

TOWN OF YORKTOWN PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA YORKTOWN TOWN HALL BOARD ROOM 363 Underhill Avenue, Yorktown Heights, NY 10598

September 27, 2021
7:00 PM

1. Correspondence
2. Meeting Minutes – September 13, 2021

REGULAR SESSION

3. Envirogreen Associates

Decision Statement

Location: 15.16-1-30 & 31; 1833-1875 East Main Street, Mohegan Lake

Contact: Site Design Consultants

Description: Proposed redevelopment of the property removing 2 existing building and parking area to construct a new 12,400 SF retail building with associated parking, landscaping, lighting, and stormwater improvements.

4. Northern Westchester Executive Park

Public Hearing

Location: 26.19-1-2; 2651 Strang Boulevard

Contact: Kellard Sessions Consulting

Description: Proposed expansion of parking lot to provide flexibility for lower level tenant(s).

5. Arcadia Farm Solar Farm

Public Hearing

Location: 47.11-1-4; 1300 Baptist Church Road

Contact: Croton Energy Group

Description: Proposed 800 kW ground mounted large-scale solar energy system.

6. Kitchawan Farm Solar Farm

Public Hearing

Location: 70.06-1-2 & 3; 716 Kitchawan Road

Contact: Ecology Kitchawan Community Solar Farm, LLC

Description: Proposed 2 MW ground mounted large-scale solar energy system.

7. Bird Bus Sales & Service

Public Informational Hearing

Location: 35.08-1-21 & 22; 3805 Crompond Road

Contact: JMC Site Development Consultants

Description: Proposed Bird Bus sales & service facility at former car dealership site on 2.71 acres in the C-4 zone.

WORK SESSION

8. 650 Pines Bridge Road

Discussion Subdivision

Location: 70.10-1-29; 650 Pines Bridge Road

Contact: Alex Cochran

Description: Proposed 3-lot subdivision on 8.06 acres in the R1-80 zone with one existing residence.

9. Taco Bell – Mohegan Lake

Discussion Site Plan

Location: 15.16-1-21; 3571 Mohegan Avenue

Contact: JMC Site Development Consultants

Description: Proposed Taco Bell restaurant and drive-thru on 0.83 acres in the C-2 zone, at the corner of East Main Street and Mohegan Avenue.

10. Boniello Equities Subdivision

Pre-Preliminary Discussion

Location: 37.09-1-70&71; 2012-2016 Crompond Road

Contact: Gus Boniello

Description: Proposed resubdivision of two lots to construct two two-family residences.

11. 3666 Old Yorktown Road

Discussion Fence

Location: 16.11-1-60; 3666 Old Yorktown Road

Contact: Carmella Pervizzi

Description: Proposed 6 ft fence across the front yard of the property in the residential existing development located in the C-2 zone.

12. Town Board Referral

Lexington Ave & Storage Road, East Main Street, Broad Street

Description: Con Edison SWPPP and Wetland Permit applications for various locations in order to do gas main upgrades and replacements.

13. Town Board Referral

Foothill Street

Description: Con Edison SWPPP and Wetland Permit applications for work on Foothill Street that is part of a Resiliency pilot project to bury utility lines.

14. Town Board Referral

Amendment to Solar Law

Description: Proposed to amend the definitions for small and large scale energy systems to reflect a 25kW threshold to match NYSERDA's standard.

Correspondence

Robyn Steinberg

From: Christine Gogola <christine.gogola@yahoo.com>
Sent: Friday, September 24, 2021 5:18 PM
To: Robyn Steinberg; John Tegeder
Subject: Re: 6 Months

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Afternoon

Can this question be added as correspondence to the Planning Board Meeting on September 27th.

Can you please advise if on or about October 12 will the planning board be advising Mrs. Hannsman and Mr. Mastromonaco to remove the planning board sign as Town Code 207B says if inactive 6 months the sign must be removed within 5 days. This is in regards to the Hannsman Major subdivision.

On Monday, September 13, 2021, 05:38:25 PM EDT, Christine Gogola <christine.gogola@yahoo.com> wrote:

Hi-

If the Hannsman application has been inactive for 6 months which would be October 12th does the applicant have to remove the sign within 3 days?

Thanks, Christine

From: Jennie Sunshine <sunhousetuff@gmail.com>
Sent: Friday, September 17, 2021 5:35 PM
To: Planning Department; John Tegeder; Nancy Calicchia; Nancy Milanesi
Cc: Ed Iachterman; Matthew Slater
Subject: RE: Foothills Street Solar and More

SEP 20 2021

YORKTOWN

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Yorktown Planning Board,

Please be sure that all members of the Yorktown Planning Board receive this email. Thank you.

When considering the Foothills Street Solar project at 3849 Foothills Street, please take into consideration the fact that they wish to remove 2000 trees in order to set up their solar project the way that they would like to. Here are the reasons the 2000 trees should not be allowed to be removed:

1. We've already lost many trees: Over the last 20 years, Yorktown has lost or had removed thousands and thousands of trees already, whether from the 202 road expansion west of The Taconic Pkwy; NYSEG and Con-Ed removals over the years; Spectra/Enbridge tree clearcutting for miles and miles in order to replace their gas pipeline; The Town removing trees on town land; homeowners clear cutting their properties and/or removing key specimen trees at will - given the fact that the "Yorktown Tree Ordinance" is not being enforced; Various numerous natural disasters that include wind events, hurricanes, tropical storms, floods, winter storms and ice storms; and various and numerous development projects that have been built upon undeveloped, forested and/or wetland areas.

2. We are going to lose more trees:

1. **Development:** While there is merit to Supervisor Slater's public relations push to entice developers to focus their attention on our easy-to-build-on destination - it is unfortunate that builders, as a whole, tend to focus on easy projects in easy places with easy profit and tend not to build where it makes sense logically, morally or logistically. For example, Yorktown has countless already-cemented footprints creating a present blight - that need redevelopment and repurposing in each of the Hamlets, however, these properties are often left unutilized while a patch of actual forest is bulldozed and turned into a plumbing store or strip shopping mall. In addition, many other development projects are presently in the works that are requesting tree removal as well.
2. **Weather Events:** Due to Climate Change and the oceans heating, even just a degree or two, this hurricane season, in our hemisphere, has already seen 14 named storms with 3 more possible storms out there right now, according to the National Hurricane Center. Weather and Climate Change will continue to be a factor in tree damage and tree loss.
3. **Lack of Tree Ordinance Enforcement:** As we all know, Yorktown residents can and will continue to do whatever they wish with the trees on their land with zero repercussions. Because by the time a neighbor might notice a clear cut, it is already too late. Yorktown finds itself at the mercy of all home owners and their knowledge (or lack thereof) of habitat, native species, invasive species and their free will. While we do have a good Tree Law, it is most certainly unfinished business - not communicating with the public that we even have a Tree Law, the steps to correctly use the law and then, having a full time professional to oversee and enforce the Law.

4. **The Comprehensive Plan:** If one studies Yorktown's Comprehensive Plan, it is guaranteed to support more open space than developed space. At the heart of it, this is what the majority of residents here desire.

3. Because Yorktown's Future is Up to You: While it is true that much of Yorktown was a patchwork of working farms for a few hundred years - prior to that, most of the area was a forest for thousands and thousands of years. After the initial tree felling for farm creation, what was left were pockets of forest and some farmland that was enough to sustain the fauna and flora that remained. But we are at a crossroads now - either we save what is left or we cement what is left. We either have suburban/farmland and some open spaces here or if we take an aggressive development stance (which I hope we don't), then with every development, you are putting Yorktown one step closer to being an urban, paved-over city, devoid of nature, hotter, more flooded, more crowded, less desirable and less attractive than it is now.

From now and into the future, I hope you will take the time to evaluate each project and push for each to utilize the present unused pavement while reducing the need to clear more forests and important key habitats.

The Goal: While solar is the future and is of chief importance as an energy resource, it is counter productive, destructive and habitat destroying to cut trees down in order to install solar panels when parkland, empty parking lots, unused parking lots, roofs, farmland, car parks, school yard areas and fields are already available for use in this way.

And further, in the near future, solar will likely become better, more efficient, more compact and may capture rays in smaller panels that require less surface area or in roof tiles or roadways or windows that do not require a "farm" structure, rendering tree clear cutting completely unnecessary.

We ought to be able to keep our forests intact AND have effective solar power that directly benefits the people of Yorktown.

Thank you for your time and consideration regarding this matter.

Sincerely,

Jennie Sunshine
Yorktown Heights, NY
SunHouseStuff@gmail.com

Draft Minutes

Envirogreen Associates

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: September 13, 2021
Subject: Envirogreen
2040 Greenwood Street; 15.16-1-30

RECEIVED
PLANNING DEPARTMENT
SEP 13 2021
TOWN OF YORKTOWN

Drawings Reviewed:

Title:	Date:	Produced By:
Architectural Plans, Sheets A1, A2	Revised 8/31/21	Gene Vetrano, Architect, Submitted 9/02/21
Architectural Plans, Sheets A1, A2 Revised per discussion	Revised 9/10/21	Gene Vetrano, Architect. Submitted 9/10/21

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at the Board meeting held on Tuesday, September 7, 2021. Gene Vetrano, Architect and Rick Cipriani, property owner were present.

The applicant stated that based on comments received, a revised rendering was submitted for review which included increasing the width of the walkway in front of the building, adding two cupolas and centering the main dormer and access to the site. While the ABACA appreciates the applicant’s response to their comments, the general consensus was that the scale of the cupolas, rooftop dormers and windows seem to be out of proportion to the roof and with each other and suggested for the applicant to study these rooftop elements in further detail. The applicant agreed to look into this and has submitted a revised rendering for the Board’s review on 9/10/21 which included revising the scale of the cupolas and replacing the double windows in the small dormers with single windows.

The Board is generally pleased with the changes submitted but still feels that there is too much window within the large dormer and suggests for the applicant to modify it to include only 4 double units instead of 5. This will allow for additional siding on either side, similar to the modified small dormers. The Board also feels that the window unit heights in all the dormers should be reduced to show more siding above and to separate the head of the units with the raking fascias.

The ABACA looks forward to further review as the project progresses and does not object to a site plan approval for this project.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc
cc: Applicant

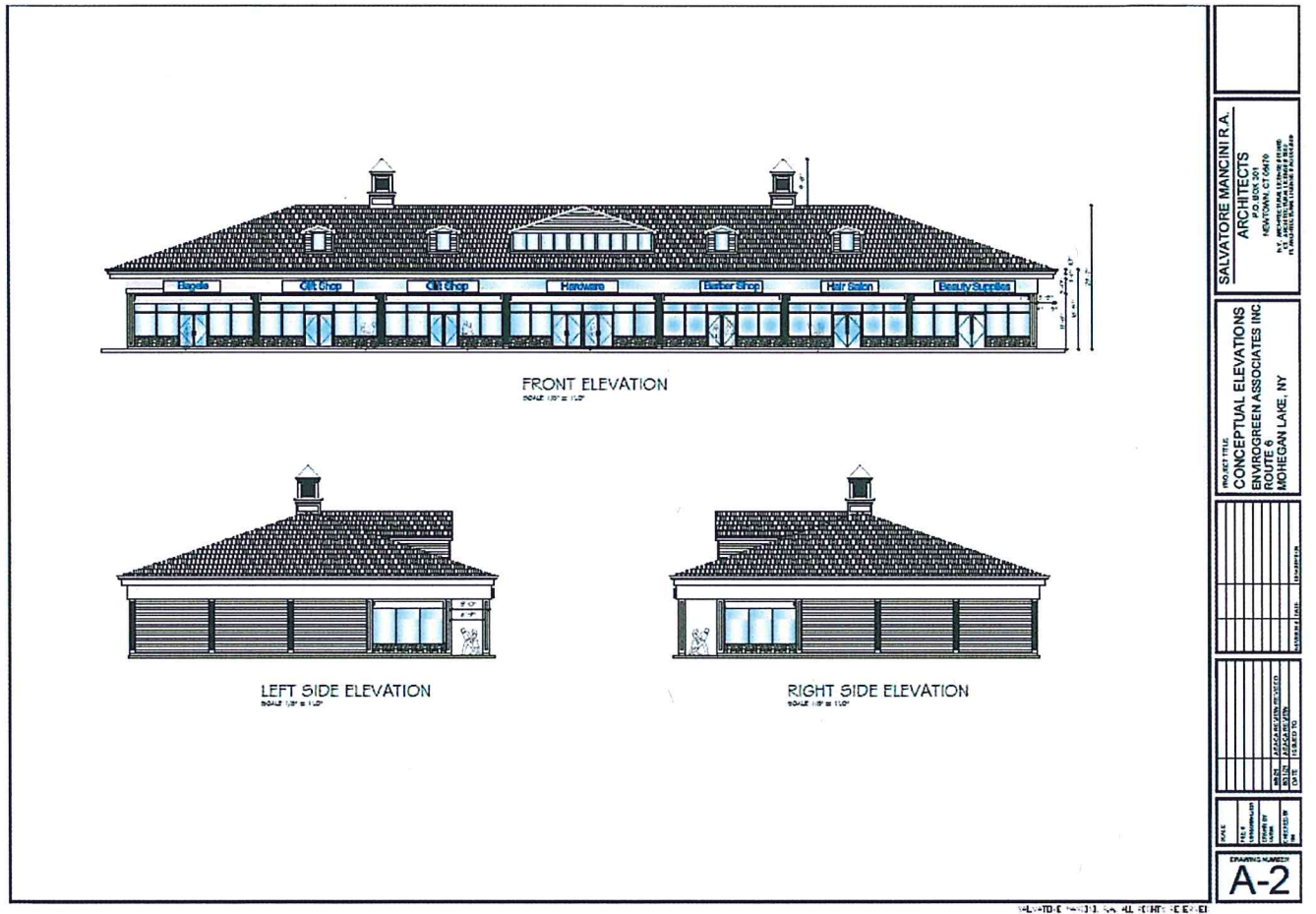
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ABACA Memo – Envirogreen
September 13, 2021
Page 2 of 3

Revised 09/10/21



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

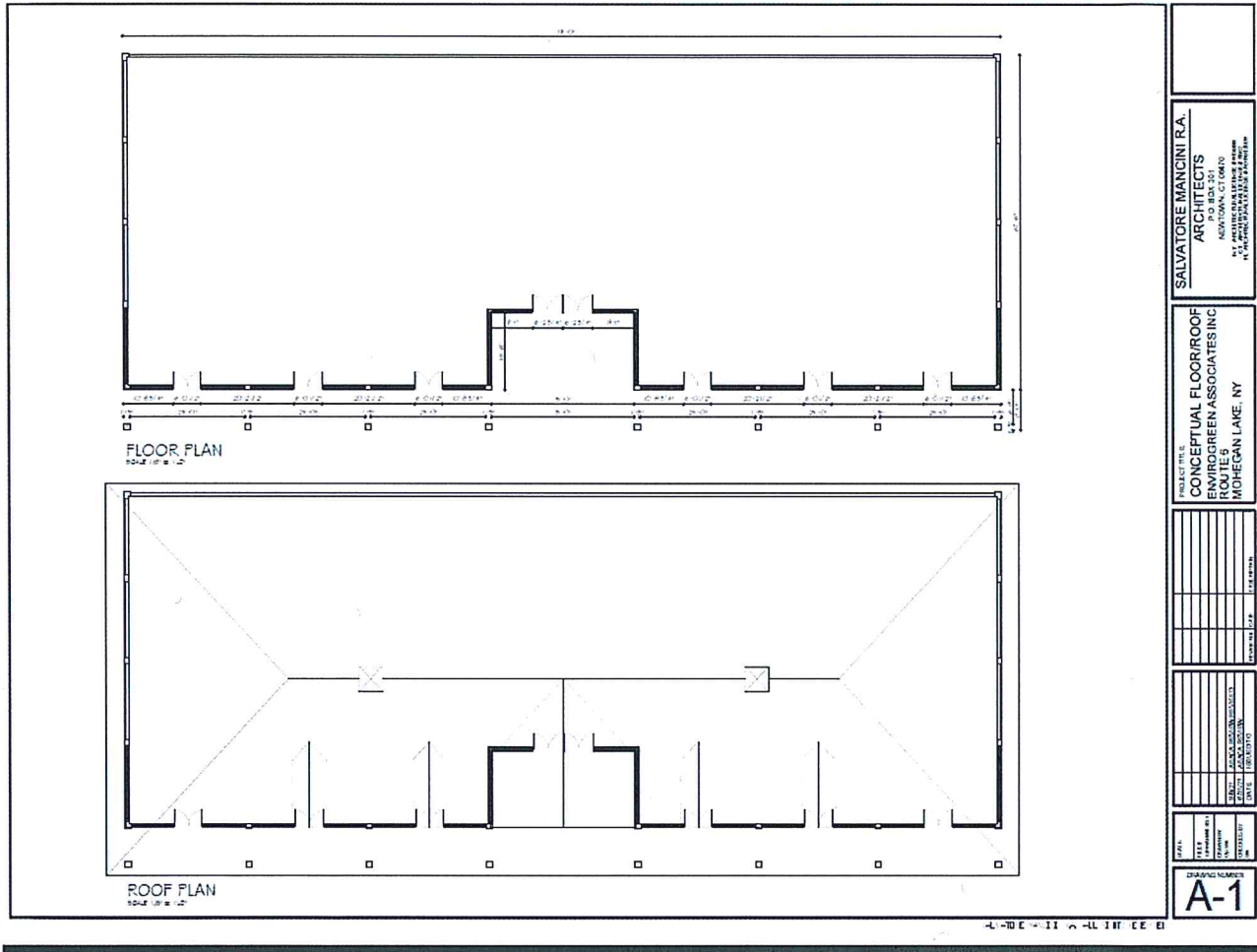
SALVATORE MANCINI R.A. ARCHITECTS P.O. BOX 201 100 W. MAIN STREET YORKTOWN HEIGHTS, NY 10598	
PROJECT TITLE:	CONCEPTUAL ELEVATIONS ENVIROGREEN ASSOCIATES INC ROUTE 6 MOHEGAN LAKE, NY
DATE:	10/10/21
SCALE:	AS SHOWN
DRAWING NUMBER:	A-2

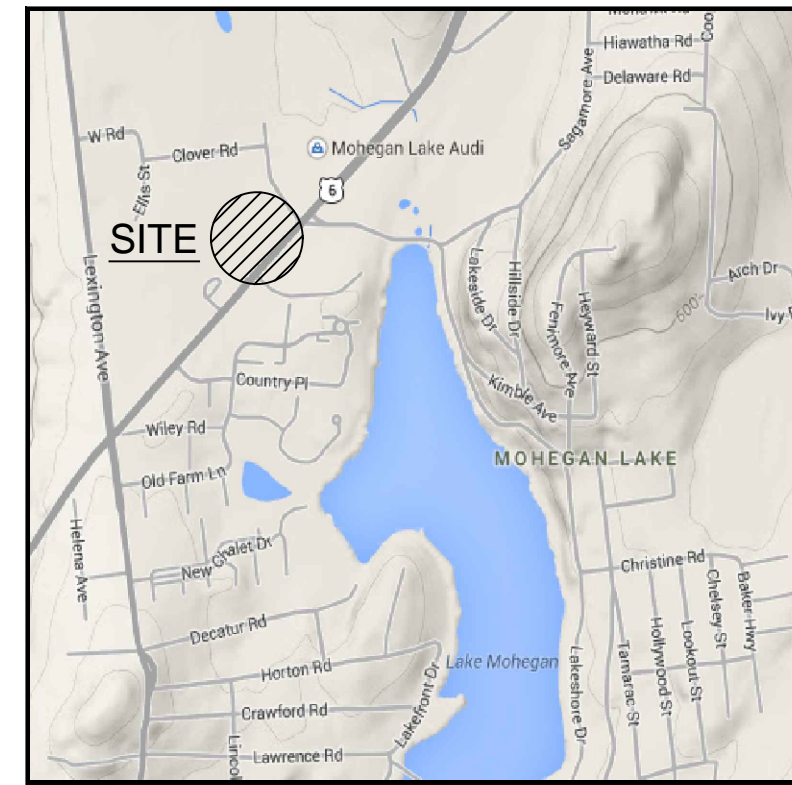
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ABACA Memo – Envirogreen
September 13, 2021
Page 2 of 3





SITE DATA:

OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.
 11 HAGEMAN CT
 KATONAH, N.Y., 10536
 PROJECT LOCATION: 1851 EAST MAIN STREET
 MOHEGAN LAKE, N.Y., 10547
 EXISTING TOWN ZONING: C-3, LIMITED COMMERCIAL - R1-20 RESIDENTIAL
 PROPOSED USE: RETAIL / COMMERCIAL
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31
 SITE AREA: 8.795 ACRES (383,114.7 SF)
 SEWAGE FACILITIES: PUBLIC SEWERS
 WATER FACILITIES: PUBLIC WATER FACILITIES

WETLAND DISTURBANCE:

	EXISTING		PROPOSED		NET INCREASE		PROPOSED MITIGATION CREATED WETLAND
	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	DISTURBANCE	IMPERVIOUS	
WETLAND	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	- tbd SF
100' WETLAND ADJACENT AREA	61,570 SF	34,920 SF	73,228 SF	65,815 SF	11,658 SF	30,895 SF	



ZONING SCHEDULE:

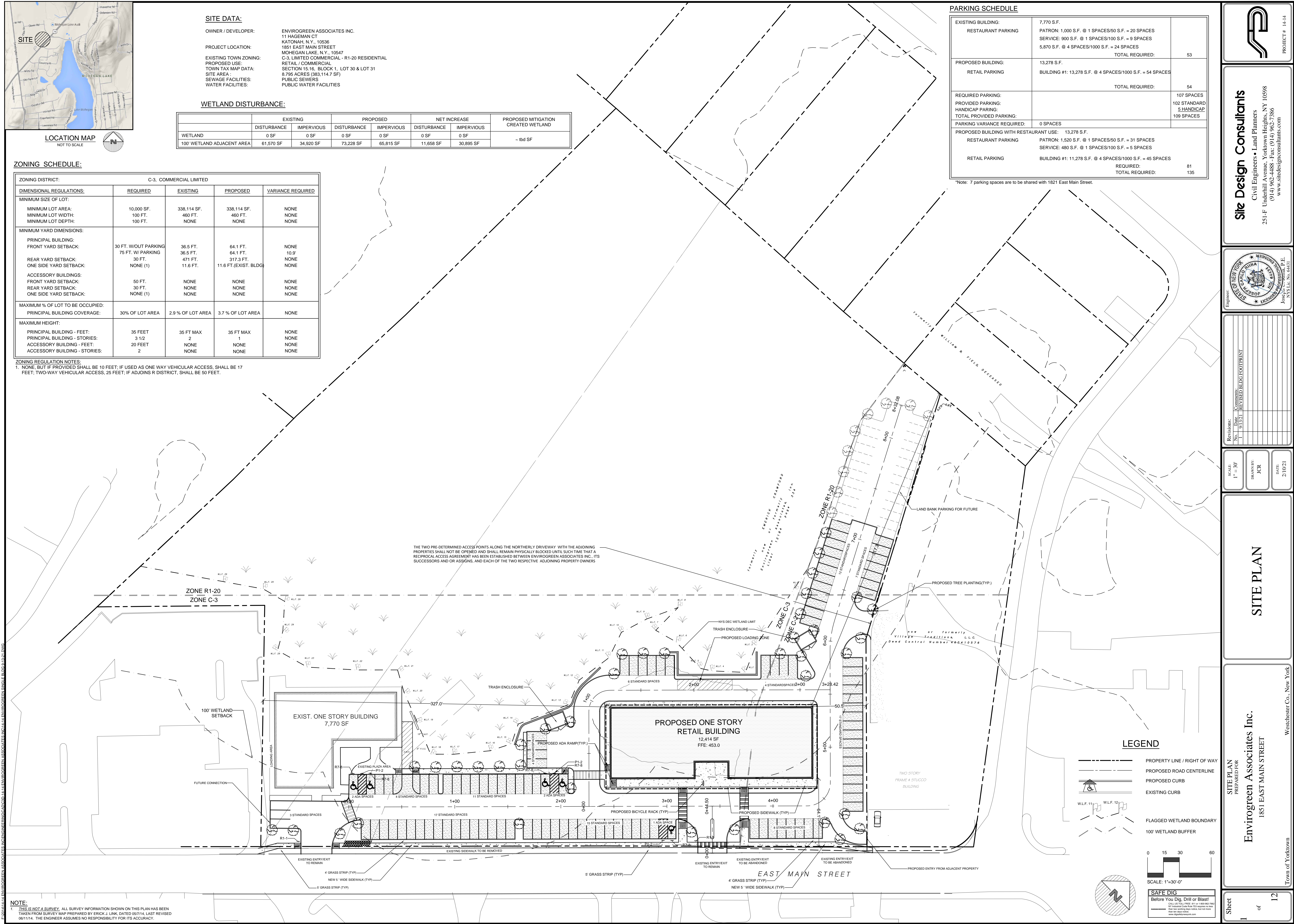
ZONING DISTRICT: C-3, COMMERCIAL LIMITED				
DIMENSIONAL REGULATIONS:	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	10,000 SF.	338,114 SF.	338,114 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	460 FT.	460 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	NONE	NONE	NONE
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:	30 FT. W/O/P PARKING	36.5 FT.	64.1 FT.	NONE
FRONT YARD SETBACK:	75 FT. W/ PARKING	36.5 FT.	64.1 FT.	10.9'
REAR YARD SETBACK:	30 FT.	471 FT.	317.3 FT.	NONE
ONE SIDE YARD SETBACK:	NONE (1)	11.6 FT.	11.6 FT. (EXIST. BLDG)	NONE
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	50 FT.	NONE	NONE	NONE
REAR YARD SETBACK:	30 FT.	NONE	NONE	NONE
ONE SIDE YARD SETBACK:	NONE (1)	NONE	NONE	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:				
PRINCIPAL BUILDING COVERAGE:	30% OF LOT AREA	2.9% OF LOT AREA	3.7% OF LOT AREA	NONE
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	3 1/2	2	1	NONE
ACCESSORY BUILDING - FEET:	20 FEET	NONE	NONE	NONE
ACCESSORY BUILDING - STORIES:	2	NONE	NONE	NONE

ZONING REGULATION NOTES:
 1. NONE, BUT IF PROVIDED SHALL BE 10 FEET; IF USED AS ONE WAY VEHICULAR ACCESS, SHALL BE 17 FEET; TWO-WAY VEHICULAR ACCESS, 25 FEET; IF ADJOINS R DISTRICT, SHALL BE 50 FEET.

PARKING SCHEDULE

EXISTING BUILDING:	7,770 S.F.	
RESTAURANT PARKING	PATRON: 1,000 S.F. @ 1 SPACES/50 S.F. = 20 SPACES SERVICE: 900 S.F. @ 1 SPACES/100 S.F. = 9 SPACES 5,870 S.F. @ 4 SPACES/1000 S.F. = 24 SPACES	TOTAL REQUIRED: 53
PROPOSED BUILDING:	13,278 S.F.	
RETAIL PARKING	BUILDING #1: 13,278 S.F. @ 4 SPACES/1000 S.F. = 54 SPACES	TOTAL REQUIRED: 54
REQUIRED PARKING:		107 SPACES
PROVIDED PARKING:		102 STANDARD 5 HANDICAP
TOTAL PROVIDED PARKING:		109 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES	
PROPOSED BUILDING WITH RESTAURANT USE:	13,278 S.F.	
RESTAURANT PARKING	PATRON: 1,520 S.F. @ 1 SPACES/50 S.F. = 31 SPACES SERVICE: 480 S.F. @ 1 SPACES/100 S.F. = 5 SPACES	TOTAL REQUIRED: 135
RETAIL PARKING	BUILDING #1: 11,278 S.F. @ 4 SPACES/1000 S.F. = 45 SPACES	REQUIRED: 81
		TOTAL REQUIRED: 135

*Note: 7 parking spaces are to be shared with 1821 East Main Street.



THE TWO PRE-DETERMINED ACCESS POINTS ALONG THE NORTHERLY DRIVEWAY WITH THE ADJOINING PROPERTIES SHALL NOT BE OPENED AND SHALL REMAIN PHYSICALLY BLOCKED UNTIL SUCH TIME THAT A RECIPROCAL ACCESS AGREEMENT HAS BEEN ESTABLISHED BETWEEN ENVIROGREEN ASSOCIATES INC., ITS SUCCESSORS AND OR ASSIGNS, AND EACH OF THE TWO RESPECTIVE ADJOINING PROPERTY OWNERS

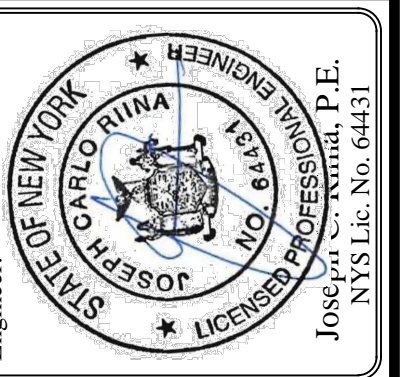
LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- FLAGGED WETLAND BOUNDARY
- 100' WETLAND BUFFER

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 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
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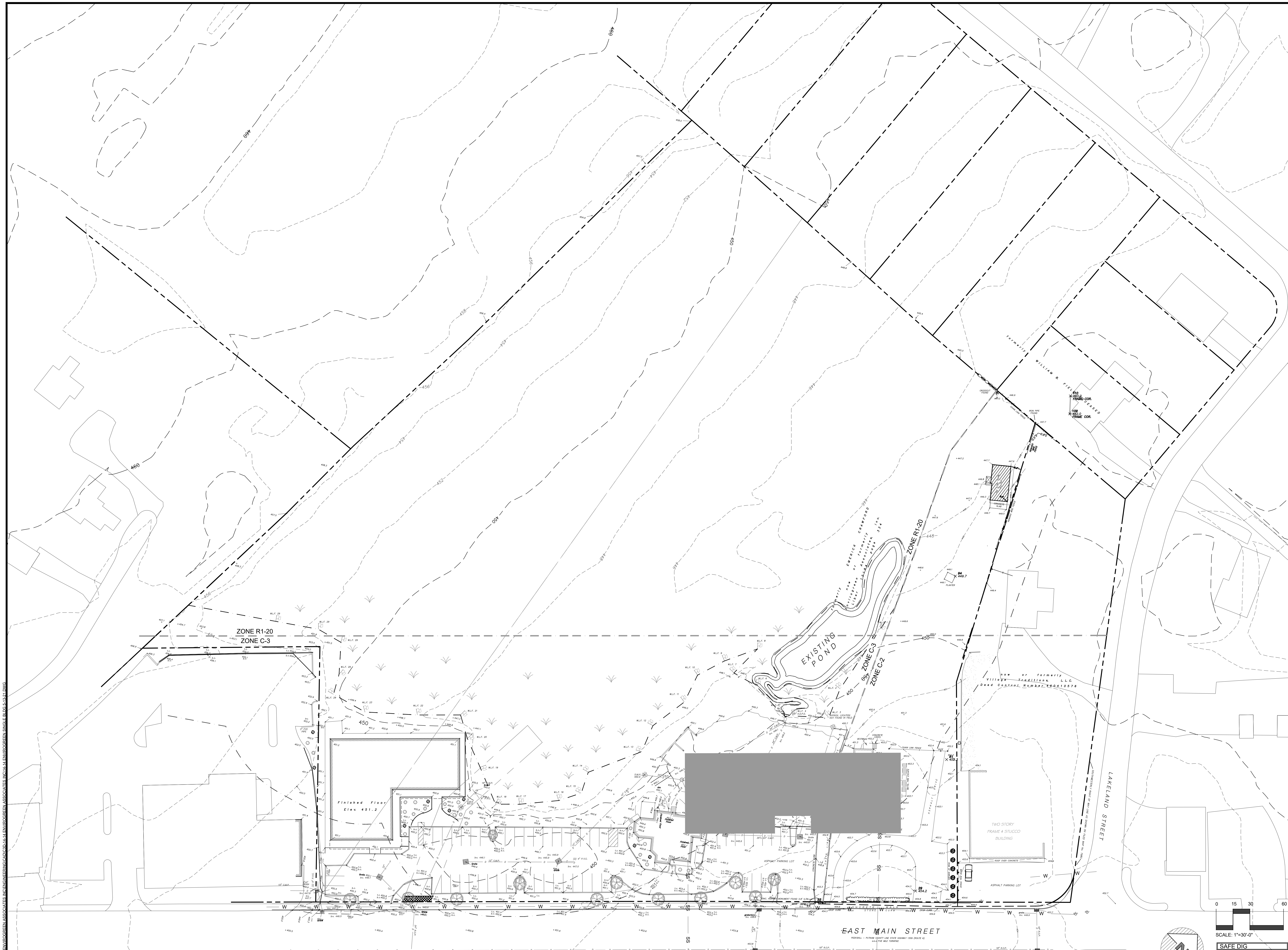
NO.	DATE	DESCRIPTION
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SCALE: 1"=30'

DRAWN BY: JCR
 DATE: 2/10/21

SITE PLAN

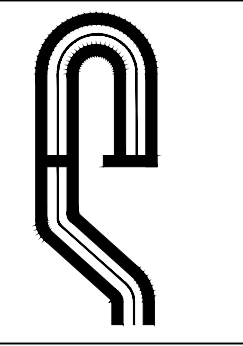
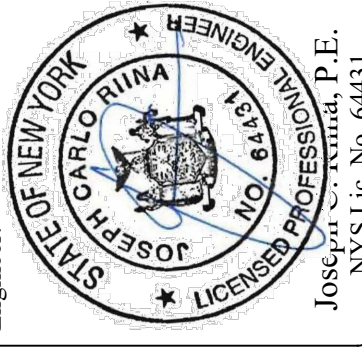
Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Westchester Co., New York

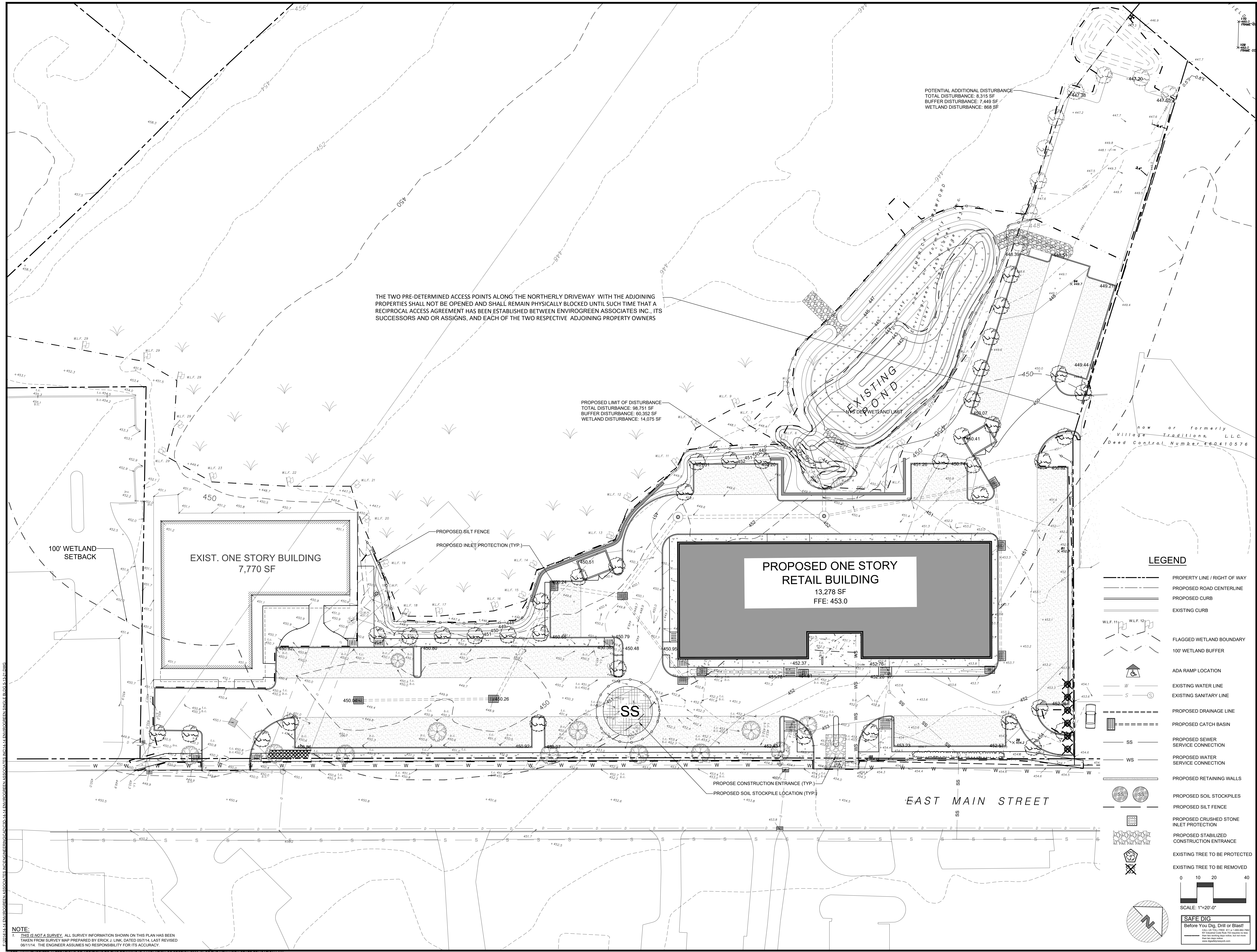


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WORK SHEET ENVIROGREEN ASSOCIATES INC. ENGINEERING AND ARCHITECTURE. THE ENVIROGREEN ASSOCIATES INCLUDE ENVIROGREEN SINGLE BUILDING SITE PLAN.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209 (2) OF THE NEW YORK STATE EDUCATION LAW.

 Site Design Consultants Civil Engineers • Land Planners 251-F Underhill Avenue, Yorktown Heights, NY 10598 (914) 962-4488 - Fax: (914) 962-7386 www.sitedesignconsultants.com	PROJECT # 14-14 COPYRIGHT © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.	
 Engineer: Joseph J. Link, P.E. NYS Lic. No. 6451	Revisions: No. Date Comments	
SCALE: 1" = 30'	DRAWN BY: JCR	DATE: 2/10/21
EXISTING CONDITIONS		
ENVIROGREEN ASSOCIATES 1851 EAST MAIN STREET Town of Yorktown, Westchester County, New York		
Sheet 2 of 12	SCALE: 1"=30'-0" SAFE DIG Before You Dig, Drill or Blast Call 811 or visit www.call811.com NY State Office of General Services Division of Environmental Conservation 625 Route 9W, Albany, NY 12243-1215 www.call811.com	



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LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- FLAGGED WETLAND BOUNDARY
- 100' WETLAND BUFFER
- ♿ ADA RAMP LOCATION
- EXISTING WATER LINE
- EXISTING SANITARY LINE
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- SS --- PROPOSED SEWER SERVICE CONNECTION
- WS --- PROPOSED WATER SERVICE CONNECTION
- PROPOSED RETAINING WALLS
- SS --- PROPOSED SOIL STOCKPILES
- PROPOSED SILT FENCE
- PROPOSED CRUSHED STONE INLET PROTECTION
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED

0 10 20 40
SCALE: 1"=20'-0"

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PROJECT # 14-14

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Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 • Fax: (914) 962-7386
www.sitedesignconsultants.com

Engineer:
JOSEPH CARLO PINA
Professional Engineer, P.E.
NY State License No. 6451

Revisions:
No. Date Comments:

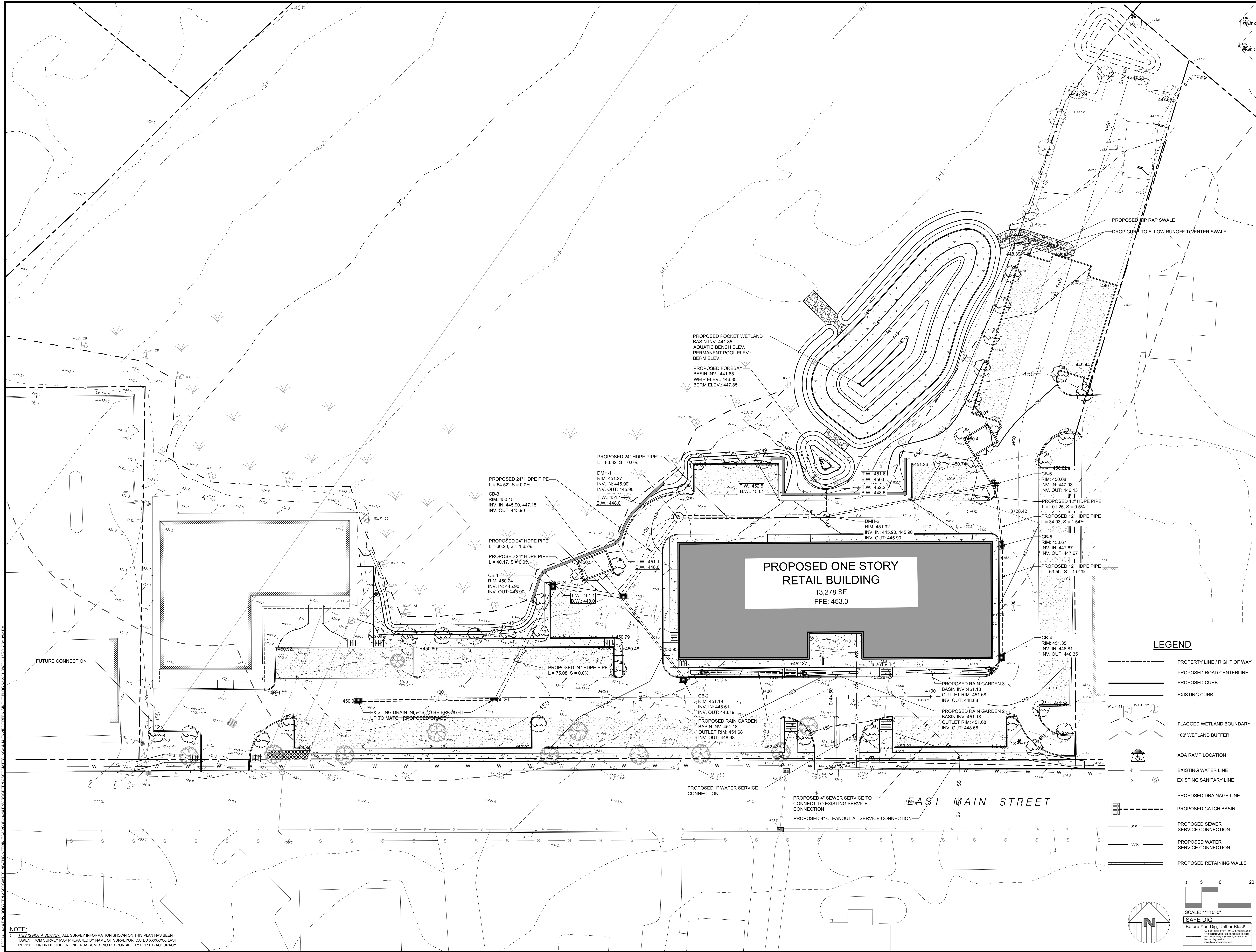
SCALE: 1"=20'
DRAWN BY: JCR
DATE: 11/06/17

E&S PLAN

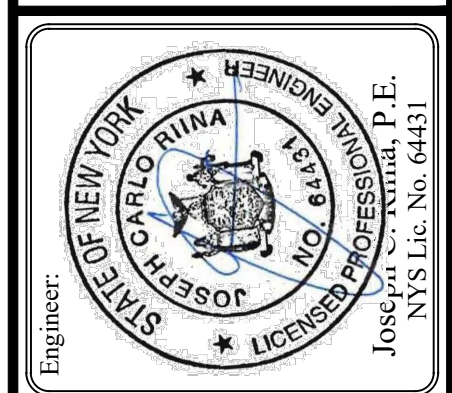
ENVIROGREEN ASSOCIATES
1851 EAST MAIN STREET
Westchester County, New York
Town of Yorktown

Sheet 3 of 12

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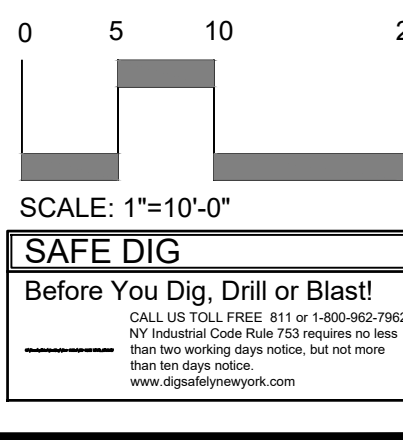
Revisions	No.	Date	Comments

SCALE: 1"=20'	DRAWN BY: JR	DATE: 2/10/21
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IMPROVEMENT PLAN

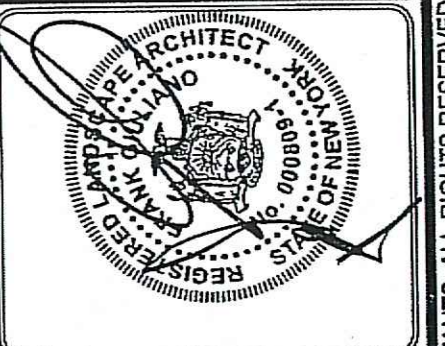
ENVIROGREEN ASSOCIATES
 1851 EAST MAIN STREET
 Town of Yorktown, Westchester County, New York

- LEGEND**
- PROPERTY LINE / RIGHT OF WAY
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 - PROPOSED DRAINAGE LINE
 - PROPOSED CATCH BASIN
 - PROPOSED SEWER SERVICE CONNECTION
 - PROPOSED WATER SERVICE CONNECTION
 - PROPOSED RETAINING WALLS



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FRANK GIULIANO - LANDSCAPE ARCHITECT
 8 PINE TREE DRIVE
 KATONAH, NY 10536
 914-954-4110 FGIA@GMAIL.COM

NO.	DATE	COMMENTS

SCALE: 1" = 20'
 DRAWN BY: JCR
 DATE: 11/06/17

LANDSCAPE PLAN

SITE PLAN PREPARED FOR
Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Westchester Co., New York

PLANT SCHEDULE

KEY QUAN.	BOTANICAL / COMMON NAME	SIZE
TREES		
AR	Acer rubrum "October Glory"	3"-3 1/2" Cal.
BH	Betula nigra "Heritage"	Heritage Birch, three stems 12'-14' HT.
JV	Juniperus virginiana "Taylor"	certified as "Taylor" 5'-6' HT.
TH	Juniperus virginiana "Taylor"	certified as "Taylor" 7'-8' HT.
QC	Quercus coccinea - Scarlet Oak	3"-3 1/2" Cal.
SHRUBS AND GROUNDCOVERS:		
ARO	Aronia m. "Landscape Mound"	Native Aronia 5 Gal.
DES	Deschampsia cespitosa - Native Tufted Hair Grass	3 Gal.
ILX	Ilex glabra "Shamrock"	Shamrock Inkberry 24"-30" HT.
IBB	Ilex glabra "Gem Box"	Gem Box Inkberry 18"-24" HT.
JPA	Juniperus "Parsonii"	Parsons Juniper 3 Gal.
RUS	Rhus a. "Gro-Low"	Gro-Low Sumac 3 Gal.
VIB	Viburnum dentatum - Arrowwood Viburnum	30"-36" HT.

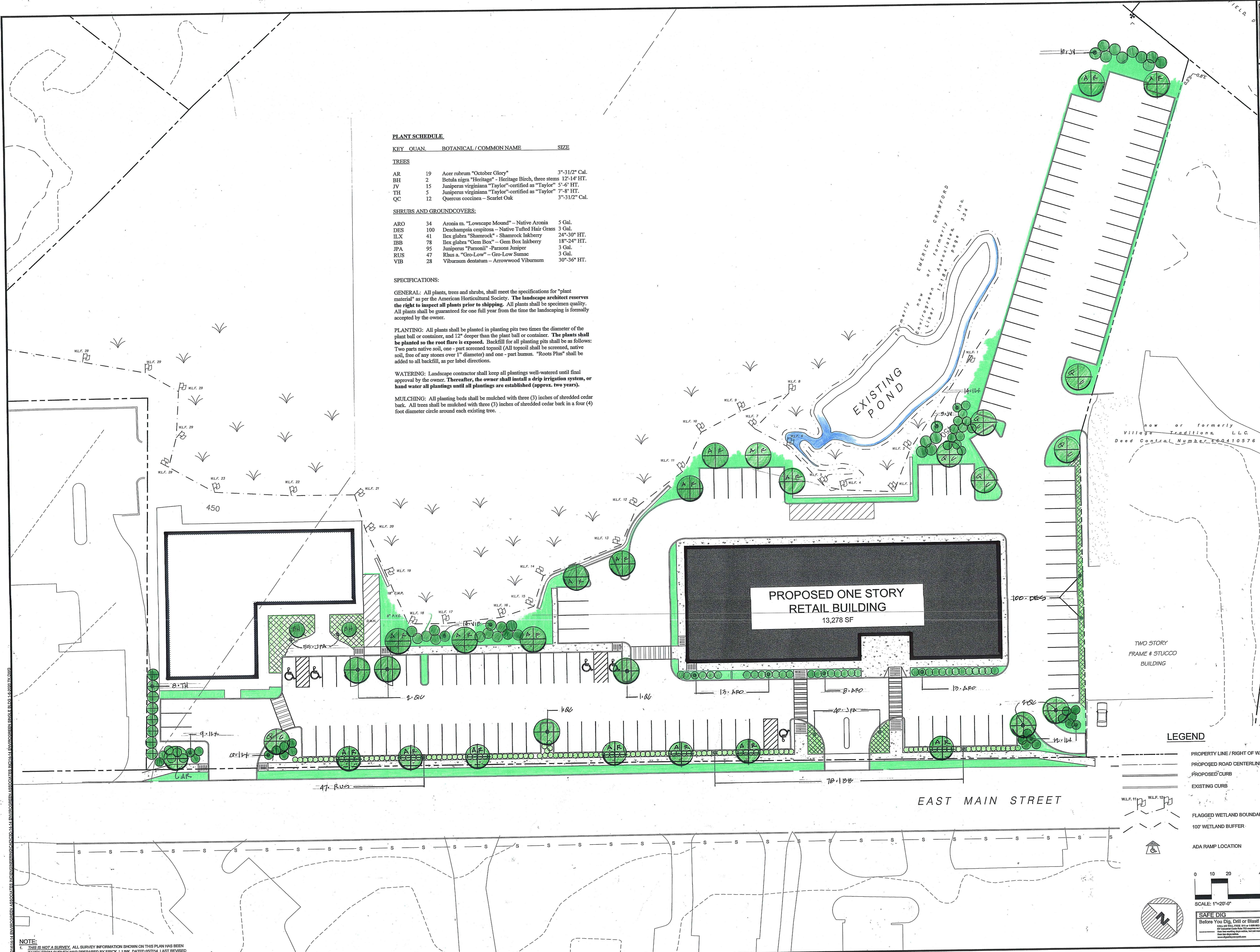
SPECIFICATIONS:

GENERAL: All plants, trees and shrubs, shall meet the specifications for "plant material" as per the American Horticultural Society. The landscape architect reserves the right to inspect all plants prior to shipping. All plants shall be specimen quality. All plants shall be guaranteed for one full year from the time the landscaping is formally accepted by the owner.

PLANTING: All plants shall be planted in planting pits two times the diameter of the plant ball or container, and 12" deeper than the plant ball or container. The plants shall be planted so the root flare is exposed. Backfill for all planting pits shall be as follows: Two parts native soil, one - part screened topsoil (All topsoil shall be screened, native soil, free of any stones over 1" diameter) and one - part humus. "Roots Plus" shall be added to all backfill, as per label directions.

WATERING: Landscape contractor shall keep all plantings well-watered until final approval by the owner. Thereafter, the owner shall install a drip irrigation system, or hand water all plantings until all plantings are established (approx. two years).

MULCHING: All planting beds shall be mulched with three (3) inches of shredded cedar bark. All trees shall be mulched with three (3) inches of shredded cedar bark in a four (4) foot diameter circle around each existing tree.



NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209 (2) OF THE NEW YORK STATE EDUCATION LAW.

D-Series Pole Mount LED Area Luminaire

Specifications Luminaire

EPA: 0.6 ft
 Width: 13.3/4" (32.7mm)
 Length: 11.5" (29.3mm)
 Height: 8" (203mm)
 Weight: 16.03 lbs (7.27kg)

Introduction

The D-Series Pole Mount luminaire is a stylish, fully integrated LED solution for area and site applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Pole Mount is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information EXAMPLE: DSXWPM LED 20C 1000 40K TSM MVOLT SPUBA DBDXD

Series	LED	Power (watts)	Color Temperature	Beam Spread	Mounting	Notes
DSXWPM LED	10 LEDs	100	40K	TSM	Type I Short	Shipped included
	20 LEDs	200	40K	TSM	Type II Short	
DSXWPM LED	10 LEDs	100	40K	TSM	Type I Short	Shipped included
	20 LEDs	200	40K	TSM	Type II Short	
DSXWPM LED	10 LEDs	100	40K	TSM	Type I Short	Shipped included
	20 LEDs	200	40K	TSM	Type II Short	
DSXWPM LED	10 LEDs	100	40K	TSM	Type I Short	Shipped included
	20 LEDs	200	40K	TSM	Type II Short	

Accessories

Part Number	Description	Notes
00000	Base (not shown)	Shipped separately
00001	Base (not shown)	Shipped separately
00002	Base (not shown)	Shipped separately
00003	Base (not shown)	Shipped separately
00004	Base (not shown)	Shipped separately
00005	Base (not shown)	Shipped separately
00006	Base (not shown)	Shipped separately
00007	Base (not shown)	Shipped separately
00008	Base (not shown)	Shipped separately
00009	Base (not shown)	Shipped separately
00010	Base (not shown)	Shipped separately
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00047	Base (not shown)	Shipped separately
00048	Base (not shown)	Shipped separately
00049	Base (not shown)	Shipped separately
00050	Base (not shown)	Shipped separately

NOTES

1. MOUNT show operates on any line voltage from 120-277V/3000 Hz. Specify 120, 208, 240 or 277 volts only when ordering with listing ID or separate or otherwise specify.
2. Only available with 20C. (Not available with 1000W). Not available with 1000W.
3. Not available with 10-degree mounting. Not recommended for 27 poles.
4. Not available with 10-degree mounting. Not recommended for 27 poles.
5. Not available with 10-degree mounting. Not recommended for 27 poles.
6. Not available with 10-degree mounting. Not recommended for 27 poles.
7. Not available with 10-degree mounting. Not recommended for 27 poles.
8. Not available with 10-degree mounting. Not recommended for 27 poles.
9. Not available with 10-degree mounting. Not recommended for 27 poles.
10. Not available with 10-degree mounting. Not recommended for 27 poles.

Submittal Spec Sheet

Overview

Pedestrian in scale only, the D-Series LED Area, Size 0 is an extraordinary luminaire that can be configured to meet any site's lighting needs. The versatility and power of this luminaire prove big things really do come in small packages. Coupled with Light² AIR wireless controls, the D-Series family provides enhanced end-user experiences and unmatched energy savings.

The sleek design reflecting the embedded high-performance LED outdoor lighting technology makes the D-Series, Size 0 the ideal choice for courtyards, bike paths, walkways, and retail sites.



Product Website: <https://www.lithonia.com/products/detail/196071>
 Warranty: <https://www.lithonia.com/warranty>

ORDERING INFORMATION DSX0 LED P1 40K TTFM MVOLT SPA NLTAR2 PIRN DBDXD

Series	Lamp Type	LED Configuration
DSX0	D-Series Size 0 LED Area Luminaire	P1 Package 1
		P10 Package 10
		P11 Package 11
		P12 Package 12
		P13 Package 13
		P2 Package 2
		P3 Package 3
		P4 Package 4
		P5 Package 5
		P6 Package 6
P7 Package 7		

Correlated Color Temperature	Distribution	Lens Type and Pattern
3000K	RLC Backlight control	TSM Type V Medium
4000K	LOCO Left Corner Cutoff Optic	TSS Type V Short
5000K	RCCO Right Corner Cutoff Optic	TSSB Type V Very Short
AMBPC Amber, Phosphor Coated	T1S Type I Short	TSM Type V Wide
	T2M Type II Medium	TSM Type II Short
	T2S Type II Short	TSM Type II Medium
	T3M Type III Medium	TSM Type III Short
	T3S Type III Short	TSM Type III Medium
	T4M Type IV Medium	TSM Type IV Short
	T4S Type IV Short	TSM Type IV Medium

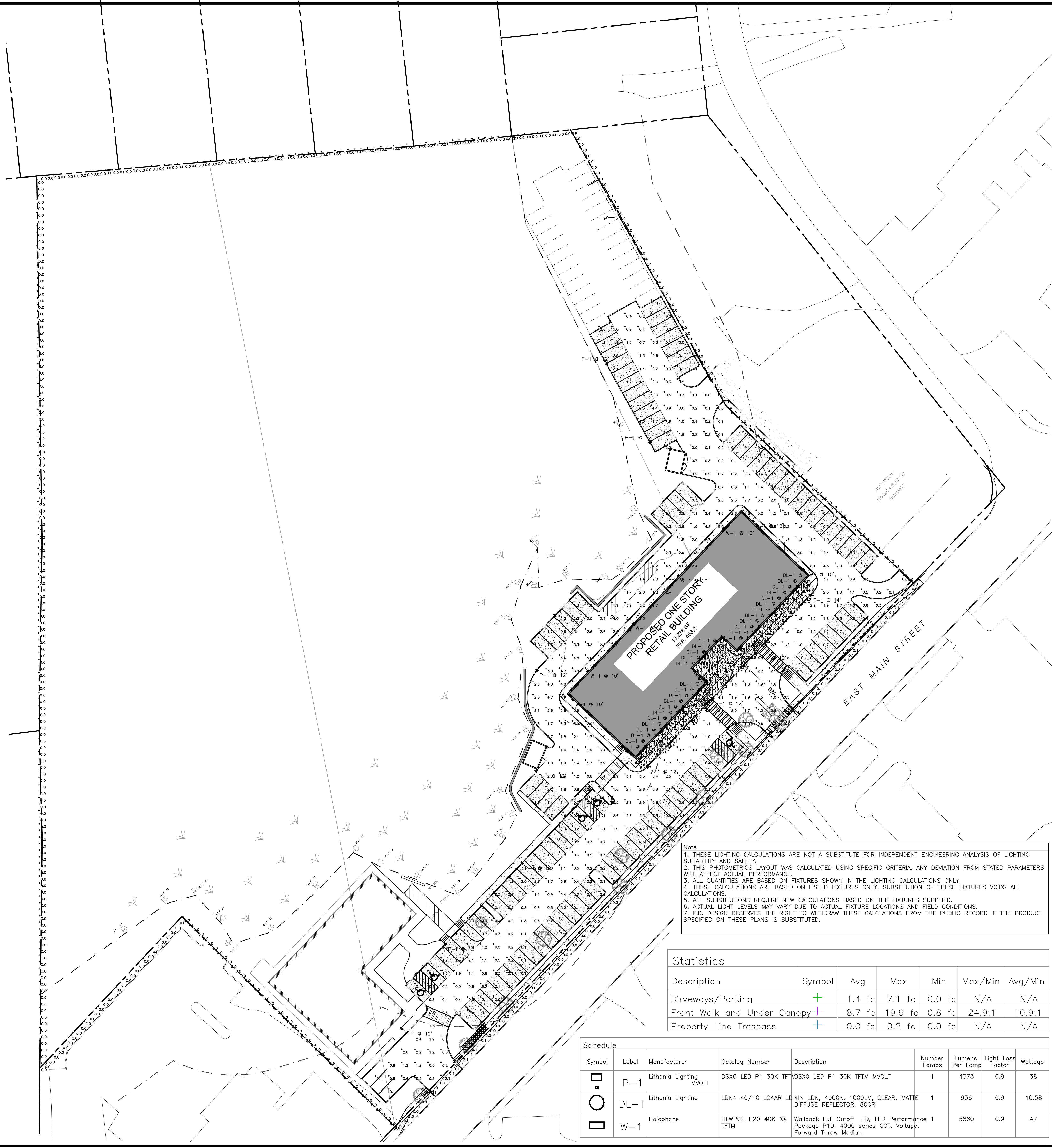
NOTES

1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERIC J. LINK, DATED 05/7/14, LAST REVISED 06/11/14. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

LITHONIA LIGHTING

One Lithonia Way • Corvallis, Georgia 30632 • Phone: 800-705-7370 • www.lithonia.com

Created Date: 6/29/2021 9:57 AM
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Note

1. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SUITABILITY AND SAFETY.
2. THIS PHOTOMETRICS LAYOUT WAS CALCULATED USING SPECIFIC CRITERIA, ANY DEVIATION FROM STATED PARAMETERS WILL AFFECT ACTUAL PERFORMANCE.
3. ALL QUANTITIES ARE BASED ON FIXTURES SHOWN IN THE LIGHTING CALCULATIONS ONLY.
4. THESE CALCULATIONS ARE BASED ON LISTED FIXTURES ONLY. SUBSTITUTION OF THESE FIXTURES Voids ALL CALCULATIONS.
5. ALL SUBSTITUTIONS REQUIRE NEW CALCULATIONS BASED ON THE FIXTURES SUPPLIED.
6. ACTUAL LIGHT LEVELS MAY VARY DUE TO ACTUAL FIXTURE LOCATIONS AND FIELD CONDITIONS.
7. FUG DESIGN RESERVES THE RIGHT TO WITHDRAW THESE CALCULATIONS FROM THE PUBLIC RECORD IF THE PRODUCT SPECIFIED ON THESE PLANS IS SUBSTITUTED.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Driveways/Parking	+	1.4 fc	7.1 fc	0.0 fc	N/A	N/A
Front Walk and Under Canopy	+	8.7 fc	19.9 fc	0.8 fc	24.9:1	10.9:1
Property Line Trespass	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
P-1	P-1	Lithonia Lighting	MVOLT	DSX0 LED P1 30K TTFM DSX0 LED P1 30K TTFM MVOLT	1	4373	0.9	38
DL-1	DL-1	Lithonia Lighting	LDN4 40/10 LO4AR LD	4IN LDN, 4000K, 1000LM, CLEAR, MATTE DIFFUSE REFLECTOR, 80CRI	1	936	0.9	10.58
W-1	W-1	Holophane	HLWPC2 P20 40K XX TTFM	Wallpack Full Cutoff LED, LED Performance 1 Package P10, 4000 series CCT, Voltage, Forward Throw Medium	1	5860	0.9	47

Site Design Consultants
 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 • Fax: (914) 962-7386
 www.sitedesignconsultants.com

Engineer: Joseph C. Rima, P.E.
 NYS Lic. No. 6451

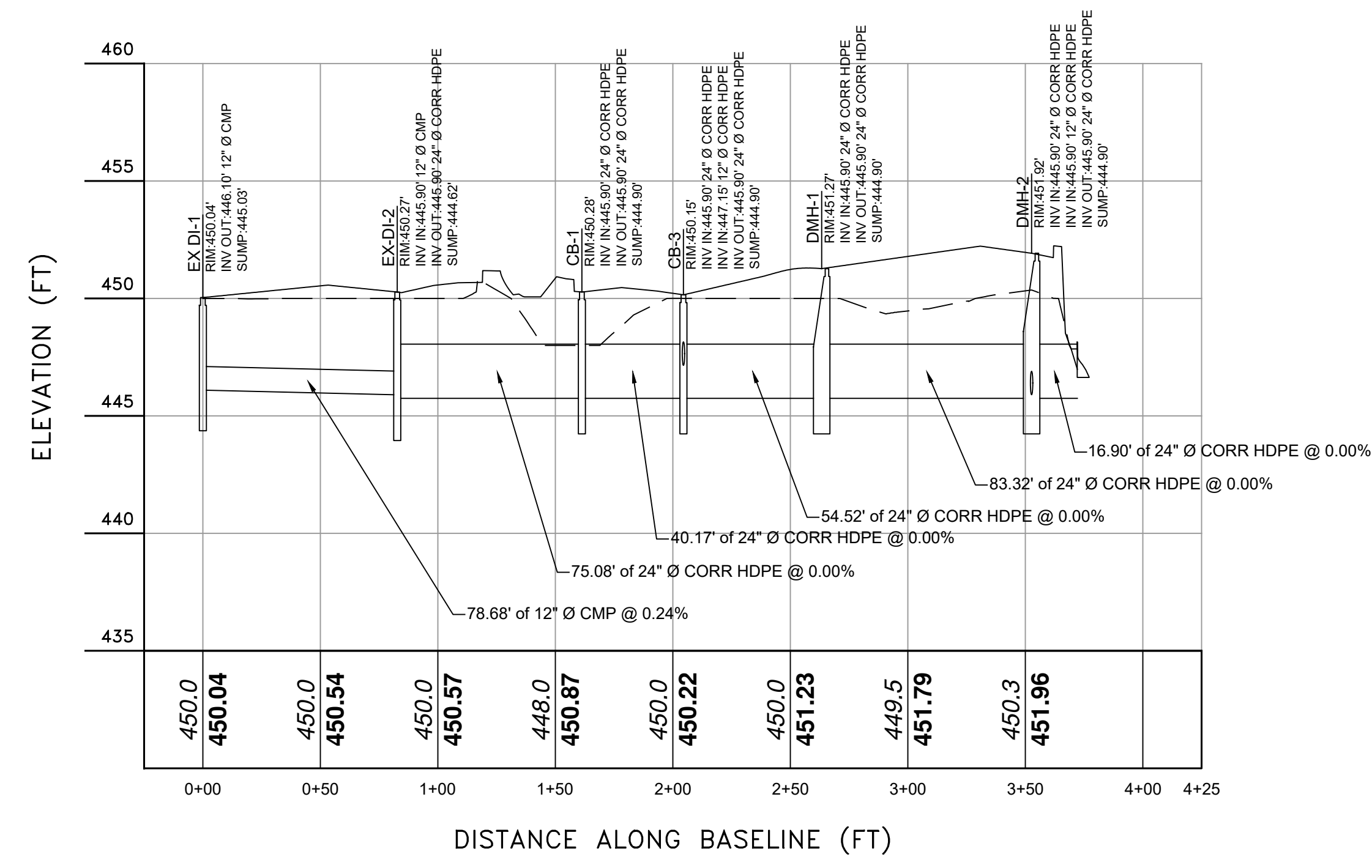
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 Drawn By: JCR
 Date: 11/06/17

LIGHTING PLAN

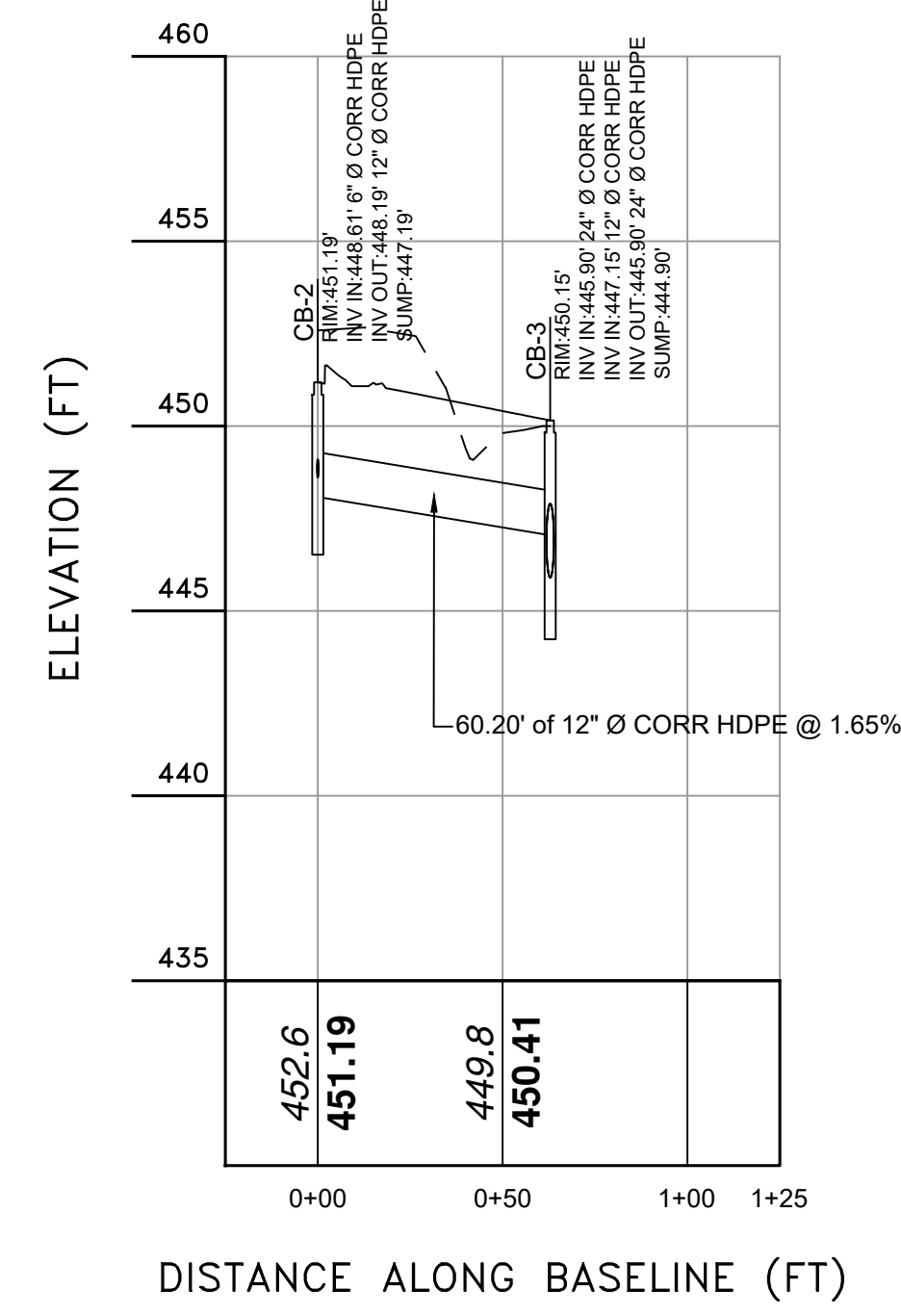
Envirogreen Associates Inc.
 1851 EAST MAIN STREET
 Westchester Co., New York

Sheet 6 of 12

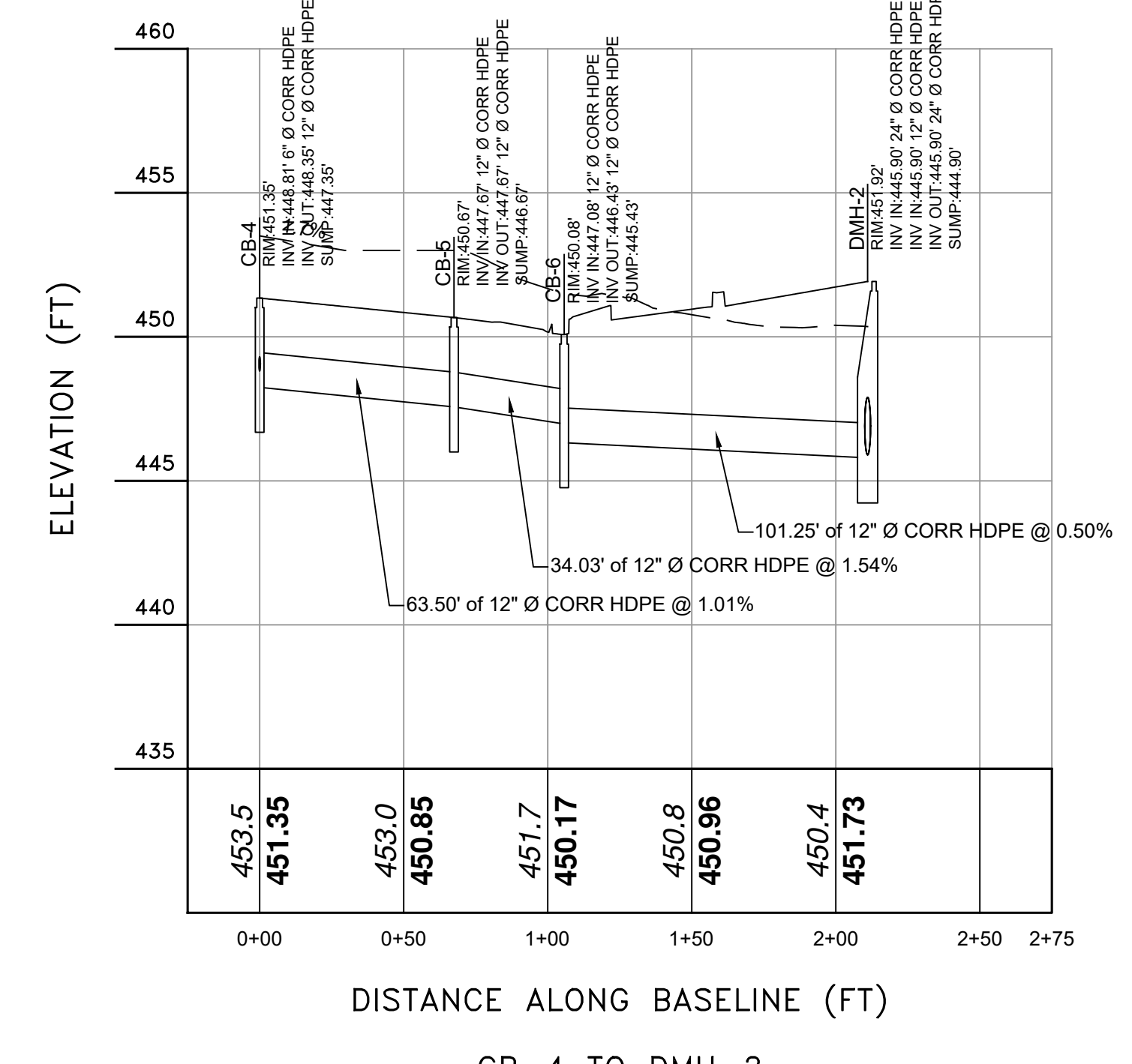
Town of Yorktown



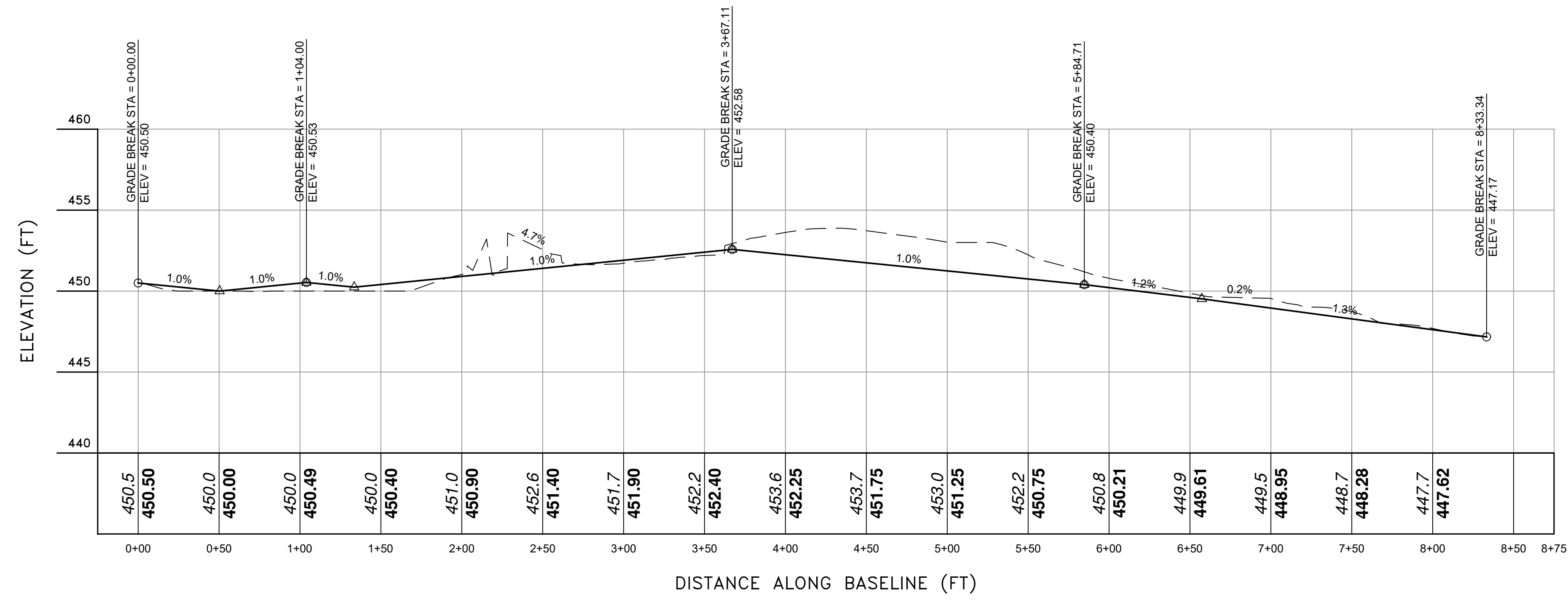
EX DI-1 TO POCKET POND
 PROFILE SCALE:
 HORIZ: 1"=50'
 VERT: 1"=5'



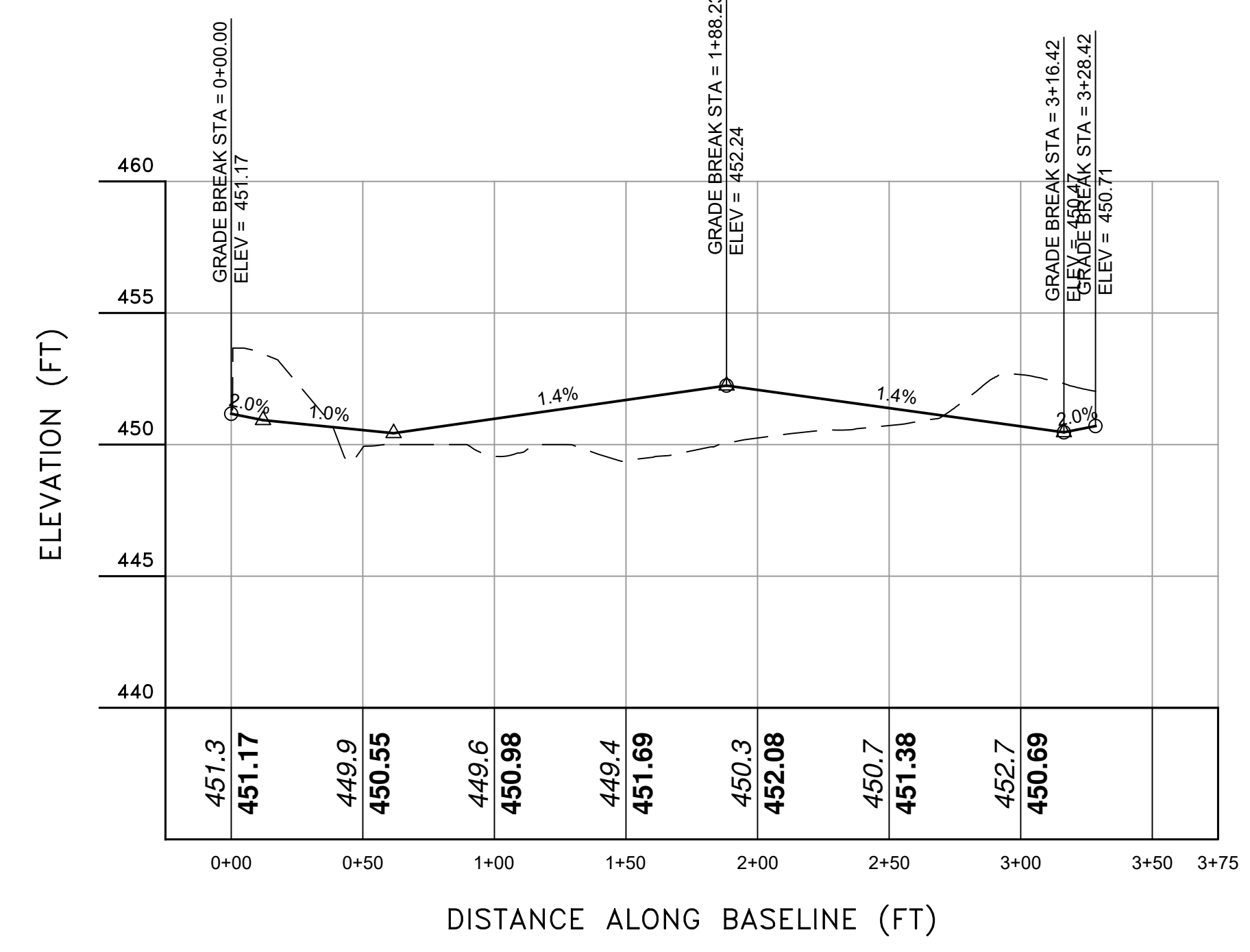
CB-2 TO CB-3
 PROFILE SCALE:
 HORIZ: 1"=50'
 VERT: 1"=5'



CB-4 TO DMH-2
 PROFILE SCALE:
 HORIZ: 1"=50'
 VERT: 1"=5'



MAIN DRIVEWAY
 PROFILE SCALE:
 HORIZ: 1"=50'
 VERT: 1"=5'



REAR DRIVEWAY
 PROFILE SCALE:
 HORIZ: 1"=50'
 VERT: 1"=5'

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NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY ERICK J. LINK, DATED 05/7/14, LAST REVISED 06/11/14. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

SAFE DIG
 Before You Dig, Drill or Blast!

GENERAL NOTES:

- 1. THE ENGINEER WHOSE SEAL APPEARS HEREON HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION. SUBSEQUENTLY HE IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.

CONTRACTOR RESPONSIBILITIES:

- 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONSTRUCTION NOTES:

- 1. BENCH MARKS USING U.S.G.S. DATUM SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS.

GENERAL STORM DRAINAGE & UTILITY NOTES

- 1. ALL UTILITIES, INCLUDING ELECTRIC LINES, TELEPHONE, WATER, SANITARY SEWER LINES, AND STORM SEWER LINES SHALL BE LOCATED UNDERGROUND AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF OSSINING AND THE UTILITY COMPANIES HAVING JURISDICTION.

GENERAL EROSION CONTROL NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES, THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- 1. TREES AND VEGETATION SHALL BE PROTECTED AT ALL TIMES AS SHOWN ON THE DETAIL DRAWING AND AS DIRECTED BY THE ENGINEER.

MAINTENANCE SCHEDULE:

Table with columns: Activity, DAILY, WEEKLY, MONTHLY, AFTER RAINFALL, NECESSARY TO MAINTAIN FUNCTION, AFTER APPROVAL OF INSPECTOR. Rows include SILT FENCE, WHEEL CLEANER, INLET PROTECTION.

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

THE STORMWATER MANAGEMENT SYSTEM AND OUTLET STRUCTURE SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER EVERY RAINFALL EVENT. SEDIMENT BUILD UP SHALL BE REMOVED FROM THE INLET PROTECTION REGULARLY TO INSURE DETENTION CAPACITY AND PROPER DRAINAGE.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

CONTROLS (INCLUDING RESPECTIVE OUTLET STRUCTURES) SHOULD BE INSPECTED PERIODICALLY FOR THE FIRST FEW MONTHS AFTER CONSTRUCTION AND ON AN ANNUAL BASIS THEREAFTER. THEY SHOULD ALSO BE INSPECTED AFTER MAJOR STORM EVENTS.

DEBRIS AND LITTER REMOVAL:

TWICE A YEAR, INSPECT OUTLET STRUCTURE AND DRAIN INLETS FOR ACCUMULATED DEBRIS. ALSO, REMOVE ANY ACCUMULATIONS DURING EACH MOVING OPERATION.

STRUCTURAL REPAIR/REPLACEMENT:

OUTLET STRUCTURE MUST BE INSPECTED TWICE A YEAR FOR EVIDENCE OF STRUCTURAL DAMAGE AND REPAIRED IMMEDIATELY.

EROSION CONTROL:

UNSTABLE AREAS TRIBUTARY TO THE BASIN SHALL IMMEDIATELY BE STABILIZED WITH VEGETATION OR OTHER APPROPRIATE EROSION CONTROL MEASURES. SEDIMENT REMOVAL: SEDIMENT SHOULD BE REMOVED AFTER IT HAS REACHED A MAXIMUM DEPTH OF FIVE INCHES ABOVE THE STORMWATER MANAGEMENT SYSTEM FLOOR.

TOPSOIL:

- EXISTING TOPSOIL WILL BE REMOVED AND STORED IN PILES SUFFICIENTLY AS TO AVOID MIXING WITH OTHER EXCAVATION. STOCKPILES SHALL BE SURROUNDED BY EROSION CONTROL AS OUTLINED ON THESE PLANS.

PERMANENT VEGETATIVE COVER:

- 1. SITE PREPARATION: 1.1. INSTALL EROSION CONTROL MEASURES. 1.2. SCARIFY COMPACTED SOIL AREAS.

TEMPORARY VEGETATIVE COVER:

- 1. INSTALL EROSION CONTROL MEASURES. 2. SCARIFY AREAS OF COMPACTED SOIL.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- 1. Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and stormwater practices.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost.

CONTRACTOR CERTIFICATION STATEMENT

Certification Statement: All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 12, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

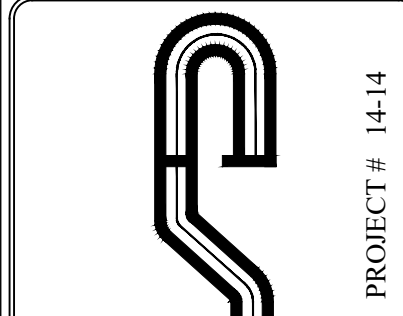
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: _____ Name and Title (please print): _____ Signature of Contractor: _____ Company / Contracting Firm: _____ Name of Company: _____ Address of Company: _____ Telephone Number / Cell Number: _____ Site Information: _____ Address of Site: _____ Today's Date: _____

OWNER / OPERATOR CERTIFICATION

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): _____ Title: _____ Date: _____ Address: _____ Phone: _____ E-mail: _____ Signature: _____



Site Design Consultants Civil Engineers • Land Planners 251-F Underhill Avenue, Yorktown Heights, NY 10598 (914) 962-4488 - Fax: (914) 962-7386 www.sitedesignconsultants.com

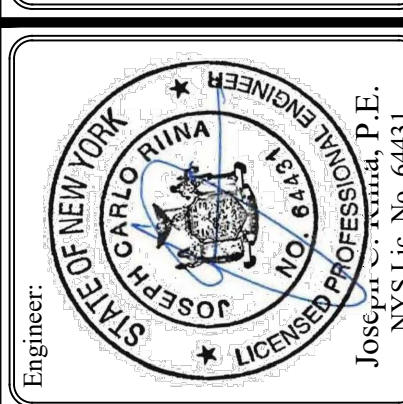
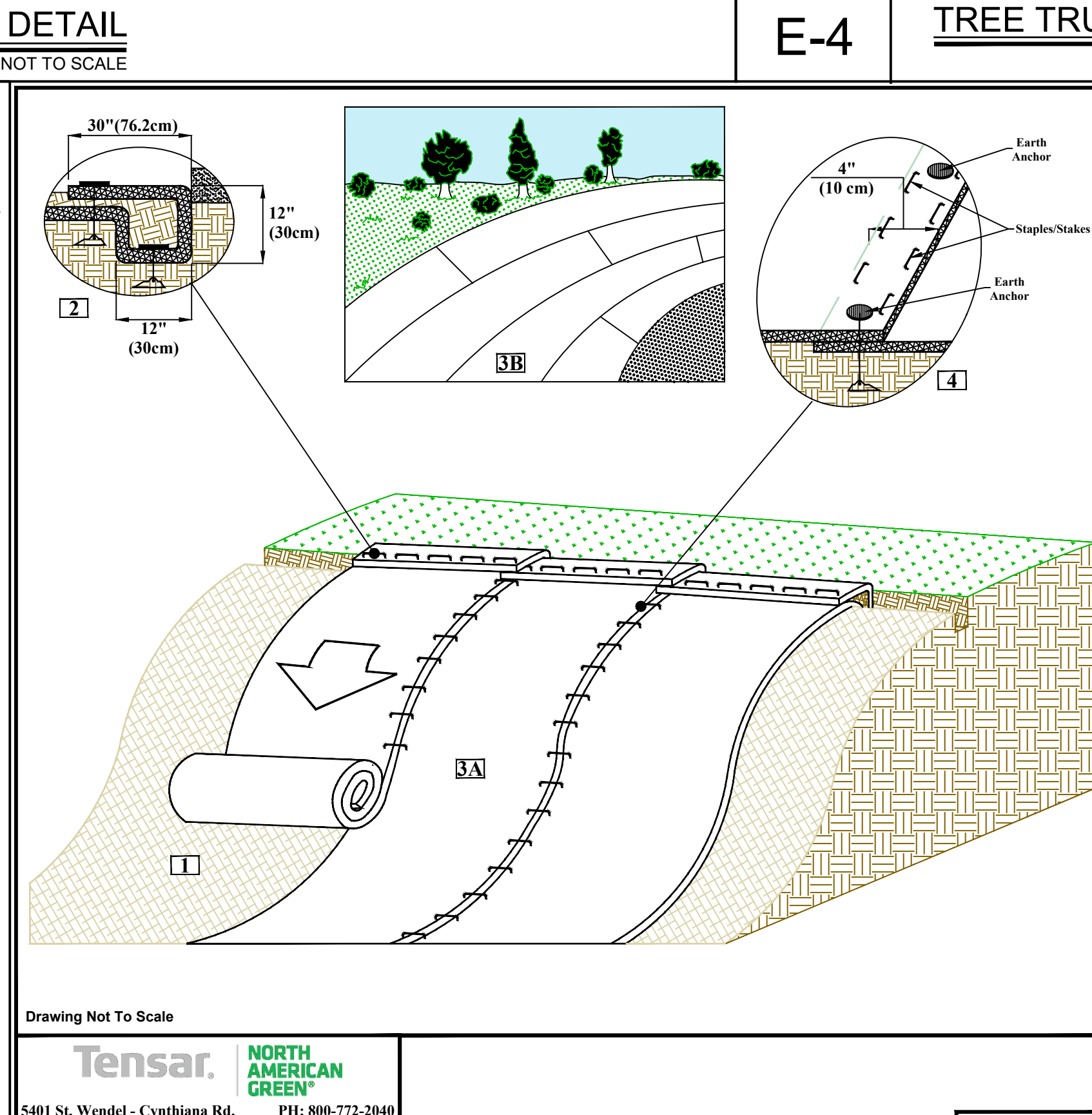
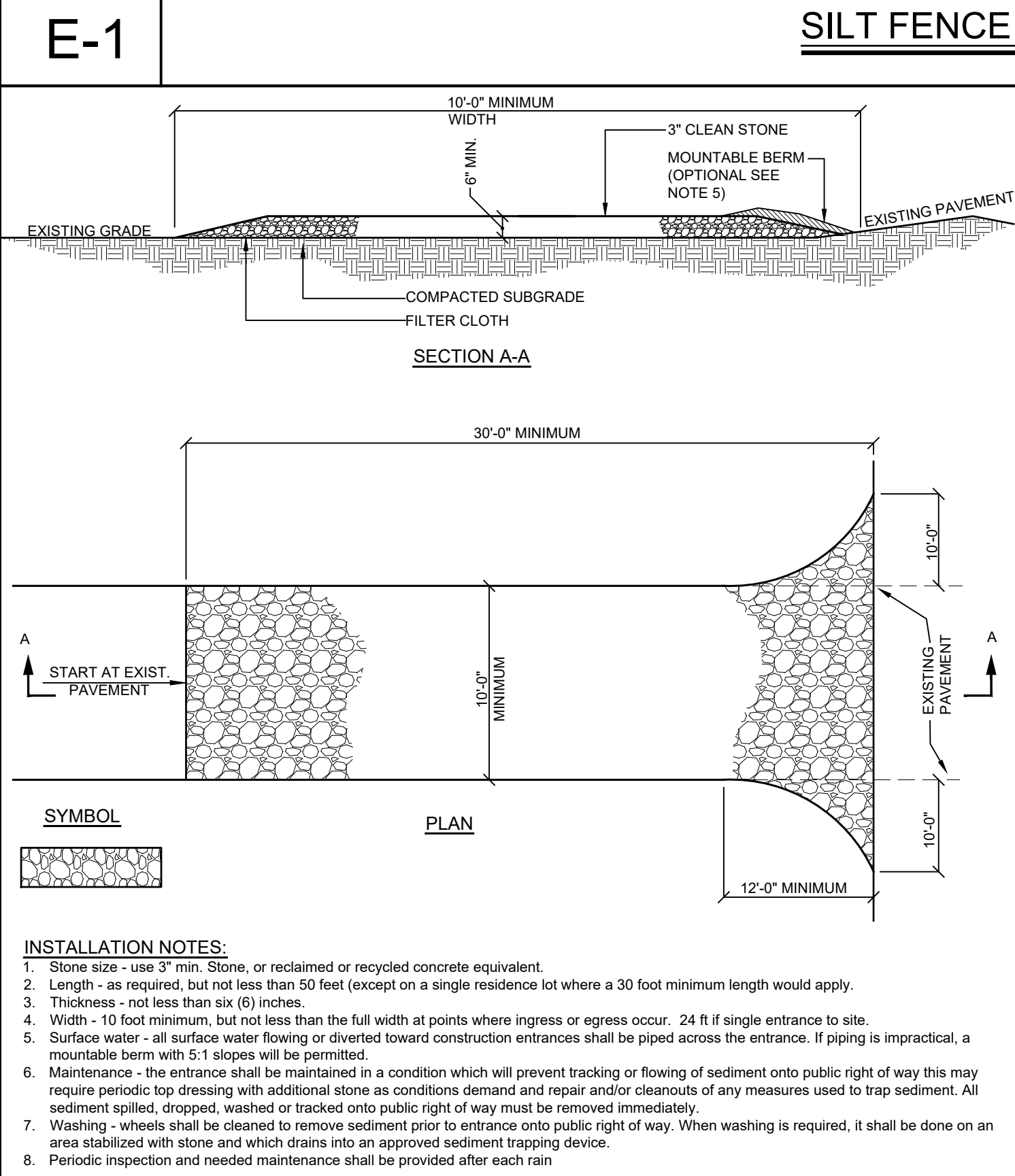
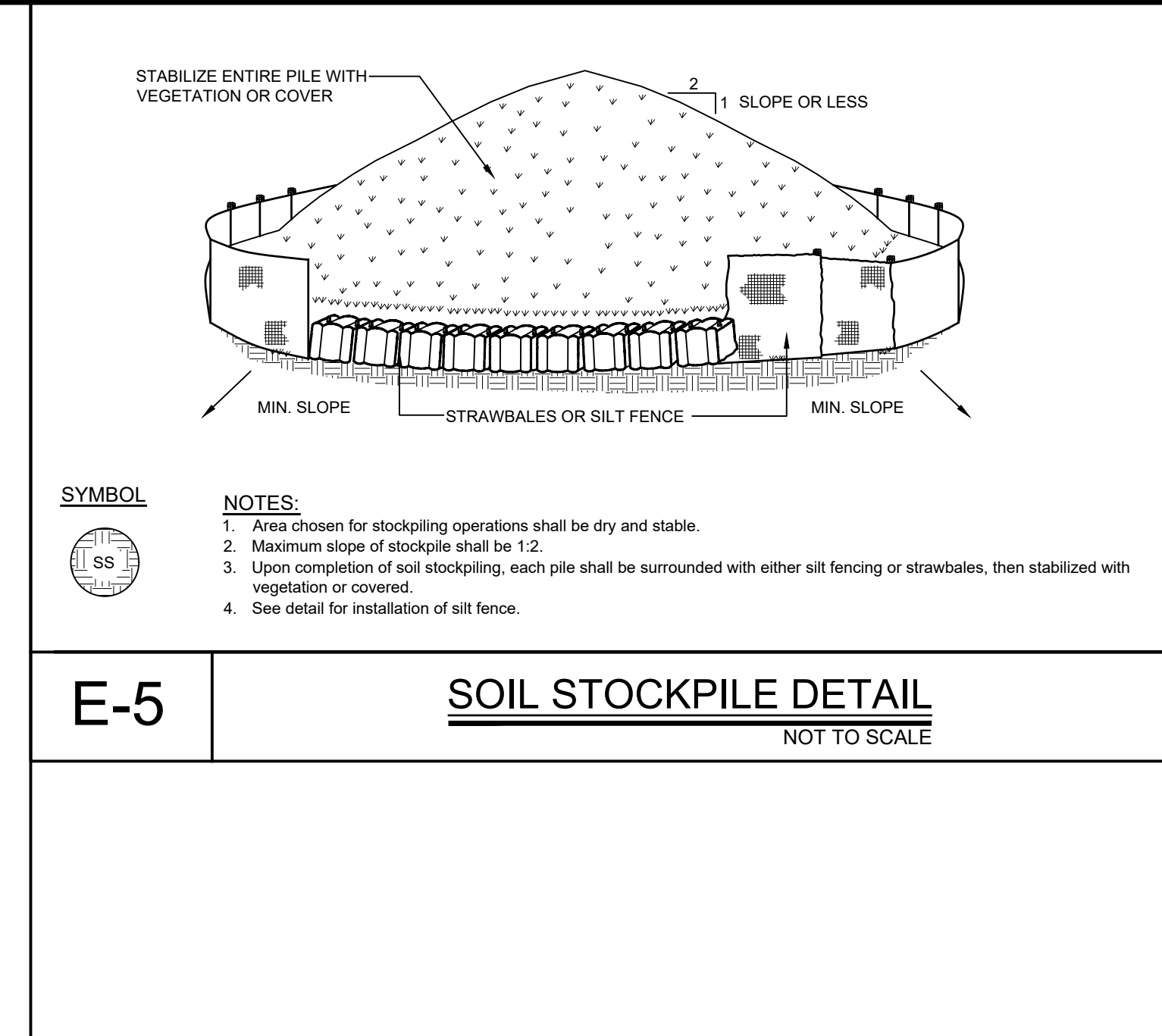
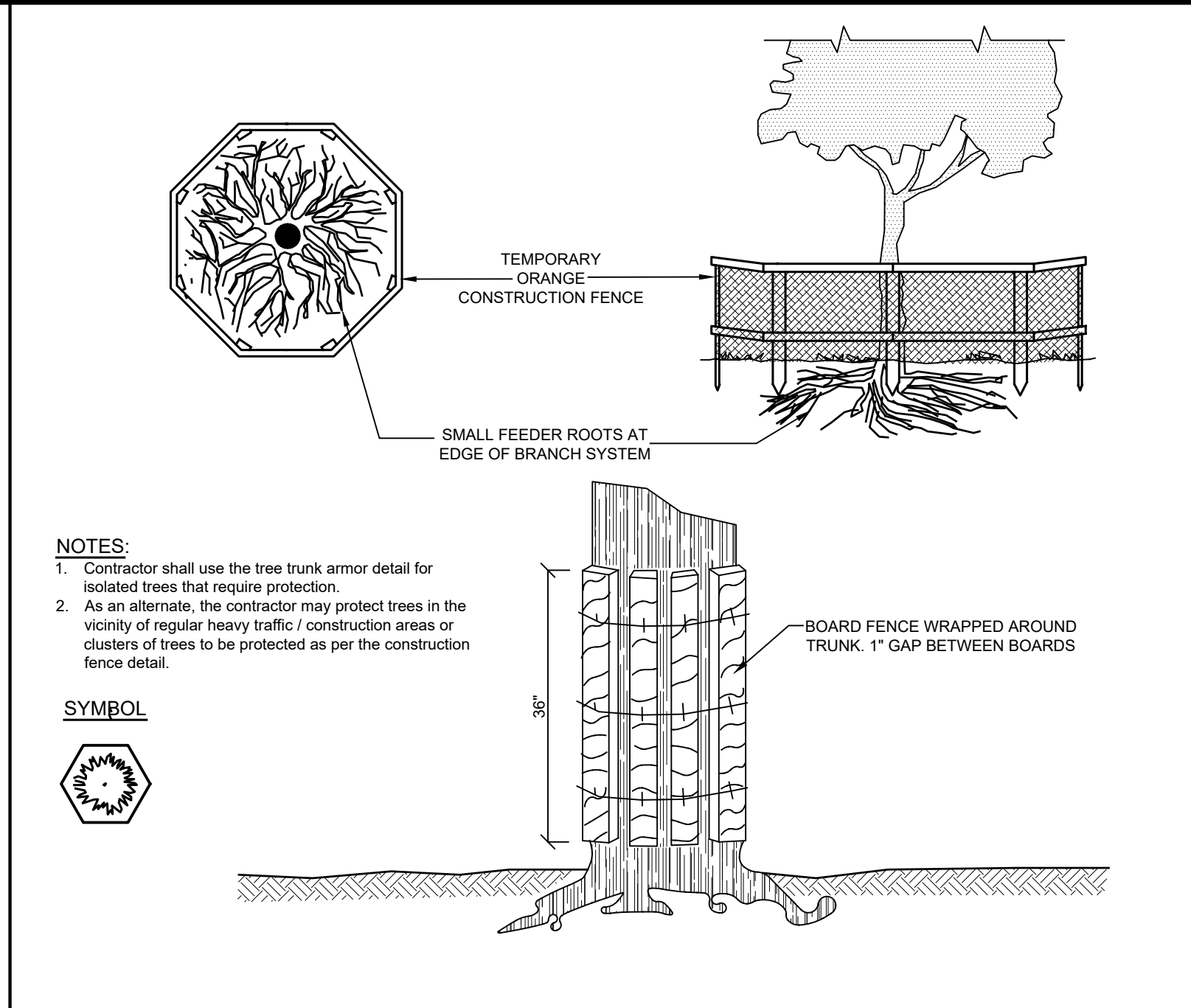
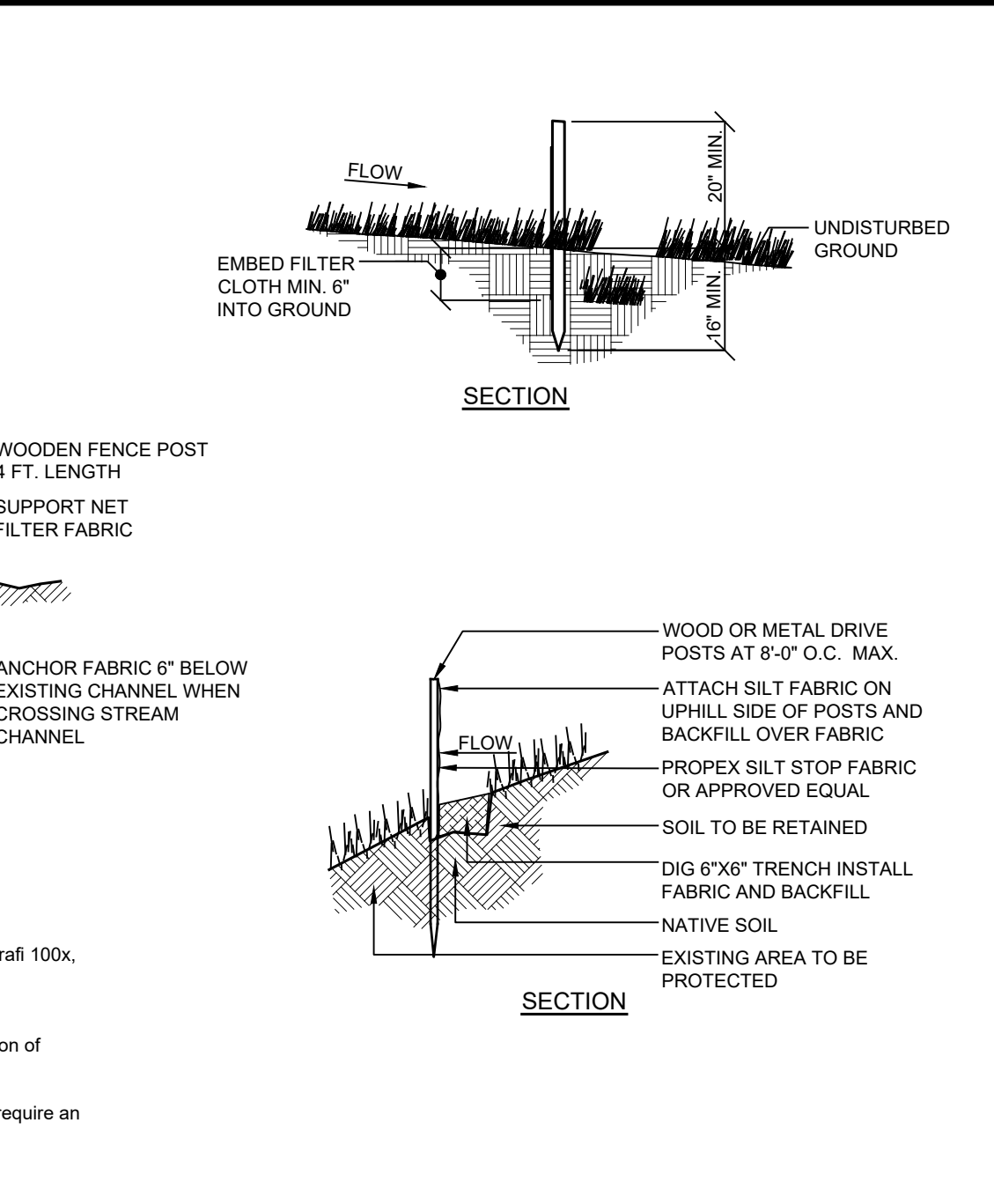
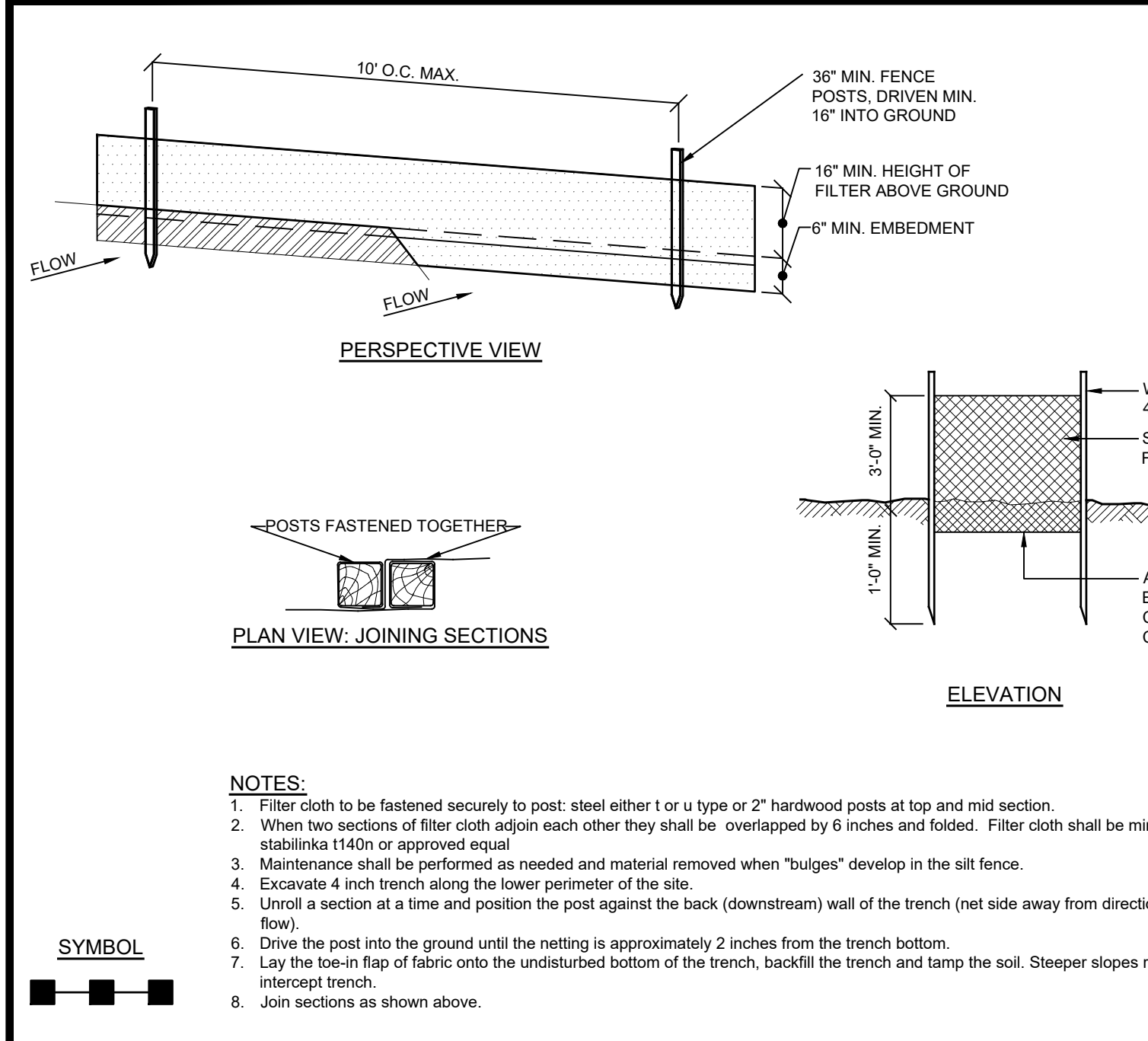


Table with columns: Revision No., Date, Comments.

Table with columns: SCALE (NTS), DRAWN BY (JR), DATE (2/10/21).

NOTES

ENVIROGREEN ASSOCIATES 1851 EAST MAIN STREET Yorktown, Westchester County, New York

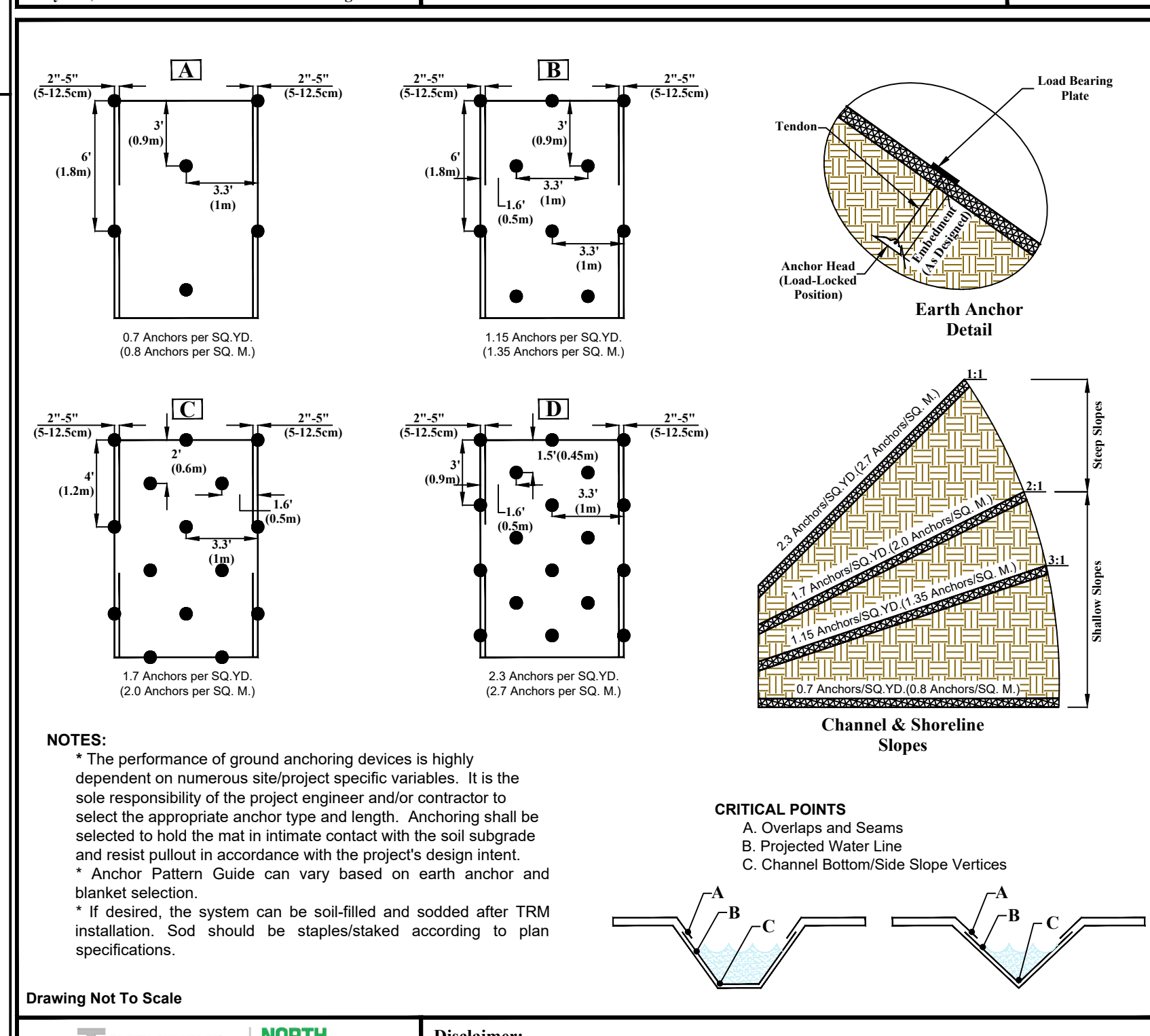
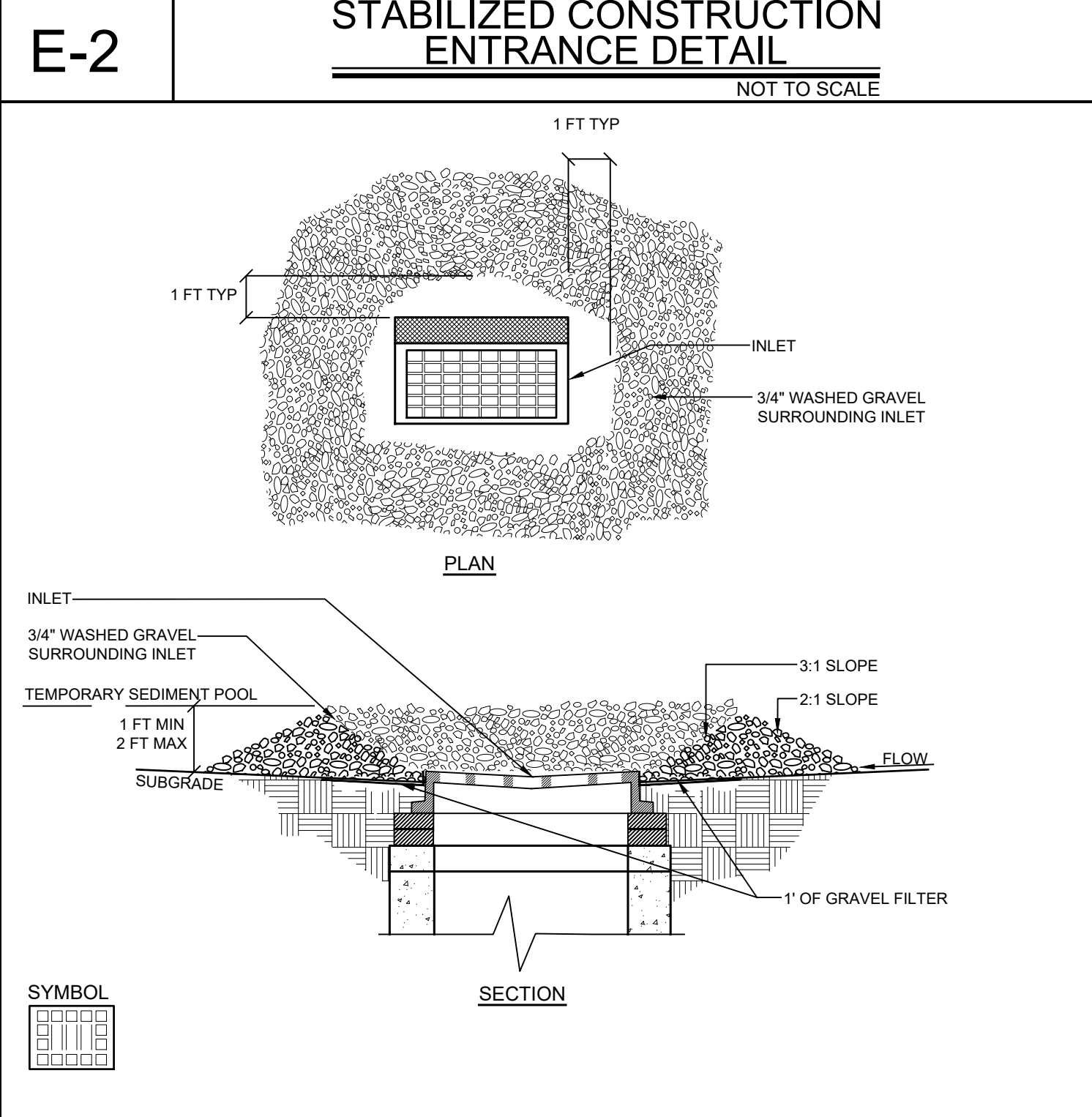


CONTRACTOR CERTIFICATION STATEMENT
 Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 28, 2010, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP.

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System (SPDES) General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

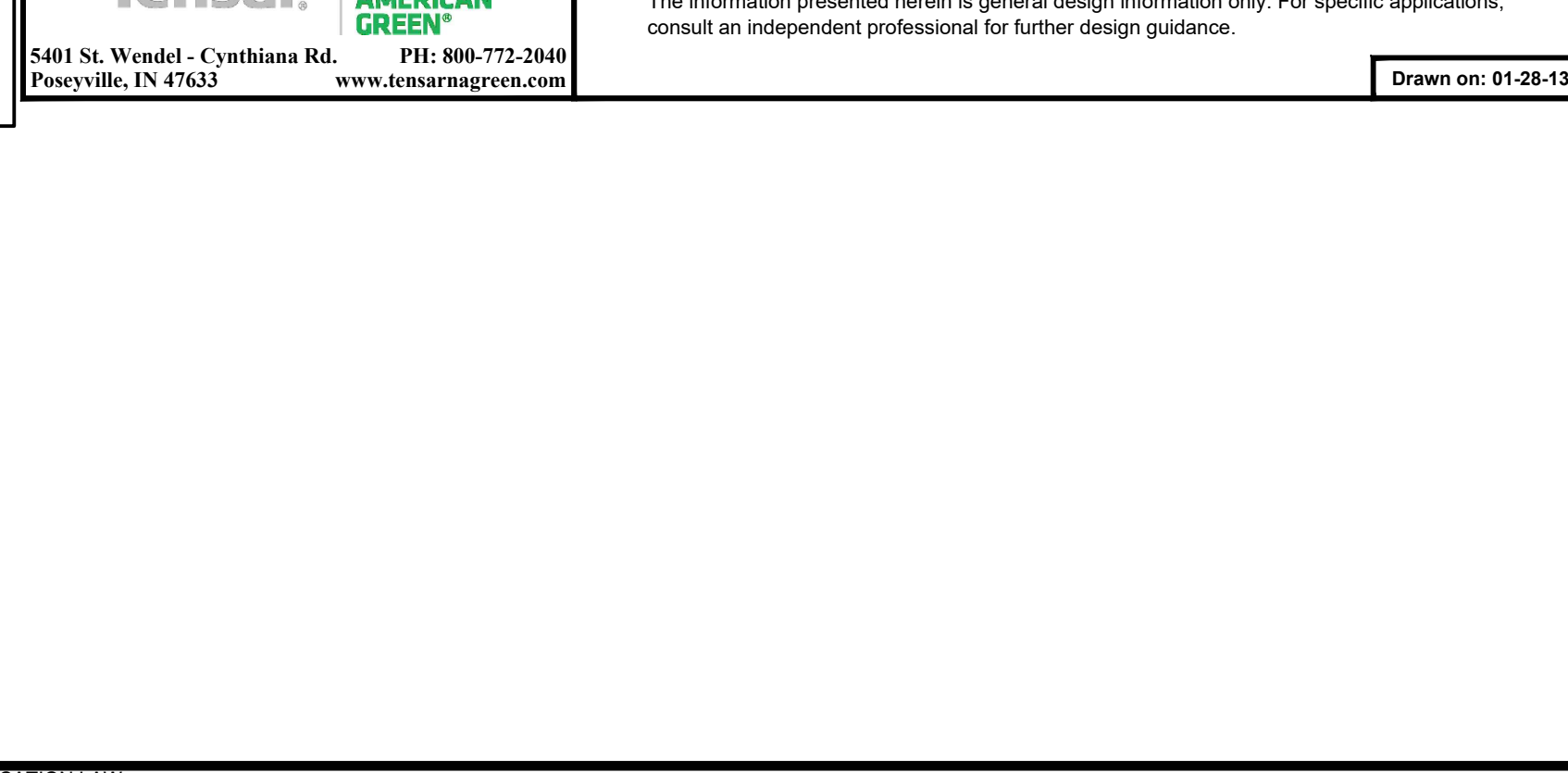
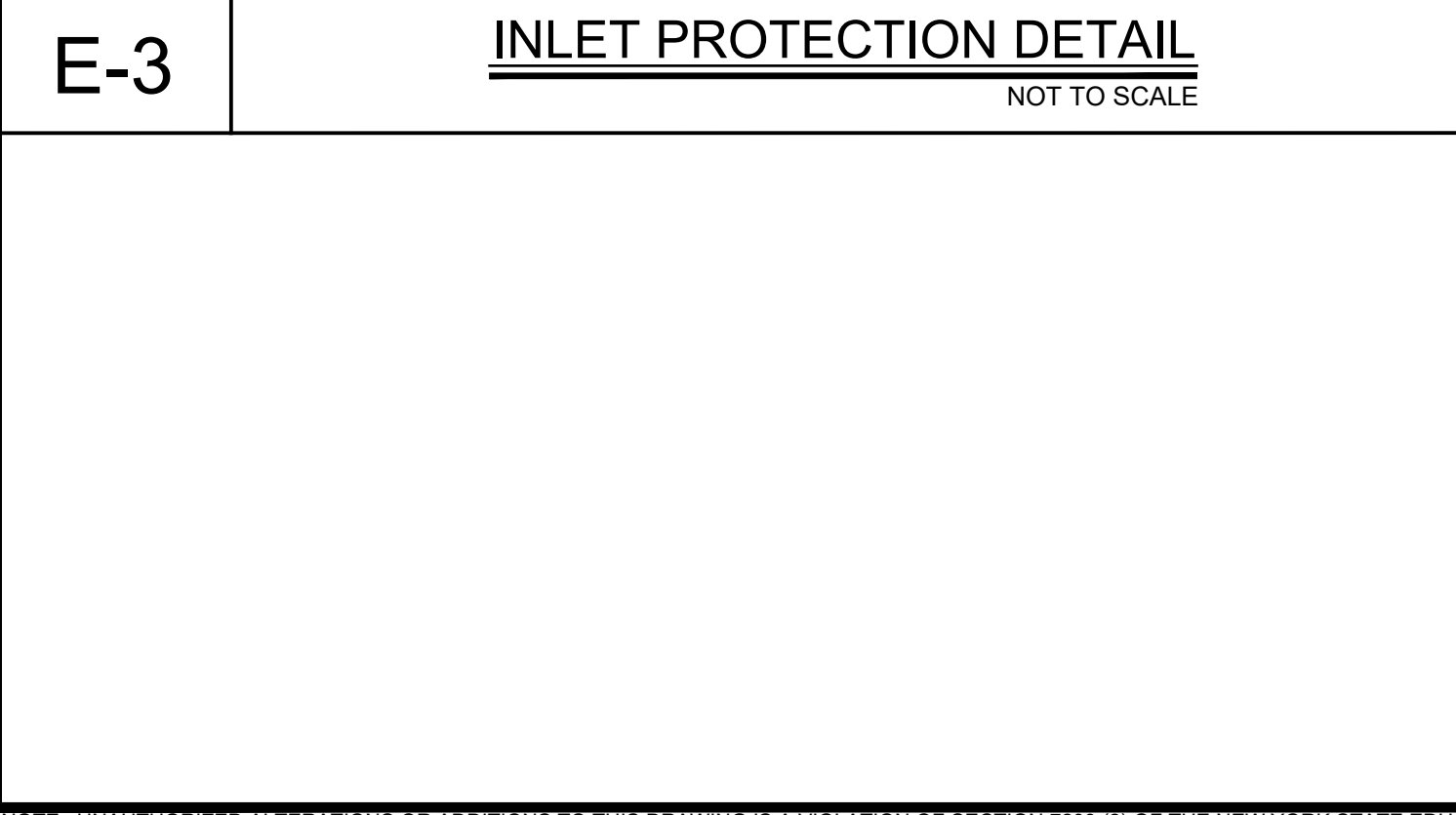
Individual Contractor: _____
 Name and Title (please print): _____
 Signature of Contractor: _____
 Company / Contracting Firm: _____
 Name of Company: _____
 Address of Company: _____
 Telephone Number / Cell Number: _____
 Site Information: _____
 Address of Site: _____

Today's Date: _____



OWNER / OPERATOR CERTIFICATION
 "I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): _____
 Title: _____
 Date: _____
 Address: _____
 Phone: _____
 E-mail: _____
 Signature: _____



Disclaimer:
 The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

NOTE: In loose soil conditions, the use of staples or stake lengths greater than 6"(15cm) may be necessary to properly secure the HP-TRMs.

E-1 SILT FENCE DETAIL NOT TO SCALE

E-4 TREE TRUNK ARMOR / TREE PROTECTION DETAIL NOT TO SCALE

E-2 STABILIZED CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE

E-3 INLET PROTECTION DETAIL NOT TO SCALE

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 Civil Engineers • Land Planners
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 (914) 962-4488 - Fax: (914) 962-7386
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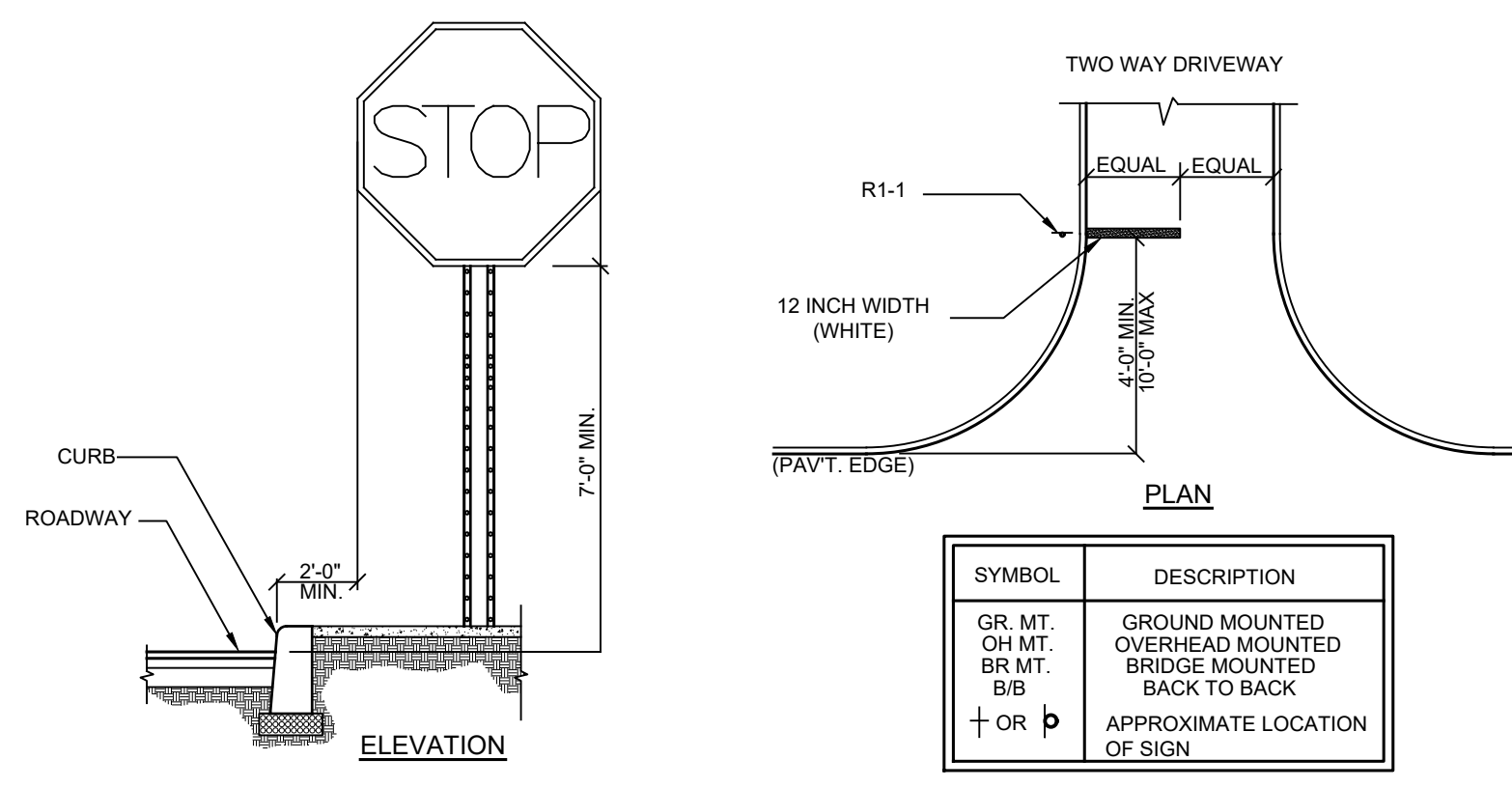
Professional Engineer
 License No. 1414

Revises:	No.	Date	Comments:
SCALE:	NTS	DRAWN BY:	JR
		DATE:	2/10/21

E&S DETAILS

ENVIROGREEN ASSOCIATES
 1851 EAST MAIN STREET
 Yorktown, New York
 Westchester County, New York

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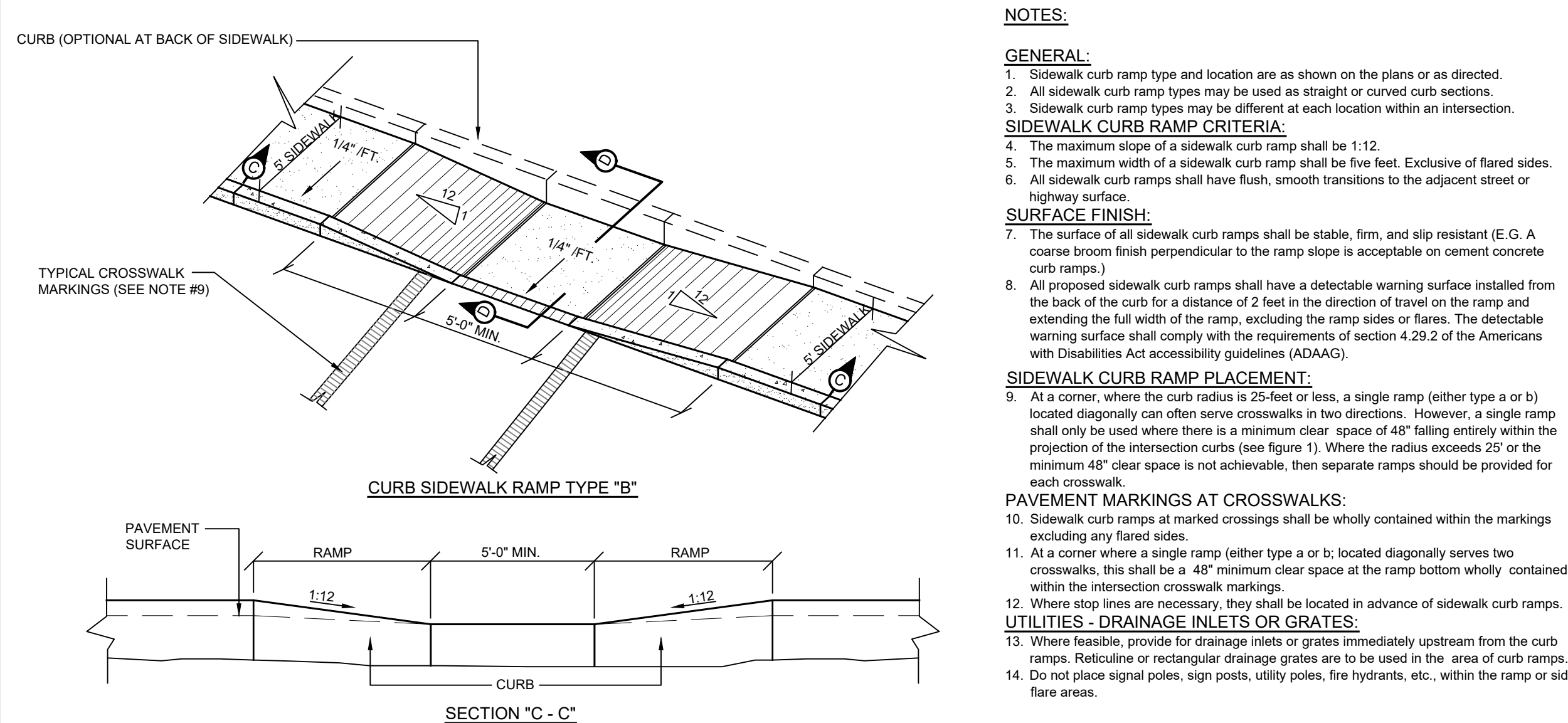
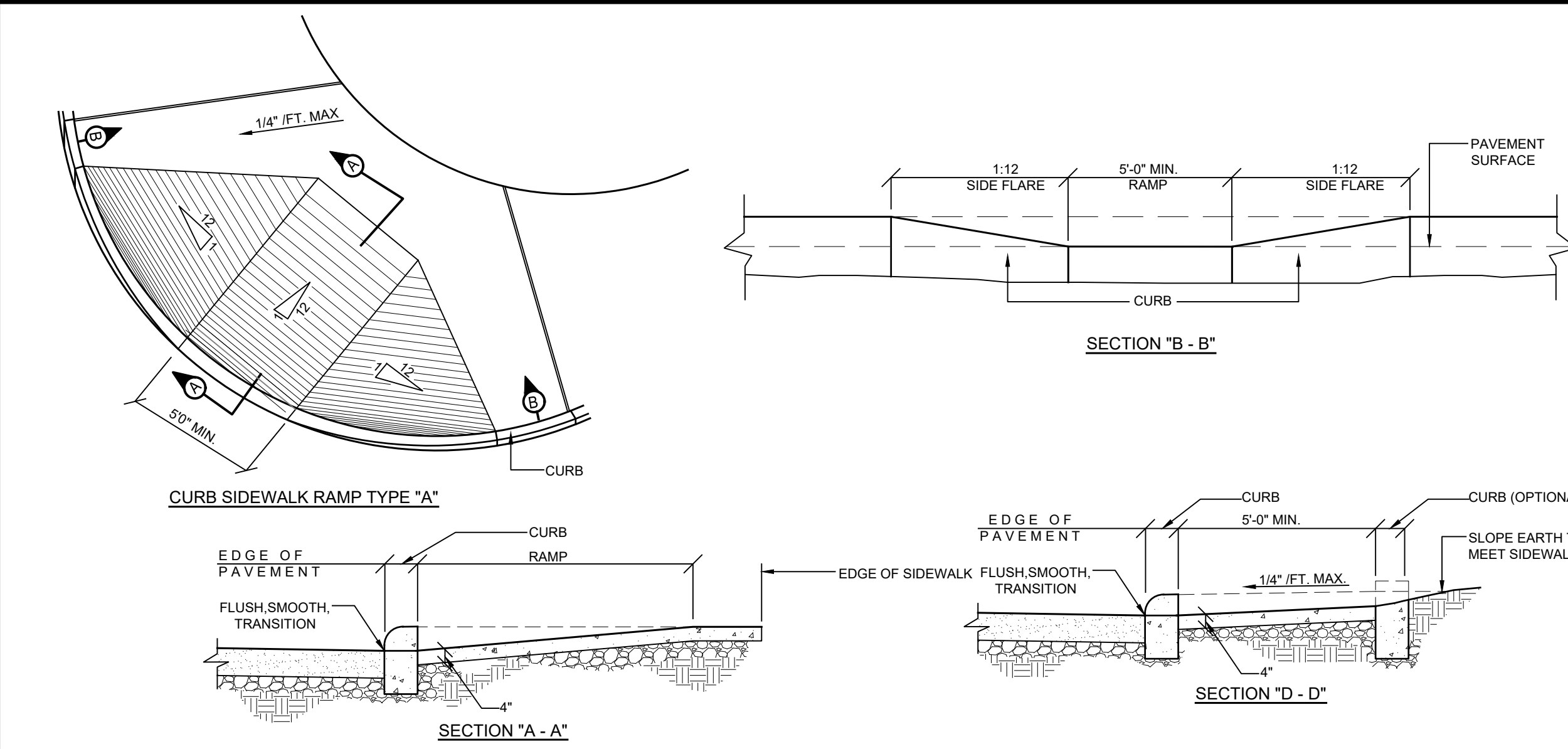
TYPICAL INSTALLATION GUIDELINES

SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
	R1-1	30" X 30"	GR. MT.
	R7-6	12" X 18"	GR. MT.

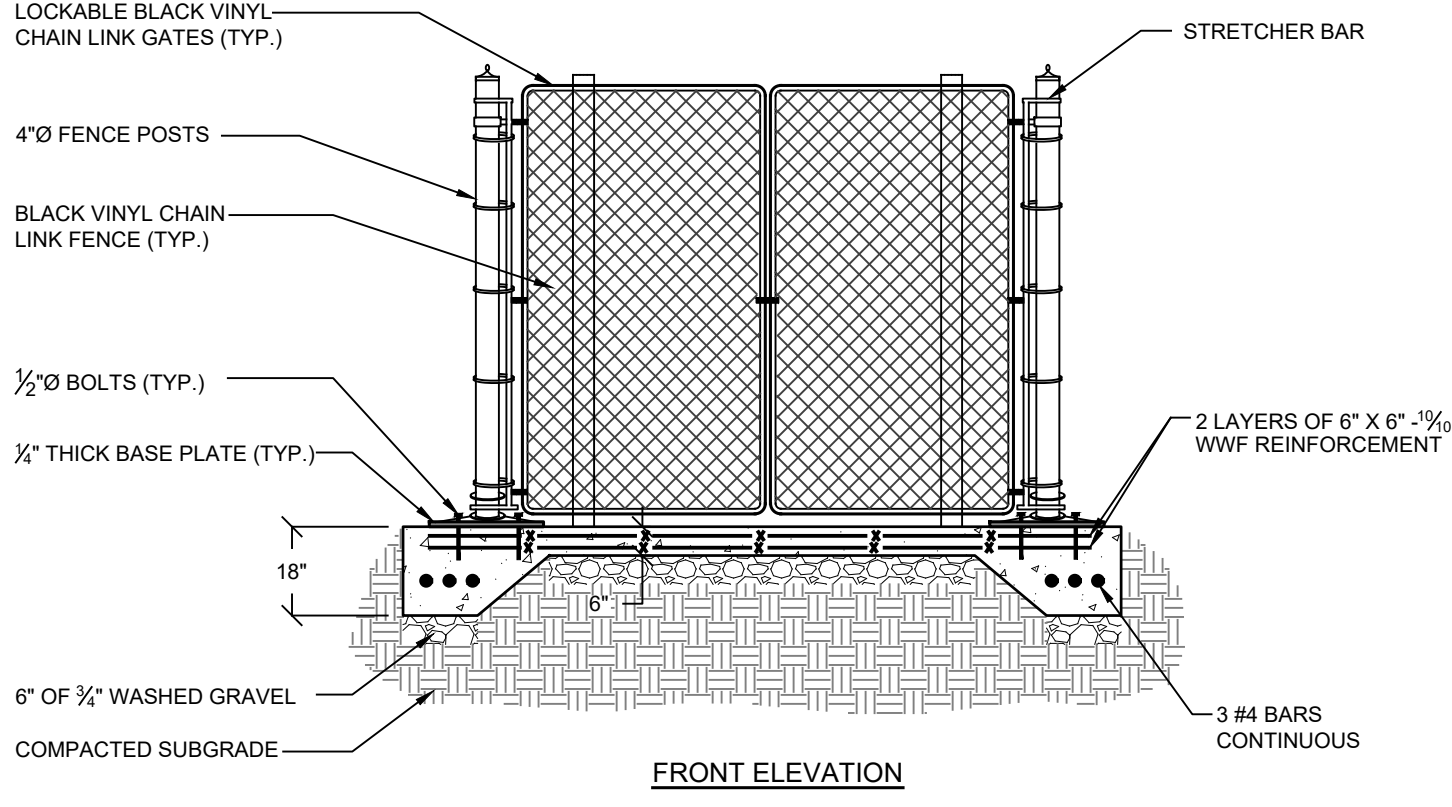
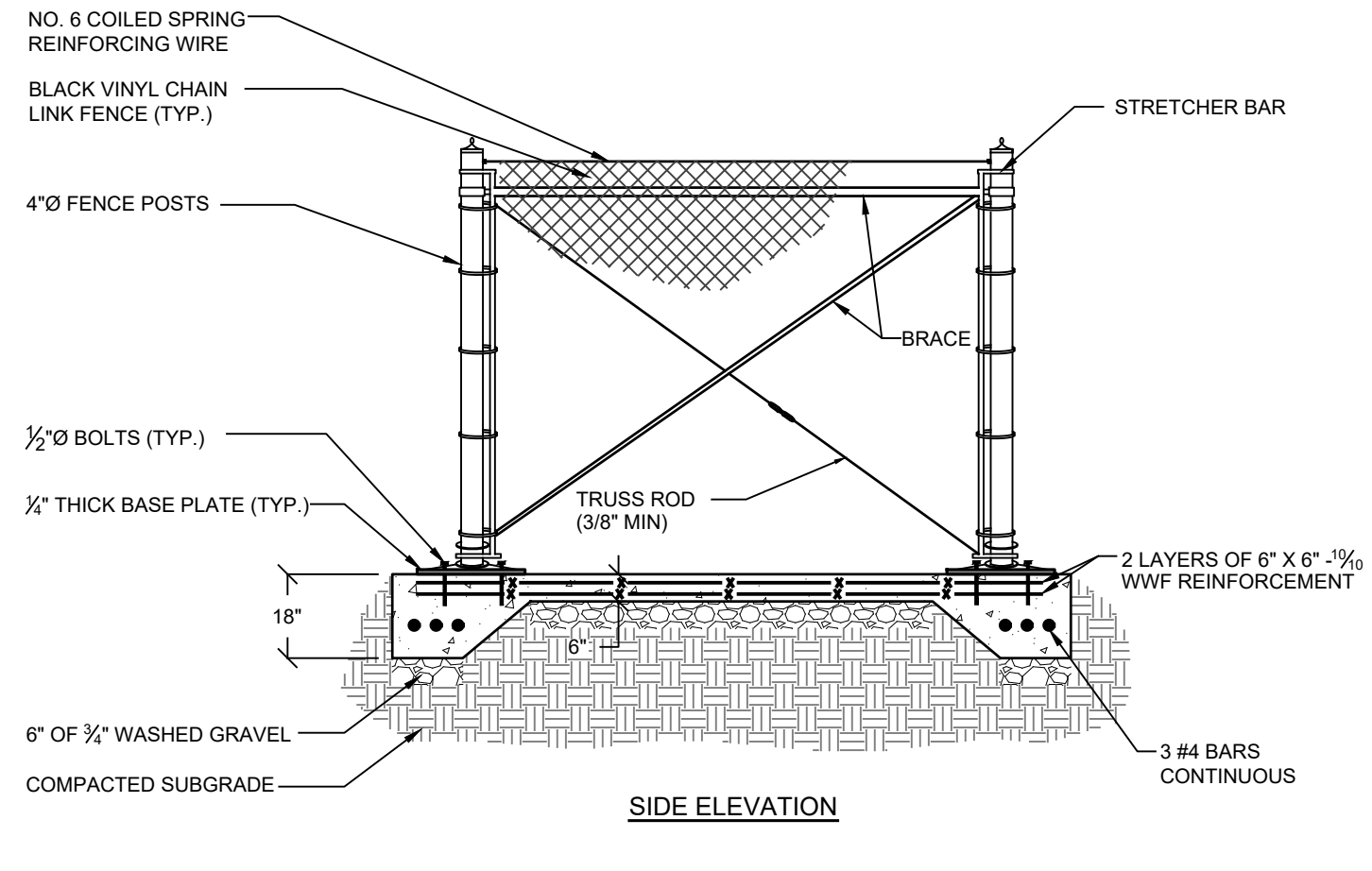
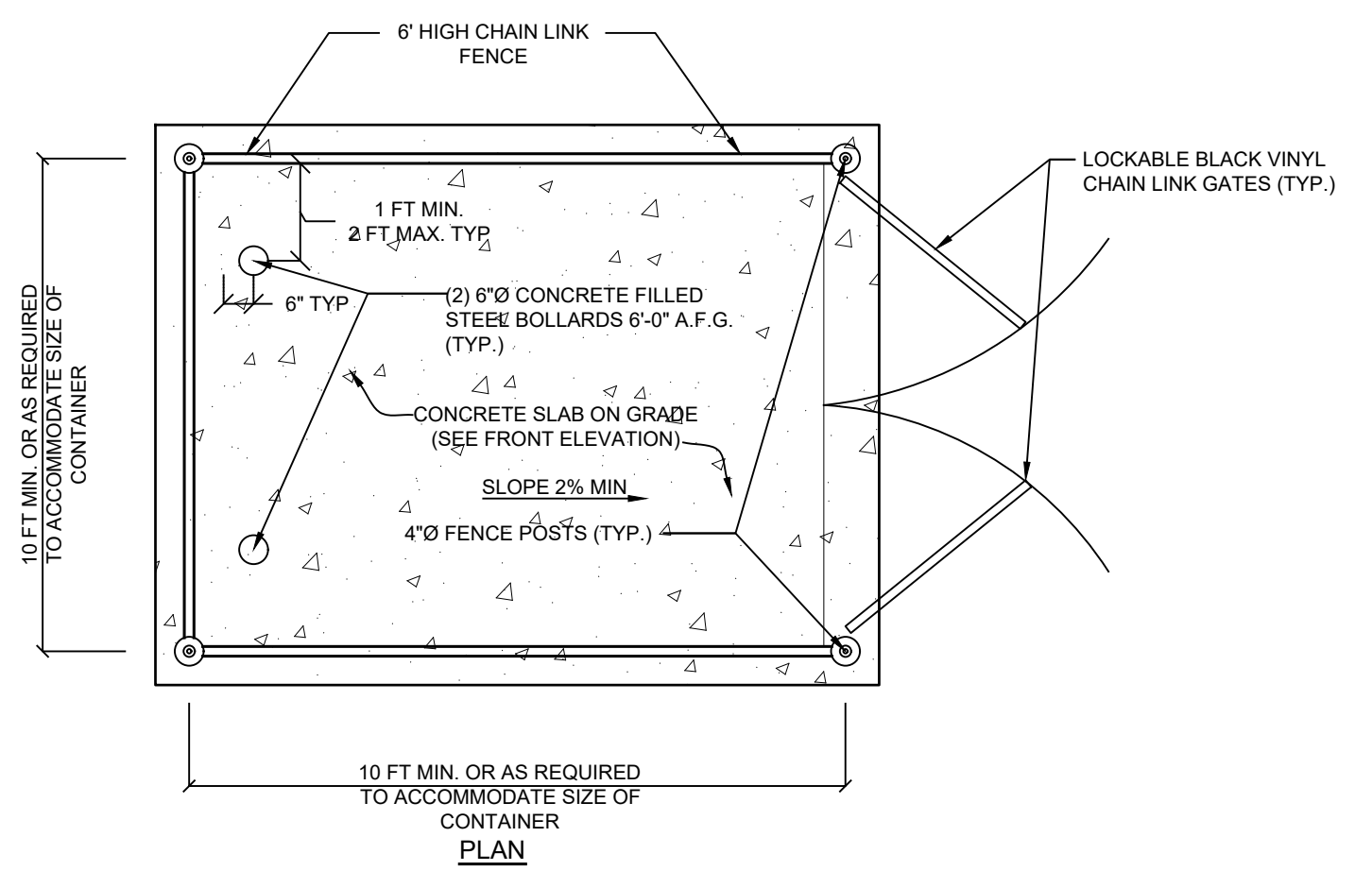
SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
	P1-2	12" X 18"	GR. MT.

- GENERAL NOTES:**
- All signage shall be in accordance with the latest edition of the national MUTCD and the N.Y.S Supplement (MUTCD), September 2007, including the following:
 - A. Letter size and series
 - B. Legend and background color
 - C. Reflectivity
 - D. Size of sign
 - The type of characters as specified in the standard specifications shall be as follows:

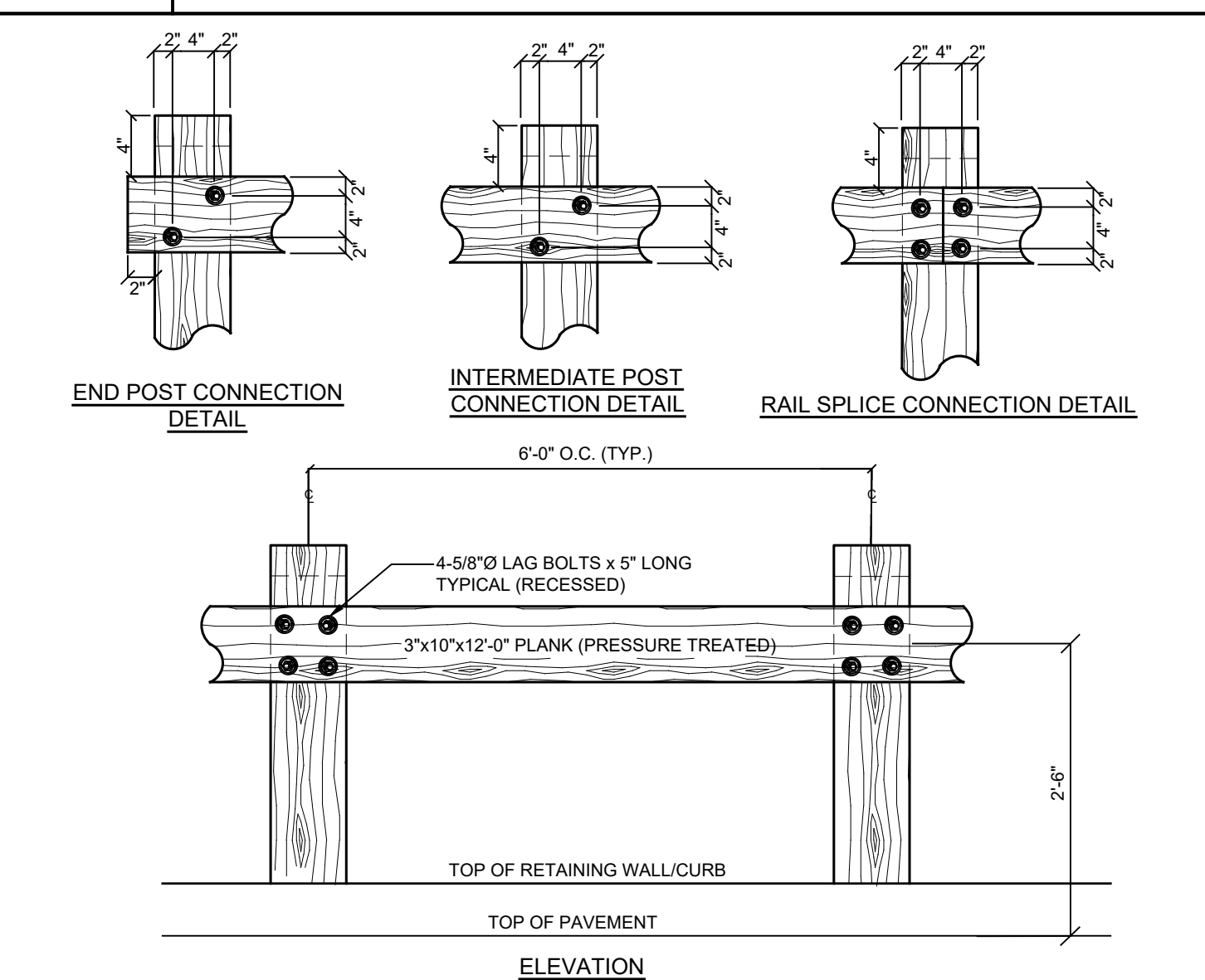
MUTCD CODE LETTERS	TYPE OF CHARACTER
R, P, W, M	TYPE IV OR V
G, J	TYPE IV
O, I	TYPE IV OR V
 - Sign locations as shown on plans are approximate. The Contractor shall relocate existing signs and install new signs in accordance with the MUTCD, latest edition. The Contractor shall contact the Town Engineer to discuss/resolve problem areas.
 - Except where otherwise specified, parking signs shall be placed facing approaching traffic at an angle of between 30 and 45 degrees with the line of traffic flow. Parking signs shall be placed at each end of a regulation (single-headed arrow) and, within the regulation (double-headed arrow), at intervals not to exceed 200 ft.
 - Where new signs are installed the Contractor shall affix a label to the back of the sign panel. This label will show the date of installation and identification numbers.
 - Placement of WS-17 sign is prescribed in the General Municipal Law.



- NOTES:**
- GENERAL:**
- Sidewalk curb ramp type and location are as shown on the plans or as directed.
 - All sidewalk curb ramp types may be used as straight or curved curb sections.
 - Sidewalk curb ramp types may be different at each location within an intersection.
- SIDEWALK CURB RAMP CRITERIA:**
- The maximum slope of a sidewalk curb ramp shall be 1:12.
 - The maximum width of a sidewalk curb ramp shall be five feet. Exclusive of flared sides.
 - All sidewalk curb ramps shall have flush, smooth transitions to the adjacent street or highway surface.
- SURFACE FINISH:**
- The surface of all sidewalk curb ramps shall be stable, firm, and slip resistant (E.G. A coarse broom finish perpendicular to the ramp slope is acceptable on cement concrete curb ramps.)
 - All proposed sidewalk curb ramps shall have a detectable warning surface installed on the back of the curb for a distance of 2 feet in the direction of travel on the ramp and extending the full width of the ramp, excluding the ramp sides or flares. The detectable warning surface shall comply with the requirements of section 4.29.2 of the Americans with Disabilities Act accessibility guidelines (ADAAG).
- SIDEWALK CURB RAMP PLACEMENT:**
- At a corner, where the curb radius is 25-feet or less, a single ramp (either type a or b) located diagonally can often serve crosswalks in two directions. However, a single ramp shall only be used where there is a minimum clear space of 48" falling entirely within the projection of the intersection curb (see figure 1). Where the radius exceeds 25' or the minimum 48" clear space is not achievable, then separate ramps should be provided for each crosswalk.
- PAVEMENT MARKINGS AT CROSSWALKS:**
- Sidewalk curb ramps at marked crossings shall be wholly contained within the markings excluding any flared sides.
 - At a corner where a single ramp (either type a or b) is located diagonally serves two crosswalks, this shall be a 48" minimum clear space at the ramp bottom wholly contained within the intersection crosswalk markings.
 - Where stop lines are necessary, they shall be located in advance of sidewalk curb ramps.
- UTILITIES - DRAINAGE INLETS OR GRATES:**
- Where feasible, provide for drainage inlets or grates immediately upstream from the curb ramps. Rectangular or rectangular drainage grates are to be used in the area of curb ramps.
 - Do not place signal poles, sign posts, utility poles, fire hydrants, etc., within the ramp or side flare areas.

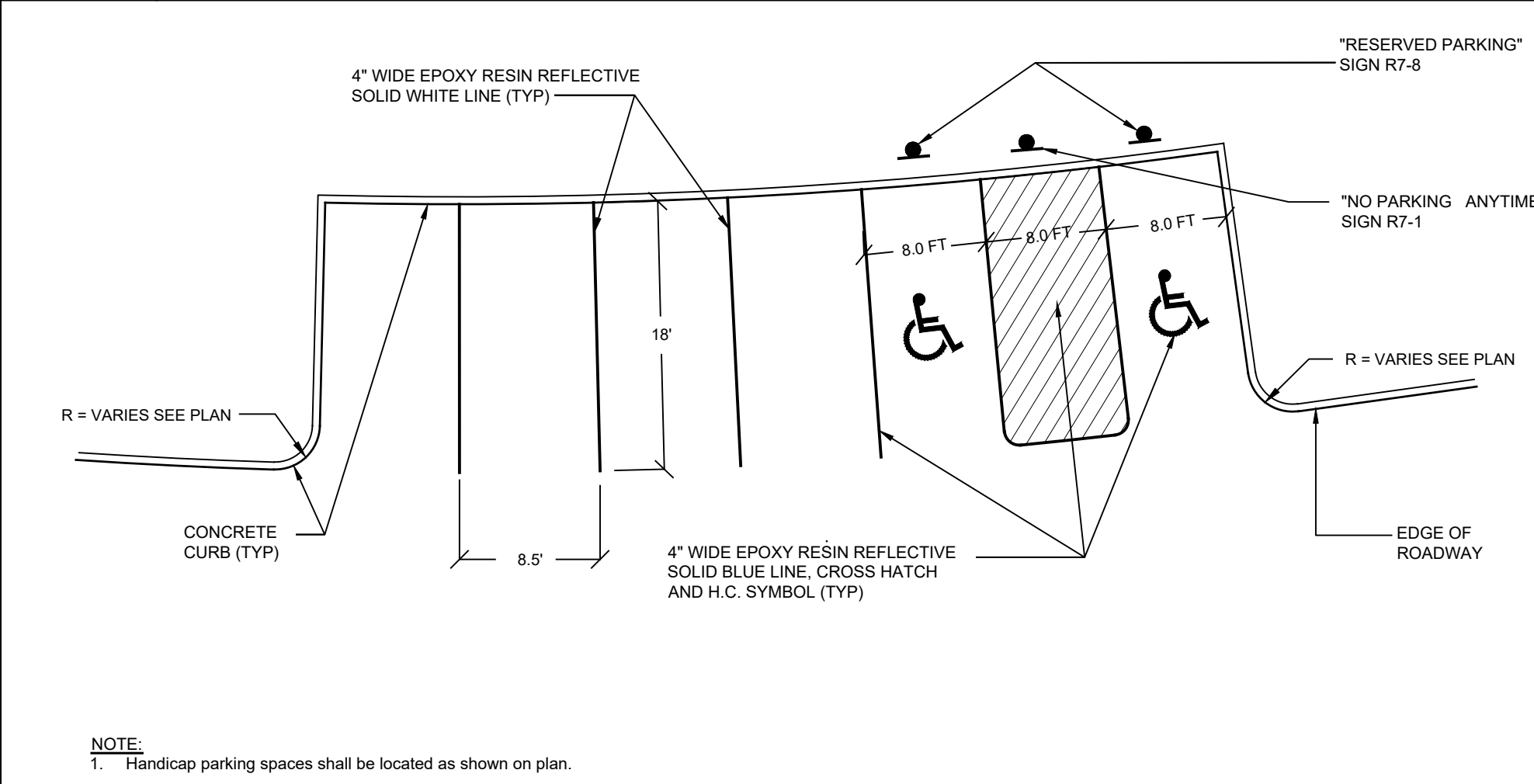


S-1 TRASH ENCLOSURE DETAIL NOT TO SCALE

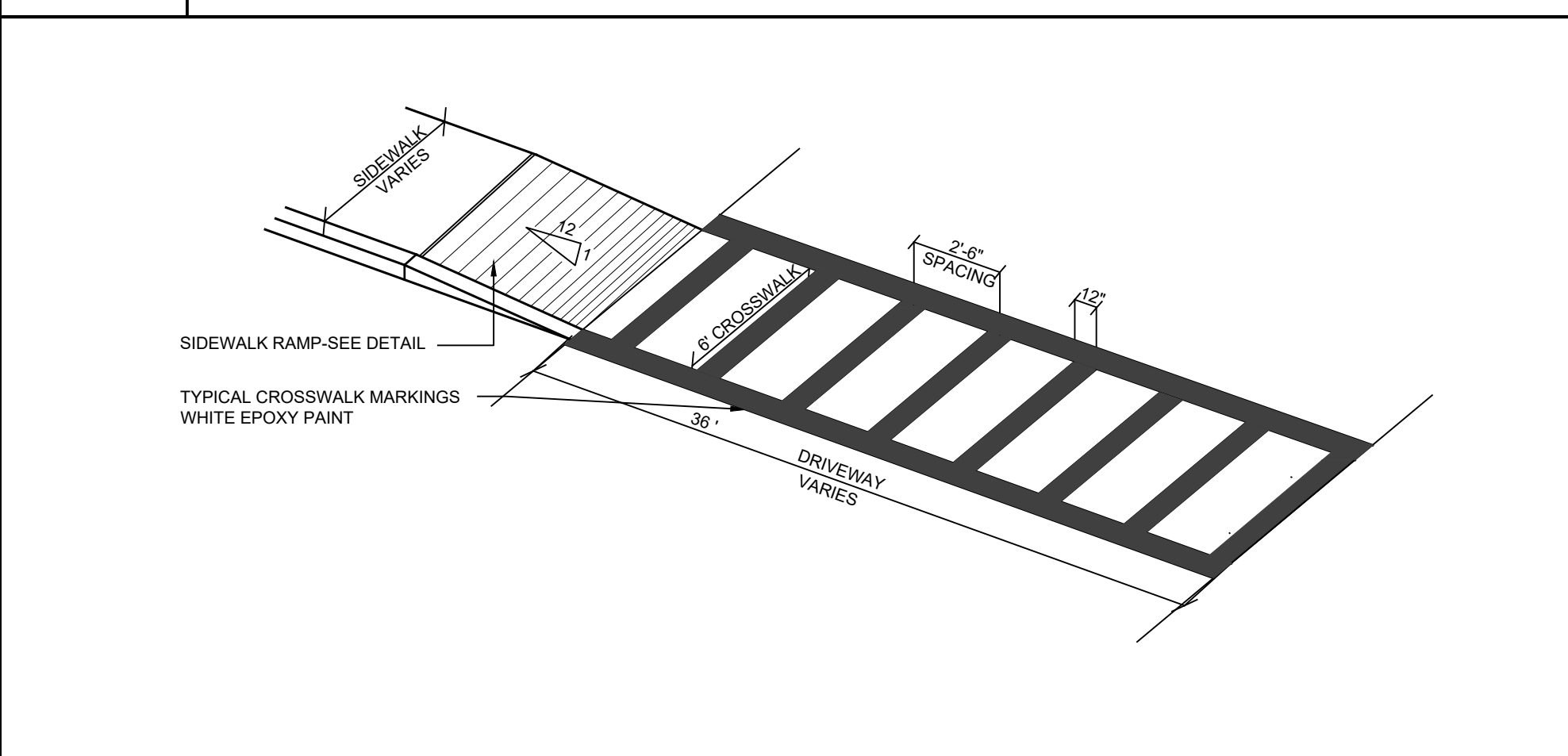


R-9 TIMBER GUARDRAIL DETAIL NOT TO SCALE

R-1 TRAFFIC SIGN DETAIL NOT TO SCALE

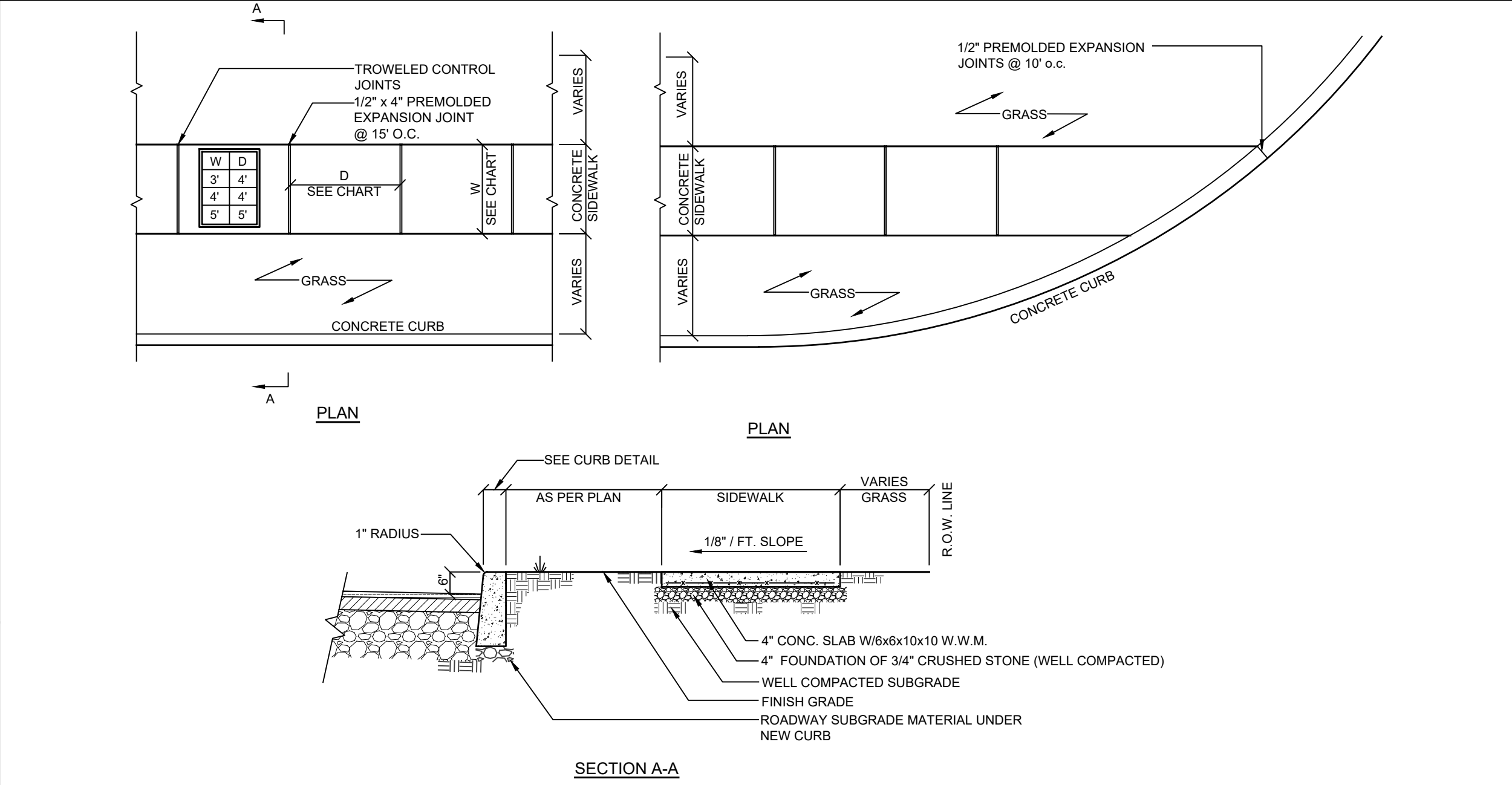


R-2 TYPICAL PARKING STALL LAYOUT NOT TO SCALE

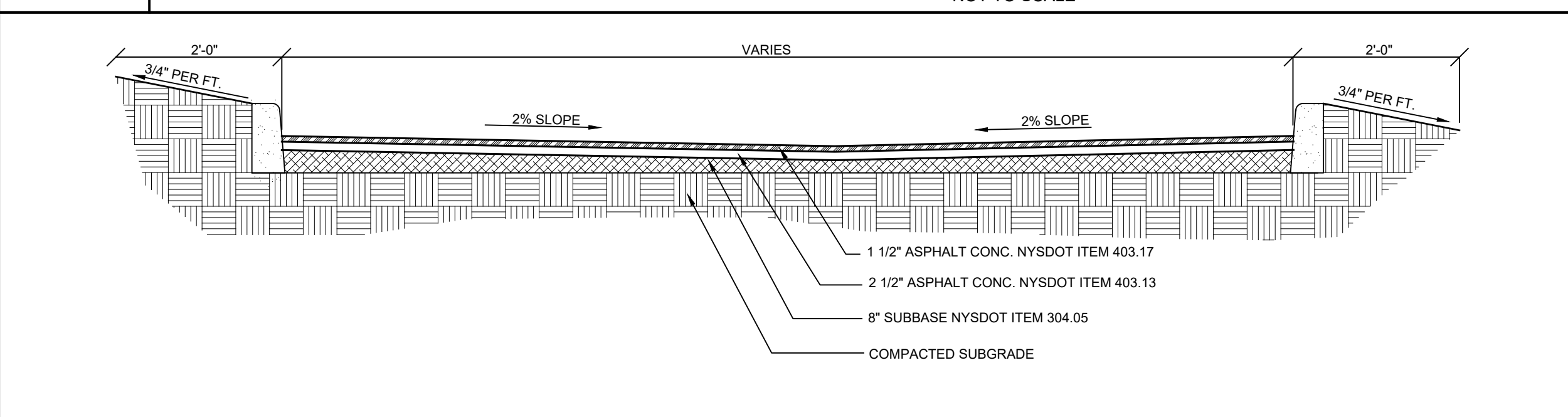


R-3 PAINTED CROSS WALK NOT TO SCALE

R-4 SIDEWALK CURB-RAMP DETAIL NOT TO SCALE



R-5 CONCRETE SIDEWALK DETAIL NOT TO SCALE



R-6 TYPICAL DRIVEWAY AND PARKING LOT SECTION NOT TO SCALE



PROJECT # 14-14

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 • Fax: (914) 962-7386
www.sitedesignconsultants.com

Engineer:

SCALE: NTS
DRAWN BY: JR
DATE: 2/10/21

SITE DETAILS

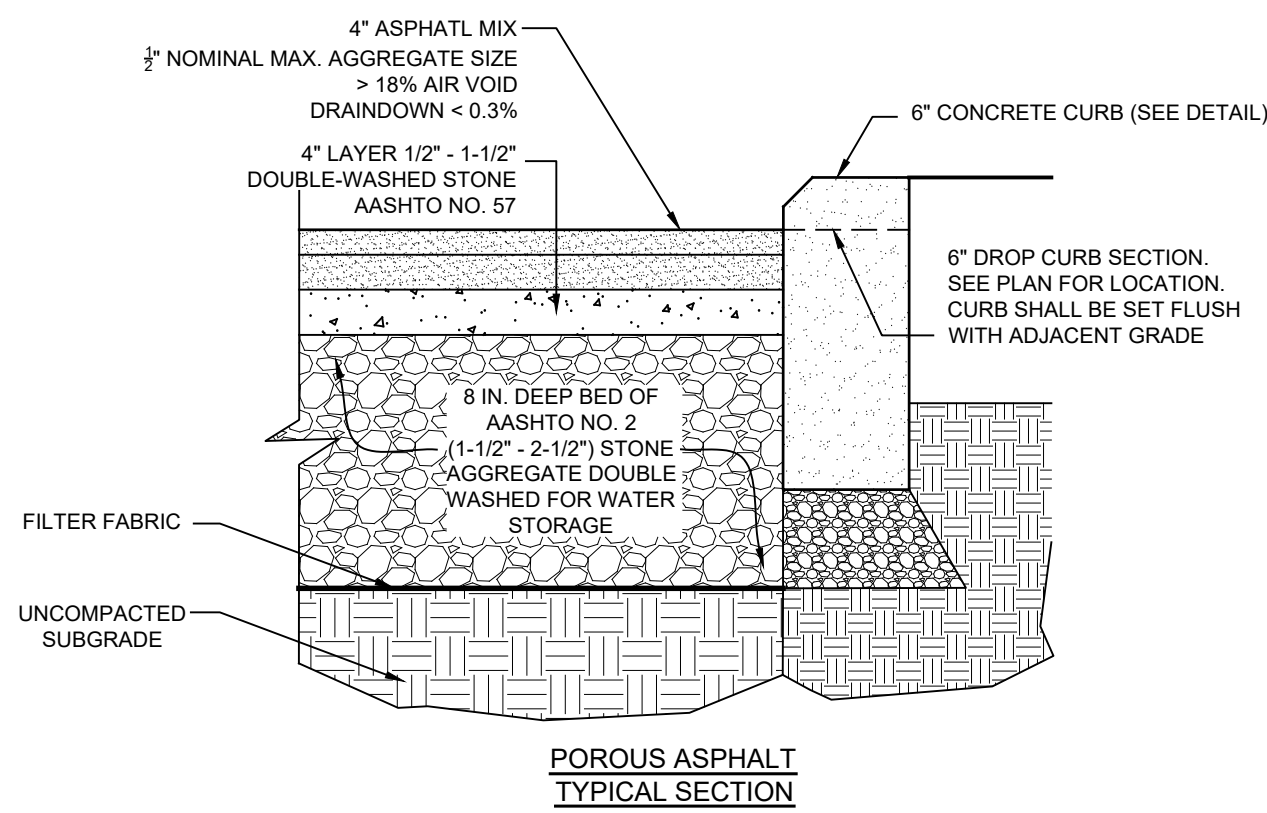
ENVIROGREEN ASSOCIATES
1851 EAST MAIN STREET
Town of Yorktown
Westchester County, New York

Sheet 10 of 12

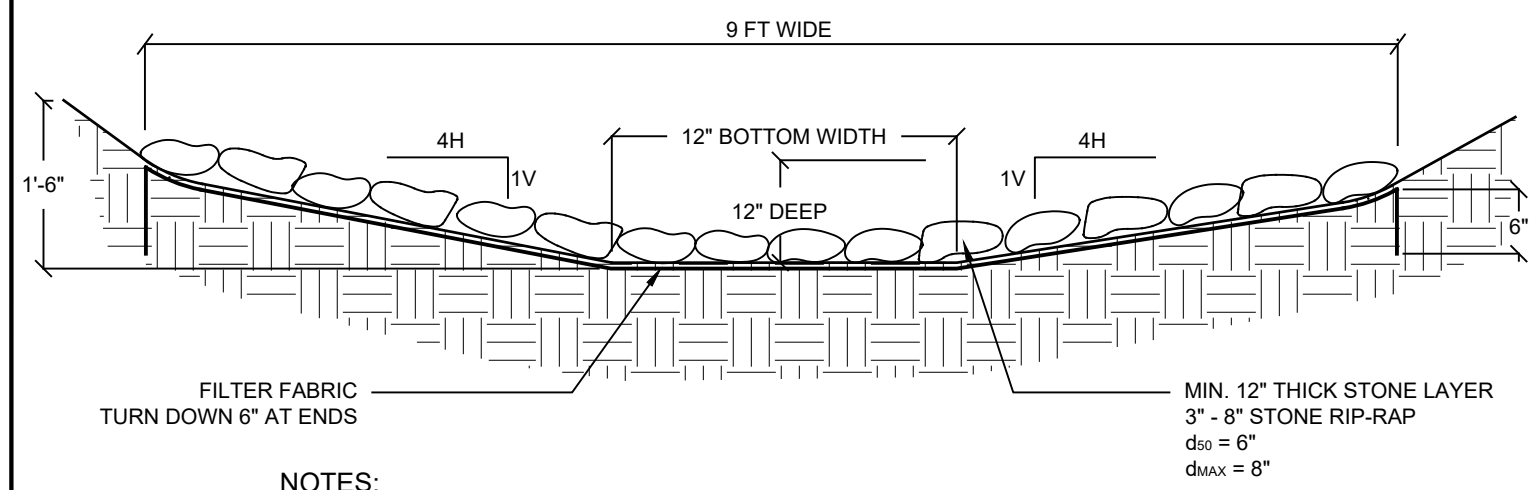
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ENVIROGREEN ASSOCIATES, INC. ENGINEERING, ARCHITECTURE, ENVIRONMENTAL CONSULTING, LANDSCAPE ARCHITECTURE, INTERIOR DESIGN, AND PLANNING SERVICES. 1851 EAST MAIN STREET, YORKTOWN HEIGHTS, NY 10598

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



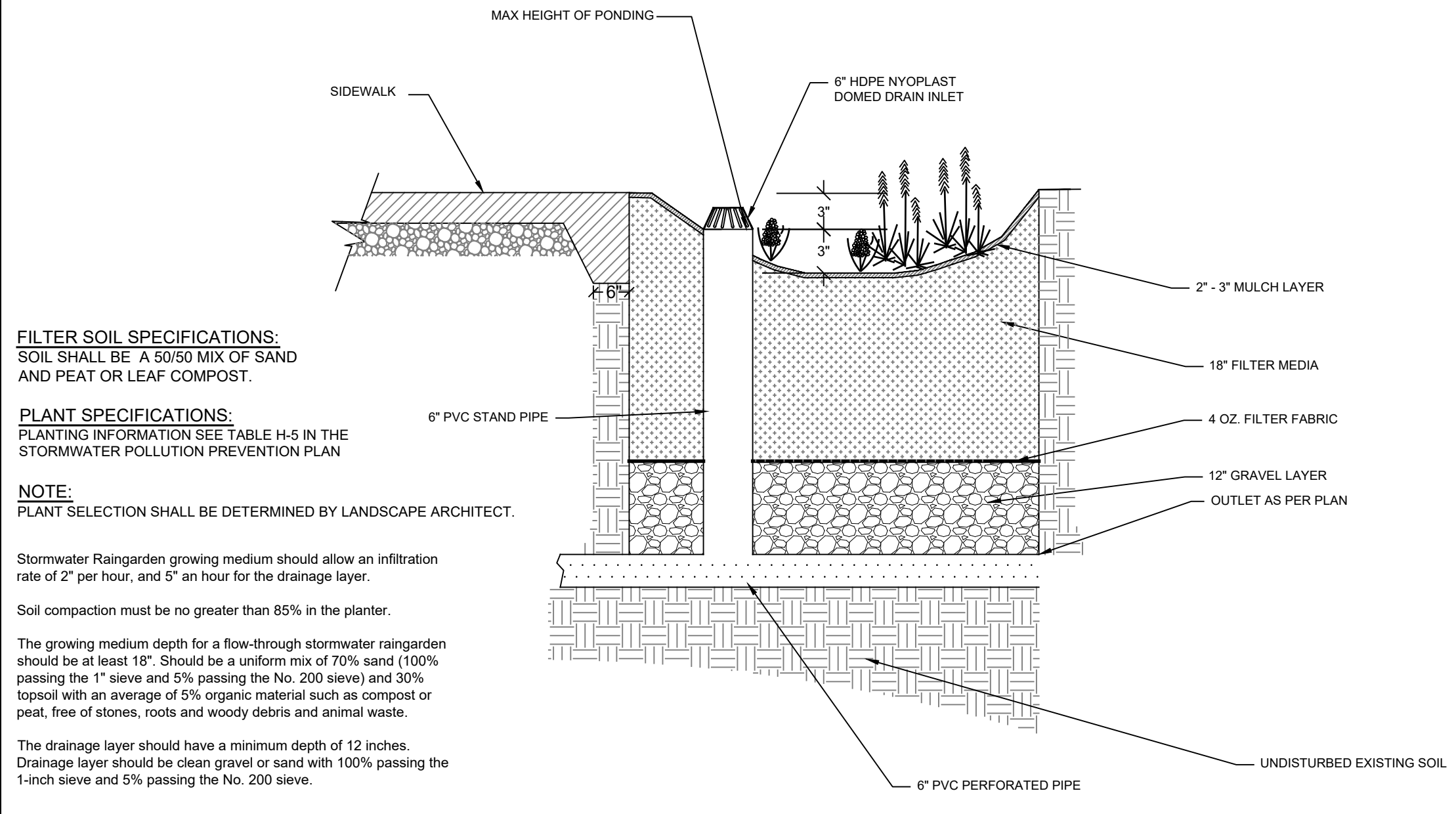
NOTES:
 1. Limits of area designated for installation of porous pavement system shall be as shown on the plans.
 2. Owner shall have the option of installing either permeable pavers or porous asphalt constructed to the specifications above.



NOTES:
 1. The foundation area shall be cleared of trees, stumps, sod, loose rock, or other objectionable materials.
 2. The cross section shall be excavated to the real lines and grades shown on the plans. Over excavated areas shall be backfilled with most soil compacted to the density of the surrounding material.
 3. Filter, bedding, and rock riprap shall be placed to line and grade in the manner specified.
 4. No abrupt deviations from design grade or horizontal alignment shall be permitted.
 5. Construction operations shall be done in such a manner that erosion, air and water pollution will be minimized and held within legal limits. All disturbed areas shall be vegetated or otherwise protected against soil erosion.

SW-4 **POROUS PAVEMENT DETAIL**
NOT TO SCALE

SW-1 **RIP-RAP SWALE DETAIL**
NOT TO SCALE



FILTER SOIL SPECIFICATIONS:
 SOIL SHALL BE A 50/50 MIX OF SAND AND PEAT OR LEAF COMPOST.

PLANT SPECIFICATIONS:
 PLANTING INFORMATION SEE TABLE H-4.5 IN THE STORMWATER POLLUTION PREVENTION PLAN

NOTE:
 PLANT SELECTION SHALL BE DETERMINED BY LANDSCAPE ARCHITECT.

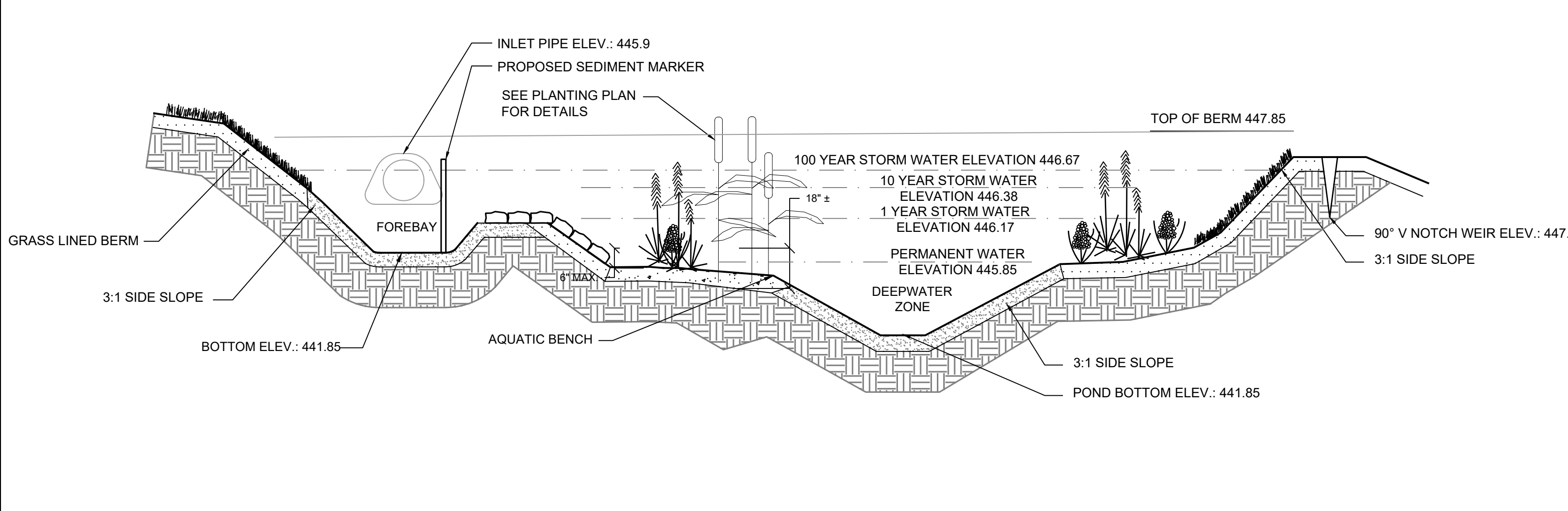
Stormwater Raingarden growing medium should allow an infiltration rate of 2" per hour, and 5" an hour for the drainage layer.

Soil compaction must be no greater than 85% in the planter.

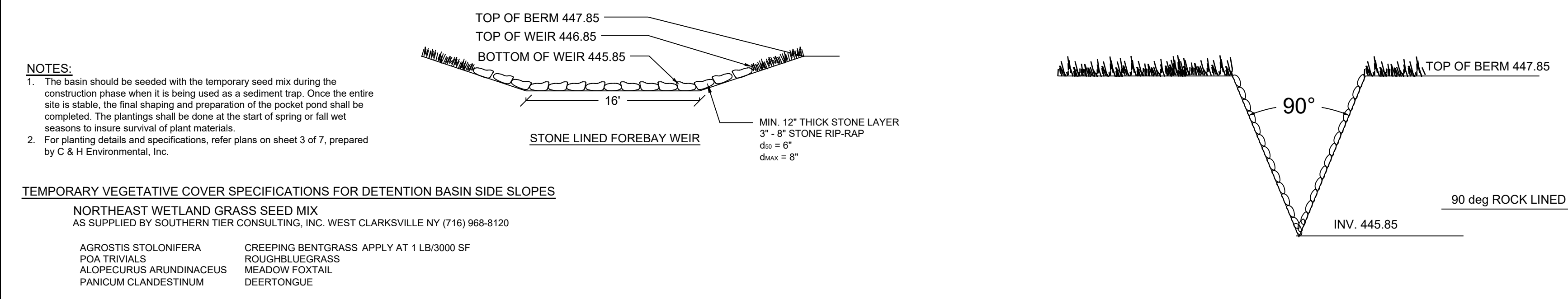
The growing medium depth for a flow-through stormwater raingarden should be at least 18". Should be a uniform mix of 70% sand (100% passing the 1" sieve and 5% passing the No. 200 sieve) and 30% topsoil with an average of 5% organic material such as compost or peat, free of stones, roots and woody debris and animal waste.

The drainage layer should have a minimum depth of 12 inches. Drainage layer should be clean gravel or sand with 100% passing the 1-inch sieve and 0% passing the No. 200 sieve.

SW-4 **RAINGARDEN DETAIL**
NOT TO SCALE



- SUGGESTED POCKET WETLAND PLANTINGS**
- PLANTINGS**
- LOW & HIGH MARSH**
- Narrowleaf Cattail (*Typha angustifolia*)
 - Lizard's Tail (*Saururus cernuus*)
 - Pickeral Weed (*Pontederia cordata*)
 - Swamp Milkweed (*Asclepias incarnata*)
 - Soft Stem Bulrush (*Scirpus validus*)
 - Arrow arum (*Peltandra virginica*)
 - Smartweed (*Polygonum* spp.)
- HIGH MARSH**
- Blue Flag (*Iris Versicolor*)
 - Blue Joint (*Calamagrostis canadensis*)
 - Marsh Marigold (*Caltha Palustris*)
 - Yellow Flag (*Iris Pseudocorus*)
- BUFFER FRINGE**
- Meadowsweet (*Spiraea latifolia*)
 - Rose-Rugosa (*Rosa rugosa*)
 - Flowering Dogwood (*Cornus florida*)
 - Shadblow (*Amelanchier canadensis*)
 - Black Chokeberry (*Aronia melanocarpa*)
 - Redosier Dogwood (*Cornus sericea*)
 - Buttonbush (*Cephalanthus occidentalis*)
 - Inkberry (*Ilex glabra*)
 - Silky Dogwood (*Cornus amomum*)
- BUFFER UPLAND**
- White Ash (*Fraxinus americana*)
 - White Oak (*Quercus alba*)
 - Tulip Poplar (*Liriodendron tulipifera*)



NOTES:
 1. The basin should be seeded with the temporary seed mix during the construction phase when it is being used as a sediment trap. Once the entire site is stable, the final shaping and preparation of the pocket pond shall be completed. The plantings shall be done at the start of spring or fall wet seasons to insure survival of plant materials.
 2. For planting details and specifications, refer plans on sheet 3 of 7, prepared by C & H Environmental, Inc.

TEMPORARY VEGETATIVE COVER SPECIFICATIONS FOR DETENTION BASIN SIDE SLOPES

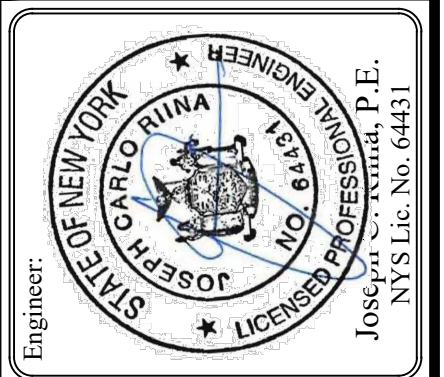
NORTHEAST WETLAND GRASS SEED MIX
 AS SUPPLIED BY SOUTHERN TIER CONSULTING, INC. WEST CLARKSVILLE NY (716) 968-8120

AGROSTIS STOLONIFERA CREEPING BENTGRASS APPLY AT 1 LB/3000 SF
 POA TRIVIALIS ROUGHBLUEGRASS
 ALOPECURUS ARUNDINACEUS MEADOW FOXTAIL
 PANICUM CLANDESTINUM DEERTONGUE

SW-1 **POCKET WETLAND (W-4) TYPICAL SECTION**
NOT TO SCALE

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 251-F Underhill Avenue, Yorktown Heights, NY 10598
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PROJECT # 14-14



Revisions:	No.	Date:	Comments:

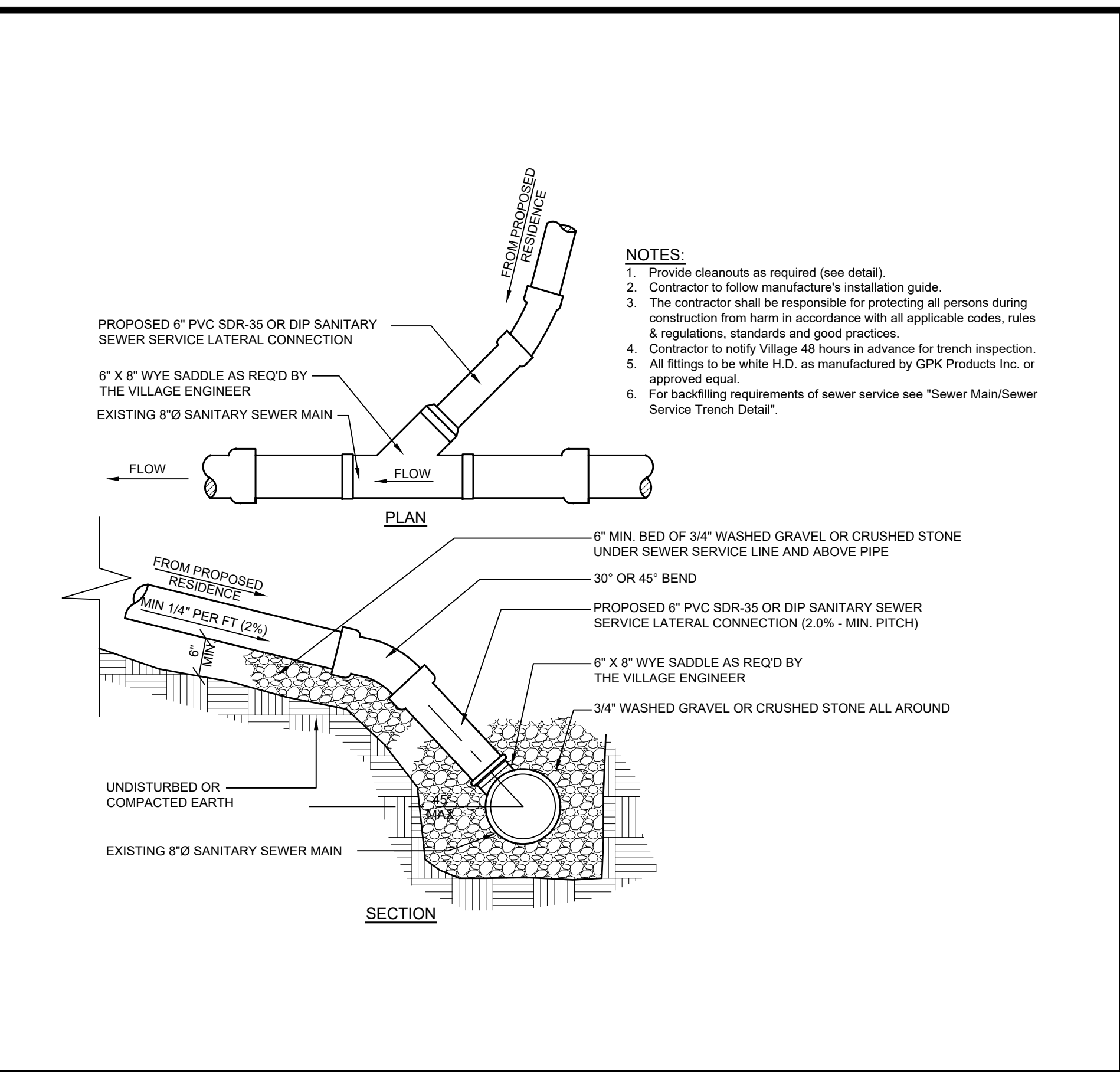
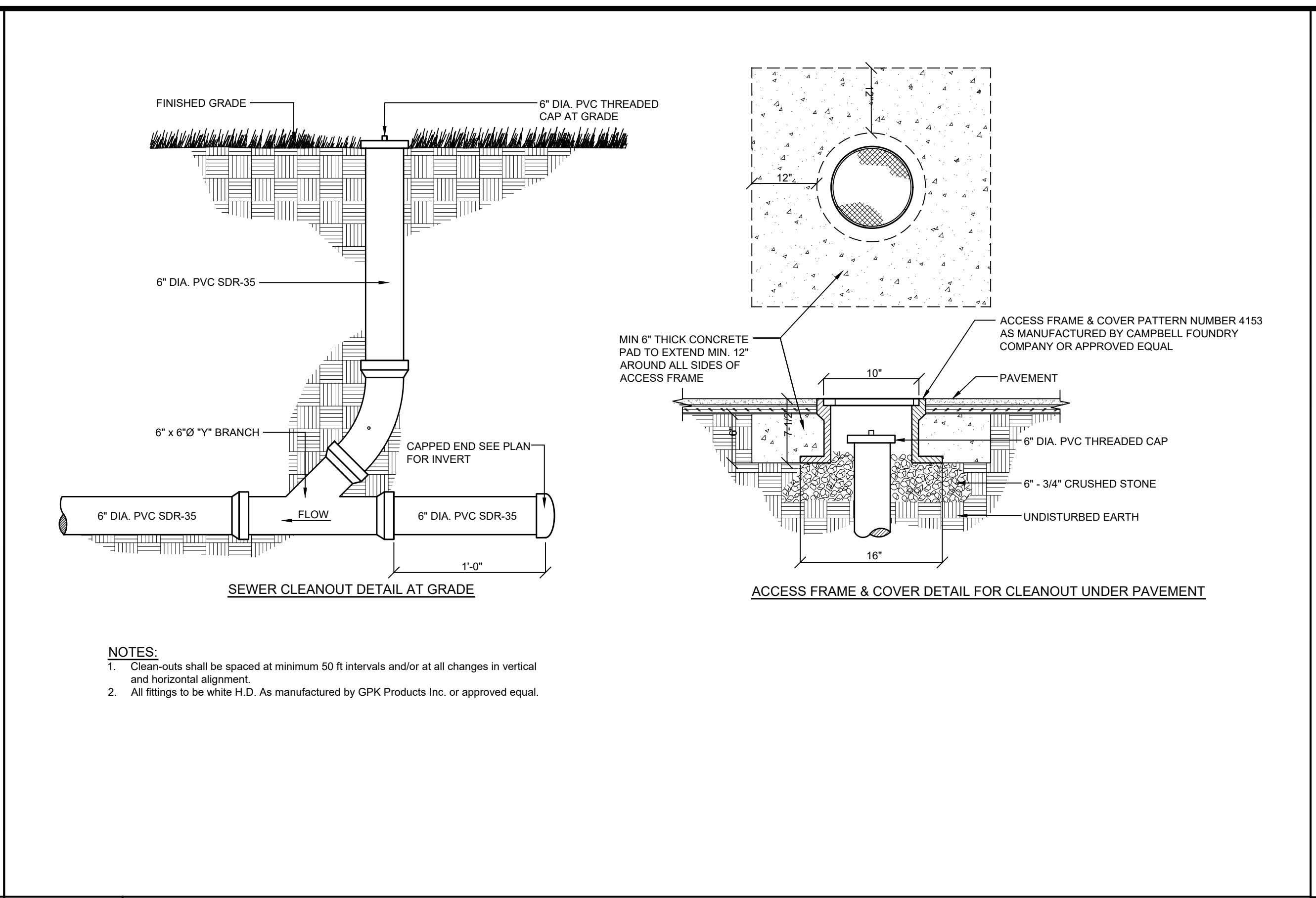
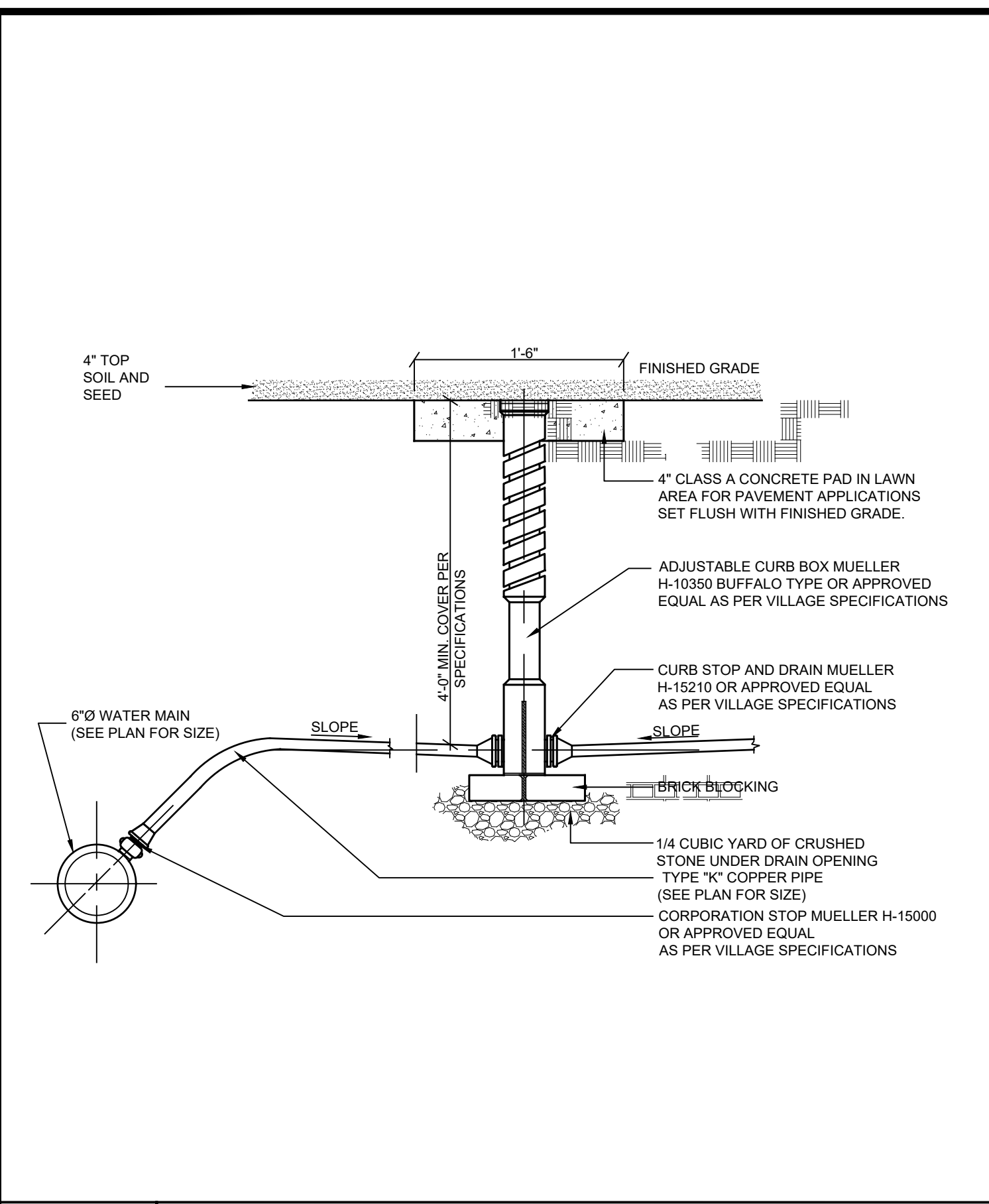
SCALE:	NTS
DRAWN BY:	JR
DATE:	2/10/21

STORMWATER DETAILS

ENVIROGREEN ASSOCIATES
 1851 EAST MAIN STREET
 Yorktown, New York
 Westchester County, New York

ENVIROGREEN ASSOCIATES, INC. ENGINEERING, ARCHITECTURE, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE, PLANNING, AND CONSTRUCTION SERVICES. 1851 EAST MAIN STREET, YORKTOWN, NY 10598. TEL: 914-962-4488. FAX: 914-962-7386. WWW.ENVIROGREEN.COM

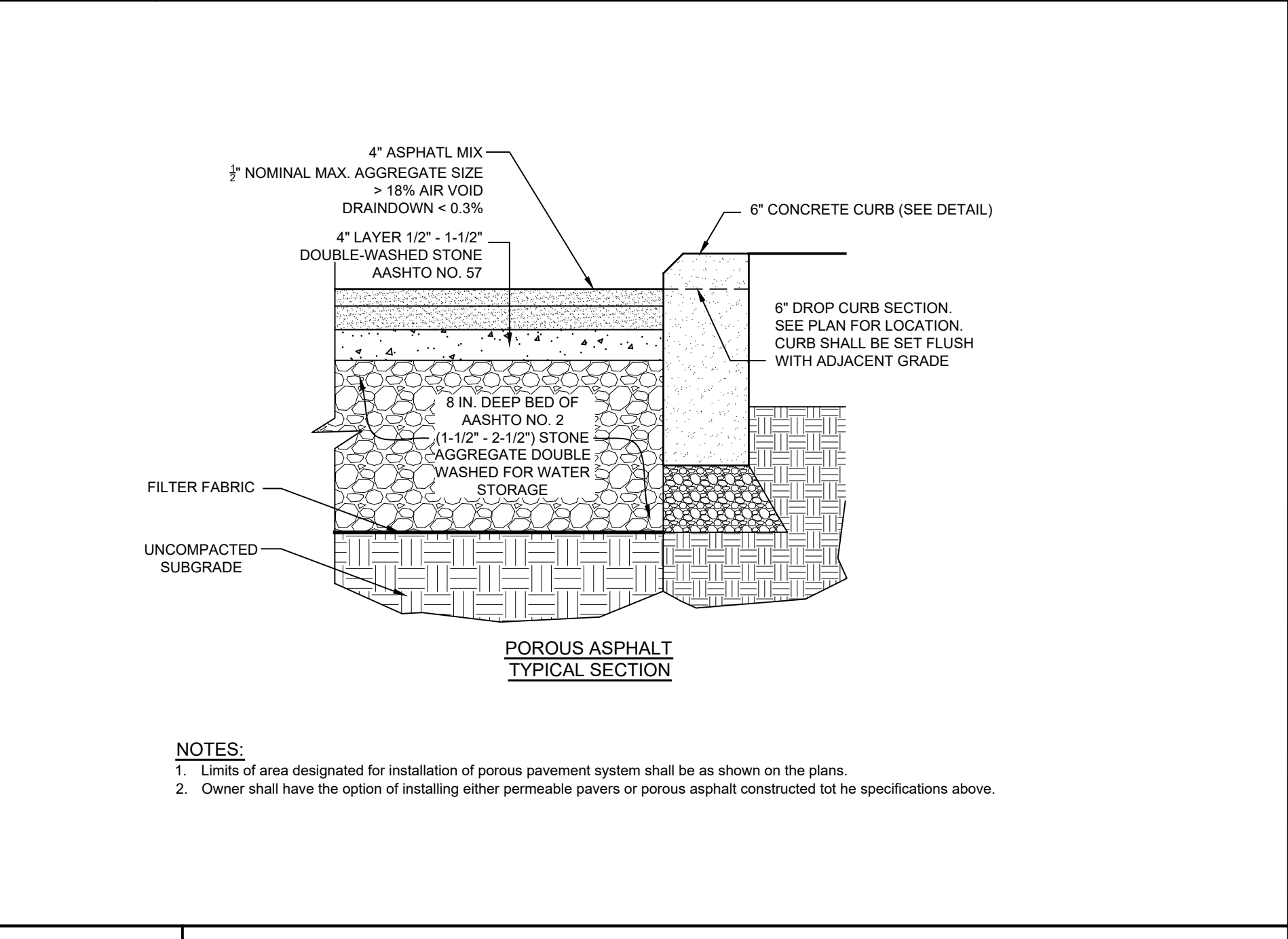
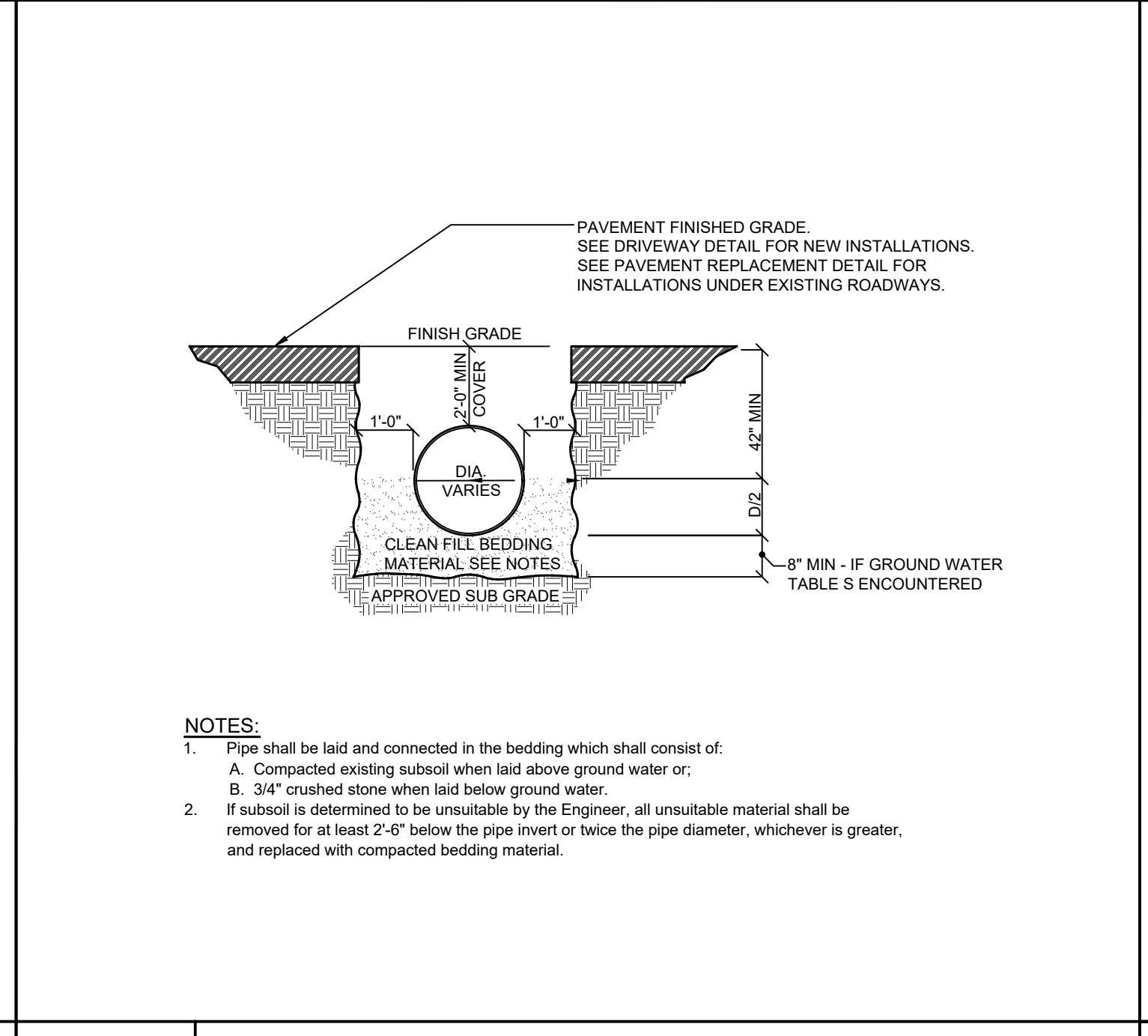
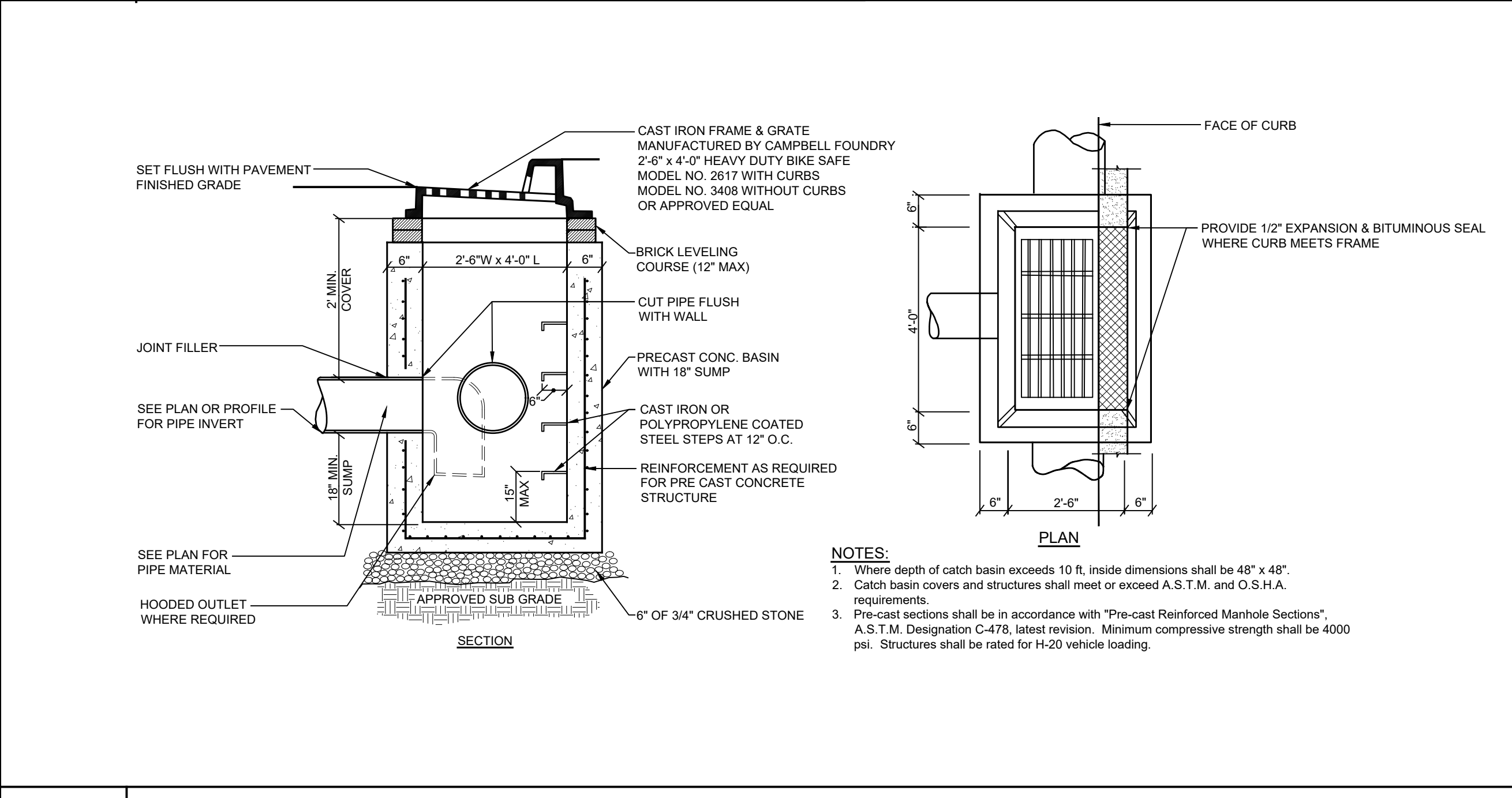
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W-1 WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

S-1 GRAVITY SEWER LATERAL CLEAN-OUT DETAIL
NOT TO SCALE

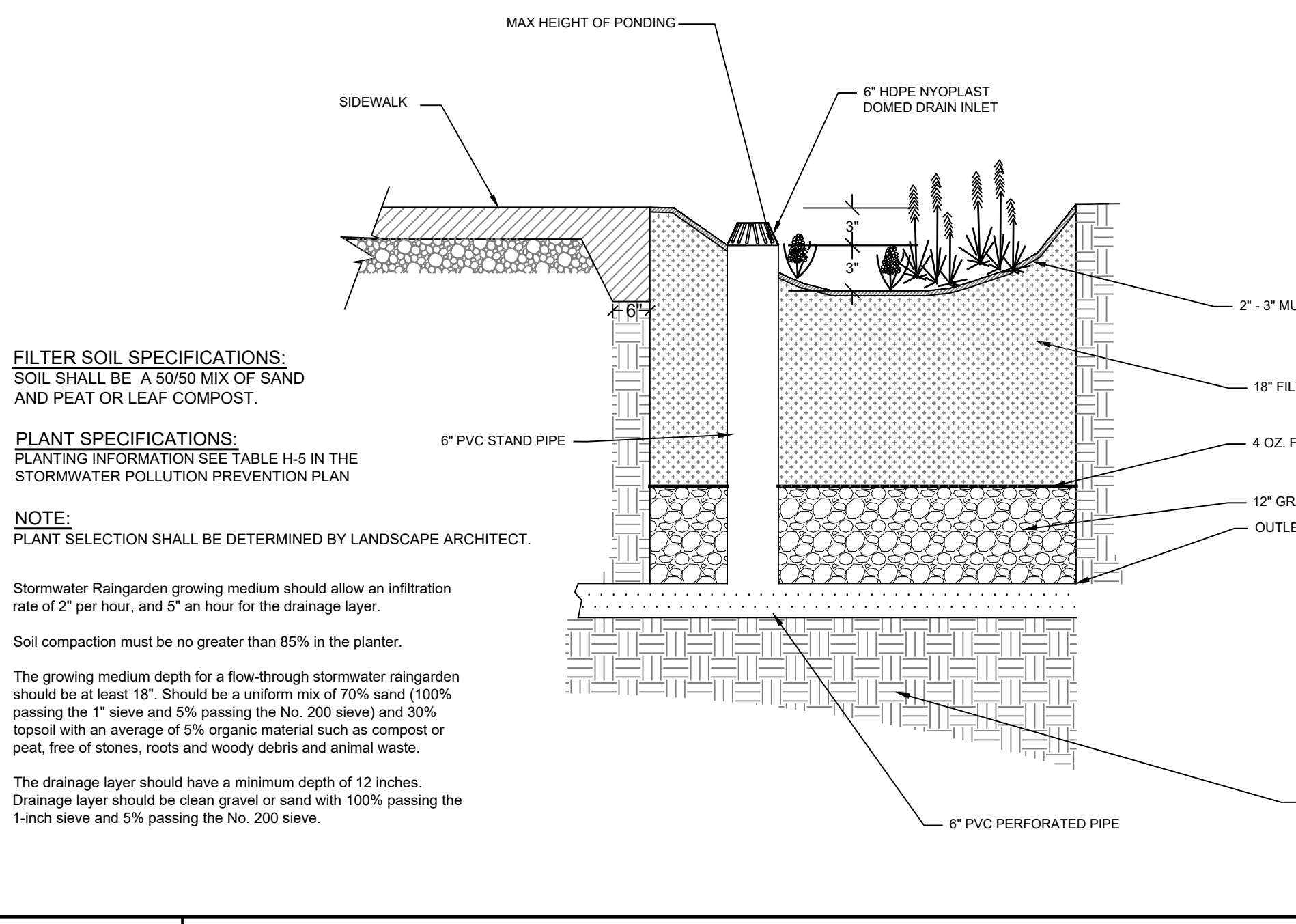
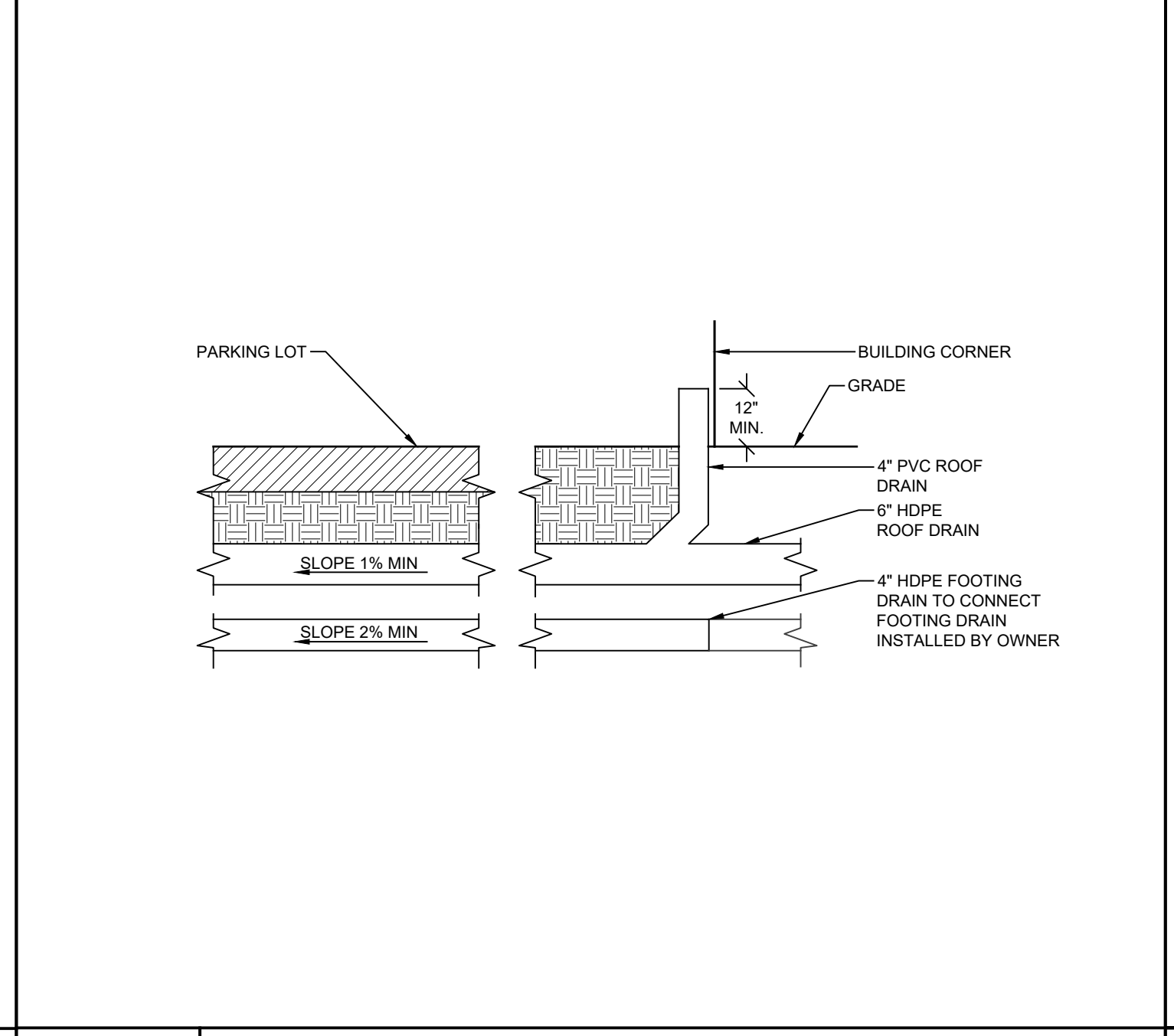
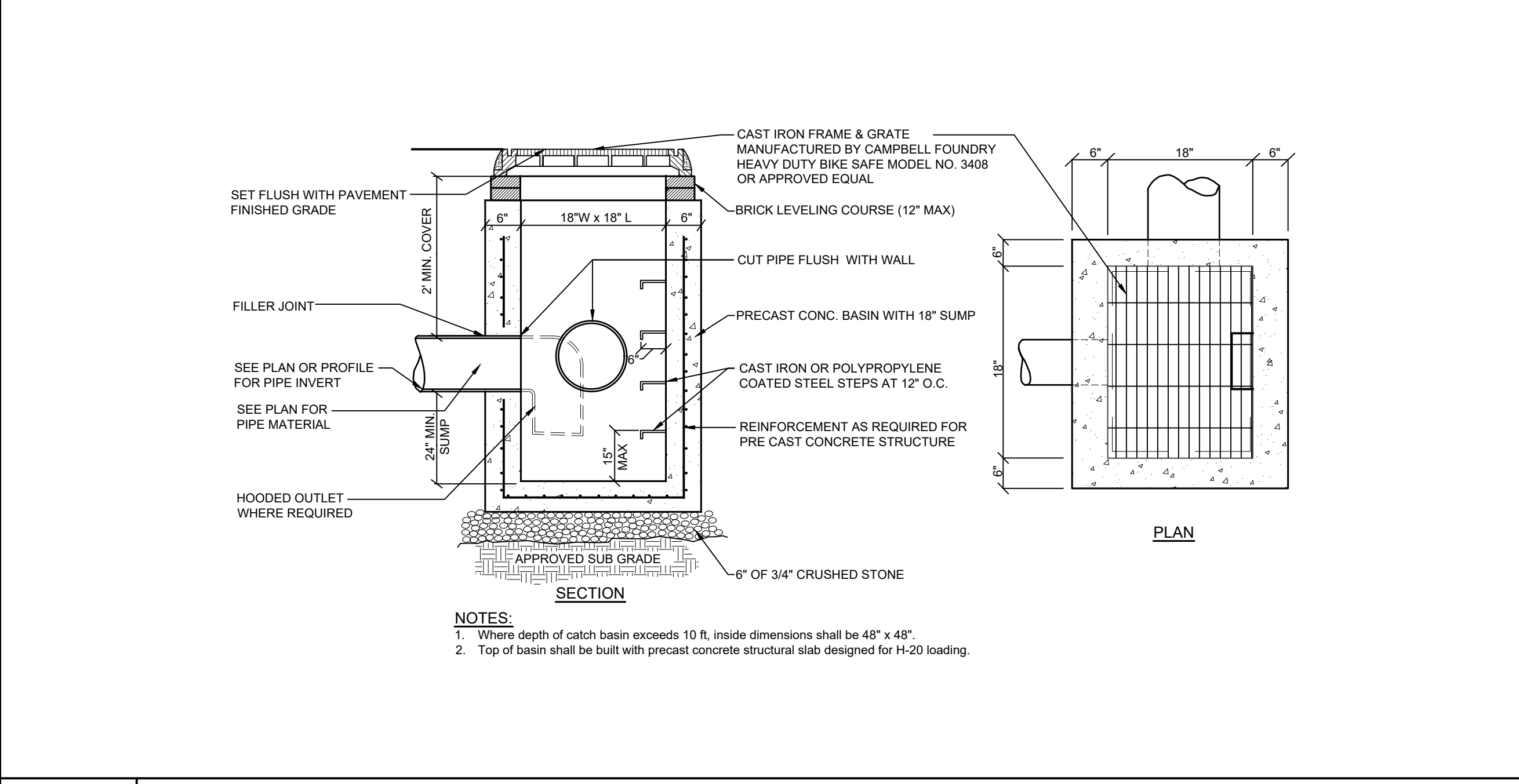
S-2 SEWER CONNECTION TO PROPOSED MAIN-LINE DETAIL
NOT TO SCALE



D-1 TYPICAL CATCH BASIN DETAIL
NOT TO SCALE

D-2 STORM PIPE BEDDING DETAIL
NOT TO SCALE

SW-4 POROUS PAVEMENT DETAIL
NOT TO SCALE



D-3 PRECAST CATCH BASIN - DRAIN INLET DETAIL
NOT TO SCALE

D-4 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE

SW-4 RAINGARDEN DETAIL
NOT TO SCALE

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PROJECT # 14-14

Engineer:
JOSEPH A. GARDNER, P.E.
NYS Lic. No. 6451

Scale: NTS
Date: 2/10/21

UTILITY DETAILS

SITE PLAN PREPARED FOR
ENVIROGREEN ASSOCIATES
1851 EAST MAIN STREET
Westchester County, New York
Town of Yorktown

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Invasive Species Monitoring and Control Program

Japanese barberry, oriental bittersweet, *Phragmites australis* and multiflora rose are all noted as present within and adjacent to the wetlands on the project site. These invasive species favor areas of disturbed soils and edge areas. This plan will implement an invasive species monitoring and manual control program for the duration of construction and development of the project. It has been designed to carry over into the needed maintenance plans that will need to be developed and implemented by the Project Owner.

Those areas of the site that are closest to the existing wetlands and watercourses have been disturbed and re-graded over the years. These are the portions of the site that are known to support invasive species which are altering the character of the wetlands and adjacent areas and represent a long term risk to the native vegetative community. For this project, those areas within 50 feet of the wetland boundary will be assessed and treated per this plan.

By controlling exotic vegetation, and reducing deer populations due to increased human activity on the site, nearby native plants will have less competition and therefore have more resources available for their own growth. An invasive species monitoring and control program will be implemented at the project site as part of the overall development plan. Species targeted for removal include the following:

- Tree-of-heaven (Ailanthus altissima)*
- Multiflora rose (Rosa multiflora)*
- Mugwort (Artemisia vulgaris)*
- Autumn olive (Elaeagnus umbellata)*
- Garlic mustard (Alliaria petiolata)*
- Purple loosestrife (Lythrum salicaria)*
- Common reed (Phragmites australis)*
- Oriental bittersweet (Celastrus orbiculatus)*
- Porcelainberry (Ampelopsis brevipedunculata)*
- Japanese Barberry (Berberis thunbergii)*
- Japanese Stilt Grass (Microstegium vimineum)*
- Winged Euonymus (Euonymus alatus)*

The above listed species and all other invasive non-native plants that are detrimental to the ecology of the project site will be removed during site development to the extent practicable. The goal of this program is to reduce the presence of exotic/invasive species to a threshold of less than ten percent total cover within the areas shown on the Wetland Restoration and Buffer Enhancement Plan (the "Plan"). A qualified biologist/botanist will supervise the removal of invasive species. Invasive species can be removed in several ways, depending on the location and species of the plant:

1. If a shrub is isolated and does not have its root system entwined with other plants, it may be removed mechanically. As much of the root system as possible should be removed to prevent the possibility of the invasive plant sprouting from root pieces left behind.
2. If a shrub is growing amongst other native plants in a way that uprooting it may disturb surrounding native plants warranting preservation, the plant may be most safely and effectively removed by chemical means. To remove by chemical means, the plant shall first be cut back to a few stubs and stumps, about twelve inches from the base. An EPA approved solution of glyphosate (Round-up or equivalent) shall be painted on the ends of the stumps. This technique shall be applied in the early fall months before the onset of plant dormancy. Proper notification must be made prior to the application of all restricted pesticides, and application made by a licensed applicator, if required. During project construction, glyphosate will only be applied by a licensed herbicide applicator, as coordinated with the Environmental Site Monitor. Only hand-cutting and removal will be allowed within the Wetland Controlled Area.
3. Highly invasive groundcovers, such as Japanese honeysuckle, are difficult to eliminate due to their habit of rooting along the stem. Groundcovers of this type will be removed by hand or mechanically. If after the second year of treatment the species persists, it may be sprayed with glyphosate, using a very close and targeted application during the active growing season. If the plant is growing among other herbaceous or shrub material that would be harmed by spraying, the glyphosate shall be applied by brush or mechanical removal should be considered. Repeated treatments may be necessary to remove the plant completely.
4. Highly invasive annuals, such as garlic mustard, are difficult to eliminate due to their growth from seed that is widespread among the soil seed bank where the plants are found. Several methods may be utilized in removing this type of invasive plants. If the species is growing densely without other plants, the area will be sprayed with glyphosate during the active growing season, following the manufacturer's recommendations. Species will also be removed by hand. Both methods should be performed before plants set seed. Both methods shall be performed multiple times over a season and possibly over several seasons to completely eradicate the target species.

Monitoring and Maintenance Schedule

Following development of the site, a maintenance plan will include the regular inspection of undisturbed areas as shown on the Plan, and removal of these species as necessary. This represents the transitional areas that are most susceptible to opportunistic settling of invasive species. It is anticipated that a schedule of inspections three times a year for the first three years following full project build out (early, mid and late growing season) will be adequate for the identification and removal of the invasive species in this area.

The Town Building Inspector and Wetlands Inspector will be consulted prior to the proposed removal of invasive species within the controlled area. In addition, all activities related to invasive species control, monitoring and assessment of achievement of the 10 percent tolerance threshold for coverage by all invasive species on the project site will be coordinated with the Environmental Site Monitor. These inspections will include the mapping and identification of locations and extent of cover of invasive species, and identify the methods to be used for the subsequent removal. Following treatment, a brief report outlining extent, location and removal method for each species shall be prepared and filed with the Town Planning Office.

Map Symbol	Quantity*	Scientific Name	Common Name	Size
Trees				
Aru	11	Acer rubrum	Red Maple	5' - 6'
Shrubs				
CSe	44	Cornus sericea	Redtiller dogwood	3' - 4'
AC	6	Amelanchier canadensis	Shadbowl	4' - 5'
IV	42	Ilex verticillata	Winterberry holly	3' - 4'
VC	14	Vaccinium corymbosum	Highbush blueberry	4' - 5'
VD	35	Viburnum dentatum	Aronwood	4' - 5'
SD	14	Salix discolor	Pussy willow	4' - 5'
SC	7	Sambucus canadensis	Elderberry	4' - 5'
Herbaceous Plants				
CS (Zone 2)	100	Carex stricta	Tussock sedge	2" plug
CS (Zone 2)	100	Carex crinita	Fringed sedge	2" plug
JE (Zone 2)	100	Juncus effusus	Soft rush	2" plug
EP (Zone 1)	100	Eupatorium purpure	Joe pye weed	2" plug
AI (Zone 1)	100	Asclepias incarnata	Swamp milkweed	2" plug
VH (Zone 1)	100	Verbena hastata	Blue vervain	2" plug
Seed Mix				
SWM	8 pounds	Riparian Buffer Mix ERNMX-154	Or equivalent	

* Plant quantities will be held, but final locations will be determined in the field following removal of invasive and dead plant materials.

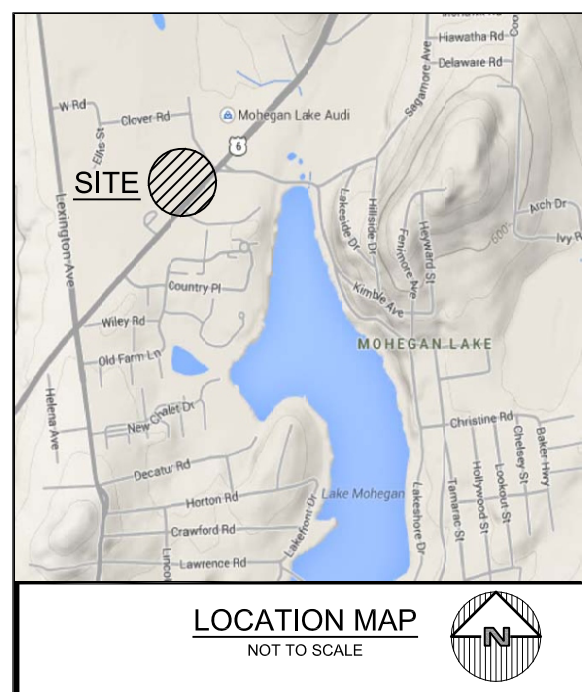
Wetland Buffer Enhancement Areas

Following the removal of non-native invasive species as specified in the invasive species eradication plan, wetland and buffer areas will be seeded using the following seed mixes:

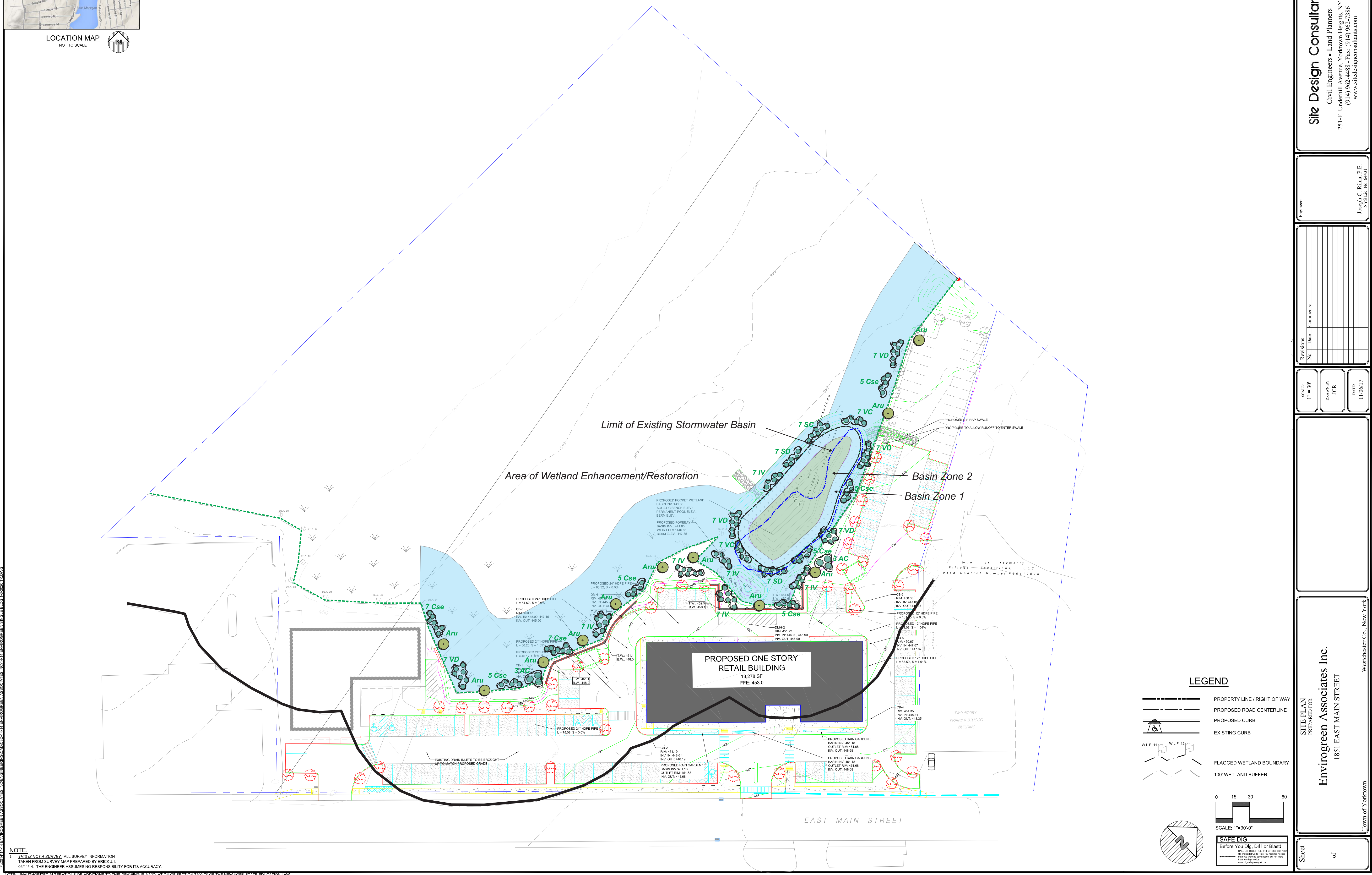
Buffer Areas - Riparian Buffer Mix (ERNMX-154 or equivalent) at 20 lbs/acre.

Zone 1 plantings will be interplanted with seeding on the sloped banks of the pocket wetland.

Zone 2 plantings will be planter in and along the edges of the permanent pool in the pocket wetland basin.



SITE DATA:
 OWNER / DEVELOPER: ENVIROGREEN ASSOCIATES INC.
 PROJECT LOCATION: 11 HAGEMAN CT, KATONAH, N.Y. 10538, 185 EAST MAIN STREET, MOHESAN LANE, N.Y. 10547
 EXISTING TOWN ZONING: C-3 LIMITED COMMERCIAL - R1-20 RESIDENTIAL
 PROPOSED USE: RETAIL / COMMERCIAL
 TOWN TAX MAP DATA: SECTION 15.16, BLOCK 1, LOT 30 & LOT 31
 SITE AREA: 8.795 ACRES (333,114.7 SF)
 SEWAGE FACILITIES: PUBLIC SEWERS
 WATER FACILITIES: PUBLIC WATER FACILITIES



LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- FLAGGED WETLAND BOUNDARY
- 100' WETLAND BUFFER

SCALE: 1"=30'-0"

SAFE DIG
 Below You Dig, Dig or Blast
 Call for Utility Location Information
 800-4-A-DAWN (3229)
 www.callbeforeyoudig.com

NOTE:
 THIS IS NOT A SURVEY. ALL SURVEY INFORMATION TAKEN FROM SURVEY MAP PREPARED BY ERICK J. QUINN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
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 Civil Engineers & Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 Tel: 914-941-1200
 www.sitedesignconsultants.com

PROJECT # 14-14

DATE: 11/06/17

SCALE: 1"=30'-0"

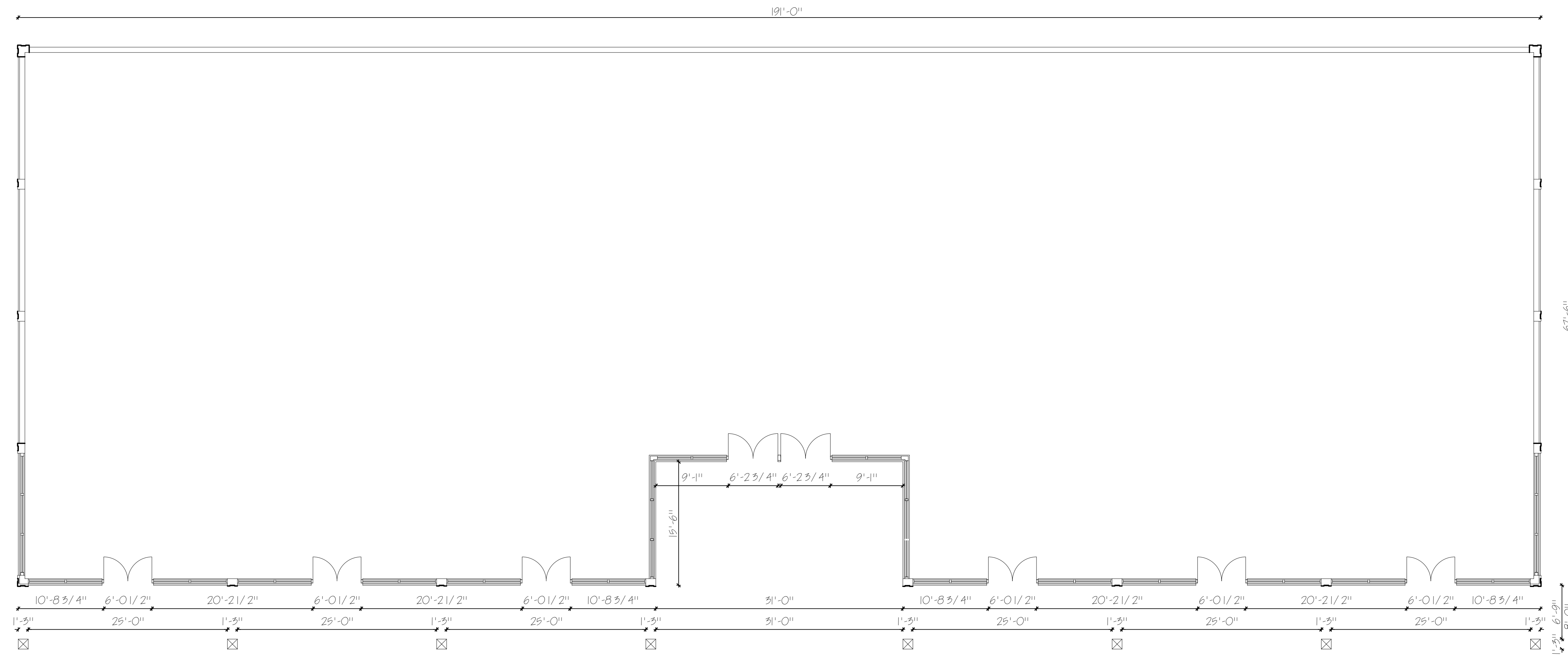
REVISIONS:

No.	Date	Comments

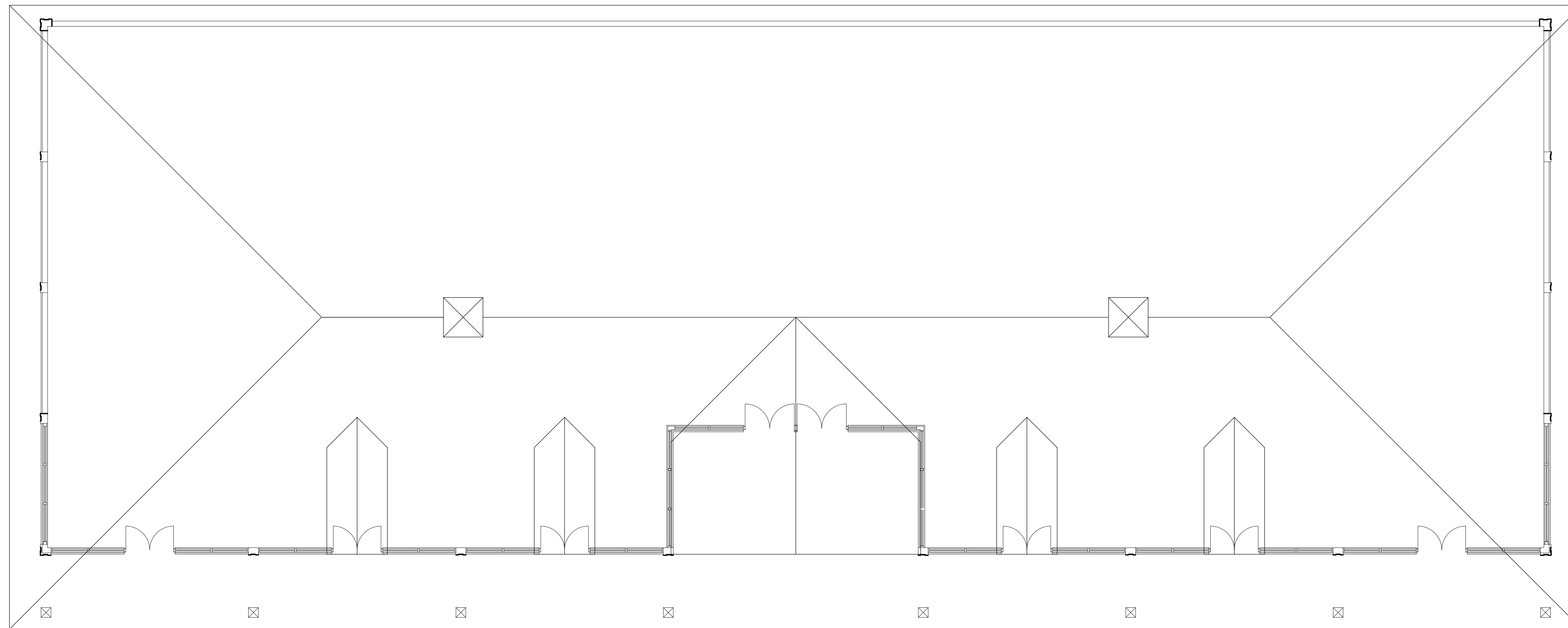
ENVIROGREEN ASSOCIATES INC.
 11 HAGEMAN CT
 KATONAH, NY 10538
 TEL: 914-941-1200
 WWW.ENVIROGREENASSOCIATES.COM

ENVIROGREEN ASSOCIATES INC.
 1851 EAST MAIN STREET
 YORKTOWN HEIGHTS, NY 10598
 TEL: 914-941-1200
 WWW.ENVIROGREENASSOCIATES.COM

Sheet of



FLOOR PLAN
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"

SALVATORE MANCINI R.A.

ARCHITECTS

P.O. BOX 301
NEWTOWN, CT 06470
N.Y. ARCHITECTURAL LICENSE # 013600
CT. ARCHITECTURAL LICENSE # 9592
FL ARCHITECTURAL LICENSE # AO 0073589

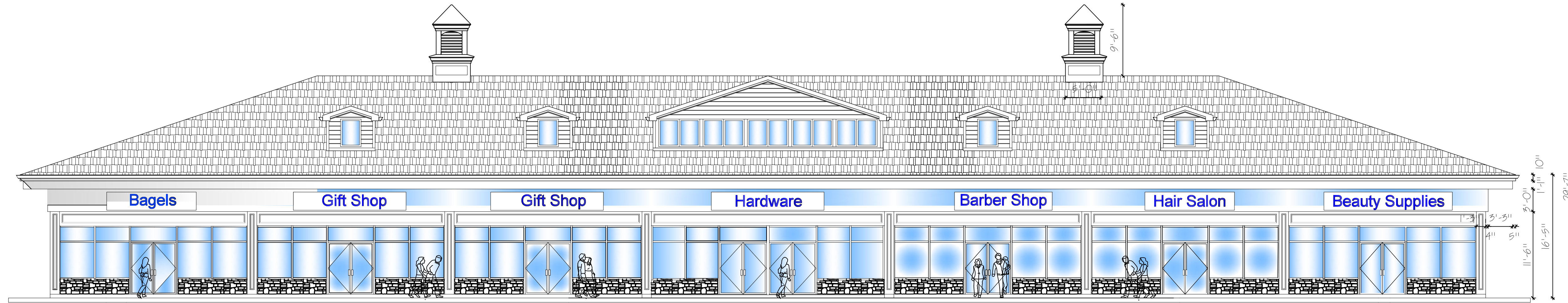
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CONCEPTUAL FLOOR/ROOF
ENVIROGREEN ASSOCIATES INC.
ROUTE 6
MOHEGAN LAKE, NY

REVISION #	DATE	DESCRIPTION

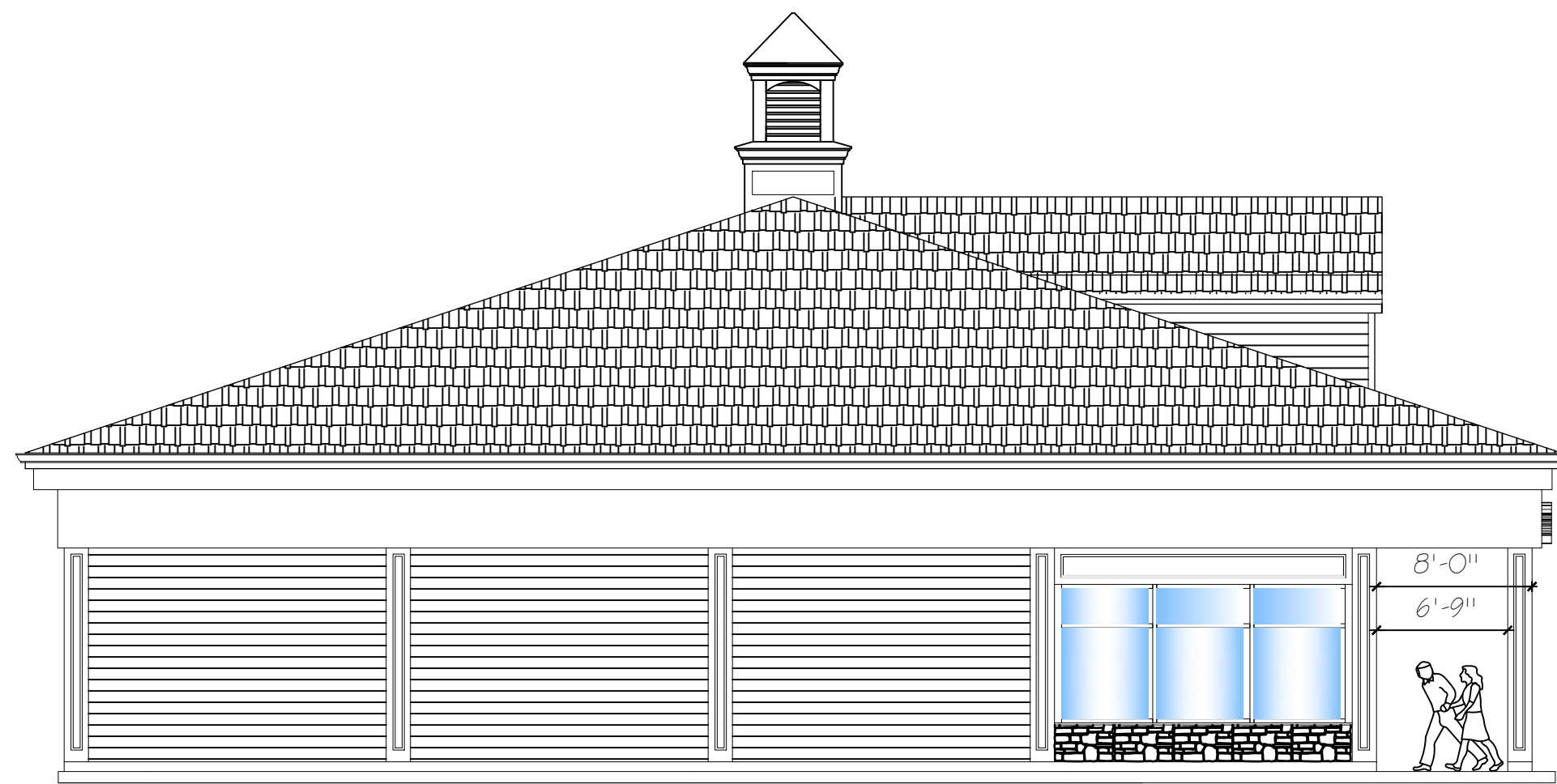
9/9/21	ABACA REVIEW REVISED
8/31/21	ABACA REVIEW
	ISSUED TO

SCALE	FILE #	DRAWN BY	CHECKED BY
	CIPRIAN/M/2021	SV/SW	SW

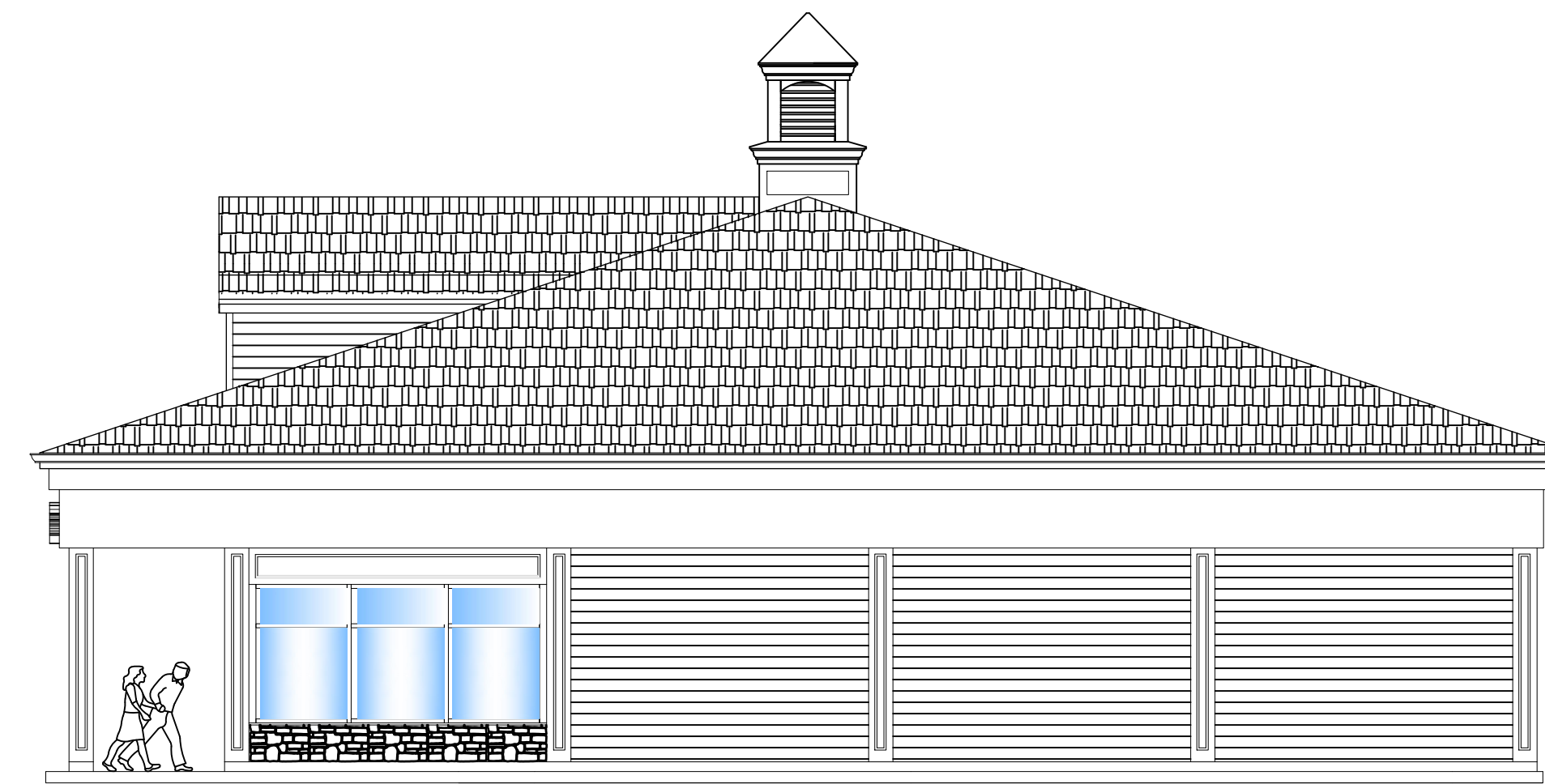
DRAWING NUMBER
A-1



FRONT ELEVATION
SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

SALVATORE MANCINI R.A.

ARCHITECTS

P.O. BOX 301
NEWTOWN, CT 06470
N.Y. ARCHITECTURAL LICENSE # 013600
CT. ARCHITECTURAL LICENSE # 5882
FL ARCHITECTURAL LICENSE # A00019589

PROJECT TITLE:
CONCEPTUAL ELEVATIONS
ENVIROGREEN ASSOCIATES INC.
ROUTE 6
MOHEGAN LAKE, NY

REVISION #	DATE	DESCRIPTION

DATE	ISSUED TO
9/9/21	ABACA REVIEW REVISED
8/31/21	ABACA REVIEW

SCALE	FILE #	DRAWN BY	CHECKED-BY
	CIPRIAN/AL2021	GVSM	SM

DRAWING NUMBER
A-2

State Environmental Quality Review
NEGATIVE DECLARATION
 Notice of Determination of Non-Significance

Project Number

Date: September 23, 2019

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Envirogreen Associates - 1851 East Main Street

SEQR Status: Type 1
 Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

It is proposed to redevelop a portion of the referenced property by removing one of the existing buildings and parking areas and constructing new 6,000 square foot and 10,000 square foot buildings with associated parking. A wetland mitigation plan and stormwater management plan are incorporated into the proposed development.

Section 15.16 Block 1 Lot 30 & 31

Proposed Plans:

Site Plans titled, "Envirogreen Associates Inc.," 5 sheets, prepared by Site Design Consultants, dated November 6, 2017, with no revisions.

Mitigation Plan titled, "Wetland Enhancement/Restoration Area Envirogreen Associates," Sheet 2 of 4, prepared by Tim Miller Associates/Wetland Mitigation Inc., dated November 6, 2017.

Mitigation Plan titled, "Conceptual Wetland Creation & Enhancement Plan," one sheet, prepared by Tim Miller Associates/Wetland Mitigation Inc., dated November 7, 2017.

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

1833 - 1875 East Main Street, Mohegan Lake, Town of Yorktown, Westchester County

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

- 1) This Negative Declaration is based on a Full Environmental Assessment Form last revised November 14, 2017.
- 2) The proposed commercial development is allowed in the C-3 zoning district on the portion of property proposed to be developed therefore the development plan conforms to the Town's Land Use and Zoning Policies. The only disturbance proposed on the portion of the property in the R1-20 zone is part of the wetland mitigation plan.
- 3) Commercial properties do not have an impact on Town services.
- 4) The plan is in accordance with the Town's Comprehensive Plan, the Mohegan Lake Business District Design Guidelines, and the Routes 202/35/6 Bear Mountain Parkway Sustainable Development Plan. All of these plans emphasize and encourage new development to reduce curb cuts by connecting commercial parking areas, move buildings into the front yard to create comfortable public space, and interconnectivity between similar uses along commercial corridors.
- 5) The plan mitigates traffic impacts through the Mohegan Lake Hamlet of the Town of Yorktown. In front of the subject site, East Main Street/Route 6 is a three lane section comprised of one lane each of West/East travel and one center, unregulated turning lane. This section differs from the sections to the west and east, which expand to 5 lane sections with two lanes in each direction. The volumes on Route 6 exceed 20,000 cars per day, and given the lane reduction through this section, there are significant delays and queuing that already occur. In response to conditions such as these, the Planning Board has a policy of requiring adjacent commercial properties to provide interconnected parking areas when new developments are proposed. This particular corridor was targeted for interconnectivity as future access connections to the subject property are shown on both the adjacent properties to the West and East of the site. The connections are intended to reduce left turns in and out of the site by providing access to a traffic signal and to reduce the number of times drivers must enter the roadway to travel to multiple commercial businesses along the same corridor. Reducing the number of both of these movements onto Route 6 will improve delay time and enhance traffic safety in the Hamlet.
- 6) This project proposes to fill a portion of a NYSDEC designated Class II Wetland and Town Wetland, however the Planning Board has determined that the benefits to the surrounding area and traffic corridor are more important to the health and safety of the community than the wetland intrusion. The applicant has submitted a plan dated 08/30/18, however this plan fails to meet the traffic mitigation objectives of the Board and would leave little room for wetland buffer mitigation. The existing wetland is a disturbed area that has been the subject of dumping. As part of the proposed development, the property owner proposes a Wetland Mitigation Plan to rehabilitate the existing wetland and create 0.32 acres of new wetland immediately adjacent to the existing wetland and pond. The mitigation plan includes cleaning debris, removing non-native species, and installing new wetland species in the existing wetland immediately adjacent to the development site on Lot 30. The new wetland area would be created on Lot 31 immediately adjacent to the existing wetland, after removing the existing building and any other previous land disturbance.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

State Environmental Quality Review
NEGATIVE DECLARATION
 Notice of Determination of Non-Significance

Project Number

Date:

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Envirogreen Associates, Inc

SEQR Status: Type 1
 Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

It is proposed to redevelop a portion of the referenced property by removing one of the existing buildings and parking areas and constructing new 12,400 square foot building with associated parking. A wetland mitigation plan and stormwater management plan are incorporated into the proposed development.

Section 15.16 Block 1 Lot 30 & 31

Proposed Plans:

Site Plans titled, "Envirogreen Associates, Inc.," 12 sheets, prepared by Site Design Consultants, last revised September 23, 2021.

Mitigation Plan titled, "Wetland Enhancement/Restoration Area Envirogreen Associates," prepared by Tim Miller Associates/Wetland Mitigation Inc., dated June 21, 2021.

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

1833 - 1875 East Main Street, Mohegan Lake, Town of Yorktown, Westchester County

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

- 1) This Negative Declaration is based on a Full Environmental Assessment Form last revised June 18, 2021.
- 2) The proposed commercial development is allowed in the C-3 zoning district on the portion of property proposed to be developed therefore the development plan conforms to the Town's Land Use and Zoning Policies. The only disturbance proposed on the portion of the property in the R1-20 zone is part of the wetland mitigation plan.
- 3) Commercial properties do not have an impact on Town services.
- 4) The plan mitigates traffic impacts through the Mohegan Lake Hamlet of the Town of Yorktown. In front of the subject site, East Main Street/Route 6 is a three lane section comprised of one lane each of West/East travel and one center, unregulated turning lane. This section differs from the sections to the west and east, which expand to 5 lane sections with two lanes in each direction. The volumes on Route 6 exceed 20,000 cars per day, and given the lane reduction through this section, there are significant delays and queuing that already occur. In response to conditions such as these, the Planning Board has a policy of requiring adjacent commercial properties to provide interconnected parking areas when new developments are proposed. This particular corridor was targeted for interconnectivity as future access connections to the subject property are shown on both the adjacent properties to the West and East of the site. The connections to Lot 32 are intended to reduce left turns in and out of the site by providing access to a traffic signal.
- 5) This project proposes no intrusion into the NYSDEC designated Class II Wetland and Town Wetland. The applicant has developed a Wetland Enhancement/Restoration to mitigate the disturbance in the wetland buffer. As part of the proposed development, the applicant proposes this Plan to restore the existing wetland and enhancement the buffer areas around it. The applicant is also proposing porous pavement to further decrease the amount of impervious surface.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN, STORMWATER POLLUTION PREVENTION PLAN,
AND WETLAND PERMIT FOR ENVIROGREEN ASSOCIATES, INC.**

RESOLUTION NUMBER: #00-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Envirogreen Associates Inc.," prepared by Site Design Consultants, dated and last revised, September 13, 2021, was submitted to the Planning Board on behalf of Richard Cipriani (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by the Applicant is located at 1851 East Main Street, Yorktown Heights, also known as Section 15.16, Block 1, Lots 30 & 31 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this board that they are the lawful owners of the land within said site plan; and

WHEREAS an application fee of \$6,992.00 covering 7.7 acres has been received by this board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on September 23, 2019.
3. A negative declaration has been adopted on September 23, 2019 on the basis of a Full EAF dated November 14, 2017.

WHEREAS following review by the NYS DEC, the Applicant submitted a revised site plan application and Full EAF dated June 18, 2021 on June 30, 2021; and

WHEREAS pursuant to SEQRA, the Planning Board hereby adopts a revised Negative Declaration on the basis of a Full EAF dated June 18, 2021; and

WHEREAS the Applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A drawing, Sheet 1 of 12, titled "Site Plan," prepared by Site Design Consultants, dated February 10, 2021, and last revised September 13, 2021; and

2. A drawing, Sheet 2 of 12, titled “Existing Conditions,” prepared by Site Design Consultants, and dated February 10, 2021; and
3. A drawing, Sheet 3 of 12, titled “E&SC Plan,” prepared by Site Design Consultants, and dated February 10, 2021; and
4. A drawing, Sheet 4 of 12, titled “Improvement Plan,” prepared by Site Design Consultants, and dated February 10, 2021; and
5. A drawing, Sheet 5 of 12, titled “Landscape Plan,” prepared by Frank Giuliano – Landscape Architect, and dated November 6, 2017; and
6. A drawing, Sheet 6 of 12, titled “Lighting Plan,” prepared by Site Design Consultants, and dated November 6, 2017; and
7. A drawing, Sheet 7 of 12, titled “Profiles,” prepared by Site Design Consultants, and dated February 10, 2021; and
8. A drawing, Sheet 8 of 12, titled “Notes,” prepared by Site Design Consultants, and dated February 10, 2021; and
9. A drawing, Sheet 9 of 12, titled “E&SC Notes,” prepared by Site Design Consultants, and dated February 10, 2021; and
10. A drawing, Sheet 10 of 12, titled “Site Details,” prepared by Site Design Consultants, and dated February 10, 2021; and
11. A drawing, Sheet 11 of 12, titled “Stormwater Details,” prepared by Site Design Consultants, and dated February 10, 2021; and
12. A drawing, Sheet 12 of 12, titled “Utility Details,” prepared by Site Design Consultants, and dated February 10, 2021; and
13. A drawing, titled “Wetland Enhancement/Restoration Area,” prepared by Tim Miller Associates/Wetland Mitigation Inc., and dated June 21, 2021; and

Architectural Plans

14. A drawing, Sheet A-1, titled “Conceptual Evaluations,” prepared by Salvatore Mancini, AIA, dated November 2, 2017 and last revised November 15, 2017; and
15. A drawing, Sheet A-2 titled “Conceptual Evaluations,” prepared by Salvatore Mancini, AIA, dated November 2, 2017 and last revised November 15, 2017; and
16. A drawing, Sheet A-3, titled “Conceptual Evaluations,” prepared by Salvatore Mancini, AIA, dated November 2, 2017 and last revised November 15, 2017; and

Additional Documents & Reports

17. A report, titled “Traffic Impact Study,” prepared by Maser Consulting, P.A., dated and last revised March 31, 2016; and
18. A report titled, “Stormwater Management Plan prepared for Envirogreen Associates, Inc.,” prepared by Site Design Consultants, and dated June 2021; and

WHEREAS the proposed architectural concept plans have been reviewed by the Advisory Board on Architecture & Community Appearance (ABACA) and are acceptable to the Board provided a review of the final proposed plans are submitted for review and comment once

tenants are selected, as stated in their memo dated September 13, 2021; and

WHEREAS all signage shown on the building elevation is for example only and no sign areas or details are approved in this resolution; and

WHEREAS as per Section §300-21C(12)(A)[1] Stores or Shops for conduct of retail business is an allowed use in the C-3 (Commercial Limited District); and

WHEREAS pursuant to Section §300-182A(3)(a) of the Town of Yorktown Town Code, the applicant has provided four (4) parking spaces for every 1,000 square feet of Gross Floor Area thereby requiring a total of 103 parking spaces where 113 are shown on the site plan; and

WHEREAS the Applicant is also showing an additional 26 parking spaces labeled “Land Bank parking for Future” that could be constructed should the required parking increase due to a restaurant use occupying a portion of the proposed building; and

WHEREAS the Applicant has offered to construct an access from an adjacent parcel known as Section 15.16, Block 1, Lot 32 on the Town of Yorktown Tax Map to the Property in order to facilitate the elimination of left turns from the existing curb cut on Route 6 for Lot 32; and

WHEREAS Lot 32 has constructed an access through the rear of their property to traffic from both developments may exit to the traffic signal at Lakeland Street and Route 6; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	04/26/21, 05/10/21, 09/13/21
Building Inspector	08/10/15, 06/22/15
Conservation Board	06/26/17, 12/17/15, 10/08/15, 08/07/15, 04/22/21, 07/08/21
Environmental Consultant	01/22/16
Fire Inspector	10/02/15, 06/23/17
Planning Department	06/19/17, 01/22/16, 10/14/15, 09/14/15
U.S. Army Corps of Engineers	10/21/16
Town Engineer	06/23/17
Yorktown Water Department	11/22/17
NYS Parks, Rec, Historic Preservation	08/13/15
NYS DOT	11/02/15
NYS DEC	10/27/15, 10/23/15
Westchester County Planning Board	10/13/15

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application at the Town Hall in Yorktown Heights, New York commencing and closing on September 21, 2015; and

WHEREAS a Public Hearing was held in accordance with §195-39(B)(2) of the Yorktown Town Code on said site plan application at the Town Hall in Yorktown Heights, New York commencing and closing on November 20, 2017; and

WHEREAS the Applicant worked with the NYSDEC in order to obtain their approval for a proposed plan however approvals were not granted and after a significant amount of time the Applicant submitted revised plans eliminating intrusion into the wetland and therefore the Planning Board determined to hold a new set of hearings and a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said revised site plan application via Zoom video conferencing commencing and closing on March 22, 2021;

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing on August 9, 2021, and continuing and closing on September 13, 2021 at Town Hall in Yorktown Heights, New York;

BE IT NOW RESOLVED that the application of Richard Cipriani for the approval of a site plan titled "Envirogreen Associates Inc." as prepared by Site Design Consultants, dated and last revised September 13, 2021, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. Add detail to the Lighting Plan (sheet 5) showing the base of the freestanding fixtures.
2. Show location for freestanding sign(s).

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town

Engineer.

2. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

General Development \$2,240.00

3. Submission of inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements:

4. The Applicant must return to the ABACA for review and recommendation to the Planning Board prior to issuance of a Building Permit.
5. Sign permit applications must be submitted to the Building Inspector for all regulated signs to be placed on the site.
6. Proposed plan must comply with all current applicable ADA standards.
7. Applicant must obtain all necessary permits from outside agencies.
8. Upon completion of the project, the Applicant must submit an as-built survey, on paper and in digital AutoCAD DWG readable format, showing all improvements on the site.

BE IT FURTHER RESOLVED, all new lighting installed on the site must comply with the standards as set forth in Chapter 200 Lighting that requires all free-standing and wall-mounted luminaires shall be fully shielded light fixtures; and

BE IT FURTHER RESOLVED, the Applicant shall keep the Planning Department informed of field changes during construction to determine whether amendments to the approved site plan are required; and

RESOLVED, the Applicant must notify the Planning Department if the installation of any exterior utility boxes or structures not shown on the approved site plan are required to be installed to ensure the proper screening of these structures on the site; and

RESOLVED, if a restaurant tenant is proposed on the site, the Applicant must return to the Planning Board to determine whether any portion of the land banked parking area is required

to be constructed; and

BE IT FURTHER RESOLVED, that in accordance with Town Code Chapter 178 and Chapter 248, the application of Richard Cipriani for the approval of a Wetland and Stormwater Pollution Prevention Plan Permit **#WP-FSWPP-000-00** is approved subject to the conditions listed therein; and

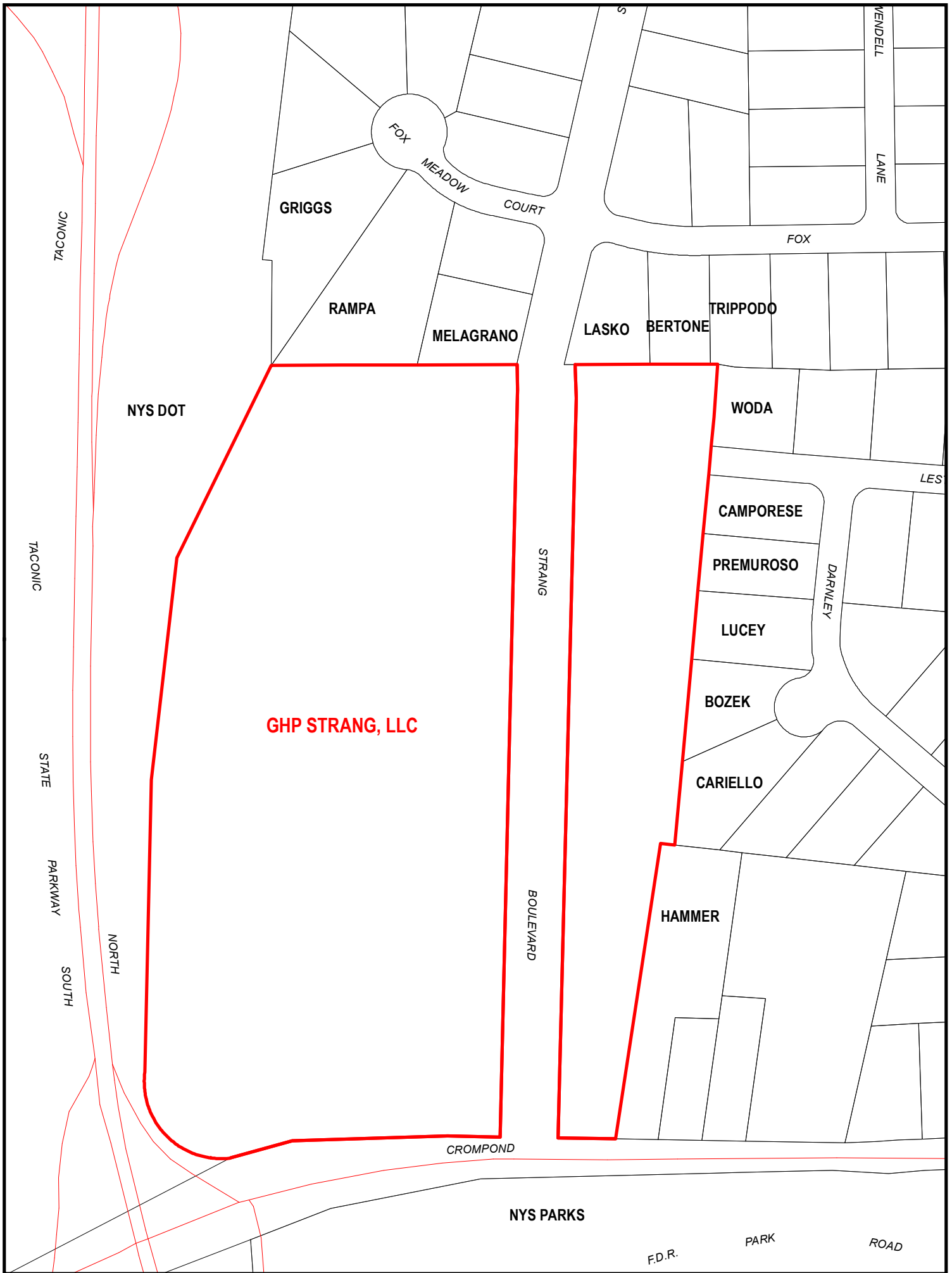
RESOLVED, Permit **#WP-FSWPP-000-00** shall not be valid until it has been signed by the Chairman of this Board;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a “Qualified Inspector” as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by _____, or a time extension has been granted by the Planning Board, this approval will be null and void.

**Northern
Westchester Exec
Park**



TACONIC

TACONIC

STATE

PARKWAY

SOUTH

NORTH

NYS DOT

GHP STRANG, LLC

CROMPOND

NYS PARKS

F.D.R.

PARK

ROAD

FOX

MEADOW

COURT

GRIGGS

RAMPA

MELAGRANO

LASKO

BERTONE

TRIPPODO

WODA

CAMPORESE

PREMUROSO

LUCEY

BOZEK

CARIELLO

HAMMER

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Yorktown Heights,
1059

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To: Keith + Theresa Cas
2692 Strang Blvd
Yorktown Heights
105

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SEP 16 2021

TOWN OF YORKTOWN



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Armonk, New York 10504

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2667 Darnley Pl
Yorktown Heights,

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To: State of New York
Agency Building 1
Empire State Plaza
Albany, NY 12238

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500 Main Street
Armonk, New York 10504

To: Daniel + Helena Lu
2657 Darnley Pl.
Yorktown Heights, N

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500 Main Street
Armonk, New York 10504

To: R. Bozek + K Pries
2651 Darnley Pl.
Yorktown Heights, N
10598

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Armonk, New York 10504

To: Richard + Elaine Cai
2649 Darnley Pl.
Yorktown Heights, NY
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500 Old Country Rd
Garden City, NY 11530

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August 12, 2021

Planning Board
Town of Yorktown
1974 Commerce Street, Room 222
Yorktown Heights, New York 10598

RECEIVED
PLANNING DEPARTMENT

AUG 12 2021

TOWN OF YORKTOWN

Attn: Mr. John A. Tegeder, R.A.
Director Planning

RE: Public Informational Hearing Response
Parking Lot Expansion
GHP Strang, LLC
2649-2651 Strang Blvd

Dear Mr. Tegeder:

On behalf of our client, GHP Strang, LLC, please accept this letter as a follow up to conversations had with the Planning Board during the Public Informational Hearing of August 9, 2021 for the above-referenced project. The purpose of this letter is to provide clarification to the Planning Board related to comments provided by a noticed neighbor expressing concerns and questions related to the project, as it relates to the proposed parking lot, temporary access road, soil stockpiling, and existing or proposed vegetation, as well as to clarify ongoing activities at the site.

Please note that various construction aspects associated with the overall building renovations and existing utilities are underway and are all being performed with current, valid permits as required by the Town. While this office is not directly involved with the current building renovations, at the request of the Planning Board, we have performed a site inspection and prepared the enclosed Construction Inspection Report, dated August 11, 2021, for your information. The report identifies current activities taking place at the site and provides our professional opinion with regard to erosion and sediment controls.

The noticed neighbor questioned the need for the proposed parking lot expansion. As was explained to the Board, the owner has experienced difficulty in recent years in finding tenants to occupy the lower level of the northernmost portion of the building. As expressed by potential tenants, this is largely due to the limited available parking in this area of the site and the lack of ADA accessible access to the lower level. Aside from the approximately 60 parking spaces provided at the north end of the site, tenants utilizing this space would be required to park on the south end of the site and walk approximately 600 feet to gain access to the lower level of the building. The project proposes a lower parking area, including 25 parking spaces and a loading dock. The loading dock has been designed to accommodate vans and typical delivery

Mr. John A. Tegeeder, R.A.

August 12, 2021

Page 2 of 3

trucks (i.e., FEDEX and UPS). In addition, the plan proposes two (2) ADA compliant access ramps; one at the existing upper-level entry and a second at the proposed lower parking lot.

With regard to the "road" referenced by the noticed neighbor, please note that this is a temporary construction access road and is required to provide adequate access for the lower-level building demolition and renovations. A temporary construction access road has been constructed, connecting the existing upper parking lot to the lower level. The temporary access road is stable, and all downgradient areas are protected by temporary silt fence which is in good working order. No erosion was noted at the time of our inspection, nor were any corrective actions required.

With regard to concerns for soil stockpiles, please note that the material in question is directly related to the removal of an existing 20,000 gallon underground fuel-oil storage tank. The tank removal and environmental remediation is being conducted by a Licensed Contractor under current permits from the Town. At the time of our inspection, excavated material was being stockpiled within the existing paved parking lot and is covered daily with plastic tarps to prevent erosion. The parking lot is swept daily at the end of the contractor's workday. Upon removal of the underground storage tank the clean fill is to be used for backfill material in the excavated area and any disturbed areas will be stabilized with topsoil and seed. No erosion was noted at the time of our inspection nor were any corrective actions required.

Finally with regard to existing vegetation, as was noted by the neighboring property owner, the existing wooded area to the north is located within properties owned by the adjacent neighbors and not controlled by my client. No improvements or activities are proposed within these areas. The wooded area, as was noted during our presentation to the Planning Board, consists largely of deciduous trees. The property owner agreed and added that much of the wooded area on his property has been overtaken by vines. In an effort to mitigate any potential visual impact from the project resulting from the proposed short retaining wall and the potential for any off-site light-shed from vehicle headlights, as shown on the current site plan, our client proposes to plant an evergreen screening buffer along the full length of the proposed driveway that shares the common property line between the project site and the adjacent property owners. It is proposed to plant Green Giant Arborvitae with a planting height of six (6) to eight (8) feet. As was discussed at the Public Informational Hearing, the selected species are appropriate for this area due to the limited space on site for the plantings and the rapid growth for nearly immediate screening.

We would like to request that the Planning Board conduct a site visit at their convenience to witness the current activities and get a better understanding of the project, as proposed. We will make ourselves available at a time that is convenient for the Planning Board. We also request that the Planning Board consider scheduling a public hearing for this matter for your September 13 Planning Board Agenda.

Mr. John A. Tegeder, R.A.

August 12, 2021

Page 3 of 3

We trust the above clarification and attached inspection report satisfy any concerns or questions the Planning Board and adjacent property owners may have expressed. We look forward to discussing this matter further with the Board. Should you have any questions or require any additional information please do not hesitate to contact me.

Very truly yours,

A handwritten signature in cursive script that reads "Joseph M. Cermele".

Joseph M. Cermele, P.E., CFM
Kellard Sessions Consulting

JMC/dc

cc: Michael Cinicolo

https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Project Docs P/YRGHP600/KSC Correspondence/2021-08-12_YRGHP600_Tegeder_PB Followup_Ltr.docx

CONSTRUCTION INSPECTION REPORT

Date: 08-11-2021	Permit #: _____
Day: <input type="checkbox"/> S <input type="checkbox"/> M <input type="checkbox"/> T <input checked="" type="checkbox"/> W <input type="checkbox"/> Th <input type="checkbox"/> F <input type="checkbox"/> S	Weather: <input checked="" type="checkbox"/> Clear <input type="checkbox"/> Overcast <input type="checkbox"/> Rain <input type="checkbox"/> Snow <u>70</u> °F
Property Owner: GHP Strang LLC, Mike Cinicolo	Town Contact Person: John Tegeder
Property Address: 2649-2651 Strang Blvd	Phone: _____
Property SBL: _____	Email: _____
Email: mcinicolo@ghpoffice.com	
Contractor: Innovative Environmental Services Inc	KSC Inspector Name: Joseph Cermele, PE
Phone: 914-449-6608	Phone: <u>914-273-2323</u>
Email: _____	Email: jcermele@kelses.com
	Address: <u>500 Main St, Armonk, NY 10504</u>

INSPECTION CONDUCTED FOR:

Erosion and Sediment Control
 Grading/Drainage

Rough Grading
 Final Inspection

Photos/Sketch Attached

Follow-Up
 Other: _____

Inspection Report Distributed To: Owner Contractor Town Other: _____

CONSTRUCTION ACTIVITIES

At the request of the Planning Board, as discussed at the 8/9/21 Public Informational Hearing, this office conducted an inspection of recent site activities related to excavation and soil stockpiling. At the time of the inspection, the contractor was excavating and exposing the existing 20,000 gal underground storage tank (fuel oil) proposed to be removed. It was reported by the owner that the removal is being conducted under a current Building Permit. In addition, demolition activities were taking place within the lower level of the existing building, also in accordance with current Building Permits. A temporary construction access road had been constructed.

COMMENTS / REMARKS

- Excavated material associated with the ongoing tank removal is being separated and temporarily stockpiled in the existing parking lot. The clean soil stockpile is covered with plastic tarps daily to prevent erosion. The contaminated soil stockpile is placed on two layers of poly-liner and then covered with plastic tarps daily to prevent erosion. The contaminated soil will be removed and disposed off site. The clean soil will be used to backfill the excavation once the tank is removed.
- The internal building demolition activities continue at the lower level. The downgrade area of the temporary access road is protected by silt fence.
- No erosion was observed at the time of the inspection and all controls appeared to be installed correctly.
- The contractor is sweeping the parking lot daily to prevent off-site sediment transport.
- No corrective actions were required at the time of the inspection.

Joseph M. Cermele, PE

Inspector (print name)

Inspector (signature)

RECEIVED
PLANNING DEPARTMENT

AUG 12 2021

Page 1 of 1

**KELLARD
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TOWN OF YORKTOWN

#2651
ONE ST
BRICK 1
EXT. 11

N/F TACONIC CORP
SECTION 26.19, BLU
CONTROL # 410400



Project
North

/F JOHN & LORI RAMPA
SECTION 26.15, BLOCK 1, LOT 3
LIBER 48102, PAGE 749
M #10573 LOT 216

WILLIAM & DENISE GRIGGS
SECTION 26.15, BLOCK 1, LOT 4
LIBER 10492, PAGE 1
M #10573 LOT 215

FOUND
IRON ROD PIPE

GHP Strang, LLC
2649-2651 Strang Blvd, Yorktown

Existing Oil Tank Removal and Lower Level Demolition



Photo 1 – Cut Material Stockpiles



Photo 2 – Cut Material Stockpile – Clean Fill

GHP Strang, LLC
2649-2651 Strang Blvd, Yorktown

Existing Oil Tank Removal and Lower Level Demolition



Photo 3 – Contaminated Soil Stockpile



Photo 4 – Oil Tank Removal

GHP Strang, LLC
2649-2651 Strang Blvd, Yorktown

Existing Oil Tank Removal and Lower Level Demolition



Photo 5 – 20,000 gal UST



Photo 6 – Lower Level Demo

GHP Strang, LLC
2649-2651 Strang Blvd, Yorktown

Existing Oil Tank Removal and Lower Level Demolition



Photo 7 – Lower Level Demo and Temporary Construction Access Road



Photo 8 – Temporary Construction Access Road

GHP Strang, LLC
2649-2651 Strang Blvd, Yorktown

Existing Oil Tank Removal and Lower Level Demolition



Photo 9 - Temporary Construction Access Road

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VIEW LOOKING NORTH AT PROPOSED DRIVEWAY CONNECTION TO TOP LOT



VIEW LOOKING NORTH FROM PROPOSED DRIVEWAY



VIEW LOOKING NORTH FROM PROPOSED BOTTOM LOT

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING BUILDING
 - EXISTING SETBACK LINE
 - EXISTING SETBACK LINE
 - PROPOSED DRIVEWAY
 - PROPOSED EVERGREEN
 - PROPOSED RETAINING WALL
 - PROPOSED PARKING COUNT



ADJACENT NEIGHBOR PLAN
2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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PROJECT I.D.: YRHP600
DATE: JUNE 18, 2021

Call 811 before you dig
 THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 2209(2) OF THE NEW YORK STATE EDUCATION LAW

PARKING LOT EXPANSION PLANS

PREPARED FOR 2649 - 2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS, WESTCHESTER COUNTY, NEW YORK

DATE: JUNE 18, 2021

REVISED: AUGUST 27, 2021

SITE DATA:

OWNER: GHP STRANG LLC
4 WEST RED OAK LANE
WHITE PLAINS, NY 10604

PROJECT SITE: 2649-2651 STRANG BOULEVARD
YORKTOWN HEIGHTS

TAX MAP ID NUMBER: SECTION 26.19, BLOCK 1, LOT 2

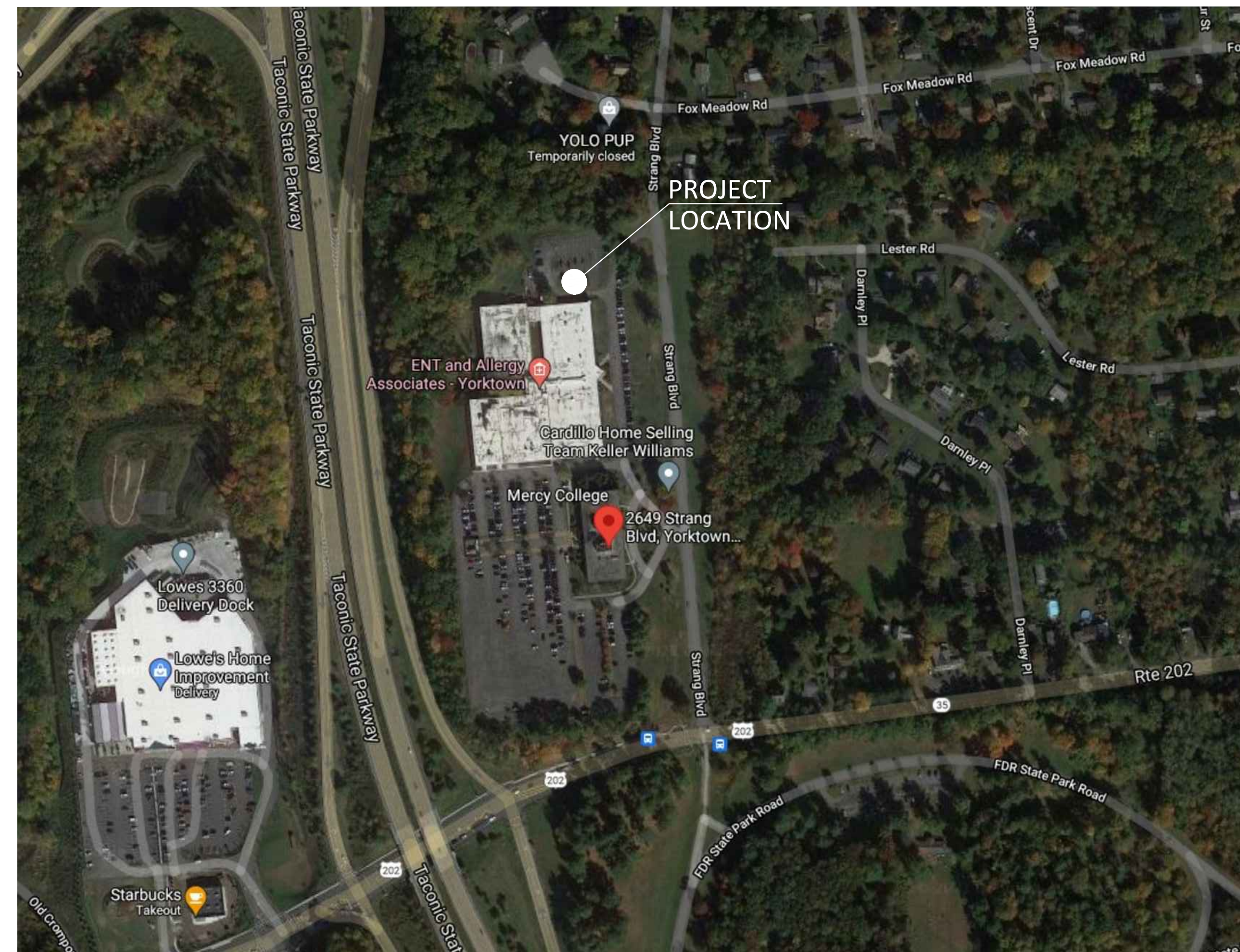
LOT AREA: ± 18.62 AC

ZONING DISTRICT: OB - RESEARCH LABORATORY AND OFFICE

FIRE DISTRICT: YORKTOWN HEIGHTS FIRE DISTRICT

SCHOOL DISTRICT: YORKTOWN SCHOOL DISTRICT

WATER SUPPLY: YORKTOWN CONSOLIDATED WATER DISTRICT

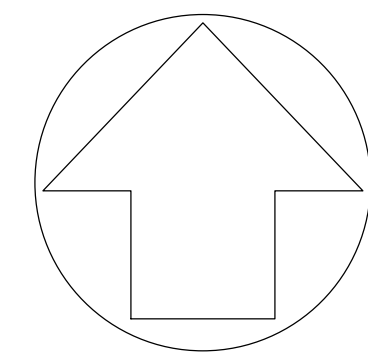


SHEET INDEX

SITE CIVIL DRAWINGS

COVER SHEET	1/8
OVERALL EXISTING CONDITIONS PLAN	2/8
OVERALL SITE PLAN	3/8
ENLARGED SITE PLAN	4/8
ENLARGED GRADING AND UTILITIES PLAN	5/8
ENLARGED EROSION AND SEDIMENT CONTROL PLAN	6/8
DRIVEWAY PROFILES	7/8
DETAILS	8/8

FOR ARCHITECTURAL DRAWINGS REFER TO PLAN SET DEVELOPED BY CARDARELLI DESIGN AND ARCHITECTURE, P.C. DATED AUGUST 26, 2021.



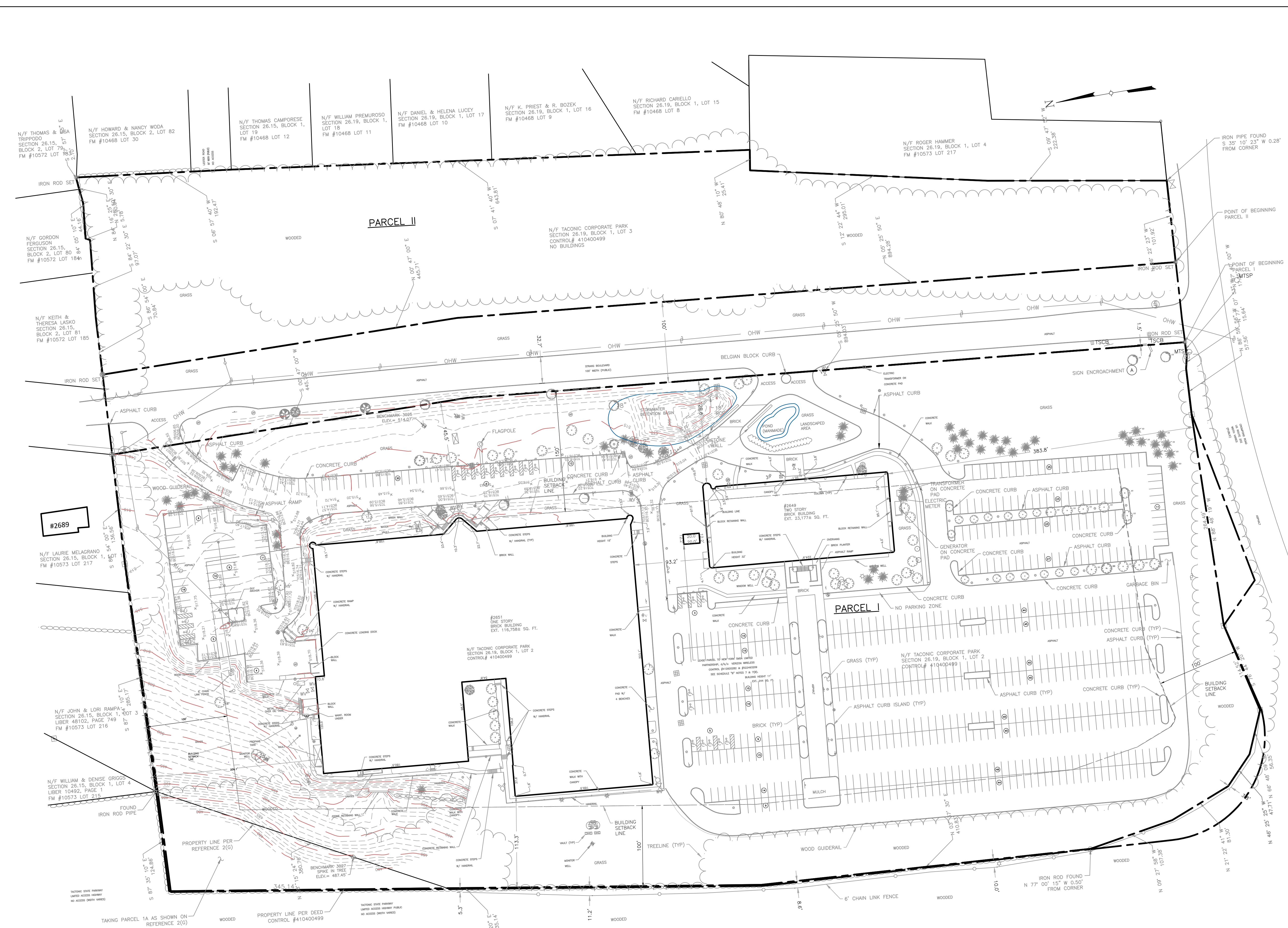
VICINITY MAP
SCALE: N.T.S.



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LEGEND	
	EXISTING PROPERTY LINE
	EXISTING TREE TO REMAIN
	EXISTING BUILDING
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	EXISTING 5 FT CONTOUR
	EXISTING 1 FT CONTOUR

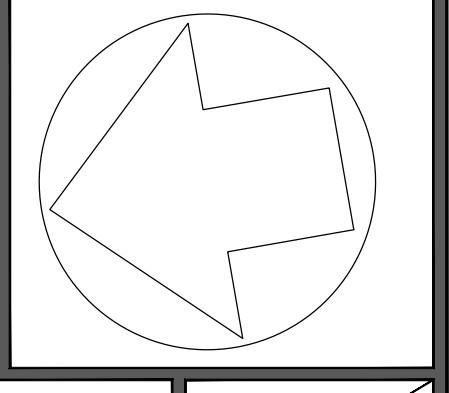
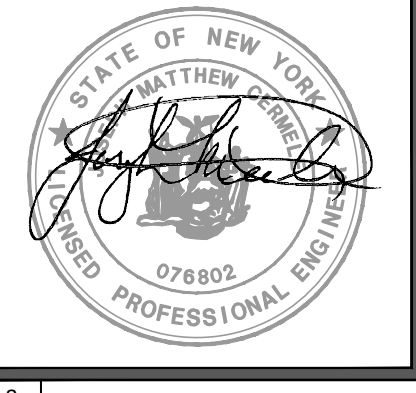


OVERALL EXISTING CONDITIONS PLAN

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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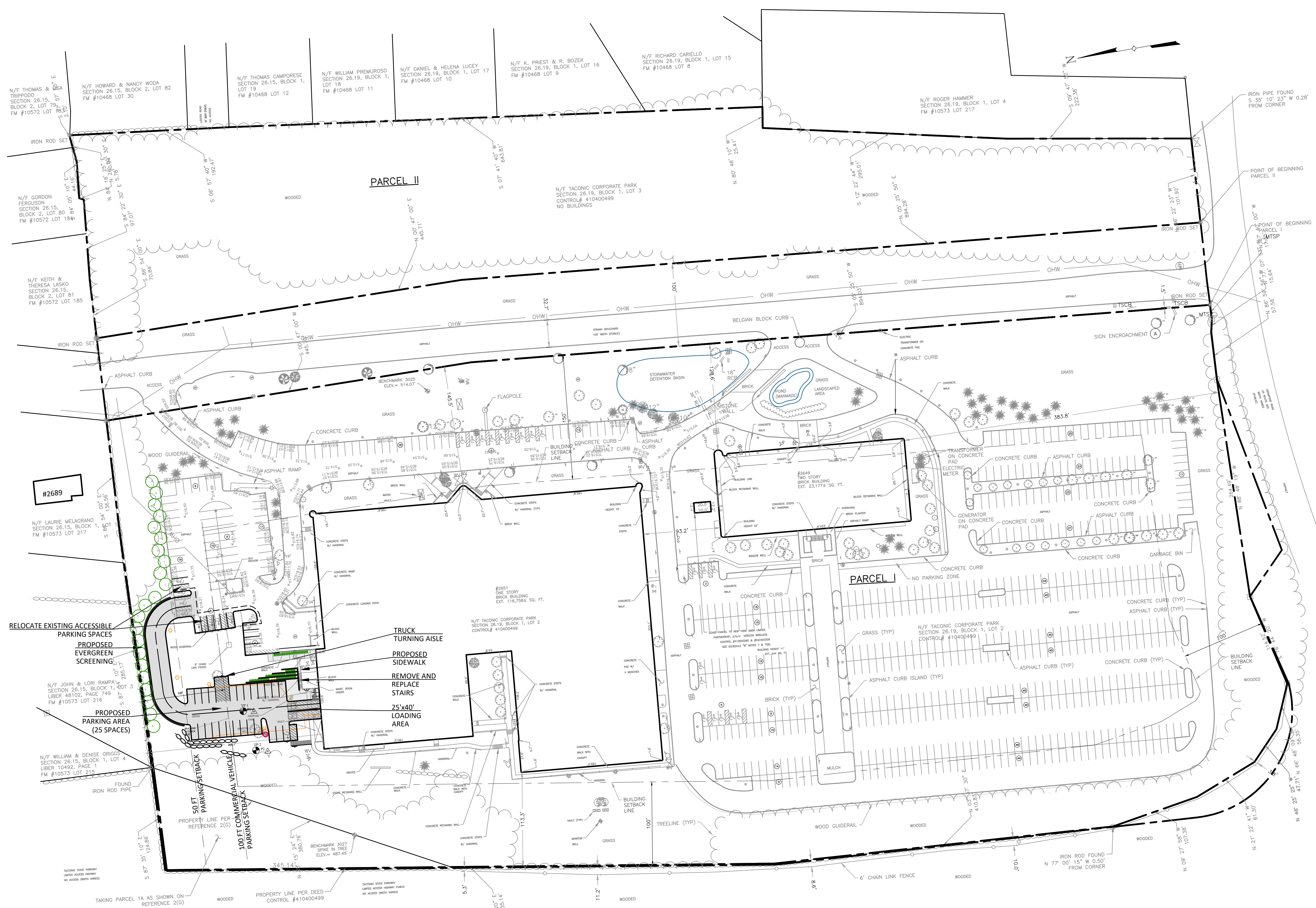
- SURVEY INFORMATION AND TOPOGRAPHY IS BASED UPON THE MAP ENTITLED "TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS, AND LAND SURVEYORS, D.P.C., LAST DATED, APRIL 20, 2021.
- AERIAL IMAGERY OBTAINED FROM AVAILABLE WESTCHESTER COUNTY GIS DATA, 2016 / CONNECTEXPLORER™, PICTOMETRY BY EAGLE VIEW TECHNOLOGIES, INC., DATED 2019.
- THERE ARE NO LOCAL OR STATE REGULATED WETLANDS WITHIN 100 FT OF THE PROJECT SITE.
- THE PROPERTY IS NOT LOCATED WITHIN A FEMA 100-YR FLOODPLAIN.
- THE PROJECT SITE IS LOCATED WITHIN THE CROTON RIVER RESERVOIR BASIN, AND BECAUSE LAND DISTURBANCE IS LESS THAN 2 ACRES, IT IS NOT SUBJECT TO NYCDEP REGULATIONS.

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2.		DATE: JUNE 18, 2021
1.	AUGUST 27, 2021 - PLANNING BOARD SUBMISSION	REVISIONS

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 BEFORE YOU DIG
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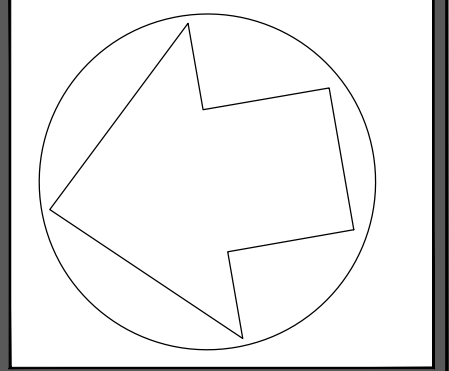
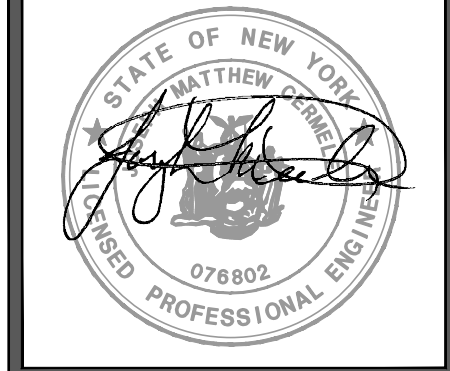
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	EXISTING BUILDING SETBACK LINE
	PROPOSED DRIVEWAY
	PROPOSED EVERGREEN
	PROPOSED BUILDING MODIFICATION
	PROPOSED RETAINING WALL



OVERALL SITE PLAN
2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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1.	AUGUST 27, 2021 - PLANNING BOARD SUBMISSION		
REVISIONS			
			PROJECT I.D.: YRGP600
			DATE: JUNE 18, 2021

BULK ZONING SUMMARY-OB-1, LAB, OFFICE

BULK REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM PARKING SETBACK	50 FT	50 FT	NO CHANGE
MINIMUM COMMERCIAL VEHICLE PARKING SETBACK	100 FT	100 FT	NO CHANGE

- GENERAL NOTES:**
- SURVEY INFORMATION AND TOPOGRAPHY IS BASED UPON THE MAP ENTITLED "TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS, AND LAND SURVEYORS, D.P.C., LAST DATED, APRIL 20, 2021.
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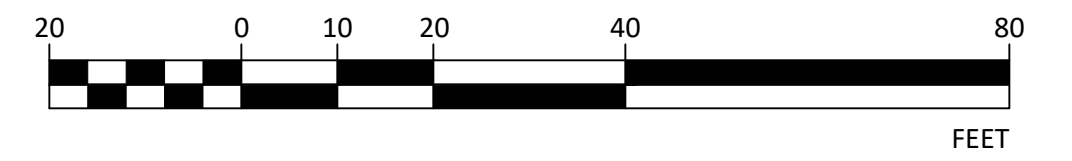


LEGEND

	EXISTING PROPERTY LINE
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	EXISTING TREE TO BE REMOVED
	EXISTING BUILDING
	EXISTING SETBACK LINE
	EXISTING SETBACK LINE
	PROPOSED DRIVEWAY
	PROPOSED EVERGREEN
	PROPOSED RETAINING WALL
	PROPOSED PARKING COUNT

TREE PLANTING SCHEDULE

PLAN SYMBOL	PLANT NAME	HEIGHT	INSTALL
C	CRYPTOMERIA APONIGA (CRYPTOMERIA)	7' - 8'	B & B
B	PIECEA PUNGENS GLAUCA (COLORADO BLUE SPRUCE)	6' - 7'	B & B
G	THUJA PLICATA (GREEN GIANT ARBORVITAE)	6' - 7'	B & B



ENLARGED SITE PLAN

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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<p>PROJECT I.D.: YRHP600</p> <p>DATE: JUNE 18, 2021</p>	<p>REVISIONS</p>										

LAURIE MELAGRANO
SECTION 26.15, BLOCK 1, LOT 1
#10573 LOT 217

N/F JOHN & LORI RAMPA
SECTION 26.15, BLOCK 1, LOT 3
LIBER 48102, PAGE 749
FM #10573 LOT 216

N/F WILLIAM & DENISE GRIGGS
SECTION 26.15, BLOCK 1, LOT 4
LIBER 10492, PAGE 1
FM #10573 LOT 215

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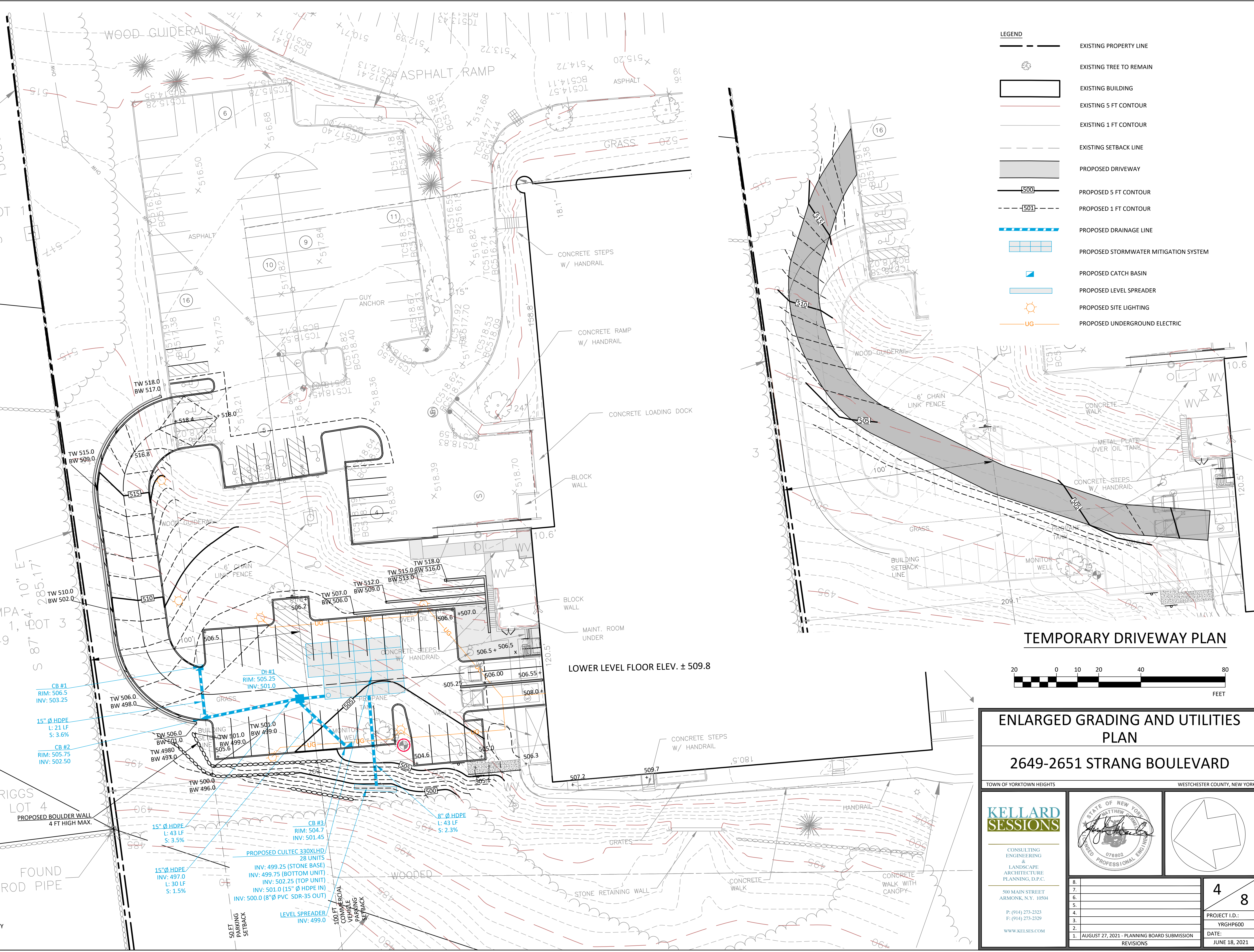
#2689
LAURIE MELAGRANO
SECTION 26.15, BLOCK 1,
#10573 LOT 217

N/F JOHN & LORI RAMPA,
SECTION 26.15, BLOCK 1, LOT 3
LIBER 48102, PAGE 749
FM #10573 LOT 216

N/F WILLIAM & DENISE GRIGGS
SECTION 26.15, BLOCK 1, LOT 4
LIBER 10492, PAGE 1
FM #10573 LOT 215

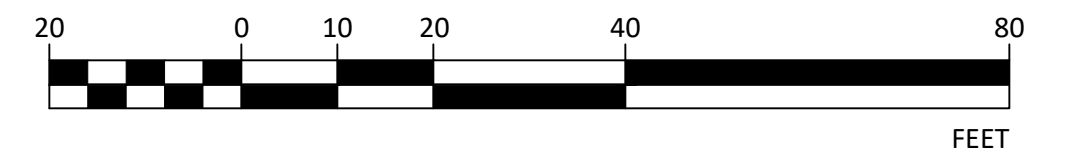
FOUND
IRON ROD PIPE

Call811
THE CONTRACTOR SHALL CALL FOR A UTILITY
MARK-OUT AT LEAST 2 DAYS BUT NO MORE
THAN 10 DAYS PRIOR TO ANY EXCAVATION.



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING TREE TO REMAIN
 - EXISTING BUILDING
 - EXISTING 5 FT CONTOUR
 - EXISTING 1 FT CONTOUR
 - EXISTING SETBACK LINE
 - PROPOSED DRIVEWAY
 - PROPOSED 5 FT CONTOUR
 - PROPOSED 1 FT CONTOUR
 - PROPOSED DRAINAGE LINE
 - PROPOSED STORMWATER MITIGATION SYSTEM
 - PROPOSED CATCH BASIN
 - PROPOSED LEVEL SPREADER
 - PROPOSED SITE LIGHTING
 - PROPOSED UNDERGROUND ELECTRIC

TEMPORARY DRIVEWAY PLAN

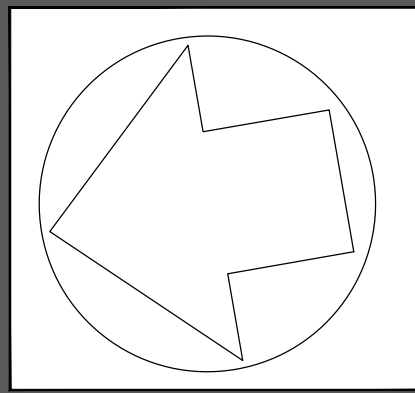


ENLARGED GRADING AND UTILITIES PLAN

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

KELLARD SESSIONS
CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C.
500 MAIN STREET ARMONK, N.Y. 10504
P: (914) 273-2323 F: (914) 273-2329
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1.	AUGUST 27, 2021 - PLANNING BOARD SUBMISSION
REVISIONS	

4	8
PROJECT I.D.: YRHP600	
DATE: JUNE 18, 2021	

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW

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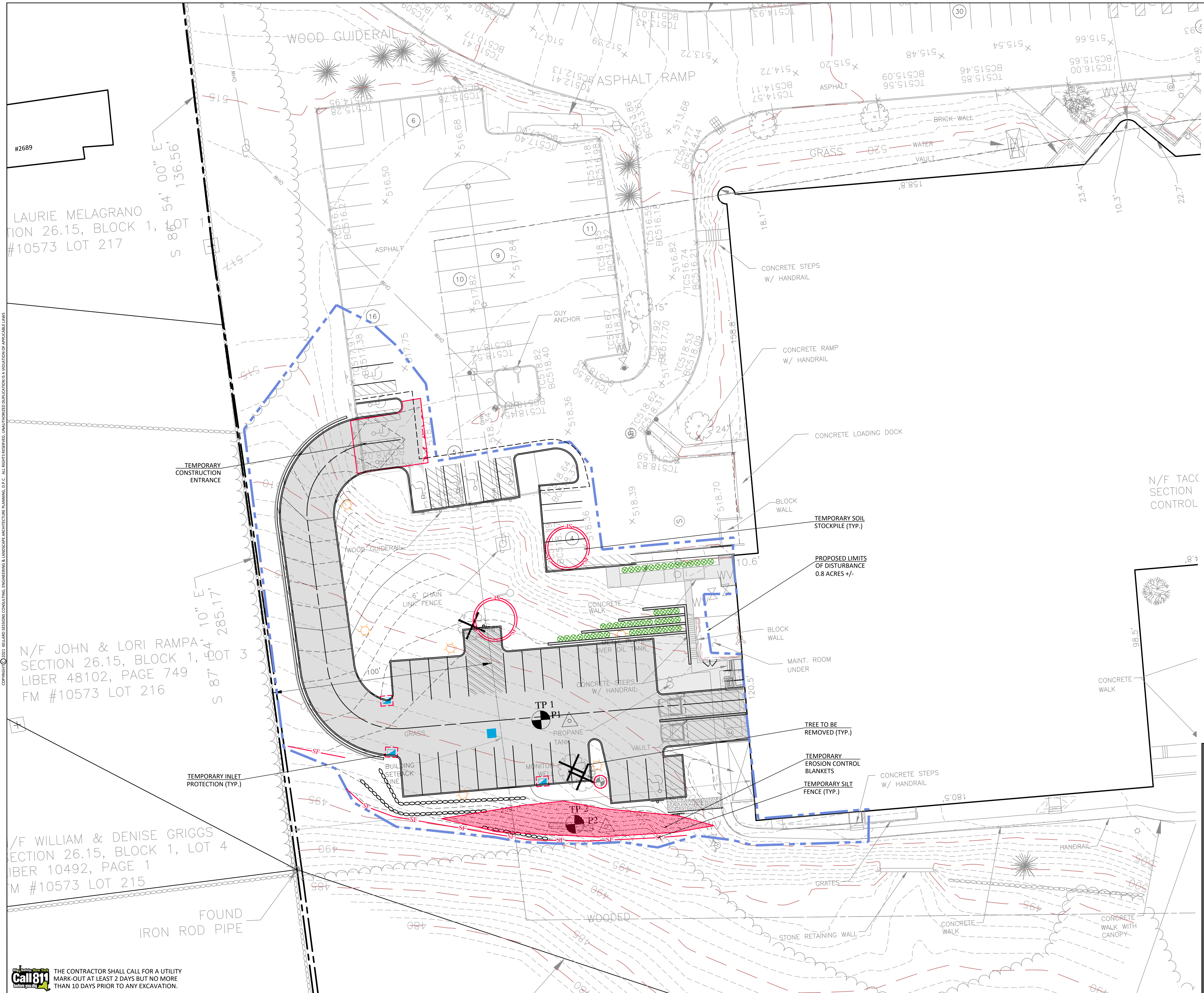
#2689
LAURIE MELAGRANO
SECTION 26.15, BLOCK 1,
#10573 LOT 217

N/F JOHN & LORI RAMPA,
SECTION 26.15, BLOCK 1, LOT 3
LIBER 48102, PAGE 749
FM #10573 LOT 216

N/F WILLIAM & DENISE GRIGGS
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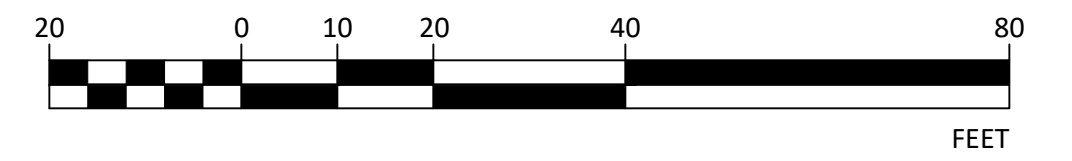
FOUND
IRON ROD PIPE

Call811
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LEGEND

- EXISTING PROPERTY LINE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING BUILDING
- EXISTING 5 FT CONTOUR
- EXISTING 1 FT CONTOUR
- EXISTING SETBACK LINE
- PROPOSED DRIVEWAY
- PROPOSED 10 FT CONTOUR
- PROPOSED 1 FT CONTOUR
- PROPOSED EVERGREEN
- LIMIT OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- PROPOSED SOIL STOCKPILE

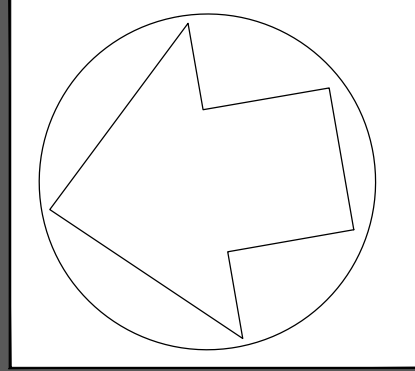
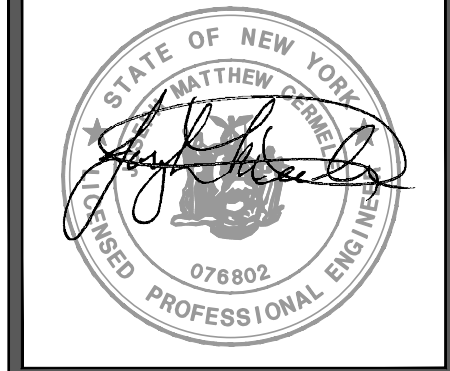


ENLARGED EROSION AND SEDIMENT CONTROL PLAN

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

KELLARD SESSIONS
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5.		YRHP600	
4.		DATE:	
3.		JUNE 18, 2021	
2.		REVISIONS	
1.	AUGUST 27, 2021 - PLANNING BOARD SUBMISSION		

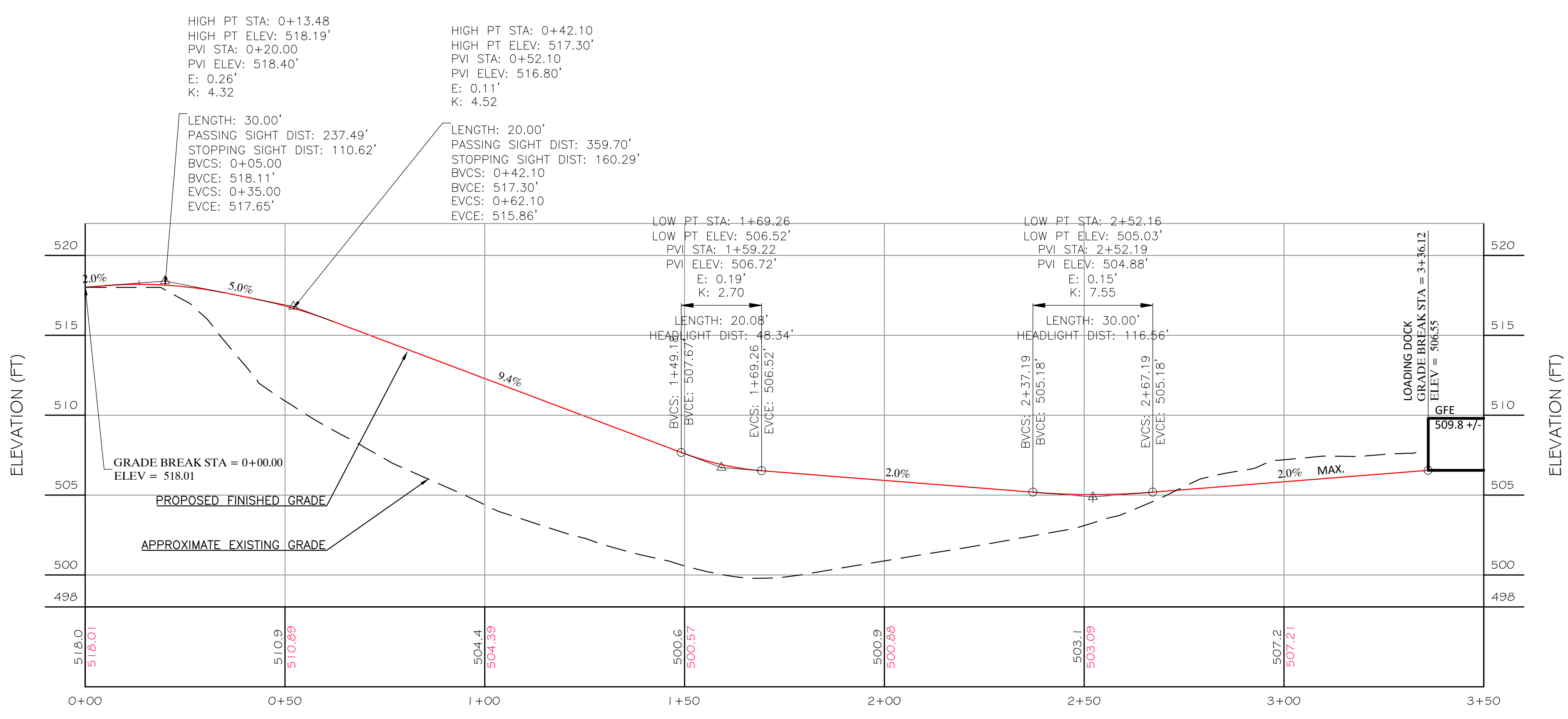
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TRUCK TURNING ANALYSIS

NOTE: TRUCK MANEUVER SHOWN FOR TYPICAL DELIVERY TRUCK (30 FT.)



PROPOSED DRIVEWAY

PROFILE SCALE:
HORIZ: 1"=20'
VERT: 1"=5'



DRIVEWAY PROFILES

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

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<p>8</p> <p>7</p> <p>6</p> <p>5</p> <p>4</p> <p>3</p> <p>2</p> <p>1</p>	<p style="font-size: 2em; font-weight: bold;">6</p> <p style="font-size: 2em; font-weight: bold;">8</p> <p>PROJECT I.D.: YRHP600</p> <p>DATE: JUNE 18, 2021</p>
<p>REVISIONS</p>	

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THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

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EROSION AND SEDIMENT CONTROL PLAN

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- New York Standards and Specifications for Erosion and Sediment Control, latest edition
- New York State SPDES General Permit for Stormwater Runoff from Construction Activity (GP-0-20-001)
- Town Code of Yorktown Chapter 248 "Stormwater Management"

The primary aim of the soil erosion and sediment control plan is to reduce soil erosion from areas stripped of vegetation during and after construction and to prevent silt from reaching the drainage structures, culvert infiltration systems, wetland systems, watercourses, waterbodies and downstream properties. The culvert infiltration systems will not be put into service until the contributing drainage areas to the system have been stabilized. As outlined in the construction sequencing notes below and on the Sediment & Erosion Control Plans, the Sediment & Erosion Control Plan is an integral component of the construction phasing and sequencing and will be implemented to control sediment and re-establish vegetation as soon as practicable. The plan will be implemented prior to the commencement of any earthmoving activities and will be maintained through the duration of the project.

A copy of the contractor certification form is provided in Stormwater Pollution Prevention Plan Report. This form will be signed by the contractor prior to the commencement of construction activity. Each contractor and subcontractor shall identify at least one (1) person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the *trained contractor*. The *trained contractor* shall be on site on a daily basis when soil disturbance activities are being performed. The *trained contractor* must receive four (4) hours of NYSDEC endorsed training in proper erosion and sediment control principles from a Soil and Water Conservation District, or other NYSDEC endorsed entity. The *trained contractor* must receive four (4) hours of training every three (3) years.

The owner/operator shall maintain at the construction site a copy of the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activities, GP-0-20-001, the Notice of Intent (NOI), the NOI acknowledgment letter, the Stormwater Pollution Prevention Plan Report for American Capital Energy Corporation, the MS4 SWPPP Acceptance Form and inspection reports from the qualified inspector until all disturbed areas have achieved final stabilization and the Notice of Termination (NOT) has been filed with the NYSDEC.

The applicant or developer or their representative shall be on site at all times when construction or grading activity takes place. A *qualified inspector* shall conduct site inspections a minimum of once every seven (7) calendar days. The *qualified inspector* shall inspect and document the effectiveness of all erosion and sediment control practices. The *qualified inspector* shall prepare an inspection report subsequent to each and every inspection. The reports shall be forwarded to the Town's Stormwater Management Officer and also copied to the site logbook. The *qualified inspector* must be a licensed Professional Engineer, a Certified Professional in Erosion and Sediment Control (CPESC), a Registered Landscape Architect or someone working under the direct supervision of, and at the same company as, the Licensed Professional Engineer or Registered Landscape Architect, provided they have received four (4) hours of NYSDEC endorsed training in proper erosion and sediment control principles from a soil and water conservation district.

The proposed soil erosion and sediment control devices include the planned erosion control practices outlined below. Maintenance procedures for each erosion control practice are also provided herein. The owner or operator must ensure that all erosion and sediment control practices identified herein are maintained in effective operating condition at all times.

STABILIZED CONSTRUCTION ENTRANCE

A stabilized construction entrance shall be installed at the project entrance as indicated on the plans. The purpose of the stabilized construction entrance is to prevent vehicles leaving the site from tracking sediment, mud or any other construction-related materials from the site onto Strang Boulevard.

Maintenance/Inspection
Stabilized construction entrance shall be inspected a minimum of twice every seven (7) calendar days. The Contractor shall maintain the construction entrance in a manner which prevents or significantly reduces the tracking of sediment/soil onto Strang Boulevard. The Contractor shall inspect the construction entrance daily and after each rain event for displacement or loss of aggregate. The Contractor shall top-dress the construction entrance when displacement/loss of aggregate occurs, or if the aggregate becomes clogged or silted to the extent that the entrance can no longer perform its intended function. The Contractor shall inspect the vicinity of the construction entrance several times a day and immediately remove any sediment dropped or washed onto Strang Boulevard.

SILT FENCE
Silt fence (geotextile filter cloth) shall be placed in locations depicted on the approved plans. The purpose of the silt fence is to reduce the velocity of sediment-laden stormwater from small drainage areas and to intercept the transported sediment load. In general, silt fence shall be used at the down-drainage end of disturbed areas, toe of slopes or intermediately within slopes where obvious channel concentration of stormwater is not present. Silt fence shall always be installed parallel to the contours in order to prevent concentrated flows from developing along the silt fence.

Maintenance/Inspection
Silt fencing shall be inspected a minimum of twice every seven (7) calendar days. Inspections shall include ensuring that the fence material is tightly secured to the wood posts. In addition, overlapping filter fabric shall be secure and the fabric shall be maintained a minimum of six (6) inches below grade. In the event that any "bulges" develop in the fence, that section of fence shall be replaced immediately with a new fence section. Any visible sediment build-up against the fence shall be removed immediately and deposited on-site a minimum of 100 feet outside of any wetland area.

INLET PROTECTION
After the drain inlets have been installed and the site is completely stabilized, these drain inlets will receive stormwater from the driveways and overland watersheds. During construction, a filter fabric drop inlet barrier shall be placed around the drain inlets to allow stormwater to be filtered prior to the stormwater being discharged to the drainage system.

Maintenance/Inspection
Inlet protection devices shall be inspected a minimum of twice every seven (7) calendar days. Care shall be taken to ensure that all inlet protection devices are properly located and secure and do not become displaced. Upon stabilization of the drainage areas, remove all materials and sediment and dispose of properly. Any accumulated sediments shall be removed from the device and deposited not less than 100 feet from a wetland area.

TREE PROTECTION
All significant trees to be preserved located within the limits of disturbance and on the perimeter of the disturbance limits shall be protected from harm by erecting a three (3) feet high (minimum) snow fence completely surrounding the tree. Snow fence should extend to the drip-line of the tree to be preserved. Trees designated to be protected/saved are illustrated on the construction drawings and will be identified in the field prior to construction.

Maintenance/Inspection
The snow fence shall remain at the drip-line of the tree to be preserved. The snow fence shall be inspected a minimum of twice every seven (7) calendar days. Any damaged portions of the fence shall be repaired or replaced. Care shall also be taken to ensure that no construction equipment is driven or parked within the drip-line of the tree to be preserved.

RIP-RAP OUTLET PROTECTION
The outlets of all stormwater discharge areas will be protected from erosion by the placement of stone rip-rap at the culvert outlet. The purpose of the stone outlet protection is to reduce the velocities of the discharged water such that flows will not erode the receiving area.

Maintenance/Inspection
Maintenance of the outlet protection devices shall be inspected twice every seven (7) calendar days to determine if any scouring beneath the rip-rap has occurred and/or if any rip-rap has been displaced. All displaced rip-rap shall be re-positioned or replaced with new rip-rap. In addition, all leaves, twigs and brush shall be removed in the vicinity of the culvert/swale outlet to ensure that stormwater is flowing unobstructed.

SOIL/MATERIAL STOCKPILING
All soil/material stripped from the construction area during grubbing and grading shall be stockpiled in locations illustrated on the approved plans, or in practical locations on-site.

Maintenance/Inspection
All stockpiles shall be inspected a minimum of twice every seven (7) calendar days for signs of erosion or problems with seed establishment. Soil stockpiles shall be protected from erosion by vegetating the stockpile with a rapidly-germinating grass seed and surrounded with either silt fence or staked haybales. If the project is ongoing during the non-growing season, the stockpiles shall be protected by a tarpaulin covering the entire stockpile.

SURFACE STABILIZATION
All disturbed areas will be protected from erosion with the use of vegetative measures (e.g., grass seed mix, sod), hydromulch, hay or erosion control blankets.

Erosion control barriers consisting of silt fencing shall be placed around exposed areas during construction. Any areas stripped of vegetation during construction will be vegetated and/or mulched immediately to prevent erosion of the exposed soils. In areas where significant erosion potential exists (steep slopes) and/or where specifically directed, Curlex Excelsior erosion control blankets (manufactured by American Excelsior or approved equal) shall be installed. Materials that may be used for mulching include straw, hay, salt hay, wood fiber, synthetic soil stabilizers, mulch netting, erosion control blankets or sod. A permanent vegetative cover will be established upon completion of construction of those areas which have been brought to finish grade and to remain undisturbed.

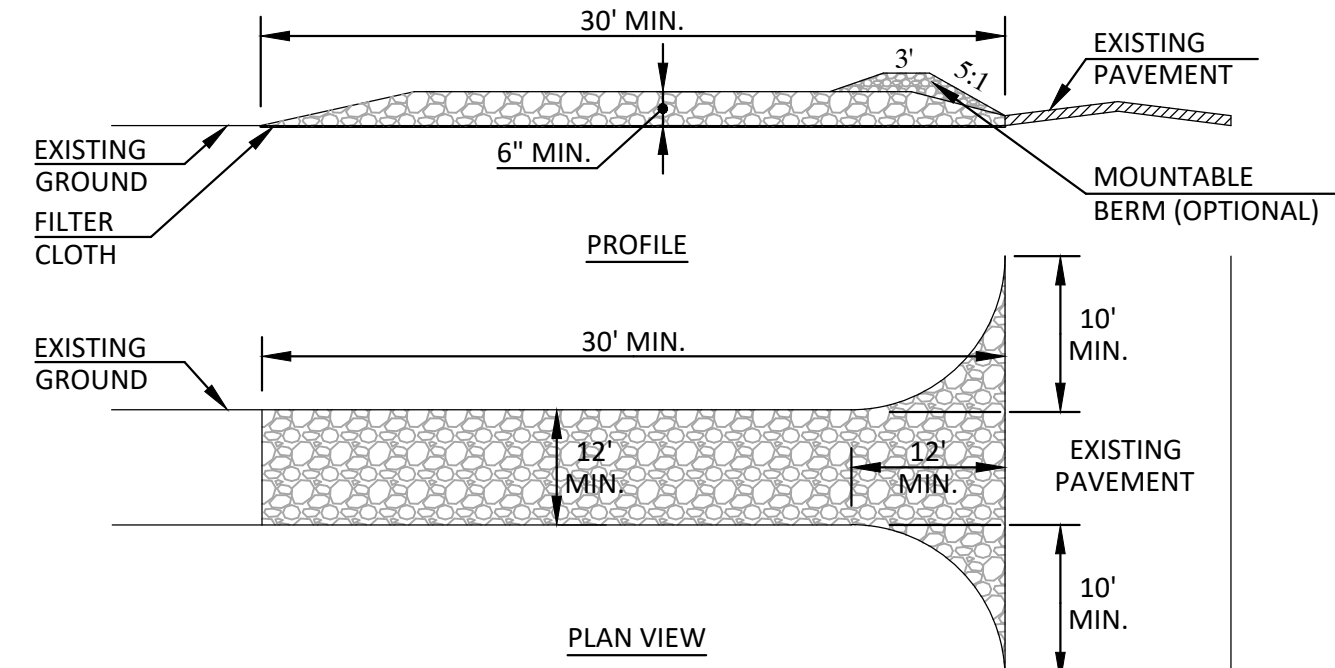
GENERAL LAND GRADING
The applicant/developer or their representatives shall be on-site at all times when construction or grading activity takes place and shall inspect and document the effectiveness of all sediment and erosion control practices. No more than five (5) acres of disturbed land will be exposed without stabilization at any one time.

The intent of the erosion controls is to control all disturbed areas, such that soils are protected from erosion by temporary methods and, ultimately by permanent vegetation.

DUST CONTROL
Where vegetative or mulch cover is not practicable in disturbed areas of the site, dust shall be controlled by the use of water sprinkling. The surface shall be sprayed until wet. Dust control shall continue until such time as the entire site is adequately stabilized with permanent vegetative cover.

POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES
Pollution prevention practices for preventing litter, construction chemicals (if applicable) and construction debris from becoming a pollutant source in stormwater discharge include daily pickup of construction debris, inspection, and physical controls such as silt fencing. Inspections will also be conducted to ensure that all control measures are utilized as necessary. During construction, maintenance, construction and waste materials will be stored within suitable areas/dumpsters, as appropriate, to minimize the exposure of the materials to stormwater and spill prevention. All maintenance and construction waste will be disposed of in a safe manner in accordance with all applicable regulations.

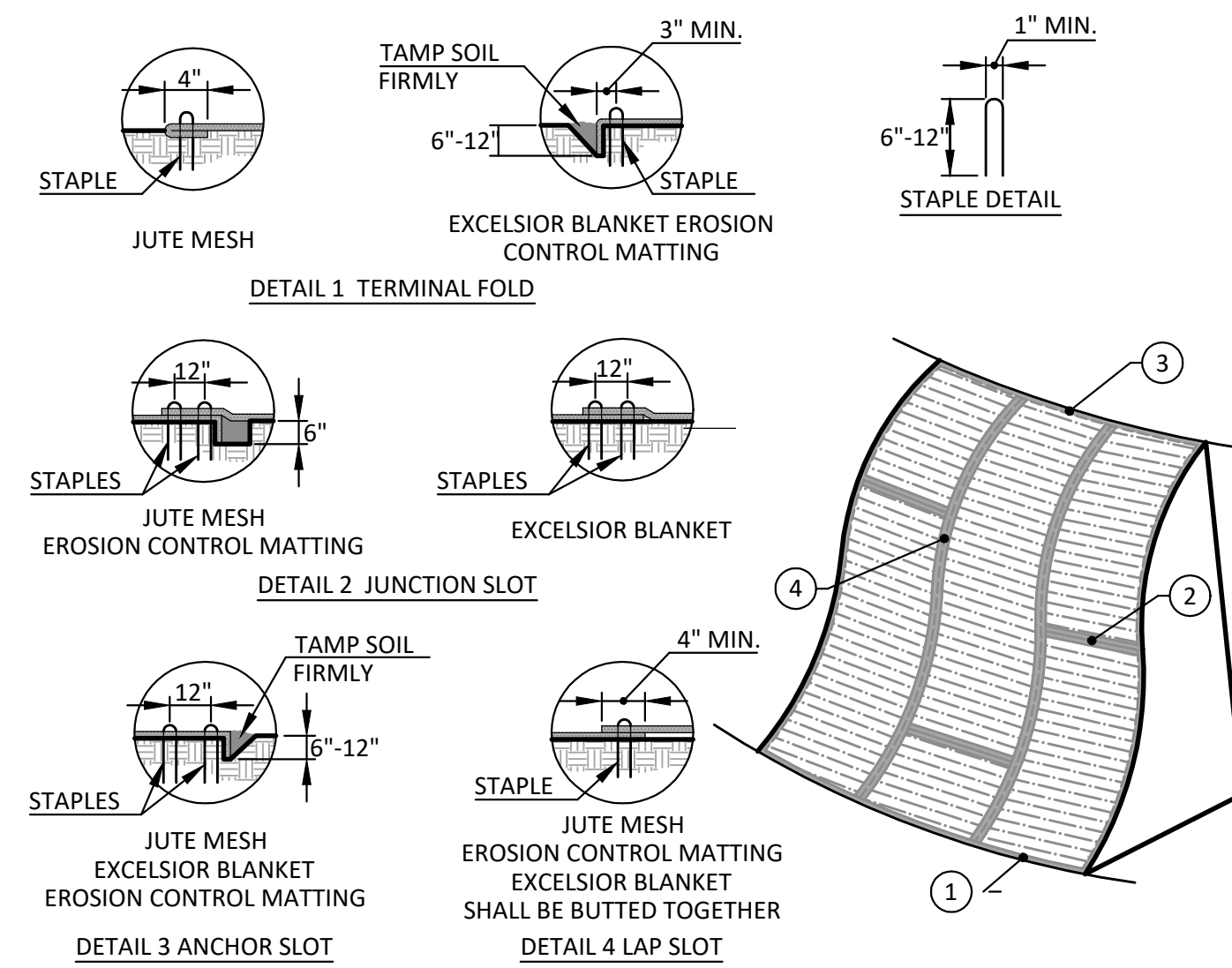
**STABILIZED CONSTRUCTION ENTRANCE
DETAIL (N.T.S.)**



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 30 FEET
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

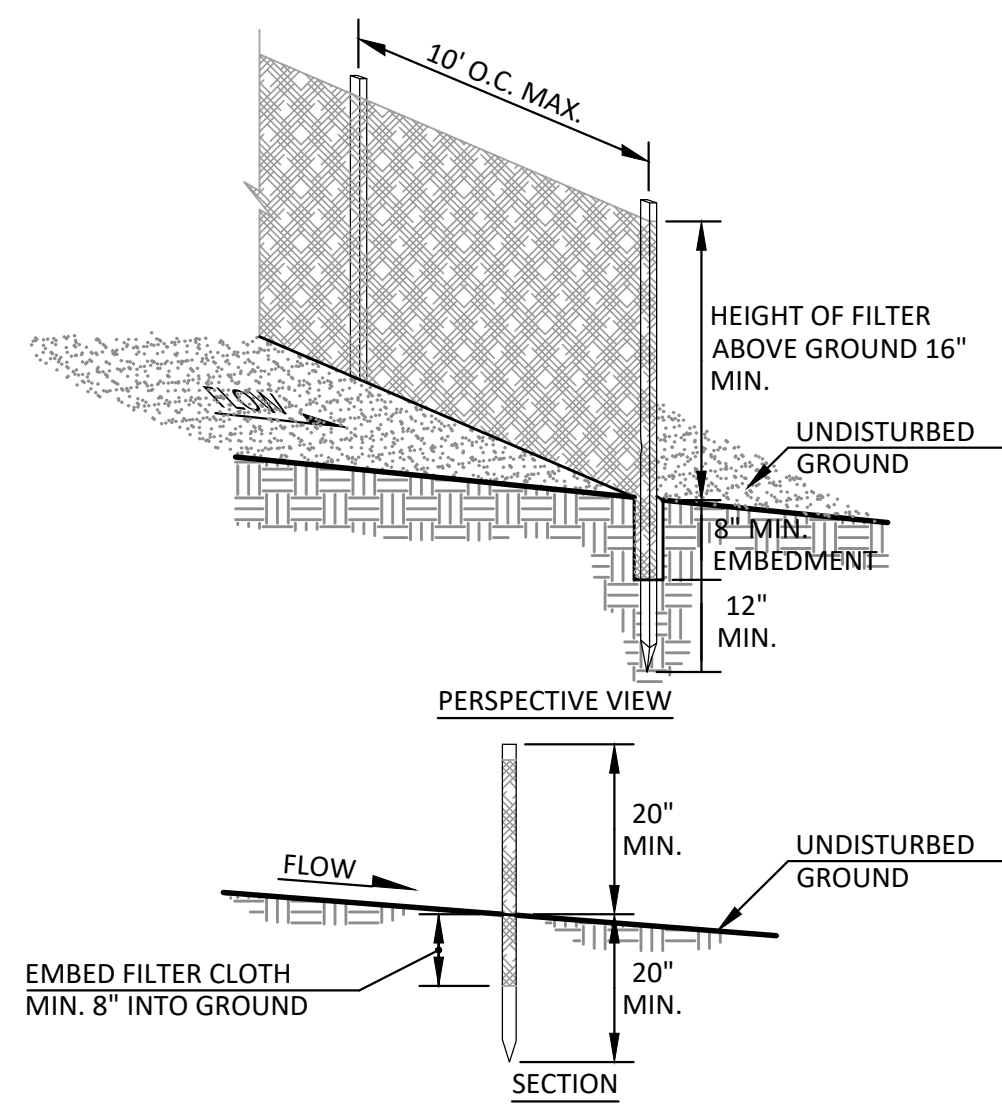
EROSION CONTROL BLANKET DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

1. APPLY TO SLOPES GREATER THAN 3H:1V OR WHERE NECESSARY TO AID IN ESTABLISHING VEGETATION.
2. APPLY FERTILIZER, LIME AND SEED PRIOR TO PLACING MATTING.
3. STAPLES ARE TO BE PLACED ALTERNATELY, IN COLUMNS APPROXIMATELY 2' APART AND IN ROWS APPROXIMATELY 3' APART. APPROXIMATELY 175 STAPLES ARE REQUIRED PER 4' X 225' ROLL OF MATERIAL AND 125 STAPLES ARE REQUIRED PER 4' X 150' ROLL OF MATERIAL.
4. DISTURBED AREAS SHALL BE SMOOTHLY GRADED. EROSION CONTROL MATERIAL SHALL BE PLACED LOOSELY OVER GROUND SURFACE. DO NOT STRETCH.
5. ALL TERMINAL ENDS AND TRANSVERSE LAPS SHALL BE STAPLED AT APPROXIMATELY 12" INTERVALS.

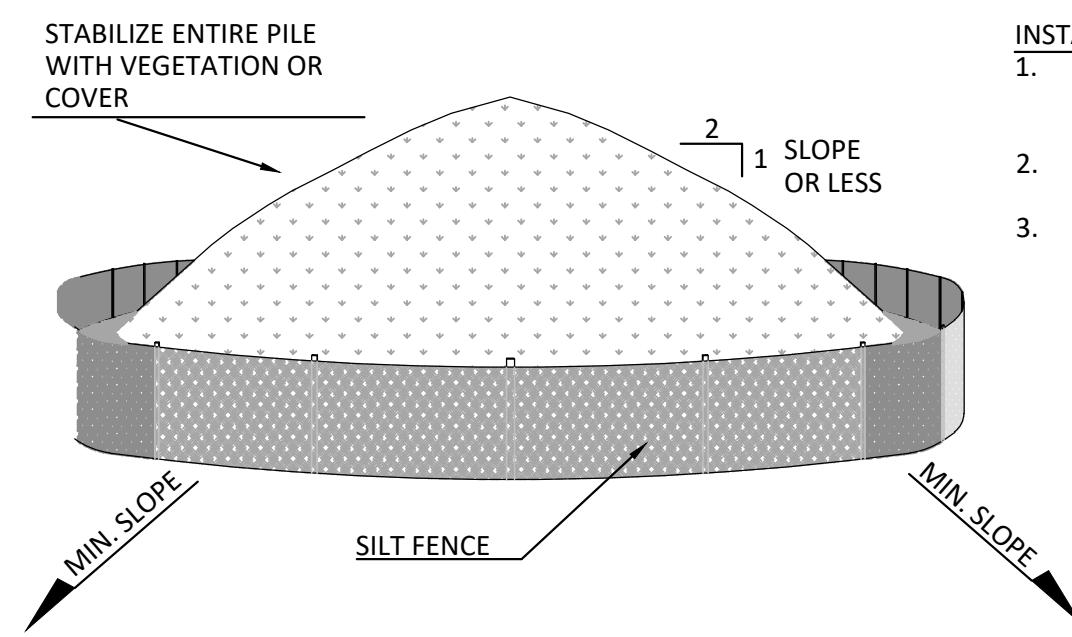
SILT FENCE DETAIL (N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION. POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES. FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

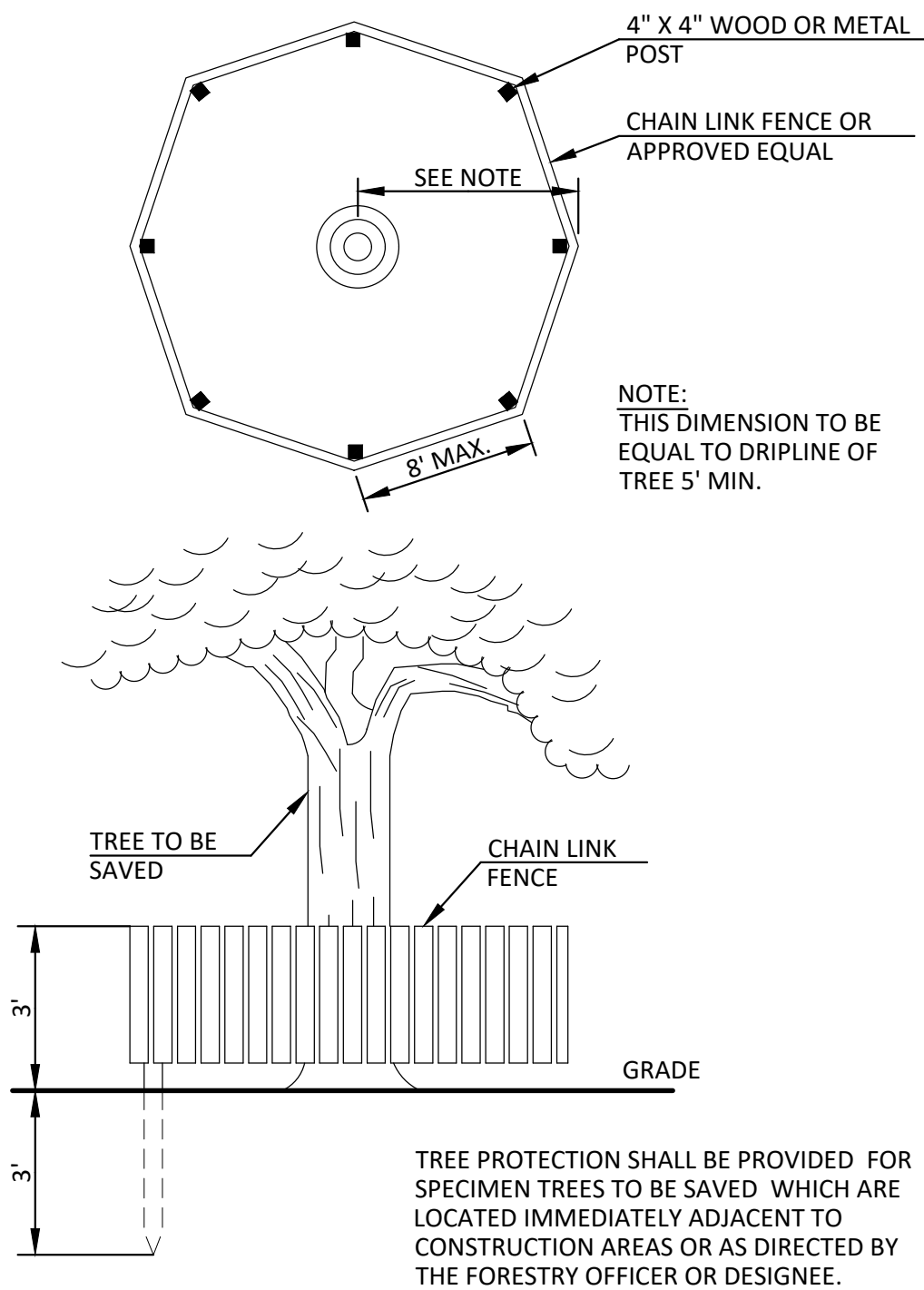
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



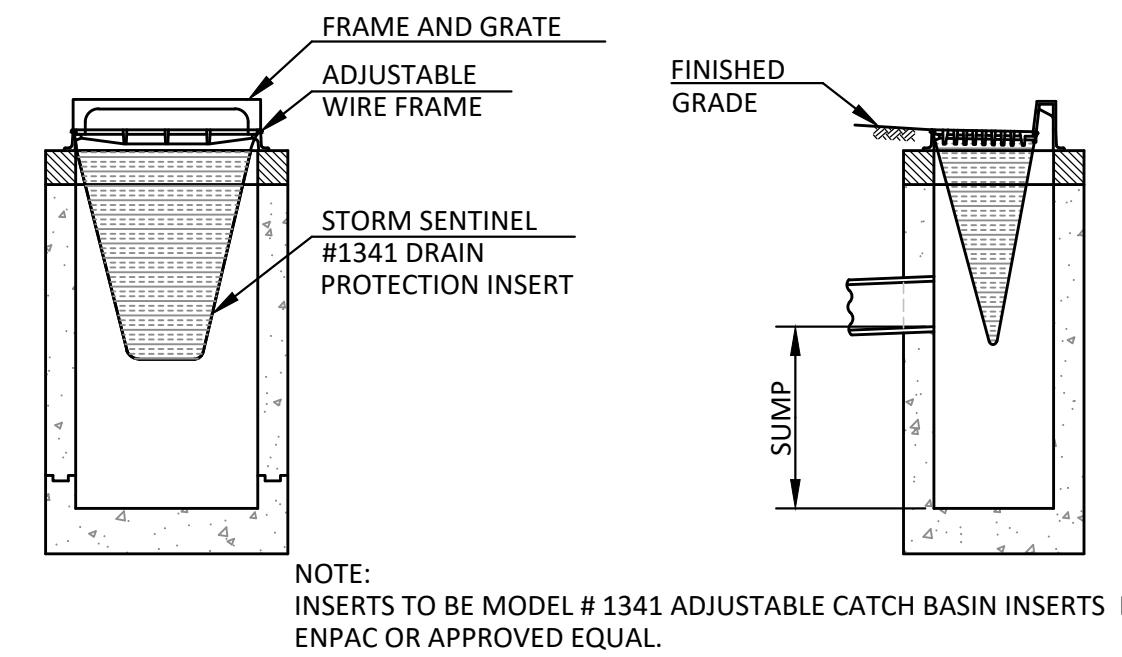
INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

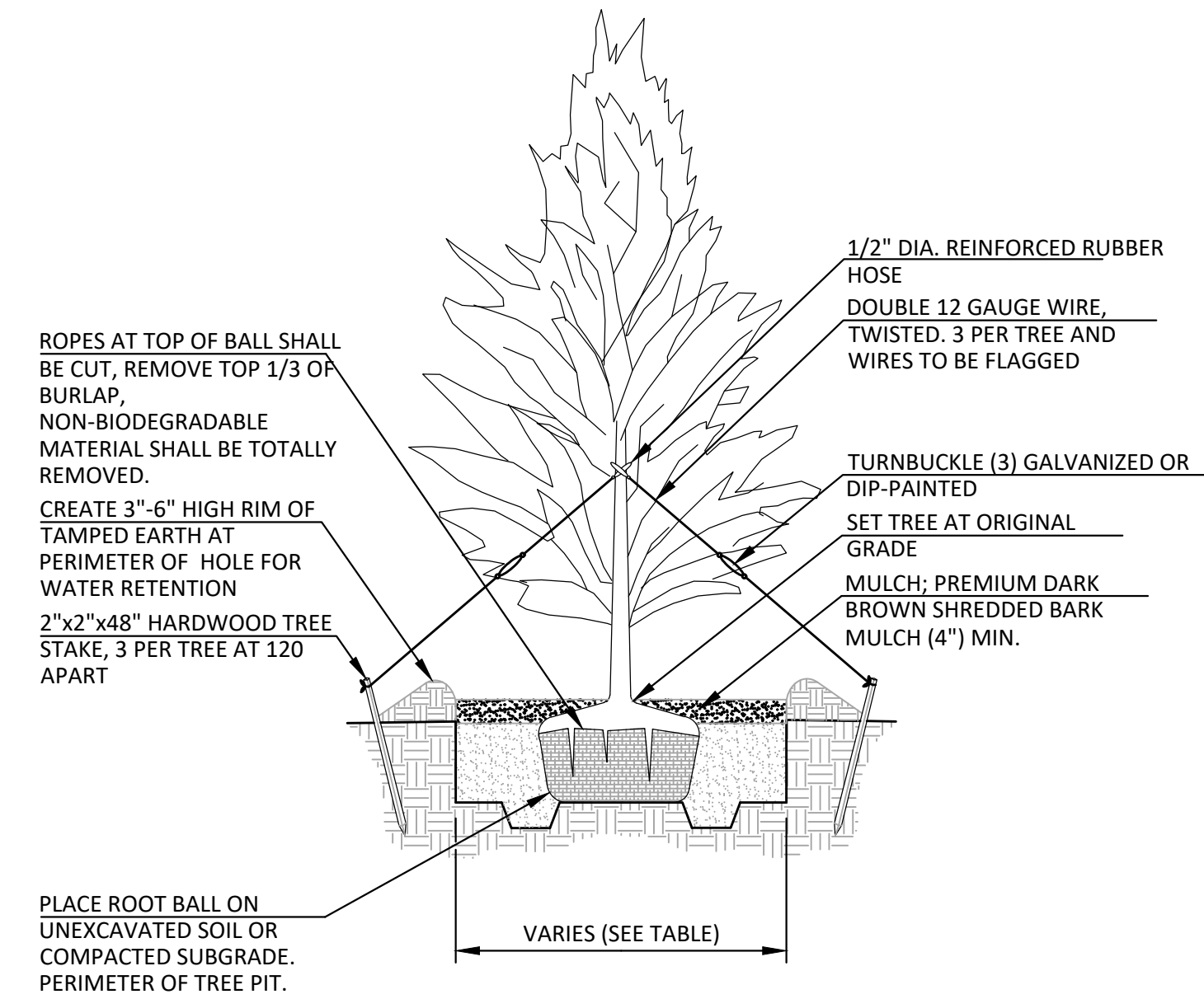
TREE PROTECTION DETAIL (N.T.S.)



CATCH BASIN FILTERS - INLET PROTECTION DETAIL (N.T.S.)



EVERGREEN TREE PLANTING DETAIL (N.T.S.)



HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4' Ø	2X BALL Ø
4'-5' Ø	1 3/4X BALL Ø
GREATER THAN 5' Ø	1 1/2X BALL Ø

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DETAILS

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS WESTCHESTER COUNTY, NEW YORK

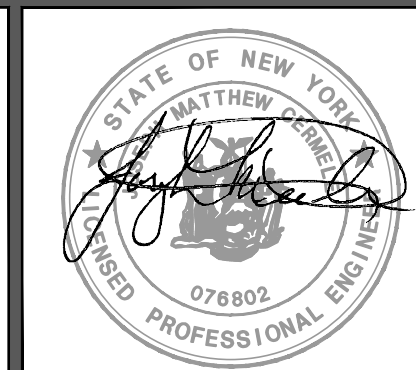
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1. AUGUST 27, 2021 - PLANNING BOARD SUBMISSION

REVIEWS

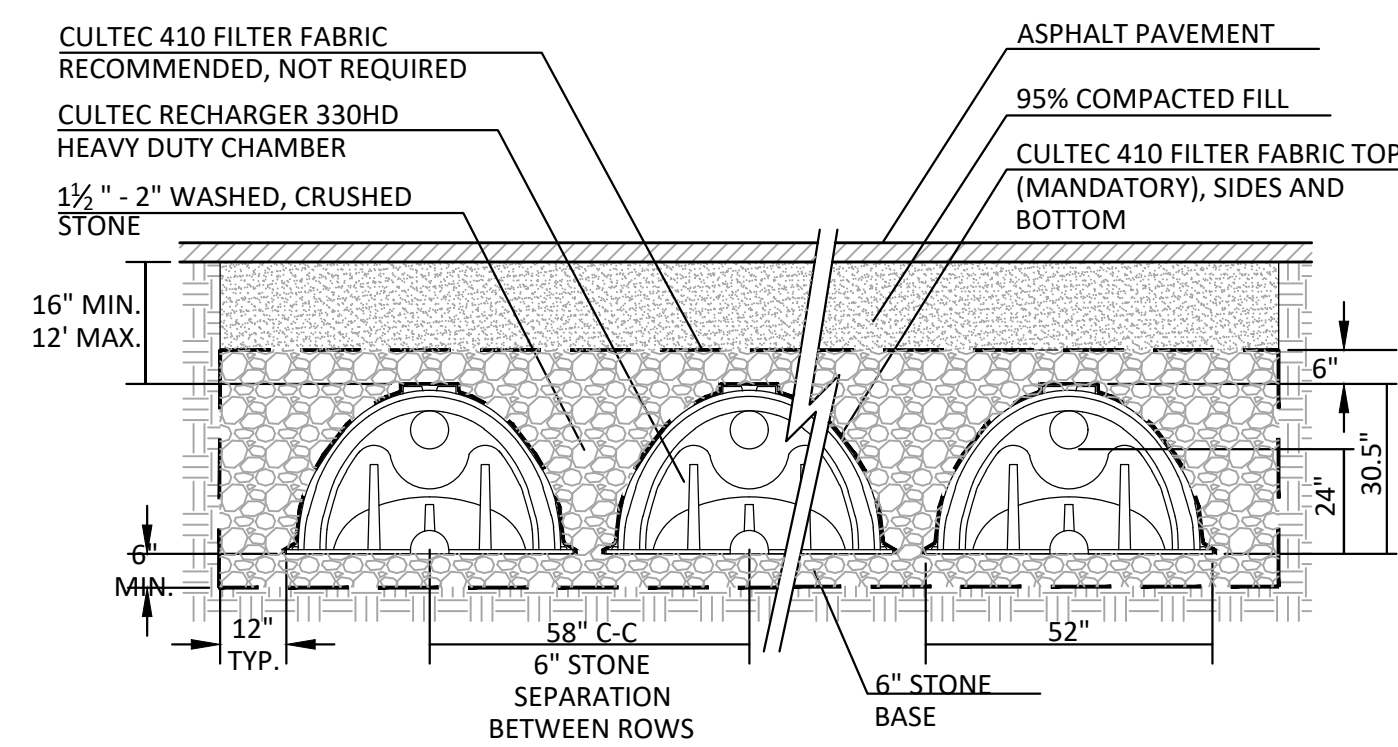
PROJECT I.D.: YRHP600

DATE: JUNE 18, 2021

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330 HD CULTEC RECHARGER CHAMBER SYSTEM DETAIL (N.T.S.)

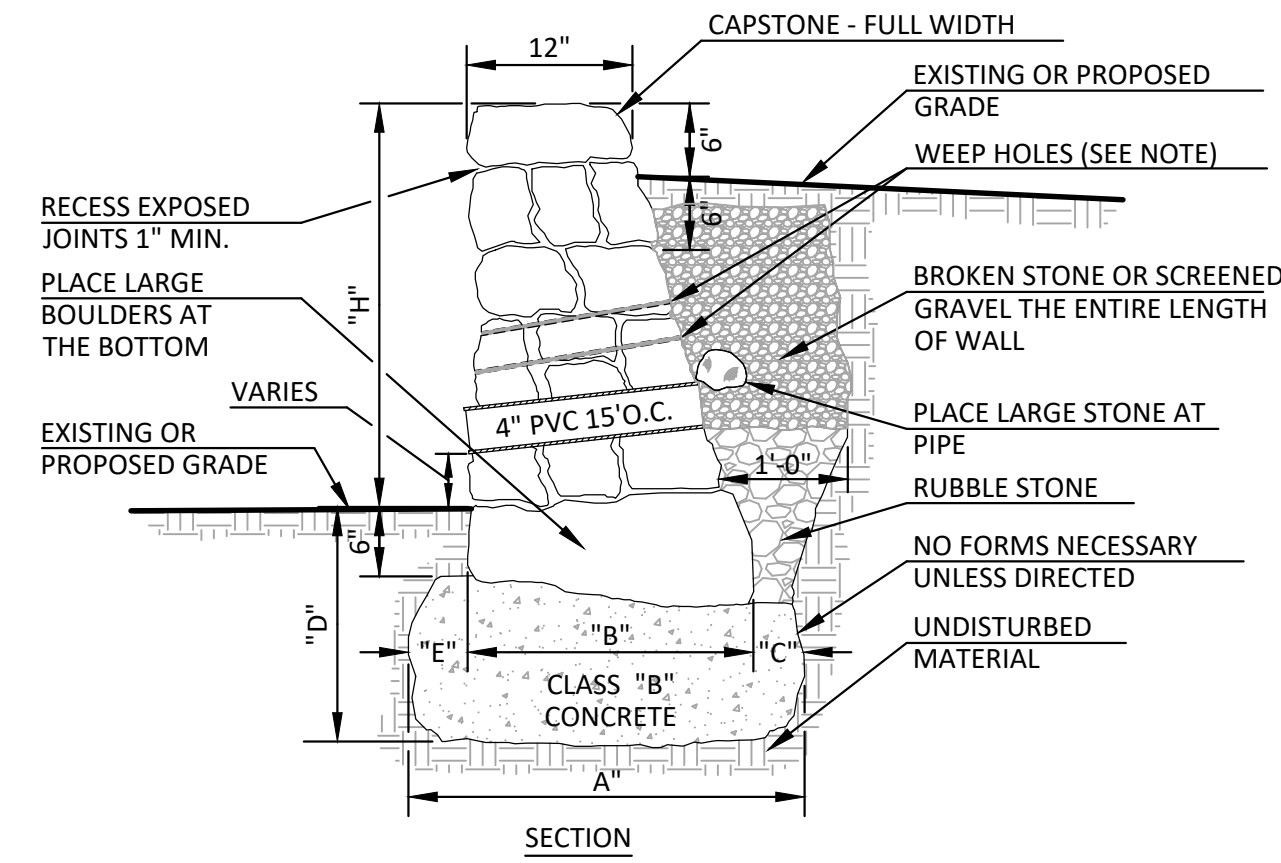


TYPICAL CROSS SECTION RECHARGER 330
(10.35 CF./LF.)

CALCULATIONS BASED ON 40%
STONE VOID

GENERAL NOTES
RECHARGER 330 BY CULTEC, INC. OF BROOKFIELD, CT. ALL RECHARGER 330 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. REFER TO MANUFACTURER, CULTEC, INC.'S RECOMMENDED INSTALLATION GUIDELINES. ALL RECHARGER 330HD HEAVY DUTY UNITS ARE MARKED WITH A 4" STRIPE ALONG THE LENGTH OF THE CHAMBER.

RUBBLE STONE MASONRY RETAINING WALL DETAIL (N.T.S.)

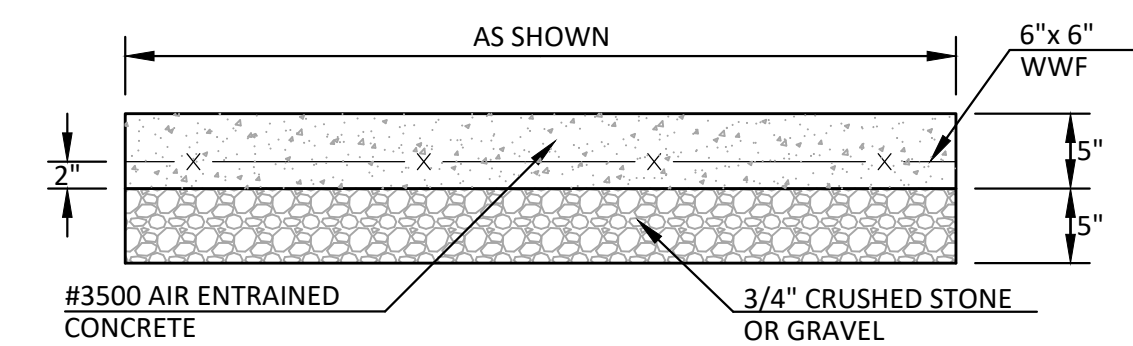


SECTION

DIMENSIONS					
H(Ft)	"A"	"B"	"C"	"D"	"E"
1	2'-0"	1'-6"	3"	2'-0"	3"
2	2'-6"	2'-0"	3"	2'-0"	3"
3	3'-2"	2'-6"	4"	3'-0"	4"
4	3'-8"	3'-0"	4"	3'-0"	4"
5	4'-6"	3'-6"	6"	3'-0"	6"
6	5'-0"	4'-0"	6"	3'-0"	6"

- NOTES:**
- RETAINING WALLS OVER 6FT. IN HEIGHT SHALL BE ENGINEERED OR IN CASE OF ROCK OCCURRENCE; 8 ON 1 ROCK CUT SHALL BE UTILIZED.
 - STAGGER WEEP HOLES 18" O.C. VERTICALLY.
 - IN ROCK CUT AREAS; ALL ROCK CUTS SHALL BE STABILIZED TO THE SATISFACTION OF THE TOWN'S REPRESENTATIVE.

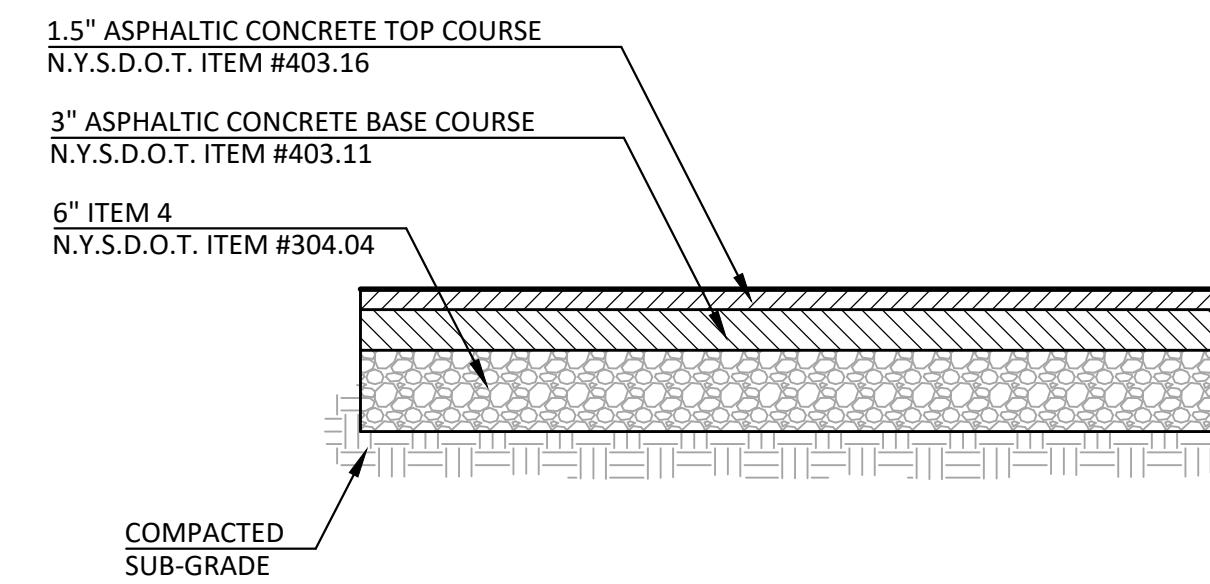
CONCRETE SIDEWALK DETAIL (N.T.S.)



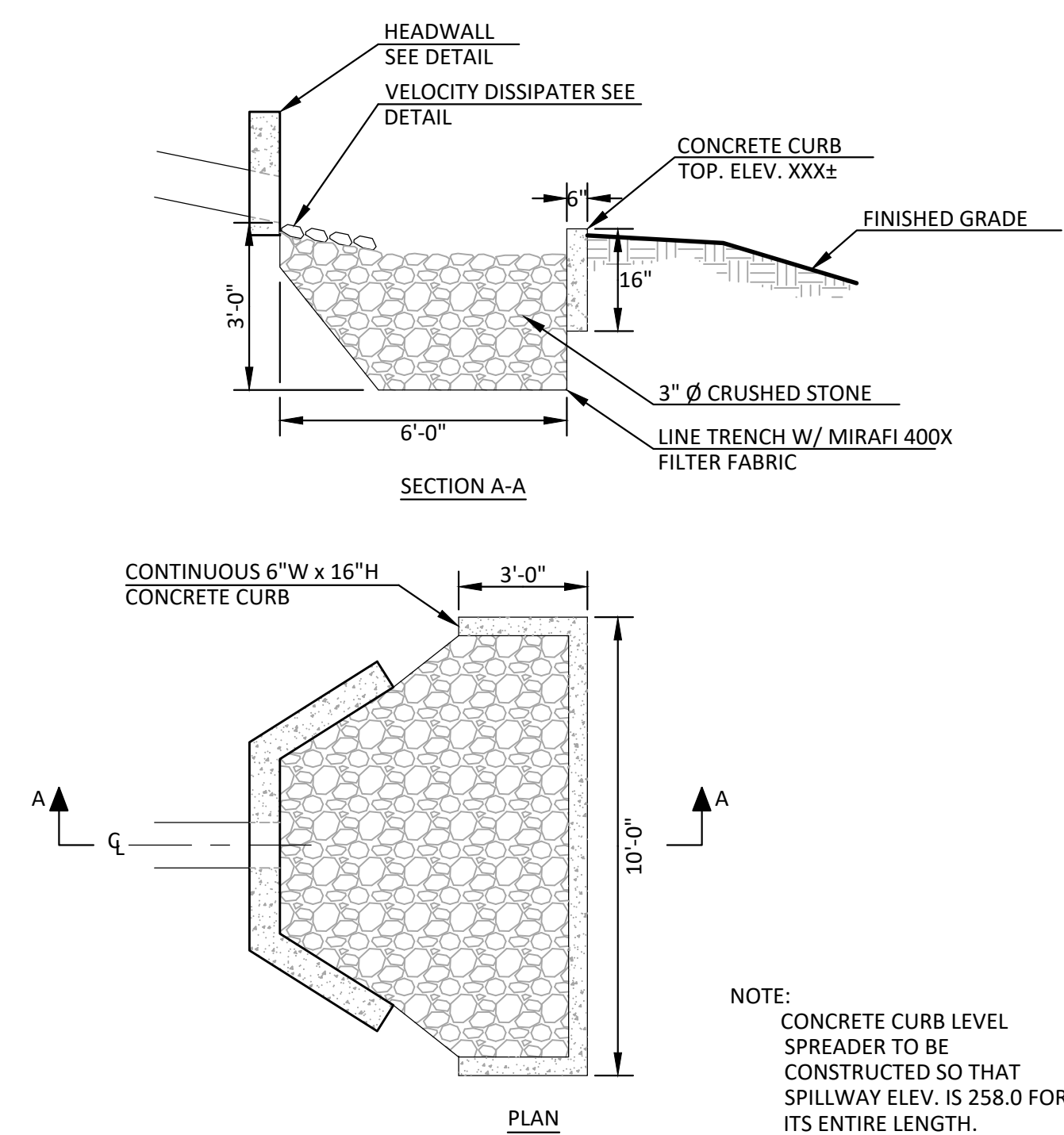
NOTES:

- SIDEWALK TO BE CONSTRUCTED WITH SLOPE OF 1/4" PER FOOT AND PITCHED TOWARDS DRIVEWAY.
- BITUMINOUS EXPANSION JOINTS @ 40' O.C.
- CONTRACTION JOINTS @ 5' O.C.

CONCRETE PAVEMENT DETAIL (N.T.S.)

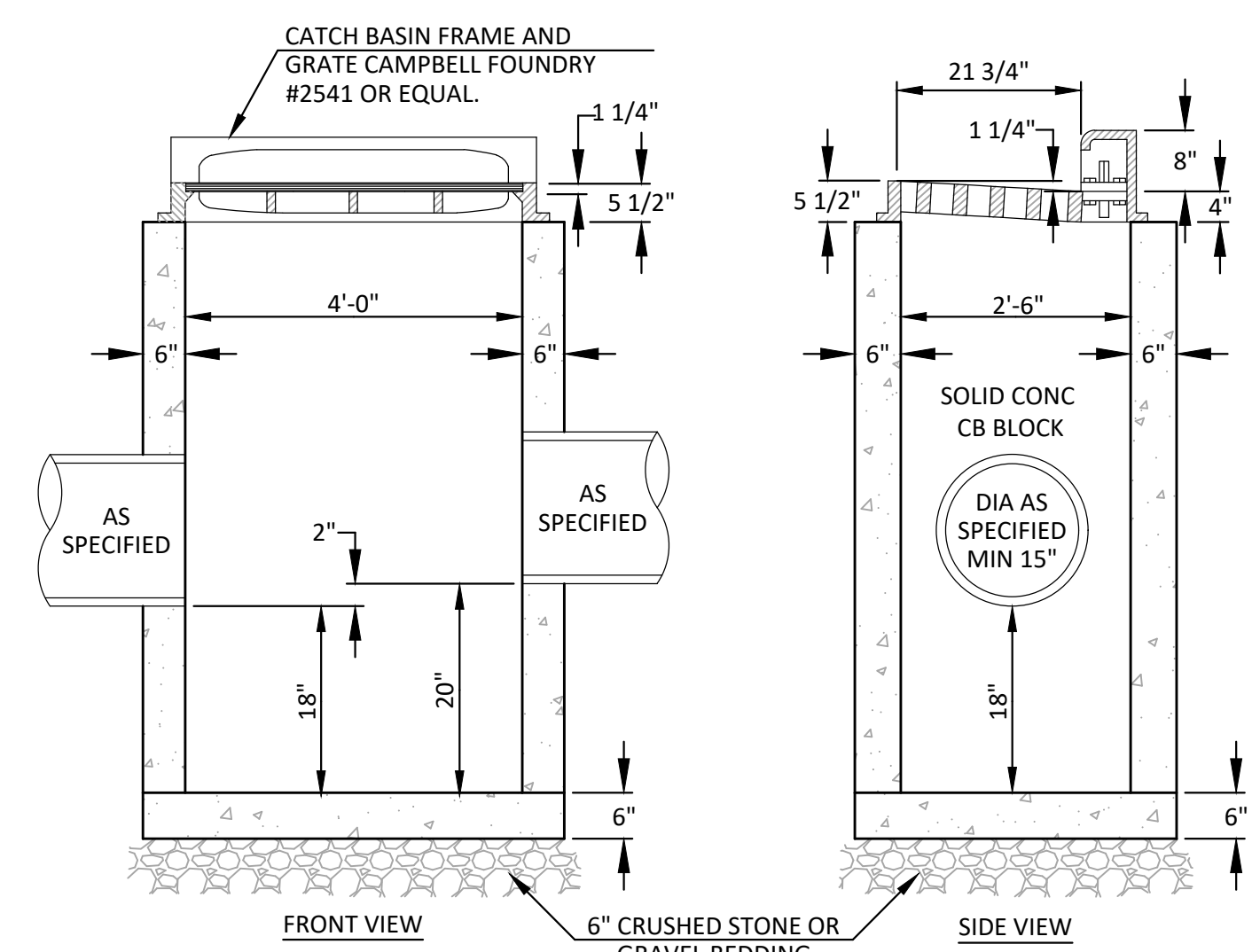


LEVEL SPREADER/VELOCITY DISSIPATER DETAIL (N.T.S.)



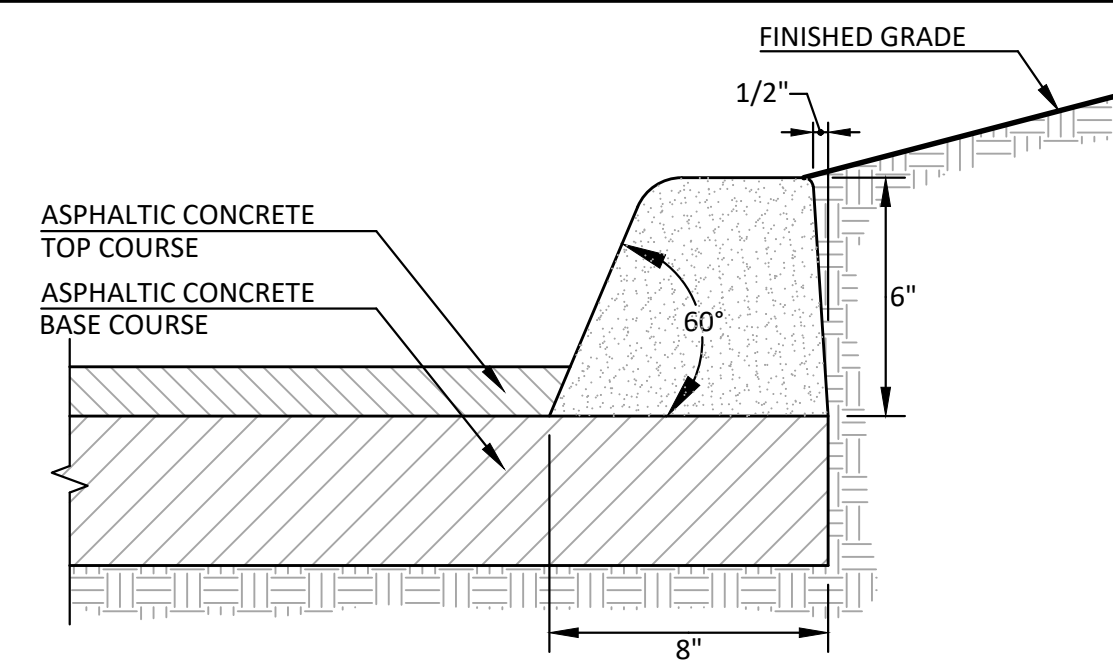
NOTE:
CONCRETE CURB LEVEL SPREADER TO BE CONSTRUCTED SO THAT SPILLWAY ELEV. IS 258.0 FOR ITS ENTIRE LENGTH.

CATCH BASIN DETAIL (N.T.S.)

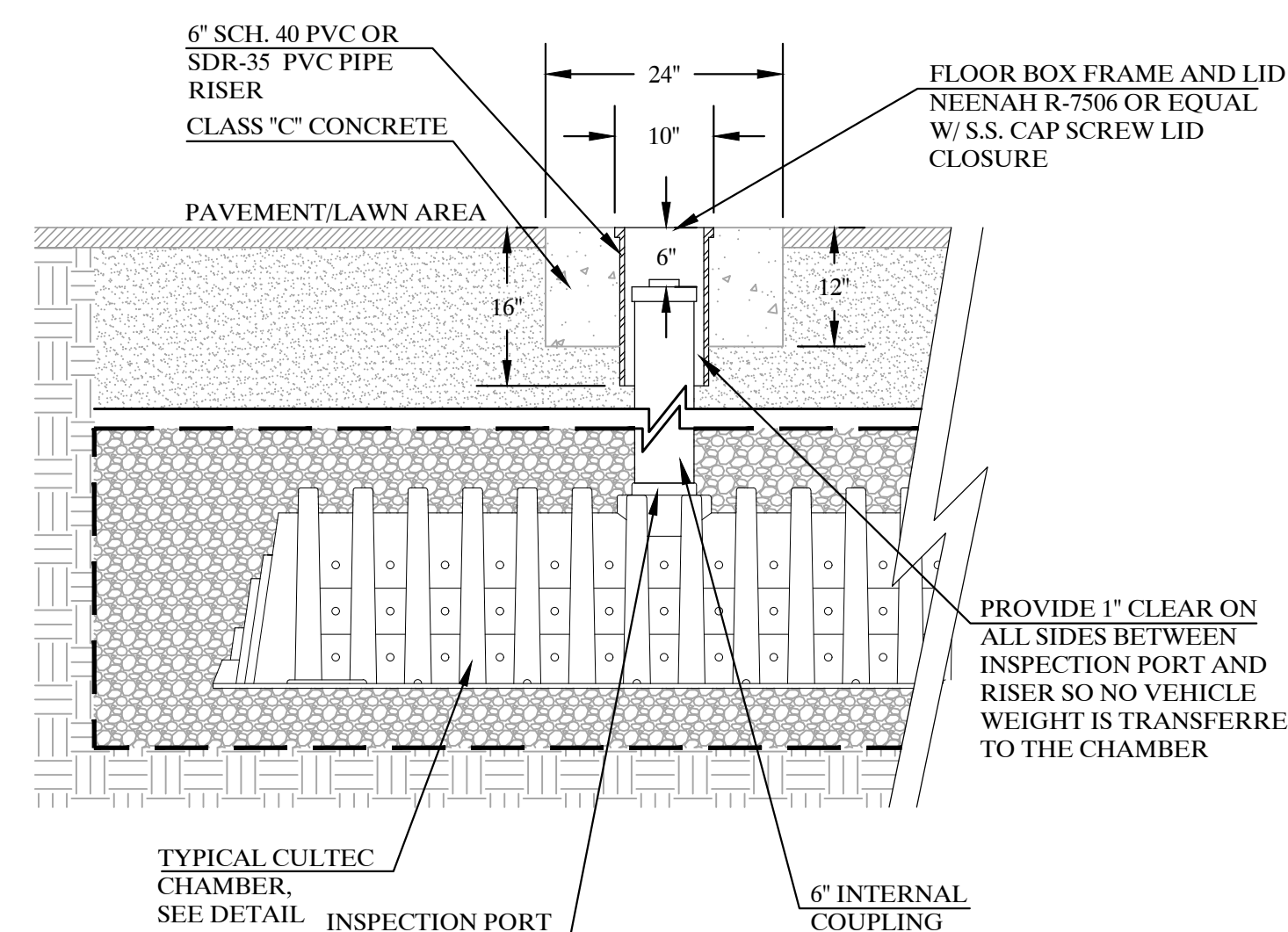


NOTE:
TYPE A CATCH BASIN AS SHOWN HERE ON WILL BE UTILIZED WHERE THE NEED FOR A DROP INLET EXISTS. THE CURB TYPE CASTING SHALL BE SUBSTITUTED WITH CAMPBELL FOUNDRY FRAME AND GRATE # 3433 OR EQUAL.

ASPHALTIC CONCRETE CURB DETAIL (N.T.S.)

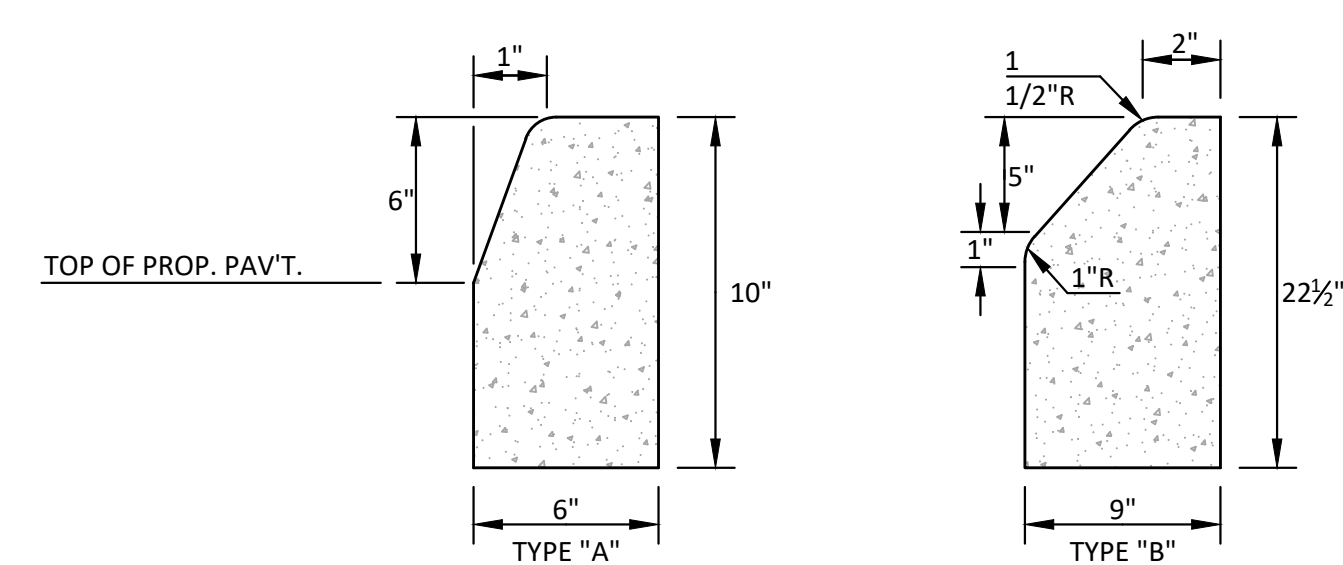


CULTEC INSPECTION PORT DETAIL (N.T.S.)

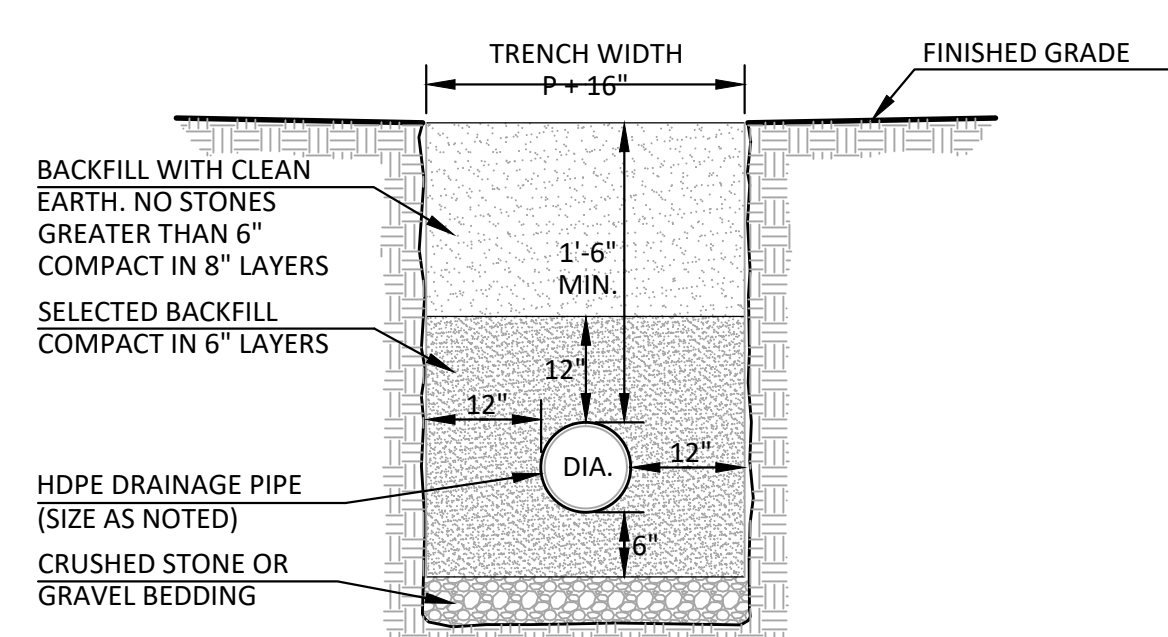


PROVIDE 1" CLEAR ON ALL SIDES BETWEEN INSPECTION PORT AND RISER SO NO VEHICLE WEIGHT IS TRANSFERRED TO THE CHAMBER

CONCRETE CURB DETAIL (N.T.S.)



TRENCH DETAIL (N.T.S.)



DETAILS

2649-2651 STRANG BOULEVARD

TOWN OF YORKTOWN HEIGHTS

WESTCHESTER COUNTY, NEW YORK

KELLARD SESSIONS

CONSULTING
ENGINEERING
&
LANDSCAPE
ARCHITECTURE
PLANNING, D.P.C.

500 MAIN STREET
ARMONK, N.Y. 10504
P: (914) 273-2323
F: (914) 273-2329
WWW.KELSES.COM



8.		8	8
7.			
6.			
5.			
4.			
3.			
2.			
1.			

PROJECT I.D.:
YRGP600
DATE:
JUNE 18, 2021

REVISIONS

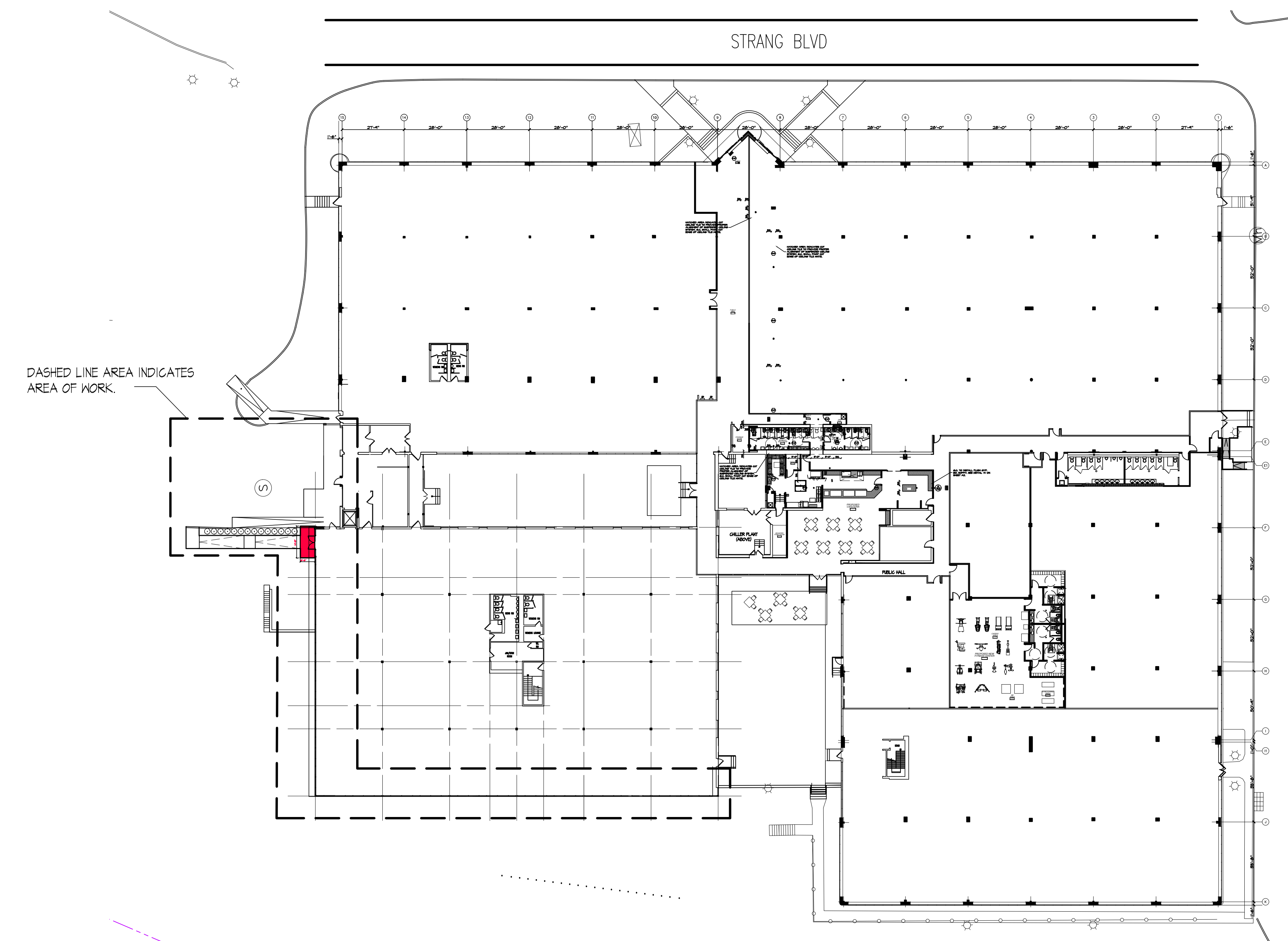
PROPOSED EXTERIOR BUILDING RENOVATIONS

2651 STRANG BOULEVARD

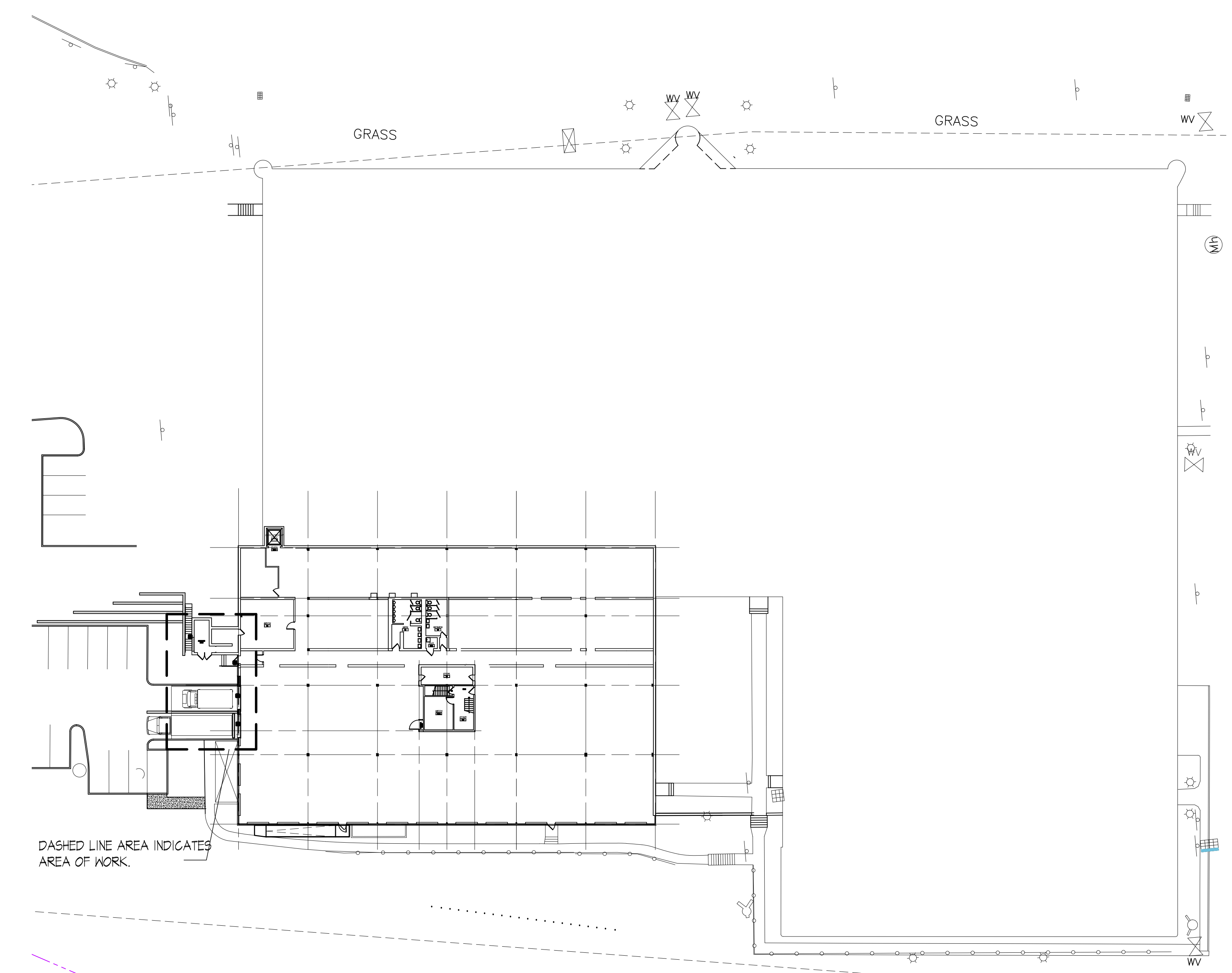
YORKTOWN HEIGHTS, NEW YORK 10598

ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2

PROJECT:
PROPOSED EXTERIOR BUILDING RENOVATIONS
2651 STRANG BOULEVARD
YORKTOWN HEIGHTS, NEW YORK 10598
GROUND FLOOR
ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2



① 1ST FLOOR KEY PLAN
SCALE: N1/2"




② LOWER FLOOR KEY PLAN
SCALE: N1/2"

DRAWING LIST	
ARCHITECTURAL DRAWINGS	
COVER SHEET	A-0
DEMOLITION PLAN	D-01
CONSTRUCTION PLAN	A-1
FOUNDATION PLAN	A-2
ELEVATIONS	A-3
ELEVATIONS	A-4
WALL SECTIONS	A-5
RETAINING WALL DETAILS	A-6
EXTERIOR LIGHTING LAYOUT	A-7

NO.	DATE	ISSUE
1.	06/19/21	ISSUE FOR PLANNING BOARD REVIEW
2.	07/29/21	ISSUE FOR PLANNING BOARD REVIEW
3.	09/22/21	ISSUE FOR PLANNING BOARD REVIEW

SEAL



REGISTERED ARCHITECT
GREGORY J. CARDARELLI
028819
STATE OF NEW YORK

SCALE: AS NOTED
DATE: 05/17/21
PROJECT NO.: 21-000-00
DRAWN BY: A.M.
CHECKED BY:
APPROVED BY:
DRAWING TITLE:
COVER SHEET

DRAWING NO.: **AO**

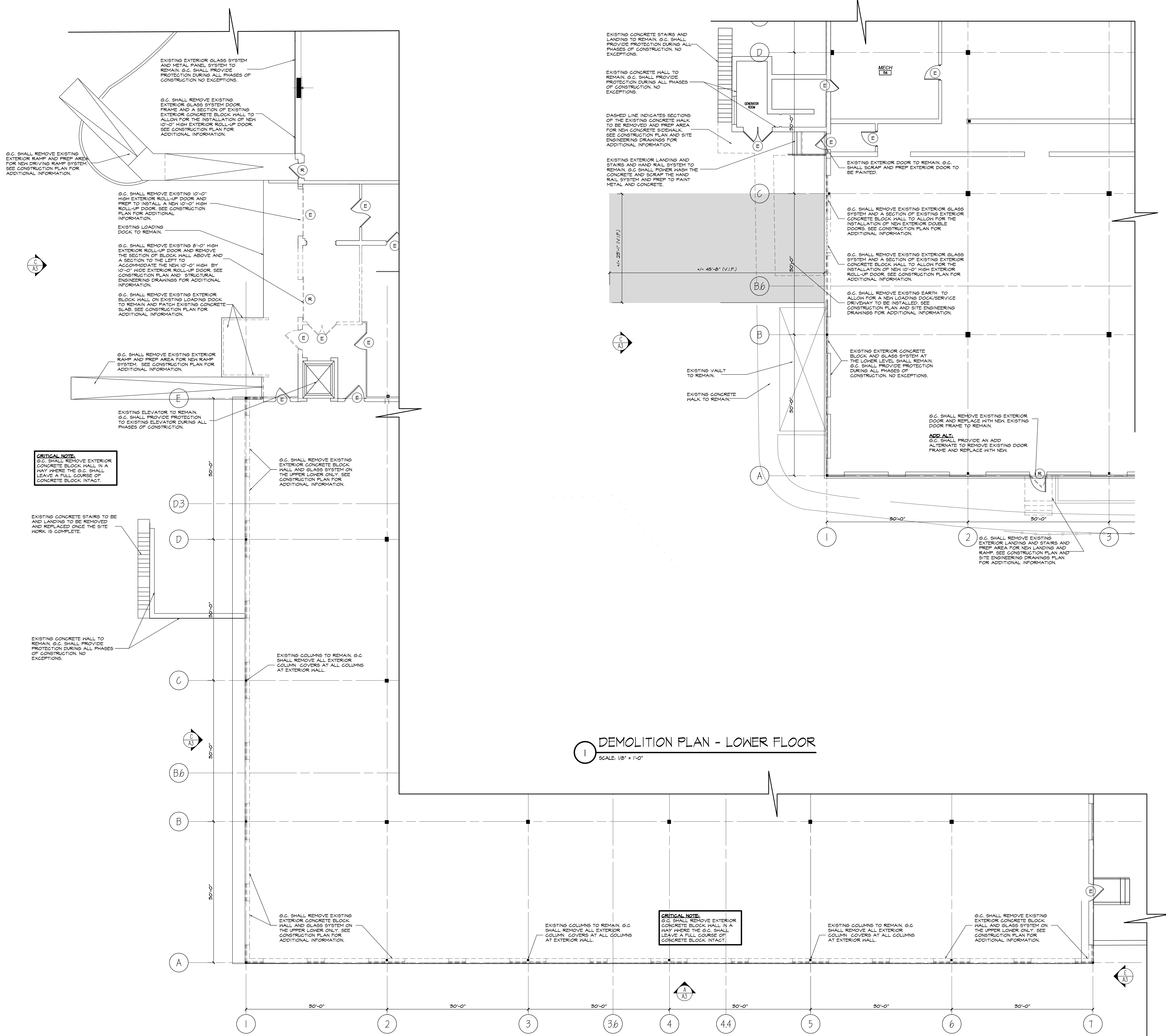
PROJECT: **PROPOSED EXTERIOR BUILDING RENOVATIONS**
2651 STRANG BOULEVARD
YORKTOWN HEIGHTS, NEW YORK 10598
GROUND FLOOR
ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2

NO.	DATE	DESCRIPTION
1.	06/12/21	ISSUE FOR PLANNING BOARD REVIEW
2.	07/22/21	ISSUE FOR PLANNING BOARD REVIEW
3.	09/22/21	ISSUE FOR PLANNING BOARD REVIEW

SCALE:	DATE:	PROJECT NO.:
AS NOTED	05/17/21	21-000-00
DRAWN BY:	CHECKED BY:	APPROVED BY:
A.M.		
DRAWING TITLE: DEMOLITION PLAN		

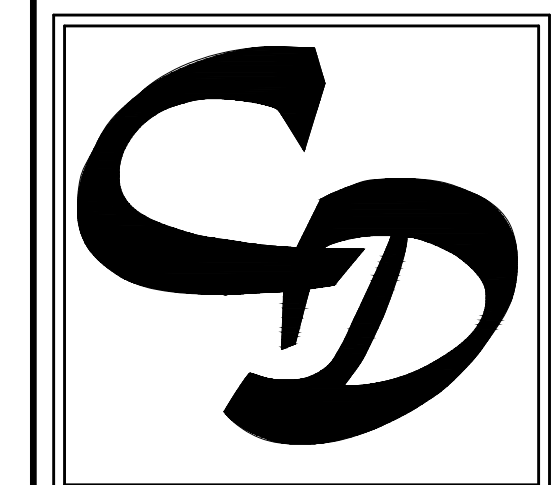
- EXISTING PARTITION TO REMAIN.
- - - EXISTING PARTITION TO BE REMOVED.
- (K) EXISTING DOORS, FRAMES AND HARDWARE TO BE REMOVED. COORDINATE WITH CLIENT FOR STORAGE.
- (E) EXISTING DOORS, FRAMES AND HARDWARE TO BE REMOVED. COORDINATE WITH CLIENT FOR STORAGE.

- DEMOLITION GENERAL NOTES**
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS SHOWN ON DRAWINGS.
 - ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE PREMISES EXCEPT THOSE ITEMS TO BE REUSED, RETURNED TO THE LANDLORD / OWNER OR AS OTHERWISE DIRECTED.
 - THE CONTRACTOR SHALL CAREFULLY REMOVE, PROTECT AND STORE ALL CONSTRUCTION ELEMENTS TO BE REUSED OR RETURNED TO THE LANDLORD / OWNER.
 - UPON COMPLETION OF THE DEMOLITION WORK, ALL AREAS SHALL BE BROOM CLEAN.
 - ALL CORE AREAS, ELEVATOR LOBBIES, TOILETS, STAIRWELLS AND EXISTING ELEMENTS TO REMAIN SHALL BE CAREFULLY SEALED AND PROTECTED FROM DAMAGE AND DIRT.
 - ALL PERIMETER FAN COIL AND EQUIPMENT, RADIATOR, ENGINEERS AND HANGERS SHALL BE CAREFULLY COVERED AND PROTECTED FROM GRIT, RUBBISH AND DAMAGE.
 - WHERE EXISTING SWITCHES, OUTLETS AND PHONE / DATA OUTLETS ARE REMOVED, G.C. SHALL PATCH SPACKLE AND SAND SMOOTH WALL FOR PAINT. NO COVER PLATES SHALL BE USED.
 - ALL ELECTRICAL AND LIGHTING TO BE DEMOLISHED AND ASSOCIATED WIRING SHALL BE PULLED BACK TO THE ELECTRICAL PANELS AND REMOVED COMPLETELY.
 - ALL DEMOLITION WORK SHALL BE PERFORMED BEFORE OR AFTER BUSINESS HOURS, UNLESS OTHERWISE PERMITTED BY THE BUILDING MANAGER AND / OR THE CLIENT.
 - IN ALL AREAS WHERE DEMOLITION OR CUTS AND PATCHES CAUSE A UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL FLASH PATCH AS REQUIRED TO RECEIVE THE NEW FLOOR FINISH. COORDINATE WITH FLOORING CONTRACTOR.
 - THE GENERAL CONTRACTOR SHALL ERECT A PLASTIC DUST PARTITION TO PROTECT AREAS NOT INCLUDED IN THE SCOPE OF WORK.
 - PRIOR TO DEMOLITION THE CONSTRUCTION AREA SHALL BE INSPECTED FOR PRESENCE OF ASBESTOS. IF PRESENT IT SHALL BE REMOVED IN COMPLIANCE WITH THE STATE OF NEW YORK, REQUIREMENTS AND FEDERAL NESHAP NATIONAL EMISION STANDARD FOR HAZARDOUS AIR POLLUTANTS) REGULATION. (NESHAP - PHONE: 1-212-407-4000)
 - WHERE REMOVALS ARE NOT POSSIBLE WITHOUT DAMAGE OF EXISTING TO REMAIN, G.C. SHALL REPAIR OR REPLACE DAMAGED ITEMS AS REQUIRED.



1 DEMOLITION PLAN - LOWER FLOOR
SCALE: 1/8" = 1'-0"

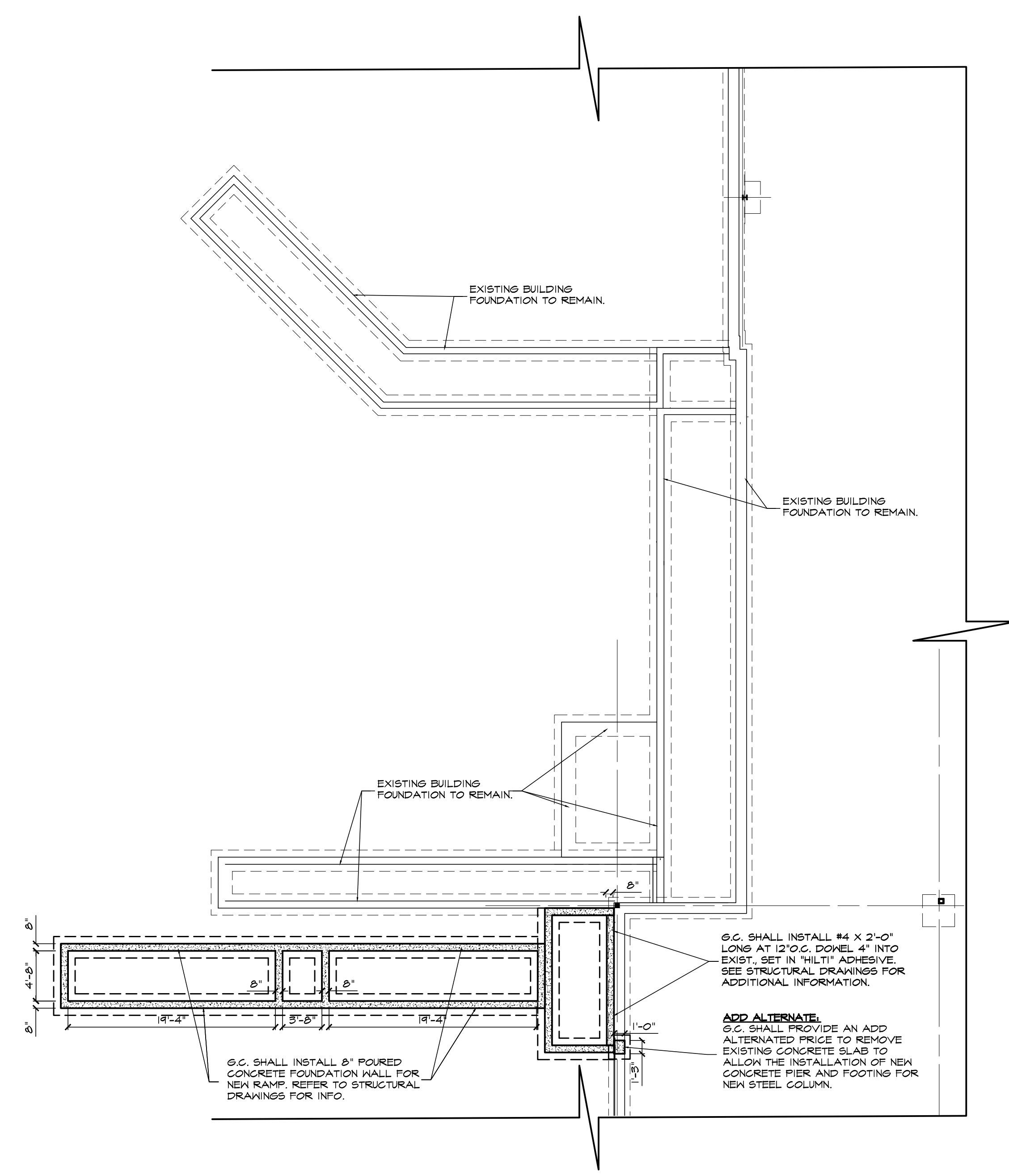
2 DEMOLITION PLAN - UPPER FLOOR
SCALE: 1/8" = 1'-0"



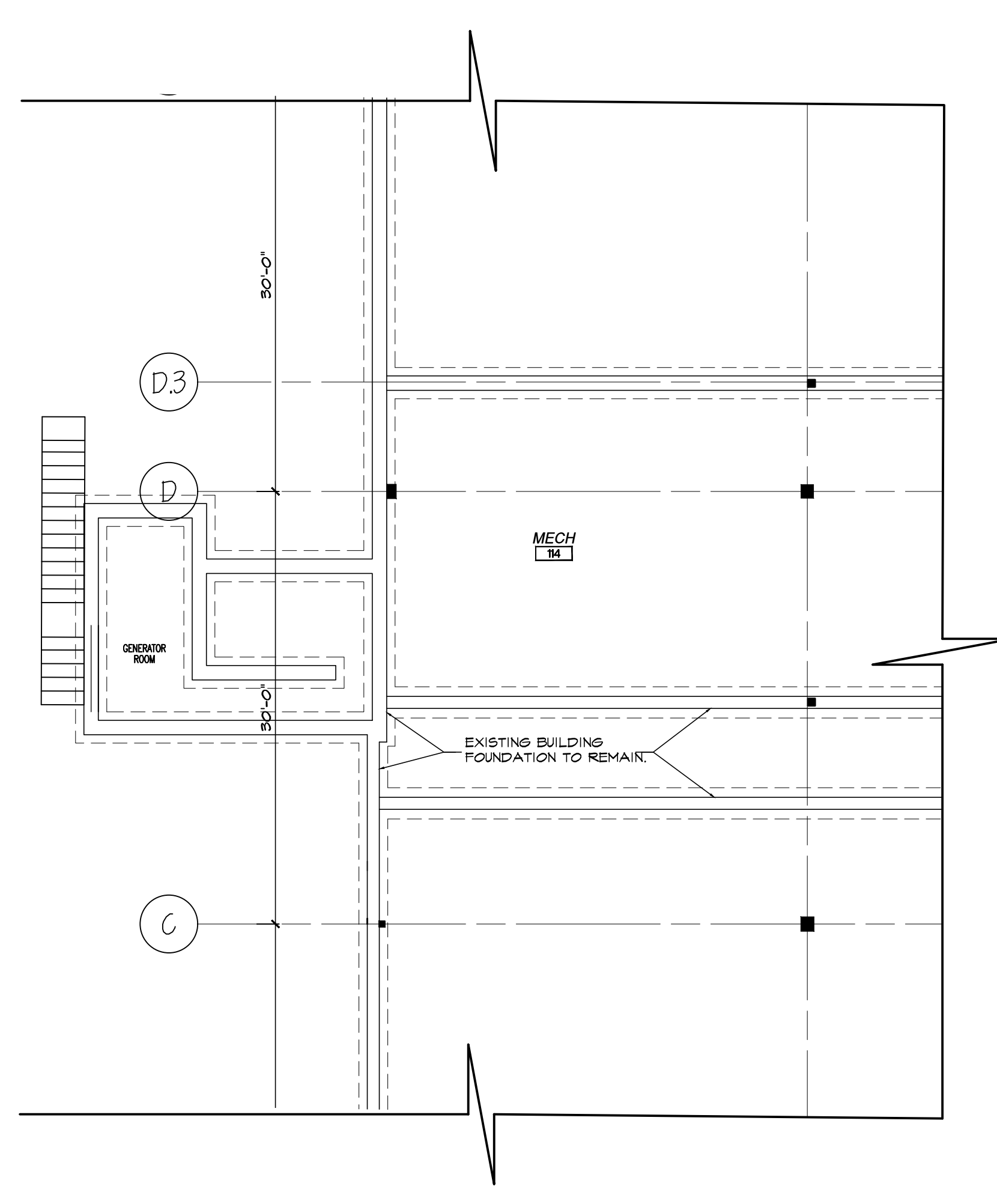
CARDARELLI
DESIGN & ARCHITECTURE, P.C.
297 KNOLLWOOD ROAD, SUITE 202
WHITE PLAINS, NY 10607
PHONE: 914-437-9554 / FAX: 914-437-9555



PROJECT:
PROPOSED EXTERIOR BUILDING RENOVATIONS
2651 STRANG BOULEVARD
YORKTOWN HEIGHTS, NEW YORK 10598
GROUND FLOOR
ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2



2 FOUNDATION PLAN - UPPER FLOOR
SCALE: 1/8" = 1'-0"



1 FOUNDATION PLAN - LOWER FLOOR
SCALE: 1/8" = 1'-0"

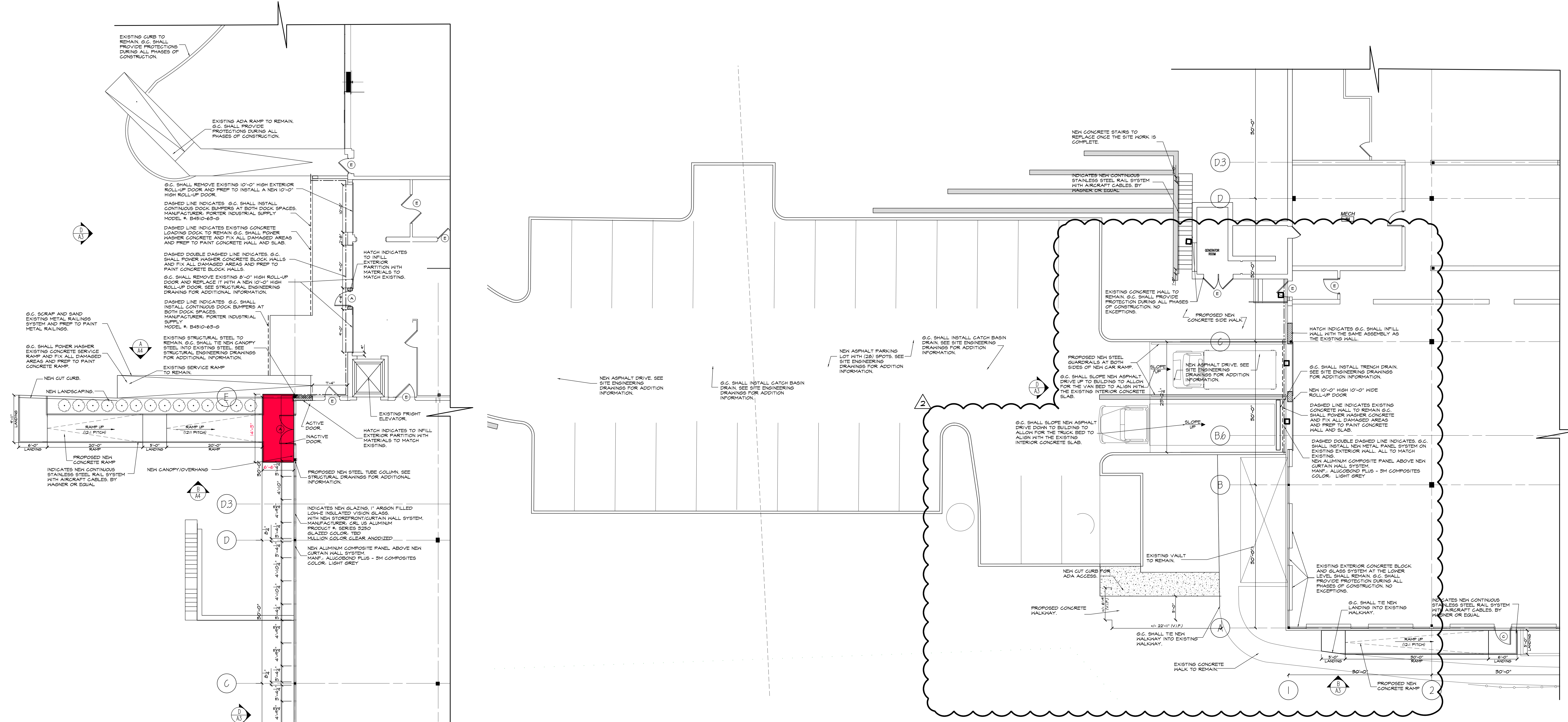
NO.	DATE	DESCRIPTION
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2.	07/27/21	ISSUE FOR PLANNING BOARD REVIEW
3.	09/22/21	ISSUE FOR PLANNING BOARD REVIEW



SCALE: AS NOTED
DATE: 05/17/21
PROJECT NO.: 21-000-00
DRAWN BY: A.M.
CHECKED BY:
APPROVED BY:
DRAWING TITLE:
FOUNDATION PLAN

DRAWING NO.: **AI**

PROPOSED EXTERIOR BUILDING RENOVATIONS
2651 STRANG BOULEVARD
YORKTOWN HEIGHTS, NEW YORK 10598
GROUND FLOOR
 ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2



1 CONSTRUCTION PLAN - LOWER FLOOR
 SCALE: 1/8" = 1'-0"

- CONSTRUCTION LEGEND:**
- INDICATES EXISTING CORE WALLS & INTERIOR WALLS TO REMAIN UNLESS OTHERWISE NOTED.
 - HATCH INDICATES G.C. SHALL INFILL WALL WITH THE SAME ASSEMBLY AS THE EXISTING WALL.
 - INDICATES GYP. BOARD SOFFIT ABOVE. SEE REFLECTED CEILING PLAN.
 - INDICATES ALIGNMENT OF WALLS.
 - DENOTES ELEVATION NUMBER. SEE PLAN.
 - DENOTES SHEET NUMBER. SEE PLAN.

- CONSTRUCTION NOTES:**
1. G.C. SHALL FUR OUT EXISTING COLUMNS WITH 3" METAL FURRING STUDS & 3/4" GYP. BD. AS TIGHT TO COLUMN AS POSSIBLE.
 2. UPGRADE OR REWORK OF EXIT STAIRS, MECHANICAL ROOM AND ELEVATORS ARE NOT PART OF THIS PROJECT SCOPE.
 3. G.C. SHALL NOTIFY ARCHITECT TO FIELD VERIFY SWAP PINS PRIOR TO INSTALLATION OF METAL TRACER FOR PARTITIONS.
 4. IF DISCREPANCIES ARISE ON FIELD PERTAINING TO PARTITION LAYOUTS, G.C. SHALL NOTIFY ARCHITECT.
 5. ALL DIMENSIONS ARE FROM FINISHED FACE OF GYP. WALL.
 6. G.C. SHALL INSTALL FIRE RATED HOOD BLOCKING IN PARTITIONS SUPPORTING WALL MOUNTED HOOD PANELS & FABRIC FRAMED PANELS. (TYP)
 7. G.C. SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION & INSTALLATION.
 8. G.C. SHALL SUBMIT ALL MILLWORK FINISH SAMPLES IN TRAY TO ARCHITECT FOR REVIEW & TENANT SIGN-OFF.
 9. G.C. SHALL PATCH AND SCUM COAT ALL EXISTING CORE WALLS AND PREP TO RECEIVE NEW FINISHES.
 10. EXISTING CORE WALLS TO BE SCUM COAT WALLS TO LEVEL 3 FINISH AND PREP TO RECEIVE NEW FINISHES.

2 CONSTRUCTION PLAN - UPPER FLOOR
 SCALE: 1/8" = 1'-0"

DOOR FRAME AND HARDWARE SCHEDULE:

DOOR AND FRAME TYPE:
 INDICATES (1) PAIR 3'-0" X 7'-0" X 1 3/4" KAWNEER FLUSHLINE ENTRANCES. ALUMINUM FRAMED VISION LITES. TYPE AVL-4, 6' X 32" LOCK SIDE PLACEMENT 1" FROM TOP OF DOOR AND JAMB. PLAIN ALUM. SHEET EXTERIOR AND INTERIOR. COLOR AND FINISH TO MATCH STOREFRONT FRAMING.

HARDWARE TYPE:
 KAWNEER STANDARD EXIT DEVICE, DUR-O-MATIC / PALCON 1790 EXTERIOR FULL STYLE 504 KAWNEER STANDARD KEVED RIM CYLINDER SURFACE CLOSER 280 ALUMINUM THRESHOLD ALUMINUM GASKETING & SHEEP (PEMCO)

G.C. TO INSTALL METAL ASTRAGAL TO MATCH DOOR FINISH ONTO ACTIVE DOOR.

DOOR CLOSER, ARROW LOCK MODEL, IRON SERIES, MEETS (ADA) BARRIER FREE REQUIREMENTS OF 5 LBS. MAXIMUM DOORS. G.C. SHALL INSTALL DOOR CLOSERS ON BOTH DOORS.

IVES FLOOR MOUNTED DOOR STOP, IVES FS456 - SATIN CHROME HARDWARE FINISH. 626-SATIN CHROME PLATED.

DOOR AND FRAME TYPE:
 3'-0" X 7'-0" EXTERIOR SOLID CORE METAL DOORS WITH 2" HOLLOW METAL HELPER DOOR FRAME. THE DOOR FRAME ASSEMBLY WILL BE FACTORY PRIMED 16 GAUGE METAL. (DOOR FINISH TO MATCH EXISTING DOORS)

HARDWARE TYPE:
 MATCH EXISTING EXTERIOR DOOR HARDWARE

DOOR CLOSER, ARROW LOCK MODEL, IRON SERIES, MEETS (ADA) BARRIER FREE REQUIREMENTS OF 5 LBS. MAXIMUM DOORS.

IVES DOOR STOP, #436

HARDWARE FINISH: MATCH EXISTING EXTERIOR DOOR SYSTEM.

DOOR AND FRAME TYPE:
 INDICATES 3'-0" X 7'-0" X 1 3/4" KAWNEER FLUSHLINE ENTRANCES. ALUMINUM FRAMED VISION LITES. TYPE AVL-4, 6' X 32" LOCK SIDE PLACEMENT 1" FROM TOP OF DOOR AND JAMB. PLAIN ALUM. SHEET EXTERIOR AND INTERIOR. COLOR AND FINISH TO MATCH STOREFRONT FRAMING.

HARDWARE TYPE:
 PAIR AND HALF BUTT HINGE, KAWNEER STANDARD KAWNEER STANDARD EXIT DEVICE, DUR-O-MATIC / PALCON 1790 EXTERIOR FULL STYLE 504 KAWNEER STANDARD KEVED RIM CYLINDER SURFACE CLOSER 280 ALUMINUM THRESHOLD GASKETING & SHEEP (PEMCO)

DOOR CLOSER, ARROW LOCK MODEL, IRON SERIES, MEETS (ADA) BARRIER FREE REQUIREMENTS OF 5 LBS. MAXIMUM DOORS. G.C. SHALL INSTALL DOOR CLOSERS ON BOTH DOORS.

IVES FLOOR MOUNTED DOOR STOP, IVES FS456 - SATIN CHROME HARDWARE FINISH. 626-SATIN CHROME PLATED.

DOOR SCHEDULE NOTES:

1. ALL HARDWARE FINISH SHALL BE: SATIN CHROME PLATED #626
2. G.C. SHALL PROVIDE ALL MISCELLANEOUS DOOR HARDWARE REQUIRED FOR PROPER OPERATION OR TO MEET CODE REQUIREMENTS
3. ALL DOORS SHALL BE UNDERCUT AS REQUIRED TO ALLOW FOR PROPER CLEARANCE FOR FLOOR FINISH.
4. G.C. SHALL PROVIDE TO ARCHITECT HARDWARE SPECIFICATION AND SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING OR FABRICATING.
5. OWNER SHALL BE RESPONSIBLE FOR MASTER KEYING DOOR HARDWARE / LOCKSETS.
6. G.C. SHALL INSTALL DOOR SILENCERS AT ALL DOOR FRAMES.
7. PER FEDERAL REGISTER, RULES AND REGULATIONS SECTION 4.13.4 DOOR HARDWARE, HANDLES, PULLS, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISM PUSH (TIE) MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE USED ON ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.

INDICATES CARD KEY DEVICES TO ACTIVATE ELECTRIC STRIKES.
 CARD READER SYSTEM WILL BE PROVIDED AND INSTALLED BY TENANT VENDOR. G.C. SHALL INSTALL 3/4" DIA. CONDUIT UP TO 8" ABOVE FINISHED CEILING AND 3/8" DIA. IN PARTITION. G.C. TO COORDINATE WITH CARD READER SECURITY SYSTEM VENDOR FOR LOCK REQUIREMENTS. CARD READER SYSTEM SHALL BE WIRING BACK TO BUILDING FIRE ALARM SYSTEM TO ALLOW FOR FAIL SAFE OPERATION. NO EXCEPTIONS.

INDICATES NEW GLAZING, 1" ARGON FILLED LOWE INSULATED VISION GLASS WITH NEW STOREFRONT CURTAIN HALL SYSTEM. MANUFACTURER: CRU US ALUMINUM PRODUCT # SERIES 5250 GLAZED COLOR: TED MALLION COLOR CLEAR ANODIZED

NEW ALUMINUM COMPOSITE PANEL ABOVE NEW CURTAIN HALL SYSTEM. MANF. ALUGROUND PLUS - 3M COMPOSITES COLOR: LIGHT GREY

NO.	DATE	DESCRIPTION
1	06/17/21	ISSUE FOR PLANNING BOARD REVIEW
2	07/27/21	ISSUE FOR PLANNING BOARD REVIEW
3	09/27/21	ISSUE FOR PLANNING BOARD REVIEW

SCALE:	DATE:	PROJECT NO.:
AS NOTED	05/17/21	21-000-00
DRAWN BY:	CHECKED BY:	APPROVED BY:
	A.M.	
DRAWING TITLE:		
CONSTRUCTION PLAN		

NO.	DATE	DESCRIPTION
1.	08/12/21	ISSUE FOR PLANNING BOARD REVIEW
2.	07/21/21	ISSUE FOR PLANNING BOARD REVIEW
3.	09/27/21	ISSUE FOR PLANNING BOARD REVIEW

SCALE: AS NOTED DATE: 05/17/21 PROJECT NO: 21-000-00
DRAWN BY: CHECKED BY: APPROVED BY:
DRAWING TITLE:
ELEVATIONS

E PROPOSED DEMOLITION OF SIDE ELEVATION
SCALE: 1/8"=1'-0"

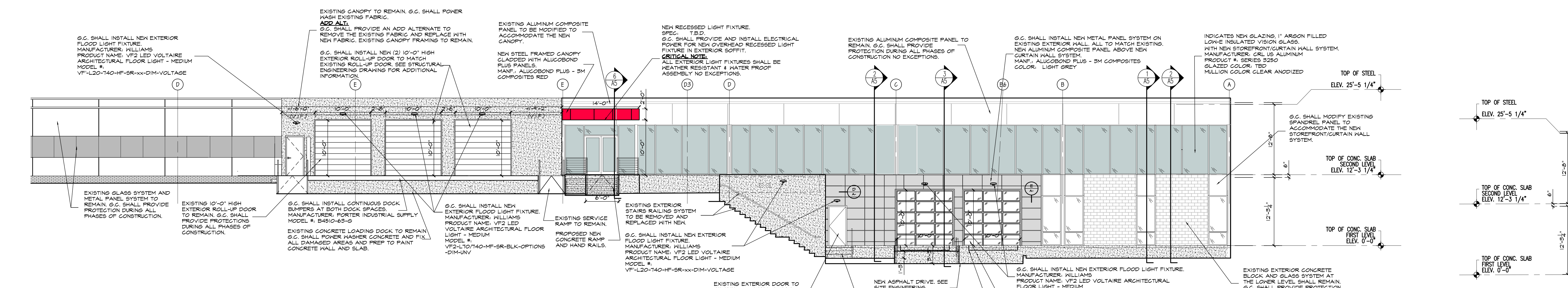
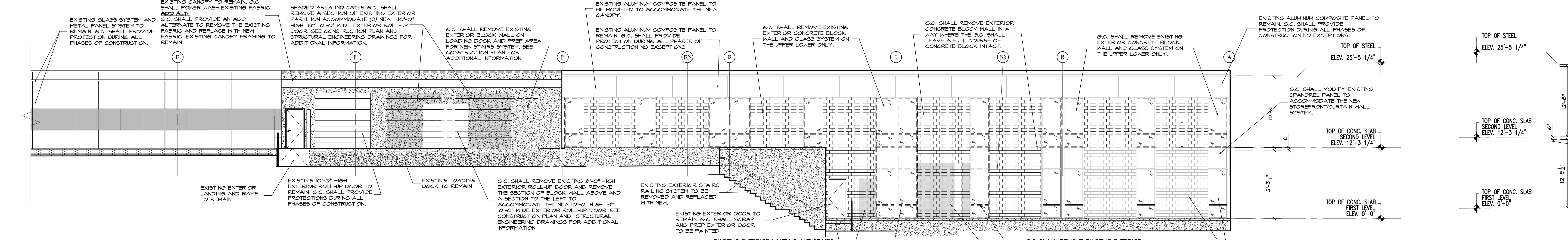
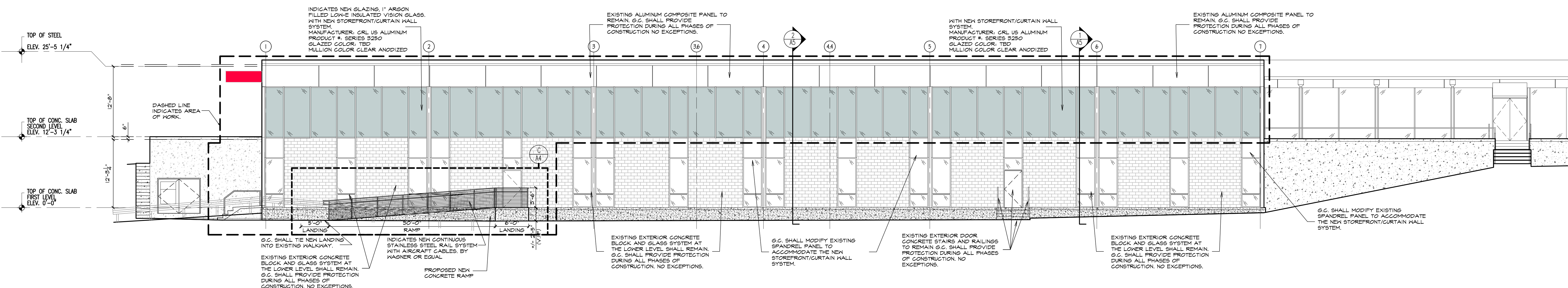
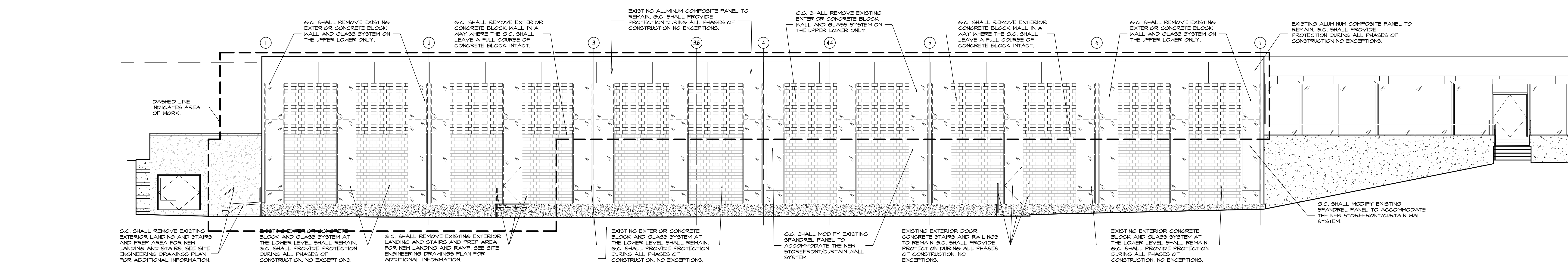
F PROPOSED PARTIAL SIDE ELEVATION
SCALE: 1/8"=1'-0"

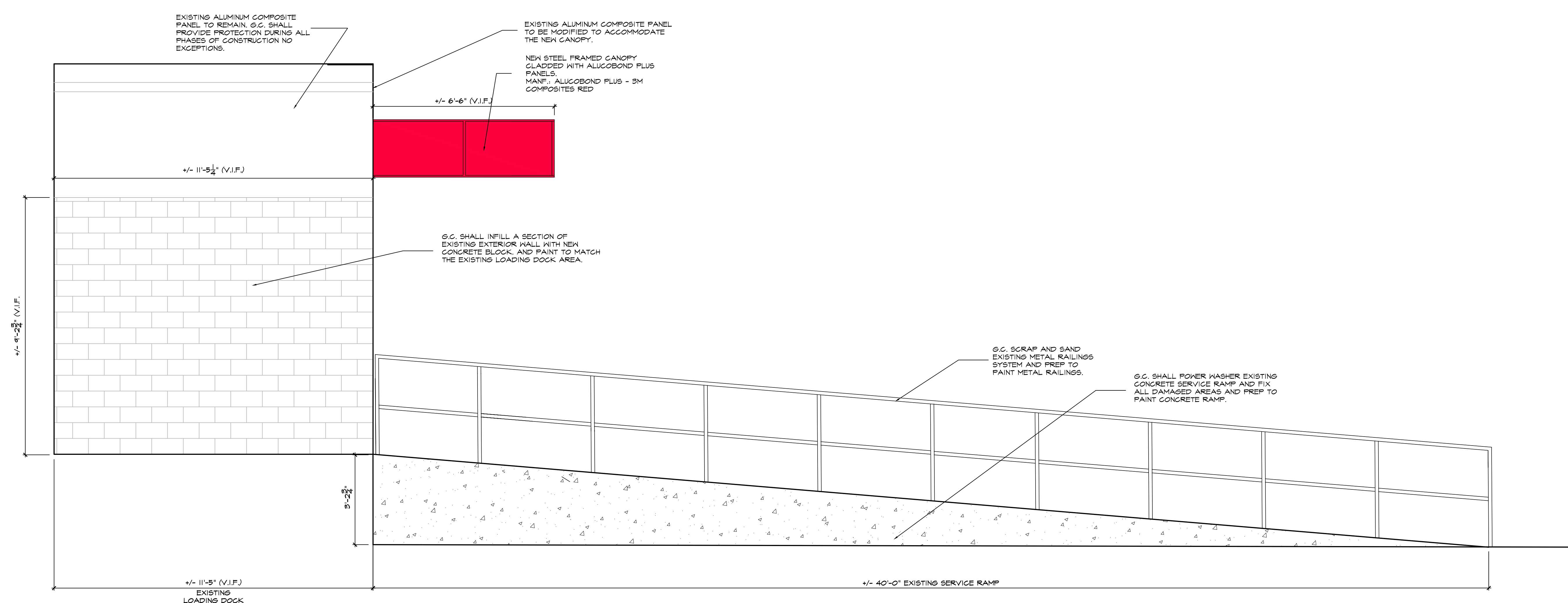
A PROPOSED DEMOLITION OF REAR ELEVATION
SCALE: 1/8"=1'-0"

B PROPOSED NEW REAR ELEVATION
SCALE: 1/8"=1'-0"

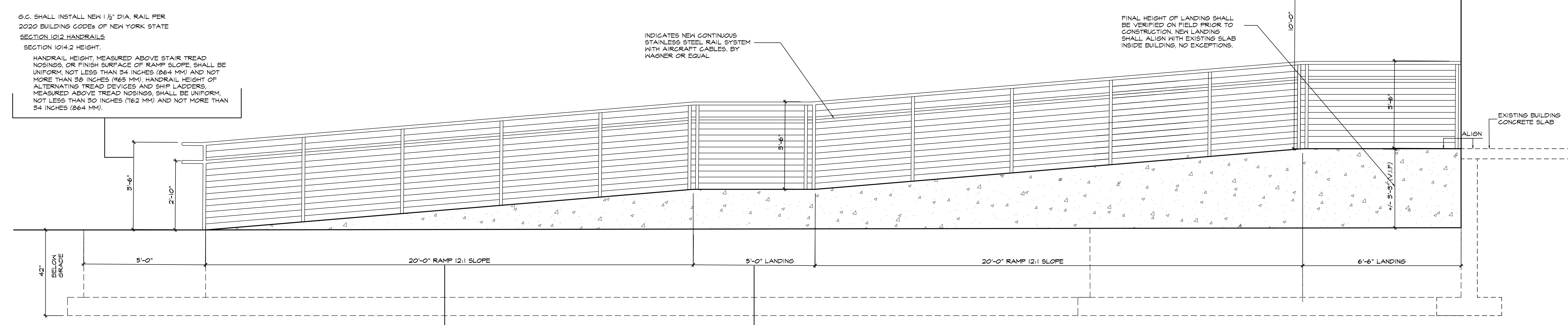
C PROPOSED DEMOLITION OF SIDE ELEVATION
SCALE: 1/8"=1'-0"

D PROPOSED PARTIAL SIDE ELEVATION
SCALE: 1/8"=1'-0"

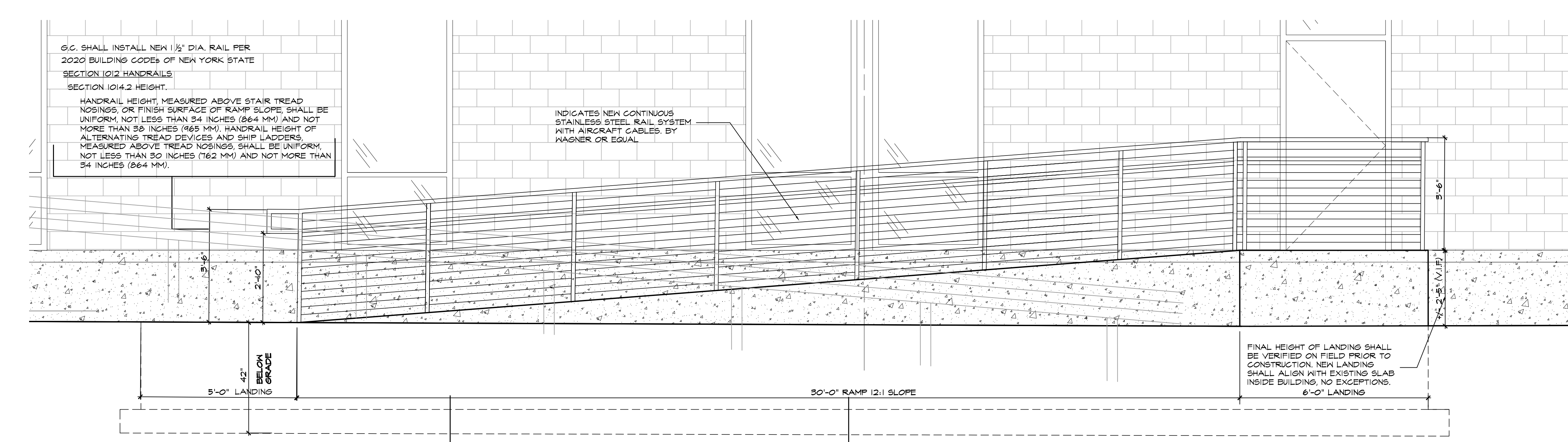




A PROPOSED BUILDING ENCLOSURE AND EXISTING SERVICE RAMP
SCALE: 1/2"=1'-0"



B PROPOSED ADA RAMP AND CANOPY
SCALE: 1/2"=1'-0"



C PROPOSED ADA RAMP AND CANOPY
SCALE: 1/2"=1'-0"

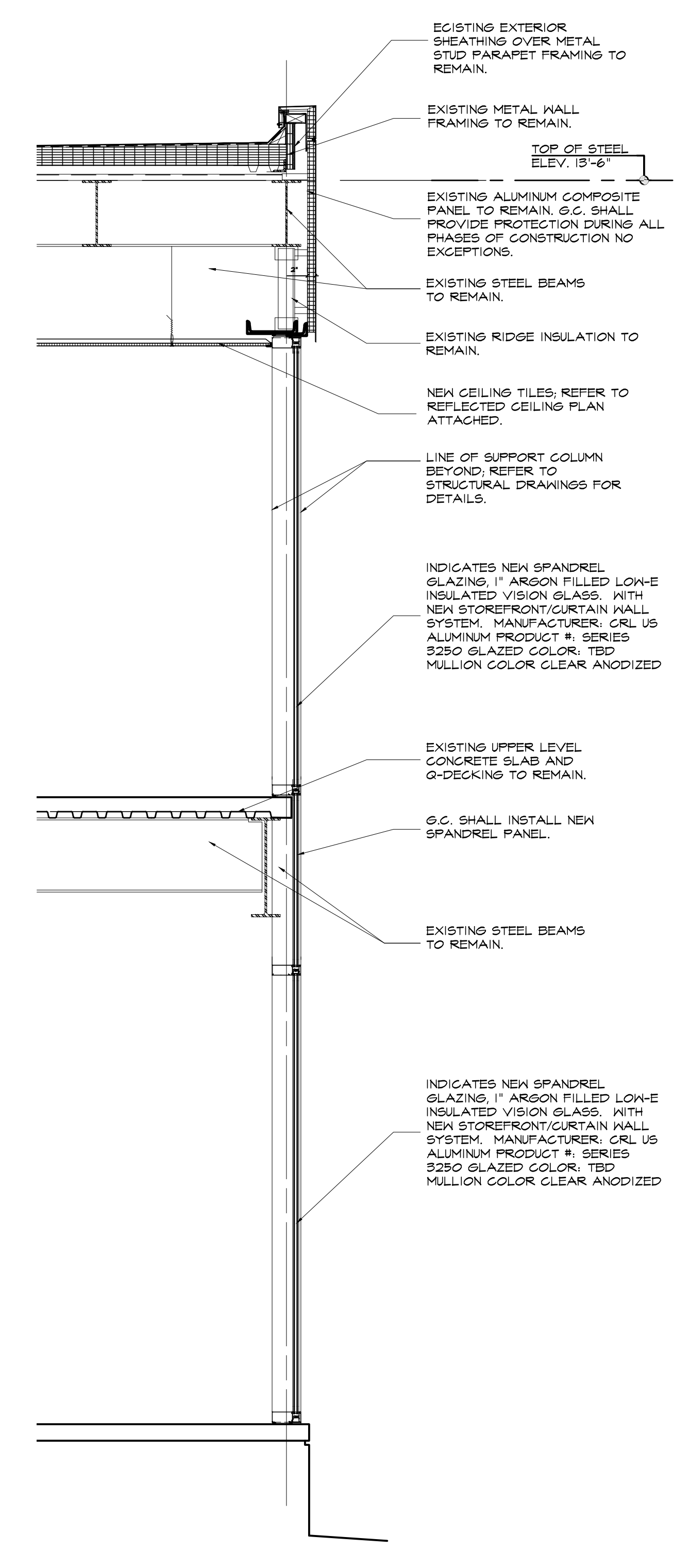
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DATE	BY	PROJECT NO.
05/17/21		21-000-00

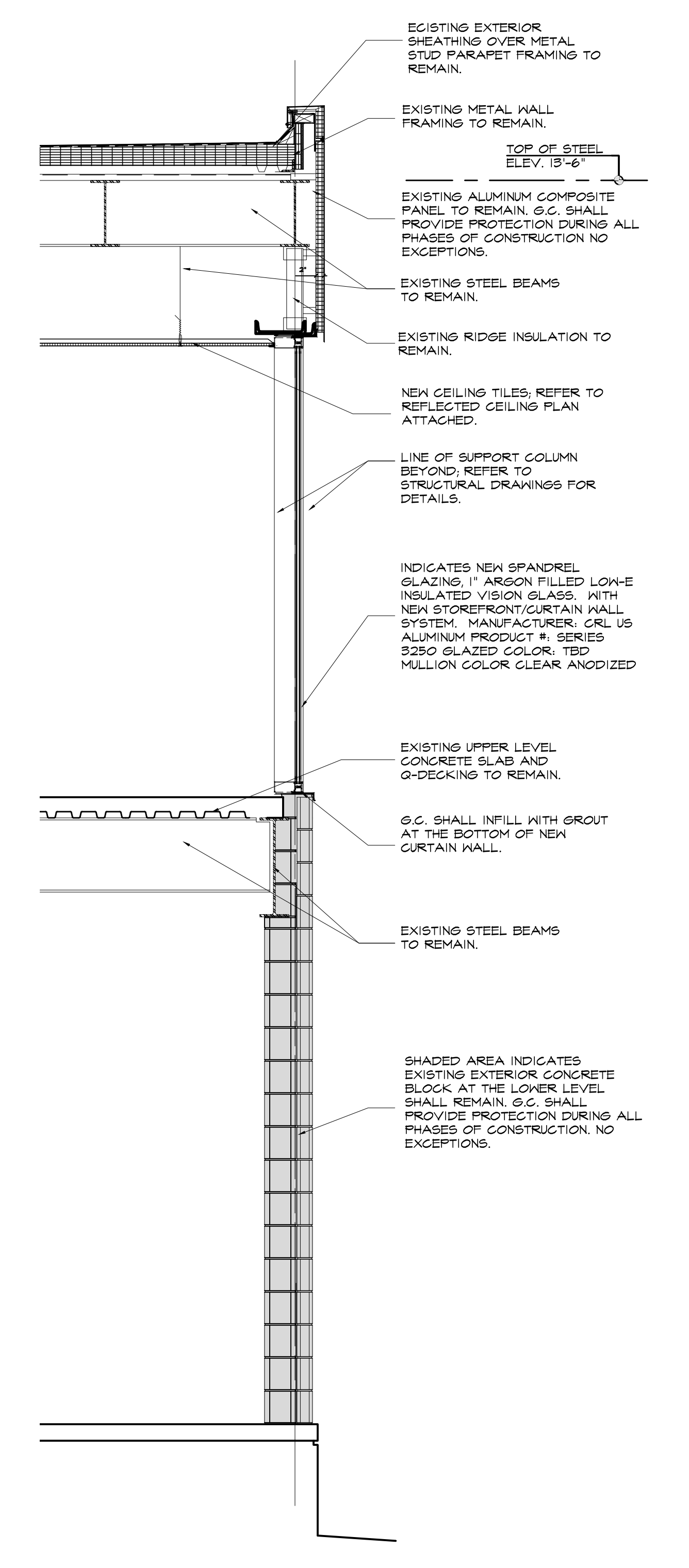
REGISTERED ARCHITECT
STATE OF NEW YORK
02819

SCALE: AS NOTED
DATE: 05/17/21
DRAWN BY: A.M.
CHECKED BY:
APPROVED BY:
DRAWING TITLE: WALL SECTIONS

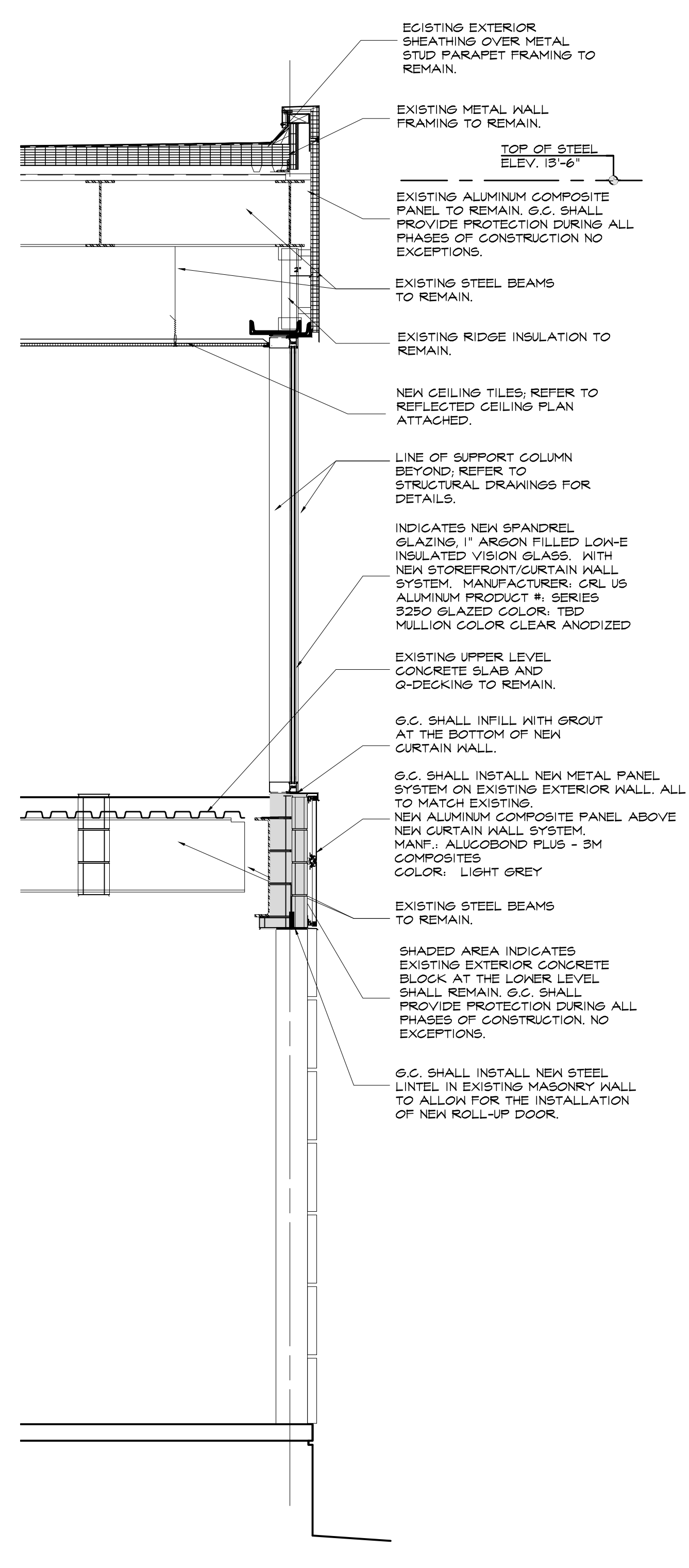
PROPOSED EXTERIOR BUILDING RENOVATIONS
2651 STRANG BOULEVARD
YORKTOWN HEIGHTS, NEW YORK 10598
GROUND FLOOR
ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2



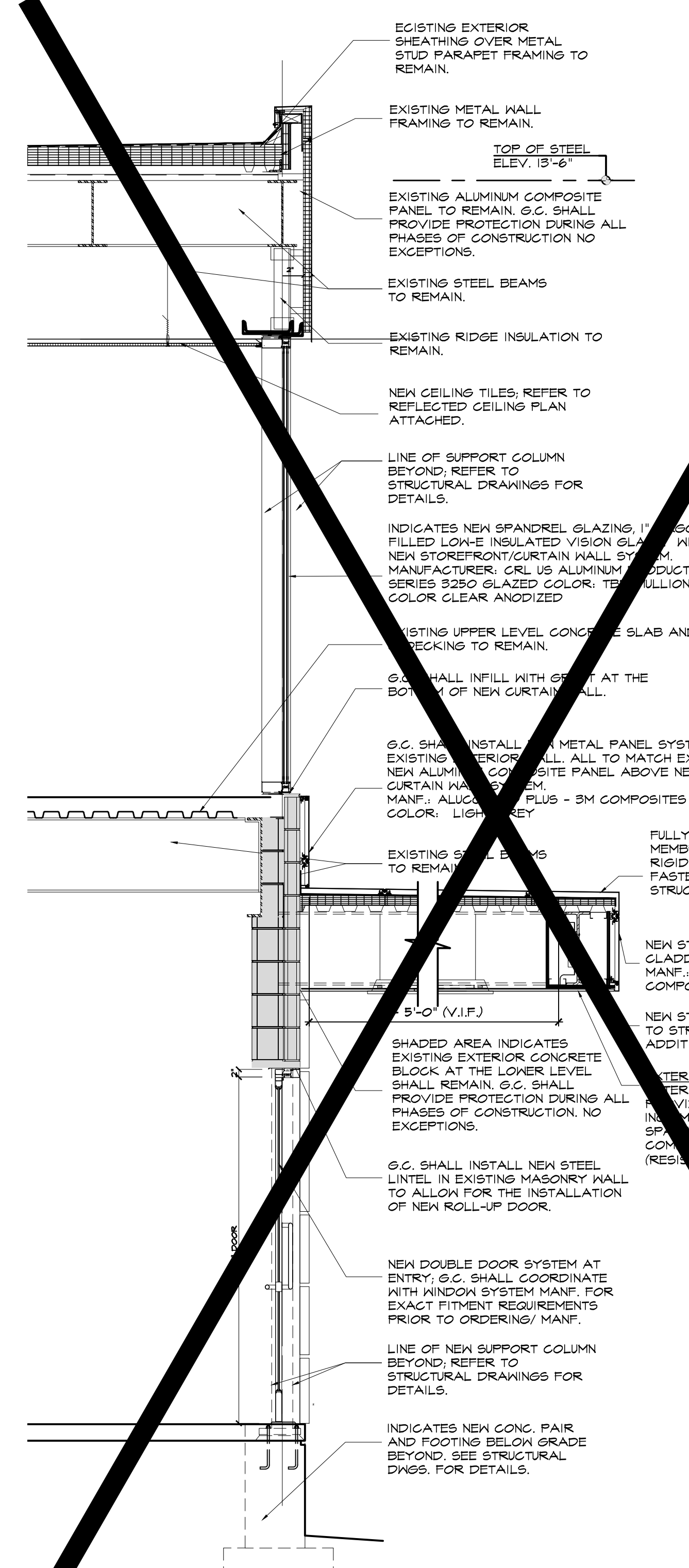
1 WALL SECTION
SCALE: 1/2" = 1'-0"



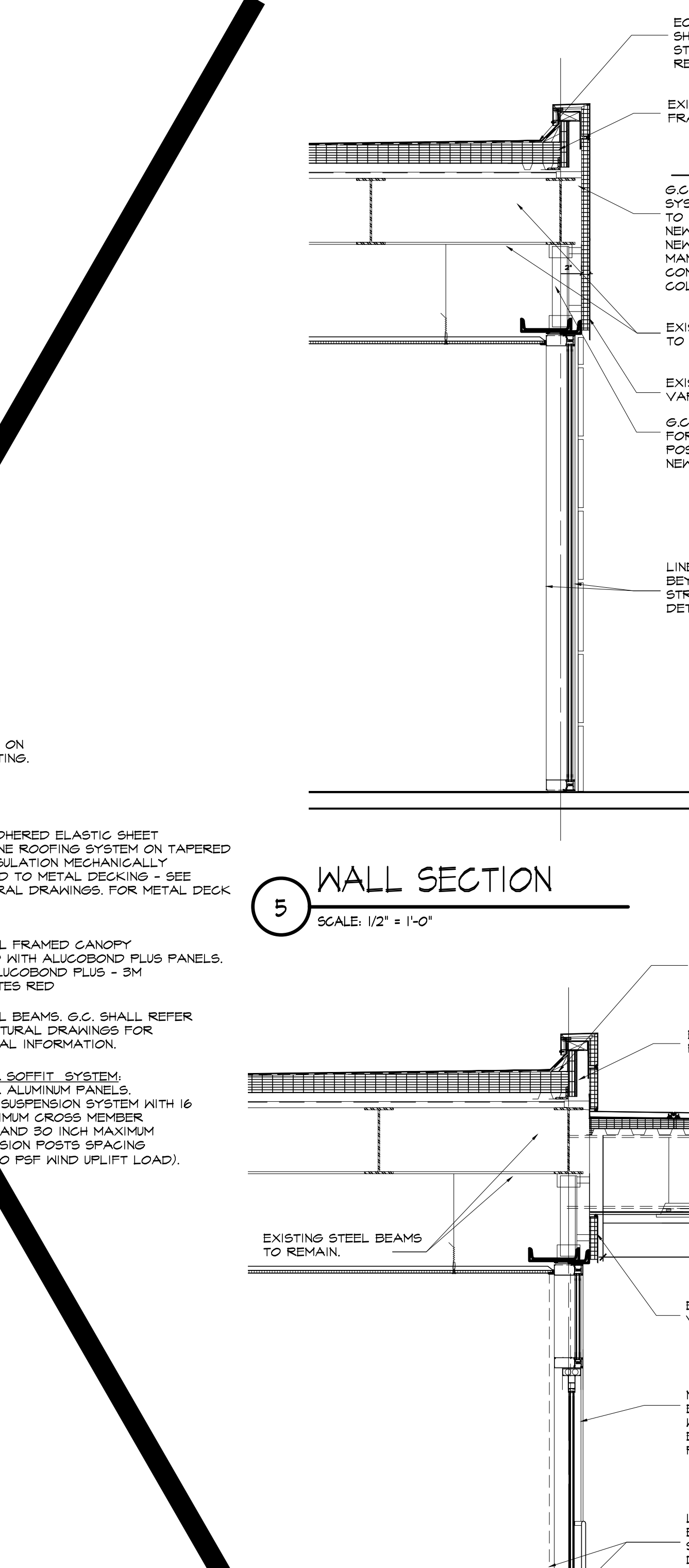
2 WALL SECTION
SCALE: 1/2" = 1'-0"



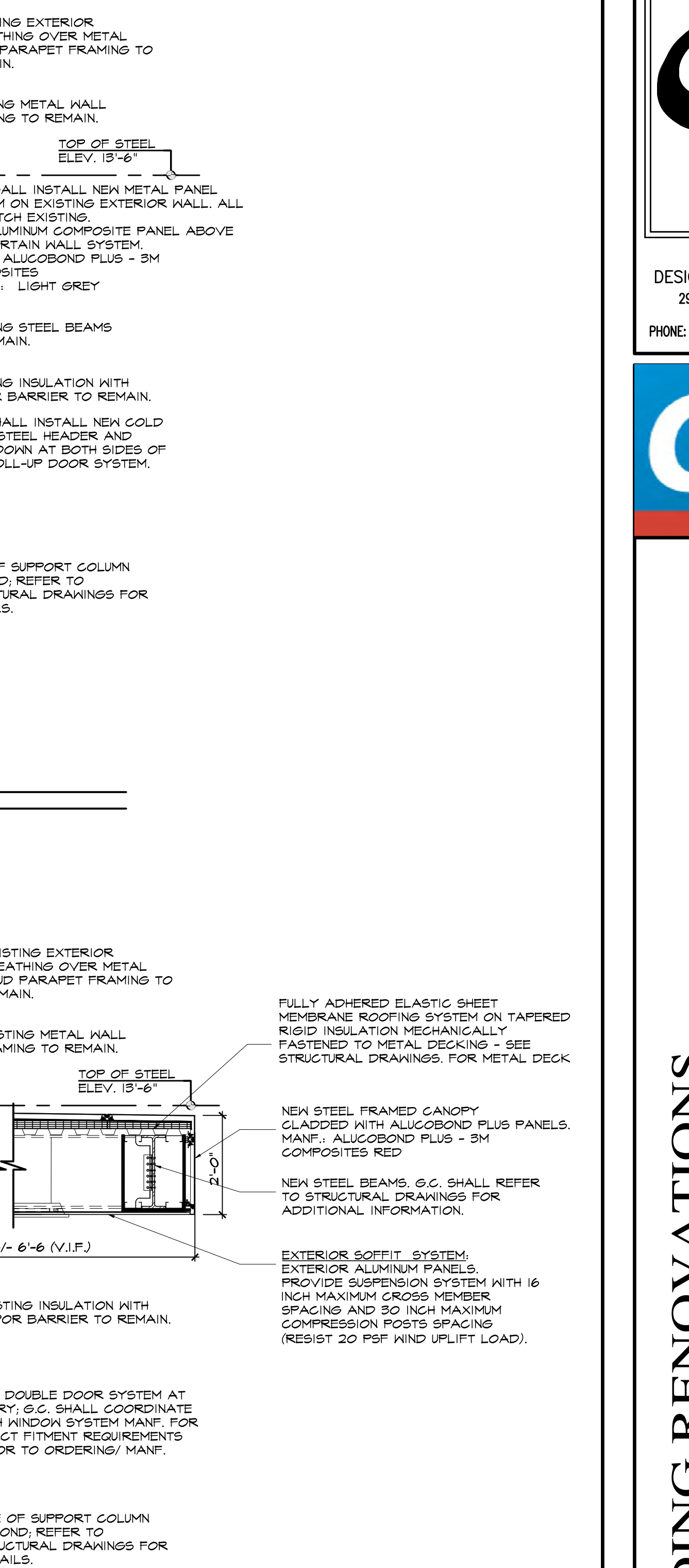
3 WALL SECTION
SCALE: 1/2" = 1'-0"



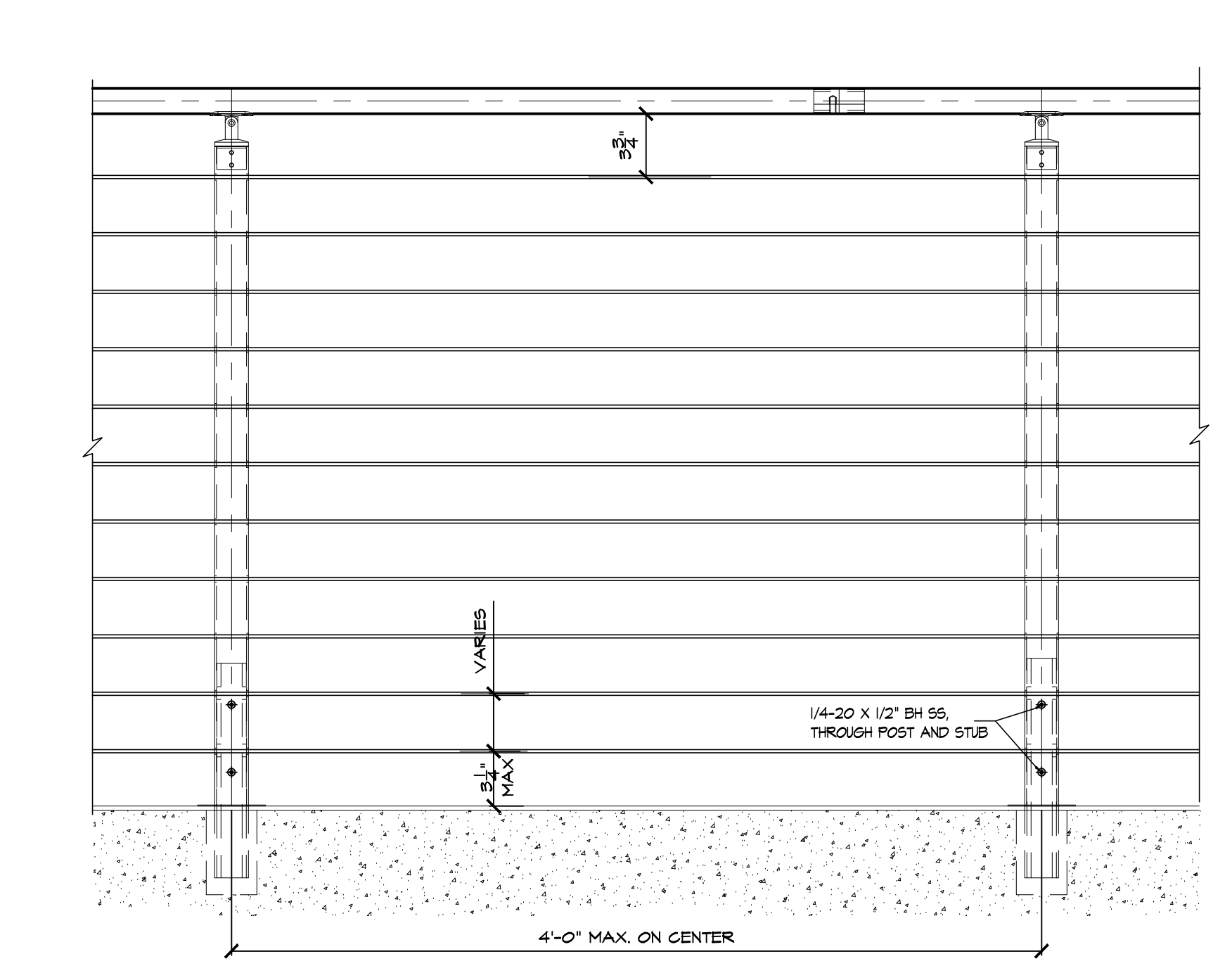
4 WALL SECTION
SCALE: 1/2" = 1'-0"



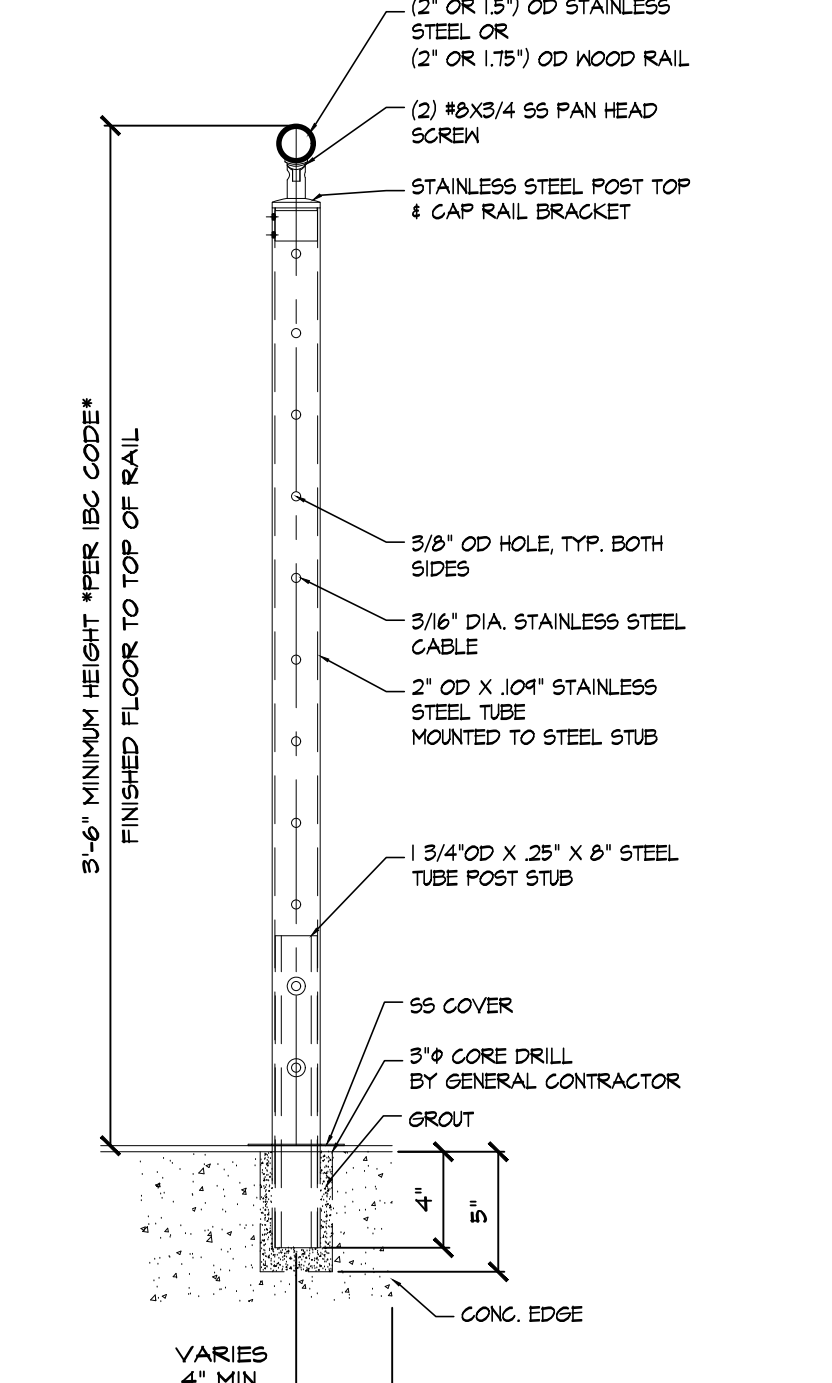
5 WALL SECTION
SCALE: 1/2" = 1'-0"



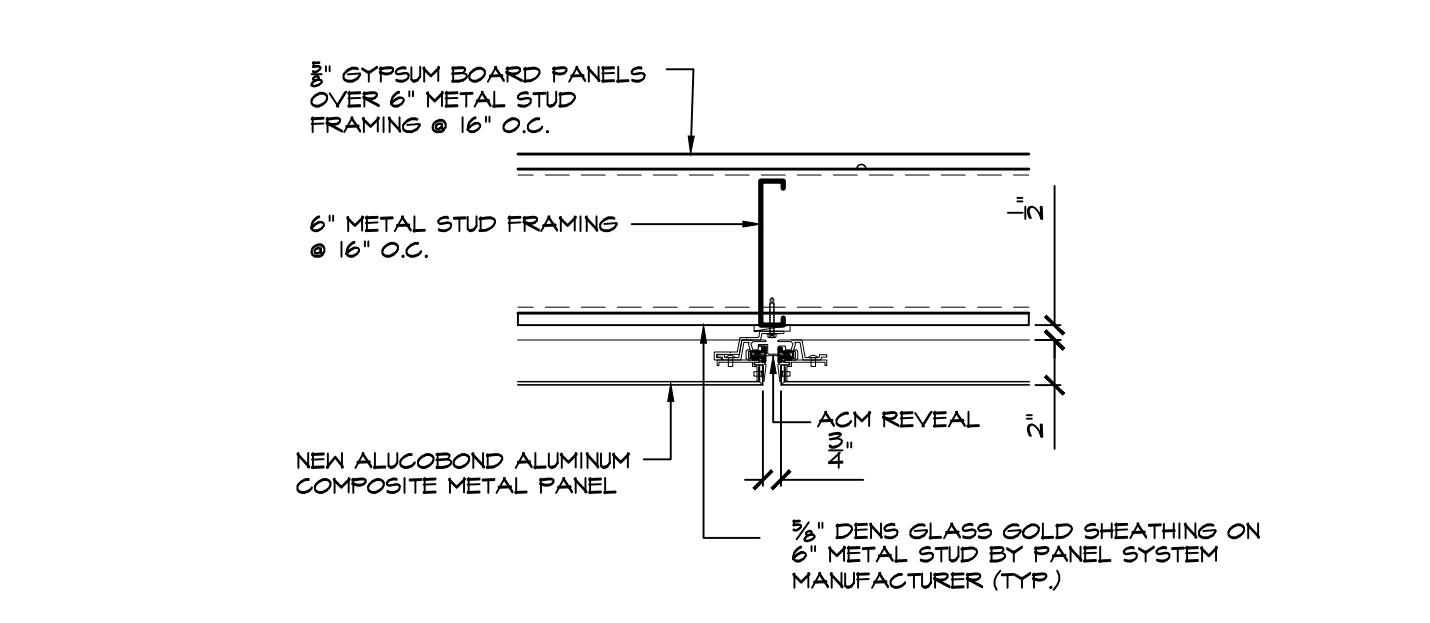
6 WALL SECTION
SCALE: 1/2" = 1'-0"



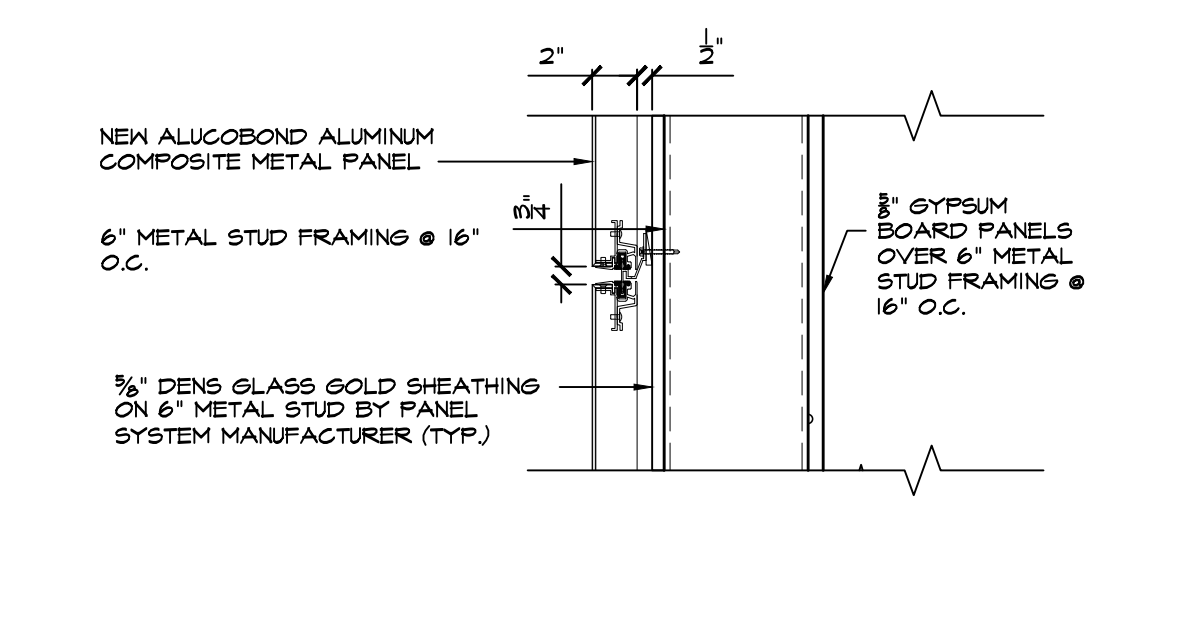
A ELEVATION @ STAIR/RAMP RAIL - TYP
SCALE: 1/2" = 1'-0"



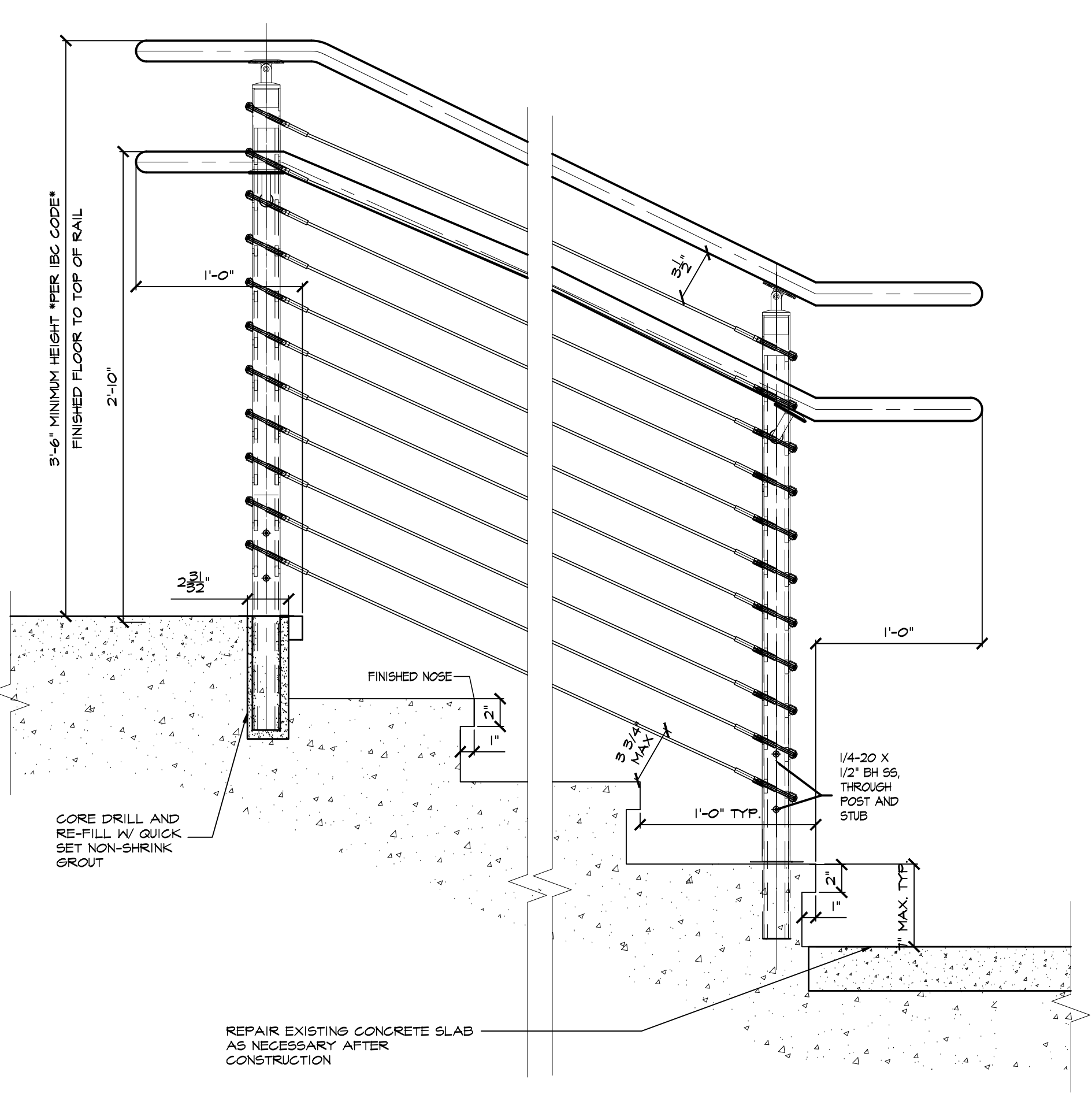
B TYP. SECTION @ STAIR TREADS
SCALE: 1/2" = 1'-0"



D DETAIL @ WALL VERTICAL JOINT
SCALE: 1/2" = 1'-0"



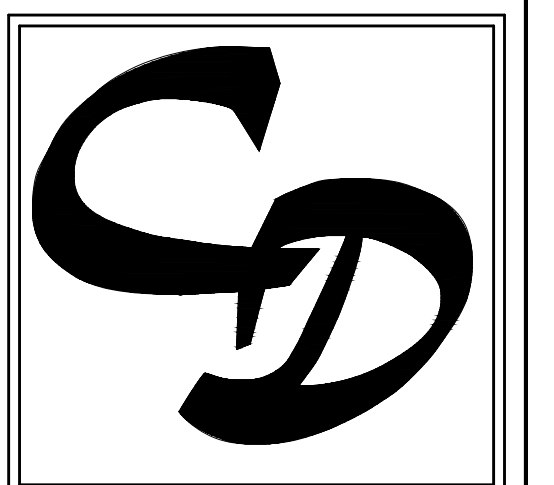
E DETAIL @ WALL HORIZONTAL
SCALE: 1/2" = 1'-0"



NO.	DATE	DESCRIPTION
1.	06/12/21	ISSUE FOR PLANNING BOARD REVIEW
2.	07/27/21	ISSUE FOR PLANNING BOARD REVIEW
3.	09/22/21	ISSUE FOR PLANNING BOARD REVIEW

REGISTERED ARCHITECT
STATE OF NEW YORK
02819

SCALE: AS NOTED
DATE: 05/17/21
PROJECT NO: 21-000-00
DRAWN BY: A.M.
CHECKED BY:
APPROVED BY:
DRAWING TITLE: WALL SECTIONS



CARDARELLI
DESIGN & ARCHITECTURE, P.C.
297 KNOWLEDGE ROAD, SUITE 202
WHITE PLAINS, NY 10607
PHONE: 914-437-9554 / FAX: 914-437-9555



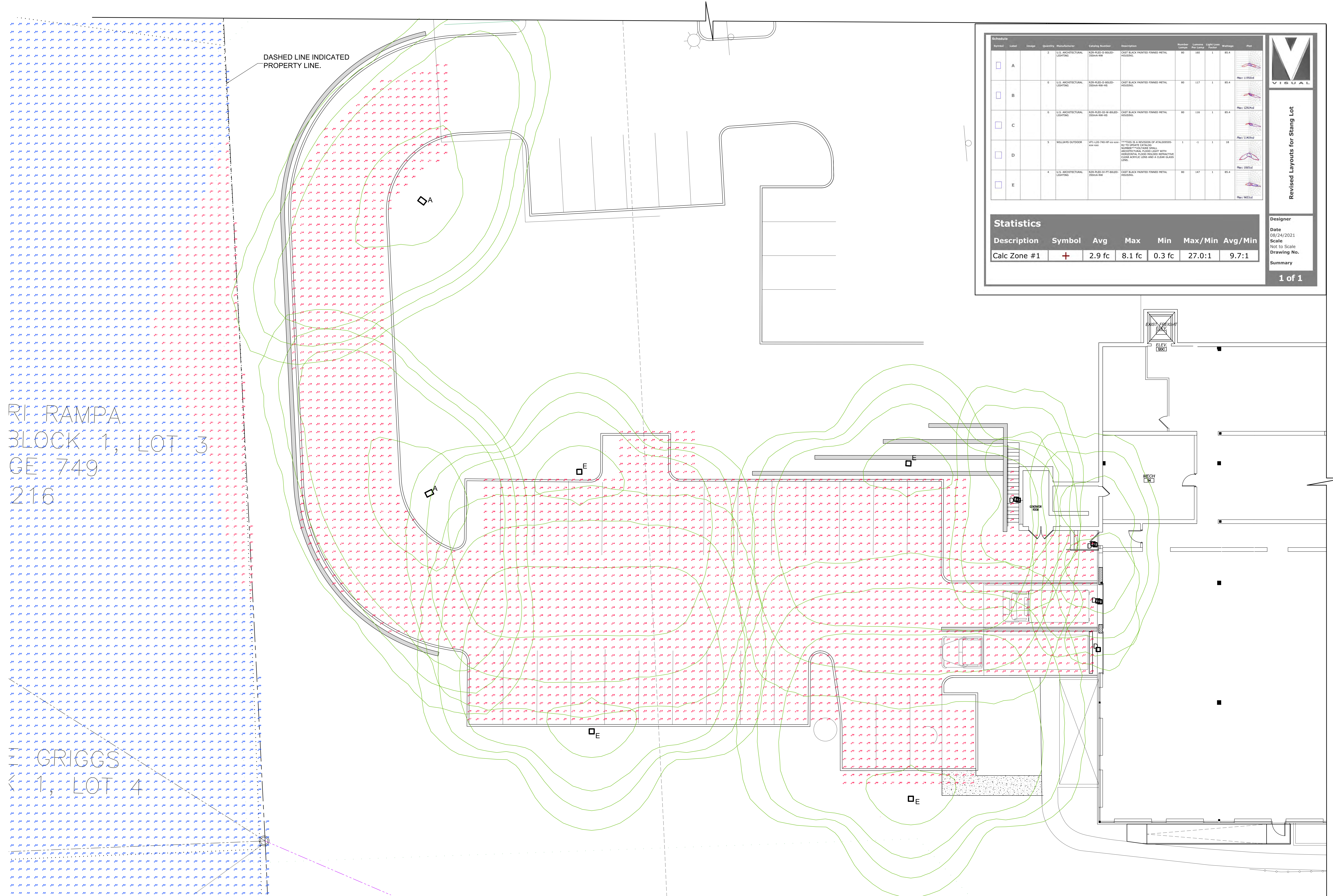
PROJECT: **PROPOSED EXTERIOR BUILDING RENOVATIONS**
2651 STRANG BOULEVARD
YORKTOWN HEIGHTS, NEW YORK 10598
GROUND FLOOR
ZONE DISTRICT: OB / SECTION: 26.19 / BLOCK: 1 / LOT: 2

NO.	DATE	DESCRIPTION
1.	06/17/21	ISSUE FOR PLANNING BOARD REVIEW
2.	07/27/21	ISSUE FOR PLANNING BOARD REVIEW
3.	09/22/21	ISSUE FOR PLANNING BOARD REVIEW

SEAL

SCALE: AS NOTED DATE: 05/17/21 PROJECT NO: 21-000-00
DRAWN BY: A.M. CHECKED BY: APPROVED BY:
DRAWING TITLE: **EXTERIOR LIGHTING LAYOUT**

DRAWING NO: **A7**



DASHED LINE INDICATED PROPERTY LINE.

REF RANPA
BLOCK 1, LOT 3
GE 749
216

GRIGGS
LOT 4

Schedule	Item	Level	Image	Quantity	Manufacturer	Catalog Number	Description	Number Per Fixture	Lot Area	Light Level (Foot-Candle)	Footcandle	Plot
A	2	U.S. ARCHITECTURAL LIGHTING		2	U.S. ARCHITECTURAL LIGHTING	SIZE PLED-30-BL-3004-WA-15	DAY BLACK PAINTED FINED METAL HOUSING	88	100	1	85.4	
B	0	U.S. ARCHITECTURAL LIGHTING		0	U.S. ARCHITECTURAL LIGHTING	SIZE PLED-30-BL-3004-WA-15	DAY BLACK PAINTED FINED METAL HOUSING	88	117	1	85.4	
C	0	U.S. ARCHITECTURAL LIGHTING		0	U.S. ARCHITECTURAL LIGHTING	SIZE PLED-30-BL-3004-WA-15	DAY BLACK PAINTED FINED METAL HOUSING	88	116	1	85.4	
D	5	WILLIAMS OUTDOOR		5	WILLIAMS OUTDOOR	WFL-LED-780-HP-15-WA-150-000	****THIS IS A REVISION OF A LUMINAIRE AS TO UPWARD CANNON BEAMING. THIS LUMINAIRE IS NOT TO BE USED WITH HORIZONTAL FLOOD MOUNTED REFRACTORS. LOOK FOR THE CLEAR GLASS LENS.	1	11	1	88	
E	4	U.S. ARCHITECTURAL LIGHTING		4	U.S. ARCHITECTURAL LIGHTING	SIZE PLED-30-FT-BL-3004-WA	DAY BLACK PAINTED FINED METAL HOUSING	88	147	1	85.4	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.9 fc	8.1 fc	0.3 fc	27.0:1	9.7:1

Revised Layouts for Stang Lot

Designer: **STEFANO CARDARELLI**
Date: 05/24/2021
Scale: Not to Scale
Drawing No.:
Summary:
1 of 1

State Environmental Quality Review
NEGATIVE DECLARATION
 Notice of Determination of Non-Significance

Project Number

Date:

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Northern Westchester Executive Park
 GHP Strang LLC

SEQR Status: Type 1
 Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

It is proposed to provide 25 additional parking spaces and 2 loading spaces at the rear of the northern building.

Section 26.19, Block 1, Lot 2

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

2649-2655 Strang Boulevard, Yorktown Heights, Westchester County, New York

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

- 1) This Negative Declaration is based on a Full Environmental Assessment Form dated June 16, 2021.
- 2) The proposed additional parking is a minor improvement.
- 3) Commercial properties do not have an impact on Town services.
- 4) The proposed development will only remove 3 trees.
- 5) A stormwater pollution prevention plan has been developed to mitigate additional runoff created by the new parking area.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN, STORMWATER POLLUTION
PREVENTION PLAN, AND TREE PERMIT FOR THE
NORTHERN WESTCHESTER EXECUTIVE PARK**

RESOLUTION NUMBER: #00-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, Garrigan, and Visconti, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "2649-2655 Strang Boulevard," prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021 was submitted to the Planning Board by Joseph M. Cermele, P.E., CFM on behalf of GHP Strang LLC (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by GHP Strang LLC is located at 2649-2655 Strang Boulevard,, also known as Section 26.19, Block 1, Lot 2 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on <DATE>.
3. A negative declaration has been adopted on <DATE> on the basis of a Full EAF dated June 16, 2021.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A drawing, Sheet 1 of 8, titled "Overall Existing Conditions Plan," prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and
2. A drawing, Sheet 2 of 8, titled "Overall Site Plan," prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and
3. A drawing, Sheet 3 of 8, titled "Enlarged Site Plan," prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and
4. A drawing, Sheet 4 of 8, titled "Enlarged Grading & Utilities Plan," prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and
5. A drawing, Sheet 5 of 8, titled "Enlarged Erosion and Sediment Control Plan Plan,"

prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and

6. A drawing, Sheet 6 of 8, titled “Driveway Profiles,” prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and
7. A drawing, Sheet 7 of 8, titled “Details,” prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and
8. A drawing, Sheet 8 of 8, titled “Details,” prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021; and

Architectural Plans

9. A drawing, Sheet AO, titled “Cover Sheet,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
10. A drawing, Sheet DM1, titled “Demolition Plan,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
11. A drawing, Sheet A1, titled “Foundation Plan,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
12. A drawing, Sheet A2, titled “Construction Plan,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
13. A drawing, Sheet A3, titled “Elevations,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
14. A drawing, Sheet A4, titled “Wall Sections,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
15. A drawing, Sheet A5, titled “Wall Sections,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
16. A drawing, Sheet A6, titled “Retaining Wall Details,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and
17. A drawing, Sheet A7, titled “Exterior Lighting Layout,” prepared by Cardarelli Design & Architecture, P.C., dated May 17, 2021, and last revised August 30, 2021; and

Reports

18. A Stormwater Pollution Prevention Plan Report prepared for GHP Strang LLC, prepared by Kellard Sessions Consulting, and last revised August 2021; and

WHEREAS there are 692 existing parking spaces located on the site and the Applicant proposes to add 25 additional parking spaces and 2 loading spaces in a new parking area at the north side of the northern building to allow easier access to that location on the site, where 689 parking spaces are shown on the approved site plan; and

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the

Yorktown Town Code on the said site plan application at the Town Hall in Yorktown Heights, New York on August 9, 2021; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing and closing on September 13, 2021 at Town Hall in Yorktown Heights, New York;

BE IT NOW RESOLVED that the application of Joseph M. Cermele, P.E., CFM for the approval of a site plan titled “2649-2655 Strang Boulevard,” prepared by Kellard Sessions Consulting, dated June 18, 2021, and last revised August 27, 2021, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. There are 4 handicap parking spaces that were reconfigured in the existing northern parking lot.
2. _____
3. _____

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the Planning Board.
2. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

Application Fee \$2,814.00

3. Submission of inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements:

4. Proposed plan must comply with all current applicable ADA standards.
5. Applicant must obtain all necessary permits from outside agencies.
6. Upon completion of the project, the Applicant must submit an as-built survey, on paper and in digital AutoCAD DWG readable format, showing all improvements on the site.

BE IT FURTHER RESOLVED, that in accordance with Town Code Chapter 248, Chapter 178, Section §300-228(A), and Chapter 270, the application of Joseph M. Cermele, P.C., CFM for the approval of a Stormwater Pollution Prevention Plan and Tree Permit **#FSWPP-T-038-21** is approved subject to the conditions listed therein; and

RESOLVED, Permit **#FSWPP-T-038-21** shall not be valid until it has been signed by the Chairman of this Board;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a “Qualified Inspector” as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by **<DATE>**, or a time extension has been granted by the Planning Board, this approval will be null and void.

Arcadia Farm

Solar Farm

Nancy Calicchia

From: Julia Magliozzo <julia.magliozzo@ecogyenergy.com>
Sent: Thursday, September 16, 2021 5:32 PM
To: Robyn Steinberg
Cc: Nancy Calicchia; Mike Tarzian
Subject: Arcadia Solar Public Hearing Notices and Sign Certification
Attachments: Arcadia Solar Abutters Notices Receipt 9-16-2021.pdf;
Ecogy_Arcadia_Sign_Certification_Signed 9-16-2021.pdf

RECEIVED
PLANNING DEPARTMENT
SEP 17 2021
TOWN OF YORKTOWN

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon Robyn,

We have sent the notices and confirmed the sign is visible on site in anticipation of the Arcadia Farm Solar Farm Public Hearing on September 27. I have attached below a receipt from mailing the notices. I have also attached below the Sign Certification Form. Let me know if you need anything additional from us prior to the public hearing.

Best,

Julia Magliozzo

Director of Operations

Ecogy Energy

www.ecogyenergy.com

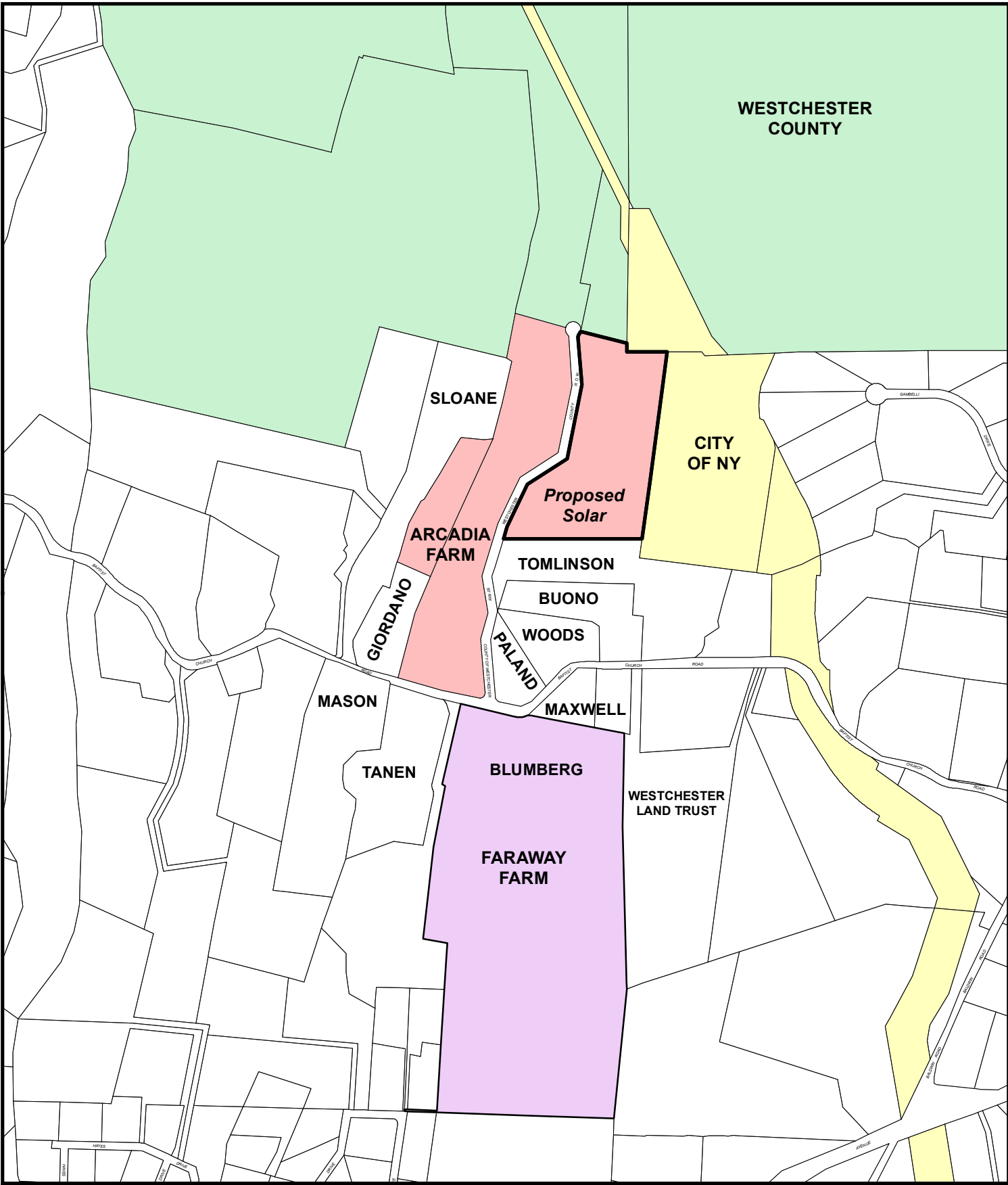
Brooklyn, NY

Office: 718-304-0945 ext 2

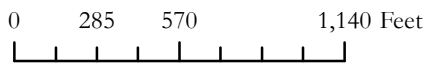
Mobile: 347-410-1198

Please consider the environment before printing this email.

DISCLAIMER: This communication, along with any documents, files or attachments, is intended only for the use of the addressee and contains privileged and confidential information. If you are not the intended recipient, you are hereby notified that any dissemination, distribution or copying of any information contained in or attached to this communication is strictly prohibited. If you have received this message in error, please notify the sender immediately by email reply and destroy the original communication and its attachments without reading, printing or saving in any manner.



TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



1 inch = 664 feet

TITLE: Arcadia Farm Proposed Solar Location
 DATE: September 24, 2021

FILE: F:\ArcGIS\PROJECTS\Arcadia-PH-Map.mxd
 BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

RECEIVED
PLANNING DEPARTMENT

SEP 17 2021

TOWN OF YORKTOWN



Firm Mailing Book For Accountable Mail

Name and Address of Sender

- Check type of mail or service
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 - Adult Signature Restricted Delivery
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 - Certified Mail Restricted Delivery
 - Collect on Delivery (COD)
 - Insured Mail
 - Priority Mail
 - Priority Mail Express
 - Registered Mail
 - Return Receipt for Merchandise
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

Postage (Extra Service) Fee Handling Charge Actual Value if Registered Insured Value Due Sender if COD ASR Fee ASD Fee RD Fee RR Fee SC Fee SCR Fee SH Fee

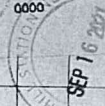
1. **Damien V. and Marcie Buono**
1250 Baptist Church Rd.
Yorktown Heights, NY 10598
2. **Joseph Tomlinson**
P.O. Box 67
Mathews, VA 23109
3. **Christopher Woods**
1270 Baptist Church Rd.
Yorktown Heights, NY 10598
4. **Andrew G. Paland**
1290 Baptist Church Rd.
Yorktown Heights, NY 10598
5. **Mark Giordano**
1340 Baptist Church Rd.
Yorktown Heights, NY 10598
6. **Barry Sloane**
P.O. Box 2, 1358 Baptist Church Rd.
Yorktown Heights, NY 10598
7. **County of Westchester**
County Office Building 148 Martine Ave.
White Plains, NY 10601
8. **City of NYDWSG Bureau of Water Supply**
71 Smith Ave.
Kingston, NY 12401

Handling Charge - if Registered and que



U.S. POSTAGE PAID
NEW YORK, NY
10021
SEP 16, 21
AMOUNT
\$6.58
R2304E105507-09

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Signature Confirmation Restricted
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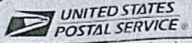
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- Priority Mail
- Priority Mail Express
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- Signature Confirmation
- Signature Confirmation Restricted Delivery

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 (for additional copies of this receipt).
 Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	County of Westchester County Office Building 148 Martine Ave. White Plains, NY 10601													
2.	City of NY Bureau of Water Supply 71 Smith Ave. Kingston, NY 12401													
3.	City of NY DWSG Bureau of Water Supply 71 Smith Ave. Kingston, NY 12401													
4.	Donald M Tanen 1335 Baptist Church Rd. Yorktown Heights, NY 10598													
5.	Leda Blumberg 1315 Baptist Church Rd. Yorktown Heights, NY 10598													
6.	Lawrence Blumberg 1325 Baptist Church Rd. Yorktown Heights, NY 10598													
7.														
8.														

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

Total Number of Pieces Listed by Sender: 6
 Total Number of Pieces Received at Post Office: 6

Postmaster, Per (Name of receiving employee)

Complete in Ink

SEP 17 2021

TOWN OF YORKTOWN

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 47.11 Block 1 Lot 4

Project Name: Arcadia Farm Ground Mount Solar

Address: 1300 Baptist Church Rd, Yorktown Heights, NY 10598

Applicant's Name: Croton Energy Group

Address: 75 South Riverside Ave, Croton-on-Hudson, NY 10520

Phone: (914) 862-4220

No. Signs Posted: 1

Sign #1 Location: Near the blue Arcadia Farm sign

Sign #2 Location: _____

Sign #3 Location: _____

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: _____

DocuSigned by:
Mike Tarzian
1AAE86EC4AB8482...

Land Owner's Signature: _____

DocuSigned by:
Patricia Peckham
D6DFA39357B842D...

Sign posted behind the blue Arcadia Farm sign



Westchester County Planning Board Planning and Zoning Action Referral Form

Westchester County Planning Board comments due by:
09/10/2021

Referral Name: Arcadia Farm Solar Farm

Address: 1300 Baptist Church Road

Municipality: Yorktown

Local Case Number: _____

Zip code of location of the action: 10598

Local Meeting Date: 8/16 & 9/13

Section: 47.11 Block: 1 Lot: 4

Public Hearing: Yes No

Referring Agency:

- City Council
- Town/Village Board
- Planning Board/Commission
- Zoning Board
- Other: _____

General Land Use Classification: R1-160

Type of Action

- New
- Expansion
- Modification

SEQR Action

- | | | |
|---|------------------------------------|---|
| <input checked="" type="checkbox"/> EAF | <input type="checkbox"/> Draft EIS | <input type="checkbox"/> Positive Declaration |
| <input checked="" type="checkbox"/> Lead Agency | <input type="checkbox"/> Final EIS | <input type="checkbox"/> Negative Declaration |
| <input type="checkbox"/> Draft Scope | <input type="checkbox"/> Findings | |

Referral Description:

Application by Croton Energy Group for installation of 2,235 445W solar Modules, (8) 100 kWAC SolarEdge Inverters, (1) 800 A combiner panel, (1) 800 A A/C disconnect switch, (1) 100 kVA transformer as shown on submitted plans.

This farm is located within the Westchester County Agricultural District.

Referral Trigger (Type of Action)*

Please check appropriate box for actions involving **more than 5,000 square feet of new or renovated floor area OR 10,000 square feet of total land disturbance**. If this action involves less floor area or land disturbance, please use a "notification only" form to reduce paperwork/waste.

- Special Use Permit or Use Variance**
- Subdivision Plat** (Only when a new street will connect directly into a **state or county** road or a new drainage line will connect directly into a **county** drainage channel)
- Zoning Ordinance or Map** (Adoption or Amendment)
- Moratoriums**

- Comprehensive Plan** (Adoption or Amendment)
- Official Map** (Adoption or Amendment)
- Site Plan** (please circle the condition)
Affecting property within 500 feet of:

- A municipal boundary;
- The boundary of an existing or proposed **state or county** park or any other **state/county** recreation area;
- The right-of-way of an existing or proposed **state or county** road;
- An existing or proposed **county** drainage channel line;
- The boundary of **state or county**-owned land on which a public building/ institution is located;
- The boundary of a farm located in an agricultural district.

Contact Information

Local Contact Name: Robyn Steinberg

Department/Agency: Yorktown Planning Department

Phone Number: 914-962-6565 Email Address: rsteinberg@yorktownny.org

Please provide notice at least **10 days** prior to any hearing (**30 days** in advance for site plans) **with supporting documentation** (including an EAF) and return address to:

Municipal Referrals
Westchester County Department of Planning
148 Martine Avenue, Room 432
White Plains, NY 10601-3311

Note: You may fax this sheet to (914) 995-3780, in order to start the referral process. Please send all supporting documentation within one business day of sending the fax.

* **Note:** This list is provided as a convenience. Please check General Municipal Law and the Westchester County Code to be certain which actions to refer.

TOWN OF YORKTOWN
AGRICULTURAL DATA STATEMENT

1. Applicant information:

Name: Croton Energy Group

Address: 75 South Riverside Avenue, Croton-on-Hudson, NY 10520

2. Location of the proposed action:

Arcadia Farm, 1300 Baptist Church Road, Yorktown

3. Description of the proposed action:

(A) Size of parcel or acreage to be acquired: 11.67 acres

(B) Tax map designation of all parcels in action: 47.11-1-4

(C) The type of action proposed: Solar ground mount array

(D) Description: Installation of 2235 445W solar modules, (8) 100kWAC

SolarEdge inverters, (1) 800A combinder panel, (1) 800A A/C disconnect switch,

(1) 100kVA transformer

4. Name address, telephone number and type of farm of owner(s) of land within the agricultural district which land contains farm operation(s) and upon which the project is proposed or which is located within 500 feet of the boundary of the property upon which the project is proposed:

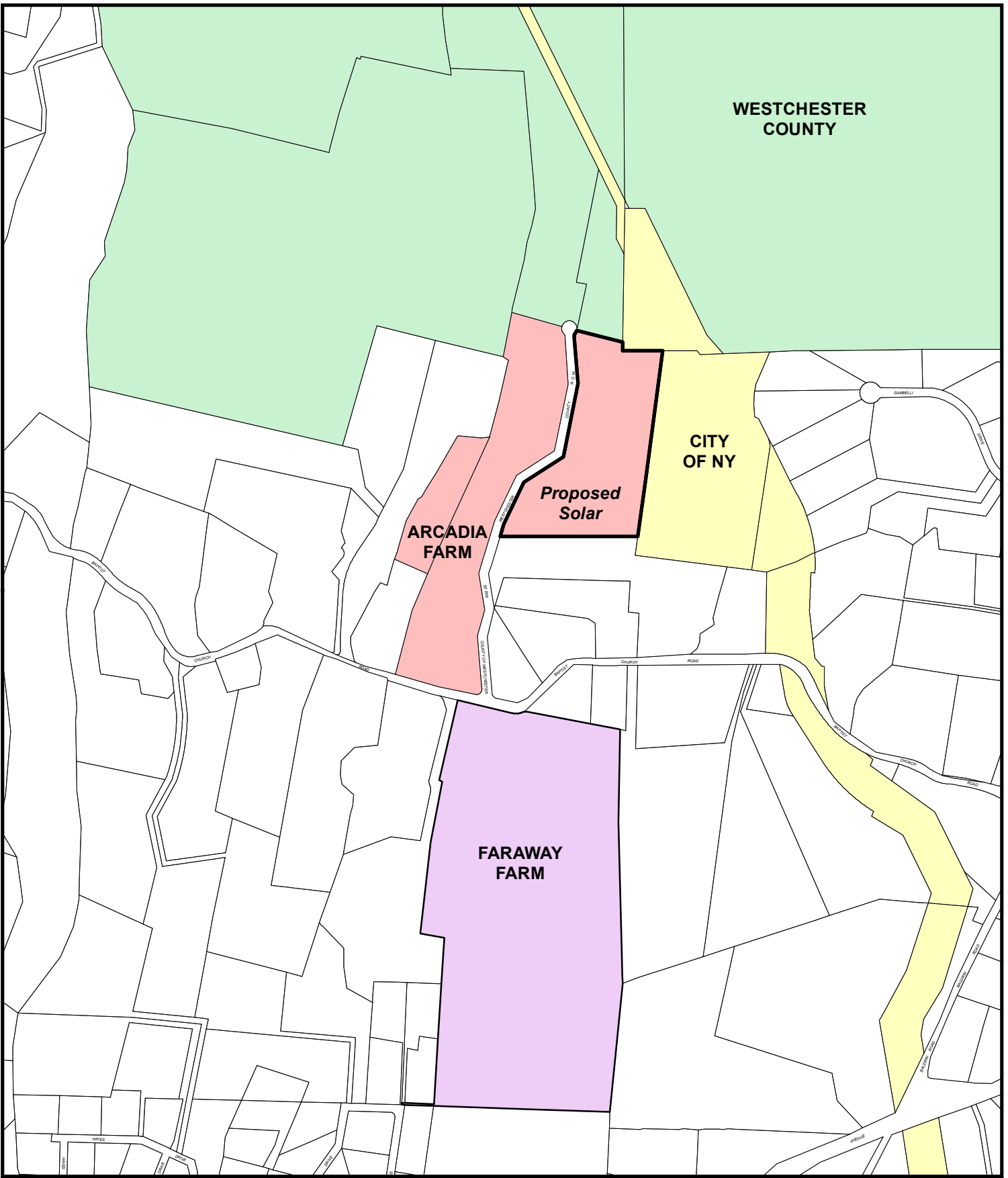
Name: Arcadia Farm Faraway Farm

Address: 1300 Baptist Church Rd 1305 Baptist Church Rd

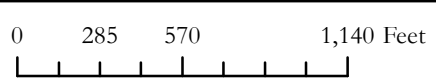
Phone: 914-455-2477 914-962-2110

Type of Farm: Horse (equine) Horse (equine), Alpacas

5. Attach a tax map or other map showing the site of the proposed project relative to the location of the farm operations identified in the ADS.



TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



1 inch = 664 feet

TITLE: Arcadia Farm Proposed Solar Location
 DATE: August 10, 2021

FILE: F:\ArcGIS\PROJECTS\Arcadia-ADS-Map.mxd
 BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

George Latimer
County Executive

August 30, 2021

Robyn A. Steinberg, Town Planner
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

SEP 1 2021

TOWN OF YORKTOWN

**County Planning Board Referral File YTN 21-009 – Arcadia Farm Solar Farm
1300 Baptist Church Road
Site Plan and Special Use Permit**

Dear Ms. Steinberg:

The Westchester County Planning Board has received a site plan (dated July 28, 2021) and related materials for the proposed installation of a solar farm to be located on an 11.67-acre parcel located at 1300 Baptist Church Road (SBL 47.11-1-4). The site is part of the Arcadia Farm horse training and boarding facility and contains paddock areas and forest. While the site abuts Mohansic County Golf Course to the north, the solar panels would be installed on a 5.11-acre portion of the site in its southeastern quadrant, surrounded by other aspects of the horse farm. Access to the solar array would be provided via the existing driveway for the farm. A new underground electric line would connect the array to the existing electric lines adjacent to Baptist Church Road.

We have no objection to the Yorktown Planning Board assuming Lead Agency status for this review.

We have reviewed this matter under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and we offer the following comments:

1. Impacts to Agricultural Land

The New York State Department of Agriculture and Markets considers solar installations on farmland as ancillary to the farm operation if generating a maximum of 110% of the electricity needs of the farm operation. Such an installation would be considered part of the farm operation and would receive protection under NYS Agricultural District Law. However, installations that generate in excess of 110% of the needs of the farm would not be considered an agricultural operation. This scale of installation would not receive the protections under Agricultural District Law and would also be considered conversion of the land to a non-agricultural use, which may have tax implications with respect to the agricultural tax assessment program. Refer to the Solar Energy Guidelines prepared by NYSERDA (attached).

We recommend that applications for ground-mounted solar installations on farmland, particularly prime agricultural soils and soils of statewide importance (NRCS Soil Survey), should include a narrative description of how the impacts to the farm operation will be minimized and mitigated. That narrative should include a description of whether the area will be fenced off from the farm operation, if dual-use

agriculture (such as solar grazing, <https://solargrazing.org/>) was investigated for the solar array area or if the solar array will be planted as pollinator habitat or other valuable habitat intended to support the agricultural operation or ecology in the area. A decommissioning plan should detail the conditions under which the use of the solar array will be discontinued, a timeline and methods to be used to decommission the site and restore the land for agricultural use, and demonstration of an adequate escrow or other financing mechanism to ensure the decommissioning and restoration will be performed. We note that compaction of soils during installation and decommissioning can significantly impact the viability of the land for future agricultural use. We recommend that the project follow the guidelines developed by the New York State Department of Agriculture and Markets (attached).

2. Impacts of deforestation.

While the proposed solar farm would be located mostly within cleared paddock land, the site plans indicate that 197 trees are to be removed. The landscaping plan indicates that 73 new trees are to be planted. While we are generally supportive of adding more solar power to our region's energy grid, such installations should balance the expense of other environmental factors, such as the carbon-negative impact of deforestation. We recommend the Town consider if the replacement trees suitably offset this impact.

3. Potential visual impact to Mohansic County Golf Course

The subject site abuts Mohansic County Golf Course which raises a concern about visual impact. While open paddock area and forest area will remain between the solar farm and the golf course, potentially providing a visual buffer, we request the applicant prepare a visual impact analysis evaluating potential impacts to the golf course and proposing adequate mitigation.

4. Croton Watershed protection.

The site is located in the Croton Watershed. Components of the site development may be subject to compliance with the New York City Department of Environmental Protection (NYC DEP) *Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and its Sources*, including the preparation of a Stormwater Pollution Prevention Plan. Adequate erosion and sediment control and stormwater runoff water quality protection, both during and after construction, are of critical importance.

Please inform us of the Town's decision so that we can make it a part of the record.

Thank you for calling this matter to our attention.

Respectfully,
WESTCHESTER COUNTY PLANNING BOARD

By: 

Norma V. Drummond
Commissioner

NVD/MV

cc: Kathy O'Connor, Commissioner, Department of Parks, Recreation & Conservation
Peter Tartaglia, First Deputy Commissioner, Department of Parks, Recreation & Conservation
Cynthia Garcia, Bureau of Water Supply, SEQR Coordination Section, NYC DEP



September 1, 2021

RECEIVED
PLANNING DEPARTMENT
SEP 1 2021
TOWN OF YORKTOWN

Robyn A. Steinberg, AICP
Town of Yorktown Planning Board
363 Underhill Avenue, P.O. Box 703
Yorktown Heights, NY 10598

*Vincent Sapienza P.E.
Commissioner*

**Re: Notice of Intent to be Lead Agency
Arcadia Solar Farm
1300 Baptist Church Road
Town of Yorktown, Westchester County
Tax Map #: 47.11-1-4
DEP Log #: 2019-CNC-0252-SQ.1**

Paul V. Rush, P.E.
Deputy Commissioner
Bureau of Water Supply
prush@dep.nyc.gov

Dear Ms. Steinberg and Members of the Planning Board:

165 Columbus Avenue
Valhalla, NY 10595

T: (845) 340-7800
F: (845) 334-7175

The New York City Department of Environmental Protection (DEP) has reviewed the Town of Yorktown Planning Board's (Board) Notice of Intent to act as Lead Agency and short Environmental Assessment Form (EAF) for the above referenced project. DEP does not object to the Board acting as Lead Agency for the Coordinated Review of the proposed action pursuant to the New York State Environmental Quality Review Act (SEQRA).

The proposed site is located in the New Croton Reservoir drainage basin of New York City's Water Supply. As New Croton Reservoir is phosphorous restricted, water quality impacts to the receiving reservoir from pollutant-laden runoff must be avoided or mitigated.

The proposed action involves the installation of 2,236 445W Solar Modules, eight (8) 100kWAC Solar Edge Inverters, one (1) 800A Combinar Panel, one (1) 800A A/C Disconnect Switch, and one (1) 100kVA Transformer.

DEP's status as an involved agency stems from its review and approval authority for a Stormwater Pollution Prevention Plan (SWPPP) pursuant to Section 18-39 of the *Rules and Regulations for the Protection from Contamination, Degradation, and Pollution of the New York City Water Supply and Its Sources* (Watershed Regulations).

Based upon review of the submitted documents, DEP respectfully submits the following comments for the Board's consideration:

1. Although the solar panels are shown on the site plan as mounted on the ground using piles, it is unclear how the rain falling on the panels will be dissipated. The project sponsor must show the arrays with onsite topographic contours labeled on the site plan to verify whether the configuration of the arrays will result in parallel and concentrated flows

converging to the nearest watercourse. The project sponsor should explain how stormwater runoff will be dispersed onto the ground surface based on this solar panel arrangement. Please also note that offsite contours are not provided in order to verify whether a significant offsite drainage area contributes runoff to the proposed area of construction. At a minimum, contour information should be shown to confirm how runoff is managed both during and after construction.

2. According to SPDES General Permit, GP-015-002, Table 1 in Appendix B, solar arrays are considered an environment enhancement project. As such, pursuant to Watershed Regulations Section 18-39(b) (3) (ii), the applicant's representative must demonstrate whether this project will alter the hydrology from pre to post development conditions, and thus whether permanent post-development stormwater practices are required.
3. It appears that the some of the panels will be placed over the existing access roads and, as such, the applicant must confirm and indicate on the plans all proposed access roads that will be installed as part of this project. Also, the plans include some rectangular symbols that are not called out and should be properly labeled.
4. Although the EAF indicates 5.11 acres of project disturbance, the extent and nature of soil disturbance associated with panel installation must be provided. For example, a breakdown must be included for all disturbances associated with new access roads, trenching activities anticipated for the installation of MC cable, and the pad-mounted utility meter, generator, and transformer pad. The applicant's representative is encouraged to schedule a virtual pre-application meeting with DEP via Microsoft Teams to discuss the project SWPPP further. In addition, the applicant's representative should contact DEP representative Mariyam Zachariah at (914) 749-5357 to schedule a site walk to validate the presence and status of any watercourses onsite or in proximity to the site.
5. It is not clear from the information provided exactly how many trees will be removed. Loss of trees and/or vegetative cover increases the volume of stormwater runoff and the potential for pollutant loading and turbid stormwater flows to receiving wetlands and other surface water features. The project sponsor is encouraged to explain how these potential impacts will be alleviated both during and after the construction of the facility.
6. The submitted plans do not include information on proposed erosion and sediment control practices and methods to be utilized during construction. Without this information, it is difficult for involved

parties to analyze the extent of disturbance and potential adverse impacts in a presently dense vegetated area.

7. The proposed action may alter drainage flow or patterns of surface water runoff and may be incompatible with existing drainage patterns. Physical changes to the site may alter the existing direction of flow and may cause additional erosion and sedimentation. The impact of site improvements on existing flow patterns must be addressed, and mitigation proposed for adverse impacts that cannot be avoided.
8. The majority of the plants listed in the landscape plan L-701 are not native to the Hudson Valley region including *Cornus kousa*, *Malus x domestica*, *Picea abies*, *Pyrus communis*, *Hibiscus syriacus*, and *Mahonia aquifolium*. In addition, *Hibiscus syriacus* does have a tendency to escape cultivation and while not yet considered an invasive species in New York State, this species is considered invasive in several southeastern states. The submission included a Planting Recommendation letter from Paul Cowie Forestry that includes a diverse list of native tree and shrub species. It is suggested that the plant list be revised to include more of the native species that were recommended by the environmental consultant.
9. The seed mix to be utilized is not identified on the plan. A native seed mix should be applied at the manufacturer's suggested rate. The seed mix selected should tolerate the challenging microhabitat surrounding and below a solar array. For instance, if the site will be mowed only once annually, ERNMX-611 Northeast Solar Pollinator 4' Mix from Ernst Conservation Seed or equivalent should be considered. This mix provides a diverse species palette to accommodate the alternating shade/sun and moist/dry habitat of the solar farm. If the site will be regularly mowed, ERNMX-186-1 Native/ Naturalized Solar Farm Seed Mix is a turf grass option.
10. The submission included an analysis of the CO2 sequestration services provided by the trees that will be removed if the plan is approved as currently proposed. It is important to note that CO2 sequestration is one of many ecosystem services provided by forested land cover. Forested ecosystems also provide many important water quality and habitat functions. It is understandable in this context that an impact analysis focuses on CO2 sequestration but assessing only one function misses a more comprehensive assessment of function loss. The totality of ecosystem services provided by native forest cover, especially in a drinking water supply watershed, should be considered.

Thank you for the opportunity to provide comments. You may reach the undersigned at cgarcia@dep.nyc.gov or (914) 749-5302 with any questions or if you care to discuss the matter further.

Sincerely,

Cynthia Garcia

Cynthia Garcia,
Supervisor
SEQRA Coordination Section

X: J. Petronella, NYSDEC Region 3
H. Lukas, WCPD

MARK GIORDANO
1340 BAPTIST CHURCH ROAD
YORKTOWN HEIGHTS, NEW YORK 10598

July 21, 2021

Mr. Richard Fon, Chairman
Mr. Aaron Bock, Board Member
Mr. Robert Garrigan, Board Member
Mr. William LaScala, Board Member
Ms. Roxanne Visconti, Board Member
Yorktown Planning Board
Albert A. Capellini Community & Cultural Center
1974 Commerce Street — Room 222
Yorktown Heights, New York 10598

RECEIVED
PLANNING DEPARTMENT
SEP 24 2021
TOWN OF YORKTOWN

Re: Application for a Solar Farm Special Permit
1300 Baptist Church Road
Yorktown Heights, New York 10598

Dear Chairman and Board Members:

I own a residence adjacent to the properties owned by Arcadia Holding Coe LLC which consist of 1330, 1350, and 1300 Baptist Church Road, for an aggregate of 28.85 acres, as per the Tax Assessor's records. All parcels are contiguous. In addition, documents on file with the County Clerk's Office confirm that Ecology has legally enforceable interests in all three parcels for the construction of a "Solar System," All three parcels are even covered by the same mortgage. However, only one parcel is mentioned in the current application.

This is extremely disturbing from an environmental perspective as well as to the impact on the neighbors. The cumulative impact should be addressed now. The response to question 3(c) of the Short Form Environmental Assessment Form is patently false, The total acreage including "contiguous properties" owned and controlled by the applicant is 28.85 acres not 11.67. The applicant should not be permitted to play a shell game with properties to avoid

having the cumulative impact properly assessed by the Town's environmental consultant and neighbors.

This application is in an area deemed by the Town of Yorktown deemed so environmentally sensitive that it was zoned R-120. The proposal abuts DEC owned property as well as property owned by the Town of Yorktown and is well within the New York City Watershed area.

The aeriels of the site confirm that numerous trees will have to be removed on the current site. I've seen no documentation regarding the impact of the ground mounted panels and their ancillary systems on the wildlife habitats, storm water management, run off, the Reservoir and other environmental concerns,

This is particularly disturbing when Arcadia Holding Co LLC already has option agreements filed regarding the installation of a 20,000 sq. ft. roof mounted solar system on the property it owns adjacent to the subject parcel.

At base minimum, in addition to Town's extensive and comprehensive environmental review, DEC should review this proposal. These reviews should be available for public review and comment before any special permit is approved. Consistent with the Town's policies, the applicant should be required "to put all its cards on the table" regarding the adjacent parcels or, as a condition of a permit approving this application, the applicant be precluded from making any subsequent application on the adjacent parcels it owns.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'M. Giordano', written in a cursive style.

MARK GIORDANO



Mr. Richard Fon, Chairman
Mr. Aaron Bock, Board Member
Mr. Robert Garrigan, Board Member
Mr. William LaScala, Board Member
Ms. Roxanne Visconti, Board Member
Yorktown Planning Board
Albert A. Capellini Community & Cultural Center
1974 Commerce Street – Room 222
Yorktown Heights, NY 10598

September 24, 2021

RE: Application for a Solar Farm Special Permit – Response to letter from Mark Giordano

Dear Chairman and Board Members:

Ecogy Energy (“Ecogy”) and Arcadia Holding Co. LLC (“Arcadia”) would like to formally respond to the letter dated July 21, 2021 received by the Yorktown Planning Department and forwarded to Ecogy on September 24, 2021 from Mark Giordano at 1340 Baptist Church Rd Yorktown Heights NY 10598.

In Mark’s 1st paragraph, he states Arcadia Holding Co. LLC owns 1330, 1350 and 1300 Baptist Church Road for an aggregate of 28.85 acres. This is correct, however, he further states that documents on file with the County Clerk’s office “...confirm that Ecogy has legally enforceable interests in all three parcels for the construction of a ‘Solar System,’”. Ecogy would like to clarify how this statement is untrue. Ecogy has attached to this document our recorded Memorandum of Lease recorded at the Westchester County office on 09/25/2020 which show that Ecogy New York XIII LLC only has legal interests in 1300 Baptist Church Road (Assessor’s parcel number 47.11-1-4), which is an 11.67 acre parcel.

In Mark’s 2nd paragraph, he further states that the Short Form Environmental Assessment Form “...is patently false, the total acreage including “contiguous properties” owned and controlled by the applicant is 28.85 acres not 11.67.” Again, this statement is false. As stated above and shown in the attached recorded Memorandum of Lease, Ecogy New York XIII LLC, the applicant, only has legal interests and rights to build a Solar System on a portion of the 1300 Baptist Church parcel (47.11-1-4) which is 11.67 acres, not 28.85 acres. Further, Ecogy only intends to occupy roughly 6 acres of the 11.67 acre parcel – of which the remaining northern 5 acres will continue to be under agriculture use to further support Arcadia’s operations as a Yorktown farm. This is also evidenced by the Memorandum of Lease, which states the Premises being leased from Arcadia to Ecogy is approximately 275,000 square feet, or roughly 6.3 acres.

In Mark’s 3rd paragraph, he states that “...aerials of the site confirm that numerous trees will have to be removed on the current site.” Ecogy has conducted a tree inventory to accurately quantify the number of trees that need to be removed to accommodate the solar system, some of which are damaged or diseased and would otherwise pose safety concerns. To mitigate the tree removal, Ecogy will be replanting trees, adding shrubs, and making a donation to the Yorktown Tree Fund. Our project has been reviewed by the Conservation Board as well as the Tree Conservation Commission; both approved of our screening and our landscaping plan use of native species, which has seen multiple iterations throughout the planning process.

In Mark’s 4th paragraph, he states that it “...is particularly disturbing when Arcadia Holding Co LLC already has option agreements filed regarding the installation of a 20,000 sq. ft roof mounted solar system on the property it owns adjacent to the subject parcel.” The roof mounted system at Arcadias is complete and is therefore not an option agreement but an executed lease agreement that generates needed additional revenue




for the farm. The rooftop project, one of the first community solar systems in the Town of Yorktown, serves Arcadia as the anchor community solar subscriber as well as other Yorktown residents and small businesses including multiple on Baptist Church Rd, such as the Alpaca Farm across the street from Arcadia. Per the recorded Memorandum of Lease with Ecogy for the rooftop system, the rights of Ecogy New York VIII LLC are only for the roof space on the riding arena located at 1330 Baptist Church Rd (Parcel 47.11-1-1) for that rooftop solar project, which is entirely separate from the project under consideration now from Ecogy New York XIII LLC.

In Mark's last paragraph, he states that "...DEC should review this proposal." Ecogy wants to reiterate our understanding of the environmental review process with the Planning Board, which is that the DEC has started reviewing this project, however, for it to be officially under their purview, the Planning Board must approve of the project and refer it forward for final review and comment.

We want to stress that we welcome any questions, comments or concerns from Mark Giordano or the Planning Board, however, the letter as submitted is not factually accurate and therefore it required a prompt response from Ecogy and Arcadia. We strive to be transparent about our solar projects and want to make sure the Planning Board has factual information with which to review our application.

Thank you for your consideration.

Sincerely,

DocuSigned by:

D6DFA39357B842D...
Patty Peckham
Owner
Arcadia Holding Co. LLC


DocuSigned by:

59B6A7A3E78D427...
Jack Bertuzzi
CEO
Ecogy Energy



Exhibit A: Recorded Memorandum of Lease Agreements

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



601476460LAG002Y

Westchester County Recording & Endorsement Page

Submitter Information

Name: Ecogy Energy Phone: 7183040945
 Address 1: 67 West St. Fax:
 Address 2: Suite 232 Email: julia.magliozzo@ecogyenergy.com
 City/State/Zip: Brooklyn NY 11222 Reference for Submitter: Memo of Lease for Ecogy New York XIII

Document Details

Control Number: **601476460** Document Type: **Lease Agreement (LAG)**
 Package ID: 2020052601452001001 Document Page Count: **9** Total Page Count: **10**

Parties

Additional Parties on Continuation page

1st PARTY **2nd PARTY**
 1: ARCADIA HOLDING CO LLC - Other 1: ECOGY NEW YORK XIII LCC - Other
 2: 2:

Property

Additional Properties on Continuation page

Street Address: 1300 BAPTIST CHURCH RD. Tax Designation: 47.11 -1 -4
 City/Town: YORKTOWN Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$50.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$0.00
 TP-584 Filing Fee: \$5.00
 RPL 291 Notice Fee: \$0.00
 Total Recording Fees Paid: **\$95.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$0.00
 Transfer Tax: \$0.00
 Mansion Tax: \$0.00
 Transfer Tax Number: 17604

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 09/25/2020 at 11:12 AM
 Control Number: **601476460**
 Witness my hand and official seal

Timothy C. Idoni
 Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Julia Magliozzo
 195 Garfield Place
 Apt 2N
 Brooklyn, NY 11215

RECORDING REQUESTED BY AND WHEN RECORDED RETURN TO:	
--	--

Anthony J. Lebe
RECL Group
39 Quail Court
Suite #306
Walnut Creek, CA 94596

Space above this line for Recorder's Use

MEMORANDUM OF OPTION AND LEASE AGREEMENT

THIS MEMORANDUM OF OPTION AND LEASE AGREEMENT ("**Memorandum**"), dated as of May 1, 2020, is entered into by and between Arcadia Holding Co., LLC, a New York limited liability company ("**Lessor**"), and Ecogy New York XIII, LLC, a Delaware limited liability company ("**Lessee**"). All capitalized terms used but not otherwise defined shall have the meanings ascribed to them in the Option and Lease Agreement (defined below).

WITNESSETH:

That for value received, Lessor and Lessee do hereby covenant, promise and agree as follows:

LESSOR: Arcadia Holding Co., LLC, a New York Limited Liability Company

Address: 1300 Baptist Church Road
Yorktown Heights, NY 10598

LESSEE: Ecogy New York XIII, LLC, a Delaware Limited Liability Company

Address: 9 Binney Lane
Old Greenwich, CT 06870

DESCRIPTION OF PREMISES:

The Premises consists of approximately 275,000 square feet located on the Property owned by Lessor and identified as the Ground Mount Area together with access rights to such ground space as defined in Recital A of this Option and Lease Agreement and commonly known as 1300 Baptist Church Rd, Yorktown NY 10598 and more particularly described in **Exhibit 1** attached to and incorporated into this Memorandum.

For Lessor's title to the Property, reference is herein made to Deed dated and recorded in Westchester County.

OPTION COMMENCEMENT DATE:

The Effective Date of the Option and Lease Agreement.

LEASE COMMENCEMENT DATE:

The date Lessee exercises the Option.

TERM OF OPTION:

Five hundred forty (540) days

TERM OF LEASE:

25 years

Two (2) five (5) year extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

Arcadia Holding Co., LLC,
a New York limited liability company

By: 

Name: Patricia Peckham

Title: **PRESIDENT**

LESSEE:

Ecogy New York XIII, LLC,
a Delaware limited liability company

By:

Name: John Bertuzzi
Title: Managing Member

1

LEASE COMMENCEMENT DATE:

The date Lessee exercises the Option.

TERM OF OPTION:

Five hundred forty (540) days

TERM OF LEASE:

25 years

Two (2) five (5) year extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

Arcadia Holding Co., LLC,
a New York limited liability company

By:

Name:

Title:

LESSEE:

Ecogy New York XIII, LLC,
a Delaware limited liability company

By:



Name: John Bertuzzi

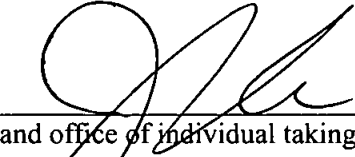
Title: Managing Member

1

ACKNOWLEDGMENT

STATE OF NEW YORK)
) ss.:
COUNTY OF WESTCHESTER)

On the 1st day of May in the year 2020, before me, the undersigned, personally appeared Patricia Peckham personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



(signature and office of individual taking acknowledgment)

JERRY GERSHNER
Notary Public, State of New York
No. 01GE4500961
QUALIFIED IN WESTCHESTER COUNTY
COMMISSION EXPIRES JULY 31, 2021

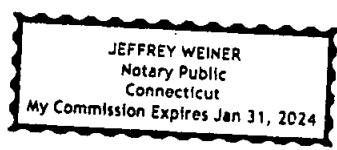


ACKNOWLEDGMENT

STATE OF NEW YORK)
COUNTY OF Fairfield) ss.:

On the 30 day of 7 in the year 2020, before me, the undersigned, personally appeared John DeFizzi personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Jeffrey Weiner
(signature and office of individual taking acknowledgment)



1

Exhibit 1 to Memorandum

Description of Property

That real property commonly known as: 1300 Baptist Church Road Yorktown NY 10598 (Assessor's Parcel Number 47.11 -1 -4) and more fully described in the Legal Description set forth below:

LEGAL DESCRIPTION

All that certain plot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester, State of New York, bounded and described as follows:

Beginning at a point on the northerly side of Baptist Church Road where the same is intersected by the premises now being described and land now or formerly of Imogene Hubbard;

Running thence along said land and along the mean center line of a stone wall, North 18 degrees 48 minutes 00 seconds East 346.12 feet;

Thence North 28 degrees 28 minutes 00 seconds East 200.05 feet;

Thence North 61 degrees 32 minutes 00 seconds West 194.12 feet to lands now or formerly of George W. Johnston;

Running thence along said land and the mean center line of an old stone wall the following courses and distances:

North 24 degrees 03 minutes 45 seconds East 42.45 feet;
North 22 degrees 30 minutes 55 seconds East 41.01 feet;
North 20 degrees 31 minutes 35 seconds East 127.40 feet;
North 33 degrees 39 minutes 20 seconds East 129 feet;
North 66 degrees 27 minutes 50 seconds East 20 feet;
North 35 degrees 00 minutes 50 seconds East 57.62 feet;
North 35 degrees 57 minutes 40 seconds East 90.39 feet;
North 34 degrees 35 minutes 00 seconds East 213.14 feet;
North 61 degrees 48 minutes 40 seconds East 8.16 feet;
South 79 degrees 54 minutes 00 seconds East 115.85 feet; and South 89 degrees 54 minutes 20 seconds East 45.18 feet to a point of intersection with the northerly boundary of lands now or formerly of Imogene Hubbard;

Thence continuing along said lands of George W. Johnston and the mean center line of a stone wall the following courses and distances:

North 19 degrees 14 minutes 00 seconds East 188.75 feet;
North 17 degrees 41 minutes 44 seconds East 219.74 feet;
North 52 degrees 28 minutes 17 seconds West 27.91 feet;
North 15 degrees 14 minutes 38 seconds East 131.21 feet; and
North 14 degrees 42 minutes 38 seconds East 100.24 feet to the northwest corner of property described and to land conveyed by Elizabeth H. Hall to William J. Murphy by deed dated December 12, 1950 and recorded in the Office of the Clerk of Westchester County on December 18, in Liber 4935 of Deeds, page 277

and now or formerly of the County of Westchester;

Thence along land formerly of said Murphy and now or formerly of the County of Westchester,

South 70 degrees 35 minutes 50 seconds East 269.53 feet to the westerly side of a Right-of-Way on a certain map entitled, "Survey of Property to be Acquired by the County of Westchester from New Jersey Industries, Inc. for a County Use and Purpose and also for, but now limited to Park Sites and Recreational Areas", filed in the Office of the County Clerk of Westchester County, October 28, 1966 as Filed Map No. 15027, Section 2 of 2 Section;

Thence along the westerly side of said Right-of-Way the, following courses and distances:

Southerly on a curve to the left with a radius of 40 feet, 37.85 feet; and continuing southeasterly along said right of way on a curve to the right with a radius of 40 feet, 24.89 feet;

Thence continuing along said right of way the following courses and distances:

South 0 degrees 51 minutes 00 seconds West 247.39 feet;
South 15 degrees 14 minutes 40 seconds West 357.54 feet;
South 63 degrees 35 minutes 20 seconds West 231.80 feet;
South 31 degrees 14 minutes 10 seconds West 232.95 feet;
South 21 degrees 36 minutes 50 seconds West 308.04 feet;
South 5 degrees 33 minutes 20 seconds East 186.50 feet;
South 19 degrees 27 minutes 30 seconds West 147.70 feet;
South 0 degrees 28 minutes 50 seconds East 274.31 feet to a point;

Thence on a curve to the right tangent to the northerly side of the Baptist Church Road and having a radius of 25 feet, a distance of 46.35 feet to a point on the northerly side of said Baptist Church Road;

Thence along the northerly side of said road,

North 74 degrees 15 minutes 56 seconds West 104.90 feet;
North 71 degrees 29 minutes 44 seconds West 162.02 feet; and
North 69 degrees 15 minutes 29 seconds West 166.35 feet to the place of beginning.

PARCEL II

All that certain lot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York, bounded and described as follows:

Beginning at a point on the easterly side of a proposed right of way which extends northerly from the Baptist Church Road which place of beginning is the

Southwest corner of premises described and the northwest corner of property conveyed by Elizabeth H. Hall to Robert B. Adelmar, by deed dated July 9, 1948 and recorded in the Office of the Clerk of the County of Westchester, Division of Land Records, in Liber 4654 cp 236;

Thence running from said point of beginning along the easterly side of said Right-of-Way the following courses and distances:

North 2.1 degrees 36 minutes 50 seconds East 101.75 feet;
North 31 degrees 14 minutes 10 seconds East 214.24 feet;
North 63 degrees 35 minutes 20 seconds East 239.74 feet;
North 15 degrees 14 minutes 40 second East 386.30 feet;
North 00 degrees 51 minutes 00 seconds East 253.71 feet to a point;

Thence on a curve to the right having a radius of 40 feet a distance of 24.89 feet;
Thence on a curve to the left having a radii.rs of 40 feet a distance of 11.94 feet to the northwest corner of premises described and to property formerly of William J. Murphy and now or formerly of the County of Westchester;

Thence along said property, South 70 degrees 35 minutes 50 seconds East 248.02 feet to a point in the face of a stone wall and property of New York City;

thence South 04 degrees 55 .minutes 30 seconds West 40.93 feet to a corner;

Thence South 86 degrees 00 minutes 30 seconds East 200 feet along the south face of a stone wall to the northeast corner of premises described;

Thence South 12 degrees 01 minutes 30 seconds West along property of the City of New York and along the westerly face of a stone wall 979.10 feet to the southeast corner of premises described;

Thence North degrees 56 minutes 37 seconds West 709.76 feet to the point and place of beginning.

PARCEL III

All the certain plot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York shown and designated as a Right of Way on a certain map entitled, "Survey of Property to be Acquired by the County of Westchester from New Jersey Industries, Inc. for a County use and Purpose and also for, but not limited to Park Sites and Recreational Areas"; filed in the Office of the County Clerk of Westchester County, October 28, 1966 as Filed Map Number 15027, Section 2 of 2 Sections, said premises being more particularly bounded and described as follows:

Beginning at a point on the northerly side of Baptist Church Road where the same is intersected by the extreme easterly end of a curve having a radius of 25 feet, a distance of 32.19 feet which curve connects the easterly side of said Right of Way being described herein and the northerly side of Baptist Church Road, said point being the point of intersection of the northerly side of Baptist Church Road with the southwesterly corner of said lands now or formerly of Dansereau as _described in deed Liber 5525 cp 52;

Running thence from said point of beginning along lands now or formerly of Dansereau the following courses and distances;

4. In a general northerly direction along the arc of a curve bearing to the right having a radius of 25 feet, a distance of 32.19 feet;

5. North 01 degrees 03 minutes 36 seconds East a distance of 294.61 feet; and
6. North 20 degrees 59 minutes 55 seconds East, a distance of 150 feet;

Running thence North 04 degrees 00 minutes 55 seconds West, a distance of 185.51 feet to lands now or formerly of Adelman by deed Liber 4654 cp 236;

Running thence along land now or formerly of Adelman and land now or formerly of Kourland by deed Liber 5512 cp 373;

North 23 degrees 09 minutes 15 seconds East a distance of 291.75 feet;

Running thence still along land now or formerly of Kourland the following six courses and distances:

3. North 32 degrees 46 minutes 35 seconds East a distance of 214.24 feet;
4. North 65 degrees 07 minutes 45 seconds East a distance of 239.74 feet;
3. North 16 degrees 47 minutes 05 seconds East a distance of 386.30 feet;
7. North 02 degrees 23 minutes 25 seconds East a distance of 253.71 feet;
8. In a general northerly direction, along the arc of a curve bearing to the right having a radius of 40 feet a distance of 24.89 feet; and
9. In a general northerly direction along the arc of a curve bearing to the left having a radius of 40 feet a distance of 11.94 feet to lands now or formerly of the County of Westchester;

Running thence along said lands now or formerly of the County of Westchester in a general northerly, westerly and southerly direction along the arc of a curve bearing to the left having a radius of 40 feet a distance of 125.66 feet to other lands now or formerly of Kourland by deed Liber 4998 cp 216;

Running thence along said land now or formerly of Kourland the following 11 courses and distances:

9. In a general southerly direction along the arc of a curve bearing to the left having a radius of 40 feet a distance of 37.85 feet;
10. In a general southerly direction along the arc of a curve bearing to the right having a radius of 40 feet a distance of 24.89 feet;
11. South 02 degrees 23 minutes 25 seconds West a distance of 247.39 feet;
12. South 16 degrees 47 minutes 05 seconds West a distance of 357.54 feet;
13. South 65 degrees 07 minutes 45 seconds West a distance 231.80 feet;
14. South 32 degrees 46 minutes 35 seconds West a distance of 232.95 feet;
15. South 23 degrees 09 minutes 15 seconds West a distance of 308.04 feet;
16. South 04 degrees 00 minutes 55 seconds East a distance of 186.50 feet;
9. South 20 degrees 59 minutes 55 seconds West a distance of 147.70 feet;
10. South 01 degrees 03 minutes 35 seconds West a distance of 274.31 feet to the extreme northerly end of a curve;
11. Running thence in a general southwesterly direction along the arc of a curve to the right having radius of 25 feet a distance of 46.35 feet to the northerly side of Baptist Church Road; and

Thence along the northerly side of Baptist Church Road, South 72 degrees 43 minutes 31 seconds East a distance of 104.15 feet to the point or place of beginning.

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



592543650LAG0033

Westchester County Recording & Endorsement Page

Submitter Information

Name: Ecogy Energy Phone: 7183040945
 Address 1: 67 West St. Fax:
 Address 2: Suite 232 Email: julia.magliozzo@ecogyenergy.com
 City/State/Zip: Brooklyn NY 11222 Reference for Submitter: Arcadia Roof Lease

Document Details

Control Number: **592543650** Document Type: **Lease Agreement (LAG)**
 Package ID: 2019091100366001001 Document Page Count: **12** Total Page Count: **13**

Parties

Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: ARCADIA HOLDING CO LLC - Other 1: ECOGY NEW YORK VIII LLC - Other
 2: 2:

Property

Additional Properties on Continuation page

Street Address: 1330 BAPTIST CHURCH RD. Tax Designation: 47.11 -1 -1
 City/Town: YORKTOWN Village:

Cross-References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$65.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$0.00
 TP-584 Filing Fee: \$5.00
 Total Recording Fees Paid: **\$110.00**

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$0.00
 Transfer Tax: \$0.00
 Mansion Tax: \$0.00
 Transfer Tax Number: 4362

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 10/23/2019 at 10:35 AM
 Control Number: **592543650**
 Witness my hand and official seal

Timothy C. Idoni
 Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Ecogy Energy c/o Jack Bertuzzi
 59 Kent St.
 Unit 1D
 Brooklyn, NY 11222
 Attn: Jack Bertuzzi

RECORDING REQUESTED BY AND WHEN
RECORDED RETURN TO:

Anthony J. Lebe
RECL Group
39 Quail Court
Suite #306
Walnut Creek, CA 94596

EXHIBIT REVIEWED

Space above this line for Recorder's Use

MEMORANDUM OF OPTION AND LEASE AGREEMENT

THIS MEMORANDUM OF OPTION AND LEASE AGREEMENT ("**Memorandum**"), dated as of September 18, 2019, is entered into by and between Arcadia Holding Co., LLC, a New York limited liability company ("**Lessor**"), and Ecogy New York VIII, LLC, a Delaware limited liability company ("**Lessee**"). All capitalized terms used but not otherwise defined shall have the meanings ascribed to them in the Option and Lease Agreement (defined below).

WITNESSETH:

That for value received, Lessor and Lessee do hereby covenant, promise and agree as follows:

LESSOR: Arcadia Holding Co., LLC, a New York Limited Liability Company

Address: 1300 Baptist Church Road
Yorktown Heights, NY 10598

LESSEE: Ecogy New York VIII, LLC, a Delaware Limited Liability Company

Address: 9 Binney Lane
Old Greenwich, CT 06870

DESCRIPTION OF PREMISES:

The Premises consists of approximately 20,000 square feet of roof space on the building located on the Property owned by Lessor and commonly known as 1330 Baptist Church Rd Yorktown Heights NY 10598. The Property is more particularly described in Exhibit 1 attached to and incorporated into this Memorandum.

For Lessor's title to the Property, reference is herein made to Deed dated and recorded in Westchester County.

OPTION COMMENCEMENT DATE:

The Effective Date of the Option and Lease Agreement.

EXHIBIT REVIEWED

LEASE COMMENCEMENT DATE:

The date Lessee exercises the Option.

EXHIBIT REVIEWED

TERM OF OPTION:

Five hundred forty (540) days

TERM OF LEASE:

25 years

Two (2) five (5) year extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

Arcadia Holding Co., LLC,
a New York limited liability company

By: Pat Pecknam

By: Molly Flawerty

Name: PATRICIA PECKNAM

Name: MOLLY FLAWERTY

Title: PASSIONIST

Title: SEC/TREASURER

LESSEE:

Ecogy New York VIII, LLC,
a Delaware limited liability company

By: _____

Name: John Bertuzzi

Title: Managing Member



ACKNOWLEDGMENT

STATE OF NEW YORK
COUNTY OF *Westchester*

)
) ss.:
)

On the 10th day of October in the year 2019, before me, the undersigned, personally appeared Molly Flerherly personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Kyle T Dalrymple

(signature and office of individual taking acknowledgment)

KYLE T DALRYMPLE
Notary Public - State of New York
NO. 01DA6392664
Qualified in Putnam County
My Commission Expires Jun 3, 2023



ACKNOWLEDGMENT

STATE OF NEW YORK
COUNTY OF Westchester

)
) ss.:
)

On the 10th day of October in the year 2019, before me, the undersigned, personally appeared Patricia A Peckham personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Kyle T Dalrymple Notary Public
(signature and office of individual taking acknowledgment)

KYLE T DALRYMPLE
Notary Public - State of New York
NO. 01DA6392664
Qualified in Putnam County
My Commission Expires Jun 3, 2023

LEASE COMMENCEMENT DATE:

The date Lessee exercises the Option.

TERM OF OPTION:

Five hundred forty (540) days

TERM OF LEASE:

25 years

Two (2) five (5) year extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

Arcadia Holding Co., LLC,
a New York limited liability company

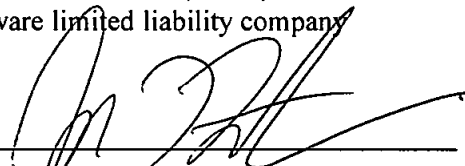
By: _____ By: _____

Name: _____ Name: _____

Title: _____ Title: _____

LESSEE:

Ecogy New York VIII, LLC,
a Delaware limited liability company

By:  _____

Name: John Bertuzzi

Title: Managing Member




ACKNOWLEDGMENT

STATE OF NEW YORK
COUNTY OF KINGS

)
) ss.:
)

On the 18 day of ~~September~~ in the year 2019, before me, the undersigned, personally appeared JOHN BERTUZZI personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



(signature and office of individual taking acknowledgment)

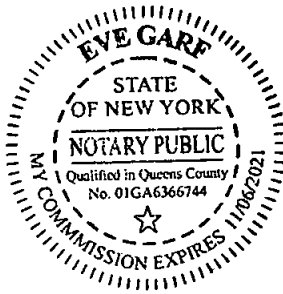


Exhibit 1 to Memorandum

Description of Property

That real property commonly known as: 1330 Baptist Church Road Yorktown NY 10598 (Assessor's Parcel Number 47.11 -1 -1) and more fully described in the Legal Description set forth below:

LEGAL DESCRIPTION

The Property described herein consists of two adjacent lots at 1330 Baptist Church Road Yorktown NY 10598, Assessor's Parcel Numbers 47.11-1-1 and 47.10-1-8, as well as the non-exclusive right to access the Right of Way adjacent to Assessor's Parcel Number 47.11-1-1, all described in the Legal Description set forth below:

LEGAL DESCRIPTION FOLLOWS

Schedule A Description

Title Number CSA01-00637-W

Page 1

All that certain plot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester, State of New York, bounded and described as follows:

Beginning at a point on the northerly side of Baptist Church Road where the same is intersected by the premises now being described and land now or formerly of Imogene Hubbard;

Running thence along said land and along the mean center line of a stone wall, North 18 degrees 48 minutes 00 seconds East 346.12 feet;

Thence North 28 degrees 28 minutes 00 seconds East 200.05 feet;

Thence North 61 degrees 32 minutes 00 seconds West 194.12 feet to lands now or formerly of George W. Johnston;

Running thence along said land and the mean center line of an old stone wall the following courses and distances:

North 24 degrees 03 minutes 45 seconds East 42.45 feet;
North 22 degrees 30 minutes 55 seconds East 41.01 feet;
North 20 degrees 31 minutes 35 seconds East 127.40 feet;
North 33 degrees 39 minutes 20 seconds East 129 feet;
North 66 degrees 27 minutes 50 seconds East 20 feet;
North 35 degrees 00 minutes 50 seconds East 57.62 feet;
North 35 degrees 57 minutes 40 seconds East 90.39 feet;
North 34 degrees 35 minutes 00 seconds East 213.14 feet;
North 61 degrees 48 minutes 40 seconds East 8.16 feet;
South 79 degrees 54 minutes 00 seconds East 115.85 feet; and
South 89 degrees 54 minutes 20 seconds East 45.18 feet to a point of intersection with the northerly boundary of lands now or formerly of Imogene Hubbard;

Thence continuing along said lands of George W. Johnston and the mean center line of a stone wall the following courses and distances:

North 19 degrees 14 minutes 00 seconds East 188.75 feet;
North 17 degrees 41 minutes 44 seconds East 219.74 feet;
North 52 degrees 28 minutes 17 seconds West 27.91 feet;
North 15 degrees 14 minutes 38 seconds East 131.21 feet; and
North 14 degrees 42 minutes 38 seconds East 100.24 feet to the northwest corner of property described and to land conveyed by Elizabeth H. Hall to William J. Murphy by deed dated December 12, 1950 and recorded in the Office of the Clerk of Westchester County on December 18, in Liber 4935 of Deeds, page 277 and now or formerly of the County of Westchester;

Schedule A Description

Title Number CSA01-00637-W

Page 2

Thence along land formerly of said Murphy and now or formerly of the County of Westchester,

South 70 degrees 35 minutes 50 seconds East 269.53 feet to the westerly side of a Right-of-Way on a certain map entitled, "Survey of Property to be Acquired by the County of Westchester from New Jersey Industries, Inc.. for a County Use and Purpose and also for, but now limited to Park Sites and Recreational Areas", filed in the Office of the County Clerk of Westchester County, October 28, 1966 as Filed Map No. 15027, Section 2 of 2 Section;

Thence along the westerly side of said Right-of-Way the following courses and distances:

Southerly on a curve to the left with a radius of 40 feet, 37.85 feet; and continuing southeasterly along said right of way on a curve to the right with a radius of 40 feet, 24.89 feet;

Thence continuing along said right of way the following courses and distances:

South 0 degrees 51 minutes 00 seconds West 247.39 feet;
South 15 degrees 14 minutes 40 seconds West 357.54 feet;
South 63 degrees 35 minutes 20 seconds West 231.80 feet;
South 31 degrees 14 minutes 10 seconds West 232.95 feet;
South 21 degrees 36 minutes 50 seconds West 308.04 feet;
South 5 degrees 33 minutes 20 seconds East 186.50 feet;
South 19 degrees 27 minutes 30 seconds West 147.70 feet;
South 0 degrees 28 minutes 50 seconds East 274.31 feet to a point;

Thence on a curve to the right tangent to the northerly side of the Baptist Church Road and having a radius of 25 feet, a distance of 46.35 feet to a point on the northerly side of said Baptist Church Road;

Thence along the northerly side of said road,

North 74 degrees 15 minutes 56 seconds West 104.90 feet;
North 71 degrees 29 minutes 44 seconds West 162.02 feet; and
North 69 degrees 15 minutes 29 seconds West 166.35 feet to the place of beginning.

PARCEL II

All that certain lot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York, bounded and described as follows:

Beginning at a point on the easterly side of a proposed right of way which extends northerly from the Baptist Church Road which place of beginning is the

Schedule A Description

Title Number CSA01-00637-W

Page 3

southwest corner of premises described and the northwest corner of property conveyed by Elizabeth H. Hall to Robert B. Adelman by deed dated July 9, 1948 and recorded in the Office of the Clerk of the County of Westchester, Division of Land Records, in Liber 4654 cp 236;

Thence running from said point of beginning along the easterly side of said Right-of-Way the following courses and distances:

North 21 degrees 36 minutes 50 seconds East 101.75 feet;
North 31 degrees 14 minutes 10 seconds East 214.24 feet;
North 63 degrees 35 minutes 20 seconds East 239.74 feet;
North 15 degrees 14 minutes 40 second East 386.30 feet;
North 00 degrees 51 minutes 00 seconds East 253.71 feet to a point;

Thence on a curve to the right having a radius of 40 feet a distance of 24.89 feet;
Thence on a curve to the left having a radius of 40 feet a distance of 11.94 feet to the northwest corner of premises described and to property formerly of William J. Murphy and now or formerly of the County of Westchester;

Thence along said property, South 70 degrees 35 minutes 50 seconds East 248.02 feet to a point in the face of a stone wall and property of New York City;

thence South 04 degrees 55 minutes 30 seconds West 40.93 feet to a corner;

Thence South 86 degrees 00 minutes 30 seconds East 200 feet along the south face of a stone wall to the northeast corner of premises described;

Thence South 12 degrees 01 minutes 30 seconds West along property of the City of New York and along the westerly face of a stone wall 979.10 feet to the southeast corner of premises described;

Thence North 85 degrees 56 minutes 37 seconds West 709.76 feet to the point and place of beginning.

PARCEL III

All the certain plot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York shown and designated as a Right of Way on a certain map entitled, "Survey of Property to be Acquired by the County of Westchester from New Jersey Industries, Inc. for a County use and Purpose and also for, but not limited to Park Sites and Recreational Areas"; filed in the Office of the County Clerk of Westchester County, October 28, 1966 as Filed Map Number 15027, Section 2 of 2 Sections, said premises being more particularly bounded and described as follows:

Beginning at a point on the northerly side of Baptist Church Road where the

Schedule A Description

same is intersected by the extreme easterly end of a curve having a radius of 25 feet, a distance of 32.19 feet which curve connects the easterly side of said Right of Way being described herein and the northerly side of Baptist Church Road, said point being the point of intersection of the northerly side of Baptist Church Road with the southwesterly corner of said lands now or formerly of Dansereau as described in deed Liber 5525 cp 52;

Running thence from said point of beginning along lands now or formerly of Dansereau the following courses and distances;

1. In a general northerly direction along the arc of a curve bearing to the right having a radius of 25 feet, a distance of 32.19 feet;
2. North 01 degrees 03 minutes 36 seconds East a distance of 294.61 feet; and
3. North 20 degrees 59 minutes 55 seconds East, a distance of 150 feet;

Running thence North 04 degrees 00 minutes 55 seconds West, a distance of 185.51 feet to lands now or formerly of Adelman by deed Liber 4654 cp 236;

Running thence along land now or formerly of Adelman and land now or formerly of Kourland by deed Liber 5512 cp 373;

North 23 degrees 09 minutes 15 seconds East a distance of 291.75 feet;

Running thence still along land now or formerly of Kourland the following six courses and distances:

1. North 32 degrees 46 minutes 35 seconds East a distance of 214.24 feet;
2. North 65 degrees 07 minutes 45 seconds East a distance of 239.74 feet;
3. North 16 degrees 47 minutes 05 seconds East a distance of 386.30 feet;
4. North 02 degrees 23 minutes 25 seconds East a distance of 253.71 feet;
5. In a general northerly direction along the arc of a curve bearing to the right having a radius of 40 feet a distance of 24.89 feet; and
6. In a general northerly direction along the arc of a curve bearing to the left having a radius of 40 feet a distance of 11.94 feet to lands now or formerly of the County of Westchester;

Running thence along said lands now or formerly of the County of Westchester in a general northerly, westerly and southerly direction along the arc of a curve bearing to the left having a radius of 40 feet a distance of 125.66 feet to other lands now or formerly of Kourland by deed Liber 4998 cp 216;

Running thence along said land now or formerly of Kourland the following 11 courses and distances:

1. In a general southerly direction along the arc of a curve bearing to the left having a radius of 40 feet a distance of 37.85 feet;
2. In a general southerly direction along the arc of a curve bearing to the right

Schedule A Description

Title Number CSA01-00637-W

Page 5

having a radius of 40 feet a distance of 24.89 feet;

3. South 02 degrees 23 minutes 25 seconds West a distance of 247.39 feet;
4. South 16 degrees 47 minutes 05 seconds West a distance of 357.54 feet;
5. South 65 degrees 07 minutes 45 seconds West a distance 231.80 feet;
6. South 32 degrees 46 minutes 35 seconds West a distance of 232.95 feet;
7. South 23 degrees 09 minutes 15 seconds West a distance of 308.04 feet;
8. South 04 degrees 00 minutes 55 seconds East a distance of 186.50 feet;
9. South 20 degrees 59 minutes 55 seconds West a distance of 147.70 feet;
10. South 01 degrees 03 minutes 35 seconds West a distance of 274.31 feet to the extreme northerly end of a curve;
11. Running thence in a general southwesterly direction along the arc of a curve to the right having radius of 25 feet a distance of 46.35 feet to the northerly side of Baptist Church Road; and

Thence along the northerly side of Baptist Church Road, South 72 degrees 43 minutes 31 seconds East a distance of 104.15 feet to the point or place of beginning.

SEP 7 2021

TOWN OF YORKTOWN

From: Keith Schepart <keith@taconictreecare.com>
Sent: Tuesday, September 7, 2021 6:40 AM
To: Nancy Calicchia <ncalicchia@yorktownny.org>; John Tegeder <jtegeder@yorktownny.org>;
Robyn Steinberg <rsteinberg@yorktownny.org>
Subject: 1300 Baptist Church Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To: Yorktown Planning Board
From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: September 7, 2021

RE: Mitigation Plan for 1300 Baptist Church Road (Arcadia Solar Farm)

Chairman Fon and members of the Planning Board

Chapter 270 - 10.C(4) Use of native species of trees, understory shrubs and herbaceous ground cover if planting is required. The mitigation plan for 1300 Baptist Church Road passes the provisions of this part of the tree ordinance.

However, there is one reservation that our committee has in regards to the mitigation plan. Does it satisfy the enormity of the trees being removed ? The amount of protected trees and specimens trees seem to require a more equitable solution. We think the planning board should seriously consider a contribution to the towns tree fund for offsite planting.

Sincerely,
Lawrence W. Klein, PE, Member
Tom Schmitt, Member
Keith Schepart ISA, Member

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board

From: Conservation Board

Date: August 19, 2021

Re: Arcadia Farm: 1300 Baptist Church Road

RECEIVED
PLANNING DEPARTMENT
AUG 23 2021
TOWN OF YORKTOWN

The Conservation Board at its August 18, 2021 meeting discussed a proposed solar project located at 1300 Baptist Church Road, Arcadia Farm with Julia Magliozzo of Ecogy Energy and Michael Tarzian. The Conservation Board has the following comments:

The Applicant returned to the Board with a planting plan that provided adequate screening.

- The Board requests the plant material be native while being sensitive to the animals needs of the farm.
- The Board request an updates plant list be provide for review.

Respectfully submitted:

Diane Dreier

For the Conservation Board

CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
Applicant

ARCADIA GROUND MOUNT PV SYSTEM

985.88 KW-DC SOLAR PV SYSTEM
1300 BAPTIST CHURCH ROAD
YORKTOWN HEIGHTS, NEW YORK 10598

SCOPE OF WORK:

TO INSTALL A GROUND MOUNTED SOLAR PHOTOVOLTAIC (PV) SYSTEM. THE POWER GENERATED BY THE PV SYSTEM WILL BE INTERCONNECTED WITH THE UTILITY GRID

THE PV SYSTEM DOES NOT INCLUDE STORAGE BATTERIES

CODES & STANDARDS:

2017 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL FIRE CODE
UL 1741

LOT INFORMATION:

11 +/- ACRES
PARCEL ID # 47.11-1-4
ZONING DISTRICT - R-1 ONE FAMILY RESIDENTIAL

RECORD OWNER:

ARCADIA HOLDING CO., LLC
14 SUN VALLEY ROAD
NORTH SALEM, NEW YORK 10560

RECORD APPLICANT:

ECOY NEW YORK XIII, LLC
315 FLATBUSH AVENUE #393
BROOKLYN, NEW YORK 11217

SYSTEM SUMMARY:

985.88 kW DC
800.0 kW-AC

TILT ANGLE = 20 °
AZIMUTH = 172 °

EQUIPMENT:

MODULE:
(2,186) BOVIET 450W MODULE

INVERTER:
(8) SOLAREEDGE 100K-US INVERTER

RACKING:
UNIRAC

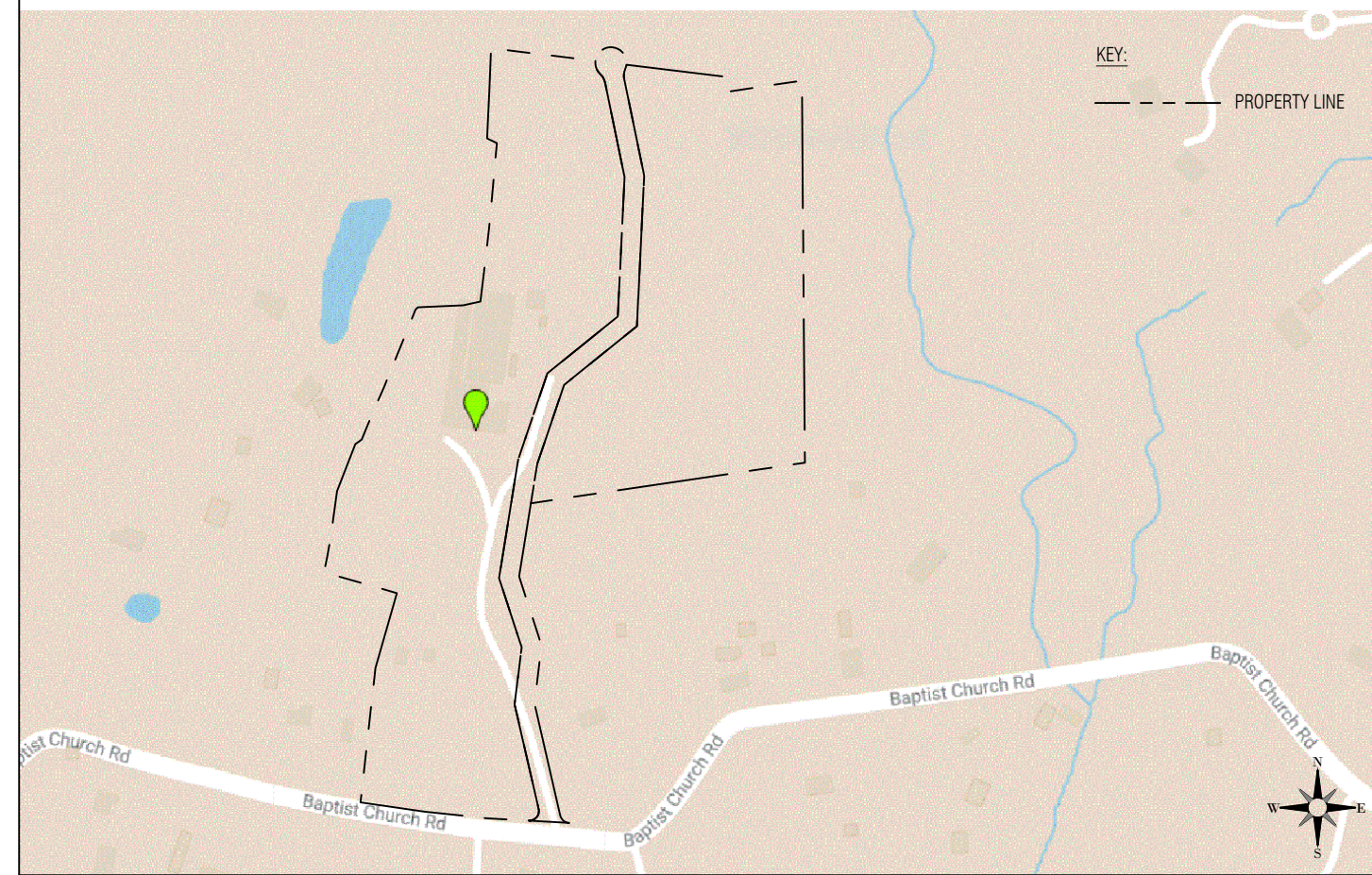
DAS:
ECOY ECONODE

UTILITY:

CON ED

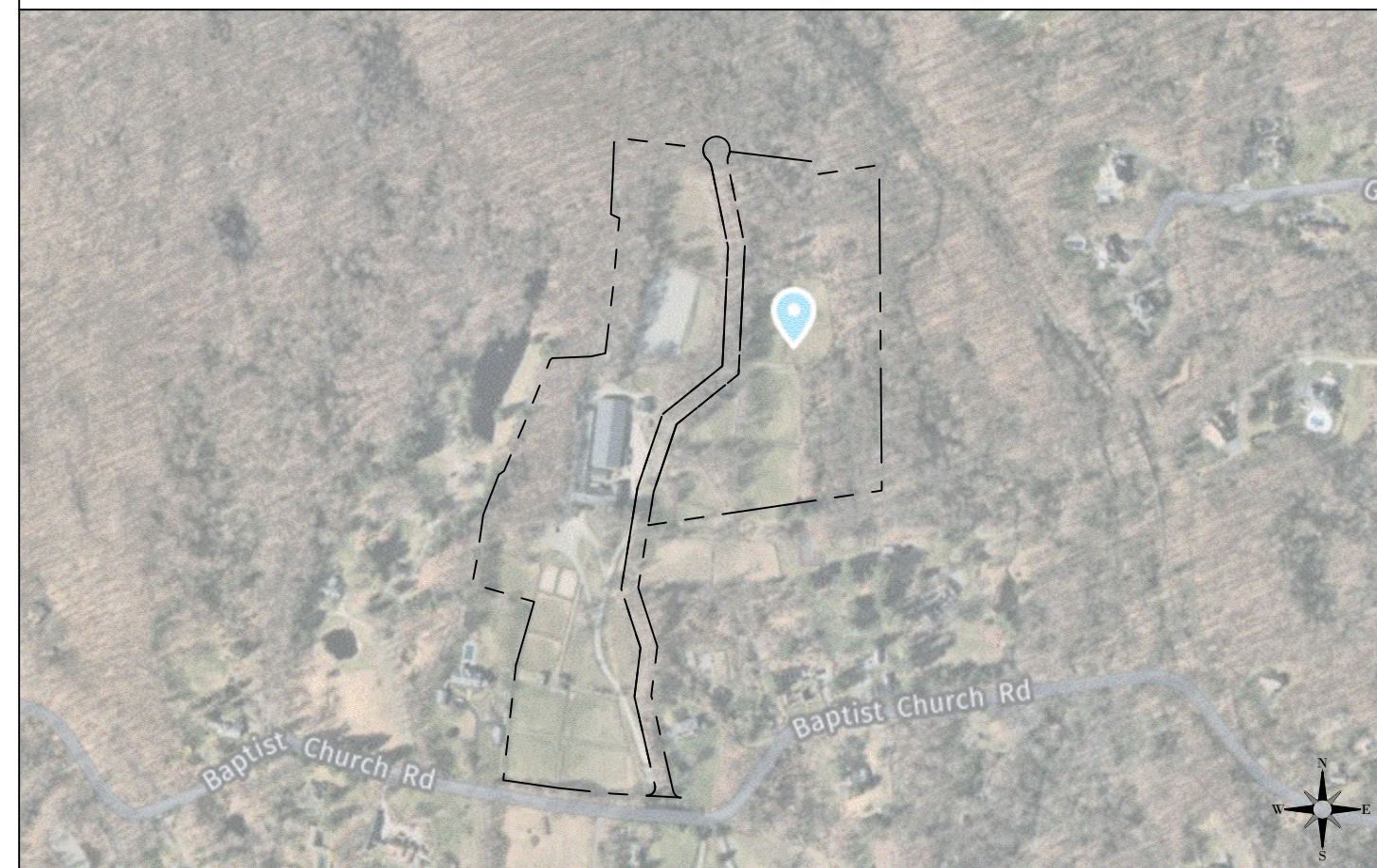
LOCATION MAP

SCALE: NTS



SATELLITE MAP

SCALE: NTS



ECOY ENERGY
315 FLATBUSH AVENUE, #393
BROOKLYN, NY 11217
projectmanagement@ecogyenergy.com
(718)-304-0945

Ecogy New York XIII LLC

Project Name:
**ARCADIA GROUND
985.88 kW-DC**

Project Site:
**1300 BAPTIST CHURCH RD
YORKTOWN, NY, 10598**

																	BY	DATE	REVISION DESCRIPTION	#	

Professional Stamp

PRELIMINARY

SHEET NAME:

TITLE SHEET

PROJECT NUMBER: --- DRAWN BY: DQP CHECKED BY: ---

DATE: 07/28/2021 DWG. NUMBER:

SHEET NUMBER: - of - **G-001**

DRAWING LIST

DWG. NO.	DRAWING TITLE
G-001	TITLE SHEET
PV-101	SITE PLAN
PV-101.1	PARTIAL SITE PLAN
PV-507	MISCELLANEOUS DETAILS
PV-200	GROUND MOUNT ELEVATION
PV-200.1	GROUND MOUNT DETAIL

**REVIEW PLAN SET
ISSUE DATE: 07/28/2020**

CUSTOMER EQUIPMENT KEY:

- (A) SOLAREEDGE INVERTERS
- (B) 600A AC COMBINER PANEL
MAIN PV AC 1200 A DISCONNECT
SECONDARY METER
DAS (ECONODE)
- (C) NEW CUSTOMER OWNED RISER POLE WITH METER

UTILITY EQUIPMENT KEY:

- (1) EXISTING UTILITY POLE #30
- (2) EXISTING UTILITY POLE #29
- (3) NEW UTILITY OWNED POLE
- (4) NEW UTILITY OWNED TRANSFORMER

SYMBOLS LEGEND:

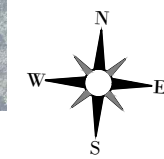
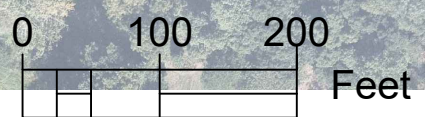
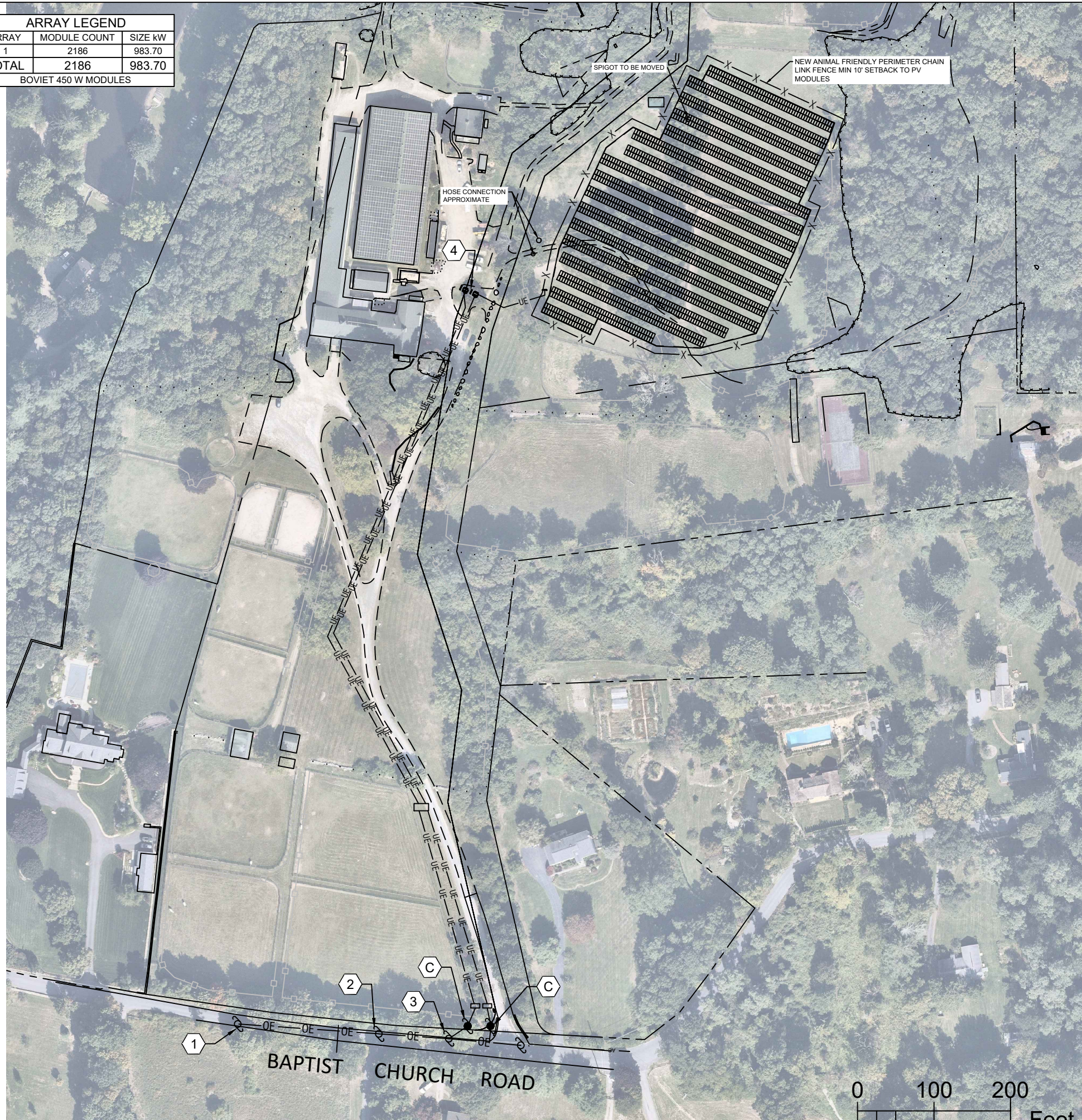
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE

LINETYPE LEGEND:

- APPROXIMATE PROPERTY LINE
- PROPERTY LINE SETBACK
- PROPOSED CHAINLINK FENCE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- APPROXIMATE WETLAND BOUNDARY
- WETLAND 100' BUFFER

ARRAY LEGEND		
ARRAY	MODULE COUNT	SIZE KW
1	2186	983.70
TOTAL	2186	983.70

BOVIET 450 W MODULES



ECOGY ENERGY
 315 FLATBUSH AVENUE, #393
 BROOKLYN, NY 11217
 projectmanagement@ecogyenergy.com
 (718)-304-0945

Ecogy New York XIII LLC
 Project Name:
ARCADIA GROUND
985.88 kW-DC

Project Site:
1300 BAPTIST CHURCH RD
YORKTOWN, NY, 10598

#	REVISION DESCRIPTION	DATE	BY

Professional Stamp
PRELIMINARY

SHEET NAME:
SITE PLAN

PROJECT NUMBER: ---	DRAWN BY: SCG	CHECKED BY: ---
DATE: 07/28/2021	DWG. NUMBER: ---	
SHEET NUMBER: X of X	PV-100	



ECOGY ENERGY

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1300 BAPTIST CHURCH RD
YORKTOWN, NY, 10598

NO.	DATE	BY

NO.	DATE	BY	REVISION DESCRIPTION

NO.	DATE	BY	REVISION DESCRIPTION

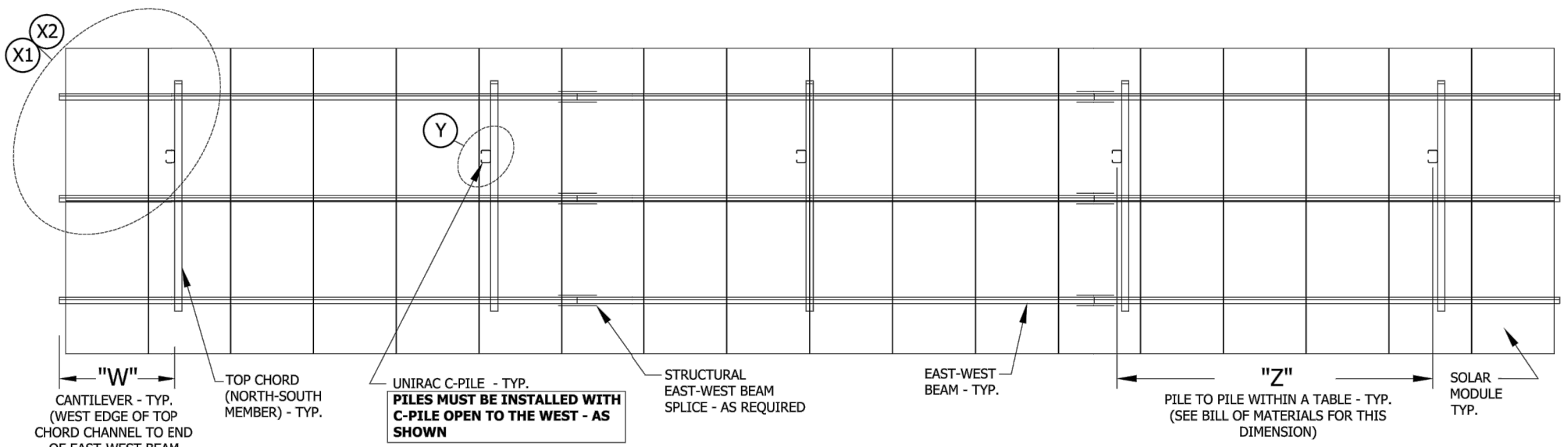
Professional Stamp

PRELIMINARY

SHEET NAME:
GROUND MOUNT
ELEVATION

PROJECT NUMBER: --- DRAWN BY: DQP CHECKED BY: ---
 DATE: 07/28/2021 DWG. NUMBER:
 SHEET NUMBER: of

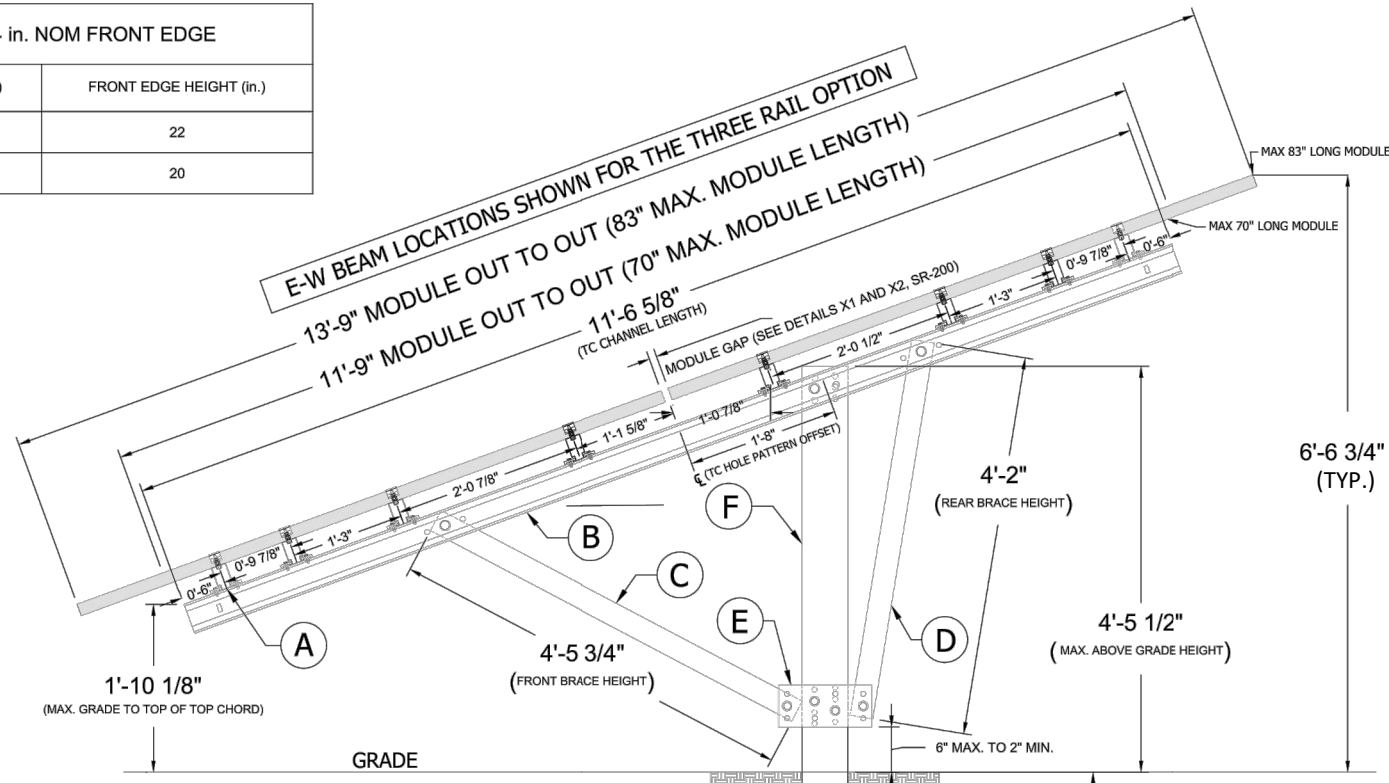
PV-200



PLAN VIEW OF TABLE

SEE LETTER FOR PILE QUANTITY REQUIREMENT PER TABLE SIZE
 TABLE SIZE CANNOT EXCEED 30 COLUMNS OF MODULES

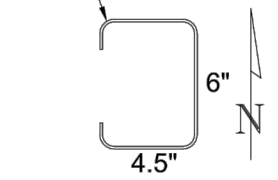
20° 20-24 in. NOM FRONT EDGE	
MODULE LENGTH (in.)	FRONT EDGE HEIGHT (in.)
77	22
83	20



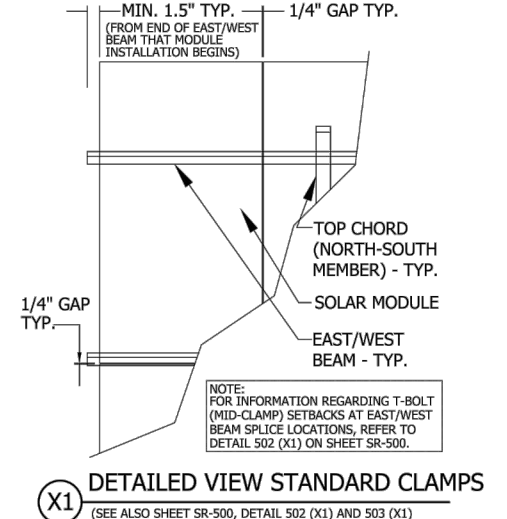
- RACKING DIMENSION NOTES:**
- THIS CROSS SECTION AND DIMENSIONS SHOWN ARE SPECIFIC TO AN 83" LONG MODULE AND A 70" LONG MODULE. ACTUAL MODULE LENGTHS WILL BE LESS THAN OR EQUAL TO WHAT IS SHOWN BASED ON THE ACTUAL SOLAR MODULE SELECTED. REFER TO THE STATE SPECIFIC CERTIFICATION LETTER FOR MORE INFORMATION ON THE LIMITS OF THIS REGION SPECIFIC RACKING DESIGN.
 - FINE TUNE ADJUSTMENTS IN THE EAST-WEST BEAM TO TOP CHORD CHANNEL CONNECTIONS EXIST. SEE SHEET SR-500 FOR ALL RACKING CONNECTION DETAILS. REFER TO THE GFT INSTALLATION GUIDE FOR ADDITIONAL INFORMATION.
 - ALL DIMENSIONS SHOWN WITH PARENTHESIS (), ARE OPTIMUM DIMENSIONS THAT MAY VARY SLIGHTLY DUE TO THE FOLLOWING: INSTALLATION SYSTEM USING DIFFERENT HOLE OPTIONS, VARIANCE IN THE PILE STICK-UP HEIGHT, MODULE SELECTION, OR VARIANCE IN THE FINISHED/EXISTING GRADE. ALL OTHER DIMENSIONS ARE FIXED.

SECTION VIEW OF GFT TABLE - 20° TILT

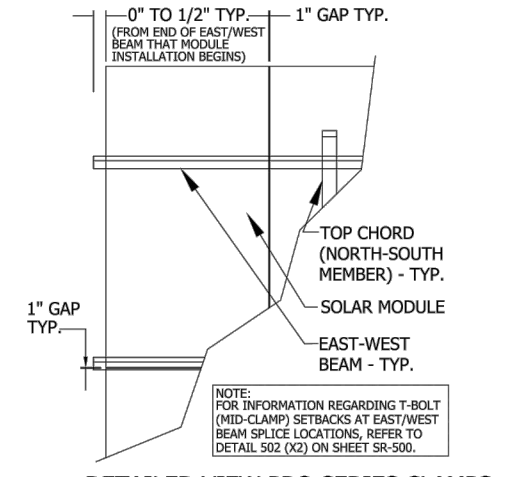
PILES MUST ALWAYS BE INSTALLED WITH C-PILES OPEN TO THE WEST



Y DETAILED VIEW



X1 DETAILED VIEW STANDARD CLAMPS
 (SEE ALSO SHEET SR-500, DETAIL 502 (X1) AND 503 (X1))



X2 DETAILED VIEW PRO SERIES CLAMPS
 (SEE ALSO SHEET SR-500, DETAIL 502 (X2) AND 503 (X2))

GFT PARTS LIST

REF NUMBER	PART DESCRIPTION	CATALOG #	GAUGE/ THICKNESS	FINISH
A	ALUMINUM E-W BEAM (166" OR 246")	411166M OR 411246M	SEE SHEET SR-100	
B	TOP CHORD CHANNEL	404036	SEE SHEET SR-100	
C	FRONT DIAGONAL BRACE (20°)		SEE SHEET SR-100	
D	REAR DIAGONAL BRACE (20°)	404031	SEE SHEET SR-100	
E	DIAGONAL BRACE PLATE		SEE SHEET SR-100	
F	C-PILE (12.5 FT OR 15 FT)	404001 OR 404002	SEE SHEET SR-100	



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 315 FLATBUSH AVENUE, #393
 BROOKLYN, NY 11217
 projectmanagement@ecogyenergy.com
 (718)-304-0945

Ecogy New York XIII LLC

Project Name:
ARCADIA GROUND
985.88 kW-DC

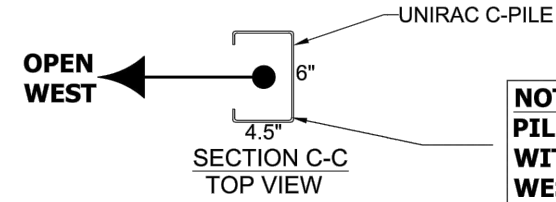
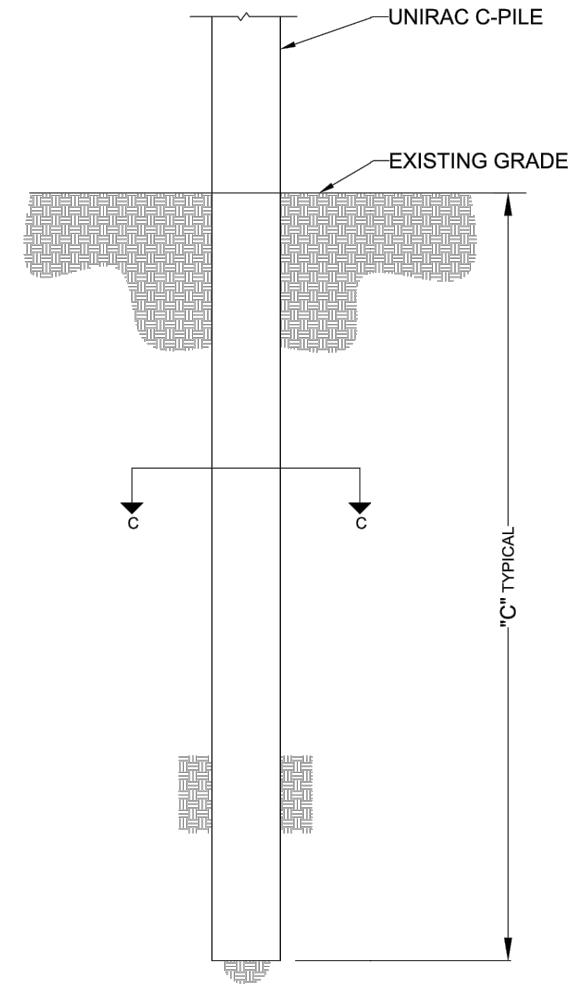
Project Site:
1300 BAPTIST CHURCH RD
YORKTOWN, NY, 10598

	BY	DATE	REVISION DESCRIPTION	#

Professional Stamp
PRELIMINARY

SHEET NAME:
GROUND MOUNT
ELEVATION

PROJECT NUMBER: --- DRAWN BY: DQP CHECKED BY: ---
 DATE: 07/28/2021 DWG. NUMBER:
 SHEET NUMBER: of **PV-200.1**



NOTE:
PILES MUST BE INSTALLED
WITH C-PILE OPEN TO THE
WEST - AS SHOWN

20 DEGREE UNIRAC STEEL C-PILE FOUNDATION DEPTHS
 (REFER TO SHEET SR-200 FOR PILE STICK-UP HEIGHT) (c)

FOUNDATION TYPE	DETAIL NUMBER	DIMENSION "C"
FULLY DRIVEN PILE (b)	403	8'-0"

(b) PILE EMBEDMENT DEPTH NEEDS TO BE VERIFIED BY PILE TESTING OR FROM A GEOTECHNICAL OR PROFESSIONAL ENGINEER.
 (c) BASED ON THE PILE STICK-UP HEIGHT FOR A STANDARD 20 DEGREE GFT TABLE, ALL PILE EMBEDMENT DEPTHS THAT ARE 8'-1" OR GREATER, REQUIRE A 15 FT LONG PILE.

30 DEGREE UNIRAC STEEL C-PILE FOUNDATION DEPTHS
 (REFER TO SHEET SR-300 FOR PILE STICK-UP HEIGHT) (e)

FOUNDATION TYPE	DETAIL NUMBER	DIMENSION "C"
FULLY DRIVEN PILE (d)	403	8'-6"

(d) PILE EMBEDMENT DEPTH NEEDS TO BE VERIFIED BY PILE TESTING OR FROM A GEOTECHNICAL OR PROFESSIONAL ENGINEER.
 (e) BASED ON THE PILE STICK-UP HEIGHT FOR A STANDARD 30 DEGREE GFT TABLE, ALL PILE EMBEDMENT DEPTHS THAT ARE 6'-4" OR GREATER, REQUIRE A 15 FT LONG PILE.

403 FULLY DRIVEN PILE
 (ALTERNATE OPTION) NOT TO SCALE

- FOUNDATION 403: FULLY DRIVEN PILE
- DRIVEN PILE FOUNDATIONS MAY NOT BE USED IN SOILS THAT CONTAIN SILT OR CLAY WITH GROUNDWATER WITHIN 12 FEET OF THE SURFACE UNLESS APPROVED BY A GEOTECHNICAL ENGINEER. IT IS RECOMMENDED TO VERIFY GROUNDWATER IS NOT PRESENT IF USING THIS FOUNDATION TYPE IN FROST PRONE REGIONS.
 - PILES MUST BE INSTALLED TO THE FULL DEPTH. PILES NOT DRIVEN TO FULL DEPTH ARE CONSIDERED FAILED PILES AND A DIFFERENT FOUNDATION MUST BE UTILIZED.
 - FOUNDATIONS MUST NOT BE INSTALLED IN ORGANIC SOILS OR IN AREAS WITH GROUNDWATER NEAR THE SURFACE.
 - PILE EMBEDMENT MUST BE DETERMINED BY A LICENSED CIVIL ENGINEER OR BY SITE PILE TESTS.



ECOGY ENERGY

ECOGY ENERGY
315 FLATBUSH AVENUE, #393
BROOKLYN, NY 11217
projectmanagement@ecogyenergy.com
(718)-304-0945

Ecogy New York XIII LLC

Project Name:
**ARCADIA GROUND
985.88 kW-DC**

Project Site:
**1300 BAPTIST CHURCH RD
YORKTOWN, NY, 10598**

					BY
					DATE
					REVISION DESCRIPTION
					#

Professional Stamp

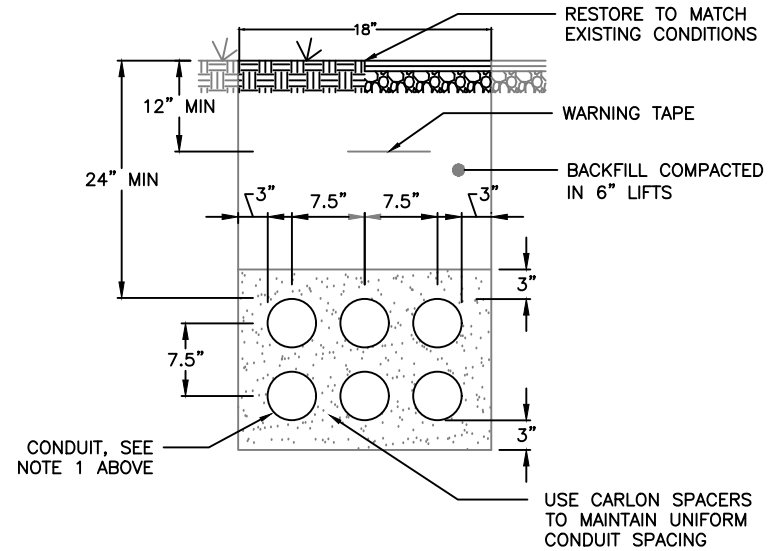
PRELIMINARY

SHEET NAME:
**MISC. MECHANICAL
DETAILS**

PROJECT NUMBER: --- DRAWN BY: DQP CHECKED BY: ---

DATE: 07/28/2021 DWG. NUMBER:

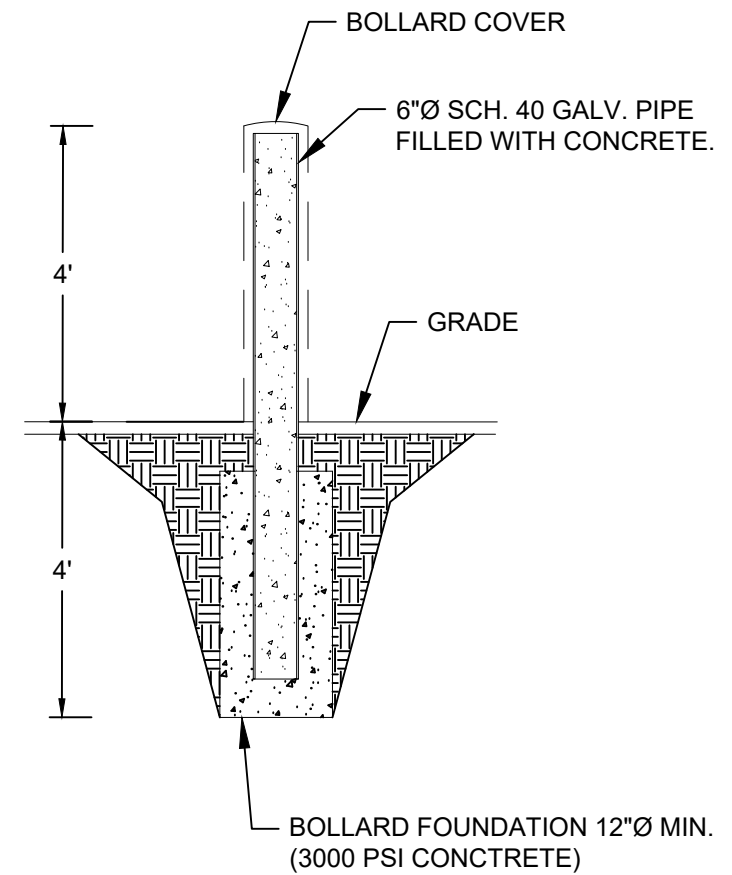
SHEET NUMBER: X of X **PV-507**



- NOTE:
1. ALL UNDERGROUND CONDUIT SHALL BE PVC AND TRANSITION TO RMC FOR ELBOW. RMC ELBOW DOES NOT NEED TO BE BONDED IF ANY PART OF THE ELBOW IS 18" DEEP (NEC 250.86 EXCEPTION 3)
 2. UNDER ROADS AND PARKING AREAS ENCASEMENT SHALL BE 3000 PSI CONCRETE. UNDER GRASSY AREAS ENCASEMENT SHALL BE SAND
 3. COORDINATE WITH DIG SAFE AND LOCAL UTILITIES PRIOR TO EXCAVATING

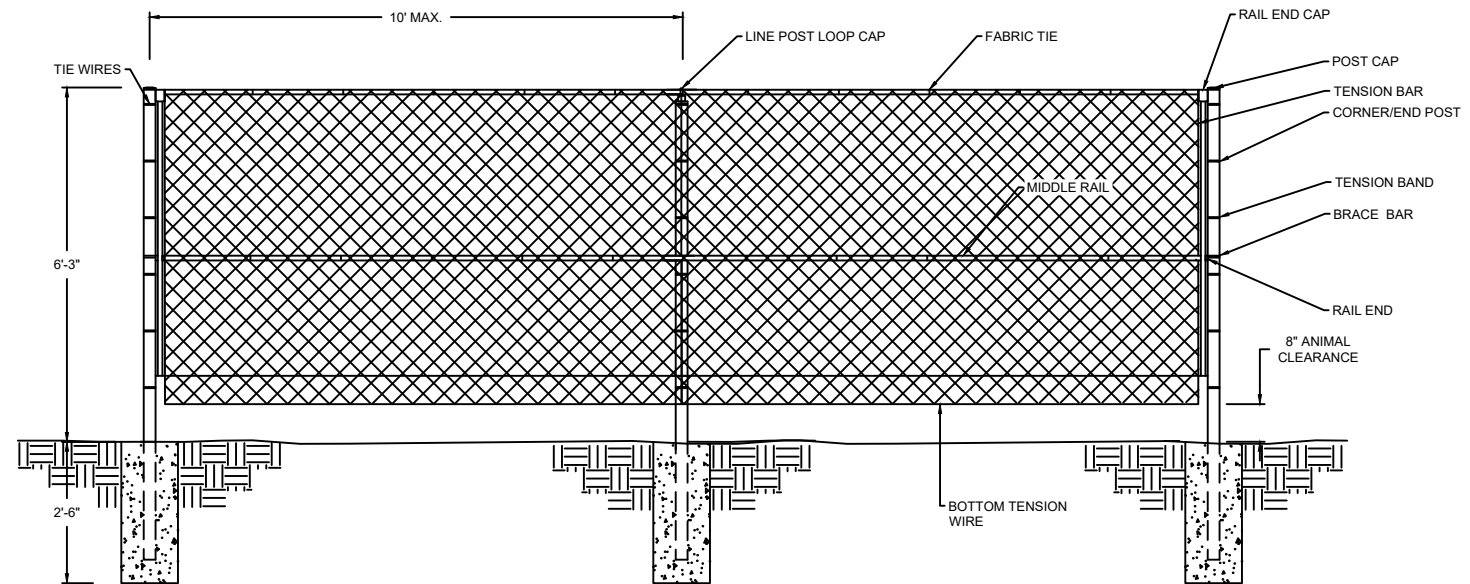
TRENCH DETAIL

N.T.S.



BOLLARD DETAIL

N.T.S.



FENCE DETAIL

N.T.S.

- NOTE:
1. FENCING TO BE ANIMAL FRIENDLY WITH AN 8" MIN. CLEARANCE FROM BOTTOM OF FENCE TO THE GROUND.



75 S. Riverside Ave.
Croton-on-Hudson, NY 10520
914-862-4220

Developer



67 West St Suite 202 Brooklyn, NY 11222
718-304-0945
O&M Contact: John Gorman
oandm@ecogyenergy.com
Construction Contact: Jim Donnelly
jim.donnelly@ecogyenergy.com
Project Manager: Julia Magliozzo
Projectmanagement@ecogyenergy.com

Page Size: 24" x 36"

Power Clerk Project #:

PROPERTY INFORMATION

SBL: 47.11-1-4
Block Group: 1
Lot: 4
Lot Area: 11.67 Acres
Latitude: 41°15'34.3"N
Longitude: 73°49'24.5"W

Array 1 Azimuth: 205°

Panel Tilt: 20°

PE Stamps/Signatures

Rev	Date	Description	Initial
00	4/1/21	Design	MT

1300 Baptist Church Rd
Yorktown Hts. NY
10598

Owner: Arcadia Holding Co., LLC
Solar Modules:
(2232) 445W Solar Modules
Solar Inverters:
(8) SolarEdge 100kW 3p 480V Inv's
Solar System DC Size: 993.24kW
Solar System AC Size: 800kW
Interconnection Type:
Community Solar

SITE PLAN
OVERVIEW

Scale: See Scales | Page 2 of 2

A-001.01

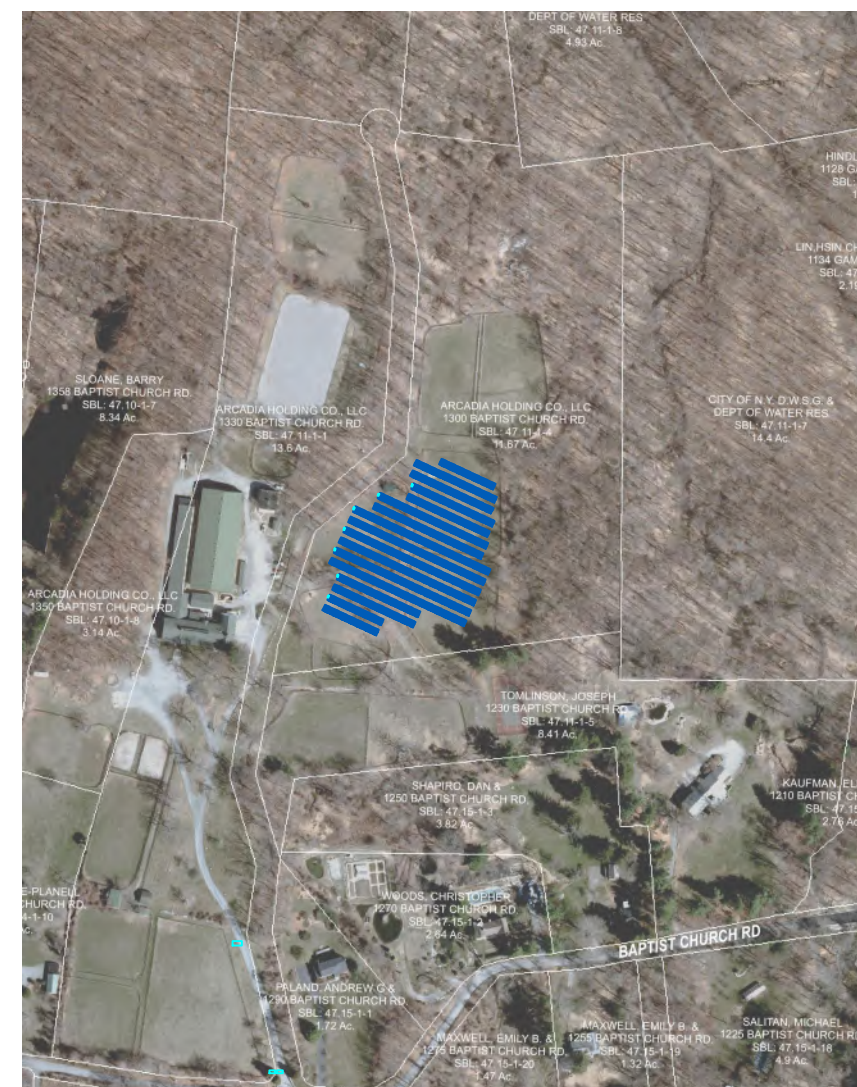
Legend

- Solar Panel
- FD Setbacks & Pathways
- Gas Line
- D/C Home Run
- A/C Home Run
- Light Shade
- Heavy Shade
- Obstruction (Vent Pipe)
- Building Outline
- Solar Inverter Electrical Equipment

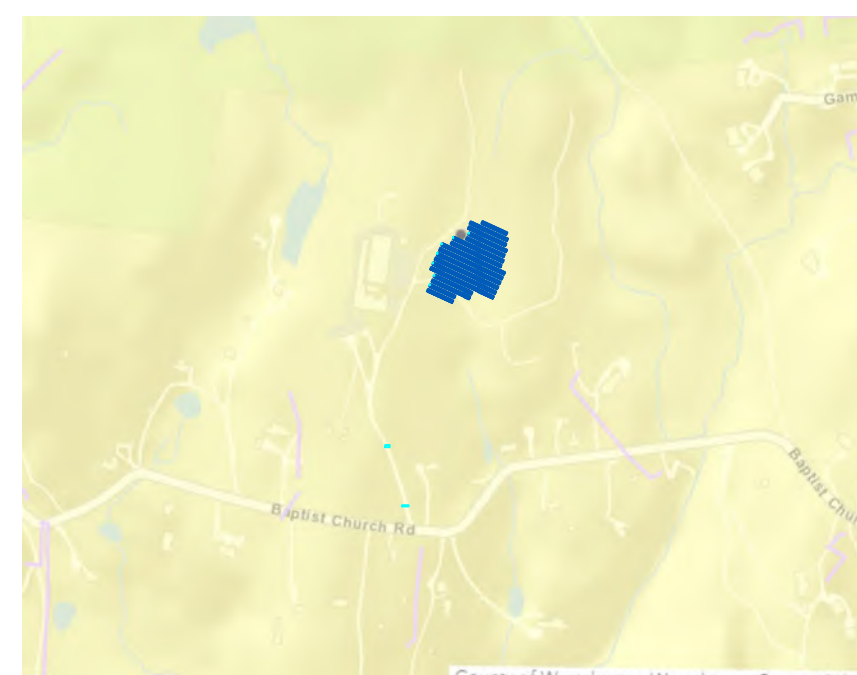
SCOPE OF WORK

- Installation of:
- (2232) Solar Modules 445W (49,662 sqft)
- (8) SolarEdge 100kW 480V Inverters
- (1) 52IT 800A Solar AC Combiner Panel
- (1) 89L 800A AC Disconnect Switch

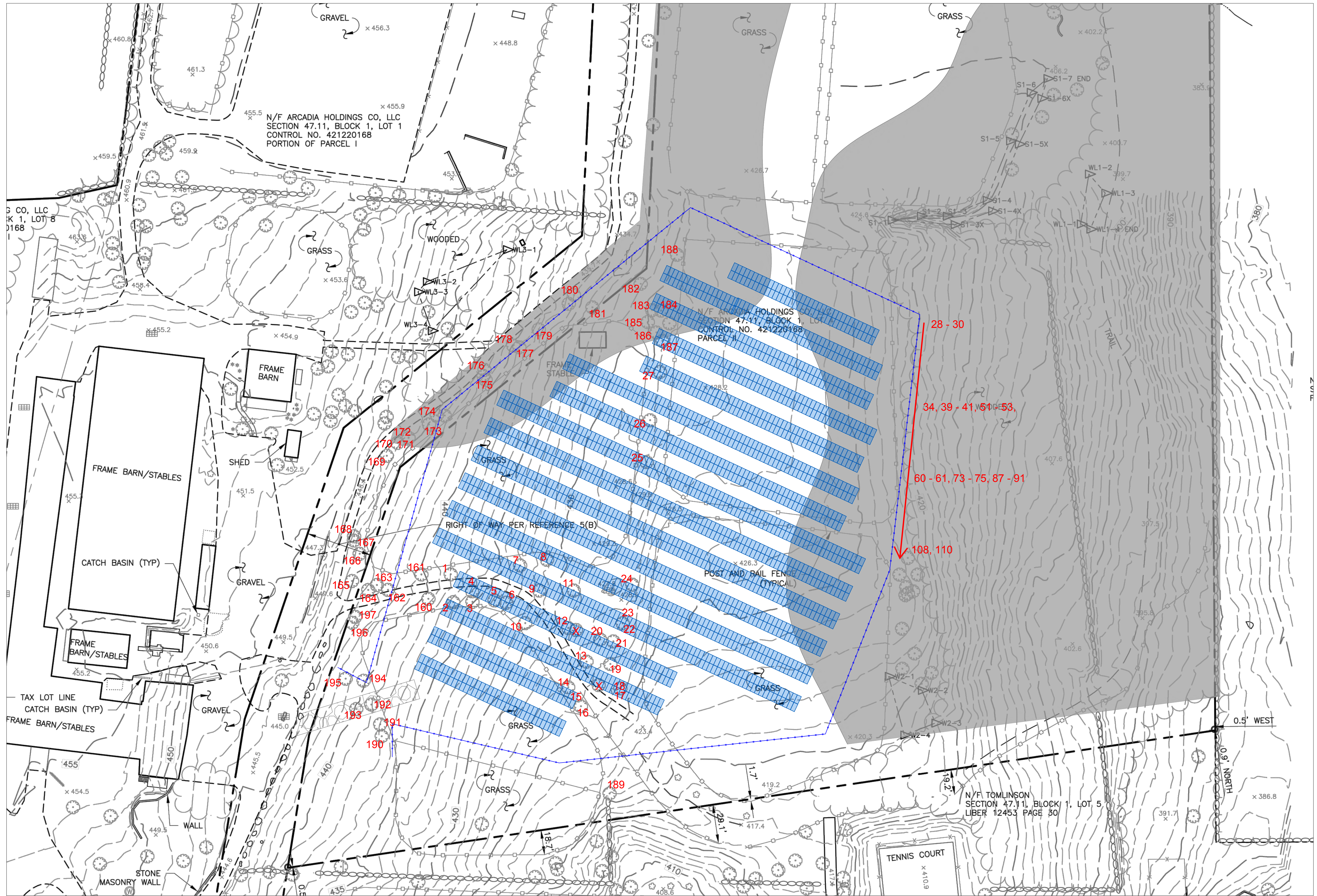
2
A-000 TAX MAP
Scale: NTS



3
A-000 UTILITY CAPACITY MAP
Scale: NTS



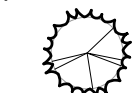





SCALE: 1"=10'-0" (IN FEET)
0 5 10 20



T1.0.7

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	5	Cornus alternifolia	Alternate-leaved Dogwood	3-3.5"
	7	Malus x domestica	Apple	2.5-3"
	8	Picea glauca	White Spruce	10-12'
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	27	Hamamelis virginiana	Witchhazel	4-5'
	17	Vaccinium corymbosum	Highbush Blueberry	3-4'
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	32	Schizachyrium scoparium	Little Bluestem Grass	2 Gal



Malus domestica (Apple tree)



Cornus alternifolia



Picea glauca



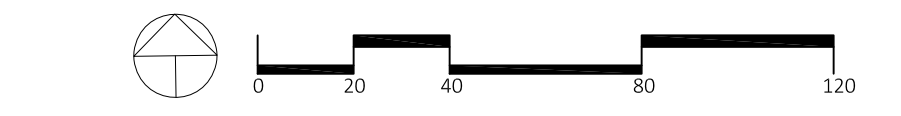
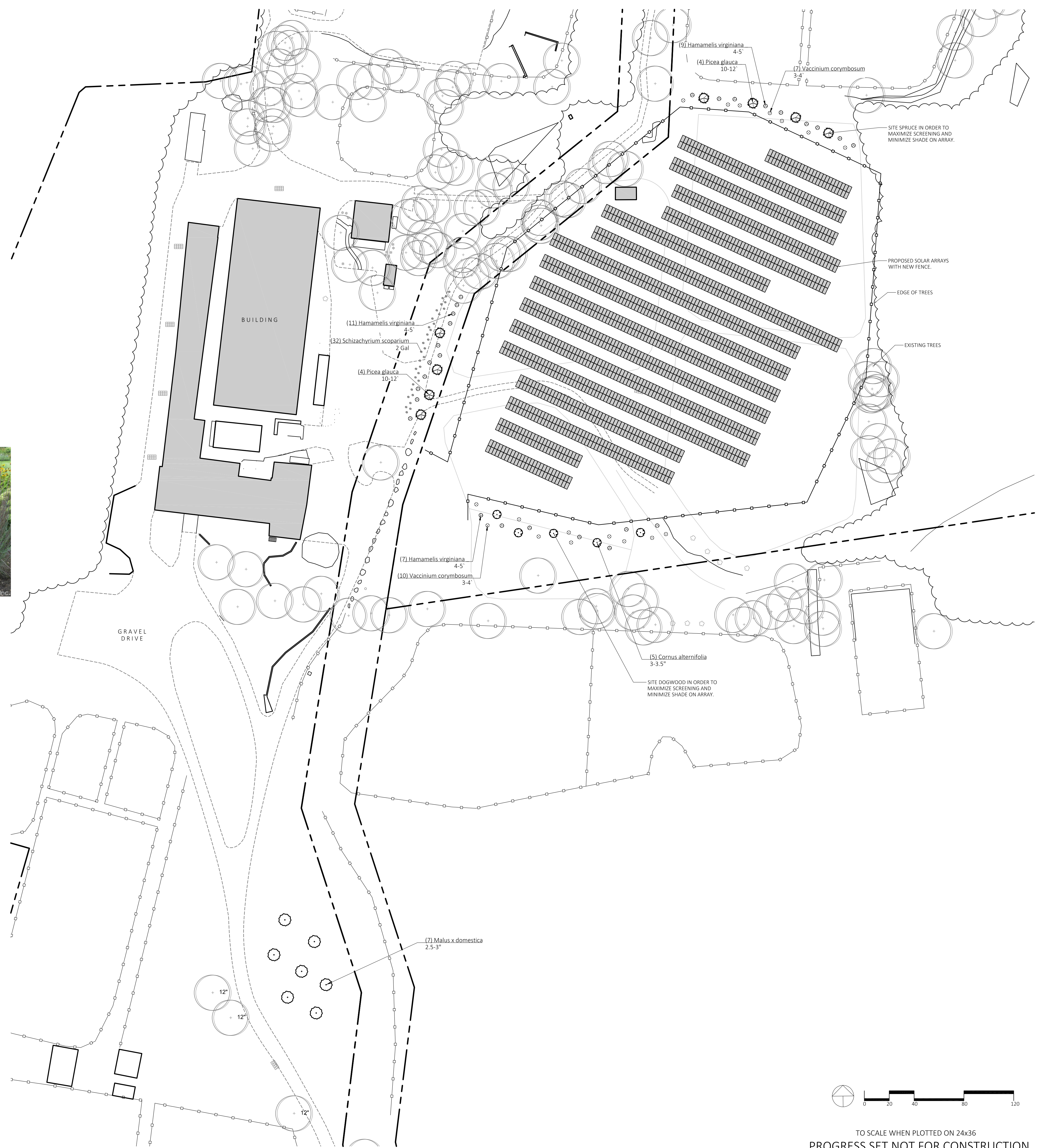
Schizachyrium scoparium



Vaccinium corymbosum



Hamamelis virginiana



TO SCALE WHEN PLOTTED ON 24x36
 PROGRESS SET NOT FOR CONSTRUCTION

YOST DESIGN
 LANDSCAPE ARCHITECTURE
 178 elizabeth st
 pearl river, ny 10965
 p 845.365.4595 | f 914.361.4473
 yostdesign.com

SURVEYOR:

YORKTOWN SOLAR
 ARCADIA FARM
 NEW YORK

DATE: MAY 25, 2021
 DRAWN BY: ZIS
 JOB NO: 052521
 SCALE: 1" = 40'
 FILENAME: 2021_0823 Yorktown Solar-Arcadia

REVISIONS:
 6/2/2021
 6/4/2021
 6/7/2021
 6/14/2021
 8/23/2021

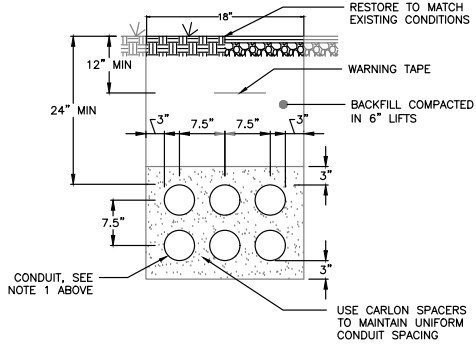
By the M Yost ASLA | Registered Landscape Architect

PLANTING PLAN

SHEET NO.

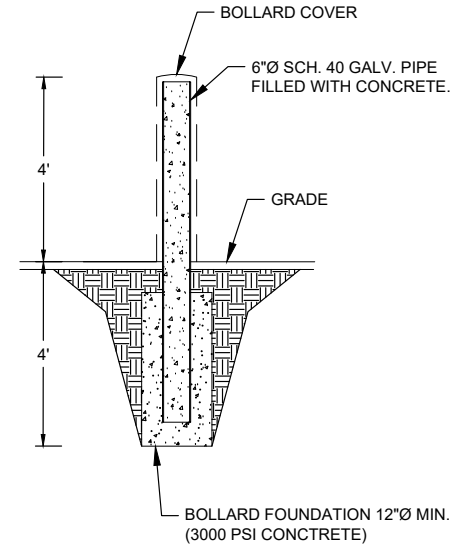
L-701

SHEET: 1 of 1

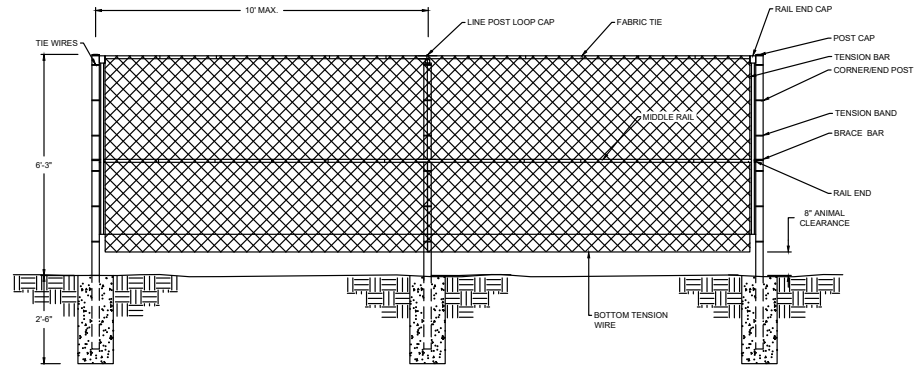


- NOTE:
1. ALL UNDERGROUND CONDUIT SHALL BE PVC AND TRANSITION TO RMC FOR ELBOW. RMC ELBOW DOES NOT NEED TO BE BONDED IF ANY PART OF THE ELBOW IS 18" DEEP (NEC 250.86 EXCEPTION 3)
 2. UNDER ROADS AND PARKING AREAS ENCASEMENT SHALL BE 3000 PSI CONCRETE. UNDER GRASSY AREAS ENCASEMENT SHALL BE SAND
 3. COORDINATE WITH DIG SAFE AND LOCAL UTILITIES PRIOR TO EXCAVATING

TRENCH DETAIL
N.T.S.



BOLLARD DETAIL
N.T.S.



FENCE DETAIL
N.T.S.

- NOTE:
1. FENCING TO BE ANIMAL FRIENDLY WITH AN 8" MIN. CLEARANCE FROM BOTTOM OF FENCE TO THE GROUND.



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315 FLATBUSH AVENUE, #393
BROOKLYN, NY 11217
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Project Name:
**ARCADIA GROUND
985.88 kW-DC**

Project Site:
**1300 BAPTIST CHURCH RD
YORKTOWN, NY, 10598**

REVISION DESCRIPTION	BY	DATE	#

Professional Stamp

PRELIMINARY

SHEET NAME:
**MISC. MECHANICAL
DETAILS**

PROJECT NUMBER: ---	DRAWN BY: DQP	CHECKED BY: ---
DATE: 07/28/2021	DWG. NUMBER: PV-507	
SHEET NUMBER: X of X		

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

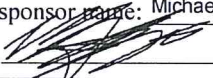
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Arcadia Ground Mount Community Solar System			
Project Location (describe, and attach a location map): 1300 Baptist Church Road, Yorktown Heights, NY 10598			
Brief Description of Proposed Action: Installation of 2236 445W Solar Modules, (8) 100kWAC SolarEdge Inverters, (1) 800A Combiner Panel, (1) 800A A/C Disconnect Switch, (1) 100kVA Transformer			
Name of Applicant or Sponsor: Michael Tarzian		Telephone: 914-862-4220 E-Mail: mtarzian@crotonenergy.com	
Address: 75 South Riverside Ave.			
City/PO: Croton-on-Hudson		State: NY	Zip Code: 10520
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		11.67 acres	
b. Total acreage to be physically disturbed?		5.11 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		11.67 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The project will install a solar photovoltaic system, which will generate 100% clean electricity.	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ No potable water is required for the project.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ No wastewater will be produced as a result of the project.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES	
a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES			

RESET

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Michael Tarzian		Date: 4/20/2021
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT

RESET

STORMWATER REPORT

**Arcadia Ground Mount
1300 Baptist Church Road
Yorktown, NY 10598**

July 13, 2021



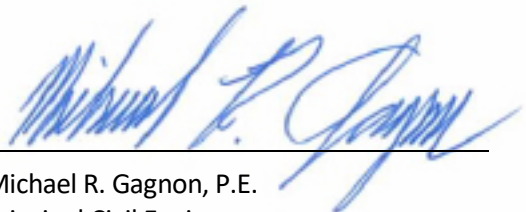
Arcadia Ground Mount

1300 Baptist Church Road
Yorktown, NY 10598

Prepared for:
Ecogy Energy
315 Flatbush Avenue, #393
Brooklyn, New York 11217

Prepared by:
SLR Engineering, Landscape Architecture, and Land Surveying, P.C. (SLR)
231 Main Street, Suite 102
New Paltz, New York 12561

This document has been prepared by SLR. The material and data in this report were prepared under the supervision and direction of the undersigned.



Michael R. Gagnon, P.E.
Principal Civil Engineer

CONTENTS

- 1. Site Description 3**
 - 1.1 Overview 3
 - 1.2 Existing Conditions 3
 - 1.3 Proposed Conditions 3
- 2. Hydrologic Analysis 5**
 - 2.1 Methodology 5
 - 2.2 Results 5

TABLES

Table 2-1 Peak-Flow Rates

FIGURES

Figure 1 USGS Location Map

APPENDIX

Watershed Maps

1. SITE DESCRIPTION

1.1 OVERVIEW

Ecogy Energy has retained SLR Engineering, Landscape Architecture, and Land Surveying, P.C. (SLR) for professional engineering services for the stormwater management design and permitting for the proposed ground mount photovoltaic (PV) solar facility located at 1300 Baptist Church Road in Yorktown, New York.

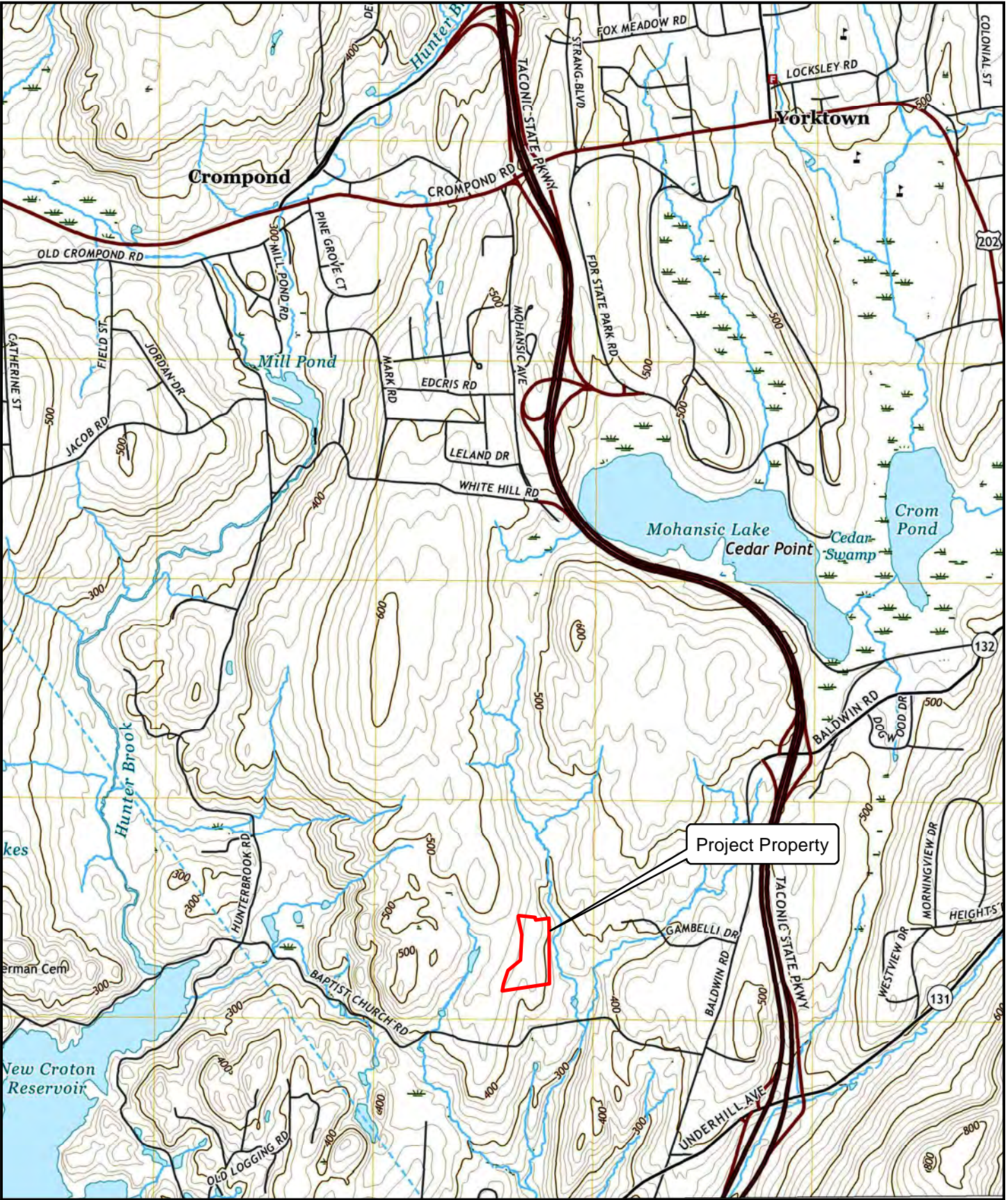
1.2 EXISTING CONDITIONS

The existing ±11.8-acre site is located at 1300 Baptist Church Road in the town of Yorktown, New York. The property is identified as parcel 47.11-1-4 and is zoned as One-Family Residential (R1-160). The property is accessed at the south from Baptist Church Road. The site consists primarily of open field with small, wooded areas between the fields and a larger wooded area along the eastern side of the property. A barn/stable is located west of the site and residential properties are located south of the site. The topography generally slopes to the east and to the south. Topography is generally mild in the open field areas of the site and is steeper along the wooded eastern side of the property. A few small wetland areas are located along the eastern and western sides of the property outside of the proposed project site. Stormwater runoff from the northern portion of the site drains towards the wooded area to the east, and stormwater from the southern portion of the site drains towards a wide, natural swale south of the property.

1.3 PROPOSED CONDITIONS

Ecogy Energy intends to construct an approximately 2.9-acre ground mount PV solar facility on the property located at 1300 Baptist Church Road in Yorktown, New York. The proposed project consists of ground-mounted PV solar panel arrays supported by galvanized steel brackets above grade to facilitate the required vertical angle and southerly exposure of the PV panels. A chain link security fence will enclose the entire compound. An access road off of the existing road along the western edge of the property boundary will provide access to the southwest corner of the solar facility. Some minor tree clearing will be required between the open fields. Approximately 1.2 acres will be disturbed as a result of the panel installation, tree clearing, access road and equipment pad installation.

Existing site drainage patterns are maintained under proposed conditions. Proposed stormwater best management practices (BMPs) utilize nonstructural practices such as natural stormwater conveyances present under existing conditions and the disconnection of impervious runoff from the PV solar panels. Runoff from the elevated PV solar arrays will drain directly onto the grass below where it can soak into and filter over the grass area.



Project Property



231 MAIN STREET
 SUITE 102
 NEW PALTZ, NY 12561
 845.633.8153

USGS SITE LOCATION MAP

ARCADIA GROUND MOUNT

1300 BAPTIST CHURCH ROAD
 YORKTOWN, NEW YORK



SCALE 1" = 2,000'

DATE 7/13/2021

17054.00015

PROJ. NO.

FIG. 1

2. HYDROLOGIC ANALYSIS

2.1 METHODOLOGY

A hydrologic analysis was conducted to analyze predevelopment versus postdevelopment peak-flow rates from the project site. In order to analyze the peak rates of runoff from the site, two analysis points were chosen at the east and south sides of the site. Runoff analysis points are chosen based on drainage patterns that drain toward similar points for existing and proposed conditions.

Watershed areas encompassing the project site were used to determine the peak-flow rates based on topography and drainage patterns to develop the existing conditions hydrology model. Similar drainage areas were used for the proposed conditions model and were modified to reflect the proposed land cover.

Peak flows were determined using the Natural Resources Conservation Service (NRCS) hydrologic method. The *HydroCAD* computer program was used to conduct watershed modeling. The *HydroCAD* computer program forecasts the rate of surface water runoff and runoff volume based upon several factors. The input data includes information on land use, hydrologic soil group, vegetative cover, contributing watershed area, time of concentration, rainfall data, storage volumes, and the hydraulic capacity of structures. The computer model predicts the amount of runoff as a function of time with the ability to include the attenuation effect due to natural storage effects. The input data for rainfall events with statistical recurrence frequencies of 2, 10, 25, and 100 years was obtained from the Hydrometeorological Design Studies Center of the National Oceanic and Atmospheric Administration (NOAA) National Weather Service (NWS). It released updated precipitation frequency estimates for the northeastern states, including New York, on September 30, 2015, and revised in 2019. The precipitation frequency estimates are published in NOAA Atlas 14, Volume 10: *Precipitation-Frequency Atlas of the United States, Northeastern States*. The NOAA Atlas 14 precipitation frequency estimates supersede the estimates published in NWS HDYRO-35 (1977), Technical Paper No. 40 (1961), Technical Paper No. 49 (1964), and General Memorandum No. 14-04 "Interim 24-hour Precipitation Rates". For analysis in Westchester County, New York, the Type III rainfall pattern with a 24-hour duration is appropriate.

Land use and coverage for the analysis under existing and proposed conditions were determined from project base mapping, review of orthophotos of the project area, and past use of the site. Land use types used in the analysis include woods, open space, wood/grass combination, unpaved, pervious, and impervious gravel surface cover. Soil types in the watershed were obtained from the NRCS Web Soil Survey for Westchester County, New York. For this analysis, the study area was determined to be hydrologic soil group "C", with a small area of hydrologic soil group "D" in the northeastern portion of the watershed.

2.2 RESULTS

Peak rates of runoff were obtained from the hydrologic model results at the analysis points (AP) as shown in the following table.

TABLE 2-1
Peak-Flow Rates

	1-Year	2-Year	10-Year	25-Year	50-Year	100-Year
Existing	7.52	11.06	22.67	30.23	35.93	42.06
Proposed	8.16	11.79	23.56	31.17	36.87	43.01
Change	0.64	0.73	0.89	0.94	0.94	0.95

The results of the hydrologic analysis show a slight increase in peak flow for the storm events. Increase in peak flow is mainly attributed to change in cover as a result of tree clearing on portions of the site. PV solar panel arrays were analyzed as unconnected impervious areas that allow runoff from each individual panel array to contact the ground directly below and dissipate over the surrounding grass surface.

APPENDIX

WATERSHED MAPS

**1300 Baptist Church Road
Yorktown, New York**

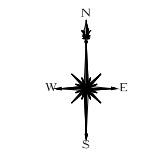
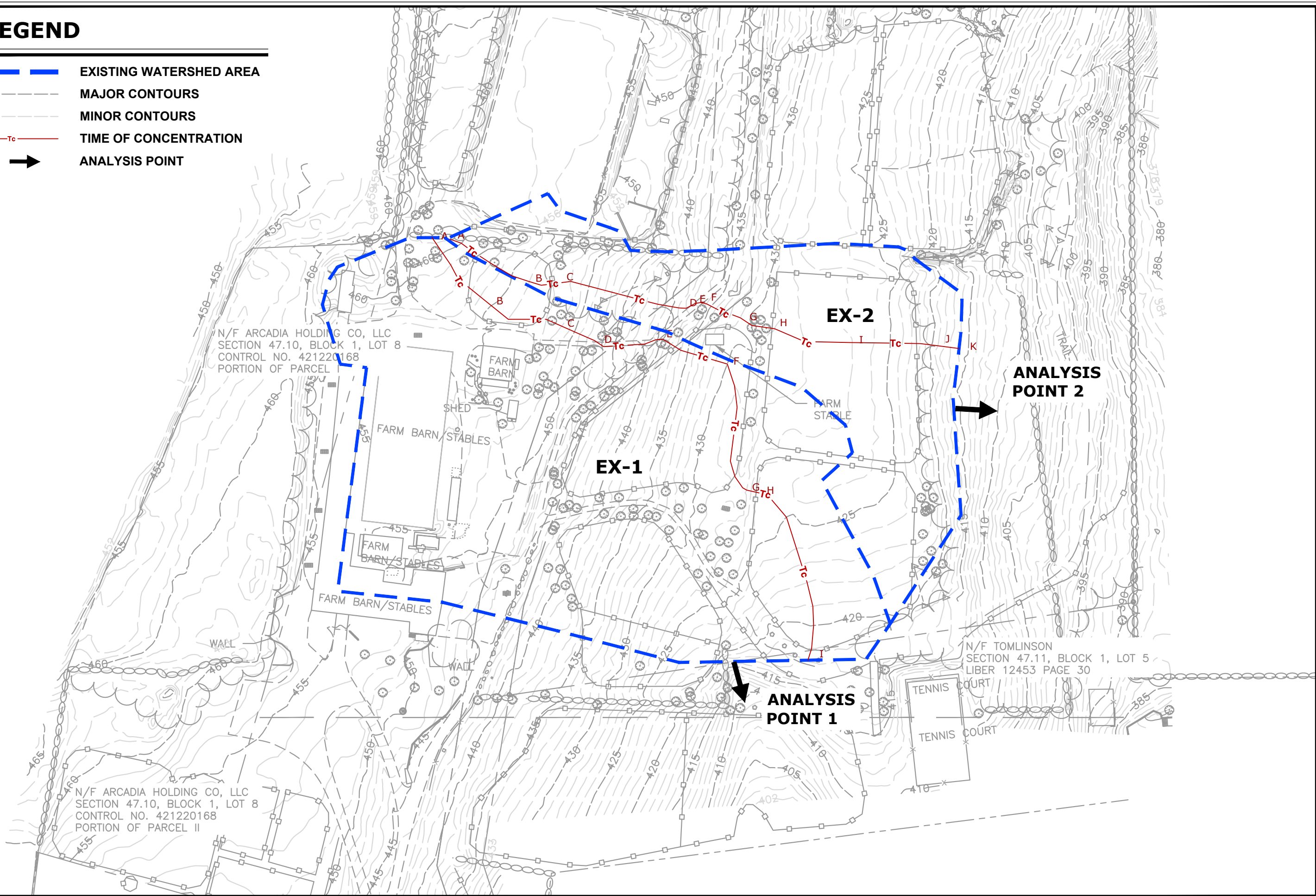
Ecogy Energy
315 Flatbush Avenue, #393
Brooklyn, New York 11217

July 13, 2021

Drawing: W:\CAD\DESIGN\17094.00015-DE-CAD\NONPARALLEL WATERSHED WATERSHED_EXISTING.dwg Layout: TAPINS-EX
 Plotted by: HMINOTT On this date: Tue, 2021 July 13 - 4:22pm

LEGEND

- EXISTING WATERSHED AREA
- MAJOR CONTOURS
- MINOR CONTOURS
- Tc— TIME OF CONCENTRATION
- ➔ ANALYSIS POINT



REVISIONS

WATERSHED MAP - EXISTING CONDITIONS
ARCADIA GROUND MOUNT
 1300 BAPTIST CHURCH ROAD
 YORKTOWN, NEW YORK

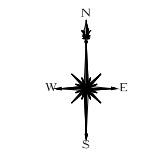
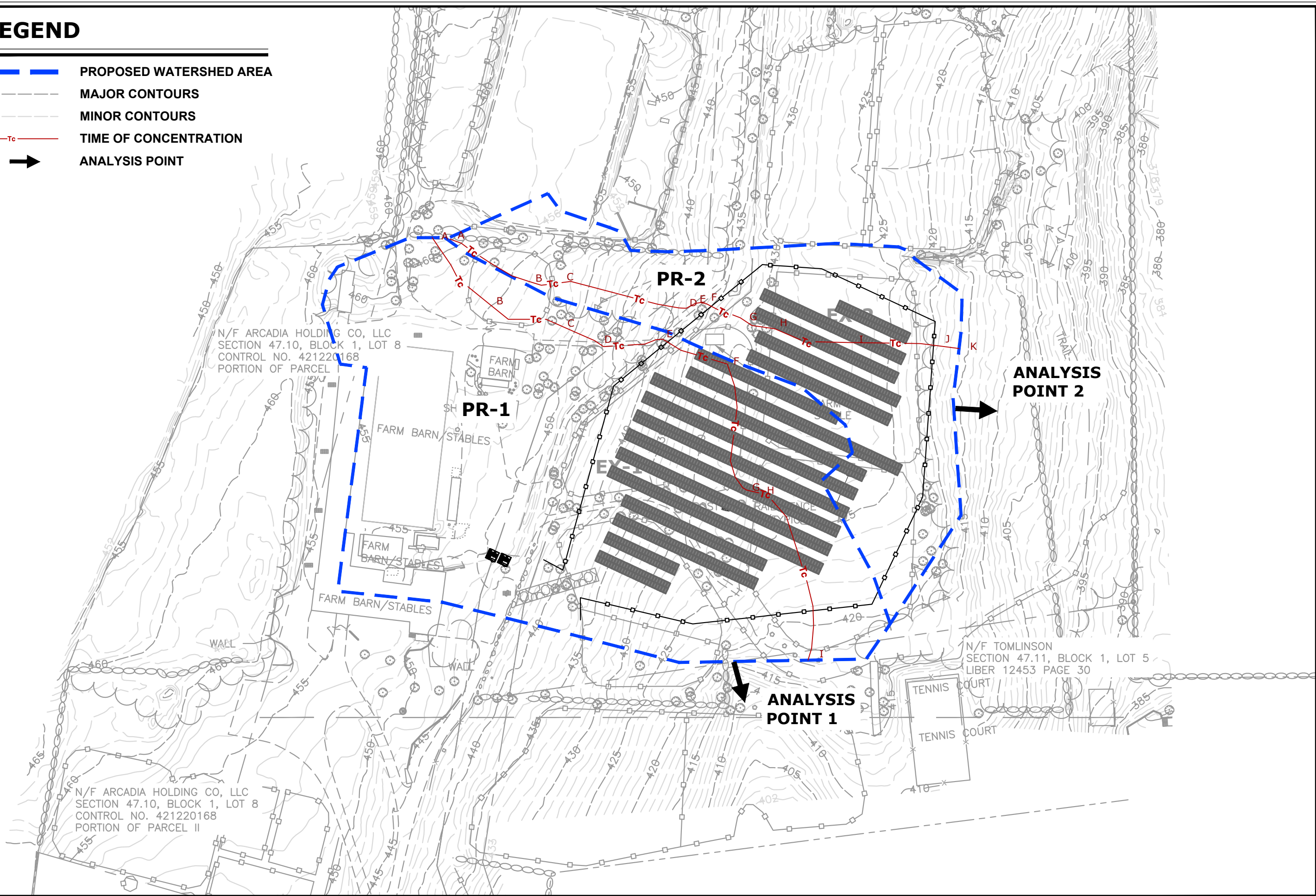
HMM DESIGNED	HMM DRAWN	MRG CHECKED
SCALE 1"=100'		
DATE JULY 13, 2021		
PROJECT NO. 16763.00011		

WS-EX
SHEET NO.

Drawing: W:\CAD\DESIGN\17094.00015-DEVELOPMENT\ARCADIA WATERSHED PROPOSED PLANNING layout.dwg
 Plotted by: HMINOTT On this date: Tue, 2021 July 13 - 4:53pm
 Copyright SLR International Corporation - 2021

LEGEND

- PROPOSED WATERSHED AREA
- MAJOR CONTOURS
- MINOR CONTOURS
- Tc— TIME OF CONCENTRATION
- ➔ ANALYSIS POINT



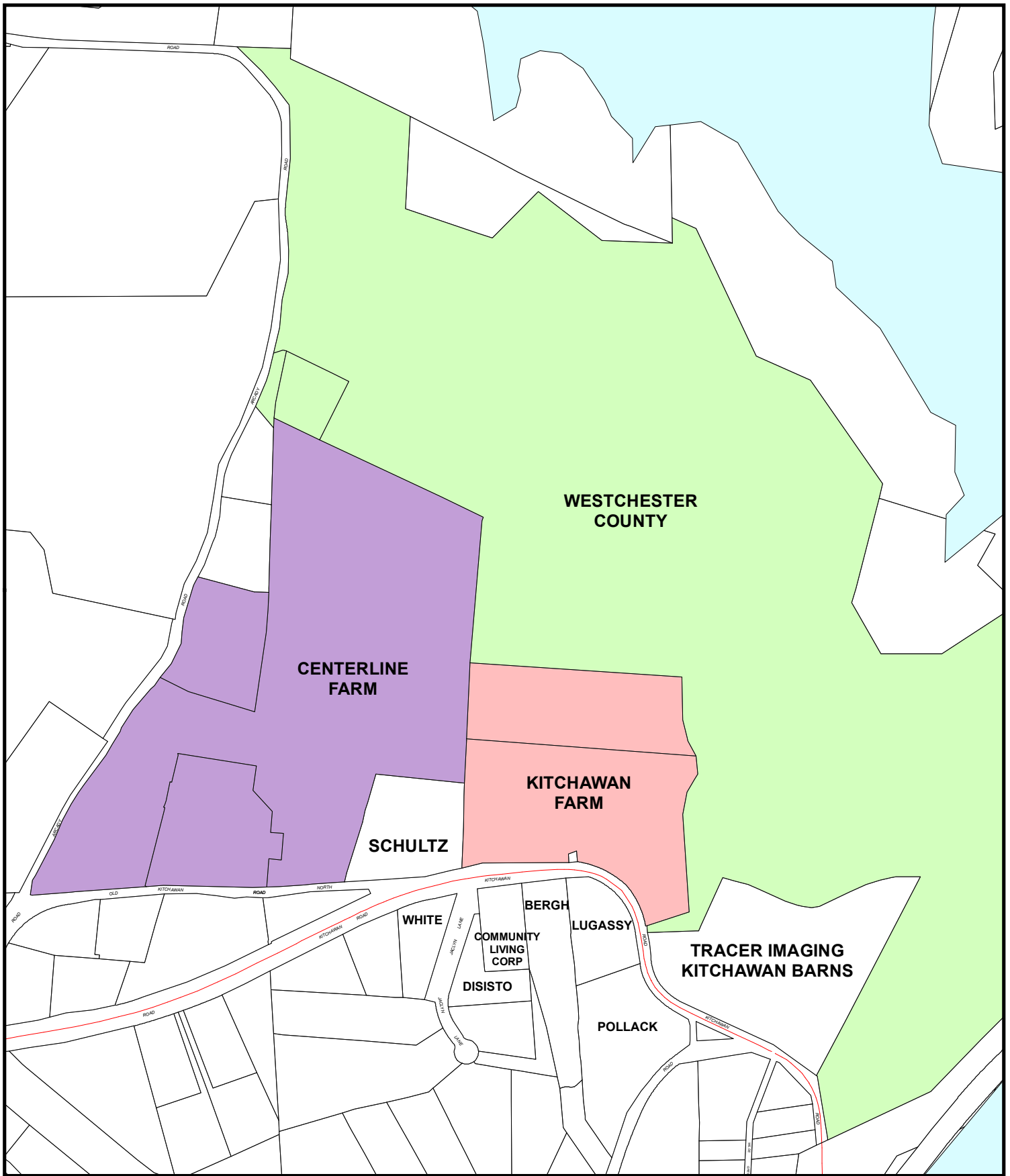
REVISIONS

WATERSHED MAP - PROPOSED CONDITIONS
ARCADIA GROUND MOUNT
 1300 BAPTIST CHURCH ROAD
 YORKTOWN, NEW YORK

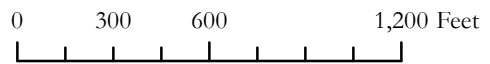
HMM DESIGNED	HMM DRAWN	MRG CHECKED
SCALE 1"=100'		
DATE JULY 13, 2021		
PROJECT NO. 16763.00011		

WS-PR
SHEET NO.

Kitchawan Farm Solar Farm



TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



1 inch = 600 feet

TITLE: Kitchawan Farm Proposed Solar Location
 DATE: September 24, 2021

FILE: F:\ArcGIS\PROJECTS\Kitchawan Farm-PH-Map.mxd
 BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

RECEIVED
PLANNING DEPARTMENT

SEP 16 2021

TOWN OF YORKTOWN



Firm Mailing Book For Accountable Mail

UNITED STATES POSTAL SERVICE® Name and Address of Sender Ecogy Energy 315 Flatbush Ave #393 Brooklyn, NY 11217		Check type of mail or service <input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail <input type="checkbox"/> Certified Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail		Affix (for a Post)		U.S. POSTAGE PAID BROOKLYN, NY 11215 SEP 15 21 AMOUNT \$3.29 R2305E124636-17		SCRD Fee	SH Fee
USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage							
1.	Michael and Mara Lugassy 709 Kitchawan Rd. Ossining, NY 10562								
2.	Joseph G Jr White 118 Pine St. Peekskill, NY 10566								
3.	County of Westchester 148 Martine Ave. White Plains, NY 10601								
4.	Frank Bergh 715 Kitchawan Rd. Ossining, NY 10562								
5.	Community Living Corp 135 Radio Circle Dr. Mt. Kisco, NY 10549-2609								
6.	Lynne Schultz 730 Kitchawan Rd. North Ossining, NY 10562								
7.	Centerline Farm LLC Attn: Donald Manocherian 150 East 58th St. New York, NY 10155								
8.									
Total Number of Pieces Listed by Sender: <u>8</u>		Total Number of Pieces Received at Post Office: <u>8</u>		Postmaster, <u>Pat</u> (Name of receiving employee)					

RECEIVED
PLANNING DEPARTMENT

SEP 16 2021

TOWN OF YORKTOWN

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 70.06 Block 1 Lot 2 and 3

Project Name: Ecogy Kitchawan Farm Ground Mount Solar

Address: 716 Kitchawan Rd, Ossining, NY 10562

Applicant's Name: Ecogy Kitchawan Community Solar Farm LLC

Address: 315 Flatbush Ave #393, Brooklyn, NY 11217

Phone: 718-304-0945

No. Signs Posted: 1

Sign #1 Location: Near the mailbox

Sign #2 Location: _____

Sign #3 Location: _____

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature:

DocuSigned by:
John Bertuzzi
59B6A7A3E78D427...

Land Owner's Signature:

DocuSigned by:
Alexander Cochran
8A561FA7B64B4BB...

Next to the mailbox for 716 Kitchawan Road



Westchester County Planning Board Planning and Zoning Action Referral Form

Westchester County Planning Board comments due by:
09/10/2021

Referral Name: Kitchawan Farm Solar Farm

Address: 716 Kitchawan Road, Ossining

Municipality: Yorktown

Local Case Number: _____

Zip code of location of the action: 10562

Local Meeting Date: 8/16 & 9/13

Section: 70.06 Block: 1 Lot: 2&3

Public Hearing: Yes No

Referring Agency:

- City Council
- Town/Village Board
- Planning Board/Commission
- Zoning Board
- Other: _____

General Land Use Classification: R1-160

Type of Action

- New
- Expansion
- Modification

SEQR Action

- | | | |
|---|------------------------------------|---|
| <input checked="" type="checkbox"/> EAF | <input type="checkbox"/> Draft EIS | <input type="checkbox"/> Positive Declaration |
| <input checked="" type="checkbox"/> Lead Agency | <input type="checkbox"/> Final EIS | <input type="checkbox"/> Negative Declaration |
| <input type="checkbox"/> Draft Scope | <input type="checkbox"/> Findings | |

Referral Description:

Application by Ecogy Kitchawan Community Solar Farm LLC for installation of a 2MW ground-mounted large-scale solar energy system. This farm is located within the Westchester County Agricultural District.

Referral Trigger (Type of Action)*

Please check appropriate box for actions involving **more than 5,000 square feet of new or renovated floor area OR 10,000 square feet of total land disturbance**. If this action involves less floor area or land disturbance, please use a "notification only" form to reduce paperwork/waste.

- Special Use Permit or Use Variance**
- Subdivision Plat** (Only when a new street will connect directly into a **state or county** road or a new drainage line will connect directly into a **county** drainage channel)
- Zoning Ordinance or Map** (Adoption or Amendment)
- Moratoriums**

- Comprehensive Plan** (Adoption or Amendment)
- Official Map** (Adoption or Amendment)
- Site Plan** (please circle the condition)
Affecting property within 500 feet of:

- A municipal boundary;
- The boundary of an existing or proposed **state or county** park or any other **state/county** recreation area;
- The right-of-way of an existing or proposed **state or county** road;
- An existing or proposed **county** drainage channel line;
- The boundary of **state or county**-owned land on which a public building/ institution is located;
- The boundary of a farm located in an agricultural district.

Contact Information

Local Contact Name: Robyn Steinberg

Department/Agency: Yorktown Planning Department

Phone Number: 914-962-6565 Email Address: rsteinberg@yorktownny.org

Please provide notice at least **10 days** prior to any hearing (**30 days** in advance for site plans) **with supporting documentation** (including an EAF) and return address to:

Municipal Referrals
Westchester County Department of Planning
148 Martine Avenue, Room 432
White Plains, NY 10601-3311

Note: You may fax this sheet to (914) 995-3780, in order to start the referral process. Please send all supporting documentation within one business day of sending the fax.

* **Note:** This list is provided as a convenience. Please check General Municipal Law and the Westchester County Code to be certain which actions to refer.

TOWN OF YORKTOWN
AGRICULTURAL DATA STATEMENT

1. Applicant information:

Name: Ecogy Kitchawan Community Solar Farm LLC

Address: 315 Flatbush Avenue, #393, Brooklyn, NY 11217

2. Location of the proposed action:

Kitchawan Farm, 716 Kitchawan Road, Ossining, 10562

3. Description of the proposed action:

(A) Size of parcel or acreage to be acquired: 22.974 acres

(B) Tax map designation of all parcels in action: 70.06-1-2&3

(C) The type of action proposed: Solar ground mount array

(D) Description: Installation of 2MW ground-mounted solar energy system.

4. Name address, telephone number and type of farm of owner(s) of land within the agricultural district which land contains farm operation(s) and upon which the project is proposed or which is located within 500 feet of the boundary of the property upon which the project is proposed:

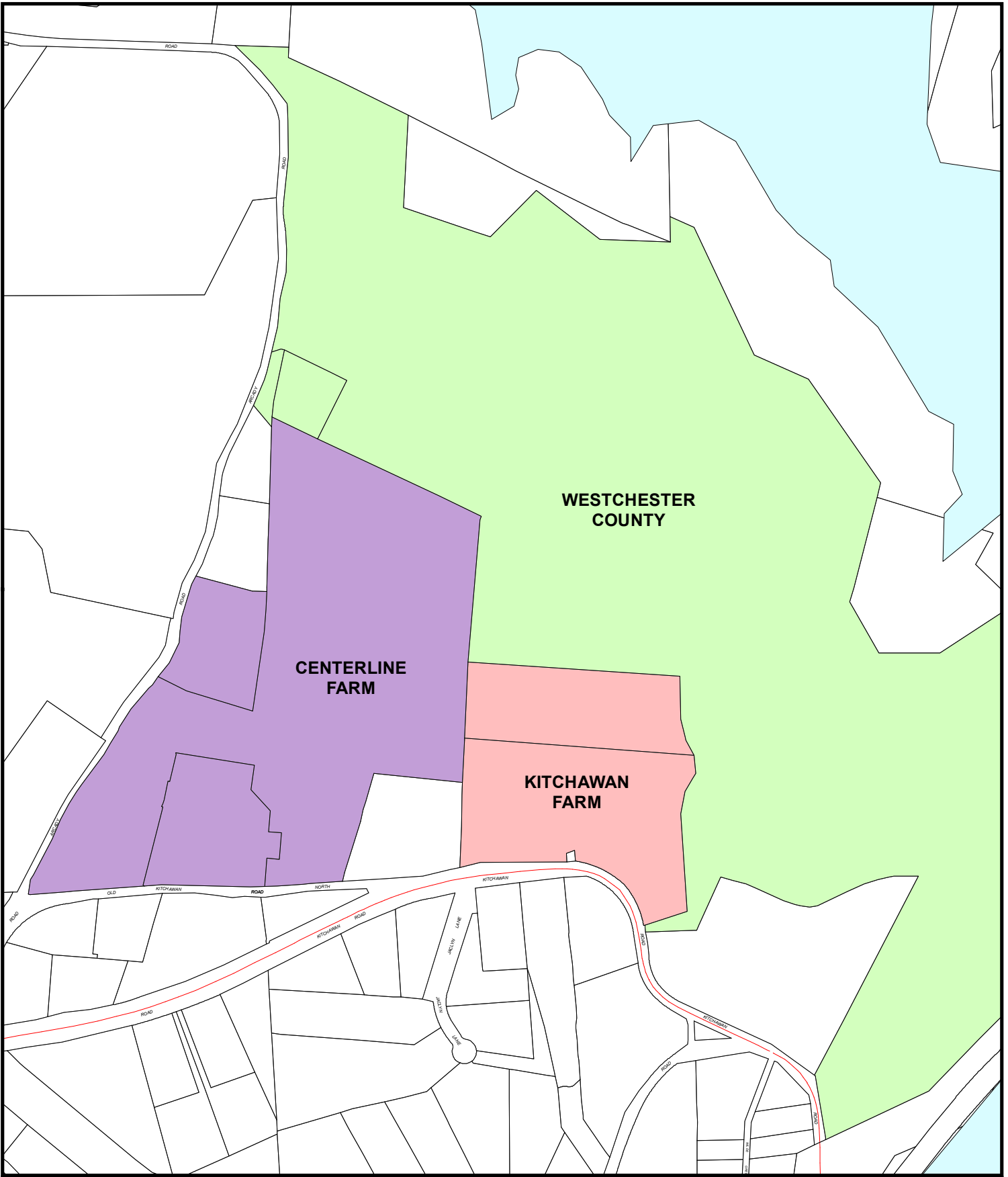
Name: Kitchawan Farm Centerline Farm

Address: 716 Kitchawan Road 800 Old Kitchawan Road

Phone: 914-602-4005 (914) 944-3516

Type of Farm: Horses (equine) Horses (equine)

5. Attach a tax map or other map showing the site of the proposed project relative to the location of the farm operations identified in the ADS.

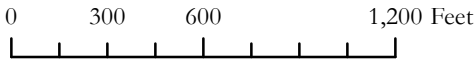
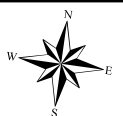


**WESTCHESTER
COUNTY**

**CENTERLINE
FARM**

**KITCHAWAN
FARM**

TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



1 inch = 600 feet

TITLE: Kitchawan Farm Proposed Solar Location
DATE: August 10, 2021

FILE: F:\ArcGIS\PROJECTS\Kitchawan Farm-ADS-Map.mxd
BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

George Latimer
County Executive

August 30, 2021

Robyn A. Steinberg, Town Planner
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

**County Planning Board Referral File YTN 21-010 – Kitchawan Farm Solar Farm
716 Kitchawan Road
Site Plan and Special Use Permit**

Dear Ms. Steinberg:

The Westchester County Planning Board has received a site plan (revised July 8, 2021) and related materials for a proposed solar farm to be located on two parcels associated with Kitchawan Farm totalling 23.13 acres located at 716 Kitchawan Road (SBLs 70.06-1-2 & 3). The proposed solar farm would occupy approximately eight acres of the site, with the remainder of the property continuing as farm operations. Access to the solar farm would be provided via a new gravel driveway along the western edge of the site. A new electric line along this access drive would connect the array to the existing electric lines adjacent to Kitchawan Road (NYS Route 134), with the northern portion buried underground. New vegetable gardens and a hoop house are proposed south of the proposed solar array, between the array and Kitchawan Road.

We have no objection to the Yorktown Planning Board assuming Lead Agency status for this review.

We have reviewed this matter under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and we offer the following comments:

1. Impacts to Agricultural Land

The New York State Department of Agriculture and Markets considers solar installations on farmland as ancillary to the farm operation if generating a maximum of 110% of the electricity needs of the farm operation. Such an installation would be considered part of the farm operation and would receive protection under NYS Agricultural District Law. However, installations that generate in excess of 110% of the needs of the farm would not be considered an agricultural operation. This scale of installation would not receive the protections under Agricultural District Law and would also be considered conversion of the land to a non-agricultural use, which may have tax implications with respect to the agricultural tax assessment program. Refer to the Solar Energy Guidelines prepared by NYSERDA (attached).

We recommend that applications for ground-mounted solar installations on farmland, particularly prime agricultural soils and soils of statewide importance (NRCS Soil Survey), should include a narrative description of how the impacts to the farm operation will be minimized and mitigated. That narrative should include a description of whether the area will be fenced off from the farm operation, if dual-use agriculture (such as solar grazing, <https://solargrazing.org/>) was investigated for the solar array area or if the solar array will be planted as pollinator habitat or other valuable habitat intended to support the agricultural operation or ecology in the area. A decommissioning plan should detail the conditions under which the use of the solar array will be discontinued, a timeline and methods to be used to decommission the site and restore the land for agricultural use, and demonstration of an adequate escrow or other financing mechanism to ensure the decommissioning and restoration will be performed. We note that compaction of soils during installation and decommissioning can significantly impact the viability of the land for future agricultural use. We recommend that the project follow the guidelines developed by the New York State Department of Agriculture and Markets (attached).

2. Impacts of deforestation.

While the proposed solar farm would be located mostly within cleared land, the site plans indicate that 168 trees are to be removed, with the applicant proposing to plant trees to mitigate the tree removal. The applicant also produced an analysis comparing the carbon sequestering capabilities of the lost trees with the net benefits of the solar arrays. We encourage the Town to ask for this type of analysis for future solar farm applications.

3. Potential visual impact to Kitchawan Preserve

The subject site is surrounded by the Kitchawan Preserve on its eastern and northern boundaries. The Preserve has a number of hiking trails which may have a view of the site. If there is a potential for the proposed solar farm to be visible from any of the Preserve's trails or overlooks, the applicant should prepare a visual impact analysis evaluating potential impacts and proposing adequate mitigation.

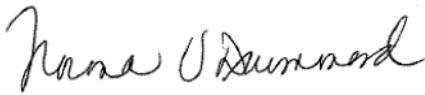
4. Croton Watershed protection.

The site is located in the Croton Watershed. Components of the site development may be subject to compliance with the New York City Department of Environmental Protection (NYC DEP) *Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and its Sources*, including the preparation of a Stormwater Pollution Prevention Plan. Adequate erosion and sediment control and stormwater runoff water quality protection, both during and after construction, are of critical importance.

Please inform us of the Town's decision so that we can make it a part of the record.

Thank you for calling this matter to our attention.

Respectfully,
WESTCHESTER COUNTY PLANNING BOARD

By: 

Norma V. Drummond
Commissioner

NVD/MV

cc: Kathy O'Connor, Commissioner, Department of Parks, Recreation & Conservation
Peter Tartaglia, First Deputy Commissioner, Department of Parks, Recreation & Conservation
Cynthia Garcia, Bureau of Water Supply, SEQR Coordination Section, NYC DEP



SEP 8 2021

TOWN OF YORKTOWN

September 8, 2021

Robyn A. Steinberg, AICP
Town of Yorktown Planning Board
363 Underhill Avenue, P.O. Box 703
Yorktown Heights, NY 10598

Vincent Sapienza P.E.
Commissioner

Re: **Notice of Intent to be Lead Agency**
Kitchawan Solar Farm
716 Kitchawan Road
Town of Yorktown; Westchester County, NY
Tax Map #: 70.06-1-2
DEP Log #: 2021-CNC-0579-SQ.1

Paul V. Rush, P.E.
Deputy Commissioner
Bureau of Water Supply
prush@dep.nyc.gov

Dear Ms. Steinberg and Members of the Planning Board:

465 Columbus Avenue
Valhalla, NY 10595

T: (845) 340-7800
F: (845) 334-7175

The New York City Department of Environmental Protection (DEP) has reviewed the Town of Yorktown Planning Board's (Board) Notice of Intent to act as Lead Agency for the above referenced project. DEP does not object to the Board acting as Lead Agency for the Coordinated Review of the proposed action pursuant to the New York State Environmental Quality Review Act (SEQRA).

The proposed site is located in the New Croton Reservoir drainage basin of New York City's Water Supply. As New Croton Reservoir is phosphorous restricted, water quality impacts to the receiving reservoir from pollutant-laden runoff must be avoided or mitigated.

The proposed action involves the installation of a two (2) Mega Watt ground-mounted solar array energy system to be surrounded by a perimeter fence. Access to the array will be via a new gravel access road off Kitchawan Road (aka NYS Rt. 134).

The activity will require DEP review and approval of a Stormwater Pollution Prevention Plan (SWPPP) pursuant to Section 18-39 of the *Rules and Regulations for the Protection from Contamination, Degradation, and Pollution of the New York City Water Supply and Its Sources* (Watershed Regulations).

Based upon review of the submitted documents, DEP respectfully submits the following comments for the Board's consideration:

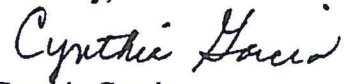
1. According to the EAF, eight (8) acres of disturbance is proposed. However, the extent and nature of soil disturbance associated with panel installation must be provided. For example, a breakdown must be included for all disturbances associated with new access roads,

trenching activities anticipated for the installation of MC cable, and the pad-mounted utility meter, generator, and transformer pad. The applicant's representative is encouraged to schedule a pre-application meeting with DEP via Microsoft Teams to discuss the project SWPPP further. In addition, the applicant's representative should contact DEP representative Mariyam Zachariah at (914) 749-5357 to schedule a site walk to validate the presence and status of any watercourses onsite or in proximity to the site.

2. Clarify whether the panels will be ground mounted and provide a construction detail. The project sponsor must show the arrays with onsite topographic contours labeled on the site plan to verify whether the configuration of the arrays will result in parallel and concentrated flows converging to the nearest watercourse. The project sponsor should explain how stormwater runoff will be dispersed onto the ground surface based on this solar panel arrangement. Please also note that offsite contours are not provided in order to verify whether a significant offsite drainage area contributes runoff to the proposed area of construction. At a minimum, contour information should be shown to confirm how runoff is managed both during and after construction.
3. According to SPDES General Permit, GP-015-002, Table 1 in Appendix B, solar arrays are considered an environment enhancement project. As such, pursuant to Watershed Regulations Section 18-39(b) (3) (ii), the applicant's representative must demonstrate whether this project will alter the hydrology from pre- to post-development conditions, and thus whether permanent post-development stormwater practices are required.
4. It is not clear from the information provided exactly how many trees will be removed. Loss of trees and/or vegetative cover increases the volume of stormwater runoff and the potential for pollutant loading and turbid stormwater flows to receiving wetlands and other surface water features. The project sponsor is encouraged to explain how these potential impacts will be alleviated both during and after the construction of the facility.
5. No information is provided on erosion control practices to be utilized during construction. Without this information, it is difficult to analyze the potential adverse impacts and extent of disturbance in an area that is presently densely vegetated.
6. The proposed action may alter drainage flow or patterns of surface water runoff and may be incompatible with existing drainage patterns. Physical changes to the site may alter the existing direction of flow and may cause additional erosion and sedimentation. The impact of site improvements on existing flow patterns must be addressed, and mitigation proposed for adverse impacts that cannot be avoided.

Thank you for the opportunity to provide comments. You may reach the undersigned at cgarcia@dep.nyc.gov or (914) 749-5302 with any questions or if you care to discuss the matter further.

Sincerely,



Cynthia Garcia,
Supervisor
SEQRA Coordination Section

X: J. Petronella, NYSDEC Region 3
N. Drummond, WCPD

**Brian and Celia Carroll
855 Old Kitchawan Road N
Ossining, NY 10562**

RECEIVED
PLANNING DEPARTMENT

SEP 27 2021

TOWN OF YORKTOWN

Town of Yorktown Planning Board

Albert A. Capellini Community & Cultural Center
1974 Commerce Street
(Top Floor, Room 222)
Yorktown Heights, NY 10598

Attention: Richard Fon, Chairman
Aaron Bock
Robert Garrigan
William LaScala
Roxanne Visconti, Alternate

Ed Lachterman, Town Board Liaison

Director of Planning

John A. Tegeder, R.A.

Town Planner

Robyn A. Steinberg, AICP

RE: Kitchawan Farm Solar Farm
716 Kitchawan Road, Ossining, NY 10562

September 24, 2021

Dear Planning Board and related interested parties,

We have lived at 855 Old Kitchawan Road (off Route 134 in Southern Yorktown) since 1986. We have known the Cochran family for almost as long and seen many changes in the Southern Yorktown corridor.

We fully support the proposed solar farm. Having reviewed the site plan and walked the boundaries of the property, we do not foresee any negative visual impact. The Teatown Kitchawan Trail, or "TKT", runs along the east side of the property as well as the northern border. The proposed plan will not be seen from either one of these vistas because there is a significant buffer of terrain. From Route 134, there is a noticeable elevation difference between the road and the solar array that will make it hard to see the panels from the road. In addition, Route 134 is so twisty at that point that all eyes should be on the road!

By right, the property could be permitted as a housing development, but that would be a permanently disruptive zoning outcome. The project will operate for 25 years at which point it could easily revert to pristine open space. The proposed ground-mounted solar array is, therefore, a good use of the land.

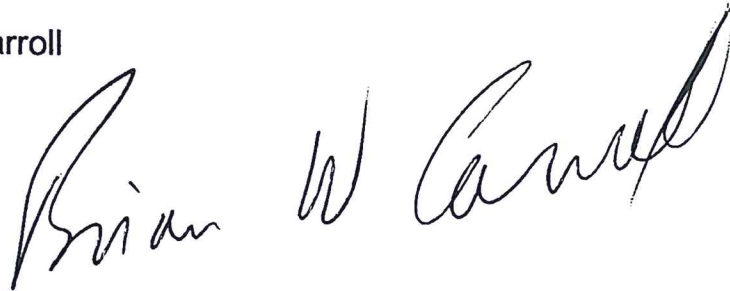
Equally important, we need the power! With Indian Point having shut down completely in April 2021, New York needs all the renewable power it can generate. We are several years away from seeing any of the 4 gigawatts of offshore wind power currently in development. Meanwhile, we are reliant on natural gas as the stopgap.

See reference to Bloomberg Green article
<https://www.bloomberg.com/news/articles/2021-04-30/indian-point-nuclear-plant-shuts-down-and-new-york-races-for-wind-power>

This important renewable energy project is consistent with sound planning objectives as well as Yorktown's commendable leadership on Community Solar. The project deserves Yorktown's rapid approval.

Sincerely yours,

Brian and Celia Carroll

A handwritten signature in black ink that reads "Brian W. Carroll". The signature is written in a cursive style with a large, sweeping initial "B".

HOGAN & ROSSI

Attorneys at Law

3 Starr Ridge Road - Suite 200
Brewster, New York 10509

Of Counsel
Mary Jane MacCrae

John J. Hogan
Donald M. Rossi
Michael T. Liguori*

Nancy Tagliaferro*
Jamie Spillane*†
Scott J. Steiner
Bonnie N. Feinzig
Adriana Nolan

Telephone: (845) 279-2986
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(845) 278-6135

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PLANNING DEPARTMENT

SEP 24 2021

TOWN OF YORKTOWN

* Also Admitted in CT
† Also Admitted in NJ

September 24, 2021

VIA Federal Express Overnight Courier and Electronic Mail

Hon. Richard Fon, Chairman
Town of Yorktown Planning Board
363 Underhill Avenue
Yorktown Heights, New York 10598

Re: Kitchawan Farm Solar Farm: Installation of a Large Scale Solar Energy Farm (the
"Project")

716 Kitchawan Road, Yorktown, New York and Kitchawan Road, Yorktown, New
York, Tax Map Id Nos. 70.06-1-2 and 70.06-1-3 (collectively, the "Premises")

Dear Mr. Fon:

We represent Centerline Farm, LLC (hereinafter "Centerline") and its principals, Elizabeth Manocherian and Donald Manocherian, the owners of 480 Arcady Road, 800 Old Kitchawan Road and 802 Old Kitchawan Road in the Town of Yorktown. Centerline operates a pristine Equine Farm at the addresses listed above which directly abuts the premises on which the Applicant proposes to install a large scale solar farm. Centerline has concerns about the adverse environmental and aesthetic impacts that such a large installation would have on the Premises, especially with regard to their business operation and property values.

It is respectfully submitted that the application submitted to the Town of Yorktown Planning Board is incomplete, the Project is incompatible with the neighboring area and, as further detailed below, when viewed in conjunction with the significant number of solar farms being proposed or previously approved within the Town, is contrary to the stated goals specified in the Town's 2010 Comprehensive Plan. For the reasons detailed below we respectfully request that the Planning Board determine that the Project is a Type I Action under the State Environmental Quality Review Act ("SEQRA"), require a full application before making any determination on this matter, and, in addition, we respectfully urge the Planning Board to join us in requesting that the Town Board should consider a moratorium on solar farm applications until such a time as a full review of the potential impacts which large scale solar farms can have on neighboring residential and farm properties and the Town as a whole via updates of the Comprehensive Plan and Zoning Code..

I. THE APPLICATION BEFORE THE PLANNING BOARD

The application submitted by Van Brunt Cochran, LLC is incomplete in that (i) SEQRA requires that a full environmental assessment form be submitted on this Project for an extensive review of negative impacts to the environment; (ii) pursuant to the Town of Yorktown Zoning Code, a “decommissioning plan” is required and has not been submitted; and (iii) a referral to the Conservation Board should be required to correct and clarify the misinformation that the record herein indicates was previously provided to said Board.

(A) SEQRA REVIEW

The Premises are within the Westchester County Agricultural District Number 1, an Agricultural District certified pursuant to the Agriculture and Markets Law. In addition, the Premises abuts the Kitchawan Preserve, which is parkland owned and operated by the County of Westchester, on the side and rear boundary lines. A Short Environmental Assessment Form dated October 8, 2020 was submitted in connection with the pending application. The Project, however, involves a disturbance of approximately 8 acres for the installation of a large scale solar farm.

Pursuant to 6 CRR-NY 617.4, subsection (b)(8) includes as a Type I Action “*any Unlisted action that includes a nonagricultural use occurring wholly or partially within an agricultural district (certified pursuant to Agriculture and Markets Law, article 25-AA, sections 303 and 304) and exceeds 25 percent of any threshold established in this section*”. Since the Premises is within the Westchester County Agricultural District, any solar installation requiring more than 2.5 acres of land is a Type I action requiring, at the minimum, a Full Environmental Assessment Form. Here, the proposal is for a solar installation that will impact approximately 8 acres of land, which far exceeds the minimum requirement for Type I review. Given the scope of the Project, its proximity to estate properties, including our client’s mixed use residential and farm property, and the prevalence of similar Projects in residential areas throughout the Town, an Environmental Impact Statement should be required. See also, State Environmental Quality Review (SEQR) for Solar published by NYSERDA at page 106.

In addition, since the Premises borders the Kitchawan Preserve on two sides, and will disturb approximately 8 acres of land, the action constitutes a Type I action under subsection (b)(10) which provides, in relevant part, that the following shall be considered a Type I Action: “any Unlisted action, that exceeds 25 percent of any threshold in this section, occurring wholly or partially within or substantially contiguous to any publicly owned or operated parkland, recreation area or designated open space, including any site on the Register of National Natural Landmarks pursuant to 36 CFR part 62...”

The Board is required to review the environmental impacts of each individual application and may not make a broad generalization based on specific uses. The applicant has not complied with the requirements of SEQRA, and the Board is not in a position to make any determinations on the Project without a full environmental review.

When an appropriate Full Environmental Assessment Form is received, we would urge the Board to review this matter in light of the numerous pending and approved solar projects in the Town. In doing so, the Board should be aware of the cumulative impact of the numerous solar farms including concerns over glint and glare. Where one project may not have an impact deemed significant, the cumulative effect to the environment of the significant number of proposed installations may be devastating.

(B) DECOMMISSION PLAN

Pursuant to Section 300-81.4 of the Town of Yorktown Zoning Code entitled "Solar Power Generation Systems and Facilities", all applicants for a solar farm must include with their application a "decommissioning plan to be implemented upon abandonment or cessation of activity..." No such plan was included with the application submitted on this Project. As such, the Board is not in a position to grant a special permit for this proposal until such a plan has been submitted and made available for public review and comment. The preparation and submittal of this plan is to include an approximate cost for decommission. Without the appropriate plan in place and incorporated in a special permit that may be granted, the risk exists that Project site will not be cleared of substantial equipment and safety and aesthetic issues will ensue. The decommissioning plan should include a requirement for adequate security to insure that, if the Project is abandoned, funds are readily available to remove the installation and otherwise restore the Project site to its previous condition.

(C) APPEARANCE BEFORE THE CONSERVATION BOARD

From a review of the records, it appears that this Project was referred to the Town of Yorktown Conservation Board. The Board reviewed the application at its meeting on or about May 5, 2021. The minutes of the May 5th meeting provide that the Conservation Board recommended that the applicant "reduce the size of the arrays" and noted that they would be conducting a site visit. There is no indication if that site visit occurred and, if it did, if there are any further recommendations from the Conservation Board. In an email dated July 1, 2021 that is included with the August 16, 2021 Agenda Packet, Julia Magliozzo, Director of Operations of Ecogy Energy, wrote that in reviewing the correspondence from the Conservation Board, it became clear that the Project is impacting a larger number of trees than those that were noted in the correspondence from the Conservation Board. If the Conservation Board recommended a reduction of size of the Project, then the additional removal of trees and change in the application should be referred once again to the Conservation Board prior to any further processing and review of the special permit and site plan applications.

II. COMPREHENSIVE PLAN

At the July 12, 2021 Informational Public Hearing on the above referenced application, numerous members of the Planning Board noted that the Town of Yorktown is becoming a popular location for solar installations. One Board member went as far as noting that "[t]he Board's role is to look at the aesthetics and locations which is exactly what they have been doing and is not sure an adjustment to the law is necessary" when discussing solar farms. Solar farming is not a goal recognized in the Town of Yorktown Comprehensive Plan. In fact Goal 2-A is to "[p]rovide for

low-density development and preserve open space throughout Yorktown's residential neighborhoods, as discussed in Chapter 5, in a manner consistent with community character.”

The Premises is located in a residential zoning district as are the multiple other farms that are currently purposing solar installations. Chapter 5, Goal 5-A, once again reiterates the importance of open space in residential districts with a goal to “[r]educe the future residential buildout of Yorktown, in order to further preserve open space and limit the potential for adverse development impacts.” The Comprehensive Plan does not include a goal or policy of increasing solar installations but instead at Policy 2-6 includes that the Town “[c]ontinue to support agricultural land uses, including horse farms and the cultivation of fruits, vegetables and nursery stock.” The installation of solar paneling on usable farm land is in direct contradiction of Policy 2-6. There are currently four pending applications before the Planning Board for installation of solar panels. Of the four pending applications, three applications pertain to farm land. In addition to the pending applications, at the August 16, 2021, a work session was held on another potential solar farm. Given the number of pending and potential applications the Town is receiving and the fact that these applications are not consistent with the Comprehensive Plan, the Town should engage in a review of the Plan and its Zoning Code. The review and approval of any applications of this nature should be more than an aesthetic review.

III. TAXATION OF SOLAR INSTALLATIONS

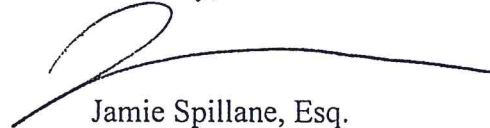
As previously noted, the Premises is in Westchester County Agricultural District Number 1. It is our understanding that the Premises was operated as a farm. According to the Town of Yorktown Assessment Roll the Premises “[m]ay be subject to payment under AGDIST till 2027”. If the Premises has benefitted from an Agricultural Assessment, then once the Premises is used for a non agricultural purpose, it will be a conversion of the land and should subject the owner of the Premises to a penalty under Sections 305 and 306 of the Agriculture and Markets Law. The conversion would not apply if the solar installations provide only 110% of the power necessary to operate the farm. In this case, the plan for the land being converted to non agricultural use is to power 330 to 450 households and small businesses which is substantially more than the 110%. The converted land, in this case, approximately 8 acres, should be subject to penalty payments “equaling five times the taxes saved in the last year in which the land benefited from an agricultural assessment. Interest of six percent per year, compounded annually for each year in which an agricultural assessment was granted, but not exceeding five years, is added to the payment amount. AML §§ 305(1)(d); 306(2)(a).” See https://www.tax.ny.gov/research/property/assess/valuation/ag_conversion.htm. The applicant, as well as any and all other proposed applicants for similar projects within an Agricultural District should be assessed such a penalty upon conversion of the Premises to the solar farm use, if approved.

Though the Town may argue that there are benefits to these properties losing an agricultural assessment and thus returning to the tax rolls, agricultural assessments only benefit the assessment of land. The improvements on the properties are taxed at the established rates set by the Town, County and School District. New York Courts have found that solar installation equipment, however, is personal property and not real property, and, as such, any solar equipment placed on the site is not subject to real property taxes as improvements. The Town should review

and consider the actual tax implications of the numerous projects that have been proposed and weigh the benefits of exemption and maintaining the estate type atmosphere (and property values) against the minimal tax revenue from the project. This is one of the various significant issues that should be analyzed during the Project's environmental review.

For the foregoing reasons, the Town Planning Board does not have the necessary information to make a determination on this application, and the Town should consider a review of the zoning provisions and comprehensive plan to ensure that the application of the special use permits are not being granted in contravention of the Comprehensive Plan. We would suggest the Town consider a moratorium on these applications until the plan and code are extensively reviewed with a view towards protecting active and historic farmland within the Town.

Sincerely,



Jamie Spillane, Esq.

cc: John A. Tegeder, R.A., Director of Planning (jtegeder@yorktownny.org)
Robyn A. Steinberg, AIPC, Town Planner (rsteinberg@yorktownny.org)
Town of Yorktown Conservation Board (kimh@yorktownny.org)
Matthew J. Slater, Town Supervisor ([mslater@yorktownny.org](mailto:m Slater@yorktownny.org))
Tom Diana, Councilman (tdiana@yorktownny.org)
Ed Lachterman, Councilman (elachterman@yorktownny.org)
Vishnu Patel, Councilman (vishnuv@yorktownny.org)
Alice E. Roker, Councilwoman (bellealice472@gmail.com)
Kim Adams Penner, Town Assessor (assessor@yorktownny.org)
Adam Rodriguez, Town Attorney (townattorney@yorktownny.org)
James W. Glatthaar, Esq., Planning Board Attorney (jwglatthaar@bpslaw.com)
Brittany Friese, Junior Project Manager at Ecogy Energy (brittany@ecogyenergy.com)
Centerline Farm, LLC



Mr. Richard Fon, Chairman
Mr. Aaron Bock, Board Member
Mr. Robert Garrigan, Board Member
Mr. William LaScala, Board Member
Ms. Roxanne Visconti, Board Member
Yorktown Planning Board
Albert A. Capellini Community & Cultural Center
1974 Commerce Street – Room 222
Yorktown Heights, NY 10598

September 27, 2021

RECEIVED
PLANNING DEPARTMENT
SEP 27 2021
TOWN OF YORKTOWN

RE: Application for a Solar Farm Special Permit – Response to letter from Jamie Spillane, Esq. of Hogan & Rossi representing Centerline Farm, LLC

Dear Chairman and Board Members:

Ecogy Energy (“Ecogy”) and Van Brunt Cochran, LLC (“Kitchawan Farm”) would like to formally respond to the Letter dated September 24, 2021 received from Jamie Spillane, Esq. representing the abutting property owner Centerline Farm, LLC (“Centerline”).

Ecogy respects and welcomes all comments from Centerline on the proposed solar project at 716 Kitchawan Rd as Centerline is an abutter with a similar equine farm. However, we find some of the comments submitted in the Letter to be misleading or misrepresenting of the application currently under consideration by the Board for the solar installation at Kitchawan Farm at 716 Kitchawan Rd. We would like to take this opportunity to outline our understanding of the environmental review process, the potential impacts of the proposed solar project, and other concerns raised in the Letter with regards to Ecogy’s proposed project.

Before addressing the Letter directly, Ecogy would note that the proposed solar project has received only support from other neighbors and has generally been viewed as a positive addition to the farm. Ecogy received letters in support of the solar project from the abutter to the East at 712 Kitchawan Rd (Steven Spiro), an abutter across the street from the farm at 709 Kitchawan Rd (Michael Lugassy), an abutter to the West at 730 Kitchawan Rd (Lynne Schultz), as well as other neighbors who frequently pass in front of the property (for example, Holly Ross and Tim Hartung at 500 Arcady Rd, and Brian and Celia Carroll at 855 Old Kitchawan Road).

To respond to the Letter as it pertains to Ecogy’s proposed solar project at Kitchawan Farm, first, with regards to the SEQR Review process, Ecogy believes the Letter incorrectly portrays the SEQR process and how cumulative actions are defined. The Letter gives reasons as to why Centerline believes the proposed Kitchawan solar project to be a Type I action and states “an Environmental Impact Statement should be required” and that “the applicant has not complied with the requirements of SEQRA”. While the Letter correctly identifies what qualifies as a Type I action, it appears to misrepresent how the SEQR process will unfold. At the time of this letter, the Yorktown Planning Board has not yet taken up the question of environmental impacts subject to SEQR nor has any determination been made regarding the Type of action. At such a time that the Board is ready to consider the project under the SEQR process, Ecogy will gladly submit any



and all materials required, including but not limited to a Full Environmental Assessment Form, a stormwater analysis, and other supporting documents. Only then will the Board be able to make an informed decision about the Environmental Impacts and make a determination on whether it is appropriate to issue a Negative Declaration or require an Environmental Impact Statement. Ecogy has not asked the Board to make any decision about the environmental impacts at this time and feels the Letter is misrepresenting Ecogy's intentions by implying the SEQR steps are not being followed. On the contrary, Ecogy is continuously working to assess the environmental impacts of the project such that, come time for the SEQR review, Ecogy will be fully prepared to address any concerns.

In addition, the Letter asks that the Board consider "the cumulative impact of the numerous solar farms including concerns over glint and glare". Per the SEQR Handbook, Ecogy does not believe there is basis for grouping various solar projects within Yorktown as related so that cumulative impacts must be considered. To require a cumulative impact assessment, "the lead agency must clearly articulate the functional connections of potential impacts to resources, as courts have generally not accepted proximity alone as a basis for requiring cumulative impact analysis." The Letter seems to rely only on the proximity of the solar projects all being within Yorktown, however, that alone does not justify a review of cumulative impacts. Further, glint and glare may be considered as part of the aesthetic impacts of the project but such impacts are already being addressed by the screening of the solar project as proposed in Ecogy's landscaping plan.

Second, with regards to the submission of a decommissioning plan, such a plan was submitted by Ecogy for the project early in the application process and was guided by the NYSERDA Decommissioning Guidebook for Municipalities. The decommissioning plan can be found in the Public Hearing resources as posted by Yorktown prior to the public hearing here: <https://www.yorktownny.org/planning/kitchawan-farm-solar-farm>. The file is called "*Contacts, Project Narrative, Operations & Maintenance Plan, Decommissioning Plan*". Ecogy's decommissioning plan for the project clearly outlines the various components of decommissioning work as well as the expected costs. Ecogy would further like to note that per our agreement with Kitchawan Farm, Ecogy must fully remove the solar system and associated equipment and restore the site within 120 days of the termination of the lease at Ecogy's expense. Finally, per Ecogy's agreement with Kitchawan Farm, Ecogy must provide either to Yorktown or to Kitchawan Farm, whichever is appropriate, a Security Deposit to cover the costs of removal of the solar system and restoration of the premises in the unlikely event Ecogy fails to remove the system at the end of the useful solar project life. Given this, Ecogy has already addressed the second concern raised in the Letter.

Third, regarding a review of the proposed project by the Yorktown Conservation Board, Ecogy has already participated in reviews of the project with the Conservation Board and has met their requirements. Ecogy first presented the project to the Conservation Board on May 5, 2021 and subsequently conducted a site visit with members of both the Planning Board and Conservation Board together on June 12. After that site visit, Ecogy again presented to the Conservation Board on August 18, 2021. On August 19, 2021, the Conservation Board issued a Memorandum to the Planning Board stating "The Conservation Board concerns have been met and requests that all plant material used be native." Ecogy is aware of the native plant requirements and will adhere to



that request. Thus, we believe the third concern stated in the Letter with regards to the Kitchawan solar project has been adequately addressed.

Finally, we would like to respond to the additional concerns raised in the Letter about solar development in Yorktown more generally. The Letter states that the existing solar projects being considered by Yorktown “are not consistent with the Comprehensive Plan”, specifically as the Comprehensive Plan pertains to open space and agricultural land uses. Contrary to the Letter, Ecogy believes solar development can support those exact goals. With respect to preserving open space, solar development is a favorable use of land in that the solar systems are temporary. Installing a solar system on a property will impact the property for 25 to 30 years but at the end of the solar project’s useful life the property can be restored to its original functionality with relative ease. Compare such a solar installation with building a building or parking lot, both uses which do not allow the open space to easily be restored. It is for this reason that the Kitchawan Farm wanted to pursue solar development as it is one of the rare development opportunities that allows them to retain ownership of the land, and eventually return to using the land that has been in their family for over 100 years. In addition, the Letter states the Comprehensive Plan has a goal of continuing to support agricultural land uses, which the Kitchawan Farm solar project does. The solar project will provide revenue to the farm to allow them to continue their operations as well as create a new plot for planting vegetables and other agricultural opportunities. The solar project at Kitchawan Farm will operate in synergy with the farm operations rather than working against them, particularly due to the incorporation of a native pollinator-friendly seed mix, which will aid and increase productivity of the farm.

Regarding the taxation of solar installations, Ecogy and Kitchawan both recognize the installation of solar on the property will currently result in a loss of the Agricultural Assessment for that portion of the property, however, Senate Bill S7603 which was passed in both the State Assembly and Senate and sponsored by State Sen. Harckham and currently sits in the Agricultural Committee proposes to make solar exempt comparable to if a farm adopted wind or fossil fuel energy infrastructure which by law currently does not result in a loss of an agricultural exemption.

Agricultural assessments are separate from payments due by Ecogy to the Town of Yorktown on our personal property. Currently, NYS Real Property Tax Law 487 exempts solar personal property from local taxation for a period of 15-years. Ecogy intends to not seek this exemption but rather have assumed the project would enter into a Payment In Lieu of Taxes (PILOT) agreement with Yorktown. We have modeled this project, as it is greater than 1,000 kW AC, to pay PILOT payments that adhere to the draft Yorktown ordinance from 6-24-2019 as well as neighboring town’s solar tax ordinances (i.e. the Town of Ossining). The PILOT assumptions also follow the NYSERDA guidebook to municipalities on PILOT payments for solar systems that can be found here: <https://www.nyserdera.ny.gov/-/media/Files/Programs/NYSun/Solar-PILOT-Toolkit.pdf>.

Ecogy has modeled \$9,000/MWac/Year for the solar project for the full 25-year life with a 2% annual escalator to be paid directly to the Town of Yorktown. The assumed PILOT payments at the current proposed system size would result in Ecogy paying to the Town of Yorktown \$576,545 over the 25-year term with minimal municipal services needed. Ecogy welcomes any



discussion with Yorktown regarding the potential PILOT agreement for the Kitchawan solar project.

Ecogy and Kitchawan Farm are open to all comments with regards to the proposed solar project at 716 Kitchawan Rd. We hope to continue the review process with the Planning Board and will continue to be transparent and forthcoming with all information, plans, and applications as they pertain to the proposed solar project. We thank the Planning Board for their consideration of the letter.

Sincerely,

DocuSigned by:
Alexander Cochran
8A561FA7B64B4BB
Alexander Cochran, Managing Member
Van Brunt Cochran, LLC

DocuSigned by:
Jack Bertuzzi
50B6A7A3E78D427
Jack Bertuzzi, CEO
Ecogy Energy

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board
From: Conservation Board
Date: August 19, 2021
Re: Kitchawan Farm: 716 Kitchawan Road

RECEIVED
PLANNING DEPARTMENT
AUG 23 2021
TOWN OF YORKTOWN

The Conservation Board at its August 19, 2021 meeting discussed a proposed solar project located at 716 Kitchawan Road with Julia Magliozzo of Ecogy Energy and Alex Cochran. The Conservation Board has the following comments:

- The Conservation Boards concerns have been met and request that all plant material used be native.

Respectfully submitted:

Diane Dreier

For the Conservation Board

CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
Applicant

SEP 14 2021

TOWN OF YORKTOWN

From: Edward Kolisz
Sent: Tuesday, September 14, 2021 3:10 PM
To: Julia Magliozzo' <julia.magliozzo@ecogyenergy.com>
Cc: Robyn Steinberg <rsteinberg@yorktownny.org>; John Tegeder <jtegeder@yorktownny.org>
Subject: Kitchawan Farm Solar Farm Layout Review

Julia,

I have reviewed the plans or the proposed solar farm at 716 Kitchawan Rd, Town of Yorktown, NY and have the following comments:

1. The access road on the west side should extend to the end of the fence line and shall comply with section 503 of the Fire Code of New York State (FCNYS.)
2. The turn arounds shall comply with Appendix D of the FCNYS.
3. There shall be a plan to keep the access roads free of snow, ice buildup and debris.
4. The plan does not show any access gates to the solar fields. There shall be access gates at the northeast, northwest, southeast corners and at the equipment areas. Access to the gates shall be maintained.
5. All access gates shall be accessible to the fire department. The fire department uses the Knox Rapid Entry System.
6. Training on the solar farm operation shall be provided to the local fire department.

Please contact me with any questions.

Edward W. Kolisz
Fire Inspector, Town of Yorktown, NY
363 Underhill Ave.
Yorktown Heights, NY 10598
Office: 914-962-5722 Ext. 254
Fax: 914-962-1731
www.yorktownny.org

From: Julia Magliozzo <julia.magliozzo@ecogyenergy.com>
Sent: Thursday, September 9, 2021 3:01 PM
To: Edward Kolisz <edward@yorktownny.org>
Cc: James Albert <james@ecogysolar.com>; Simon Curtis-Ginsberg <simon@ecogysolar.com>;
Debbie Pallone <debbie@ecogysolar.com>
Subject: Kitchawan Farm Solar Farm Layout Review

Good afternoon Ed,

I am writing from Ecogy Energy, the developer working on the Kitchawan Farm Solar Farm Project at 716 Kitchawan Rd. I am submitting the attached drawings of the solar layout for your review with regards to the applicable fire code. In particular, we would like your review and approval of the proposed access road. Please let me know if there are any concerns with the proposed layout. I have copied our engineering team should you have any technical comments. We would be happy to work with you if any changes are necessary.

Best regards,

Julia Magliozzo
Director of Operations, Ecogy Energy
www.ecogyenergy.com
Brooklyn, NY
Office: 718-304-0945 ext 2
Mobile: 347-410-1198

RECEIVED
PLANNING DEPARTMENT

SEP 24 2021

TOWN OF YORKTOWN

Tracer Imaging
Kitchawan Barns, LLC
712 Kitchawan Rd
Ossining NY, 10562

September 17, 2021

Yorktown Planning Board
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, New York 10598

Dear Members of the Planning Board,

We are writing in reference to the proposed large scale solar farm at Kitchawan Farm, our abutting neighbor at 716 Kitchawan Rd, Ossining, NY 10562.

We have reviewed the plans and have no objections.

We are fully in support of this project, local renewable energy and we believe Kitchawan Farm is a great location for this type of solar installation.

Sincerely,

A handwritten signature in black ink, appearing to be the initials 'JG' or similar, written in a cursive style.

RECEIVED
PLANNING DEPARTMENT

SEP 23 2021

TOWN OF YORKTOWN

From: Mike Lugassy [mailto:mike@lugassy.com]
Sent: Thursday, September 23, 2021 9:36 AM
To: Robyn Steinberg <rsteinberg@yorktownny.org>
Cc: Alex Cochran <alex@kitchawanfarm.com>
Subject: RE: Kitchawan Farm Solar Farm

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

RE: Kitchawan Farm Solar Farm
Attn: Planning Board
Robyn Steinberg

Dear Planning Board Members,

We live directly across the street from Kitchawan Farm and have reviewed the proposed layout and landscaping plan for the array. Due to the terrain, it should not affect our view or the character of the Kitchawan area.

Having our own rooftop solar and battery backup system we can attest to the benefit of this technology, the need for renewable energy, and are fully in support of this project.

Sincerely,

Michael Lugassy

RECEIVED
PLANNING DEPARTMENT

SEP 20 2021

TOWN OF YORKTOWN

-----Original Message-----

From: Tim Hartung [mailto:tphartung@gmail.com]
Sent: Saturday, September 18, 2021 3:25 PM
To: Robyn Steinberg <rsteinberg@yorktownny.org>
Cc: Holly Ross <blastoff500@gmail.com>
Subject: Kitchawan Farm Solar Farm

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms Steinberg,

My wife, Holly Ross, and I live at 500 Arcady Road in Southern Yorktown, a stones throw from the Cochran Kitchawan Farm. As Architects we believe we have an enhanced sense of aesthetics as well as a commitment to our environment. We walk and drive by the farm property numerous times a week and cannot think of a more perfect location for a solar farm. Given its setback and low contour setting along with existing and proposed planting it will be practically invisible from the public right a way on Route 134. We also believe it will have little if any impact to the view corridors of the adjacent neighbors, again due to its unique siting.

We desperately need more renewable energy sources and this is a great opportunity for Yorktown to support a Solution for this cause. We whole heartily support this Application and urge the Town of Yorktown to approve this request.

Sincerely

Holly Ross and Tim Hartung FAIA

RECEIVED
PLANNING DEPARTMENT

SEP 20 2021

TOWN OF YORKTOWN

730 Old Kitchawan Road

Ossining NY 10562

August 19, 2021

To: Robin Steinberg / Yorktown Planning Board

Re: Kitchawan Farm Solar Farm

Dear Robin:

We reside directly adjacent to Kitchawan Farm and Alex has discussed the Solar Farm proposal with us. With Indian Point closing and energy at an all time high, we believe that clean sustainable energy is not only acceptable, but it is downright necessary.

I was particularly impressed with Alex's landscaping vision for this project. You can see in the attached article how SUNY New Paltz researchers are looking for these very answers.

Solar energy has been proven to be safe. The Kitchawan area that we live in is a very special part of Yorktown. For years us, and our neighbors, have believed in protecting the environment and moving forward with clean sustainable living. In that vein, we are in favor for the Kitchawan Solar Farm.

Sincerely,

Lynne Schultz

Permitting Application by Ecogy Kitchawan Community Solar Farm LLC for Construction of a Ground Mounted Solar System at 716 Kitchawan Road

Solar Energy System Details

Location: 716 Kitchawan Road, Yorktown, NY 10562

Type of System: Ground-Mounted System in field lot

Size: 2,000 kW AC

The proposed solar system is a Community Solar project interconnected with Con Edison's distribution grid.

Contact Information

System Owner and Applicant:

Ecogy Kitchawan Community Solar Farm LLC

c/o Ecogy Energy

Attn: John Bertuzzi and Julia Magliozzo

315 Flatbush Ave #393, Brooklyn, NY 11217

Email: projectmanagement@ecogyenergy.com

Phone: 718-304-0945

Property Owner:

Van Brunt Cochran, LLC

Attn: Alexander Cochran

716 Kitchawan Road, Yorktown, NY 10562

Email: alex@kitchawanfarm.com

Phone: 914-602-4005

Ecogy Energy Kitchawan Solar Project Narrative

The proposed Ecogy Energy Kitchawan Solar Project is a 2,000 kW AC ground-mounted solar located in the field lot southwest of the main building at 716 Kitchawan Road, Yorktown. The project was developed by Ecogy Energy for Kitchawan Farm as a community solar project, which will allow businesses and residents of Yorktown to subscribe to the solar generation and receive discounted solar electricity credits on their Con Edison utility bills.

The benefits of this solar project also extend to the environment and in meeting New York's Reforming the Energy Vision 2030 Renewable Energy Goals. The proposed system will generate approximately 3,615,000 kWh of clean, renewable energy every year and over 84,678, 838 kWh over its lifetime, which is equivalent to 59,871 metric tons of CO₂ and represents significant environmental benefits as detailed in the following graphic:

Est. Lifetime Production: 84,678,838 kWh*

This is equivalent to the CO₂ emissions from:



6,736,956 Gallons of gasoline consumed



138,615 Barrels of oil consumed



10,137 Homes' electricity use for one year



This is equivalent to Carbon sequestered



989,985 Tree seedlings grown for 10 years



78,189 Acres of US forests in one year



405 Acres of US forests preserved from conversion to cropland in one year



Source: EPA Greenhouse Gas Equivalencies Calculator
<https://www.epa.gov/energy/greenhouse-gas-equivalencies-calculator> | *Includes 0.5% Annual Panel Degradation

Ecogy and the Kitchawan Farm are proposing to introduce novel design techniques learned over Ecogy's decade of experience aimed at improving the sustainability and aesthetics of the farm. These include permeable wildlife fencing around the array, a native meadow seed mix planted between rows and vegetative buffers screened around the array including a tree orchard to provide a new farming opportunity for Kitchawan. Ecogy has also agreed in our contract with Kitchawan that we will not use any herbicide, pesticide or other non-organic means on the Farm so as to not affect the Kitchawan Farm operations that plan to continue throughout construction

and operation of the solar energy system. Ecogy has also agreed to introduce bird nesting boxes and bee nesting boxes around the array for pollinator friendliness, which in turn will support the Kitchawan Farm harvest.

LOW IMPACT DESIGN

There is no “one size fits all” approach to Ecogy’s Solar Ground Mount Design. Each solar facility needs to be evaluated based on natural landform and hydrology, native plant and wildlife species presence, and ecosystem functions.

Ecogy strives to take a comprehensive view of Ground-Mount development including incorporating the following:

- 1) Allow for wildlife connectivity by using wildlife-friendly fencing including creating clearance underneath.
- 2) Integrate planting of native and pollinator vegetation where appropriate to increase biodiversity, require less mowing and herbicide use, minimize erosion issues, and increase soil health and carbon sequestration.
- 3) Provide wildlife habitat and supplemental habitat features including bird nesting boxes, sand piles for native bees.



Comparison of a standard chain-link fence (left) with a wildlife-permeable fence (right). © Liz Kelley/TNC



Tree removal for installation of the proposed solar project will be limited to the area that is necessary to safely and efficiently build and operate the solar system. Hence, Ecogy has contracted a Certified Arborist to identify said trees and to calculate the avoid carbon sequestration from such tree removal. A detailed report is attached below for the Board’s review. Ecogy has also contracted a landscape architect to design a screening plan that is amenable to the Planning Board and the neighboring property owners. Finally, Ecogy has contracted a stormwater engineer that will assess the extent to which the solar project will alter the existing drainage conditions on site and to propose mitigation measures.

Ecogy has also performed a geotech analysis of the subsurface conditions to ensure proper engineering of the foundations. We have completed a property survey to ensure compliance with lot size and setback requirements. Ecogy will comply with all other requirements as outlined in the Yorktown Solar Code as shown on the site plan, equipment specification sheets, operation and maintenance plan, and decommissioning plan provided with this application.

Due to Ecogy’s background and history of projects serving underserved communities including the largest system for a public housing authority in the U.S., Ecogy Kitchawan Community Solar has partnered with Sustainable Westchester to prioritize Yorktown residents and businesses as

well as Low-Moderate Income households to help support an equitable renewable energy transition. Ecogy intends to focus all marketing efforts in the initial customer acquisition phase towards Yorktown in the hopes of subscribing 100% Yorktown community solar subscribers which we estimate to be roughly 300-350 utility accounts.

Ecogy additionally intends to use bifacial solar modules for this project due to our experience installing these first in 2015 for our project with the Wilmington Housing Authority. Bifacial panels have the added benefit of capturing sunlight from both sides of the panel, have better aesthetics with transparent glass and increased durability and longevity.



Figure 3: This picture denotes the 500 kW bifacial panel expansion on the Western side of this picture. Bifacial panels create a better aesthetic and are more durable panels than monofacial panels.

Ecogy thanks you for your consideration of the proposed Kitchawan Solar Project and hopes to receive all Town approvals as required by the Yorktown Solar Code to be permitted to construct the ground-mounted solar system at 716 Kitchawan Road.

Ecogy Kitchawan Solar Project Operation and Maintenance Plan

Ecogy Energy will partner with a dedicated Operations and Maintenance provider (“Contractor”) for the below services throughout the life of the ground-mounted solar system. Ecogy can submit information about the Operations and Maintenance Contractor to the Town for the record once a contract has been signed with a provider.

Description of System Services that Contractor will provide on a MONTHLY basis:

- I. Performance Monitoring:
 - A. Contractor shall monitor System production beginning on Commencement Date continuously throughout the Term and shall provide a System performance report on a monthly basis, detailing the following:
 1. Actual vs. expected performance of the System for the prior period expressed in kWh
 2. Any shortfall in System production resulting in less than 85% of expected performance

Description of System Services that Contractor will provide on a SEMI-ANNUAL basis:

- I. Site and System Inspection:
 - A. Contractor shall perform Site and System inspection on or around a mutually agreed upon date no later than six months after Commencement Date and then on a semi-annual basis thereafter. Results of inspection will be provided to Customer within five business days of inspection and shall include:
 1. Array Inspection
 - a) Inspect PV modules for damage, discoloration or delamination
 - b) Inspect mounting system for damage or corrosion
 2. Site Conditions
 - a) Inspect drainage conditions
 - b) Inspect system site for array shading which may diminish efficiency of the System (i.e. vegetation, construction, etc.)
 - c) Inspect System for fire hazards
 - d) Inspect safety conditions and proper signage
 3. Maintenance Reporting
 - a) Record results of all inspections
 - b) Take photographs of any damage or defects identified
 - c) Inform Customer and warranty providers of all deficiencies identified
 - d) Provide Customer with recommendations for corrective actions
 - e) Take photographs of the System and Site, dated within 30 days of end of semi-annual period

Description of System Services that Contractor will provide on an ANNUAL basis:

I. Performance Monitoring:

A. Contractor will provide, on or around the first anniversary of the Contract and annually thereafter, an annual operations and maintenance report, such report to include:

1. Actual vs. expected production of solar energy by System for the previous year and on a cumulative basis to date, expressed in kWh
2. System Availability percentage
3. Performance Index Measure
4. Operation and Maintenance Records
5. Safety, Accidents and Environmental Reporting
6. Proposal of Recommended Actions
7. Photographs of the System and Premises, dated within 30 days of anniversary period.

B. Preventative Maintenance, Inspections & Testing:

1. Array
 - a) Inspect PV modules for damage, discoloration or delamination
 - b) Inspect mounting system for damage or corrosion
2. Inverter
 - a) Torque checks on critical electrical terminations
 - b) Clean all filters and fans
 - c) Inspect inverter pad and container
3. Electrical Balance of System (BOS)
 - a) Inspect ground braids, electrodes and conductors for damage
 - b) Perform thermo-graphic analysis of combiner boxes, inverters, transformers, and conductor connections to buses, breakers or disconnects
4. Premises Conditions
 - a) Inspect drainage conditions
 - b) Inspect site for array shading which may diminish efficiency of the System (i.e. vegetation, construction, etc.)
 - c) Inspect System for fire hazards
 - d) Inspect safety conditions and proper signage
5. Maintenance Reporting
 - a) Record results of all inspections
 - b) Take photographs of any damage or defects identified
 - c) Inform Customer and warranty providers of all deficiencies identified
 - d) Provide Customer with recommendations for corrective actions

Description of System Services that Contractor will provide on an AS-NEEDED basis at an additional cost:

- I. Corrective Maintenance, including:
 - A. Module cleaning, to include surface washing of all modules with pressure washing settings not to exceed 1,500 PSI. Contractor will provide before and after photographs of System.
 - B. On-site troubleshooting & diagnostics of all system components (service included at no additional cost for systems under Contractor Warranty)
 - C. Inverter and Data Acquisition System resets: (service included at no additional cost for systems under Contractor Warranty):
 1. Remote resets (if capability enabled and connection available)
 2. On-site resets
 - D. Processing of warranty claims on behalf of Customer and verification of replaced equipment (service included at no additional cost for systems under Contractor Warranty)
 - E. Management of repair and replacement for equipment out of warranty (service included at no additional cost for systems under Contractor Warranty).
 - F. Ongoing warranty support and representation of Customer's interest with System equipment manufacturers (service included at no additional cost for systems under Contractor Warranty).
 - G. All repair and replacement services beyond the installation and workmanship warranty as outlined in Section 3.1.
 - H. Repair and replacement of equipment covered by the Manufacturer's warranties as listed in Attachment D.

If the system is performing at or above 100% of the expected system production for the prior six month period, Contractor may elect to forgo the scheduled semi-annual site inspection, maintenance and testing.

Ecogy Kitchawan Solar Project Decommissioning Plan

1. Executive Summary:

As stated in the Yorktown Solar Code, a decommissioning plan for the solar energy system shall be submitted by the applicant. Below is a full report of Ecogy's decommissioning plan for the Kitchawan Solar Project, including costs and timeline.

This report includes an analysis of the estimated decommissioning costs broken down by system components, as well as a description of the associated time required to perform the decommissioning tasks. In addition, we describe each component's salvage value, the time required to decommission and remove the solar energy system and any ancillary structures, and the time required to repair any damage caused to the property on which the solar energy system is located by the removal of the system. Future costs projected in the model escalate 2% annually due to estimated inflation over the next 25 years.

It is worth noting that Ecogy has agreed separately with the Kitchawan Farm to decommission and remove the system at a faster schedule than required by the Town of Yorktown. This includes removal within 120 days of the end of our term or else significant liquidated damages are assessed onto Ecogy.

2. Methodology

Throughout this report, assumptions are based on current market values, assessments of labor costs, and our professional development experience. Table 2 below shows the proposed ground mount solar system's technical specifications as submitted with this application.

2.1 Proposed PV System Details

Table 1. Kitchawan Solar Project Technical Details

Proposed Solar System Technical Details	
AC System Size	2,000 kW AC
Racking Type	Ground Mounted

Component	Type	Quantity	Warranty
PV Module	TBD		30-Year Linear Power Output Warranty

Inverter	SolarEdge SolarEdge P860 Optimizer		15-Year Standard Warranty Extendable to 20 Years w/ Inverter Replacement Fund incorporated into proforma
Transformer	Utility Owned	1	Utility is responsible for maintenance and replacement.
Racking System	TBD	1	25-Year Warranty

2.2 Solar PV Decommissioning Tasks and Costs

Through Ecogy’s decade of experience and additional research, we have created a list of solar system equipment and its associated decommissioning tasks and timelines. This list forms the basis of Ecogy’s decommissioning plan and outlines the steps Ecogy would take to remove the solar system from the property. The equipment and steps are as follows:

1. Modules: The modules’ frame and surface would be mechanically separated. The glass and aluminum frames would be sold as recycled material.
2. Inverters: Inverters would be properly disposed of at an electronic waste facility.
3. Racking: Racking would be consolidated and sold as recycled scrap steel.
4. Wiring: All wiring would be disconnected and sold as recycled insulated cable.
5. Foundations: Foundations would be broken up on site and either removed or recycled as ABC material. Remediation on site would restore the site to its original condition per our agreement with the Kitchawan Farm.
6. Power Poles: Grid connection wiring and utility owned transformer would be removed or kept depending on preference of the Landowner.

To estimate the associated costs for major tasks needed to decommission a PV system, Ecogy used the NYSERDA “*Decommissioning Solar Panel Systems; Information for local governments and landowners on the decommissioning of large-scale solar panel systems - 2016*”, which provides estimates of potential decommissioning costs for a ground-mounted 2,000 kW solar panel system over 20-years. It is estimated that many components could be salvaged to offset the labor cost. This analysis is shown in Table 2 below. Ecogy has revised this analysis to incorporate the 25-year Term as afforded by the Value of Distributed Energy Resources Term.

Ecogy analyzed the decommissioning costs and salvage values with a 2.5% escalator over the lifetime of the solar system of 25 years due to inflation and to correspond with NYSERDA’s guidance. Ecogy has determined decommissioning costs to be approximately \$50,119.10 but a

\$49,129.52 salvage value would offset this cost. Lastly, decommissioning would take approximately 4-10 weeks.

Table 2: Summary of Cost Assumptions for Proposed Solar PV System

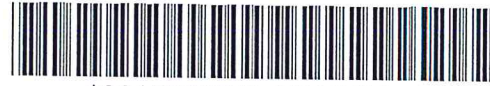
Component	Est. Cost for NYSERDA 2,000 kW System	Est. Salvage Value	Est. Net Cost of Decommissioning	Est. Timeline
Remove Rack Wiring	\$2,459.00	\$4,500.00	(\$2,041.00)	1-5 Days
Remove Panels	\$2,450.00	\$8,500.00	(\$6,050.00)	5-10 Days
Dismantle Racks	\$12,350.00	\$10,000.00	\$2,350.00	5-10 Days
Remove Electrical Equipment	\$1,850.00	\$3,500.00	(\$1,650.00)	5-10 Days
Breakup and Remove Concrete Pads	\$1,500.00	\$0.00	\$1,500.00	1-5 Days
Remove Racks	\$7,800.00	\$0.00	\$7,800.00	1-5 Days
Remove Cable	\$6,500.00	\$0.00	\$6,500.00	1-5 Days
Remove Power Poles	\$13,850.00	\$0.00	\$13,850.00	5-10 Days
Remove Fence	\$4,950.00	\$0.00	\$4,950.00	1-3 Days
Grading	\$4,000.00	\$0.00	\$4,000.00	5-10 Days
Seed Disturbed Areas	\$250.00	\$0.00	\$250.00	1-3 Days
Truck to Recycling Center	\$2,250.00	\$0.00	\$2,250.00	1-5 Days
Current Total Cost	\$60,200	\$26,500.00	\$33,709.00	32-81 Days

Table 4: 25 Year Decommissioning Plan

25 Year Decommissioning Plan with 2.5% Annual Inflation			
Year	Est. Decommissioning Cost	Value of Salvage Material	Net Cost of Decommissioning
0	\$60,200.00	\$26,500.00	\$33,700.00
1	\$61,705.00	\$27,162.50	\$34,542.50
2	\$62,939.10	\$27,841.56	\$35,097.54
3	\$64,197.88	\$28,537.60	\$35,660.28
4	\$65,481.84	\$29,251.04	\$36,230.80
5	\$66,791.48	\$29,982.32	\$36,809.16

6	\$68,127.31	\$30,731.88	\$37,395.43
7	\$69,489.85	\$31,500.17	\$37,989.68
8	\$70,879.65	\$32,287.68	\$38,591.97
9	\$72,297.24	\$33,094.87	\$39,202.37
10	\$73,743.19	\$33,922.24	\$39,820.95
11	\$75,218.05	\$34,770.30	\$40,447.75
12	\$76,722.41	\$35,639.55	\$41,082.86
13	\$78,256.86	\$36,530.54	\$41,726.32
14	\$79,822.00	\$37,443.81	\$42,378.19
15	\$81,418.44	\$38,379.90	\$43,038.54
16	\$83,046.81	\$39,339.40	\$43,707.41
17	\$84,707.74	\$40,322.88	\$44,384.86
18	\$86,401.90	\$41,330.96	\$45,070.94
19	\$88,129.93	\$42,364.23	\$45,765.70
20	\$89,892.53	\$43,423.34	\$46,469.20
21	\$91,690.38	\$44,508.92	\$47,181.47
22	\$93,524.19	\$45,621.64	\$47,902.55
23	\$95,394.68	\$46,762.18	\$48,632.49
24	\$97,302.57	\$47,931.24	\$49,371.33
25	\$99,248.62	\$49,129.52	\$50,119.10

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



601539091LAG004Y

Westchester County Recording & Endorsement Page

Submitter Information

Name: Ecogy Energy Phone: 7183040945
 Address 1: 67 West St. Fax:
 Address 2: Suite 232 Email: julia.magliozzo@ecogyenergy.com
 City/State/Zip: Brooklyn NY 11222 Reference for Submitter: Memo of Lease for Ecogy New York XI I

Document Details

Control Number: **601539091** Document Type: **Lease Agreement (LAG)**
 Package ID: 2020060102570001002 Document Page Count: **6** Total Page Count: **8**

Parties

1st PARTY Additional Parties on Continuation page
 1: VAN BRUNT COCHRAN LLC - Other 1: ECOGY NEW YORK XI LLC
 2: 2: - Other

Property

Street Address: 716 KITCHAWAN RD. Tax Designation: 70.06 -1 -3
 City/Town: YORKTOWN Village:

Cross-References

1: 2: 3: 4: Additional Cross-Refs on Continuation page

Supporting Documents

1: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
 Page Fee: \$35.00
 Cross-Reference Fee: \$0.00
 Mortgage Affidavit Filing Fee: \$0.00
 RP-5217 Filing Fee: \$0.00
 TP-584 Filing Fee: \$5.00
 RPL 291 Notice Fee: \$0.00
 Total Recording Fees Paid: **\$80.00**

Transfer Taxes

Consideration: \$0.00
 Transfer Tax: \$0.00
 Mansion Tax: \$0.00
 Transfer Tax Number: 20769

Mortgage Taxes

Document Date:
 Mortgage Amount:
 Basic: \$0.00
 Westchester: \$0.00
 Additional: \$0.00
 MTA: \$0.00
 Special: \$0.00
 Yonkers: \$0.00
 Total Mortgage Tax: **\$0.00**

Dwelling Type: Exempt:
 Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 11/20/2020 at 02:35 PM
 Control Number: **601539091**
 Witness my hand and official seal

Timothy C. Idoni
 Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Ecogy Energy
 315 Flatbush Ave
 #393
 Brooklyn, NY 11217
 Attn: Julia Magliozzo

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

601539091LAG004Y

Westchester County Recording & Endorsement Page

Document Details

Control Number: **601539091**

Document Type: **Lease Agreement (LAG)**

Package ID: 2020060102570001002

Document Page Count: 6

Total Page Count: 8

Properties Addendum

716 KITCHAWAN RD. 10562

YORKTOWN

70.06 -1 -2

RECORDING REQUESTED BY AND WHEN RECORDED RETURN TO: Anthony J. Lebe RECL Group 39 Quail Court Suite #306 Walnut Creek, CA 94596	
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Space above this line for Recorder's Use

MEMORANDUM OF OPTION AND LEASE AGREEMENT

THIS MEMORANDUM OF OPTION AND LEASE AGREEMENT ("Memorandum"), dated as of May 30, 2020, is entered into by and between Van Brunt Cochran LLC, a New York limited liability company ("Lessor"), and Ecogy New York XI LLC, a Delaware limited liability company ("Lessee"). All capitalized terms used but not otherwise defined shall have the meanings ascribed to them in the Option and Lease Agreement (defined below).

WITNESSETH:

That for value received, Lessor and Lessee do hereby covenant, promise and agree as follows:

LESSOR: Van Brunt Cochran LLC, a New York Limited Liability Company, whose address on file with the Secretary or Department of Corporations, as applicable is 716 Kitchawan Road, Ossining, NY 10562.

LESSEE: Ecogy New York XI LLC, a Delaware Limited Liability Company, whose address on file with the Secretary or Department of Corporations, as applicable is 9 Binney Lane, Old Greenwich CT 06870.

DESCRIPTION OF PREMISES:

The Premises consists of approximately 11± acres of vacant land located on the westerly side of the Property owned by Lessor and commonly known as 716 Kitchawan Rd., Ossining NY 10562. The Property is more particularly described in Exhibit 1 attached to and incorporated into this Memorandum.

For Lessor's title to the Property, reference is herein made to Deed dated and recorded Office of the Westchester County Clerk, Division of Land Records on December 6, 2020 at Control # 523233024.

OPTION COMMENCEMENT DATE:

The Effective Date of the Option and Lease Agreement.

LEASE COMMENCEMENT DATE:

The date Lessee exercises the Option.

TERM OF OPTION:

Five hundred forty (540) days

TERM OF LEASE:

25 years from the Commercial Operation Date of the System.

Three (3) five (5) year mutual extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

Van Brunt Cochran LLC
a New York limited liability company.

By: 
Name: Alexander Cochran
Title: Managing Member

LESSEE:

Ecogy New York XI LLC,
a Delaware limited liability company

By: _____
Name: John Bertuzzi
Title: Managing Member



The date Lessee exercises the Option.

TERM OF OPTION:

Five hundred forty (540) days

TERM OF LEASE:

25 years from the Commercial Operation Date of the System.

Three (3) five (5) year mutual extension term options.

NO FIXTURE:

The System, as defined in the Agreement, installed and operated by Lessee at the Premises shall not be deemed a fixture. The System is Lessee's personal property and Lessor has no right, title or interest in the System. Further, Lessor has waived all right of levy for rent, all claims and demands against the System and all rights it may have to place a lien on the System.

IN WITNESS WHEREOF, the parties hereto have duly executed this instrument as of the day and year first written.

LESSOR:

Van Brunt Cochran LLC
a New York limited liability company.


By:

Name: Alexander Cochran
Title: Managing Member

LESSEE:

Ecogy New York XI LLC,
a Delaware limited liability company

By:



Name: John Bertuzzi
Title: Managing Member

1

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of New York
County of Westchester

On May 30 2020, before me, Scott Miozzi
(insert name of notary)

Notary Public, personally appeared Alexander JB Cochran
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of New York that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Scott Miozzi

(Seal)

SCOTT MIOZZI
Notary Public - State of New York
No. 01MI6388876
Qualified in Orange County
My Commission Expires Mar. 18, 2023



ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of Connecticut
County of Fairfield

On 6/2/2020, before me, Jeffrey Weiner
(insert name of notary)

Notary Public, personally appeared John Bertuzzi

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Connecticut that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Jeffrey Weiner

(Seal)

JEFFREY WEINER
Notary Public
Connecticut
My Commission Expires Jan 31, 2024

Exhibit I to Memorandum

Description of Property

That real property commonly known as: 716 Kitchawan Rd., Ossining NY 10562 (Assessor's Parcel Number 70.06-1-2 & 70.06-1-3) and more fully described in the Legal Description set forth below: Formerly designated as 18.03-10-2 & 18.03-10-3



LEGAL DESCRIPTION

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York, and being more particularly bounded and described as follows:

Beginning at a point on the northerly side of Kitchawan Road (also known as N.Y.S. Route 134 and State Highway No. 768) where same is intersected by the dividing line between lands now or formerly of DeLeon and the parcel herein being described and which point forms the southwesterly corner of property shown on map entitled "Map of Land Now or Formerly of Joel B. Erhardt" prepared by J. Henry Carpenter & Co. in December, 1913, and filed in the Office of the Clerk of the County of Westchester, Division of Land Records on May 26, 1914, as Map No. 2056, running thence from the northerly side of Kitchawan Road along said dividing line and along lands now or formerly of Stephens, along the mean centerline of a stone wall and partially along fence remains, North 5° 07' 00" West, 183.54 feet; North 6° 12' 50" West, 146.99 feet; North 4° 51' 50" West, 611.27 feet to a point, thence leaving lands now or formerly of Stephens and the mean centerline of a stone wall and continuing along lands now or formerly of the Brooklyn Institute of Arts and Sciences, North 85° 08' 10" East, 987.25 feet; South 9° 29' 20" East, 192.95 feet; South 21° 40' 40" East, 1010.4 feet; South 39° 34' 50" East, 76.25 feet; South 9° 53' 20" East, 92.50 feet; South 20° 58' 20" East, 91.18 feet; South 0° 31' 10" West, 102.71 feet; South 13° 04' 10" West, 129.96 feet; South 7° 37' 50" East, 341.80 feet; South 64° 22' 40" West, 207.88 feet to a point along the easterly side of Kitchawan Road aforementioned, continuing thence along the easterly and northerly side of Kitchawan Road, North 15° 29' 10" West, 2.49 feet to a point of curve, continuing thence along the circumference of a 342 feet radius curve to the north and west having a central angle of 79° 11' 30" and an arc length of 472.70 feet to a point along the easterly side of a cemetery plot shown as cemetery on Filed Map No. 2056, thence leaving the northerly side of Kitchawan Road and continuing along the easterly, northerly and westerly side of said cemetery plot, North 8° 07' 00" West, 50.45 feet; South 56° 56' 00" West, 40.91 feet; South 10° 13' 00" East, 41.45 feet to the northerly side of Kitchawan Road, thence along same and partially along the road face to a stone wall, South 82° 15' 30" West, 402.66 feet; South 69° 03' 00" West, 98.79 feet to the point or place of beginning.

Containing within said bounds 22.974 acres be the same more or less.

The within-described premises are known and designated on the Tax Map of the Town of Yorktown as Section 18.1, Parcel 10, Lots 2,3.

UTILITY EQUIPMENT KEY:

- ① NEW UTILITY OWNED 2000 kVA TXFMR
13.2 KV WYE PRIMARY, 480 V WYE SECONDARY
- ② UTILITY OWNED RECLOSER POLE AND DISCONNECT
- ③ EXISTING UTILITY POLE #W.55

CUSTOMER EQUIPMENT KEY:

- A AC DISCONNECT SWITCH (PV SYSTEM)
SOLAREGE INVERTERS
AC COMBINER PANEL
PV SYSTEM UTILITY METER
DAS
- B (NEW) CUSTOMER OWNED RISER POLE WITH UTILITY
SUPPLIED KYLE SWITCH TO BE INSTALLED BY CUSTOMER

NOTE:

1. MEADOW SEED MIXTURE TO BE PLANTED BETWEEN PV ARRAY ROWS
2. FENCING AROUND THE ARRAY WILL BE WILDLIFE FRIENDLY

SYMBOLS LEGEND:

- ⊗ EXISTING UTILITY POLE
- ⊙ PROPOSED UTILITY POLE

LINETYPE LEGEND:

- - - - - APPROXIMATE PROPERTY LINE
- - - - - PROPERTY LINE SETBACK
- x-x-x- PROPOSED CHAINLINK FENCE
- OE-OE- OVERHEAD ELECTRIC
- UE-UE- UNDERGROUND ELECTRIC
- · · · - APPROXIMATE WETLAND BOUNDARY GIS
- - - - - 10' ARRAY SETBACK



MINIMUM 25' SETBACK FROM WETLANDS TO FENCE

MINIMUM 10' SETBACK FROM ARRAY TO FENCE

CLIENT REQUESTED MINIMUM SETBACK

CHICKEN HOUSE TO REMAIN

EXISTING ROCK WALL

EXISTING CULVERT PIPE

NEW GRAVEL ACCESS ROAD 18' WIDE

Module Count = 5736
Boviet 450W MODULE
190 deg AZIMUTH
2,581 kW-DC

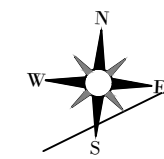
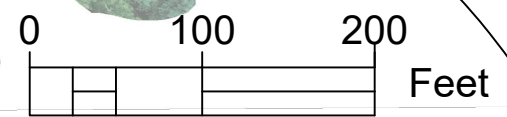
EXISTING SEPTIC GALLEYS

TREES TO BE REMOVED THIS AREA, 37,000 SQ FT
ADDITIONAL TREES TO BE REMOVED IN ARRAY AREA

TREES TO REMAIN THIS AREA
PROVIDING SCREENING

PROPOSED NEW HOOP HOUSE

KITCHAWAN ROAD



ECOGY ENERGY
315 FLATBUSH AVENUE, SUITE 393
BROOKLYN, NY 11217
projectmanagement@ecogyenergy.com
(718)-304-0945

Ecogy New York XI LLC

Project Name:
KITCHAWAN
2581.2 kW-DC PV SYSTEM
GROUND MOUNT

Project Site:
**716 KITCHAWAN ROAD,
OSSINING, NY, 10562**

Account No: xxxxx
New Service Case #: xxxxx

SCG	BY	DATE	REVISION DESCRIPTION
1	#	7/8/2021	UPDATED ARRAY LAYOUT AND MISC NOTES

Professional Stamp

PRELIMINARY

SITE PLAN

PROJECT NUMBER: ---	DRAWN BY: SCG	CHECKED BY: JLA
DATE: 07/28/21	DWG. NUMBER: PV-100	
SHEET NUMBER: X of X		

UTILITY EQUIPMENT KEY:

- ① NEW UTILITY OWNED 2000 kVA TXFMR
13.2 KV WYE PRIMARY, 480 V WYE SECONDARY
- ② UTILITY OWNED RECLOSER POLE AND DISCONNECT
- ③ EXISTING UTILITY POLE #W.55



CUSTOMER EQUIPMENT KEY:

- A AC DISCONNECT SWITCH (PV SYSTEM)
SOLAREGE INVERTERS
AC COMBINER PANEL
PV SYSTEM UTILITY METER
DAS
- B (NEW) CUSTOMER OWNED RISER POLE WITH UTILITY
SUPPLIED KYLE SWITCH TO BE INSTALLED BY CUSTOMER

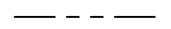
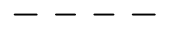
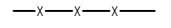
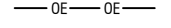



NOTE:

1. MEADOW SEED MIXTURE TO BE PLANTED BETWEEN PV ARRAY ROWS
2. FENCING AROUND THE ARRAY WILL BE WILDLIFE FRIENDLY

SYMBOLS LEGEND:

-  EXISTING UTILITY POLE
-  PROPOSED UTILITY POLE

LINETYPE LEGEND:

-  APPROXIMATE PROPERTY LINE
-  PROPERTY LINE SETBACK
-  PROPOSED CHAINLINK FENCE
-  OVERHEAD ELECTRIC
-  UNDERGROUND ELECTRIC
-  APPROXIMATE WETLAND BOUNDARY GIS
-  10' ARRAY SETBACK



ECOGY ENERGY
315 FLATBUSH AVENUE, SUITE 393
BROOKLYN, NY 11217
projectmanagement@ecogyenergy.com
(718)-304-0945

Ecogy New York XI LLC

Project Name:
KITCHAWAN
2581.2 kW-DC PV SYSTEM
GROUND MOUNT

Project Site:
**716 KITCHAWAN ROAD,
OSSINING, NY, 10562**

Account No: xxxxx
New Service Case #: xxxxx

#	REVISION DESCRIPTION	DATE	BY

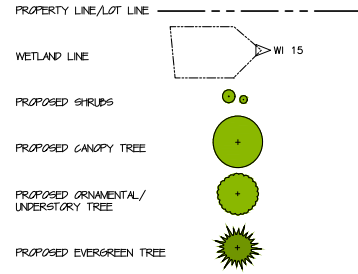
Professional Stamp

PRELIMINARY

SHEET NAME:
**PARTIAL
SITE PLAN**

PROJECT NUMBER: ---	DRAWN BY: SCG	CHECKED BY: ---
DATE: 07/28/21	DWG. NUMBER: ---	
SHEET NUMBER: X of X	PV-100	

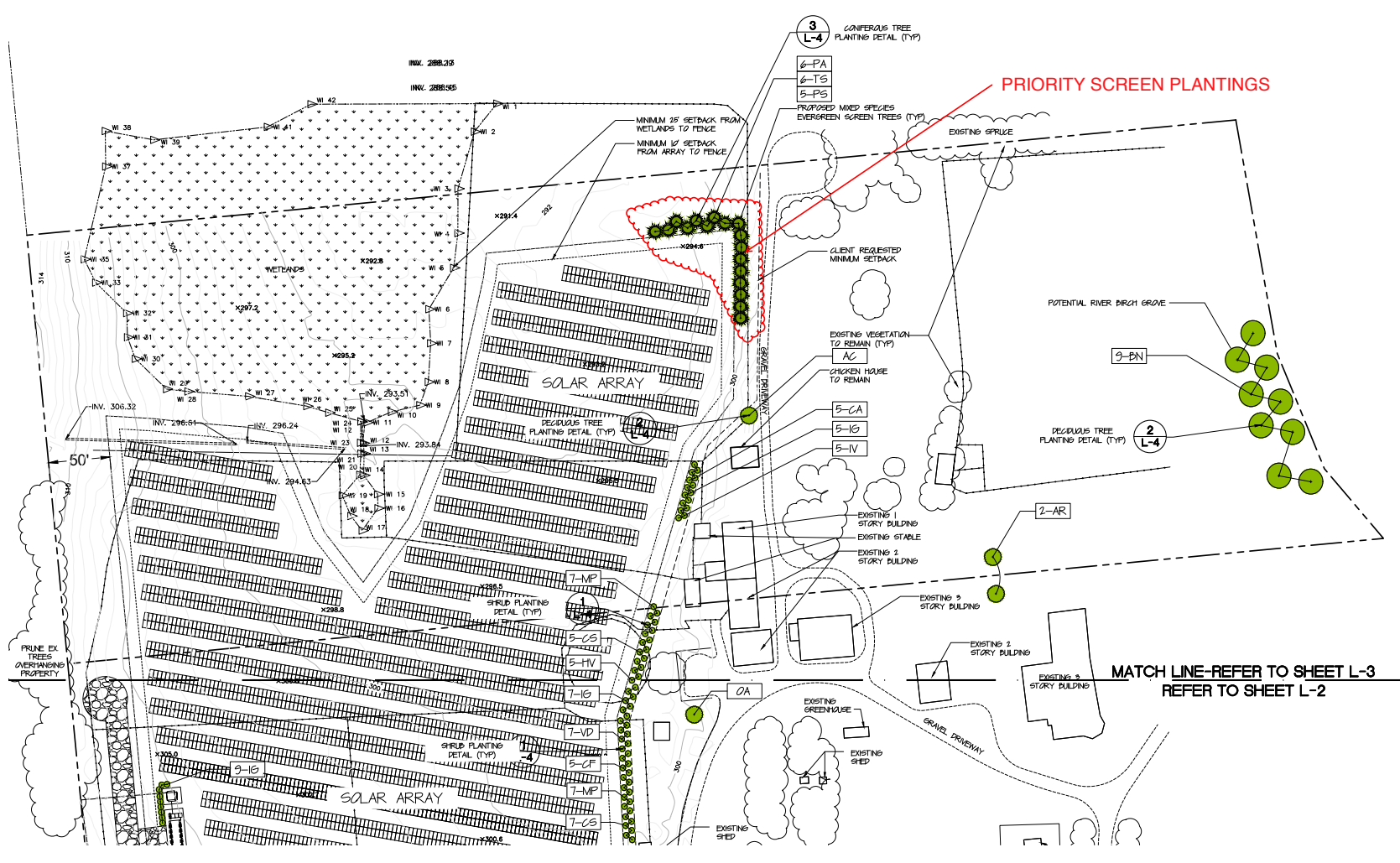
PLANTING LEGEND



GENERAL NOTES:

- CONTACT CALL DG SHIELLY NEW YORK AT 811 OR WWW.DIGSAFE.NY.GOV TO HAVE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
- BASE MAP INFORMATION WAS TAKEN FROM "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS & LAND SURVEYORS, P.C., DATED APRIL 23, 2021.

REFER TO SHEET L-4 FOR PLANTING DETAILS, PLANT LIST AND PLANTING NOTES



Revisions	Date

Tracy Chalifoux LLC
 Landscape Architect
 7 King Street, Danbury, CT 06811
 Office: 860-244-1260
 E-mail: tchalifoux@gmail.com

Project Title
LANDSCAPE MASTER PLAN
 ECOGY NEW YORK XI LLC
 KITCHAWAN

Location
 716 KITCHAWAN ROAD
 YORKTOWN, NY 10562

Graphic Scale and North Arrow

 Date
 June 3, 2021

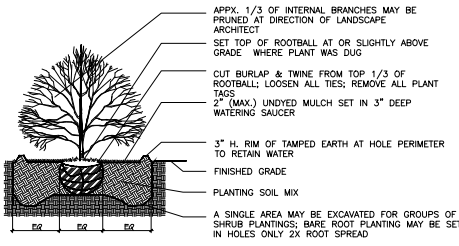
Scale
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Checked
 TLC

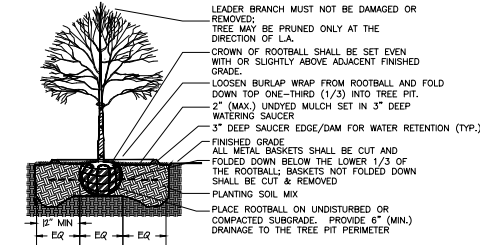
Drawn
 TLC

Drawing Title
PLANTING PLAN
 SITE NORTHERN PORTION

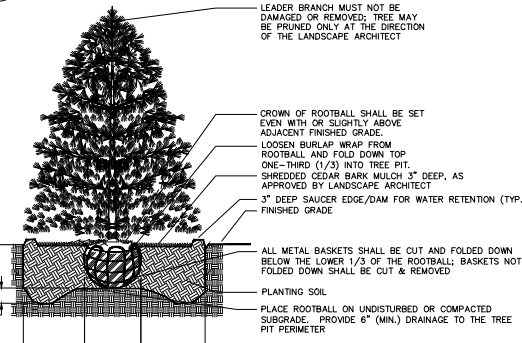
Drawing No.
L-3
 SHEET 3 OF 4



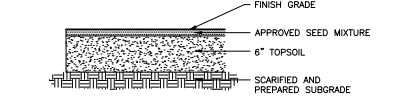
1 SHRUB PLANTING DETAIL
L-4 NOT TO SCALE



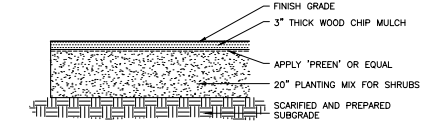
2 DECIDUOUS TREE PLANTING DETAIL
L-4 NOT TO SCALE



3 CONIFEROUS TREE PLANTING DETAIL
L-4 NOT TO SCALE



4 TOPSOIL AND SEED DETAIL
L-4 NOT TO SCALE



5 SECTION THROUGH SHRUB BED DETAIL
L-4 NOT TO SCALE

PLANT LIST - Kitchawan Farm-Overall Site Plantings

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	SPACING
TREES						
3	AR	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	2'-2 1/2" cal.	Full, Heavy, Matching	
5	AC	Amelanchier canadensis	Shadbowl Serviceberry	8'-10' ht.	Full, Heavy, Multi-stem, B&B	
9	BN	Betula nigra 'Heritage'	Heritage River Birch	8'-10' ht.	Full, Heavy, Matching, Clumps	25' O.C.
3	CC	Cercis canadensis	Eastern Redbud	8'-10' ht.	Full, Heavy, Multi-stem, B&B	
3	CRH	Cornus rugelensis 'Hyperion'	Hyperion Dogwood	2'-2 1/2" cal.	Full, Heavy, Matching, Specimen, B&B	20' O.C.
3	CRS	Cornus rugelensis 'Stellar Pink'	Stellar Pink Dogwood	2'-2 1/2" cal.	Full, Heavy, Matching, Specimen, B&B	20' O.C.
4	ID	Ilex opaca	American Holly	8'-9' ht.	Full, Heavy, Specimen, B&B	
6	IV	Juniperus virginiana	Eastern Red Cedar	8'-10' ht.	Full, Heavy, Specimen, B&B	
1	NS	Nyssa sylvatica 'Wildfire'	Wildfire Sourwood	2'-2 1/2" cal.	Full, Heavy, Specimen, B&B	
1	OV	Ostrya virginiana	American Hophornbeam	2'-2 1/2" cal.	Full, Heavy, Specimen, B&B	
3	OA	Oxydendrum arboreum	Sourwood	8'-10' ht.	Full, Heavy, Specimen, B&B	
30	PA	Picea abies	Norway Spruce	8'-10' ht.	Full, Heavy, Specimen, B&B	9' O.C.
12	PA	Picea abies	Norway Spruce	12'-18' ht.	Full, Heavy, Specimen, B&B	12' O.C.
5	PS	Pinus strobus	White Pine	8'-10' ht.	Full, Heavy, Specimen, B&B	9' O.C.
1	OB	Quercus bicolor	Swamp White Oak	2'-2 1/2" cal.	Full, Heavy, Specimen, B&B	
1	OR	Quercus rubra	Red Oak	2'-2 1/2" cal.	Full, Heavy, Specimen, B&B	
37	TS	Taxa standishii	Green Giant Arborvitae	8'-10' ht.	Full, Heavy, Specimen, B&B	20' O.C.
SHRUBS						
8	CF	Calycanthus floridus	Common Sweetshrub	3'-3 1/2' ht.	Full, Heavy, Container	3' O.C.
5	CA	Clethra alnifolia	Sweet Pepperbush	3'-3 1/2' ht.	Full, Heavy, Container	6' O.C.
40	CS	Cornus sericea 'Bailey'	Redtwig Dogwood	3'-3 1/2' ht.	Full, Heavy, Container	6' O.C.
24	HV	Hammamelis virginiana	Witchhazel	3'-3 1/2' ht.	Full, Heavy, Container	6' O.C.
59	IS	Ilex glabra	Inkberry	3'-3 1/2' ht.	Full, Heavy, Matching, Container	6' O.C.
12	IGC	Ilex glabra 'Shamrock'	Shamrock Inkberry	3'-3 1/2' ht.	Full, Heavy, Matching, Container	6' O.C.
41	IV	Ilex verticillata 'Winter Red'	Winter Red Winterberry	3'-3 1/2' ht.	Full, Heavy, Container	6' O.C.
13	LB	Unders benzoin	Spicebush	3'-3 1/2' ht.	Full, Heavy, Container	6' O.C.
69	MP	Myrica pensylvanica	Bayberry	3'-3 1/2' ht.	Full, Heavy, Matching, Container	6' O.C.
7	RM	Rhododendron maximum	Rosebay Rhododendron	3'-3 1/2' ht.	B&B Full, Heavy	6' O.C.
26	VD	Viburnum dentatum	Arrowwood Viburnum	3'-3 1/2' ht.	Full, Heavy, Container	6' O.C.
11	VL	Viburnum lentago	Nannyberry	3'-3 1/2' ht.	Full, Heavy, Container	6' O.C.
39	VT	Viburnum trilobum 'Wentworth'	Wentworth Viburnum	3'-3 1/2' ht.	Full, Heavy, Container	5' O.C.

Note: Provide 3" of shredded bark mulch in all planting beds.

- PLANTING NOTES:**
- CONTACT D&B SAFELY NEW YORK AT 845 OR WWW.D&BSAFELYNEWYORK.COM TO HAVE UNDERGROUND UTILITIES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
 - BASE MAP INFORMATION WAS TAKEN FROM "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS & LAND SURVEYORS, P.C., DATED APRIL 23, 2021.
 - EXACT LOCATION OF PLANTINGS, SPECIES TYPES AND QUANTITIES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
 - IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES OF PLANTS IN THE "PLANT LIST" AND THE ACTUAL QUANTITIES SHOWN ON THE PLAN THE PLAN SHALL GOVERN.
 - ALL PLANTINGS SUSCEPTIBLE TO BEER BROWNSING SHALL BE SPRAYED WITH ORGANIC BEER REPELLENT, OR PROTECTED BY PHYSICAL MEASURES, SUCH AS WITH TEMPORARY FENCING OR TREE TUBES WHERE APPROPRIATE.
 - ALL NEW PLANTINGS SHALL EITHER BE HAND WATERED OR A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED UNTIL PLANTINGS ARE ESTABLISHED.
 - THE LANDSCAPE CONTRACTOR SHALL READ ALL LANDSCAPE PLANS, SPECIFICATIONS AND VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BEING THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINS THE WORK.
 - ANY AND ALL QUESTIONS CONCERNING THE LANDSCAPE PLANS AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (I) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (S) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD BY TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MULCHING, AND OTHER REQUIREMENTS OF PLANT MATERIALS WHILE THEY ARE TEMPORARILY STORED ON OR OFF SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE LAYOUT OF PLANTING BEDS, PLANT MASSING, STAKING OF TREES AND INDICATION OF PLANT MATERIAL WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
 - ALL LANDSCAPE MATERIAL SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z603-2008) PER THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR PALLED AND PARLAFED AS INDICATED IN THE PLANT LIST.
 - PER OWNER'S REQUEST, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIAL AT THE NURSERY, PRIOR TO SELECTION OR PISING.
 - CONDUCT PLANTING UNDER FAVORABLE WEATHER CONDITIONS DURING EITHER THE SPRING PLANTING SEASON (MARCH 1 TO JUNE 1) OR THE FALL PLANTING SEASON (SEPTEMBER 30 UNTIL FREEZING OF THE GROUND). DURING THE FALL PLANTING SEASON, CONFEROUS MATERIAL PLANTING SHALL BE CONDUCTED ABOUT 75 TO OCTOBER 1. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
 - THE PLANTING SOIL MIXTURE FOR ALL TREE PLANTINGS SHALL INCLUDE SOIL EXCAVATED FROM THE HOLE. RATIO: 50% VIRGIN SOIL + 50% AMENDED TOP SOIL.
 - ROOT STIMULATOR SHALL BE APPLIED TO ALL PLANT MATERIALS WITH THE EXCEPTION OF LAWN AREAS. APPLY AS PER THE MANUFACTURERS SPECIFICATIONS.
 - THE LANDSCAPE CONTRACTOR SHALL RESTORE FINISH GRADES IN ALL PLANTING AREAS (PER GRADING PLANS) WHICH MAY HAVE BEEN DISTURBED DURING PLANTING OPERATIONS.
 - ALL TREE SAUKERS AND PLANTING BEDS ARE TO BE MULCHED WITH A MINIMUM OF 5" DOUBLE-GRADE HARDWOOD MULCH (NON-DYED). LANDSCAPE CONTRACTOR TO PROVIDE MULCH SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. WHERE PLANTING BEDS ARE ADJACENT TO WALKS AND CURBS THE SOIL LEVEL SHALL BE 6" LOWER TO ALLOW FOR MULCH LAYER.
 - MULCH STAKES 50% BUY WIRE, PRE-EMERGENT HERBICIDES, ETC. SHALL BE SUBSIDIARY TO RESOLVE PLANTS.
 - LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LESSELE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. LABEL EACH ORNAMENTAL GRASS, GROUNDERCOVER, PERENNIAL AND ANNUAL WITH THE LABEL PROVIDED BY THE ORIGINAL GROWER OF THE PLANT. LABELS SHALL NOT BE REMOVED UNTIL AFTER PROVISIONAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
 - STAKES AND GUY WIRES, IF USED, SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
 - LOOSEN SOIL FOR ALL PLANTING ISLANDS AND SHRUB/PERENNIAL BEDS TO A DEPTH OF 12". TOPSOIL SHALL BE FERTILE NATURAL TOPSOIL, TYPICAL OF THE LOCALITY, OBTAINED FROM WELL-DRAINED AREAS. SPOILED TOPSOIL MAY BE USED, IF SHALL BE WITHOUT ABSENCE OF SUBSOIL OR SLAS AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS OR THEIR ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR WOULD INTERFERE WITH FUTURE MAINTENANCE. TOPSOIL PH RANGE SHALL BE 5.5 TO 7.0.
 - THERE SHALL BE NO ADDITIONS, DELETIONS OR SUBSTITUTION OF PLANT MATERIAL SPECIES WITHOUT THE WRITTEN APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. ANY SUBSTITUTION THAT HAS NOT BEEN APPROVED SHALL BE REMOVED AND REPLACED WITH THE CORRECT PLANT AT LANDSCAPE CONTRACTORS EXPENSE.
 - THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER AN UNCONVENTIONAL 2-YEAR WARRANTY OF PLANT MATERIAL SHALL BEGIN FROM THE TIME OF HANDLING PLANT MATERIAL AT THE TIME OF DELIVERY THROUGH INSTALLATION AND END AFTER SUBSTANTIAL COMPLETION AND FINAL FINCH-LIST APPROVAL BY LANDSCAPE ARCHITECT. WARRANTY SHALL INCLUDE ALL LABOR REQUIRED REPLACING MATERIALS ON-SITE.
 - THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THE LANDSCAPE CONSTRUCTION.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED PRIOR TO SUBSTANTIAL COMPLETION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

Revisions	Date	<p>Tracy Chalifoux LLC Landscape Architect 7 King Street, Danbury, CT 06811 Office: 845-784-1389 E-mail: tchalifoux@gmail.com</p>	<p>Seal</p>	<p>Project Title</p> <p>LANDSCAPE MASTER PLAN ECOGY NEW YORK XI LLC KITCHAWAN</p>	<p>Graphic Scale and North Arrow</p>	<p>Drawing Title</p> <p>PLANTING DETAILS, PLANT LIST & PLANTING NOTES</p>	<p>Drawing No.</p> <p>L-4</p>
<p>Location</p> <p>716 KITCHAWAN ROAD YORKTOWN, NY 10562</p>				<p>Sheet 4 of 4</p>			