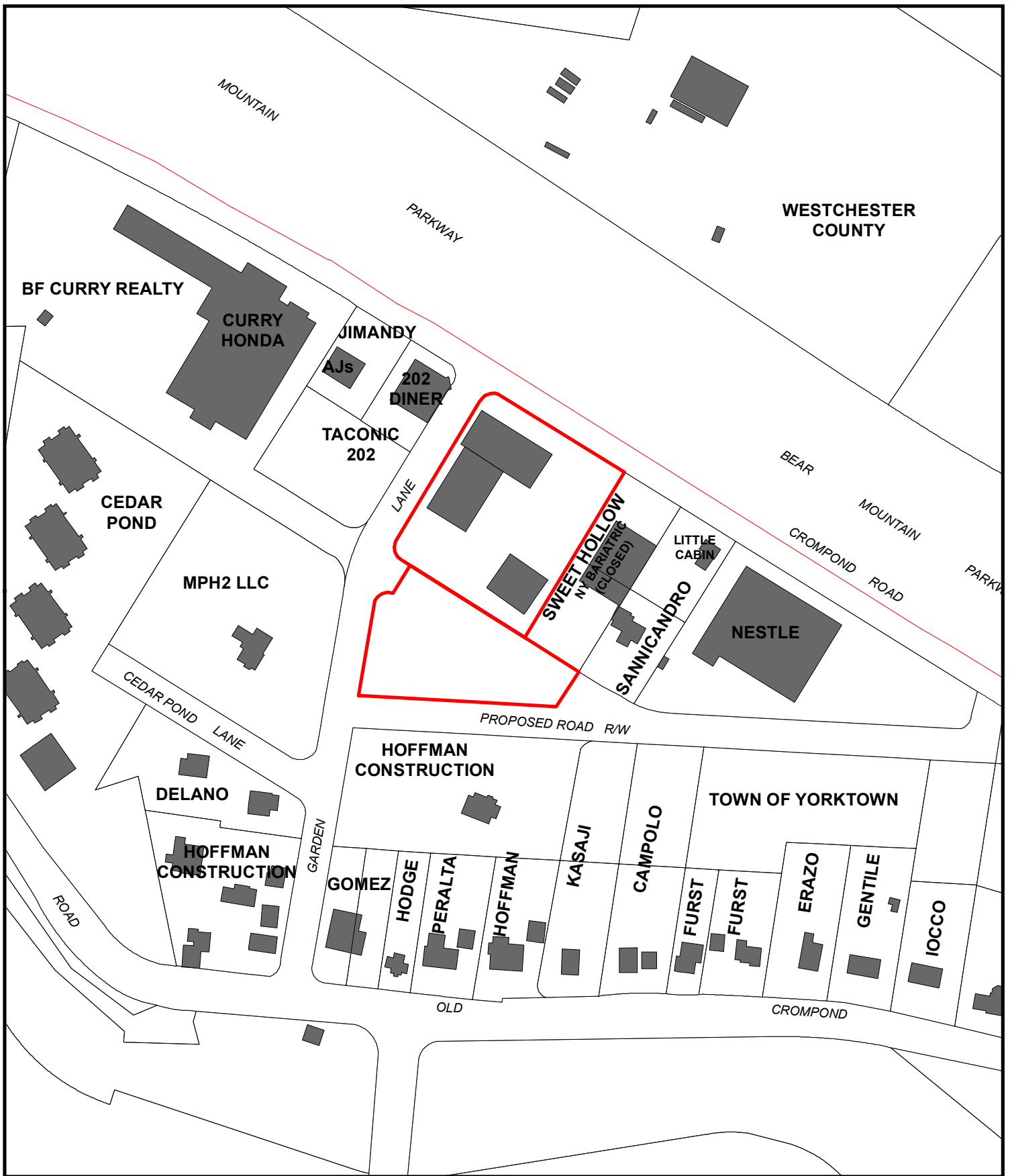


Bird Bus
Sales & Service

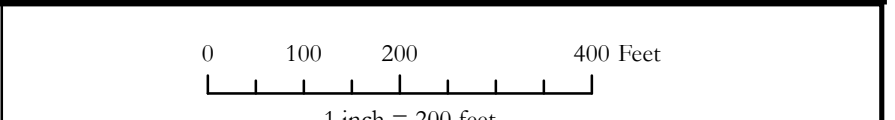


TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



TITLE: Bird Bus Sales & Service
 DATE: September 24, 2021

FILE: F:\ArcGIS\PROJECTS\Bird Bus PIH.mxd
 BY: RAS

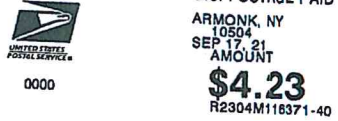


Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

RECEIVED
 PLANNING DEPARTMENT
 SEP 17 2021
 TOWN OF YORKTOWN



Certificate of Mailing — Firm

Name and Address of Sender Paul Dumont JMC, PLLC 120 Bedford Road Armonk, NY 10504 <i>Bird Bus</i> <i>PIH - 9/27/21</i>		TOTAL NO. of Pieces Listed by Sender 9	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here <i>Postmark with Date of Receipt.</i> 			
USPS Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airlift
1.		TACONIC 202 PROPERTIES LLC 81 SPRAIN VALLEY ROAD SCARSDALE, NY 10583					
2.		MPH2 LLC 2527 GARDEN LANE CORTLANDT MANOR, NY 10567					
3.		BF CURRY REALTY LLC 727 CENTRAL AVENUE SCARSDALE NY 10583					
4.		CROMPOND REALTY LLC 3805 CROMPOND ROAD CORTLANDT MANOR, NY 10567					
5.		SWEET HOLLOW WESTCHESTER CROMPOND ROAD CORTLANDT MANOR, NY 10567					
6.		SWEET HOLLOW WESTCHESTER LLC 125 MINEOLA AVENUE, #200 ROSYLYN, NY 11577					



Certificate of Mailing — Firm

Name and Address of Sender James A. Ryan, RLA JMC, PLLC 120 Bedford Road Armonk, NY 10504	TOTAL NO. of Pieces Listed by Sender <p style="text-align: center;">9</p>	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here <i>Postmark with Date of Receipt.</i>
	Postmaster, per (name of receiving employee)		

USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	COUNTY OF WESTCHESTER 148 MARTINE AVENUE WHITE PLAINS, NY 10601				
2.	HOFFMAN CONSTRUCTION & RE LLC 3848 OLD CROMPOND ROAD CORTLANDT MANOR, NY 10567				
3.	KADAJI, ALA KHALIL 3800 OLD CROMPOND ROAD CORTLANDT MANOR, NY 10567				
4.					
5.					
6.					

~~TACONIC 202~~
3827 CROMPOND RD.
CORTLANDT MANOR, NY 10567
TACONIC 202 PROPERTIES LLC
81 SPRAIN VALLEY ROAD
SCARSDALE, NY 10583

~~CROMPOND REALTY. LLC.~~
3805 CROMPOND RD.
CORTLANDT MANOR, NY 10567

~~SWEET HOLLOW WESTCHESTER~~
CROMPOND RD.
CORTLANDT MANOR, NY 10567

~~HOFFMAN CONSTRUCTION &~~
3 827 C3 R03 M2 T2 P
3 CN8DM2 NR DM3 C. MT LA, Y1

~~HOFFMAN CONSTRUCITON & RE LLC~~
3848 OLD CROMPOND ROAD
CORTLANDT MANOR, NY 10567

~~CROMPOND REALTY, LLC.~~
GARDEN LA.
CORTLANDT MANOR, NY 10567

~~MPH2 LLC~~
2527 GARDEN LANE
CORTLANDT MANOR, NY 10567

~~TASSONE, FRANK &
LESIUK~~
2527 GARDEN LA.
CORTLANDT MANOR, NY 10567

~~SWEET HOLLOW WESTCHESTER~~
3795 CROMPOND RD.
CORTLANDT MANOR, NY 10567

~~KASAJI, ALA KHALIL~~
05AA73 827 C3 R03 M2 T2 P
3 CN8DM2 NR DM3 C. MT LA, Y1

~~KADAJI, ALA KHALIL~~
3800 OLD CROMPOND ROAD
CORTLANDT MANOR, NY 10567

~~B F CURRY REALTY LLC~~
3845 CROMPOND RD.
CORTLANDT MANOR, NY 10567
BF CURRY REALTY LLC
727 CENTRAL AVENUE
SCARSDALE, NY 10583

~~TACONIC 202~~
3823 CROMPOND RD.
CORTLANDT MANOR, NY 10567

~~SWEET HOLLOW WESTCHESTER LLC~~
125 MINEOLA AVENUE, #200
ROSLYN, NY 11577

~~COUNTY OF WESTCHESTER~~
148 MARTINE AVENUE
WHITE PLAINS, NY 10601
25.20-1-11

SEP 17 2021

Sign Notification Certification

TOWN OF YORKTOWN

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 38.05 Block 1 Lot 21,22

Project Name: Bird Bus Sales & Service

Address: 3571 Mohegan Avenue

Applicant's Name: Bird Bus Sales & Service

Address: 1 Warehouse Lane, Elmsford, NY 10523

Phone: (516) 233-6199

No. Signs Posted: 2

Sign #1 Location: Route 202 Frontage

Sign #2 Location: Garden Lane Frontage

Sign #3 Location: _____

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: Robert Reichenbach Robert Reichenbach, Bird Bus

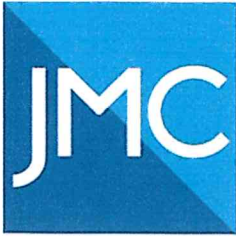
Land Owner's Signature: Drew Picon Drew Picon, Crompond Realty, LLC



Garden Lane Frontage



Route 202 Frontage



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

September 10, 2021

Chairman Richard Fon
& Members of the Planning Board
Town of Yorktown Planning Board
1974 Commerce Street, Room 222
Yorktown, NY 10598

RECEIVED
PLANNING DEPARTMENT
SEP 10 2021
TOWN OF YORKTOWN

RE: JMC Project 21005
Bird Bus Sales & Service
3805 Crompond Road
Town of Yorktown, NY

Dear Chairman Fon & Members of the Board:

On behalf of Bird Bus Sales, we are pleased to submit the following documents in support of an application for Site Plan Approval and a Special Use Permit for the reoccupation of the above referenced property.

1. Bird Bus Sales Check, in the amount of \$5,013.82 for the for the Site Plan Application Fee.
2. Bird Bus Sales Check, in the amount of \$625.00 for the for the Special Permit Application Fee.
3. Town of Yorktown Application for Site Plan Approval, dated 09/08/2021.
4. Town of Yorktown Special Use Permit Application, dated 09/08/2021.
5. Town of Yorktown Commercial Site Fee Schedule, dated 09/10/2021.
6. New York State Department of Environmental Conservation Short Environmental Assessment Form, prepared by JMC, dated 09/10/2021.
7. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
C-000	“Cover Sheet”	09/10/2021
C-010	“Existing Conditions Map & Demolition Plan”	09/10/2021
C-100	“Preliminary Layout & Landscaping Plan”	09/10/2021
C-900	“Construction Details”	09/10/2021

The existing 2.74 acre property is located at 3805 Crompond Road immediately east of the intersection of Crompond Road and Garden Lane and is comprised of two separate parcels. The property lies within the Town of Yorktown's C-4 "Commercial General" Zoning District. The primary parcel is 1.71 acres in size and is located on the northern portion of the property. This parcel encompasses the majority of the property and contains the buildings formerly occupied by Taconic Kia, an automobile dealership. The second parcel is 1.03 acres in size and lies immediately south of the main parcel. This parcel does not contain buildings or parking areas and does not have direct access from either Garden Lane or Crompond Road. This parcel was previously used by the prior car dealerships for the storage of vehicles. The property is currently improved with two buildings, an approximate 7,500 SF one-story stucco building that was used as an automobile dealership, and an approximate 7,600 SF masonry garage used for the service portion of the dealership. In addition, the property contains an asphalt parking area and a concrete foundation in the southeast corner where another garage building previously existed.

The applicant proposes to re-occupy the property with a school bus dealership. The facility will operate in a way similar to a traditional automobile dealership with a few exceptions. Vehicles are not delivered by carrier or towed, but are driven by the manufacturer to the lot. In addition, the sales of the buses are typically conducted over the phone, or a representative of the dealership may drive the vehicle to the school district for evaluation or delivery. Light service operations will occur on the property as is typical for a dealership, which includes preparing the vehicles for sale and typical maintenance items such as oil changes, etc. No heavy service or autobody work will occur at the facility.

As shown on JMC Drawing C-100, "Preliminary Layout & Landscaping Plan", the front of the property will be utilized for customer parking and the rear of the property will be used for employee parking and the storage of school buses, with a maximum of 48 vehicles contemplated to be stored on the property. A landscaped area is proposed which will be utilized for landscaping / screening of the vehicle storage areas. Additionally, this plan contains a Table of Land Use which demonstrates compliance with the requirements of the C-4 Zoning District as well as the Special Permit requirements for the dealership use. The applicant proposes several architectural improvements including a new façade for the dealership building in addition to raising the roof of the garage building as the current height cannot accommodate school buses.

These drawings have been provided for your review and we look forward to discussing the project with you at the next Planning Board meeting. In the interim, if you have any questions or require additional information please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

Paul Dumont

Paul J. Dumont, PE
Senior Designer II

Diego Villareale

Diego Villareale, PE
Associate Principal

cc: Mr. Robert Reichenbach
John Tegeder, RA

p:\2021\21005\admin\lftfon_2021-09-10.docx

SEP 10 2021

TOWN OF YORKTOWN PLANNING BOARD

TOWN OF YORKTOWN

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date 09/08/2021

1. Name of Project: Bird Bus Sales & Service

2. Tax Map Designation (Section, Block, Lot) 38.05-1-21 35.08-1-21
38.05-1-22 35.08-1-22

3. Zone: C-4 Total Acreage: 2.74

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

The applicant proposes to reoccupy the property with a school bus dealership. The applicant proposes several architectural improvements including interior and façade renovations for the dealership building in addition to raising the roof of the garage building as the current height cannot accommodate school buses. The front of the property will be utilized for customer parking, and the rear of the property will be used for employee parking and the storage of school buses, with a maximum of 48 vehicles contemplated to be stored on the property. A landscaped area is proposed which will be utilized for landscaping / screening of the vehicle storage areas.

6. Contact Person - CHOOSE ONLY ONE:

- | | | | |
|------------------------------------|--|------------------------------------|--|
| <input type="checkbox"/> Applicant | <input type="checkbox"/> Owner | <input type="checkbox"/> Architect | <input type="checkbox"/> Wetland Scientist |
| <input type="checkbox"/> Attorney | <input checked="" type="checkbox"/> Engineer | <input type="checkbox"/> Surveyor | <input type="checkbox"/> Landscape Architect |

7. Applicant

Name Robert Reichenbach, Vice President

Firm Bird Bus Sales & Service

Address 1 Warehouse Lane, Elmsford, NY 10523

Phone (516) 233-6199

Fax _____

Email Robert@BirdBusSales.com

8. Owner of Record

Name _____

Firm Crompond Realty, LLC

Address 3805 Crompond Road, Yorktown Heights, NY 10598

Phone _____

Fax _____

Email _____

9. Attorney

Name Darius Chafizadeh
Firm Harris Beach PLLC
Address 445 Hamilton Avenue, Suite 1206, White Plains, NY 10601
Phone (914) 683-1200
Fax (914) 683-1210
Email DChafizadeh@HarrisBeach.com

10. Engineer

Name Diego Villareale, PE
Firm JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC
Address 120 Bedford Road, Armonk, NY 10504
Phone (914) 273-5225
Fax (914) 273-2102
Email DVillareale@JMCPLL.com
Lic. No. 084546

11. Surveyor

Name Stephen F. Hoppe, LS
Firm Stephen F. Hoppe, L.S. LLC
Address 111 NY-303, Tappan, NY 10983
Phone (845) 359-5050
Fax (845) 230-6610
Email NewYorkSurveyor@AOL.com
Lic. No. 50539

12. Architect

Name Joseph R. Crocco, RA
Firm Joseph R. Crocco Architects
Address 4 MacDonald Avenue #5, Armonk, NY 10504
Phone (914) 273-2774
Fax _____
Email Joe@JRCArchitects.com
Lic. No. _____

13. Wetland Scientist/Specialist

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name Paul R. Sysak, RLA, ASLA
Firm JMC Planning, Engineering, Landscape Architecture & Surveying, PLLC
Address 120 Bedford Rd, Armonk, NY 10504
Phone (914) 273-5225
Fax (914) 273-2102
Email PSysak@JMCPLLC.com
Lic. No. 002181-1

15. Is this project within 500 feet of the Town line? Yes No
16. Is this project within 500 feet of the Putnam County line? Yes No
17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

- The right-of-way of any existing or proposed state or county road? Yes No
The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No
The boundary of state or county-owned land on which a public building/ institution is located? Yes No
An existing or proposed county drainage line? Yes No
The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit
 Stormwater Permit
 Tree Permit
 Planning Board special permit: New and/or used car automobile sales
 Town Board variance or approval: _____
 Zoning Board of Appeals variance or special permit: _____

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

School District	<u>Yorktown School District</u>	Water District	<u>Yorktown Consolidated Water District #1</u>
Fire District	<u>Mohegan Fire District</u>	Sewer District	<u>Peekskill Sewer District</u>

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

<p>Applicant</p> <p><u>Robert Reichenbach</u></p> <p>NAME (PLEASE PRINT)</p> <p><u>Robert Reichenbach</u></p> <p>SIGNATURE</p> <p><u>9/8/2021</u></p> <p>DATE</p>	<p>Owner of Record</p> <p>_____</p> <p>NAME (PLEASE PRINT)</p> <p>_____</p> <p>SIGNATURE</p> <p>_____</p> <p>DATE</p>
---	---

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

School District	<u>Yorktown School District</u>	Water District	<u>Yorktown Consolidated Water District #1</u>
Fire District	<u>Mohegan Fire District</u>	Sewer District	<u>Peekskill Sewer District</u>

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

<p>-----</p> <p>Applicant</p> <p>_____</p> <p>NAME (PLEASE PRINT)</p> <p>_____</p> <p>SIGNATURE</p> <p>_____</p> <p>DATE</p>	<p>Owner of Record</p> <p><i>Drew Picon</i></p> <p>_____</p> <p>NAME (PLEASE PRINT)</p> <p><i>Drew Picon</i></p> <p>_____</p> <p>SIGNATURE</p> <p><i>9/8/21</i></p> <p>_____</p> <p>DATE</p>
---	---

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

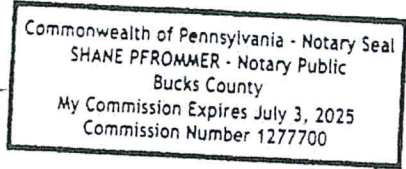
STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Drew Picon, being duly sworn, deposes and says that he resides at 35 Turtle Pt Rd in the County of Morris and State of New Jersey. That he is the owner/member of Crompton Technology LLC the corporation which is owner in fee of the property described in the foregoing application for Site Plan and that the statements contained therein are true to the best of his knowledge and belief.

[Signature]

Sworn before me this 8th date of September, 2021

[Signature]
Notary Public



Act
Notary
NJ
07961

SEP 10 2021

TOWN OF YORKTOWN

TOWN OF YORKTOWN PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

SPECIAL USE PERMIT APPLICATION

If this application is not being made in conjunction with a request for site plan approval from the Planning Board, a site plan/plot plan and Short EAF must also be submitted with this application. The required fee is \$625.00 for new applications and \$312.00 for requests to renew an existing permit.

Date 09/08/2021

1. Tax Map Designation (Section, Block, Lot) 38.05-1-21, 38.05-1-22

2. Property Address 3805 Crompond Road

3. Zone: C-4 Total Acreage: 2.74

4. Indicate requested special use permit:

- §300-21(8)(a)[1] Outdoor service in commercial districts.
- §300-40 Bus passenger shelters.
- §300-54 Religious institutions, social, cultural, charitable and recreational nonprofit uses.
- §300-55 Parochial, private elementary and high schools, colleges and seminaries.
- §300-69 Valet parking at banquet halls.
- §300-71 New and/or used car automobile sales.
- §300-73.1(A)(2) Permanent seasonal outdoor sales in commercial districts.
- §300-75 Warehouse or storage in retail shopping centers.
- §300-78 Cemeteries.
- §300-79 Self-storage centers.
- §300-80 Sidewalk cafes. (outdoor dining for more than 12 seats)
- §300-81.1 Helistops.
- §300-81.2 Accessory recycling facilities.
- §300-81.4 Large-Scale Solar Power Generation Systems and Facilities
- §300-81.5 Tier 2 Battery Energy Storage Systems
- §300-238.1 Multifamily dwelling units in the Country Commercial Zone.

5. Description of proposed use (if applying for outdoor dining, indicate proposed dining area square footage and number of seats):

Proposed school bus sales dealership, classified as 'new and/or used car automobile sales' within the Zoning Code.

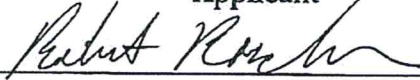
6. Applicant

Name Robert Reichenbach, Vice President
Firm Bird Bus Sales & Service
Address 1 Warehouse Lane, Elmsford, NY 10523
Phone (516) 233-6199
Email Robert@BirdBusSales.com

7. Owner of Record

Name _____
Firm Crompond Realty, LLC
Address 3805 Crompond Road, Yorktown Heights, NY 10598
Phone _____
Email _____

In the event the permit is issued, the undersigned applicant will comply with all provisions of the Code of the Town of Yorktown and all other applicable laws, codes, rules and regulations of any Federal, State or County Government, bureau or department thereof, having jurisdiction over said premises and the use to be conducted thereat.

Applicant


SIGNATURE
Robert Reichenbach

PRINT NAME
9/8/2021

DATE

Owner of Record

SIGNATURE

PRINT NAME

DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

Short Environmental Assessment Form

Part 1 - Project Information

RECEIVED
PLANNING DEPARTMENT

SEP 10 2021

TOWN OF YORKTOWN

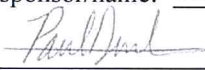
Instructions for Completing

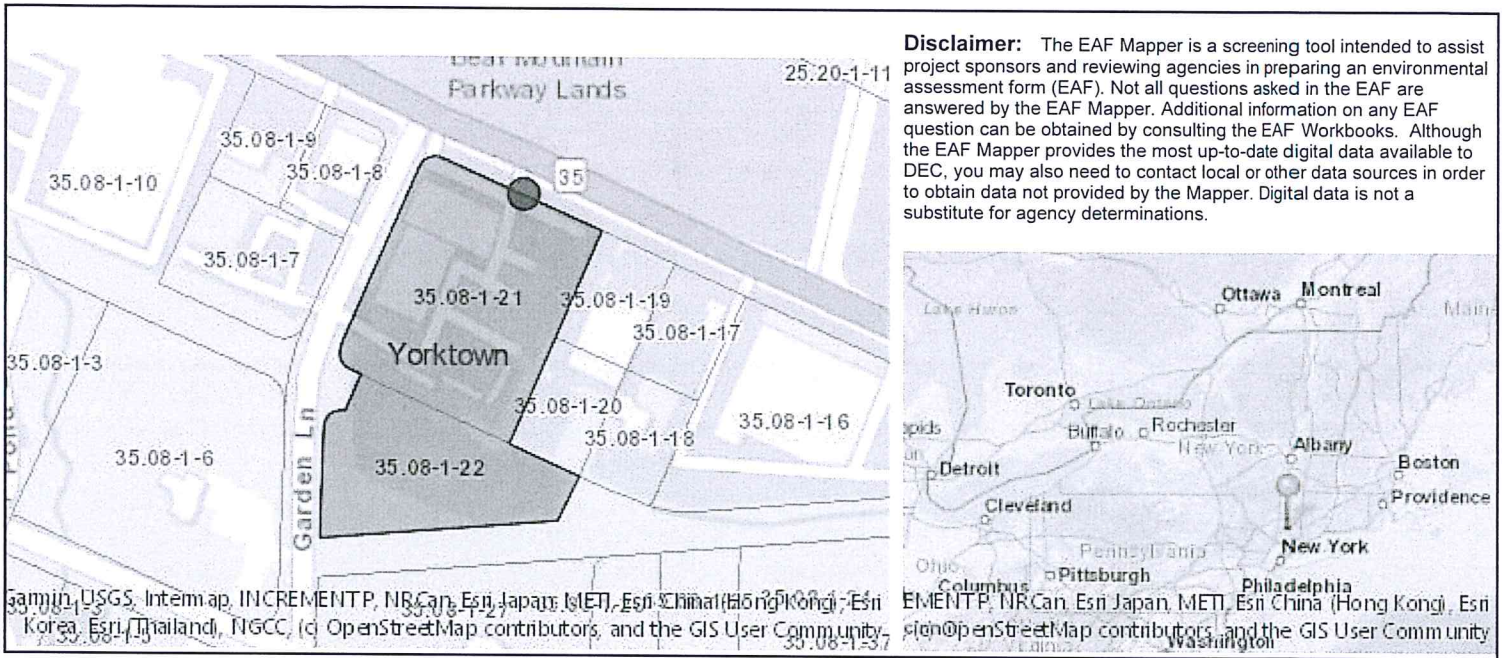
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: Bird Bus Sales & Service				
Project Location (describe, and attach a location map): 3805 Crompond Road, Town of Yorktown, New York				
Brief Description of Proposed Action: The applicant proposes to reoccupy the property with a school bus dealership. The applicant proposes several architectural improvements including interior and façade renovations for the dealership building in addition to raising the roof of the garage building as the current height cannot accommodate school buses. The front of the property will be utilized for customer parking, and the rear of the property will be used for employee parking and the storage of school buses, with a maximum of 48 vehicles contemplated to be stored on the property. A landscaped area is proposed which will be utilized for landscaping / screening of the vehicle storage areas.				
Name of Applicant or Sponsor: Bird Bus Sales		Telephone: (516) 233-6199 E-Mail: Robert@BirdBusSales.com		
Address: 1 Warehouse Lane				
City/PO: Elmsford		State: New York	Zip Code: 10523	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Yorktown Planning Board: Site Plan Approval and Special Permit Approval, Yorktown Building Department: Building Permit			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 2.74 acres		
b. Total acreage to be physically disturbed?		_____ 0.04 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 2.74 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? *The site lies within 500' of the wetlands across Crompond Road that lie on Bear Mountain Parkway Lands.* b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	*
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan? The site lies within Zone A, which is a Special Flood Hazard Area with no Base Flood Elevation defined. The floodplain is associated with a stream that traverses the Bear Mountain Parkway lands.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Existing stormwater runoff from the roofs and rear parking lot is conveyed to drywells that were installed when the site was developed. A small portion of pavement in the front of the property drains to catch basins within the New York State right-of-way (Route 202).	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>Paul J. Dumont, PE (JMC)</u> Date: <u>09/10/2021</u></p> <p>Signature: <u></u> Title: <u>Senior Designer II</u></p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

SITE PLAN / SPECIAL USE PERMIT APPROVAL DRAWINGS

BIRD BUS SALES & SERVICE

TAX MAP SECTION 35.08 | BLOCK 01 | LOTS 21 & 22

WESTCHESTER COUNTY
3805 CROMPOND ROAD
TOWN OF YORKTOWN, NY

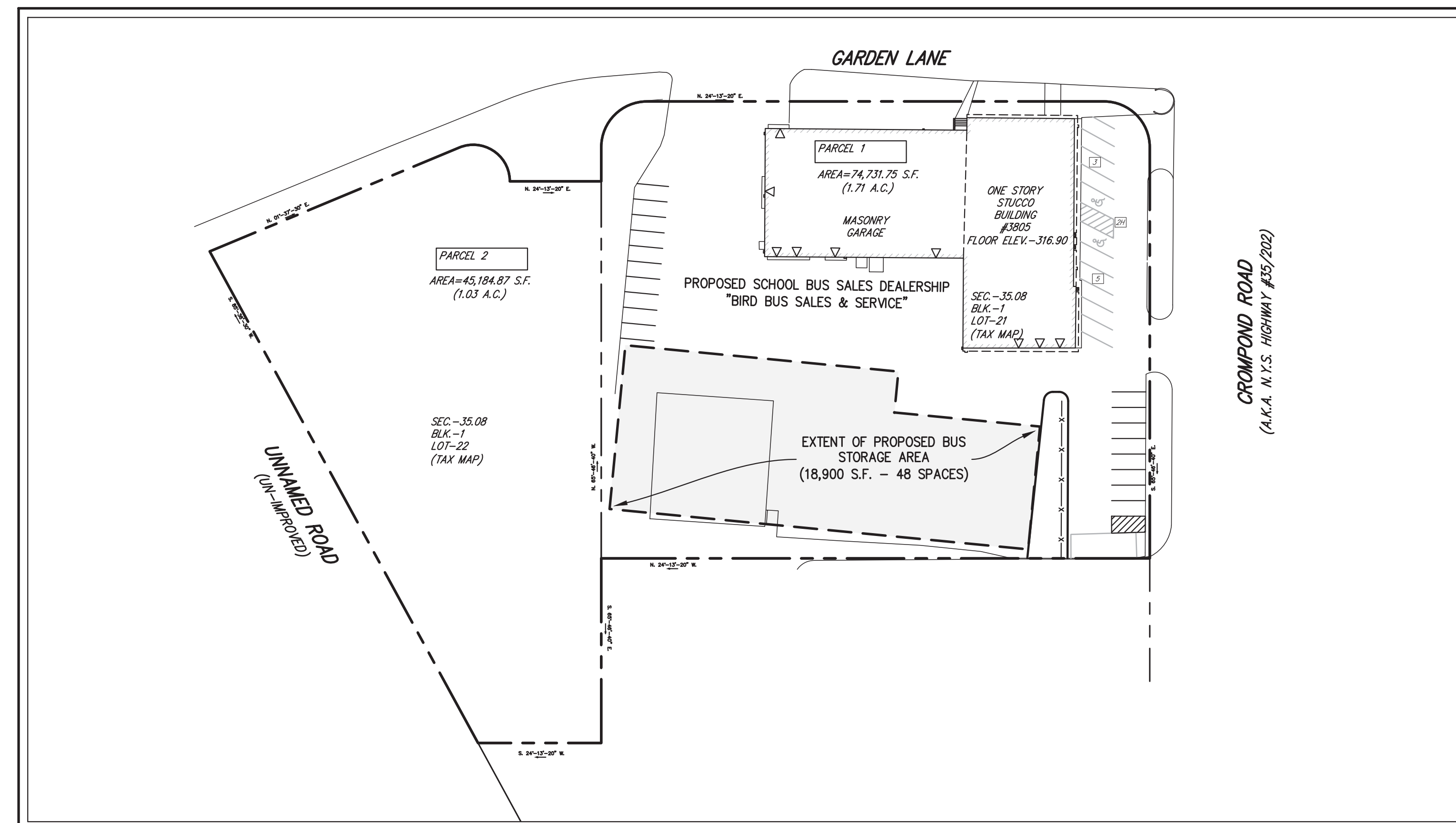
Applicant:
BIRD BUS SALES
1 WAREHOUSE LANE
ELMSFORD, NY 10523
(516) 233-6199

Owner:
CROMPOND REALTY, LLC
3805 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

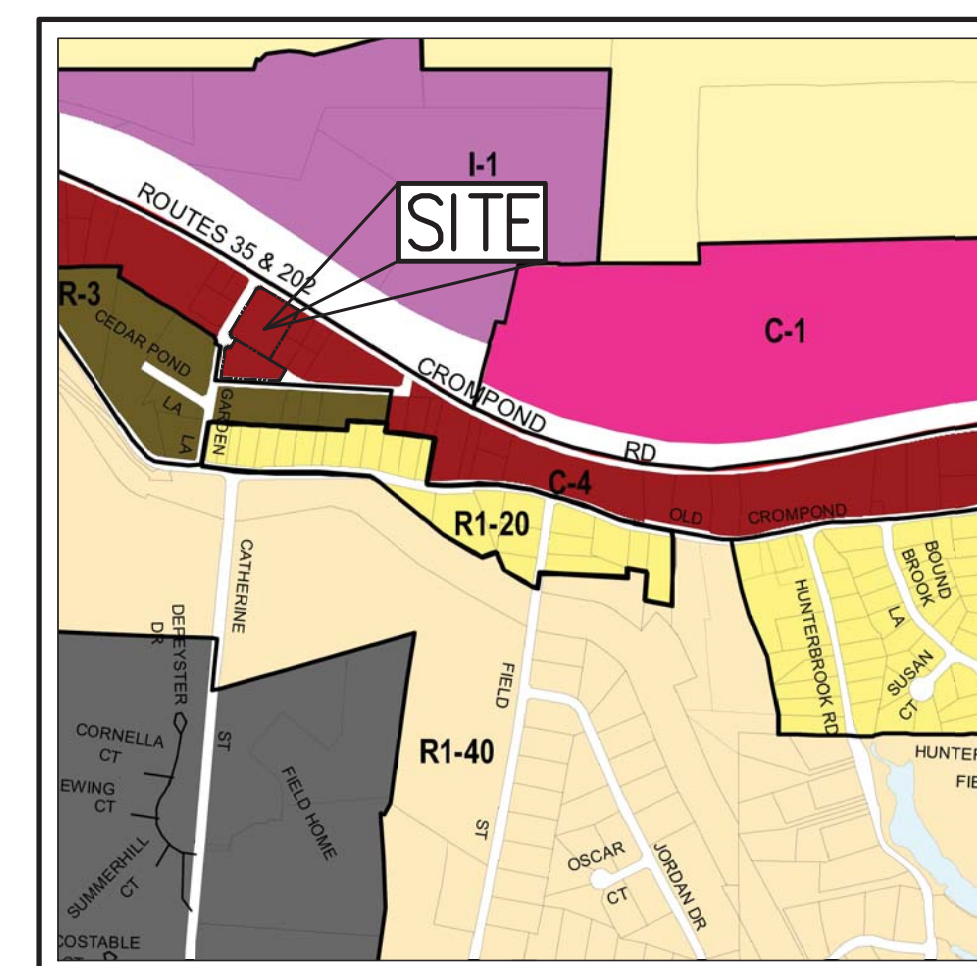
Architect:
JOSEPH R. CROCCO ARCHITECTS
4 MACDONALD AVE #5
ARMONK, NY 10504
(914) 273-2774

JMC Site Planner, Civil & Traffic Engineer,
Surveyor and Landscape Architect:
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

Surveyor:
HOPPE LAND SURVEYING, PC
111 ROUTE 303
TAPPAN, NY 10983
(845) 359-5050

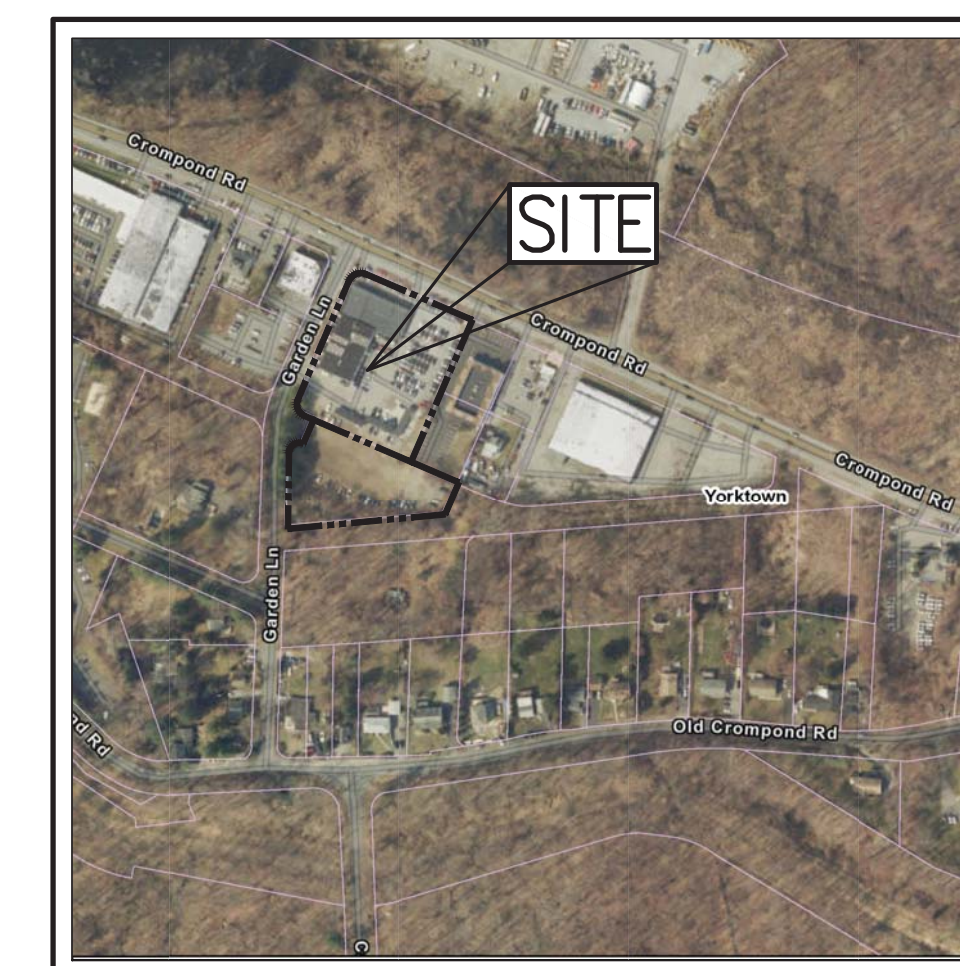


AREA MAP
SCALE: N.T.S.



ZONING MAP
SCALE: 1" = 1,000'
SOURCE: TOWN OF YORKTOWN
OFFICIAL ZONING MAP / 2019

LEGEND	
---	SITE PROPERTY LINE
---	LOT LINE
C-4	COMMERCIAL GENERAL DISTRICT
I-1	LIGHT INDUSTRIAL PARK DISTRICT
R-3	MULTIFAMILY RESIDENTIAL DISTRICT
R1-40	SINGLE-FAMILY RESIDENTIAL DISTRICT



VICINITY MAP
SCALE: 1" = 500'
SOURCE: WESTCHESTER GIS / 2021

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORDED PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By

Previous Editions Obsolete



JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
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Exam	PD	Approved	JAR
Scale:	NOT TO SCALE		
Date:	09/10/2021		
Project No:	21005		
2005-SE	C-000	COVER	JAR
Drawing No:	C-000		



C-000

JMC Drawing List:
C-000 COVER SHEET
C-010 EXISTING CONDITIONS MAP & DEMOLITION PLAN
C-100 PRELIMINARY LAYOUT & LANDSCAPING PLAN
C-900 CONSTRUCTION DETAILS

TABLE OF LAND USE			
SECTION 35.08, BLOCK 1, LOTS 21 & 22 ZONE "C-4" - "GENEAL COMMERCIAL" PROPOSED USE: NEW AND/OR USED CAR AUTOMOBILE SALES			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT AREA (FEET)	N/A	119,917	119,917
LOT WIDTH (FEET)	25	250	250
LOT DEPTH (FEET)	100	300	300
BUILDING HEIGHT (STORIES / FEET)	1 / 35	1 / <35	1 / <35
YARDS			
FRONT BUILDING SETBACK (FEET)	15 ⁽¹⁾	41	41
REAR BUILDING SETBACK (FEET)	15 ⁽¹⁾	89	89
SIDE BUILDING SETBACK (FEET)	15 ⁽¹⁾	9 ⁽²⁾	9 ⁽²⁾
SPECIAL PERMIT CRITERIA FOR AUTOMOBILE SALES			
BUILDING COVERAGE (PERCENT)	20 ⁽³⁾	12.7	12.7
PAVED AREA FOR VEHICLE STORAGE (PERCENT)	40 ⁽⁴⁾	-	15.8
PERMITTED VEHICLE STORAGE (VEHICLES)	59 ⁽⁵⁾	-	48
CUSTOMER PARKING SPACES (SPACES)	10 ⁽⁶⁾	-	18
EMPLOYEE PARKING SPACES (SPACES)	10 ⁽⁶⁾	-	10

- NOTES:**
- PER SECTION 300-71(B)(1) OF THE TOWN OF YORKTOWN CODE, NO BUILDING SHALL BE LOCATED CLOSER THAN 15 FEET TO ANY LOT LINE.
 - EXISTING NON-CONFORMITY.
 - PER SECTION 300-71(B)(2) OF THE TOWN OF YORKTOWN CODE, BUILDING COVERAGE SHALL NOT EXCEED 20% OF THE LOT AREA.
 - PER SECTION 300-71(B)(3) OF THE TOWN OF YORKTOWN CODE, PAVING FOR STORAGE OR DISPLAY OF NEW AND/OR USED CARS SHALL NOT COVER MORE THAN 40% OF THE LOT AREA.
 - PER SECTION 300-71(B)(6) OF THE TOWN OF YORKTOWN CODE, NO MORE THAN ONE MOTOR VEHICLE FOR EVERY 2,000 SQUARE FEET OF LOT AREA SHALL BE STORED OUTSIDE AT ANY TIME, AND NO OUTDOOR STORAGE OF PARTIALLY DISMANTLED OR WRECKED MOTOR VEHICLES SHALL BE PERMITTED. ALL OUTDOOR AUTOMOBILE STORAGE AREAS SHALL BE SCREENED BY FENCING AND YEAR-ROUND LANDSCAPING. BASED ON A TOTAL LOT AREA OF 119,917 SQUARE FEET, 59 VEHICLES ARE PERMITTED TO BE STORED ON THE PROPERTY.
 - PER SECTION 300-71(B)(10) OF THE TOWN OF YORKTOWN CODE, TEN CUSTOMER PARKING SPACES SHALL BE PROVIDED AND SHALL BE SO MARKED. IN ADDITION, EMPLOYEE PARKING AT THE RATE OF ONE SPACE PER TWO EMPLOYEES OF MAXIMUM SHIFT SHALL BE PROVIDED IN THE REAR PORTION OF THE LOT AND SHALL BE SO MARKED. BASED ON A NUMBER OF 20 EMPLOYEES ON THE MAXIMUM SHIFT, 10 EMPLOYEE PARKING SPACES ARE REQUIRED.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED INCLUDING ARRANGING FOR A PRIVATE MARKOUT ON-SITE WHERE APPLICABLE. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDE interruption OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATOR'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. PLACED CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE RAMPING AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

NOT FOR CONSTRUCTION

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CROMPOND ROAD
(A.K.A. N.Y.S. HIGHWAY 455/202)

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING FENCE
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SITE FEATURE TO BE REMOVED
	PROPOSED SAWCUT LINE
	PAVEMENT REMOVAL

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY HOPPE LAND SURVEYING, P.C. DATED MAY 19TH, 2016.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
 - PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF YORKTOWN AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE TOWN OF YORKTOWN BUILDING DEPARTMENT.
 - ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED. ALL REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.
 - ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
 - PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF YORKTOWN OR JMC.
 - EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
 - ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, SHALL BE REPLACED.
 - ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
 - PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE TOWN OF YORKTOWN BUILDING DEPARTMENT AND JMC.

No.	Revision	Date	By

APPLICANT: **BIRD BUS SALES**
1 WAREHOUSE LANE
ELMSFORD, NY 10523

OWNER: **CROMPOND REALTY, LLC**
3805 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

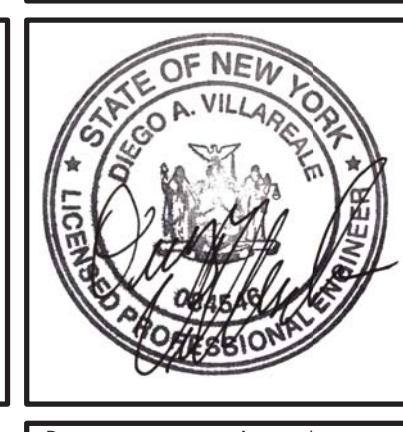
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Mayer Consulting, Inc.

120 BEDFORD ROAD • ARTHUR, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcplic.com

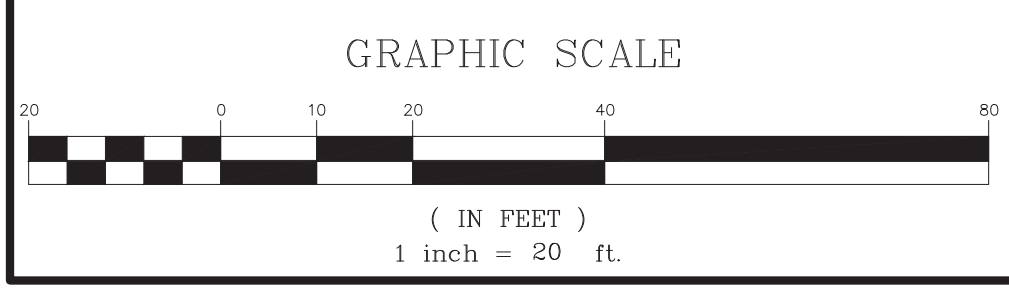


EXISTING CONDITIONS MAP & DEMOLITION PLAN

BIRD BUS SALES & SERVICE
3805 CROMPOND ROAD
TOWN OF YORKTOWN, NY



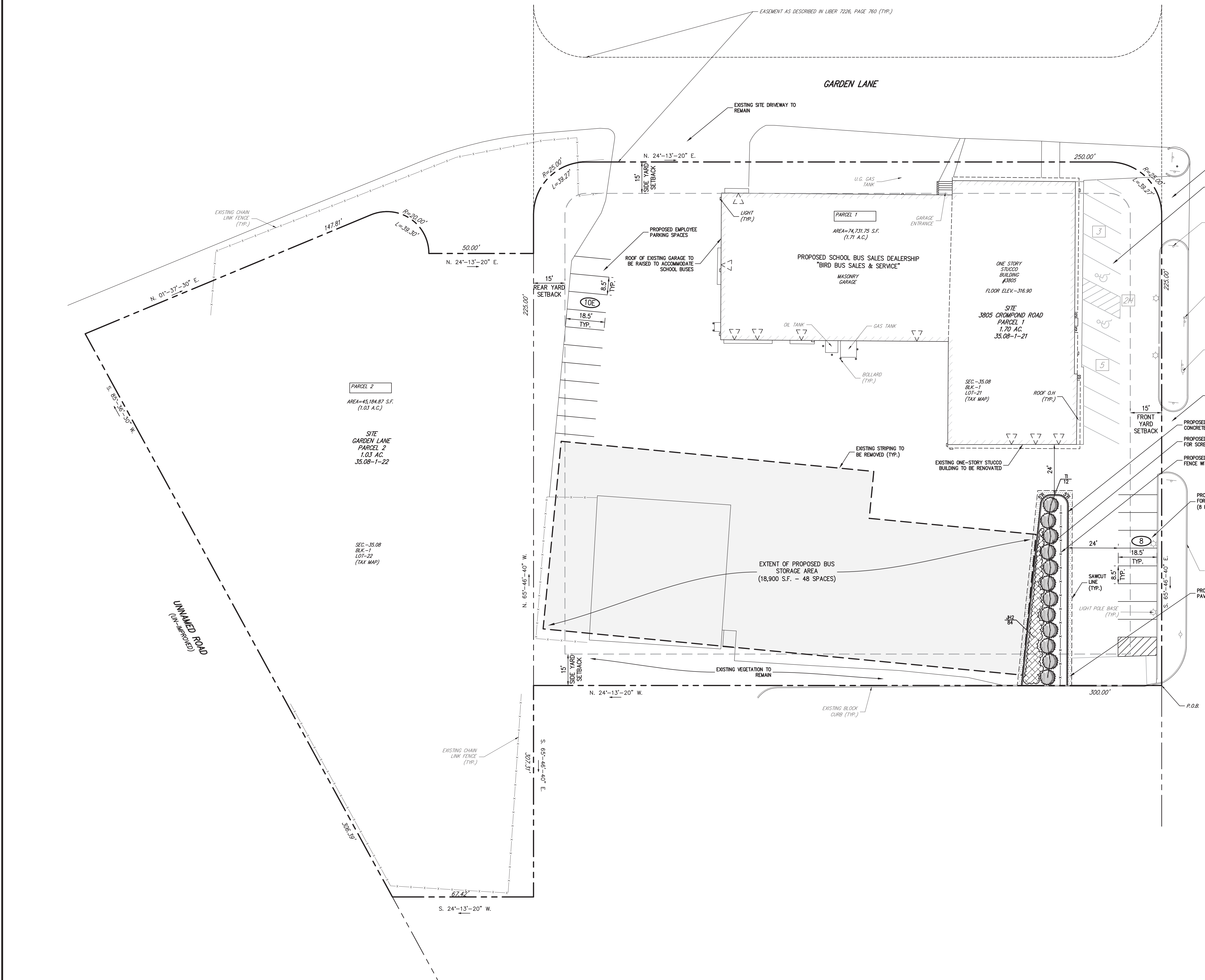
Drawn: PD Approved: JAR
Scale: 1" = 20'
Date: 09/10/2021
Project No: 21005
2002-SE C-010 EXIST.lwr
Drawing No: **C-010**



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

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PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
TI	12	Thuja x 'Green Giant' / Green Giant Arborvitae	10' - 12' HT.	B & B	
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT	ROOT COND.	REMARKS
JH2	84	Juniperus horizontalis / Creeping Juniper	1 gal		

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING EASEMENT LINE
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING FENCE
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUS STORAGE AREA
- PROPOSED CONCRETE CURB
- PROPOSED SAWCUT LINE
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED ASPHALT PAVEMENT
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB MASSING

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY," PREPARED BY HOPPE LAND SURVEYING, PC, DATED MAY 19TH, 2016.
 - ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
 - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT'S EGGS, AND SHALL HAVE HEALTHY, NORMAL, UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

By: _____
Date: _____

Revision: _____

No. _____

APPLICANT: **BIRD BUS SALES**
1 WAREHOUSE LANE
ELMSFORD, NY 10523

OWNER: **CROMPOND REALTY, LLC**
3805 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

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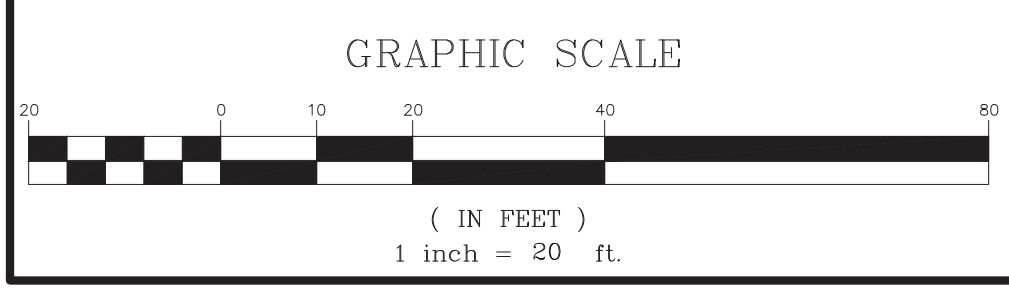


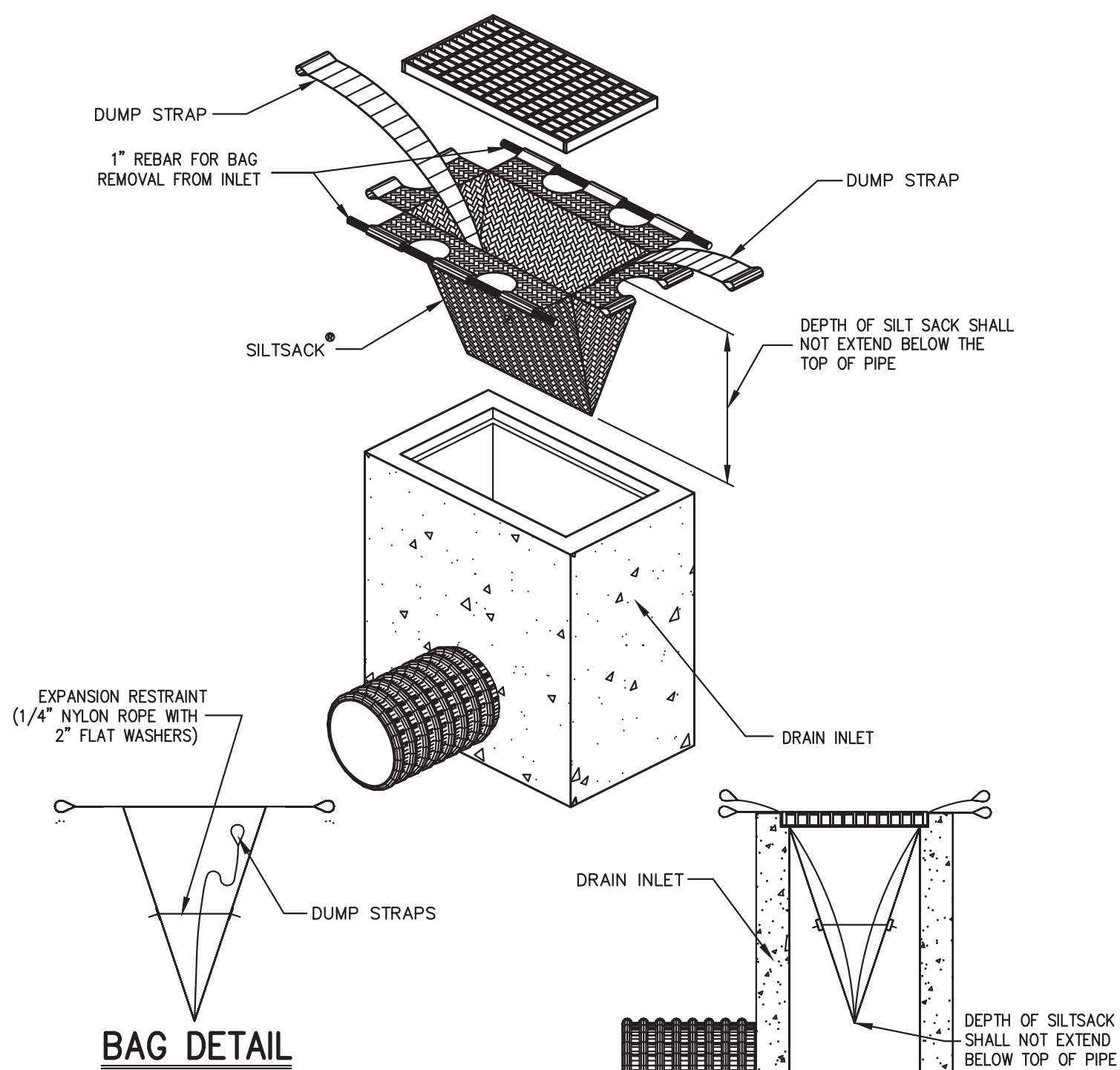
PRELIMINARY LAYOUT & LANDSCAPING PLAN

BIRD BUS SALES & SERVICE
3805 CROMPOND ROAD
TOWN OF YORKTOWN, NY



Drawn: PD Approved: JAR
Scale: 1" = 20'
Date: 09/10/2021
Project No: 21005
2002-SE C-100 LAY.out
Drawing No: **C-100**





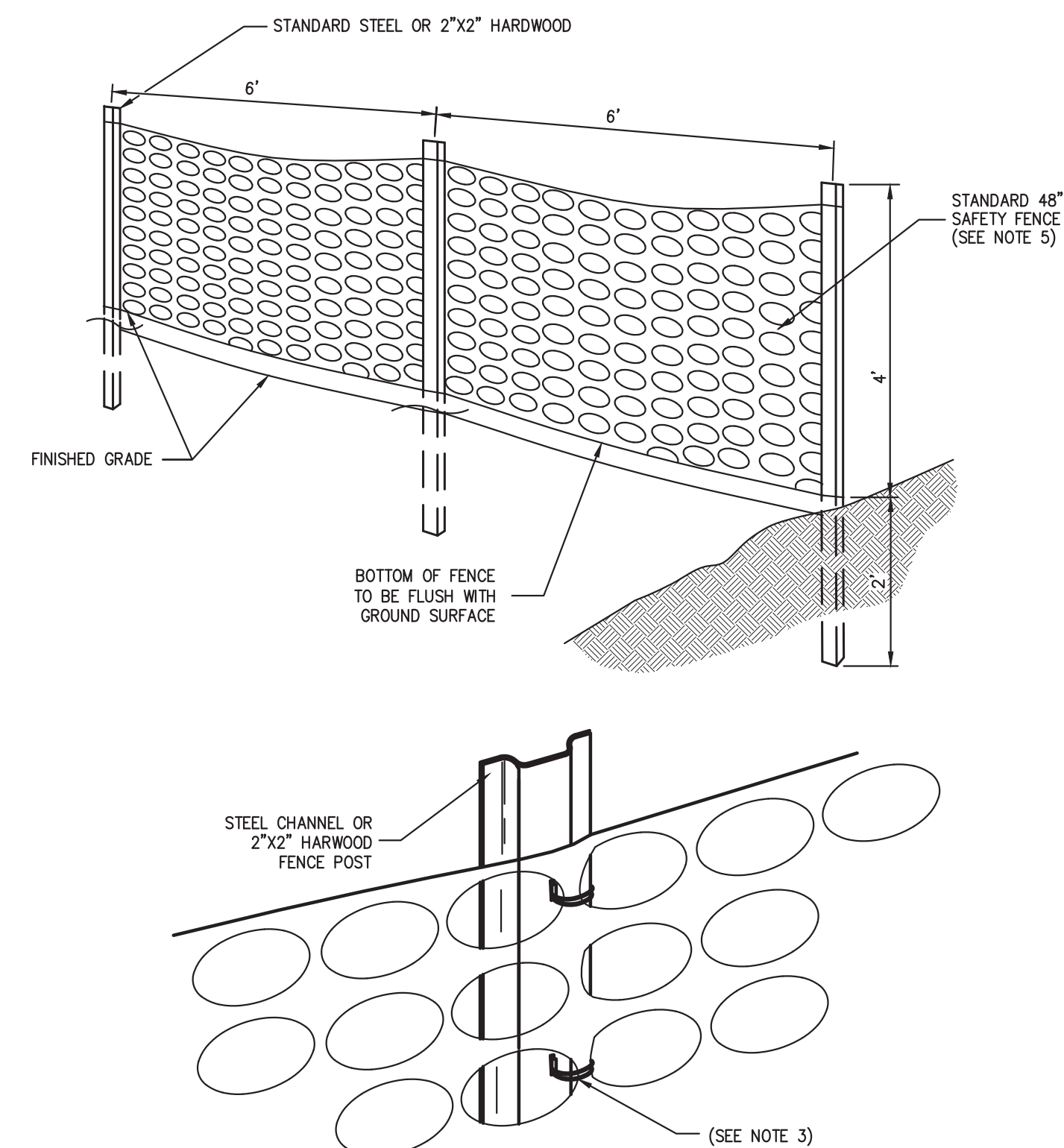
BAG DETAIL
HI-FLOW SILT SACK AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4633	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4791	20 US SEIVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

INSTALLATION DETAIL
NOTE: CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

SILT SACK

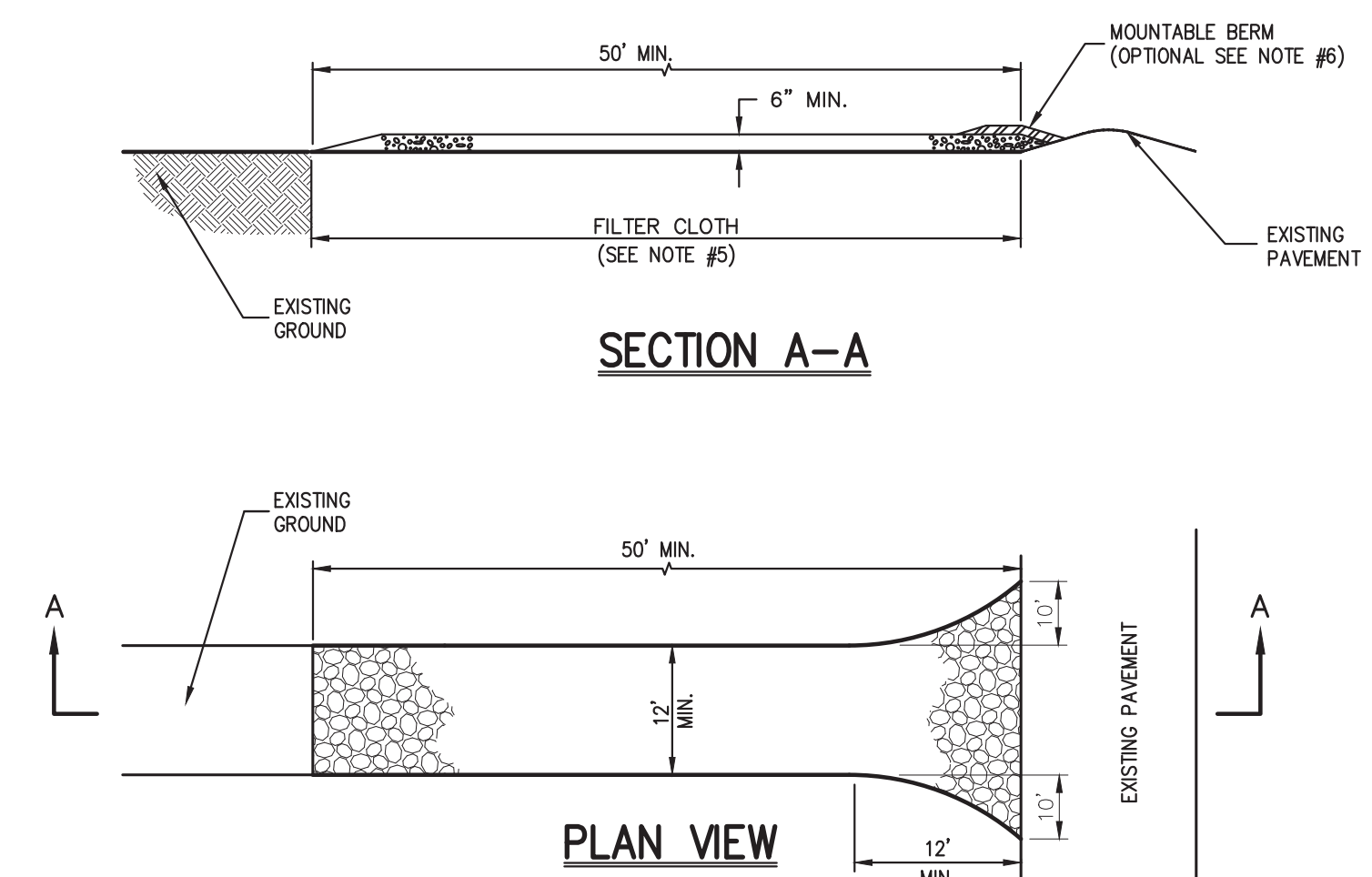
1



NOTES:
1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADRI ENTERPRISES, INC. OR APPROVED EQUAL.
6. REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

CONSTRUCTION FENCE

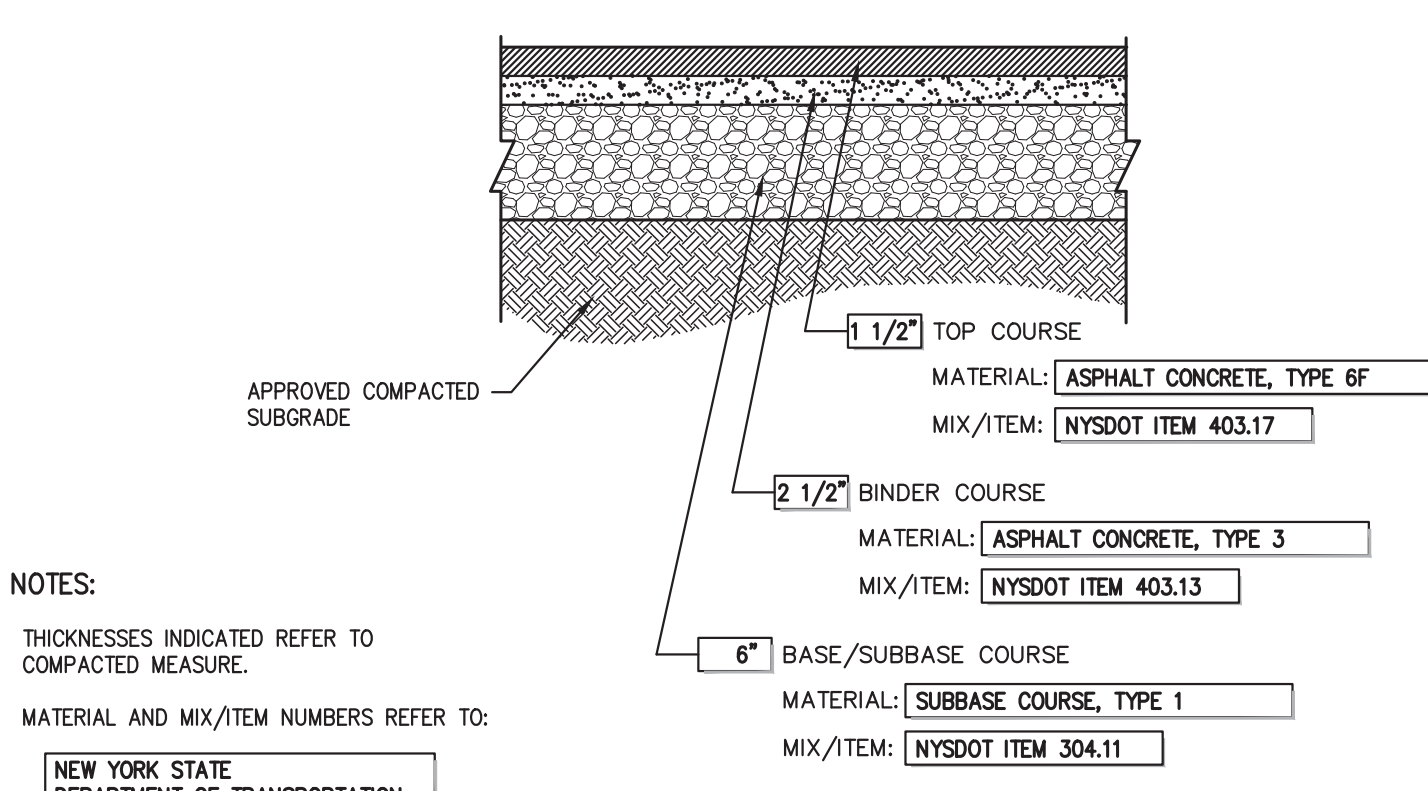
2



NOTES:
1. STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 2:1 SLOPES WILL BE PERMITTED.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

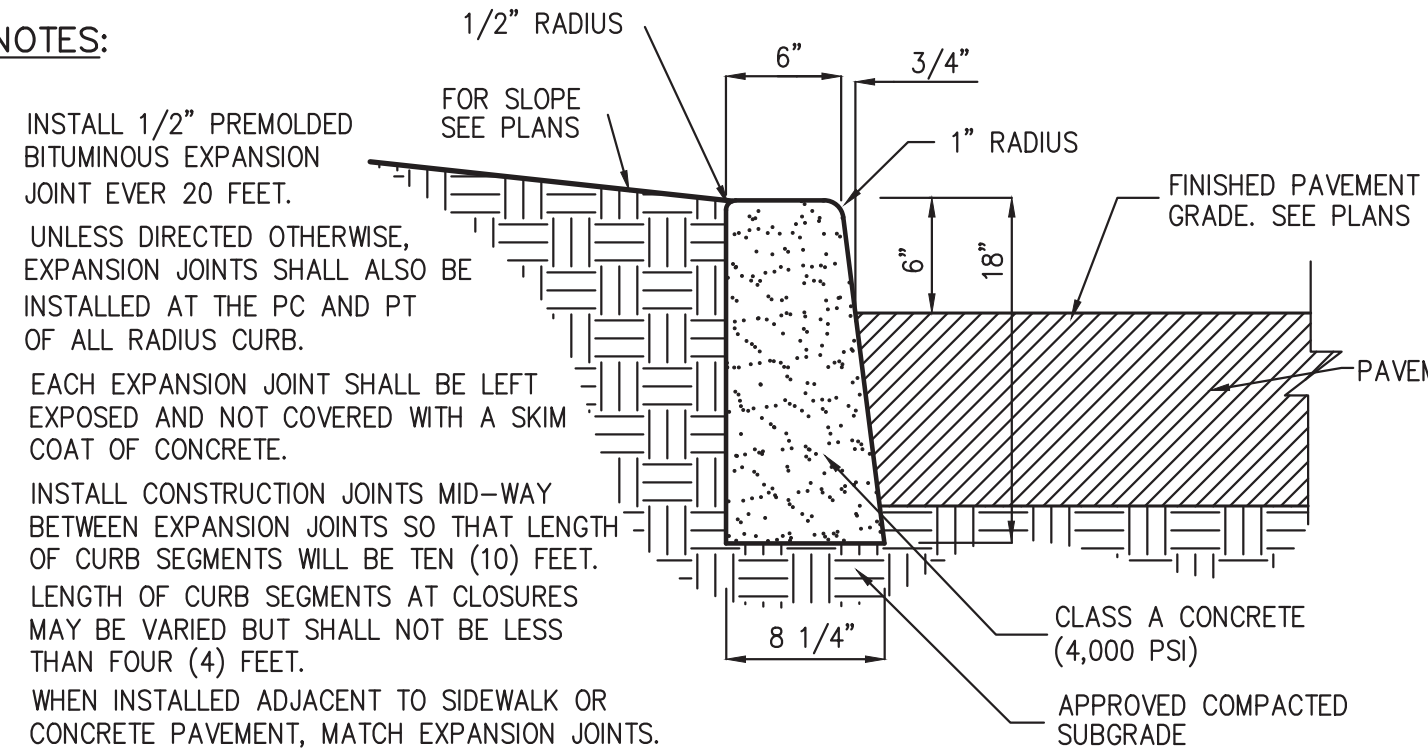
3



NOTES:
1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
2. MATERIAL AND MIX/ITEM NUMBERS REFER TO:
NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

SITE PAVEMENT
(Light Duty)

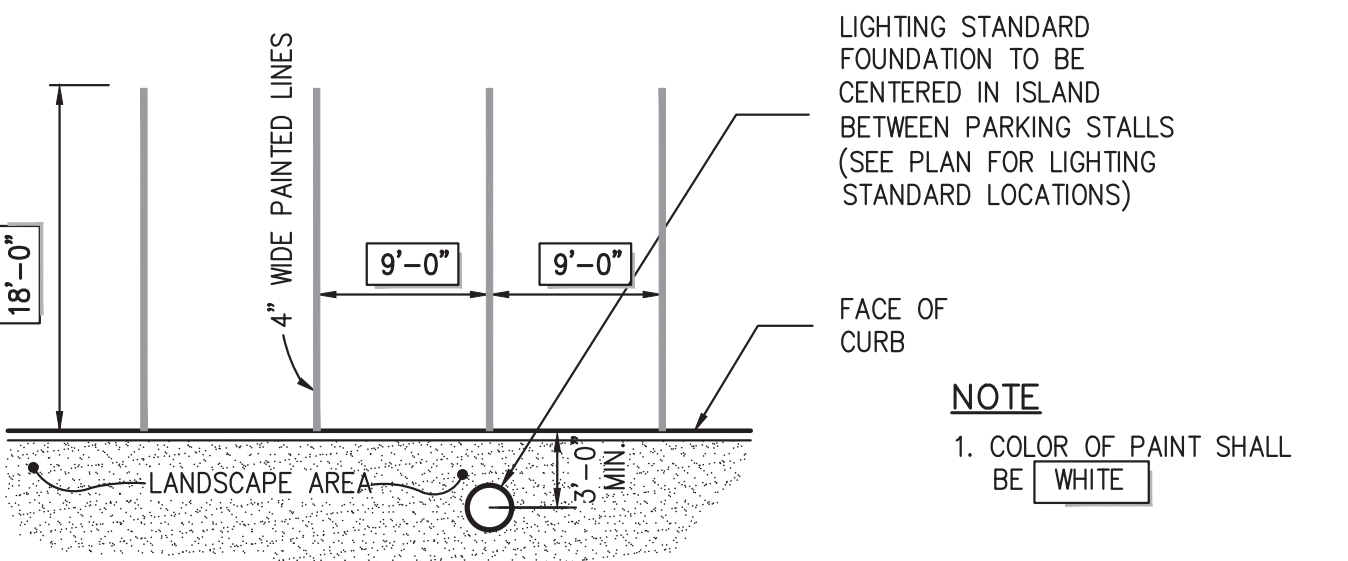
4



NOTES:
1. INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINTS EVERY 20 FEET.
2. UNLESS DIRECTED OTHERWISE, EXPANSION JOINTS SHALL ALSO BE INSTALLED AT THE PC AND PT OF ALL RADIUS CURB.
3. EACH EXPANSION JOINT SHALL BE LEFT EXPOSED AND NOT COVERED WITH A SKIM COAT OF CONCRETE.
4. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
5. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
6. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

CAST-IN-PLACE CONCRETE CURB

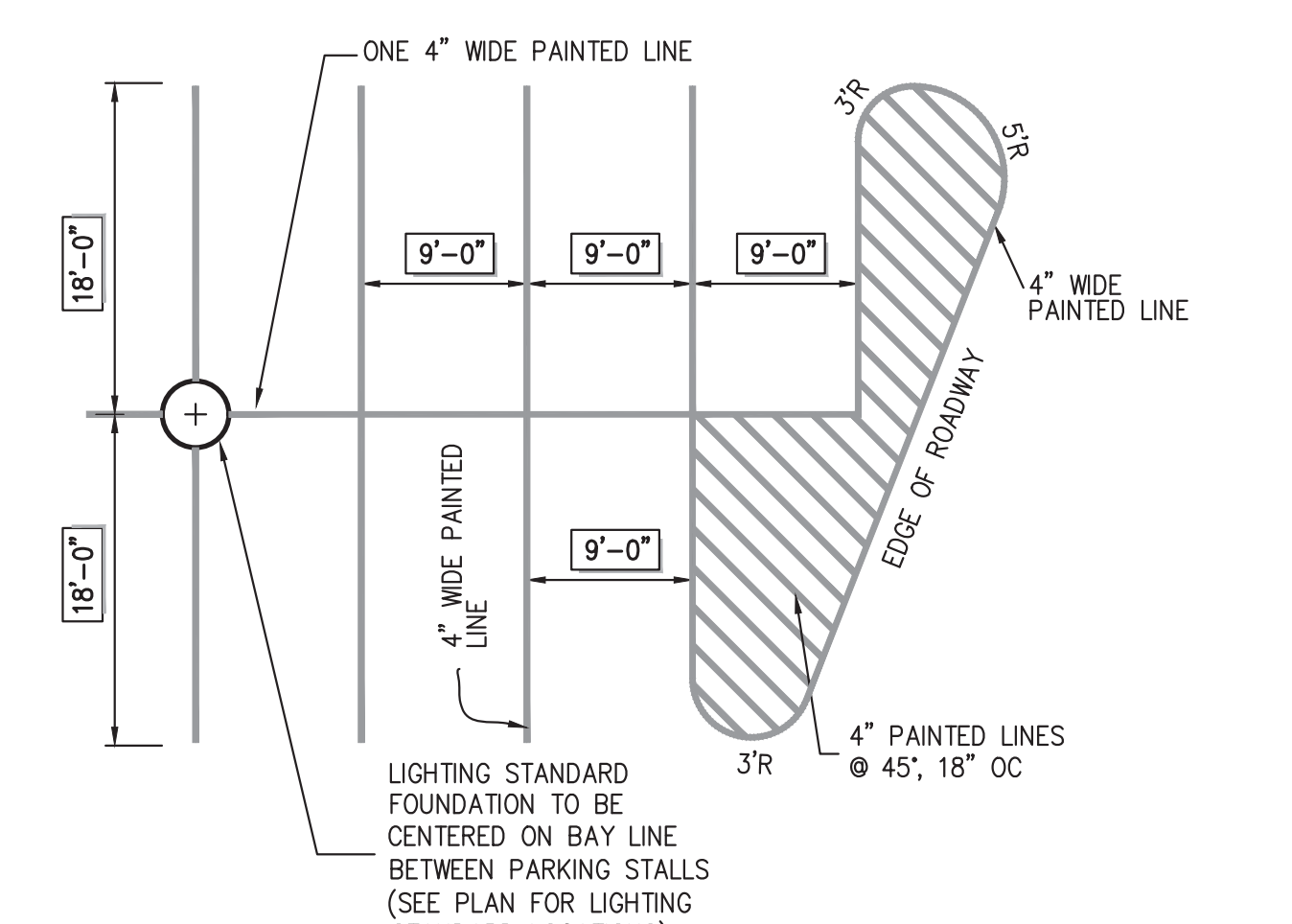
5



NOTE:
1. COLOR OF PAINT SHALL BE WHITE

90° PARKING
(SINGLE STRIPING - CURBED PERIMETER)

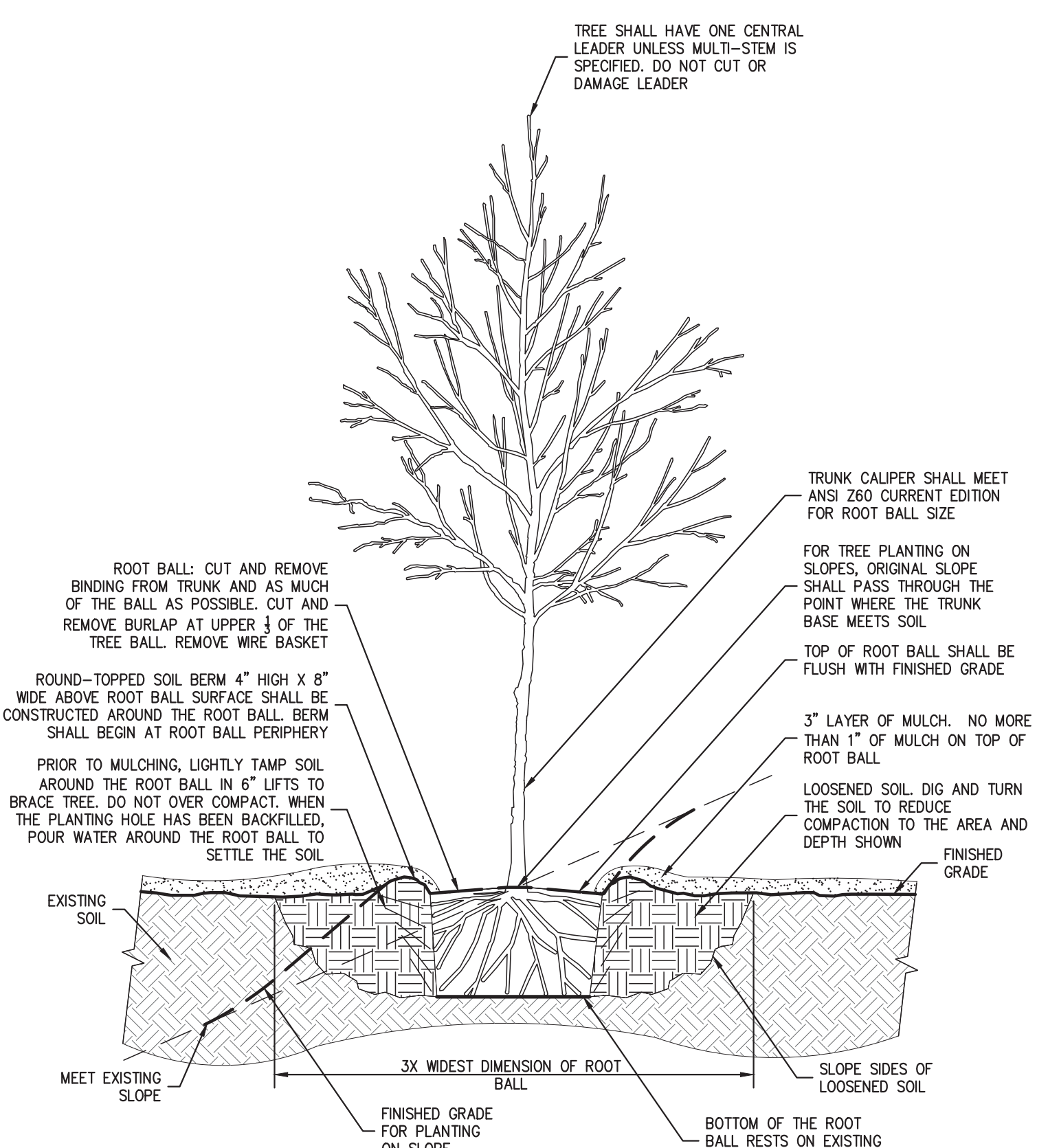
6



NOTE:
1. COLOR OF PAINT SHALL BE WHITE

90° PARKING
(SINGLE STRIPING-PAINTED END)

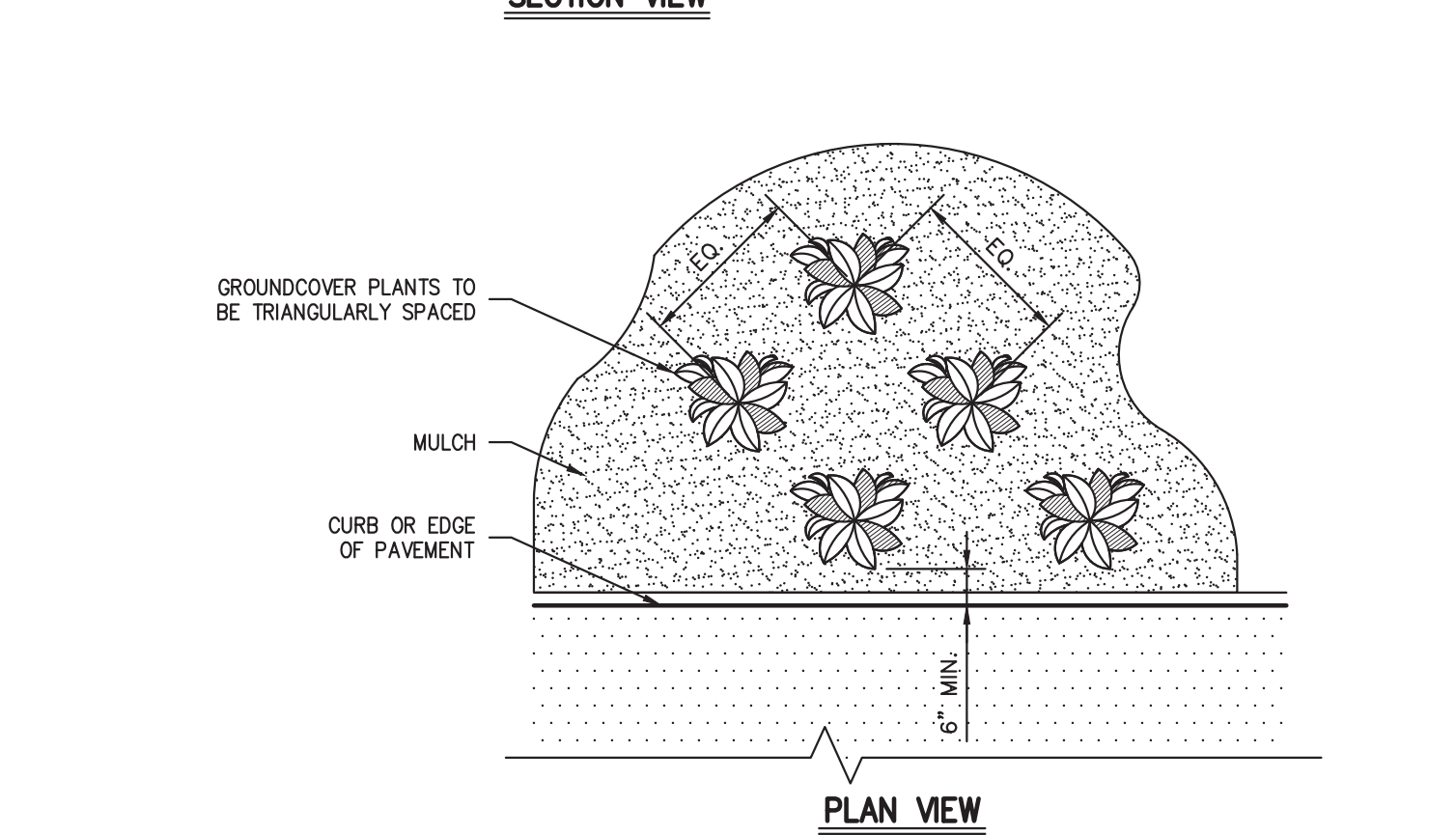
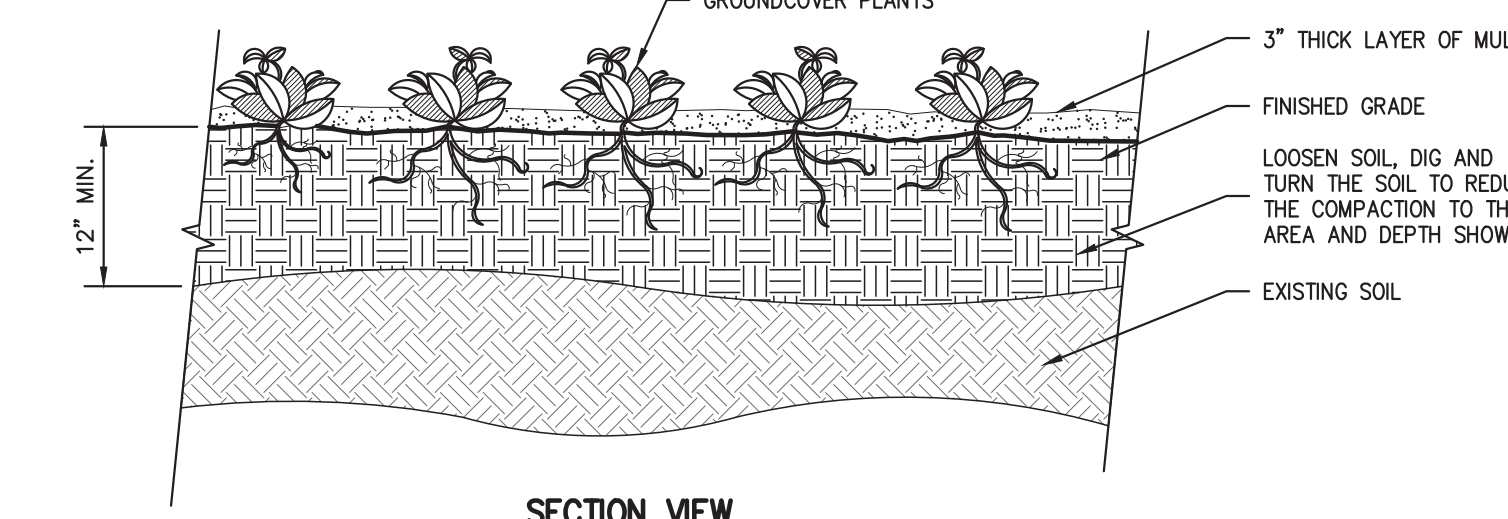
7



NOTES:
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
4. SEE TREE STAKING DETAIL IF STAKING IS REQUIRED.

TREE PLANTING
(DECIDUOUS AND EVERGREEN)

8



NOTES:
1. SEE PLANTING PLAN FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
2. SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PLANT PRIOR TO MULCHING.
3. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
4. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
5. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

GROUNDCOVER

9

NOTES:
1. ALL POSTS, RAILS, FABRIC AND ACCESSORIES SHALL BE VINYL COATED. COLOR OF VINYL COATING SHALL BE BLACK AND FITTED WITH PRIVACY SLATS.
2. POST AND RAILS SHALL BE STANDARD FULL HEIGHT VINYL COATED GALVANIZED SCHEDULE 40 PIPE MANUFACTURED AND GALVANIZED IN ACCORDANCE WITH ASTM A-120. ALL MATERIALS SHALL BE NEW AND FIRST CLASS AND SHALL NOT INCLUDE RECONDITIONED OR REHOLDED PIPE.
3. FITTINGS SHALL BE VINYL COATED MALLEABLE IRON FITTINGS CONFORMING TO THE REQUIREMENTS OF ASTM A-47 GALVANIZED IN ACCORDANCE WITH ASTM A-153.
4. FABRIC SHALL BE 3 GAUGE GALVANIZED STEEL MESH WHICH SHALL BE VINYL CLAD IN CONFORMANCE WITH THE REQUIREMENTS OF AASHTO M-181, TYPE B. VINYL COATING SHALL BE FIRMLY AND CONTINUOUSLY EXTRUSION BONDED TO THE GALVANIZED STEEL WIRE. TOP SELVAGE SHALL HAVE KNOCKED FINISH.
5. TENSION WIRE SHALL BE VINYL COATED 7 GAUGE MEETING THE REQUIREMENTS OF ASTM A-641 AS MODIFIED HEREIN. THE TORSION STRENGTH SHALL BE AT LEAST 60,000 PSI WITH A GALVANIZED COATING OF NOT LESS THAN 0.7 OZ. PER SQUARE FOOT.
6. FABRIC TIES SHALL BE MINIMUM 9 GAUGE VINYL COATED GALVANIZED STEEL OR ALUMINUM. MINIMUM SPACING SHALL BE AS FOLLOWS:
A. 14" O.C. AT LINE POSTS
B. 24" O.C. AT TOP RAIL
C. 12" O.C. AT TENSION WIRE
7. WHERE CHAIN LINK FENCE IS TO BE INSTALLED ON WALLS, THE FENCE POSTS SHALL BE IMBEDDED A MINIMUM OF TWELVE (12) INCHES IN THE WALL. NEWLY CONSTRUCTED WALLS SHALL BE PROVIDED WITH PROPER SIZE SLEEVES TO ACCOMMODATE FENCE POSTS. FENCE POSTS SHALL BE SECURELY GROUDED IN PLACE USING AN APPROVED HIGH STRENGTH, NON-SHRINKING, NON-STANNING GROUT.
8. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT SHOP AND ERECTION DRAWINGS INDICATING MATERIALS, SIZES AND DIMENSIONS OF FENCING TO THE OWNER'S FIELD REPRESENTATIVE PRIOR TO ORDERING MATERIALS FOR HIS REVIEW AND APPROVAL.
9. PRIOR TO INSTALLATION OF THE FENCE, THE CONTRACTOR SHALL CHECK THE FENCE LAYOUT WITH THE OWNER'S FIELD REPRESENTATIVE WHO MUST APPROVE THE LAYOUT BEFORE ANY OF THE WORK IS TO BE DONE.

CHAIN LINK FENCE
(VINYL COATED WITH PRIVACY SLATS)

10

NOT FOR CONSTRUCTION

Client: PD	Approved: JAR
Scale: NOT TO SCALE	Date: 09/10/2021
Project No: 21005	Drawn By: C-900
Drawn No: C-900	Revision: []
<p>APPLICANT: BIRD BUS SALES 1 WAREHOUSE LANE ELMSFORD, NY 10523</p> <p>OWNER: CROMPOND REALTY, LLC 3805 CROMPOND ROAD YORKTOWN HEIGHTS, NY 10598</p> <p>APPLICATOR: JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC JMC Site Development Consultants, LLC John Meyer Consulting, Inc. 120 BEDFORD ROAD • ARTHUR, NY 10504 voice 914.273.6225 • fax 914.273.2102 www.jmcpllc.com</p> <p>CONSTRUCTION DETAILS</p> <p>BIRD BUS SALES & SERVICE 3805 CROMPOND ROAD TOWN OF YORKTOWN, NY</p> <p>ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.</p> <p>STATE OF NEW YORK JAMES J. COOPER, GOVERNOR ANDREW M. MANTON, COMPTROLLER</p>	

650 Pines Bridge Rd

Pines Bridge Road, LLC

Alex Cochran - 716 Kitchawan Rd, Ossining, NY 10562 914-602-4005

Mr. John Tegeder, RA
Director of Planning
Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, New York 10598

September 24, 2021

Re: 650 Pines Bridge Road
Subdivision Application
TM 70.10 – 1 - 29

BY HAND

Dear John:

As requested, enclosed please find six (6) sets of plans consisting of the following sheets:

1. "650 Pines Bridge Road Yorktown, NY prepared for Pines Bridge Road LLC, Existing Conditions", dated October 13, 2020 (Sheet 1 of 6)
2. "650 Pines Bridge Road Yorktown, NY prepared for Pines Bridge Road LLC, Proposed Site Plan", dated October 10, 2019, last revised September 22, 2021 (Sheet 2 of 6).
3. "650 Pines Bridge Road Yorktown, NY prepared for Pines Bridge Road LLC, Tree Removal Plan and Tree Schedule", dated October 13, 2020, last revised September 22, 2021 (Sheet 3 of 6).
4. "650 Pines Bridge Road Yorktown, NY prepared for Pines Bridge Road LLC, Landscape Plan", dated February 16, 2021, last revised September 23, 2021 (Sheet 4 of 6).
5. "650 Pines Bridge Road Yorktown, NY prepared for Pines Bridge Road LLC, Ortho Photo", dated October 13, 2020, last revised September 23, 2021 (Sheet 5 of 6).
6. 650 Pines Bridge Road Yorktown, NY prepared for Pines Bridge Road LLC, Erosion Control and Stormwater Management, dated February 16, 2021, last revised September 23 (Sheet 6 of 6)

Earlier this year, we received a letter from the New York City Department of Environmental Protection (NYCDEP) with several comments regarding our subdivision plan. We updated the plan to address these comments.

The total disturbance area remains under 2 acres at 1.65 acres, which includes the rain garden and proposed wells. The impervious areas of the driveways have also been updated to provide permeable paving for the portion of the driveways that cannot be captured and treated in the proposed stormwater practices.

The septic fields and infiltrators have been relocated to achieve a setback of 100 feet between them. Unfortunately in doing so, an additional 8 trees have been marked for removal. There are now 96 trees marked for removal, including the 6 that were marked at the request of our neighbor across the street due to safety concerns. Of these 96 trees, 5 are in very poor condition and one is an invasive species, so the total number of significant trees that would be removed is 90.

The Conservation Board and the Tree Conservation Advisory Commission were previously satisfied with the tree inventory and the mitigation plan, to which we have added 2 trees, but will otherwise remain the same. We have taken note of the TCAC and Conservation Board's requests that only dead or damaged trees should be removed at this time and that any soil disturbance from the removal of invasive species should be stabilized. We will make sure this is done.

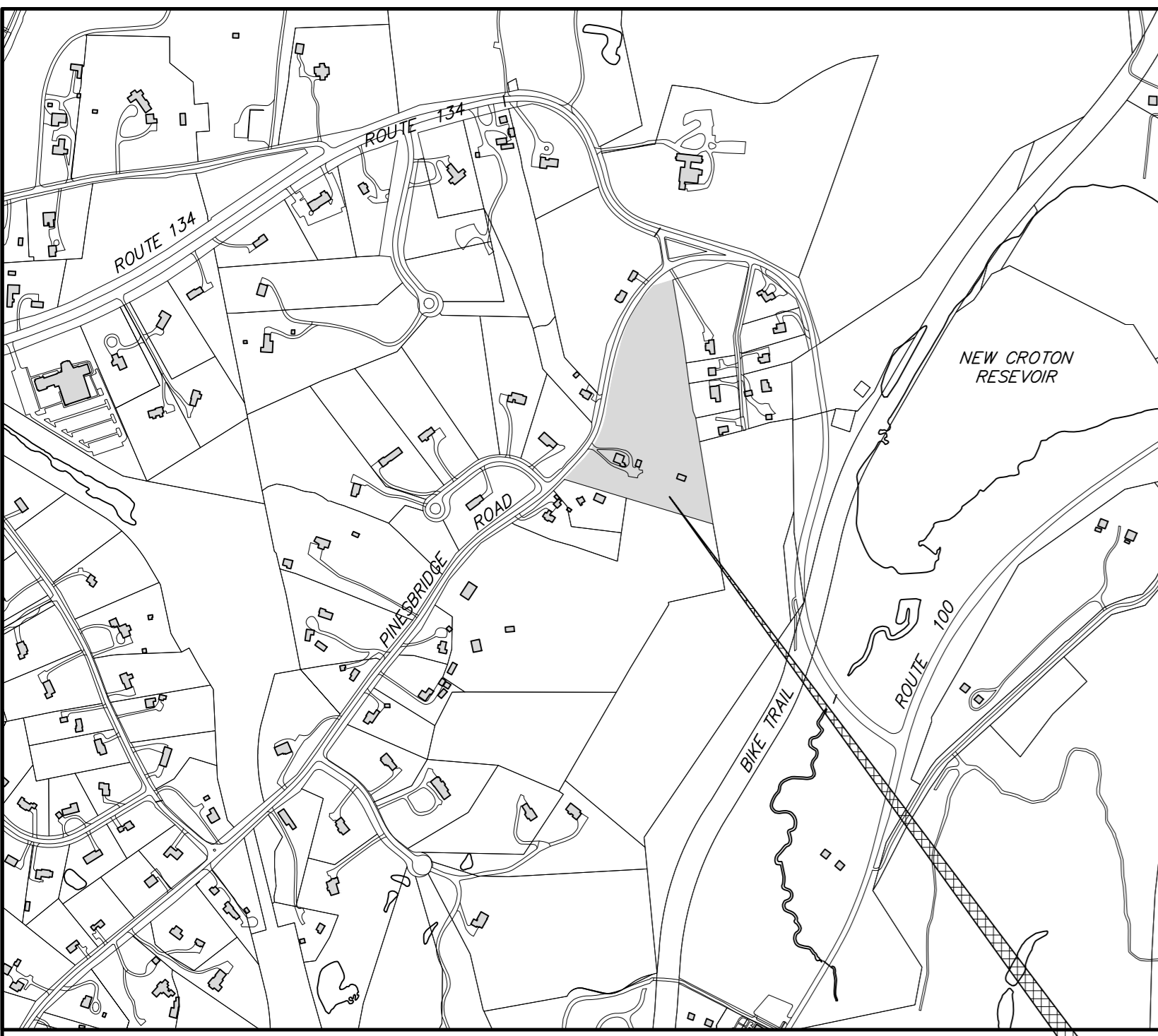
Other than the removal of invasive species specified in the mitigation plan we will not be clearing the building sites or removing these trees. We do not plan on building these houses but are subdividing the land into these two additional lots to be potentially sold in the future. It will be up to the future owners of the lots to get the necessary permits and remove the trees from the building area, if they wish to build a home.

If you have any questions or require additional information, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read "Alex Cochran".

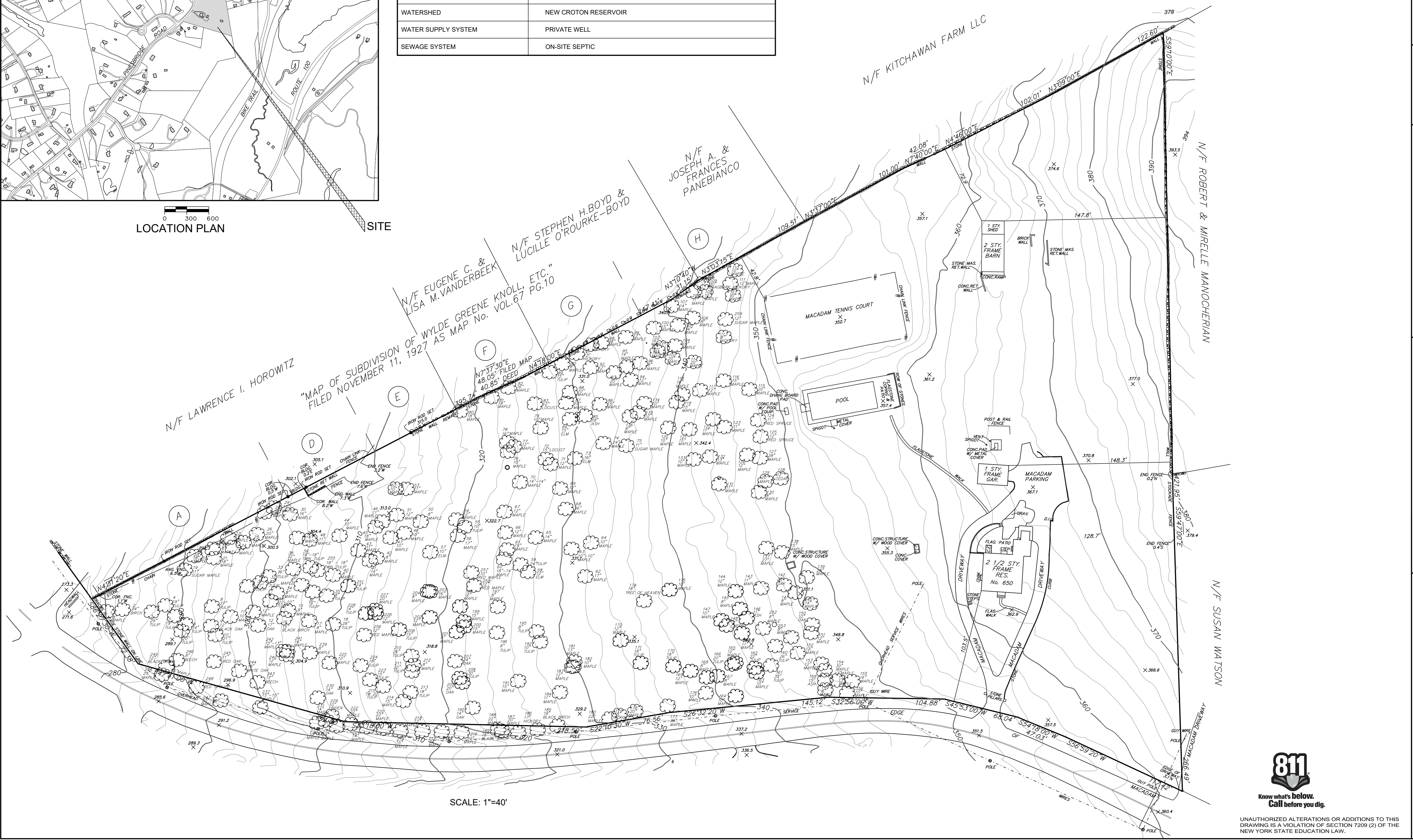
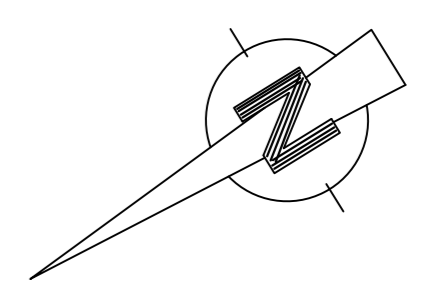
Alex Cochran



0 300 600
LOCATION PLAN

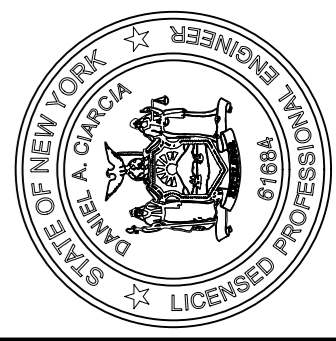
PROPERTY DATA	
PROPERTY OWNER	PINES BRIDGE ROAD, LLC
APPLICANT	PINES BRIDGE ROAD, LLC
LOCATION	650 PINES BRIDGE ROAD YORKTOWN HEIGHTS, NY 10598
TAX MAP DATA	SECTION 70.10 BLOCK 1 LOT 29
OWNERS ADDRESS	716 KITCHAWAN ROAD OSSINING NY 10562
SITE AREA	8.06 AC.
WATERSHED	NEW CROTON RESERVOIR
WATER SUPPLY SYSTEM	PRIVATE WELL
SEWAGE SYSTEM	ON-SITE SEPTIC

- NOTES
1. SURVEY INFORMATION UTILIZED PREPARED BY STANLEY JOHNSON AND COMPANY LAND SURVEYORS, P.C. DATED AUGUST 13, 2020
 2. ELEVATIONS SHOWN HEREON ARE IN ACCORDANCE WITH THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 3. ADDITIONAL UNDERGROUND EASEMENTS, UTILITIES OR STRUCTURES, ETC. OTHER THAN THOSE SHOWN HEREON MAY BE ENCOUNTERED.
 4. THE SUBSURFACE INFORMATION SHOWN HEREON, IF ANY, IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS AND SHOULD BE VERIFIED BY THE CONTRACTOR BEFORE ANY EXCAVATION.
 5. AERIAL PHOTOGRAPHY BY: GEOMAPS INTERNATIONAL



SHEET NUMBER
16

ORIGINAL DATE: 10/13/2020



CIARCIA ENGINEERING, P.C.
360 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NY 10598
(914) 245-0123

EXISTING CONDITIONS

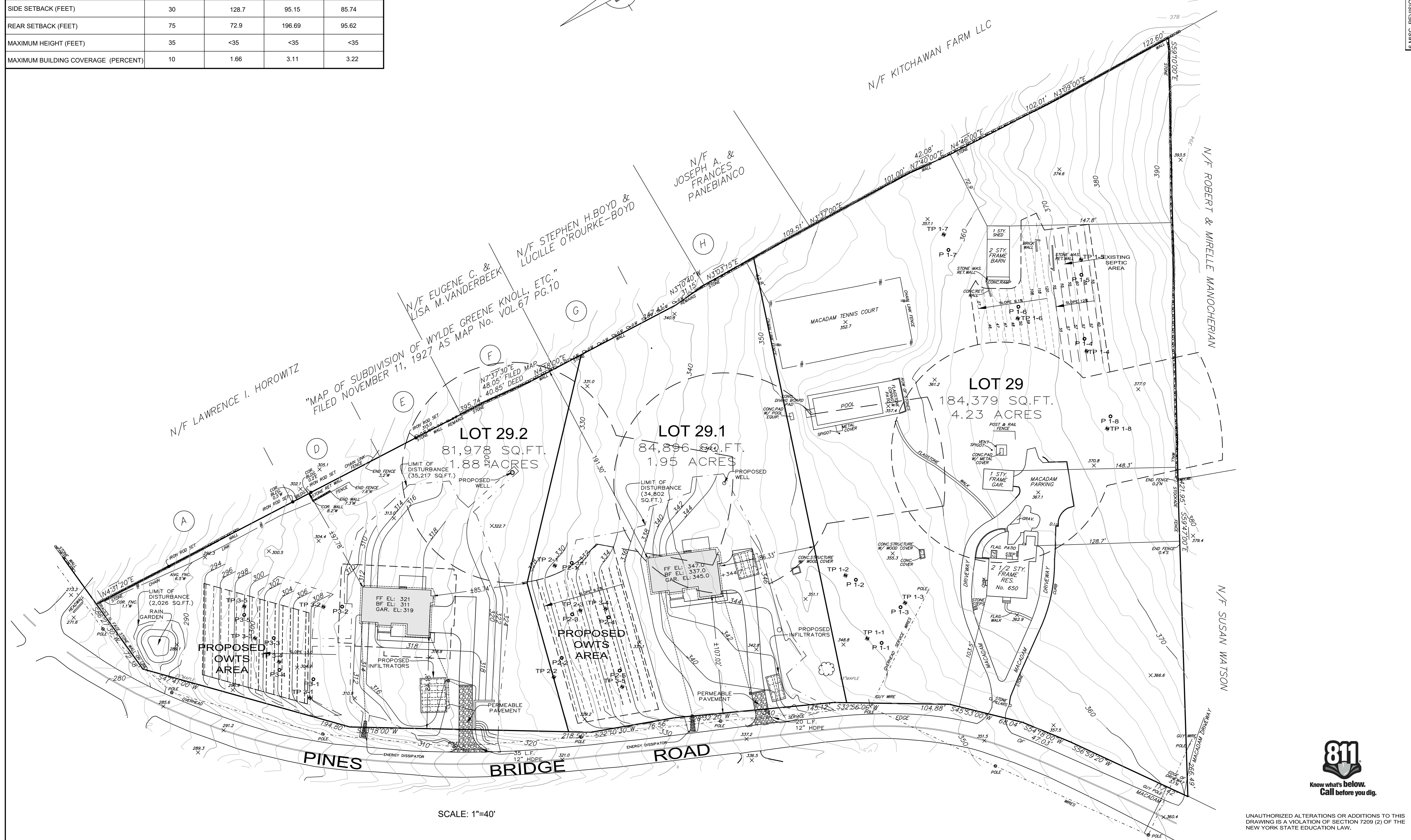
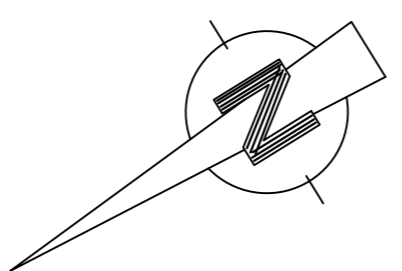
**650 PINES BRIDGE ROAD
YORKTOWN, NY**
Prepared For
PINES BRIDGE ROAD LLC.



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

ZONING ANALYSIS

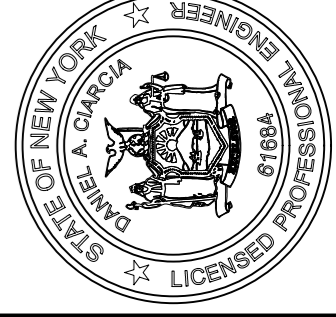
ZONE	REQUIRED	LOT 1	LOT 2	LOT 3
R1-80				
AREA (SQUARE FEET)	80,000	184,379 / 4.23 AC.	84,896 / 1.95 AC.	82,000 / 1.88 AC.
MINIMUM LOT WIDTH (FEET)	200	325.6	253.7	465.5
MINIMUM LOT DEPTH (FEET)	200	514	361	245
FRONT YARD SETBACK (FEET)	75	103.5	106.97	84.18
SIDE SETBACK (FEET)	30	128.7	95.15	85.74
REAR SETBACK (FEET)	75	72.9	196.69	95.62
MAXIMUM HEIGHT (FEET)	35	<35	<35	<35
MAXIMUM BUILDING COVERAGE (PERCENT)	10	1.66	3.11	3.22



SCALE: 1"=40'

SHEET NUMBER
26

- 6 MISC. REVISIONS 9-22-21
- 5 MISC. REVISIONS 7-15-21
- 4 RELOCATED SEPTIC 6-30-21
- 3 SWPPP REVISIONS 12-29-20
- 2 TOWN COMMENTS 10-12-20
- 1 TOWN COMMENTS 12-05-19
- ORIGINAL DATE: 10/10/2019



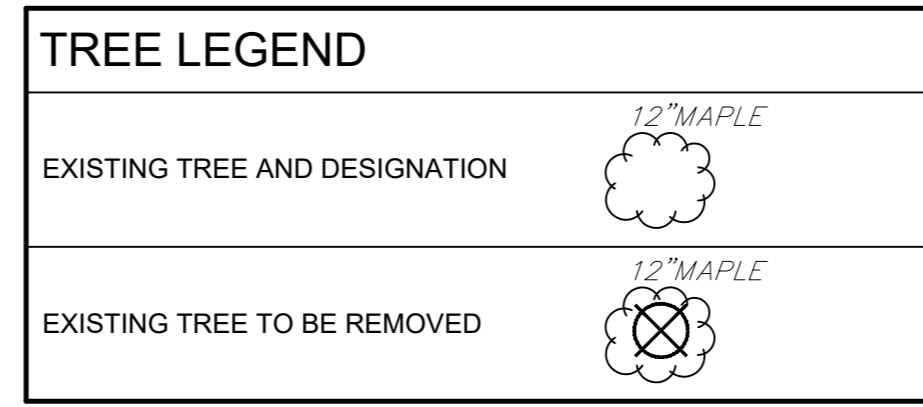
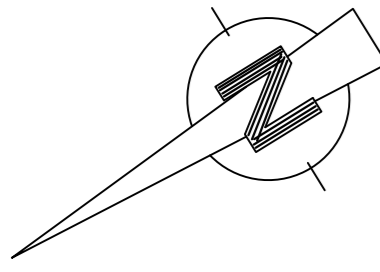
GIARCIA ENGINEERING, P.C.
 360 UNDERHILL AVENUE
 YORKTOWN HEIGHTS, NY 10598
 (914) 245-0123

PROPOSED SITE PLAN

**650 PINES BRIDGE ROAD
 YORKTOWN, NY**
 Prepared For
PINES BRIDGE ROAD LLC.

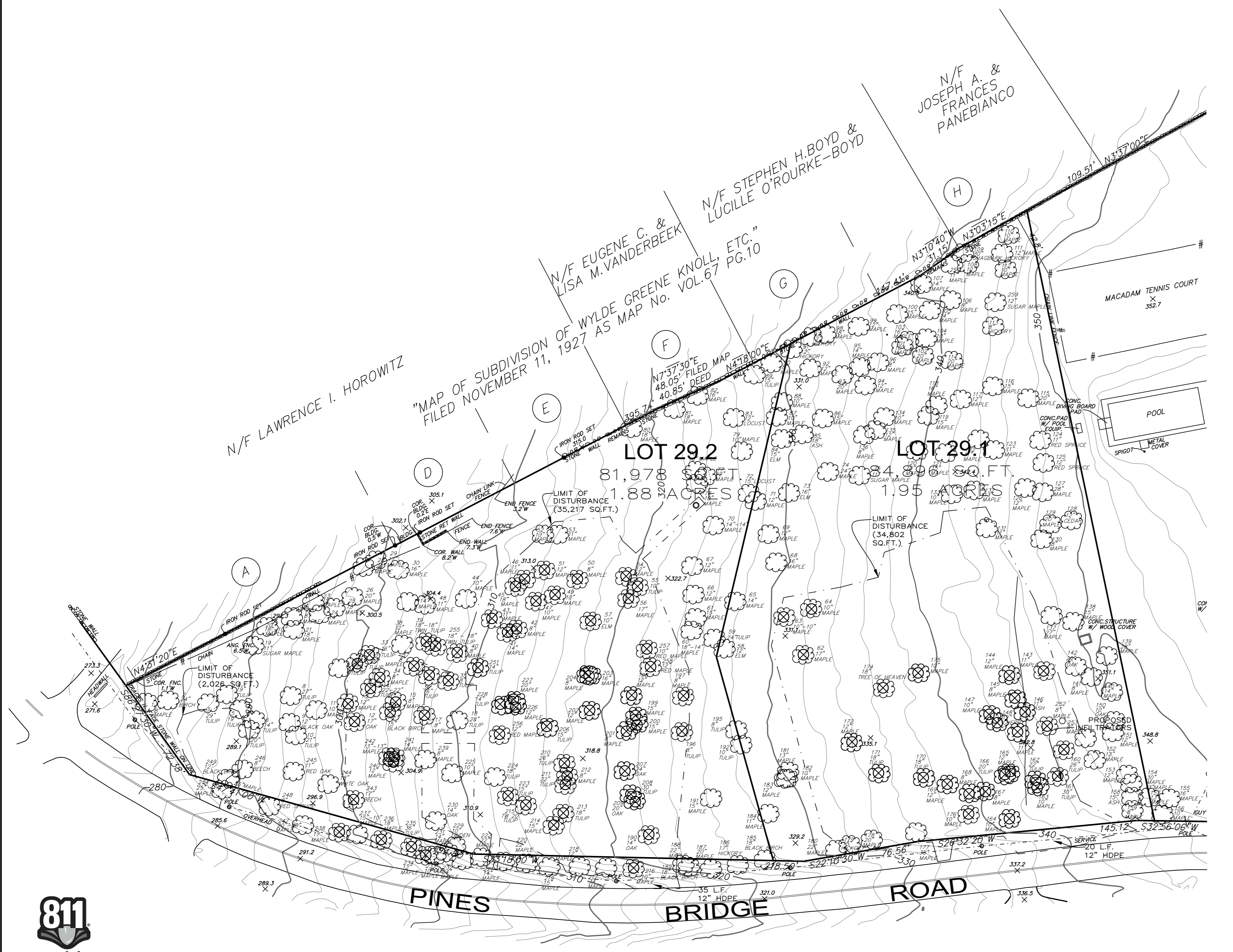


UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



TREE SCHEDULE

Tree #	DBH	Tree Type	Remove Status	Health Condition
1	8"	RED MAPLE		
2	24"	BLACK BIRCH		
3	29"	TULIP		
4	19"	TULIP		
5	19"	TULIP		
6	14"	TULIP		
7	20"	TULIP		
8	27"	TULIP		
9	12"	BLACK OAK		
10	21"	TULIP		
11	10"	SUGAR MAPLE		
12	17"	BLACK OAK	1	
13	12"	SUGAR MAPLE	1	
14	22-22"	TULIP	1	
15	8"	SUGAR MAPLE	1	
16	15"	BLACK BIRCH	1	
17	8"	SUGAR MAPLE	1	
18	28"	TULIP		
19	11"	SUGAR MAPLE		NO TAG
20	18-10"	SUGAR MAPLE		
21	18"	SUGAR MAPLE		
22	8"	SUGAR MAPLE		POOR - HEAVY LEAN
23	15"	SUGAR MAPLE		
24	14"	SUGAR MAPLE		
25	13"	SUGAR MAPLE		
26	20"	SUGAR MAPLE		
27	14"	SUGAR MAPLE		
28	20"	SUGAR MAPLE		
29	17"	SUGAR MAPLE		
30	16"	SUGAR MAPLE		
31	27"	TULIP		
32	25"	TULIP	1	
33	16"	TULIP	1	
34	8"	SUGAR MAPLE	1	
35	8"	TULIP	1	
36	16"	TULIP	1	
37	8"	SUGAR MAPLE	1	
38	12"	RED MAPLE	1	
39	18-18"	TWIN TULIP	1	
40	8"	RED MAPLE	1	
41	14"	SUGAR MAPLE	1	
42	8"	RED MAPLE	1	
43	11"	RED MAPLE	1	
44	10"	SUGAR MAPLE	1	
45	18"	RED MAPLE	1	
46	11"	RED MAPLE	1	
47	10"	RED MAPLE	1	
48	11"	RED MAPLE	1	
49	10"	SUGAR MAPLE	1	
50	8"	RED MAPLE	1	
51	12"	SUGAR MAPLE	1	
52	10"	RED MAPLE	1	
53	11"	RED MAPLE	1	
54	12"	RED MAPLE	1	POOR - HEAVY LEAN
55	10"	TULIP	1	
56	17"	RED MAPLE	1	
57	10"	ELM	1	
58	12"	ELM		
59	24"	TULIP		
60	18-14"	SUGAR MAPLE		
61	15"	SUGAR MAPLE		
62	17"	RED MAPLE	1	
63	10-10"	SUGAR MAPLE	1	
64	10"	SUGAR MAPLE	1	
65	14"	SUGAR MAPLE		
66	12"	SUGAR MAPLE		
67	12"	SUGAR MAPLE		
68	16"	SUGAR MAPLE		
69	12"	SUGAR MAPLE		
70	14-14"	SUGAR MAPLE		
71	12"	SUGAR MAPLE		
72	15"	LOCUST		
73	16"	ELM		
74	24"	RED MAPLE		
75	11"	SUGAR MAPLE		
76	10"	SUGAR MAPLE		
77	12"	SUGAR MAPLE		
78	16"	SUGAR MAPLE		
79	10"	SUGAR MAPLE		
80	18"	SUGAR MAPLE		
81	18"	SUGAR MAPLE		
82	16"	SUGAR MAPLE		
83	12"	LOCUST		
84	15"	ELM		
85	18"	ASH		
86	15"	RED MAPLE		
87	10"	SUGAR MAPLE		
88	10"	SUGAR MAPLE		
89	15"	RED MAPLE		
90	8"	SUGAR MAPLE		
91	12"	SHAGBARK HICKORY		
92	12"	SUGAR MAPLE		
93	20"	RED MAPLE		
94	12"	SUGAR MAPLE		
95	14"	SUGAR MAPLE		
96	8"	SUGAR MAPLE		
97	12"	SHAGBARK HICKORY		
98	18"	SUGAR MAPLE		
99	12"	SUGAR MAPLE		
100	15"	SUGAR MAPLE		
101	10"	SUGAR MAPLE		
102	20"	RED MAPLE		
103	16"	SUGAR MAPLE		
104	10"	SUGAR MAPLE		
105	14"	SUGAR MAPLE		
106	8"	SUGAR MAPLE		
107	14"	SUGAR MAPLE		
108	10"	SUGAR MAPLE		
109	30"	SHAGBARK HICKORY		
110	10"	RED MAPLE		
111	12"	SUGAR MAPLE		
112	10"	SUGAR MAPLE		
113	8"	SHAGBARK HICKORY		
114	20"	RED MAPLE		
115	20"	SUGAR MAPLE		
116	15"	SUGAR MAPLE		
117	12"	SUGAR MAPLE		
118	16"	RED MAPLE		
119	15"	SUGAR MAPLE		
120	10"	RED MAPLE		
121	15"	TULIP		
122	11"	SUGAR MAPLE		
123	11"	SUGAR MAPLE		
124	11"	RED SPRUCE		
125	12"	RED SPRUCE		
126	12"	SUGAR MAPLE		
127	28"	SUGAR MAPLE		
128	12"	CEDAR		
129	20"	SUGAR MAPLE		
130	8"	SUGAR MAPLE		
131	11"	SUGAR MAPLE		
132	13"	SUGAR MAPLE		
133	10"	SUGAR MAPLE		
134	10"	SUGAR MAPLE		
135	12"	RED MAPLE		
136	8"	SUGAR MAPLE		
137	27"	NORWAY MAPLE		INVASIVE - REMOVE
138	15"	SUGAR MAPLE		
139	28"	SUGAR MAPLE		
140	14"	SUGAR MAPLE		
141	8"	SUGAR MAPLE		
142	25"	BLACK OAK		
143	11"	SUGAR MAPLE	1	
144	12"	SUGAR MAPLE	1	
145	8"	SUGAR MAPLE	1	
146	11"	ASH	1	
147	10"	SUGAR MAPLE	1	
148	12"	BLACK CHERRY	1	POOR - HEAVY LEAN
149	11"	SUGAR MAPLE		
150	10"	RED OAK		
151	12"	SUGAR MAPLE		
152	12"	SUGAR MAPLE		
153	12"	MAPLE		
154	30"	SUGAR MAPLE		
155	16"	SUGAR MAPLE		
156	10"	SUGAR MAPLE		
157	13"	SUGAR MAPLE		
158	15"	ASH	1	DEAD
159	8"	SUGAR MAPLE	1	
160	26"	TULIP	1	
161	30"	TULIP	1	ROT AROUND ROOTS
162	22"	TULIP	1	
163	10"	SUGAR MAPLE	1	
164	10"	SUGAR MAPLE	1	
165	12"	SUGAR MAPLE	1	
166	20"	TULIP	1	
167	8"	SUGAR MAPLE	1	
168	8"	SUGAR MAPLE	1	
169	12"	SUGAR MAPLE	1	
170	18"	TULIP	1	
171	18"	TULIP	1	
172	12"	SUGAR MAPLE	1	
174	18"	TREE OF HEAVEN	1	
175	10"	SUGAR MAPLE	1	POOR - HEAVY VINES
176	10"	SUGAR MAPLE	1	
177	38"	SUGAR MAPLE	1	
178	20"	SUGAR MAPLE	1	
179	15"	SHAGBARK HICKORY	1	
180	22"	SUGAR MAPLE	1	
181	13"	SUGAR MAPLE	1	
182	10"	RED MAPLE	1	
183	12"	RED MAPLE	1	
184	11"	SUGAR MAPLE	1	
185	18"	BLACK BIRCH	1	
186	17"	SHAGBARK HICKORY	1	
187	20"	SHAGBARK HICKORY	1	
188	22"	SUGAR MAPLE	1	
189	18"	BLACK BIRCH	1	
190	14"	RED OAK	1	
191	15"	SUGAR MAPLE	1	
192	10"	TULIP	1	
195	8"	TULIP	1	
196	8"	TULIP	1	
197	8"	RED MAPLE	1	
198	12"	RED MAPLE	1	
199	15"	RED MAPLE	1	
200	15"	RED MAPLE	1	
201	8"	RED MAPLE	1	POOR - damage
202	12"	RED MAPLE	1	
203	16"	RED MAPLE	1	
204	8"	SUGAR MAPLE	1	
206	15"	TULIP	1	
207	24"	RED OAK	1	
208	30"	TULIP	1	
209	20"	RED OAK	1	
210	26"	TULIP	1	
211	22"	TULIP	1	
212	8"	SUGAR MAPLE	1	
213	18"	TULIP	1	
214	15"	SUGAR MAPLE	1	
215	20-20"	TWIN TULIP	1	
216	10"	SUGAR MAPLE	1	
217	34"	SUGAR MAPLE	1	
218	12"	SUGAR MAPLE	1	
219	15"	SUGAR MAPLE	1	
220	22"	SUGAR MAPLE	1	
221	14"	SUGAR MAPLE	1	
222	22"	SUGAR MAPLE	1	
223	15"	TULIP	1	
224	18"	TULIP	1	
225	10"	SUGAR MAPLE	1	
226	12"	SUGAR MAPLE	1	
227	20"	SUGAR MAPLE	1	
228	14"	TULIP	1	
229	10"	LINDEN	1	
230	14"	BLACK OAK	1	
231	14"	SUGAR MAPLE	1	NEIGHBOR REMOVAL
232	24"	SUGAR MAPLE	1	NEIGHBOR Hvy lean
233	10"	SUGAR MAPLE	1	NEIGHBOR REMOVAL
234	12"	SUGAR MAPLE	1	NEIGHBOR REMOVAL
235	36"	TULIP	1	NEIGHBOR REMOVAL
236	18"	SUGAR MAPLE	1	NEIGHBOR Hvy lean
237	15-10"	SUGAR MAPLE	1	NEIGHBOR REMOVAL
238	17"	SUGAR MAPLE	1	NEIGHBOR REMOVAL
239	8"	MAPLE	1	NEIGHBOR REMOVAL
240	12"	SUGAR MAPLE	1	
241	14"	SUGAR MAPLE	1	
242	13-13"	SUGAR MAPLE	1	
243	17"	BEECH	1	POOR - HALF GONE
244	18"	RED OAK	1	
245	11"	RED OAK	1	
246	8"	BEECH	1	
247	20-20"	SUGAR MAPLE	1	12 Dead remove neighbor
248	8"	RED SPRUCE	1	
249	12"	BLACK BIRCH	1	
250	11"	SUGAR MAPLE	1	Needs to be tagged
251	14"	TULIP	1	
252	8"	SUGAR MAPLE	1	
253	8"	SUGAR MAPLE	1	Not tagged damaged
254	25"	SUGAR MAPLE	1	
255	18-18"	TWIN TULIP	1	
256	12"	RED MAPLE	1	
257	10"	RED MAPLE	1	
258	12"	RED MAPLE	1	



811
Know what's below.
Call before you dig.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

SHEET NUMBER
36

3 MISC. REVISIONS 9-22-21
2 UPDATED TREE LIST 1-15-21
1 MISC. REVISIONS 12-29-20
ORIGINAL DATE: 10/13/2020

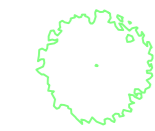
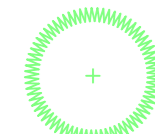

GIARCIA ENGINEERING, P.C.
360 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NY 10598
(914) 245-0123

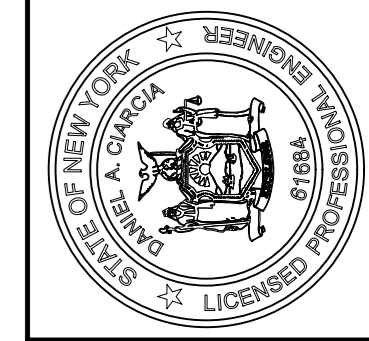
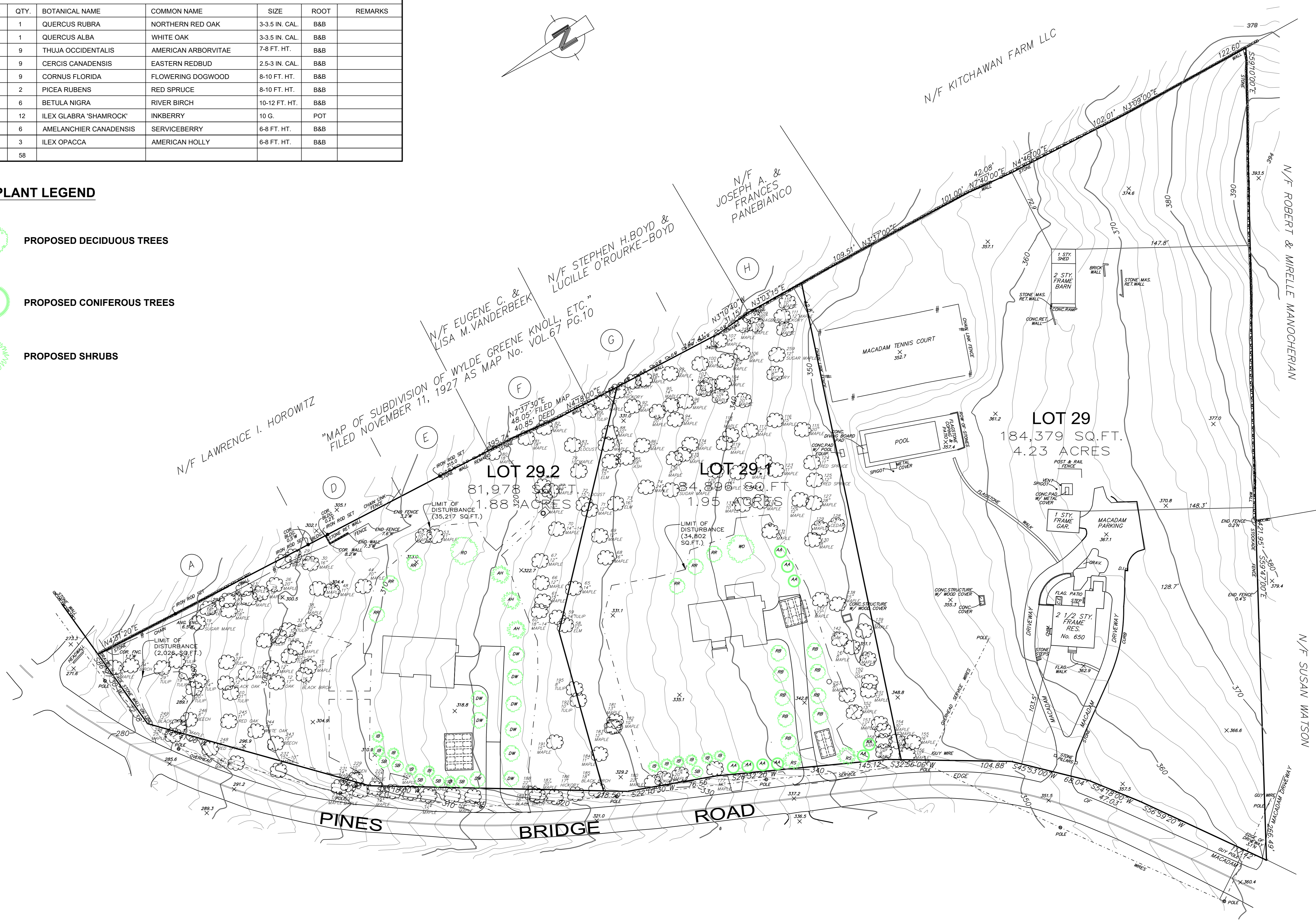
**TREE REMOVAL PLAN
AND TREE SCHEDULE**

650 PINES BRIDGE ROAD
YORKTOWN, NY
Prepared For
PINES BRIDGE ROAD LLC.

PLANT LIST						
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
RO	1	QUERCUS RUBRA	NORTHERN RED OAK	3-3.5 IN. CAL.	B&B	
WO	1	QUERCUS ALBA	WHITE OAK	3-3.5 IN. CAL.	B&B	
AA	9	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	7-8 FT. HT.	B&B	
RB	9	CERCIS CANADENSIS	EASTERN REDBUD	2.5-3 IN. CAL.	B&B	
DW	9	CORNUS FLORIDA	FLOWERING DOGWOOD	8-10 FT. HT.	B&B	
RS	2	PICEA RUBENS	RED SPRUCE	8-10 FT. HT.	B&B	
RR	6	BETULA NIGRA	RIVER BIRCH	10-12 FT. HT.	B&B	
IB	12	ILEX GLABRA 'SHAMROCK'	INKBERRY	10 G.	POT	
SB	6	AMELANCHIER CANADENSIS	SERVICEBERRY	6-8 FT. HT.	B&B	
AH	3	ILEX OPACCA	AMERICAN HOLLY	6-8 FT. HT.	B&B	
TOTAL	58					

PLANT LEGEND

-  PROPOSED DECIDUOUS TREES
-  PROPOSED CONIFEROUS TREES
-  PROPOSED SHRUBS



CIARCIA ENGINEERING, P.C.
360 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NY 10598
(914) 245-0123

LANDSCAPE PLAN

650 PINES BRIDGE ROAD
YORKTOWN, NY
Prepared For
PINES BRIDGE ROAD LLC.

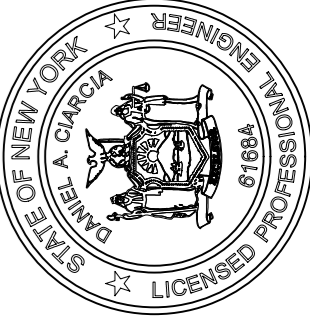


SCALE: 1"=60'

650 PINES BRIDGE ROAD
 YORKTOWN, NY
 Prepared For
 PINES BRIDGE ROAD LLC.

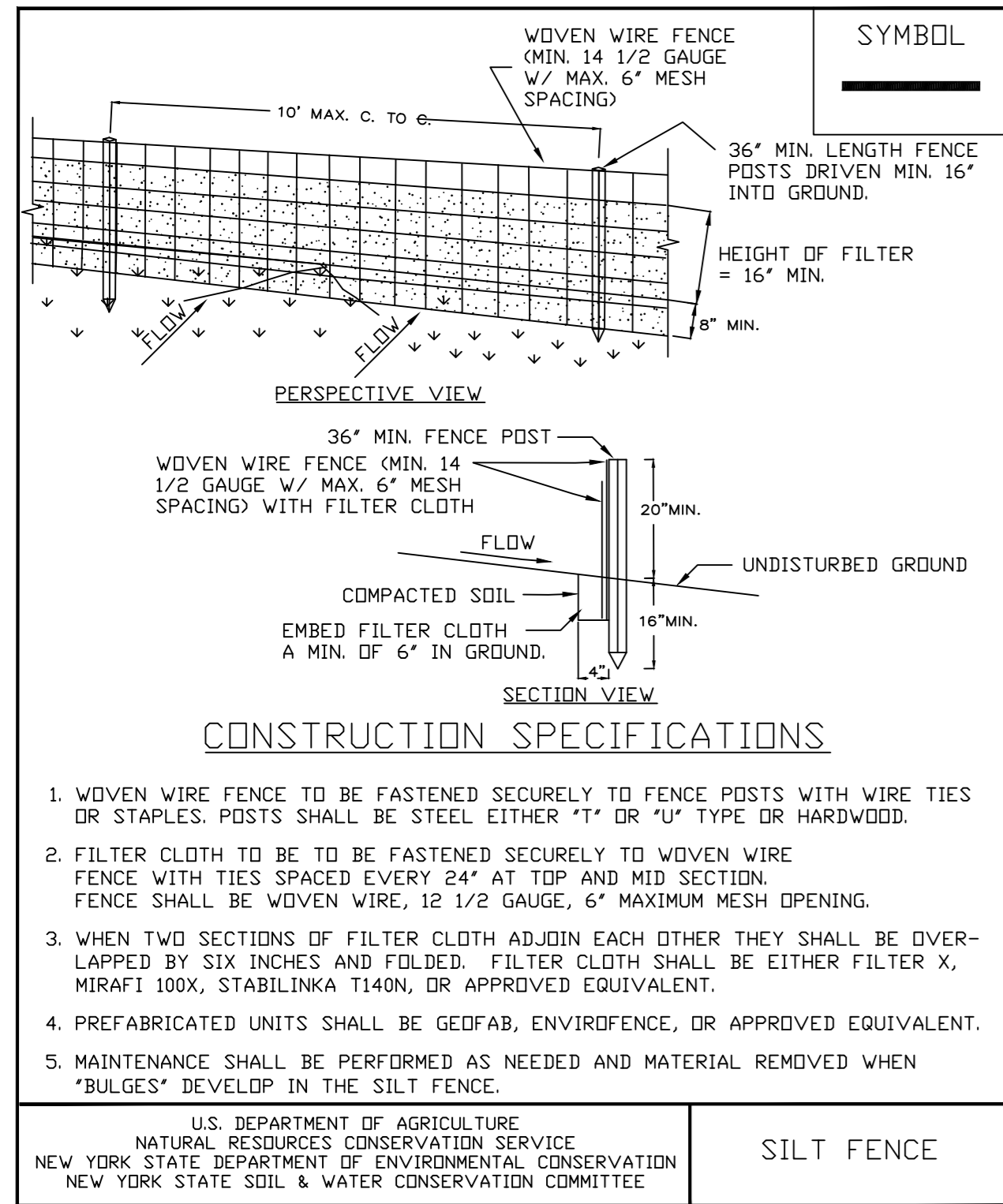
ORTHO PHOTO

CIARCIA ENGINEERING, P.C.
 360 UNDERHILL AVENUE
 YORKTOWN HEIGHTS, NY 10598
 (914) 245-0123



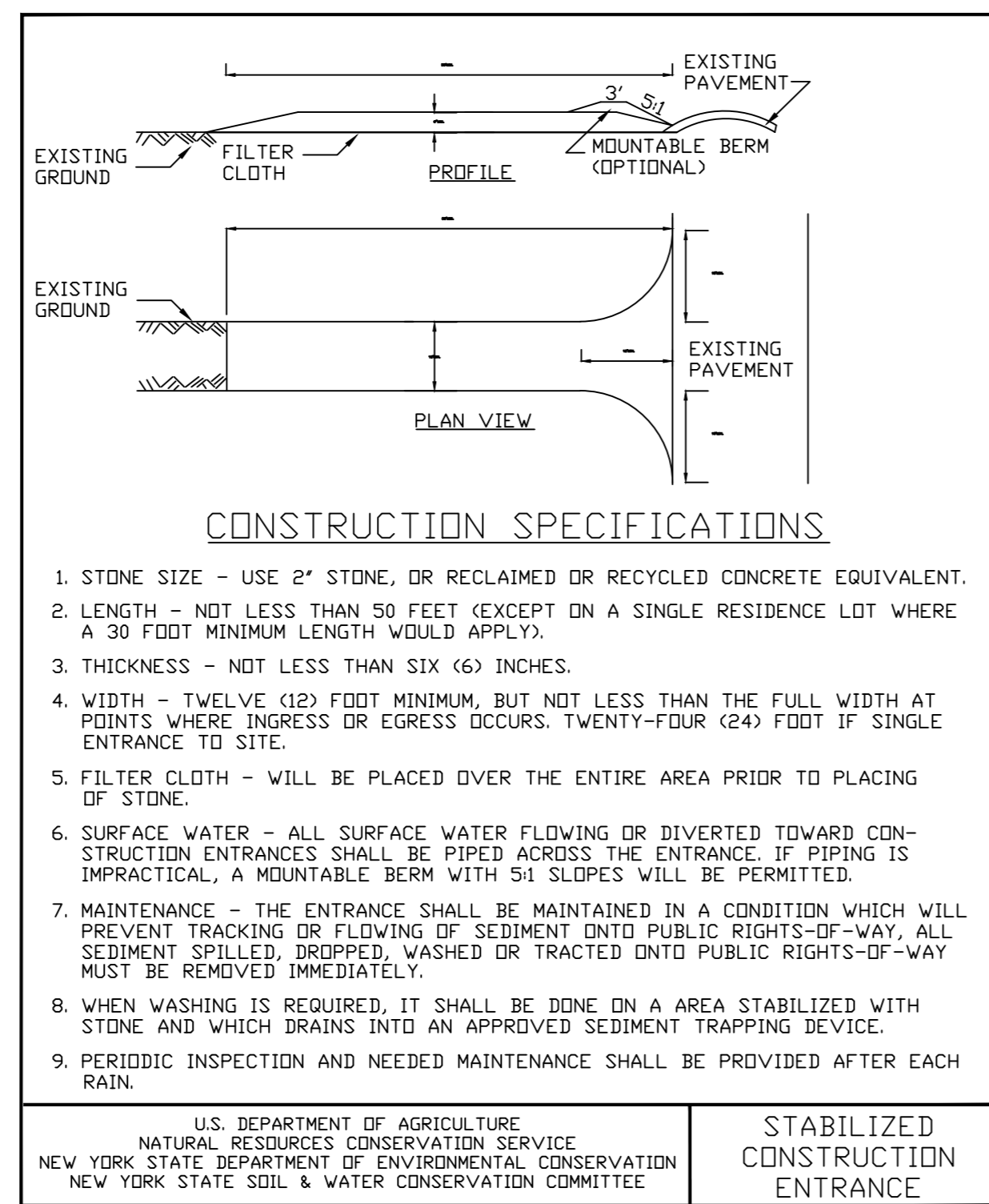
5	
4	
3	
2	1 MISC. REVISIONS 9/23/2021
1	ORIGINAL DATE: 2/16/2021

SHEET NUMBER
 5 6

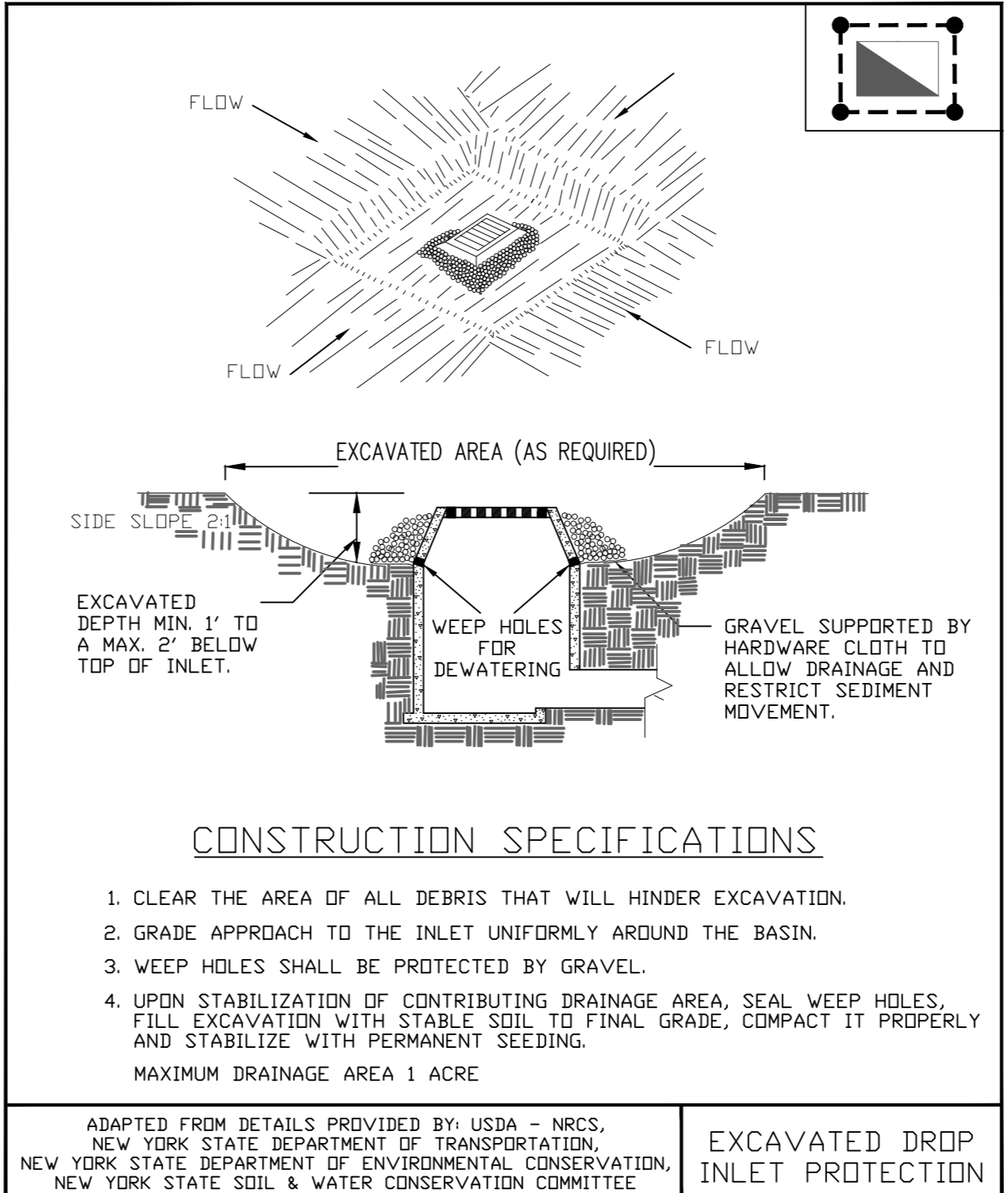


SYMBOL

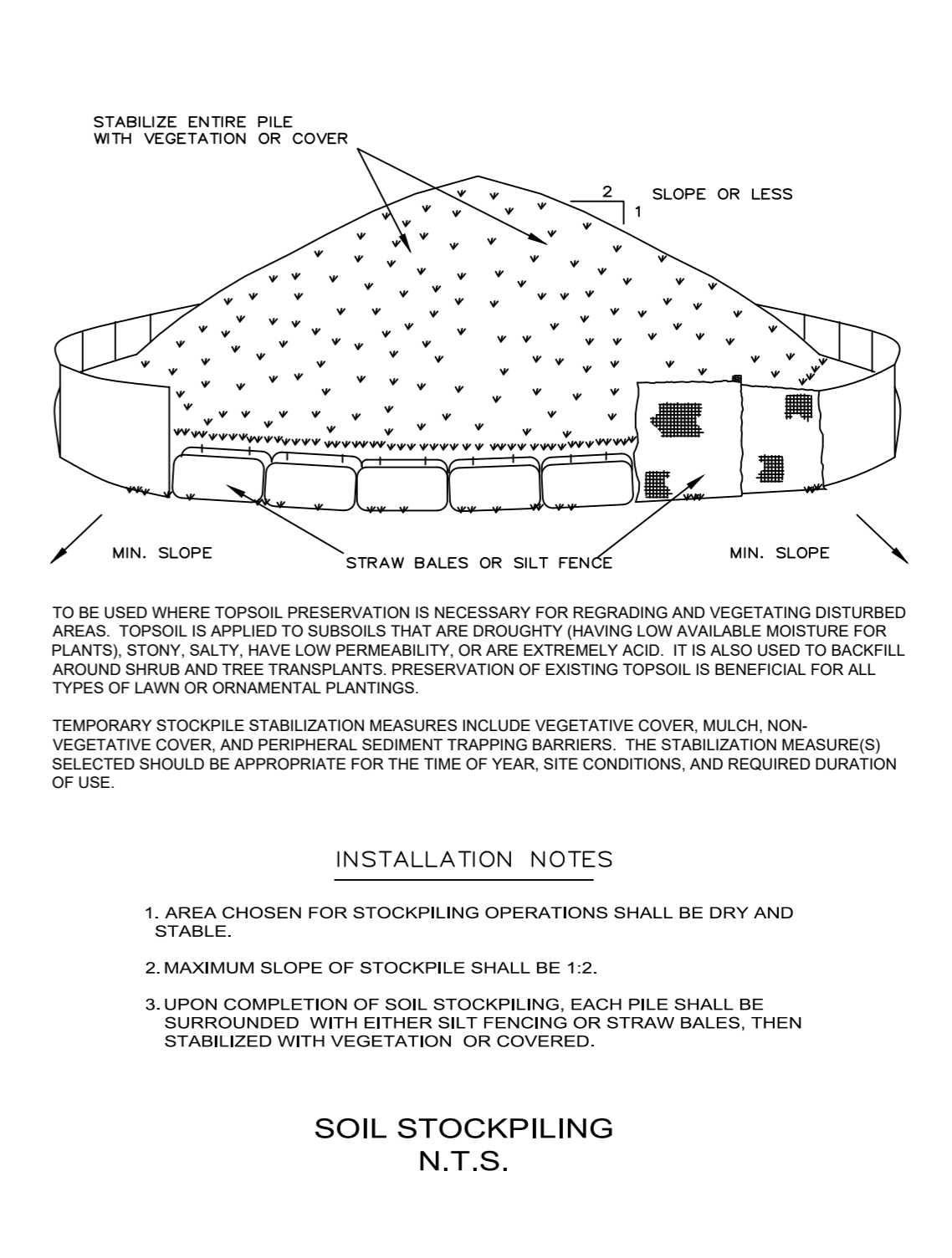
SILT FENCE



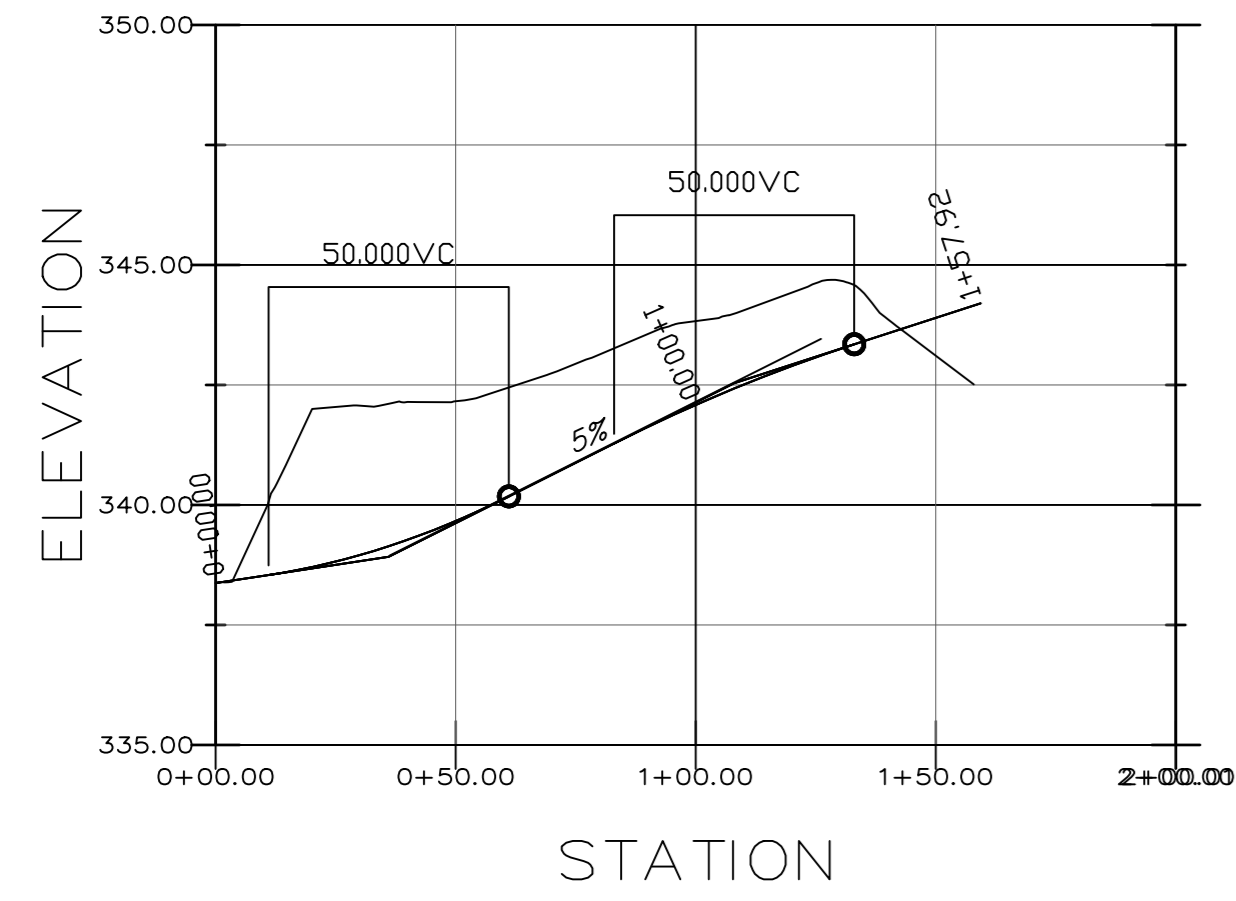
STABILIZED CONSTRUCTION ENTRANCE



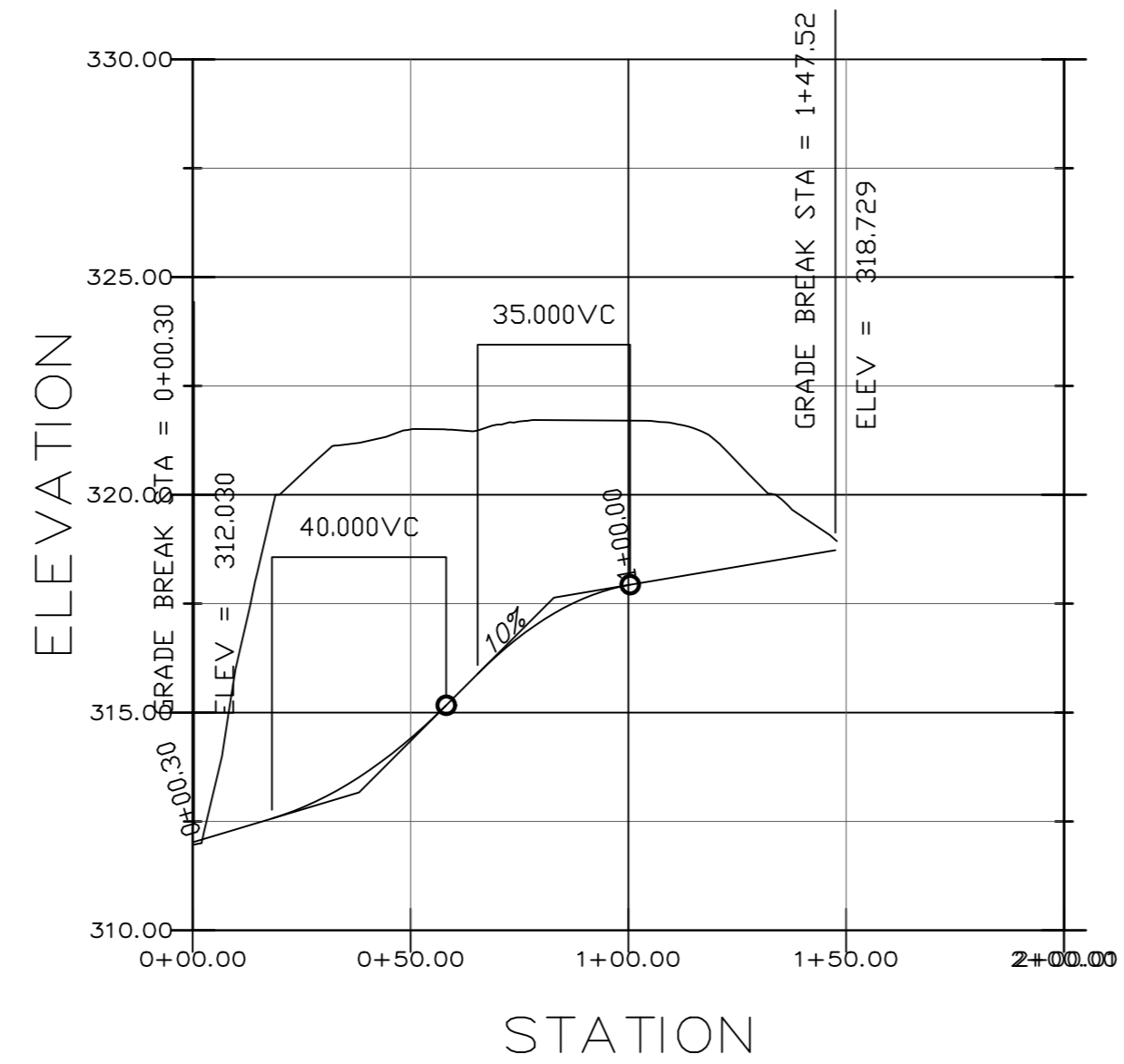
EXCAVATED DROP INLET PROTECTION



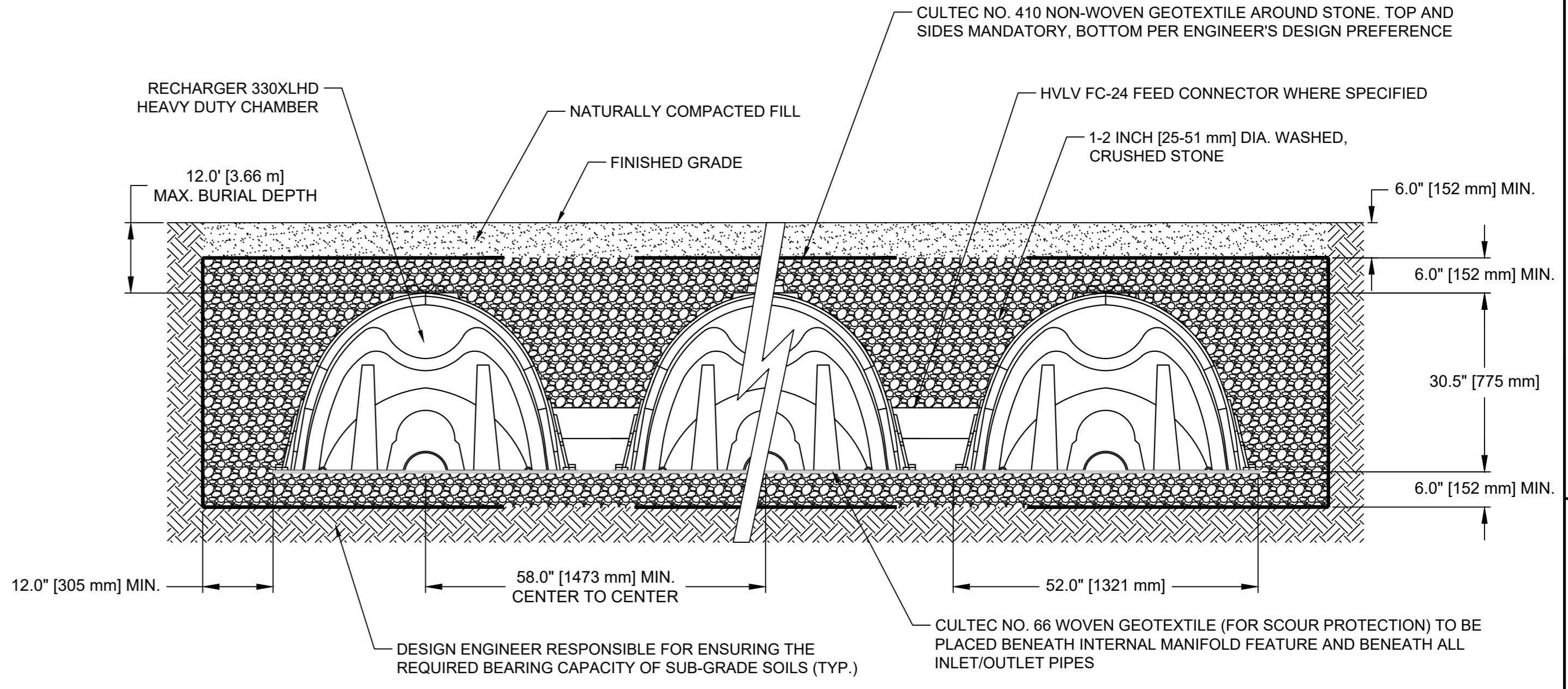
SOIL STOCKPILING N.T.S.



LOT 2 DRIVEWAY
SCALE:
VER: 1" = 4'
HOR: 1" = 40'



LOT 3 DRIVEWAY
SCALE:
VER: 1" = 4'
HOR: 1" = 40'



GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT [1.05 m³/m] PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

CULTEC INFILTRATOR DETAIL

SHEET NUMBER
66

3 MISC. REVISIONS 9/23/2021
2 TOWN COMMENTS 10-13-20
1 TOWN COMMENTS 12-05-19
ORIGINAL DATE: 10/10/2019

GIARCIA ENGINEERING, P.C.
360 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NY 10598
(914) 245-0123

DETAILS & PROFILES

650 PINES BRIDGE ROAD
YORKTOWN, NY
Prepared For
PINES BRIDGE ROAD LLC.

Taco Bell
Mohegan Lake



RECEIVED
 PLANNING DEPARTMENT
 SEP 23 2021
 TOWN OF YORKTOWN

Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

September 23, 2021

Chairman Richard Fon
 & Members of the Planning Board
 Town of Yorktown Planning Board
 1974 Commerce Street, Room 222
 Yorktown, NY 10598

RE: JMC Project 20045
 Proposed Taco Bell Restaurant
 3571 Mohegan Avenue
 Town of Yorktown, NY

Dear Chairman Fon and Members of the Board:

On behalf of Keystone Mohegan Lake LLC, we are pleased to provide the following materials that for your review and consideration.

Enclosed please find a copy of the below listed materials for your review:

1. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
C-000	"Cover Sheet"	3 09/20/2021
C-010	"Existing Conditions Map"	3 09/20/2021
C-020	"Demolition Plan"	3 09/20/2021
C-100	"Layout Plan"	4 09/20/2021
C-110	"Delivery Vehicle Turning Analyses"	3 09/20/2021
C-120	"Refuse Vehicle Turning Analyses"	3 09/20/2021
C-130	"Passenger Vehicle Turning Analyses"	3 09/20/2021
C-200	"Grading Plan"	4 09/20/2021
C-300	"Utilities Plan"	4 09/20/2021
C-400	"Erosion & Sediment Control Plan"	3 09/20/2021
C-900	"Construction Details"	3 09/20/2021
C-901	"Construction Details"	3 09/20/2021
C-902	"Construction Details"	3 09/20/2021
L-100	"Landscaping Plan"	5 09/20/2021
L-110	"Site Sections"	2 09/20/2021

2. Stormwater Pollution Prevention Plan, prepared by JMC, last revised 09/20/2020.

Based on the Sam Schwartz comments and the discussion had at the last meeting, the site plans have been revised to increase the width of the drive-thru / bypass lane along the northwestern property line. As shown on JMC Drawing C-100, "Layout Plan", the width of the drive-thru lane has been increased from 15' to 18' which permits the passage of vehicles around the drive-thru lane while the queue is full. JMC Drawing C-130, "Passenger Vehicle Turning Analyses", depicts a vehicle circulating the bypass lane while vehicles are in the queue. Additionally, the Stormwater Pollution Prevention Plan has been updated to take this additional impervious area into account.

Regarding the traffic signal and stop bar relocation questions that were discussed, we have contacted the Regional Traffic Signal Engineer at the NYSDOT and are awaiting a response. We respectfully request that this be made a condition of Site Plan Approval as it may take some time to receive a response and coordinate with the DOT.

We look forward to discussing this matter with you further and respectfully request that your Board consider drafting a Negative Declaration and Resolution of Approval for this project. If you have any questions or require additional information with regard to the information provided above, please do not hesitate to contact our office at 914-273-5225. Thank you for your consideration.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC



Paul J. Dumont, PE
Senior Designer II

cc: Mr. Raghav Patel
Mr. Sameer Patel
Robyn A. Steinberg, AICP
John A. Tegeder, R.A.
Dan Ciarcia, PE
David S. Steinmetz, Esq.

SITE PLAN APPROVAL DRAWINGS

PROPOSED TACO BELL RESTAURANT

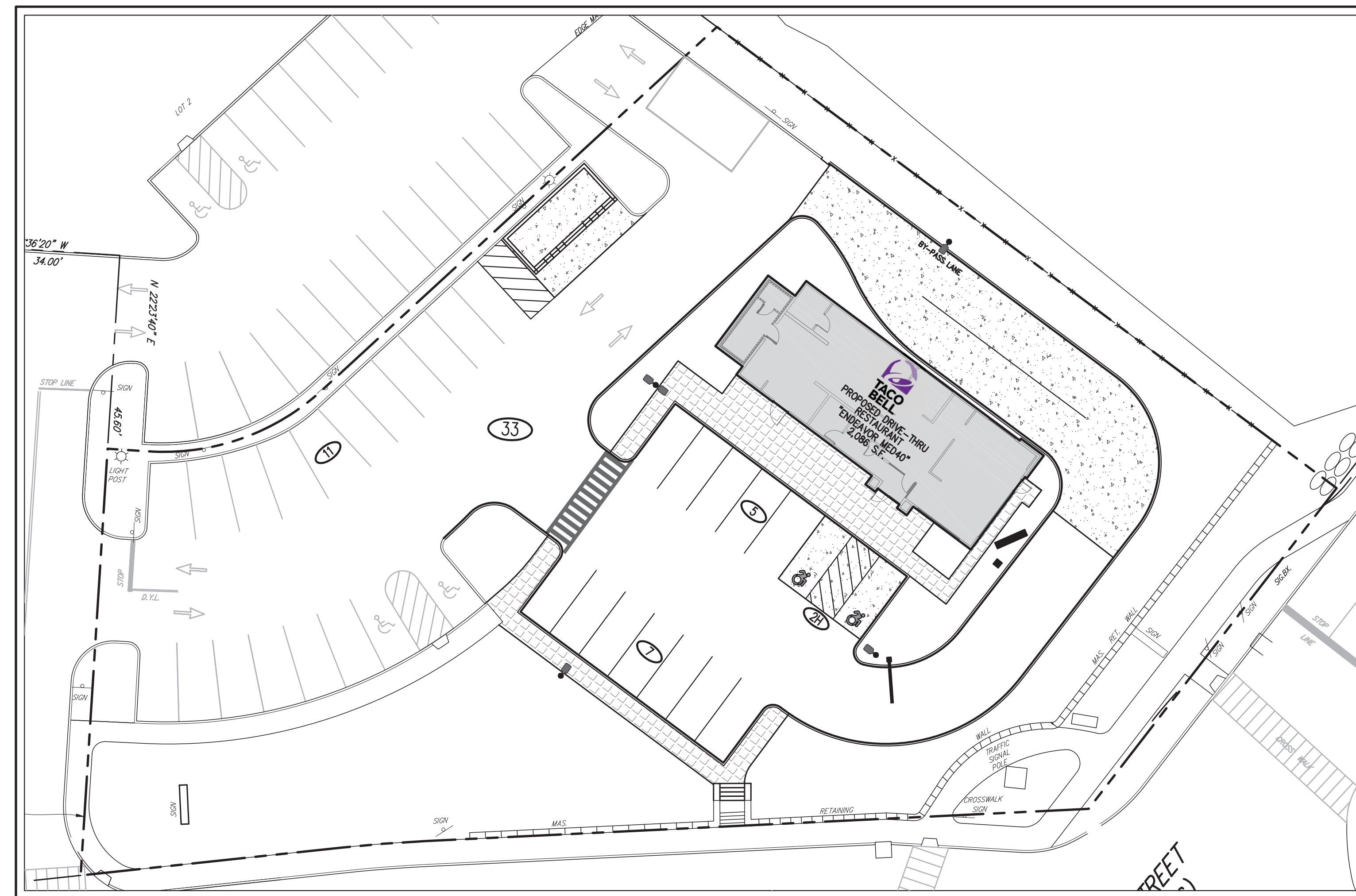
TAX MAP SECTION 15.16 | BLOCK 1 | LOT 21
3571 MOHEGAN AVENUE
TOWN OF YORKTOWN, NY

JMC Site Planner, Civil & Traffic Engineer,
 and Landscape Architect:
 120 BEDFORD ROAD
 ARMONK, NY 10504
 (914) 273-5225

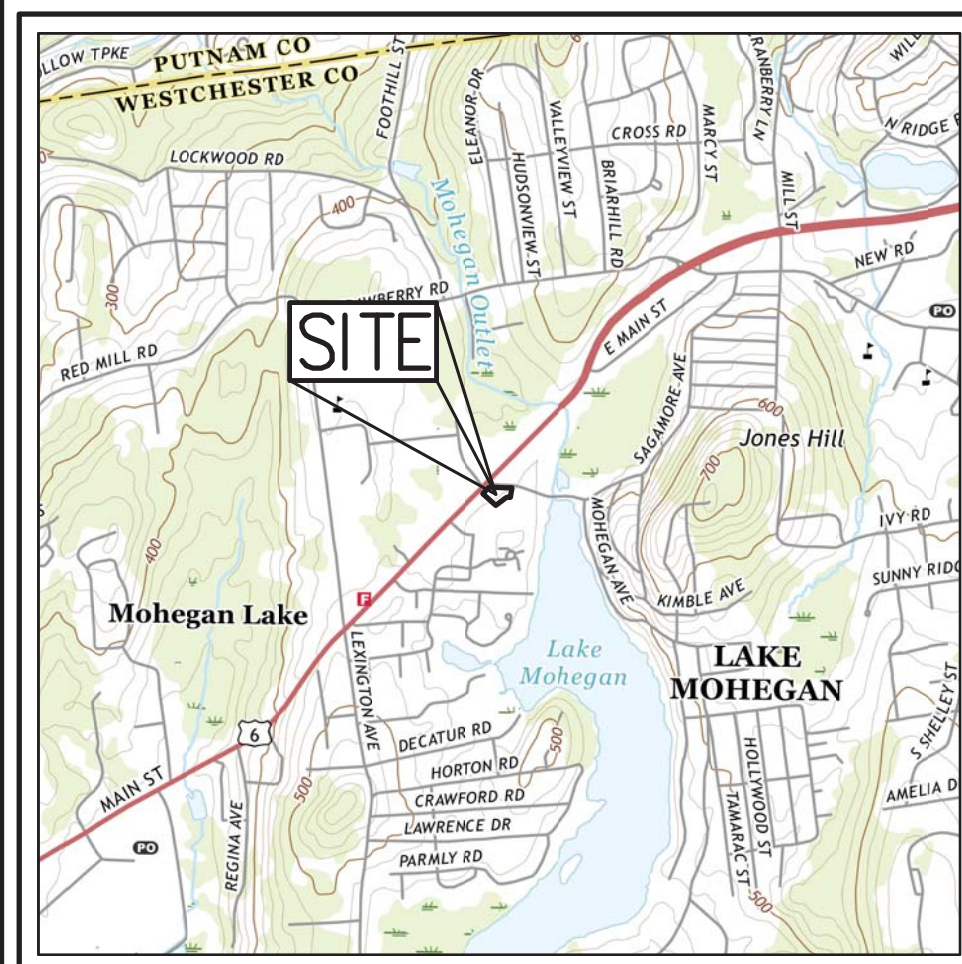
Applicant:
KEYSTONE MOHEGAN LAKE LLC
 25 ROUTE 59
 NYACK, NY 10960
 (201) 863-3670

Owner:
CELESTIAL ROUTE 6
 222 BLOOMINGDALE ROAD, SUITE 115
 WHITE PLAINS, NY 10605

Surveyor:
WARD CARPENTER ENGINEERS, INC.
 76 MAMARONECK AVENUE
 WHITE PLAINS, NY 10601
 (914) 949-6000



AREA MAP
 SCALE: N.T.S.



VICINITY MAP
 SCALE: 1" = 2,000'
 SOURCE: USGS / 2016

JMC Drawing List:

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP
- C-020 DEMOLITION PLAN
- C-100 LAYOUT PLAN
- C-110 DELIVERY VEHICLE TURNING ANALYSES
- C-120 REFUSE VEHICLE TURNING ANALYSES
- C-130 PASSENGER VEHICLE TURNING ANALYSES
- C-200 GRADING PLAN
- C-300 UTILITIES PLAN
- C-400 SITE EROSION AND SEDIMENT CONTROL PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
- C-902 CONSTRUCTION DETAILS
- L-100 LANDSCAPING PLAN
- L-110 SITE SECTIONS

TABLE OF LAND USE				
SECTION 15.16, BLOCK 1, LOT 21 ZONE "C-2" - "COMMERCIAL HAMLET CENTER" PROPOSED USE: FAST-FOOD RESTAURANT				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	
LOT AREA (ACRES)	N/A	0.83	0.83	
LOT WIDTH AT FRONT LINE OF MAIN BUILDING (FEET)	25	148.9	148.9	
LOT DEPTH (FEET)	N/A	144.5	144.5	
BUILDING HEIGHT (FEET)	35	<35	<35	
LOT COVERAGE BY BUILDING (PERCENT)	30	N/A	5.8	
YARDS				
FRONT BUILDING SETBACK (FEET)	15	N/A	56.2±	
REAR BUILDING SETBACK (FEET)	30	N/A	54.2±	
SIDE BUILDING SETBACK (FEET)	17 / 25 ⁽¹⁾	N/A	35.0±	
PARKING SUMMARY				
STANDARD SPACES (SPACES)	23	21	29	
ACCESSIBLE SPACES (SPACES)	2	2	4	
TOTAL SPACES (SPACES)	25 ⁽²⁾	23	33 ⁽²⁾	

NOTES:

1. PER SECTION 300 ATTACHMENT 2 OF THE TOWN OF YORKTOWN CODE, THE SIDE YARD SETBACK SHALL BE 17 FEET IF USED AS A ONE-WAY VEHICULAR ACCESS, AND 25 FEET IF USED AS A TWO-WAY VEHICULAR ACCESS.
2. PER SECTION 300-182(A)(5) OF THE TOWN OF YORKTOWN ZONING CODE, FOR RESTAURANT USES, 1 PARKING SPACE IS REQUIRED FOR EACH 50 S.F. OF FLOOR AREA DEVOTED TO PATRON USE, PLUS 1 PARKING SPACE FOR EACH 100 SQUARE FEET OF FLOOR AREA DEVOTED TO FOOD PREPARATION OR ANCILLARY USE.
 TACO-BELL RESTAURANT: 600 S.F. OF FLOOR AREA DEVOTED TO PATRON USE / 50 = 12 PARKING SPACES
 1,050 S.F. OF FLOOR AREA DEVOTED TO FOOD PREPARATION OR ANCILLARY USE / 100 = 10.5 PARKING SPACES
 440 S.F. OF REMAINING FLOOR AREA / 250 = 1.8 PARKING SPACES
 TOTAL: 24.3 OR 25 PARKING SPACES REQUIRED.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-982-7862) TO HAVE UNDERGROUND UTILITIES LOCATED INCLUDING ARRANGING FOR A PRIVATE MARKOUT ON-SITE WHERE APPLICABLE. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

UNDERGROUND UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1.	ISSUED FOR PUBLIC NOTICING	10/06/2020	PD
2.	REVISED PER TOWN COMMENTS	03/12/2021	PD
3.	REVISED PER TOWN COMMENTS	09/20/2021	CDF
<i>Previous Editions Obsolete</i>			

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



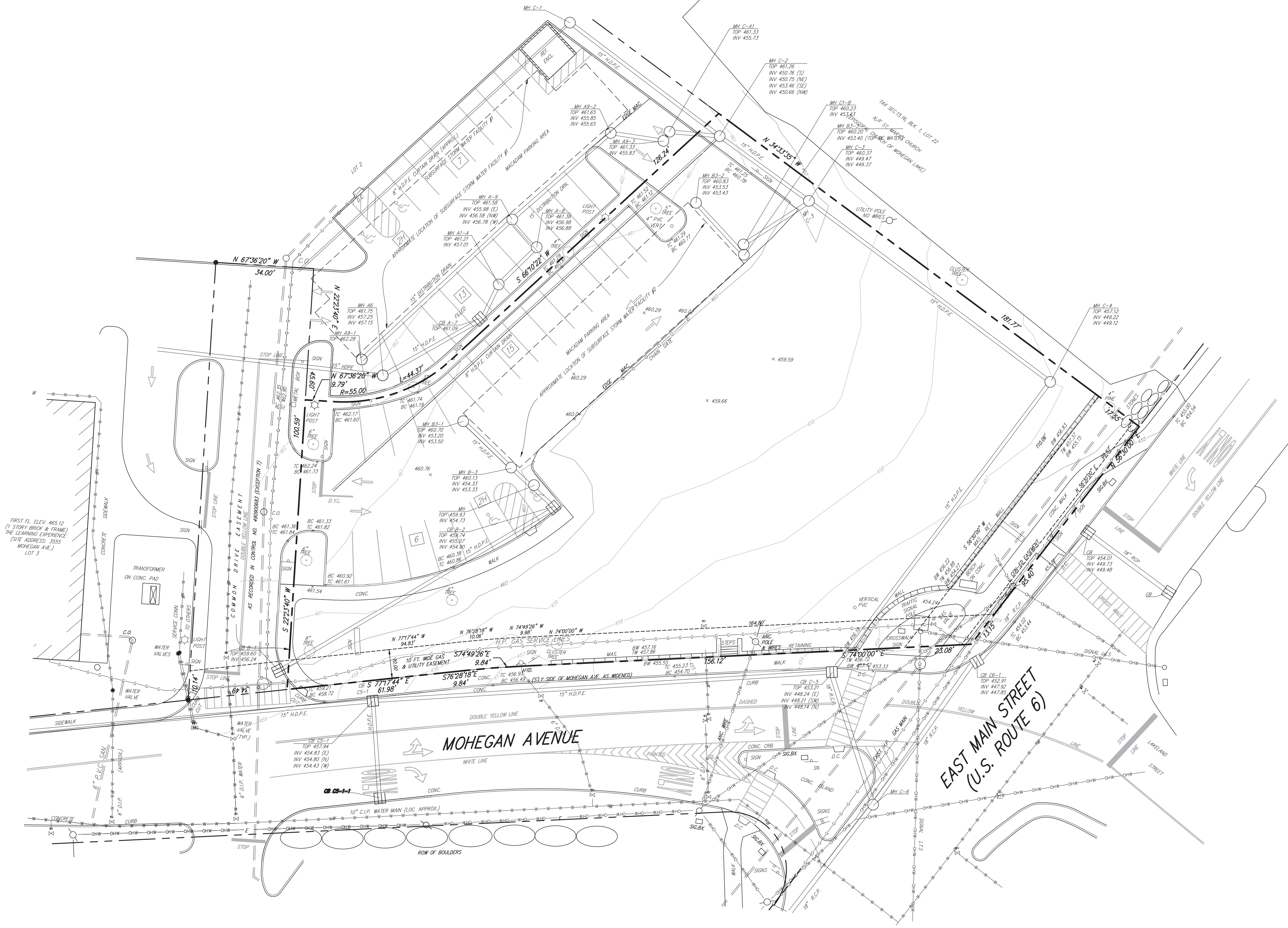
NOT FOR CONSTRUCTION

JMC
 JMC Planning, Engineering, Landscape
 Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD • ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
www.jmcpilc.com

Drawn: PD Approved: JAR
 Scale: NOT TO SCALE
 Date: 08/21/2020
 Project No: 20045
 20045-01E COVER COVER.scr
 Drawing No: **C-000**

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LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	EXISTING RETAINING WALL
	EXISTING TREE AND DESIGNATION
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN

NOTES:

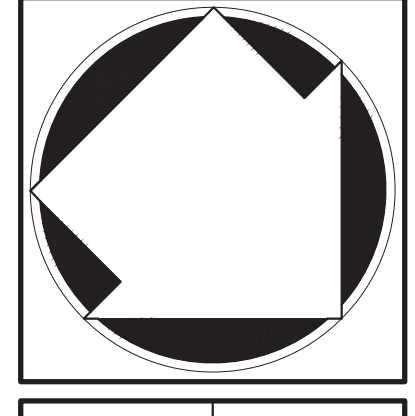
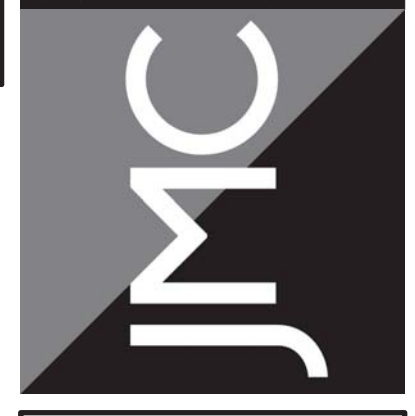
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY PREPARED BY WARD CARPENTER ENGINEERS, INC., ENTITLED "SURVEY OF PROPERTY," LAST UPDATED 05/19/2020.

APPLICANT:
KEystone MOHEGAN LAKE LLC
 25 ROUTE 59
 NYACK, NY 10960

ARCHITECT:
WIENER ARCHITECTURE GROUP, LLC
 191 CENTRAL AVENUE, SUITE 228
 NEWARK, NEW JERSEY 07103

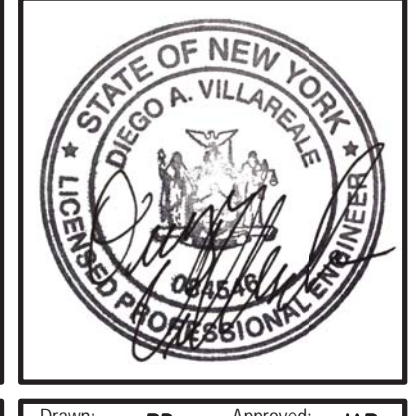
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.

120 BEDFORD ROAD - ARMONK, NY 10504
 voice: 914.273.5225 • fax: 914.273.2102
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EXISTING CONDITIONS MAP

PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY



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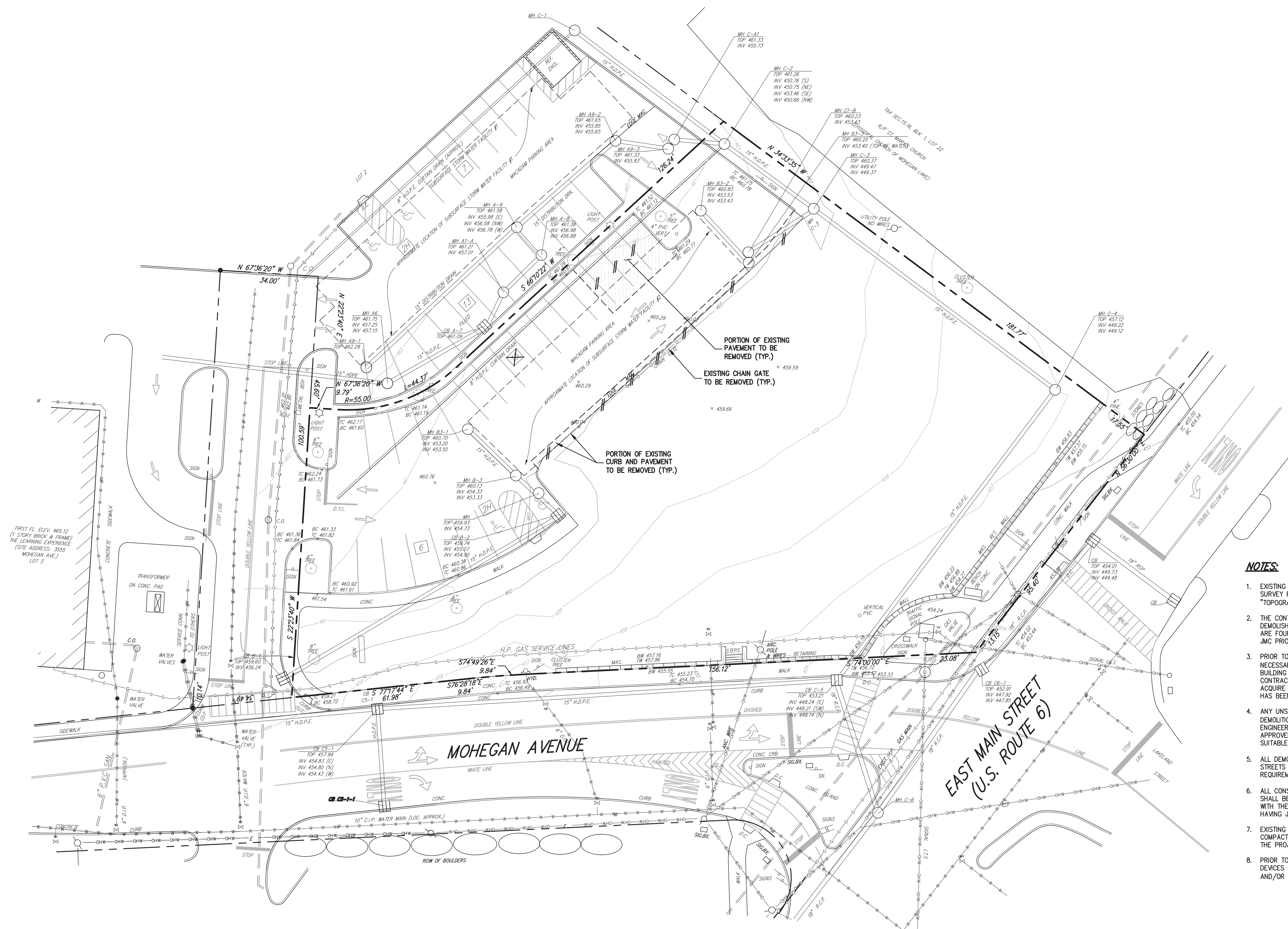
No.	Revision	Date	By
1.	ISSUED FOR PUBLIC NOTICING	10/06/2020	PD
2.	REVISED PER TOWN COMMENTS	03/12/2021	PD
3.	REVISED PER TOWN COMMENTS	09/20/2021	CDF

Drawn: PD	Approved: JAR
Scale: 1" = 20'	
Date: 08/21/2020	
Project No: 20045	
2046-01	EXIST
EXIST	EXIST
Drawing No:	
C-010	

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NOTES:

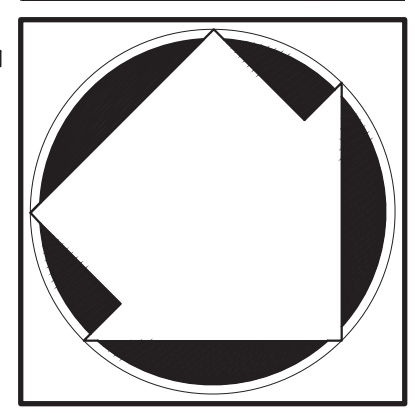
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A SURVEY PREPARED BY WARD CARPENTER ENGINEERS, INC., ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY," LAST UPDATED 11/28/2007.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF YORKTOWN BUILDING DEPARTMENT AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE TOWN OF YORKTOWN BUILDING DEPARTMENT.
- ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING DEMOLITION/CONSTRUCTION, AS DETERMINED BY THE PROJECT'S GEOTECHNICAL ENGINEER, SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED.
- ALL DEMOLITION AND/OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, INCLUDING STREETS AND SIDEWALKS, SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF YORKTOWN.
- ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
- EXISTING CONCRETE MAY BE STORED ON SITE, AND RECYCLED FOR USE AS COMPACTED FILL. ALL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH C-400, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF YORKTOWN OR JMC.
- EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, SHALL BE REPLACED.
- ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
- THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE, INFORMATION AND COORDINATION. ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
- PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE TOWN OF YORKTOWN BUILDING DEPARTMENT, ENGINEERING DEPARTMENT, AND JMC.
- THE CONTRACTOR SHALL PROVIDE VERIFICATION TO THE TOWN OF YORKTOWN BUILDING DEPARTMENT THAT FIVE (5) DAYS' PRIOR NOTIFICATION WAS GIVEN TO ALL ADJOINING OWNERS AND THAT NOTIFICATION WAS GIVEN TO THE APPROPRIATE COMMUNITY BOARD PRIOR TO THE COMMENCEMENT OF DEMOLITION.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	EXISTING RETAINING WALL
	EXISTING TREE AND DESIGNATION
	EXISTING TREE TO BE REMOVED
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING FEATURE TO BE REMOVED
	PROPOSED SAWCUT LINE

APPLICANT:
KEYSTONE MOHEGAN LAKE LLC
 25 ROUTE 59
 NYACK, NY 10960

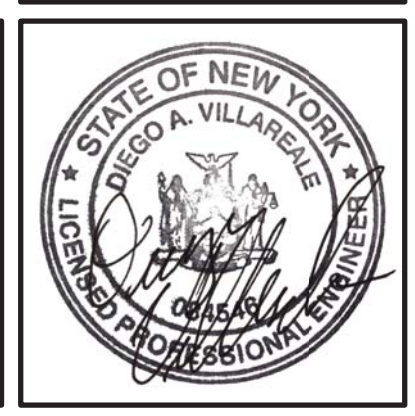
ARCHITECT:
WIENER ARCHITECTURE GROUP, LLC
 191 CENTRAL AVENUE, SUITE 228
 NEWARK, NEW JERSEY 07103

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DEMOLITION PLAN

PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY

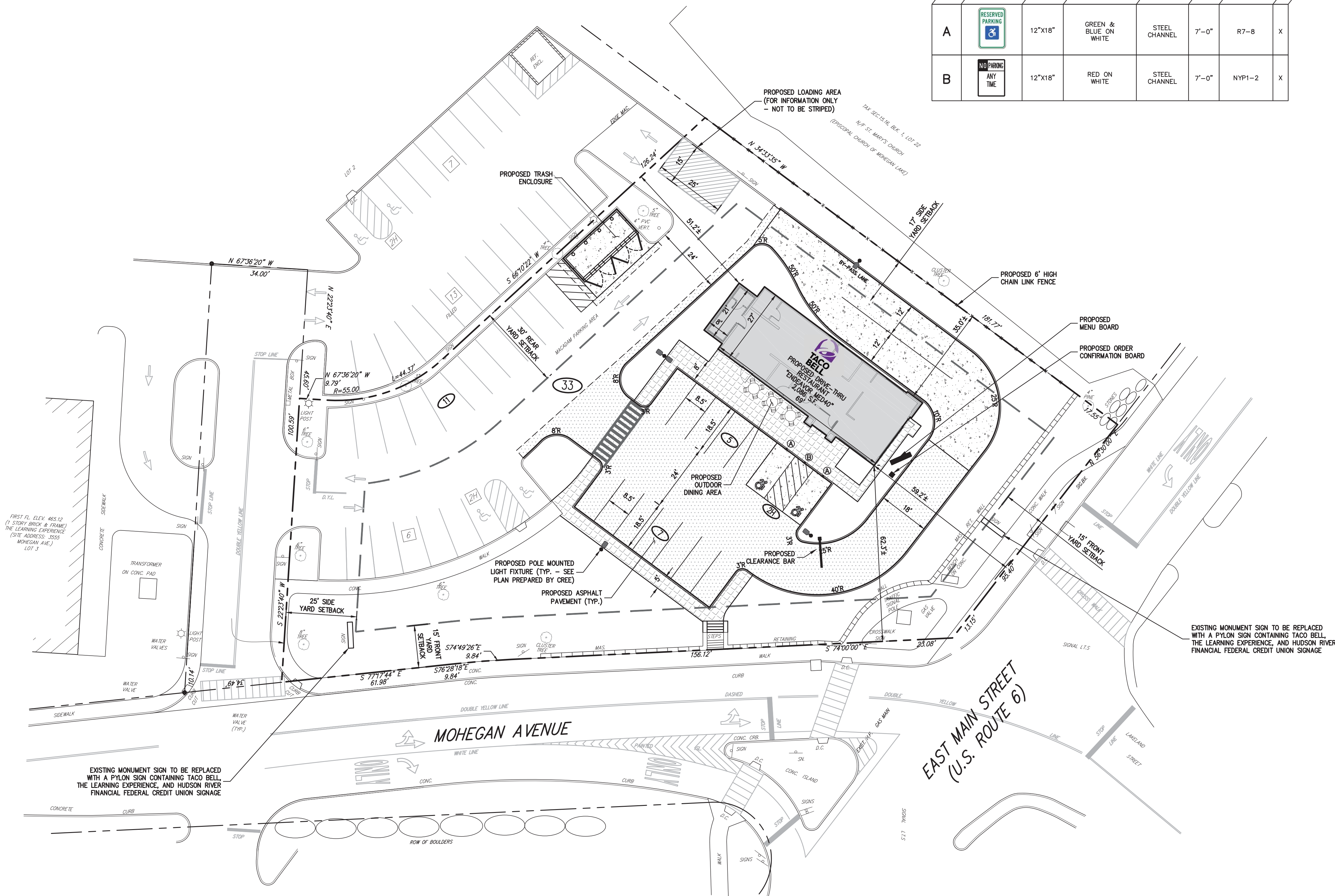


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Scale: 1" = 20'	
Date: 08/21/2020	
Project No: 20045	
2046-9E	DEMO
Drawing No: C-020	

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SIGN TABLE

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED
A		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
B		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X

LEGEND

- EXISTING PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING RETAINING WALL
- EXISTING TREE AND DESIGNATION
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
- EXISTING PEDESTRIAN CROSSING
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED SAWCUT LINE
- PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PEDESTRIAN CROSSING

NOTES:

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APPLICANT:
 KEYSTONE MOHEGAN LAKE LLC
 25 ROUTE 59
 NYACK, NY 10960

ARCHITECT:
 WIENER ARCHITECTURE GROUP, LLC
 191 CENTRAL AVENUE, SUITE 228
 NEWARK, NEW JERSEY 07103

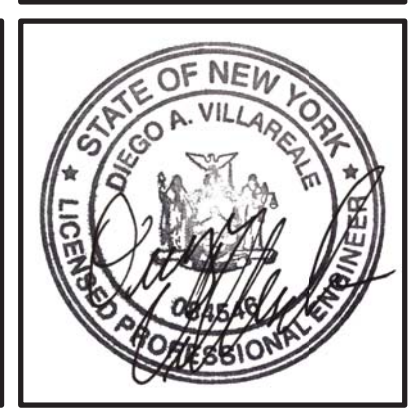
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.

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 voice: 914.273.5225 • fax: 914.273.2102
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LAYOUT PLAN

PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY



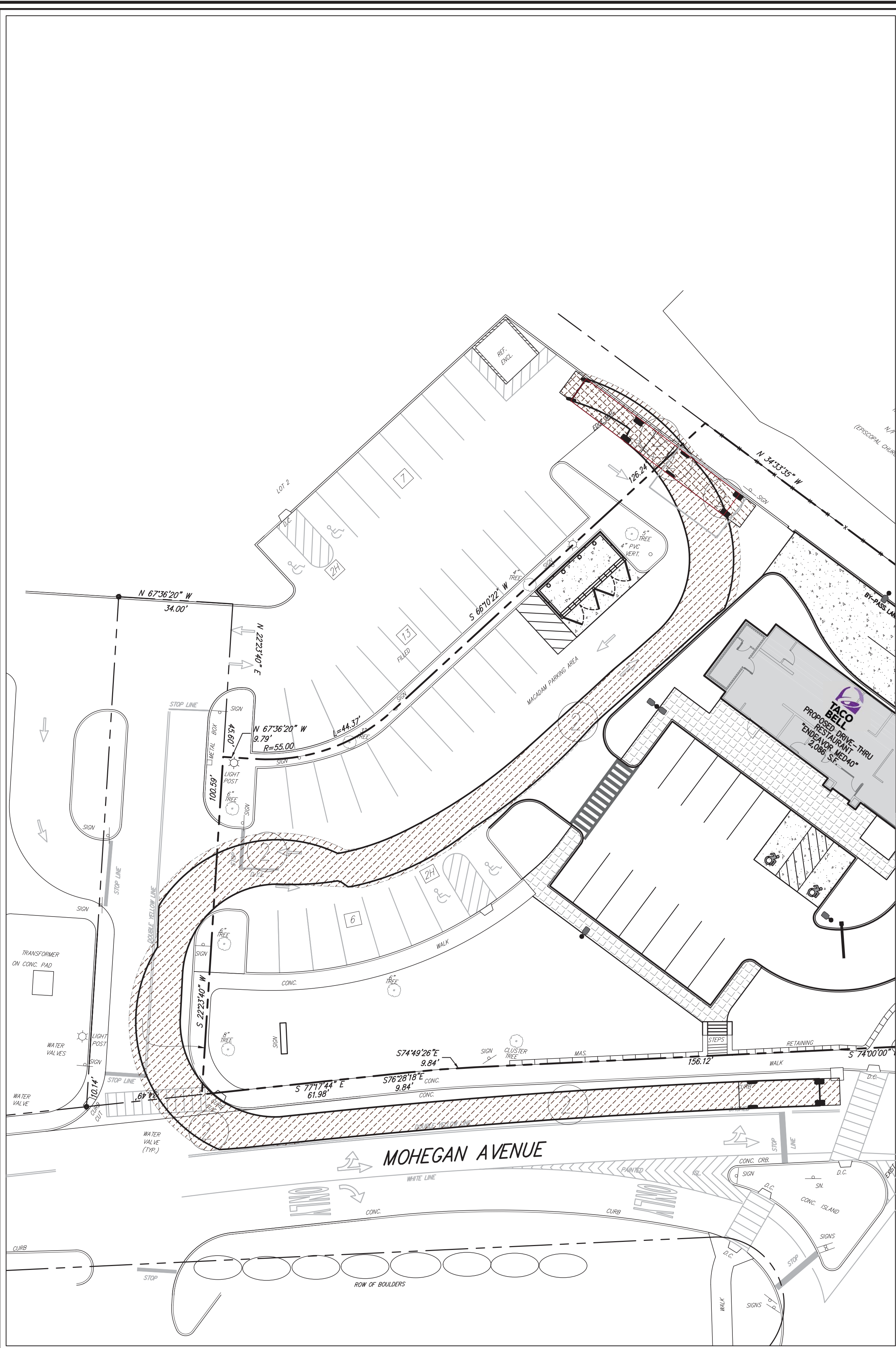
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4.	REVISED PER TOWN COMMENTS	09/20/2021	CDF

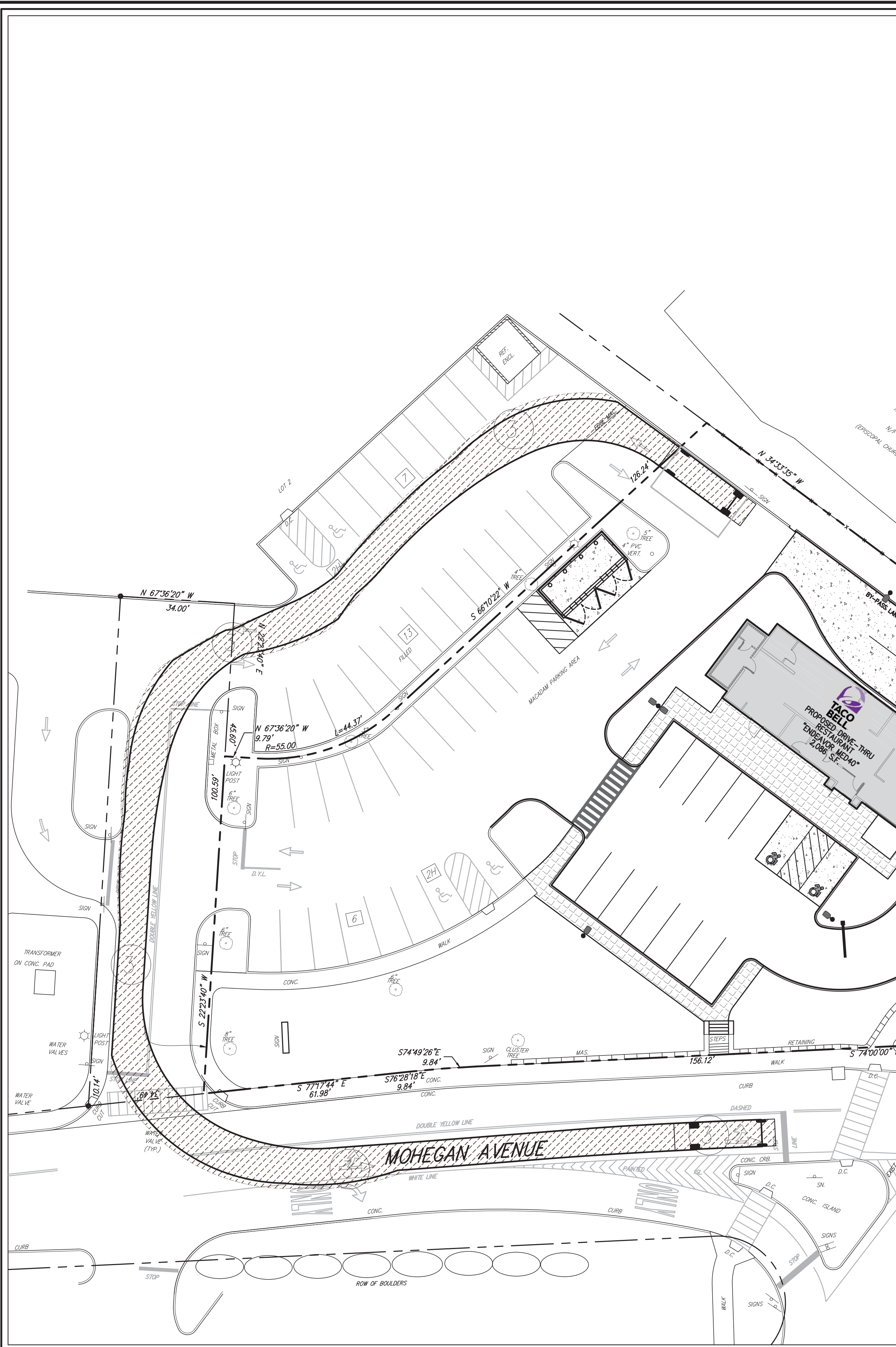
Drawn: PD Approved: JAR
 Scale: 1" = 20'
 Date: 08/21/2020
 Project No: 20045
 2046-9E LAY LAY.scx
 Drawing No: **C-100**

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ENTERING MOVEMENT



EXITING MOVEMENT

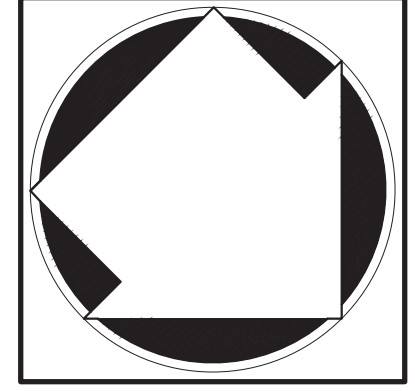
SU-30 - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.367ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 31.80°

SU-30 PROFILE
SCALE: N.T.S.

APPLICANT: **KEYSTONE MOHEGAN LAKE LLC**
 25 ROUTE 59
 NYACK, NY 10960

ARCHITECT: **WIENER ARCHITECTURE GROUP, LLC**
 191 CENTRAL AVENUE, SUITE 228
 NEWARK, NEW JERSEY 07103

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
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 voice: 914.273.5225 • fax: 914.273.2102
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DELIVERY VEHICLE TURNING ANALYSES

PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY

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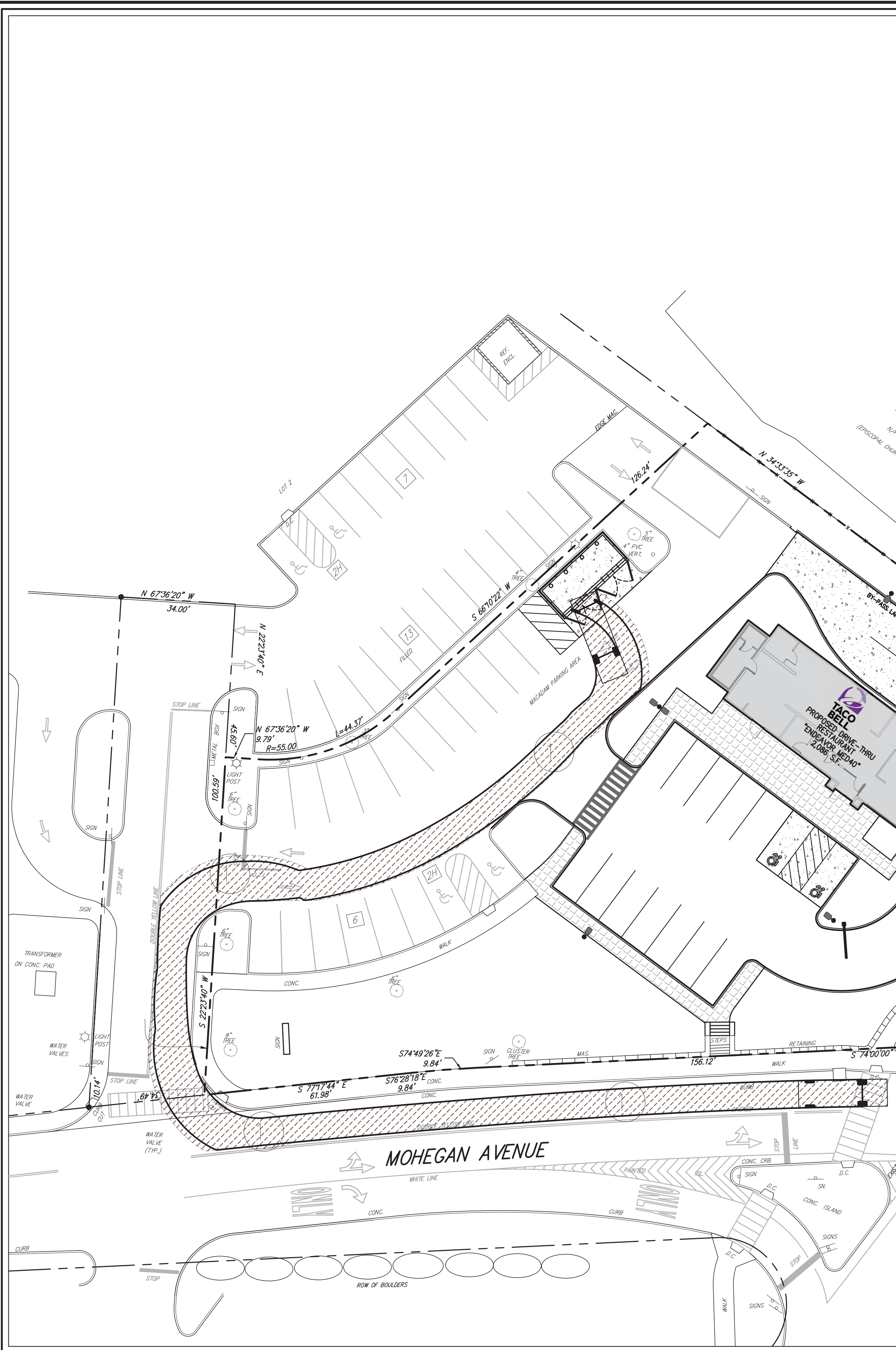
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3.	REVISED PER TOWN COMMENTS	09/20/2021	CDF

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Scale: 1" = 20'	
Date: 08/21/2020	
Project No: 20045	
2006-0E TRUCK	TRUCK.scr
Drawing No: C-110	

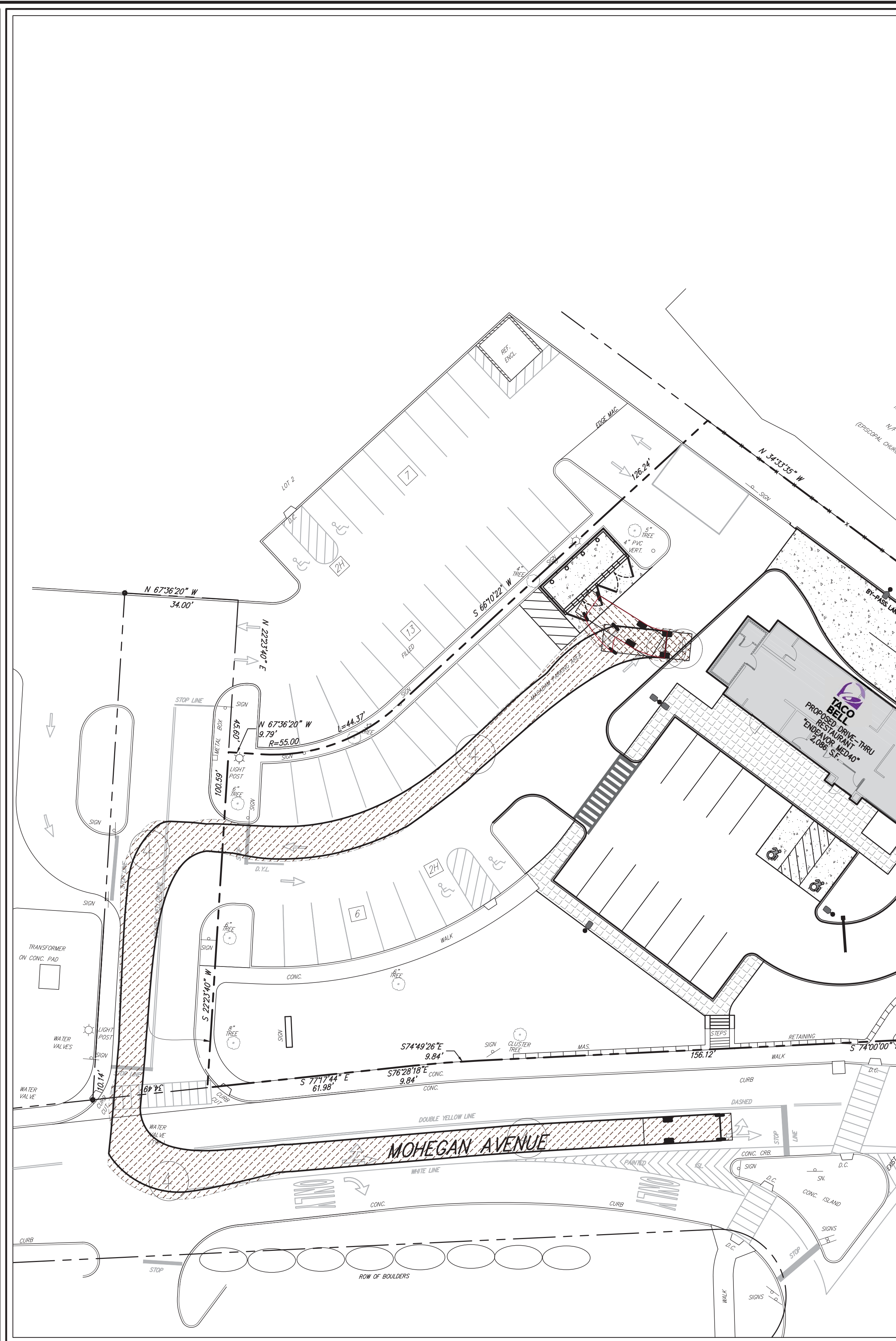
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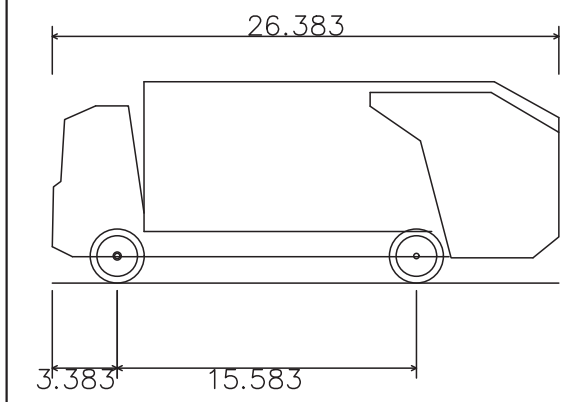
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ENTERING MOVEMENT



EXITING MOVEMENT



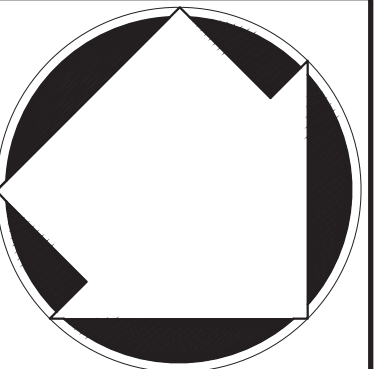
Refuse Vehicle
 Overall Length 26.383ft
 Overall Width 8.042ft
 Overall Body Height 10.488ft
 Min Body Ground Clearance 1.318ft
 Track Width 8.042ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 25.200ft

REFUSE VEHICLE PROFILE
 SCALE: N.T.S.

APPLICANT: **KEYSTONE MOHEGAN LAKE LLC**
 25 ROUTE 59
 NYACK, NY 10960

ARCHITECT: **WIENER ARCHITECTURE GROUP, LLC**
 191 CENTRAL AVENUE, SUITE 228
 NEWARK, NEW JERSEY 07103

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 John Meyer Consulting, Inc.
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REFUSE VEHICLE
 TURNING ANALYSES

PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY



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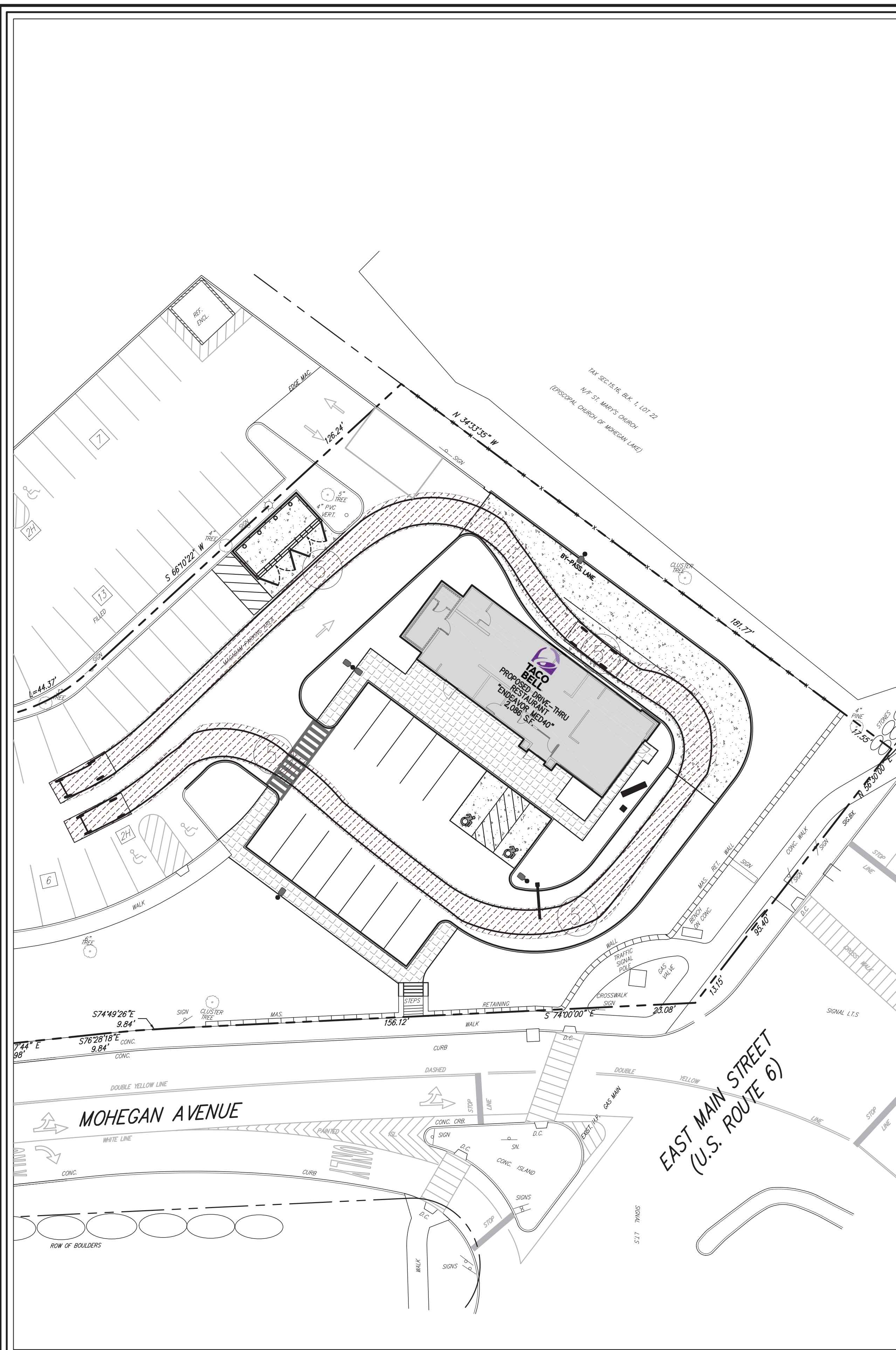
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Scale: 1" = 20'	
Date: 08/21/2020	
Project No: 20045	
2046-9E	REFUSE TRUCK.scr
Drawing No:	
C-120	

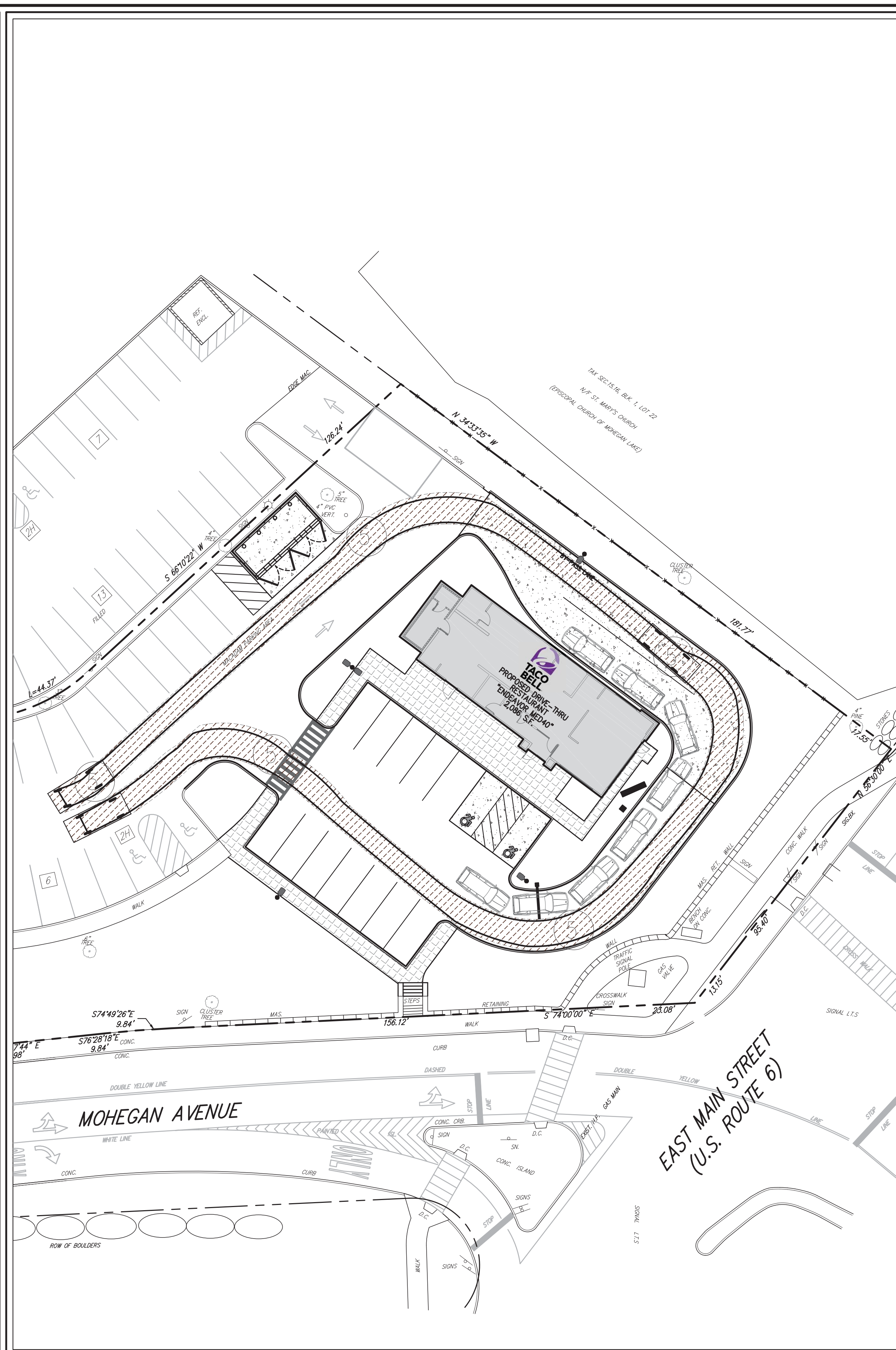
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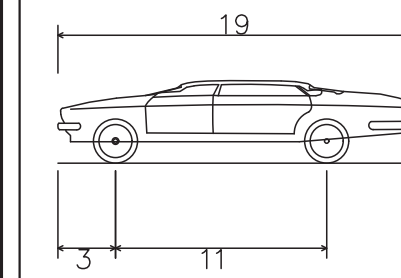
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DRIVE-THROUGH LANE



BYPASS LANE



P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	4.300ft
Overall Body Height	1.115ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	31.60°
Max Steering Angle (Virtual)	

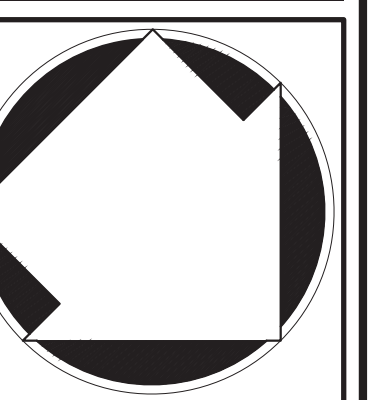
PASSENGER VEHICLE PROFILE

SCALE: N.T.S.

APPLICANT: **KEYSTONE MOHEGAN LAKE LLC**
 25 ROUTE 59
 NYACK, NY 10960

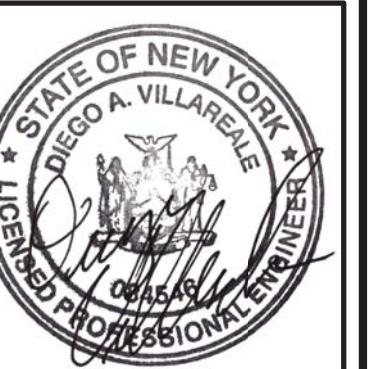
ARCHITECT: **WIENER ARCHITECTURE GROUP, LLC**
 191 CENTRAL AVENUE, SUITE 228
 NEWARK, NEW JERSEY 07103

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PASSENGER VEHICLE
 TURNING ANALYSES

PROPOSED TACO BELL RESTAURANT
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 TOWN OF YORKTOWN, NY



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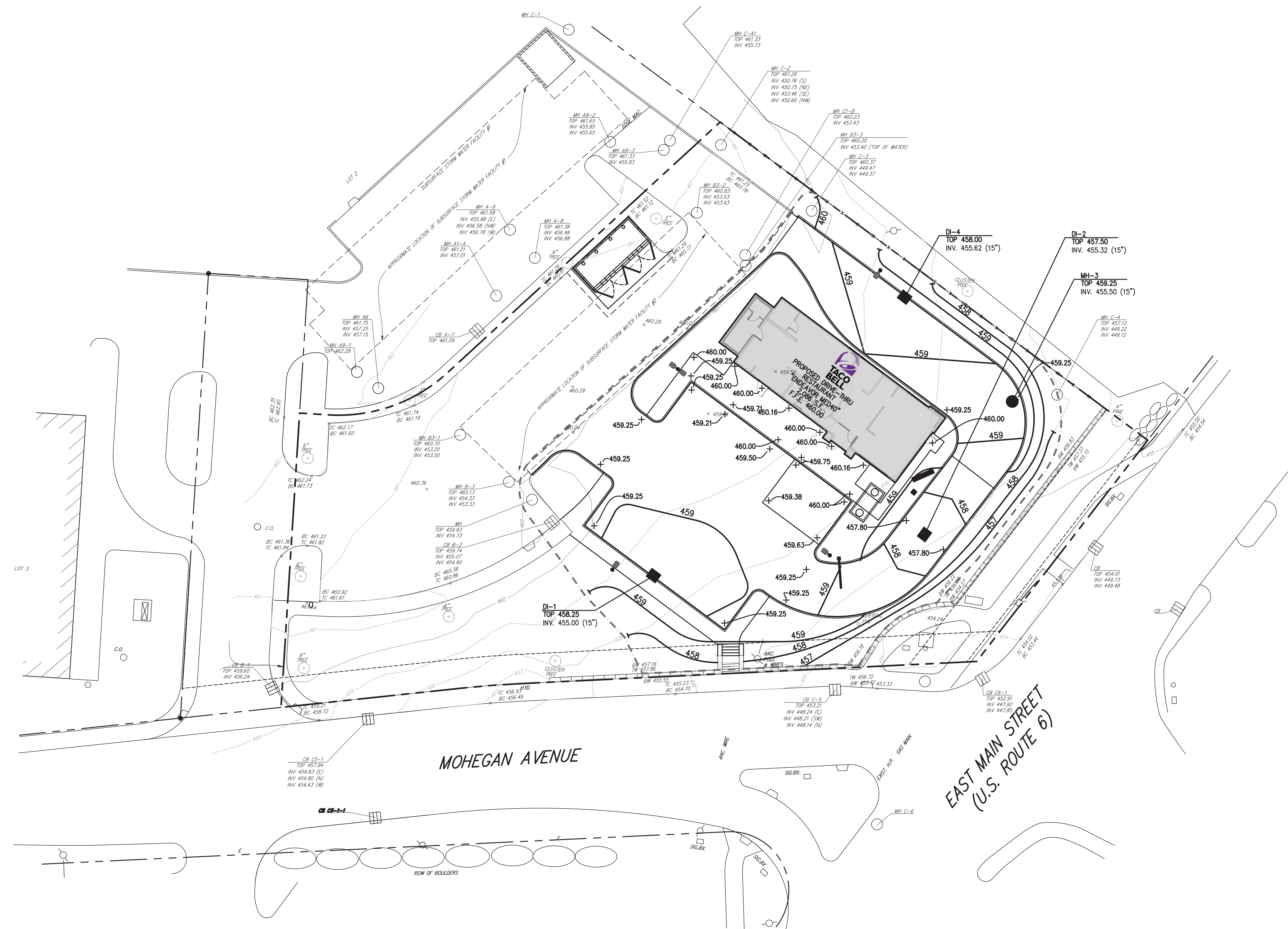
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Drawn: PD	Approved: JAR
Scale: 1" = 20'	
Date: 08/21/2020	
Project No: 20045	
2016-SE PASSENGER TRUCK.scr	
Drawing No: C-130	

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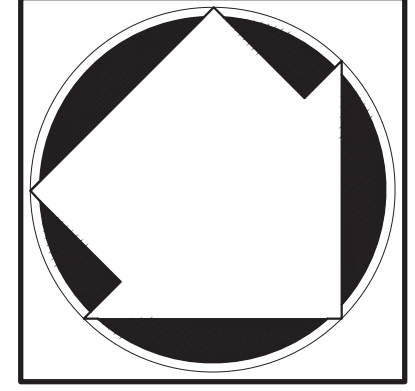
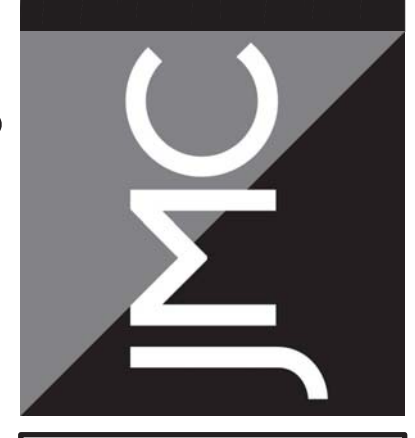
LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING PAVEMENT EDGE
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	EXISTING CONTOUR
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	EXISTING SPOT GRADE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED GREASE TRAP
	PROPOSED POLE LIGHT FIXTURE (DESIGN BY CREE LIGHTING)

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "AS-BUILT & TOPOGRAPHIC SURVEY OF PROPERTY," PREPARED BY WARD CARPENTER ENGINEERS, INC., DATED 04/27/2020, AND LAST REVISED 05/19/2020.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR SHALL REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER DIRECTION REGARDING SITE STABILIZATION THROUGHOUT THE COURSE OF CONSTRUCTION.

APPLICANT:
KEYSTONE MOHEGAN LAKE LLC
 25 ROUTE 59
 NYACK, NY 10960

ARCHITECT:
WIENER ARCHITECTURE GROUP, LLC
 191 CENTRAL AVENUE, SUITE 228
 NEWARK, NEW JERSEY 07103

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GRADING PLAN

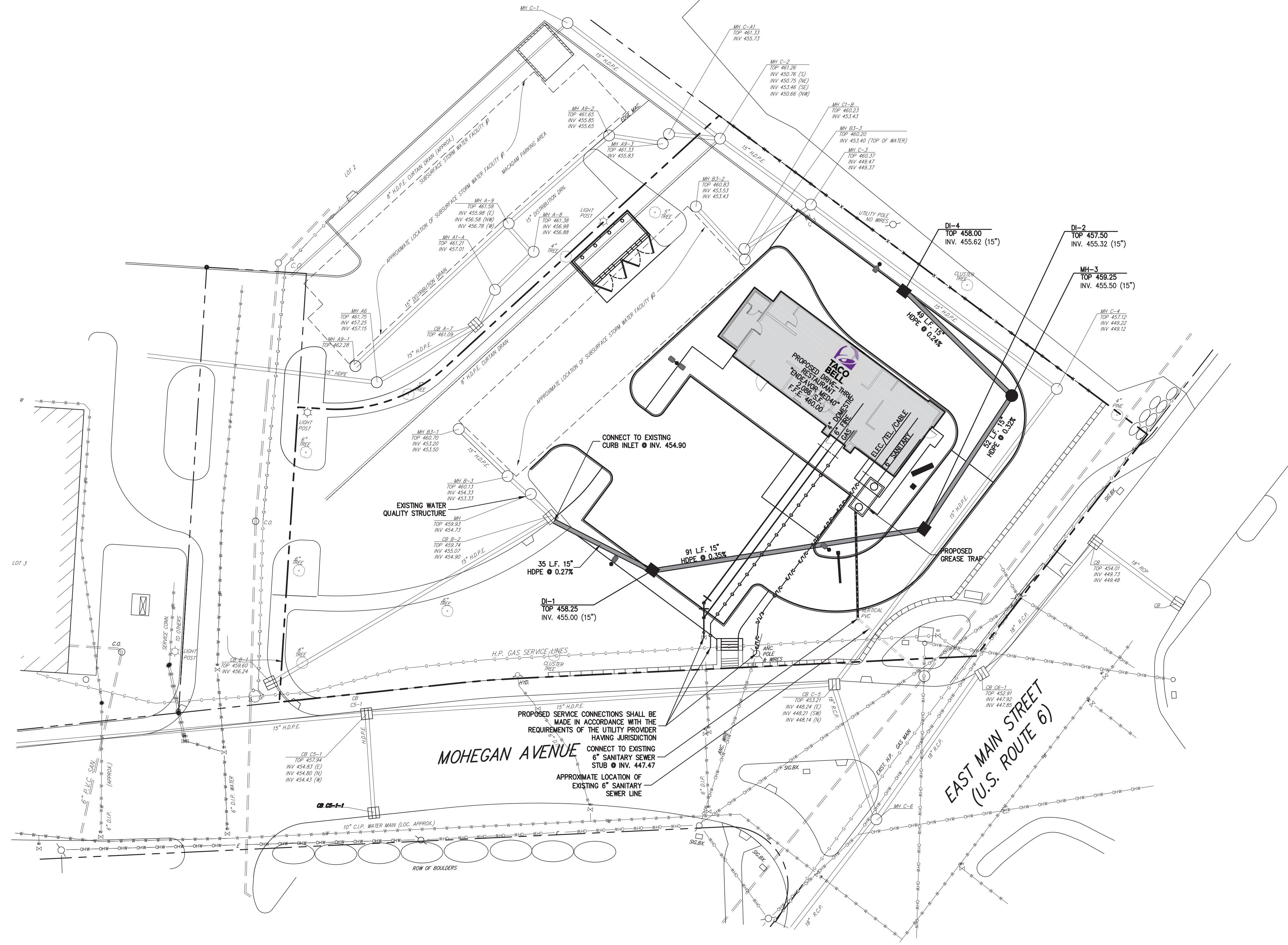
PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY



No.	Revision	Date	By
1.	ISSUED FOR PUBLIC NOTICING	10/06/2020	PD
2.	REVISED PER TOWN COMMENTS	03/12/2021	PD
3.	REVISED PER TOWN COMMENTS	09/20/2021	CDF

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 Scale: 1" = 20'
 Date: 08/21/2020
 Project No: 20045
 2046-9E GRAD GRAD.scr
 Drawing No: **C-200**

Previous Editions Obsolete



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED STORM DRAIN LINE & SIZE
	PROPOSED SANITARY SEWER LINE & SIZE
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC/TELEPHONE/CABLE

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 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

APPLICANT: **KEystone MOHEGAN LAKE LLC**
 25 ROUTE 59
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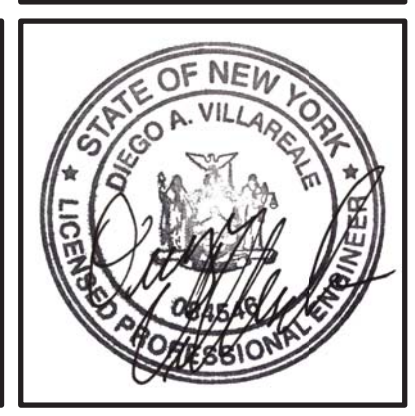
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UTILITIES PLAN

PROPOSED TACO BELL RESTAURANT
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 TOWN OF YORKTOWN, NY

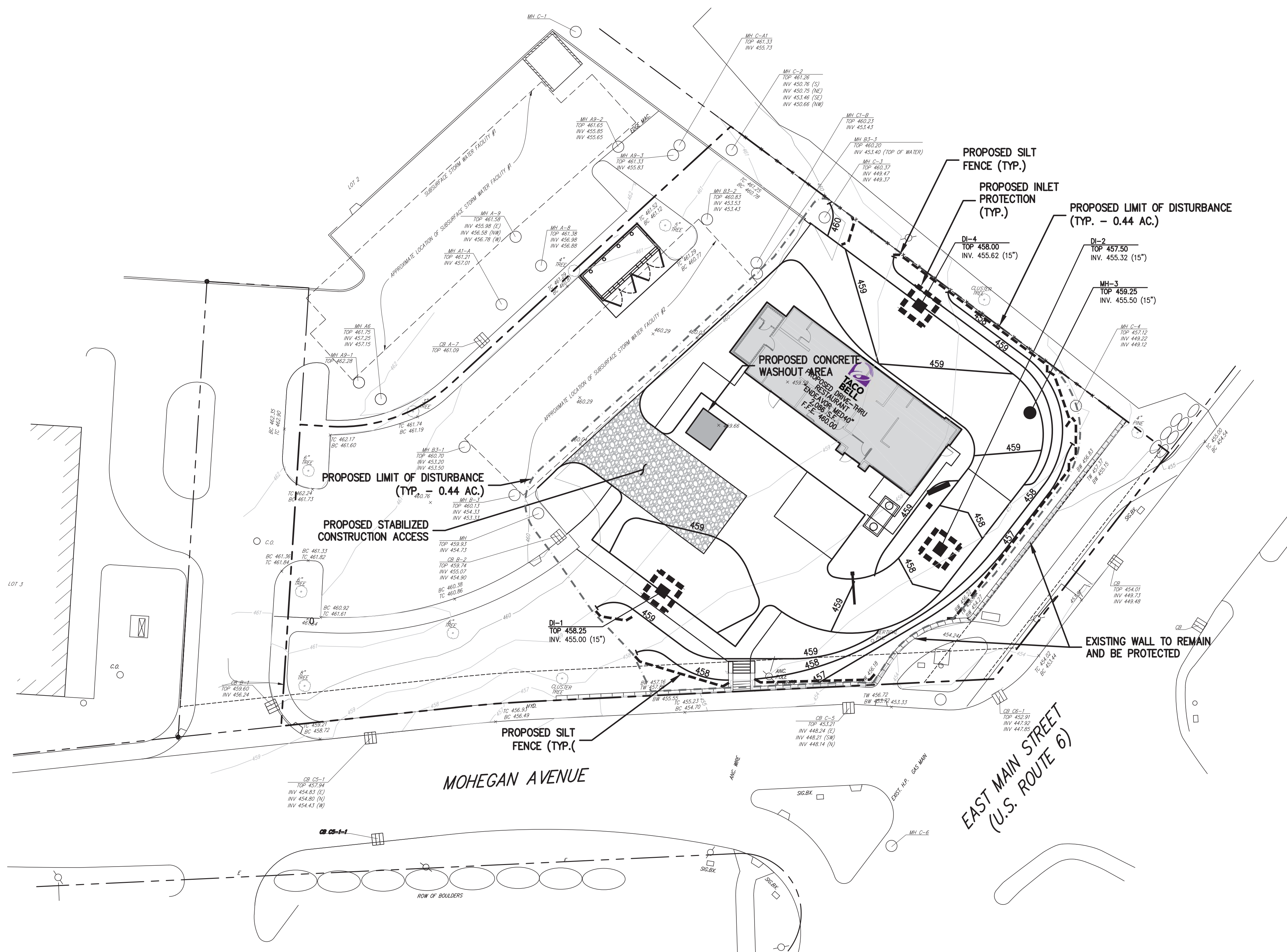


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2046-9E	UTIL
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Drawing No: C-300	

NOT FOR CONSTRUCTION

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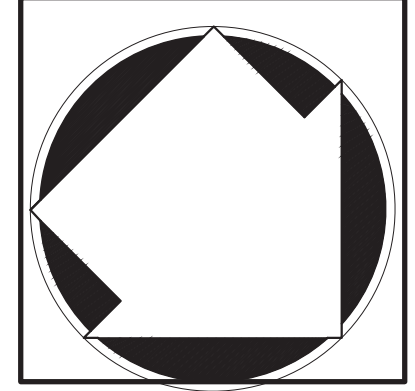
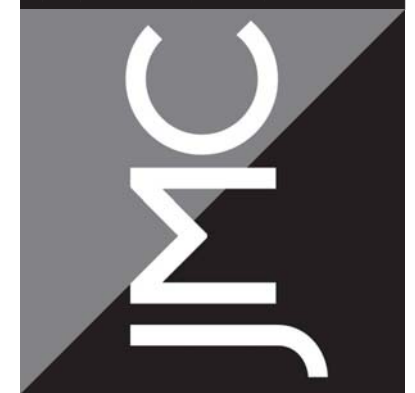
LEGEND	
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED CONCRETE WASHOUT AREA

- NOTES:**
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 - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
 - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
 - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE SPREAD ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINSTORM, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
 - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNERS REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
 - ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 303(d) SEGMENTS LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE" PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
 - SEED MIXTURE AND RATE OF APPLICATION:
 - IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET OR USE 1 POUND/1000 SQUARE FEET).
 - IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "AROSTOK" WINTER RYE (CERIAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
 - APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
 - MULCH ALL SEEDING AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
 - ALL SEEDING AREAS SHALL BE FERTILIZED, RESEEDED, AND MULCHED AS NECESSARY TO MAINTAIN MOOROUS, DENSE VEGETATIVE COVER.
 - TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.

APPLICANT: **KEYSTONE MOHEGAN LAKE LLC**
 25 ROUTE 59
 NYACK, NY 10960

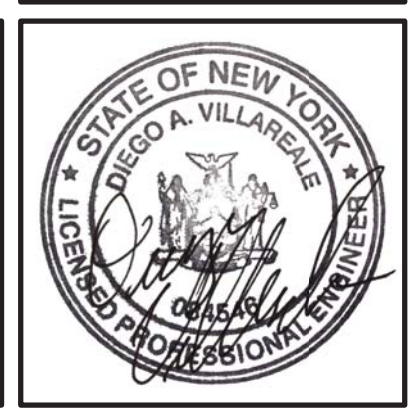
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EROSION AND SEDIMENT CONTROL PLAN

PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Revision	Date	By
1.	ISSUED FOR PUBLIC NOTICING	10/06/2020	PD
2.	REVISED PER TOWN COMMENTS	03/12/2021	PD
3.	REVISED PER TOWN COMMENTS	09/20/2021	CDF

Drawn: PD Approved: JAR
 Scale: 1" = 20'
 Date: 08/21/2020
 Project No: 20045
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 Drawing No: **C-400**
 Previous Editions Obsolete

PERSPECTIVE VIEW

SECTION

SLOPE	STEEPNESS	SLOPE LENGTH/FENCE LENGTH (FT.)
2-10%	50:1 TO 10:1	250/2000
10-20%	10:1 TO 5:1	150/1000
20-33%	5:1 TO 3:1	80/750
33-50%	3:1 TO 2:1	70/750
>50%	>2:1	30/175

NOTES:

- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
- FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABURKA T140N, OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SECTION A-A

PLAN VIEW

NOTES:

- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SECTION A-A

NOTES:

- INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
- INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
- LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
- WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

SECTION A-A

NOTES:

- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
- MATERIAL AND MIX/ITEM NUMBERS REFER TO:

NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

- 1 1/2" TOP COURSE MATERIAL: ASPHALT CONCRETE, TYPE 6F MIX/ITEM: NYS DOT ITEM 403.17
- 2 1/2" BINDER COURSE MATERIAL: ASPHALT CONCRETE, TYPE 3 MIX/ITEM: NYS DOT ITEM 403.13
- 6" BASE/SUBBASE COURSE MATERIAL: SUBBASE COURSE, TYPE 1 MIX/ITEM: NYS DOT ITEM 304.11

SECTION A-A

NOTES:

- PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20' INTERVALS, UNLESS OTHERWISE DIRECTED.
- REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
- REINFORCING SHALL NOT BE PLACED CLOSER THAN 2" FROM ANY EDGE OF CONCRETE.

SECTION A-A

NOTES:

- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
- FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3' MIN. WIDTH CLEAR FROM BACK OF CURBING.
- PROVIDE JOINT SEALER & PREMOLDED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.)
- SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
- PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20 FOOT INTERVALS UNLESS OTHERWISE DIRECTED.
- REINFORCEMENT SHALL NOT EXTEND THROUGH EXPANSION JOINTS.

SECTION A-A

NOTES:

- RAMPS SHALL HAVE CAST IN PLACE DETECTABLE/ACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
- DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
- 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
- RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- WHEN LANDING OF RAMP ADJOINS A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
 - MANUAL SWING DOORS = 60" MIN.
 - FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.
- CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

PLAN

ELEVATION

SECTION A-A

NOTES:

- RAMPS SHALL HAVE CAST IN PLACE DETECTABLE/ACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
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- CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.

CONCRETE PAVEMENT **5**

MONOLITHIC CONCRETE CURB AND SIDEWALK **6**

CAST-IN-PLACE CONCRETE CURB **7**

DROP CURB & RAMP **8**

SILT FENCE **1**

STABILIZED CONSTRUCTION ACCESS **2**

TEMPORARY CHAIN LINK CONSTRUCTION FENCE **3**

ASPHALT PAVEMENT **4**

Date: 10/06/2020
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1. ISSUED FOR PUBLIC NOTICING
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 3. REVISED PER TOWN COMMENTS

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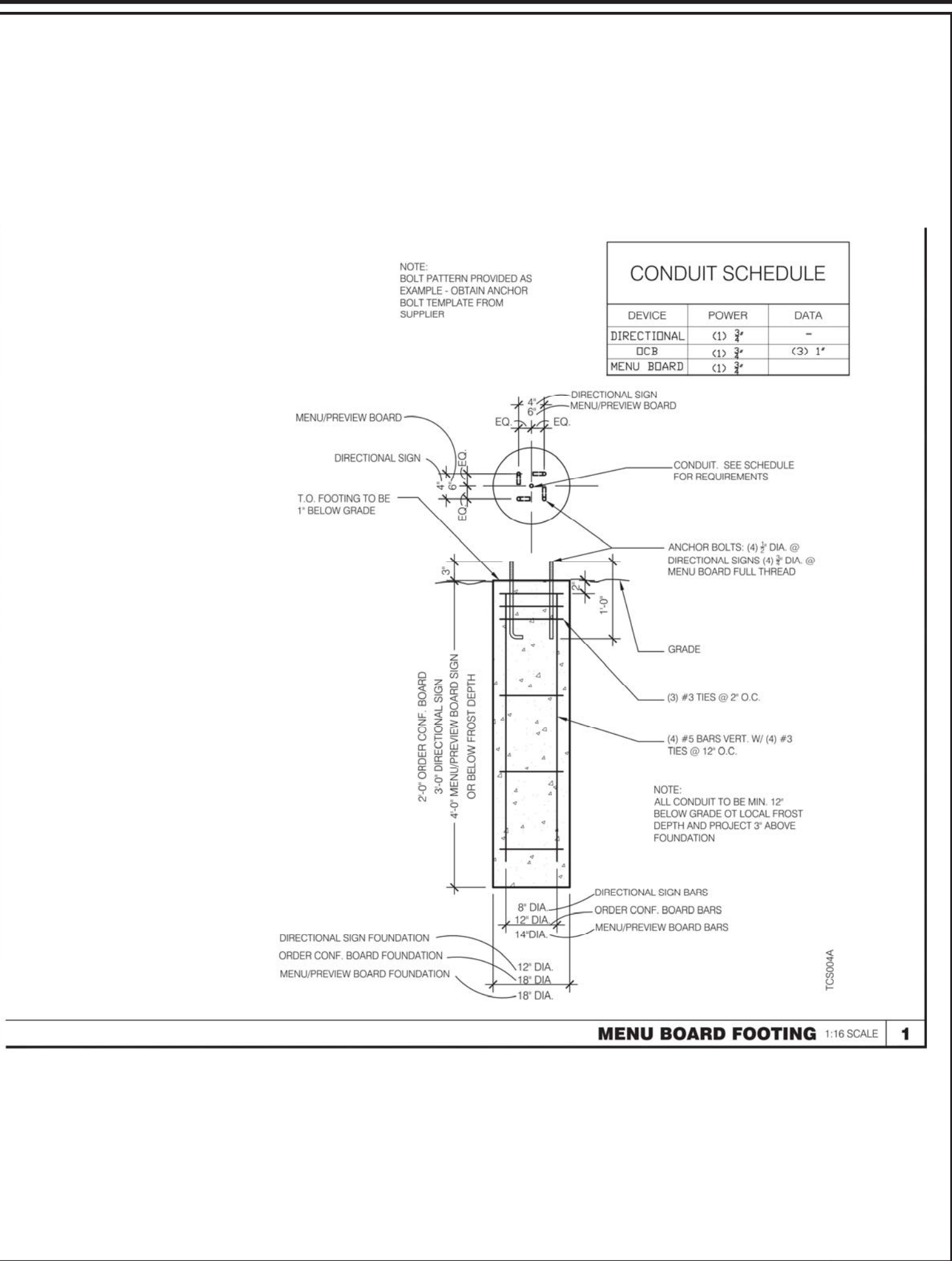
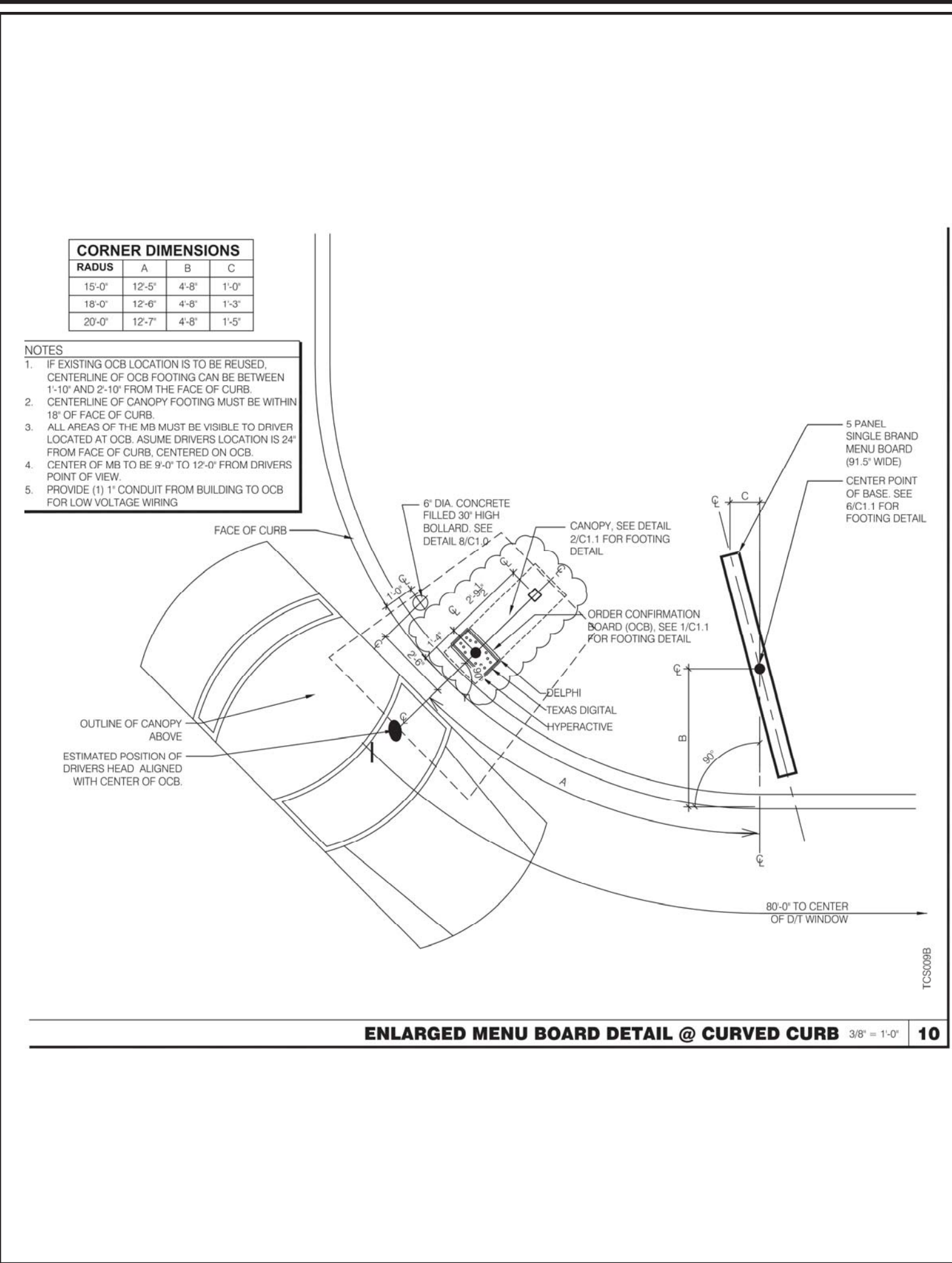
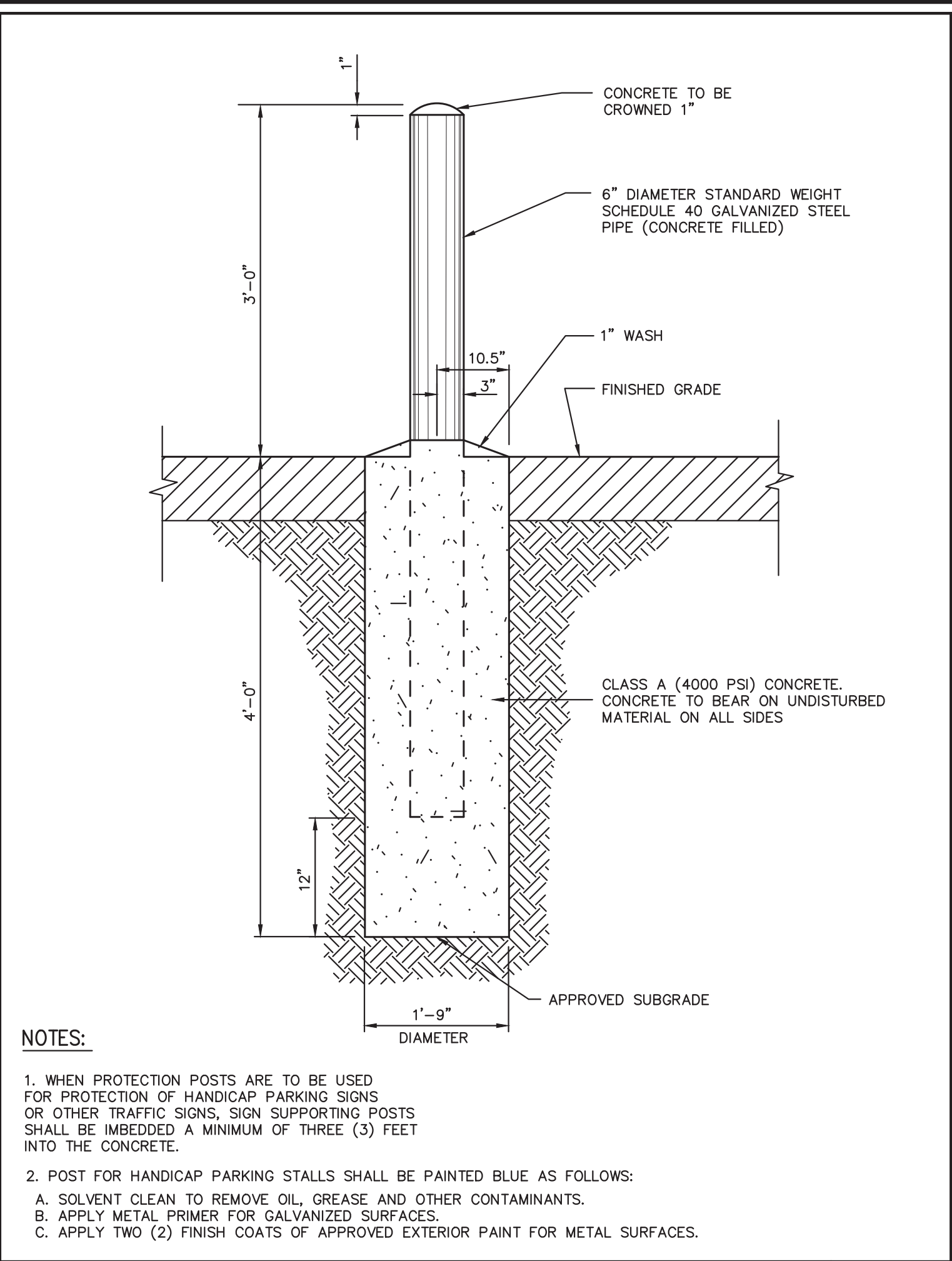
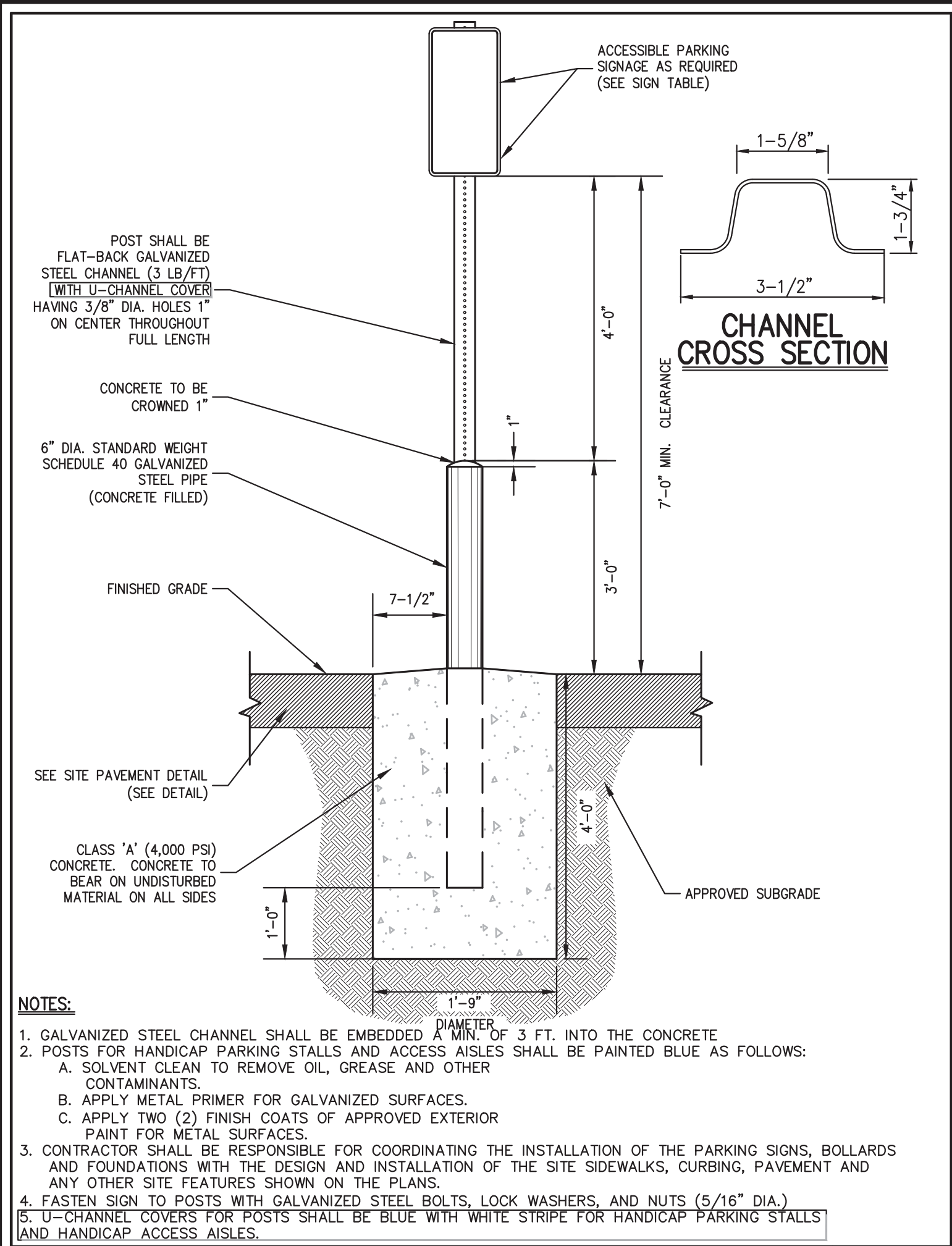
CONSTRUCTION DETAILS

PROPOSED TACO BELL RESTAURANT
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 TOWN OF YORKTOWN, NY

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C-900

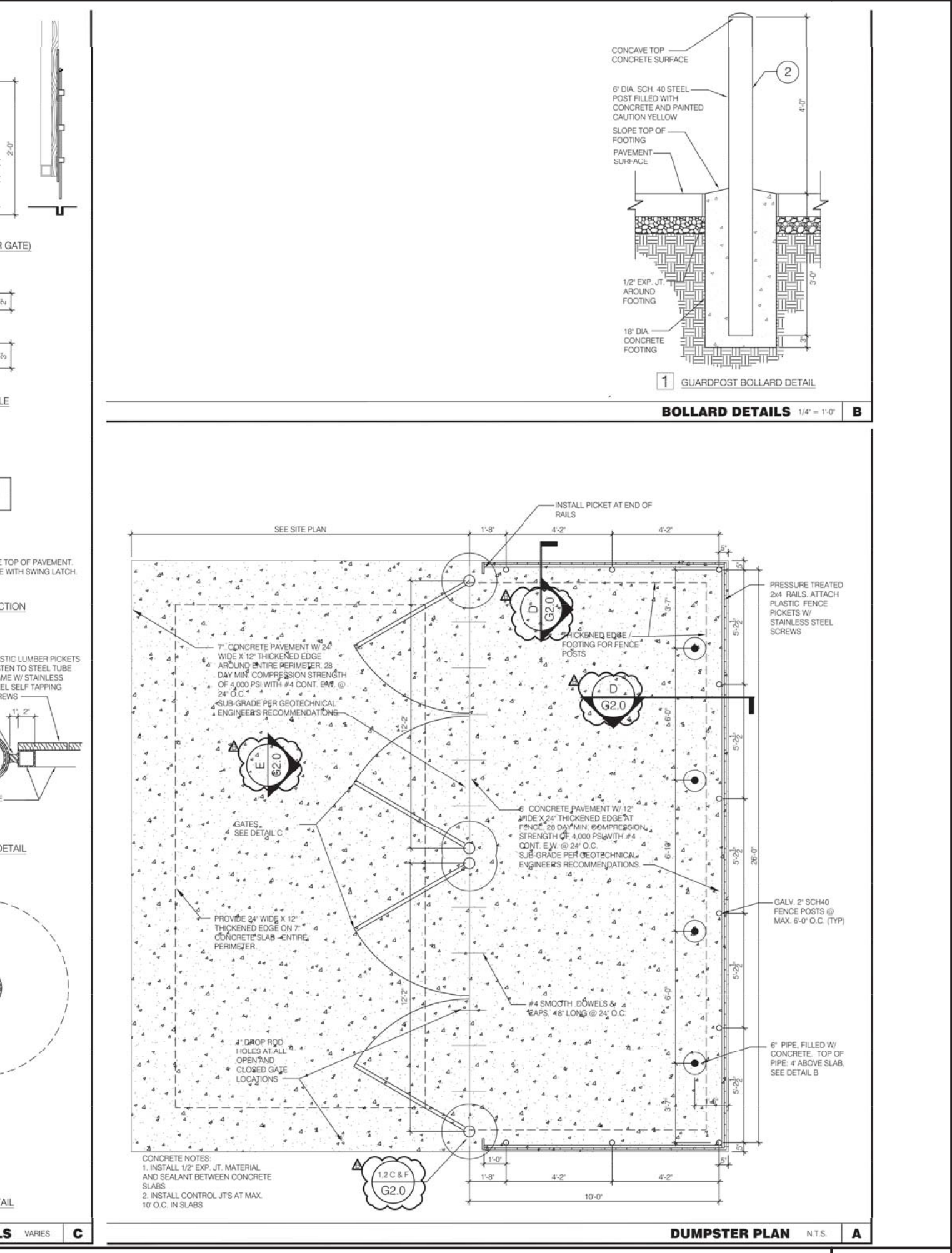
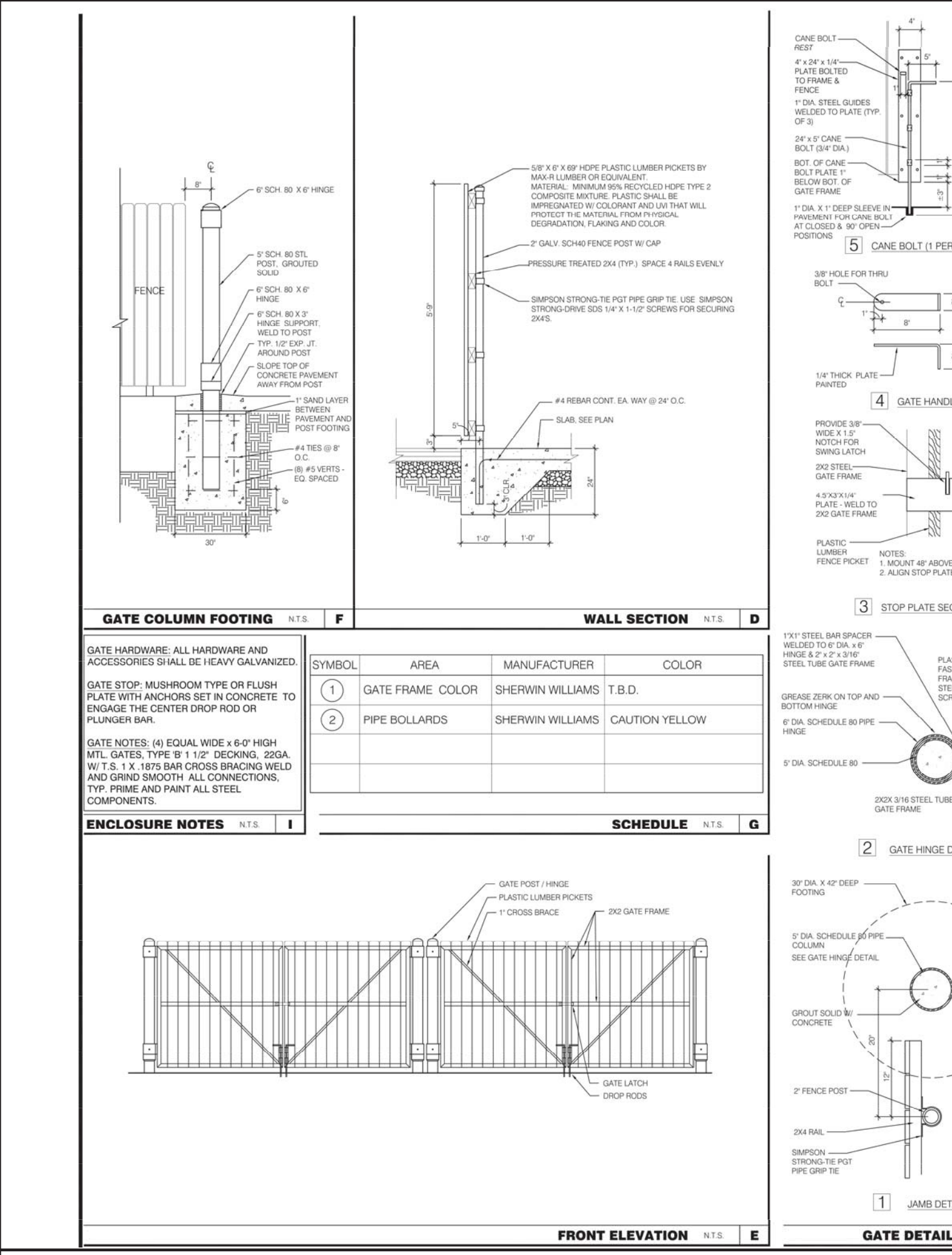
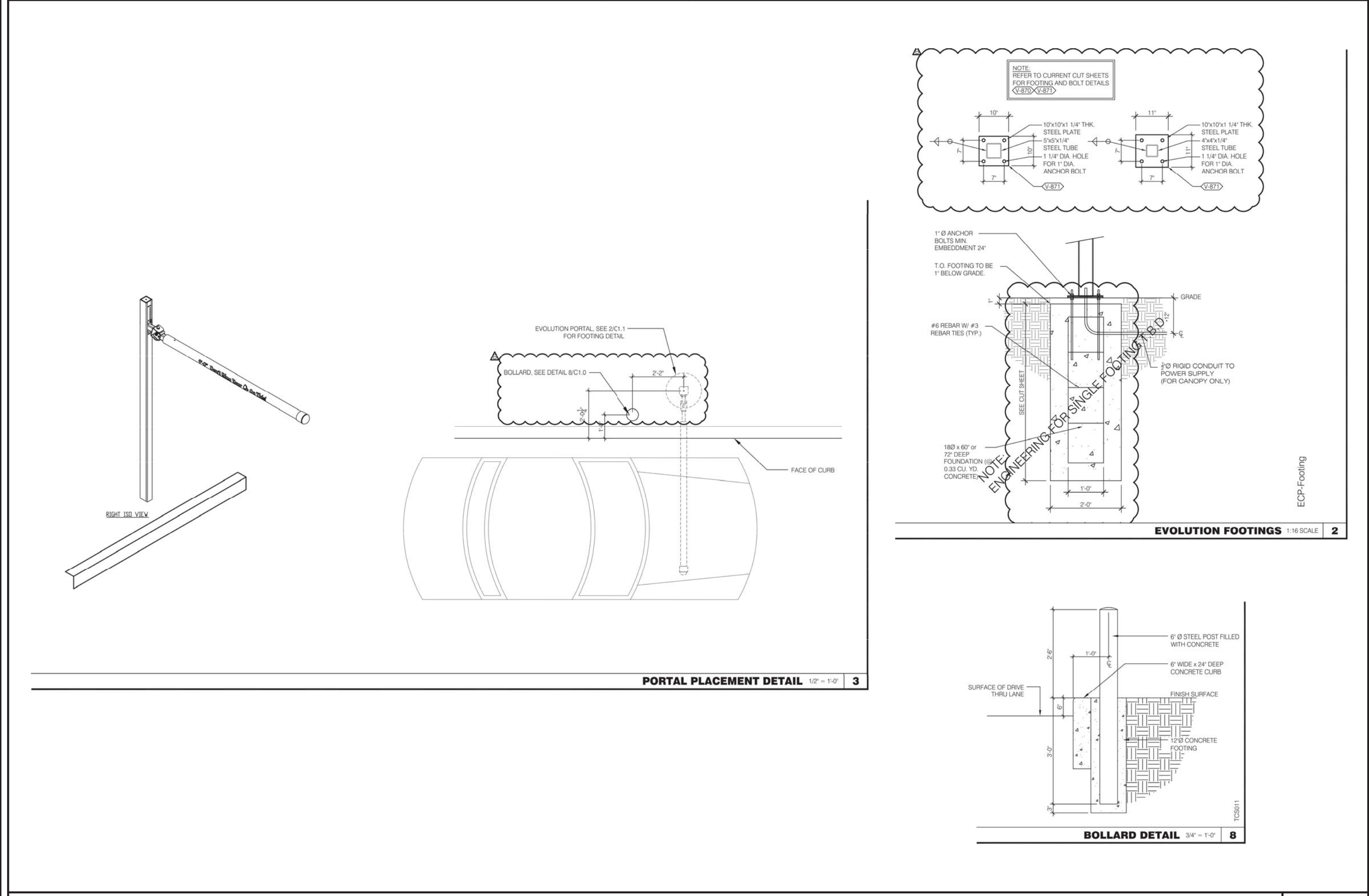


ACCESSIBLE PARKING SIGN DETAIL 9

STEEL PIPE PROTECTION POST 10

TACO BELL MENU BOARD (FOR INFORMATION ONLY - TO BE DETAILED AND SPECIFIED BY OTHERS)

11



TACO BELL CLEARANCE BAR (FOR INFORMATION ONLY - TO BE DETAILED AND SPECIFIED BY OTHERS) 12

TACO BELL TRASH ENCLOSURE

13

Date: 10/06/2020
 Revision: 03/12/2021
 09/20/2021

ISSUED FOR PUBLIC NOTICING
 REVISED PER TOWN COMMENTS
 REVISED PER TOWN COMMENTS

No. 1. 2. 3.

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcplic.com

Previous Editions Obsolete

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CONSTRUCTION DETAILS

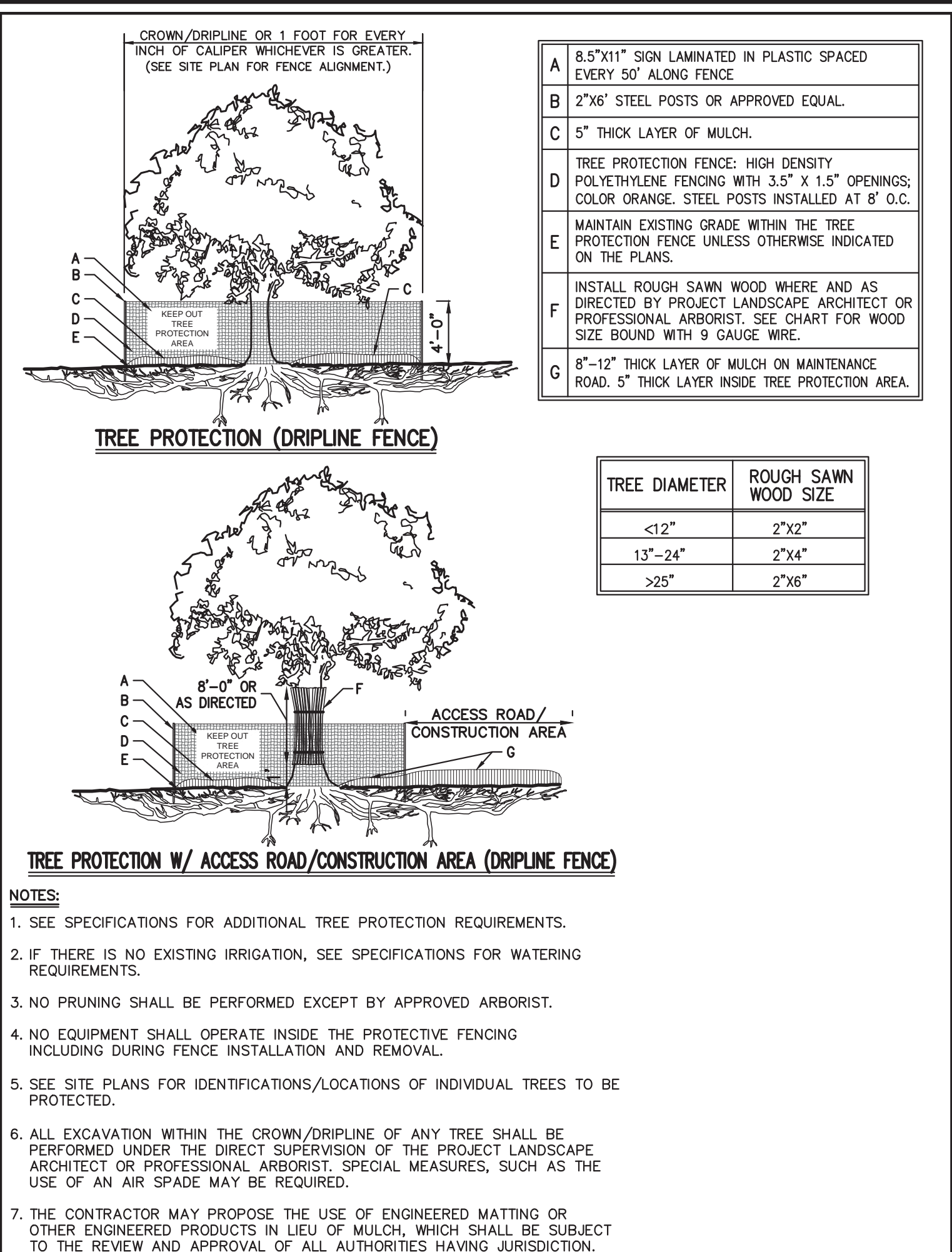
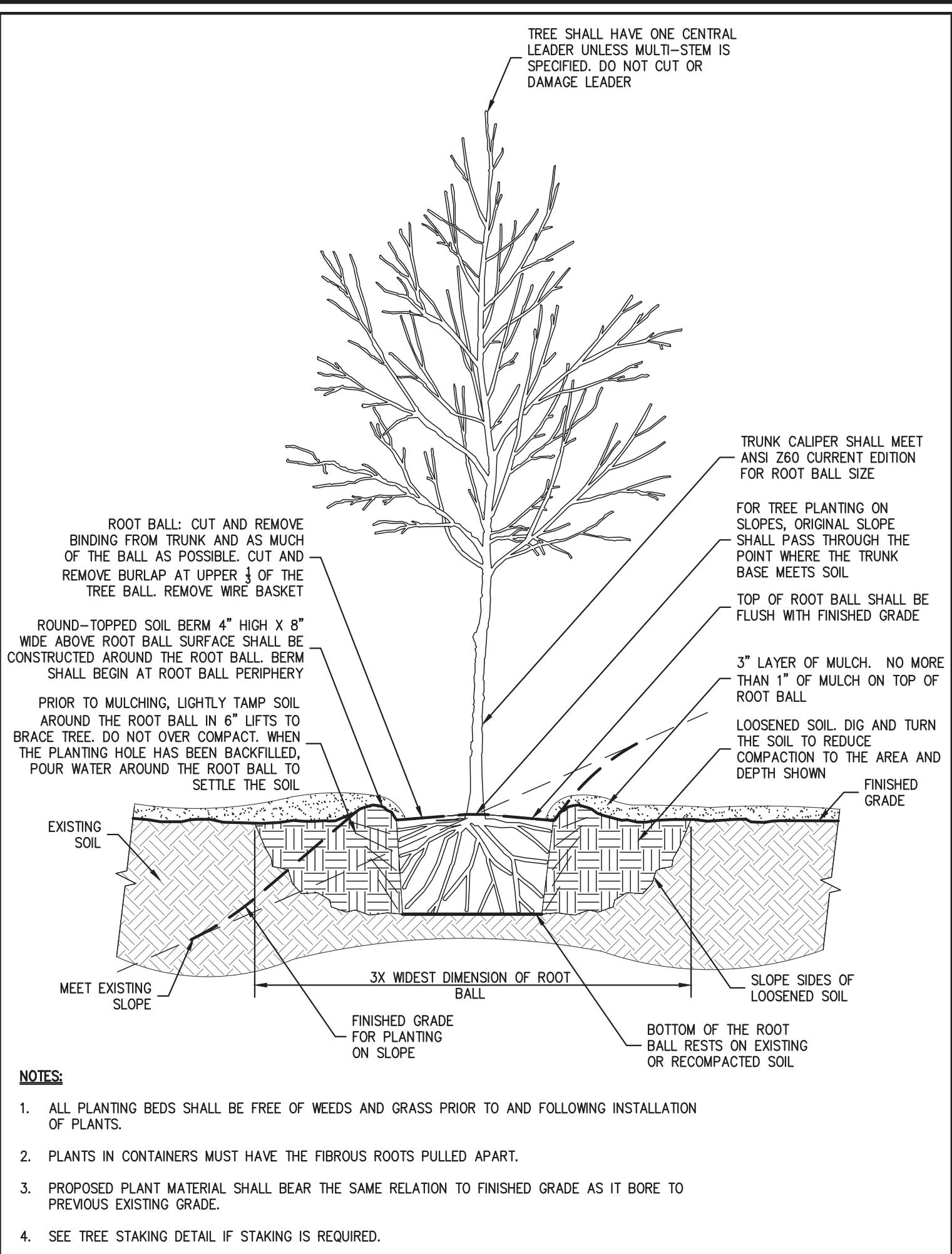
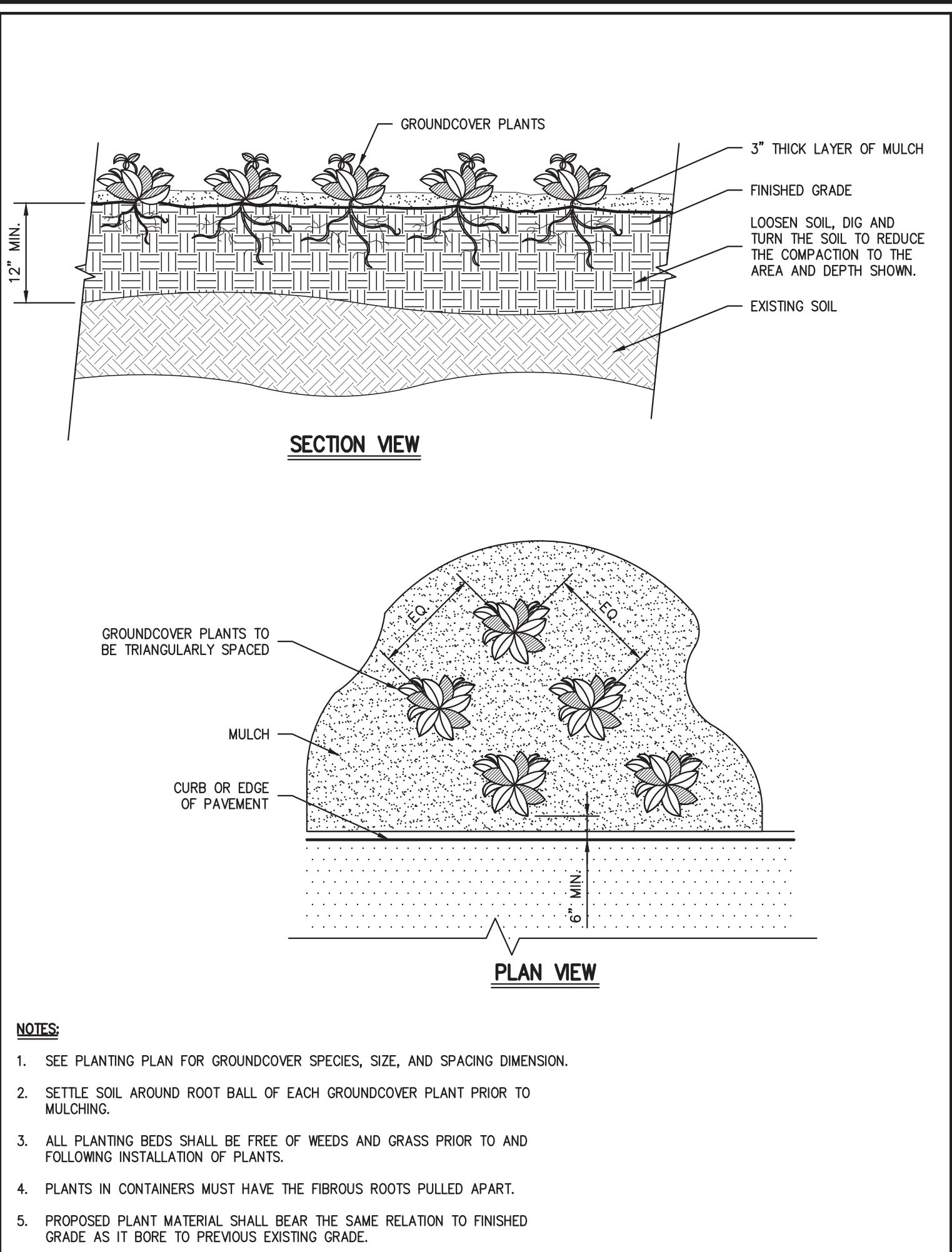
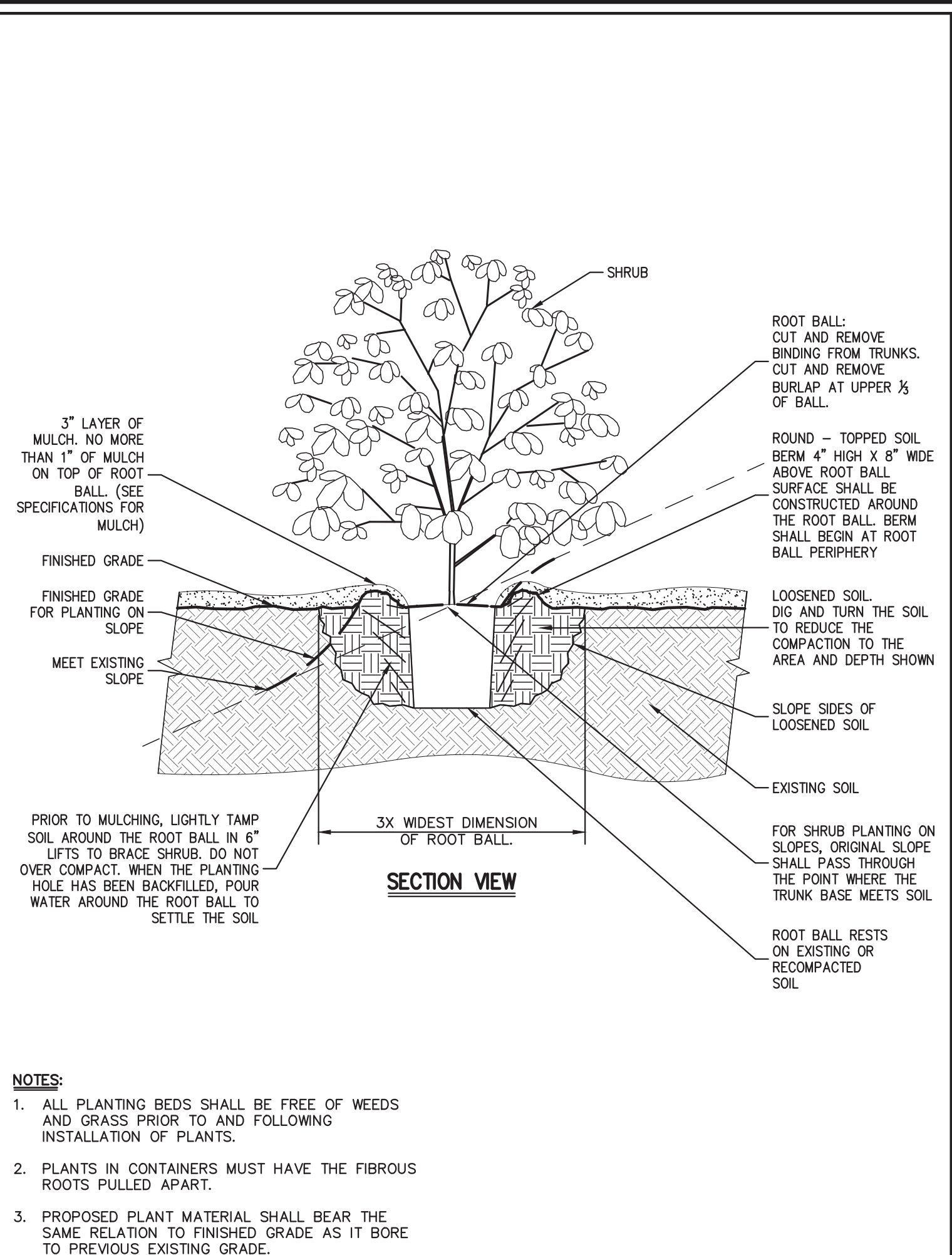
PROPOSED TACO BELL RESTAURANT
 3571 MCHEGAN AVENUE
 TOWN OF YORKTOWN, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: PD Approved: JAR
 Scale: NOT TO SCALE
 Date: 08/21/2020
 Project No: 20045
 2005-BEIMS C-901
 Drawing No: C-901

STATE OF NEW YORK
 DIEGO A. VILLAREJO
 LICENSED PROFESSIONAL ENGINEER

NOT FOR CONSTRUCTION



SHRUB PLANTING

14

GROUNDCOVER PLANTING

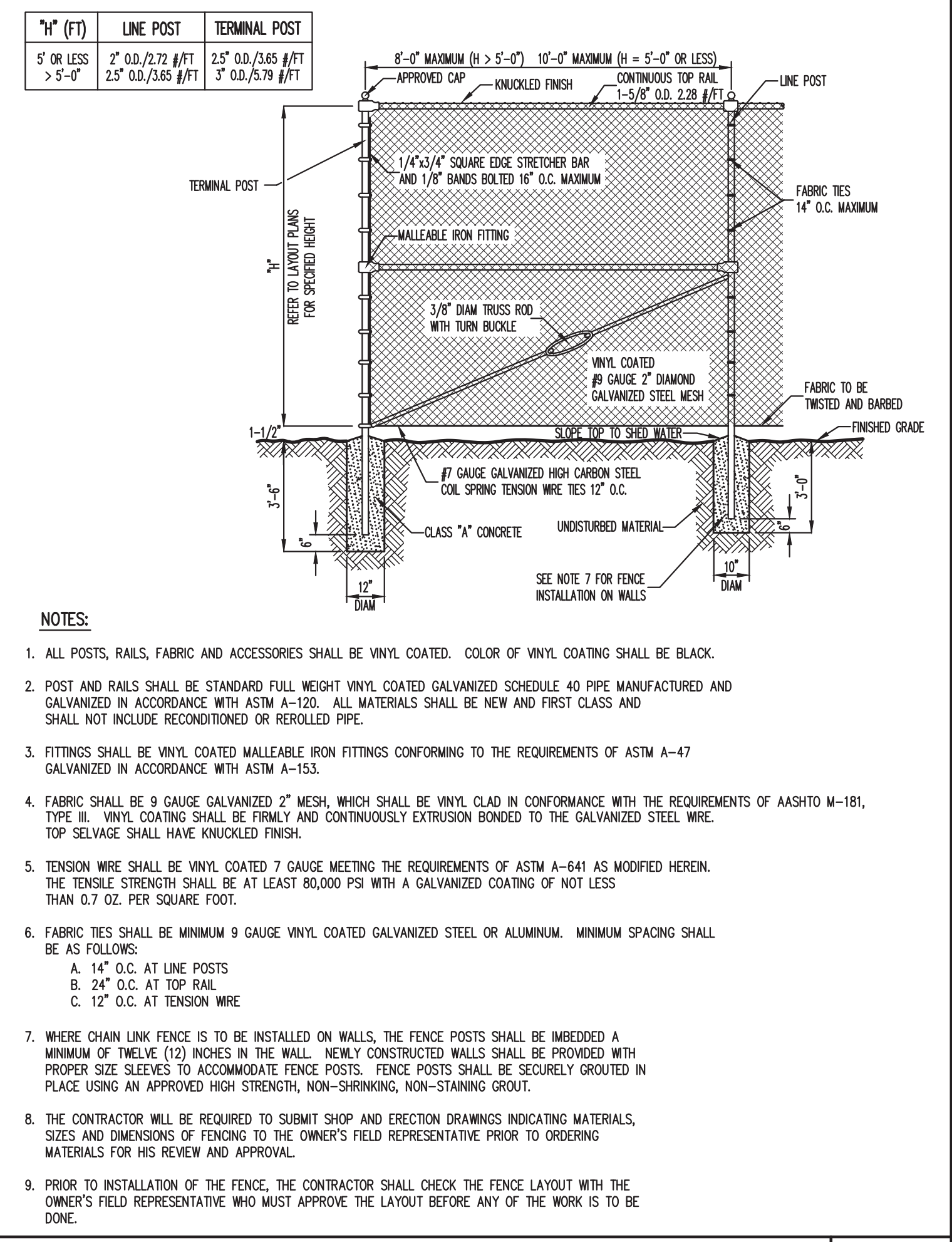
15

TREE PLANTING

16

TREE PROTECTION

17



CHAIN LINK FENCE
(VINYL COATED)

X

X

X

X

Date: 10/06/2020
 Revision: 03/12/2021
 ISSUED FOR PUBLIC NOTICING
 REVISED PER TOWN COMMENTS
 09/29/2021

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CONSTRUCTION DETAILS

PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY

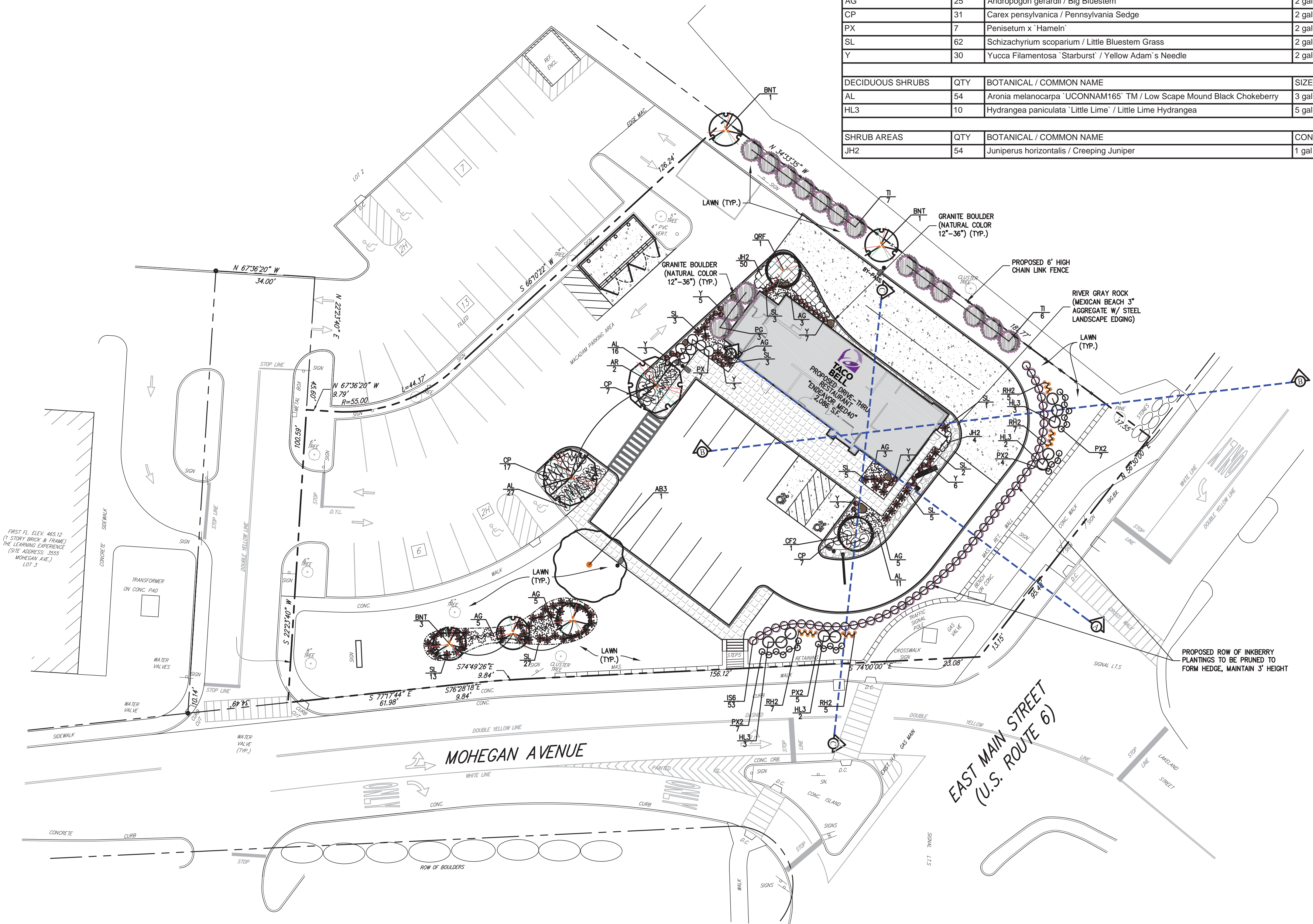
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 Project No: 20045
 2005-BEIMS C-902
 Drawing No: C-902

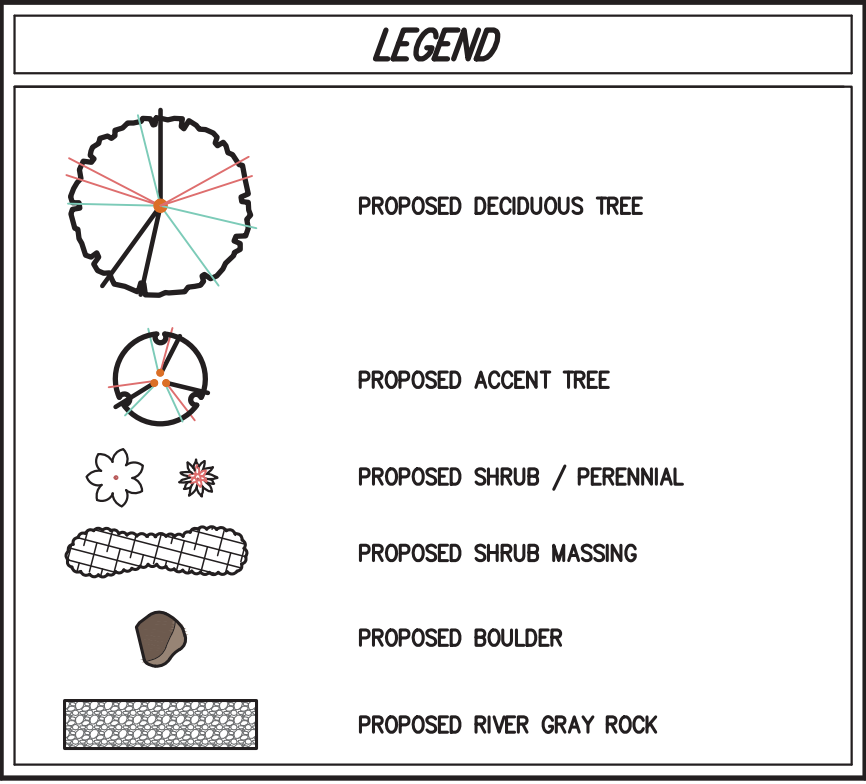
C-902

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TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
AB3	1	Acer rubrum 'Brandywine' / Brandywine Red Maple	15 gal		
EVERGREEN TREES					
PG	3	Picea glauca / White Spruce	8' - 10' HT.	B & B	
TI	13	Thuja x 'Green Giant' / Green Giant Arborvitae	8' - 10' HT.	B & B	
DECIDUOUS TREES					
AR	2	Acer Rubrum 'Red Sunset' / Red Maple	3' - 3 1/2" Cal.	B & B	
BNT	5	Betula Nigra 'Heritage' / Heritage River Birch	7' - 8' HT.	B & B	
CF2	1	Cornus florida / Eastern Dogwood	8' - 10' HT	B & B	
QRF	1	Quercus Robur 'Fastigiata' / Pyramidal English Oak	3' - 3 1/2" Cal.	B & B	
SHRUBS					
IS6	53	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	5 gal		
PX2	23	Pennisetum x 'Fox Trot' / Evergreen Fountain Grass	5 gal		
RH2	24	Rudbeckia hirta / Black-eyed Susan	2 gal		
PERENNIALS/GRASSES					
AG	25	Andropogon gerardii / Big Bluestem	2 gal.	Cont.	
CP	31	Carex pensylvanica / Pennsylvania Sedge	2 gal.		
PX	7	Pennisetum x 'Hameln'	2 gal.		
SL	62	Schizachyrium scoparium / Little Bluestem Grass	2 gal.	Cont.	
Y	30	Yucca Filamentosa 'Starburst' / Yellow Adam's Needle	2 gal.	Cont.	
DECIDUOUS SHRUBS					
AL	54	Aronia melanocarpa 'UCONNAM165' TM / Low Scape Mound Black Chokeberry	3 gal		
HL3	10	Hydrangea paniculata 'Little Lime' / Little Lime Hydrangea	5 gal		
SHRUB AREAS					
JH2	54	Juniperus horizontalis / Creeping Juniper	1 gal	Cont.	



- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK. PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
 - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 - ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BARERoot STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

FOUR SEASON LANDSCAPING MAINTENANCE SCHEDULE:

- SPRING:** GENERAL CLEANUP AND MAINTENANCE TO BE PERFORMED AROUND THE ENTIRE PROPERTY. PRUNE AND MAINTAIN TREES AND SHRUBS AS REQUIRED TO MAINTAIN THE NATURAL PLANT APPEARANCE. ALL FALLEN AND DEAD BRANCHES ARE TO BE REMOVED. ANY DEAD PLANTS ARE TO BE REPLACED. FERTILIZER IS TO BE USED ON THE TREES (ERICACEOUS FERTILIZER ON ALL AZALEAS). SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS. WEED KILLER TO BE USED ON LAWN AS A PRE-EMPTIVE EFFORT TO PREVENT GROWTH.
- SUMMER:** LAWN IS TO BE MOWED AS REQUIRED TO MAINTAIN A GRASS HEIGHT OF 3 INCHES. ALL FALLEN OR DEAD BRANCHED TO BE REMOVED AS REQUIRED. ANY DEAD PLANTS ARE TO BE REPLACED. ALL OPEN LAWN AREAS ARE TO BE WATERED AS CONDITIONS DICTATE THROUGHOUT THE SEASON.
- FALL:** GENERAL CLEANUP AROUND PROPERTY TO BE CONDUCTED AS REQUIRED. LEAVES AND BRANCHES ARE TO BE CLEARED FROM ALL OPEN LAWN AREAS. ALL BARE SPOTS ON THE LAWN ARE TO BE FERTILIZED AND RESEED AS NECESSARY. SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS.
- WINTER:** GENERAL CLEANUP AND MAINTENANCE AROUND PROPERTY TO BE PERFORMED AS NECESSARY. ANY AND ALL DEAD OR FALLEN BRANCHES TO BE REMOVED FROM LAWN.

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No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	09/30/2020	PD
2.	ISSUED FOR PUBLIC NOTICING	10/06/2020	PD
3.	REVISED PER TOWN COMMENTS	02/19/2021	PD
4.	REVISED PER TOWN COMMENTS	03/12/2021	PD
5.	REVISED PER TOWN COMMENTS	09/20/2021	PDF

APPLICANT: **KEYSTONE MOHEGAN LAKE LLC**
25 ROUTE 59
NYACK, NY 10960

ARCHITECT: **WIENER ARCHITECTURE GROUP, LLC**
191 CENTRAL AVENUE, SUITE 228
NEWARK, NEW JERSEY 07103

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LANDSCAPING PLAN

PROPOSED TACO BELL RESTAURANT
3571 MOHEGAN AVENUE
TOWN OF YORKTOWN, NY

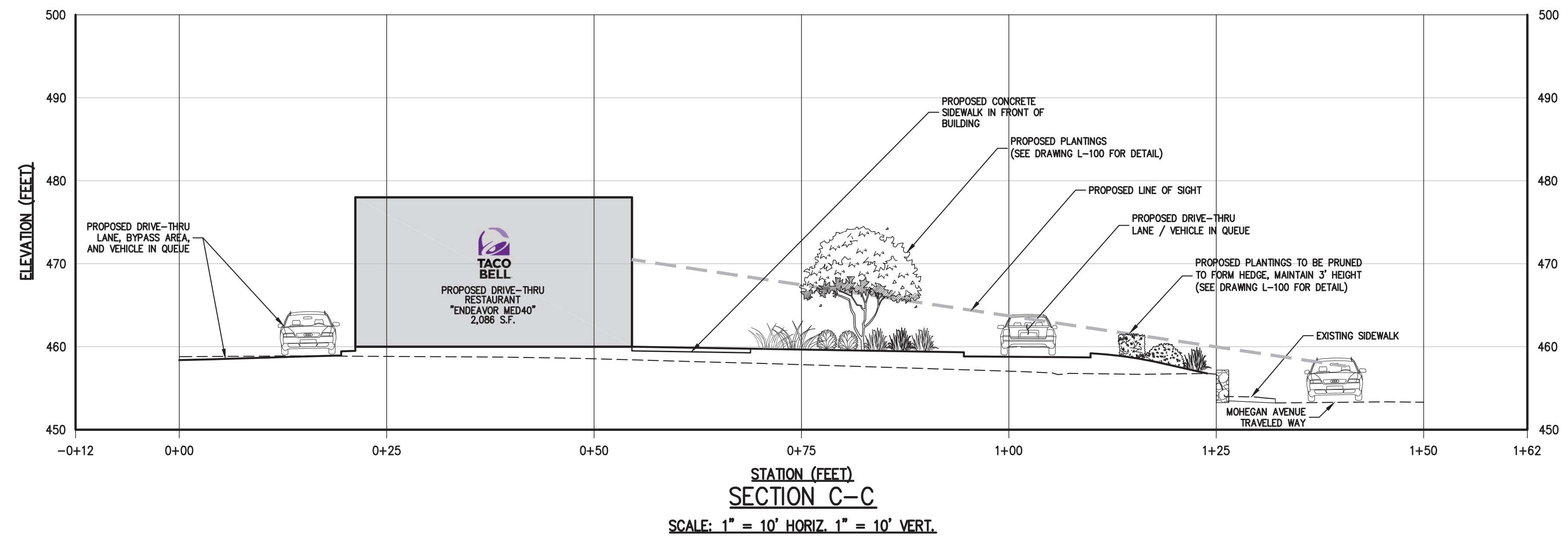
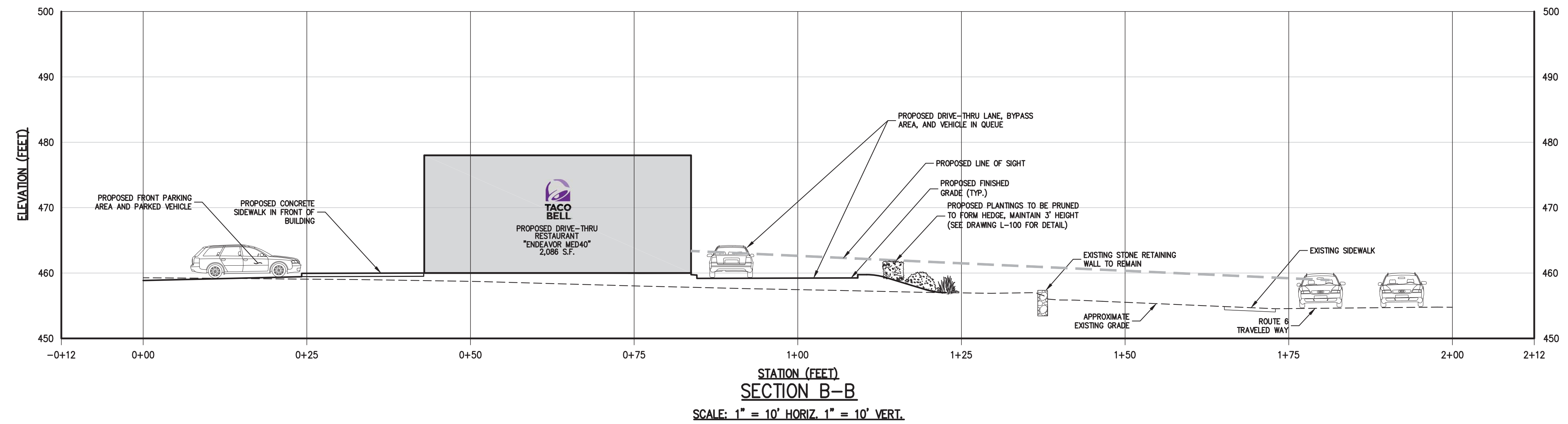


Drawn: PD	Approved: JAR
Date: 08/21/2020	Scale: 1" = 20'
Project No: 20045	
2005-LND	LND
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Drawing No:	L-100

Previous Editions Obsolete

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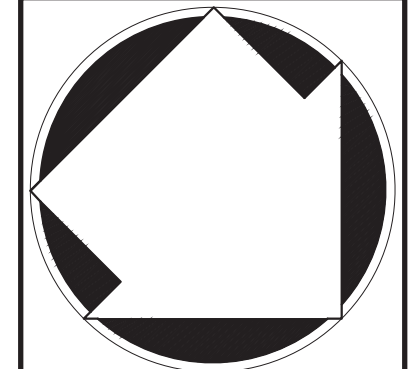
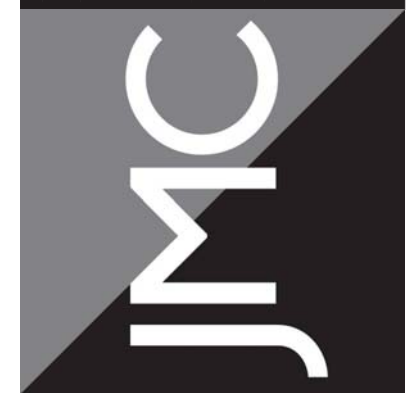
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 ARCHITECT: **WIENER ARCHITECTURE GROUP, LLC**
 191 CENTRAL AVENUE, SUITE 228
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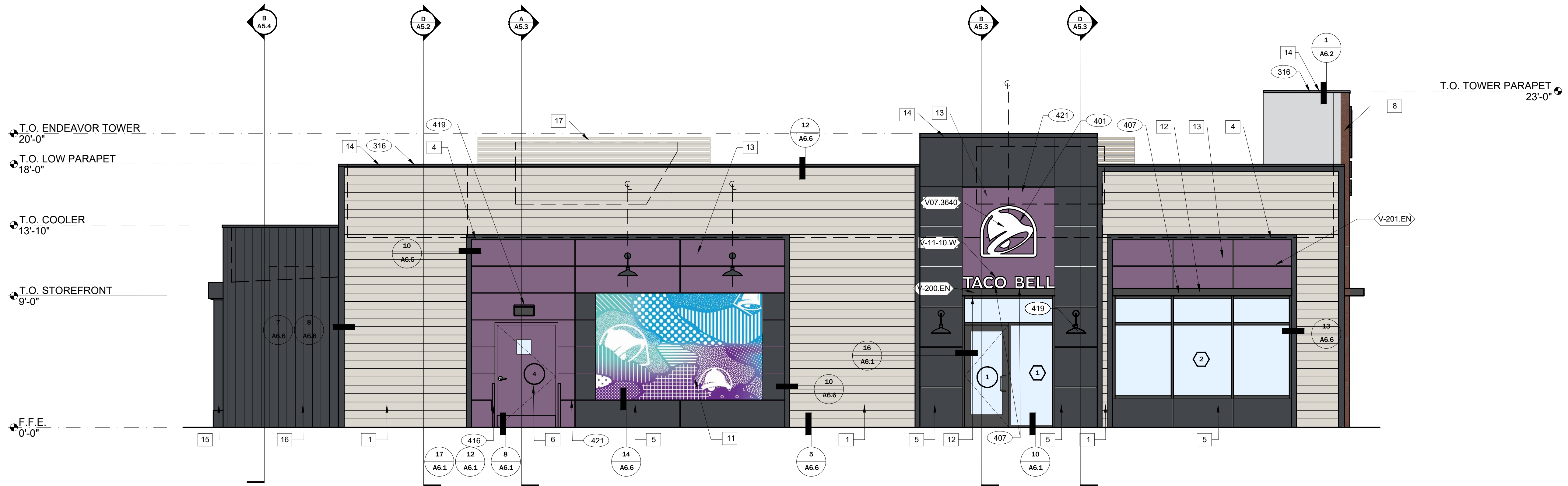


SITE SECTIONS
PROPOSED TACO BELL RESTAURANT
 3571 MOHEGAN AVENUE
 TOWN OF YORKTOWN, NY



No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	03/12/2021	PD
2.	REVISED PER TOWN COMMENTS	09/20/2021	CDF

Drawn: PD	Approved: JAR
Scale: 1" = 10'	
Date: 02/19/2021	
Project No: 20045	
2046-0E SECTIONS	SECTION user
Drawing No:	
L-110	
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EAST ELEVATION 1/4" = 1'-0" **A**

Revisions

No.	Description	Date

Approval Stamp:

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-04.3640	2	LARGE SWINGING BELL PURPLE LOGO 3' 6" X 4' 0"	A4.1
V-09.16W	2	LARGE TB 16" CHANNEL LETTERS WHITE (2) STACKED (1) LINEAR	A4.1
SIDE ENTRY			
V-07.3640	1	LARGE SWINGING BELL FLAT CUT OUT WALL MOUNTED 3' 6" X 4' 0" WHITE	A4.0
V-11.10W	1	TB 10" LETTER - FLAT CUT OUT - LINEAR - AWNING MOUNTED - UP LIT - WHITE	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 4" X 6' 3" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 0" X 4' 0" BLACK	A4.1
V-102.DT	1	DT AWNING (OVER DT) 4' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 16' 7" X 6" H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L 6" H X 1' 4" D BLACK	A4.0

SIGNAGE **E**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144"L X 8.25"W; 7" EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5"	CYBERSPACE (SW7076), SEMI-GLOSS	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	SEE D / A 7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE STB2603C RUSTIC	SEE D / A 7.2
11	EXTERIOR MURAL	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	SEE D / A 7.2
15	DOWN SPOUTS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	SEE D / A 7.2
16	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144"L X 8.25"W; 7" EXPOSURE COMES PRIMED FOR PAINT	CYBERSPACE (SW7076), SEMI-GLOSS	SEE D / A 7.2
17	HVAC SCREENING	-	-	-	

EXTERIOR FINISH SCHEDULE **B**

- 316 METAL PARAPET CAP.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.
- 421 MURAL.

KEY NOTES **E**

- MISCELLANEOUS**
- A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
- SEALERS (REFER TO SPECS)**
- A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 - B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 - C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.
- CRITICAL DIMENSIONS**
- A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

GENERAL NOTES **D**

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINTING
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 PRIMER: 1 COAT SW A24W8300
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
 A-100 EXTERIOR LATEX SATIN.

PAINT NOTES **C**

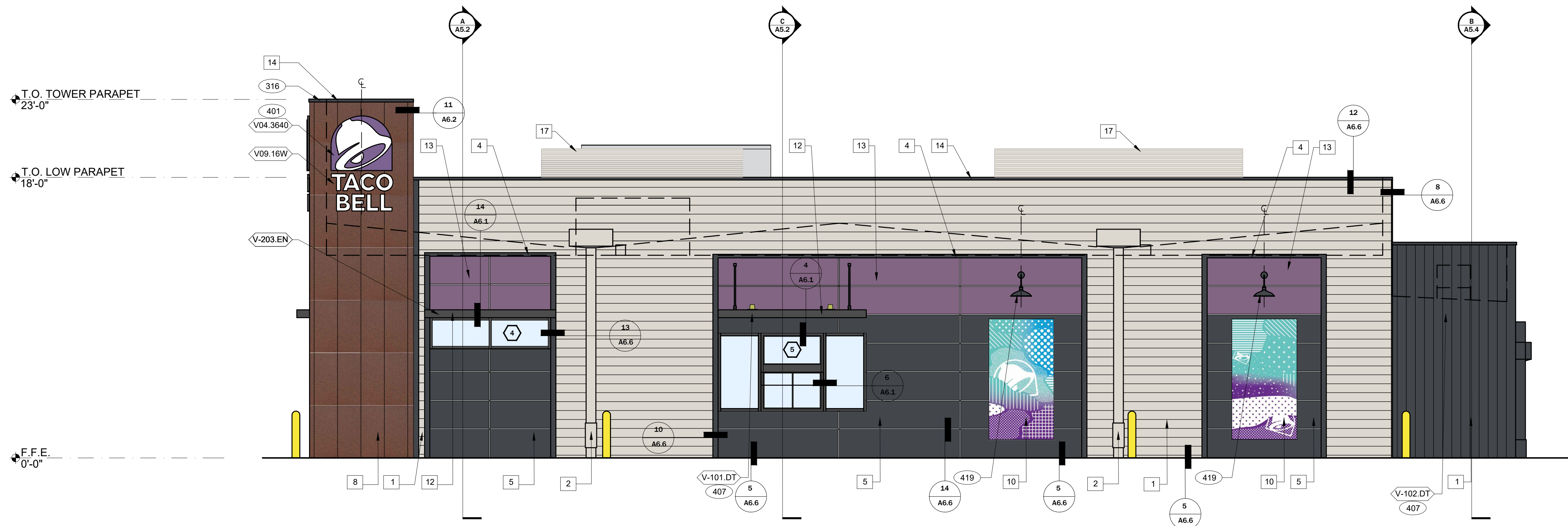
Project No. W061-20
Date: 07/17/2020
Drawn By: SM
Scale: As Noted
NY License No. 029493

A4.0

Exterior Elevations

Taco Bell
 3571 Mohegan Avenue
 Yorktown, New York 10547

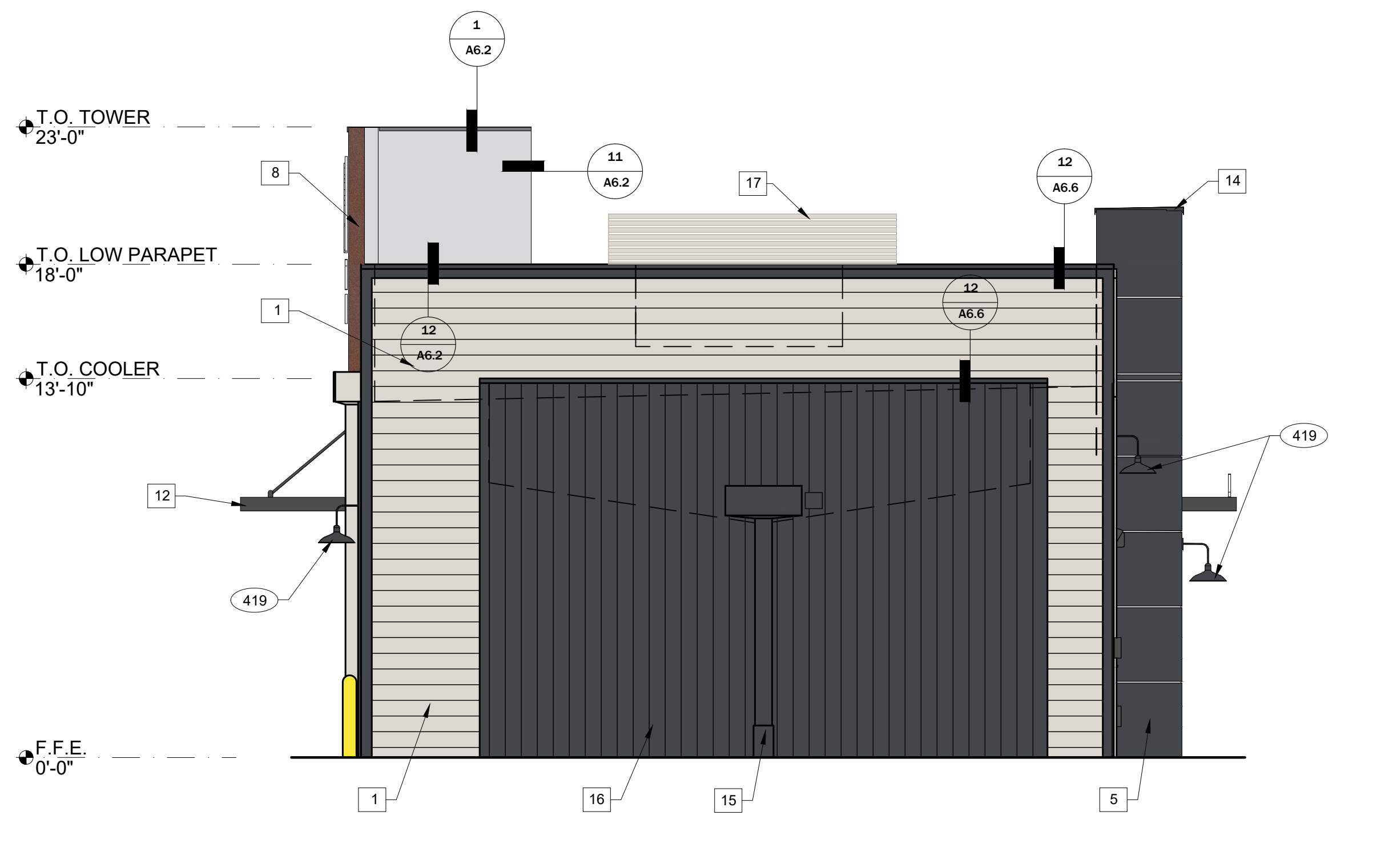




WEST ELEVATION 1/4" = 1'-0" **A**



SOUTH ELEVATION 1/4" = 1'-0" **C**



NORTH ELEVATION 1/4" = 1'-0" **B**

NOT USED **E**

- 316 METAL PARAPET CAP.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY SIGNAGE VENDOR. SEE SCHEDULE FOR FINISH.
- 408 CO2 FILLER VALVE & COVER.
- 418 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. COORDINATE WITH ELECTRICAL DRAWINGS.
- 421 MURAL.

NOTE: REFERENCE TO SHEET A4.0 FOR COLOR LEGEND

Revisions

No.	Description	Date

Approval Stamp:



Taco Bell
 3571 Mohegan Avenue
 Yorktown, New York 10547
 Medium 40

Exterior Elevations

Project No. W061-20
Date: 07/17/2020
Drawn By: SM
Scale: As Noted
NY License No. 029493

KEY NOTES **D**

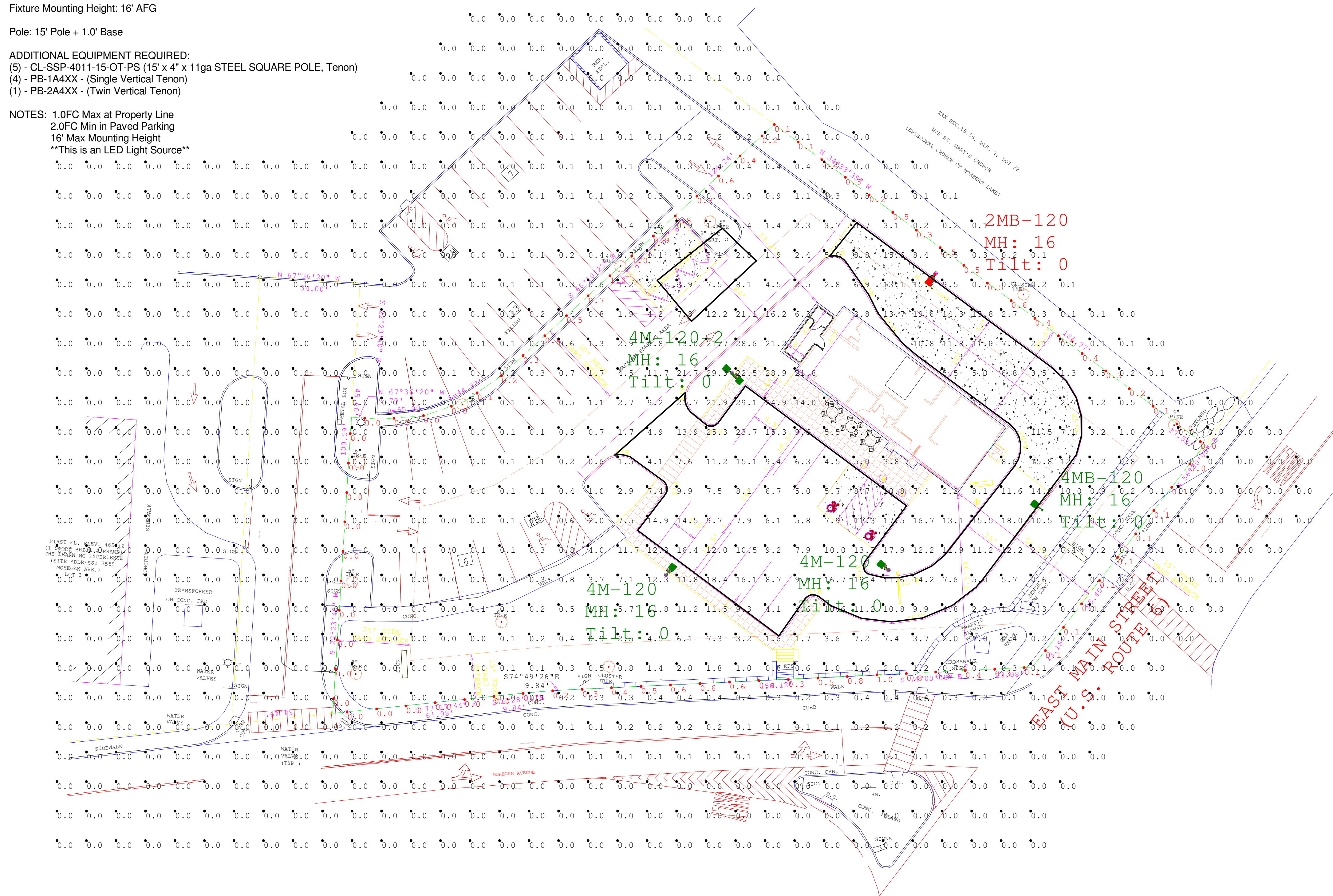
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	1	2MB-120	SINGLE	1.000	26977	421	ARE-EHO-2MB-HV-12-E-UL-BZ-1000
	2	4M-120	SINGLE	1.000	35815	421	ARE-EHO-4M-HV-12-E-UL-XX-1000
	1	4MB-120	SINGLE	1.000	26977	421	ARE-EHO-4MB-HV-12-E-UL-XX-1000
	1	4M-120-2	2 @ 180°	1.000	35815	421	ARE-EHO-4M-HV-12-E-UL-XX-1000

Calculation Summary; 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	1.96	29.3	0.0	N.A.	N.A.
Property Line	Fc	0.29	1.0	0.0	N.A.	N.A.
Taco Bell Paved Parking	Fc	10.65	25.3	2.7	3.94	9.37
Trash Enclosure	Fc	5.08	8.1	2.8	1.81	2.89

Fixture Mounting Height: 16' AFG
Pole: 15' Pole + 1.0' Base

ADDITIONAL EQUIPMENT REQUIRED:
(5) - CL-SSP-4011-15-OT-PS (15' x 4" x 11ga STEEL SQUARE POLE, Tenon)
(4) - PB-1A4XX - (Single Vertical Tenon)
(1) - PB-2A4XX - (Twin Vertical Tenon)

NOTES: 1.0FC Max at Property Line
2.0FC Min in Paved Parking
16' Max Mounting Height
This is an LED Light Source



The Town of Yorktown has the following code requirements with regard to site lighting:

§ 200-6 General standards for exterior lighting.
All exterior lighting fixtures installed and thereafter maintained other than those serving single-family residential dwellings, except for streetlighting provided by the Town, shall comply with the following requirements:

A. The design, character, size and scale of exterior lighting fixtures shall be consistent with the architectural character of adjacent buildings and their settings within the hamlet.

B. All exterior lighting shall use metal halide, incandescent or fluorescent light sources, except as otherwise permitted by the provisions of this section.

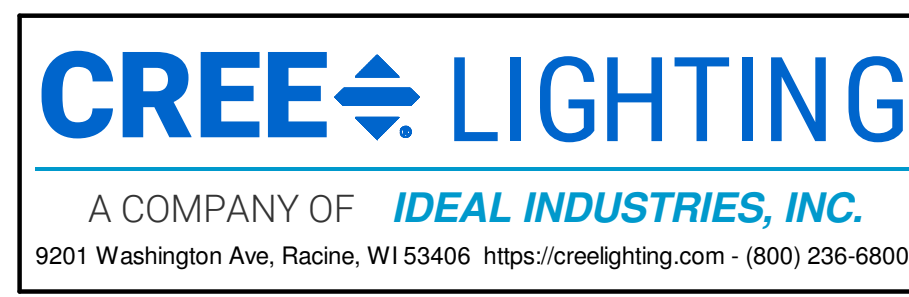
C. Except as otherwise provided in this section, the following light sources and lighting fixture types shall not be used (see Table 1[1]):
(1) High-pressure sodium, low-pressure sodium, mercury vapor and exterior neon light sources.
(2) Cobra-head-type lighting fixtures having dished or drop lenses or refractors which house other than incandescent sources.
(3) Searchlights.
(4) Lighting fixtures having flashing, rotating, moving, pulsing or alternating colored sources.
(5) Floodlights shall not be used on building facades and architectural features of buildings unless all of the following conditions are met:
(a) The floodlight fixture is equipped with baffles and/or shields and is located so as to limit the fixture's direct light distribution on the facade or feature being illuminated and shall not be visible above the building roofline.
(b) The configuration of the floodlight installation shall block all view to the floodlight fixture's lamp(s) from adjacent areas; and
(c) The maximum luminance of any floodlighted surface does not exceed five footlamberts or 17.131 metric candela per square meter, measured at a distance of 50 feet along the normal from the surface to a standing observer.
[1] Editor's Note: Table 1 is included at the end of this chapter.

D. All exterior illumination shall be less than 1.0 footcandles at the property line and all such lighting, other than lighting of roads, parking areas or buildings essential for safety or security purposes or as required by government regulation, shall be extinguished within 1/2 hour after the close of business. Lights that are controlled by photocells and timers are encouraged, as is the use of sensor-activated lights to replace existing lighting which may be needed for safety or emergency purposes. Illuminated signage as permitted under Article XX: Signs, is excluded from this requirement.[2]

E. All freestanding and wall-mounted luminaires shall be fully shielded light fixtures.

F. No freestanding or building-mounted area lighting fixture shall be located higher than 16 feet above finished grade level.

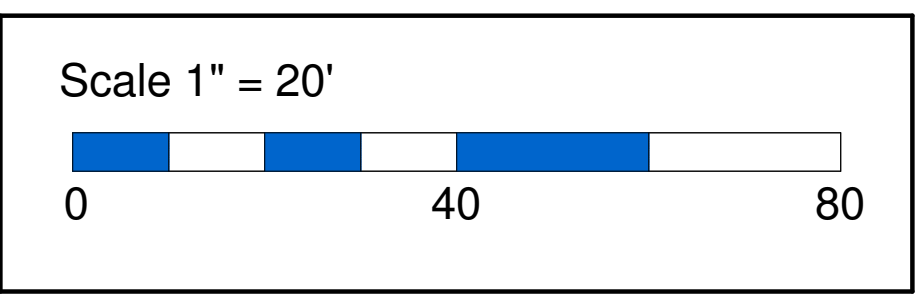
In addition, Taco Bell has requirements for site lighting as such:
The brand requires a minimum of 2 FC throughout the site with an average of 10-12 FC throughout. 5 FC at the main entrance, trash enclosure, preview and menu boards and drive-thru lane entrance.



Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Taco Bell - 3571 Mohegan Avenue, Town of Yorktown, NY - EXT
SR-42585 || Footcandles calculated at grade || Filename: TB-200709YONJCJWR1.AGI

Layout By: Collin Witherow
Date: 8/20/2020



IMAGE



DESCRIPTION

Exterior Wall Sconce

MATERIAL SPECIFICATIONS

Wrought Iron and Aluminum
Old Silver Finish

SIZE

Width: 14"
Height 17.25"
P: 16.75"
TDC: 3"

Backplate:
Width: 6"
Depth: 1.25"

LOCATION

Exterior

OTHER DETAILS

To be purchased from Taco Bell approved lighting vendor.

BUILDING DESIGN

Endeavor

REVISION DATE

2020.03.31

Image shown NTS



Toledo

TOLEDO



METALWORK

Wrought Iron and Aluminum

FINISH

Old Silver

SUSPENSION

Pendants include 4 stems
and hang-straight canopy:
1-6", 2-12", 1-18"

mm: 1-152, 2-305, 1-457

Stem not included in measurement

LAMP INFORMATION

Shown with optional
Early Electric Lamps

LB60-6 6-pack 60W med base
Early Electric Lamps

LB-6W-6 6-pack 6W med base
Early Electric LED Lamps
400 lm 2200K 120V

T24 COMPLIANT

DARK SKY QUALIFIED

B2771 **M** WALL

11"W 14 $\frac{3}{4}$ "H 12 $\frac{1}{2}$ "P 2 $\frac{1}{2}$ "TCD
MM: 279 W 375 H 318 P 64 TCD

BACKPLATE: 5"W 1 $\frac{1}{4}$ "D

MM: 127 W 32 D

1 - 100W MED



B2772 **L** WALL

14"W 17 $\frac{1}{4}$ "H 16 $\frac{3}{4}$ "P 3"TCD
MM: 356 W 438 H 425 P 76 TCD

BACKPLATE: 6"W 1 $\frac{1}{4}$ "D

MM: 152 W 32 D

1 - 100W MED

F2773 **M** PENDANT/SEMI-FLUSH

11"W 6 $\frac{3}{4}$ "H 56"MAX HT
MM: 279 W 171 H 1422 MAX HT

CANOPY: 5"W 1 $\frac{1}{4}$ "D

MM: 127 W 32 D

1 - 100W MED



F2774 **L** PENDANT/SEMI-FLUSH

14"W 6 $\frac{3}{4}$ "H 56"MAX HT
MM: 356 W 171 H 1422 MAX HT

BACKPLATE: 6"W 1 $\frac{1}{4}$ "D

MM: 152 W 32 D

1 - 100W MED

F2776 **M** ISLAND

51"L 14"W 10 $\frac{1}{4}$ "H 59 $\frac{1}{2}$ "MAX HT
MM: 1295 L 356 W 260 H 1511 MAX HT

BACKPLATE: 6"W 1 $\frac{1}{4}$ "D

MM: 152 W 32 D

3- 100W MED



THE EDGE® Series

LED High Output Area/Flood Luminaire featuring Cree TrueWhite® Technology

Rev. Date: V13 04/08/2020

Product Description

THE EDGE® High Output Area/Flood luminaire is designed to deliver high lumen packages with precise optical control. The unit features a slim, low profile design that minimizes wind load and is available with two mounting options made with rugged die cast aluminum. The HV mount tenon is an adjustable arm that mounts to a horizontal or vertical 2" (51mm) IP, 2.375-2.50" (60-64mm) O.D. steel tenon. Tenon length must be a minimum of 3.75" (95mm). The direct mount bracket accessory allows for further mounting flexibility. The AA mount is an adjustable arm that mounts to a vertical 2" (51mm) IP, 2.375-3" (60-76mm) O.D. minimum 3.75" (95mm) tall tenon. The adjustable arm mount is for use in applications which have a vertical tenon and require a NEMA® Photocell Receptacle. Available with Cree TrueWhite® Technology, THE EDGE® High Output helps to beautifully render true colors and deliver value beyond energy savings.

Applications: Auto dealerships, parking lots, campuses, facade lighting, high-mast and general site lighting applications

Performance Summary

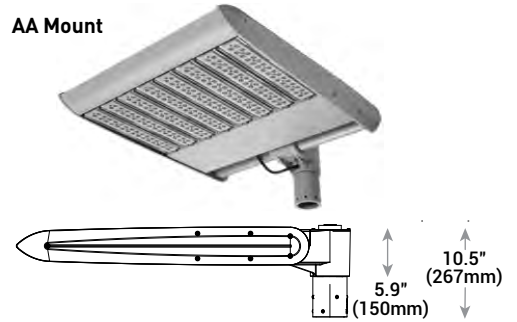
- Utilizes Cree TrueWhite® Technology on 5000K Luminaires
- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CRI:** Minimum 70 CRI (4000K & 5700K); 90 CRI (5000K)
- CCT:** 4000K (+/- 300K), 5000K (+/- 300K), 5700K (+/- 500K) standard
- Limited Warranty*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://creelighting.com/warranty> for warranty terms

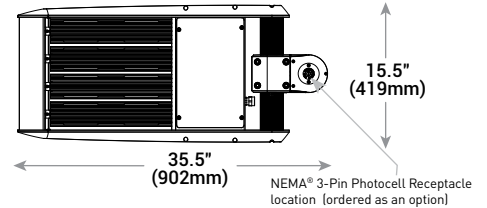
Accessories

Field-Installed	
Bird Spikes XA-BRDSPKXAK12 - 120 LED XA-BRDSPKXAK24 - 240 LED	Backlight Control Shields XA-30BLS-4 - Four-pack for 120 LED - Unpainted stainless steel XA-30BLS-8 - Eight-pack for 240 LED - Unpainted stainless steel
Direct Mount Bracket EHO-UNV - Mounts to minimum 4" (102mm) round or square; aluminum or steel pole or can be surface-mounted directly to a vertical or horizontal surface - For use with HV mount only - Must specify finish color - See Direct Mount Configurations table on page 15 - Poles must be field-drilled for direct mount EHO-UNV	Shorting Cap XA-XSLSHRT

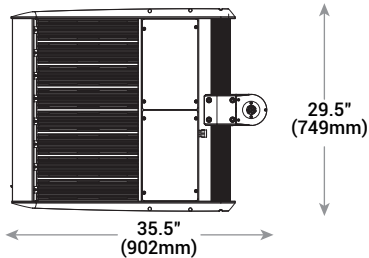
AA Mount



120 LED



240 LED



LED Count (x10)	Weight
12	45.3 lbs. (20.5kg)
24	80.5 lbs. (36.5kg)

HV Mount and Direct Mount Bracket - see page 16 for weight & dimensions

Ordering Information

Example: ARE-EHO-2M-HV-12-E-UL-SV-700

Product	Optic			Mounting*	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options		
ARE-EHO	1S Type I Short	2SB Type II Short w/BLS	4M Type IV Medium	AA Adjustable Arm - For use in applications which require a vertical tenon and a NEMA® Photocell Receptacle HV Horizontal/ Vertical Tenon - Available with Direct Mount Bracket when ordered with EHO-UNV field-installed accessory (see table above)	12 24	E	UL Universal 120-277V UH Universal 347-480V	BK Black BZ Bronze SV Silver WH White	700 700mA 1000 1000mA	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML option	R NEMA® 3-Pin Photocell Receptacle - 3-pin receptacle per ANSI C136.10 - Vertical tenon applications require use of AA mount - Intended for downlight applications with maximum 45° tilt - Requires photocell or shorting cap (by others) - Refer to PML spec sheets for availability with PML option	RL Rotate Left - Optic is rotated to the left RR Rotate Right - Optic is rotated to the right 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire 50K 5000K Color Temperature - Minimum 90 CRI - Utilizes Cree TrueWhite® Technology - Color temperature per luminaire
	2M Type II Medium	2MP Type II Medium w/BLS	4MB Type IV Medium w/BLS									
FLD-EHO	2MB Type II Medium w/BLS	3M Type III Medium	4MP Type IV Medium w/Partial BLS	- Not for use with NEMA receptacle when mounted to vertical tenon								
	2MP Type II Medium w/Partial BLS	3MB Type III Medium w/BLS	5M Type V Medium									
	BLS Type II Short	3MP Type III Medium w/Partial BLS	5S Type V Short									
	25 25° Flood	40 40° Flood	70 70° Flood									
	25 25° Flood	70 70° Flood	SN Sign N6 NEMA® 6									

* Reference EPA and pole configuration suitability data beginning on page 14



US: creelighting.com (800) 236-6800

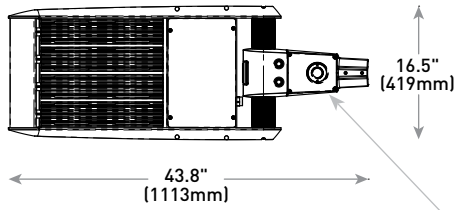
Canada: creelighting-canada.com (800) 473-1234



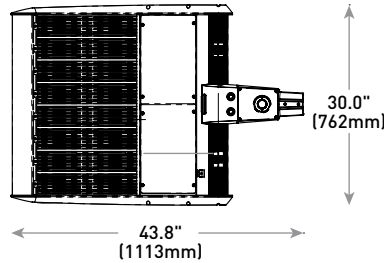
THE EDGE® LED High Output Area/Flood Luminaire

HV Mount (shown in horizontal position)

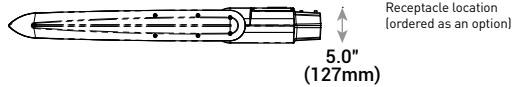
120 LED



240 LED



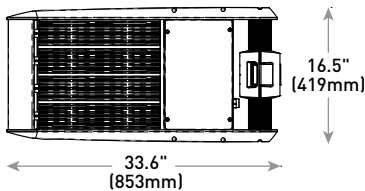
LED Count (x10)	Weight
12	45.3 lbs. (20.5kg)
24	80.5 lbs. (36.5kg)



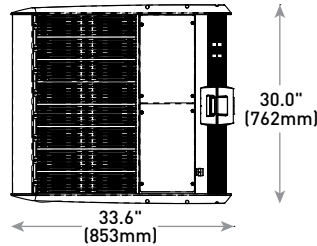
NEMA® 3-Pin Photocell Receptacle location (ordered as an option)

HV Mount (shown in vertical position)

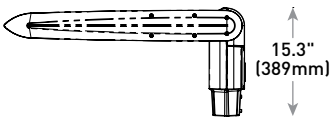
120 LED



240 LED



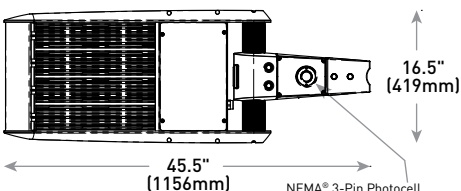
LED Count (x10)	Weight
12	45.3 lbs. (20.5kg)
24	80.5 lbs. (36.5kg)



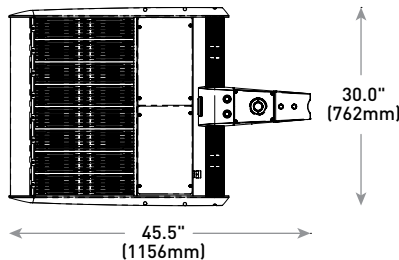
Direct Mount Bracket (accessory sold separately)

Not for use with R option.

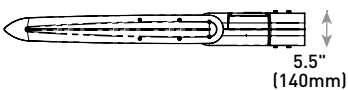
120 LED



240 LED



LED Count (x10)	Weight
12	45.3 lbs. (20.5kg)
24	80.5 lbs. (36.5kg)



NEMA® 3-Pin Photocell Receptacle location (ordered as an option)

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September 2, 2021

Members of the Planning Board
Town of Yorktown
1974 Commerce Street, Room 222
Yorktown, NY 10598

RE: Proposed Taco Bell Restaurant at 3571 Mohegan Avenue, Yorktown, NY

Dear Members of the Planning Board:

At the request of the Town of Yorktown, Sam Schwartz Engineering, DPC (Sam Schwartz) has prepared a traffic engineering review of the materials submitted in support of the referenced application. Specifically, Sam Schwartz has reviewed the following documents. Unless otherwise noted, all documents reviewed were prepared by JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC (“JMC”) on behalf of Keystone Mohegan Lake, LLC pertaining to traffic operations and safety.

- Report “Traffic Study – Route 6 II Development, 3571 Mohegan Avenue, Town of Yorktown, NY”, dated September 20, 2018
- Site Plan Set consisting of fifteen (15) sheets entitled “Site Plan Approval Drawings, Proposed Taco Bell Restaurant, Tax Map Section 15.16 | Block 1| Lot 21, 3571 Mohegan Avenue, Town of Yorktown, NY”, dated March 12, 2021
- Comment response letter to April 12, 2021, Public Hearing Comments dated April 21, 2021, which included the following attachments:
 - JMC Drawing C-100 “Layout Plan” Revision 3 – 4/21/2021
- Comment response letter to May 10, 2021. Public Hearing Comments dated June 2, 2021, which included the following attachments:
 - JMC Table D-1, “Daycare Count Summary Table”, dated 05/25/2021.
 - Taco Bell Port Chester Queuing Study Summary Tables dated 12/01/2020.
 - Taco Bell Carmel Queuing Study Summary Tables dated 05/20/2021.
- Police Crash Reports from 2017-2020, provided by Yorktown Police Department

Sam Schwartz offers the following traffic engineering and safety-related comments to the Town of Yorktown:

Site Plan Comments – Circulation, Operations, and Safety

1. It appears that per JMC Drawing C-130 that the bypass lane cannot accommodate a bypassing vehicle movement while there is a queue in the drive thru lane of more than one vehicle beyond the menu board (approximately 4-vehicles from the pickup window). Based on a 50% queue length of 4 vehicles (per the provided queuing survey from the Carmel, NY Taco Bell site), this would regularly become a bottleneck for vehicles parked within the proposed parking lot of the subject property. Additionally, congestion within the subject property parking lot may discourage customers from parking in the Taco Bell lot and encourage customers to use other shared parking spaces within the site. Sam Schwartz recommends that the Applicant widen the proposed bypass lane to

accommodate bypassing vehicles to accommodate times when there is a significant queue in the drive thru lane. Turning movement templates should be provided by the Applicant illustrating accommodation of simultaneous movements.

2. Applicant shall confirm that the subject property parking lot will contain one-way circulation and revise pavement markings to include arrows indicating circulation patterns. If one-way circulation is intended, Sam Schwartz recommends installation of one-way, and Do Not Enter signage at desired property ingress and egress points and consideration of angled parking in lieu of perpendicular parking to discourage wrong-way circulation.
3. The Applicant shall provide traffic control (stop signs and stop line markings) at egress points from the subject property onto site roadways.

Traffic Impact Study Comments

4. Two queue surveys were performed on typical weekdays at nearby existing Taco Bell locations in Carmel and Port Chester, NY and summarized in an attachment to the June 2, 2021, JMC Comment Response Letter. Based on a review of these surveys, it appears that queue lengths were significantly longer at the Carmel location. Additionally, of the two locations, the Carmel location has more similarities to the subject property, including surrounding land uses, proximity to each other, and proximity to US 6. Additionally, both the Carmel and Port Chester locations each have several fast-food establishments within close proximity while only one fast-food establishment (Dunkin Donuts) was identified within close proximity (1/4 mile) to the subject property. Sam Schwartz recommends that maximum queue lengths from the Carmel survey location should be assumed instead of the Port Chester location and recommends that the Applicant provide consideration to the impacts of similar fast-food establishments in close proximity to study sites in comparison to the subject property.
5. The June 2, 2021, JMC Comment Response Letter states that "the drive-thru lane can accommodate 8 cars, and the site can accommodate a 20-car queue length before reaching the driveway." While it is understandable that queues may extend onto the site roadways on rare, infrequent circumstances, the subject property driveway and drive thru lane should accommodate maximum queues for a typical day. Based on the queue length assumption recommendations in the previous comment, Sam Schwartz recommends revising the proposed drive thru lane within the subject property to accommodate at least an 11-vehicle queue. The applicant should provide a drawing illustrating the maximum anticipated daily queue of passenger vehicles contained within the subject property.

Historical Crash Assessment

6. Sam Schwartz reviewed 29 police reports provided by the Yorktown Police Department from 2017-2020 for reported crashes occurring in the vicinity of the subject property. These crashes are summarized in Table 1 below. Additionally, a crash diagram illustrating locations and crash types of the 29 crashes is provided in Exhibit A. A large majority of crashes (26/29, 90%) occurred along East Main Street/US 6, either at or approaching the intersection with Mohegan Avenue and Lakeland Street. Rear-end crashes were the highest-occurring crash type (19/29 crashes, 66%), followed by right angle (4 crashes), left turn (3 crashes), and backing, sideswipe, and struck animal (1 crash). Only one crash (sideswipe) occurred along Mohegan Avenue but did not involve the site driveway. Per the police report, this crash involved an inexperienced driver who "overshot" a turn

onto Mohegan Avenue from East Main Street/US 6 and sideswiped a vehicle stopped in traffic. Police report narratives for crashes occurring at the East Main Street/US 6 and Mohegan Avenue intersection did not give any indication that congestion or circulation stemming from the site driveway was a contributing factor to crashes. Unless the subject property experiences queues that extend beyond the site driveway and impact traffic operations at Mohegan Avenue, it is our professional opinion that the proposed subject property will not have direct traffic safety impacts to the adjacent roadway network.

Table 1 - Summary of Crashes 2017-2021 (Source: Yorktown Police Department)

Date	Location			Crash Type	Vehicles	Injured	Killed
1/29/2017	E Main St/Rt 6	100' east of	Mohegan Ave	Right Angle	2	1	0
2/16/2017	E Main St/Rt 6	100' west of	Mohegan Ave	Rear End	2	1	0
2/22/2017	E Main St/Rt 6	100' east of	Mohegan Ave	Rear End	2	0	0
4/24/2017	Lakeland St	at	E Main St/Rt 6	Rear End	2	0	0
10/8/2017	E Main St/Rt 6	50' west of	Mohegan Ave	Rear End	2	0	0
10/15/2017	E Main St/Rt 6	at	Lakeland St	Struck Animal	1	0	0
10/19/2017	E Main St/Rt 6	75' east of	Mohegan Ave	Rear End	3	1	0
11/21/2017	E Main St/Rt 6	50' east of	Lakeland St	Rear End	2	1	0
11/25/2017	E Main St/Rt 6	at	Lakeland St	Rear End	2	0	0
12/15/2017	Mohegan Ave	50' south of	E Main St/Rt 6	Sideswipe	2	0	0
1/25/2018	E Main St/Rt 6	at	Lakeland St	Rear End	2	0	0
2/8/2018	E Main St/Rt 6	at	Mohegan Ave	Left Turn	2	2	0
3/6/2018	E Main St/Rt 6	at	Lakeland St	Rear End	2	0	0
4/7/2018	E Main St/Rt 6	at	Lakeland St	Rear End	2	0	0
1/19/2019	E Main St/Rt 6	100' west of	Mohegan Ave	Right Angle	2	0	0
1/28/2019	E Main St/Rt 6	at	Mohegan Ave	Rear End	2	0	0
2/9/2019	E Main St/Rt 6	100' east of	Lakeland St	Left Turn	2	0	0
5/26/2019	E Main St/Rt 6	50' west of	Mohegan Ave	Rear End	2	0	0
7/29/2019	E Main St/Rt 6	100' west of	Mohegan Ave	Rear End	2	1	0
8/22/2019	E Main St/Rt 6	at	Mohegan Ave	Rear End	2	0	0
9/29/2019	E Main St/Rt 6	at	Lakeland St	Rear End	2	0	0
11/12/2019	E Main St/Rt 6	at	Lakeland St	Rear End	2	0	0
12/19/2019	E Main St/Rt 6	75' west of	Lakeland St	Right Angle	2	0	0
12/28/2019	E Main St/Rt 6	50' west of	Mohegan Ave	Rear End	2	0	0
2/15/2020	Lakeland St	at	E Main St/Rt 6	Backing	2	0	0
3/20/2020	E Main St/Rt 6	at	Mohegan Ave	Left Turn	2	0	0
8/12/2020	E Main St/Rt 6	100' east of	Lakeland St	Rear End	2	0	0
9/3/2020	E Main St/Rt 6	50' east of	Mohegan Ave	Right Angle	2	0	0
11/13/2020	E Main St/Rt 6	75' west of	Lakeland St	Rear End	4	0	0

RE: Proposed Taco Bell Restaurant at 3571 Mohegan
Avenue, Yorktown, NY
September 2, 2021

**Sam
Schwartz**

If you have any questions or require additional information regarding the information provided above, please do not hesitate to contact me at 201-805-8819.

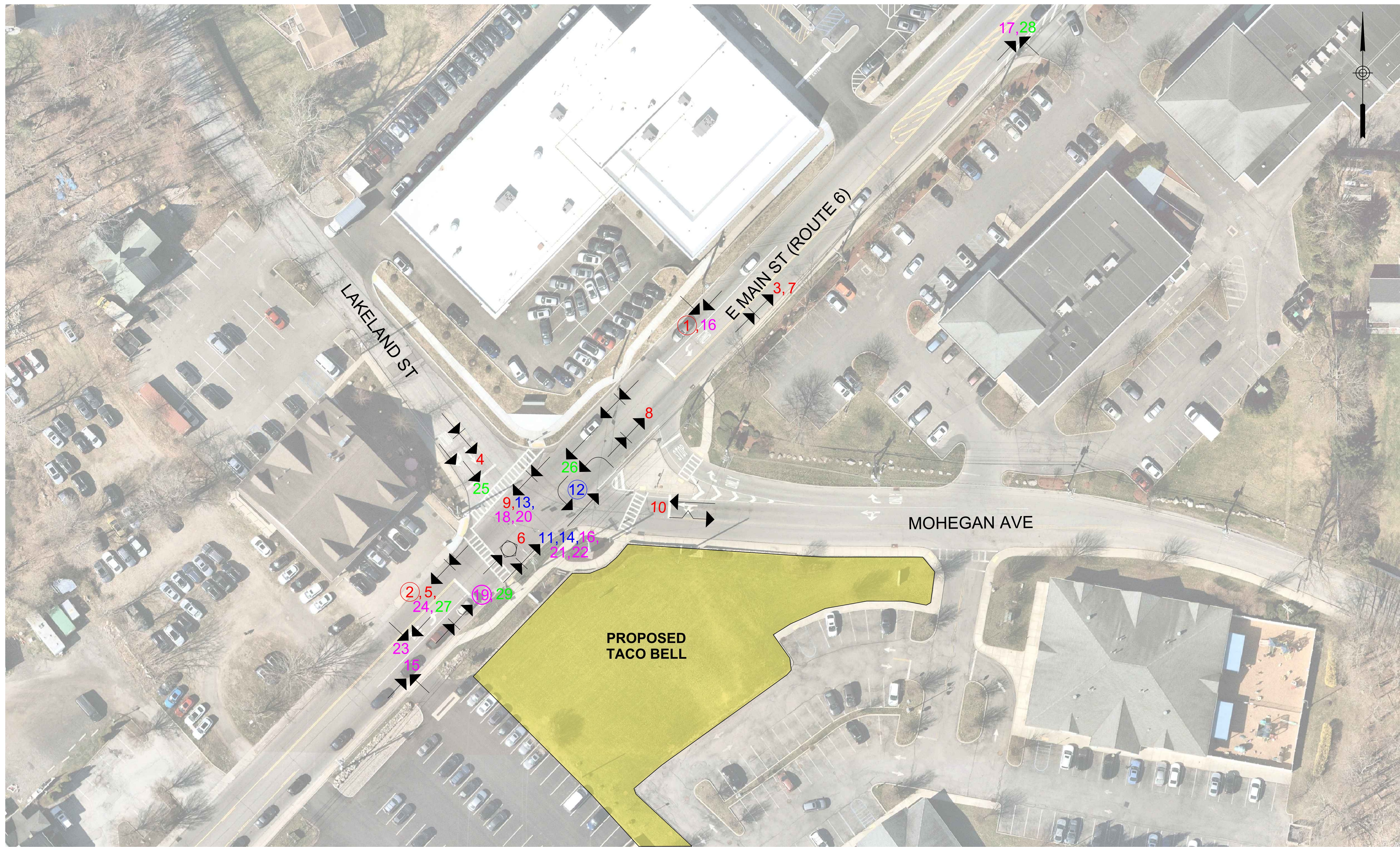
Sincerely,



Lou Luglio, P.E.
Vice President
Engineering + Transportation Planning
Cell: (201) 805-8819



Joe Milanese, P.E., AICP, PTOE, RSP2I
Associate
Transportation Engineering + Planning
Cell: (908) 472-4812



TYPES OF CRASH			YEAR	CRASH ID	SEVERITY	Title:	Date:	Drawing:
→→→	Rear End	↔↔↔	2017 Crashes	#	○ Injury Crashes	YORKTOWN TACO BELL CRASH DIAGRAM	August 20, 2021	1 of 1
→←→	Head On	↕↕↕	2018 Crashes				Scale: 1" = 30'	
↔↔↔	Side Swipe	↔↔↔	2019 Crashes					
↔↔↔	Side Swipe (Opposite Direction)	↔↔↔	2020 Crashes					
↔↔↔	Right Angle	↔↔↔						
↔↔↔	Backing	↔↔↔						
↔↔↔	Left Turn	↔↔↔						
↔↔↔	Left Turn	↔↔↔						
↔↔↔	Struck Animal	↔↔↔						



Site Planning
Civil Engineering
Landscape Architecture
Land Surveying
Transportation Engineering

Environmental Studies
Entitlements
Construction Services
3D Visualization
Laser Scanning

June 2, 2021

Chairman Richard Fon
& Members of the Planning Board
Town of Yorktown Planning Board
1974 Commerce Street, Room 222
Yorktown, NY 10598

RE: JMC Project 20045
Proposed Taco Bell Restaurant
3571 Mohegan Avenue
Town of Yorktown, NY

Dear Chairman Fon and Members of the Board:

On behalf of Keystone Mohegan Lake LLC, we are pleased to provide the following responses to comments discussed during the May 10th Public Hearing. Accordingly, herein we have provided materials and responses for your consideration.

Enclosed please find a copy of the below listed materials for your review:

1. JMC Table D-I, "Daycare Count Summary Table", dated 05/25/2021.
2. Taco Bell Port Chester Queuing Study Summary Tables, prepared by JMC, dated 12/01/2020.
3. Taco Bell Carmel Queuing Study Summary Tables, prepared by JMC, dated 05/20/2021.

Driveway Operations

When the site was originally designed and constructed in 2009, the access driveway and traffic operations were analyzed given the three uses on the property. In 2018 when the subject property was rezoned to the C-2 district, new counts were performed and the Traffic Study was updated to analyze a fast-food use for the third lot. The access drive provides an organized way to filter vehicles in and out of the site, and the studies performed demonstrate that the access drive can accommodate volumes during peak periods of traffic. Each business has its own parking area with access from the main driveway which separates the uses and prevents potential conflicts between patrons.

Based on the discussion at the last meeting, our office performed a count of the daycare in order to better understand the daycare's operations and pickup timing during the afternoon hours. The counts were conducted on a weekday between the hours of 2:30 and 6:30 PM. We have attached Table D-I which depicts the counted daycare traffic volumes. Parents pick up their children

throughout the afternoon, with most children being picked up by 5:00-5:30 PM and some children staying until 6:30 PM. Parents picking up children must drive to the main entrance of the Learning Experience building, park their car, walk inside the building to pick up their children, and then proceed to walk out to their car with their children. The maximum observed daycare traffic volumes occurred between 5:15 and 5:30 PM with 19 vehicles entering and 15 vehicles exiting during the 15-minute period. There is adequate parking adjacent to the daycare where all parents were able to park and enter the building without queuing in the driveway.

With regard to Taco Bell's queuing operations, the menu board placement and queue length have been designed to Taco Bell's prototypical standards which are developed based on Taco Bell's extensive experience in this region. In addition, our office conducted queuing counts at the existing Taco Bell Drive-Thru locations in Port Chester, NY and Carmel, NY. Both locations are recently constructed sites based on a similar prototype as the proposed Taco Bell. Each site was counted on a weekday from 4:00 PM to 7:00 PM.

The below paragraphs summarize the results of the queuing counts:

During the Port Chester count, a total of 60 vehicles entered the drive-thru lane during a 3 hour period from 4-7 PM period. The flow of vehicles was steady and averaged approximately 20 vehicles per hour entering the drive-thru. The maximum queue observed was 3 cars, which occurred during the 4:45-5:00 PM, 5:00-5:15 PM and 5:15-5:30 PM periods. The 50th percentile queue length was 1 car.

During the Carmel count, a total of 112 vehicles entered the drive-thru lane during a 3 hour period from 4-7 PM period. The flow of vehicles was steady and averaged approximately 37 vehicles per hour entering the drive-thru. The maximum queue observed was 11 cars, which occurred during the 5:30-5:45 PM and 5:45-6:00 PM periods. The 50th percentile queue length was 4 cars.

Given the above observations, it is our professional opinion that the Taco Bell traffic will not conflict with the day-care traffic. The drive-thru lane can accommodate 8 cars, and the site can accommodate a 20 car queue length before reaching the site driveway. We acknowledge that the queue lengths may be longer when the restaurant first opens as there will be excitement about the restaurant opening in addition to the staff becoming familiar with the operations. However, this is a temporary condition and the initial volume will stabilize over time.

We trust that this information is sufficient for you to continue your review of this Application and we look forward to discussing this matter with you further. If you have any questions or require additional information with regard to the information provided above, please do not hesitate to contact our office at 914-273-5225. Thank you for your consideration.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

A handwritten signature in blue ink, appearing to read "Paul J. Dumont", with a long horizontal flourish extending to the right.

Paul J. Dumont, PE
Senior Designer II

p:\2020\20045\admin\lftfon_2021-06-02.docx

TABLE D-1

JMC COUNTED DAYCARE DRIVEWAY VOLUMES

TIME	ENTER	EXIT	TOTAL
2:30 - 2:45 PM	4	9	13
2:45 - 3:00 PM	2	1	3
3:00 - 3:15 PM	4	2	6
3:15 - 3:30 PM	8	7	15
3:30 - 3:45 PM	3	5	8
3:45 - 4:00 PM	3	4	7
4:00 - 4:15 PM	2	4	6
4:15 - 4:30 PM	4	1	5
4:30 - 4:45 PM	2	5	7
4:45 - 5:00 PM	9	7	16
5:00 - 5:15 PM	5	4	9
5:15 - 5:30 PM	19	15	34
5:30 - 5:45 PM	6	15	21
5:45 - 6:00 PM	5	7	12
6:00 - 6:15 PM	0	0	0
6:15 - 6:30 PM	5	5	10

Notes:

(1) JMC counted the entering and exiting traffic volumes for the existing The Learning Experience located at 3555 Mohegan Avenue, Mohegan Lake, NY on Tuesday, May 25, 2021.

Table TB-1

Taco Bell Drive-Thru Processing Time Duration Survey

Vehicle No.	Time Enter	Time Exit	Time Duration (Minues)
1	4:03 PM	4:05 PM	2
2	4:05 PM	4:07 PM	2
3	4:10 PM	4:12 PM	2
4	4:13 PM	4:15 PM	2
5	4:15 PM	4:17 PM	2
6	4:16 PM	4:19 PM	3
7	4:18 PM	4:19 PM	1
8	4:19 PM	4:20 PM	1
9	4:22 PM	4:23 PM	1
10	4:24 PM	4:26 PM	2
11	4:27 PM	4:30 PM	3
12	4:33 PM	4:36 PM	3
13	4:39 PM	4:40 PM	1
14	4:39 PM	4:42 PM	3
15	4:48 PM	4:51 PM	3
16	4:56 PM	5:00 PM	4
17	4:57 PM	5:01 PM	4
18	4:58 PM	5:02 PM	4
19	5:01 PM	5:03 PM	2
20	5:03 PM	5:06 PM	3
21	5:06 PM	5:08 PM	2
22	5:06 PM	5:08 PM	2
23	5:07 PM	5:09 PM	2
24	5:08 PM	5:10 PM	2
25	5:08 PM	5:11 PM	3
26	5:10 PM	5:12 PM	2
27	5:13 PM	5:16 PM	3
28	5:18 PM	5:21 PM	3
29	5:18 PM	5:23 PM	5
30	5:20 PM	5:25 PM	5

Vehicle No.	Time Enter	Time Exit	Time Duration (Minutes)
31	5:27 PM	5:30 PM	3
32	5:29 PM	5:32 PM	3
33	5:29 PM	5:35 PM	6
34	5:32 PM	5:39 PM	7
35	5:35 PM	5:40 PM	5
36	5:39 PM	5:41 PM	2
37	5:44 PM	5:48 PM	4
38	5:45 PM	5:51 PM	6
39	5:50 PM	5:52 PM	2
40	5:54 PM	5:56 PM	2
41	5:57 PM	5:59 PM	2
42	5:57 PM	6:00 PM	3
43	6:03 PM	6:05 PM	2
44	6:04 PM	6:06 PM	2
45	6:08 PM	6:10 PM	2
46	6:12 PM	6:14 PM	2
47	6:15 PM	6:17 PM	2
48	6:18 PM	6:20 PM	2
49	6:19 PM	6:21 PM	2
50	6:19 PM	6:23 PM	4
51	6:20 PM	6:24 PM	4
52	6:22 PM	6:25 PM	3
53	6:26 PM	6:29 PM	3
54	6:29 PM	6:31 PM	2
55	6:37 PM	6:39 PM	2
56	6:43 PM	6:46 PM	3
57	6:48 PM	6:50 PM	2
58	6:51 PM	6:53 PM	2
59	6:52 PM	6:54 PM	2
60	6:56 PM	6:59 PM	3

****Average Time Duration Per Vehicle: 2.8 Minutes****

Notes:

(1) JMC performed counts of the existing Taco Bell Drive-Thru located at 303 Boston Post Road, Port Chester, NY 10573 on Tuesday, December 1, 2020.

Table TB-2

Taco Bell Drive-Thru Queue Length Survey

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
4:00 PM	-	-	0
4:01 PM	0	0	0
4:02 PM	0	0	0
4:03 PM	1	0	1
4:04 PM	0	0	1
4:05 PM	1	1	1
4:06 PM	0	0	1
4:07 PM	0	1	0
4:08 PM	0	0	0
4:09 PM	0	0	0
4:10 PM	1	0	1
4:11 PM	0	0	1
4:12 PM	0	1	0
4:13 PM	1	0	1
4:14 PM	0	0	1
4:15 PM	1	1	1
4:16 PM	1	0	2
4:17 PM	0	1	1
4:18 PM	1	0	2
4:19 PM	1	2	1
4:20 PM	0	1	0
4:21 PM	0	0	0
4:22 PM	1	0	1
4:23 PM	0	1	0
4:24 PM	1	0	1
4:25 PM	0	0	1
4:26 PM	0	1	0
4:27 PM	1	0	1
4:28 PM	0	0	1
4:29 PM	0	0	1
4:30 PM	0	1	0
4:31 PM	0	0	0
4:32 PM	0	0	0
4:33 PM	1	0	1
4:34 PM	0	0	1
4:35 PM	0	0	1
4:36 PM	0	1	0
4:37 PM	0	0	0
4:38 PM	0	0	0
4:39 PM	2	0	2
4:40 PM	0	1	1
4:41 PM	0	0	1
4:42 PM	0	1	0
4:43 PM	0	0	0
4:44 PM	0	0	0

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
4:45 PM	0	0	0
4:46 PM	0	0	0
4:47 PM	0	0	0
4:48 PM	1	0	1
4:49 PM	0	0	1
4:50 PM	0	0	1
4:51 PM	0	1	0
4:52 PM	0	0	0
4:53 PM	0	0	0
4:54 PM	0	0	0
4:55 PM	0	0	0
4:56 PM	1	0	1
4:57 PM	1	0	2
4:58 PM	1	0	3
4:59 PM	0	0	3
5:00 PM	0	1	2
5:01 PM	1	1	2
5:02 PM	0	1	1
5:03 PM	1	1	1
5:04 PM	0	0	1
5:05 PM	0	0	1
5:06 PM	2	1	2
5:07 PM	1	0	3
5:08 PM	2	2	3
5:09 PM	0	1	2
5:10 PM	1	1	2
5:11 PM	0	1	1
5:12 PM	0	1	0
5:13 PM	1	0	1
5:14 PM	0	0	1
5:15 PM	0	0	1
5:16 PM	0	1	0
5:17 PM	0	0	0
5:18 PM	2	0	2
5:19 PM	0	0	2
5:20 PM	1	0	3
5:21 PM	0	1	2
5:22 PM	0	0	2
5:23 PM	0	1	1
5:24 PM	0	0	1
5:25 PM	0	1	0
5:26 PM	0	0	0
5:27 PM	1	0	1
5:28 PM	0	0	1
5:29 PM	2	0	3

Table TB-2

Taco Bell Drive-Thru Queue Length Survey

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
5:30 PM	0	1	2
5:31 PM	0	0	2
5:32 PM	1	1	2
5:33 PM	0	0	2
5:34 PM	0	0	2
5:35 PM	1	1	2
5:36 PM	0	0	2
5:37 PM	0	0	2
5:38 PM	0	0	2
5:39 PM	1	1	2
5:40 PM	0	1	1
5:41 PM	0	1	0
5:42 PM	0	0	0
5:43 PM	0	0	0
5:44 PM	1	0	1
5:45 PM	1	0	2
5:46 PM	0	0	2
5:47 PM	0	0	2
5:48 PM	0	1	1
5:49 PM	0	0	1
5:50 PM	1	0	2
5:51 PM	0	1	1
5:52 PM	0	1	0
5:53 PM	0	0	0
5:54 PM	1	0	1
5:55 PM	0	0	1
5:56 PM	0	1	0
5:57 PM	2	0	2
5:58 PM	0	0	2
5:59 PM	0	1	1
6:00 PM	0	1	0
6:01 PM	0	0	0
6:02 PM	0	0	0
6:03 PM	1	0	1
6:04 PM	1	0	2
6:05 PM	0	1	1
6:06 PM	0	1	0
6:07 PM	0	0	0
6:08 PM	1	0	1
6:09 PM	0	0	1
6:10 PM	0	1	0
6:11 PM	0	0	0
6:12 PM	1	0	1
6:13 PM	0	0	1
6:14 PM	0	1	0

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
6:15 PM	1	0	1
6:16 PM	0	0	1
6:17 PM	0	1	0
6:18 PM	1	0	1
6:19 PM	2	0	3
6:20 PM	1	1	3
6:21 PM	0	1	2
6:22 PM	1	0	3
6:23 PM	0	1	2
6:24 PM	0	1	1
6:25 PM	0	1	0
6:26 PM	1	0	1
6:27 PM	0	0	1
6:28 PM	0	0	1
6:29 PM	1	1	1
6:30 PM	0	0	1
6:31 PM	0	1	0
6:32 PM	0	0	0
6:33 PM	0	0	0
6:34 PM	0	0	0
6:35 PM	0	0	0
6:36 PM	0	0	0
6:37 PM	1	0	1
6:38 PM	0	0	1
6:39 PM	0	1	0
6:40 PM	0	0	0
6:41 PM	0	0	0
6:42 PM	0	0	0
6:43 PM	1	0	1
6:44 PM	0	0	1
6:45 PM	0	0	1
6:46 PM	0	1	0
6:47 PM	0	0	0
6:48 PM	1	0	1
6:49 PM	0	0	1
6:50 PM	0	1	0
6:51 PM	1	0	1
6:52 PM	1	0	2
6:53 PM	0	1	1
6:54 PM	0	1	0
6:55 PM	0	0	0
6:56 PM	1	0	1
6:57 PM	0	0	1
6:58 PM	0	0	1
6:59 PM	0	1	0
7:00 PM	0	0	0

Notes:

(1) JMC performed counts of the existing Taco Bell Drive-Thru located at 303 Boston Post Road, Port Chester, NY 10573 on Tuesday, December 1, 2020.

Table TB-3

Taco Bell Drive-Thru Queue Length Survey Summary

Time	Queue Length (Vehicles)		
	50th Percentile	95th Percentile	Maximum
4:00 PM - 4:15 PM	1.0	1.0	1
4:15 PM - 4:30 PM	1.0	2.0	2
4:30 PM - 4:45 PM	0.0	1.3	2
4:45 PM - 5:00 PM	0.0	3.0	3
5:00 PM - 5:15 PM	1.0	3.0	3
5:15 PM - 5:30 PM	1.0	3.0	3
5:30 PM - 5:45 PM	2.0	2.0	2
5:45 PM - 6:00 PM	1.0	2.0	2
6:00 PM - 6:15 PM	0.0	1.3	2
6:15 PM - 6:30 PM	1.0	3.0	3
6:30 PM - 6:45 PM	0.0	1.0	1
6:45 PM - 7:00 PM	1.0	1.3	2
4:00 - 7:00 PM	1.0	2.0	3

Notes:

(1) JMC performed counts of the existing Taco Bell Drive-Thru located at 303 Boston Post Road, Port Chester, NY 10573 on Tuesday, December 1, 2020.

Table TB-1

Taco Bell Drive-Thru Processing Time Duration Survey

Vehicle No.	Time Enter	Time Exit	Time Duration (Minues)
1	4:00 PM	4:04 PM	4
2	4:01 PM	4:05 PM	4
3	4:03 PM	4:07 PM	4
4	4:06 PM	4:09 PM	3
5	4:07 PM	4:11 PM	4
6	4:09 PM	4:13 PM	4
7	4:12 PM	4:18 PM	6
8	4:13 PM	4:19 PM	6
9	4:16 PM	4:20 PM	4
10	4:17 PM	4:22 PM	5
11	4:18 PM	4:22 PM	4
12	4:22 PM	4:28 PM	6
13	4:23 PM	4:30 PM	7
14	4:26 PM	4:32 PM	6
15	4:27 PM	4:33 PM	6
16	4:30 PM	4:34 PM	4
17	4:33 PM	4:38 PM	5
18	4:36 PM	4:40 PM	4
19	4:43 PM	4:48 PM	5
20	4:45 PM	4:49 PM	4
21	4:46 PM	4:50 PM	4
22	4:46 PM	4:51 PM	5
23	4:48 PM	4:52 PM	4
24	4:51 PM	4:55 PM	4
25	4:52 PM	4:56 PM	4
26	4:52 PM	4:56 PM	4
27	4:54 PM	4:58 PM	4
28	5:00 PM	5:04 PM	4
29	5:01 PM	5:07 PM	6
30	5:01 PM	5:07 PM	6
31	5:01 PM	5:08 PM	7
32	5:02 PM	5:09 PM	7
33	5:03 PM	5:11 PM	8
34	5:04 PM	5:12 PM	8
35	5:06 PM	5:16 PM	10
36	5:09 PM	5:17 PM	8
37	5:09 PM	5:19 PM	10
38	5:10 PM	5:20 PM	10
39	5:13 PM	5:22 PM	9
40	5:15 PM	5:25 PM	10
41	5:16 PM	5:26 PM	10
42	5:19 PM	5:27 PM	8

Vehicle No.	Time Enter	Time Exit	Time Duration (Minutes)
59	5:42 PM	5:50 PM	8
60	5:45 PM	5:51 PM	6
61	5:47 PM	5:55 PM	8
62	5:47 PM	5:56 PM	9
63	5:47 PM	5:57 PM	10
64	5:49 PM	5:59 PM	10
65	5:50 PM	6:01 PM	11
66	5:51 PM	6:02 PM	11
67	5:52 PM	6:03 PM	11
68	5:52 PM	6:05 PM	13
69	5:52 PM	6:05 PM	13
70	5:54 PM	6:06 PM	12
71	5:54 PM	6:08 PM	14
72	5:56 PM	6:10 PM	14
73	5:58 PM	6:12 PM	14
74	6:01 PM	6:13 PM	12
75	6:02 PM	6:13 PM	11
76	6:05 PM	6:14 PM	9
77	6:06 PM	6:16 PM	10
78	6:11 PM	6:15 PM	4
79	6:12 PM	6:17 PM	5
80	6:14 PM	6:20 PM	6
81	6:14 PM	6:21 PM	7
82	6:15 PM	6:23 PM	8
83	6:17 PM	6:24 PM	7
84	6:18 PM	6:24 PM	6
85	6:18 PM	6:25 PM	7
86	6:19 PM	6:26 PM	7
87	6:19 PM	6:27 PM	8
88	6:20 PM	6:27 PM	7
89	6:21 PM	6:28 PM	7
90	6:24 PM	6:29 PM	5
91	6:26 PM	6:31 PM	5
92	6:28 PM	6:32 PM	4
93	6:28 PM	6:33 PM	5
94	6:30 PM	6:36 PM	6
95	6:33 PM	6:37 PM	4
96	6:34 PM	6:38 PM	4
97	6:36 PM	6:39 PM	3
98	6:37 PM	6:40 PM	3
99	6:39 PM	6:44 PM	5
100	6:42 PM	6:47 PM	5

Table TB-1

Taco Bell Drive-Thru Processing Time Duration Survey

Vehicle No.	Time Enter	Time Exit	Time Duration (Minues)
43	5:20 PM	5:28 PM	8
44	5:20 PM	5:30 PM	10
45	5:22 PM	5:32 PM	10
46	5:26 PM	5:33 PM	7
47	5:27 PM	5:36 PM	9
48	5:27 PM	5:40 PM	13
49	5:27 PM	5:42 PM	15
50	5:28 PM	5:43 PM	15
51	5:28 PM	5:45 PM	17
52	5:29 PM	5:45 PM	16
53	5:32 PM	5:46 PM	14
54	5:33 PM	5:47 PM	14
55	5:33 PM	5:47 PM	14
56	5:34 PM	5:48 PM	14
57	5:35 PM	5:49 PM	14
58	5:41 PM	5:49 PM	8

Vehicle No.	Time Enter	Time Exit	Time Duration (Minutes)
101	6:44 PM	6:49 PM	5
102	6:45 PM	6:51 PM	6
103	6:49 PM	6:53 PM	4
104	6:50 PM	6:55 PM	5
105	6:51 PM	6:57 PM	6
106	6:51 PM	6:59 PM	8
107	6:54 PM	7:00 PM	6
108	6:55 PM	7:02 PM	7
109	6:58 PM	7:03 PM	5
110	6:58 PM	7:05 PM	7
111	6:59 PM	7:07 PM	8
112	7:00 PM	7:07 PM	7

****Average Time Duration Per Vehicle: 7.6 Minutes****

Notes:

(1) JMC performed counts of the existing Taco Bell Drive-Thru located at 1081 Stoneleigh Avenue, Carmel, NY on Thursday, May 20, 2020.

Table TB-2

Taco Bell Drive-Thru Queue Length Survey

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
4:00 PM	-	-	1
4:01 PM	1	0	2
4:02 PM	0	0	2
4:03 PM	1	0	3
4:04 PM	0	1	2
4:05 PM	0	1	1
4:06 PM	1	0	2
4:07 PM	1	1	2
4:08 PM	0	0	2
4:09 PM	1	1	2
4:10 PM	0	0	2
4:11 PM	0	1	1
4:12 PM	1	0	2
4:13 PM	1	1	2
4:14 PM	0	0	2
4:15 PM	0	0	2
4:16 PM	1	0	3
4:17 PM	1	0	4
4:18 PM	1	1	4
4:19 PM	0	1	3
4:20 PM	0	1	2
4:21 PM	0	0	2
4:22 PM	1	2	1
4:23 PM	1	0	2
4:24 PM	0	0	2
4:25 PM	0	0	2
4:26 PM	1	0	3
4:27 PM	1	0	4
4:28 PM	0	1	3
4:29 PM	0	0	3
4:30 PM	1	1	3
4:31 PM	0	0	3
4:32 PM	0	1	2
4:33 PM	1	1	2
4:34 PM	0	1	1
4:35 PM	0	0	1
4:36 PM	1	0	2
4:37 PM	0	0	2
4:38 PM	0	1	1
4:39 PM	0	0	1
4:40 PM	0	1	0
4:41 PM	0	0	0
4:42 PM	0	0	0
4:43 PM	1	0	1
4:44 PM	0	0	1

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
4:45 PM	1	0	2
4:46 PM	2	0	4
4:47 PM	0	0	4
4:48 PM	1	1	4
4:49 PM	0	1	3
4:50 PM	0	1	2
4:51 PM	1	1	2
4:52 PM	2	1	3
4:53 PM	0	0	3
4:54 PM	1	0	4
4:55 PM	0	1	3
4:56 PM	0	2	1
4:57 PM	0	0	1
4:58 PM	0	1	0
4:59 PM	0	0	0
5:00 PM	1	0	1
5:01 PM	3	0	4
5:02 PM	1	0	5
5:03 PM	1	0	6
5:04 PM	1	1	6
5:05 PM	0	0	6
5:06 PM	1	0	7
5:07 PM	0	2	5
5:08 PM	0	1	4
5:09 PM	2	1	5
5:10 PM	1	0	6
5:11 PM	0	1	5
5:12 PM	0	1	4
5:13 PM	1	0	5
5:14 PM	0	0	5
5:15 PM	1	0	6
5:16 PM	1	1	6
5:17 PM	0	1	5
5:18 PM	0	0	5
5:19 PM	1	1	5
5:20 PM	2	1	6
5:21 PM	0	0	6
5:22 PM	1	1	6
5:23 PM	0	0	6
5:24 PM	0	0	6
5:25 PM	0	1	5
5:26 PM	1	1	5
5:27 PM	3	1	7
5:28 PM	2	1	8
5:29 PM	1	0	9

Table TB-2

Taco Bell Drive-Thru Queue Length Survey

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
5:30 PM	0	1	8
5:31 PM	0	0	8
5:32 PM	1	1	8
5:33 PM	2	1	9
5:34 PM	1	0	10
5:35 PM	1	0	11
5:36 PM	0	1	10
5:37 PM	0	0	10
5:38 PM	0	0	10
5:39 PM	0	0	10
5:40 PM	0	1	9
5:41 PM	1	0	10
5:42 PM	1	1	10
5:43 PM	0	1	9
5:44 PM	0	0	9
5:45 PM	1	2	8
5:46 PM	0	1	7
5:47 PM	3	2	8
5:48 PM	0	1	7
5:49 PM	1	2	6
5:50 PM	1	1	6
5:51 PM	1	1	6
5:52 PM	3	0	9
5:53 PM	0	0	9
5:54 PM	2	0	11
5:55 PM	0	1	10
5:56 PM	1	1	10
5:57 PM	0	1	9
5:58 PM	1	0	10
5:59 PM	0	1	9
6:00 PM	0	0	9
6:01 PM	1	1	9
6:02 PM	1	1	9
6:03 PM	0	1	8
6:04 PM	0	0	8
6:05 PM	1	2	7
6:06 PM	1	1	7
6:07 PM	0	0	7
6:08 PM	0	1	6
6:09 PM	0	0	6
6:10 PM	0	1	5
6:11 PM	1	0	6
6:12 PM	1	1	6
6:13 PM	0	2	4
6:14 PM	2	1	5

Time	Vehicles Entering Queue	Vehicles Exiting Queue	Vehicle Queue Length
6:15 PM	1	1	5
6:16 PM	0	1	4
6:17 PM	1	1	4
6:18 PM	2	0	6
6:19 PM	2	0	8
6:20 PM	1	1	8
6:21 PM	1	1	8
6:22 PM	0	0	8
6:23 PM	0	1	7
6:24 PM	1	2	6
6:25 PM	0	1	5
6:26 PM	1	1	5
6:27 PM	0	2	3
6:28 PM	2	1	4
6:29 PM	0	1	3
6:30 PM	1	0	4
6:31 PM	0	1	3
6:32 PM	0	1	2
6:33 PM	1	1	2
6:34 PM	1	0	3
6:35 PM	0	0	3
6:36 PM	1	1	3
6:37 PM	1	1	3
6:38 PM	0	1	2
6:39 PM	1	1	2
6:40 PM	0	1	1
6:41 PM	0	0	1
6:42 PM	1	0	2
6:43 PM	0	0	2
6:44 PM	1	1	2
6:45 PM	1	0	3
6:46 PM	0	0	3
6:47 PM	0	1	2
6:48 PM	0	0	2
6:49 PM	1	1	2
6:50 PM	1	0	3
6:51 PM	2	1	4
6:52 PM	0	0	4
6:53 PM	0	1	3
6:54 PM	1	0	4
6:55 PM	1	1	4
6:56 PM	0	0	4
6:57 PM	0	1	3
6:58 PM	2	0	5
6:59 PM	1	1	5
7:00 PM	1	1	5

Notes:

(1) JMC performed counts of the existing Taco Bell Drive-Thru located at 1081 Stoneleigh Avenue, Carmel, NY on Thursday, May 20, 2020.

Table TB-3

Taco Bell Drive-Thru Queue Length Survey Summary

Time	Queue Length (Vehicles)		
	50th Percentile	95th Percentile	Maximum
4:00 PM - 4:15 PM	2.0	2.3	3
4:15 PM - 4:30 PM	3.0	4.0	4
4:30 PM - 4:45 PM	1.0	3.0	3
4:45 PM - 5:00 PM	3.0	4.0	4
5:00 PM - 5:15 PM	5.0	6.3	7
5:15 PM - 5:30 PM	6.0	8.3	9
5:30 PM - 5:45 PM	10.0	10.3	11
5:45 PM - 6:00 PM	9.0	10.3	11
6:00 PM - 6:15 PM	7.0	9.0	9
6:15 PM - 6:30 PM	5.0	8.0	8
6:30 PM - 6:45 PM	2.0	3.3	4
6:45 PM - 7:00 PM	3.5	5.0	5
4:00 - 7:00 PM	4.0	10.0	11

Notes:

(1) JMC performed counts of the existing Taco Bell Drive-Thru located at 1081 Stoneleigh Avenue, Carmel, NY on Thursday, May 20, 2020.



May 26, 2021

Town Supervisor Matthew Slater
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

Taco Bell Mohegan Lake

Dear Supervisor Slater:

My name is Raghav Patel and I am an owner of the Kai Restaurant Group and a Taco Bell franchisee. On behalf of our group, I would first and foremost like to say that we are excited to be a part of the Yorktown community and look forward to opening both the Crompond Road and Mohegan Lake locations. We are experienced operators and own a number of Dunkin Donuts restaurants in the area.

We first filed our Site Plan Application in August of last year and have diligently worked with our consultants to respond to all comments and concerns of the Town and its residents. As future property owners in the Town, we take our role in the community seriously and pride ourselves on being good neighbors and maintaining a clean property. As discussed at the May 10th Planning Board meeting, we understand that the Mohegan Lake Improvement District recently organized an event cleaning litter that has collected on Mohegan Avenue extending to the culvert at the lake. We also understand that the Mohegan Lake Improvement District has expressed concerns regarding the potential for additional litter to be generated from the Taco Bell site.

We are writing this letter to express our commitment to keeping Mohegan Avenue clean. As we stated at the Planning Board meeting, multiple trash receptacles will be placed throughout the parking lot and members of our staff routinely patrol the property to collect any stray garbage. Additionally, as part of our regular operations, we will be directing our staff to walk the both the Route 6 and Mohegan Avenue frontages of the property to pick up any litter in this area.

We are excited to be a part of Yorktown and are committed to maintaining a clean environment as the Mohegan Lake residents expect and enjoy. Should you have any questions or concerns and would like to reach me directly, please do not hesitate to call me at (201) 315-3670, thank you.

Sincerely,

Raghav Patel

A handwritten signature in black ink, appearing to read 'Raghav Patel', written over a white background.

Owner
Kai Restaurant Group



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

April 21, 2021

Chairman Richard Fon
& Members of the Planning Board
Town of Yorktown Planning Board
1974 Commerce Street, Room 222
Yorktown, NY 10598

RECEIVED
PLANNING DEPARTMENT

APR 21 2021

TOWN OF YORKTOWN

RE: JMC Project 20045
Proposed Taco Bell Restaurant
3571 Mohegan Avenue
Town of Yorktown, NY

Dear Chairman Fon and Members of the Board:

On behalf of Keystone Mohegan Lake LLC, we are pleased to provide the following responses to comments discussed during the April 12th Public Hearing. Accordingly, herein we have provided materials and responses for your consideration.

Enclosed please find a copy of the below listed materials for your review:

I. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
C-100	"Layout Plan"	3 04/21/2020

For the Board's convenience, we have indicated each comment in italics, followed by the Applicant's responses:

Comments Received during the April 12th Public Hearing

Comment No. 1

The proposed Taco Bell restaurant will share a parking lot with The Learning Experience day care facility. How will safety be ensured for the children who attend The Learning Experience?

Response No. 1

The Learning Experience, Hudson Valley Credit union, and the proposed Taco Bell restaurant will all share a driveway onto Mohegan Avenue but each building has its own parking lot. The Taco Bell restaurant has an independent access on the main access drive and does not conflict with the existing parking lot and drop off areas behind The Learning Experience building.

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC | JMC Site Development Consultants, LLC

Additionally, The Learning Experience closes at 6:30 PM during the week (Monday through Friday) and is closed on the weekends which further reduces potential conflicts between the two uses.

Comment No. 2

This segment of Route 6 becomes very congested during the peak hours. Many drivers run red lights and cut-through the adjacent shopping centers in order to bypass traffic.

Response No. 2

As discussed during the Public Hearing, an extensive traffic study was performed and significant roadway improvements were constructed in coordination with the New York State Department of Transportation (NYSDOT) to permit the original subdivision and site plan approvals. Additionally, a new traffic study was prepared in 2018 which analyzed the change from the approved bank use to a fast-food restaurant use. The Traffic Study concludes that there are no appreciable changes in delays in the studied intersections during all peak hours analyzed.

Comment No. 3

Has the applicant explored having an entrance on Route 6?

Response No. 3

A driveway on Route 6 would not be ideal and would likely not be permitted by the NYSDOT due to the proximity of a potential driveway to the intersection.

Comment No. 4

The queue at the Mohegan Avenue approach sometimes extends to the site driveway. How will this be impacted by the proposed development?

Response No. 4

The operations of the northbound Mohegan Avenue approach were studied as part of the 2018 traffic study that was previously prepared. Should the queue on Mohegan Avenue extend to the site driveway, vehicles exiting the site driveway will wait within the site driveway until there is room to turn onto Mohegan Avenue.

Comment No. 5

Can the applicant provide data from a comparable Taco Bell showing how many customers are expected during peak time on a typical weekday and weekend?

Response No. 5

The traffic study which was prepared in 2018 projected the number of vehicle trips for a fast-food restaurant with a drive-through window based on an industry standard publication from the

Institute of Transportation Engineers (ITE). The ITE publication is based on over 100 studies that were conducted during peak weekday and weekend hours at fast-food restaurants with drive-through windows.

Comment No. 6

What are the proposed hours of operation?

Response No. 6

The Taco Bell restaurant will be open from 7 AM until 2 AM.

Comment No. 7

Does the proposed restaurant require one or two Special Permits for the drive-thru / outdoor dining area.

Response No. 7

The proposed restaurant requires a Special Permit for the drive-thru aspect of the use. The outdoor dining area does not require a Special Permit from the Planning Board as it will contain 12 seats or less.

Comment No. 8

Does the outdoor dining area count toward the required parking calculation?

Response No. 8

We have confirmed with the Planning Department that the calculation of required parking does not include the outdoor dining area.

Comment No. 9

A loading area is not identified on the site plan.

Response No. 9

The proposed loading area has been delineated on JMC Drawing C-100, "Layout Plan", and is consistent with the truck turning maneuvers that were demonstrated within the plan set.

Comment No. 10

The Traffic Study was performed in 2018 and COVID has changed traffic patterns. A new study should be prepared.

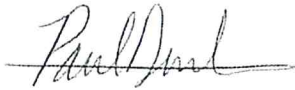
Response No. 10

This comment is noted. We acknowledge that the traffic patterns and levels as a result of the COVID-19 pandemic are different than what was observed in 2018. However, traffic engineers and reviewers (including the NYSDOT) are viewing this as a temporary condition which will eventually return to pre-COVID conditions. If a new study were prepared today, the NYSDOT would require that we either use prior roadway count data (adjusted using general growth factors) or would require that any counts conducted be factored up to pre-COVID levels.

We trust that this information is sufficient for you to continue your review of this Application and we look forward to discussing this matter with you further. If you have any questions or require additional information with regard to the information provided above, please do not hesitate to contact our office at 914-273-5225. Thank you for your consideration.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

A handwritten signature in black ink, appearing to read "Paul J. Dumont", with a horizontal line extending to the right.

Paul J. Dumont, PE
Senior Designer II

Short Environmental Assessment Form

Part 1 - Project Information

RECEIVED
PLANNING DEPARTMENT

AUG 24 2020

Instructions for Completing

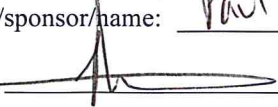
TOWN OF YORKTOWN

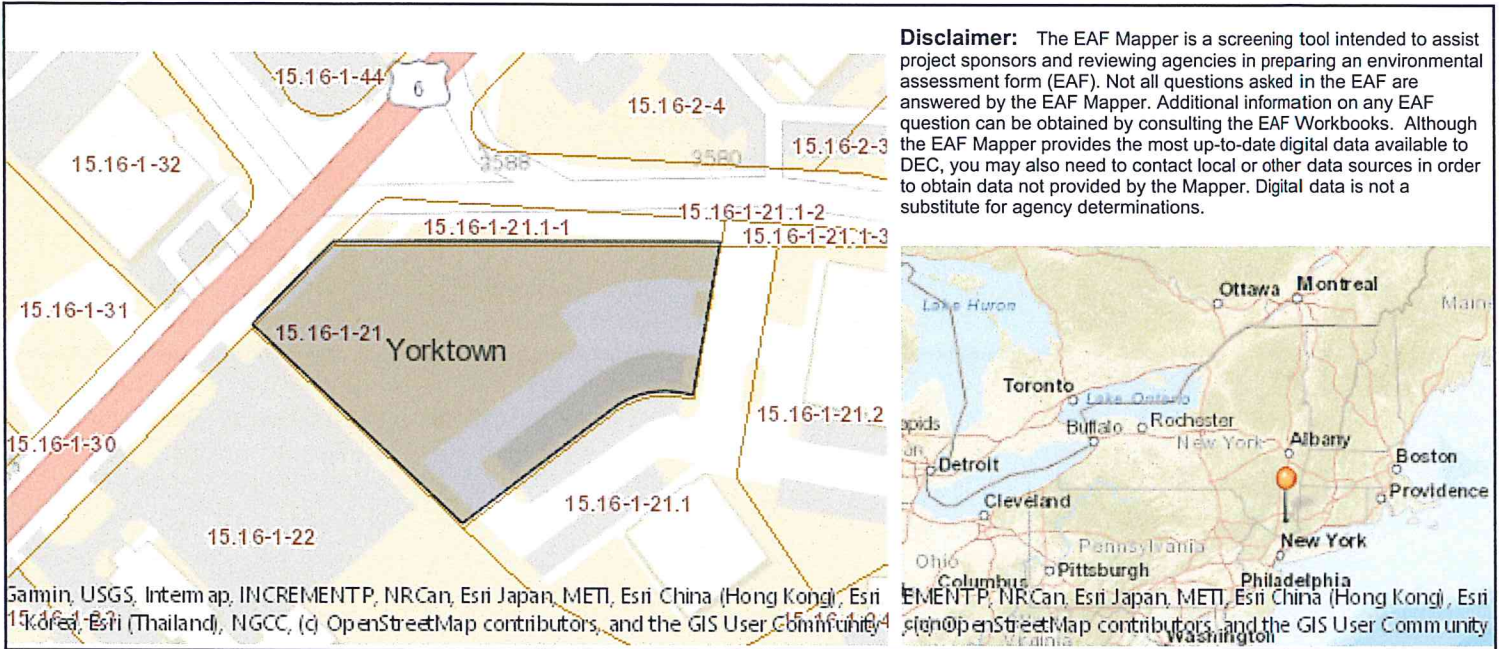
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Taco Bell Restaurant			
Project Location (describe, and attach a location map): 3571 Mohegan Avenue			
Brief Description of Proposed Action: Construction of a 2,090± square foot Taco Bell Restaurant. Associated site improvements are proposed including a dedicated drive-thru lane and appurtenances, landscaping, signage, a trash enclosure, as well as portions of existing curb and pavement to be replaced.			
Name of Applicant or Sponsor: Keystone Mohegan Lake LLC		Telephone: (201) 315-3670 E-Mail: Raghav@Kai-RG.com	
Address: 25 Route 59			
City/PO: Nyack		State: NY	Zip Code: 10960
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.83 acres	
b. Total acreage to be physically disturbed?		0.44 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.83 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? * The property across Mohegan Avenue is part of the SHPO Archaeology Survey #01SR52058 * b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? * The property next to the site lies adjacent to Mohegan Lake. * b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Stormwater discharges will be directed to the existing stormwater management system that was installed for the previously approved bank site plan.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
The DEC Spill Incidents Database indicates that several spills occurred within 1,000' of the property (0404943, 0609734), though no spills were reported on the subject property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Paul J. Dumont, EIT (JMC)</u> Date: <u>8/21/2020</u>		
Signature: <u></u> Title: <u>Senior Designer</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Councilman Lachterman said that he is in complete agreement with Mr. Kopstein's views. He said that he heard that the state may allow each county to decide for themselves regarding legalization. If that is the case, the Town Board will have to discuss this with the County Legislators. Councilman Lachterman also addressed Mr. Strauss' comments by saying that many landlords and business owners care about what happens in Yorktown. Mr. Strauss said that Councilman Lachterman has not talked to the owners he has in terms of the conditions of their dumpsters at their businesses. Councilman Lachterman said he disagreed with making a generalization of business owners in Yorktown. He cited the owner of the new Goldfish School who discussed with him as to how to clean up his area.

Councilman Patel spoke about how the legalization of marijuana is a complex issue.

PUBLIC HEARING DECISION FOR REZONING REQUEST BY CELESTIAL ROUTE 6 ASSOCIATES II, LLC RESOLUTION #017

Upon motion made by Councilman Lachterman, seconded by Councilwoman Roker,

WHEREAS, Celestial Route 6 Associates II, LLC ("Celestial") is the owner of certain real property located at the corner of Route 6 and Mohegan Avenue in the Town of Yorktown, State of New York, known and designated on the Town Tax Map as Section 15.16, Block 1, Lot 21 totaling approximately 0.83 acres (the "Property"); and

WHEREAS, the Property is located within a previously approved subdivision; and

WHEREAS, the entire Property is presently zoned O (Office); and

WHEREAS, on or about September 20, 2018, Celestial filed a Petition for a rezoning of the subject Property from the O Zoning District into the C-2 (Commercial Hamlet Center) District (the "Action"); and

WHEREAS, in conjunction with the Action, Celestial has submitted a conceptual site plan (the "Plan") and a full Environmental Assessment Form ("EAF") under the State Environmental Quality Review Act ("SEQRA") and associated materials (the "Application"); and

WHEREAS, on October 9, 2018, at a work session meeting of the Town Board, the Board reviewed the Application; and

WHEREAS, on October 16, 2018, the Town Board designated the proposed rezoning as an Unlisted Action under SEQRA, declared its intent to serve as Lead Agency ("Lead Agency") to conduct a coordinated review with respect to the review of the Action in accordance with Article 8 of the Environmental Conservation Law of the State of New York, and the regulations promulgated thereunder at 6 N.Y.C.R.R. Section 617.6(b) and directed the circulation of a coordination letter among Involved and Interested Agencies pursuant to 6 N.Y.C.R.R. Section 617.6(b)(3), and referred the Action to the Planning Board for review and recommendation; and

WHEREAS, on November 2, 2018, the Westchester County Planning Board indicated that it has no objection to the Yorktown Town Board assuming Lead Agency status and found the Action to be a matter for local determination in accordance with the Town of Yorktown's planning and zoning policies; and

WHEREAS, on November 5, 2018, the Applicant met with the Planning Board and the Planning Board indicated it would make a positive recommendation for the proposed Action; and

WHEREAS, on November 14, 2018, the Town of Yorktown Advisory Board on Architecture and Community Appearance issued a Memorandum indicating it has no objection to the proposed rezoning of the Property; and

WHEREAS, on November 16, 2018, the Conservation Board issued a Memorandum indicating that it has no issue with the proposed rezoning of the Property; and

WHEREAS, a public hearing was held on December 18, 2018, pursuant to notice duly published as required by law, to amend the Zoning Map of the Town of Yorktown, New York as established under Chapter 300 of the Code of the Town of Yorktown; and

WHEREAS, after careful review and consideration of the “EAF” and associated materials, including a traffic study, which shows that redevelopment of the Property as a 7,200 square foot retail building or as a 2,000 square foot fast-food restaurant would not have a significant impact on traffic operations, the Town Board finds that the proposed Action will not have a significant impact on the environment and does not require the preparation of an Environmental Impact Statement; and

WHEREAS, the applicant has acknowledged that at such time as a specific development proposal is advanced for the Property, such proposal will be subject to a separate environmental review pursuant to SEQRA.

NOW THEREFORE BE IT RESOLVED, THAT:

1. The Town Board declares itself Lead Agency for the purposes of SEQRA review of the Action.
2. This Action constitutes an Unlisted Action under 6 N.Y.C.R.R. 617.2, which will not have a significant adverse impact on the environment and therefore does not require the preparation of an Environmental Impact Statement.
3. The following lot on the Tax Map of the Town of Yorktown is rezoned from the O Zoning District to the C-2 (Commercial Hamlet Center) Zoning District:

Section 15.16, Block 1, Lot 21 (15.16-1-21) (approximately 0.83 acres)

The Town Clerk is authorized to take all necessary acts to implement this Resolution.

Ilan D. Gilbert, Supervisor	Voting	Aye
Alice E. Roker, Councilwoman	Voting	Aye
Vishnu Patel, Councilman	Voting	Aye
Edward A. Lachterman, Councilman	Voting	Aye

Resolution adopted.

**LOCAL LAW 1 OF 2019 TO AMEND ZONING MAP – CELESTIAL ROUTE 6 ASSOCIATES II, LLC
RESOLUTION #018**

Upon motion made by Councilman Lachterman, seconded by Councilwoman Roker,

WHEREAS, a public hearing was held on December 18, 2018 pursuant to notice duly published as required by law to amend Chapter 300 of the Code of the Town of Yorktown as follows:

The following lot on the Tax Map of the Town of Yorktown are rezoned from O to C-2, as shown on Exhibit “A,” and as further described by metes and bounds in Exhibit “B,” both of which are annexed hereto and incorporated as if set forth in full herein:

Section 15.16 Section 1 Lot 21 (Approximately 0.83 acre) located at the corner of Route 6 and Mohegan Avenue, Mohegan Lake, NY 10547

The question of the adoption of the foregoing resolution was duly put to a vote on roll call, which resulted as follows:

Ilan D. Gilbert, Supervisor	Voting	Aye
Alice E. Roker, Councilwoman	Voting	Aye
Vishnu Patel, Councilman	Voting	Aye
Edward A. Lachterman, Councilman	Voting	Aye

Local Law #1 of 2019 is hereby duly adopted.

State Environmental Quality Review
NEGATIVE DECLARATION
Notice of Determination of Non-Significance

Project Number

Date:

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Mohegan Lake Taco Bell

SEQR Status: Type 1
Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

Proposed 2,086 square foot Taco Bell Restaurant with a drive-thru.

The site is located at the address 3571 Mohegan Avenue, Mohegan Lake, NY 10547

Section 15.16, Block 1, Lot 21

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

3571 Mohegan Avenue, Mohegan Lake, Town of Yorktown, Westchester County

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

- 1) This negative declaration is based on a Short Environmental Assessment Form last revised August 21, 2020.
- 2) The plan conforms to the Town's Land Use and Zoning Policies. The property was granted a rezone from Office zone to C-2 Commercial Hamlet Center zoning district by the Town Board on January 15, 2019.
- 3) A review of the applicant's 2018 Traffic Study for the rezoning petition and additional supporting materials submitted for this application was performed by the Town's traffic consultant Sam Schwartz and they concluded that the proposed action will not have direct traffic safety impacts to the adjacent roadway network.
- 4) There is no increase for demand in Town Services.
- 5) The applicant has offered additional litter cleanup on the site and along Mohegan Avenue.
- 6) Landscape screening is required to be installed along the street frontages to mitigate the view of cars in the parking lot and waiting in the drive-thru queue.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT FOR A DRIVE-THRU,
AND STORMWATER POLLUTION PREVENTION PLAN,
FOR THE MOHEGAN LAKE TACO BELL**

RESOLUTION NUMBER: #00-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Proposed Taco Bell Restaurant," prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021 was submitted to the Planning Board on behalf of Keystone Mohegan Lake LLC (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by Celestial Route 6 Associates II, LLC is located at 3571 Mohegan Avenue, also known as Section 15.16, Block 1, Lot 21 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS the Property was part of a subdivision and site plan approval titled Route 6 Office Development by Planning Board Resolutions #08-04 and #08-05 respectively on February 11, 2008 where this lot was approved for a 4,000 square foot branch bank with 2 drive-thru lanes; and

WHEREAS in 2018 the property owner petitioned the Town Board for a rezone of the Property from the O office zone to C-2 commercial hamlet center zoning district and proposed for the Board's consideration a 7,200 square foot retail building or a 2,000 square foot fast-food restaurant; and

WHEREAS on January 15, 2019, the Town Board adopted Resolution #17 in which they made the determination that a 7,200 square foot retail building or 2,000 square foot fast-food restaurant would not have a significant impact on traffic operations, would not have a significant impact on the environment, and would not require preparation of an Environmental Impact Statement; and

WHEREAS on January 15, 2019, the Town Board adopted Resolution #18 adopting Local Law #1 of 2019 changing the zone of the Property from the O zoning district to the C-2 zoning district; and

WHEREAS in support of the rezone petition, the property owner had prepared a Traffic Study prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, and dated September 20, 2018; and

WHEREAS an application fee of \$4,263.00 covering 0.83 acres has been received by this Board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on <DATE>.
3. A negative declaration has been adopted on <DATE> on the basis of a Short EAF dated August 21, 2020.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A drawing, Sheet C-000, titled “Cover Sheet,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
2. A drawing, Sheet C-010, titled “Existing Conditions Map,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
3. A drawing, Sheet C-020, titled “Demolition Plan,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
4. A drawing, Sheet C-100, titled “Layout Plan,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
5. A drawing, Sheet C-110, titled “Delivery Vehicle Turning Analyses,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
6. A drawing, Sheet C-120, titled “Refuse Vehicle Turning Analyses,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
7. A drawing, Sheet C-130, titled “Passenger Vehicle Turning Analyses,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
8. A drawing, Sheet C-200, titled “Grading Plan,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and

9. A drawing, Sheet C-300, titled “Utilities Plan,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
10. A drawing, Sheet C-400, titled “Erosion and Sediment Control Plan,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
11. A drawing, Sheet C-900, titled “Construction Details,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
12. A drawing, Sheet C-901, titled “Construction Details,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
13. A drawing, Sheet C-902, titled “Construction Details,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
14. A drawing, Sheet L-100, titled “Landscaping Plan,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
15. A drawing, Sheet L-110, titled “Site Sections,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021; and
16. A drawing, titled “Footcandles calculated at grade,” prepared by Cree Lighting, dated August 20, 2020; and

Architectural Plans

17. A drawing, Sheet A4.0, titled “Exterior Elevations,” prepared by Wiener Architecture Group LLC, dated July 17, 2020; and
18. A drawing, Sheet A4.1, titled “Exterior Elevations,” prepared by Wiener Architecture Group LLC, dated July 17, 2020; and

Reports

19. A report titled “Traffic Study”
20. A Stormwater Pollution Prevention Plan prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 14, 2020, and last revised September 20, 2021; and

WHEREAS in support of the subject application for amended site plan approval, the Applicant submitted additional queuing analyses at two other similar Taco Bell locations dated June 2, 2021; and

WHEREAS the Town Board authorized the review of the submitted application by the Town’s traffic consultant, Sam Schwartz; and

WHEREAS pursuant to Town Code Section 300-182(A)(5) the Applicant must provide at least one space for each 50 square feet of floor area devoted to patron use, plus one space for each 100 square feet of food preparation and ancillary use thereby requiring a total of 25 parking spaces, and the applicant has shown 33 parking spaces on the site plan; and

WHEREAS pursuant to Town Code Section 300-186, the Applicant must provide one loading space for the first 4,000 square feet of floor area or major portion thereof and whereas the proposed restaurant is 2,086 square feet, one loading space is shown on the site plan in the parking aisle closest to the western property line and Sheet C-130 demonstrates cars can still circulate the site when a truck is parked in the loading space; and

WHEREAS the site plan proposes an outdoor seating area consisting of three tables with four chairs at each table for a total of 12 seats and any outdoor seating area of 12 seats or less must obtain an outdoor seating permit from the Building Inspector; and

WHEREAS pursuant to Section 300-21(C)(8)(a)[1], the drive-thru is considered service conducted outside the premises and requires a special use permit issued by the Planning Board; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	09/18/20, 10/08/20, 10/22/20, 03/03/21
Conservation Board	09/03/20, 10/06/20
Fire Inspector	10/01/20
Planning Department	04/09/21
Town Engineer	09/10/20, 03/05/21
Westchester County Planning Board	12/02/20

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application via Zoom video conferencing on October 26, 2020; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site

plan application commencing on April 12, 2021, and continuing on May 10, 2021 via Zoom video conferencing and closing on September 13, 2021 at Town Hall in Yorktown Heights, New York;

BE IT NOW RESOLVED that the application of Keystone Mohegan Lake LLC for the approval of a site plan titled “Proposed Taco Bell Restaurant,” prepared by JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC, dated August 21, 2020, and last revised September 20, 2021, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. _____
2. _____
3. _____

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the Planning Board.
2. The Applicant shall discuss with the NYS DOT to determine if there are any improvements that can be made at the intersection of Route 6 and Mohegan Avenue to make this intersection safer, including, but not limited to, adding a protected left turn phase to the eastbound left turn signal and moving the eastbound approach stop bar closer to the intersection.
3. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

Traffic Study	\$3,200.00
General Development	\$293.00

4. Submission of inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements:

1. Prior to issuance of a certificate of occupancy, a special permit for outdoor seating must be obtained from the Building Inspector.
2. Sign permits must be obtained from the Building Inspector for all regulated signs to be placed on the site.
3. Proposed plan must comply with all current applicable ADA standards.
4. Applicant must obtain all necessary permits from outside agencies.
5. Upon completion of the project, the Applicant must submit an as-built survey, on paper and in digital AutoCAD DWG readable format, showing all improvements on the site.

BE IT FURTHER RESOLVED, the Applicant must plan for extra traffic that may occur when the restaurant first opens by employing parking attendants to aid in the direction of traffic during peak hours to ensure drive-thru queues do not block access to the other two businesses on the site or cause delays on the surrounding roadway; and

RESOLVED, all new lighting installed on the site must comply with the standards as set forth in Chapter 200 Lighting that requires all free-standing and wall-mounted luminaires shall be fully shielded light fixtures; and

RESOLVED, the Applicant shall keep the Planning Department informed of field changes during construction to determine whether amendments to the approved site plan are required; and

RESOLVED, the Applicant must notify the Planning Department if the installation of any exterior utility boxes or structures not shown on the approved site plan are required to be installed to ensure the proper screening of these structures on the site; and

RESOLVED, that in accordance with Town Code Chapter 248, the application of Keystone Mohegan Lake LLC for the approval of a Stormwater Pollution Prevention Plan Permit **#FSWPP-045-20** is approved subject to the conditions listed therein; and

RESOLVED, Permit **#FSWPP-045-20** shall not be valid until it has been signed by the Chairman of this Board;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a “Qualified Inspector” as defined by the New York State Department of

Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by <DATE>, or a time extension has been granted by the Planning Board, this approval will be null and void.

F:\Office\WordPerfect\Current_Projects\Taco Bell - Mohegan Lake - 15.16-1-21 (Rt6 Office Dev)\Resolutions\Taco Bell Mohegan Draft Resolution.docx

Boniello Subdivision

RECEIVED
PLANNING DEPARTMENT

AUG 12 2021

TOWN OF YORKTOWN

Boniello Development
165 Waccabuc Rd
Goldens Bridge, NY 10526



RE: Proposed Subdivision of 2212, 2214, 2216 and 2220 Crompond Road, Yorktown NY

The attached application proposes the subdivision of land to construct two (2) new dwellings adjacent to existing dwellings located at 2212, 2214, 2216 and 2220 Crompond Road, Yorktown NY. The new dwellings are to be subdivided from the three (3) tax lots Section 37.09, Block 1, Lot 67; Section 37.09, Block 1, Lot 70; Section 37.09, Block 1, Lot 71. Both the new and existing dwellings would meet the minimum lot area requirement of 20,000sqft. The 2 new dwellings driveways would access existing private road which intersects with route 202. Utilities including electric, water and sewer for the new dwellings are located on the property and can be tapped into without disruption to route 202.

Sincerely,

Jared Boniello

TOWN OF YORKTOWN PLANNING BOARD

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

PRE-PRELIMINARY APPLICATION

Date 08/06/2021

1. Tax Map Designation: Section 37.09 Block 1 Lot 70 & 71

RECEIVED
PLANNING DEPARTMENT

2. Zone: R-2 Acreage: 1

AUG 6 2021

3. Type of Development: Site Plan Subdivision

TOWN OF YORKTOWN

4. If subdividing, how many total lots are proposed? 2 Additional Lots

5. A brief description of the proposed development:

Two family rental.

6. Applicant:

Name Gus Boniello
Firm Boniello Equities
Address 165 Waccabuc Road
Goldens Bridge, NY 10526
Phone (914) 523-5046
Fax (914) 232-4063
Email GTboniello@aol.com

7. Owner of Record:

Name Boniello Equities
Address 165 Waccabuc Road
Goldens Bridge, NY 10526
Phone (914) 523-5046
Fax (914) 232-4063
Email GTboniello@aol.com

8. Designated contact person for this application:

Name Gus Boniello
Fax # (914) 232-4063
Email GTboniello@aol.com


Applicant
SIGNATURE

Gus Boniello
PRINT NAME

08/06/2021
DATE


Owner of Record
SIGNATURE

Gus Boniello
PRINT NAME

08/06/2021
DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

TOWN OF YORKTOWN PLANNING BOARD

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

PRE-PRELIMINARY APPLICATION

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RECEIVED
PLANNING DEPARTMENT

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TOWN OF YORKTOWN

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Fax # (914) 232-4063
Email GTboniello@aol.com

Gus Boniello
Applicant
SIGNATURE

Gus Boniello
PRINT NAME

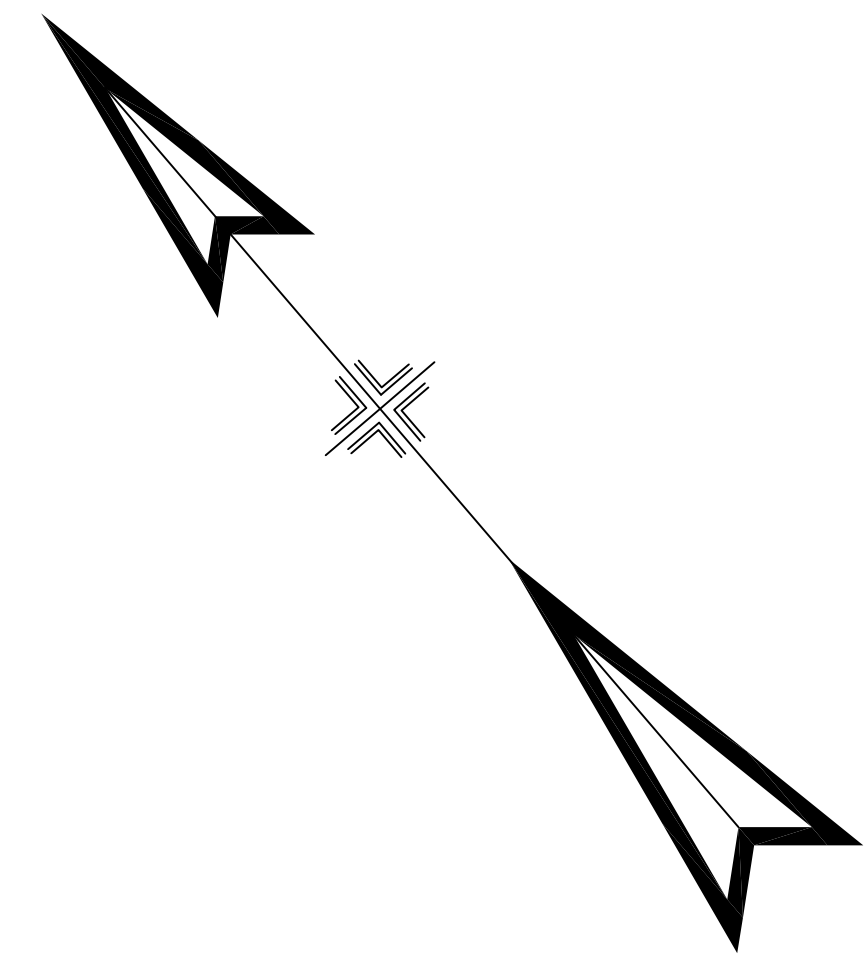
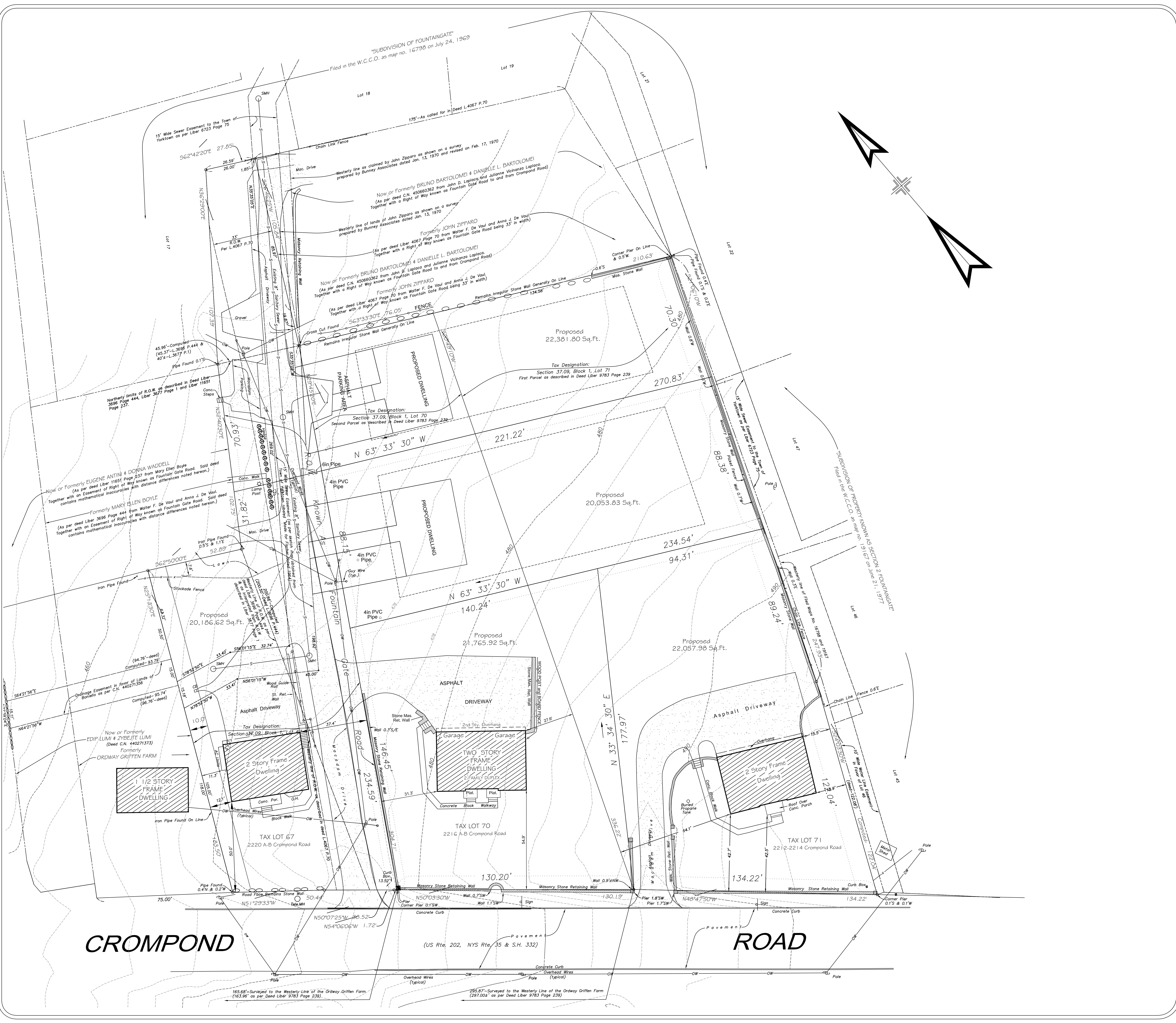
08/06/2021
DATE

Gus Boniello
Owner of Record
SIGNATURE

Gus Boniello
PRINT NAME

08/06/2021
DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.



CROMPOND ROAD SUBDIVISION
 BONIELLO DEVELOPMENT CORP - CROMPOND ROAD
 YORKTOWN HEIGHTS, N.Y. 10598

SHEET 2021-30-01
 SCALE 1"=20'
 FILE D:\LAND\2021\BONIELLO HALLOCK'S
 DATE 7/28/2021

ANTHONY S. PISARRI, P.E., P.C.
 CONSULTING ENGINEER
 3 Roslind Drive, Cortlandt Manor, N.Y. 10567

CROMPOND

ROAD

165.68'-Surveyed to the Westerly Line of the Ordway Griffen Farm.
 (163.96' as per Deed Liber 9783 Page 239)

295.87'-Surveyed to the Westerly Line of the Ordway Griffen Farm.
 (297.00' as per Deed Liber 9783 Page 239)

**3666 Old Yorktown
Road Fence**

3666 Old Yorktown Road (Pervizzi) / 16.11-1-60

Meeting Dates:		
1	07-12-2021	Proposed 6 ft fence across the front yard of the property in the residential existing development located in the C-2 zone.
2	08-09-2021	No representative present
3	08-16-2021	No representative present
4	09-27-2021	

August 16, 2021 Minutes

3666 Old Yorktown Road

Discussion: Fence
Location: 16.11-1-60; 3666 Old Yorktown Road
Contact: Carmella Pervizzi
Description: Proposed 6 ft fence across the front yard of the property in the residential existing development located in the C-2 zone.

Comments:
No representative was present.

August 9, 2021 Minutes

3666 Old Yorktown Road

Discussion: Fence
Location: 16.11-1-60; 3666 Old Yorktown Road
Contact: Carmella Pervizzi
Description: Proposed 6 ft fence across the front yard of the property in the residential existing development located in the C-2 zone.

Comments:
No representative was present.

July 12, 2021 Minutes

3666 Old Yorktown Road

Discussion: Fence
Location: 16.11-1-60; 3666 Old Yorktown Road
Contact: Carmella Pervizzi
Description: Proposed 6 ft fence across the front yard of the property in the residential existing development located in the C-2 zone.

Comments:
No representative was present. Ms. Steinberg stated that the Building Department received an application to install a fence along the property line. The lot is located in two zones C-2 and R1-20 with the frontage in the C-2 zone. The applicant is requesting to install a 6 ft vinyl fence and decorative iron gate about 8 ft in height along the property frontage for safety and litter concerns. There is a 4½ ft. height restriction on fences in the front yard for residential properties. There is no height restriction on fences for commercial properties.

Chairman Fon was concerned about the site distance and visual aspect. Mr. Garrigan noted that on Route 132 there are a number of 6 ft. fences and in some cases they may be rear or side yards that are maintained. He noted that the mechanical gates may be an issue when swinging open and may need to be moved back. Mr. Bock asked about the setbacks and suggested some vegetative screening in front of the fence to soften the appearance. After discussion, the Board agreed to schedule a site visit. Mr. Tegeder noted that the Planning Department could prepare a memo with the points as discussed. The application will be placed on the August 9th meeting agenda.

TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: July 8, 2021
Subject: 3666 Old Yorktown Road
Request for Fence
SBL: 16.11-1-60

The Building Department received a permit application to install a fence along the front property line at 3666 Old Yorktown Road. The subject lot is located in two zones C-2 and R1-20, with the lot frontage in the C-2 zone. Usually the installation of fences on commercial properties are approved during the site plan approval process however this property is a pre-existing non-conforming residence.

The property owner is requesting a 6 ft high dark colored vinyl fence along the frontage of the property with an iron gate that would be approximately 8 ft high. There is a 4½ ft height restriction on fences in the front yard on residential properties. There is no height restriction on fences on commercial properties. The Building Department is therefore requesting guidance on how to proceed.

JULY 5, 2021

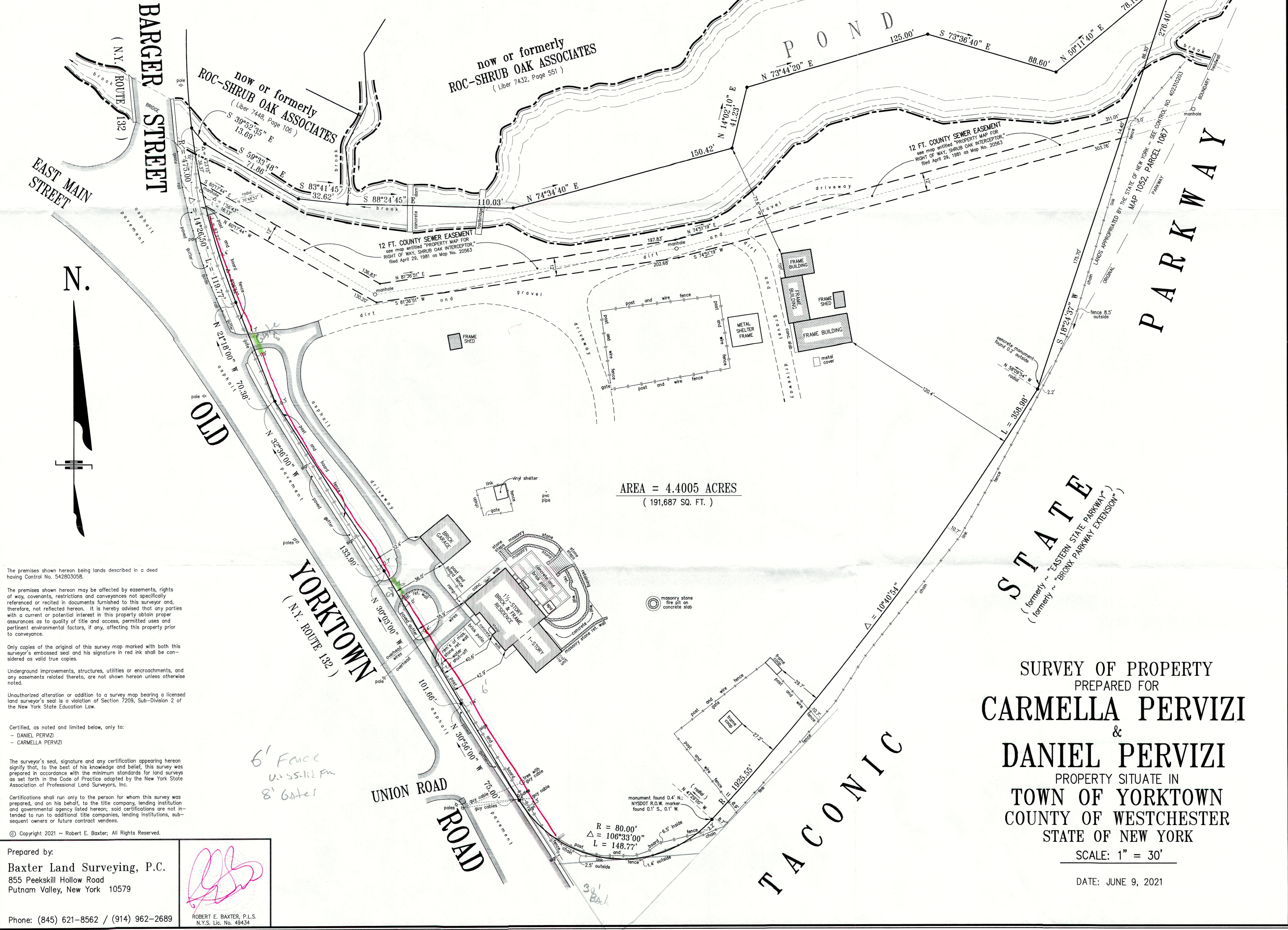
To Building Dept and Town Board:

I Carmella Pervizi am requesting an approval for a variance to install a six foot privacy fence for the front of my property at 3666 Old Yorktown Road . Due to the following conditions of the area there are many reasons why I am requesting this variance for my property. Since I owned this property there have been numerous car accidents in front of my property and near Barger street. The speeding and traffic on this main road 132 has caused many vehicle accidents and the hit and run of one of my cats, also knocking and breaking into a pole and my fence. My home is close to the road and is dangerous. The cars don't even give me a chance to get into my own driveway as they are always on my tail beeping and speeding. At times I have guest with children and I am worried if I car speeds by my house loses control and can hit someone. I also have elderly and disabled people living at my home which puts them at risk too. There are no stop signs or traffic lights on this side of the Taconic and this is causing a hazard and liability . In fact I would like to request the town to put a stop sign or traffic light on this side to help prevent the flow of traffic and constant speeders. Besides all these safety issues people are constantly throwing things and debri , hyperdermic needles over my fence in my yard. They have also entered my property numerous times to backup, turn around or come fish on my property as a fish app was sending them to this location. People tend to think this is a park or fishing hole not a private property. This request is for safety issues. So I think this is a reasonable request that should be granted so I can maintain , protect, keep my family and guests safe and keep my property private from intruders. My phone number is 347 821-6385 if you wish to speak to me or have any further questions.

Thank You,

Carmella Pervizi

Alteration of this map by anyone other than the surveyor whose signature and embossed seal appears hereon, including any erasures, notations, additions or changes for building department or "survey inspection/affidavit" purposes, is an unauthorized and unintended use of this surveyor's work. The use of any such altered map, particularly for purposes of obtaining building permits, variances, certificates of occupancy, or for any use related to purchasing property and obtaining title insurance, is at the user's own risk and is not covered under any certification appearing hereon.



AREA = 4.4005 ACRES
(191,687 SQ. FT.)

The premises shown hereon being lands described in a deed having Control No. 542803058.

The premises shown hereon may be affected by easements, rights of way, covenants, restrictions and conveyances not specifically referenced or recited in documents furnished to this surveyor and, therefore, not reflected hereon. It is hereby advised that any parties with a current or potential interest in this property obtain proper assurances as to quality of title and access, permitted uses and pertinent environmental factors, if any, affecting this property prior to conveyance.

Only copies of the original of this survey map marked with both this surveyor's embossed seal and his signature in red ink shall be considered as valid true copies.

Underground improvements, structures, utilities or encroachments, and any easements related thereto, are not shown hereon unless otherwise noted.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Sub-Division 2 of the New York State Education Law.

Certified, as noted and limited below, only to:
- DANIEL PERVIZI
- CARMELLA PERVIZI

The surveyor's seal, signature and any certification appearing hereon signify that, to the best of his knowledge and belief, this survey was prepared in accordance with the minimum standards for land surveys as set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

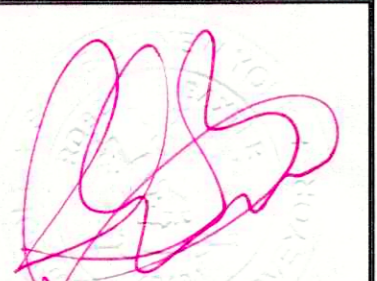
Certifications shall run only to the person for whom this survey was prepared, and on his behalf, to the title company, lending institution and governmental agency listed hereon; said certifications are not intended to run to additional title companies, lending institutions, subsequent owners or future contract vendees.

© Copyright 2021 ~ Robert E. Baxter; All Rights Reserved.

SURVEY OF PROPERTY
PREPARED FOR
CARMELLA PERVIZI
&
DANIEL PERVIZI
PROPERTY SITUATE IN
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER
STATE OF NEW YORK
SCALE: 1" = 30'

DATE: JUNE 9, 2021

Prepared by:
Baxter Land Surveying, P.C.
855 Peekskill Hollow Road
Putnam Valley, New York 10579


ROBERT E. BAXTER, P.L.S.
N.Y.S. Lic. No. 49434







3658 Old Yorktown Rd
Shrub Oak, New York



Google



Google



3666 Old Yorktown Rd
Shrub Oak, New York
Google
Street View





Google

**Town Board Referral
Con Ed Gas Main
Upgrades**

TOWN OF YORKTOWN TOWN BOARD

Resolved, the Town Clerk is authorized to refer out to appropriate agencies for their review and/or recommendation Stormwater Management Permits and Wetlands Permits submitted by Con Edison in order to do gas main upgrades and replacements at the following locations in Yorktown: Lexington Avenue & Storage Road; East Main Street; Broad Street.

Further Resolved, the Town Board declares its intent to act as Lead Agency. We are transmitting the following referral for your review and recommendation and ask that you respond back to the Town Clerk by Friday, October 1, 2021.

RECEIVED
PLANNING DEPARTMENT

SEP 23 2021

TO:

- | | | | |
|--|--|-------------------------|--|
| <input checked="" type="checkbox"/> File | <input checked="" type="checkbox"/> Town Clerk | TOWN OF YORKTOWN | <input checked="" type="checkbox"/> Westchester County
Planning Department / Board |
| <input type="checkbox"/> ABACA | <input checked="" type="checkbox"/> Building Inspector | | <input checked="" type="checkbox"/> Dept. of Public Works |
| <input type="checkbox"/> Community Housing Board | <input checked="" type="checkbox"/> Conservation Board | | <input type="checkbox"/> Dept. of Health |
| <input type="checkbox"/> Fire: | <input checked="" type="checkbox"/> Lake Mohegan | | <input type="checkbox"/> Parks & Recreation |
| | <input checked="" type="checkbox"/> Yorktown | | <input type="checkbox"/> Environmental Facilities |
| <input checked="" type="checkbox"/> Highway Dept. | | | <input type="checkbox"/> Soil & Water |
| <input type="checkbox"/> Open Space Committee | | | New York State |
| <input checked="" type="checkbox"/> Planning Dept. / Board (6) | | | <input type="checkbox"/> DEC Albany |
| <input checked="" type="checkbox"/> Police Dept. | | | <input checked="" type="checkbox"/> DEC New Paltz (Region III) |
| <input type="checkbox"/> Public Safety Committee | | | <input checked="" type="checkbox"/> DOT |
| <input type="checkbox"/> Recreation Commission | | | <input type="checkbox"/> Parks & Recreation |
| <input checked="" type="checkbox"/> School District: | | | <input checked="" type="checkbox"/> NYC DEP |
| | <input checked="" type="checkbox"/> Yorktown | | <input type="checkbox"/> Army Corp. of Engineers |
| | <input checked="" type="checkbox"/> Lakeland | | |
| | <input type="checkbox"/> Ossining | | Bordering Municipality |
| | <input type="checkbox"/> Croton Harmon | | <input checked="" type="checkbox"/> Town of Cortlandt |
| <input checked="" type="checkbox"/> Town Attorney | | | <input type="checkbox"/> Town of Somers |
| <input checked="" type="checkbox"/> Town Board | | | <input type="checkbox"/> Town of Ossining |
| <input checked="" type="checkbox"/> Town Engineer | | | <input checked="" type="checkbox"/> Town of Putnam Valley |
| <input checked="" type="checkbox"/> Water Department | | | <input type="checkbox"/> Yorktown Chamber of Commerce |
| <input type="checkbox"/> Yorktown Land Trust | | | <input checked="" type="checkbox"/> Yorktown Volunteer Ambulance |
| | | | <input checked="" type="checkbox"/> Lake Mohegan Volunteer Ambulance |

FROM: DIANA L. QUAST, YORKTOWN TOWN CLERK, CERTIFIED MUNICIPAL CLERK

SUBJECT: **We are transmitting the following: Application Documents for SWPPP and Wetlands Permits for Con Edison General Permit for gas main upgrades and replacements at the following locations in Yorktown: Lexington Avenue & Storage Road; East Main Street; Broad Street.**

DATE: September 23, 2021

- | | |
|--|---|
| <input checked="" type="checkbox"/> Application/Petition | <input type="checkbox"/> Report |
| <input type="checkbox"/> Drawings | <input checked="" type="checkbox"/> Wetlands Permit Application |
| <input checked="" type="checkbox"/> EAF | <input type="checkbox"/> SEQRA Scope |
| <input type="checkbox"/> EAF Addendum | <input type="checkbox"/> Other – Proposed Local Law |

FOR YOUR: Information Review Comment



Consolidated Edison Company
of New York, Inc.
4 Irving Place
New York NY 10003
www.conEd.com

1050-21B
12-0504

July 1, 2021

Engineering Department
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

Re: Town of Yorktown Wetland and Stormwater Permit Application
Gas Main Upgrade and Replacement Lexington Ave and
Storage Rd, Yorktown, New York

To Whom It May Concern:

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace an existing gas main in the roadbeds of Lexington Ave and Storage Rd in the Town of Yorktown, within freshwater the buffer of New York State Department of Environmental Conservation regulated freshwater wetland A-10. (see figured attached). The replacement would require excavating approximately 4-ft wide x 5-ft deep x approximately 325-ft in length within the existing roadbed of Lexington Ave running north from Crompond Rd, and approximately 420-ft within the existing roadbed of Storage Rd from Lexington Ave and running east. Within Lexington Ave an 8-inch steel main would be replaced with a 12-in polyethylene main, and within Storage Rd a 4-in service would be run to a Con Edison customer's facility. Along Lexington Ave, the gas main would cross an unnamed Class C watercourse that runs through a culvert, and would not be disturbed. Con Edison has already received New York State Department of Environmental Conservation approval for this project.

To prevent sediment from migrating into the adjacent wetlands, all excavations will be secured within coir logs and/or silt fences and hay bales. Excavated soils will be reused onsite or disposed of properly. During excavation any accumulated groundwater will be pumped out to an upland area through a filter medium. The staging of equipment and materials will occur on paved roads and disturbance to vegetation is not anticipated. Any disturbed vegetation or soils associated with trenching will be mulched and seeded upon completion. Hardscaped areas that are disturbed will be restored like-in-kind.

Please find the following information enclosed:

- Town of Yorktown Stormwater Pollution Prevention Plan and Wetland Permit Application
- Short Form EAF
- Site Location and Wetland Map
- Site Photographs
- Project Drawings
- \$1800 check for Wetland Permit Fee

If you have any questions or need additional information, please contact me at (347)-380-1379 or via email at CotroneoC@ConEd.com

Sincerely,

Chris Cotroneo
Scientist

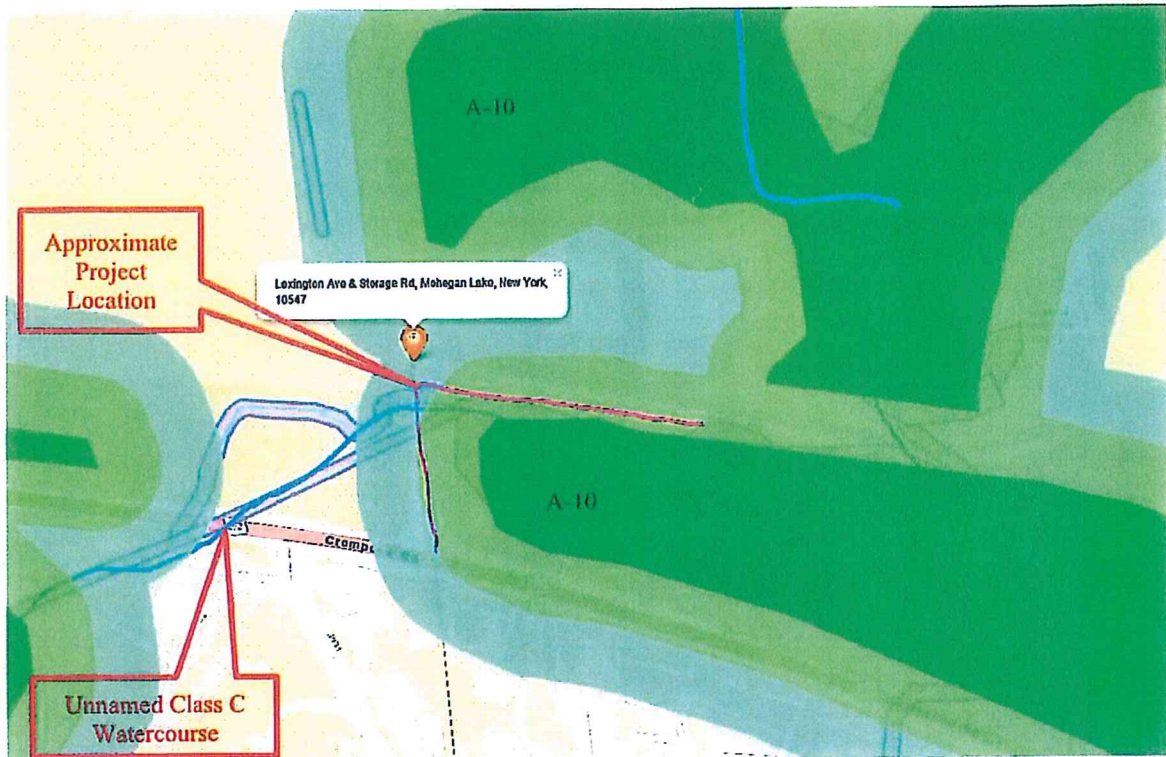


Figure 1. Project Location on Maple Ave, Wetland and Watercourse Map.



Photo 1. Lexington Ave in project area, facing north.

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 25.20
Block 1
Lot # 10

Approval Authority: TE | PB | TB |
Application #: SWPP-050-4(B)
Date Received: 9-18-21
Date Issued: _____
Date Expires: _____
Fee Paid: \$ 1,800

Job Site Address: 2720 Lexington Ave
City/State/Zip: Mohegan Lake, NY
10547

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Felim McTague
COMPANY: Consolidated Edison Corp of New York
ADDRESS: 315 Saw Mill River Rd
Greenburgh, NY ZIP 10595
PHONE: (718) 425-6701
EMAIL: McTagueF@ConEd.com

OWNER:

YOUR NAME: Public Property
COMPANY: Town of Yorktown
ADDRESS: _____

ZIP _____
PHONE: (_____) _____
EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- | | | | |
|-----------------------|--------------------------|------------------------------------|-------------------------------------|
| a. Lake/pond | <input type="checkbox"/> | Control area of lake/pond | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands | <input type="checkbox"/> | Control area of wetlands | <input checked="" type="checkbox"/> |

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace an existing gas main in the roadbeds of Lexington Ave and Storage Rd in the Town of Yorktown, within freshwater the buffer of New York State Department of Environmental Conservation regulated freshwater wetland A-10. (see figured attached). The replacement would require excavating approximately 4-ft wide x 5-ft deep x approximately 325-ft in length within the existing roadbed of Lexington Ave running north from Crompond Rd, and approximately 420-ft within the existing roadbed of Storage Rd from Lexington Ave and running east. Within Lexington Ave an 8-inch steel main would be replaced with a 12-in polyethylene main, and within Storage Rd a 4-in service would be run to a Con Edison customer's facility.

2b. Stormwater/Excavation - Description of proposed activity:

Stormwater runoff would not be impacted by this short term excavation. The excavation would only be open for a short time, as gas main piping is installed, the excavation would be backfilled.

3. Tree Removal:

Amount of trees and/or stumps to be removed: None.
Sizes; approximate DBH: _____
Species of trees to be removed (i.e. Birch, Spruce - if known): _____
Reason for removal: _____
Trees marked in field (trees must be marked prior to inspection): Yes: No:
Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, _____ hereby authorize _____ to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: _____ Date: _____

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Felim McTague

PRINT NAME

Felim McTague

SIGNATURE OF APPLICANT

7/6/21

DATE

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Consolidated Edison Corporation of New York (Con Edison)			
Name of Action or Project: Lexington Ave Gas Main Replacement and Storage Rd Gas Main Installation.			
Project Location (describe, and attach a location map): Within the existing roadbed of Lexington Ave, north from Crompond Rd ~325', then east on Storage Rd ~425' within the buffer of wetland A-10.			
Brief Description of Proposed Action: Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace an existing gas main in the roadbeds of Lexington Ave and Storage Rd in the Town of Yorktown, within freshwater the buffer of New York State Department of Environmental Conservation regulated freshwater wetland A-10. (see figured attached). The replacement would require excavating approximately 4-ft wide x 5-ft deep x approximately 325-ft in length within the existing roadbed of Lexington Ave running north from Crompond Rd, and approximately 420-ft within the existing roadbed of Storage Rd from Lexington Ave and running east. Within Lexington Ave an 8-inch steel main would be replaced with a 12-in polyethylene main, and within Storage Rd a 4-in service would be run to a Con Edison customer's facility. Along Lexington Ave, the gas main would cross an unnamed Class C watercourse that runs through a culvert, and would not be disturbed. Con Edison has already received New York State Department of Environmental Conservation approval for this project.			
Name of Applicant or Sponsor: Felim McTague		Telephone: 718-425-6701 E-Mail: McTagueF@ConEd.com	
Address: 315 Saw Mill River Rd			
City/PO: Greenburgh		State: NY	Zip Code: 10595
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYSDEC wetland permit approval has been obtained through Con Edison's General Permit.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.9 acres	
b. Total acreage to be physically disturbed?		0.9 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The proposed action would enhance gas distribution to residents for heating, cooking, etc.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ No water would be necessary.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ No sewer connection would be necessary.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ <i>The proposed project would pass through previously disturbed roadbed within the buffer of freshwater wetland A-10, but not within the wetland itself. The replacement would also pass over a Class C watercourse but would not impact this stream as it runs beneath Lexington Ave through a culvert. No impacts to wetlands or watercourses would occur from this project.</i>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: <u>Fellm McTague</u></p>		<p>Date: <u>7-6-2021</u></p>
<p>Signature: <u><i>Fellm McTague</i></u></p>		

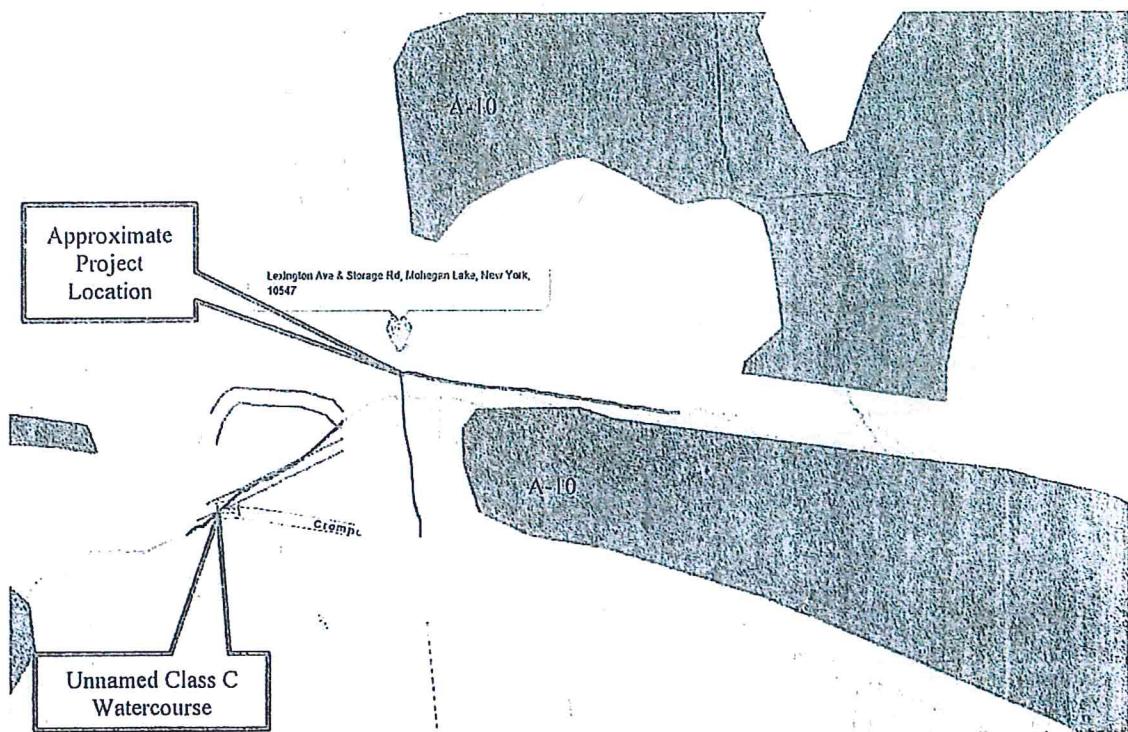


Figure 1. Project Location on Maple Ave, Wetland and Watercourse Map.

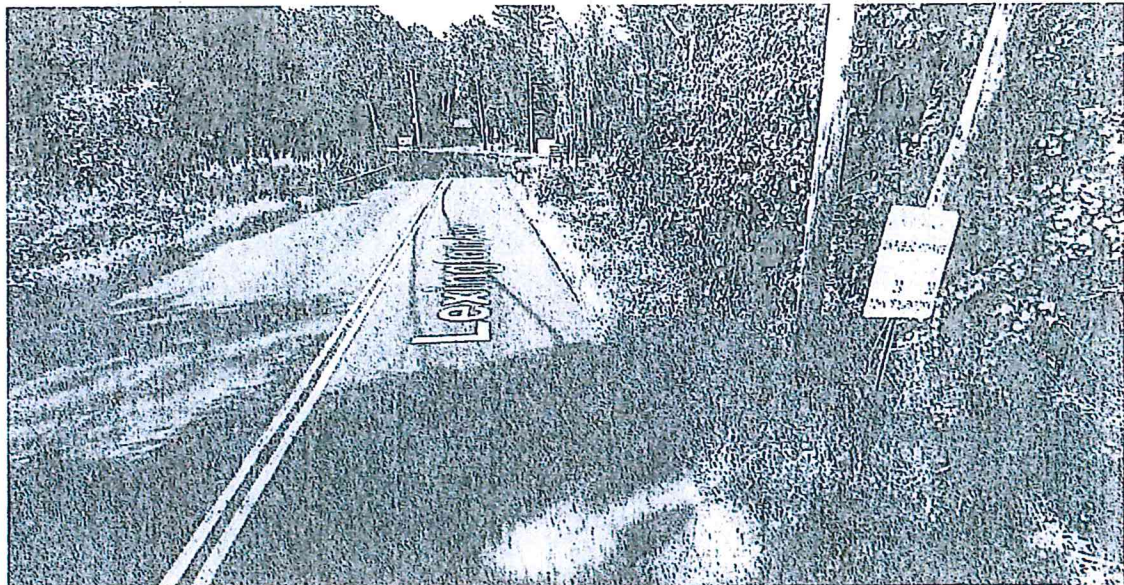


Photo 1. Lexington Ave in project area, facing north.

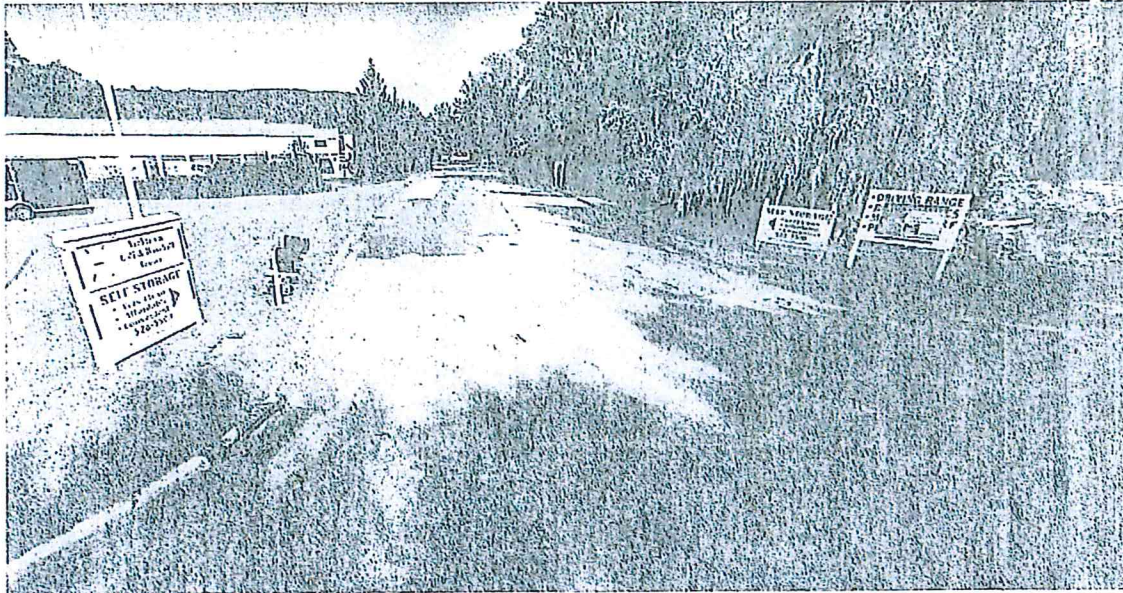


Photo 2. Storage Rd within project area, facing east.

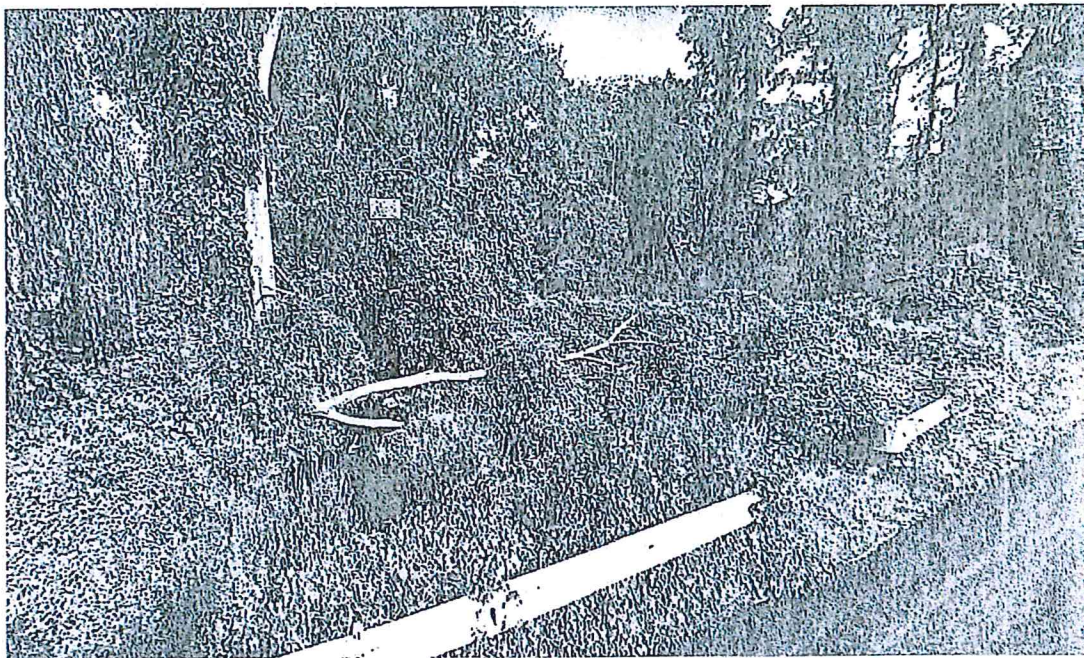


Photo 3. Unnamed Class C watercourse running beneath Lexington Ave through a culvert, facing east.



Consolidated Edison Company
of New York, Inc.
4 Irving Place
New York NY 10003
www.conEd.com

#050-210

July 1, 2021

Engineering Department
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

Re: Town of Yorktown Wetland and Stormwater Permit Application
Gas Main Upgrade and Replacement
Broad Street, Yorktown, New York

To Whom It May Concern:

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace approximately 1,400 feet of 8" steel gas main installed in 1957 with 12" polyethylene gas main within the buffer New York State Department of Environmental Conservation freshwater wetland A-31 on the eastern side of Broad Street in Yorktown Heights, NY. The project will be conducted within the existing roadbed of Broad St, and within the wetland buffer only, not the wetland itself. This gas main replacement would also pass over an unnamed Class C watercourse that runs in a culvert beneath Broad St, between Pinetree Pl and Sara Ct. The approximate excavation within Broad St would be 1,400'x4'x5'. Approximately linear feet of the excavation would be within the wetland A-31 buffer.

To prevent sediment from migrating into the adjacent wetlands, all excavations will be secured within coir logs and/or silt fences and hay bales. Excavated soils will be reused onsite or disposed of properly. During excavation any accumulated groundwater will be pumped out to an upland area through a filter medium. The staging of equipment and materials will occur on paved roads and disturbance to vegetation is not anticipated. Any disturbed vegetation or soils associated with trenching will be mulched and seeded upon completion. Hardscaped areas that are disturbed will be restored like-in-kind.

Please find the following information enclosed:

- Town of Yorktown Stormwater Pollution Prevention Plan and Wetland Permit Application
- Short Form EAF
- Site Location and Wetland Map
- Site Photographs
- Project Drawings
- \$1800 check for Wetland Permit Fee

If you have any questions or need additional information, please contact me at (347)-380-1379 or via email at CotroneoC@ConEd.com

Sincerely,

Chris Cotroneo
Scientist

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 27.18
Block 27.18
Lot # 53

Approval Authority: TE [] PB [] TB []
Application #: _____
Date Received: _____
Date Issued: _____
Date Expires: _____
Fee Paid: \$ _____

Job Site Address: Broad Street from Pinetree Pl north to Sara Ct
City/State/Zip: Yorktown Heights, NY
10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Felim McTague
COMPANY: Consolidated Edison Corp of New York
ADDRESS: 315 Saw Mill River Rd
Greenburgh, NY ZIP 10595
PHONE: (718) 425-6701
EMAIL: McTagueF@ConEd.com

OWNER:

YOUR NAME: Public Property
COMPANY: Town of Yorktown
ADDRESS: _____

ZIP _____
PHONE: () _____
EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- | | | | |
|-----------------------|--------------------------|------------------------------------|-------------------------------------|
| a. Lake/pond | <input type="checkbox"/> | Control area of lake/pond | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands | <input type="checkbox"/> | Control area of wetlands | <input checked="" type="checkbox"/> |

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace approximately 1,400 feet of 8" steel gas main installed in 1957 with 12" polyethylene gas main within the buffer New York State Department of Environmental Conservation freshwater wetland A 31 on the eastern side of Broad Street in Yorktown Heights, NY. The project will be conducted within the existing roadbed of Broad St, and within the wetland buffer only, not the wetland itself. This gas main replacement would also pass over an unnamed Class C watercourse that runs in a culvert beneath Broad St, between Pinetree Pl and Sara Ct. The approximate excavation within Broad St would be 1,400'x4'x5'.

2b. Stormwater/Excavation - Description of proposed activity:

Stormwater runoff would not be impacted by this short term excavation. The excavation would only be open for a short time, as gas main piping is installed, the excavation would be backfilled.

3. Tree Removal:

Amount of trees and/or stumps to be removed: None.

Sizes; approximate DBH: _____

Species of trees to be removed (i.e. Birch, Spruce - if known): _____

Reason for removal: _____

Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, _____ hereby authorize _____ to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: _____ Date: _____

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Felim McTague

PRINT NAME

Felim McTague

SIGNATURE OF APPLICANT

7/6/21

DATE

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Consolidated Edison Corporation of New York (Con Edison)			
Name of Action or Project: Broad Street Gas Main Replacement			
Project Location (describe, and attach a location map): Within the existing roadbed of Broad Street, from Pinetree Pl north to Sara Ct.			
Brief Description of Proposed Action: Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace approximately 1,400 feet of 8" steel gas main installed in 1957 with 12" polyethylene gas main within the buffer New York State Department of Environmental Conservation freshwater wetland A-31 on the eastern side of Broad Street in Yorktown Heights, NY. The project will be conducted within the existing roadbed of Broad St, and within the wetland buffer only, not the wetland itself. This gas main replacement would also pass over an unnamed Class C watercourse that runs in a culvert beneath Broad St, between Pinetree Pl and Sara Ct. The approximate excavation within Broad St would be 1,400'x4'x5'. Approximately 165 linear feet of the excavation would be within the Wetland A-31 buffer.			
Name of Applicant or Sponsor: Fellm McTague		Telephone: 718-425-6701 E-Mail: McTagueF@ConEd.com	
Address: 315 Saw Mill River Rd			
City/PO: Greenburgh		State: NY	Zip Code: 10595
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYSDEC wetland permit approval has been obtained through Con Edison's General Permit.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.129 acres	
b. Total acreage to be physically disturbed?		0.129 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The proposed action would enhance gas distribution to residents for heating, cooking, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ No water would be necessary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ No sewer connection would be necessary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ The proposed project would pass through previously disturbed roadbed within the buffer of freshwater wetland A-31, but not within the wetland itself. The replacement would also pass over a Class C watercourse but would not impact this stream as it runs beneath Broad St through a culvert. No impacts to wetlands or watercourses would occur from this project.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Felim McTague</u>		Date: <u>7-6-2021</u>
Signature: <u><i>Felim McTague</i></u>		

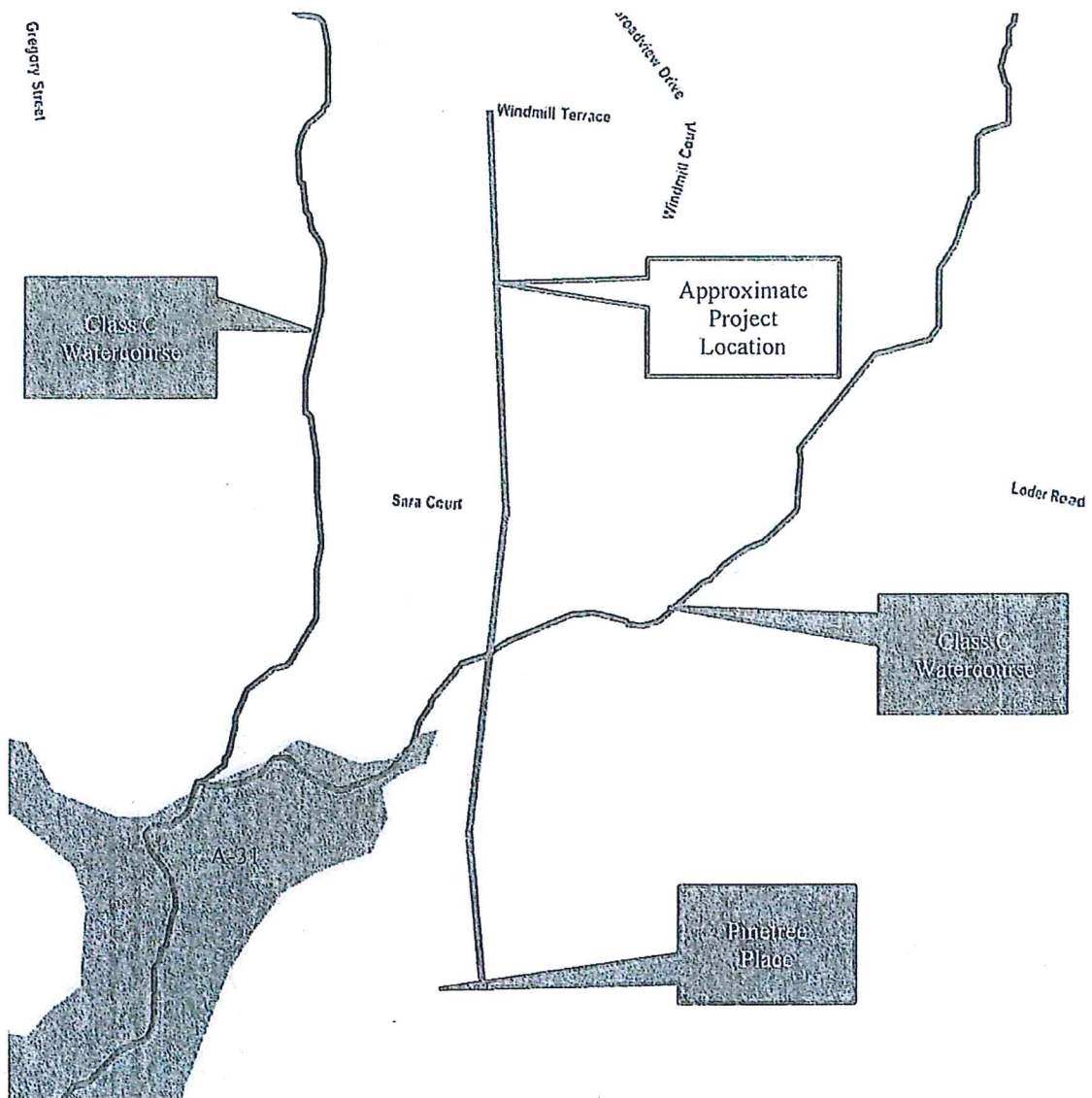


Figure 1. Approximate project location. Project runs within existing roadbed of Broad Street, from Windmill Terrace south to Pinetree Place, through approximately 160' of buffer for DEC regulated freshwater wetland A-31.

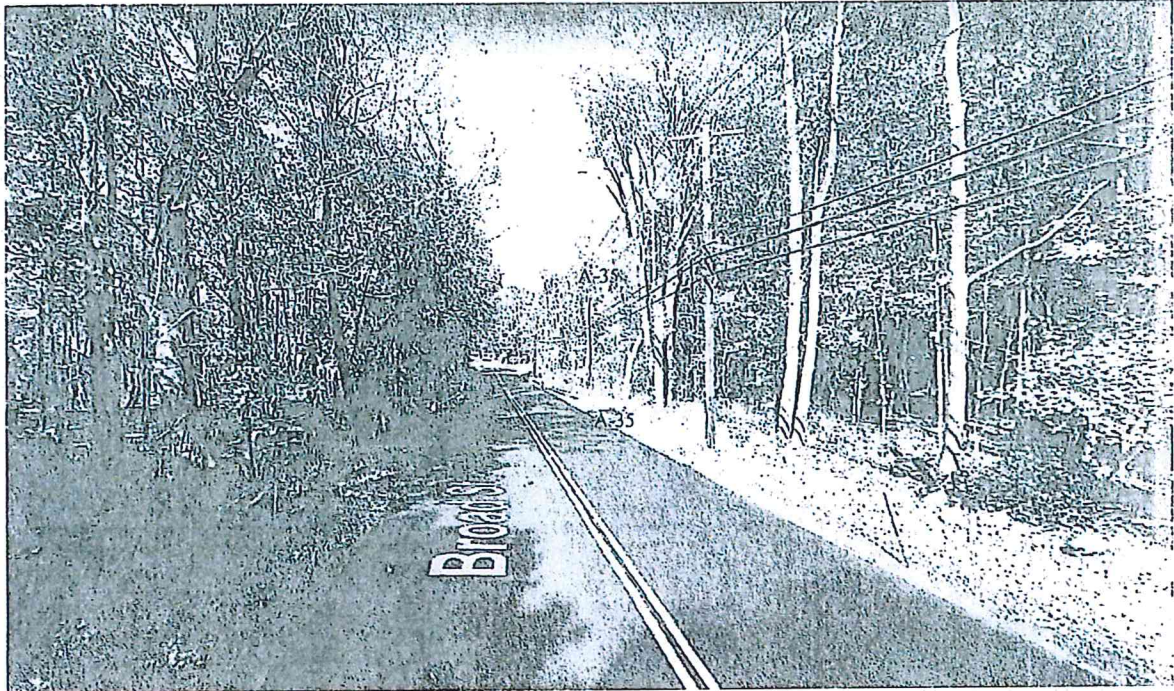
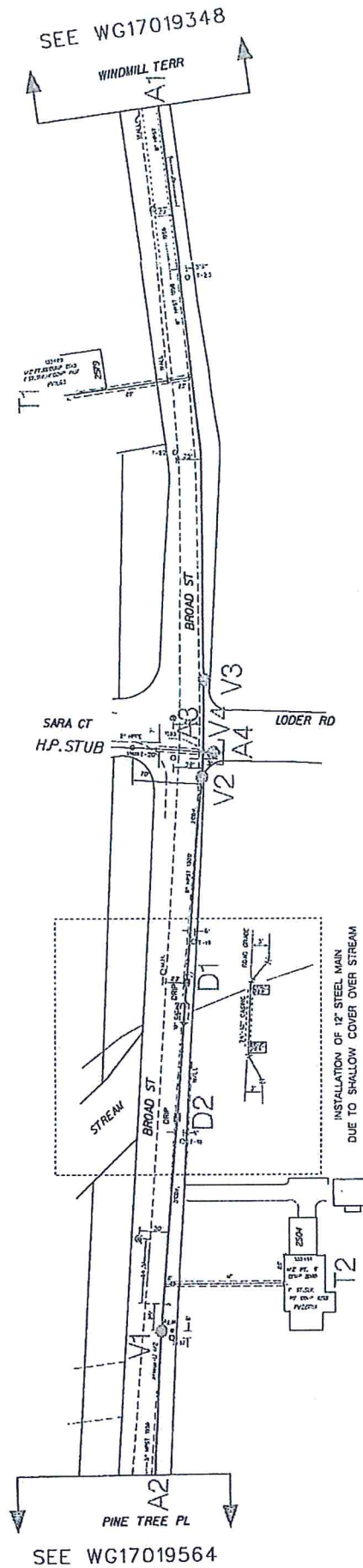


Photo 1. Broad St within A-31 buffer and project area, facing north.



NOT TO SCALE		2018 GA 12		TICKET NUMBER: WG17019526		PROJECT NUMBER: WG17011005		TROUBLE TYPE: G4P	
REVISION		DATE		LOCATION: BROAD STREET BT WINDMILL TERRACE & PINE TREE PLACE		DESCRIPTION OF WORK: REPLACE 8" HPST GAS MAIN WITH 12" HPPE GAS MAIN		MUNI: TY	
GENERAL LEGEND		DRAWN		APPROVED BY: J. BRAIA		DATE: 11-14-17		APPROVED BY: J. LLOO	
NEW GAS MAIN/SERVICE		ABANDON L.P. PIPE		G-GEN. G128-BT		E-COMP. NA		E-CONDUIT/C&DO	
NEW CUSTOMER TRENCH		ABANDON I.P. OR M.P. PIPE		G128-BT		NO PLATE		NO PLATE	
ELECTRIC		ABANDON H.P. PIPE		128-BL		NO PLATE		NO PLATE	
OIL-O		STEAM		127-BL		NO PLATE		NO PLATE	
OIL-O - NEW VALVE		NEW/EXISTING DRIP							

ALL PROPERTY RECORDS IN WORK AREA...
 ALL UTILITIES SHOWN IN THIS DRAWING...
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR...
 VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES...
 PRIOR TO ANY EXCAVATION OR INSTALLATION...
 THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL...
 ADJACENT PROPERTIES AND UTILITIES AT ALL...
 TIMES...
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR...
 OBTAINING ALL NECESSARY PERMITS AND...
 APPROVALS PRIOR TO THE START OF WORK...
 THE CONTRACTOR SHALL MAINTAIN A SAFE...
 WORKING AREA AT ALL TIMES...
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR...
 REMOVING ALL DEBRIS AND RESTORING THE...
 AREA TO ORIGINAL OR BETTER CONDITION...
 AT THE END OF THE PROJECT...

Item	Location	Action	Site	Pressure	Material	Footage	Spec	Year	Account	Project	Task	Date	Field Supp. S/C
18	A1-A2	MAIN PURGE, CUT, CAP & ABANDON	8"	HP	ST	1357	G-8129	1956	43868	22963326	0001		

PIPE ABANDONMENT

Item	Location	Action	Site	Pressure	Material	Footage	Spec	Year	Account	Project	Task	Date	Field Supp. S/C
19	AS NEEDED	RELOCATE METERS] OUTDOORS FOR DIRECT BURIED SVCS - EXCEPTIONS MUST BE DOCUMENTED							95515	23347591	0001		
20	T1, T2	TRANSFER					G-8249		M1763				
21	T2	INSTALL LEV					G-8100		M1763				

SERVICE

Item	Location	Action	Site	Pressure	Material	Footage	Spec	Year	Account	Project	Task	Date	Field Supp. S/C
1	A1-D1	DIRECT BURY	12"	HP	PE	870	G-8005		26166	22963304	0001		
2	D1-D2	DIRECT BURY	12"	HP	ST	133	G-8005		26184	22963305	0001		
3	A2-D2	DIRECT BURY	12"	HP	PE	355	G-8005		26166	22963304	0001		
4	A3-A4	DIRECT BURY	12"	HP	PE	20	G-8005		26166	22963304	0001		

TIE IN

Item	Location	Action	Site	Pressure	New Material	Existing	Tie In to Site	Tie In to Material	Spec	Year	Account	Project	Task	Date	Field Supp. S/C
5	A3	TIE IN	12"	HP	PE	EXISTING	2"	PE	G-8005		26166	22963304	0001		
6	A3	INSTALL CROSS	12"	HP	PE				G-8005		26166	22963304	0001		

VALVES & DRIPS

Item	Location	Action	Site	Pressure	Material	Footage	Spec	Year	Account	Project	Task	Date	Field Supp. S/C
7	D1	ABANDON	8"	DRIP	ST		N/A		43868	22963326	0001		
8	D2	ABANDON	8"	DRIP	ST		N/A		43868	22963326	0001		
9	V1	ABANDON	8"	VALVE	ST		28130		43868	22963326	0001		
10	V2	INSTALL	12"	VALVE	PE		85036		26166	22963304	0001		
11	V3	INSTALL	12"	VALVE	PE		85037		26166	22963304	0001		
12	V4	INSTALL	12"	VALVE	PE		85045		26166	22963304	0001		

Item	Location	Notes	Account	Project	Task	Date	Field Supp. S/C
13		NOTE 1 - HAND EXCAVATE 2' X 2' TEST PIT FOR LOCATIONS & DEPTH OF EXISTING GAS MAIN & THE LOCATIONS OF A CLEAR LANE					
14		NOTE 2 - SERVICE TO MAIN CONNECTIONS HAVE A 3" TOLERANCE ZONE (HAND EXCAVATE A 6' X 6' AREA)					
15		AS NEEDED - ALL WORK INVOLVING THE TAPPING OF VERT HOLES & THE INSTALLATION OF BRASS					
16		*** ELECTRIC IS NOT IN CON EDISON TERRITORY					
17		*** CI MACHINE REQUIRED AT EVERY INTERSECTION					

TICKET #	WG17019526	REV:	PROJECT #	WG17011005	TROUBLE TYPE:	G4P	
LOCATION:	BROAD STREET B/T WINDMILL TERRACE & PINE TREE PLACE						
DESCRIPTION:	REPLACE 8" HPST GAS MAIN WITH 12" HPPE GAS MAIN						
CONJUNCTIONAL TICKETS:	WG17019348	DRAWN BY:	J. BRANA	DATE:	11/04/17	APPROVED BY:	J. LOO
	WG17019564						
G-M&S	G-GEN	E-M&S	E-COMP	E-C&DO	G&S FORMS		
128-BL	G128-BT	NO PLATE	N/A	NO PLATE	Advanced Mapping Systems		
127-BL	G120-BT						



CONTECHSON



Consolidated Edison Company
of New York, Inc.
4 Irving Place
New York NY 10003
www.conEd.com

#050-11E

July 1, 2021

Engineering Department
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

Re: Town of Yorktown Wetland and Stormwater Permit Application
Gas Main Upgrade and Replacement
East Main Street, Yorktown, New York

To Whom It May Concern:

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace an existing gas main in the existing roadbeds of East Main Street and U.S. Route 6 in the Town of Yorktown, within various portions of the buffer of New York State Department of Environmental Conservation (DEC) regulated freshwater wetland A-4 (see figured attached). The replacement would require excavating approximately 4-ft wide x 5-ft deep x approximately 1.8 miles in length within the existing roadbeds of East Main Street from Indian Hill Road, east to U.S. Route 6, and continuing east in U.S. Route 6 into the Town of Somers. Con Edison will be applying for wetland permits from the Town of Somers, as well as DEC for this project. This project involves replacing an 8-inch steel main installed in 1962 with a 12-in polyethylene main. Along East Main Street the gas main would cross two unnamed Class C watercourses that runs through culverts, and would not be disturbed. Con Edison has already received New York State Department of Environmental Conservation approval for this project. Table 1 below shows the approximate linear footage and square footage of wetland buffer disturbance.

To prevent sediment from migrating into the adjacent wetlands, all excavations will be secured within coir logs and/or silt fences and hay bales. Excavated soils will be reused onsite or disposed of properly. During excavation any accumulated groundwater will be pumped out to an upland area through a filter medium. The staging of equipment and materials will occur on paved roads and disturbance to vegetation is not anticipated. Any disturbed vegetation or soils associated with trenching will be mulched and seeded upon completion. Hardscaped areas that are disturbed will be restored like-in-kind.

Table 1. Wetland Buffer Disturbance Information.

Corresponding Figure Number	Location	Wetland ID	Disturbance within wetland	Approximate linear disturbance within wetland buffer (feet)	Approximate area of buffer disturbance (square feet)
2	West of Hill Blvd	A-4	None	736	2944
3	Between Perry Street and Mahopac Street	A-4	None	767	3068
4	Mahopac Street to U.S. Route 6	A-4	None	100	400
5	Navajo Street toward Somers Town Line	A-4	None	550	2200
6	Navajo Street toward Somers Town Line	A-2	None	50	200
TOTALS				2203	8812

Please find the following information enclosed:

- Town of Yorktown Stormwater Pollution Prevention Plan and Wetland Permit Application
- Short Form EAF
- Site Location and Wetland Map
- Site Photographs
- Project Drawings
- \$1800 check for Wetland Permit Fee

If you have any questions or need additional information, please contact me at (347)-380-1379 or via email at CotroneoC@ConEd.com

Sincerely,



Chris Cotroneo
Scientist

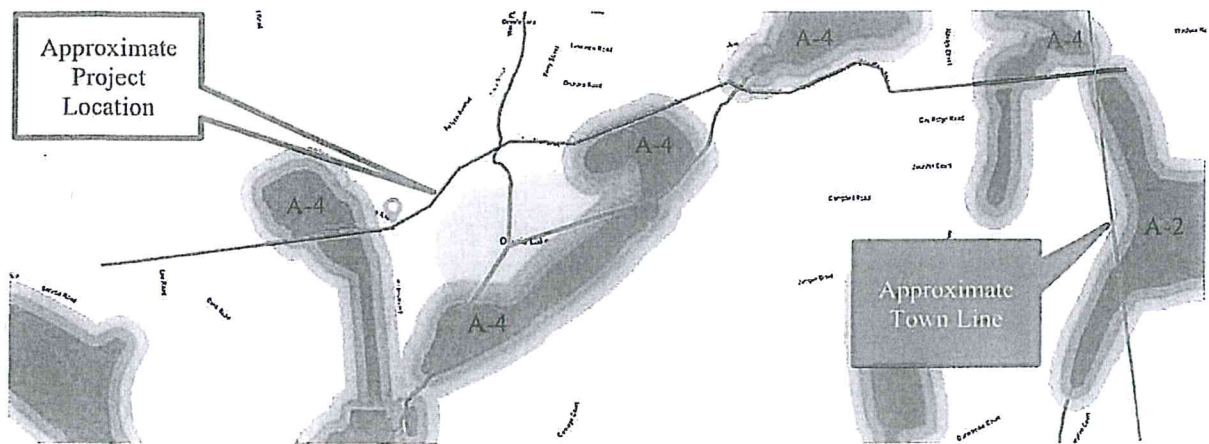


Figure 1. Project Location on Maple Ave, Wetland and Watercourse Map.

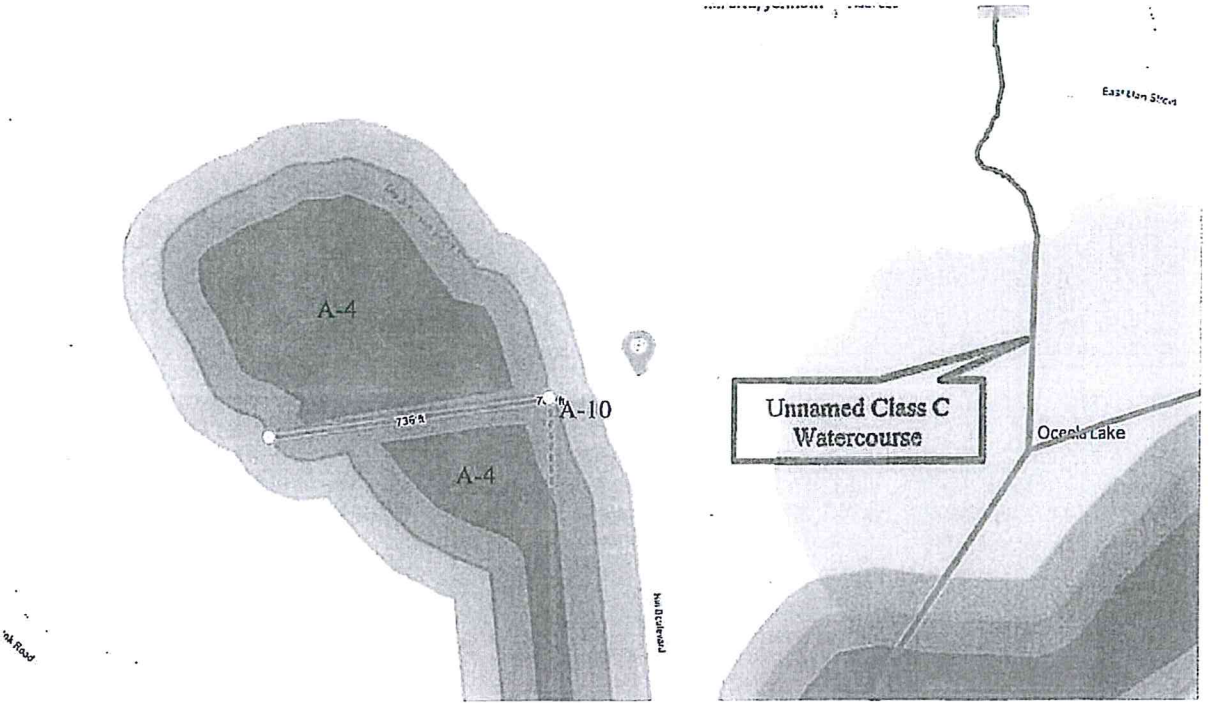


Figure 2. West of Hill Blvd, the gas main replacement will run through approximately 736-ft of the wetland A-4 buffer, within the existing roadbed of East Main Street.

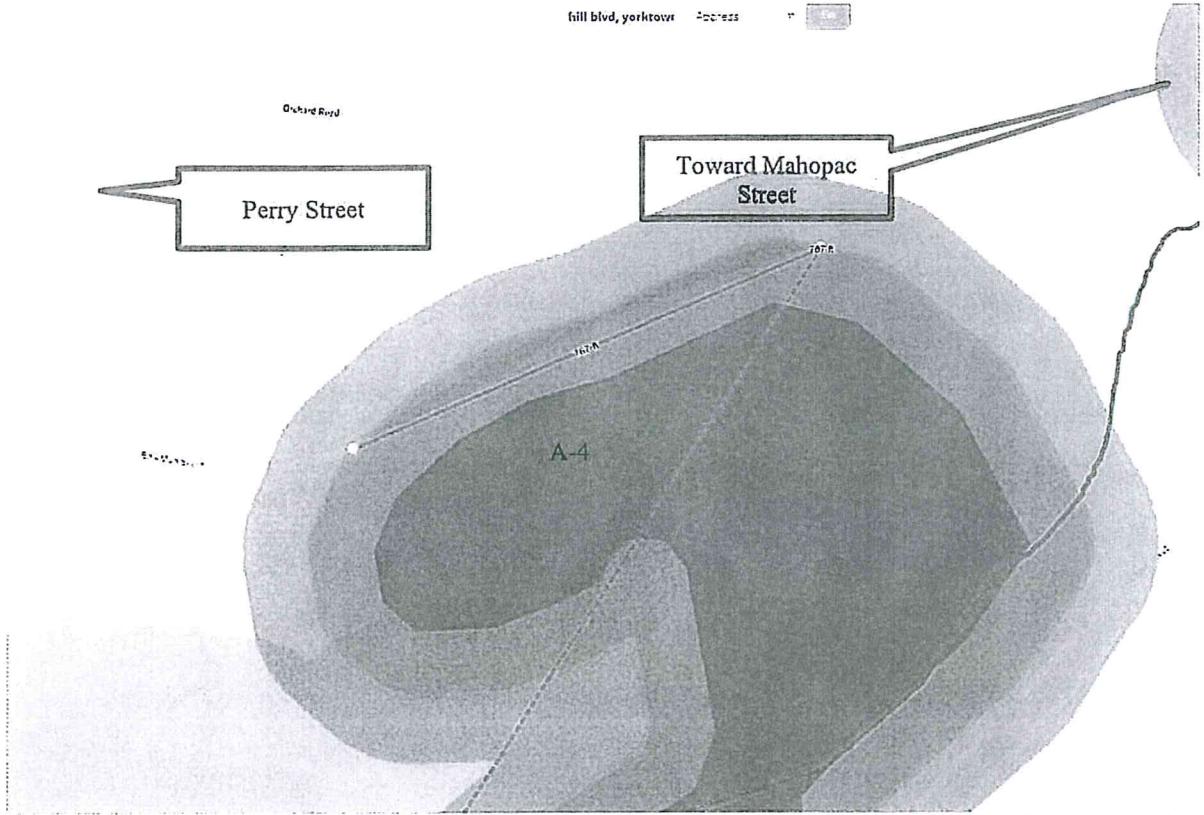


Figure 3. Between Perry Street and Mahopac Street, the project would run through approximately 767-ft of the wetland A-4 buffer within the existing roadbed of East Main Street.

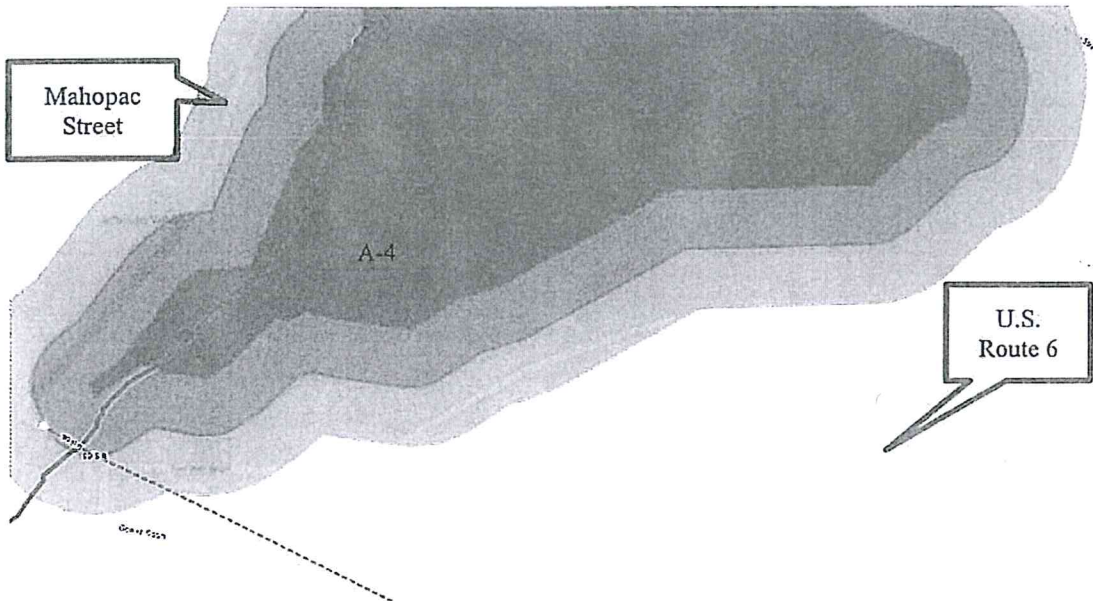


Figure 4. Between Mahopac Street and U.S. Route 6 the project would run through approximately 100-ft of the wetland A-4 buffer within the existing roadbed of East Main Street.

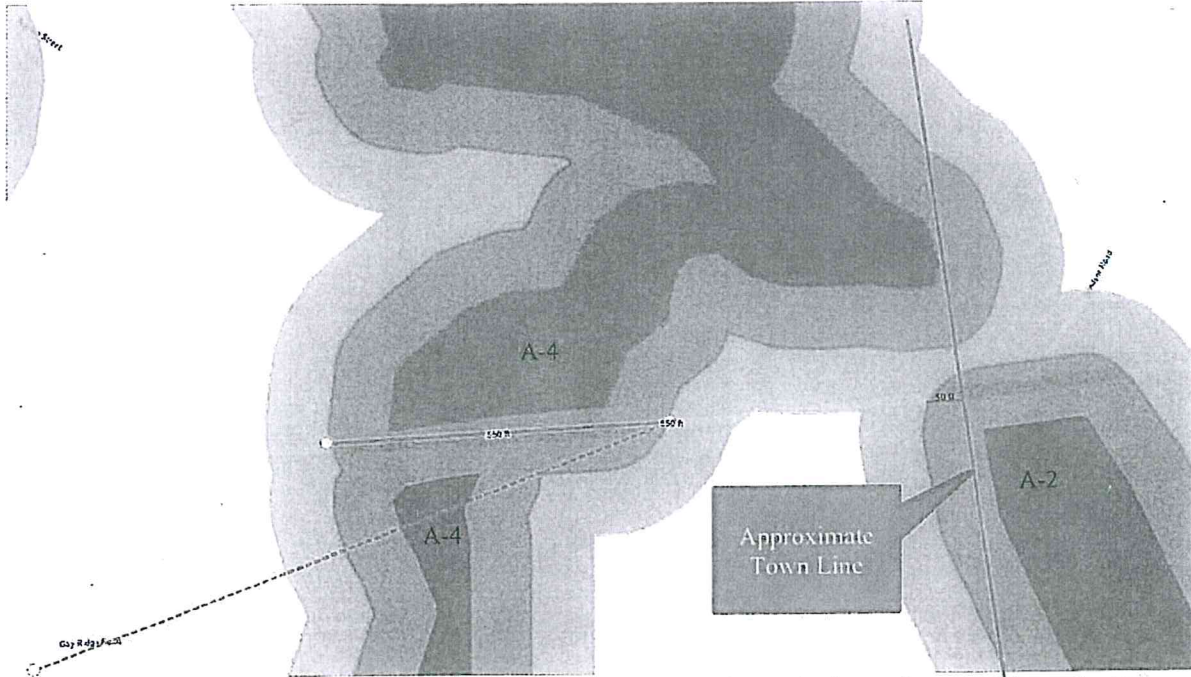


Figure 5. Between Navajo Street and Windsor Street (Town of Somers), the project would run through approximately 550-ft of the wetland A-4 buffer and approximately 50-ft of the wetland A-2 within the existing roadbed of U.S. Route 6 and the Town of Yorktown.

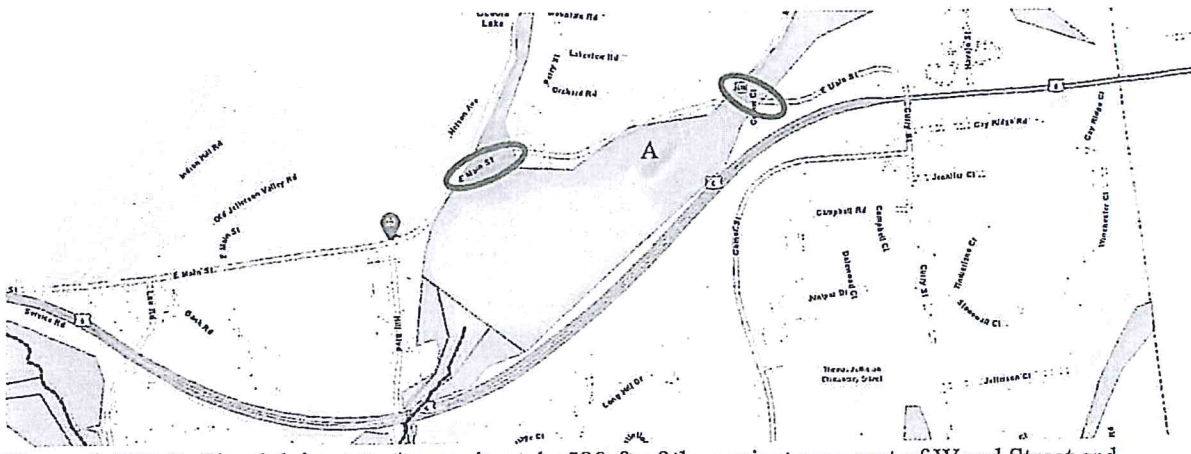


Figure 6. FEMA Floodplain map. Approximately 580-ft of the project area east of Wood Street and approximately 275-ft of the project area east of Mahopac Street are within the FEMA Floodplain, Zone A, which has a 1% chance of annual flooding.

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 16.08
Block 1
Lot # 39

Approval Authority: TE [] PB [] TB []
Application #: 518PP-050-210
Date Received: 9-10-21
Date Issued: _____
Date Expires: _____
Fee Paid: \$1,500

Job Site Address: East Main Street
City/State/Zip: Yorktown Heights, NY
10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Felim McTague
COMPANY: Consolidated Edison Corp of New York
ADDRESS: 315 Saw Mill River Rd
Greenburgh, NY ZIP 10595
PHONE: (718) 425-6701
EMAIL: McTagueF@ConEd.com

OWNER:

YOUR NAME: Public Property
COMPANY: Town of Yorktown
ADDRESS: _____
_____ ZIP _____
PHONE: (_____) _____
EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- | | | | |
|-----------------------|--------------------------|------------------------------------|-------------------------------------|
| a. Lake/pond | <input type="checkbox"/> | Control area of lake/pond | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands | <input type="checkbox"/> | Control area of wetlands | <input checked="" type="checkbox"/> |

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace an existing gas main in the existing roadbeds of East Main Street and U.S. Route 6 in the Town of Yorktown, within various portions of the buffer of NYS DEC regulated freshwater wetland A-4 (see figured attached). The replacement would require excavating approximately 4-ft wide x 5-ft deep x approximately 1.8 miles in length within the existing roadbeds of East Main Street from Indian Hill Road, east to U.S. Route 6, and continuing east in U.S. Route 6 into the Town of Somers. Con Edison will be applying for wetland permits from the Town of Somers, as well as DEC for this project. This project involves replacing an 8-inch steel main installed in 1962 with a 12-inch polyethylene main. Along East Main Street the gas main would cross two unnamed Class C watercourses that runs through culverts, and would not be disturbed. Con Edison has already received New York State Department of Environmental Conservation approval for this project.

2b. Stormwater/Excavation - Description of proposed activity:

Stormwater runoff would not be impacted by this short term excavation. The excavation would only be open for a short time, as gas main piping is installed, the excavation would be backfilled.

3. Tree Removal:

Amount of trees and/or stumps to be removed: None.

Sizes; approximate DBH: _____

Species of trees to be removed (i.e. Birch, Spruce - if known): _____

Reason for removal: _____

Trees marked in field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf; the PROPERTY OWNER is to complete, sign and date this authorization:

I, _____ hereby authorize _____ to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: _____ Date: _____

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

PRINT NAME

SIGNATURE OF APPLICANT

DATE

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Consolidated Edison Corporation of New York (Con Edison)			
Name of Action or Project: East Main Street Gas Main Replacement.			
Project Location (describe, and attach a location map): Within the existing roadbed of East Main Street and U.S. Route 6, from Indian Hill Road east into the Town of Somers within U.S. Route 6.			
Brief Description of Proposed Action: Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to replace an existing gas main in the existing roadbeds of East Main Street and U.S. Route 6 in the Town of Yorktown, within various portions of the buffer of New York State Department of Environmental Conservation (DEC) regulated freshwater wetland A-4 (see figured attached). The replacement would require excavating approximately 4-ft wide x 5-ft deep x approximately 1.8 miles in length within the existing roadbeds of East Main Street from Indian Hill Road, east to U.S. Route 6, and continuing east in U.S. Route 6 into the Town of Somers. Con Edison will be applying for wetland permits from the Town of Somers, as well as DEC for this project. This project involves replacing an 8-inch steel main installed in 1962 with a 12-in polyethylene main. Along East Main Street the gas main would cross two unnamed Class C watercourses that runs through culverts, and would not be disturbed. Con Edison has already received New York State Department of Environmental Conservation approval for this project.			
Name of Applicant or Sponsor: Felim McTague		Telephone: 718-425-6701 E-Mail: McTagueF@ConEd.com	
Address: 315 Saw Mill River Rd			
City/PO: Greenburgh		State: NY	Zip Code: 10595
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYSDEC wetland permit approval has been applied for through Con Edison's General Permit. Somers Wetland Permit to be applied for.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.9 acres	
b. Total acreage to be physically disturbed?		0.9 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The proposed action would enhance gas distribution to residents for heating, cooking, etc.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ No water would be necessary.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ No sewer connection would be necessary.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ The proposed project would pass through previously disturbed roadbed within the buffer of freshwater wetlands A-4 and A-2, not within the wetlands. The replacement would also pass over two Class C watercourses but would not impact these streams as they run beneath East Main Street through culverts. No impacts to wetlands or watercourses would occur from this project.	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain? Approximately 35-ft of the	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Felim McTague</u> Date: <u>7-6-2021</u></p> <p>Signature: _____</p>		

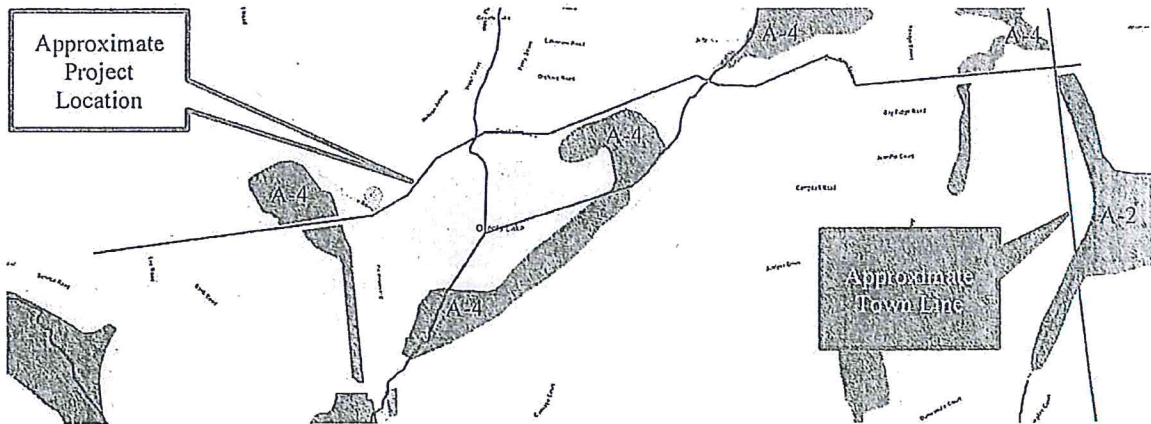


Figure 1. Project Location on Maple Ave, Wetland and Watercourse Map.

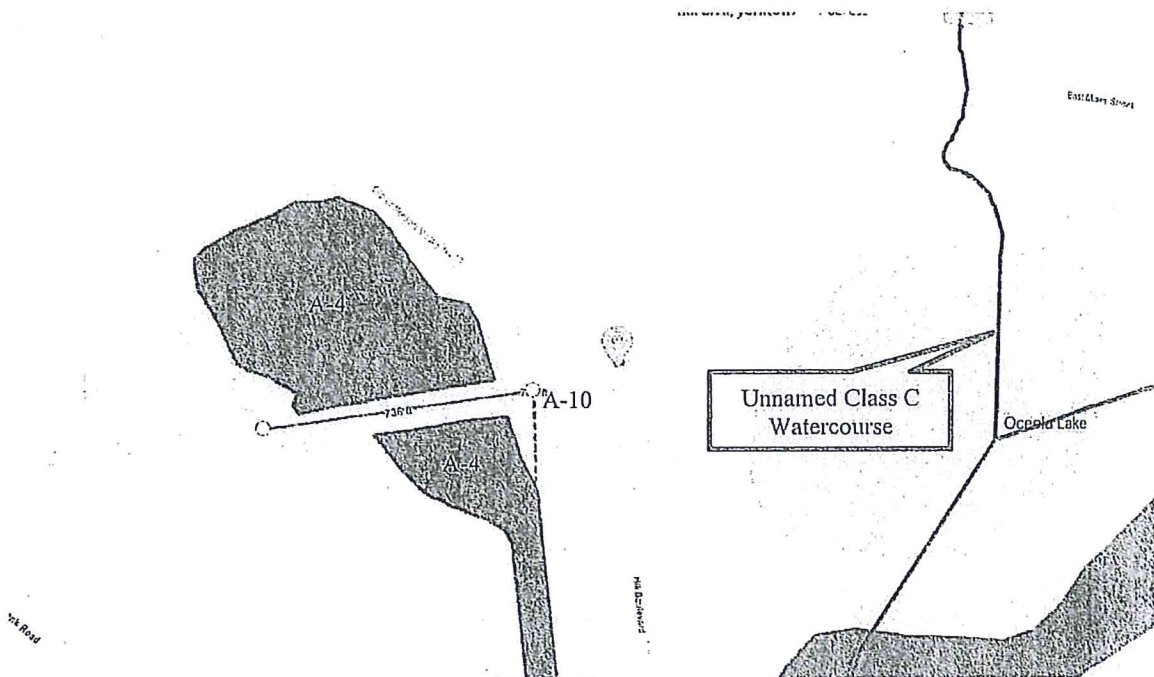


Figure 2. West of Hill Blvd, the gas main replacement will run through approximately 736-ft of the wetland A-4 buffer, within the existing roadbed of East Main Street.

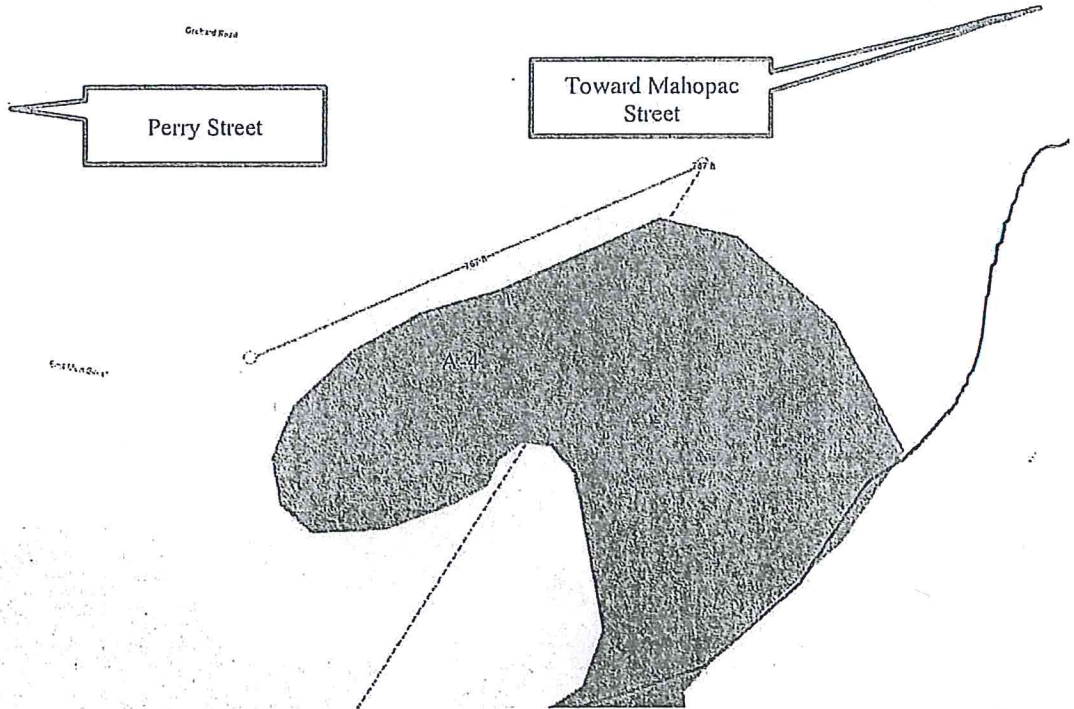


Figure 3. Between Perry Street and Mahopac Street, the project would run through approximately 767-ft of the wetland A-4 buffer within the existing roadbed of East Main Street.

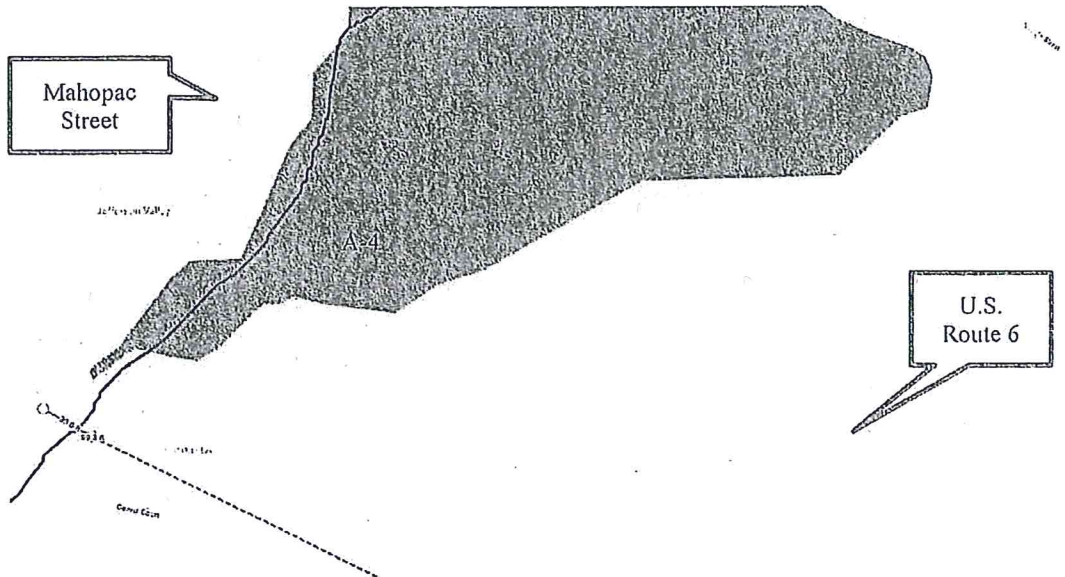


Figure 4. Between Mahopac Street and U.S. Route 6 the project would run through approximately 100-ft of the wetland A-4 buffer within the existing roadbed of East Main Street.

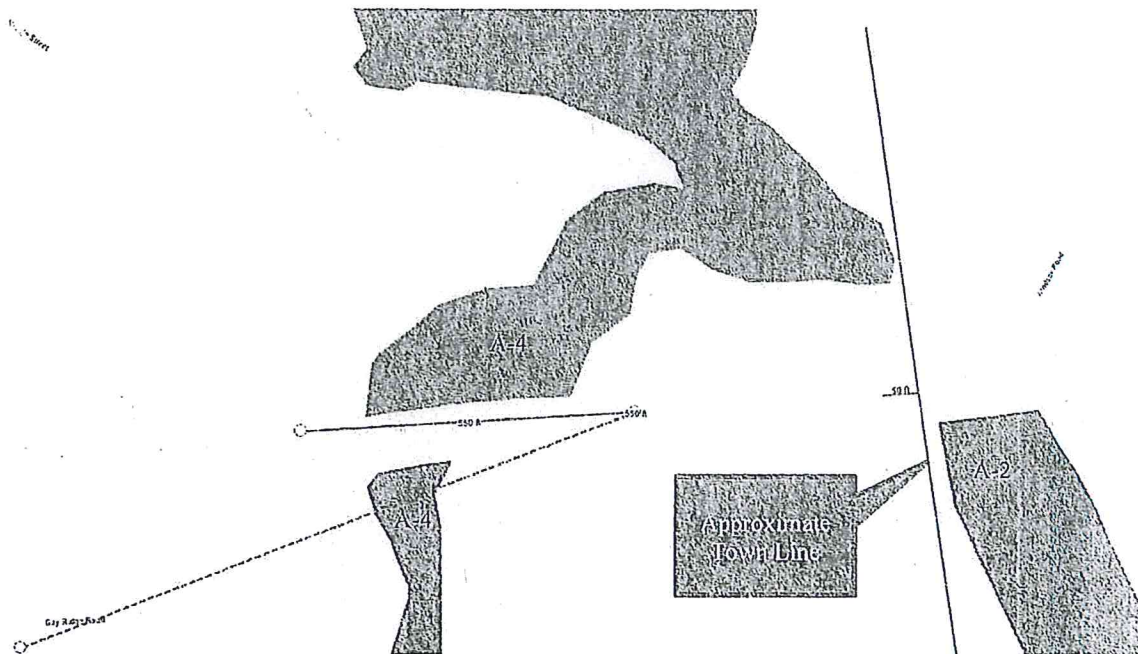


Figure 5. Between Navajo Street and Windsor Street (Town of Somers), the project would run through approximately 550-ft of the wetland A-4 buffer and approximately 50-ft of the wetland A-2 within the existing roadbed of U.S. Route 6 and the Town of Yorktown.

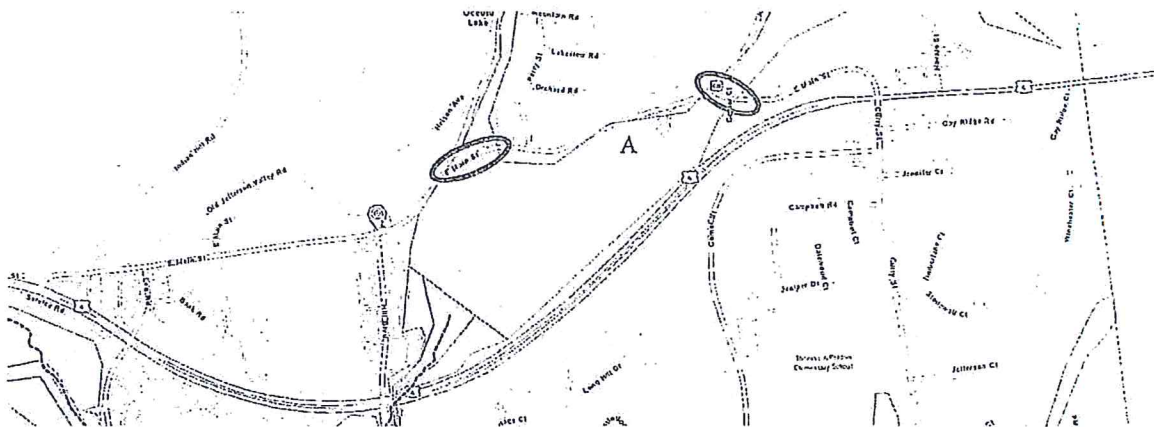


Figure 6. FEMA Floodplain map. Approximately 580-ft of the project area east of Wood Street and approximately 275-ft of the project area east of Mahopac Street are within the FEMA Floodplain, Zone A, which has a 1% chance of annual flooding.

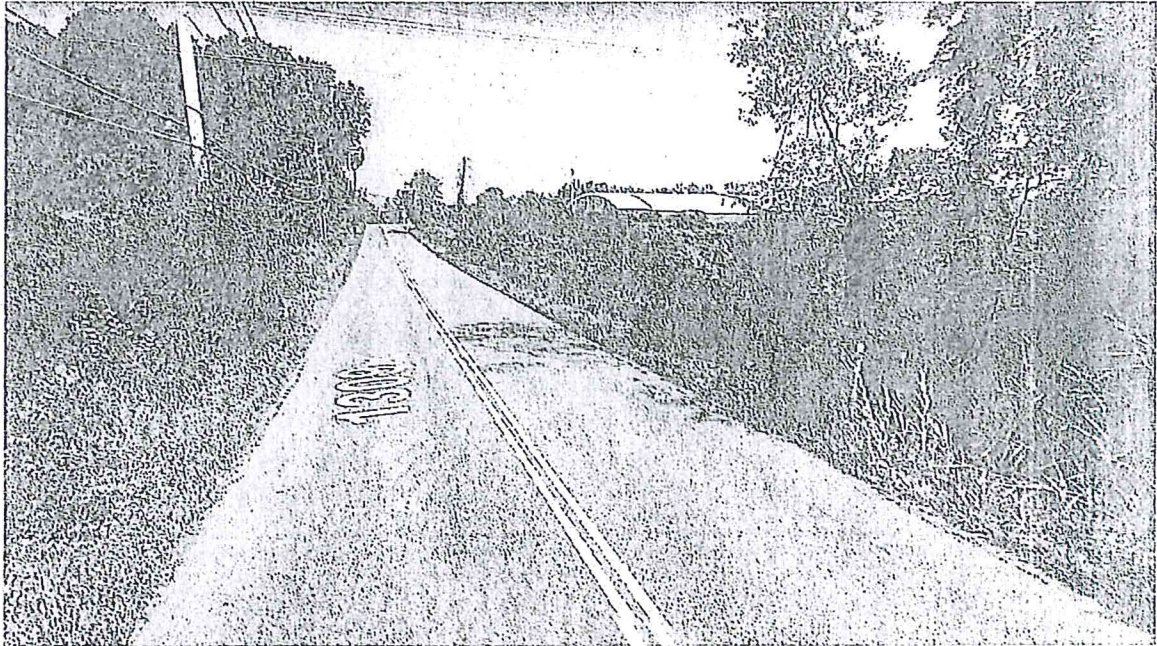


Photo 1. East Main Street west of Hill Blvd, within wetland A-4 buffer, facing east.



Photo 2. East Main Street east of Perry Street, within wetland A-4 buffer, facing east.

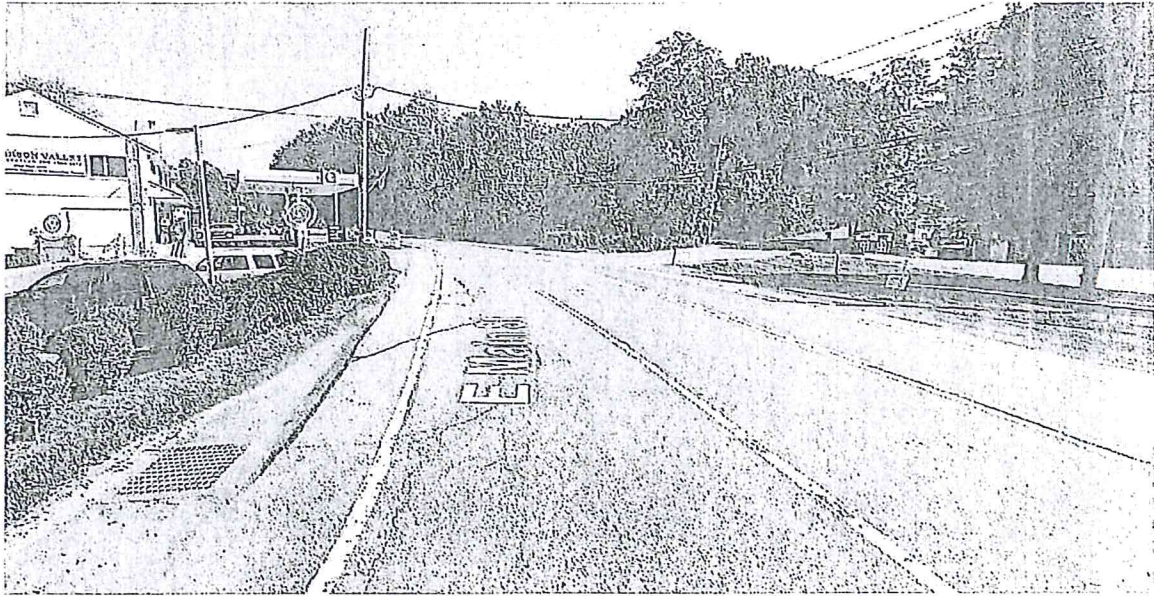


Photo 3. East Main Street east of Mahopac Street, within wetland A-4 buffer, facing east.

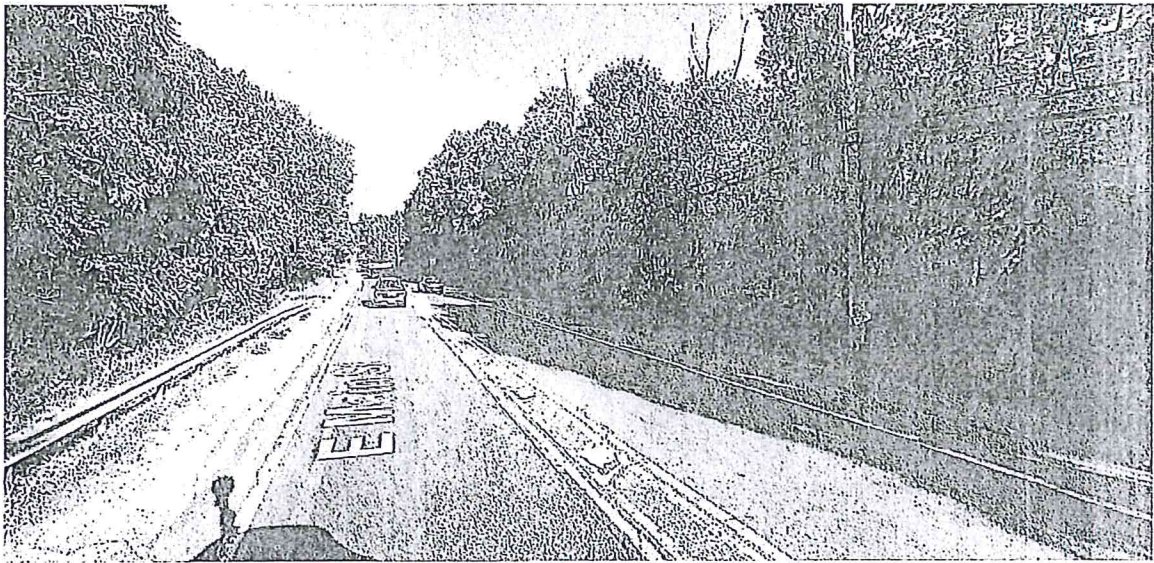
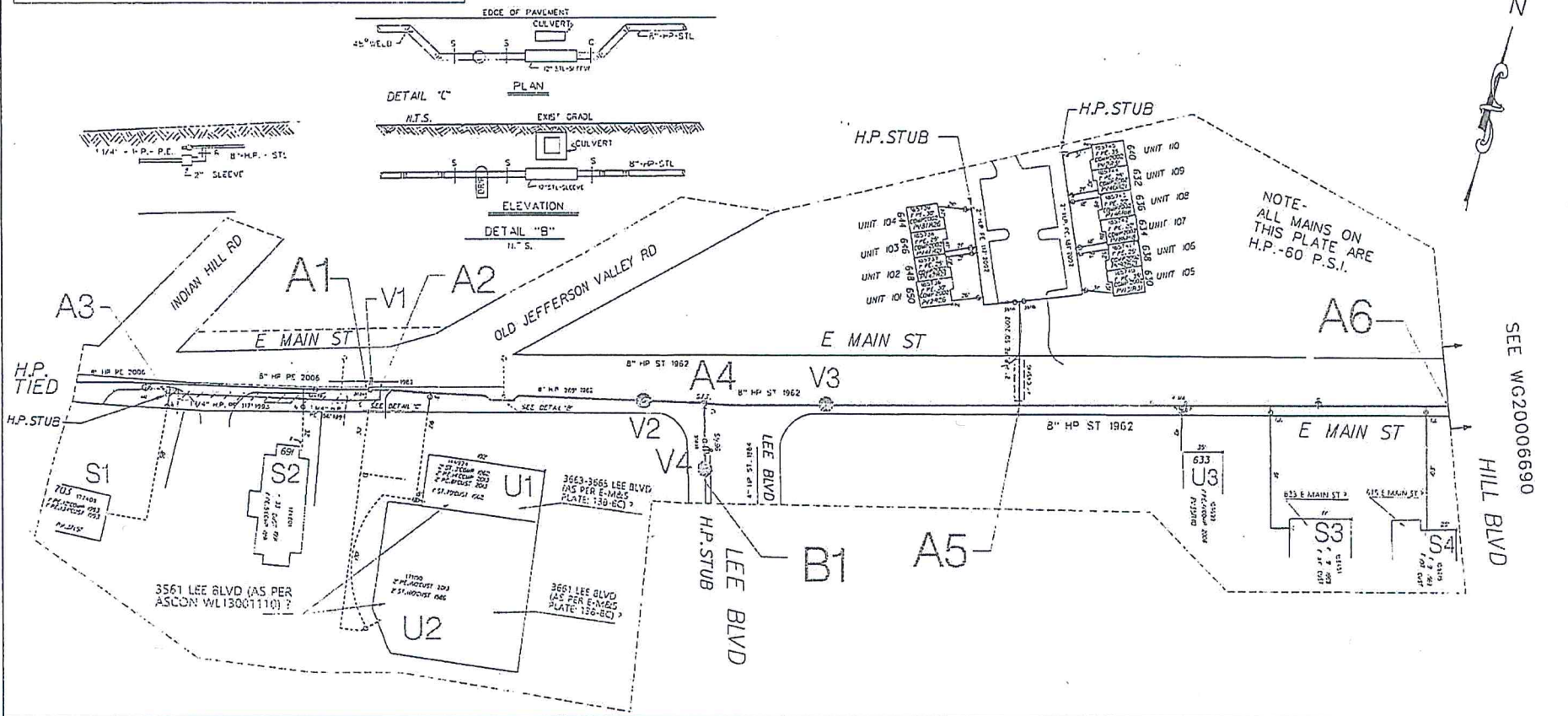


Photo 4. U.S. Route 6 east of Navajo Street, within wetland A-4 buffer, facing east.

NOTE: DETAILS TAKEN FROM M&S PLATE 138-BB



NOTE - ALL MAINS ON THIS PLATE ARE H.P.-60 P.S.I.

SEE WG20006690

<p>NOT TO SCALE</p>		<p>LOW SERVICE DENSITY</p>		<p>TICKET NUMBER: WG20006689</p>		<p>REV</p>		<p>PROJECT NUMBER: M20W00125</p>		<p>TROUBLE TYPE: G4P</p>	
<p>REVISION</p>				<p>LOCATION: E MAIN ST B/T INDIAN HILL RD & HILL BLVD</p>		<p>DESCRIPTION OF WORK: DIRECT BURY 12" HP PE GAS MAIN</p>		<p>CONJUNCTIONAL TICKET: WG20006690</p>		<p>IF WORK CANNOT BE DONE AS LAID OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214</p>	
<p>GENERAL LEGEND</p>				<p>DRAWN BY: A.CLOUGH</p>		<p>DATE: 8/26/20</p>		<p>CHECKED BY:</p>		<p>APPROVED BY: B.VIANCO</p>	
<p>NEW GAS MAIN/SERVICE</p>		<p>ABANDON L.P. PIPE (DASHED)</p>		<p>G-M&S</p>		<p>G-GfN</p>		<p>E-M&S</p>		<p>E-COMP.</p>	
<p>NEW CUSTOMER TRENCH</p>		<p>ABANDON L.P. PIPE</p>		<p>138-BB,138-BC</p>		<p>G136-BK</p>		<p>138-BB,138-BC</p>		<p>N/A</p>	
<p>ELECTRIC</p>		<p>ABANDON I.P. OR M.P. PIPE</p>		<p>133-BC</p>		<p>133-BC</p>		<p>133-BC</p>		<p>133-BC</p>	
<p>OIL-O-STATIC</p>		<p>ABANDON H.P. PIPE</p>		<p>NEW VALVE</p>		<p>NEW/EXISTING DRIP</p>		<p>E-CONDUIT / C&DO</p>		<p>conEdison</p>	

VIC PROPERTY/SECURITY IN WORK AREA
 CL-O-STATIC H.P.P. FEEDERS IN WORK AREA
 KNOWN FIBER OPTICS IN WORK AREA
 SERVICE THRU WALKED AREA (REPORT TO COS)
 REGULATION STATION IN WORK AREA - CR
 WAPS INDICATE PEPS, COAL TAN WRAP, AUTO SEAL, EMSCA
 NEW VALV VALVE HANDLES
 DISPOSITION IN WORK AREA
 NOTIFY CUSTOMER
 LOCAL TRAFFIC IMPACTED FOR EXTENDED PERIODS
 PLUMBER REQUIRED
 THIRD PARTY CONTRACTOR REQUIRED
 STEAM MET-NO 25(1) OF GAS PIPE - EA-
 GAS TRANSMISSION MAIN IN AREA
 M.V. CASE NO. _____ ROW CASE NO. _____
 NOTIFY E.R.C. (715-219-2333) 48 HRS PRIOR TO
 TO EXCAVATION PER G-1082
 IF YES TO FOLLOW-UP CHECK 100% CHECKLIST IN PROJECT WORK
 CONTINGENT DATE WITHIN 100 FT
 INCLUDES
 DATE: _____
 BY: _____

MAIN INSTALLATION

Item	Location	Action	Size	Pressure	Material	Footage	Upgraded Pressure	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
1	A3-A6	DIRECT BURY	12"	HP	PE	548							
2	A4-B1	DIRECT BURY	4"	HP	PE	65							

TIE IN

Item	Location	Action	New Size	Pressure	New Material	Existing or New	Tie in to Size	Tie in to Material	Account	Project	Task	Date	Field Supervisor ID
3	A1	TIE IN	12"	HP	PE	Existing	8"	PE					
4	A4	INSTALL TEE	12"	HP	PE	Existing							
5	A5	INSTALL TEE	12"	HP	PE	Existing							
6	A5	TIE IN	12"	HP	PE	Existing	2"	PE					
7	B1	TIE IN	12"	HP	PE	Existing	4"	ST					

VALVES & DRIPS

Item	Location	Action	Size	Valve/ Drip	Material	Valve/Drip Number	Account	Project	Task	Date	Field Supervisor ID
8	V1	ABANDON	8"	VALVE	ST	30241					
9	V2	INSTALL	12"	VALVE	PE	38460					
10	V3	INSTALL	12"	VALVE	PE	38461					
11	V4	ABANDON	4"	VALVE	ST	30339					
12	V4	INSTALL	4"	VALVE	PE	38462					

PIPE ABANDONMENT

Item	Location	Action	Size	Pressure	Material	Footage	Year	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
13	A3-A6	PURGE, CUT, CAP & ABANDON	8"	HP	ST	948	1992						
14	A2-A3	PURGE, CUT, CAP & ABANDON	1-1/4"	HP	PE	79	1991						
15	A2-A3	PURGE, CUT, CAP & ABANDON	1-1/4"	HP	PE	117	1993						
16	A4-B1	PURGE, CUT, CAP & ABANDON	4"	HP	ST	65	1964						

MISC. NOTES

Item	Notes	Account	Project	Task	Date	Field Supervisor ID
17	NOTE 1					
18	NOTE 2					
19	AS NEEDED					
20	A1					
21	B1					

SERVICES

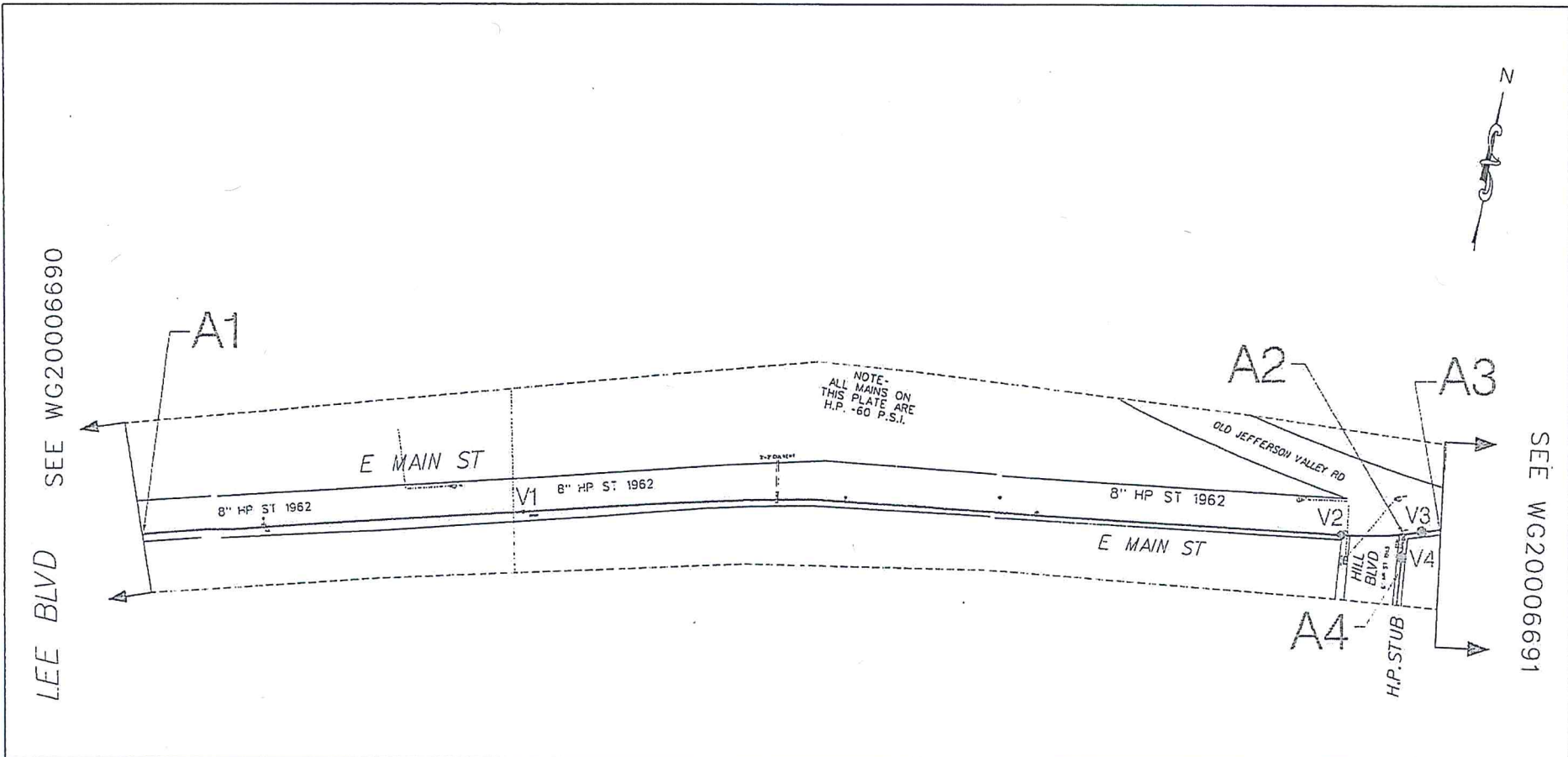
Item	Service Address	Layout Location	Register Number	Action	Size	Pressure	Material	Footage	Gas Valve Size	VLP Req'd	New Regulator Size	EPV Req'd	Account	Project	Task	Comment	Date	Field Supervisor ID
22	RELOCATE METER(S) OUTDOORS FOR DIRECT BURIED SVCS - RELOCATIONS AND EXCEPTIONS MUST BE DOCUMENTED												92515	22347591	0001			
23	703 E MAIN ST	53	177408	DIRECT BURY	1"	HP	PE	10		NO								
24	691 E MAIN ST	53	174801	DIRECT BURY	1"	HP	PE	10		NO								
25	633 E MAIN ST	53	156451	INSERT	1/2"	HP	PE	133	1/2"	NO						FIELD VERIFY IF LOCATION IS 633 E MAIN ST		
26	615 E MAIN ST	54	156215	INSERT	1/2"	HP	PE	109	1/2"	NO		YES				FIELD VERIFY IF LOCATION IS 615 E MAIN ST		
27	3663-3665 LEE BLVD (3561 7)	U1	144924	SEE COMMENTS												FIELD VERIFY LOC. & USAGE, PROVIDE MTR NO & CONTACT GAS ENG.		
28	3661 LEE BLVD (3561 7)	U2	171190	SEE COMMENTS												FIELD VERIFY LOC. & USAGE, PROVIDE MTR NO & CONTACT GAS ENG.		
29	633 E MAIN ST	U3	139859	SEE COMMENTS												FIELD VERIFY IF ACTIVE, NOT ACTIVE IN CS.		

Gas Specifications

Item	Spec
1	G-48 GAS METER & SERVICE REGULATOR SIZING
2	G-629 INSTALLATION & INSPECTION OF GAS SERVICE REGULATOR VLPS
3	G-805 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION MAINS
4	G-8100 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION SERVICES
5	G-8229 PURGING GAS MAINS, SERVICES AND REGULATOR STATIONS
6	G-8141 INSTALLATION OF VALVES ON GAS DISTRIBUTION MAINS
7	G-8149 RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF GAS SERVICES
8	G-8204 PRESSURE TESTING REQUIREMENTS FOR GAS MAINS AND SERVICES
9	G-8209 CORROSION CONTROL OF BURIED STEEL GAS MAINS AND SERVICES
10	EO-13341-C DRIP STAND PIPE FOR LOW PRESSURE STEEL AND CAST IRON GAS MAIN
11	EO-14958-B DRIP POTS FOR LOW PRESSURE POLYETHYLENE GAS MAINS
12	GH51 E05.08 DRIP POTS AND DRIP POT LIQUIDS

GAS MAIN & SERVICE FLYSHEET

TICKET#: WG2006589	REV:	PROJECT#: M20W00125	TROUBLE TYPE: G4E
LOCATION: E MAIN ST BETWEEN INDIAN HILL RD AND HILL BLVD		MUNI: TY	
DESCRIPTION: DIRECT BURY 12" HP PE GAS MAIN		IF WORK CANNOT BE DONE AS LAID OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214	
CONJUNCTIONAL TICKETS:	WG2006590	DRAWN BY: CLOUGHRA	DATE: 08/26/2020
		CHECKED BY: VMANCOB	DATE: 09/03/2020
G-MES 138-BC 138-DC 138-DB	G-GRM 136-BC	E-MES 138-DC 139-5C 139-DB	E-COMP N/A
		E-CONDUIT/CADD 138-BC 139-BC	Gas Forms
			Advance Mapping Systems



U.C. PROPERTY/SECURITY IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO OIL-O-STATIC H.P.P. FEEDERS IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WITHIN REEP OPTICS IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SERVICE THRU VALVED AREA (REPORT TO CDR) <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO REGULATOR STATION IN WORK AREA - GR <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO MAPS INDICATE PCB'S, COAL TAR WRAP, AUTO SEAL, EPICAL <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO NEW MAIN VALVE NUMBERS <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO DRP/SYMPHON IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO NOTIFY CONDUIT <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO LOCAL TRAFFIC IMPACTED FOR EXTENDED PERIODS <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO C/MACHINE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO THRD PARTY CONTRACTOR REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO STEAM WITHIN 25'-FT OF GAS PIPE - EWP <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		NOT TO SCALE LOW SERVICE DENSITY		TICKET NUMBER: WG20006690 REV: PROJECT NUMBER: M20W00125		TROUBLE TYPE: G4E	
NO. REVISION DRAWN APP'D DATE		LOCATION: E MAIN ST B/T LEE BLVD & HILL BLVD		MUNICIPALITY: TY		DESCRIPTION OF WORK: DIRECT BURY 12" HP PE GAS MAIN	
1 2 3		GENERAL LEGEND		CONJUNCTIONAL TICKET: WG20006689, WG20006691		DATE: 8/28/20 APPROVED BY: B.VIANCO	
GAS TRANSMISSION MAIN IN AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO NEW CASE NO. OLD CASE NO. NOTIFY E.C.R. (718-210-2243) 48 HRS PRIOR TO EXCAVATION PER G-11563 IF YES TO BELOW-CHECK CONSP 1103 CHECKLIST IN PROJECT W/CD CONTAMINATED SITE WITHIN 100 FT. <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO RECLAIMED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO PLUMB ALIEN <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO ARE LANDMARKS FACILITATION COMMISSION		NEW GAS MAIN/SERVICE NEW CUSTOMER TRENCH ELECTRIC OIL-O-STATIC NEW VALVE PROPOSED GAS WORK		ABANDON L.P. PIPE (DASHED) ABANDON L.P. PIPE ABANDON I.P. OR M.P. PIPE ABANDON H.P. PIPE STEAM NEW/EXISTING DRP		G-M&S 138-BC,139-BC 138-BD,139-BD 139-BE	
				G-GEN. G136-BK		E-M&S 138-BC,139-BC 138-BD,139-BD 139-BE	
				E-COMP. N/A		E-CONDUIT/C&DO 138-BC,139-BC 138-BD,139-BD 139-BE	

MAIN INSTALLATION													
Item	Location	Action	Size	Pressure	Material	Footage	Upgraded Pressure	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
1	A1-A3	DIRECT BURY	12"	HP	PE	1,565							
2	A2-A4	DIRECT BURY	12"	HP	PE	46							

PIPE ABANDONMENT													
Item	Location	Action	Size	Pressure	Material	Footage	Year	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
10	A3-A3	PURGE, CUT, CAP & ABANDON	8"	HP	ST	1,566	1961						
11	A2-A4	PURGE, CUT, CAP & ABANDON	8"	HP	ST	46	1960						


TIE IN													
Item	Location	Action	New Size	Pressure	New Material	Existing or New	Tie In to Site	Tie In to Material	Account	Project	Task	Date	Field Supervisor ID
3	A2	INSTALL TIE	12"	HP	PE	Existing	6"	ST					
4	A4	TIE IN	12"	HP	PE	Existing	6"	ST					

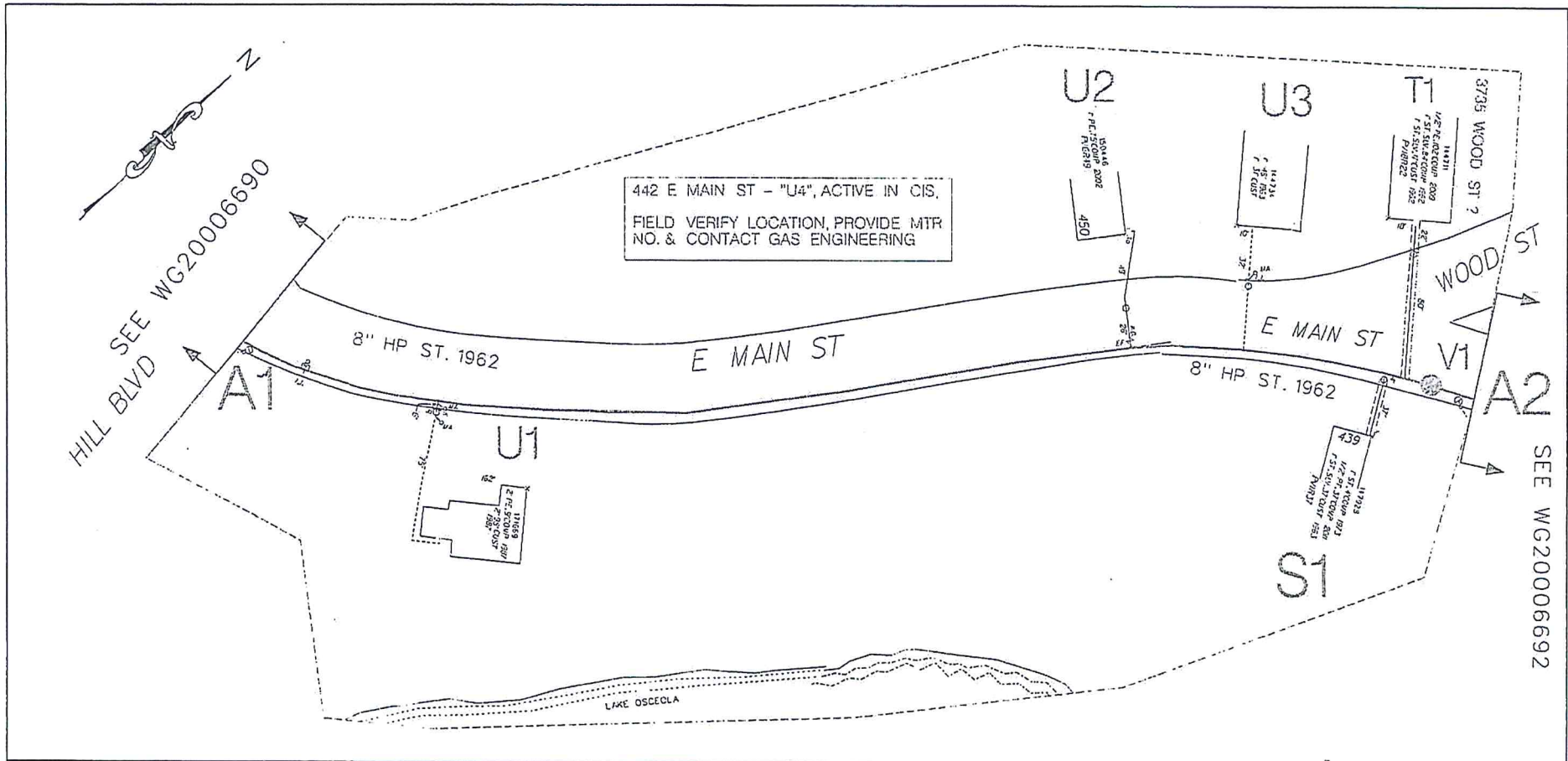
MISC. NOTES													
Item	Notes								Account	Project	Task	Date	Field Supervisor ID
12	NOTE 1 HAND EXCAVATE 2' X 5' TEST PIT FOR LOCATIONS & DEPTH OF EXISTING GAS MAIN & THE LOCATIONS OF A CLEAR LANE												
13	NOTE 2 SERVICE-TO-MAIN CONNECTIONS HAVE A 3' TOLERANCE ZONE (HAND EXCAVATE A 6' X 6' AREA)												
14	AS NEEDED ALL WORK INVOLVING TAPPING STOP HOLES, VENT HOLES, DROPPING STOPPERS & INSTALLATION OF BY-PASS												
15	AA INSTALL MAGNESIUM ANODE(S) AS PER G-8205												
16	AA CONTACT GAS ENGINEERING PLANNING FOR BYPASS SIZING												

VALVES & DRIPS													
Item	Location	Action	Size	Valve/ Drip	Material	Valve/Drip Number	Account	Project	Task	Date	Field Supervisor ID		
5	V2	ABANDON	8"	VALVE	ST	30303							
6	V2	INSTALL	12"	VALVE	PE	30549							
7	V2	INSTALL	12"	VALVE	PE	30570							
8	V4	ABANDON	6"	VALVE	ST	11454							
9	V4	INSTALL	12"	VALVE	PE	30571							

SERVICES																			
Item	Service Address	Layout Location	Register Number	Action	Size	Pressure	Material	Footage	Gas Valve Size	VIP Req'd	New Regulator Size	EFV Req'd	Account	Project	Task	Comment	Date	Field Supervisor ID	
17	RELOCATE METER(S) OUTDOORS FOR DIRECT BURIED SVCS - RELOCATIONS AND EXCEPTIONS MUST BE DOCUMENTED																		
													90515	12247591	0001				

Gas Specifications	
Item	Spec
1	G-48 GAS METER & SERVICE REGULATOR SIZING
2	G-609 INSTALLATION & INSPECTION OF GAS SERVICE REGULATOR VALVS
3	G-8205 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION MAINS
4	G-8100 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION SERVICES
5	G-8120 PURGING GAS MAINS, SERVICES AND REGULATOR STATIONS
6	G-8141 INSTALLATION OF VALVES ON GAS DISTRIBUTION MAINS
7	G-8145 RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF GAS SERVICES
8	G-8204 PRESSURE TESTING REQUIREMENTS FOR GAS MAINS AND SERVICES
9	G-8205 CORROSION CONTROL OF BURIED STEEL GAS MAINS AND SERVICES
10	ED-13541-C DRIP STAND PIPE FOR LOW PRESSURE STEEL AND CAST IRON GAS MAIN
11	ED-14258-B DRIP POTS FOR LOW PRESSURE POLYETHYLENE GAS MAINS
12	GENSI EDC-08 DRIP POTS AND DRIP POT LIQUIDS

GAS MAIN & SERVICE FLYSHEET			
TICKET#: WG20006690	REV:	PROJECT#: M20W00125	TROUBLE TYPE: G4E
LOCATION: E MAIN ST BETWEEN LEE BLVD AND HILL BLVD			MUNI: TY
DESCRIPTION: DIRECT BURY 12" HP PE GAS MAIN			IF WORK CANNOT BE DONE AS LAID OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214
CONJUNCTIONAL TICKETS:	WG20006690, WG20006691	DRAWN BY: CLOUGHIA	DATE: 08/28/2020
		CHECKED BY: VIANCOS	APPROVED BY: VIANCOS
G-MAS 139-BC 138-BC 139-BC 139-BC 139-BC 138-BC	G-GEN 136-BC	E-MLS 138-BC 139-BC 139-BC 139-BC 138-BC	E-COMP R/A
			E-CONV/LC/CLDD 138-BC 139-DE 139-DE 139-BC 138-BC
Gas Forms			
Advance Mapping Systems			



ALL PRIMARY/SECONDARY IN WORK AREA
 ALL 10-STATE/PPR FEEDERS IN WORK AREA
 KNOWN FIBER OPTICS IN WORK AREA
 SERVICE TRIP VALUED AREA (REPORT TO CDS)
 REGULATOR STATION IN WORK AREA - CR
 WAYS PROVIDE PERS, ENE, TAN W/WRAP, AUTO SEAL, EPS/CA
 NEW VALV NUMBERS
 DEPRESSION IN WORK AREA
 NOTIFY CORROSION
 LOCAL TRAFFIC IMPACTED FOR EXTENDED PERIODS
 EQUIPMENT REQUIRED
 THIRD PARTY CONTRACTOR REQUIRED
 STEAM WITHIN 50 FT OF GAS PIPE - EMP
 GAS TRANSMISSION MAIN IN AREA
 MVA CASE NO _____ 80V CASE NO _____
 NOTIFY E.R.C. 178-110-125(3) 48 HRS PRIOR TO
 TO EXCAVATION PER G-86(3)
 IF YES TO REQUIREMENT CHECK 10(3) CHECKLIST IN PROJECT WORK
 CONTAMINATED SITE WITHIN 100 FT
 INCLUDES
 MTR
 MTR - 178-110-125(3) 48 HRS PRIOR TO EXCAVATION

NOT TO SCALE		LOW SERVICE DENSITY	
REVISION			
NO.	REVISION	DRAWN	APP'D DATE
1			
2			
3			
GENERAL LEGEND			
	NEW GAS MAIN/SERVICE		ABANDON I.P. PIPE (DASHED)
	NEW CUSTOMER TRENCH		ABANDON L.P. PIPE
	ELECTRIC		ABANDON I.P. OR M.P. PIPE
	OIL-G-STATIC		ABANDON H.P. PIPE
	NEW VALVE		STEAM
	PROPOSED GAS WORK		NEW/EXISTING DRIP

TICKET NUMBER: WG20006691		REV	PROJECT NUMBER M20W00125	TROUBLE TYPE G4E
LOCATION: E MAIN ST BT HILL BLVD & WOOD ST		MUNI TY		
DESCRIPTION OF WORK: DIRECT BURY 12" HP PE GAS MAIN			IF WORK CANNOT BE DONE AS LAD OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214	
CONJUNCTIONAL TICKET: WG20006690, WG20006692		DRAWN BY: A.CLOUGH	DATE: 8/31/20	APPROVED BY: B.VIANCO
G-M&S 139-BE 139-BF		G-GEN. G136-BK	E-M&S 139-BE 139-BF	E-COMP. N/A
		E-CONDUIT/C&DO 139-BE		

MAIN INSTALLATION													
Item	Location	Action	Size	Pressure	Material	Footage	Upgraded Pressure	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
1	A1-A2	DIRECT BURY	12"	HP	PE	807							

PIPE ABANDONMENT													
Item	Location	Action	Size	Pressure	Material	Footage	Year	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
3	A1-A2	PURGE, CUT, CAP & ABANDON	8"	HP	ST	807	1962						


TIE IN													
Item	Location	Action	New Size	Pressure	New Material	Existing or New	Tie In to Site	Tie In to Material	Account	Project	Task	Date	Field Supervisor ID

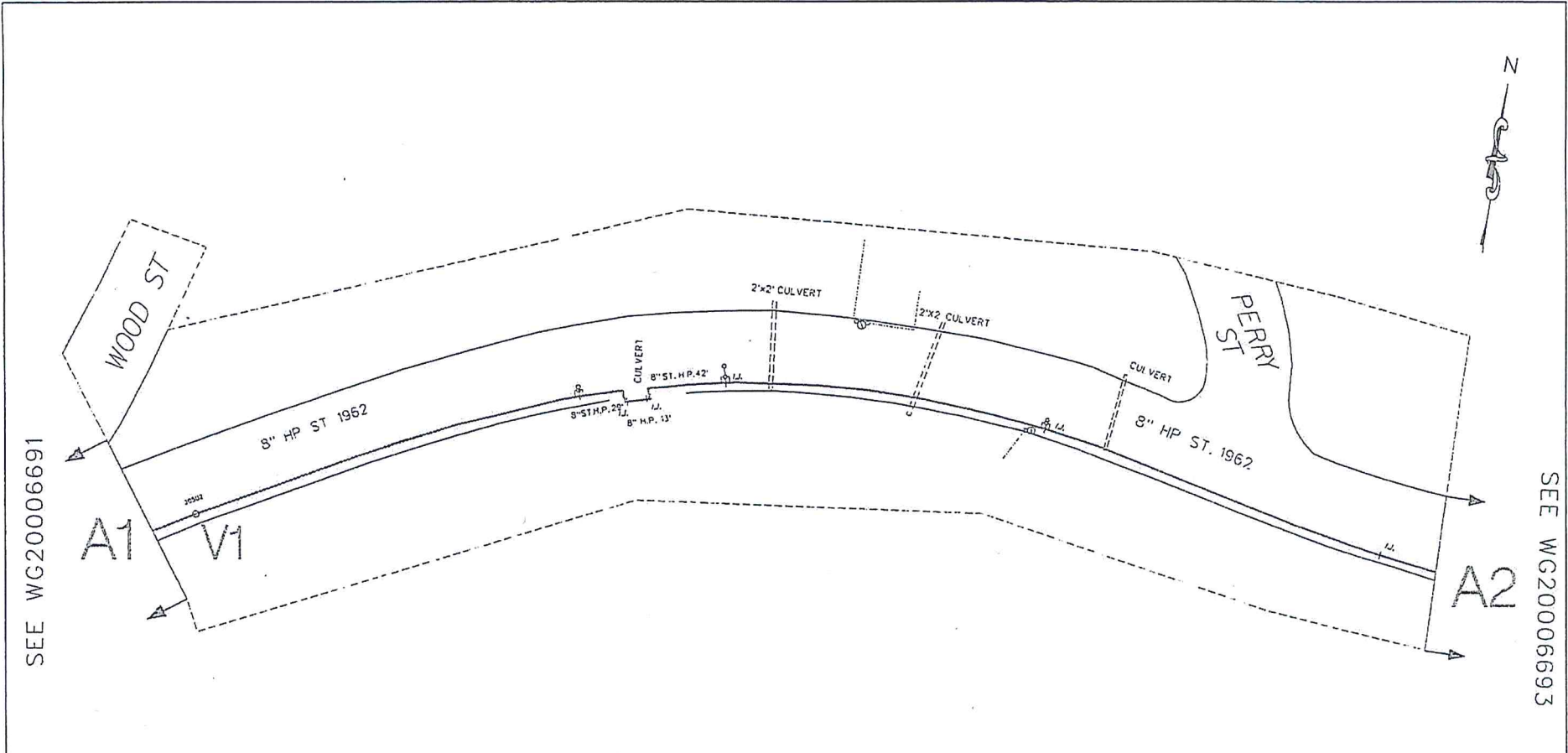
MISC. NOTES														
Item	Notes								Account	Project	Task	Date	Field Supervisor ID	
4	NOTE 1	HAND EXCAVATE 2' X 5' TEST PIT FOR LOCATIONS & DEPTH OF EXISTING GAS MAIN & THE LOCATIONS OF A CLEAR LANE												
5	NOTE 2	SERVICE-TO-MAIN CONNECTIONS HAVE A 2" TOLERANCE ZONE (HAND EXCAVATE A 6' X 6' AREA)												
6	AS NEEDED	ALL WORK INVOLVING TAPPING STOP HOLES, VENT HOLES, DROPPING STOPPERS & INSTALLATION OF BY-PASS												

VALVES & DRIPS													
Item	Location	Action	Size	Valve/Drip	Material	Valve/Drip Number	Account	Project	Task	Date	Field Supervisor ID		
2	V1	INSTALL	12"	VALVE	PE	26300							

SERVICES																		
Item	Service Address	Layout Location	Register Number	Action	Size	Pressure	Material	Footage	Curb Valve Size	VLP Req'd	New Regulator Size	EFV Req'd	Account	Project	Task	Comment	Date	Field Supervisor ID
7	RELOCATE (METERS) OUTDOORS FOR DIRECT BURIED SVCS - RELOCATIONS AND EXCEPTIONS MUST BE DOCUMENTED												90515	22347331	0001			
8	439 E MAIN ST	S1	347928	INSERT M-V	1/2"	HP	PE	4		NO		YES						
9	3735 WOOD ST	T1	144711	TRANSFER		HP												
10		U1	371569	SEE COMMENTS														
11	450 E MAIN ST	U2	150446	SEE COMMENTS														
12		U3	144734	SEE COMMENTS														
13	442 E MAIN ST	U4		SEE COMMENTS														

Gas Specifications		
Item	Spec	
1	G-48	GAS METER & SERVICE REGULATOR SIZING
2	G-499	INSTALLATION & INSPECTION OF GAS SERVICE REGULATOR VLP'S
3	G-8005	GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION MAINS
4	G-8100	GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION SERVICES
5	G-8120	PURGING GAS MAINS, SERVICES AND REGULATOR STATIONS
6	G-8141	INSTALLATION OF VALVES ON GAS DISTRIBUTION MAINS
7	G-8142	RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF GAS SERVICES
8	G-8204	PRESSURE TESTING REQUIREMENTS FOR GAS MAINS AND SERVICES
9	G-8205	CORROSION CONTROL OF BURIED STEEL GAS MAINS AND SERVICES
10	EO-12541-C	DRIP STAND PIPE FOR LOW PRESSURE STEEL AND CAST IRON GAS MAIN
11	EO-14264-B	DRIP POTS FOR LOW PRESSURE POLYETHYLENE GAS MAINS
12	GLHS E06.08	DRIP POTS AND DRIP POT LIQUIDS

GAS MAIN & SERVICE FLYSHEET							
TICKET#: WG20006691		REV:		PROJECT#: M20W00125		TROUBLE TYPE: G4E	
LOCATION: E MAIN ST BETWEEN HILL BLVD AND WOOD ST						MUNI: TY	
DESCRIPTION: DIRECT BURY 12" HP PE GAS MAIN						IF WORK CANNOT BE DONE AS LAID OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214	
CONJUNCTIONAL TICKETS: WG13000692, WG20006490				DRAWN BY: GLOUGHA		DATE: 08/31/2020	
				CHECKED BY: B.VANHO		DATE:	
G-MES 139-DF 139-DE	G-GER 136-BK	E-MES 139-BC 139-BF	E-COMP N/A	E-CONDUIT/CSO 139-BC	Gas Forms		
					Advance Mapping Systems		



U.G. PLUMBING/SEWERAGE IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO OIL-O-STATIC H.P.P. FEEDERS IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO UNDER FEED OPTICS IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SERVICE THRU VALVED AREA (REPORT TO CDS) <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO REGULATOR STATION IN WORK AREA - GR <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WAPS INDICATE PCB'S, COAL TAR WEAR, AUTO SEAL, EMERALD <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO NEW MAIN VALVE NUMBERS <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EMERGENCY IN WORK AREA <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO OIL-O-STATIC <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO LOCAL TRAFFIC IMPACTED FOR EXTENDED PERIODS <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO CIVILIAN REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO THIRD PARTY CONTRACTOR REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO STEAM WITHIN 35'-FT OF GAS PIPE - EMP <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	NOT TO SCALE LOW SERVICE DENSITY	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DRAWN</th> <th>APP'D</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	REVISION	DRAWN	APP'D	DATE	1					2					3					TICKET NUMBER: WG20006692 REV: <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3	PROJECT NUMBER: M20W00125	TROUBLE TYPE: G4E MUNI: TY				
NO.	REVISION	DRAWN	APP'D	DATE																									
1																													
2																													
3																													
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">GENERAL LEGEND</th> </tr> </thead> <tbody> <tr> <td></td> <td>NEW GAS MAIN/SERVICE</td> </tr> <tr> <td></td> <td>ABANDON L.P. PIPE (DASHED)</td> </tr> <tr> <td></td> <td>NEW CUSTOMER TRENCH</td> </tr> <tr> <td></td> <td>ABANDON L.P. PIPE</td> </tr> <tr> <td></td> <td>ELECTRIC</td> </tr> <tr> <td></td> <td>ABANDON I.P. OR M.P. PIPE</td> </tr> <tr> <td></td> <td>ABANDON H.P. PIPE</td> </tr> <tr> <td></td> <td>NEW VALVE</td> </tr> <tr> <td></td> <td>STEAM</td> </tr> <tr> <td></td> <td>PROTECTED GAS WORK</td> </tr> <tr> <td></td> <td>NEW EXISTING DPID</td> </tr> </tbody> </table>			GENERAL LEGEND			NEW GAS MAIN/SERVICE		ABANDON L.P. PIPE (DASHED)		NEW CUSTOMER TRENCH		ABANDON L.P. PIPE		ELECTRIC		ABANDON I.P. OR M.P. PIPE		ABANDON H.P. PIPE		NEW VALVE		STEAM		PROTECTED GAS WORK		NEW EXISTING DPID	LOCATION: E MAIN ST BT WOOD ST & PERRY ST DESCRIPTION OF WORK: DIRECT BURY 12" HP PE GAS MAIN CONJUNCTIONAL TICKET: WG20006691, WG20006693 DRAWN BY: A.CLOUGH DATE: 9/2/2020 CHECKED BY: B.VIANCO DATE:		IF WORK CANNOT BE DONE AS Laid OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214 APPROVED BY: B.VIANCO
GENERAL LEGEND																													
	NEW GAS MAIN/SERVICE																												
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	PROTECTED GAS WORK																												
	NEW EXISTING DPID																												
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:15%;">G-M&S 139-BF</td> <td style="width:15%;">G-GEN. G136-BK</td> <td style="width:15%;">E-M&S 139-BF</td> <td style="width:15%;">E-COMP. NA</td> <td style="width:15%;">E-CONDUIT/C&DD NP</td> </tr> </table>			G-M&S 139-BF	G-GEN. G136-BK	E-M&S 139-BF	E-COMP. NA	E-CONDUIT/C&DD NP																						
G-M&S 139-BF	G-GEN. G136-BK	E-M&S 139-BF	E-COMP. NA	E-CONDUIT/C&DD NP																									

SEE WG20006691

SEE WG20006693



MAIN INSTALLATION													
Item	Location	Action	Size	Pressure	Material	Footage	Upgraded Pressure	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
1	A1-A2	DIRECT BURY	12"	HP	PE	845							

PIPE ABANDONMENT													
Item	Location	Action	Size	Pressure	Material	Footage	Year	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
1	A1-A2	PURGE, CUT, CAP & ABANDON	8"	HP	ST	845	1962						


TIE IN													
Item	Location	Action	New Size	Pressure	New Material	Existing or New	Tie In to Size	Tie In to Material	Account	Project	Task	Date	Field Supervisor ID

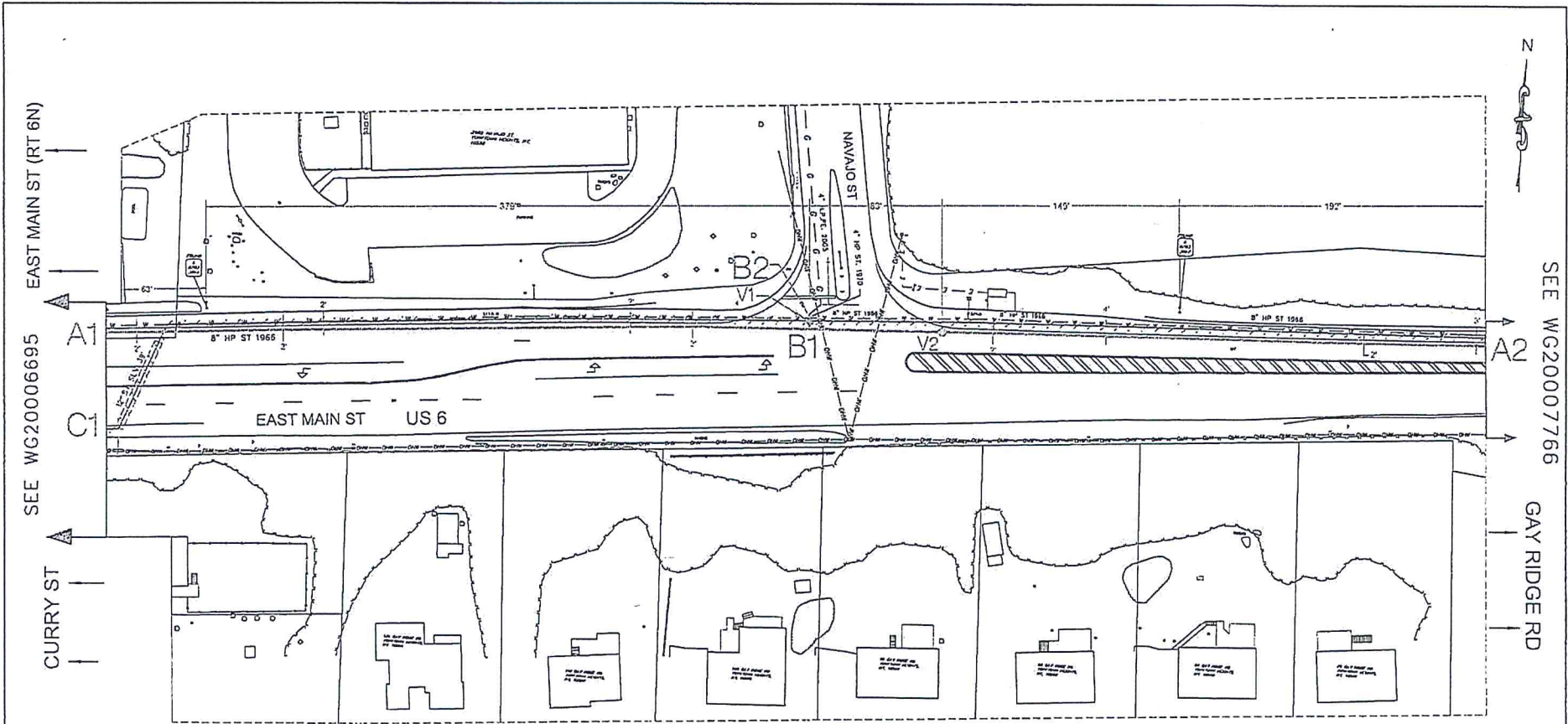
VALVES & DRIPS													
Item	Location	Action	Size	Valve/Drip	Material	Valve/Drip Number	Account	Project	Task	Date	Field Supervisor ID		
2	V1	ABANDON	8"	VALVE	ST	30502							

MISC. NOTES														
Item	Notes							Account	Project	Task	Date	Field Supervisor ID		
4	NOTE 1	HAND EXCAVATE 2' X 5' TEST PIT FOR LOCATIONS & DEPTH OF EXISTING GAS MAIN & THE LOCATIONS OF A CLEAR LANE												
5	NOTE 2	SERVICE-TO-MAIN CONNECTIONS HAVE A 3' TOLERANCE ZONE (HAND EXCAVATE A 6' X 6' AREA)												
6	AS HEHEED	ALL WORK INVOLVING TAPPING STOP HOLES, VENT HOLES, DROPPING STOPPERS & INSTALLATION OF BY-PASS												

SERVICES																		
Item	Service Address	Layout Location	Register Number	Action	Size	Pressure	Material	Footage	Curb Valve Size	VLP Req'd	New Regulator Size	EFV Req'd	Account	Project	Task	Comment	Date	Field Supervisor ID
7	RELOCATE METER(S) OUTDOORS FOR DIRECT BURIED SVCS - RELOCATIONS AND EXCEPTIONS MUST BE DOCUMENTED																	
8													90315	22347591	0001			

Gas Specifications		
Item	Spec	
1	G-48	GAS METER & SERVICE REGULATOR SIZING
2	G-499	INSTALLATION & INSPECTION OF GAS SERVICE REGULATOR VIPS
3	G-805	GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION MAINS
4	G-8100	GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION SERVICES
5	G-8122	PURGING GAS MAINS, SERVICES AND REGULATOR STATIONS
6	G-8142	INSTALLATION OF VALVES ON GAS DISTRIBUTION MAINS
7	G-8143	RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF GAS SERVICES
8	G-8304	PRESSURE TESTING REQUIREMENTS FOR GAS MAINS AND SERVICES
9	G-8205	CORROSION CONTROL OF BURIED STEEL GAS MAINS AND SERVICES
10	ED-13541-C	DRIP STAND PIPE FOR LOW PRESSURE STEEL AND CAST IRON GAS MAIN
11	EO-14854-B	DRIP POTS FOR LOW PRESSURE POLYETHYLENE GAS MAINS
12	GHS1106-08	DRIP POTS AND DRIP POT LIQUIDS

GAS MAIN & SERVICE FLYSHEET							
TICKET#: WG20006692		REV:		PROJECT#: M20W00125		TROUBLE TYPE: G4E	
LOCATION: E MAIN ST BETWEEN WOOD ST AND PERRY ST						MUNI: TY	
DESCRIPTION: DIRECT BURY 12" HP PE GAS MAIN						IF WORK CANNOT BE DONE AS LAID OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214	
CONJUNCTIONAL TICKETS: WG10006693, WG20006691				DRAWN BY: CLOUGHIA		DATE: 09/01/2020	
				CHECKED BY: YANCOB		DATE:	
G-M65 135-BF	G-G41 136-BK	E-M64 135-BF	E-CDMP N/A	E-CONMFCRDD N/P	Gas Forms		
					Advance Mapping Systems		



UIC PRIMARY/SECONDARY IN WORK AREA <input type="checkbox"/> YES <input type="checkbox"/> NO OIL-O-STATIC/L.P.P FEEDERS IN WORK AREA <input type="checkbox"/> YES <input type="checkbox"/> NO KNOWN FIBER OPTICS IN WORK AREA <input type="checkbox"/> YES <input type="checkbox"/> NO SERVICE TRUCK WALKED AREA REPORT TO O&M <input type="checkbox"/> YES <input type="checkbox"/> NO REGULATOR STATION IN WORK AREA - CR <input type="checkbox"/> YES <input type="checkbox"/> NO MARKS DISGATE POLES, COIL, TAR WRAP, AUTO SEAL, EMERAL <input type="checkbox"/> YES <input type="checkbox"/> NO NEW MAIN VALVE NUMBERS <input type="checkbox"/> YES <input type="checkbox"/> NO DRIP/SYPHON IN WORK AREA <input type="checkbox"/> YES <input type="checkbox"/> NO NOTIFY CORROSION <input type="checkbox"/> YES <input type="checkbox"/> NO LOCAL TRAFFIC IMPACTED FOR EXTENDED PERIODS <input type="checkbox"/> YES <input type="checkbox"/> NO CI MADING REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO THIRD PARTY CONTRACTOR REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO STEAM WITHIN 35-FT OF GAS PIPE - EXP. <input type="checkbox"/> YES <input type="checkbox"/> NO GAS TRANSMISSION MAIN IN AREA <input type="checkbox"/> YES <input type="checkbox"/> NO MWP CASE NO. <input type="checkbox"/> YES <input type="checkbox"/> NO NOTIFY E.R.C (718-337-2333) 48 HRS PRIOR TO TO EXCAVATION PER G-11643 <input type="checkbox"/> YES <input type="checkbox"/> NO IF YES TO BELOW-CHECK CENSP (LO3) CHEMIST IN PROJECT WISE CONTAMINATED SITE WITHIN 100 FT WETLANDS, PRINCE PEARL <input type="checkbox"/> YES <input type="checkbox"/> NO NYC LANDMARKS PRESERVATION COMMISSION <input type="checkbox"/> YES <input type="checkbox"/> NO
--

NOT TO SCALE	LOW SERVICE DENSITY	SUPPLY MAIN
REVISION NO. 1 NO. 2 NO. 3		
GENERAL LEGEND ——— NEW GAS MAIN/SERVICE ——— NEW CUSTOMER TRENCH ——— ELECTRIC ——— OIL-O — OIL-O-STATIC ——— NEW VALVE - - - - - PROPOSED GAS WORK - - - - - ABANDON L.P. PIPE (DASHED) ——— ABANDON L.P. PIPE ——— ABANDON I.P. OR M.P. PIPE ——— ABANDON H.P. PIPE ——— STEAM ○ NEW/EXISTING DRIP		

TICKET NUMBER:	WG20007765	REV	PROJECT NUMBER	M20W00126	TROUBLE TYPE	G4E
LOCATION:	E MAIN ST (US 6) BT E MAIN ST (RT 6N)/CURRY ST & GAY RIDGE RD				MUNI	TY
DESCRIPTION OF WORK:	DIRECT BURY 12" HP PE GAS MAIN				IF WORK CANNOT BE DONE AS LAD OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214	
CONJUNCTIONAL TICKET:	WG20006695, WG20007766	DRAWN BY:	A.CLOUGH	DATE:	11/4/20	APPROVED BY:
		CHECKED BY:		DATE:		B.VIANCO
G-M&S	G-GEN.	E-M&S	E-COMP.	E-CONDUIT/C&DO		
140-BK	G136-BK	140-BK	N/A	140-BK		
140-BL		140-BL		140-BL		

MAIN INSTALLATION

em	Location	Action	Size	Pressure	Material	Footage	Upgraded Pressure	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
1	A1-A2	DIRECT BURY	12"	HP	PE	863							
2	B1-B2	DIRECT BURY	4"	HP	PE	4							

TIE IN

em	Location	Action	New Size	Pressure	New Material	Existing or New	Tie In to Site	Tie In to Material	Account	Project	Task	Date	Field Supervisor ID
3	D1	INSTALL TAPPING TEE	4"										

VALVES & DRIPS

em	Location	Action	Size	Valve/Drip	Material	Valve/Drip Number	Account	Project	Task	Date	Field Supervisor ID
4	V1	INSTALL	4"	VALVE	PE	99272					
5	V2	INSTALL	12"	VALVE	PE	99273					

PIPE ABANDONMENT

Item	Location	Action	Size	Pressure	Material	Footage	Year	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
6	B1-B2	PURGE, CUT, CAP & ABANDON	4"	HP	ST	4	1970						
7	CL-A2	PURGE, CUT, CAP & ABANDON	8"	HP	ST	507	1946						

MISC. NOTES

Item	Notes	Account	Project	Task	Date	Field Supervisor ID
8	NOTE 1 HAND EXCAVATE 2' X 5' TEST PIT FOR LOCATIONS & DEPTH OF EXISTING GAS MAIN & THE LOCATIONS OF A CLEAR LAINE					
9	NOTE 2 SERVICE-TO-MAIN CONNECTIONS HAVE A 3" TOLERANCE ZONE (HAND EXCAVATE A 6' X 6' AREA)					
10	AS NEEDED ALL WORK INVOLVING TAPPING STOP HOLES, VENT HOLES, DROPPING STOPPERS & INSTALLATION OF BY-PASS					

SERVICES


Item	Service Address	Layout Location	Register Number	Action	Size	Pressure	Material	Footage	Cur Valve Size	VLP Req'd	New Regulator Size	IFV Req'd	Account	Project	Task	Comment	Date	Field Supervisor ID
11	RELOCATE METER(S) OUTDOORS FOR DIRECT BURIED SVCS - RELOCATIONS AND EXCEPTIONS MUST BE DOCUMENTED												90515	2247591	0001			
12																		

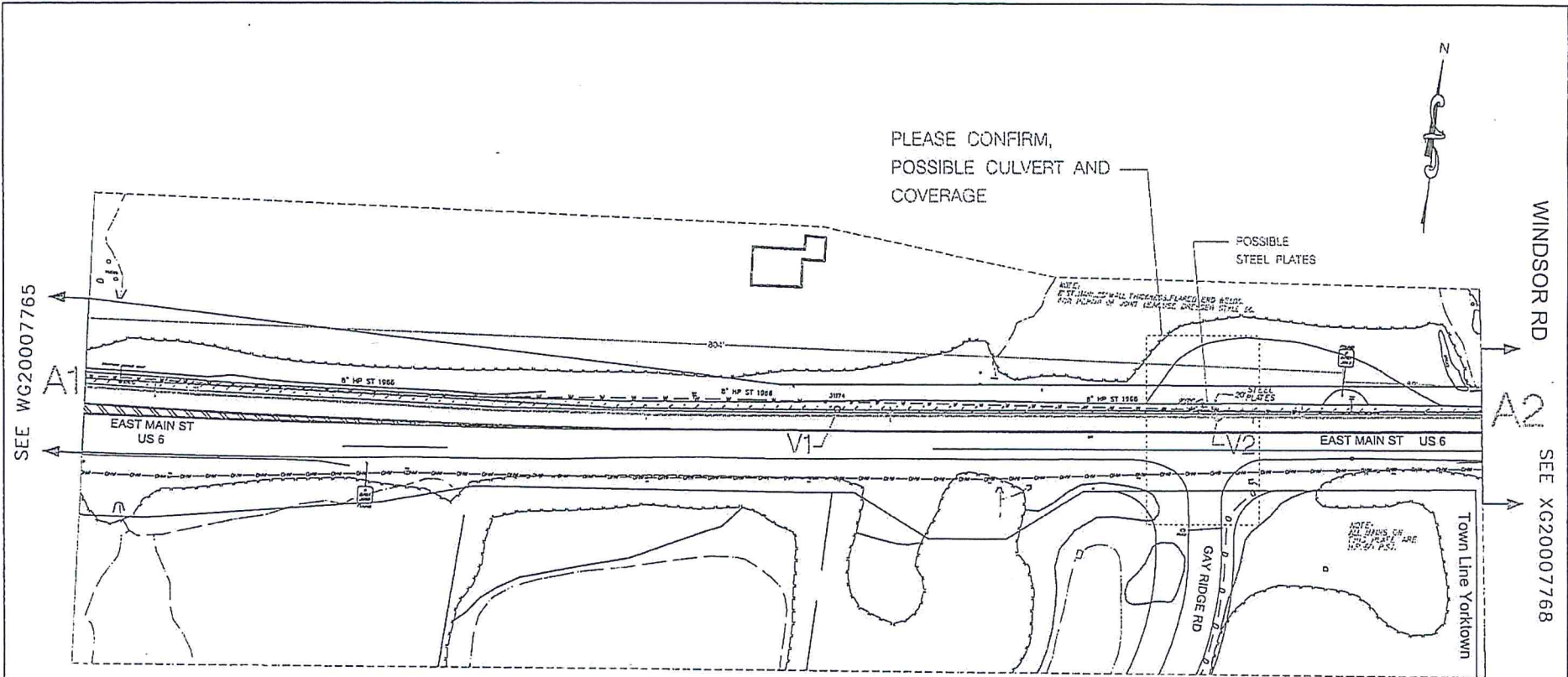
Gas Specifications

em	Spec
1	G-48 GAS METER & SERVICE REGULATOR SIZING
2	G-409 INSTALLATION & INSPECTION OF GAS SERVICE REGULATOR VLPs
3	G-805 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION MAINS
4	G-8100 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION SERVICES
5	G-8129 PUNGING GAS MAINS, SERVICES AND REGULATOR STATIONS
6	G-8141 INSTALLATION OF VALVES ON GAS DISTRIBUTION MAINS
7	G-8149 RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF GAS SERVICES
8	G-8204 PRESSURE TESTING REQUIREMENTS FOR GAS MAINS AND SERVICES
9	G-8205 CORROSION CONTROL OF BURIED STEEL GAS MAINS AND SERVICES
10	EQ-1351-C DRIP STAND PIPE FOR LOW PRESSURE STEEL AND CAST IRON GAS MAIN
11	EQ-1482-B DRIP POTS FOR LOW PRESSURE POLYETHYLENE GAS MAINS
12	EQS1106-08 DRIP POTS AND DRIP POT LIQUIDS

GAS MAIN & SERVICE FLYSHEET


TICKET#: WG20007765	REV:	PROJECT#: M20W00126	TROUBLE TYPE: G4E
LOCATION: E MAIN ST (US 6) BETWEEN E MAIN ST (RT 6N) / CURRY ST AND GAY RIDGE RD			MUNI: TY
DESCRIPTION: DIRECT BURY 12" HP PE GAS MAIN			IF WORK CANNOT BE DONE AS LAID OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214
CONJUNCTIONAL TICKETS:	WG20007766, WG20006425	DRAWN BY: CLDUGHA	DATE: 11/04/2020
		CHECKED BY: VIANCOB	APPROVED BY: VIANCOB
G-MKS 140-BK 140-BJ	G-GEN 135-BK	E-MKS 140-BL 140-BK	E-COMP N/A
		E-CombU/CRDD 140-BL 140-BK	G-81 Forms
			Advance Tapping Systems





U.G. PRIMARY/SECONDARY IN WORK AREA	YES	NO
OIL-O-STATIC/P.P. FEEDERS IN WORK AREA	<input type="checkbox"/>	<input type="checkbox"/>
KNOWN FIBER OPTICS IN WORK AREA	<input type="checkbox"/>	<input type="checkbox"/>
SERVICE THRU VALVED AREA (REPORT TO CCO)	<input type="checkbox"/>	<input type="checkbox"/>
REGULATOR STATION IN WORK AREA - CR	<input type="checkbox"/>	<input type="checkbox"/>
MAPS INDICATE POPS, COAL TAR WRAP, AUTO SEAL, EP/SEAL	<input type="checkbox"/>	<input type="checkbox"/>
NEW MAIN VALVE NUMBERS	<input type="checkbox"/>	<input type="checkbox"/>
OFF/STINGER IN WORK AREA	<input type="checkbox"/>	<input type="checkbox"/>
NOTIFY CORROSION	<input type="checkbox"/>	<input type="checkbox"/>
LOCAL TRAFFIC IMPACTED FOR EXTENDED PERIODS	<input type="checkbox"/>	<input type="checkbox"/>
CI MACHINE REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
THIRD PARTY CONTRACTOR REQUIRED	<input type="checkbox"/>	<input type="checkbox"/>
SIICAM WITHIN 25-FT OF GAS PIPE - EMP	<input type="checkbox"/>	<input type="checkbox"/>
GIS TRANSMISSION MARK IN AREA	<input type="checkbox"/>	<input type="checkbox"/>
NEW CASE NO. REV CASE NO.	<input type="checkbox"/>	<input type="checkbox"/>
NOTIFY L.R.C. (718-310-3243) 48 HRS PRIOR TO EXCAVATION PER O-10623	<input type="checkbox"/>	<input type="checkbox"/>
IF YES TO BELOW CHECK ECHSP 1103 CHECKLIST IN PROJECT/WORK CONTAMINATED SDC WITHIN 100 FT	<input type="checkbox"/>	<input type="checkbox"/>
NEGLANDS	<input type="checkbox"/>	<input type="checkbox"/>
PAINTS PERMIT	<input type="checkbox"/>	<input type="checkbox"/>
NYC LANDMARKS PRESERVATION COMMISSION	<input type="checkbox"/>	<input type="checkbox"/>

NOT TO SCALE	LOW SERVICE DENSITY	SUPPLY MAIN
REVISION		
NO.	DESCRIPTION	DATE
1		
2		
3		
GENERAL LEGEND		
—	NEW GAS MAIN/SERVICE	—
—	NEW CUSTOMER TRENCH	—
—	ELECTRIC	—
—	OIL-O-STATIC	—
—	NEW VALVE	—
—	ABANDON L.P. PIPE	—
—	ABANDON I.P. OR M.P. PIPE	—
—	ABANDON H.P. PIPE	—
—	STEAM	—
—	NEW/EXISTING DRIP	—

TICKET NUMBER:	WG20007766	REV	PROJECT NUMBER	M20W00126	TROUBLE TYPE	G4E	
LOCATION:	E MAIN ST (US 6) BT E MAIN ST (RT 6N) & WINDSOR RD					MUNI	TY
DESCRIPTION OF WORK:	DIRECT BURY 12" HP PE GAS MAIN					IF WORK CANNOT BE DONE AS Laid OUT, FOLLOW SCOPE CHANGE PROCESS IN C-B214	
CONJUNCTIONAL TICKET:	WG20007765, WG20007768	DRAWN BY:	A.CLOUGH	DATE:	11/13/20	APPROVED BY:	B.VIANCO
G-M&S	G-GEN.	E-M&S	E-COMP.	E-CONDUIT/C&DO			
140-BK	G136-BK	140-BK	N/A	140-BK			
140-BL		140-BL		140-BL			
							

MAIN INSTALLATION													
em	Location	Action	Size	Pressure	Material	Footage	Upgraded Pressure	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
1	A1-A2	DIRECT BURY	12"	HP	PE	825							

PIPE ABANDONMENT													
Item	Location	Action	Size	Pressure	Material	Footage	Year	Account	Project	Task	Date	Field Supervisor ID	Actual Footage
4	A1-A2	PURGE, CUT, CAP & ABANDON	8"	HP	ST	825	1266						

TIE IN													
em	Location	Action	New Size	Pressure	New Material	Existing or New	Tie In to Size	Tie In to Material	Account	Project	Task	Date	Field Supervisor ID

MISC. NOTES													
Item	Notes							Account	Project	Task	Date	Field Supervisor ID	
5	NOTE 1	HAND EXCAVATE 2' X 5' TEST PIT FOR LOCATIONS & DEPTH OF EXISTING GAS MAIN & THE LOCATIONS OF A CLEAR LANE											
6	NOTE 2	SERVICE-TO-MAIN CONNECTIONS HAVE A 2' TOLERANCE ZONE (HAND EXCAVATE A 6' X 6' AREA)											
7	AS NEEDED	ALL WORK INVOLVING TAPPING STOP HOLES, VENT HOLES, DROPPING STOPPERS & INSTALLATION OF BY-PASS											

VALVES & DRIPS													
em	Location	Action	Size	Valve/ Drip	Material	Valve/Drip Number	Account	Project	Task	Date	Field Supervisor ID		
2	V1	ABANDON	8"	VALVE	ST	31374							
3	V2	INSTALL	12"	VALVE	PE	79210							

SERVICES																		
em	Service Address	Layout Location	Register Number	Action	Size	Pressure	Material	Footage	Curk Valve Size	VLP Req'd	New Register Size	CFV Req'd	Account	Project	Task	Comment	Date	Field Supervisor ID
8	RELOCATE METER(S) OUTDOORS FOR DIRECT BURIED SVCS - RELOCATIONS AND EXCEPTIONS MUST BE DOCUMENTED												50515	22347521	000L			

Gas Specifications	
em	Spec
1	G-48 GAS METER & SERVICE REGULATOR SIZING
1	G-493 INSTALLATION & INSPECTION OF GAS SERVICE REGULATOR VALPS
1	G-8005 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION MAINS
1	G-8100 GENERAL SPECIFICATION FOR THE INSTALLATION OF GAS DISTRIBUTION SERVICES
1	G-8123 PURGING GAS MAINS, SERVICES AND REGULATOR STATIONS
1	G-8141 INSTALLATION OF VALVES ON GAS DISTRIBUTION MAINS
1	G-8149 RESPONSIBILITY FOR MAINTENANCE AND REPLACEMENT OF GAS SERVICES
1	G-8204 PRESSURE TESTING REQUIREMENTS FOR GAS MAINS AND SERVICES
1	G-8205 CONFORMANCE CONTROL OF BURIED STEEL GAS MAINS AND SERVICES
0	EO-13541-C DRIP STAND PIPE FOR LOW PRESSURE STEEL AND CAST IRON GAS MAIN
1	EO-14855-B DRIP POTS FOR LOW PRESSURE POLYETHYLENE GAS MAINS
3	GENSI EDC.01 DRIP POTS AND DRIP POT LIQUIDS

GAS MAIN & SERVICE FLYSHEET			
TICKET#: WG20007766	REV:	PROJECT#: M20W00126	TROUBLE TYPE: G4E
LOCATION: E MAIN ST (US 6) BETWEEN E MAIN ST (RT 6N) AND WINDSOR RD			MUNI: TY
DESCRIPTION: DIRECT BURY 12" HP PE GAS MAIN			IF WORK CANNOT BE DONE AS LAID OUT, FOLLOW SCOPE CHANGE PROCESS IN G-8214
CONJUNCTIONAL TICKETS:	WG20007766, WG20007765	DIANIN B.F. CLOUGHAN (CHECKED BY) VIANCOB	DATE: 11/13/2020 DATE:
G-MAS 140-BL	G-GIN 336-BK	L-MAS 140-BL 140-BK	E-COMP N/A
		E-COND/LEDD 140-BL 140-BK	Gas Forms
		Advance Mapping Systems	conEdison

**Town Board Referral
Foothill Street
Resiliency Project**

TOWN OF YORKTOWN TOWN BOARD

Resolved, the Town Clerk is authorized to refer out to appropriate agencies for their review and/or recommendation a Stormwater Pollution Prevention Plan Permit and Wetland Permit submitted by Con Edison to bury 465 feet of electric cable and to add a pad-mounted utility box within the wetland buffer on the eastern side of Foothill Street in Yorktown Heights.

Further Resolved, the Town Board declares its intent to act as Lead Agency. We are transmitting the following referral for your review and recommendation and ask that you respond back to the Town Clerk by Friday, October 1, 2021.

RECEIVED
PLANNING DEPARTMENT
SEP 23 2021
TOWN OF YORKTOWN

TO:

- | | | | |
|-------------------------------------|--|-------------------------------------|----------------------------------|
| <input checked="" type="checkbox"/> | File | <input checked="" type="checkbox"/> | Westchester County |
| <input checked="" type="checkbox"/> | Town Clerk | <input type="checkbox"/> | Planning Department / Board |
| <input type="checkbox"/> | ABACA | <input type="checkbox"/> | Dept. of Public Works |
| <input checked="" type="checkbox"/> | Building Inspector | <input type="checkbox"/> | Dept. of Health |
| <input type="checkbox"/> | Community Housing Board | <input type="checkbox"/> | Parks & Recreation |
| <input checked="" type="checkbox"/> | Conservation Board | <input type="checkbox"/> | Environmental Facilities |
| <input checked="" type="checkbox"/> | Fire: | <input type="checkbox"/> | Soil & Water |
| | <input checked="" type="checkbox"/> Lake Mohegan | <input type="checkbox"/> | New York State |
| | <input checked="" type="checkbox"/> Yorktown | <input checked="" type="checkbox"/> | DEC Albany |
| <input checked="" type="checkbox"/> | Highway Dept. | <input type="checkbox"/> | DEC New Paltz (Region III) |
| <input type="checkbox"/> | Open Space Committee | <input type="checkbox"/> | DOT |
| <input checked="" type="checkbox"/> | Planning Dept. / Board (6) | <input type="checkbox"/> | Parks & Recreation |
| <input type="checkbox"/> | Police Dept. | <input checked="" type="checkbox"/> | NYC DEP |
| <input type="checkbox"/> | Public Safety Committee | <input type="checkbox"/> | Army Corp. of Engineers |
| <input type="checkbox"/> | Recreation Commission | | |
| <input checked="" type="checkbox"/> | School District: | <input type="checkbox"/> | Bordering Municipality |
| | <input type="checkbox"/> Yorktown | <input checked="" type="checkbox"/> | Town of Cortlandt |
| | <input checked="" type="checkbox"/> Lakeland | <input type="checkbox"/> | Town of Somers |
| | <input type="checkbox"/> Ossining | <input type="checkbox"/> | Town of Ossining |
| | <input type="checkbox"/> Croton Harmon | <input checked="" type="checkbox"/> | Town of Putnam Valley |
| <input checked="" type="checkbox"/> | Town Attorney | <input type="checkbox"/> | Yorktown Chamber of Commerce |
| <input checked="" type="checkbox"/> | Town Board | <input type="checkbox"/> | Yorktown Volunteer Ambulance |
| <input checked="" type="checkbox"/> | Town Engineer | <input checked="" type="checkbox"/> | Lake Mohegan Volunteer Ambulance |
| <input checked="" type="checkbox"/> | Water Department | | |
| <input type="checkbox"/> | Yorktown Land Trust | | |

FROM: DIANA L. QUAST, YORKTOWN TOWN CLERK, CERTIFIED MUNICIPAL CLERK

SUBJECT: **We are transmitting the following: Application Documents for SWPPP and Wetlands Permits**

DATE: September 22, 2021

- | | |
|--|--|
| <input checked="" type="checkbox"/> Application/Petition | <input type="checkbox"/> Report |
| <input type="checkbox"/> Drawings | <input type="checkbox"/> Wetlands Permit Application |
| <input checked="" type="checkbox"/> EAF | <input type="checkbox"/> SEQRA Scope |
| <input type="checkbox"/> EAF Addendum | <input type="checkbox"/> Other – Proposed Local Law |

FOR YOUR: Information Review Comment



Consolidated Edison Company
of New York, Inc.
4 Irving Place
New York NY 10003
www.conEd.com

July 19, 2021

Engineering Department
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

Re: Town of Yorktown Wetland and Stormwater Permit Application
Electric Cable Burial
Foothill Street, Yorktown, New York

To Whom It May Concern:

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to bury approximately 465-feet of electric cable add a pad mounted utility box within the buffer of freshwater wetland A-28 on the eastern side of Foothill Street in Yorktown Heights, NY. The project will be conducted within existing roadbed and the wetland buffer only, not the wetland itself. There will be associated upgrades, but they will be on the western side of Foothill St in an upland area. The overall trench within the A-28 buffer will be approximately 465'x4' and 5' deep. The cable will be continuing south to Strawberry Road in an upland area, and west onto Lockwood Rd, also in an upland area.

To prevent sediment from migrating into the adjacent wetlands, all excavations will be secured within coir logs and/or silt fences and hay bales. Excavated soils will be reused onsite or disposed of properly. During excavation any accumulated groundwater will be pumped out to an upland area through a filter medium. The staging of equipment and materials will occur on paved roads and disturbance to vegetation is not anticipated. Any disturbed vegetation or soils associated with trenching will be mulched and seeded upon completion. Hardscaped areas that are disturbed will be restored like-in-kind.

Please find the following information enclosed:

- Town of Yorktown Stormwater Pollution Prevention Plan and Wetland Permit Application
- Short Form EAF
- Site Location and Wetland Maps
- FEMA Floodplain Map
- Site Photographs
- Project Drawings
- \$1800 check for Wetland Permit Fee

If you have any questions or need additional information, please contact me at (347)-380-1379 or via email at CotroneoC@ConEd.com

Sincerely,

Chris Cotroneo
Scientist

**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 15.07
Block 1
Lot # 7

Approval Authority: TE [] PB [] TB []
Application #: _____
Date Received: _____
Date Issued: _____
Date Expires: _____
Fee Paid: \$ _____

Job Site Address: Foothill Street
City/State/Zip: Yorktown, NY
10547

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Ed Pena
COMPANY: Consolidated Edison Corp of New York
ADDRESS: 511 Theodore Fremd Ave
Rye, NY ZIP 10580
PHONE: (914) 925-6185
EMAIL: PenaD@ConEd.com

OWNER:

YOUR NAME: Public Property
COMPANY: Town of Yorktown
ADDRESS: _____
_____ ZIP _____
PHONE: (_____) _____
EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
<input checked="" type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. Description of wetlands (check all that apply):

- | | | | |
|-----------------------|--------------------------|------------------------------------|-------------------------------------|
| a. Lake/pond | <input type="checkbox"/> | Control area of lake/pond | <input type="checkbox"/> |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input type="checkbox"/> |
| c. Wetlands | <input type="checkbox"/> | Control area of wetlands | <input checked="" type="checkbox"/> |

2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.

Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to bury approximately 465-feet of electric cable add a pad mounted utility box within the buffer of freshwater wetland A-28 on the eastern side of Foothill Street in Yorktown Heights, NY. The project will be conducted within existing roadbed and the wetland buffer only, not the wetland itself. There will be associated upgrades, but they will be on the western side of Foothill St in an upland area. The overall trench within the A-28 buffer will be approximately 465'x4' and 5' deep. The cable will be continuing south to Strawberry Road in an upland area, and west onto Lockwood Rd, also in an upland area.

2b. Stormwater/Excavation - Description of proposed activity:

Stormwater runoff would not be impacted by this short term excavation. The excavation would only be open for a short time, as conduit is installed, the excavation would be backfilled.

3. Tree Removal:

Amount of trees and/or stumps to be removed: None.

Sizes; approximate DBH: _____

Species of trees to be removed (i.e. Birch, Spruce - if known): _____

Reason for removal: _____

Trees marked In field (trees must be marked prior to inspection): Yes: No:

Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:

I, Ed Pena hereby authorize Chris Cotroneo to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature: Ed Pena Date: 7/19/2021

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
 - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
 - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
 - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Ed Pena

PRINT NAME

Ed Pena

SIGNATURE OF APPLICANT

7/19/2021

DATE

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

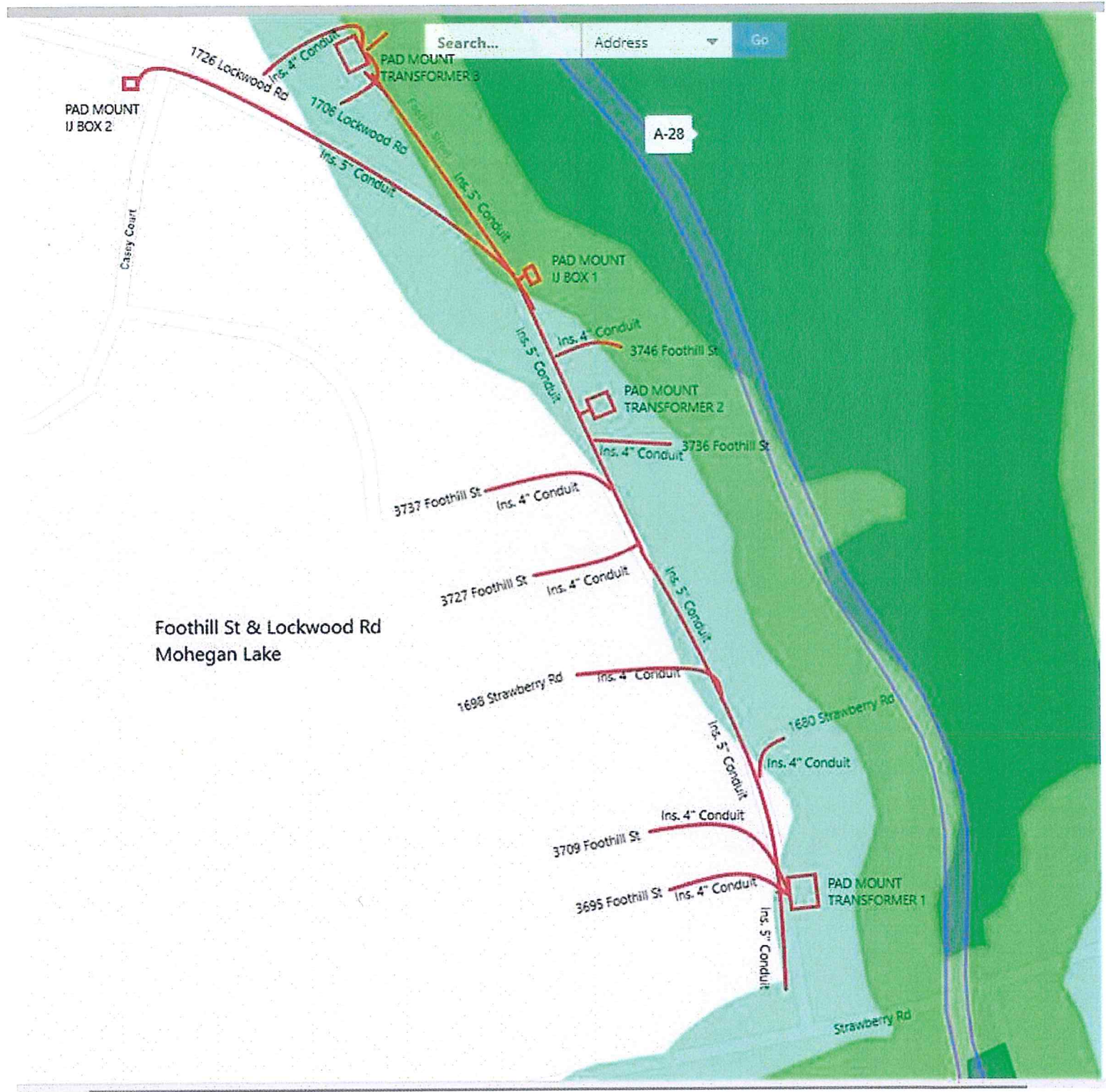
Part 1 - Project and Sponsor Information				
Consolidated Edison Corporation of New York (Con Edison)				
Name of Action or Project: Foothill St Electric Conduit Installation				
Project Location (describe, and attach a location map): Foothill Street, from Strawberry Road north approximately 1500', and west onto Lockwood Rd approximately 500'.				
Brief Description of Proposed Action: Consolidated Edison Corporation of New York, Incorporated (Con Edison) requests authorization to bury approximately 465-feet of electric cable add a pad mounted utility box within the buffer of freshwater wetland A-28 on the eastern side of Foothill Street in Yorktown Heights, NY. The project will be conducted within existing roadbed and the wetland buffer only, not the wetland itself. There will be associated upgrades, but they will be on the western side of Foothill St in an upland area. The overall trench within the A-28 buffer will be approximately 465'x4' and 5' deep. The cable will be continuing south to Strawberry Road in an upland area, and west onto Lockwood Rd, also in an upland area.				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYS DEC. We have applied through our General Permit for wetland permitting.			NO	YES
			<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 0.18 acres		
b. Total acreage to be physically disturbed?		_____ 0.18 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0 acres		
4. Check all land uses that occur on, adjoining and near the proposed action.				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____				
<input type="checkbox"/> Parkland				

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>The proposed action would enhance electric distribution to residents and would be more resistant to storm damage/service interruptions.</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ No water would be necessary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ No sewer connection would be necessary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ <u>The proposed project would pass through previously disturbed roadbed within the buffer of freshwater wetlands A-28, not within the wetlands. No impacts to wetlands or watercourses would occur from this project.</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Ed Pena</u> Date: <u>7/19/2021</u></p> <p>Signature: <u><i>Ed Pena</i></u></p>		







Foothill St & Lockwood Rd
Mohegan Lake

Search... Address Go

A-28

PAD MOUNT
U BOX 2

Casey Court

1726 Lockwood Rd

Ins. 4" Conduit

PAD MOUNT
TRANSFORMER 3

1706 Lockwood Rd

Ins. 5" Conduit

PAD MOUNT
U BOX 1

Ins. 4" Conduit

3746 Foothill St

Ins. 5" Conduit

PAD MOUNT
TRANSFORMER 2

3736 Foothill St

Ins. 4" Conduit

3737 Foothill St

Ins. 4" Conduit

3727 Foothill St

Ins. 4" Conduit

1698 Strawberry Rd

Ins. 4" Conduit

1690 Strawberry Rd

Ins. 4" Conduit

3709 Foothill St

Ins. 4" Conduit

3695 Foothill St

Ins. 4" Conduit

PAD MOUNT
TRANSFORMER 1

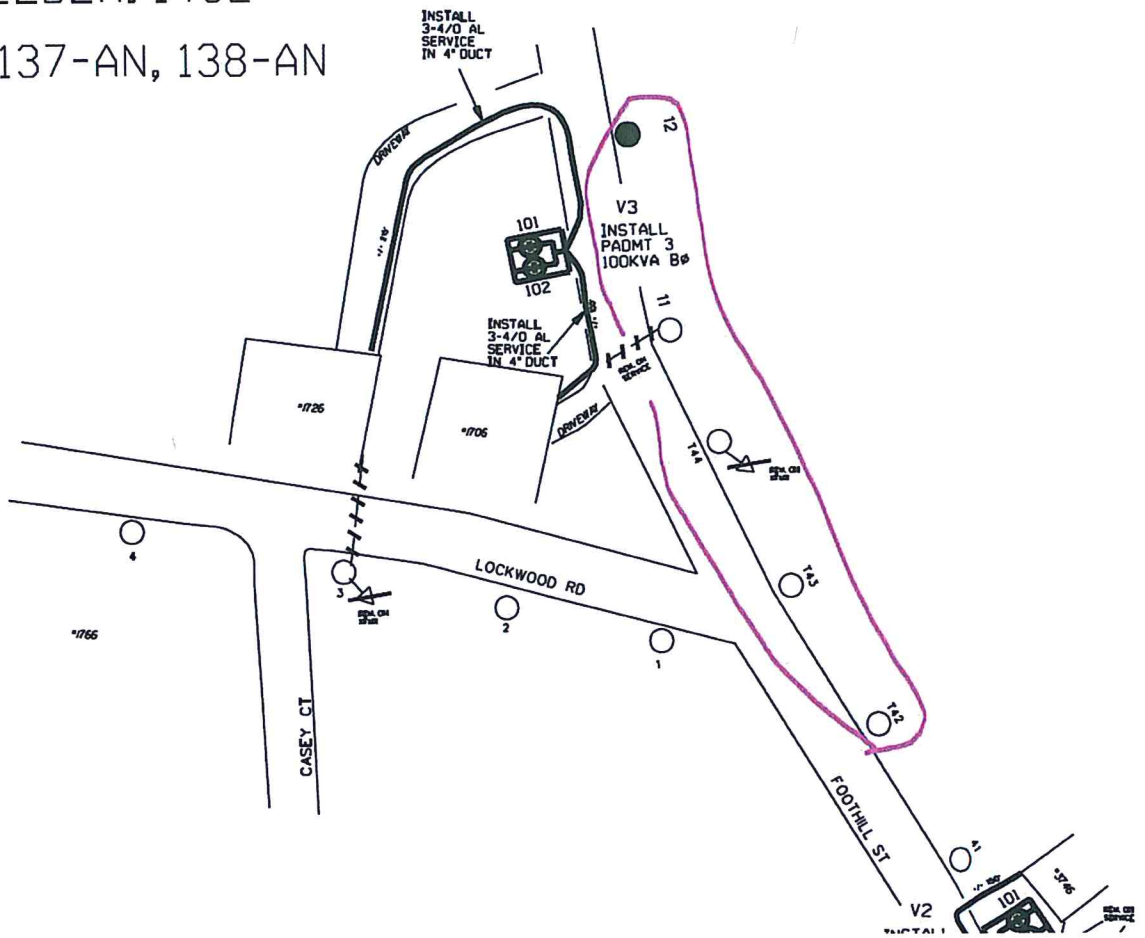
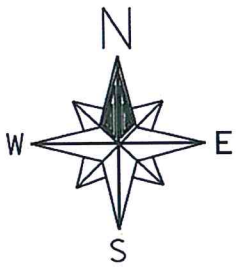
Ins. 5" Conduit

Strawberry Rd

SECONDARY PROPOSAL

FEEDER: 14U2

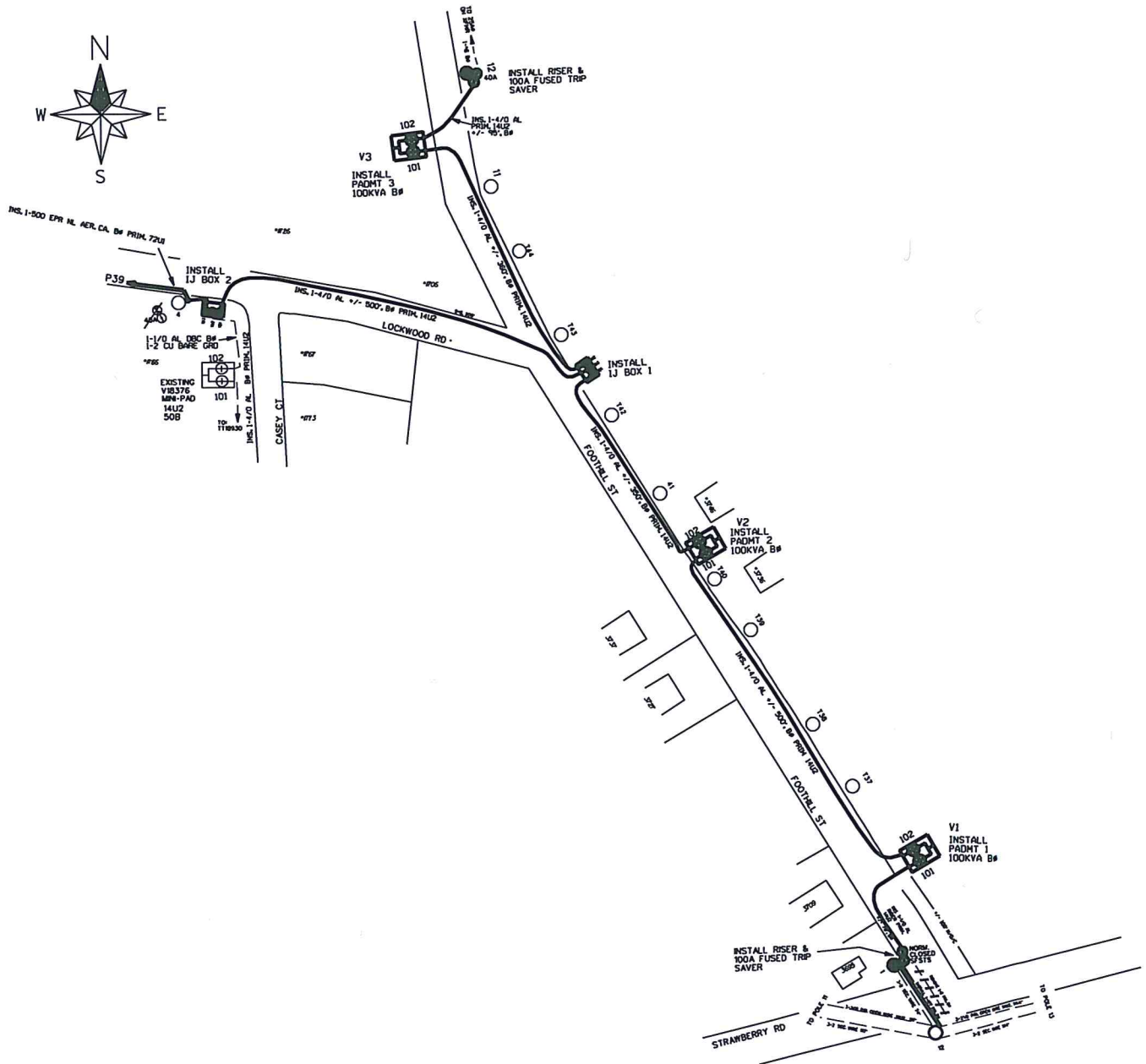
M&S: 137-AN, 138-AN



PRIMARY PROPOSAL

FEEDER: 14U2

M&S: 137-AN, 138-AN



Town Board Referral Amend Solar Law

TOWN OF YORKTOWN TOWN BOARD

Resolved, the Town Clerk is authorized to refer out to appropriate agencies for their review and/or recommendation a proposed amendment to Chapter 300, Section 300-81.4(c) of the Code of the Town of Yorktown as it refers to Large-Scale Solar Energy Systems and Small-Scale Solar Energy Systems.

Further Resolved, the Town Board declares its intent to act as Lead Agency. We are transmitting the following referral for your review and recommendation and ask that you respond back to the Town Clerk by Friday, October 1, 2021.

TO:

RECEIVED
PLANNING DEPARTMENT

SEP 15 2021

TOWN OF YORKTOWN

- File
- Town Clerk
- ABACA
- Building Inspector
- Community Housing Board
- Conservation Board
- Fire:
 - Lake Mohegan
 - Yorktown
- Highway Dept.
- Open Space Committee
- Planning Dept. / Board (6)
- Police Dept.
- Public Safety Committee
- Recreation Commission
- School District:
 - Yorktown
 - Lakeland
 - Ossining
 - Croton Harmon
- Town Attorney
- Town Board
- Town Engineer
- Water Department
- Yorktown Land Trust

Commerce

Ambulance

- Westchester County**
- Planning Department / Board
- Dept. of Public Works
- Dept. of Health
- Parks & Recreation
- Environmental Facilities
- Soil & Water
- New York State**
- DEC Albany
- DEC New Paltz (Region III)
- DOT
- Parks & Recreation
- NYC DEP**
- Army Corp. of Engineers**
- Bordering Municipality**
- Town of Cortlandt
- Town of Somers
- Town of Ossining
- Town of Putnam Valley
- Yorktown Chamber of
- Yorktown Volunteer Ambulance
- Lake Mohegan Volunteer

FROM: DIANA L. QUAST, YORKTOWN TOWN CLERK, CERTIFIED MUNICIPAL CLERK

SUBJECT: **We are transmitting the following: Proposed amendment to Chapter 300 of the Town Code of the Town of Yorktown.**

DATE: September 15, 2021

- Application/Petition
- Drawings
- EAF
- EAF Addendum
- Report
- Wetlands Permit Application
- SEQRA Scope
- Other – Proposed Local Law

FOR YOUR: Information Review Comment

SEP 15 2021

PUBLIC NOTICE

TOWN OF YORKTOWN

NOTICE IS HEREBY GIVEN, that a public hearing will be convened by the Town Board, Town of Yorktown, Westchester County, New York at Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on the 5th day of October, 2021 at 7:30 PM, or as soon thereafter as the same can be heard, to amend Chapter 300 of the Code of the Town of Yorktown entitled "ZONING; Section 300-81.4(c) of the Code of the Town of Yorktown as follows:

"LARGE-SCALE SOLAR ENERGY SYSTEM — A solar energy system that exceeds 20 kilowatts (kW) DC as rated by its nameplate capacity" shall be amended to read "LARGE-SCALE SOLAR ENERGY SYSTEM — A solar energy system that exceeds 25 kilowatts (kW) DC as rated by its nameplate capacity".

"SMALL-SCALE SOLAR ENERGY SYSTEM — A solar energy system that does not exceed more than 20 kW DC as rated by its nameplate capacity, and serves only the buildings or structures on the lot upon which the system is located" shall be amended to read "SMALL-SCALE SOLAR ENERGY SYSTEM — A solar energy system that does not exceed more than 25 kW DC as rated by its nameplate capacity, and serves only the buildings or structures on the lot upon which the system is located".

A copy of the proposed Local Law is on file in the office of the Town Clerk, at the said Town Hall, where the same may be inspected during regular office hours.

The Proposed Local Law may also be viewed on the Town website, www.yorktownny.org.

All persons in interest and citizens may be heard at the public hearing to be held as aforesaid.

DIANA L. QUAST, TOWN CLERK
Town of Yorktown
Certified Municipal Clerk

SEP 15 2021

TOWN OF YORKTOWN

A LOCAL LAW to amend Chapter 300 of the
Code of the Town of Yorktown entitled
“ZONING”

Be it enacted by the Town Board of the Town
of Yorktown as follows:

Section I. Statement of Authority.

This local law is authorized by the New York State Constitution, the provisions of the New York Municipal Home Rule Law, the relevant provisions of the Town Law of the State of New York, the laws of the Town of Yorktown and the general police power vested with the Town of Yorktown to promote the health, safety and welfare of all residents and property owners in the Town.

Section II.

Section 300-81.4(c) of the Code of the Town of Yorktown is hereby amended as follows:

“LARGE-SCALE SOLAR ENERGY SYSTEM — A solar energy system that exceeds 20 kilowatts (kW) DC as rated by its nameplate capacity” shall be amended to read “LARGE-SCALE SOLAR ENERGY SYSTEM — A solar energy system that exceeds 25 kilowatts (kW) DC as rated by its nameplate capacity”.

“SMALL-SCALE SOLAR ENERGY SYSTEM — A solar energy system that does not exceed more than 20 kW DC as rated by its nameplate capacity, and serves only the buildings or structures on the lot upon which the system is located” shall be amended to read “SMALL-SCALE SOLAR ENERGY SYSTEM — A solar energy system that does not exceed more than 25 kW DC as rated by its nameplate capacity, and serves only the buildings or structures on the lot upon which the system is located”.

Section III. Severability.

If any clause, sentence, phrase, paragraph or any part of this local law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this local law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this local law would have been adopted had any such provisions been excluded.

Section IV. Repeal

All ordinances, local laws and parts thereof inconsistent with this Local Law are hereby repealed to the extent of such inconsistency.

Section V. Effective Date.

This local law shall become effective upon filing in the office of the Secretary of State in accordance with the provisions of the Municipal Home Rule Law.

**Full Environmental Assessment Form
Part 1 - Project and Setting**

RECEIVED
PLANNING DEPARTMENT

SEP 15 2021

Instructions for Completing Part 1

TOWN OF YORKTOWN

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Town of Yorktown Zoning Code amendment regulating solar energy generating systems		
Project Location (describe, and attach a general location map): Town of Yorktown		
Brief Description of Proposed Action (include purpose or need): The Town zoning code is proposed to be amended to regulate solar energy generating systems.		
Name of Applicant/Sponsor: Town of Yorktown Town Board	Telephone: (914) 962-5722 x208	E-Mail: dquast@yorktownny.org
Address: 363 Underhill Avenue		
City/PO: Yorktown Heights	State: NY	Zip Code: 10598
Project Contact (if not same as sponsor; give name and title/role): Adam Rodriguez, Town Attorney	Telephone: (914)962-5722 x 241	E-Mail: arodriguez@yorktownwnny.org
Address: Same as above		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): N/A	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Local Law adoption	
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Westchester County Planning Department/Board review only	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): <u>Croton Plan; Route 202/35/Bear Mountain Parkway Sustainable Development Plan; Hudson River Valley National Heritage Area; Hudson River Valley Greenway; Taconic State Parkway Scenic Byway Corridor Management Plan</u> _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s): _____ _____ _____	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
The action is the adoption of a local law which will affect all zoning classifications in the town

b. Is the use permitted or allowed by a special or conditional use permit? N/A Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,
i. What is the proposed new zoning for the site? note: the action is an amendment to the zoning code

C.4. Existing community services.

a. In what school district is the project site located? Lakeland CSD; Yorktown CSD; Croton-Harmon Union Free SD; Ossining Union Free SD

b. What police or other public protection forces serve the project site?
Yorktown PD; NYS State Police

c. Which fire protection and emergency medical services serve the project site?
Yorktown VFD; Mohegan VFD; Yorktown Volunteer Ambulance Corp.

d. What parks serve the project site?
N/A -- the action involves the adoption of a local law only.

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses?	<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site:	
_____	_____ %
_____	_____ %
_____	_____ %
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils:	
<input type="checkbox"/> Well Drained: _____ % of site	
<input type="checkbox"/> Moderately Well Drained: _____ % of site	
<input type="checkbox"/> Poorly Drained _____ % of site	
f. Approximate proportion of proposed action site with slopes:	
<input type="checkbox"/> 0-10%: _____ % of site	
<input type="checkbox"/> 10-15%: _____ % of site	
<input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, describe: _____	

h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?	<input type="checkbox"/> Yes <input type="checkbox"/> No
ii. Do any wetlands or other waterbodies adjoin the project site?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?	<input type="checkbox"/> Yes <input type="checkbox"/> No
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
<ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name _____ Classification _____ • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____ 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	

i. Is the project site in a designated Floodway?	<input type="checkbox"/> Yes <input type="checkbox"/> No
j. Is the project site in the 100-year Floodplain?	<input type="checkbox"/> Yes <input type="checkbox"/> No
k. Is the project site in the 500-year Floodplain?	<input type="checkbox"/> Yes <input type="checkbox"/> No
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Name of aquifer: _____	

m. Identify the predominant wildlife species that occupy or use the project site: _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____

 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	<input type="checkbox"/> Yes <input type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Matthew Slater Date _____

Signature _____ Title Town Supervisor

PRINT FORM

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]
 Project :
 Date :

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “Yes” to a numbered question, please complete all the questions that follow in that section.
- If you answer “No” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - l. If "No", move on to Section 4.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding The proposed action may result in development on lands subject to flooding. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air The proposed action may include a state regulated air emission source. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels:			
i. More than 1000 tons/year of carbon dioxide (CO ₂)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
ii. More than 3.5 tons/year of nitrous oxide (N ₂ O)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iv. More than .045 tons/year of sulfur hexafluoride (SF ₆)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions	D2g	<input type="checkbox"/>	<input type="checkbox"/>
vi. 43 tons/year or more of methane	D2h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered “Moderate to large impact may occur”, continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If “Yes”, answer questions a - e. If “No”, go to Section 12.</i>				<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>	
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>	
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>	
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>	

12. Impact on Critical Environmental Areas The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If “Yes”, answer questions a - c. If “No”, go to Section 13.</i>				<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur	
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>	
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>	
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>	

13. Impact on Transportation
 The proposed action may result in a change to existing transportation systems. NO YES
 (See Part 1. D.2.j)
If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy
 The proposed action may cause an increase in the use of any form of energy. NO YES
 (See Part 1. D.2.k)
If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

15. Impact on Noise, Odor, and Light
 The proposed action may result in an increase in noise, odors, or outdoor lighting. NO YES
 (See Part 1. D.2.m., n., and o.)
If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>		
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>		
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>		
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

18. Consistency with Community Character The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur		
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>		
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>		
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

Project : Date :

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the
Town of Yorktown Town Board _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Adoption of zoning amendment regulating solar energy generation systems in the Town of Yorktown

Name of Lead Agency: Town of Yorktown Town Board

Name of Responsible Officer in Lead Agency: Matthew Slater

Title of Responsible Officer: Supervisor

Signature of Responsible Officer in Lead Agency: _____ Date: _____

Signature of Preparer (if different from Responsible Officer) _____ Date: _____

For Further Information:

Contact Person: Adam Rodriguez

Address: 363 Underhill Avenue, Yorktown Heights, NY

Telephone Number: (914) 962-5722

E-mail: arodriguez@yorktownny.org

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>