar Array will: 1) violate the purposes of the Easement, as defined above, 2) impair the potential for long-term agricultural viability associated with the property, or 3) unnecessarily impede the use of the Property's prime, statewide important or unique soils. Consequently, Section 18 of the Easement requires that the County grant the farm owner the permission that is being sought for the Solar Array. This letter is, accordingly, intended to serve as notice of the granting of that permission.

If you have any questions, please contact David Kvinge, Director of Environmental Planning, by phone at (914) 995-2089 or email at [dsk2@westchestergov.com](mailto:dsk2@westchestergov.com).

Sincerely,



Norma V. Drummond  
Commissioner

NVD:dsk

cc: David S. Kvinge, Director of Environmental Planning  
Brian D. Miller, Assistant County Attorney  
Laura DeMaria, Hemlock Hill Farm  
Town of Yorktown Planning Board  
Town of Cortlandt Planning Board



**TOWN OF CORTLANDT**  
DEPARTMENT OF TECHNICAL SERVICES  
PLANNING DIVISION

Michael Preziosi, P.E.  
Director – D.O.T.S

Chris Kehoe, AICP  
Deputy Director – Planning

Planning Staff  
Michelle Robbins, AICP  
Rosemary Boyle-Lasher

Town Hall, 1 Heady Street  
Cortlandt Manor, NY 10567  
Main #: 914-734-1080

**Town Supervisor**  
Linda D. Puglisi

**Town Board**  
Richard Becker  
Debra A. Carter  
James F. Creighton  
Francis X. Farrell

RECEIVED  
PLANNING DEPARTMENT

MAR 12 2021

TOWN OF YORKTOWN

March 12, 2021

Robin Steinberg, AICP, Town Planner  
Albert A. Capellini Community & Cultural Center  
1974 Commerce Street  
Yorktown Heights, NY 10598

Dear Robyn,

We are providing the following comments on the proposed Hemlock Hills Solar Farm:

1. The plans provided to the Town do not clearly indicate where the entrance to the solar farm is proposed. If the Croton Avenue entrance is going to function as the primary access point, the Applicant shall demonstrate compliance with the New York State Uniform Fire Prevention and Building Code. Any improvements to the site driveways necessary to meet the minimum requirements of a fire apparatus access road shall be shown with details provided.
2. A site development permit will be required for any work proposed within the Town of Cortlandt. At minimum plans shall include:
  - Erosion and Sedimentation Control with details of the same.
  - Phasing and Construction Sequencing plan.
  - Details for utilities, drainage and roadway improvements.
  - Total land disturbance in Cortlandt and aggregately for the proposed development as part of common plan of development.
  - Required storm water controls for any impervious area constructed. This includes gravel driveways and low impact roadways.
  - Coverage under the SPDES General Permit for Construction Activities (site is located in the East of Hudson Watershed, Croton Reservoir Basin).
3. A security deposit (amount to be specified) shall be provided to the Town of Cortlandt to ensure no damage to local infrastructure in the vicinity of the project. The security shall be returned at the completion of construction.
4. All utilities located within the Town of Cortlandt must be located underground as described in Chapter 255 Solar Energy Systems of the Cortlandt Town Code (see § 255-8. Permitting requirements for Tier 3 solar energy systems.)



5. Visual renderings of the solar farm showing views of the farm from Croton Avenue should be provided.

Please feel free to contact me if you have any questions.

Thank you.

A handwritten signature in cursive script that reads "Michelle Robbins".

Michelle Robbins, AICP  
Senior Planner  
Town of Cortlandt

## Robyn Steinberg

---

**From:** Michelle Robbins <MichelleR@townofcortlandt.com>  
**Sent:** Thursday, February 25, 2021 10:57 AM  
**To:** Robyn Steinberg  
**Subject:** FW: Hemlock Hills Solar Farm

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Fyi...

---

**From:** Michelle Robbins  
**Sent:** Thursday, January 7, 2021 3:33 PM  
**To:** 'mmcmanus@badey-watson.com' <mmcmanus@badey-watson.com>  
**Cc:** Chris Kehoe <ChrisK@townofcortlandt.com>; Michael Preziosi <MichaelP@townofcortlandt.com>  
**Subject:** Hemlock Hills Solar Farm

Hi Margaret,

Please see our comments in response to the Public Informational Notice we received dated December 11, 2020 for the Hemlock Hills Solar Farm.

- 1) It appears that the solar panels are proposed to be located adjacent to a regulated watercourse/wetland located in the NYCDEP watershed. Has a hydraulic analysis been performed as part of the proposed application that determines that no stormwater permits will be required by NYDECP?
- 2) If any proposed component of the solar facility such as the inverter, transfer pad, or other forms of physical construction occur within the portion of the property located within the Town of Cortlandt a site plan application shall be filed with the Town of Cortlandt by the applicant.
- 3) All utilities located within the Town of Cortlandt must be located underground as described in Chapter 255 Solar Energy Systems of the Cortlandt Town Code (see § 255-8. Permitting requirements for Tier 3 solar energy systems.)

Thank you.

Michelle Robbins, AICP  
**Town of Cortlandt**  
Department of Technical Services  
914-734-1082

## Robyn Steinberg

---

**From:** Brendan Murphy <Brendan@westchesterlandtrust.org>  
**Sent:** Monday, December 21, 2020 7:43 PM  
**To:** Robyn Steinberg  
**Subject:** comment for Hemlock Hills Farm Solar

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Robyn

I have a very poor connection right now, so I was hoping to just say all this, but instead have to write this email.

I have comments/questions regarding the Hemlock Hills Farm Solar Farm project. Our Hunter Brook Preserve is adjacent and downhill to Hemlock Hill Farm and the project site, and receives virtually all of the stormwater from the farm via 7 intermittent streams or gullies. A few of the streams coming off the farm have been eroded, which negatively impacts our hiking trails and pollutes the streams and wetlands, including the Hunter Brook itself. As such, my comments/questions are in regards to stormwater runoff and water quality.

- On Sheet 1 of 3, I see water features like a stream on the south side, and a pond to the west, both showing in blue. But there is another feature, running east-west through the center of the project site labeled “dry ditch”. Is it called *dry ditch* because at the time the survey was developed it was dry, or because it doesn’t meet the definition of a stream? This dry ditch does indeed run with water (it comes from the pond, actually), and Westchester County classifies the ditch as a stream at the stone wall that is on the east side of the project site. Consideration should be given to reclassifying the dry ditch as a stream because it does have water, and because the point at which Westchester calls it a stream is literally a few feet away, and that such a designation would perhaps allow the project design and management to better accommodate for downstream impacts.
- I understand that a stream that is within close proximity to, or even within the solar field, is going to be restored by the Watershed Agricultural Council. This is welcome news. Is this the stream that is on the south side of the project, or is it a different one?

Thank you for the opportunity to provide comment on this project.

Brendan Murphy  
*Director of Stewardship*  
Westchester Land Trust  
403 Harris Road, Bedford Hills, NY 10507  
PH 914.234.6992 ext. 10/ FAX 914.234.6673  
Facebook & Instagram:  
@WestchesterLandTrust  
Twitter: @WLT\_NY

## Robyn Steinberg

---

**From:** Robyn Steinberg  
**Sent:** Monday, February 22, 2021 11:07 AM  
**To:** 'Deborah Krohn'  
**Cc:** Liz Truly; Reno; William Jacobs  
**Subject:** RE: Question for Town of Yorktown meeting

Ms. Krohn,

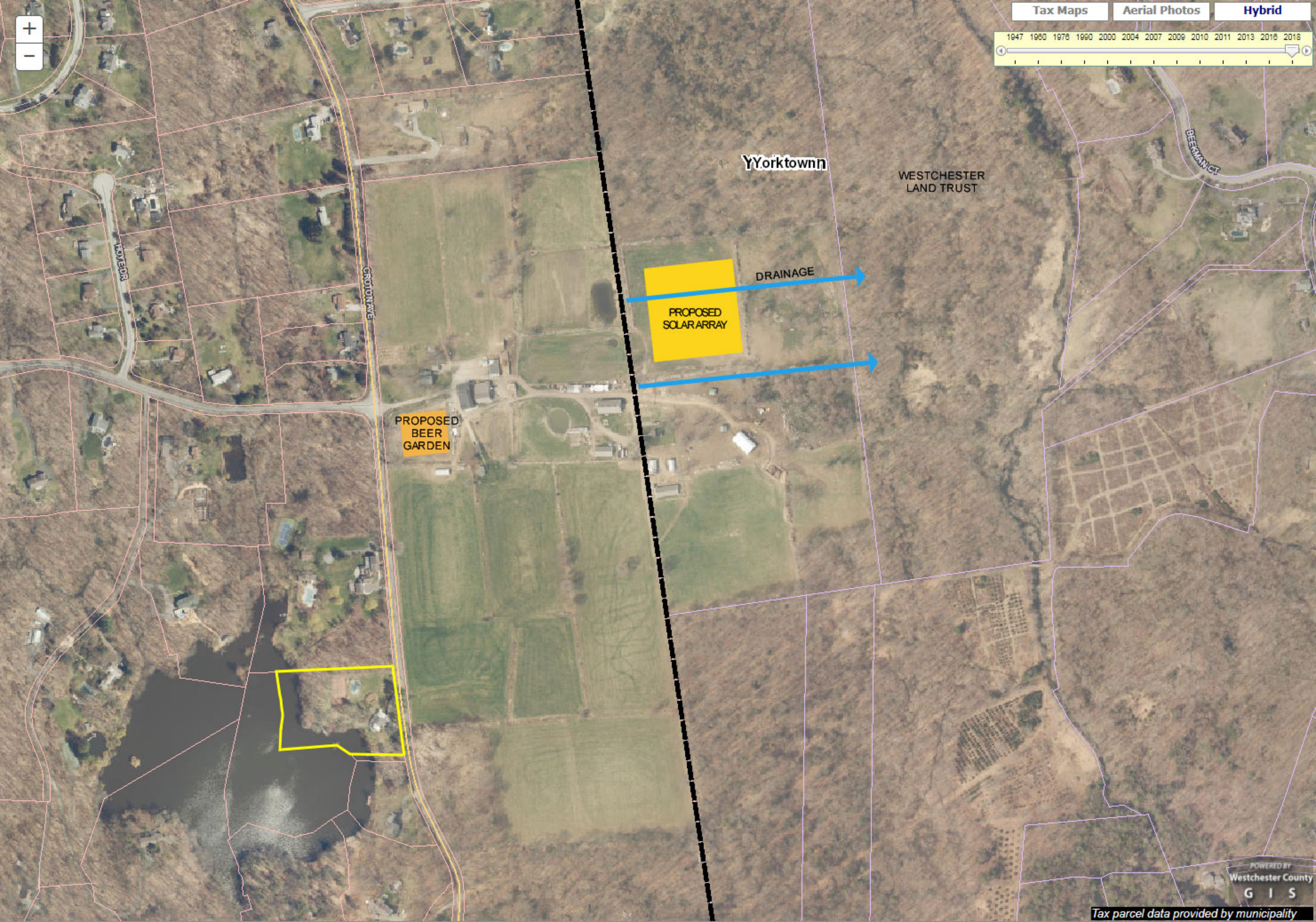
I will pass your comments on to the Yorktown Planning Board, but I do want to bring up a few points. On the map below, your property is outlined in yellow. The thick dashed black line is the town border.

- Construction of the solar array is proposed to take 4 months Monday-Saturday from 9 am – 5 pm.
- The array will be located on 4 acres of an existing meadow. The undergrowth will remain and be mowed two to three times a year. Wild animals will not be prohibited from being in the area of the panels.
- The proposed array is located is on a portion of the property that slopes to the east towards Westchester Land Trust owned property in Yorktown. It does not drain towards your property, which is to the west of the Farm. The runoff from the 4 acres where the array will be located does not drain towards Croton Avenue.

As an adjacent municipality, the Town of Cortlandt did send us the information on the Beer Garden application. It is not located near the solar array. I don't think the Town of Yorktown or the Yorktown Planning Board will have any comment on this application.

Please let me know if you have any additional questions about the solar application.

Robyn



Yorktown

WESTCHESTER  
LAND TRUST

PROPOSED  
SOLAR ARRAY

DRAINAGE

PROPOSED  
BEER  
GARDEN

HONEYDOR

CROTONAWE

BEEHMAN CT

\*\*\*\*\*

**Robyn A. Steinberg, AICP, CPESC**  
Town of Yorktown Planning Department  
Albert A. Capellini Community & Cultural Center  
1974 Commerce Street, Room 222  
Yorktown Heights, NY 10598  
Phone | 914-962-6565  
Email | [rsteinberg@yorktownny.org](mailto:rsteinberg@yorktownny.org)  
Web | <http://www.yorktownny.org/planning>

---

**From:** Deborah Krohn [mailto:[deborahkrohn@gmail.com](mailto:deborahkrohn@gmail.com)]  
**Sent:** Sunday, February 21, 2021 1:18 PM  
**To:** Robyn Steinberg <[rsteinberg@yorktownny.org](mailto:rsteinberg@yorktownny.org)>  
**Cc:** Liz Truly <[etruly@aol.com](mailto:etruly@aol.com)>; Reno <[turturm@aol.com](mailto:turturm@aol.com)>; William Jacobs <[wjacobs@yahoo.com](mailto:wjacobs@yahoo.com)>  
**Subject:** Question for Town of Yorktown meeting

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Robyn Steinberg,

I am a Cortlandt resident, living directly across Croton Avenue from Hemlock Hills Farm. The proposed solar farm would impact my property in several ways.

1. Construction trucks, noise, and disruption.
2. Possible impact on wildlife: birds, deer, etc.
3. Drainage/stormwater/watershed. Right now, a lot of run-off from the farm goes into a drain off Croton Avenue on my property. This flows through my land directly into a private lake which in recent years has seen a tremendous increase in weeds and other biological activity, presumably partially due to farm runoff. This lake flows directly into the Croton Reservoir. It is therefore part of the NYS watershed.

I would hope that proper environmental studies will be undertaken before permission for this solar array is granted.

I would also like to make sure the Yorktown board is aware of the farm's proposed 200 person brewery and restaurant, to be located very near the proposed solar array. This is currently under review by the Cortlandt Town Board and would bring additional traffic and other serious environmental challenges to the surrounding area.

Sincerely yours,

Deborah Krohn

537 Croton Avenue

## Robyn Steinberg

---

**From:** etruly@aol.com  
**Sent:** Monday, February 22, 2021 5:02 PM  
**To:** Robyn Steinberg  
**Cc:** helen@mintzernauch.com; deborahlkrohn@gmail.com; wijacobs@yahoo.com; pstern@liftnow.com; writer@langhipps.com; sean@danielseed.com; seth@merrininvestors.com; nilsbenjamin@gmail.com; turturm@aol.com  
**Subject:** Questions Re: Hemlock Hill Farm Solar Farm

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Steinberg,

My questions are as follows:

- 1) Will construction vehicles be accessing the site from a roadway within the Town of Yorktown? (I am not aware of any current roadway in Yorktown that provides vehicle access to the farm.) If not, is the plan to access the site from Croton and Maple Avenues within the Town of Cortlandt? If the latter, has the Town of Cortlandt been advised that Cortlandt roadways will be used for construction access and when will Cortlandt residents along affected roadways be provided information and an opportunity for input?
- 2) The subsurface of this entire area is ledge rock. Water that is absorbed in the ground eventually reaches the ledge rock. Due to the nature of the rock formations, the drainage may not be consistent with the surface slope. So much water flows from the farm onto Croton Avenue that it percolates up through the asphalt roadbed (and freezes causing hazardous conditions in the winter). This is in addition to a substantial volume of water that flows from the farm in an underground pipe onto the Krohn property and into our lake. Do you have engineering studies that definitively prove that no runoff from this site will reach Croton Avenue?

Elizabeth Truly

## Robyn Steinberg

---

**From:** Marino Turtur <turturm@aol.com>  
**Sent:** Monday, February 22, 2021 4:55 PM  
**To:** Robyn Steinberg  
**Cc:** helen@mintzernauch.com; deborahlkrohn@gmail.com; wijacobs@yahoo.com; pstern@liftnow.com; writer@langhipps.com; sean@danielseed.com; seth@merrinvestors.com; nilsbenjamin@gmail.com  
**Subject:** Hemlock Hill Farm Solar Farm Application

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms. Steinberg,

Please share the following concerns regarding the above-referenced application with the Yorktown Planning Board at tonight's work meeting.

We hope that you will consider the visual impact on the Cortlandt community of this entire project. Not only the solar panels, but any and all structures needed, e.g., power lines, cables, poles, towers, whatever.

And we hope that during the assessment of visual impact of this project on the Cortlandt community, which we trust you will conduct by whatever means appropriate, you understand that this installation will sit in what currently is a very large and beautiful open field. Few of such open fields remain in this community and with this installation, this one will be lost forever.

And lastly, we hope that you will consider this as an opportunity to not just minimize or even obscure the visual impact, but rather an opportunity to add beauty to the site to compensate for the permanent loss of the open pasture's beauty.

Having been a resident of this community for over half a century, I have seen so much natural beauty disappear forever. As stewards of what little natural beauty remains, we ask to keep this in mind when dealing with this project.

Marino Turtur





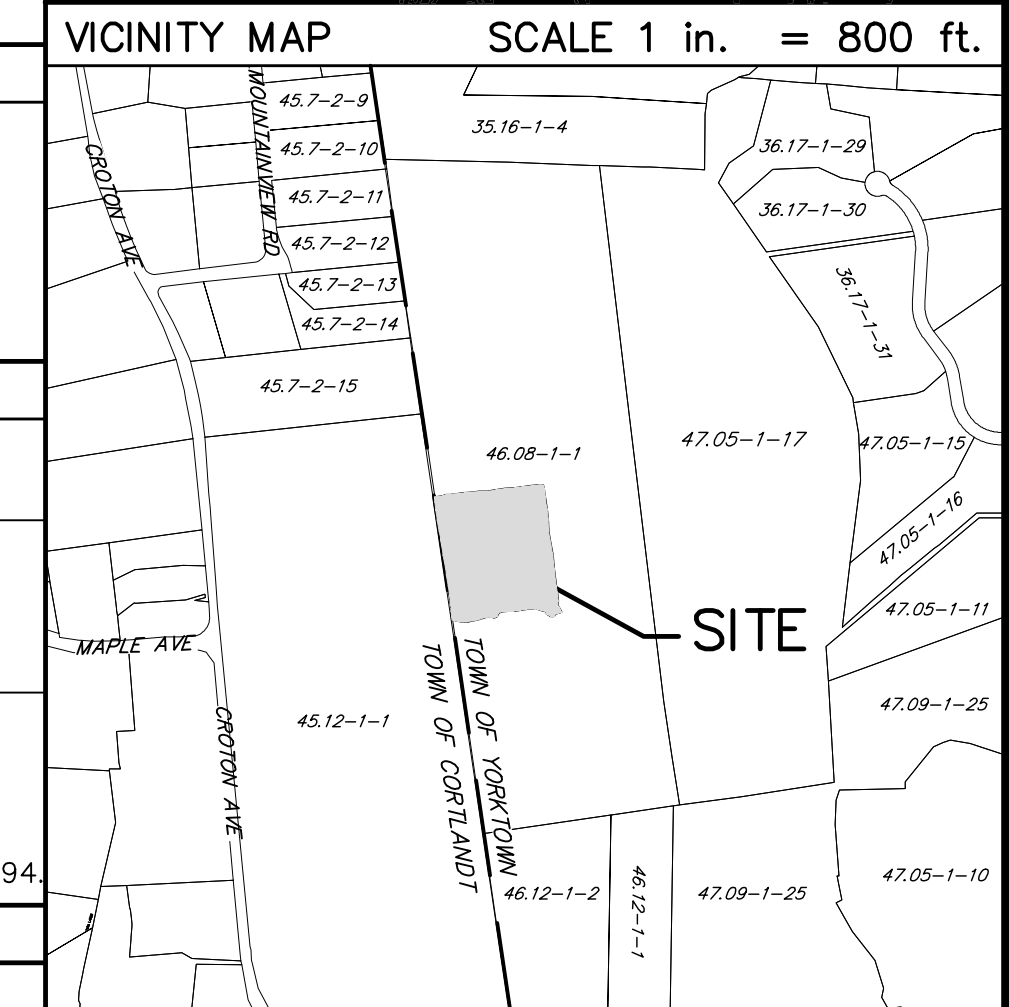
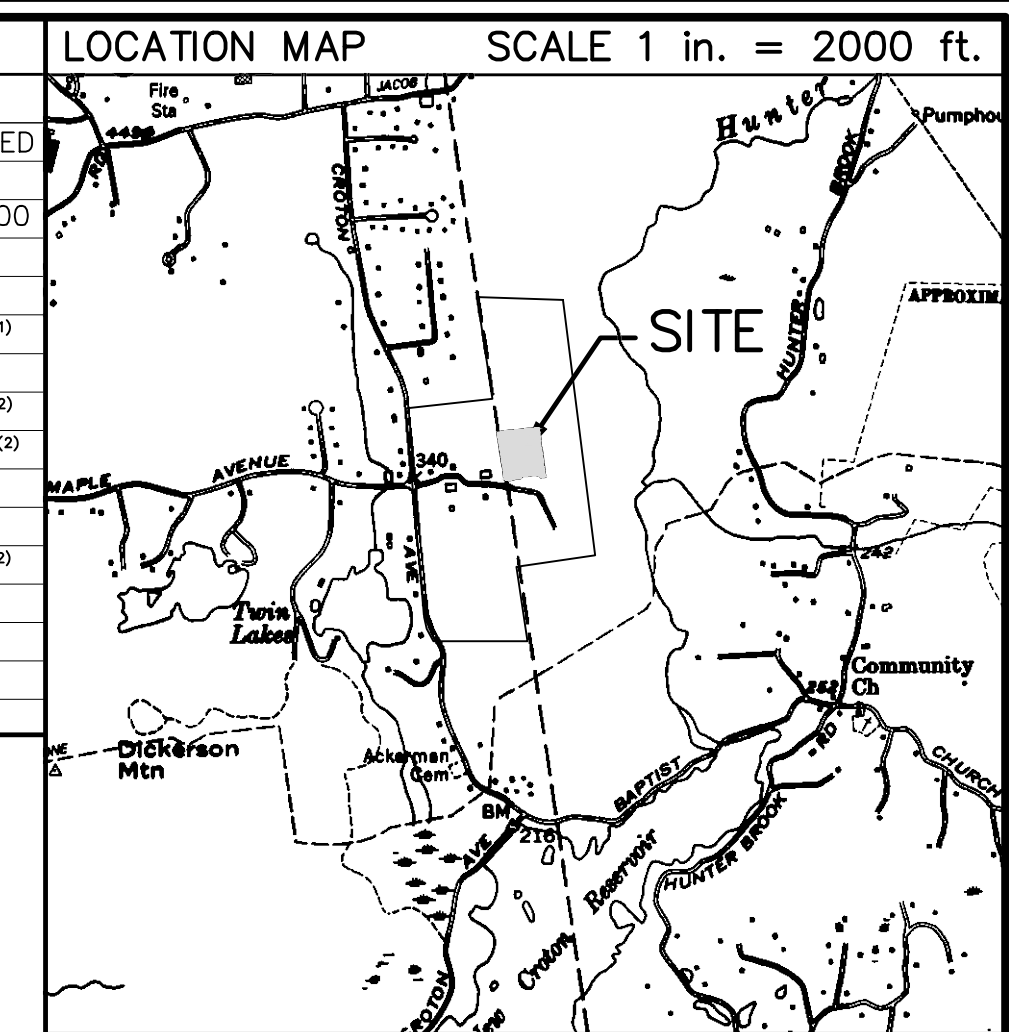
**OVERALL EXISTING CONDITION PLAN**  
SCALE 1" = 200'

**EXISTING CONDITION PLAN**  
SCALE 1" = 50'

DRAWING NAME: SP25245\_R02\_M77 LAYOUT: EXISTING CONDITIONS W.O. NO. 25245 CHECKED BY: MSM SPELL CHECKED BY: MSM DRAWN BY: MSM T.M. : 46.08-01-01

ZONING DATA		
DISTRICT: R1-160	REQUIRED	PROPOSED
LOT AREA (SQ FT)	160,000	2,178,000
LOT WIDTH AT MAIN BUILDING (FT)	200	>200
LOT DEPTH (FT)	200	798
FRONT YARD SETBACK (FT)	75	157 <sup>(1)</sup>
SIDE YARD SETBACK		
MINIMUM EITHER SIDE	30	884 <sup>(2)</sup>
COMBINED	80	2,270 <sup>(2)</sup>
REAR YARD (FT)		
MAIN BUILDING	75	527
ACCESSORY BUILDING	10	385 <sup>(2)</sup>
ROAD FRONTAGE (FT)	200	3270
LOT COVERAGE MAXIMUM	80.0%	8.2%
MAXIMUM HEIGHT OF GROUND MOUNTED ARRAY UNITS	15	<15

<sup>(1)</sup> TO MAIN BUILDING IN CORTLAND FROM CROTON AVE. YORKTOWN PARCEL DOES NOT FRONT ON A ROAD  
<sup>(2)</sup> TO SOLAR ARRAY



SLOPE ANALYSIS LEGEND		
[White Box]	EXISTING SLOPES OF 0% TO 20%	
[Yellow Box]	EXISTING SLOPES OF 20% TO 35%	
[Orange Box]	EXISTING SLOPES OF 35% AND GREATER	

SOILS LEGEND		
MAP SYMBOL	HYDROLOGIC GROUP	SOIL NAME
RdA	C	RIDGEBURY loam, 0-3% Slopes
RdB	C	RIDGEBURY loam, 3-8% Slopes
WdB	C	WOODBIDGE loam, 3-8% Slopes

— SOIL DELINEATION (BOUNDARY) LINES  
SOILS CLASSIFICATIONS AND DELINEATED LINES HAVE BEEN DERIVED FROM U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE "SOIL SURVEY OF PUTNAM & WESTCHESTER COUNTIES, NEW YORK" ISSUED SEPTEMBER 1994.

LEGEND	
○	Pole
—	Retaining Wall
—	Wires
△	Sign
○	Evergreen Tree
○	Deciduous Tree
○	Bush
○	Hedges
○	Bushes
—	Existing Tree Line
○	Lamp (Single)
○	Lamp (Double)
○	Post
○	Sign
—	Underground Pipe
—	Contour Line
—	Spotgrade
—	Corrugated Metal Pipe
—	Corrugated Plastic Pipe
—	Guy
○	Post
—	Reinforced Concrete Pipe
—	Top/Bottom of Curb
—	Wires
—	Existing Stone Wall

SITE DATA	
TAX MAP NUMBER	SECTION: 46.08
	BLOCK: 01
	LOT: 01

REVISIONS	
DATE	DESCRIPTION
11/12/2020	ORIGINAL DRAWING
02/08/2021	ADDRESS COMMENTS

PROJECT LOCATION	
500 CROTON AVENUE TOWN OF YORKTOWN COUNTY OF WESTCHESTER STATE OF NEW YORK	
APPLICANT	
174 POWER GLOBAL NORTHEAST 9 EAST 37TH STREET 12TH FLOOR NEW YORK, NY 10016	
PROJECT DESCRIPTION	
SPECIAL USE PERMIT FOR LARGE SCALE SOLAR POWER GENERATION SYSTEM	

SITE PLAN SET	
PREPARED FOR	
HEMLOCK HILLS SOLAR FARM	
by	
174 POWER GLOBAL	
EXISTING CONDITIONS	
SCALE : AS NOTED	

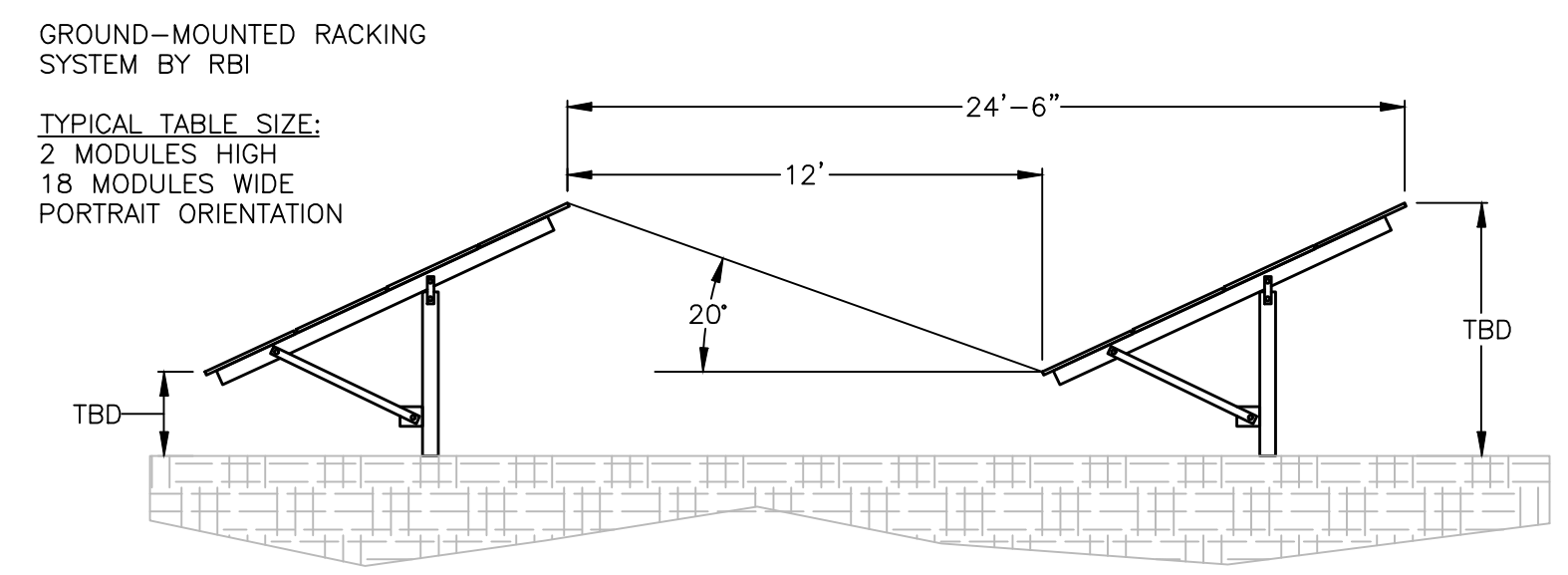
**PRINTED**  
February 10, 2021  
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- NOTES**
- PROPERTY BOUNDARY SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "SURVEY OF PROPERTY HEMLOCK HILL FARM..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED OCTOBER 27, 2008, COMPLETED DECEMBER 12, 2008.
  - TOPOGRAPHIC DATA SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR 174 POWER GLOBAL..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED MAY 26, 2020, COMPLETED JUNE 05, 2020.
  - VERTICAL DATUM HEREON IS NAVD 1988.
  - WETLAND FLAGGING DELINEATED BY STEVE MARINO, TIM MILLER ASSOCIATES, ON APRIL 17, 2020 GPS LOCATED.

**UNDERGROUND WARNING - NYS CODE RULE 753**  
NEW YORK STATE INDUSTRIAL CODE 53 REQUIRES EXCAVATORS TO CALL DIG SAFELY NEW YORK, INC. (800-962-7962) FOR A MEMBER-UTILITY LOCATION REQUEST AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS BEFORE ANY EXCAVATION OR DEMOLITION STARTS, REGARDLESS OF LOCATION. NOT ALL UTILITIES AND MUNICIPALITIES ARE MEMBERS OF DIG SAFELY NEW YORK, INC. AND NON-MEMBER UTILITY OPERATORS MUST BE CONTACTED DIRECTLY.

**WARNING STAMP**  
ALTERATION OF THIS DOCUMENT, IN ANY WAY, BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK

**BADEY & WATSON**  
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Cold Spring, NY 10516  
www.Badey-Watson.com  
845.265.9317  
845.265.4438 (Fax)  
877.5.41593 (Toll Free)  
SHEET 1 OF 3



2 RACKING DETAIL  
SCALE: NONE

**LEGEND**

- Pole
- ▬ Retaining Wall
- ▬ Wire
- ⊙ Evergreen Tree
- ⊙ Deciduous Tree
- ⊙ Bush
- ⊙ Hedge
- ⊙ Existing Tree Line
- Lamp (Single)
- Lamp (Double)
- Post
- Sign
- ▬ Undergrade Pipe
- ▬ Contour Line
- ▬ Spillgrade
- ▬ CMP Corrugated Metal Pipe
- ▬ CPP Corrugated Plastic Pipe
- Guy
- Post
- ▬ RCP Reinforced Concrete Pipe
- ▬ Top/Bottom of Curb
- ▬ Wire
- ▬ Existing Stone Wall
- ▬ WETLAND BUFFER
- ▬ W/L WETLAND LIMITS
- ▬ W/B 100' WETLAND BUFFER LINE
- ▬ WATER
- ▬ WETLAND AREA
- ⊗ TREES TO BE REMOVED

**NOTES**

- PROPERTY BOUNDARY SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "SURVEY OF PROPERTY, HEMLOCK HILL FARM..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED OCTOBER 27, 2008, COMPLETED DECEMBER 12, 2008.
- TOPOGRAPHIC DATA SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR 174 POWER GLOBAL..." PREPARED BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C., DATED MAY 26, 2020, COMPLETED JUNE 05, 2020.
- VERTICAL DATUM HEREON IS NAVD 1988.
- WETLAND FLAGGING DELINEATED BY STEVE MARINO, TIM MILLER ASSOCIATES, ON APRIL 17, 2020 GPS LOCATED.

**UNDERGROUND WARNING - NYS CODE RULE 753**

NEW YORK STATE INDUSTRIAL CODE 53 REQUIRES EXCAVATORS TO CALL DIG SAFELY NEW YORK, INC. (300-962-7982) FOR A MEMBER-UTILITY LOCATION REQUEST AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS BEFORE ANY EXCAVATION OR DEMOLITION STARTS, REGARDLESS OF LOCATION. NOT ALL UTILITIES AND MUNICIPALITIES ARE MEMBERS OF DIG SAFELY NEW YORK, INC. AND NON-MEMBER UTILITY OPERATORS MUST BE CONTACTED DIRECTLY.

**WARNING STAMP**

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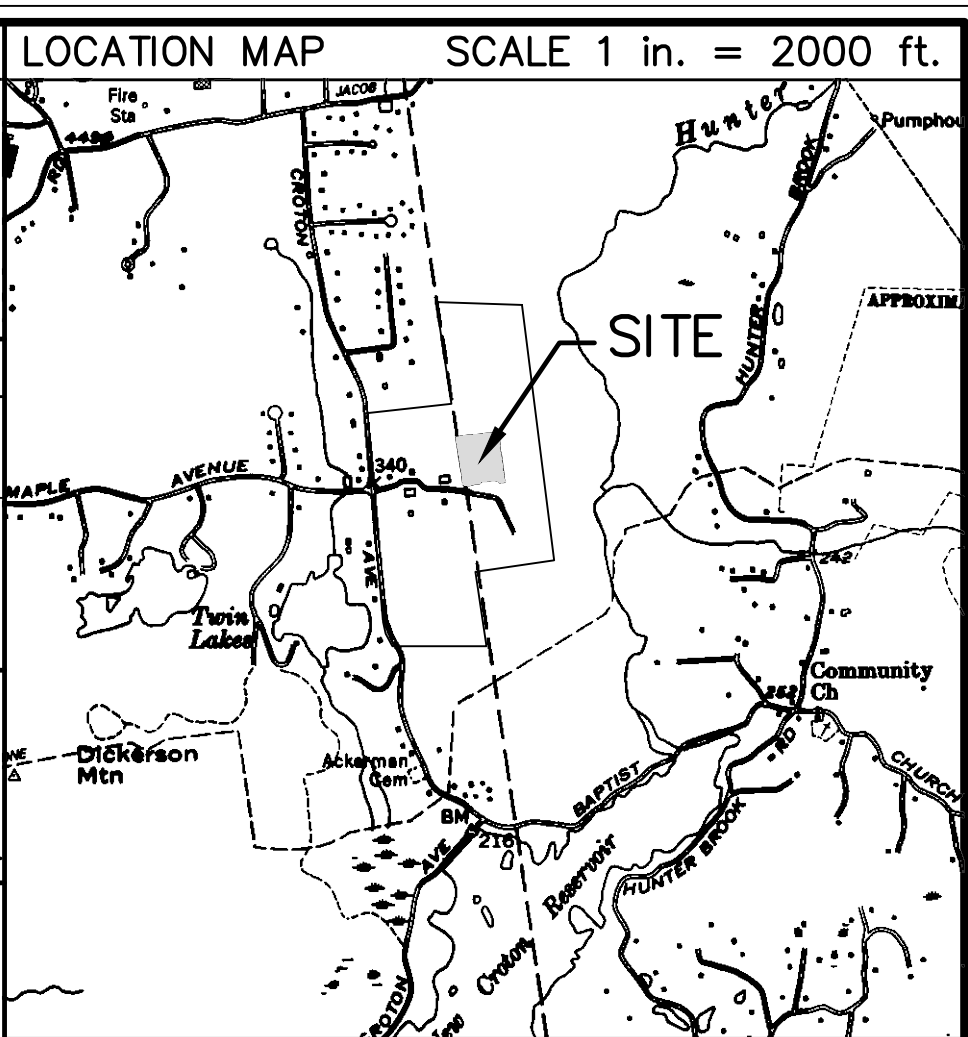
**SLOPE ANALYSIS LEGEND**

- ▭ EXISTING SLOPES OF 0% TO 20%
- ▭ EXISTING SLOPES OF 20% TO 35%
- ▭ EXISTING SLOPES OF 35% AND GREATER

**SOILS LEGEND**

MAP SYMBOL	HYDROLOGIC GROUP	SOIL NAME
RdA	C	RIDGEBURY loam, 0-3% Slopes
RdB	C	RIDGEBURY loam, 3-8% Slopes
WdB	C	WOODBIDGE loam, 3-8% Slopes

▭ = SOIL DELINEATION (BOUNDARY) LINES  
SOILS CLASSIFICATIONS AND DELINEATION LINES HAVE BEEN DERIVED FROM U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE "SOIL SURVEY OF PUTNAM & WESTCHESTER COUNTIES, NEW YORK" ISSUED SEPTEMBER 1994.



**SITE DATA**

TAX MAP NUMBER  
SECTION: 46.08  
BLOCK: 01  
LOT: 01

**REVISIONS**

DATE	DESCRIPTION
11/12/2020	ORIGINAL DRAWING
02/08/2021	ADDRESS COMMENTS

**PROJECT LOCATION**

500 CROTON AVENUE  
TOWN OF YORKTOWN  
COUNTY OF WESTCHESTER  
STATE OF NEW YORK

**APPLICANT**

174 POWER GLOBAL NORTHEAST  
9 EAST 37TH STREET  
12TH FLOOR  
NEW YORK, NY 10016

**PROJECT DESCRIPTION**

SPECIAL USE PERMIT FOR LARGE SCALE SOLAR POWER GENERATION SYSTEM

**SITE PLAN SET**  
PREPARED FOR  
**HEMLOCK HILLS SOLAR FARM**  
by  
**174 POWER GLOBAL**  
**SITE PLAN AND EROSION & SEDIMENT CONTROL PLAN**

SCALE: AS NOTED

**PRINTED**  
February 10, 2021

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845.265.4428 (Fax)  
877.5.141593 (Toll Free)

**SHEET 2 OF 3**

T.M. : 46.08-01-01

W.O. NO. 25245 CHECKED BY MSM SPELL CHECKED BY MSM DRAWN BY: MSM

DRAWING NAME: SP25245\_R02\_M17 LAYOUT: SITE PLAN

**SITE PLAN AND EROSION & SEDIMENT CONTROL PLAN**

SCALE 1" = 50'



NOV 13 2020

# TOWN OF YORKTOWN PLANNING BOARD

TOWN OF YORKTOWN

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

## APPLICATION FOR SITE PLAN APPROVAL

Date 11-12-2020

1. Name of Project: Hemlock Hills Solar Farm by 174 Power Globe
2. Tax Map Designation (Section, Block, Lot) 46.08-1-1
3. Zone: R1-160 Total Acreage: 50 acres in Yorktown (118.6 total) in Yorktown and Cortlandt
4. Is a statement of easements relating to property attached?  Yes  None exist

5. Project narrative (brief description of proposed development):

The applicant is proposing to install land based solar panels in an existing open pasture field.

The panels will connect to the NY State power grid providing green energy to the people of New York.

6. Contact Person - CHOOSE ONLY ONE:

- Applicant  Owner  Architect  Wetland Scientist  
 Attorney  Engineer  Surveyor  Landscape Architect

7. Applicant

Name Charles Feit

Firm 174 Global Power

Address 9 East 37th St, 12th Floor, New York, NY 10016

Phone 1-914-980-5451

Fax \_\_\_\_\_

Email charles.feit@174powerglobal.com

8. Owner of Record

Name John N DeMaria

Firm \_\_\_\_\_

Address 500 Croton Avenue, Cortlandt Manor, NY 10567

Phone 914-844-5379

Fax \_\_\_\_\_

Email Hhf500@gmail.com

**9. Attorney**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**10. Engineer**

Name Margaret McManus, PE  
Firm Badey & Watson, Surveying & Engineering PC  
Address 3063 Route 9, Cold Spring, NY 10516  
Phone 845-265-9217 x 219  
Fax 845-265-4428  
Email mmcmanus@optonline.net  
Lic. No. 103021

**11. Surveyor**

Name Stephen Miller, LS  
Firm Badey & Watson, Surveying & Engineering PC  
Address 3063 Route 9, Cold Spring, NY 10516  
Phone 845-265-9217 x 223  
Fax 845-265-4428  
Email smiller@optonline.net  
Lic. No. 49789

**12. Architect**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

**13. Wetland Scientist/Specialist**

Name Steve Marino  
Firm Tim Miller Associates  
Address 10 North Street, Cold Spring, NY 10516  
Phone 845-265-4400  
Fax 845-265-4418  
Email smarino@timmillerassociates.com

**14. Landscape Architect**

Name N/A  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

15. Is this project within 500 feet of the Town line?  Yes  No  
16. Is this project within 500 feet of the Putnam County line?  Yes  No  
17. Is this project within the Sustainable Development Study Area?  Yes  No

**18. Is this project within 500 feet of:**

- The right-of-way of any existing or proposed state or county road?  Yes  No  
The boundary of an existing or proposed state or county park or any state or county recreation area?  Yes  No  
The boundary of state or county-owned land on which a public building/ institution is located?  Yes  No  
An existing or proposed county drainage line?  Yes  No  
The boundary of a farm located in an agricultural district?  Yes  No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination.  Yes  No

**20. This project requires the following permits or approvals from the Town of Yorktown:**

- Wetland Permit  
 Stormwater Permit  
 Tree Permit  
 Planning Board special permit: Large Scale solar Power Generation system  
 Town Board variance or approval: \_\_\_\_\_  
 Zoning Board of Appeals variance or special permit: \_\_\_\_\_

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: \_\_\_\_\_

22. This parcel is in the following districts:

School District	<u>Yorktown Central School</u>	Water District	<u>none</u>
Fire District	<u>Yorktown Height FD</u>	Sewer District	<u>none</u>

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

-----

**Applicant**

**Owner of Record**

Charles Feit

John N deMaria

NAME (PLEASE PRINT)

NAME (PLEASE PRINT)

  
Digitally signed by Charles Feit  
Date: 2020.11.12 13:01:47 -05'00'



SIGNATURE

SIGNATURE

November 12, 2020

November 12, 2020

DATE

DATE

**Note:** If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

**Note:** By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

**REFER TO AFFIDAVITS ON THE FOLLOWING PAGES**

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

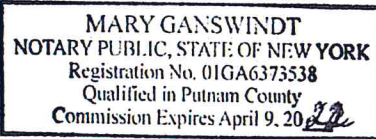
STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

John N DeMaria, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

*John N DeMaria*

Sworn before me this 10<sup>th</sup> date of November, 20 20

*Mary Ganswindt*  
Notary Public



\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

\_\_\_\_\_, being duly sworn, deposes and says that he resides at \_\_\_\_\_ in the County of \_\_\_\_\_ and State of \_\_\_\_\_. That he is the \_\_\_\_\_ of \_\_\_\_\_ the corporation which is owner in fee of the property described in the foregoing application for \_\_\_\_\_ and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20 \_\_\_\_

\_\_\_\_\_  
Notary Public



\*\*\*\*\*

**AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER**

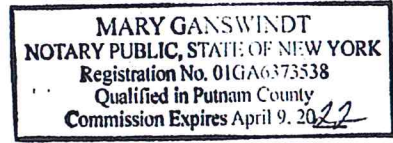
STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

Margaret McManus, PE for Badey & Watson, being duly sworn, deposes and says that he is the agent named in the foregoing application for Hemlock Hills Solar Farm and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Margaret McManus

Sworn before me this 13th date of November, 2020

Mary Ganswindt  
Notary Public



F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd  
Last updated: December 2011

NOV 13 2020

TOWN OF YORKTOWN

# TOWN OF YORKTOWN PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6365, Fax (914) 962-3986

## SPECIAL USE PERMIT APPLICATION

If this application is not being made in conjunction with a request for site plan approval from the Planning Board, a site plan/plot plan and Short EAF must also be submitted with this application. The required fee is \$625.00 for new applications and \$312.00 for requests to renew an existing permit.

Date November 12, 2020

1. Tax Map Designation (Section, Block, Lot) 46.08-1-1

2. Property Address 500 Croton Avenue, Cortlandt Manor, NY 10567

3. Zone: R1-160 Total Acreage: 50 acres in Yorktown

4. Indicate requested special use permit: 118.6 total site (Yorktown and Cortlandt)

- §300-21(8)(a)[1] Outdoor service in commercial districts.
- §300-40 Bus passenger shelters.
- §300-54 Religious institutions, social, cultural, charitable and recreational nonprofit uses.
- §300-55 Parochial, private elementary and high schools, colleges and seminaries.
- §300-69 Valet parking at banquet halls.
- §300-71 New and/or used car automobile sales.
- §300-73.1(A)(2) Permanent seasonal outdoor sales in commercial districts.
- §300-75 Warehouse or storage in retail shopping centers.
- §300-78 Cemeteries.
- §300-79 Self-storage centers.
- §300-80 Sidewalk cafes. (outdoor dining for more than 12 seats)
- §300-81.1 Helistops.
- §300-81.2 Accessory recycling facilities.
- §300-81.4 Large-Scale Solar Power Generation Systems and Facilities
- §300-81.5 Tier 2 Battery Energy Storage Systems
- §300-238.1 Multifamily dwelling units in the Country Commercial Zone.

5. Description of proposed use (if applying for outdoor dining, indicate proposed dining area square footage and number of seats):

The applicant is proposing to install land based solar panels in an existing open pasture field. The panels will connect to the NY State power grid providing green energy to the people of New York.

**6. Applicant**

Name Charles Feit  
Firm 174 Global Power  
Address 9 East 37th St, 12th Floor, New York, NY 10016  
Phone 1-914-980-5451  
Email charles.feit@174powerglobal.com

**7. Owner of Record**

Name John N DeMaria  
Firm \_\_\_\_\_  
Address 500 Croton Avenue, Cortlandt Manor, NY 10567  
Phone 914-879-5809  
Email \_\_\_\_\_

In the event the permit is issued, the undersigned applicant will comply with all provisions of the Code of the Town of Yorktown and all other applicable laws, codes, rules and regulations of any Federal, State or County Government, bureau or department thereof, having jurisdiction over said premises and the use to be conducted thereat.

**Applicant**

  
DIGITALLY signed by Charles Feit  
Date: 2020.11.12 13:02:44  
05'00"  
PRINT NAME

Charles Feit  
DATE

November 12, 2020

**Owner of Record**

  
SIGNATURE

\_\_\_\_\_  
PRINT NAME

John N DeMaria  
DATE

November 12, 2020

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

NOV 13 2020

TOWN OF YORKTOWN

TOWN OF YORKTOWN PLANNING BOARD

Large Scale Solar Power Generation Systems & Facilities  
Special Permit Application Addendum

GENERAL PROJECT INFORMATION

Project Name: Hemlock Hills Solar Farm by 174 Power Global  
Section, Block, Lot: 46.08-1-1  
Existing Site Use:  Residential  Commercial Zone: R1-160  
Is Applicant?  Property Owner  Lessee  
Proposed Lot Coverage: 8.2%

PROVIDE THE TOTAL SYSTEM CAPACITY RATING

A Large Scale Solar Energy system is a Solar Energy System that exceeds 20 kW DC as rated by its nameplate capacity. The maximum system capacity and the maximum area of land upon which the system shall be erected are as follows:

- (1) Up to one megawatt AC on an area of land no larger than 10 acres, excluding any easement for accessing the parcel; or over 1 but not to exceed 5 Megawatt AC on an area of land no larger than 20 acres, excluding any easement for accessing the parcel.

Total System Capacity Rating: 1,690 kWh Power Rating 1,000 kW (Select One)  AC or  DC

SELECT INSTALLATION TYPE

Ground  Rooftop

PROPOSED SOLAR ENERGY SYSTEM INSTALLATION INFORMATION

Sponsor Company

Contact Name Charles Feit  
Business Name 174 Global Power  
Address 9 East 37th St, 12th Floor, New York, NY 10016  
Phone 1-914-980-5451  
Email charles.feit@174powerglobal.com

Contractor/Installation Company

Contact Name Charles Feit  
Business Name 174 Global Power  
Address 9 East 37th St, 12th Floor, New York, NY 10016  
Phone 1-914-980-5451  
Email charles.feit@174powerglobal.c

**PROPOSED OWNER AND/OR OPERATOR (IF DIFFERENT FROM ABOVE)**

Name Charles Feit  
Firm On Force Solar  
Address 9 East 37th St, 12th Floor, New York, NY 10016  
Phone 1-914-980-5451  
Email charles.feit@174powerglobal.c

**SUBMITTAL REQUIREMENTS**

In order to submit a complete permit application for a new large-scale solar power generation system, the applicant must include:

- a) Completed Planning Board Special Use Permit Application with this Large Scale Solar Power Generation System Addendum.
- b) A special permit application fee of \$625.00 paid by check made payable to the Town of Yorktown.
- c) Required documents as listed in Section 300-84.1(F):
  - Equipment specification sheets shall be submitted for all photovoltaic panels, significant components, mounting systems, and inverters that are to be installed.
  - A property Operation and Maintenance Plan shall be submitted.
  - A carbon sequestration for tree loss calculation.
  - Proposed tree loss mitigation, if applicable.
  - A Decommissioning Plan
- d) All site plan application requirements pursuant to Section 300-85/1(I) of the Town of Yorktown Town Code.

*Full Environmental Assessment Form  
Part 1 - Project and Setting*

RECEIVED  
PLANNING DEPARTMENT

NOV 13 2020

TOWN OF YORKTOWN

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Hemlock Hill Solar Farm		
Project Location (describe, and attach a general location map): 500 Croton Avenue, Yorktown. Tax Id 46.08-1-1 (See attached driving directions, access via 500 Croton Avenue, Cortlandt)		
Brief Description of Proposed Action (include purpose or need): The applicant is proposing to install land based solar panels in an existing open pasture field. The panels will connect to the NY State power grid providing green energy to the people of New York.		
Name of Applicant/Sponsor: Badey & Watson Sureying & Engineering, P.C.		Telephone: 845-265-9217
		E-Mail: mmcmanus@badey-watson.com
Address: 3063 Route 9		
City/PO: Cold Spring	State: New York	Zip Code: 10516
Project Contact (if not same as sponsor; give name and title/role): Charles Feit of 174 Power Global NorthEast		Telephone: 347-590-5450
		E-Mail: charles.feit@174powerglobal.com
Address: 9 E 37th Street, 12th Floor		
City/PO: New York	State: New York	Zip Code: 10016
Property Owner (if not same as sponsor): John Nicholas DeMaria Irrevocable Trust		Telephone:
		E-Mail:
Address: 500 Croton Avenue, RFD 1		
City/PO: Cortlandt Manor	State: NY	Zip Code: 10567

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	special use permit and site plan approval	TBD
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	County Planning 239 referral	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s): NYC Watershed Boundary _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s): _____ _____ _____	

<b>C.3. Zoning</b>	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? R1-160 One family residential district	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the use permitted or allowed by a special or conditional use permit?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action? If Yes, i. What is the proposed new zoning for the site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>C.4. Existing community services.</b>	
a. In what school district is the project site located?	Yorktown Central School District
b. What police or other public protection forces serve the project site?	Town of Yorktown Police Department, Westchester Co Sheriff Dept, New York State Police
c. Which fire protection and emergency medical services serve the project site?	Yorktown Heights Fire Department
d. What parks serve the project site?	Hunterbrook Park, Franklin D Roosevelt State Park, Downing Park.

**D. Project Details**

<b>D.1. Proposed and Potential Development</b>	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?	Solar Power Generation System
b. a. Total acreage of the site of the proposed action?	50.0 acres
b. Total acreage to be physically disturbed?	4.0 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	118.6 acres
c. Is the proposed action an expansion of an existing project or use? i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No % _____ Units: _____
d. Is the proposed action a subdivision, or does it include a subdivision? If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is a cluster/conservation layout proposed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Number of lots proposed?	_____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	
e. Will the proposed action be constructed in multiple phases? i. If No, anticipated period of construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No _____ 4 months
ii. If Yes:	
• Total number of phases anticipated	_____
• Anticipated commencement date of phase 1 (including demolition)	_____ month _____ year
• Anticipated completion date of final phase	_____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:	_____



f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes, ground mounted solar panels are proposed

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): construction in a local wetland adjacent area.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:  
Construction in the wetland adjacent area is limited to driving piles into the ground to mount the solar panels on. The field is presently use as a pasture. After construction the solar panels will sit above the ground. Access paths will be required between the rows of panels but will consist of 6" of gravel the intended to be impervious.

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iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_  
The areas under the solar panels will receive wetland or meadow wild flower mix to enhance the diversity of the ground cover

---

c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

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d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

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iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ 4.0 acres (parcel size)  
 ii. Describe types of new point sources. no new point sources are anticipated  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
stormwater runoff will be directed to onsite surface water  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
on site tributarys that feed off site wetland  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ 9am to 5pm \_\_\_\_\_
- Saturday: \_\_\_\_\_ 9 am to 5pm \_\_\_\_\_
- Sunday: \_\_\_\_\_ none \_\_\_\_\_
- Holidays: \_\_\_\_\_ none \_\_\_\_\_

ii. During Operations:

- Monday - Friday: \_\_\_\_\_ 24 hour a day \_\_\_\_\_
- Saturday: \_\_\_\_\_ 24 hour a day \_\_\_\_\_
- Sunday: \_\_\_\_\_ 24 hour a day \_\_\_\_\_
- Holidays: \_\_\_\_\_ 24 hour a day \_\_\_\_\_

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
Construction noise during construction will most likely exceed existing ambient noise levels

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ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
\_\_\_\_\_

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ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

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iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

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t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): Park land

ii. If mix of uses, generally describe:

The project site is a working farm the surrounding parcels are generally single family residential and the east property line abuts a park.

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b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.5	0.5	0
• Forested	28.4	28.4	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	17.7	13.7	-4.0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	3.2	3.2	3.2
• Non-vegetated (bare rock, earth or fill)	0.2	0.2	0.2
• Other Describe: <u>solar farm</u>	0.0	4.0	+4.0

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 2 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ n/a %

c. Predominant soil type(s) present on project site:

Paxton	_____	23 %
Ridgebury	_____	42 %
woodbridge	_____	35 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 1 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	23 % of site
<input checked="" type="checkbox"/> Moderately Well Drained:	_____	35 % of site
<input checked="" type="checkbox"/> Poorly Drained	_____	42 % of site

f. Approximate proportion of proposed action site with slopes:

<input type="checkbox"/> 0-10%:	_____	76 % of site
<input type="checkbox"/> 10-15%:	_____	21 % of site
<input type="checkbox"/> 15% or greater:	_____	3 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters, Federal Waters Approximate Size 3.2
- Wetland No. (if regulated by DEC) A-37 on adacent parcel

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_



m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 deer \_\_\_\_\_ snakes and small reptiles, amphibians \_\_\_\_\_  
 small animals, fox, squirrels. etc \_\_\_\_\_  
 birds \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 Fence Lizard

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: WEST001

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No  
 If Yes:  
 i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District  
 ii. Name: \_\_\_\_\_  
 iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No  
 If Yes:  
 i. Describe possible resource(s): \_\_\_\_\_  
 ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No  
 If Yes:  
 i. Identify resource: \_\_\_\_\_  
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_  
 iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No  
 If Yes:  
 i. Identify the name of the river and its designation: \_\_\_\_\_  
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**


Attach any additional information which may be needed to clarify your project.

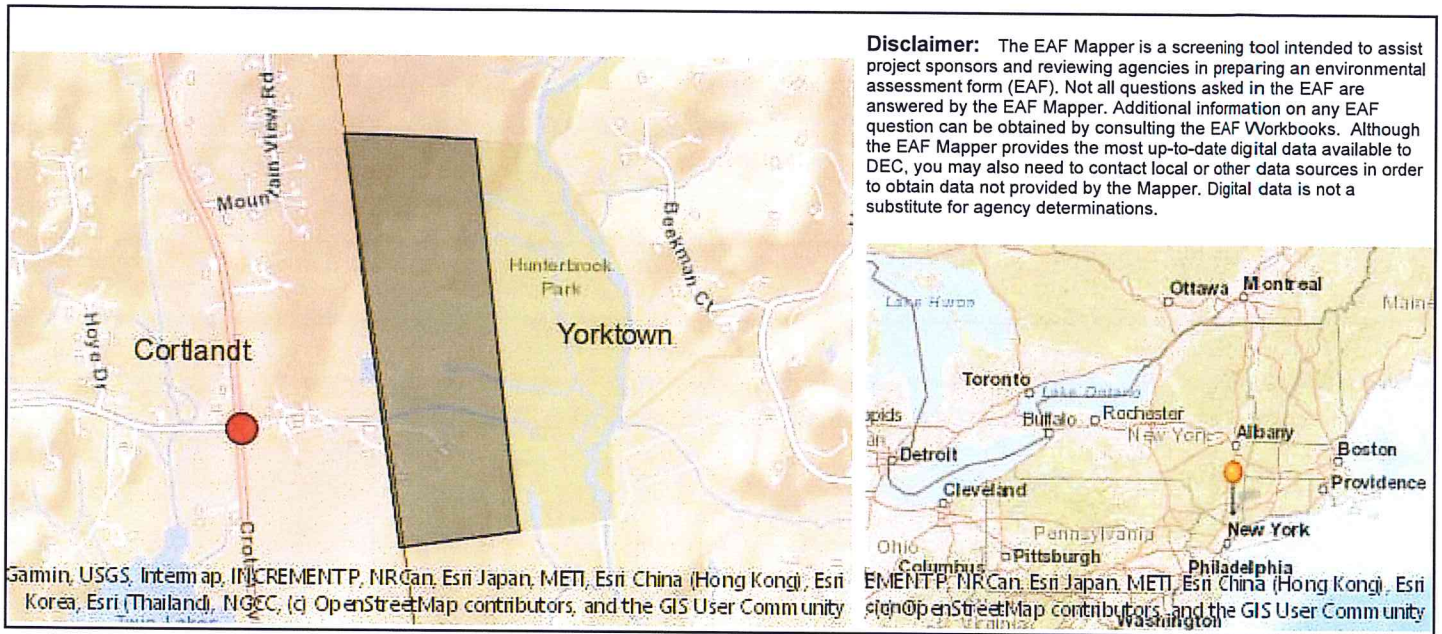
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Margaret McManus-Engineer for Applicant Date 10-27-2020

Signature  PE Title SR. Project Engineer  
BADEY & WATSON FOR APPLICANT



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Fence Lizard
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	WEST001
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

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PLANNING DEPARTMENT

NOV 13 2020

TOWN OF YORKTOWN

# New York Community Solar Facility Decommissioning Plan

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November 2020

Prepared For:  
**Hemlock Hill Farm**

**OnForce Solar**  
9 East 37<sup>th</sup> St, 12<sup>th</sup> floor  
New York, NY 10016

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## 1. Introduction

OnForce Solar proposes to build a photovoltaic (PV) solar facility at Hemlock Hill Farm in Yorktown, NY under New York State's Community Solar initiative. This Solar Facility is planned to have a nameplate capacity of 1 megawatt (MW) alternating current (AC) and be built on a 5-6 acre parcel of private land

This Decommissioning Plan ("**Plan**") provides an overview of activities that will occur during the decommissioning phase of a Solar Facility, including; activities related to the restoration of land, the management of materials and waste, projected costs, and a decommissioning fund agreement overview.

The Solar Facility will have a maturity date of twenty (20) to thirty (30) years; however, this Solar Facility has an estimated useful lifetime of 30 years or more. This Plan assumes that a Solar Facility will be dismantled and the Facility Site restored to a state similar to its pre-construction condition at the 20 year maturity date. The Plan also covers the case of the abandonment of a Solar Facility, for any reason; prior to the 20 year maturity date.

Decommissioning of the Solar Facility will include the disconnection of the Solar Facility from the electrical grid and the removal of all Solar Facility components, including:

- Photovoltaic (PV) modules, panel racking and supports;
- Inverter units, substation, transformers, and other electrical equipment;
- Access roads, wiring cables, communication tower, perimeter fence; and,
- Concrete foundations.

This decommissioning plan is based on current best management practices and procedures. This Plan may be subject to revision based on new standards and emergent best management practices at the time of decommissioning. Permits will be obtained as required and notification will be given to stakeholders prior to decommissioning.

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## 2. The Proponent

ONFORCE Solar will manage and coordinate the approvals process. ONFORCE will obtain all necessary regulatory approvals that vary depending on the jurisdiction, project capacity, and site location. ONFORCE will build a long-term relationship with the community hosting a Solar Facility and ONFORCE will be committed to the safety, health, and welfare of the townships.

Contact information for the proponent is as follows:

<b>Full Name of Company:</b>	<u>OnForce Solar</u>
<b>Contact:</b>	<u>Charles Feit</u>
<b>Address:</b>	<u>9 East 37<sup>th</sup> St, 12<sup>th</sup> Floor, New York, NY 10016</u>
<b>Telephone:</b>	<u>(347) 590-5450</u>
<b>Email:</b>	<u><a href="mailto:charles.feit@174powerglobal.com">charles.feit@174powerglobal.com</a></u>

### 2.1 Project Information

<b>Address:</b>	<u>500 Croton Ave, Cortlandt, NY 10567</u>
<b>Tax ID:</b>	<u>46.-08-01.01</u>
<b>Project Size:</b>	<u>1 MWac</u>
<b>Landowner:</b>	<u>Laura DeMaria</u>
<b>Own / Lease:</b>	<u>Lease</u>



## **Decommissioning of the Solar Facility**

At the time of decommissioning, the installed components will be removed, reused, disposed of, and recycled, where possible. The Facility Site will be restored to a state similar to its pre-construction condition. All removal of equipment will be done in accordance with any applicable regulations and manufacturer recommendations. All applicable permits will be acquired.

### **2.1 Equipment Dismantling and Removal**

Generally, the decommissioning of a Solar Facility proceeds in the reverse order of the installation.

1. The Solar Facility shall be disconnected from the utility power grid.
2. PV modules shall be disconnected, collected, and disposed at an approved solar module recycler or reused / resold on the market. Although the PV modules will not be cutting edge technology at the time of decommissioning, they are estimated to still produce 80% of the original electricity output at year 20 and add value for many years.
3. All aboveground and underground electrical interconnection and distribution cables shall be removed and disposed off-site by an approved facility.
4. Galvanized steel PV module support and racking system support posts shall be removed and disposed off-site by an approved facility.
5. Electrical and electronic devices, including transformers and inverters shall be removed and disposed off-site by an approved facility.
6. Concrete foundations shall be removed and disposed off-site by an approved facility.
7. Fencing shall be removed and will be disposed off-site by an approved facility.

### **2.2 Environmental Effects**

Decommissioning activities, particularly the removal of project components could result in environmental effects similar to those of the construction phase. For example, there is the potential for disturbance (erosion/sedimentation/fuel spills) to adjacent watercourses or significant natural features. Mitigation measures similar to those employed during the construction phase of the Solar Facility will be implemented. These will remain in place until the site is stabilized in order to mitigate erosion and silt/sediment runoff and any impacts on the significant natural features or water bodies located adjacent to the Facility Site.

Road traffic will temporarily increase due to the movement of decommissioning crews and equipment. There may be an increase in particulate matter (dust) in adjacent areas during the decommissioning phase. Decommissioning activities may lead to temporary elevated noise levels from heavy machinery and an increase in trips to the project location. Work will be undertaken during daylight hours and conform to any applicable restrictions.

### **2.3 Site Restoration**

Through the decommissioning phase, the Facility Site will be restored to a state similar to its pre-construction condition.

All project components (discussed in **Table 1**) will be removed. Rehabilitated lands may be seeded with a low-growing species such as clover to help stabilize soil conditions, enhance soil structure, and increase soil fertility.

### **2.4 Managing Materials and Waste**

During the decommissioning phase a variety of excess materials and wastes (listed in **Table 1**) will be generated. Most of the materials used in a Solar Facility are reusable or recyclable and some equipment may have manufacturer take-back and recycling requirements. Any remaining materials will be removed and disposed of off-site at an appropriate facility. ONFORCE will establish policies and procedures to maximize recycling and reuse and will work with manufacturers, local subcontractors, and waste firms to segregate material to be disposed of, recycled, or reused.

OnForce will be responsible for the logistics of collecting and recycling the PV modules and to minimize the potential for modules to be discarded in the municipal waste stream. Currently, some manufacturers and new companies are looking for ways to recycle and/or reuse solar modules when they have reached the end of their lifespan. Due to a recent increase in the use of solar energy technology, a large number of panels from a variety of projects will be nearing the end of their lifespan in 15 - 25 years. It is anticipated there will be more recycling options available for solar modules at that time. OnForce proposes to determine the best way of disposing of the solar modules using best management practices at the time of decommissioning.

**Table 1: Management of Excess Materials and Waste**

Material / Waste	Means of Managing Excess Materials and Waste
PV panels	If there is no possibility for reuse, the panels will either be returned to the manufacturer for appropriate disposal or will be transported to a recycling facility where the glass, metal and semiconductor materials will be separated and recycled.
Metal array mounting racks and steel supports	These materials will be disposed off-site at an approved facility.
Transformers and substation components	The small amount of oil from the transformers will be removed on-site to reduce the potential for spills and will be transported to an approved facility for disposal. The substation transformer and step-up transformers in the inverter units will be transported off-site to be sent back to the manufacturer, recycled, reused, or safely disposed off-site in accordance with current standards and best practices.
Inverters, fans, fixtures	The metal components of the inverters, fans and fixtures will be disposed of or recycled, where possible. Remaining components will be Disposed of in accordance with the standards of the day.
Gravel (or other granular)	It is possible that the municipality may accept uncontaminated material without processing for use on local roads, however, for the purpose of this report it is assumed that the material will be removed from the project location by truck to a location where The aggregate can be processed for salvage. It will then be reused As fill for construction. It is not expected that any such material will be contaminated.
Geotextile fabric	It is assumed that during excavation of the aggregate, a large portion of the geotextile will be “picked up” and sorted out of The aggregate at the aggregate reprocessing site. Geotextile fabric that is remaining or large pieces that can be readily removed from the excavated aggregate will be disposed of off-site at an approved disposal facility.
Concrete inverter/transformer Foundations	Concrete foundations will be broken down and transported by certified and licensed contractor to a recycling or approved disposal facility.
Cables and wiring	The electrical line that connects the substation to the point of common coupling will be disconnected and disposed of at an approved facility. Support poles, if made of untreated wood, will be chipped for reuse. Associated electronic equipment (isolation switches, fuses, metering) will be transported off-site to be sent back to the manufacturer, recycled, reused, or safely disposed off-site in accordance with current standards and best practices.
Fencing	Fencing will be removed and recycled at a metal recycling facility.
Debris	Any remaining debris on the site will be separated into recyclables/residual wastes and will be transported from the site and managed as appropriate.

### **3.5 Decommissioning During Construction or Abandonment Before Maturity**

In case of abandonment of the Solar Facility during construction or before its 20 year maturity, the same decommissioning procedures as for decommissioning after ceasing operation will be undertaken and the same decommissioning and restoration program will be honored, in as far as construction proceeded before abandonment. The Solar Facility will be dismantled, materials removed and disposed, the soil that was removed will be graded and the site restored to a state similar to its preconstruction condition.

### **3.6 Decommissioning Notification**

Decommissioning activities may require the notification of stakeholders given the nature of the works at the Facility Site. The local municipality in particular will be notified prior to commencement of any decommissioning activities. Six months prior to decommissioning, ONFORCE will update their list of stakeholders and notify appropriate municipalities of decommissioning activities. Federal, county, and local authorities will be notified as needed to discuss the potential approvals required to engage in decommissioning activities.

### **3.7 Approvals**

Well-planned and well-managed renewable energy facilities are not expected to pose environmental risks at the time of decommissioning. Decommissioning of a Solar Facility will follow standards of the day. ONFORCE will ensure that any required permits are obtained prior to decommissioning.

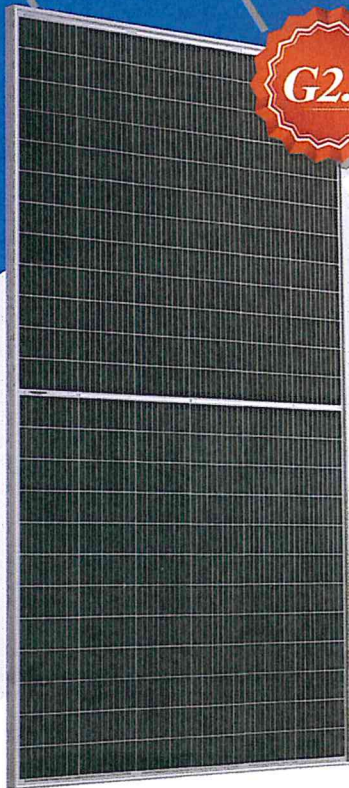
This Decommissioning Report will be updated as necessary in the future to ensure that changes in technology and site restoration methods are taken into consideration.



# Jäger Plus

HIGH PERFORMANCE  
MONOCRYSTALLINE PERC MODULE

144



G2.3

## RSM144-6-395M-420M

**144 CELL**

Mono PERC Module

**395-420Wp**

Power Output Range

**1500VDC**

Maximum System Voltage

**20.9%**

Maximum Efficiency

### KEY SALIENT FEATURES



Global, Tier 1 bankable brand, with independently certified state-of-the-art automated manufacturing



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Industry leading 12 years product warranty



Excellent low irradiance performance



Excellent PID resistance



Positive tight power tolerance



Dual stage 100% EL Inspection warranting defect-free product



Module Imp binning radically reduces string mismatch losses



Warranted reliability and stringent quality assurances well beyond certified requirements



Certified to withstand severe environmental conditions

- Anti-reflective & anti-soiling surface minimise power loss from dirt and dust
- Severe salt mist, ammonia & blown sand resistance, for seaside, farm and desert environments
- Excellent mechanical load 2400Pa & snow load 5400Pa resistance



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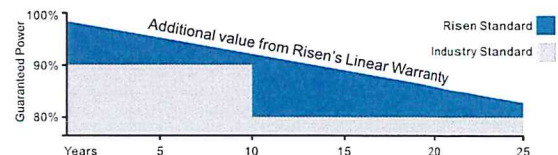
Risen Energy is a leading, global tier 1 manufacturer of high-performance solar photovoltaic products and provider of total business solutions for residential, commercial and utility-scale power generation. The company, founded in 1986, and publicly listed in 2010, compels value generation for its chosen global customers. Techno-commercial innovation, underpinned by consummate quality and support, encircle Risen Energy's total Solar PV business solutions which are among the most powerful and cost-effective in the industry. With local market presence and strong financial bankability status, we are committed, and able, to building strategic, mutually beneficial collaborations with our partners, as together we capitalise on the rising value of green energy.

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Tel: +86-574-59953239 Fax: +86-574-59953599  
E-mail: marketing@risenenergy.com Website: www.risenenergy.com



### LINEAR PERFORMANCE WARRANTY

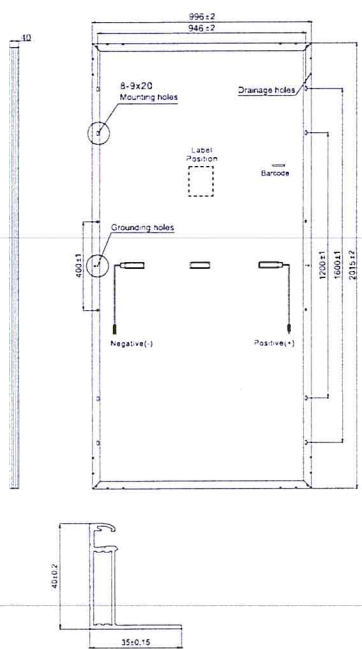
12 year Product Warranty / 25 year Linear Power Warranty



\* Please check the valid version of Limited Product Warranty which is officially released by Risen Energy Co., Ltd.

THE POWER OF RISING VALUE

## Dimensions of PV Module



## ELECTRICAL DATA (STC)

Model Number	RSM144-6-395M	RSM144-6-400M	RSM144-6-405M	RSM144-6-410M	RSM144-6-415M	RSM144-6-420M
Rated Power in Watts-Pmax(Wp)	395	400	405	410	415	420
Open Circuit Voltage-Voc(V)	48.45	48.60	48.75	48.90	49.00	49.10
Short Circuit Current-Isc(A)	10.40	10.50	10.60	10.70	10.80	10.90
Maximum Power Voltage-Vmpp(V)	40.35	40.45	40.55	40.65	40.70	40.80
Maximum Power Current-Impp(A)	9.80	9.90	10.00	10.10	10.20	10.30
Module Efficiency (%) *	19.7	19.9	20.2	20.4	20.7	20.9

STC: Irradiance 1000 W/m<sup>2</sup>, Cell Temperature 25°C, Air Mass AM1.5 according to EN 60904-3.  
 \* Module Efficiency (%): Round-off to the nearest number

## ELECTRICAL DATA (NMOT)

Model Number	RSM144-6-395M	RSM144-6-400M	RSM144-6-405M	RSM144-6-410M	RSM144-6-415M	RSM144-6-420M
Maximum Power-Pmax (Wp)	295.6	299.3	303.1	306.9	309.2	312.7
Open Circuit Voltage-Voc (V)	44.60	44.70	44.90	44.99	45.63	45.70
Short Circuit Current-Isc (A)	8.53	8.61	8.69	8.77	8.80	8.87
Maximum Power Voltage-Vmpp (V)	37.00	37.05	37.14	37.24	37.30	37.40
Maximum Power Current-Impp (A)	8.00	8.08	8.16	8.24	8.29	8.36

NMOT: Irradiance at 800 W/m<sup>2</sup>, Ambient Temperature 20°C, Wind Speed 1 m/s.

## MECHANICAL DATA

Solar cells	Monocrystalline, 9BB
Cell configuration	144 cells (6×12×6×12)
Module dimensions	2015×996×40mm
Weight	23kg
Superstrate	High Transmission, Low Iron, Tempered ARC Glass
Substrate	White Back-sheet
Frame	Anodized Aluminium Alloy type 6063T5, Silver Color
J-Box	Potted, IP68, 1500VDC, 3 Schottky bypass diodes
Cables	4.0mm <sup>2</sup> (12AWG), Positive(+)270mm, Negative(-)270mm
Connector	Risen Twinsel PV-SY02, IP68

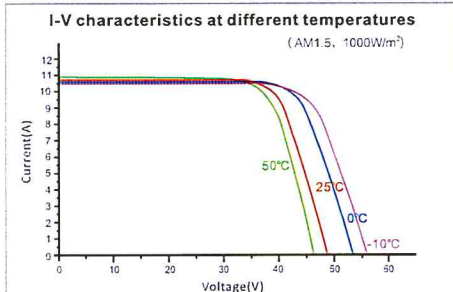
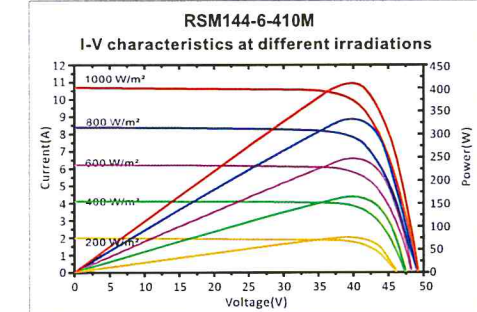
## TEMPERATURE & MAXIMUM RATINGS

Nominal Module Operating Temperature (NMOT)	44°C±2°C
Temperature Coefficient of Voc	-0.29%/°C
Temperature Coefficient of Isc	0.05%/°C
Temperature Coefficient of Pmax	-0.36%/°C
Operational Temperature	-40°C~+85°C
Maximum System Voltage	1500VDC
Max Series Fuse Rating	20A
Limiting Reverse Current	20A

## PACKAGING CONFIGURATION

	40ft(HQ)	20ft
Number of modules per container	594	270
Number of modules per pallet	27	27
Number of pallets per container	22	10
Packaging box dimensions (LxWxH) in mm	2040×1130×1130	2040×1130×1130
Box gross weight[kg]	670	670

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.  
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### Our Partners:

NOV 13 2020

TOWN OF YORKTOWN

## SCHEDULE 2. SERVICES

### A. Ongoing Maintenance

Provider shall routinely monitor the performance of the PV System using the SCADA System and perform all necessary preventive and corrective maintenance on the PV System to ensure optimum performance on an ongoing basis, including:

- Monitor PV System output, compare it to benchmarks, and assess the need for corrective action
- Attend required inspections by any Governmental Authority relating to the PV System, if any
- Facilitate the enforcement of any Warranties as needed
- Electrical panel/transformer/ inverter cleaning (interior and exterior) as needed for optimal performance
- Correction of loose electrical connections
- Check for defective modules
- Routine monitoring maintenance to include sensor calibration and data integrity checks

### B. Scheduled Maintenance

Provider shall perform the following tasks once during each Maintenance Year. Provider will contact the Client Representative approximately one (1) week in advance to arrange a Site visit to perform these tasks.

#### 1. PV Modules, Racks, Cabling, Combiner Boxes, Disconnects

- Clean debris from array area;
- Check condition of module mounting frames; Sand, prime and paint any areas showing signs of rust;
- Visual inspection of modules to identify cracked or damaged modules;
- Ensure modules are adequately secured, and able to withstand wind and storms;
- Ensure nuts and bolts attaching modules to support structures are tight and not weather-worn;
- Ensure flashing and sealant around roof penetrations are in good condition;
- Spot check module clips to ensure they are not loose;
- Visually inspect cable and wires for damage, including damaged or deteriorating insulation;
- Ensure electrical seals are in good condition;
- Spot check connections for weatherproofing and corrosion;
- Spot check the racks to ensure they are tightly fastened together, of uniform tilt and ballasted properly;
- Spot check module connections;
- Check combiner boxes by visually inspecting fuses and connections;
- Visual check of key electrical connections;



- Check for corrosion on fittings;
- Verify no shading issues have been created;
- Open and clean combiner boxes as necessary;
- Tighten loose electrical connections in combiner boxes, switchgear, and inverters; and
- Visually assess weather-station, if applicable, and troubleshoot as necessary.

## 2. Inverters

- Visual internal check of inverter;
- Verify fan functionality;
- Record all voltage and current readings via the front display panel;
- Check appearance/cleanliness of the cabinet, ventilation system and insulated surfaces;
- Check for corrosion on all terminals and cables;
- Torque terminals, connectors, and bolts;
- Check all fuses for open or signs of heating (inverter and combiner);
- Check the condition of both the AC and DC surge suppressors;
- Clean air filters as necessary;
- Identify and document any problems;
- Perform preventive maintenance on the inverter(s) as required in inverter maintenance manual.

## 3. General

- Verify current system performance and production levels
- Check accuracy of net metering
- Perform utility disconnect / reconnect test
- Ensure all documentation (e.g., 3-line diagram) and safety labels are visible and legible

### **C. Troubleshooting and Repairs**

In addition to the activities described above, Provider shall also perform troubleshooting, repairs, and service for the PV System as indicated below:

- During any Ongoing Maintenance or Scheduled Maintenance, Provider shall identify any routine repairs or adjustments needed.
- Should Provider detect an issue affecting PV System performance based upon output from the SCADA System or by other means, Provider will call the Client Representative to diagnose the issue and coordinate its resolution. Should Client detect an issue, Client can call Provider and Provider will assist Client with issue diagnosis and resolution.
- If necessary to resolve an issue detected by Provider or by Client, Provider personnel will be dispatched to the Site to identify the issue after contacting Client. Provider will make reasonable efforts (e.g., by phone, email) to notify Client of an issue
- If at any time Provider becomes aware of the need to replace any component of the PV System, Provider will notify Client in writing. Provider will take all necessary steps to enforce any Warranties that may be applicable to the component needing replacement. If

no Warranty is applicable, Provider shall assist Client in procuring the necessary replacement component but Client shall pay the cost of the replacement component.

- Should Provider detect an “***Emergency Situation***,” defined as any circumstance or situation that, in the reasonable opinion of Provider, may affect the safety or protection of persons, the PV System, or the Site, Provider shall promptly notify the Client Representative, and take all necessary action to attempt to prevent or mitigate any such threatened damage, injury, or loss. Provider shall respond to an Emergency Situation as soon as possible and in any event within twenty-four (24) hours from detection. Provider shall be reimbursed by Client for reasonable costs incurred in the course of responding to an Emergency Situation. Provider shall make reasonable efforts to minimize any cost associated with an Emergency Situation.
- In any other situation where services outside the scope of the Services described in this Schedule 2 (“***Additional Services***”) are warranted, Provider shall promptly submit to the Client a written Additional Service Proposal, which shall include a description of the Additional Services proposed and a price quote determined using the rates listed in Schedule 5. Provider shall not perform any Additional Services without written authorization from Client. Client shall pay the agreed-upon price for any Additional Services authorized by Client.

#### **D. Services Not Included**

The following services are not included in the Service provided under this Agreement:

- Activity required as a result of vandalism;
- Snow removal; and
- Activity required to facilitate roof repairs.

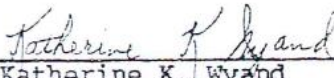
# **French Subdivision Public Info Hearing**

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS  
August 1, 1974

RENZLER, BEATRICE

Application for variance to legalize existing structures (3) for Certificates of Occupancy to issue to modify Decision dated June 6, 1974. Premises located east side of French Hill Road aka/Sec. 12.11, Parcel 17, Lot 23 on the Tax Map of the Town of Yorktown.

The Board having considered all of the evidence submitted to it, including the reports of the Site Committee, Planning Director and Assistant Building Inspector, all as set forth in the Minutes of the Public Hearing of August 1, 1974 and the Board having reviewed the Minutes and evidence submitted for the meeting of June 6, 1974 and it having been determined that the applicant had demonstrated proof of practical difficulty and unusual hardship and to grant the requested relief would not be depreciative of neighborhood property values nor in derogation of the Town Development Plan, it is the decision of this Board that the existing structures consisting of three (3) dwellings have Certificates of Occupancy to issue therefor and the decision dated June 6, 1974 be so amended provided the applicant continue existing driveway to accommodate the third dwelling. This decision is predicated on the subject premises not being subdivided into more than two (2) parcels.

  
\_\_\_\_\_  
Katherine K. Wyand  
Town Clerk

STATE OF NEW YORK  
COUNTY OF WESTCHESTER  
Office of the Clerk of the  
TOWN OF YORKTOWN

} ss.

This is to certify that I, Katherine K. Wyand, Town Clerk of the Town of Yorktown in the said County of Westchester, have compared the foregoing copy of Decision of Zoning Board of Appeals

DECISION OF THE YORKTOWN ZONING BOARD OF APPEALS

January 27, 1983

FRENCH, ALBERT  
#74/82

Application for variance to permit construction on two lots with 50 ft of frontage each where 100 ft is required (in conjunction with proposed subdivision). Premises located on east side of French Hill Road, aka/ Section 12.11 Parcel 17 Lot 23 on the Tax Map of the Town of Yorktown.

Upon reading and filing the Certificate of Notice, the reports of Superintendent of Highways dated November 15, 1982; Assistant Building Inspector dated December 1, 1982; Director of Planning dated December 1, 1982; The Affirmation of Albert Capellini in Support of the Application, a petition in opposition to the application, a prepared statement in opposition to the application and upon the report of the site committee and upon the testimony offered and received at the public hearing of this application, it is found and determined as follows:

The subject property consists of some 143,532 square feet off of French Hill Road where the required minimum lot size is 40,000 square feet. Applicant proposes to subdivide the subject property to create two lots, each with 50 feet of frontage where 100 feet is required.

An application for subdivision approval is currently being processed by the Planning Board, which previously rejected as unfeasible, applicant's request for three lots on the subject property. The Planning Board has preliminarily endorsed this two lot request.

The applicant, who is the contract vendee of this property, is also the owner of the adjoining property which contains some 100,800 square feet and three dwelling units. By a prior decision of this Zoning Board dated August 1, 1974, the three dwelling units on this adjoining lot were legalized, predicated on such property not being subdivided into more than two parcels.

The Board notes that the combined frontage of applicant's present and future holdings amounts to 801.77 feet, which is more than sufficient to accommodate the two new lots provided that the frontage of all applicant's holdings were allowed to be combined and that lot lines for a total of not more than four lots were drawn on applicant's combined holdings. Pursuant to the Zoning Board's 1974 decision, one of such lots would contain two dwelling units.

In deciding whether or not to grant variances, Zoning Boards are initially faced with the question of determining whether there are other means available other than a variance to overcome the difficulties presented. If the applicant were permitted to combine frontage by the partial amendment of this Board's 1974 decision, there would be no need for the variance requested in the instant application. The Planning Board could then set lot lines for applicant's combined holdings. This approach would seem to serve the dual purpose of orderly planning while at the same time avoiding the need for the variance.

The resultant lots will be in conformity with the neighborhood in terms of lot size and will not substantially effect the Town's ability to provide community services.

The Board's 1974 decision is accordingly amended to the extent of allowing the utilization of applicant's frontage on the adjoining lands conditioned upon the redefinition of appropriate lot lines of not more than four lots of the applicant's entire holding by the Planning Board. For the reasons above stated, it is not necessary to otherwise rule upon the variance request as submitted.

Filed on the 31st  
day of January, 1983

  
GERALDINE SCHWALB, Town Clerk

# Site Design Consultants

Civil Engineers • Land Planners

March 9, 2021

Robyn A. Steinberg, AICP, CPESC  
Town of Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

Re: Albert French  
1762 French Hill Road

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Informational Hearing scheduled for March 22, 2021 and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown Map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- 1 photo of "Notice" sign; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,

  
Joseph C. Riina, P.E.

/cm /Enc./ sdc 18-06

---

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



## NOTICE TO INTERESTED PARTIES

TO:

**PLEASE TAKE NOTICE** that the Planning Board of the Town of Yorktown will hold a **Public Informational Hearing** on **Monday, March 22, 2021 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of Albert French for approval of 2 lot subdivision with plat titled, "Preliminary Subdivision map prepared for Albert A. & Debora T. French," prepared by Ward Carpenter Engineers, Inc., and dated February 8, 2021.

It is proposed to subdivide the property, which contains 3 residences into two lots. One lot will contain a single residence and the second lot will contain two residences. The existing residences are served by town water and private septic systems. The site is located at the address 1762 French Hill Road, also known as Section 48.06 Block 1, Lot 24 on the Town of Yorktown Tax Map. The parcel consists of 2.182 acres in the R1-40 zoning district.

Due to public health and safety concerns related to COVID-19, the Town of Yorktown Planning Board will not be meeting in-person. In accordance with the Governor's Executive Order 202.1, the March 22, 2021 Planning Board meeting will be held via video conferencing. The public will have an opportunity to see and hear the meeting live and provide comments. The meeting will also be available to view on the Town's YouTube channel.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to Robyn Steinberg at [rsteinberg@yorktownny.org](mailto:rsteinberg@yorktownny.org). Submitted written comments will be given to the Planning Board in advance of the meeting. Please check the meeting agenda posted on the town's website [www.yorktownny.org](http://www.yorktownny.org) for information regarding joining the video conference and any additional updated information regarding this meeting.

The above listed site plan may be reviewed on the Town's website at: <http://www.yorktownny.org/planning/public-hearings>.

This notice is being sent to you by regular first class mail pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

Albert French  
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants  
By (Name and Title)

March 8, 2021  
Date



Albert French

✓ Aaron R. & Kimberly Zimmerman  
1779 French Hill Road  
Yorktown Hgts., NY 10598  
48.06-1-19

✓ Nick & Chrysanthe Toumanios  
1776 French Hill Road  
Yorktown Hgts., NY 10598  
37.18-1-8

✓ Walter & Martha Dodenhoff  
1811 Glen Rock Street  
Yorktown Hgts., NY 10598  
37.18-1-10

✓ Albert & Debora French  
1770 French Hill Road  
Yorktown Hgts., NY 10598  
37.18-1-9

✓ Stephen & Susan Dolled  
1801 Glen Rock Street  
Yorktown Hgts., NY 10598  
48.06-1-29

✓ Anthony Santos Revocable Trust  
c/o Kashyap Bakhai  
Morrison, Brown et al.  
1450 Brickell Avenue  
Miami, Florida 33131  
48.06-1-26

Albert & Debora French  
1770 French Hill Road  
Yorktown Hgts, NY 10598  
48.06-1-24

✓ Giuseppe Gulli & Dina Dipaola-Gulli  
1759 French Hill Road  
Yorktown Hgts., NY 10598  
48.06-1-18

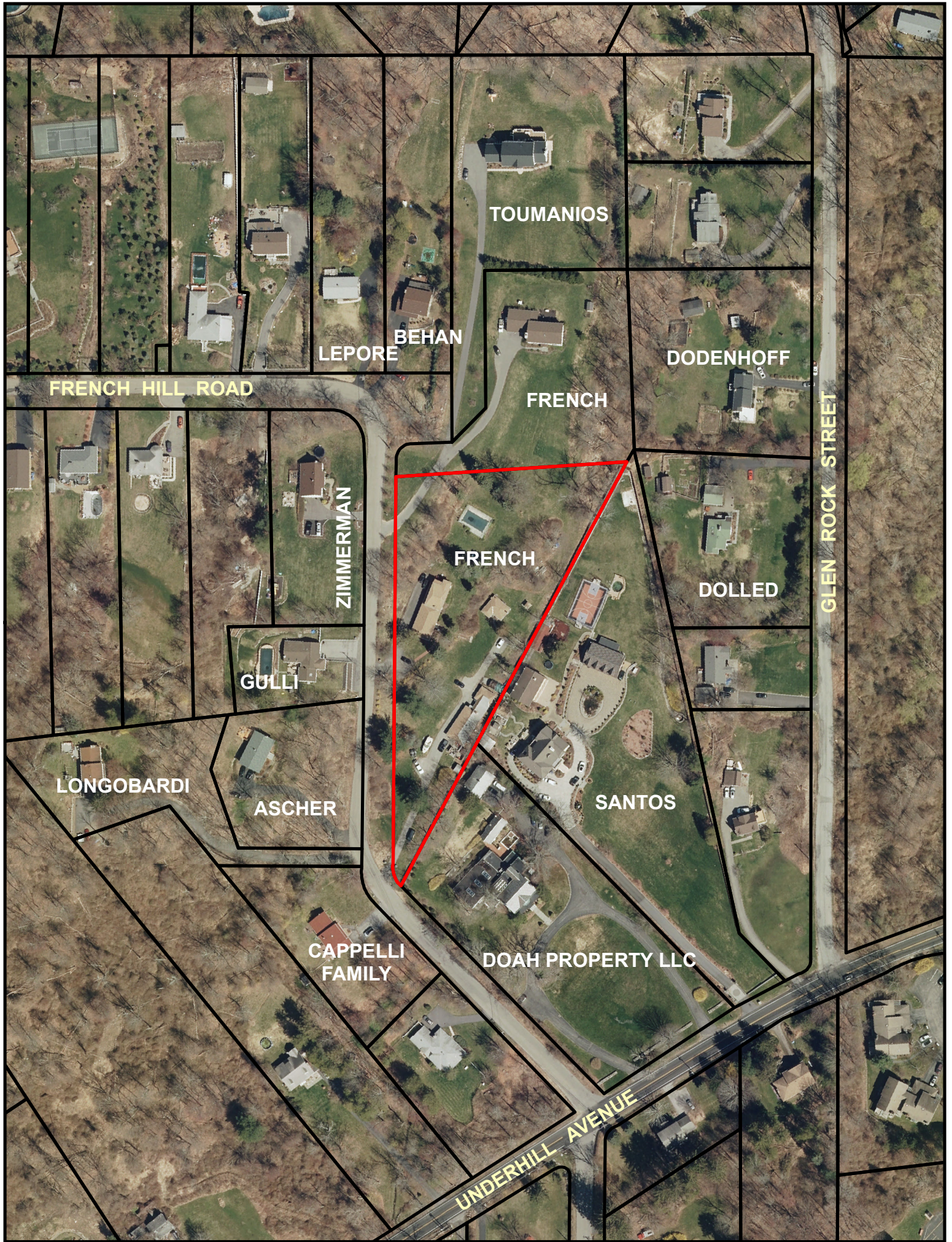
✓ Anthony R. & Michelle &  
Kathryn J. Pellegrino  
1743 French Hill Road  
Yorktown Hgts., NY 10598  
48.06-1-17

✓ Doah Property, LLC  
482 Underhill Avenue  
Yorktown Hgts., NY 10598  
48.06-1-24

✓ Jason Longobardi & Keren Larkin  
1737 French Hill Road  
Yorktown Hgts., NY 10598  
48.06-1-16

2020 Cappelli Family  
Irrevocable Trust  
1729 French Hill Road  
Yorktown Hgts., NY 10598  
48.06-1-15

Alfonse & Marjorie Schmidt  
1815 Glen Rock Street  
Yorktown Hgts., NY 10598  
37.18-1-11



TOUMANIOS

BEHAN

LEPORE

DODENHOFF

FRENCH HILL ROAD

FRENCH

GLEN ROCK STREET

FRENCH

DOLLED

ZIMMERMAN

GULLI

LONGOBARDI

ASCHER

SANTOS

CAPPELLI FAMILY

DOAH PROPERTY LLC

UNDERHILL AVENUE

Name and Address of Sender  
**Site Design Consultants**  
**251-F Underhill Avenue**  
**Yorktown Heights, New York 10598**

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix Stamp Here  
 (for additional copies of this receipt)  
 Postmark with Date of Receipt



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U.S. POSTAGE PAID  
 YORKTOWN HEIGHTS, NY  
 10598  
 MAR 09 21  
 AMOUNT  
**\$5.28**  
 R2304M116507-18

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Sender if COD	Fee	Fee	Fee	Fee	Fee	Fee	Fee	Fee	Fee	
																SH Fee
1.	Aaron R. & Kimberly Zimmerman 1779 French Hill Road Yorktown Hgts., NY 10598															
2.	Nick & Chrysanthe Toumanios 1776 French Hill Road Yorktown Hgts., NY 10598															
3.	Walter & Martha Dodenhoff 1811 Glen Rock Street Yorktown Hgts., NY 10598															
4.	Albert & Debora French 1770 French Hill Road Yorktown Hgts., NY 10598															
5.	Stephen & Susan Dolled 1801 Glen Rock Street Yorktown Hgts., NY 10598															
6.	Anthony Santos Revocable Trust c/o Kashyap Bakhai Morrison, Brown et al. 1450 Brickell Avenue Miami, Florida 33131															
7.	Giuseppe Gulli & Dina Dipaola-Gulli 1759 French Hill Road Yorktown Hgts., NY 10598															
8.	Anthony R. & Michelle & Kathryn J. Pellegrino 1743 French Hill Road. Yorktown Hgts., NY 10598															
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster, Per (Name of receiving employee)												



Name and Address of Sender

**Site Design Consultants**  
**251-F Underhill Avenue**  
**Yorktown Heights, New York 10598**

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.



USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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1.

DOAH Property, LLC  
482 Underhill Ave.  
Yorktown Hgts, NY  
10598

2.

Jason Longobardi & Keren Larkin  
1737 French Hill Road  
Yorktown Hgts., NY 10598

3.

2020 Cappelli Family  
Irrevocable Trust  
1729 French Hill Road  
Yorktown Hgts., NY 10598

4.

Alfonse & Marjorie Schmidt  
1815 Glen Rock Street  
Yorktown Hgts., NY 10598

5.

6.

7.

8.

Postmaster, Per (Name of receiving employee)

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit [usps.com/privacypolicy](http://usps.com/privacypolicy).

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 12.11 Block 17 Lot 23

Project Name: ALBERT FRENCH SUBDIVISION

Address: 1762 FRENCH HILL ROAD YORKTOWN

Applicant's Name: ALBERT + DEBORAH FRENCH

Address: 1770 FRENCH HILL ROAD YORKTOWN

Phone: 914-962-3676 H  
914-879-0888 C

No. Signs Posted: 1

Sign #1 Location: 1762 FRENCH HILL ROAD - DRIVEWAY

Sign #2 Location: \_\_\_\_\_

Sign #3 Location: \_\_\_\_\_

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: \_\_\_\_\_

Land Owner's Signature: \_\_\_\_\_



Diane Dreier Co-Chair  
Phyllis Bock Co-Chair

Matthew Slater  
Town Supervisor

**TOWN OF YORKTOWN  
CONSERVATION BOARD**

---

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

---

**MEMORANDUM**

RECEIVED  
PLANNING DEPARTMENT

FEB 22 2021

TOWN OF YORKTOWN

**To: Planning Board**

**From: Conservation Board**

**Date: February 19, 2021**

**Re: Albert French Subdivision 1762 French Hill Road**

---

The Conservation Board at its February 17<sup>th</sup> 2021 meeting discussed a proposed subdivision of property located at 1762 French Hill Road. The Conservation Board has the following comments:

- The Conservation Board sees no adverse environmental impacts and recommends the project move forward.

Respectfully submitted:

*Phyllis Bock*

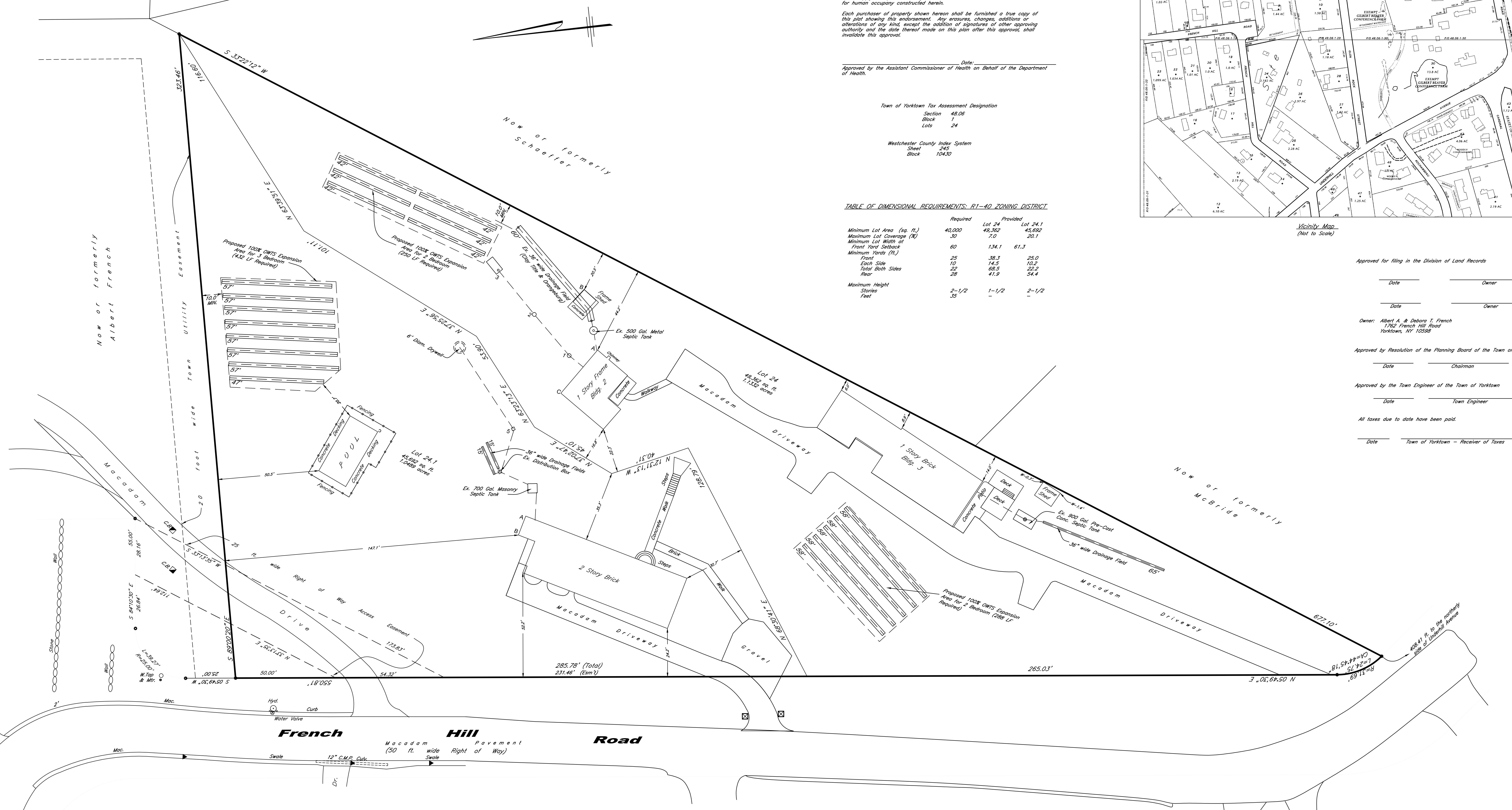
For the Conservation Board





Now or formerly  
Dodenhoff

Now or formerly  
Garafolo



Westchester County Department of Health,  
Mount Kisco, New York

Approved pursuant to Chapter 873, Article X, Sections 873.951 and 873.1021 of the Westchester County Sanitary Code subject to the provision of public water supply and public sanitary sewer facilities to serve all structures intended for human occupancy constructed herein.

Each purchaser of property shown hereon shall be furnished a true copy of this plan showing this endorsement. Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereon made on this plan after this approval, shall invalidate this approval.

Date: \_\_\_\_\_

Approved by the Assistant Commissioner of Health on Behalf of the Department of Health.

Town of Yorktown Tax Assessment Designation

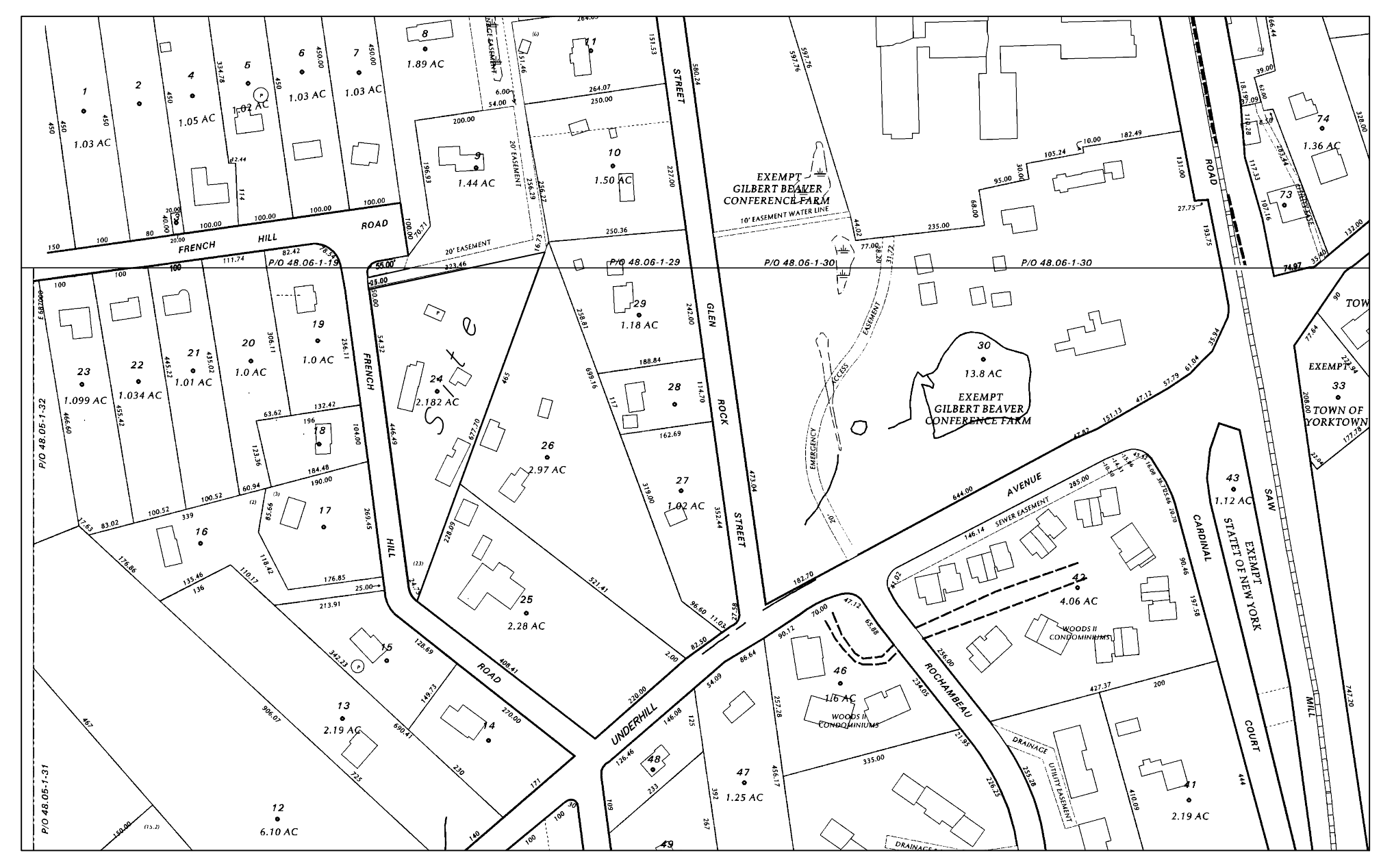
Section	48.06
Block	1
Lots	24

Westchester County Index System

Sheet	24
Block	10430

TABLE OF DIMENSIONAL REQUIREMENTS: R1-40 ZONING DISTRICT

	Required	Lot 24 Provided	Lot 24.1 Provided
Minimum Lot Area (sq. ft.)	40,000	49,362	45,666
Maximum Lot Coverage (%)	30	32	20.1
Minimum Lot Width of Front Yard Setback	60	134.1	61.3
Minimum Yards (ft.)			
Front	25	30.5	25.0
Each Side	10	14.5	10.2
Total Both Sides	20	29.0	20.2
Rear	25	41.9	54.4
Maximum Height			
Stories	2-1/2	1-1/2	2-1/2
Feet	35	-	-



Approved for filing in the Division of Land Records

Date \_\_\_\_\_ Owner \_\_\_\_\_

Date \_\_\_\_\_ Owner \_\_\_\_\_

Owner: Albert A. & Debora T. French  
1762 French Hill Road  
Yorktown, NY 10598

Approved by Resolution of the Planning Board of the Town of Yorktown

Date \_\_\_\_\_ Chairman \_\_\_\_\_

Approved by the Town Engineer of the Town of Yorktown

Date \_\_\_\_\_ Town Engineer \_\_\_\_\_

All taxes due to date have been paid.

Date \_\_\_\_\_ Town of Yorktown - Receiver of Taxes \_\_\_\_\_

Preliminary  
Subdivision Map  
prepared for  
**Albert A. & Debora T. French**  
in the Town of  
**Yorktown**  
Westchester County, N.Y.  
Scale 1"=20'  
Feb. 8, 2021

Site Utilities designed by:  
Joseph C. Riina, P.E., President  
New York State License No. 64431  
Site Design Consultants  
231-F Underhill Avenue  
Yorktown Heights, NY 10598

HEALTH DEPARTMENT SEPTIC SCHEDULE																						
LOT NO.	S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC RATE (MIN/IN)	MIN. DESIGN RATE (GPD/SF)	APPLICATION RATE (GPD/SF)	NO. OF BEDROOMS	DESIGN FLOW RATE (GPD)	TANK SIZE	RECD. TRENCH LENGTH	BANK RUN FILL DEPTH	VOLUME	CURTAIN DRAIN DEPTH	LENGTH	REMARKS	
24	2,170 S.F.	49,386 S.F.	THW1	0-6" T.SOIL, 6'-36" MOD. COMP. MED./FINE SANDY LOAM, 36'-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#1	19 MIN.	16-20 MIN.	0.70	2 BRM	400 GPD	1000 GAL.	288 LF	---	---	---	---	---	---
24.1	1,755 S.F.	45,666 S.F.	THW2	0-6" T.SOIL, 6'-42" MOD. COMP. MED./FINE SANDY LOAM, 42'-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#2	15 MIN.	11-15 MIN.	0.80	1 BRM	200 GPD	1000 GAL.	125 LF	---	---	---	---	---	---
	3,050 S.F.		THW3	0-6" T.SOIL, 6'-42" MOD. COMP. FINE SANDY LOAM, 42'-84" MOD. TO TIGHT COMP. MED./FINE SANDS	7'-0"	---	---	---	PT#4	19 MIN.	16-20 MIN.	0.70	3 BRM	600 GPD	1000 GAL.	432 LF	---	---	---	---	---	---

NOTE:  
1. Required trench length taken from table in WCHD Rules and Regulations.  
(Based on Perc Test)  
2. Percolation Test #3 abandoned.

The premises being Lot 23 as shown on a map entitled "Dehor Subdivision Map prepared for Albert A. & French dated Dec. 2, 1983, last revised July 11, 1984 and filed March 6, 1985 as County Clerk Map No. 21826. Also known as Lot 24, Block 1, Section 48.06 as shown on the official Tax Assessment Maps for the Town of Yorktown.

"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law."  
We, Ward Carpenter Engineers Inc., the Surveyors who made this map do hereby certify that the survey of property shown hereon was completed Dec. 23, 2020 and that this map was completed Feb. 8, 2021.

William H. Ward  
Ward Carpenter Engineers Inc.  
26 Memorack Avenue  
White Plains, N.Y. 10601

# TOWN OF YORKTOWN PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

## APPLICATION FOR APPROVAL OF A MINOR SUBDIVISION PLAT OR PRELIMINARY APPROVAL OF A MAJOR SUBDIVISION PLAT

Date 11-24-20

1. Name of Project: Albert French

2. Tax Map Designation: Section 12.11 Block 17 Lot 23

3. Zone: R1-40 Acreage: 2.182

4. Total number of lots proposed: 2

5. Project narrative (brief description of proposed development):

It is proposed to subdivide the property which contains 3 residences in to two lots for conformity. One lot will contain a single residence and the second

lot will contain two residences. A decision was made by the ZBA in 1983 Res.# 74-82 supporting this subdivision. The existing residences are supported by

septic systems and town water. Driveways exist and gain access from French Hill Road.

6. Contact Person - CHOOSE ONLY ONE:

- |                                    |  |                                    |  |
|------------------------------------|--|------------------------------------|--|
| <input type="checkbox"/> Applicant | <input type="checkbox"/> Owner               | <input type="checkbox"/> Architect | <input type="checkbox"/> Wetland Scientist   |
| <input type="checkbox"/> Attorney  | <input checked="" type="checkbox"/> Engineer | <input type="checkbox"/> Surveyor  | <input type="checkbox"/> Landscape Architect |

7. Applicant

Name Albert French

Firm \_\_\_\_\_

Address \_\_\_\_\_

Phone \_\_\_\_\_

Fax \_\_\_\_\_

Email \_\_\_\_\_

8. Owner of Record

Name Albert French

Firm \_\_\_\_\_

Address 1770 French Hill Road, Yorktown Hgts., NY 10598

Phone 914-879-0888

Fax \_\_\_\_\_

Email frenchiea1@aol.com

**9. Attorney**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**10. Engineer**

Name Joseph C. Riina, P.E.  
Firm Site Design Consultants  
Address 251F Underhill Avenue, Yorktown Hgts., NY 10598  
Phone 914-962-4488  
Fax 914-962-7386  
Email jriina@sitedesignconsultants.com  
Lic. No. 64431

**11. Surveyor**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

**12. Architect**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

**13. Wetland Scientist/Specialist**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**14. Landscape Architect**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

15. Is this project within 500 feet of the Town line?  Yes  No

16. Is this project within 500 feet of the Putnam County line?  Yes  No

17. Is this project within the Sustainable Development Study Area?  Yes  No

18. Is this project within 500 feet of:
- The right-of-way of any existing or proposed state or county road?  Yes  No
  - The boundary of an existing or proposed state or county park or any state or county recreation area?  Yes  No
  - The boundary of state or county-owned land on which a public building/ institution is located?  Yes  No
  - An existing or proposed county drainage line?  Yes  No
  - The boundary of a farm located in an agricultural district?  Yes  No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination.  Yes  No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit
- Stormwater Permit
- Tree Permit
- Planning Board special permit: \_\_\_\_\_
- Town Board variance or approval: \_\_\_\_\_
- Zoning Board of Appeals variance or special permit: Area variance Res. #74-82

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: \_\_\_\_\_

22. This parcel is in the following districts:

School District	<u>Yorktown</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Yorktown Hgts</u>	Sewer District	<u>N/A</u>

23. Is a statement of easements relating to property attached? Yes None exist

A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered officially submitted when all plans and date required by Land Development Regulations, including final reports from the Director of Planning and Town Engineer are received by the Board.

---

<p><b>Applicant</b></p> <p><u>Albert A Fench</u></p> <p>NAME (PLEASE PRINT)</p> <p><u>[Signature]</u></p> <p>SIGNATURE</p> <p><u>11/24/20</u></p> <p>DATE</p>	<p><b>Owner of Record</b></p> <p><u>Albert Fench</u></p> <p>NAME (PLEASE PRINT)</p> <p><u>[Signature]</u></p> <p>SIGNATURE</p> <p><u>11/24/20</u></p> <p>DATE</p>
---	---

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Albert French, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

[Handwritten signature of Albert French]

Sworn before me this 24th date of November, 2020

CAROL A. MOROCCO
Notary Public, State of New York
Reg. No. 01MO6251660
Qualified in Westchester County
Commission Expires 11/21/23

[Handwritten signature of Carol A. Morocco]

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

\_\_\_\_\_, being duly sworn, deposes and says that he resides at \_\_\_\_\_ in the County of \_\_\_\_\_ and State of \_\_\_\_\_. That he is the \_\_\_\_\_ of \_\_\_\_\_ the corporation which is owner in fee of the property described in the foregoing application for \_\_\_\_\_ and that the statements contained therein are true to the best of his knowledge and belief.

\_\_\_\_\_

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public

\*\*\*\*\*

**AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER**

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

\_\_\_\_\_, being duly sworn, deposes and says that he is the agent named in the foregoing application for \_\_\_\_\_ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

\_\_\_\_\_

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPMIN.wpd  
Last updated: December 2011



## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Albert French			
Name of Action or Project: Albert French			
Project Location (describe, and attach a location map): 1762 French Hill Road			
Brief Description of Proposed Action: It is proposed to subdivide the property which contains 3 residences in to two lots for conformity. One lot will contain a single residence and the second lot will contain two residences. A decision was made by the ZBA in 1983 Res.# 74-82 supporting this subdivision. The existing residences are supported by septic systems and town water. Driveways exist and gain access from French Hill Road.			
Name of Applicant or Sponsor: Joseph Riina, P.E. - Project Engineer		Telephone: 914-962-4488	
		E-Mail: jriina@sitedesignconsultants.com	
Address: 251F Underhill Avenue			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Westchester County Department of Health - Realty Subdivision Approval			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		2.182 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ Septic Systems	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES	
	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>Joseph C. Rina</u> Date: <u>11-24-20</u></p> <p>Signature: _____</p>		

**Envirogreen**  
**Public Info Hearing**

# Site Design Consultants

Civil Engineers • Land Planners

March 9, 2021

Robyn A. Steinberg, AICP, CPESC  
Town of Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

Re: Envirogreen Associates, Inc.  
1833-1875 East Main Street, Mohegan Lake

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Informational Hearing scheduled for March 22, 2021 and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown Map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- 4 photos of "Notice" signs; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,

Joseph C. Riina, P.E.



/cm /Enc./ sdc 14-14

---

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



**NOTICE TO INTERESTED PARTIES**

TO:

**PLEASE TAKE NOTICE** that a **Public Informational Hearing** will be held by the Planning Board of the Town of Yorktown on **Monday, March 22, 2021 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of Envirogreen Associates, Inc. for approval of a Site Plan with submitted plans titled, "Site Plan prepared for Envirogreen Associates, Inc.," prepared by Site Design Consultants, and dated February 10, 2021.

The applicant has proposed to construct a 13,278 SF one-story building with associated parking and site improvements. An existing 7,770 SF one-story retail building is located on the site. The site is located at the addresses 1833-1875 East Main Street, Mohegan Lake, NY 10547, also known as Section 15.16 Block 1 Lots 30 & 31 on the Town of Yorktown Tax Map. The parcel consists of 8.795 acres in the C-3 and R1-20 zoning districts.

Due to public health and safety concerns related to COVID-19, the Town of Yorktown Planning Board will not be meeting in-person. In accordance with the Governor's Executive Order 202.1, the March 22, 2021 Planning Board meeting will be held via video conferencing. The public will have an opportunity to see and hear the meeting live and provide comments. The meeting will also be available to view on the Town's YouTube channel.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to Robyn Steinberg at [rsteinberg@yorktownny.org](mailto:rsteinberg@yorktownny.org). Submitted written comments will be given to the Planning Board in advance of the meeting. Please check the meeting agenda posted on the town's website [www.yorktownny.org](http://www.yorktownny.org) for information regarding joining the video conference and any additional updated information regarding this meeting.

The above listed site plan may be reviewed on the Town's website at:  
<http://www.yorktownny.org/planning/public-hearings>.

This notice is being sent to you by regular first class mail pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

Envirogreen Associates, Inc.  
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants  
By (Name and Title)

March 8, 2021  
Date

Envirogreen Associates, Inc.

✓ Town of Yorktown Open Space  
TBR 4/29/19  
363 Underhill Avenue  
Yorktown Heights, NY 10598  
15.15-1-9

✓ Village Traditions, LLC  
47 Kayla Avenue  
Mahopac, NY 10541  
15.16-1-32

✓ Envirogreen Associates Inc.  
11 Hagman Court  
Katonah, NY 10536  
15.16-1-31

✓ ATMA Properties LLC  
c/o Kenneth Goldblatt  
1846 East Main Street  
Mohegan Lake, NY 10547  
15.16-1-23

✓ Jonmaros Food Corp.  
1870 East Main Street  
Mohegan Lake, NY 10547  
15.16-1-25

✓ Argiros, J&M Family LP  
1785 Wiley Road  
Mohegan Lake, NY 10547  
15.16-1-26

Town of Yorktown Open Space 4/29/19  
363 Underhill Avenue  
Yorktown\*Heights, NY 10598  
15.16-1-35

Town of Yorktown Open  
Space TBR 4/29/19  
363 Underhill Avenue  
Yorktown Heights, NY 10598  
15.16-1-36

Town of Yorktown Open  
Space 4/29/19  
363 Underhill Avenue  
Yorktown Heights NY 10598  
15.15-1-10

✓ Carmine & Concetta Fusco  
Joint Irrev. Trust  
c/o Aniello Fusco  
12574 Montego Plaza  
Dallas TX 75230  
15.15-1-11

✓ George & Jeanne Gilholm  
3545 Lakeland Street  
Mohegan Lake Lake, NY 10547  
15.16-1-33

Envirogreen Assoc Inc.  
11 Hageman Court  
Katonah, NY 10536  
15.16-1-30

✓ New Mohegan Realty, LLC  
c/o Long Island Care Center  
144-61 38<sup>th</sup> Avenue  
Flushing, NY 11354  
15.15-1-23

✓ Celestial Route 6  
222 Bloomingdale Road  
Suite 115  
White Plains, NY 10605  
15.16-1-21

✓ St. Mary's Episcopal Church  
1836 E. Main Street  
Mohegan Lake, NY 10547  
15.16-1-22

✓ Kattegat Properties LLC  
656 Belleview Avenue  
Thornwood, NY 10594  
15.15-1-33

✓ Morabito Family Rev Trust & Rosen, IRA  
Box 546  
Shrub Oak, NY 10588  
15.16-1-24

✓ MEMAC 1 LLC  
c/o Wayne Staten  
850 Peekskill Hollow Road  
Putnam Valley, NY 10579  
15.15-1-36

MEMAC 1 LLC  
c/o Wayne Staten  
850 Peekskill Hollow Road  
Putnam Valley, NY 10579  
15.15-1-35





LONG ISLAND CARE CENTER

FUSCO

TOWN OF YORKTOWN

CLOVER ROAD

GILHOLM

Lot 30

Lot 31

VILLAGE TRADITIONS

LAKELAND STREET

KATTEGAT PROPERTIES

MEMAC 1 LLC (STATEN)

ROUTE 6

JONMAROS FOOD CORP

MORABITO

ATMA PROP.

ST. MARY'S

CELESTIAL ROUTE 6

ARGIROS



Name and Address of Sender  
**Site Design Consultants  
251-F Underhill Avenue  
Yorktown Heights, New York 10598**

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collection Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix Stamp Here  
*(for additional copies of this receipt).*  
**Postmark with Date of Receipt.**



USPS Tracking/Article Number	Addressee (Name, Street, City, State, ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	Town of Yorktown Open Space TBR 4//29/19 363 Underhill Avenue Yorktown Heights, NY 10598													
2.	Village Traditions, LLC 47 Kayla Avenue Mahopac, NY 10541													
3.	Envirogreen Associates Inc. 11 Hagman Court Katonah, NY 10536													
4.	ATMA Properties LLC c/o Kenneth Goldblatt 1846 East Main Street Mohegan Lake, NY 10547													
5.	Jonmaros Food Corp. 1870 East Main Street Mohegan Lake, NY 10547													
6.	Argiros, J&M Family LP 1785 Wiley Road Mohegan Lake, NY 10547													
7.	Carmin & Concetta Fusco Joint Irrev. Trust c/o Aniello Fusco 12574 Montego Plaza Dallas TX 75230													
8.	George & Jeanne Gilholm 3545 Lakeland Street Mohegan Lake Lake, NY 10547													
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster, Per (Name of receiving employee)										



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U.S. POSTAGE PAID  
YORKTOWN HEIGHTS, NY  
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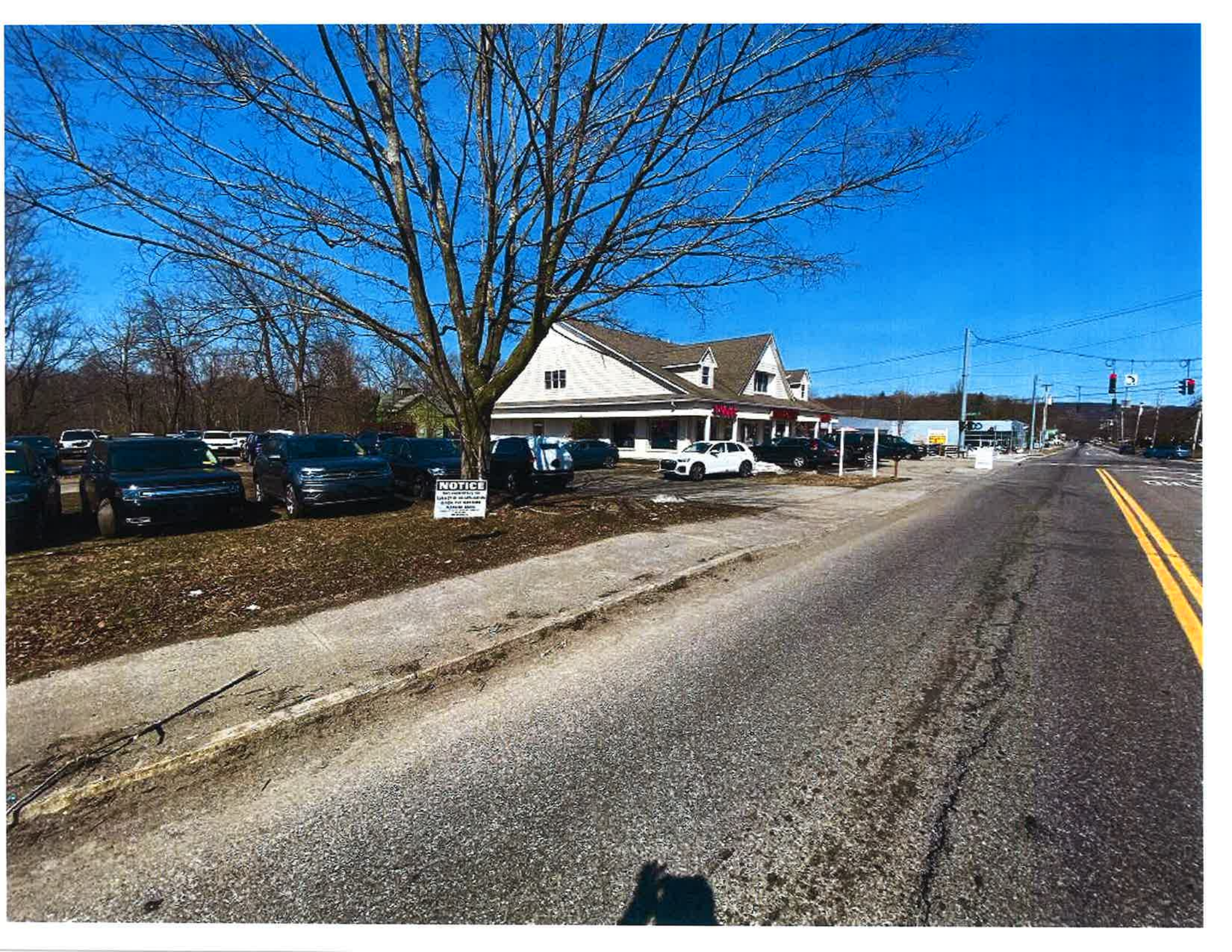
Name and Address of Sender  
**Site Design Consultants**  
**251-F Underhill Avenue**  
**Yorktown Heights, New York 10598**

- Check type of mail or service
- Adult Signature Required
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  - Certified Mail
  - Certified Mail Restricted Delivery
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  - Priority Mail
  - Priority Mail Express
  - Registered Mail
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  - Signature Confirmation
  - Signature Confirmation Restricted

Affix Stamp Here  
 (for additional copies of this receipt).  
 Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	New Mohegan Realty, LLC c/o Long Island Care Center 144-61 38 <sup>th</sup> Avenue Flushing, NY 11354													
2.	Celestial Route 6 222 Bloomingdale Road Suite 115 White Plains, NY 10605													
3.	St. Mary's Episcopal Church 1836 E. Main Street Mohegan Lake, NY 10547													
4.	Kattegat Properties LLC 656 Belleview Avenue Thornwood, NY 10594													
5.	Morabito Family Rev Trust & Rosen, IRA Box 546 Shrub Oak, NY 10588													
6.	MEMAC 1 LLC c/o Wayne Staten 850 Peekskill Hollow Road Putnam Valley, NY 10579													
7.														
8.														
Total Number of Pieces Issued by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)												

Complete in Ink



**NOTICE**  
This property is for sale.  
All offers will be accepted.  
Call for more information.  
K. J. Smith



**NOTICE**  
THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
FOR THE PERMITS AND  
PLANNING BOARD

Bakery & Donuts Bakery, Pastry, Baking

KDL-4973

Sign Notification Certification

**Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.**

Section 15.16 Parcel 1 Lot 30 & 31

Project Name: Envirogreen Associates, Inc.

Address: 1833-1875 East Main Street, Mohegan Lake, NY 10547 Rte 6

Applicant's Name: Rick Cipriani, Envirogreen Associates

Address: 11 Hageman Court, Katonah, NY 10536

Phone: 914-469-8706

No. Signs Posted: 4

Sign #1 Location: 1833-1875 East Main St., Mohegan Lake

Sign #2 Location: 1833-1875 East Main St., Mohegan Lake

Sign #3 Location: 1833-1875 East Main St., Mohegan Lake

Sign #4 Location: 1833-1875 East Main St., Mohegan Lake

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: \_\_\_\_\_ 

Land Owner's Signature: \_\_\_\_\_

## Robyn Steinberg

---

**From:** wps <wps926@gmail.com>  
**Sent:** Thursday, March 18, 2021 12:54 PM  
**To:** Robyn Steinberg  
**Subject:** public hearing for 1833-1875

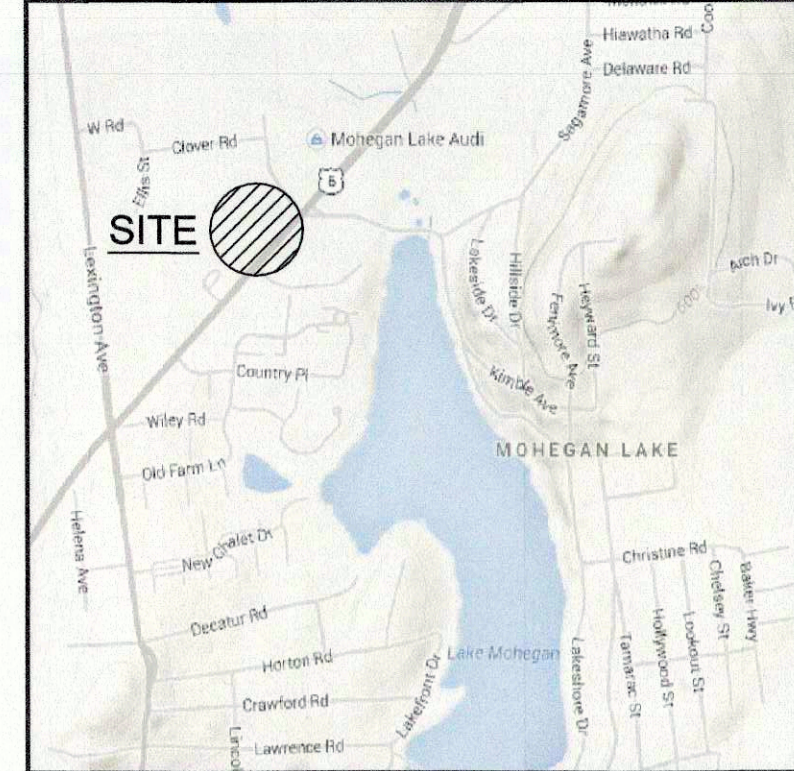
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Robin,

I'm responding to the letter for public hearing for the expansion for 1833-1875 east main st mohegan lake ny. I am the owner of property at 1879-1893 east main st. . My concerns with the expansion is the fact that we have big parking issues already there. The property at 1833 has about 30 parking spots which are consumed by the approximately 20 employees that work at the building. They don't have parking for the customers that come and go ? . The owner (Envirogreen associates) tells the businesses at his location to park on adjoining properties ?. This is not going to happen. I don't want to put up signs and fences. I'm all for Them expanding but let's start with parking to accommodate his current tenants. The property is also very neglected as far as the maintenance and garbage that's behind the building lets start taking care of what's already there.

Thank you  
MEMAC1 LLC  
Wayne staten  
914-804-0077



**SITE DATA:**

OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.  
 11 HAGEMAN CT.  
 KATONAH, N.Y. 10536  
 PROJECT LOCATION: 1851 EAST MAIN STREET  
 MOHEGAN LAKE, N.Y. 10547  
 EXISTING TOWN ZONING: C-3 LIMITED COMMERCIAL - R1-20 RESIDENTIAL  
 PROPOSED USE: RETAIL / COMMERCIAL  
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31  
 SITE AREA: 8.795 ACRES (383,114.7 SF)  
 SEWAGE FACILITIES: PUBLIC SEWERS  
 WATER FACILITIES: PUBLIC WATER FACILITIES

**WETLAND DISTURBANCE:**

	EXISTING		PROPOSED		NET INCREASE		PROPOSED MITIGATION CREATED WETLAND
	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	
WETLAND	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	- 1bd SF
100' WETLAND ADJACENT AREA	61,570 SF	34,920 SF	73,228 SF	65,815 SF	11,658 SF	30,895 SF	

**PARKING SCHEDULE**

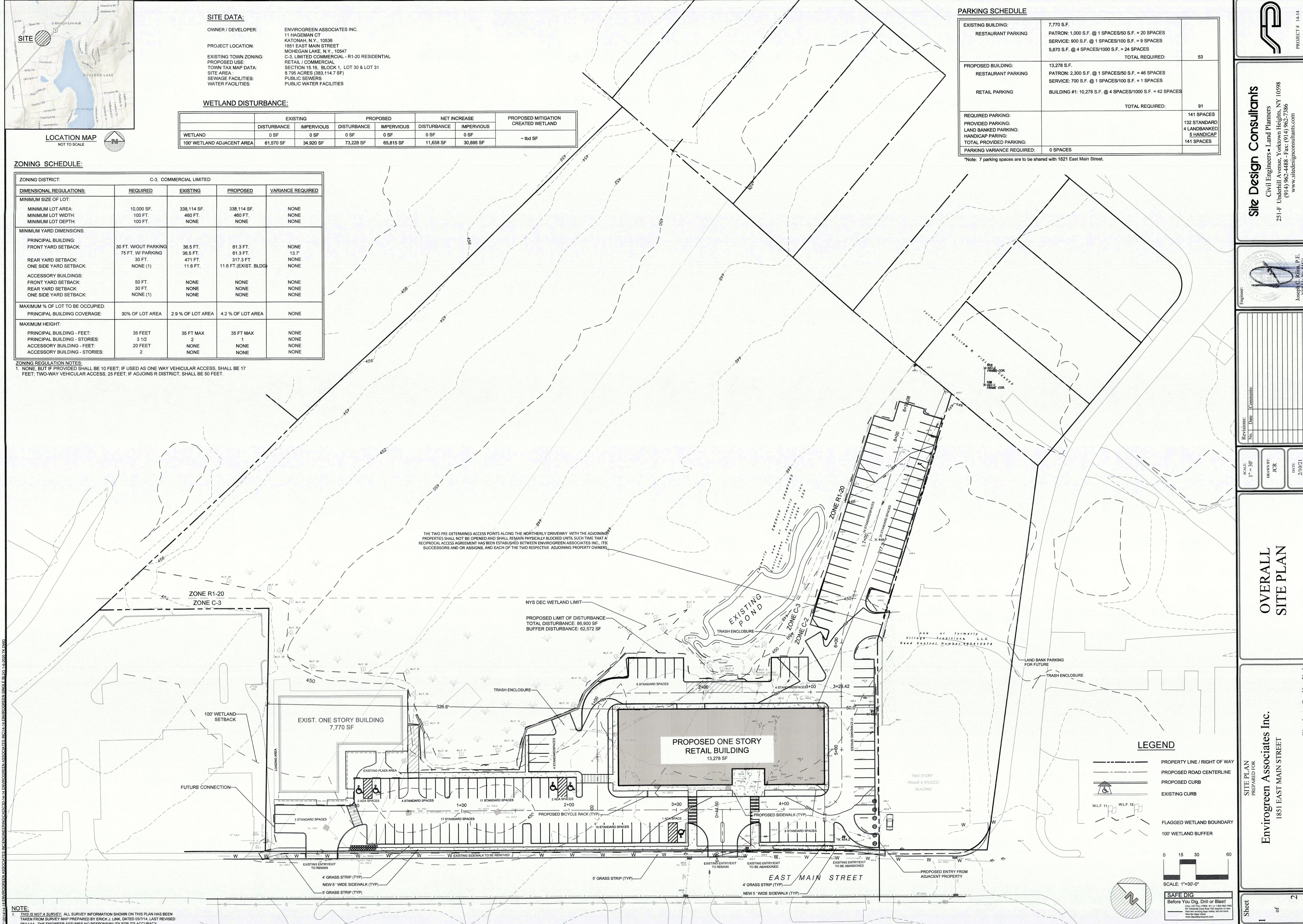
EXISTING BUILDING:	7,770 S.F.	
RESTAURANT PARKING	PATRON: 1,000 S.F. @ 1 SPACES/50 S.F. = 20 SPACES SERVICE: 900 S.F. @ 1 SPACES/100 S.F. = 9 SPACES 5,870 S.F. @ 4 SPACES/1000 S.F. = 24 SPACES	TOTAL REQUIRED: 53
PROPOSED BUILDING:	13,278 S.F.	
RESTAURANT PARKING	PATRON: 2,300 S.F. @ 1 SPACES/50 S.F. = 46 SPACES SERVICE: 700 S.F. @ 1 SPACES/100 S.F. = 7 SPACES	
RETAIL PARKING	BUILDING #1: 10,278 S.F. @ 4 SPACES/1000 S.F. = 42 SPACES	TOTAL REQUIRED: 91
REQUIRED PARKING:		141 SPACES
PROVIDED PARKING:		132 STANDARD 4 LANDBANKED 5 HANDICAP
LAND BANKED PARKING:		141 SPACES
HANDICAP PARKING:		
TOTAL PROVIDED PARKING:		
PARKING VARIANCE REQUIRED:	0 SPACES	

\*Note: 7 parking spaces are to be shared with 1821 East Main Street.

**ZONING SCHEDULE:**

DIMENSIONAL REGULATIONS:	C-3, COMMERCIAL LIMITED			
	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	10,000 SF	338,114 SF	338,114 SF	NONE
MINIMUM LOT WIDTH:	100 FT.	460 FT.	460 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	NONE	NONE	NONE
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:	30 FT. W/O/PARKING	36.5 FT.	61.3 FT.	NONE
FRONT YARD SETBACK:	75 FT. W/PARKING	36.5 FT.	61.3 FT.	13.7'
REAR YARD SETBACK:	30 FT.	471 FT.	317.3 FT.	NONE
ONE SIDE YARD SETBACK:	NONE (1)	11.6 FT.	11.6 FT. (EXIST. BLDG)	NONE
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	50 FT.	NONE	NONE	NONE
REAR YARD SETBACK:	30 FT.	NONE	NONE	NONE
ONE SIDE YARD SETBACK:	NONE (1)	NONE	NONE	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:				
PRINCIPAL BUILDING COVERAGE:	30% OF LOT AREA	2.9 % OF LOT AREA	4.2 % OF LOT AREA	NONE
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	3 1/2	2	1	NONE
ACCESSORY BUILDING - FEET:	20 FEET	NONE	NONE	NONE
ACCESSORY BUILDING - STORIES:	2	NONE	NONE	NONE

ZONING REGULATION NOTES:  
 1. NONE, BUT IF PROVIDED SHALL BE 10 FEET; IF USED AS ONE WAY VEHICULAR ACCESS, SHALL BE 17 FEET; TWO-WAY VEHICULAR ACCESS, 25 FEET; IF ADJOINS R DISTRICT, SHALL BE 50 FEET.



THE TWO PRE-DETERMINED ACCESS POINTS ALONG THE NORTHERLY DRIVEWAY WITH THE ADJOINING PROPERTIES SHALL NOT BE OPENED AND SHALL REMAIN PHYSICALLY BLOCKED UNTIL SUCH TIME THAT A RECIPROCAL ACCESS AGREEMENT HAS BEEN ESTABLISHED BETWEEN ENVIROGREEN ASSOCIATES INC., ITS SUCCESSORS AND OR ASSIGNS, AND EACH OF THE TWO RESPECTIVE ADJOINING PROPERTY OWNERS.

NYS DEC WETLAND LIMIT  
 PROPOSED LIMIT OF DISTURBANCE  
 TOTAL DISTURBANCE: 85,900 SF  
 BUFFER DISTURBANCE: 62,572 SF

**LEGEND**

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- FLAGGED WETLAND BOUNDARY
- 100' WETLAND BUFFER

SCALE: 1"=30'-0"

**SAFE DIG**  
 Before You Dig, Drill or Blast!

**NOTE:**  
 THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERICK J. LINK, DATED 05/11/14, LAST REVISED 06/11/14. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com

**OVERALL SITE PLAN**

Envirogreen Associates Inc.  
 1851 EAST MAIN STREET  
 Yorktown, New York

Sheet 1 of 2



**Invasive Species Monitoring and Control Program**

Japanese barberry, oriental bittersweet, *Phragmites australis* and multiflora rose are all noted as present within and adjacent to the wetlands on the project site. These invasive species favor areas of disturbed soils and edge areas. This plan will implement an invasive species monitoring and manual control program for the duration of construction and development of the project. It has been designed to carry over into the needed maintenance plans that will need to be developed and implemented by the Project Owner.

Those areas of the site that are closest to the existing wetlands and watercourses have been disturbed and re-graded over the years. These are the portions of the site that are known to support invasive species which are altering the character of the wetlands and adjacent areas and represent a long term risk to the native vegetative community. For this project, those areas within 50 feet of the wetland boundary will be assessed and treated per this plan.

By controlling exotic vegetation, and reducing deer populations due to increased human activity on the site, nearby native plants will have less competition and therefore have more resources available for their own growth. An invasive species monitoring and control program will be implemented at the project site as part of the overall development plan. Species targeted for removal include the following:

- Tree-of-heaven (Ailanthus altissima)*
- Multiflora rose (Rosa multiflora)*
- Mugwort (Artemisia vulgaris)*
- Autumn olive (Elaeagnus umbellata)*
- Garlic mustard (Alliaria petiolata)*
- Purple loosestrife (Lythrum salicaria)*
- Common reed (Phragmites australis)*
- Oriental bittersweet (Celastrus orbiculatus)*
- Porcelainberry (Ampelopsis brevipedunculata)*
- Japanese Barberry (Berberis thunbergii)*
- Japanese Stilt Grass (Microstegium vimineum)*
- Winged Euonymus (Euonymus alatus)*

The above listed species and all other invasive non-native plants that are detrimental to the ecology of the project site will be removed during site development to the extent practicable. The goal of this program is to reduce the presence of exotic/invasive species to a threshold of less than ten percent total cover within the areas shown on the Wetland Restoration and Buffer Enhancement Plan (the "Plan"). A qualified biologist/botanist will supervise the removal of invasive species. Invasive species can be removed in several ways, depending on the location and species of the plant:

1. If a shrub is isolated and does not have its root system entwined with other plants, it may be removed mechanically. As much of the root system as possible should be removed to prevent the possibility of the invasive plant sprouting from root pieces left behind.
2. If a shrub is growing amongst other native plants in a way that uprooting it may disturb surrounding native plants warranting preservation, the plant may be most safely and effectively removed by chemical means. To remove by chemical means, the plant shall first be cut back to a few stubs and stumps, about twelve inches from the base. An EPA approved solution of glyphosate (Round-up or equivalent) shall be painted on the ends of the stumps. This technique shall be applied in the early fall months before the onset of plant dormancy. Proper notification must be made prior to the application of all restricted pesticides, and application made by a licensed applicator, if required. During project construction, glyphosate will only be applied by a licensed herbicide applicator, as coordinated with the Environmental Site Monitor. Only hand-cutting and removal will be allowed within the Wetland Controlled Area.
3. Highly invasive groundcovers, such as Japanese honeysuckle, are difficult to eliminate due to their habit of rooting along the stem. Groundcovers of this type will be removed by hand or mechanically. If after the second year of treatment the species persists, it may be sprayed with glyphosate, using a very close and targeted application during the active growing season. If the plant is growing among other herbaceous or shrub material that would be harmed by spraying, the glyphosate shall be applied by brush or mechanical removal should be considered. Repeated treatments may be necessary to remove the plant completely.
4. Highly invasive annuals, such as garlic mustard, are difficult to eliminate due to their growth from seed that is widespread among the soil seed bank where the plants are found. Several methods may be utilized in removing this type of invasive plants. If the species is growing densely without other plants, the area will be sprayed with glyphosate during the active growing season, following the manufacturer's recommendations. Species will also be removed by hand. Both methods should be performed before plants set seed. Both methods shall be performed multiple times over a season and possibly over several seasons to completely eradicate the target species.

**Monitoring and Maintenance Schedule**

Following development of the site, a maintenance plan will include the regular inspection of undisturbed areas as shown on the Plan, and removal of these species as necessary. This represents the transitional areas that are most susceptible to opportunistic settling of invasive species. It is anticipated that a schedule of inspections three times a year for the first three years following full project build out (early, mid and late growing season) will be adequate for the identification and removal of the invasive species in this area.

The Town Building Inspector and Wetlands Inspector will be consulted prior to the proposed removal of invasive species within the controlled area. In addition, all activities related to invasive species control, monitoring and assessment of achievement of the 10 percent tolerance threshold for coverage by all invasive species on the project site will be coordinated with the Environmental Site Monitor. These inspections will include the mapping and identification of locations and extent of cover of invasive species, and identify the methods to be used for the subsequent removal. Following treatment, a brief report outlining extent, location and removal method for each species shall be prepared and filed with the Town Planning Office.

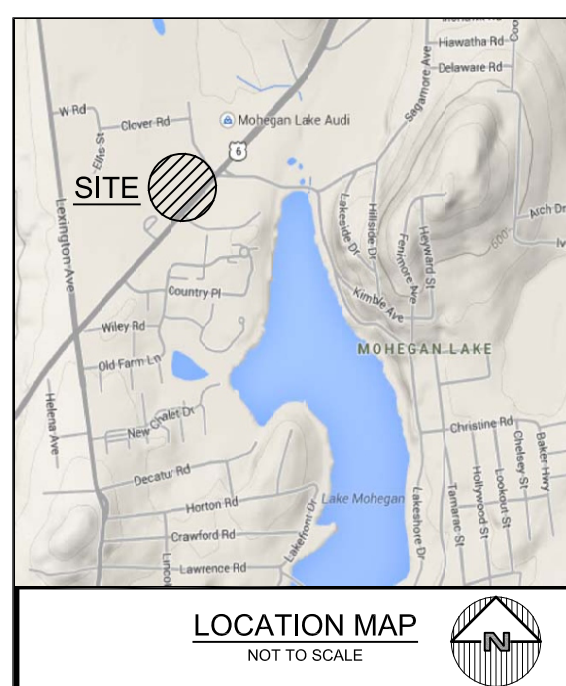
Mag Symbol	Quantity*	Scientific Name	Common Name	Size
<b>Trees</b>				
Aru	13	Acer rubrum	Red Maple	5' - 6'
<b>Shrubs</b>				
CSe	44	Cornus sericea	Redtiller dogwood	3' - 4'
AC	6	Amelanchier canadensis	Shadblow	4' - 5'
IV	21	Ilex verticillata	Winterberry holly	3' - 4'
VC	7	Vaccinium corymbosum	Highbush blueberry	4' - 5'
VD	21	Viburnum dentatum	Arowood	4' - 5'
<b>Herbaceous Plants</b>				
CS	100	Carex stricta	Tussock sedge	2" plug
CC	100	Carex crinita	Fringed sedge	2" plug
JE	100	Juncus effusus	Soft rush	2" plug
<b>Seed Mix</b>				
	8 pounds	Riparian Buffer Mx ERNMx-154		
	8 pounds	Or equivalent		

\* Plant quantities will be held, but final locations will be determined in the field following removal of invasive and dead plant materials.

**Wetland Buffer Enhancement Areas**

Following the removal of non-native invasive species as specified in the invasive species eradication plan, wetland and buffer areas will be seeded using the following seed mixes:

Buffer Areas - Riparian Buffer Mx (ERNMx-154 or equivalent) at 20 lbs/acre.

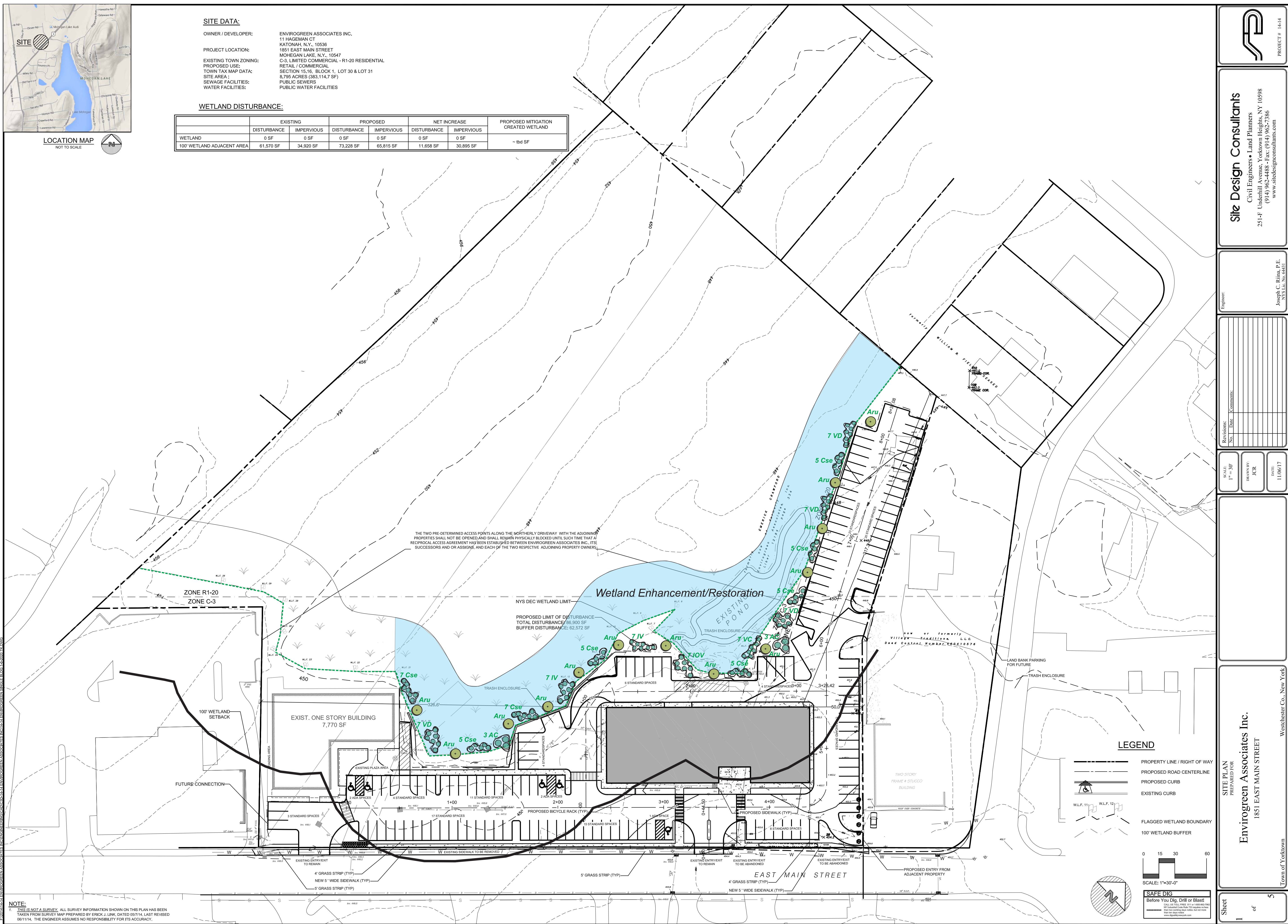


**SITE DATA:**

OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.  
 11 HAGEMAN CT  
 KATONAH, N.Y. 10536  
 180 EAST MAIN STREET  
 MOHESGAN LANE, N.Y. 10547  
 PROJECT LOCATION:  
 EXISTING TOWN ZONING: C-3 LIMITED COMMERCIAL - R1-20 RESIDENTIAL  
 PROPOSED USE: RETAIL / COMMERCIAL  
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31  
 SITE AREA: 8.795 ACRES (383,114.7 SF)  
 SEWAGE FACILITIES: PUBLIC SEWERS  
 WATER FACILITIES: PUBLIC WATER FACILITIES

**WETLAND DISTURBANCE:**

WETLAND	EXISTING		PROPOSED		NET INCREASE		PROPOSED MITIGATION CREATED WETLAND
	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	
100' WETLAND ADJACENT AREA	61,570 SF	34,920 SF	73,228 SF	66,818 SF	11,658 SF	30,899 SF	- 541 SF



NOTE:  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERICK J. LUK, DATED 05/14, LAST REVISED 06/11/16. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.  
 2. UNLESS INDICATED OTHERWISE ON THIS DRAWING IS A VIOLATION OF SECTION 2209(2)(3) OF THE NEW YORK STATE EDUCATION LAW.

**Site Design Consultants**  
 Civil Engineers & Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 Tel: 914.941.1100  
 www.sitedesignconsultants.com

PROJECT # 1614

ENVIROGREEN ASSOCIATES INC.  
 11 HAGEMAN CT  
 KATONAH, NY 10536

DATE: 11/06/17

PREPARED FOR:  
 ENVIROGREEN ASSOCIATES INC.  
 1851 EAST MAIN STREET  
 YORKTOWN, NY 10598

Sheet 1 of 5



Wetland Enhancement/Restoration Area  
 Envirogreen Associates  
 Town of Yorktown, Westchester County  
 Source: Site Design Consultants

# TOWN OF YORKTOWN PLANNING BOARD

RECEIVED  
PLANNING DEPARTMENT  
JUL 30 2015  
TOWN OF YORKTOWN

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565 Fax (914) 962-3986

## APPLICATION FOR SITE PLAN APPROVAL

Date July 28, 2015

1. Name of Project: Envirogreen Associates Inc.

2. Tax Map Designation (Section, Block, Lot) Section 15.16 Block 1 Lot 30

3. Zone: C-3 and R-120 Total Acreage: 6.902

4. Is a statement of easements relating to property attached?  Yes  None exist

5. Project narrative (brief description of proposed development):

It is proposed to re-develop the referenced property removing 2 existing buildings and parking area, and construct a new 6,000 and 10,000 SF retail buildings with associated parking, and through road connection to adjoining properties.

6. Contact Person - CHOOSE ONLY ONE:

- |                                    |  |                                    |  |
|------------------------------------|--|------------------------------------|--|
| <input type="checkbox"/> Applicant | <input type="checkbox"/> Owner               | <input type="checkbox"/> Architect | <input type="checkbox"/> Wetland Scientist   |
| <input type="checkbox"/> Attorney  | <input checked="" type="checkbox"/> Engineer | <input type="checkbox"/> Surveyor  | <input type="checkbox"/> Landscape Architect |

7. Applicant

Name Richard Cipriani  
Firm Envirogreen Associates, Inc.  
Address 11 Hageman Court, Katonah, NY 10536  
Phone 914-469-8706  
Fax \_\_\_\_\_  
Email rcipriani@optonline.com

8. Owner of Record

Name Same as Applicant  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**9. Attorney**

Name Albert A. Capellini, Esq.  
Firm \_\_\_\_\_  
Address 1767 Front Street, Yorktown Heights, NY 10598  
Phone 914-962-3311  
Fax \_\_\_\_\_  
Email aacapellini@aol.com

**10. Engineer**

Name Joseph C. Riina, P.E.  
Firm Site Design Consultants  
Address 251-F Underhill Avenue, Yorktown Heights, NY 10598  
Phone 914-962-4488  
Fax 914-962-7386  
Email jriina@sitedesignconsultants.com  
Lic. No. 64431

**11. Surveyor**

Name Erik J. Link  
Firm Link Land Surveyors P.C.  
Address 21 Clark Place, Suite 1B, Mahopac, NY 10541  
Phone 845-628-5857  
Fax 845-621-0013  
Email elink@linklandsurveyors.com  
Lic. No. 050542

**12. Architect**

Name TBD  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

**13. Wetland Scientist/Specialist**

Name Steve Marino  
Firm Tim Miller Associates Inc.  
Address 10 North Street, Cold Spring, NY 10515  
Phone 845-265-4400  
Fax 845-265-4418  
Email smarino@timmillerassociates.com

**14. Landscape Architect**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

15. Is this project within 500 feet of the Town line?  Yes  No  
16. Is this project within 500 feet of the Putnam County line?  Yes  No  
17. Is this project within the Sustainable Development Study Area?  Yes  No

**18. Is this project within 500 feet of:**

- The right-of-way of any existing or proposed state or county road?  Yes  No  
The boundary of an existing or proposed state or county park or any state or county recreation area?  Yes  No  
The boundary of state or county-owned land on which a public building/ institution is located?  Yes  No  
An existing or proposed county drainage line?  Yes  No  
The boundary of a farm located in an agricultural district?  Yes  No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination.  Yes  No

**20. This project requires the following permits or approvals from the Town of Yorktown:**

- Wetland Permit  
 Stormwater Permit  
 Tree Permit  
 Planning Board special permit: \_\_\_\_\_  
 Town Board variance or approval: \_\_\_\_\_  
 Zoning Board of Appeals variance or special permit: Setback variance

21. This project requires the following permits or approvals from other outside agencies:

Westchester County Board of Health

NYC DEP

NYS DEC

Other: NYS DOT

22. This parcel is in the following districts:

School District	<u>Lakeland</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Lake Mohegan</u>	Sewer District	<u>WC Sanitary Sewer</u>

A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

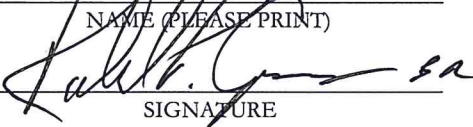
The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

-----

**Applicant**  
 Richard Cipriani  
 \_\_\_\_\_  
 NAME (PLEASE PRINT)  
  
 \_\_\_\_\_  
 SIGNATURE  
 \_\_\_\_\_  
 DATE

**Owner of Record**  
 \_\_\_\_\_  
 NAME (PLEASE PRINT)  
  
 \_\_\_\_\_  
 SIGNATURE  
 \_\_\_\_\_  
 DATE

**Note:** If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

**Note:** By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

**REFER TO AFFIDAVITS ON THE FOLLOWING PAGES**

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

\_\_\_\_\_, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

Richard C. Piriani, being duly sworn, deposes and says that he resides at 11 Hageman Ct in the County of Westchester and State of NY. That he is the KA DNAAH President of ENVIRONMENTAL ASSOC INC the corporation which is owner in fee of the property described in the foregoing application for SITE PLAN APPROVAL and that the statements contained therein are true to the best of his knowledge and belief.

\_\_\_\_\_  
Richard C. Piriani SR.

Sworn before me this 29th date of July, 2015  
Catherine M. Mills  
Notary Public

CATHERINE M. MILLS  
Notary Public, State of New York  
No. 5002516  
Qualified in Westchester County  
Commission Expires 6/5/2018

\*\*\*\*\*

**AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER**

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

\_\_\_\_\_, being duly sworn, deposes and says that he is the agent named in the foregoing application for \_\_\_\_\_ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

\_\_\_\_\_

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20 \_\_

\_\_\_\_\_

Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd  
Last updated: December 2011

State Environmental Quality Review  
**NEGATIVE DECLARATION**  
Notice of Determination of Non-Significance

Project Number \_\_\_\_\_

Date: \_\_\_\_\_

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The \_\_\_\_\_ as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

**Name of Action:** 

**SEQR Status:**      Type 1      **G**  
                             Unlisted      **G**

**Conditioned Negative Declaration:**      **G** Yes  
   **G** No

**Description of Action:**

**Location:** (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)



**Reasons Supporting This Determination:**

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

**If Conditioned Negative Declaration**, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

**For Further Information:**

Contact Person:

Address:

Telephone Number:

**For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:**

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

*Full Environmental Assessment Form  
Part 1 - Project and Setting*

RECEIVED  
PLANNING DEPARTMENT

NOV 15 2017

TOWN OF YORKTOWN

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: 1851 E Main St		
Project Location (describe, and attach a general location map): The project is located near the intersection of East Main street (US RT. 6) and Lakeland Street, on the north side of East Main Street.		
Brief Description of Proposed Action (include purpose or need): It is proposed to construct two 1 story commercial buildings with a total of 16,000 sf of space. In order to construct the project two existing structures will be removed. The parking area will be reconstructed to accommodate 141 parking spaces. Some of the square footage will be dedicated to a restaurant and the remainder will be retail space. The site will have access through east main street and a new proposed driveway will be replacing two existing driveways and curb cuts, as well as connection to the parking lot in the adjacent lot. This will allow for access to Lakeland Street. Project will have landscape features as well as pedestrian connection and outdoor public space. The site will require filling 0.27 acres of NYSDEC wetland and the creation of 0.32 acres of new wetland.		
Name of Applicant/Sponsor: Site Design Consultants	Telephone: 914 962 4488	E-Mail: jriina@siedesignconsultants.com
Address: 251-F Underhill Avenue		
City/PO: Yorktown Heights	State: New York	Zip Code: 10598
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
C-3 Limited Commercial, R1-20 Residential

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Lakeland School District

b. What police or other public protection forces serve the project site?  
Yorktown Police Department

c. Which fire protection and emergency medical services serve the project site?  
Mohegan Fire Department

d. What parks serve the project site?  
Mohegan Highlands Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 6.9 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 1.81 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 6.9 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 30 increase Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_ 3
- Anticipated commencement date of phase I (including demolition) \_\_\_\_\_ 4 month 2018 year
- Anticipated completion date of final phase \_\_\_\_\_ 8 month 2018 year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:  
The proposed action would fill and develop area's of existing wetland with impervious cover and some landscaping. The total area effected will be 0.26 ac

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: The proposed action will require removing some organic cover material

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:  
• acres of aquatic vegetation proposed to be removed: 0.26 acres  
• expected acreage of aquatic vegetation remaining after project completion: unknown at this time  
• purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):  
The vegetation will be removed to construct the project improvements.  
• proposed method of plant removal: excavation  
• if chemical/herbicide treatment will be used, specify product(s): none

v. Describe any proposed reclamation/mitigation following disturbance:  
An upland area at the north end of the site is proposed to be used as mitigation area for the creation of wetlands.

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: 1600 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Yorktown Consolidated Water District #1
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project:
- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district:
- Date application submitted or anticipated:
- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project:

vi. If water supply will be from wells (public or private), maximum pumping capacity: gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: 1600 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):  
Sanitary Wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: Westchester County WWTP Peekskill
- Name of district: Peekskill Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
(See Traffic Study Prepared by Maser Consulting)

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:  
The proposed improvements will allow for access to the adjacent lots through the parking lot. Additionally, one of the existing access drives will be relocated along rt 6.

---

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
The estimated annual electricity demand is estimated to be approximately 48,000 watts a year.

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Local Utility- Con Edison

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

i. During Construction:		ii. During Operations:	
• Monday - Friday:	<u>7 am to 5 pm</u>	• Monday - Friday:	<u>all day</u>
• Saturday:	<u>8 am to 5 pm</u>	• Saturday:	<u>all day</u>
• Sunday:	<u>none</u>	• Sunday:	<u>all day</u>
• Holidays:	<u>none</u>	• Holidays:	<u>all day</u>

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.80	1.34	0.54
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)	5.05	5.11	- 0.06
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
\_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ > 6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Ridgebury Loam	_____	50.2 %
Urban land-Woodbridge complex	_____	19.8 %
Woodbridge loam	_____	15.5 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 2 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: 49.8 % of site  
 Poorly Drained: 50.2 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
If Yes, describe: \_\_\_\_\_  
\_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name NYS Wetland Approximate Size NYS Wetland (in a...)
- Wetland No. (if regulated by DEC) A-28

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
\_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
If Yes:

i. Name of aquifer: Principal Aquifer \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
***	
If Yes:	
i. Nature of historic/archaeological resource: <input checked="" type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
ii. Name: _____	
iii. Brief description of attributes on which listing is based: _____	
Not at this location - does not include this site. ***	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
***	
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe possible resource(s): _____	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify resource: _____	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
iii. Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Identify the name of the river and its designation: _____	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Joseph C. Rina, P.E. / Site Design Consultants    Date 11-14-17

Signature     Title Project Engineer

**PRINT FORM**



E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

# **Correia Site Plan**

# Site Design Consultants

Civil Engineers • Land Planners

March 10, 2021

Robyn Steinberg, AICP  
Town Planner  
Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

RECEIVED  
PLANNING DEPARTMENT

MAR 10 2021

TOWN OF YORKTOWN

Re: Correia Enterprises LLC  
Carlos and Laurinda Correia  
250 East Main Street – Jefferson Valley

Dear Robyn:

Enclosed please find the following items being submitted for distribution and review at the Planning Board Meeting of March 22, 2021:

- Three copies of the SWPPP Prepared for Correia Enterprises LLC, dated March 2021;
- Five set of site plans titled "Site Plan Prepared for Correia Enterprises, LLC," Title Sheet and Sheets 1-7 of 7, dated 1/23/20, last revised 3/6/21;

A digital copy will be sent for your files. If you have any questions or need additional information, please contact us. Thank you.

Yours Truly,

  
Joseph C. Riina, P.E.

Cc: Town Engineer  
Building Department  
Water Department  
E. Lachterman  
Correia Enterprises

JCR / cm / Enc. / sdc 01-23



RECEIVED  
PLANNING DEPARTMENT

MAR 22 2021

TOWN OF YORKTOWN

Diane Dreier Co-Chair  
Phyllis Bock Co-Chair

Matthew Slater  
Town Supervisor

**TOWN OF YORKTOWN  
CONSERVATION BOARD**

---

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

---

**MEMORANDUM**

**To: Planning Board**

**From: Conservation Board**

**Date: March 18, 2021**

**Re: Correia 250 East Main Street**

---

The Conservation Board at its March 17<sup>th</sup> 2021 meeting discussed 250 East Main Street regarding a zoning and site plan amendment with Joe Riina of Site Designs. The Conservation Board has the following comments:

- The Conservation Board last reviewed this application on 2/5/2020 and submitted a memo. The recommendations in that memo still apply.
- The Applicant indicates that 43 trees will be removed where the buildings are to be sited. A tree mitigation plan should be submitted.

Respectfully submitted

*Phyllis Bock*

For the Conservation Board

CC: Planning Board  
Town Board  
Dan Ciarcia / Sharon Robinson, Town Engineers  
Diana Quast, Town Clerk  
Applicant

George Latimer  
County Executive

RECEIVED  
PLANNING DEPARTMENT

March 17, 2021

MAR 17 2021

Robyn A. Steinberg, Town Planner  
Town of Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

TOWN OF YORKTOWN

Dear Ms. Steinberg:

Thank you for the notification concerning the following proposed action:

Project Name/File Number: **Correia Enterprises, LLC — YTN 21-002**

Action: **Site Plan**

Location: **250 East Main Street, Jefferson Valley**

We have no objection to the Yorktown Planning Board assuming Lead Agency status for this review.

We have reviewed this matter under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and find the site plan to be a matter for local determination in accordance with your community's planning and zoning policies.

Please inform us of the Town's decision so that we can make it a part of the record.

Thank you for calling this matter to our attention.

Respectfully,  
WESTCHESTER COUNTY PLANNING BOARD

By:



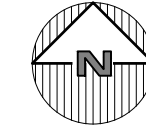
Norma V. Drummond  
Commissioner

NVD/LH

# Correia Enterprises, LLC.



LOCATION MAP  
NOT TO SCALE



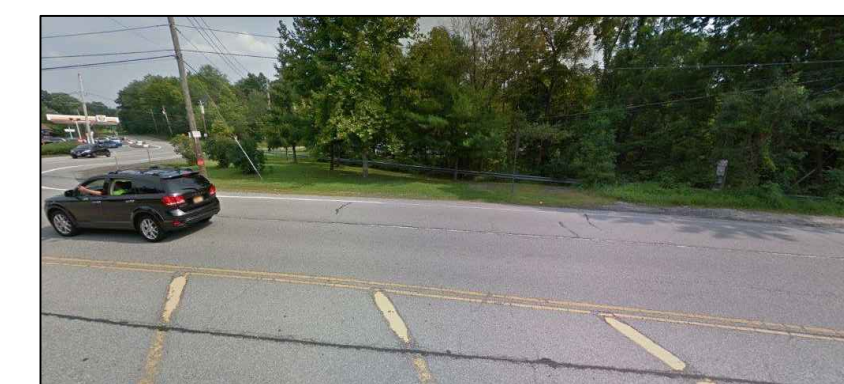
ENTRANCE VIEW ON MAHOPAC ROAD



NORTH VIEW



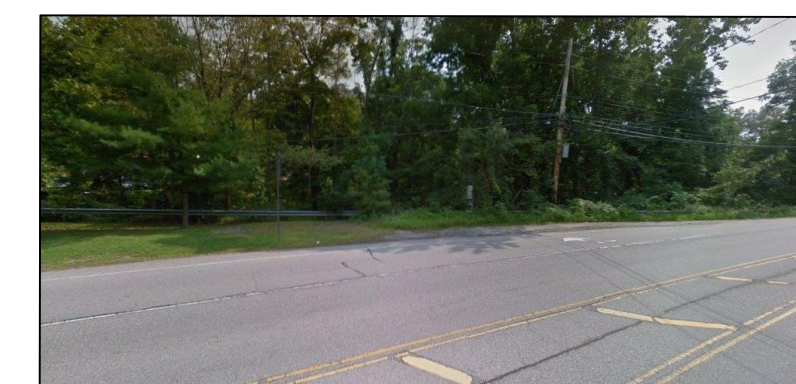
ENTRANCE VIEW ON MAHOPAC ROAD



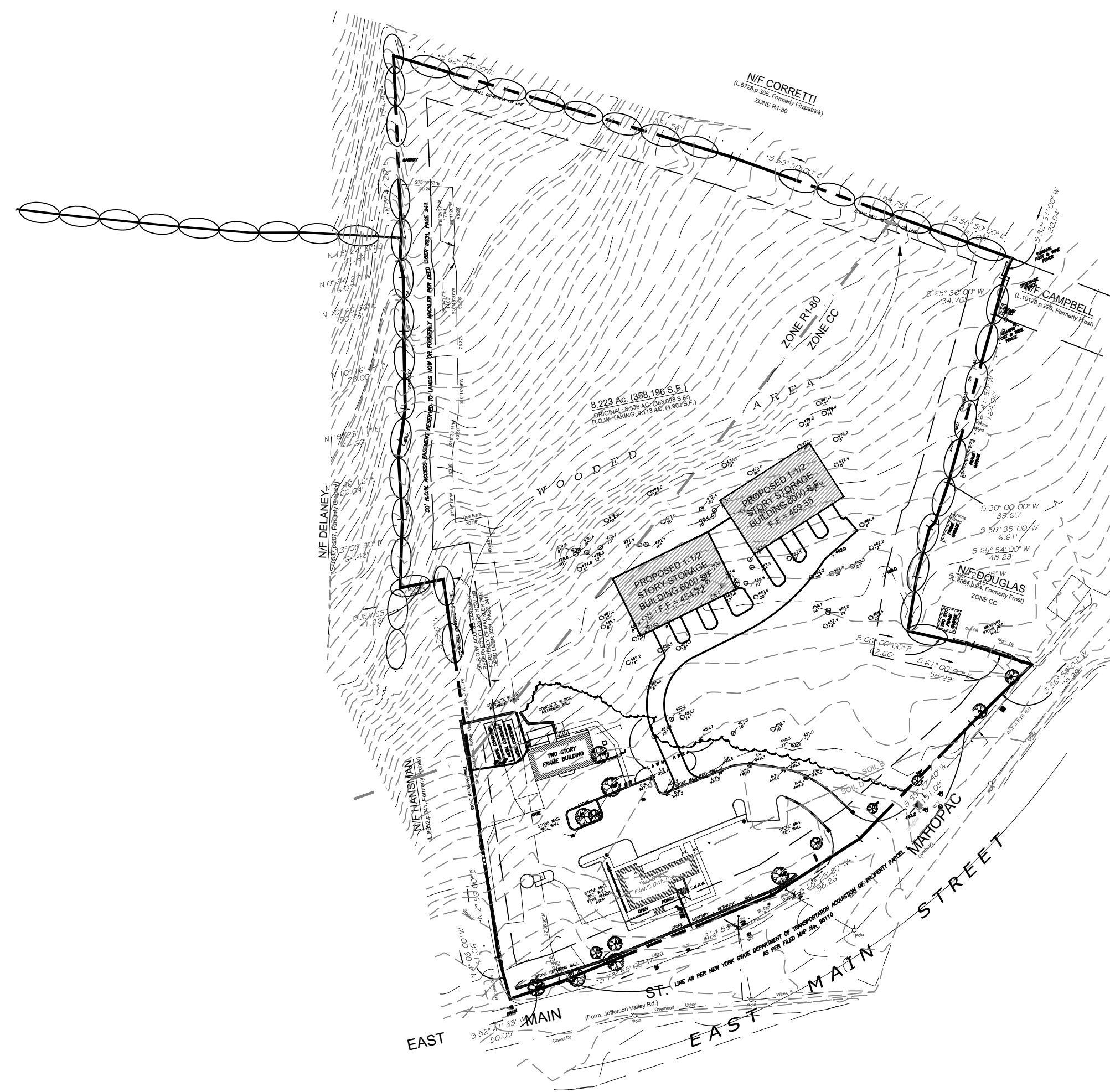
PROPERTY ADJACENT VIEW



ENTRANCE VIEW ON MAHOPAC ROAD



ENTRANCE VIEW ON MAHOPAC ROAD



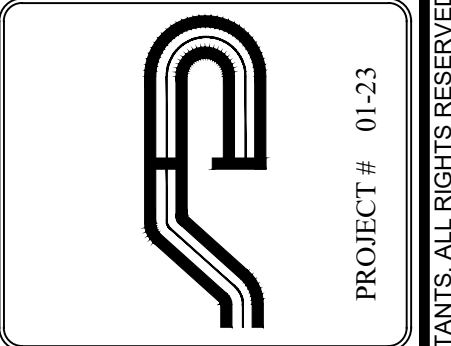
**SITE DATA:**

OWNER / DEVELOPER: CARLOS & LAURINDA CORREIA  
 250 EAST MAIN STREET  
 TOWN OF YORKTOWN, NY, 10535

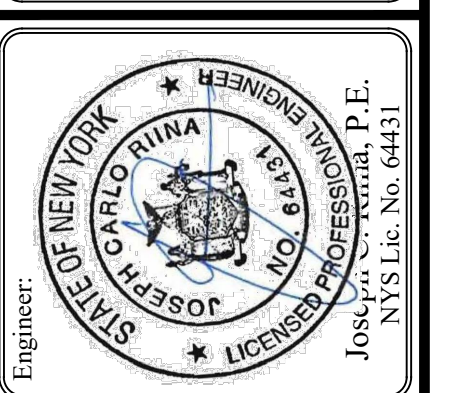
PROJECT LOCATION: 250 EAST MAIN STREET  
 TOWN OF YORKTOWN, NY, 10535

EXISTING TOWN ZONING: R1-80, CC  
 PROPOSED USE: CLASS. DESCRIPTION  
 TOWN TAX MAP DATA: SECTION 6.17, BLOCK 2, LOT 65  
 SITE AREA: 8.223 ACRES (358,196 SF)  
 SEWAGE FACILITIES: SUBSURFACE SEWAGE DISPOSAL  
 WATER FACILITIES: PUBLIC WATER FACILITIES

BULK & DIMENSIONAL REGULATIONS:		
COUNTRY COMMERCIAL	REQUIRED	PROPOSED
MINIMUM LOT AREA:	None	358,196 S.F.
MAXIMUM ALLOWABLE DENSITY:	For dwelling units: 1/15,000 sq. ft. of lot area = 57.2 units For commercial or mixed use structures: 0.20 F.A.R. F.A.R. = 20 x 358,196 F.A.R. = 71,639 S.F.	None Exist: 8,440 S.F. + Prop. 12,000 S.F. = 20,440 S.F. F.A.R. = 0.057
MAXIMUM BUILDING HEIGHT:	Two stories /or 35 feet	1.5 stories /or 30 feet
MAXIMUM BUILDING COVERAGE: (Principal and Accessory Building)	30% of lot area	4.53 % of lot area
LENGTH OF BUILDING:	No building shall be greater than 100 feet in length. For every 40 feet of building facade facing a public street the building facade shall be modulated such that the building is stepped back or extended forward.	100 Feet
BUILDING SETBACKS:		
FRONT YARD:	30'	250 FT.
REAR YARD:	30'	228 FT.
SIDE YARD:	15' except 20' when adjacent to a residential district.	85 FT.



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-J Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com

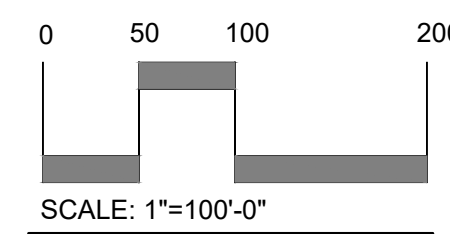
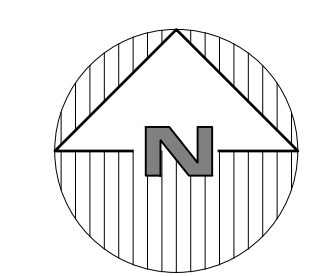


Revisions:	No.	Date	Comments:
	1	3-06-21	Plan Updates

SCALE: AS NOTED  
 DRAWN BY: RMS  
 DATE: 1/23/20

**TITLE SHEET**

SITE PLAN PREPARED FOR  
**Correia Enterprises, LLC.**  
 250 EAST MAIN STREET - JEFFERSON VALLEY  
 Town of Yorktown Westchester County, New York



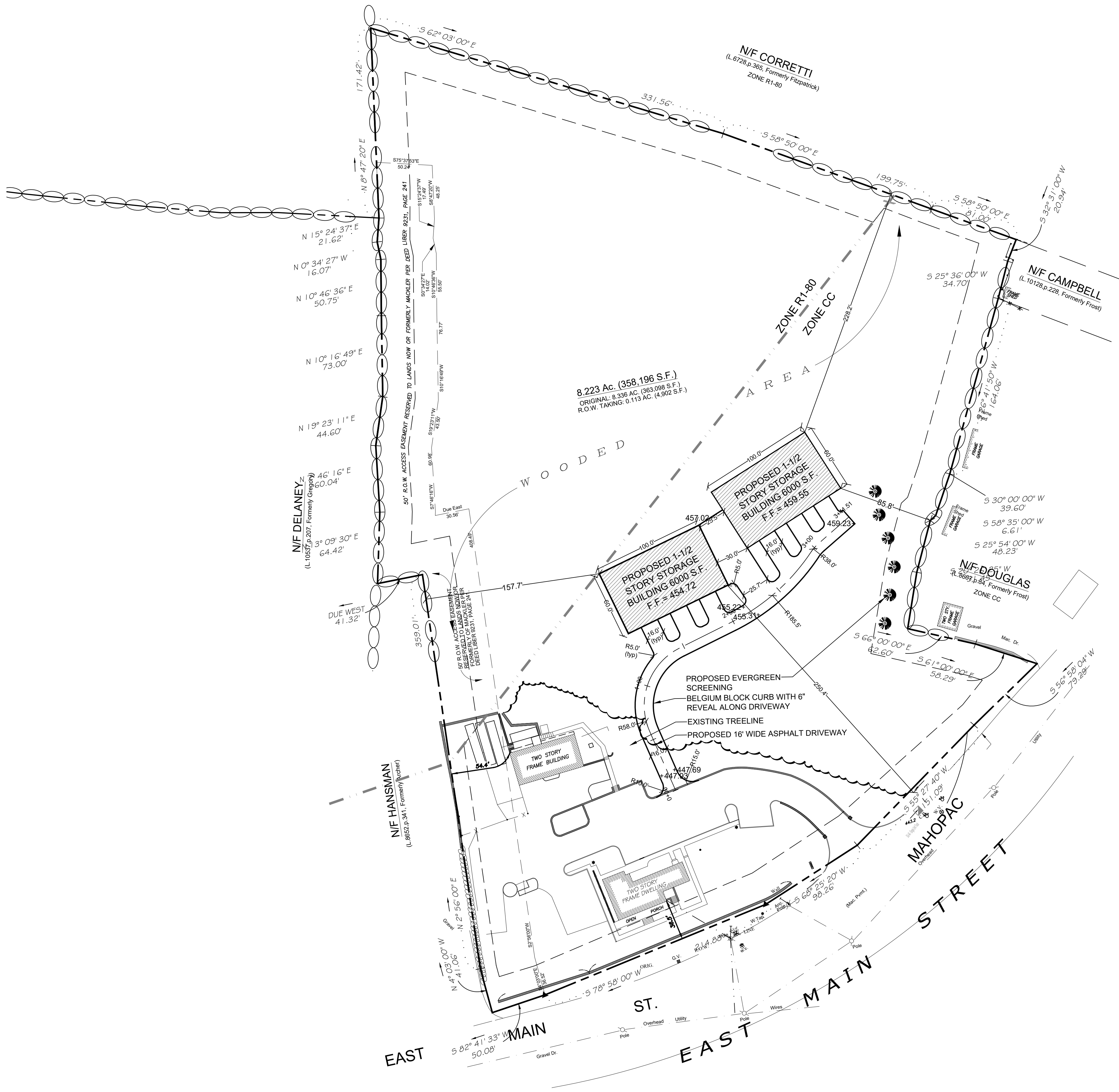
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**SAFE DIG**  
 Before You Dig, Drill or Blast!  
 Call 811

E:\2020\10-23-CORREIA\DWG\23-CORREIA-SITE-PLAN-250-EAST-MAIN-ST-10-23-20.dwg

**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY LINK LAND SURVEYORS, DATED JANUARY 20, 2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.

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8.223 Ac. (358,196 S.F.)  
 ORIGINAL: 8.336 AC. (363,996 S.F.)  
 R.O.W. TAKING: 0.113 AC. (4,902 S.F.)

PROPOSED EVERGREEN SCREENING  
 BELGIUM BLOCK CURB WITH 6" REVEAL ALONG DRIVEWAY  
 EXISTING TREELINE  
 PROPOSED 16' WIDE ASPHALT DRIVEWAY

PROPOSED 1-1/2 STORY STORAGE BUILDING  
 F.F. = 454.72

PROPOSED 1-1/2 STORY STORAGE BUILDING  
 F.F. = 459.55

N/F HANSMAN  
 (L. 8892, p. 391, Formerly Vanden)

N/F CORRETTI  
 (L. 6728, p. 305, Formerly Fitzpatrick)  
 ZONE R1-80

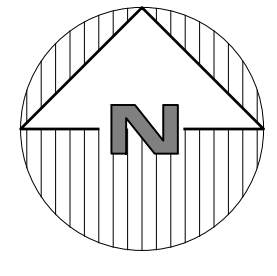
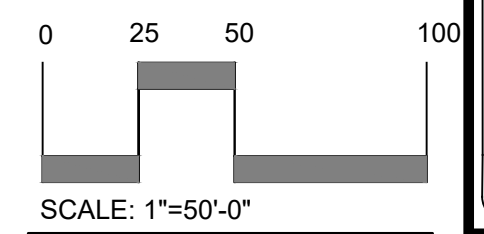
N/F CAMPBELL  
 (L. 10128, p. 228, Formerly Frost)

N/F DOUGLAS  
 (L. 8693, p. 84, Formerly Frost)  
 ZONE CC

N/F DELANEY  
 (L. 10272, p. 207, Formerly Gregory)

**LEGEND**

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- PROPOSED BUILDING AND DRIVE



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 www.diganyway.com

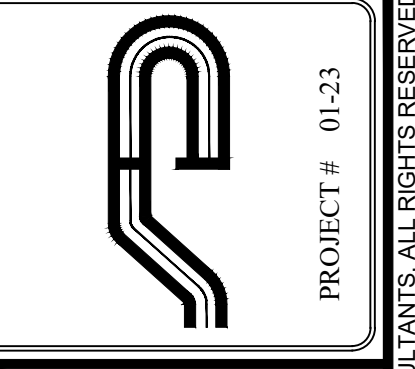
Revisions:	No.	Date	Comments:
	1	3-06-21	Plan Updates

SCALE:	1" = 50'
DRAWN BY:	RMS
DATE:	1/23/20

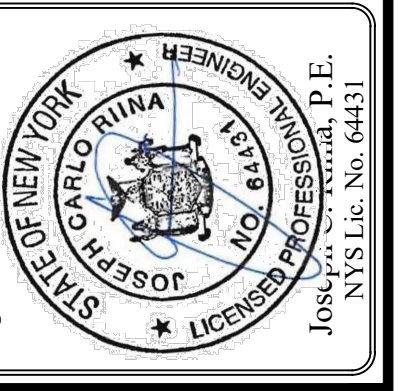
**CONCEPTUAL SITE PLAN**

**SITE PLAN PREPARED FOR**  
**Correia Enterprises, LLC.**  
 250 EAST MAIN STREET - JEFFERSON VALLEY  
 Town of Yorktown Westchester County, New York

Sheet **1** of **7**



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 Civil Engineers • Land Planners  
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 www.sitedesignconsultants.com



Revisions:	No.	Date	Comments:
	1	3-06-21	Plan Updates

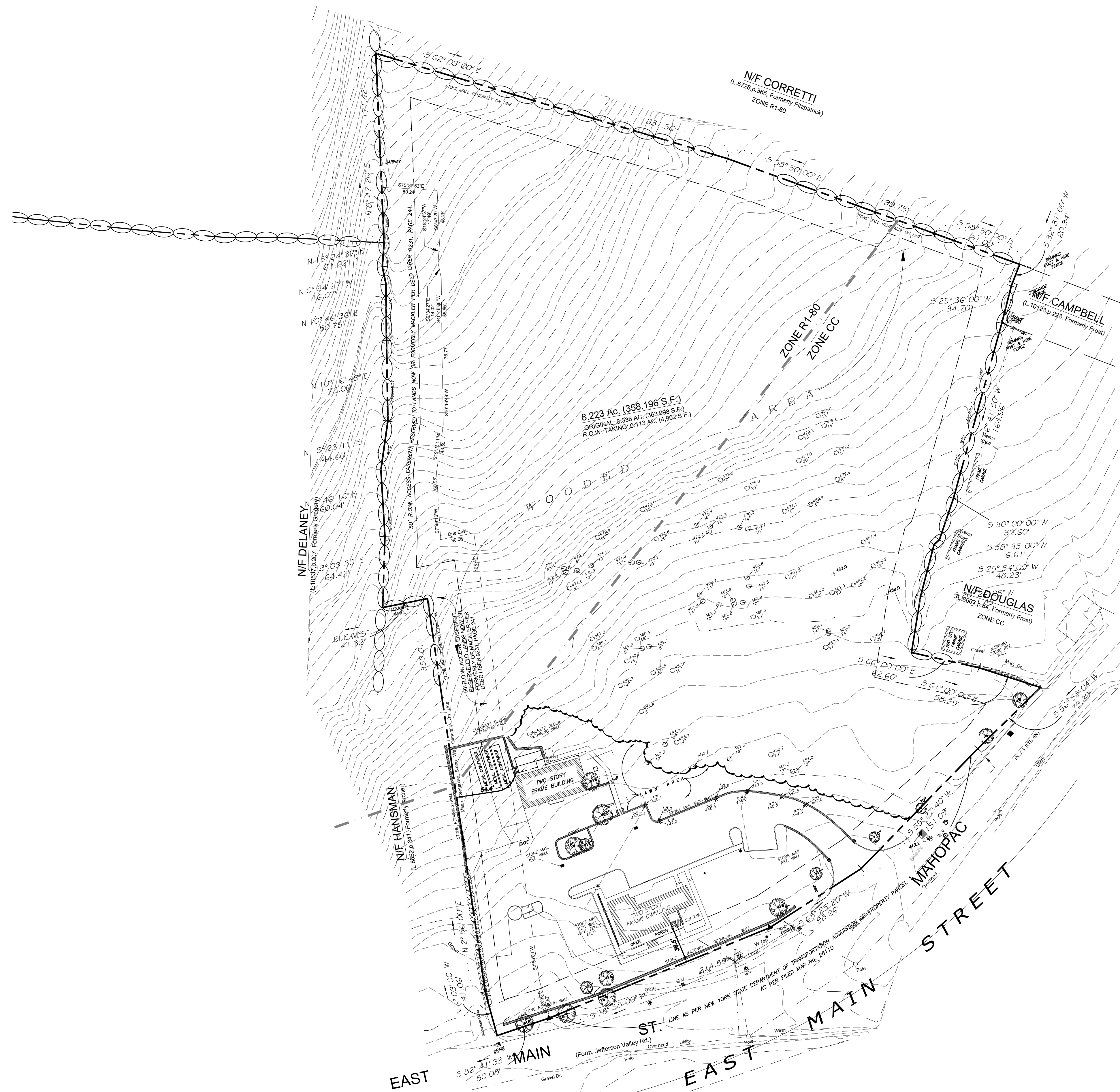
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DRAWN BY:	RMS
DATE:	1/23/20

**CONCEPTUAL SITE PLAN**

**SITE PLAN PREPARED FOR**  
**Correia Enterprises, LLC.**  
 250 EAST MAIN STREET - JEFFERSON VALLEY  
 Town of Yorktown Westchester County, New York

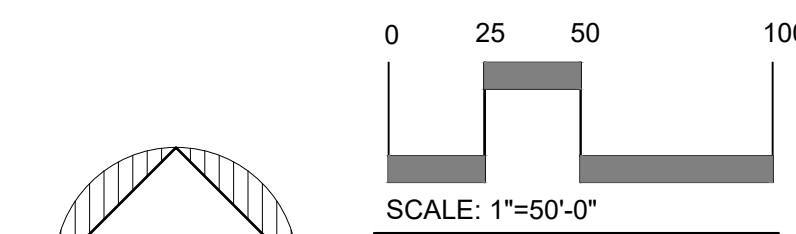
Sheet **1** of **7**

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 NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(f) OF THE NEW YORK STATE EDUCATION LAW.



**LEGEND**

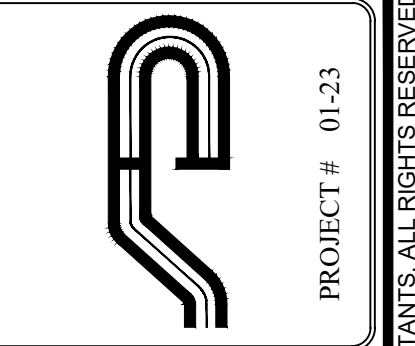
--- 222	EXISTING GRADING
x 222.8	EXISTING SPOT GRADE
---	PROPERTY LINE / RIGHT OF WAY
- - - - -	EDGE OF WETLAND
- - - - -	100' WETLAND BUFFER
W	EXISTING WATER LINE
— [ ] —	EXISTING DRAINAGE INLET
— (S) —	EXISTING SANITARY LINE



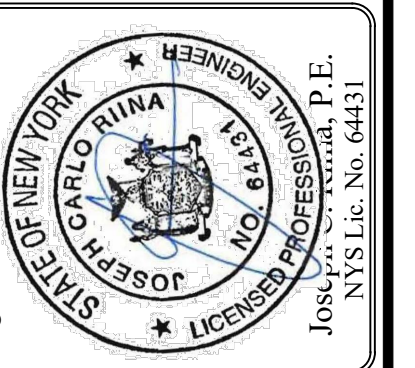
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**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY LINK LAND SURVEYORS, DATED JANUARY 20, 2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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Revisions:	No.	Date	Comments:
	1	3-06-21	Plan Updates

SCALE: 1" = 50'  
 DRAWN BY: RMS  
 DATE: 1/23/20

**EXISTING CONDITIONS PLAN**

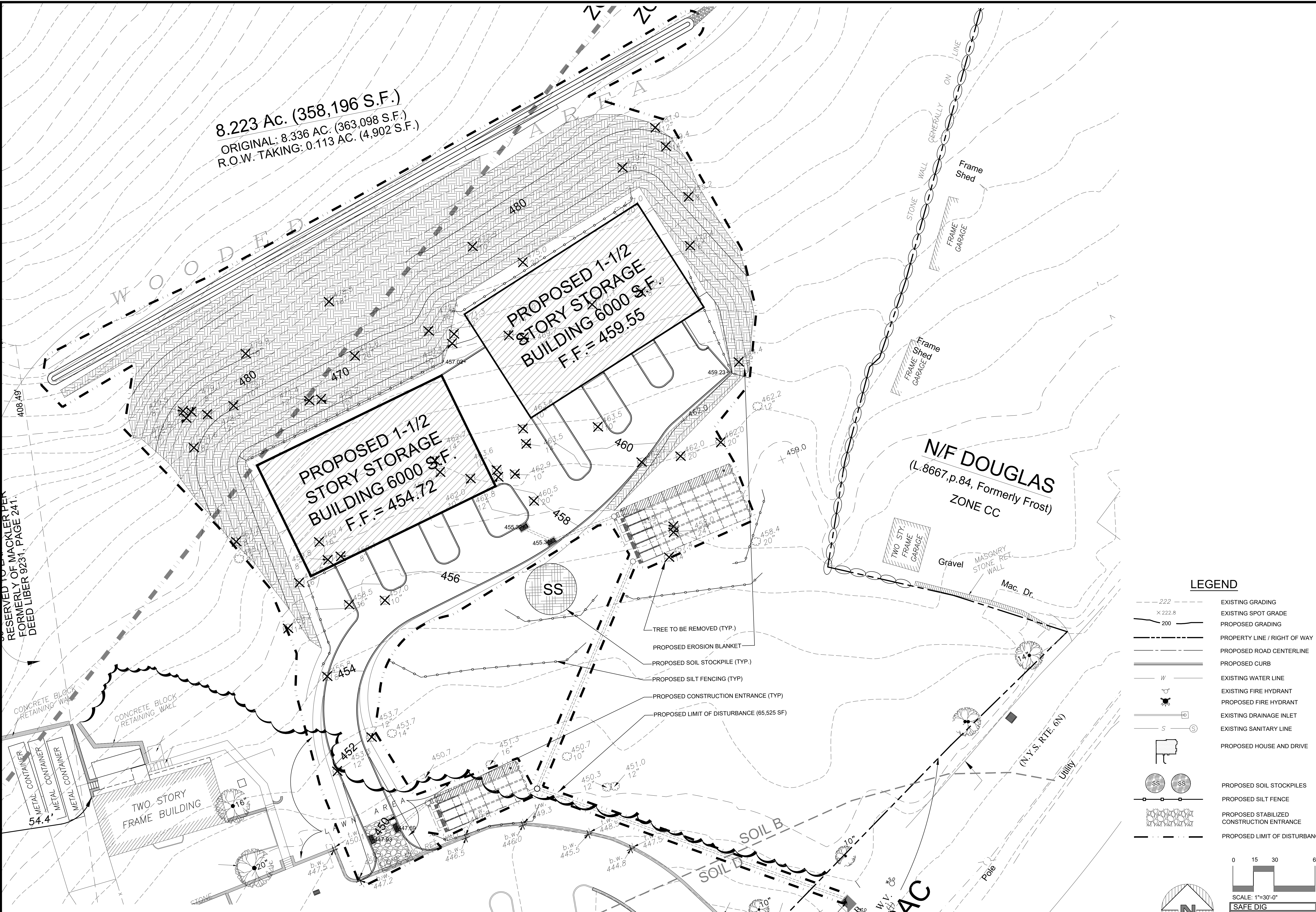
SITE PLAN PREPARED FOR  
**Correia Enterprises, LLC.**  
 250 EAST MAIN STREET - JEFFERSON VALLEY  
 Town of Yorktown Westchester County, New York

Sheet 2 of 7

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E:\2020\10-23-CORREIA\DWG\4-23-CORREIA SITE PLAN 2-25-21.DWG, 3/23/2021 3:32:04 PM



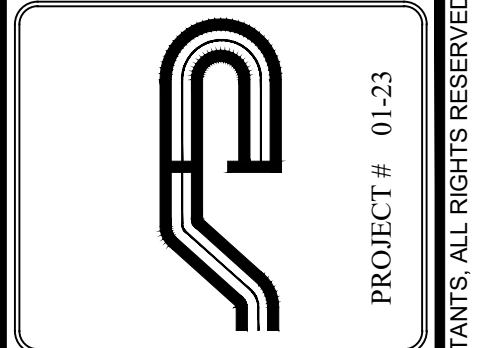


8.223 Ac. (358,196 S.F.)  
 ORIGINAL: 8.336 AC. (363,098 S.F.)  
 R.O.W. TAKING: 0.113 AC. (4,902 S.F.)

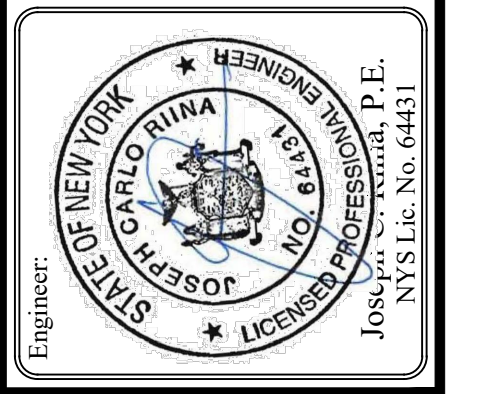
RESERVED TO THE ESTATE OF MACKLER PER DEED LIBER 9231, PAGE 241.

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Revisions:	No.	Date	Comments
	1	3-16-21	Plan Updates

SCALE: 1" = 30'	DRAWN BY: CS	DATE: 1/23/20
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## EROSION & SEDIMENT CONTROL PLAN

**SITE PLAN PREPARED FOR**  
**Correia Enterprises, LLC.**  
 250 EAST MAIN STREET - JEFFERSON VALLEY  
 Town of Yorktown Westchester County, New York

- ### LEGEND
- EXISTING GRADING
  - EXISTING SPOT GRADE
  - PROPOSED GRADING
  - PROPERTY LINE / RIGHT OF WAY
  - PROPOSED ROAD CENTERLINE
  - PROPOSED CURB
  - EXISTING WATER LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT
  - EXISTING DRAINAGE INLET
  - EXISTING SANITARY LINE
  - PROPOSED HOUSE AND DRIVE
  - PROPOSED SOIL STOCKPILES
  - PROPOSED SILT FENCE
  - PROPOSED STABILIZED CONSTRUCTION ENTRANCE
  - PROPOSED LIMIT OF DISTURBANCE

SCALE: 1"=30'-0"

**SAFE DIG**

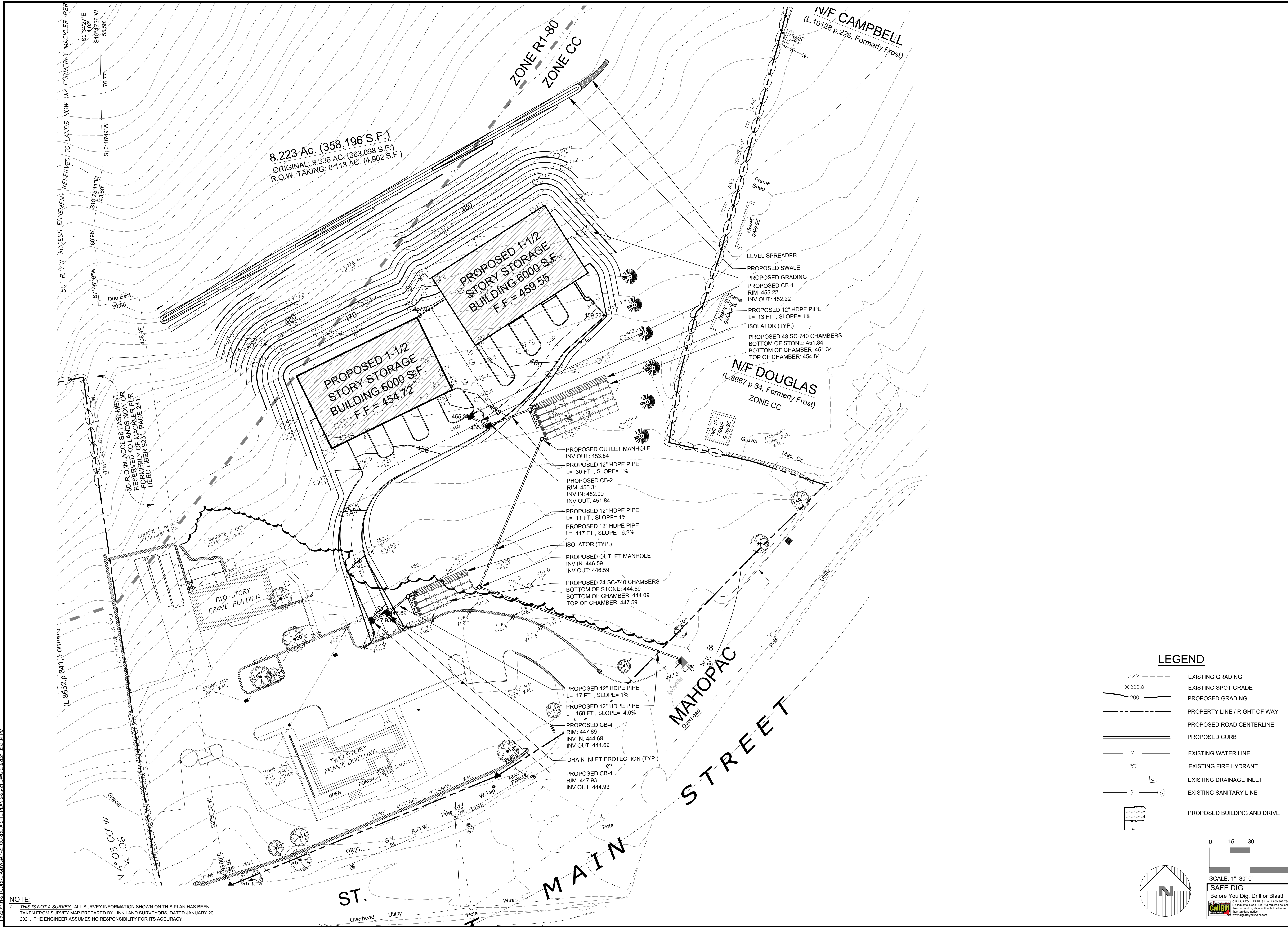
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NY Industrial Code Rule 233 requires no less than ten working days notice, but not more than ten days notice.

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8.223 Ac. (358,196 S.F.)  
 ORIGINAL: 8.336 AC. (363,098 S.F.)  
 R.O.W. TAKING: 0.113 AC. (4,902 S.F.)

PROPOSED 1-1/2  
 STORY STORAGE  
 BUILDING 6000 S.F.  
 F.F. = 459.55

PROPOSED 1-1/2  
 STORY STORAGE  
 BUILDING 6000 S.F.  
 F.F. = 454.72

TWO STORY  
 FRAME BUILDING

TWO STORY  
 FRAME DWELLING

PROPOSED OUTLET MANHOLE  
 INV OUT: 453.84  
 PROPOSED 12" HDPE PIPE  
 L= 30 FT , SLOPE= 1%  
 PROPOSED CB-2  
 RIM: 455.31  
 INV IN: 452.09  
 INV OUT: 451.84  
 PROPOSED 12" HDPE PIPE  
 L= 11 FT , SLOPE= 1%  
 PROPOSED 12" HDPE PIPE  
 L= 117 FT , SLOPE= 6.2%  
 ISOLATOR (TYP.)

PROPOSED OUTLET MANHOLE  
 INV IN: 446.59  
 INV OUT: 446.59  
 PROPOSED 24 SC-740 CHAMBERS  
 BOTTOM OF STONE: 444.59  
 BOTTOM OF CHAMBER: 444.09  
 TOP OF CHAMBER: 447.59

PROPOSED 12" HDPE PIPE  
 L= 17 FT , SLOPE= 1%  
 PROPOSED 12" HDPE PIPE  
 L= 158 FT , SLOPE= 4.0%  
 PROPOSED CB-4  
 RIM: 447.69  
 INV IN: 444.69  
 INV OUT: 444.69  
 DRAIN INLET PROTECTION (TYP.)  
 PROPOSED CB-4  
 RIM: 447.93  
 INV OUT: 444.93

LEVEL SPREADER  
 PROPOSED SWALE  
 PROPOSED GRADING  
 PROPOSED CB-1  
 RIM: 455.22  
 INV OUT: 452.22  
 PROPOSED 12" HDPE PIPE  
 L= 13 FT , SLOPE= 1%  
 ISOLATOR (TYP.)  
 PROPOSED 48 SC-740 CHAMBERS  
 BOTTOM OF STONE: 451.84  
 BOTTOM OF CHAMBER: 451.34  
 TOP OF CHAMBER: 454.84

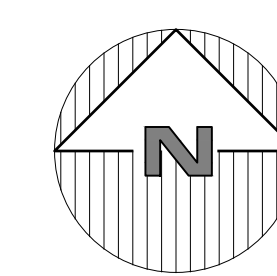
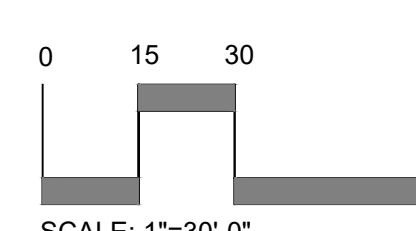
N/F DOUGLAS  
 (L.8667.p.84, Formerly Frost)  
 ZONE CC

N/F CAMPBELL  
 (L.10128.p.228, Formerly Frost)

MAHOPAC  
 STREET

ST.  
 MAIN  
 STREET

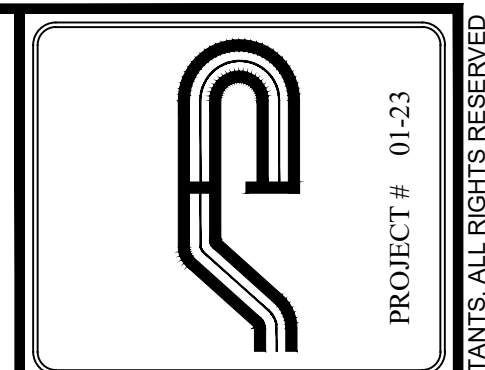
- LEGEND**
- 222 --- EXISTING GRADING
  - x 222.8 EXISTING SPOT GRADE
  - 200 --- PROPOSED GRADING
  - --- PROPERTY LINE / RIGHT OF WAY
  - --- PROPOSED ROAD CENTERLINE
  - --- PROPOSED CURB
  - W --- EXISTING WATER LINE
  - F --- EXISTING FIRE HYDRANT
  - S --- EXISTING DRAINAGE INLET
  - S --- EXISTING SANITARY LINE
  - --- PROPOSED BUILDING AND DRIVE



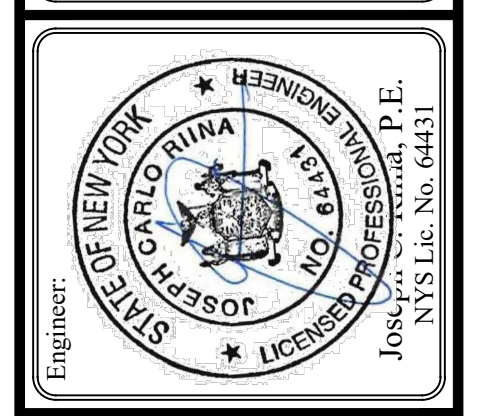
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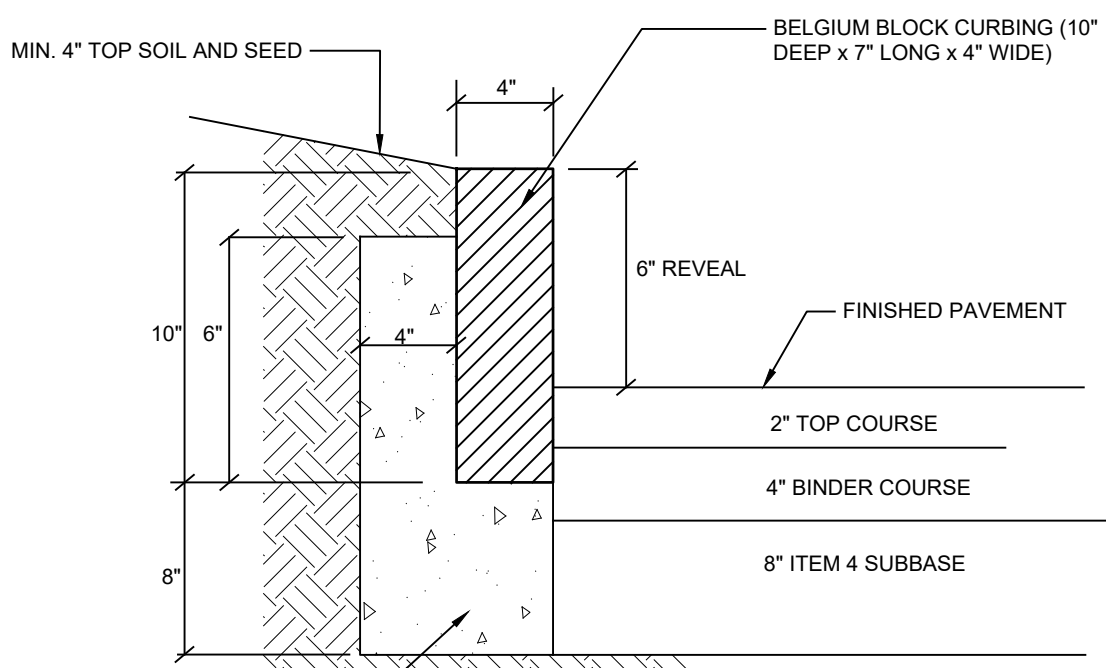
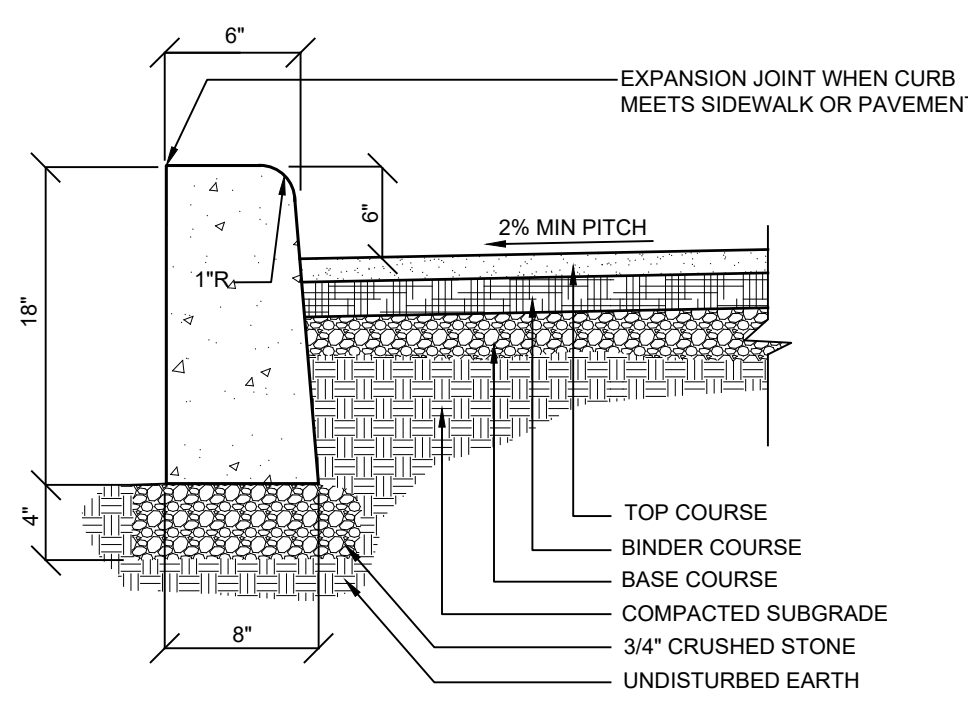
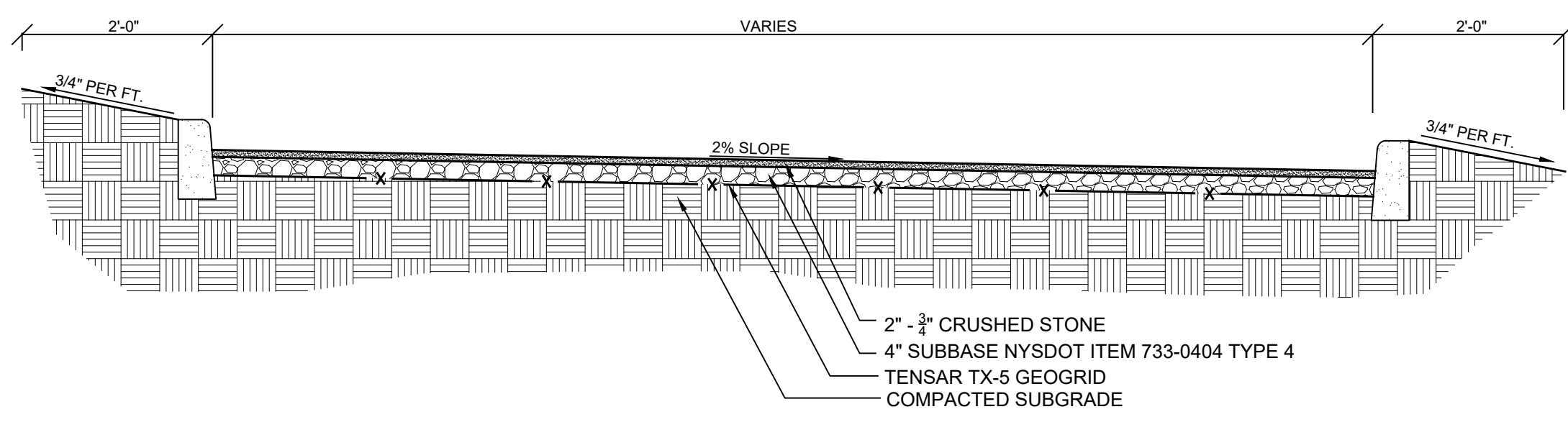
Revisions:	No.	Date	Comments
	1	3-06-21	Plan Updates

SCALE: 1" = 30'  
 DRAWN BY: CS  
 DATE: 1/23/20

**IMPROVEMENT  
 PLAN**

SITE PLAN  
 PREPARED FOR  
**Correia Enterprises, LLC.**  
 250 EAST MAIN STREET - JEFFERSON VALLEY  
 Town of Yorktown Westchester County, New York

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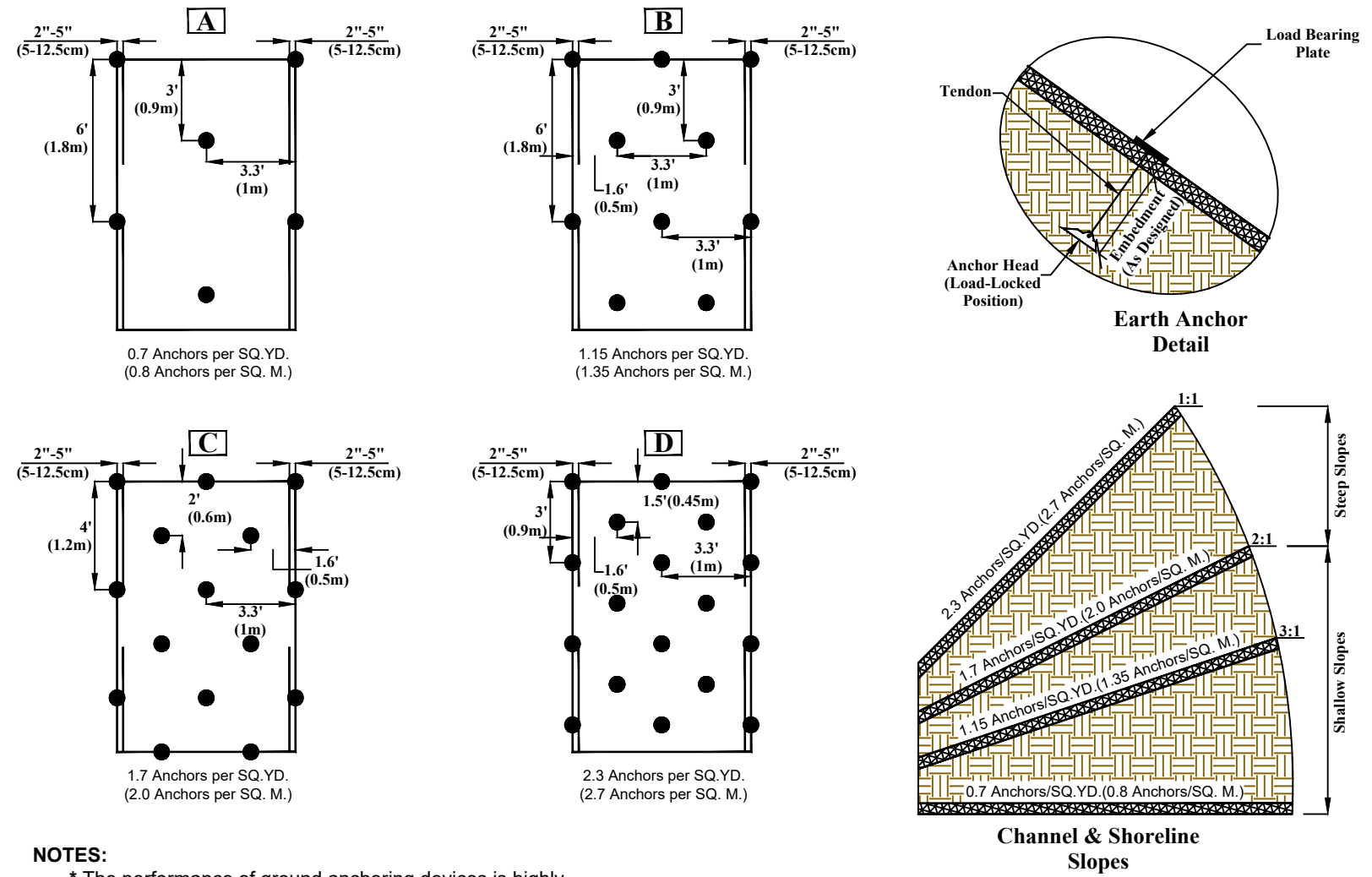
- GENERAL CONSTRUCTION NOTES:**
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH CONSTRUCTION SPECIFICATIONS SET FORTH IN THESE DOCUMENTS AND LAND SUBDIVISION REGULATIONS OF THE TOWN OF YORKTOWN.
  - PERMANENT SURVEY MONUMENTS TO BE LOCATED WHERE SPECIFIED BY THE TOWN ENGINEER.
  - BENCH MARKS USING U.S.G.S. DATUM SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS.
  - CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS. WHERE BLASTING IS NECESSARY, IT SHALL OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. NO BLASTING SHALL OCCUR ON HOLIDAYS, SATURDAY OR SUNDAY. ALL BLASTING SHALL ALSO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF SOMERS AND NEW YORK STATE BLASTING ORDINANCES.
  - ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED AND SHALL BE DISPOSED OF WITHIN THE SITE IN NEW EMBANKMENTS WHERE STRUCTURAL LOADING, I.E. A BUILDING OR ROADWAY, WILL NOT TAKE PLACE. WHEN CONSTRUCTION IS PROPOSED TO OCCUR IN SPECIFIC AREAS WHERE SOILS ARE OF QUESTIONABLE SUITABILITY, THE APPLICANT SHALL PROVIDE SOILS ENGINEERING REPORTS AS REQUIRED BY THE PLANNING BOARD ENGINEER, PRIOR TO THE CONSTRUCTION OF ROADWAYS AND, AS REQUIRED BY THE BUILDING INSPECTOR, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
  - NO TOPSOIL SHALL BE REMOVED FROM THE SITE.

- GENERAL STORM DRAINAGE & UTILITY NOTES**
- ALL UTILITIES, INCLUDING ELECTRIC LINES, TELEPHONE, WATER, SANITARY SEWER LINES, AND STORM SEWER LINES SHALL BE LOCATED UNDERGROUND AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF YORKTOWN AND THE UTILITY COMPANIES HAVING JURISDICTION.
  - LOCATION OF WATER VALVES, ELECTRIC AND TELEPHONE POLES ARE TO BE DETERMINED BY PROPER AUTHORITIES AND APPROVED, AS TO LOCATION, BY THE TOWN ENGINEER.
  - ROOF LEADER DRAINS SHALL EMPTY INTO THE STORM DRAINAGE SYSTEM OR DISCHARGE DIRECTLY TO STORMWATER MANAGEMENT BASINS UNDER NO CIRCUMSTANCES SHALL THE DISCHARGE OF GROUND WATER OR STORM WATER, EITHER BY GRAVITY OR BY PUMPING, BE DISCHARGED TO ANY SANITARY SEWER SYSTEM.
  - ANY REVISIONS AND/OR ADDITIONS TO THE ROAD STORM DRAINAGE SYSTEMS CURRENTLY SHOWN ON THE PLANS WHICH ARE DEEMED NECESSARY DURING CONSTRUCTION MUST BE MADE BY THE CONTRACTOR AS REQUIRED BY THE TOWN AND SHALL BE SHOWN ON THE AS-BUILT DRAWINGS.
  - STORM DRAIN PIPING TO BE HIGH DENSITY POLYETHYLENE AS SHOWN ON THE CONSTRUCTION DRAWINGS. MINIMUM COVER TO BE 2' UNLESS OTHERWISE NOTED.
  - PRIOR TO FINAL APPROVAL AND OPERATION OF DRAINAGE SYSTEM, CONTRACTOR SHALL CLEAR ALL ACCUMULATED SEDIMENT AND/OR DEBRIS FROM DRAINAGE STRUCTURES, MANHOLES, CULVERTS, OUTLETS AND DRAIN INLETS. ENGINEER SHALL BE NOTIFIED FOR FINAL INSPECTION.
  - ALL STRUCTURES SHALL BE SET ONE INCH BELOW PAVEMENT.
  - STREET OPENING PERMIT FROM THE TOWN OF YORKTOWN D.P.W. MAY BE REQUIRED FOR INSTALLATION IN PUBLIC ROADS.

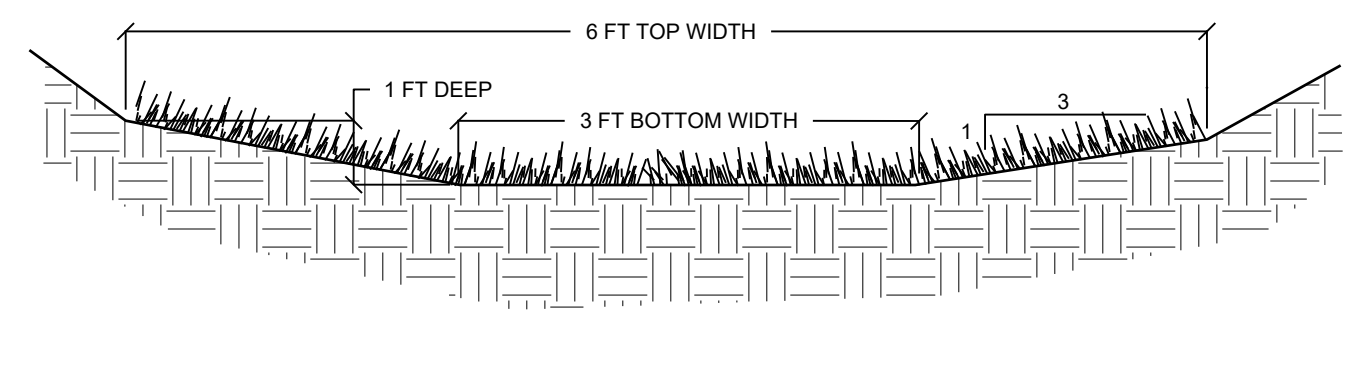
**R-1** **TYPICAL PARKING LOT SECTION**  
NOT TO SCALE

**R-2** **CONCRETE CURB DETAIL**  
NOT TO SCALE

**R-3** **BELGIUM CURB DETAIL**  
NOT TO SCALE

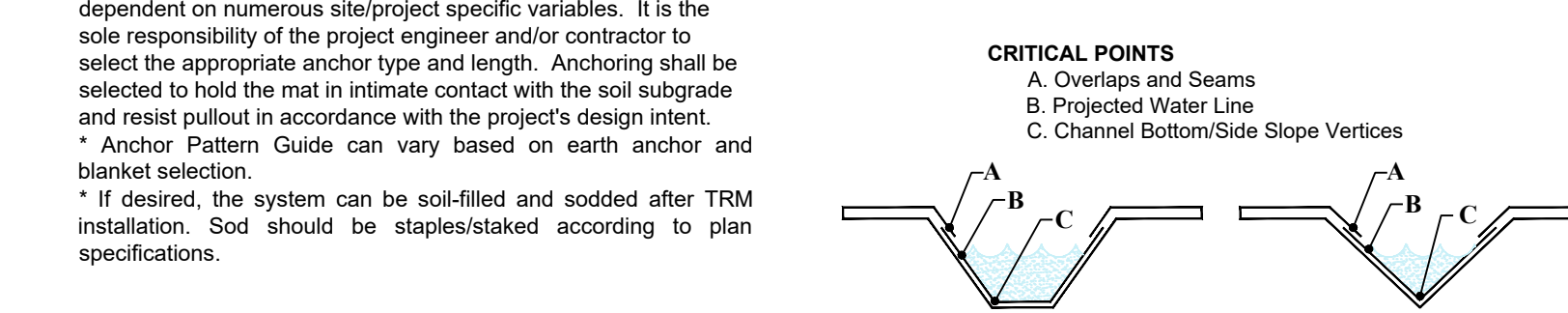


- SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL**
- Prepare soil before installing high-performance turf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
  - Begin at the top of the slope by anchoring the HP-TRMs in a 6" (15 cm) deep x 6" (15cm) wide trench with approximately 12" (30 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRMs with a row of staples and anchors approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of HP-TRMs back over seed and compacted soil. Secure HP-TRMs over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the HP-TRMs.
  - Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
  - The edges of parallel HP-TRMs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the HP-TRM type. Consecutive HP-TRMs applied down the slope must be end over end (Shingle style) with an approximate 3" (7.5cm) overlap. Staple through overlapped area, approximately 12" (30cm) apart across entire HP-TRM width.



- NOTE:**
- Grass swale to be seeded with grass mixture per 1000 s.f. as follows:  
Kentucky Bluegrass: 60lbs  
Creeping Red Fescue: 50 lbs  
Perennial Ryegrass: 20lbs
  - The foundation area shall be cleared of trees, stumps, soil, loose rock, or other objectionable materials.
  - The cross section shall be excavated to the neat lines and grades shown on the plans. Over excavated areas shall be backfilled with moist soil compacted to the density of the surrounding material.
  - No abrupt deviations from design grade or horizontal alignment shall be permitted.
  - Construction operations shall be done in such a manner that erosion, air and water pollution will be minimized and held within legal limits. All disturbed areas shall be vegetated or otherwise protected against soil erosion.

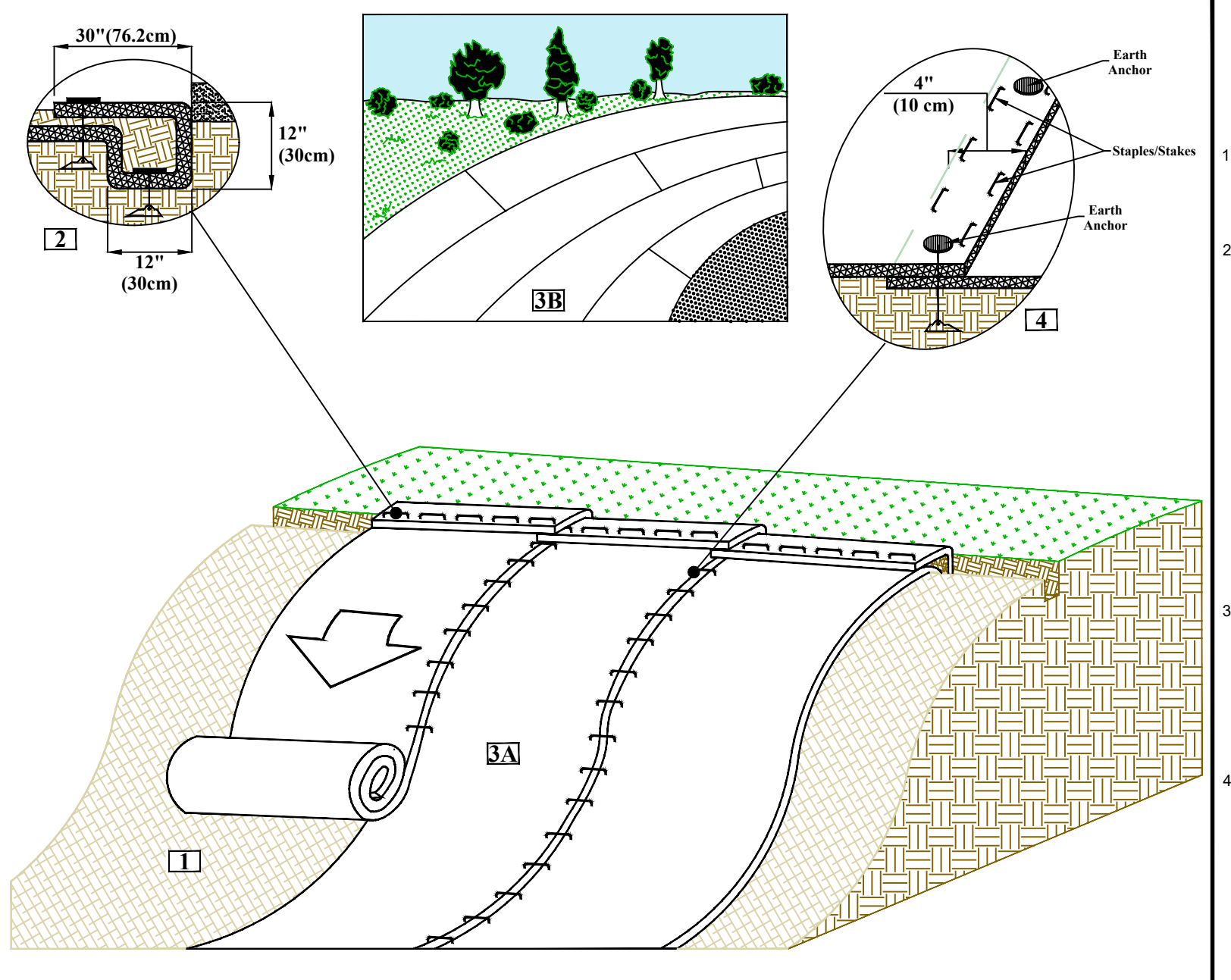
**SW-1** **GRASS SWALE DETAIL**  
NOT TO SCALE



**NOTES:**

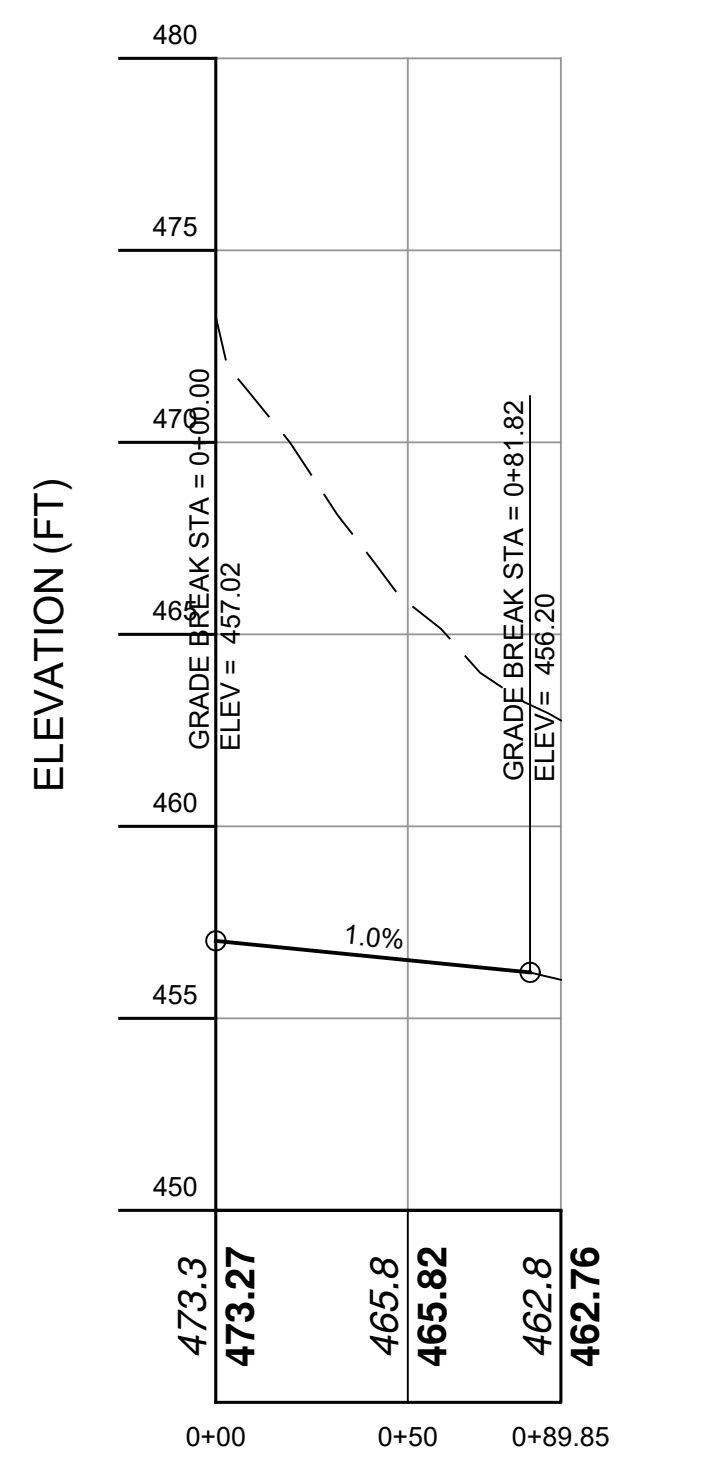
- The performance of ground anchoring devices is highly dependent on numerous site/project specific variables. It is the sole responsibility of the project engineer and/or contractor to select the appropriate anchor type and length. Anchoring shall be selected to hold the mat in intimate contact with the soil subgrade and resist pullout in accordance with the project's design intent.
- Anchor Pattern Guide can vary based on earth anchor and blanket selection.
- If desired, the system can be soil-filled and sodded after TRM installation. Sod should be staples/staked according to plan specifications.

**NOTE:** In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the HP-TRMs.

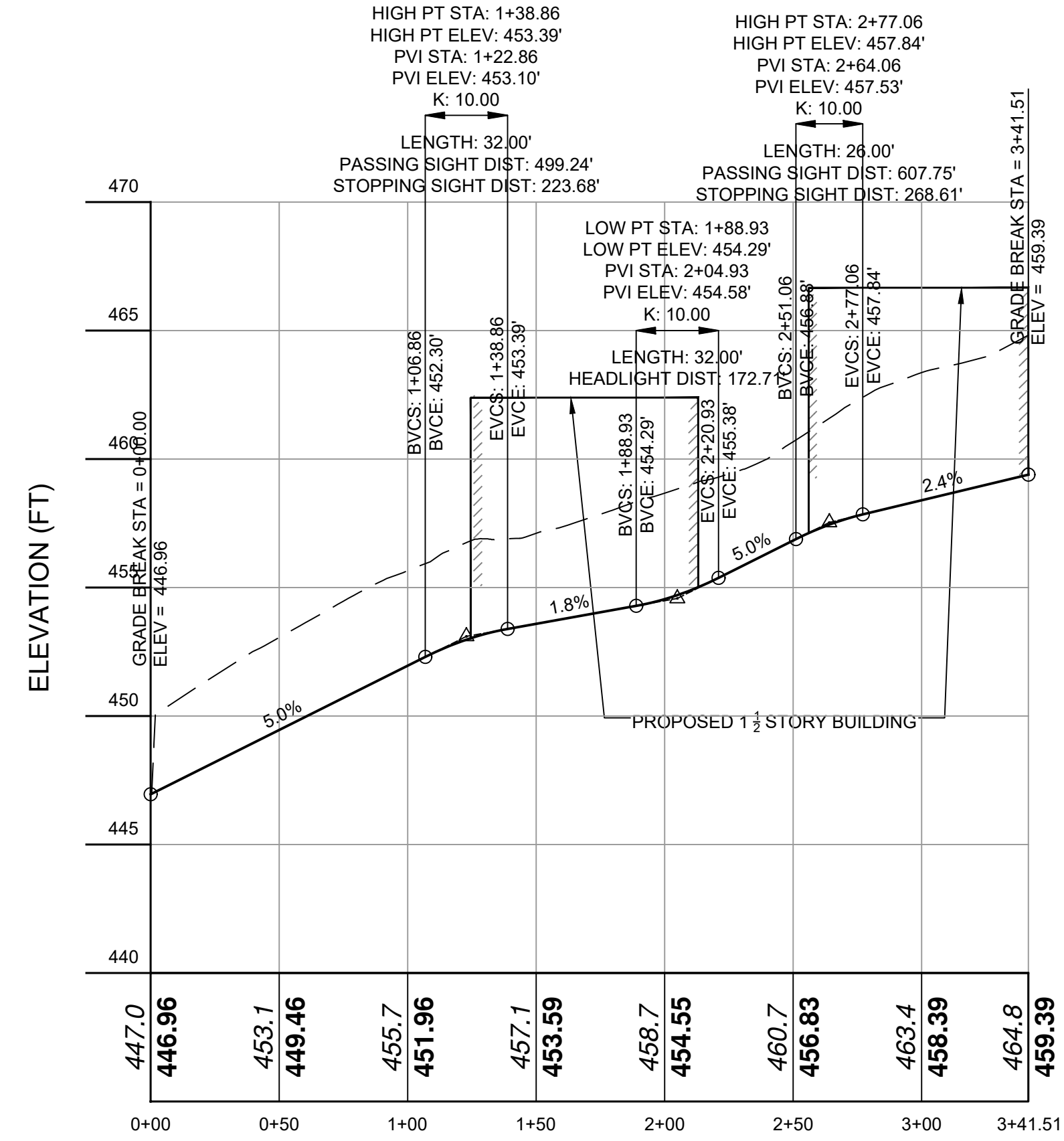


- SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL**
- Prepare soil before installing high-performance turf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
  - Begin at the top of the slope by anchoring the HP-TRMs in a 12" (30 cm) deep x 12" (30cm) wide trench with approximately 30" (76.2 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRMs with an alternating row of staples and anchors approximately 30" (76.2 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Fold remaining 30" (76.2 cm) portion of HP-TRMs back over seed and compacted soil. Secure HP-TRMs over compacted soil with an alternating row of staples/anchors spaced approximately 18" (45 cm) apart across the width of the HP-TRMs.
  - Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/anchors in appropriate locations as shown in the staple pattern guide.
  - The edges of parallel HP-TRMs must be stapled between earth anchors with approximately 4" (10 cm) overlap depending on the HP-TRM type. For curved sections, adjust the overlap edges of parallel HP-TRMs accordingly with a minimum of 4" (10 cm) overlap to accommodate transitional segments.

**NOTE:** In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the HP-TRMs.



**Truck Alignment**  
VERT. SCALE: 1" = 3  
HORIZ. SCALE: 1" = 30



**Proposed Driveway**  
VERT. SCALE: 1" = 3  
HORIZ. SCALE: 1" = 30

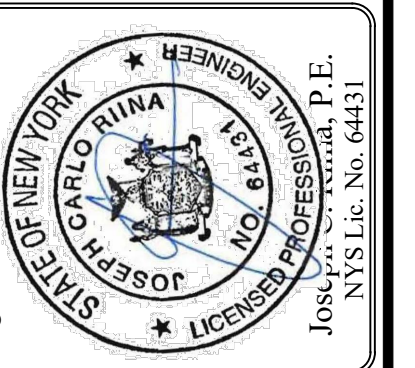
**Tensar NORTH AMERICAN GREEN**  
5401 St. Wendel - Cynthiaana Rd. PO Box 772-2040  
Poseyville, IN 47633

Drawn on: 01-28-13

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Revisions:	No.	Date	Comments/Plan Updates
	1	3-06-21	

SCALE: AS NOTED  
DRAWN BY: RMS  
DATE: 1/23/20

**SITE DETAILS & PROFILES**

**Correia Enterprises, LLC.**  
250 EAST MAIN STREET - JEFFERSON VALLEY  
Town of Yorktown, Westchester County, New York

SITE PLAN PREPARED FOR  
Sheet 6 of 7

E:\2001\01-23-CORREIA\DWG\01-23-CORREIA SITE PLAN 250 EAST MAIN STREET 1.30.20.dwg

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufacturer's requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-15-002 and Town of Yorktown Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and stormwater practices.
- Prior to the start of the project, an on-site pre-construction meeting will be held. This will be attended by the project owner, the operator responsible for complying with the approved construction drawings including the erosion and sediment control (E&SC) plan and details, the design engineer, the engineer responsible for E&SC monitoring during construction, and town representatives from the engineering department and code enforcement.
- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal. The extents of the stormwater management system shall be cordoned off to minimize the disturbance on this area.
- Install all perimeter erosion control measures, construction entrance as shown on the Erosion and Sediment Control Plan and the associated Details. Install silt fencing at the bottom of slopes. The standards established in Part 1.B 1.b of the GP-015-002 included in appendix B of this SWPPP must be adhered to.
- Strip site, clear vegetation, and place topsoil in stockpile locations shown on the plan.
- Begin rough grading the site. Contractor to limit exposure of denuded soils by providing temporary stabilization for work areas that will remain undisturbed for over seven (7) days. Chipped rock that is not suitable to remain on site shall be hauled away and properly disposed of. An area has been provided for the stockpiling of removed soil and rock which is to be removed from the site.
- Rough grade building and driveway.
- Begin construction of building.
- Begin the excavation and installation of the drainage and stormwater management system. Protect trenches and open excavations from erosion. Entry into the system shall be blocked off until site has reached final stabilization. Once system has been installed, backfill, seed where necessary, and reinstall measures to cordon off the system from disturbance.
- During site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Excavate to the sub-grade level. Scarify the existing soil to a depth of 12-inches by rototilling or other means acceptable to the Engineer. Install all courses of stone as per the specifications given on the Plan.
- Install base course of Item 4 in all pavement areas. Stabilize all open areas with seed and mulch.
- Construct remainder of building, driveway and parking areas. First install curbs, asphalt binder, and concrete sidewalk. Once binder course is installed, drainage outlet may be unblocked.
- Backfill curbs, grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds, slopes, etc.
- Once site stabilization has taken place (An area shall be considered to have achieved final stabilization when it has a minimum uniform 80% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements), remove all temporary erosion and sediment controls, unplug the drainage system to allow runoff to enter the stormwater management system.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Completion of stabilization shall be such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SR713.01 NYS DOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation: 

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
  - Install erosion control measures.
  - Scarify compacted soil areas.
  - Lime as required to pH 6.5.
  - Fertilize with 10-6-4 4 lbs/1,000 S.F.
  - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE		LBS/ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREeping RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREeping RED FESCUE	20
	REDDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20

- SEEDING:
  - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
  - Apply soil amendments and integrate into soil.
  - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
  - Stabilize seeded areas in drainage swales.
  - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
  - Seed between April 1st and May 15th or August 15th and October 15th.
  - Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/lb.
- Lime as required to pH 6.5.

SEED SPECIES:

MIXTURE	LBS/ACRE
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

Same as permanent vegetative cover

CONTRACTOR CERTIFICATION STATEMENT

Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 29, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: \_\_\_\_\_

Name and Title (please print): \_\_\_\_\_

Signature of Contractor: \_\_\_\_\_

Company / Contracting Firm: \_\_\_\_\_

Name of Company: \_\_\_\_\_

Address of Company: \_\_\_\_\_

Telephone Number / Cell Number: \_\_\_\_\_

Site Information: \_\_\_\_\_

Address of Site: \_\_\_\_\_

Today's Date: \_\_\_\_\_

OWNER / OPERATOR CERTIFICATION

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): \_\_\_\_\_

Title: \_\_\_\_\_

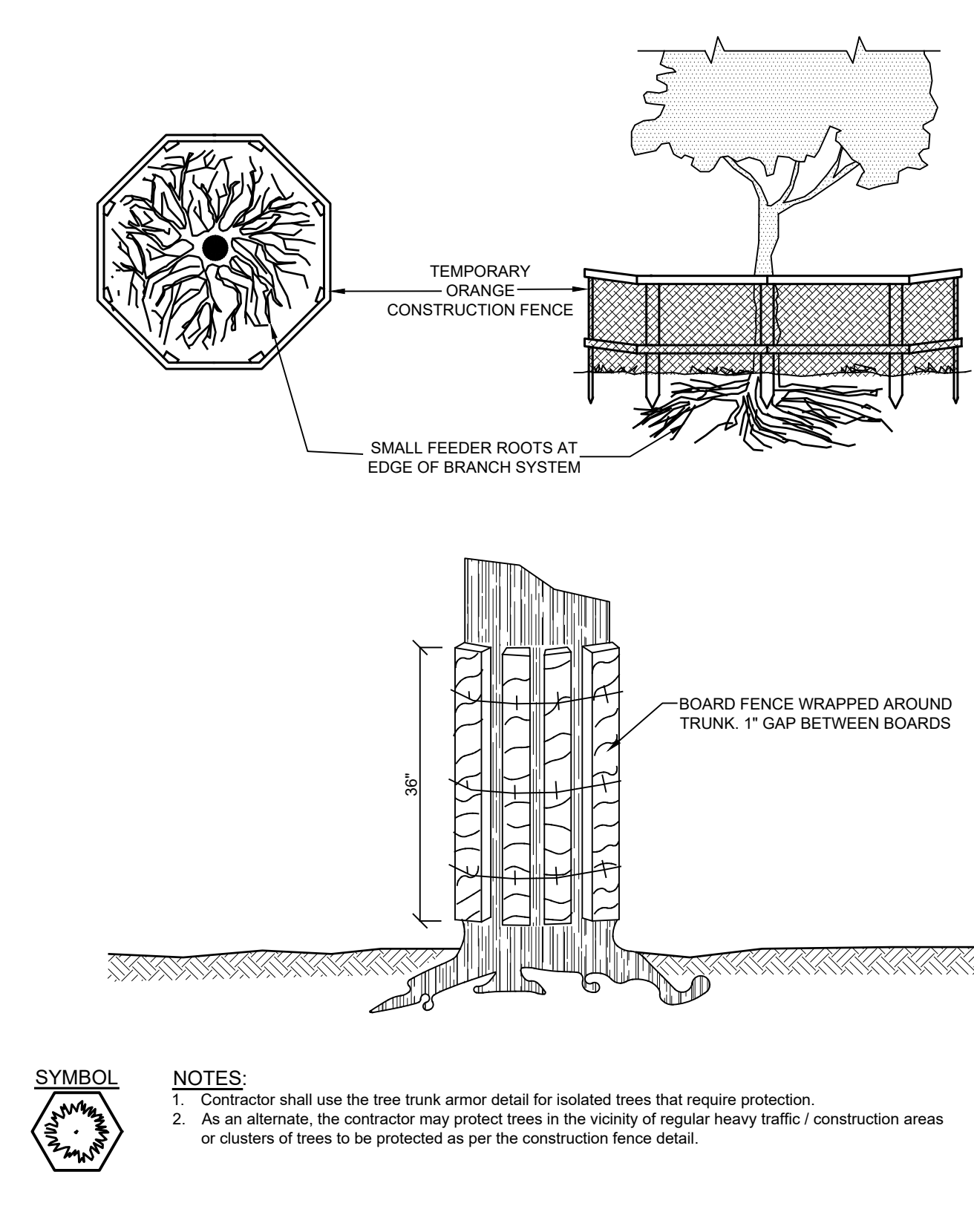
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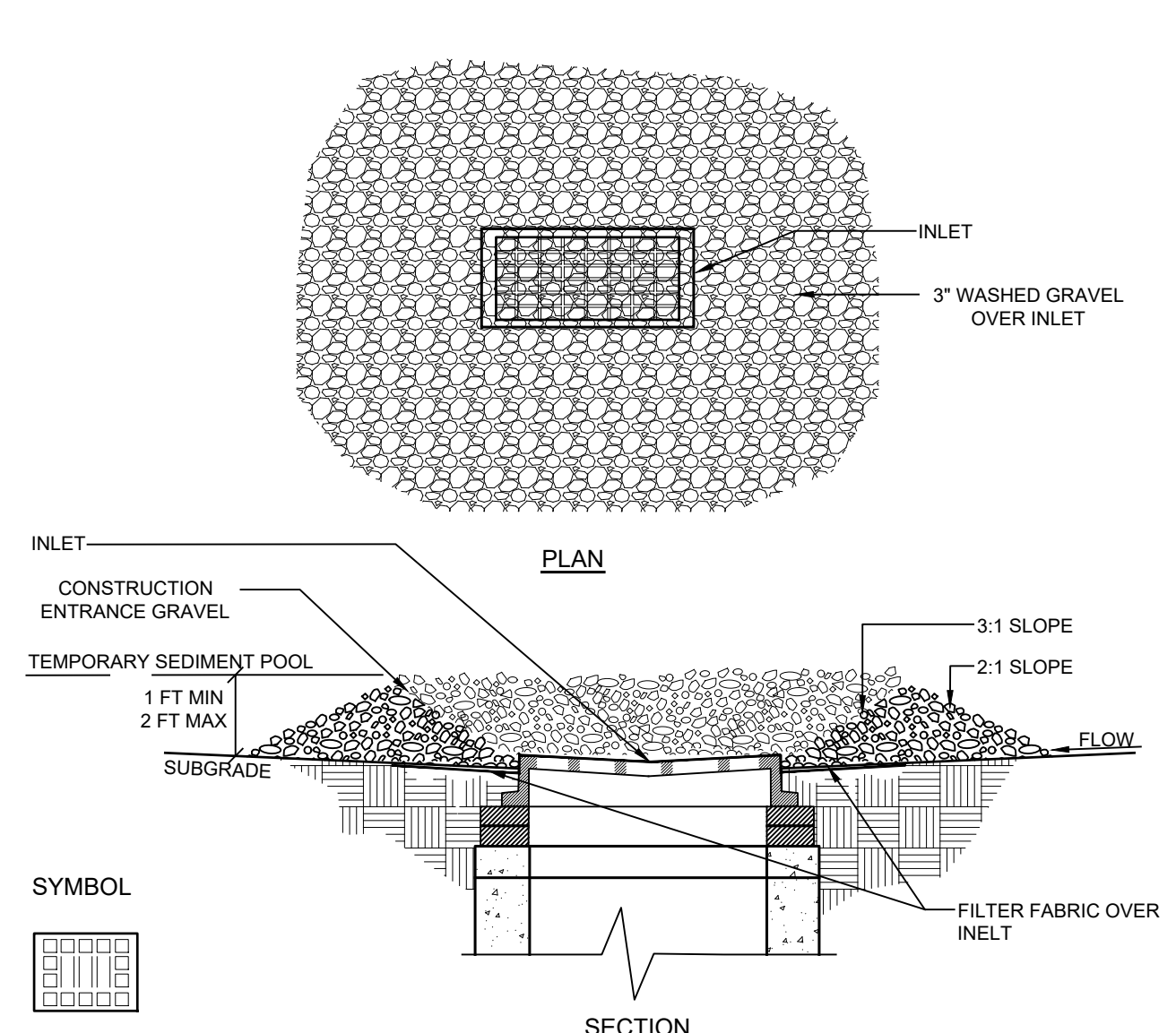
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Signature: \_\_\_\_\_

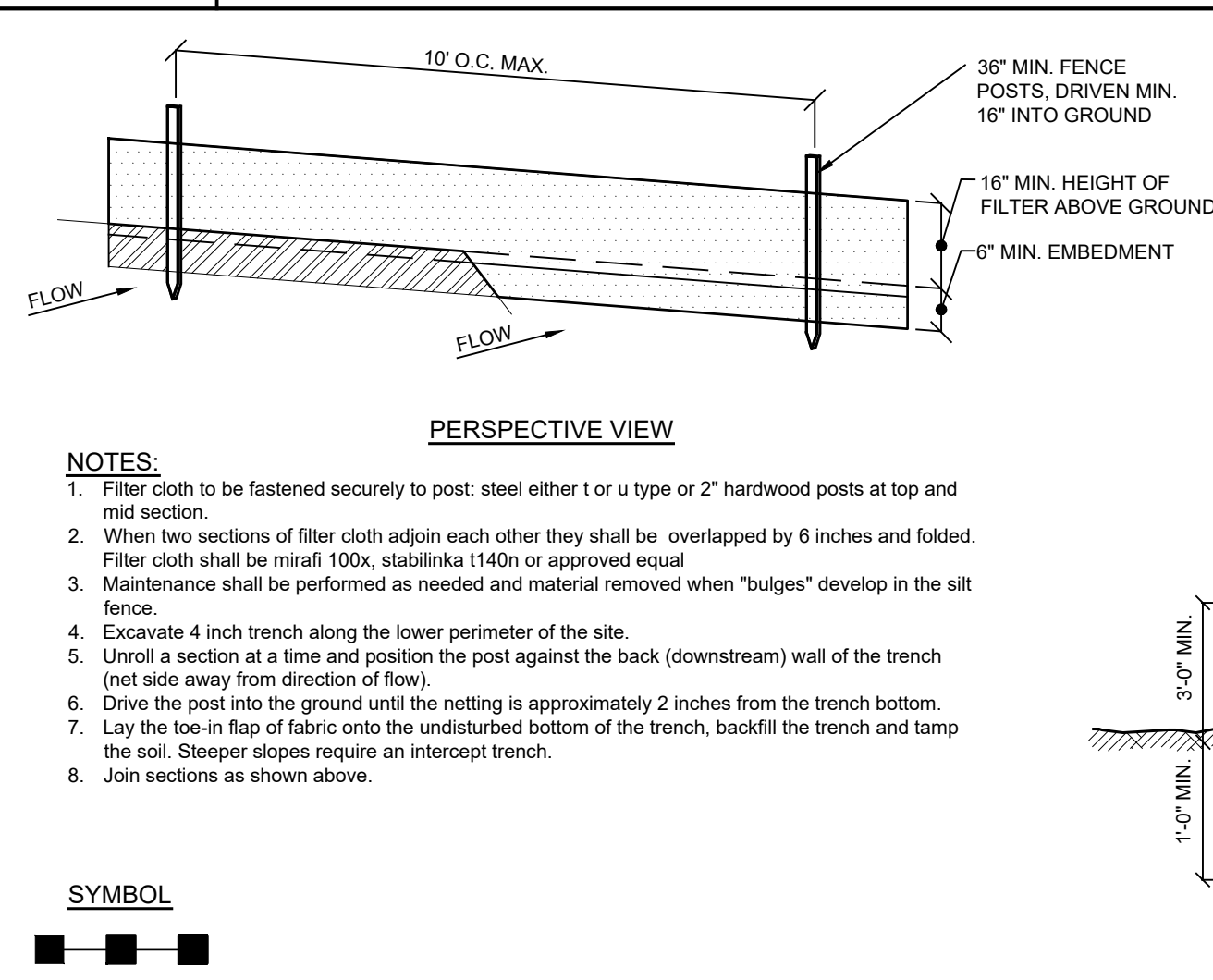
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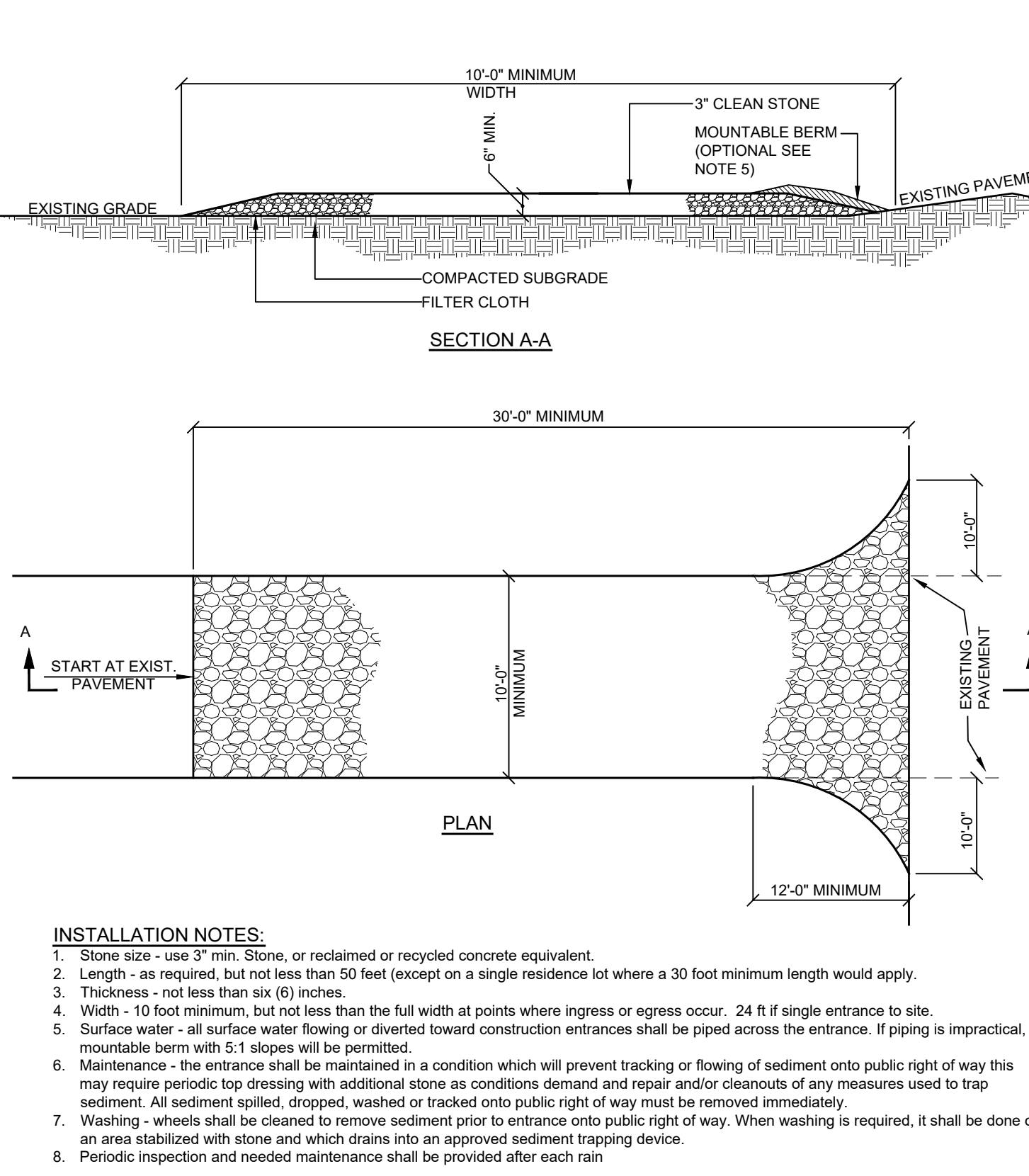
E-1 TREE PROTECTION DETAIL NOT TO SCALE



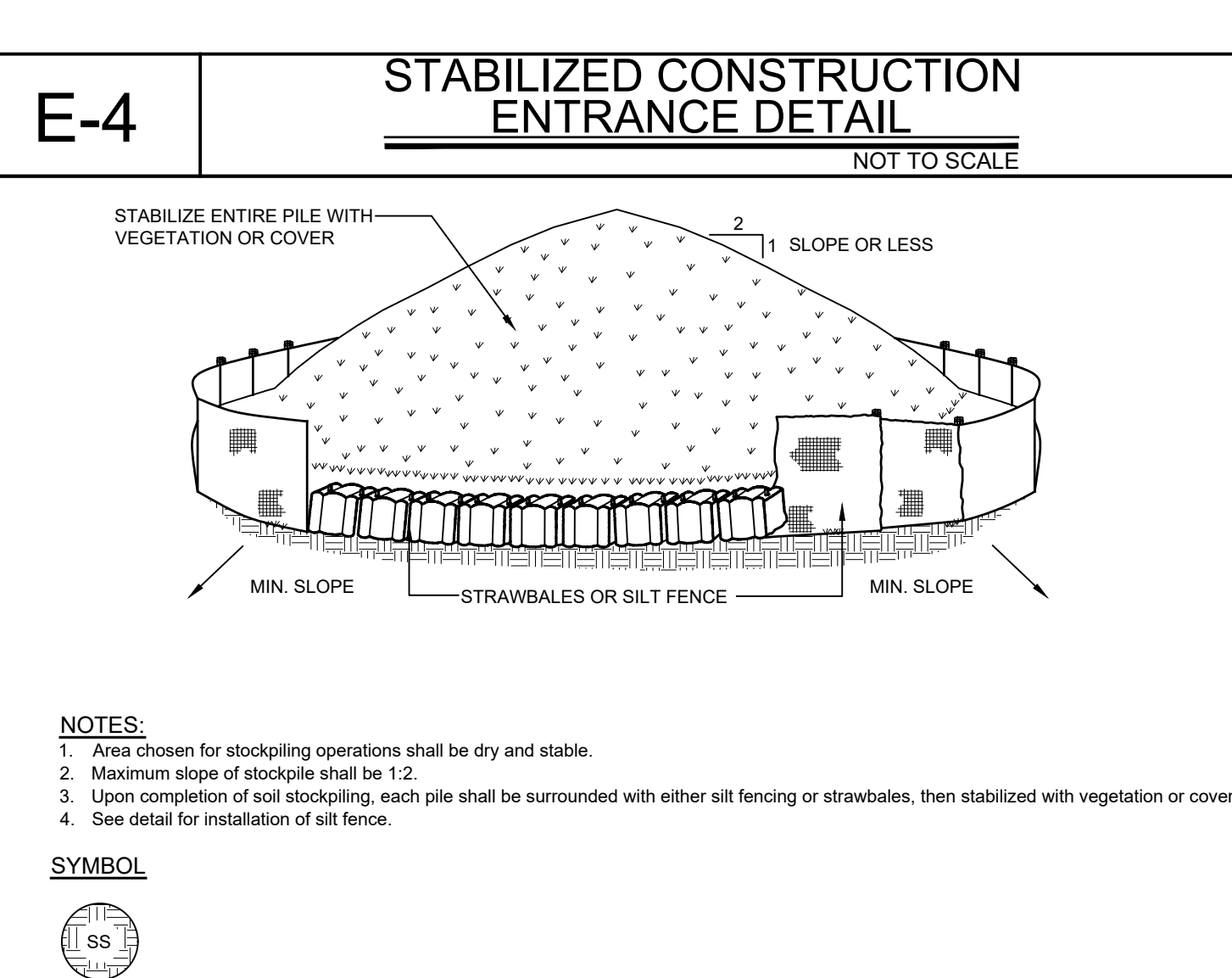
E-2 INLET PROTECTION DETAIL NOT TO SCALE



E-3 SILT FENCE DETAIL NOT TO SCALE



E-4 STABILIZED CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE



E-5 SOIL STOCKPILE DETAIL NOT TO SCALE

Site Design Consultants  
Civil Engineers • Land Planners  
251-J Underhill Avenue, Yorktown Heights, NY 10598  
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www.sitedesignconsultants.com

Professional Engineer  
JOSEPH R. RIVRA  
Professional Engineer, P.E.  
NYS Lic. No. 64431

Revisions: No. Date Comments/Plan Updates


SCALE: AS NOTED  
DRAWN BY: RMS  
DATE: 1/23/20

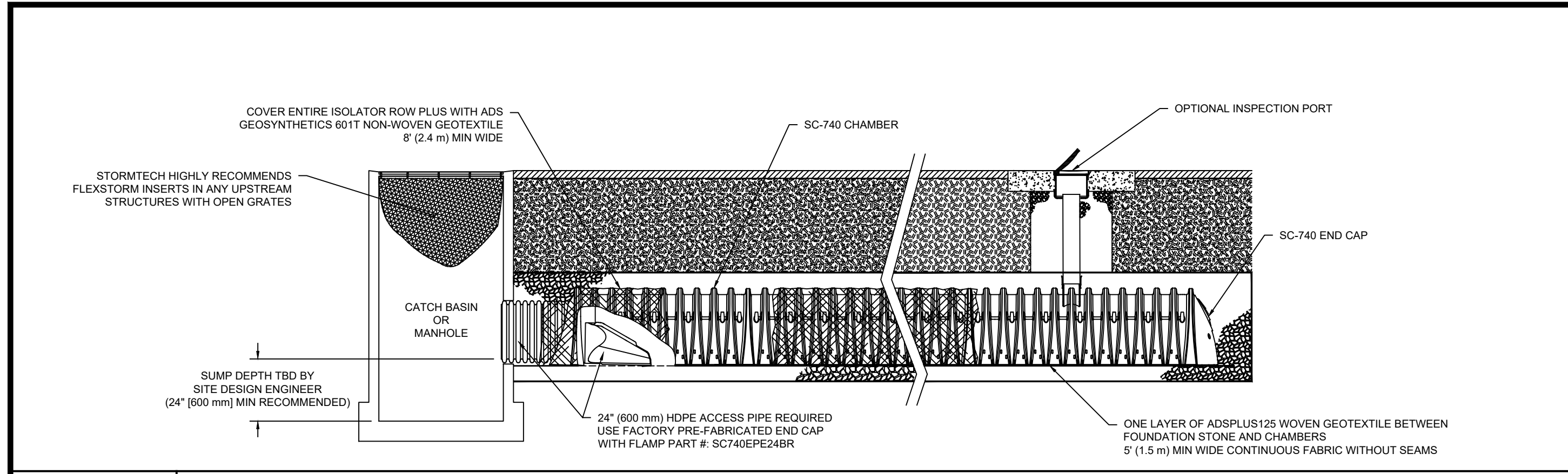
EROSION & SEDIMENT CONTROL DETAILS

SITE PLAN PREPARED FOR  
**Correia Enterprises, LLC.**  
250 EAST MAIN STREET - JEFFERSON VALLEY  
Town of Yorktown  
Westchester County, New York

EX-200101-23-CORREIA/ENGINEER/23-CORREIA SITE PLAN AND SWPPP/01/23/2024

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 1209 (2) OF THE NEW YORK STATE EDUCATION LAW.

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**SWM-2** STORMTECH SC-740 ISOLATOR ROW DETAIL  
NOT TO SCALE

**INSPECTION & MAINTENANCE**

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE/OPEN LID ON NYLOPLAST IN LINE DRAIN

A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR PLUS ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE

B.3. MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

B.4. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

C. VACUUM STRUCTURE SUMP AS REQUIRED

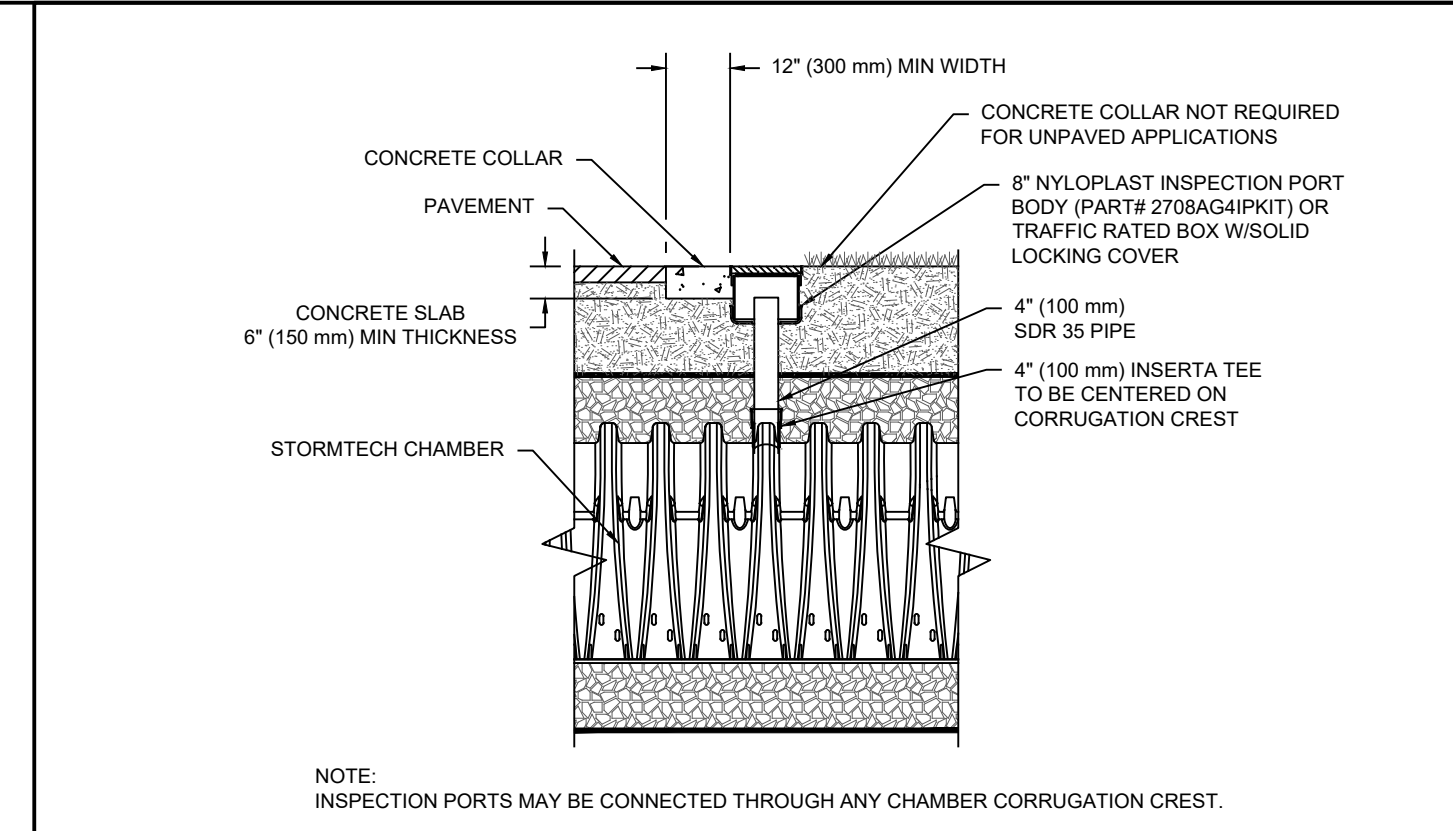
STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

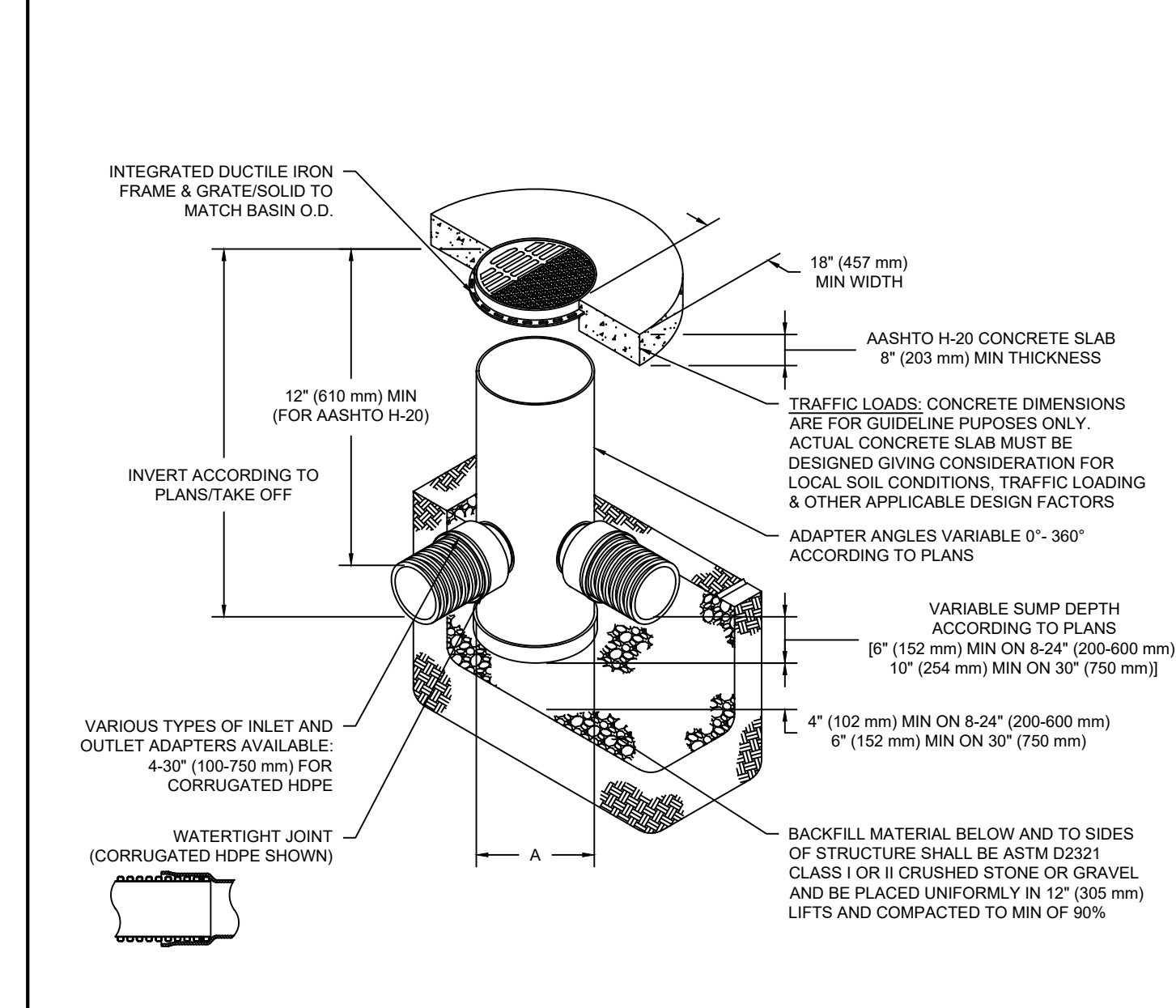
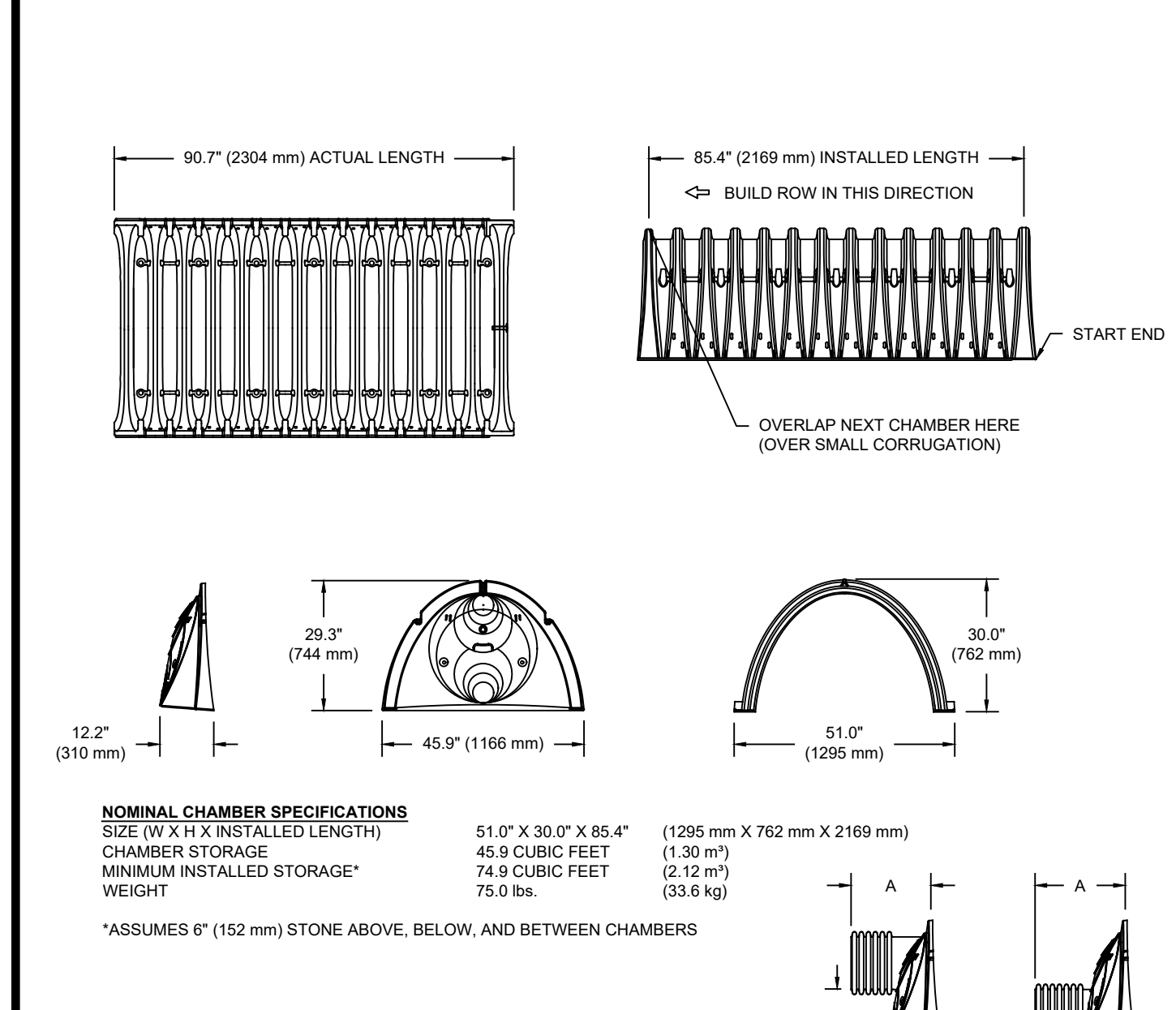
**NOTES**

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.

2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



**SWM-3** 4" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)  
NOT TO SCALE



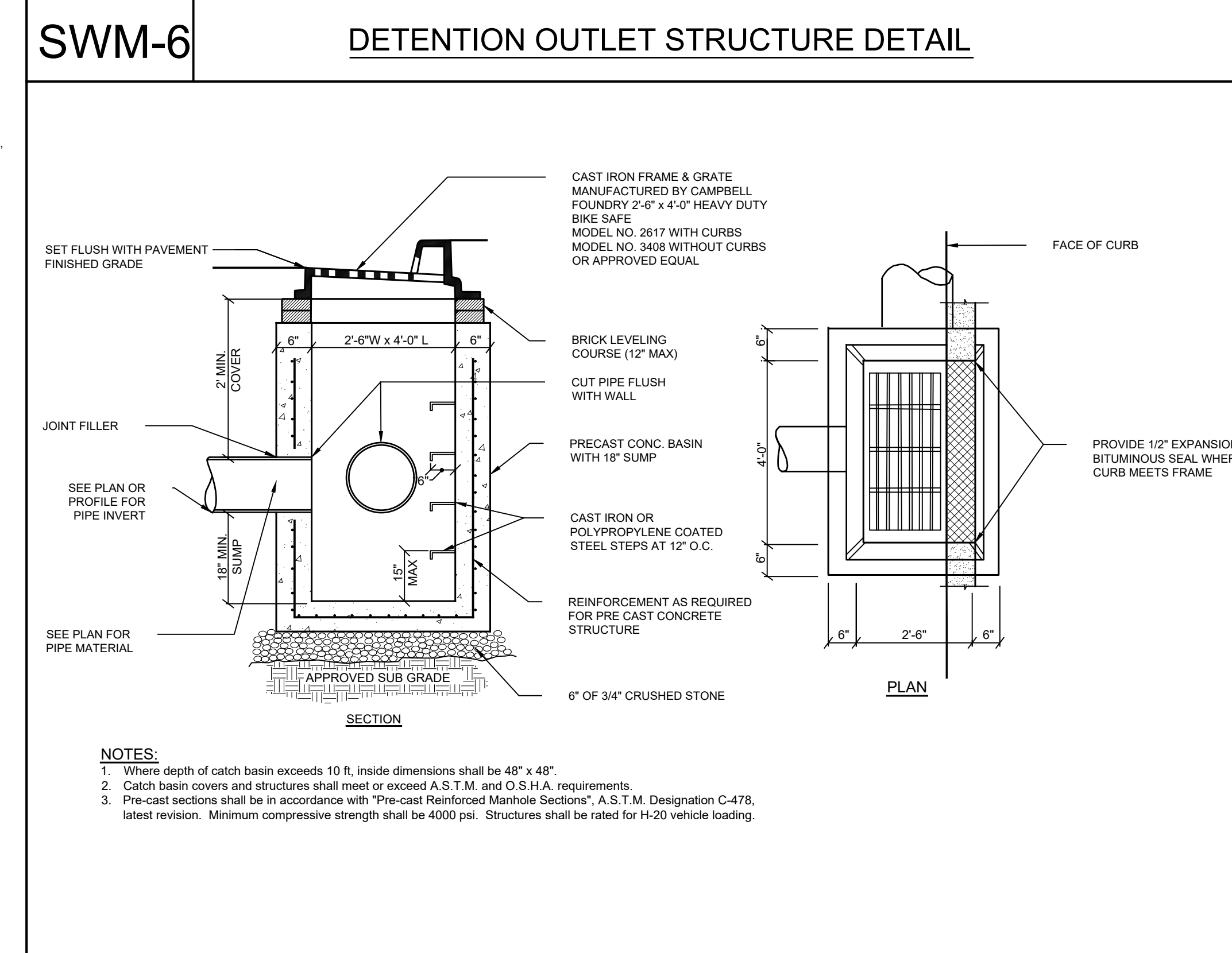
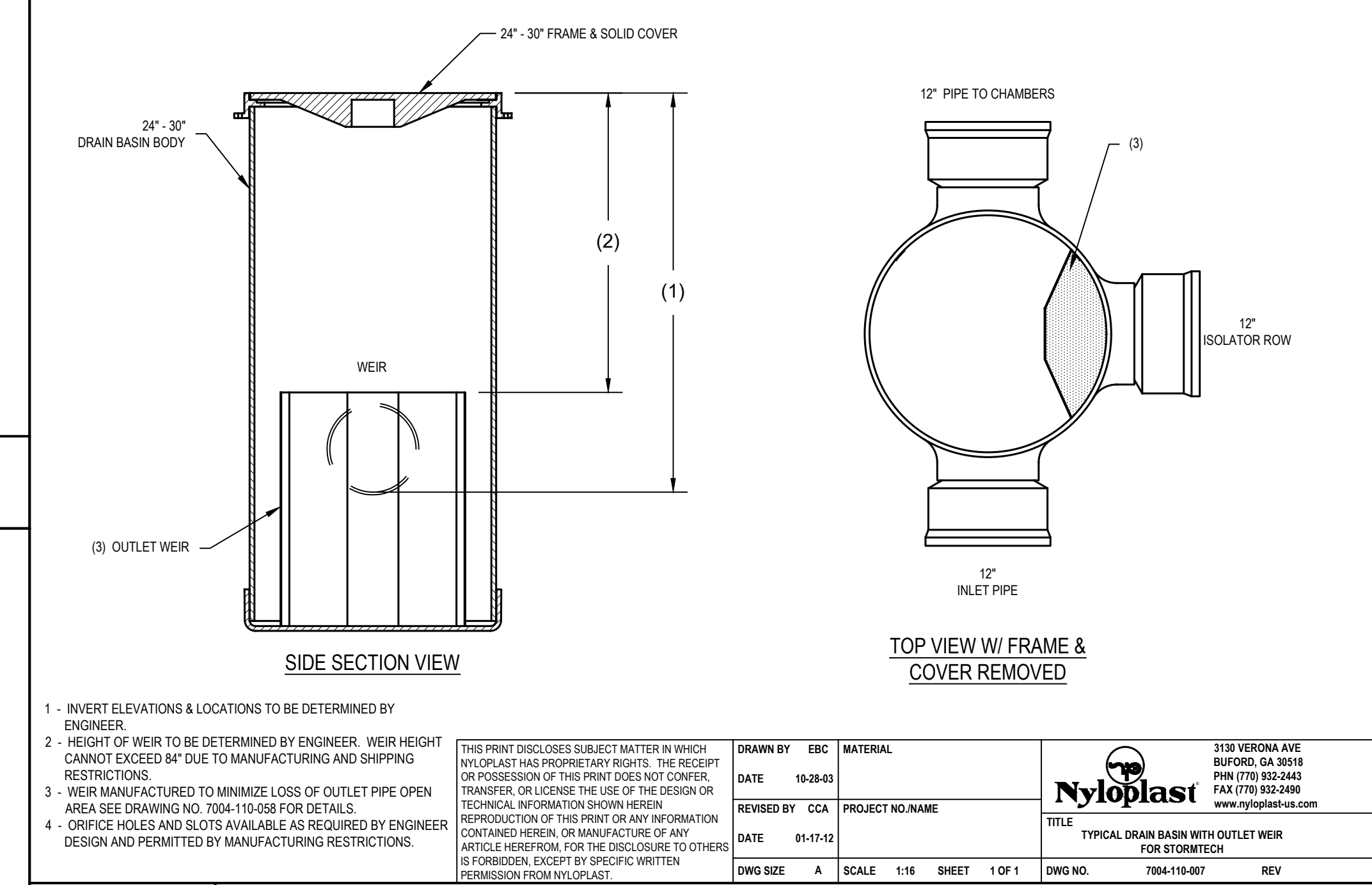
**NOTES**

- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 15-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANGERS) DUAL WALL & SDR 35 PVC
- FOR COMPLETE DESIGN AND PRODUCT INFORMATION: [WWW.NYLOPLAST-US.COM](http://WWW.NYLOPLAST-US.COM)
- TO ORDER CALL: 800-821-6710

A	PART #	GRATE/SOLID COVER OPTIONS
8" (200 mm)	2808AG	PEDESTRIAN LIGHT DUTY / STANDARD LIGHT DUTY / SOLID LIGHT DUTY
10" (250 mm)	2810AG	PEDESTRIAN LIGHT DUTY / STANDARD LIGHT DUTY / SOLID LIGHT DUTY
12" (300 mm)	2812AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
15" (375 mm)	2815AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
18" (450 mm)	2818AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
24" (600 mm)	2824AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
30" (750 mm)	2830AG	PEDESTRIAN AASHTO H-20 / STANDARD AASHTO H-20 / SOLID AASHTO H-20

**SC-740 STORMTECH CHAMBER SPECIFICATIONS**

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS. LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.85 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.



**D-2** TYPICAL CATCH BASIN DETAIL  
NOT TO SCALE

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM**

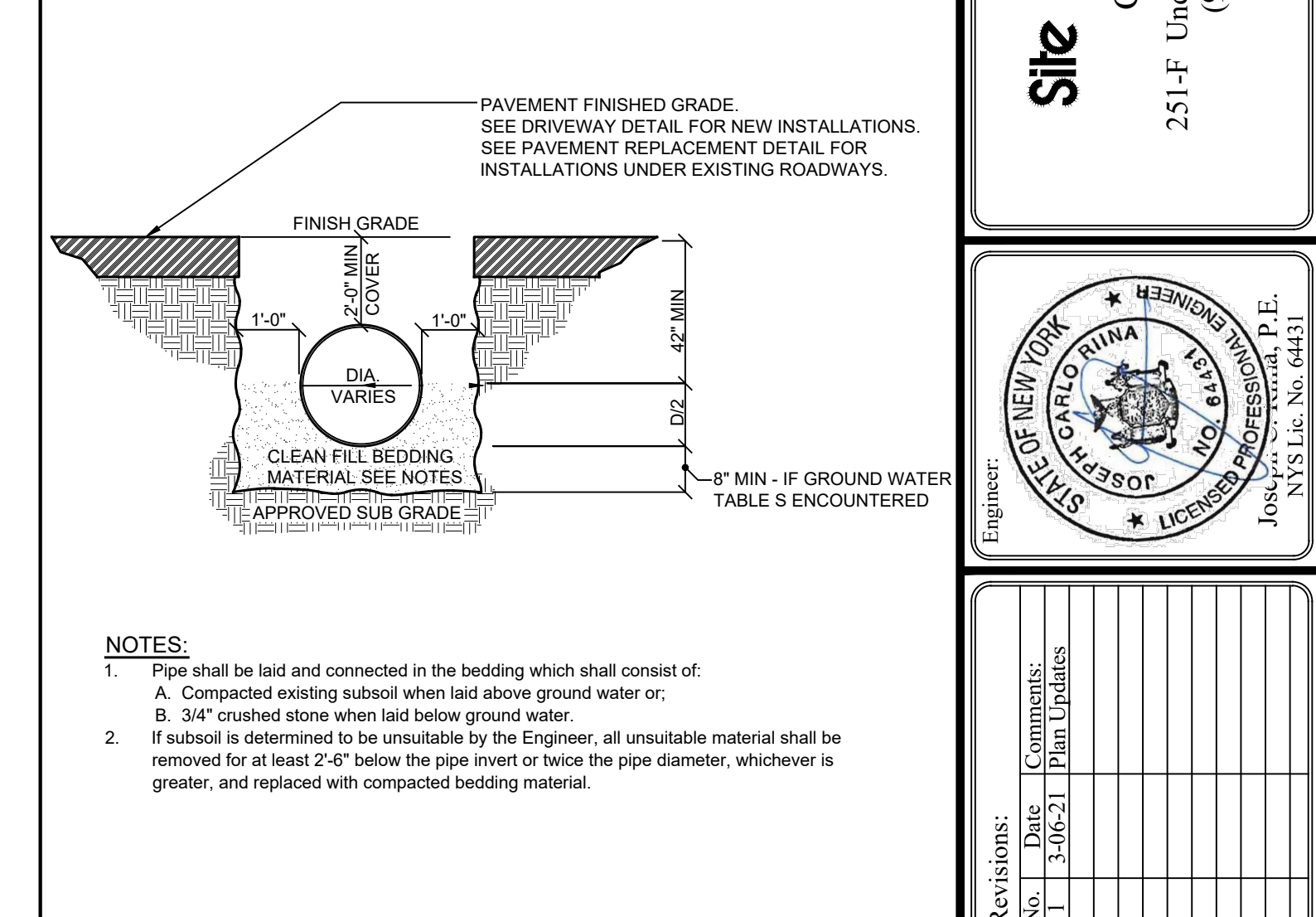
- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONESHOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

**NOTES FOR CONSTRUCTION EQUIPMENT**

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

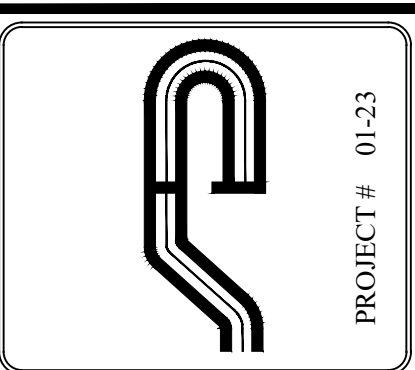
CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



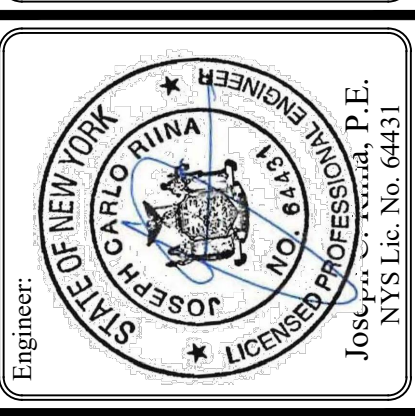
**D-1** STORM PIPE BEDDING DETAIL

**SWM-4** SC-740 TECHNICAL SPECIFICATION  
NOT TO SCALE

**SWM-5** NYLOPLAST DRAIN BASIN  
NOT TO SCALE



**Site Design Consultants**  
Civil Engineers • Land Planners  
251-J Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
[www.sitedesignconsultants.com](http://www.sitedesignconsultants.com)



Revisions:

No.	Date	Comments	Plan Updates
1	3-06-21		

SCALE: AS NOTED

DRAWN BY: CS

DATE: 1/23/20

**STORMWATER DETAILS**

**Correia Enterprises, LLC.**  
250 EAST MAIN STREET - JEFFERSON VALLEY  
Town of Yorktown  
Westchester County, New York

TOWN OF YORKTOWN  
PLANNING BOARD

RECEIVED  
PLANNING DEPARTMENT

OCT 23 2019

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6566, FAX (914) 962-3744

APPLICATION FOR SITE PLAN APPROVAL

Date October 3, 2019

1. Name of Project: Correia Enterprises LLC

2. Tax Map Designation (Section, Block, Lot) 6.17-2-65

3. Zone: R1-80, CC Total Acreage: 7.98

4. Is a statement of easements relating to property attached?  Yes  None exist

5. Project narrative (brief description of proposed development):

It is proposed to construct two 6,000 SF storage buildings, 1.5 story steel and masonry construction. Town water and individual septic system.

6. Contact Person - CHOOSE ONLY ONE:

- Applicant  Owner  Architect  Wetland Scientist  
 Attorney  Engineer  Surveyor  Landscape Architect

7. Applicant

Name Carlos Correia  
Firm Correia Enterprises LLC  
Address 250 East Main Street, Jefferson Valley  
Phone 914-490-1667  
Fax \_\_\_\_\_  
Email correia10@aol.com

8. Owner of Record

Name Same as Applicant  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**9. Attorney**

Name TBD  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**10. Engineer**

Name Joseph C. Riina, P.E.  
Firm Site Design Consultants  
Address 251-F Underhill Avenue, Yorktown Heights, NY 10598  
Phone 914-962-4488  
Fax 914-962-7386  
Email jriina@sitedesignconsultants.com  
Lic. No. 64431

**11. Surveyor**

Name TBD  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

**12. Architect**

Name TBD  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

**13. Wetland Scientist/Specialist**

Name TBD  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**14. Landscape Architect**

Name TBD  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

15. Is this project within 500 feet of the Town line?  Yes  No  
16. Is this project within 500 feet of the Putnam County line?  Yes  No  
17. Is this project within the Sustainable Development Study Area?  Yes  No

18. Is this project within 500 feet of:
- The right-of-way of any existing or proposed state or county road?  Yes  No
  - The boundary of an existing or proposed state or county park or any state or county recreation area?  Yes  No
  - The boundary of state or county-owned land on which a public building/institution is located?  Yes  No
  - An existing or proposed county drainage line?  Yes  No
  - The boundary of a farm located in an agricultural district?  Yes  No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination.  Yes  No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit                      Site Plan Approval and Building Permit
- Stormwater Permit
- Tree Permit
- Planning Board special permit: \_\_\_\_\_
- Town Board variance or approval: \_\_\_\_\_
- Zoning Board of Appeals variance or special permit: \_\_\_\_\_



21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: \_\_\_\_\_

22. This parcel is in the following districts:

School District	<u>Lakeland</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Lake Mohegan</u>	Sewer District	<u>N/A</u>

A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

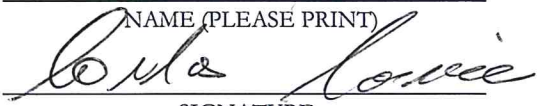
The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

---

<b>Applicant</b>	<b>Owner of Record</b>
_____ NAME (PLEASE PRINT)	Carlos Correia _____ NAME (PLEASE PRINT)
_____ SIGNATURE	 _____ SIGNATURE
_____ DATE	_____ DATE

**Note:** If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

**Note:** By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

**REFER TO AFFIDAVITS ON THE FOLLOWING PAGES**

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

\_\_\_\_\_, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20 \_\_\_\_

\_\_\_\_\_  
Notary Public

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Carlos Correia, being duly sworn, deposes and says that he resides at 1135 Williams Dr. Shuback in the County of Westchester and State of NY. That he is the President of Correia Enterprises LLC the corporation which is owner in fee of the property described in the foregoing application for Site Plan Approval and that the statements contained therein are true to the best of his knowledge and belief.

Carlos Correia

Sworn before me this 3rd date of October, 20 19

Catherine M. Mills  
Notary Public

CATHERINE M. MILLS  
Notary Public, State of New York  
No. 5002516  
Qualified in Westchester County  
Commission Expires 10-5-2022

\*\*\*\*\*

**AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER**

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

\_\_\_\_\_, being duly sworn, deposes and says that he is the agent named in the foregoing application for \_\_\_\_\_ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

\_\_\_\_\_

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20 \_\_\_\_

\_\_\_\_\_

Notary Public

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Last updated: December 2011

OCT 23 2019

TOWN OF YORKTOWN

617.20  
Appendix B  
Short Environmental Assessment Form


**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Carlos and Laurinda Correia			
Name of Action or Project: Correia Enterprises LLC			
Project Location (describe, and attach a location map): 250 East Main Street, Jefferson Valley, NY SBL 6.17-2-65			
Brief Description of Proposed Action: It is proposed to construct two 6,000 SF storage buildings, 1.5 story steel and masonry construction. Town water and individual septic systems will be designed.			
Name of Applicant or Sponsor: Joseph C. Riina, P.E., Site Design Consultants		Telephone: 914-962-4488	
		E-Mail: jriina@sitedesignconsultants.com	
Address: 251-F Underhill Avenue			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Yorktown Site Plan Approval, Excavation, Stormwater, Tree Permit, Building Permit, NYS DOT Utility Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		8.23 acres	
b. Total acreage to be physically disturbed?		0.93 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.23 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?  b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<b>NO</b>	<b>YES</b>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<b>NO</b>	<b>YES</b>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?  b. Are public transportation service(s) available at or near the site of the proposed action?  c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<b>NO</b>	<b>YES</b>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: All new construction will be in accordance with NYS Code.		<b>NO</b>	<b>YES</b>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____		<b>NO</b>	<b>YES</b>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____		<b>NO</b>	<b>YES</b>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?		<b>NO</b>	<b>YES</b>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Lake Osceola - no impacts due to this project.		<b>NO</b>	<b>YES</b>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<b>NO</b>	<b>YES</b>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?		<b>NO</b>	<b>YES</b>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES  b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES Stormwater will be managed on-site and overflow connections will tie into the State-owned drainage system.		<b>NO</b>	<b>YES</b>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Joseph C. Riina</u>	Date: <u>10-9-19</u>	
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**