Richard Fon
Chairman

Matthew J. Slater
Town Supervisor

TOWN OF YORKTOWN
PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA
YORKTOWN TOWN HALL BOARD ROOM
363 Underhill Avenue, Yorktown Heights, NY 10598

January 10, 2022
7:00 PM

This meeting will be broadcast Live on the Town's YGTV stations, Optimum channel 20 and FiOS channel 33, and on the Town's website at yorktownny.org/ygtv/live.

To participate in the video conference, please register in advance:
https://us02web.zoom.us/meeting/register/tZ0kfu-przsrE9wZbRNucQv3ysMfFVDWg-L
If any interested members of the public would like to provide comments on the Public Hearings, please email the meeting host at rsteinberg@yorktownny.org. In addition, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to planning@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting.

1. **Correspondence**
2. **Meeting Minutes – December 20, 2021**

REGULAR SESSION

3. **Old Croton Gatehouse**
   Decision Lighting Plan
   Location: 58.16-1-11; Croton Dam Road
   Contact: Mark DelBalzo, PE, NYCDEP
   Description: Proposed lighting upgrade at Old Croton Gatehouse.

4. **Foothill Street Solar**
   Adjourned Public Hearing
   Location: 15.07-1-5; 3849 Foothill Street
   Contact: Con Edison Clean Energy Businesses, Inc.
   Description: Proposed installation of a 1.875 MW ground mounted solar panel system and Tier 2 battery energy storage system along with associated access road, electric utility upgrades, and perimeter fencing.

5. **Yorktown Energy Storage Tier 2 Battery Storage System**
   Public Hearing
   Location: 6.17-1-24; 3901 Gomer Court, Jefferson Valley
   Contact: Greg Gibbons, PV Engineers, P.C.
   Description: Proposed amendment to approved Tier 2 (5,000kW/15,000kWh) battery energy storage system which will be no more than 15% of the lot coverage with a maximum of five containers.

6. **C3 Holdings LLC fka Generations Building**
   Public Hearing
   Location: 48.11-1-51; 1500 Front Street
   Contact: Site Design Consultants
   Description: Proposed two-story 3,600 SF building to be used as a 3-bay parking garage on the first floor, material storage on the second floor for one of the existing businesses within the building. This site plan was previously approved by Planning Board Resolution #09-08 on March 9, 2009.

7. **3717 Crompond Road LLC**
   Public Informational Hearing
   Location: 35.08-1-13; 3717 Crompond Road
   Contact: Site Design Consultants
   Description: Proposed demolition of the existing building and construction of a new 20,370 SF two-story warehouse/office building with associated parking and site improvements.

8. **Boniello Equities Subdivision**
   Public Informational Hearing
   Location: 37.09-1-67, 70, 71; 2012-2016 Crompond Road
   Contact: Gus Boniello
   Description: Proposed resubdivision of three lots to create 4 lots and construct two new two-family residences.

9. **Bellamy Subdivision**
   Public Informational Hearing
   Location: 37.10-1-38; 379 Hallocks Mill Road
   Contact: Burns Engineering Services, P.C.
   Description: Proposed 2-lot Subdivision on 1.417 acres in the R1-20 zone.

WORK SESSION

10. **Uncle Giuseppe's**
    Discussion Site Plan
    Location: 37.18-2-56; 329 Downing Drive
    Contact: Mario R Vergara Architects, PC
    Description: Proposed modifications to existing approved site plan for the Yorktown Green Shopping Center approved by Resolution #00-12 dated July 10, 2000.

11. **Common Grounds**
    Discussion New Tenant
    Location: Hill Boulevard, Jefferson Valley
    Contact: Architectural Visions, PLLC
    Description: Proposed food service tenant in the approved PEG Realty shopping center approved by Resolution #09-30 dated December 14, 2009.

12. **Old Hill Farm Solar Farm**
    Discussion Site Plan & Special Permit
    Location: 16.08-1-4 & 17; 571 East Main Street, Jefferson Valley
    Contact: Hillside Solar LLC
    Description: Proposed 3.75 MW ground mounted solar panels disturbing 15 acres on a 19.4 acre property in the R1-20 zone.

13. **Granite Knolls Park Solar Project**
    Discussion Site Plan & Special Permits
    Location: 26.09-1-22; 2975 Stony Street
    Contact: HESP Solar LLC and Bergmann PC
    Description: Proposed 1.3 MW-AC community solar project including ground mounted solar panels, solar carport system, and a battery storage system at Granite Knolls Park.

14. **Town Board Referral**
    Proposed Local Law to amend Chapter 108 Alcoholic Beverages.

Correspondence

Draft Minutes

Old Croton Dam Gatehouse

Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (*ABACA*)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: January 6, 2022
Subject: **Old Croton Gatehouse - Proposed Lighting Upgrade**
SBL: 58.16-1-11; Croton Dam Road

Drawings Reviewed:

Title:	Produced By:
NYC Environmental Protection Letter dated 9/29/21 NYC Environmental Protection Letter dated 11/29/21 Lighting Catalog Cutsheets Photometric Lighting Plan, Sheet E-006-007 dated April, 2021 Electrical Equipment Installation Plan, Sheet E-003.00 dated April, 2021	Mark DelBalzo, PE – NYC Environmental Protection / Bureau of Water Supply

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject via Zoom video conference for the Board meeting on Tuesday, January 4, 2022. Mark DelBalzo, PE; and Tara Saber, were present.

The Board reviewed the lighting plan with the applicant and had no concerns or objections to the proposed lighting upgrade based on the documents submitted.

Christopher Taormina
Christopher Taormina, RA
Chairman

/nc
cc: Applicant

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING
A LIGHTING PLAN FOR
OLD CROTON DAM GATEHOUSE

RESOLUTION NUMBER: #00-00 DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 200, a request for the approval of a lighting plan titled "Electrical Photometric Plan," prepared by HDR, Inc. dated 04/2021, was submitted to the Planning Board on behalf of the New York City Department of Environmental Protection (NYCDEP); and

WHEREAS the property owned by the NYCDEP is located on Croton Dam Road also known as Section 58.16, Block 1, Lot 11 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS pursuant to SEQRA the NYCDEP Bureau of Environmental Planning and Analysis (BEPA) has reviewed the proposal to install a new Chlorine Dioxide (C1O2) treatment system at the Old Croton Lake Gate House (OCLGH), and determined the project to be a Type II action requiring no further environmental review; and

WHEREAS the applicant has submitted as part of his application the following maps and documents:

1. A drawing, No. E-003.00, titled "Electrical Equipment Installation Plan," prepared by HDR, Inc., dated 04/2021; and

2. A drawing, No. E-006.00, titled "Electrical Photometric Plan-Unloading Lighting," prepared by HDR, Inc., dated 04/2021; and

3. A drawing, No. E-007.00, titled "Electrical Photometric Plan-Security Lighting," prepared by HDR, Inc., dated 04/2021; and

4. Lighting Catalog Cut Sheets prepared by RAB Outdoor; and

WHEREAS the lighting plan was reviewed and approved by the Advisory Board on Architecture & Community Appearance as reflected in their memo dated January 6, 2022; and

BE IT NOW RESOLVED that the application of NYCDEP for the approval of a site plan titled "Electrical Photometric Plan" as prepared by HDR, Inc., dated 04/2021, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. _____

2. _____

3. _____

RESOLVED, the Applicant must obtain all necessary permits from outside agencies; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by **January 10, 2023**, or a time extension has been granted by the Planning Board, this approval will be null and void.

Environmental Protection

Vincent Sapienza, P.E.
Commissioner

Angela Licata
Deputy Commissioner
Sustainability

59-17 Junction Blvd.
Flushing, New York 11373

Memorandum

To: Matthew Warne, BWS

From: Sangamithra Iyer, BEPA

Date: September 7, 2021

Subject: Old Croton Lake Gate House C1O2 Treatment System

CEQR No: 20DEP045U

New York City Department of Environmental Protection's (DEP) Bureau of Environmental Planning and Analysis (BEPA) has reviewed the proposal to install a new Chlorine Dioxide ($C1O_2$) treatment system at the Old Croton Lake Gate House (OCLGH), located in the Town of Yorktown, Westchester County.

Project Overview and Existing Structures

DEP proposes the installation of a Chlorine Dioxide ($C1O_2$) treatment system at the OCLGH to address seasonal water quality issues (taste and odor) in New York City's Croton supply. The Croton supply is primarily used during shutdowns of the Delaware or Catskill Aqueducts and can meet 10% to 30% of the water supply demand.

According to available historical records, the OCLGH was built approximately between 1892 to 1906. The OCLGH is a one-story Gothic and Neoclassical style building with a granite façade, riveted iron doors, and roman-arched fenestration. An existing lean-to structure is located five (5) feet away from the OCLGH façade. It is a modern, free-standing structure made of corrugated steel, plywood, and concrete masonry units (CMU) that rests on a 24" deep concrete pad and is not physically connected to the OCLGH. The lean-to structure was built approximately around 1987.

Project Scope

The proposed action involves the following:

1) Demolition of select existing concrete floor slabs within the Chlorine Storage Room at the OCLGH, including the use of jackhammers, to accommodate a new $C1O_2$ treatment system.
2) Install a new $C1O_2$ treatment system within the OCLGH.
3) Utilize the existing OCLGH chlorine process area for installation of skid mounted vacuum feed system.
4) Demolition of the existing lean-to structure and concrete pad to enable the installation of a permanent containment pad location and fill station.
5) Include all mechanical, plumbing, HVAC, and electrical equipment to support the process and allow for operator access and maintenance.

6) Provide interface with the DEP Supervisory Control and Data Acquisition (SCADA) network and the Avantis Computerized Maintenance Management System (CMMS) data (i.e., equipment information, maintenance information).

A ClO2 treatment of up to approximately 1 mg/L is proposed to address taste and odor issues as well as pre-oxidation of iron and manganese prior to water being sent to the Croton Filtration Plant, where it would be further treated with granulated activated carbon prior to distribution in New York City and Outside Community Connections (see Table 1).

Table 1. Outside Community Connections

Outside Community Connections		
NCA Shaft Location	**Community/Water District**	**County**
NCA Shaft 3	Town of New Castle, Village of Pleasantville	Westchester
NCA Shaft 6	Village of Briarcliff Manor	Westchester
NCA Shaft 9	Village of Sleepy Hollow	Westchester
NCA Shaft 10	Village of Tarrytown	Westchester
NCA Shaft 14a	Suez Water Westchester	Westchester

Given the dose of chlorine dioxide proposed to be added, any chlorite, chloride and chlorate byproducts anticipated would be below drinking water regulatory limits and would not impact public health. All Outside Community Connections would continue to monitor pH levels regularly and apply corrosion control measures as needed.

Proposed Exterior Work

The proposed exterior work would be limited to the following:

1) Demolition of the existing lean-to structure and concrete pad to provide space for the permanent containment pad location.
2) Installation of a grey chemical containment pad and asphalt pavement in the area of the lean-to shed in order to safely accept chemical deliveries, including a shallow excavation (approximately 18" below grade) to accommodate the full depth of the new pavement.
3) Installation of grey fiberglass reinforced plastic (FRP) fill station and pump out connection enclosures and a stainless-steel control panel.
4) Installation of two 6”-diameter grey, PVC vents at the rear of the OCLGH building.
5) Installation of an emergency eye wash station on the OCLGH’s east façade.
6) Upgrade of the OCLGH’s existing exterior lighting with LED fixtures with a bronze finish for use only during chemical deliveries.

The proposed pad would not be attached to a building, the permanent containment pad and unloading station location would be just outside the OCLGH. As noted, the proposed excavation work would be shallow, approximately 18” in depth, and would take place within a previously disturbed area. In the event of delays in permitting for the permanent location, a temporary containment pad location would be provided. Site grading and minimal pavement milling are anticipated in the area outside the OCLGH to accommodate the temporary containment pad.

The fill station components (e.g., control panel, pump out connection enclosures, and vents) would be installed on the exterior East Elevation wall of the OCLGH. This would require penetration of the wall. However, they would be relatively minor in that they would be provided for a 1.25-inch potable water line, 2-inch fill and pump out lines and 6-inch vents. Escutcheons (painted to match surrounding louvers) would be installed at these penetrations. If any patching is required (nothing significant anticipated), a color matched mortar would be required to be used. The fill station components would be installed outdoors to allow for unobstructed view during deliveries of the delivery truck and fill points, in accordance with NYSDEC requirements. The East Elevation was selected for locating this equipment (in lieu of the North Elevation) as it would provide a limited view to the public from Croton Dam Road.

To protect OCLCH during the demolition of the existing lean-to structure, protective measures including temporary barricades would be implemented. The total area of disturbance for the proposed exterior work would be approximately 2,700 ft^2. The proposed work would take place exclusively on DEP property and would take place within existing OCLGH process areas. The project location is within 100 ft of Croton Lake Reservoir, which is classified as a wetland under the Code of the Town of Yorktown. While the project location is within a 100-ft wetland buffer set by the Town, no work would be conducted within the Reservoir. All work within the wetland buffer is across the roadway separating the OCLGH site from the Reservoir. Furthermore, the area within the existing buffer was previously developed with asphalt.

To protect the wetland buffer, erosion and sedimentation control measures around driveway catch basins would be put in place during construction. This includes inlet protection and hay bales along the temporary construction fence. There would be no excavation planned beyond removal of the existing concrete pad.

A Peregrine Falcon nest is located on a cliff adjacent to the project location. However, as noted, most of the proposed work is internal to the OCLGH. To protect the falcons, all the exterior work as well as the proposed internal jack hammering within the OCLGH would be completed between August 1 and February 1, before the start of the falcons' breeding season on February 1st. Furthermore, DEP Bureau of Water Supply's Wildlife Studies Section would monitor the site as the proposed work proceeds.

Permits and Duration of Work

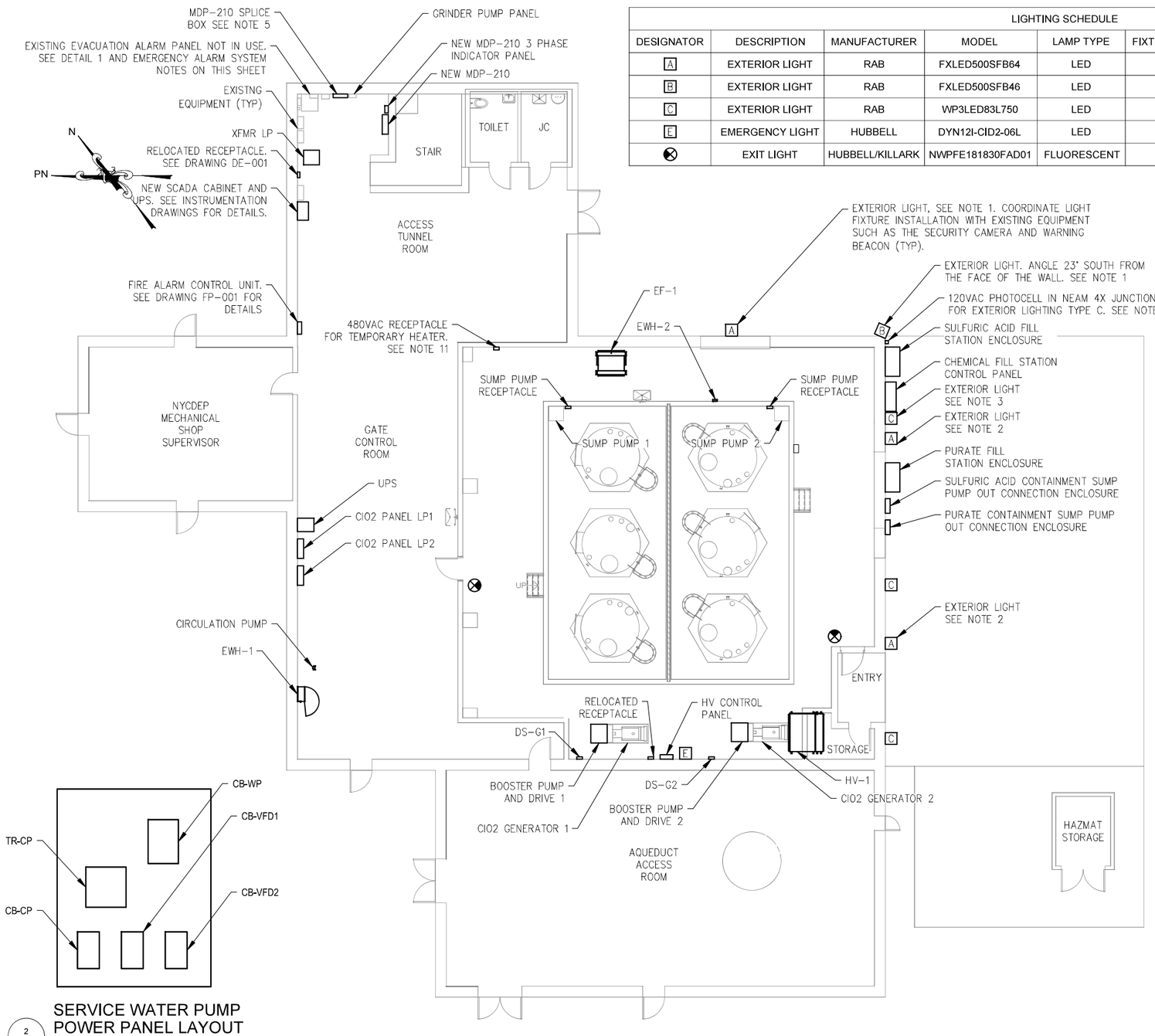
The project as proposed is anticipated to require a Wetlands Permit from the Town of Yorktown. The site would abide by the City's authorized work hours and noise limits. All work would occur over a period of approximately eight (8) months and take place on Monday to Friday, between the hours of 6 AM to 6 PM.

Conclusion

Based upon the information provided, BEPA has concluded that this action would fall within the scope of a Type II action under 6NYCRR Part 617.5. Specifically, the proposed action described above would fall under the following category: 617.5(c)(9) "construction or expansion of a primary or accessory/appurtenant, non-residential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with local land use controls, but not radio communication or microwave transmission facilities;". Therefore, in accordance with Part 617, this action, as a Type II action, does not require an environmental impact statement or any other determination or procedure.

If you have any questions or comments, please contact David Lee via email at dlee@dep.nyc.gov or telephone at (718) 585-6066.

cc: Chuck Kanu, BWS
Terrence Murphy, BWS
Margherite Duffy, BWS
Nabil Bekheet, BWS
Bill Richardson, BWS
Maria Mandarino, BWS
Mark Del Balzo, BWS
Jose Nieves, BWS
Mark N. Page Jr., BEPA
David Lee, BEPA
Susan Darling, BEPA



LIGHTING SCHEDULE									
DESIGNATOR	DESCRIPTION	MANUFACTURER	MODEL	LAMP TYPE	FIXTURE LUMENS	COLOR TEMP	WATTAGE	VOLTAGE	MOUNTING
A	EXTERIOR LIGHT	RAB	FXLED500SFB64	LED	62651	5000K	500W	120V	SURFACE
B	EXTERIOR LIGHT	RAB	FXLED500SFB46	LED	62651	5000K	500W	120V	SURFACE
C	EXTERIOR LIGHT	RAB	WP3LED83L750	LED	15353	5000K	154W	120V	SURFACE
E	EMERGENCY LIGHT	HUBBELL	DYN12I-CID2-06L	LED				120V	SURFACE
⊗	EXIT LIGHT	HUBBELL/KILLARK	NWPFE181830FAD01	FLUORESCENT				120V	SURFACE

2 SERVICE WATER PUMP POWER PANEL LAYOUT

1 DETAIL 1

EMERGENCY ALARM SYSTEM NOTES:

1. THE EVACUATION ALARM PANEL IN THE OLD CROTON GATE HOUSE (OCGH) IS CURRENTLY INACTIVE. THE EXISTING EVACUATION ALARM COMPONENTS FOR THE OCGH IS CONNECTED TO THE MAIN PANEL LOCATED IN THE NEW CROTON GATE HOUSE (NCGH). AS NOTED IN DRAWING GA-002, AN EMERGENCY ALARM SYSTEM IS REQUIRED IN THE CHEMICAL STORAGE ROOM. THE EXISTING EVACUATION ALARM SYSTEM SHALL SERVE AS THE EMERGENCY ALARM SYSTEM AND SHALL BE MODIFIED TO MEET THE REQUIREMENTS FOR AN EMERGENCY ALARM SYSTEM. THE CONTRACTOR SHALL PERFORM THE FOLLOWING:
   - 1.1. CONNECT THE EXISTING EVACUATION ALARM MAIN PANEL IN THE NCGH TO THE NCGH SCADA SYSTEM.
   - 1.2. IF THE EXISTING EVACUATION ALARM MAIN PANEL IS INCOMPATIBLE WITH THE NCGH SCADA SYSTEM, IT SHALL BE REPLACED WITH A PANEL THAT IS COMPATIBLE.
   - 1.3. AFTER COMPLETION OF WORK, THE EVACUATION ALARM SYSTEM SHALL BE REFERRED TO AS THE EMERGENCY ALARM SYSTEM AND ALL LABELS SHALL BE CHANGED ACCORDINGLY.

NOTES:

1. NOTED LIGHTS ARE TO BE PLACED 16.8 FT ABOVE GROUND AND TILTED 45° DOWNWARD.
2. NOTED LIGHTS ARE TO BE PLACED 16.8 FT ABOVE GROUND AND TILTED 20° DOWNWARD.
3. NOTED LIGHTS ARE TO BE PLACED 10.25 FT ABOVE GROUND. FURNISH AND INSTALL A NEW PHOTOCELL FOR THE TYPE C LIGHT FIXTURE. REUSE THE EXISTING EXTERIOR LIGHTING CIRCUIT AND CONTROL INSIDE THE GATE HOUSE FOR THE NEW LIGHT FIXTURES. RUN NEW CONDUITS AND WIRING AND CONNECT TO EXISTING CIRCUIT AS REQUIRED. PHOTOCELL SHALL BE MODEL PC120D2, MANUFACTURED BY APPLETON.
4. CONTRACTOR TO CONFIRM ROUTING OF ALL CONDUIT BEFORE INSTALLATION
5. EXISTING WIRING TO BE EXTENDED TO MDP-210 VIA TERMINAL BLOCKS WITHIN MDP-210 SPLICE BOX. FURNISH AND INSTALL A BACKPANEL AND TERMINAL BLOCKS IN THE SPLICE BOX.
6. CONDUIT RUNS BETWEEN ANY TWO PULL POINTS SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF THREE 90-DEGREE BENDS. INSTALL PULL BOXES, CONDUIT BODIES, ETC. IF MORE BENDS ARE REQUIRED.
7. INSTALL EXPANSION FITTINGS WHERE NECESSARY TO COMPENSATE FOR THERMAL EXPANSION AND CONTRACTION.
8. INSTALL CONDUIT SUPPORT EVERY 5 FEET MAXIMUM.
9. INSTALL FIRE RETARDANT SEALANT AT ALL CONDUIT PENETRATION THROUGH THE WALLS OF THE CHEMICAL STORAGE ROOM. FIRE RETARDANT SEALANT SHALL BE UL LISTED AND HAVE A FIRE RATING OF 3 HOURS.
10. ALL CONDUITS IN THE CHEMICAL STORAGE ROOM SHALL BE INSTALLED WITH SEALING FITTINGS TO PREVENT FLAME AND GAS FROM TRAVELING THROUGH THE CONDUIT SYSTEM.
11. FURNISH PORTABLE HEATER RECEPTACLE AND MATING PLUG WITH ALL NECESSARY WIRING AND ACCESSORIES REQUIRED TO CONNECT THE PORTABLE HEATER TO THE RECEPTACLE.

1/8"=1'-0" 0 5 10 15 FT.

100% SUBMITTAL
PERMITTING SET
SUBMITTAL DATE: 04/2021

GRAPHIC SCALES CHECK BEFORE USE

IF SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT. SCALE ACCORDINGLY

NO.	DATE	REVISIONS/DESCRIPTION	APPR'D.

DESIGNED BY: DH
DRAWN BY: DH
CHECKED BY: YA
DESIGN LEAD: YETUNDE ADELEKAN, PE
PROJECT MANAGER: ALICIA VACCARO, PE

ACCOUNTABLE MANAGER: MARK DELBALZO, P.E.
PORTFOLIO MANAGER: MARIA MANDARINO, P.E.
DIRECTOR, PLANNING DIRECTORATE BUREAU OF WATER SUPPLY TODD WEST, P.E.

"WARNING-IT IS A VIOLATION, OF THE NEW YORK STATE EDUCATION LAW, SECTION, 7209.2, FOR ANY PERSON, UNLESS (S)HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATION LAW, SECTION 7209.2."

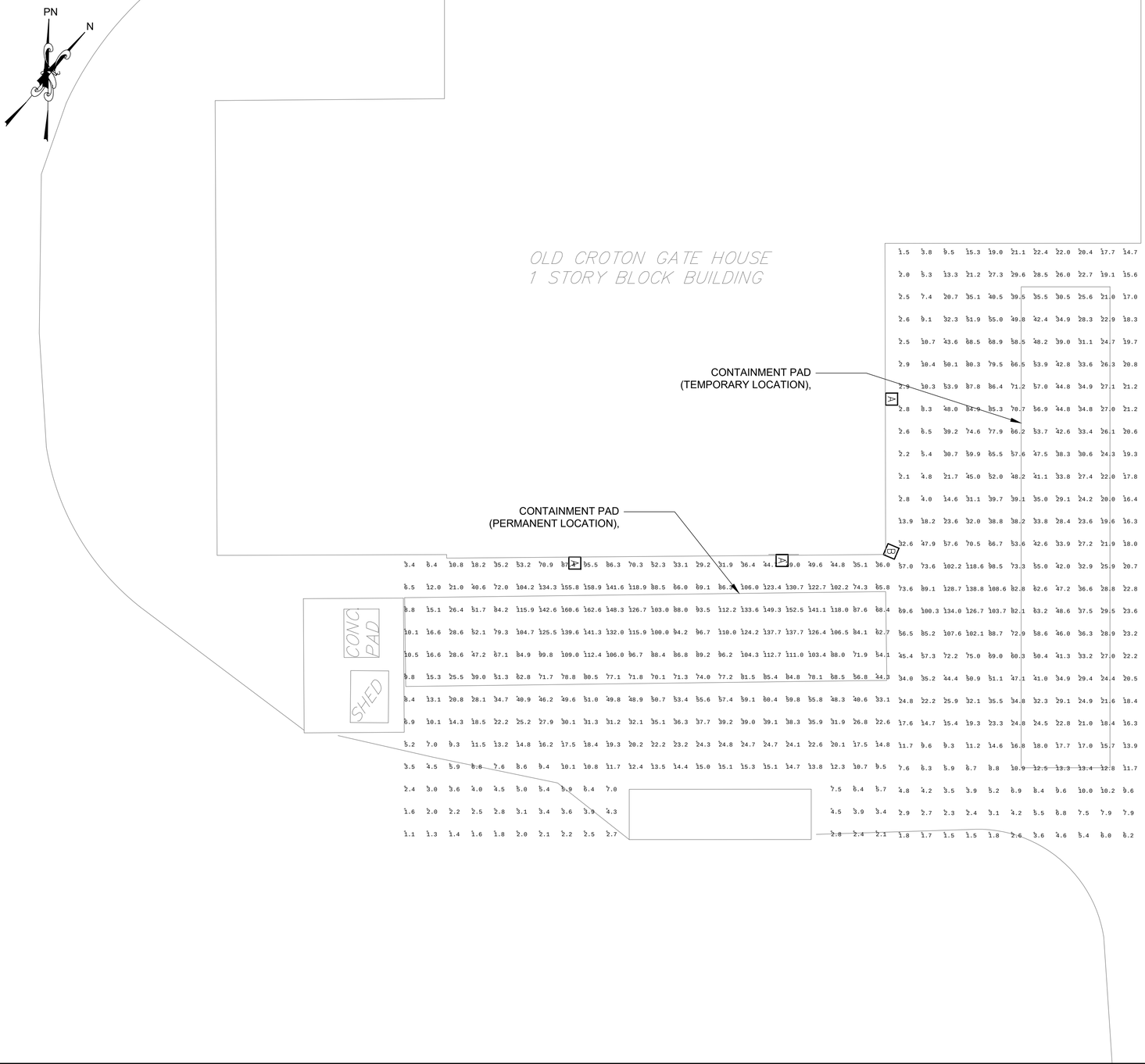
Environmental Protection

NEW YORK CITY ENVIRONMENTAL PROTECTION
BUREAU OF WATER SUPPLY

CAT-480: ON-CALL DESIGN SERVICES
FOR THE RECONSTRUCTION OF WATER SUPPLY FACILITIES
WORK ORDER #2 - CHLORINE DIOXIDE TREATMENT SYSTEM AT THE OLD CROTON LAKE GATE HOUSE

ELECTRICAL
EQUIPMENT INSTALLATION PLAN

DATE: 04/2021
SCALE: 1/8"=1'-0"
SHEET NO: 58 OF 61
DRAWING NO. E-003.00



NOTES:

1. ALL THE LIGHTING FIXTURES SHALL BE MOUNTED AT 16.8 FT ABOVE GROUND TO OPTIMIZE ILLUMINATION AT THE CHEMICAL UNLOADING STATIONS.
2. THE LIGHTS SHALL BE SWITCH–ACTIVATED AND WOULD ONLY BE UTILIZED DURING CHEMICAL DELIVERIES. IT IS DESIGNED TO PROVIDE THE REQUIRED ILLUMINATION AT THE STATIONS AND THEREFORE A FULLY SHIELDED LIGHT FIXTURE CAN NOT BE PROVIDED.

1/8"=1'–0" 0 5 10 15 FT.

100% SUBMITTAL
NOT FOR ISSUE
SUBMITTAL DATE: 04/2021

GRAPHIC SCALES CHECK BEFORE USE

IF SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT. SCALE ACCORDINGLY

NO.	DATE	REVISIONS/DESCRIPTION	APPR'D.

DESIGNED BY: DH
DRAWN BY: DH
CHECKED BY: YA
DESIGN LEAD: YETUNDE ADELEKAN, PE
PROJECT MANAGER: ALICIA VACCARO, PE

Environmental Protection

ACCOUNTABLE MANAGER
MARK DELBALZO, P.E.

PORTFOLIO MANAGER
MARIA MANDARINO, P.E.

DIRECTOR, PLANNING DIRECTORATE
BUREAU OF WATER SUPPLY
TODD WEST, P.E.

NEW YORK CITY ENVIRONMENTAL PROTECTION
BUREAU OF WATER SUPPLY

CAT-480: ON-CALL DESIGN SERVICES FOR THE RECONSTRUCTION OF WATER SUPPLY FACILITIES WORK ORDER #2 - CHLORINE DIOXIDE TREATMENT SYSTEM AT THE OLD CROTON LAKE GATE HOUSE

ELECTRICAL

PHOTOMETRIC PLAN-UNLOADING LIGHTING

DATE: 04/2021
SCALE: 1/8"=1'-0"
SHEET NO: 58 OF 61
DRAWING NO. E-006.00

Last Saved By: CHSHEN Last Date Saved: 11/5/2021 3:10 PM Date & Time Plotted: 11/5/2021 3:10 PM
Paper Size Printed/Plotted: ANSI D (34.00 x 22.00 Inches) Plot Style Table: DEP_BEDC_22x34_ByWeight.ctb Plot Scale: 1:1
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PN

N

OLD CROTON GATE HOUSE
1 STORY BLOCK BUILDING

CONTAINMENT PAD
(TEMPORARY LOCATION),

CONTAINMENT PAD
(PERMANENT LOCATION),

CONC. PAD

SHED

CROTON DAM ROAD

4.8	12.3	23.9	25.2	14.7	7.4	7.7	15.8	25.0	23.9	12.5	6.1	5.5	10.2	19.6	21.1	16.8	8.8	2.7	
6.1	12.4	20.7	21.6	14.4	9.5	9.6	14.8	21.8	20.9	13.1	8.1	7.4	11.4	18.6	21.9	15.4	8.0	3.9	
5.5	9.5	13.7	14.3	11.3	8.8	9.1	11.8	14.8	14.3	10.5	7.7	7.4	9.4	13.1	14.1	11.3	7.0	3.8	
3.2	4.9	6.2	6.6	6.0	5.3	5.4	6.3	7.0	6.8	5.8	4.7	4.6	5.3	6.2	6.4	5.5	3.9	2.4	
2.2	2.9	3.5	3.7	3.7	3.6	3.6	3.8	4.1	4.0	3.6	3.3	3.2	3.4	3.6	3.6	3.1	2.4	1.7	
1.6	2.1	2.6	2.8	2.8	2.6	2.7	2.9	3.0	3.0	2.7	2.5	2.4	2.5	2.7	2.6	2.3	1.8	1.3	
1.2	1.5	1.7	1.9	1.9	2.0	2.1	2.0	2.1	2.0	2.0	1.9	1.9	1.8	1.8	1.7	1.5	1.3	1.1	
1.0	1.2	1.4	1.5	1.6	1.6	1.6	1.7	1.7	1.6	1.6	1.5	1.5	1.5	1.4	1.3	1.2	1.1	0.8	
0.7	0.9	1.0	1.1	1.1	1.1	1.2	1.2	1.2	1.2	1.2	1.1	1.1	1.1	1.1	1.0	0.9	0.8	0.6	
0.6	0.7	0.7	0.8	0.9	0.9	0.9	0.9	0.9								0.7	0.6	0.5	
0.5	0.6	0.6	0.7	0.7	0.8	0.8	0.8	0.8								0.6	0.5	0.5	

NOTES:

1. ALL THE LIGHTS WILL BE MOUNTED AT 10.25 FT ABOVE GROUND.
2. ALL LIGHTING FIXTURES SHALL BE FULLY SHIELDED.

1/8"=1'-0" 0 5 10 15 FT.

100% SUBMITTAL
NOT FOR ISSUE
SUBMITTAL DATE: 04/2021

GRAPHIC SCALES CHECK BEFORE USE

IF SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT. SCALE ACCORDINGLY

NO.	DATE	REVISIONS/DESCRIPTION	APPR'D.

DESIGNED BY: DH
DRAWN BY: DH
CHECKED BY: YA
DESIGN LEAD: YETUNDE ADELEKAN, PE
PROJECT MANAGER: ALICIA VACCARO, PE

Environmental Protection

ACCOUNTABLE MANAGER
MARK DELBALZO, P.E.

PORTFOLIO MANAGER
MARIA MANDARINO, P.E.

DIRECTOR, PLANNING DIRECTORATE
BUREAU OF WATER SUPPLY
TODD WEST, P.E.

NEW YORK CITY ENVIRONMENTAL PROTECTION
BUREAU OF WATER SUPPLY

CAT-480: ON-CALL DESIGN SERVICES FOR THE RECONSTRUCTION OF WATER SUPPLY FACILITIES WORK ORDER #2 - CHLORINE DIOXIDE TREATMENT SYSTEM AT THE OLD CROTON LAKE GATE HOUSE

ELECTRICAL

PHOTOMETRIC PLAN-SECURITY LIGHTING

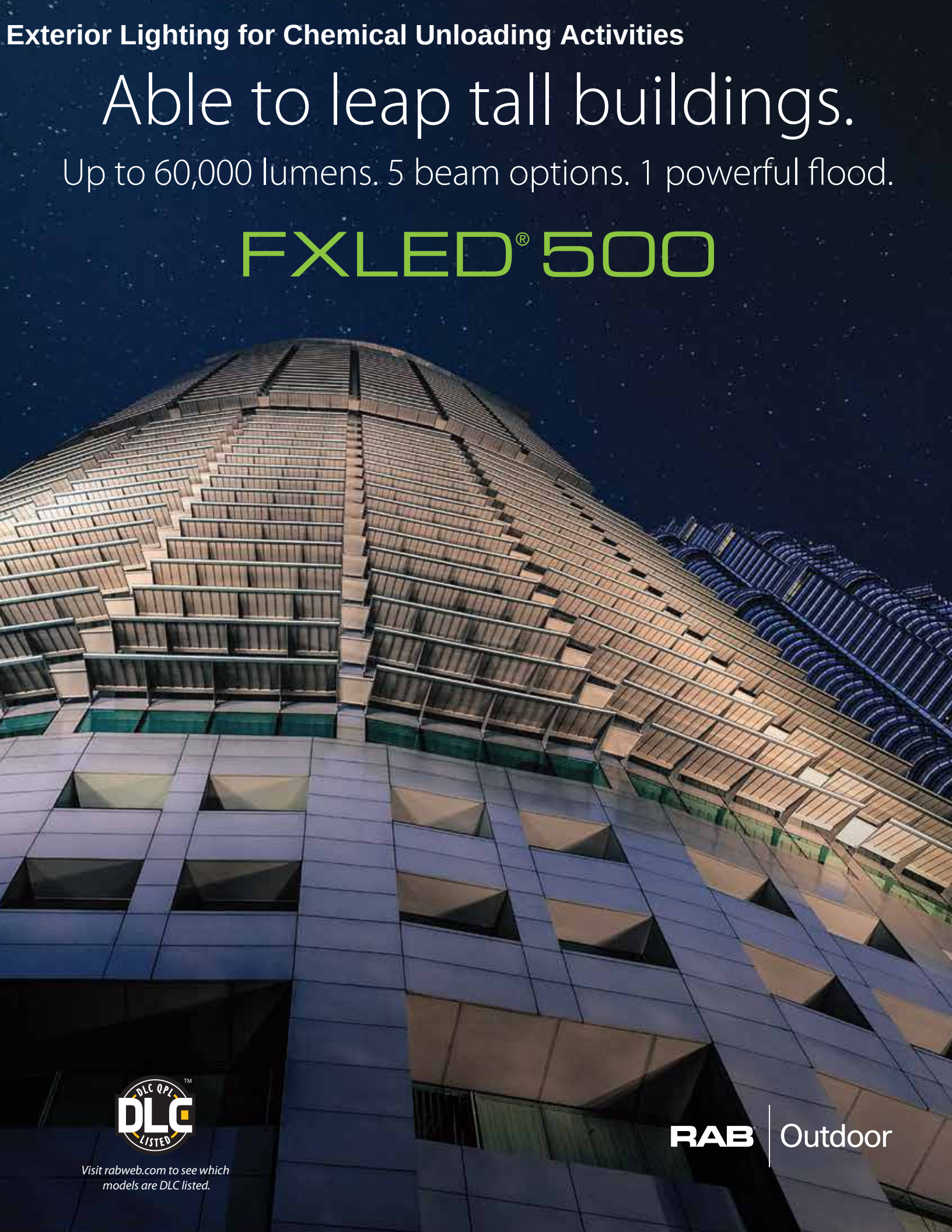
DATE: 04/2021
SCALE: 1/8"=1'-0"
SHEET NO: 58 OF 61
DRAWING NO. E-007.00

Exterior Lighting for Chemical Unloading Activities

Able to leap tall buildings.

Up to 60,000 lumens. 5 beam options. 1 powerful flood.

FXLED® 500



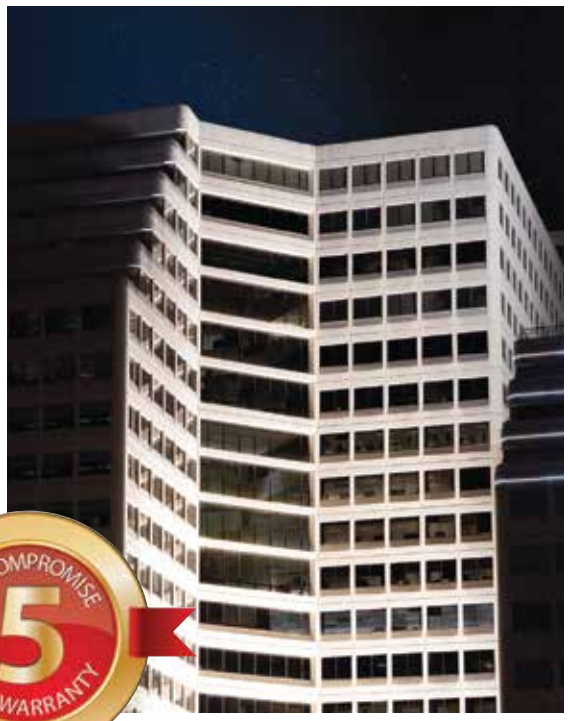
DLC QPL LISTED™

Visit rabweb.com to see which models are DLC listed.

RAB | Outdoor

FXLED® 500

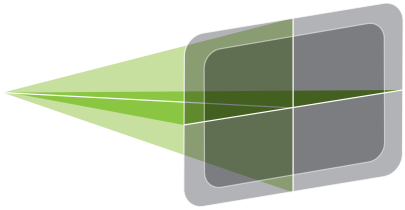
- Up to 60,000 lumens; replaces 1500W MH floodlights
- Five distributions available: 7H x 6V, 6H x 4V, 4H x 6V, 5H x 5V, and 3H x 3V
- Precision optics ideal for a wide variety of applications such as illuminating large fields, tall or wide buildings and recreational parks
- Ultra efficient, up to 120 lm/W
- Architectural round back design
- 100,000-Hour LED lifespan



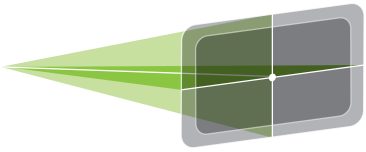
Distributions - NEMA Types

VERY WIDE FLOOD
NEMA Type **7H x 6V**
35' Mounting Height, 60° Uptilt

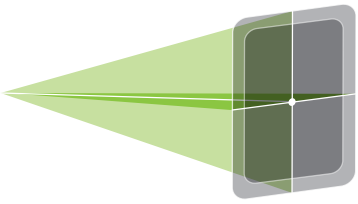
Light at corner



WIDE FLOOD
NEMA Type **6H x 4V**
35' Mounting Height, 60° Uptilt

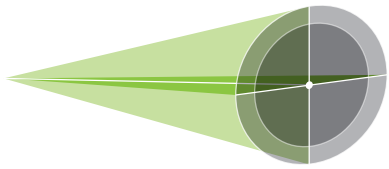


VERTICAL FLOOD
NEMA Type **4H x 6V**
35' Mounting Height, 60° Uptilt

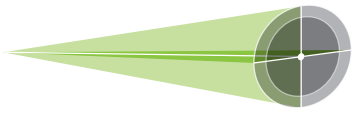


MEDIUM FLOOD
NEMA Type **5H x 5V**
35' Mounting Height, 60° Uptilt

Light on walls



MEDIUM NARROW SPOT
NEMA Type **3H x 3V**
35' Mounting Height, 60° Uptilt



Photometrics

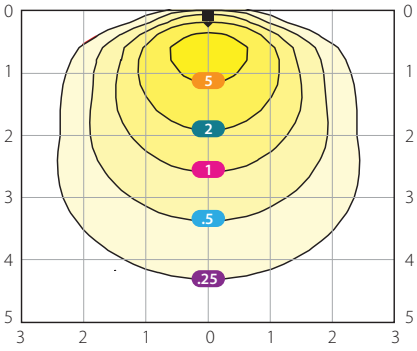
Light at corner

Light on walls

FXLED® 500W - NEMA Type 7H x 6V

40' Mounting Height, 60° Uptilt

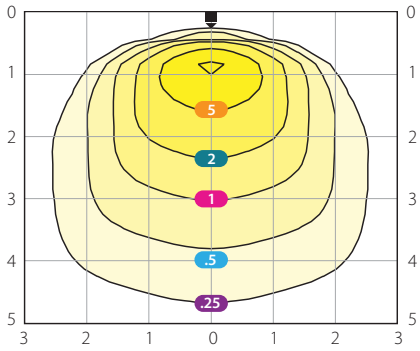
Photometric Report #ITL89118



FXLED® 500W - NEMA Type 6H x 4V

40' Mounting Height, 60° Uptilt

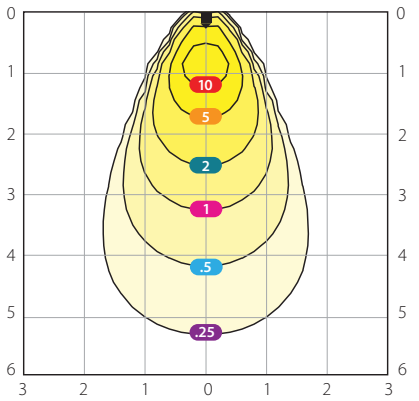
Photometric Report #ITL89124MOD50



FXLED® 500W - NEMA Type 4H x 6V

40' Mounting Height, 60° Uptilt

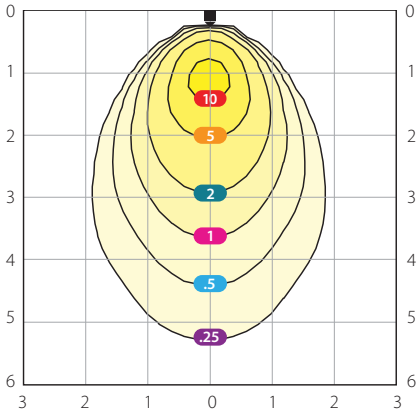
Photometric Report #ITL89122MOD50



FXLED® 500W - NEMA Type 5H x 5V

40' Mounting Height, 60° Uptilt

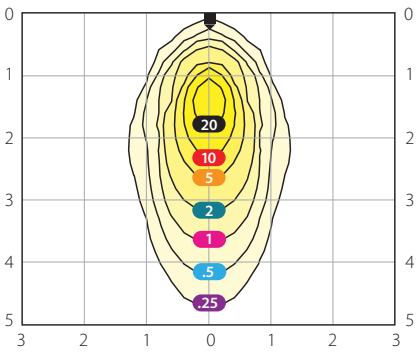
Photometric Report #ITL89258MOD50



FXLED® 500W - NEMA Type 3H x 3V

40' Mounting Height, 60° Uptilt

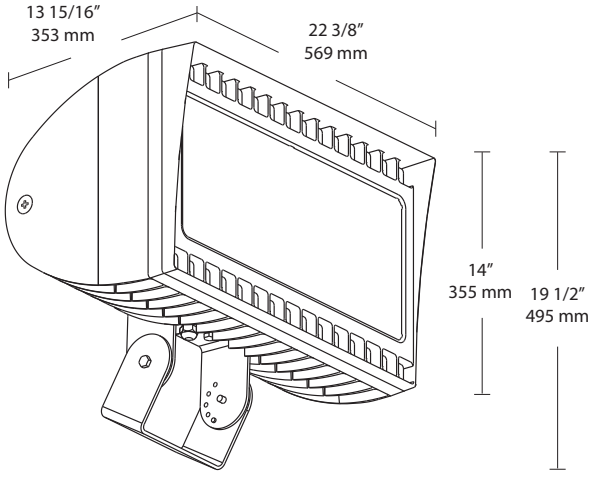
Photometric Report #ITL89680



Grid scale: multiples of mounting height. Values Shown in Footcandles.

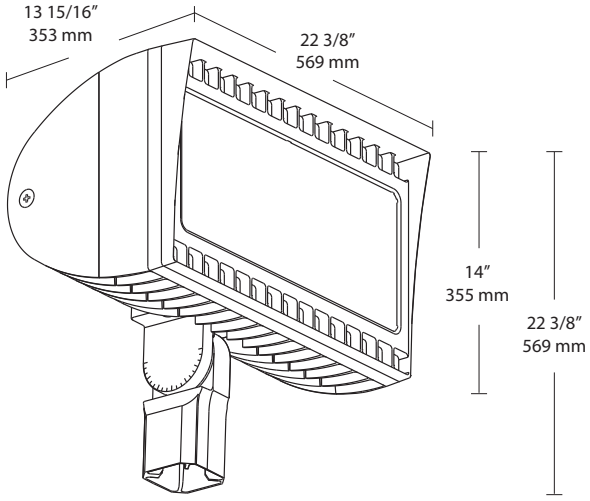
Dimensions and weights

Trunnion Mount



TRUNNION MOUNT

Weight: 71 lbs **EPA:** 4.0



SLIPFITTER

Weight: 71 lbs **EPA:** 4.0

Ordering information

Product Family	Wattage	Mounting	Color Temp	NEMA Type	Finish	Voltage	Driver Options	Options
FXLED	500						/D10	

Wattage: **500** 500W

Mounting: **SF** Slipfitter; **T** Trunnion

Color Temp: **Blank** 5000K; **N** 4000K; **Y** 3000K

NEMA Type: **Blank** 7H x 6V; **B64** 6H x 4V; **B55** 5H x 5V; **B46** 4H x 6V; **B33** 3H x 3V

Finish: **Blank** Bronze; **W** White

Voltage: **Blank** 120-277V; **/480** 480V

Driver Options: **/D10** 0-10V Dimming

Options:

Blank	No Options
/PCS	120V Swivel Photocell
/PCS2	277V Swivel Photocell
/PCS4	480V Swivel Photocell
/PCT	3PIN Twistlock Photocell 120-277V
/PCT4	3PIN Twistlock Photocell 480V
/SP	10KV surge suppressor
/LC	Lightcloud Controller*
/BL	Bi-level Module*

**Only for 120-277V*

Specifications

NEMA Type: 7H x 6V

Color Temp	5000K	4000K	3000K
Input Watts	504	503	511
Output Lumens	59530	60556	58061
Lumens Per Watt	118	120	114
Color Accuracy (CRI)	74	74	72

NEMA Type: 5H x 5V

Color Temp	5000K	4000K	3000K
Input Watts	504	503	511
Output Lumens	57401	58390	57206
Lumens Per Watt	114	116	112
Color Accuracy (CRI)	76	75	72

NEMA Type: 3H x 3V

Color Temp	5000K	4000K	3000K
Input Watts	504	504	509
Output Lumens	51525	55470	53236
Lumens Per Watt	102	110	105
Color Accuracy (CRI)	76	74	72

NEMA Type: 6H x 4V

Color Temp	5000K	4000K	3000K
Input Watts	498	497	510
Output Lumens	57091	58075	56245
Lumens Per Watt	115	117	110
Color Accuracy (CRI)	76	74	72

NEMA Type: 4H x 6V

Color Temp	5000K	4000K	3000K
Input Watts	503	502	510
Output Lumens	56332	57303	54942
Lumens Per Watt	112	114	108
Color Accuracy (CRI)	76	74	72

Lumen outputs are typical (tolerance +/-10%).
Values are based on a 7Hx6W in 120-277V fixture.

UL Listing: Suitable for wet locations. Suitable for ground mounting.

LEDs: Multi-chip, high-output, long-life LEDs

Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Drivers: Class 1, Constant Current, 50/60 Hz, 120-277V or 480V with 4kV surge protection, 120V: 4.27A, 208V: 2.53A, 240V: 2.20A, 277V: 1.84A, 480V: 1.08A, THD <14%, Power Factor > 95%

Bi-Level Operation (optional): Allows 25%, 50%, and 75% output modes

Dimming: Available with 0-10V dimming driver

Cold Weather Starting: The minimum starting temperature is -40°C.

Housing: Die-cast aluminum housing with Lens frame

Reflector: Specular and semi-specular vacuum metalized polycarbonate

NEMA Type: 7H x 6V, 6H x 4V, 5H x 5V, 4H x 6V and 3H x 3V are available

IP Rating: Ingress protection rating of IP66 for dust and water

Mounting: Slipfitter for 2 3/8" OD pipe or trunnion with stainless steel hardware

Vibration Rating: 2G vibration rating per ANSI C136.31.

ABS: Approved for use on mobile offshore drilling units and shipping vessels

Gaskets: High-temperature silicone gaskets

Color Consistency: 7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability: LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

Green Technology: Mercury and UV free. RoHS-compliant components.

IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Exterior Security Lighting

Maximize the Value of Outdoor Lighting

Industry-leading efficacy, now with a 10-year warranty.

RAB®

WPLED®

- Ultra-high efficacy, up to 155 lm/W, reduces energy costs by up to 75%
- DLC Premium listing qualifies for larger utility rebates
- Perfect for replacing old HID or compact fluorescent wall packs – designed with the same footprint for a quick upgrade without a major project. No paint touchups needed.
- Available in 3 sizes and 7 lumen packages:
  WP1 – 3900 lumens
  WP2 – 3400 or 4900 lumens
  WP3 – 7500, 8300, 9300 or 15,000 lumens
- 0-10V Dimming standard
- Microwave sensor, photocell and Lightcloud® Controller options
- 480V Models available
- 100,000-Hour LED lifespan confirmed by TM21 calculated results

RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty

Maximized savings.

This high-efficacy line of wall packs drastically lowers your energy costs, and also qualifies for larger utility rebates only offered to DLC Premium products. Now you can save money on your up-front install and for years to come.

Maximized versatility.

With 3 available sizes and 7 lumen packages, WPLEDs were designed to replace many of the old HID and fluorescent wall packs…right down to having the same footprint, which allows for a quick, simple, seamless upgrade—no paint touch-ups needed!

Maximized control.

WPLEDs are available with an optional, integrated, microwave sensor, a photocell (button or swivel), or a Lightcloud Controller, which ensures the fixture is on when it's needed and dimmed or off when it's not…taking energy savings to a higher level.

Specifications

UL Listing:
Suitable for wet locations, wall mount only

LEDs:
Multi-chip, long-life LEDs

Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and confirmed by TM-21 calculated results

Drivers:
Constant Current, Class 2, 120-277V, 50/60 Hz

WP1:
39L (26W): 0.22A @ 120V; 0.13A @ 208V; 0.12A @ 240V; 0.10A @ 277A

WP2:
34L (23W): 0.19A @ 120V; 0.11A @ 208V; 0.10A @ 240V; 0.09A @ 277V
46L (34W): 0.27A @ 120V; 0.16A @ 208V; 0.14A @ 240V; 0.12A @ 277V

WP3:
75L (51W): 0.41A @ 120V; 0.24A @ 208V; 0.21A @ 240V; 0.18A @ 277V
83L (55W): 0.46A @ 120V; 0.27A @ 208V; 0.24A @ 240V; 0.20A @ 277V
93L (65W): 0.54A @ 120V; 0.32A @ 208V; 0.28A @ 240V; 0.24A @ 277V
150L (100W): 0.83A @ 120V; 0.49A @ 208V; 0.42A @ 240V; 0.36A @ 277V

Dimming:
Dimming Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims as low as 10%.

Housing:
Precision die-cast aluminum

Mounting:
Surface mounting

Reflector:
High-gloss white aluminum

Reflector Lens:
WP1LED: Acrylic lens
WP2LED and WP3LED: Glass lens

Gaskets:
High-temperature silicone

Ambient Operating Temperature:
-40°C (-40°F) to 40°C (104°F)

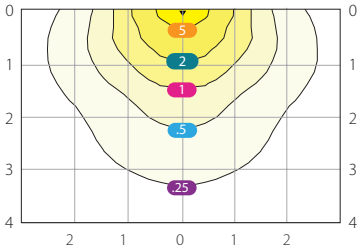
Thermal Management:
Superior thermal management with die-cast aluminum heat-sink

Finish:
Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC or toxic heavy metals.

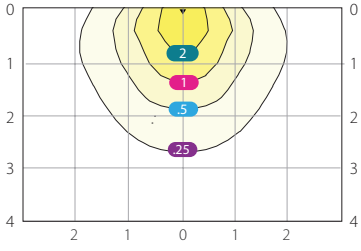
Green Technology:
Mercury and UV free; RoHS-compliant components

Photometrics

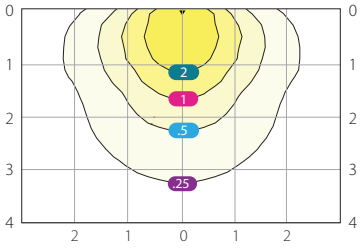
WP1LED39L 12' Mounting Ht. 5000K
Photometric Report #RAB04834MOD50



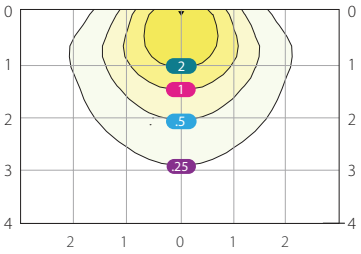
WP2LED34L16' Mounting Ht. 5000K
Photometric Report #RAB04780MOD50



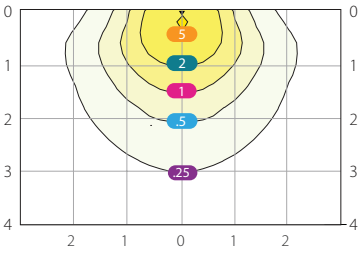
WP2LED49L16' Mounting Ht. 5000K
Photometric Report #RAB04800



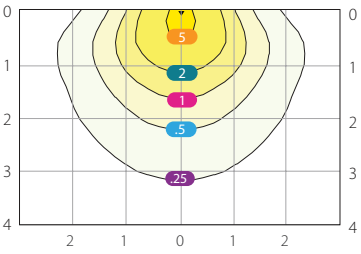
WP3LED75L 20' Mounting Ht. 5000K
Photometric Report #RAB04786MOD50



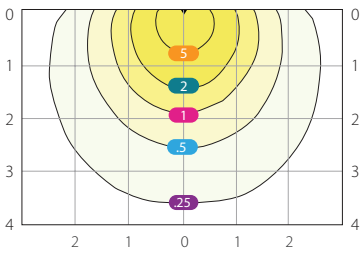
WP3LED83L 20' Mounting Ht. 5000K
Photometric Report #RAB04787MOD50



WP3LED93L 20' Mounting Ht. 5000K
Photometric Report #RAB04785



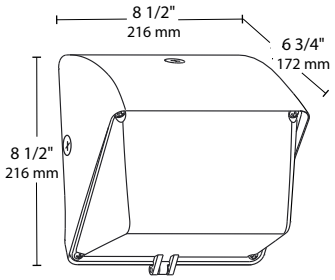
WP3LED150L 20' Mounting Ht. 5000K
Photometric Report #RAB04785MOD50



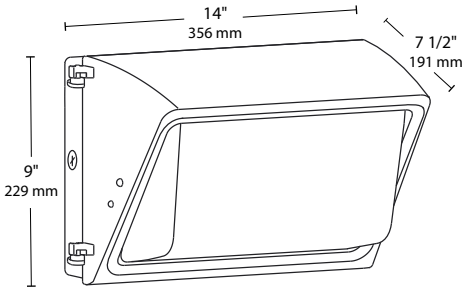
Grid scales: Multiples of mounting height
Values shown in footcandles

Dimensions and weights

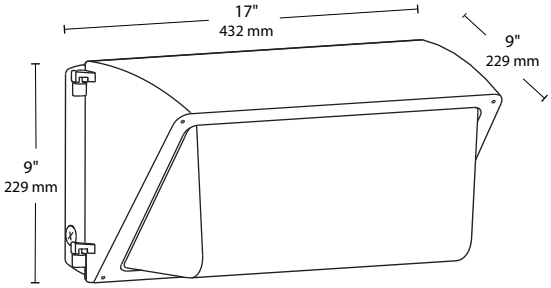
WP1
Weight: 4.4 lbs.



WP2
Weight: 8.3 lbs.



WP3
Weight: 11.1 lbs.



Performance

WP1 39L	5000K	4000K	3000K
Input Watts	28	27	26
Lumens	4044	3941	3826
Lumens Per Watt (Lm/W)	146	148	145
Color Accuracy (CRI)	76	74	71

WP2 34L	5000K	4000K	3000K
Input Watts	23	22	22
Lumens	3431	3345	3246
Lumens Per Watt (Lm/W)	149	151	148
Color Accuracy (CRI)	76	74	72

WP2 49L	5000K	4000K	3000K
Input Watts	34	33	33
Lumens	4872	4746	4608
Lumens Per Watt (Lm/W)	143	145	142
Color Accuracy (CRI)	76	74	72

WP3 75L	5000K	4000K	3000K
Input Watts	51	49	48
Lumens	7543	7351	7136
Lumens Per Watt (Lm/W)	149	151	147
Color Accuracy (CRI)	76	74	72

WP3 83L	5000K	4000K	3000K
Input Watts	55	53	53
Lumens	8296	8084	7849
Lumens Per Watt (Lm/W)	151	153	150
Color Accuracy (CRI)	76	74	72

WP3 93L	5000K	4000K	3000K
Input Watts	65	63	62
Lumens	9346	9107	8842
Lumens Per Watt (Lm/W)	144	146	143
Color Accuracy (CRI)	76	74	72

WP3 150L	5000K	4000K	3000K
Input Watts	100	99	99
Lumens	15353	15150	14534
Lumens Per Watt (Lm/W)	154	153	147
Color Accuracy (CRI)	72	73	73

Finish: Bronze White

Ordering information

Product Family	Lumen Package		CRI & CCT		Finish		Voltage/Driver		Options*	
WP1LED	39L	–								
	39L	3900Lm, 26W	**750**	70 CRI, 5000K	**Blank**	Bronze	**U**	120-277Vac 0-10V dimming standard	**Blank**	No options
			740	70 CRI, 4000K	**W**	White			**/PCU**	120-277Vac Button Photocell
			730	70 CRI, 3000K			**H**	480Vac 0-10v dimming standard	**/PCS**	120Vac Swivel Photocell
									/PCS2	208-277Vac Swivel Photocell
									/PCS4	480Vac Swivel Photocell
									/MVS	120-277Vac Microwave Sensor
									/LC	Lightcloud® Controller

Product Family	Lumen Package		Color Temperature		Finish		Voltage/Driver		Options*	
WP2LED		–								
	34L	3400Lm, 23W	**750**	70 CRI, 5000K	**Blank**	Bronze	**U**	120-277Vac 0-10V dimming standard	**Blank**	No options
	49L	4900Lm, 34W	**740**	70 CRI, 4000K	**W**	White			**/PCU**	120-277Vac Button Photocell
			730	70 CRI, 3000K			**H**	480Vac 0-10v dimming standard	**/PCS**	120Vac Swivel Photocell
									/PCS2	208-277Vac Swivel Photocell
									/PCS4	480Vac Swivel Photocell
									/MVS	120-277Vac Microwave Sensor
									/LC	Lightcloud® Controller
									/E2	Battery Backup

Product Family	Lumen Package		Color Temperature		Finish		Voltage/Driver		Options*	
WP3LED		–								
	75L	7500Lm, 51W	**750**	70 CRI, 5000K	**Blank**	Bronze	**U**	120-277Vac 0-10V dimming standard	**Blank**	No options
	83L	8300Lm, 55W	**740**	70 CRI, 4000K	**W**	White			**/PCU**	120-277Vac Button Photocell
	93L	9300Lm, 65W	**730**	70 CRI, 3000K			**H**	480Vac 0-10v dimming standard	**/PCS**	120Vac Swivel Photocell
	150L	15000Lm,100W							**/PCS2**	208-277Vac Swivel Photocell
									/PCS4	480Vac Swivel Photocell
									/MVS	120-277Vac Microwave Sensor
									/LC	Lightcloud® Controller
									/E2	Battery Backup

Foothill Street Solar

Robyn Steinberg

From: Dan Strauss <soccerdan4141@gmail.com>
Sent: Sunday, January 9, 2022 4:51 PM
To: Robyn Steinberg; Robyn Steinberg
Subject: Fwd: iSolar Farms

Sent from my iPhone

Begin forwarded message:

> **From:** Dan Strauss <soccerdan4141@gmail.com>
> **Date:** January 9, 2022 at 4:04:01 PM EST
> **To:** planning@yorktownny.org
> **Cc:** jtegeder@yorktownny.org, mslater@yorktownny.org, elachterman@yorktownny.org, tdiana@yorktownny.org, lhaughwout@yorktownny.org, sesposito@yorktownny.org
> **Subject: iSolar Farms**
>
> Mr Fon and Planning Board members,
>
> As it applies to the Foot Hill, Hill Farm and
> Strawberry Rd solar farm proposals, I believe it is unconscionable that you would allow close to 3,000 trees to be clear cut to allow these proposals to move forward. It is 1,900 on the Foot Hill property, which is on the agenda tomorrow evening.
> I previously sent a similar email to Mr Slater and the Town Board a few weeks ago.
> For 10 years Yorktown has been a City of Trees. Progress with Preservation is it's motto. There is no balance here. The very fabric of this town is under siege.
> WHEN A LOVELY FLAME DIES, SMOKE GETS IN YOUR EYES.
> Dan
> Sent from my iPhone

To: Yorktown Planning Board
From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: 10 January 2022
cc: Yorktown Planning Dept. (J. Tegeder, R. Steinberg, N. Calicchia); Engineering Dept. (L. Kobiliak); Conservation Board (K. Hughes); Town Supervisor (M. Slater); Town Clerk (D. Quast); TCAC members (L. Klein, T. Schmitt, K. Schepart)

Re: Proposed solar facility at 3849 Foothill Street

Dear Chairman Fon and members of the Planning Board:

The TCAC has reviewed the Con Edison documents that we received from the Planning Board on 7 January 2022 and has the following comments:

1. The TCAC notes that the ConEd correspondence of 23 October 2021was never previously sent to the TCAC.
2. The TCAC notes that ConEd has addressed Note 2 of our 3 January 2022 memo regarding the DBH of the replacement trees.
3. The TCAC notes that ConEd has addressed Note 3 of our 3 January 2022 memo by providing a revised drawing C006 which shows the tree removals.
4. The TCAC notes that ConEd has addressed Note 4 of our 3 January 2022 memo by providing a revised summary from the Arborist of the protected trees to be removed.
5. The TCAC notes that ConEd has addressed Note 5 of our 3 January 2022 memo by providing a revised drawing C006 which shows the limits of the protected woodland to be disturbed.

The TCAC appreciates ConEd's responses to our concerns. However, we have the following comments:

- ConEd is seeking a $160,000 reduction of their payment to the Tree Bank Fund based on the "cost" of the proposed replacement trees. The TCAC can find nothing in Chapter 270 to justify such a reduction.
- In their 23 October 2021 letter, ConEd provides a cost summary of the replacement trees from their Engineer. If their claim for a $160,000 payment reduction is found to be justified, we have the following comments:
  A. The Engineer provides a cost estimate of the replacement trees, including installation of $134,100. Our Certified Arborist estimates that the cost of the trees to be approximately $42,000 including mulch. Given ConEd's buying power, this cost should be lower. If we use our Arborist's estimate, that means the labor cost is $92,100 or $434.43

per tree. We question this value and recommend that the Planning Board request further clarification of the cost of labor.

B. The Engineer's $160,000 cost estimate includes $22,898 in traffic control, mobilization, survey and soil erosion and sediment control costs. These costs are project specific and should not be applied to any justified payment reduction.
C. The Engineer's $160,000 cost estimate includes $7,476 contingency cost. This cost is project specific and should not be applied to any justified payment reduction.
D. The Engineer's $160,000 cost estimate includes $3,002 in rounding. This cost should not be applied to any justified payment reduction.
E. If ConEd's $160,000 cost of their replacement trees is justified as a credit towards their payment to the Tree Bank Fund, the TCAC recommends that this amount be reduced by the value of the timber sales generated by the removal of this valued forest.
F. The TCAC is recommending a 2 year maintenance program for the replacement trees. This should include replacement of dead trees during this period.
G. Lastly, the TCAC has discovered in their files a ConEd 30 November 2020 Draft Mitigation Plan, which is attached. The TCAC questions why none of the other draft mitigation actions are being proposed at this time. The TCAC recommends that the Planning Board should require more than replacement trees and a Tree Bank Fund payment as mitigation for the loss of this valued forest.

Sincerely,

Tree Conservation Advisory Commission
Lawrence W. Klein, PE, Member
Keith Schepart, ISA, Member
Tom Schmitt, Member

MEMO

FROM: Joe Shanahan, Project Developer, Con Edison Clean Energy Businesses

TO: Richard Fon, Chairman, Planning Board, Town of Yorktown

SUBJECT: Proposed Solar Facility, 3849 Foothill Street
Response to TCAC Memo dated 3 January 2022

DATE: January 5, 2022

This is in response to each of the five comments noted in the Memo from the TCAC to the Planning Board dated 3 January 2022 in connection with the subject project:

1. The submittal includes a drawing C006 – LANDSCAPING & PLANTING FOR MITIGATION PLAN. This plan shows the developer is proposing to plant 179 evergreen trees and 33 evergreen shrubs. Considering that a very large number of trees are to be removed and significant protected woodlands will be disturbed, the TCAC's position is that this mitigation is inadequate. Chapter 270-10.B.(1) states "All nonadministrative permits require mitigation." Chapter 270-10.D.(1)states "The approval authority shall require the preparation of a mitigation plan …..". According to Chapter 270-4's definition of a MITIGATION PLAN states "…. The goal of such plan is to replace the functions carried out by the protected trees and woodlands affected by the proposed activity." A revised mitigation plan must be submitted. Chapter270-10.C.(1) through (5) gives options for mitigation.

   The applicant/developer has submitted a Mitigation Plan which should be deemed adequate by the Planning Board ("the approval authority") as it fully complies with the requirements of the Town Code and, more specifically, Section 270-10 D (4), which provides in part:
   "A mitigation plan may include, but not be limited to, the following measures, either singly or in combination:

   (a)
   Planting replacement trees, understory shrubs and or herbaceous ground cover on-site and/or on Town-owned land, Town right-of-way lands or other public land subject to the owner's permission pursuant to this chapter.
   …
   (f) Payment into the Tree Bank Fund. In lieu of replacing a lost protected tree or disturbance to a protected woodland, the payment shall be $100 for every protected tree removed and $300 for every 5,000 square feet of protected woodland disturbed."

   The Mitigation Plan submitted to the Planning Board on October 23, 2021 fulfills the above criteria as it:

1. Per Subsection (a) above, proposes the planting of 212 quality and well-developed "*replacement trees … on site*," at a cost of $160,000, most of which will be visible along the Foothill Street corridor as compared to the trees to be removed, which are of poor quality and are not at all visible to the public.
2. Per Subsection (f) above, proposes a payment into the Tree Bank Fund of $68,656 "*In lieu of replacing a lost protected tree or disturbance to a protected woodland, the payment shall be $100 for every protected tree removed and $300 for every 5,000 square feet of protected woodland disturbed."* This calculation was based upon the following formula: 1871 trees to be removed @ $100 ($187,100) and the 15.90 acres of the 34.23-acre site to be disturbed @ $300 for every 5,000 square feet ($41,556) for a total of $228,656, reduced by a credit of the $160,000 to be paid for the "*replacement trees*" per Subsection (a) noted above.

   Please note, however, that, as a result of the TCAC Memo, the applicant/developer has revisited the number of "protected trees to be removed … within the proposed area of disturbance" and determined that the number of such "protected trees" is actually 1658, not 1871, or 213 fewer than was originally thought.

   Based upon the reduced number of protected trees to be removed, under the formula set forth above, the payment into the Tree Bank Fund under the current Mitigation Plan should be reduced to $47,356. However, as the applicant/developer has already offered a payment of $68,656, if the Mitigation Plan is accepted, it will pay the amount originally proposed into the Tree Bank Fund. That is the equivalent of paying $113 for every tree removed rather than the $100 required under Section 270 of the Town Code.

2. Furthermore, drawing C006 shows the proposed plantings "INSTALLED SIZE" in heights not DBH. This needs to be corrected so that a mitigation ration (sic) can be calculated.

   The average DBH of each protected tree to be removed is 14.21". The average DBH of each replacement tree is 3". The mitigation ratio is 4.74.

3. The submittal does not contain a tree removal plan. Chapter 270-8.A.(1)(b) requires that applications contain "A plan or sketch showing proposed tree removals and proposed mitigation …..". Chapter 270-8.C.(1)(c) requires a plan that shows "Within the proposed area of disturbance, the number, location and species of protected trees to be removed."

   The enclosed Landscape Plan and Tree Inventory show "(w)ithin the proposed area of disturbance, the number, location and species of protected trees to be removed."

4. The Arborist has previously provided a 28 June 2021 tree inventory. The Arborist shows that 1871 trees are to be removed. However, he has not calculated the number of protected trees to be removed. He needs to provide this calculation.

   The 213 "shaded" trees (or "Trees to remain") on the attached Tree Inventory are NOT within the proposed area of disturbance. Accordingly, there are 1658 "Trees to be removed."

5. The submittal does not contain a plan showing the protected woodlands to be disturbed. Chapter 270-8.C.(1)(b) requires that applications contain a plan that shows "Within the proposed area of disturbance the location of existing …… protected woodlands." Furthermore, Chapter 270-8.C.(1)(c) requires a plan that shows "The square footage and boundaries of protected woodlands that will be disturbed." The submittal does contain a drawing C002 – SITE PLAN that has notes on it that says "LIMITS OF TREE CLEARING (TYP.)" If this is the line of protected woodlands, it should say so.

   The enclosed Landscape Plan clearly shows the Protected Woodland to be Disturbed/Protected Woodlands line.

I believe this fully addresses each of the TCAC's comments, but if the Planning Board has any questions, please do not hesitate to contact me at shanahanj@conedceb.com or 978.888.4088.

As always, the Planning Board's consideration of this matter is appreciated.

YORKTOWN A SOLAR PROJECT - TREE INVENTORY

Tree ID	Common Name	Genus	Species	DBH	Height Class	Age Class	Stems	Canopy Radius	Condition Class	Root Zone	Tree and Shrub	Tree Asset
130	Beech-American	Fagus	grandifolia	19	...	...	1	...	Good	<25%	...	8886.95
131	Beech-American	Fagus	grandifolia	16	...	...	1	...	Good	<25%	...	6302.11
132	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
133	Birch-Sweet	Betula	lenta	13	...	...	1	...	Fair	<25%	...	1485.85
134	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
135	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
136	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
137	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
138	Birch-Sweet	Betula	lenta	11	...	...	1	...	Fair	<25%	...	1063.83
139	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
140	Beech-American	Fagus	grandifolia	13	...	...	1	...	Fair	<25%	...	2971.7
141	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
142	Oak-White	Quercus	alba	19	...	...	1	...	Fair	<25%	...	7934.78
143	Oak-White	Quercus	alba	18	...	...	1	...	Good	<25%	...	9970.13
144	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
145	Oak-White	Quercus	alba	12	...	...	1	...	Fair	<25%	...	3165.12
146	Birch-Sweet	Betula	lenta	11	...	...	1	...	Fair	<25%	...	1063.83
147	Oak-White	Quercus	alba	16	...	...	1	...	Fair	<25%	...	5626.88
148	Oak-White	Quercus	alba	9	...	...	1	...	Poor	<25%	...	1068.23
149	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Fair	<25%	...	4945.5
150	Oak-White	Quercus	alba	14	...	...	1	...	Poor	<25%	...	2584.85
151	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
152	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
153	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
154	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
155	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
156	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
157	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
158	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
159	Maple-Red	Acer	rubrum	14.5	...	...	1	...	Good	<25%	...	5175.85
160	Maple-Red	Acer	rubrum	10.5	...	...	1	...	Good	<25%	...	2714.09
161	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
162	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
163	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
164	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
165	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
166	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
167	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
168	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
169	Maple-Sugar	Acer	saccharum	18	...	...	1	...	Good	<25%	...	9970.13
170	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
171	Maple-Sugar	Acer	saccharum	11.5	...	...	1	...	Good	<25%	...	4069.6
172	Maple-Sugar	Acer	saccharum	11.5	...	...	1	...	Good	<25%	...	4069.6
173	Maple-Sugar	Acer	saccharum	10	...	...	2	...	Good	<25%	...	4585.03
174	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
175	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
176	Maple-Sugar	Acer	saccharum	13.5	...	...	1	...	Good	<25%	...	5608.2
177	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
178	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
179	Maple-Sugar	Acer	saccharum	9.5	...	...	1	...	Good	<25%	...	2777.17
180	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
181	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
182	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
183	Maple-Sugar	Acer	saccharum	12.5	...	...	1	...	Good	<25%	...	4808.13
184	Planetree-London	Platanus	x acerifolia	9.5	...	...	1	...	Good	<25%	...	1944.02
185	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
186	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
187	Oak-Northern Red	Quercus	rubra	32.5	...	...	1	...	Good	<25%	...	31807.13
188	Birch-Sweet	Betula	lenta	18.5	...	...	1	...	Good	<25%	...	4212.69
189	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
190	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Poor	<25%	...	697.65
191	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
192	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
193	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
194	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
195	Oak-Northern Red	Quercus	rubra	16	...	...	1	...	Good	<25%	...	7877.63
196	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
197	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
198	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
199	Hemlock-Canadian	Tsuga	canadensis	9.5	...	...	1	...	Good	<25%	...	1666.3
200	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
201	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Poor	<25%	...	957.45
202	Birch-Sweet	Betula	lenta	16	...	...	1	...	Fair	<25%	...	2250.75
203	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
204	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
205	Oak-Northern Red	Quercus	rubra	11	...	...	1	...	Fair	<25%	...	2659.58
206	Oak-Northern Red	Quercus	rubra	13	...	...	1	...	Fair	<25%	...	3714.62
207	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
208	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
209	Maple-Red	Acer	rubrum	12	...	...	1	...	Fair	<25%	...	2532.1
210	Oak-White	Quercus	alba	11	...	...	1	...	Good	<25%	...	3723.41
211	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
212	Birch-Sweet	Betula	lenta	8	...	...	1	...	Fair	<25%	...	562.69
213	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
214	Birch-Sweet	Betula	lenta	13	...	...	1	...	Fair	<25%	...	1485.85
215	Oak-White	Quercus	alba	11	...	...	1	...	Fair	<25%	...	2659.58
216	Oak-White	Quercus	alba	10	...	...	1	...	Fair	<25%	...	2198
217	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Poor	<25%	...	1139.44
218	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
219	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
220	Oak-White	Quercus	alba	16	...	...	1	...	Good	<25%	...	7877.63
221	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
222	Maple-Red	Acer	rubrum	10	...	...	1	...	Fair	<25%	...	1758.4
223	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
224	Birch-Sweet	Betula	lenta	15	...	...	1	...	Fair	<25%	...	1978.2
225	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
226	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Poor	<25%	...	2228.77
227	Birch-Sweet	Betula	lenta	19	...	...	1	...	Fair	<25%	...	3173.91
228	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
229	Birch-Sweet	Betula	lenta	12	...	...	1	...	Fair	<25%	...	1266.05
230	Oak-White	Quercus	alba	12	...	...	1	...	Fair	<25%	...	3165.12

Trees to be removed

Trees to remain

231	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
232	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
233	Birch-Sweet	Betula	lenta	8	...	...	1	...	Fair	<25%	...	562.69
234	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
235	Oak-White	Quercus	alba	12	...	...	1	...	Fair	<25%	...	3165.12
236	Oak-White	Quercus	alba	22	...	...	1	...	Fair	<25%	...	10638.32
237	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Fair	<25%	...	8792
238	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Poor	<25%	...	2967.3
239	Oak-White	Quercus	alba	12	...	...	1	...	Good	<25%	...	4431.17
240	Oak-White	Quercus	alba	21	...	...	1	...	Good	<25%	...	13570.45
241	Birch-Sweet	Betula	lenta	14	...	...	2	...	Good	<25%	...	3901.89
242	Birch-Sweet	Betula	lenta	13	...	...	1	...	Fair	<25%	...	1485.85
243	Oak-White	Quercus	alba	19	...	...	1	...	Good	<25%	...	11108.69
244	Birch-Sweet	Betula	lenta	9	...	...	1	...	Fair	<25%	...	712.15
245	Oak-White	Quercus	alba	11	...	...	1	...	Fair	<25%	...	2659.58
246	Oak-White	Quercus	alba	8	...	...	1	...	Fair	<25%	...	1406.72
247	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Fair	<25%	...	7121.52
248	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
249	Birch-Sweet	Betula	lenta	8	...	...	1	...	Fair	<25%	...	562.69
250	Maple-Red	Acer	rubrum	17	...	...	1	...	Fair	<25%	...	5081.78
251	Beech-American	Fagus	grandifolia	17	...	...	1	...	Good	<25%	...	7114.49
252	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Poor	<25%	...	791.28
253	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Fair	<25%	...	1318.8
254	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Fair	<25%	...	1068.23
255	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
256	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
257	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
258	Birch-Sweet	Betula	lenta	10	...	...	1	...	Fair	<25%	...	879.2
259	Birch-Sweet	Betula	lenta	15	...	...	1	...	Fair	<25%	...	1978.2
260	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
261	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Fair	<25%	...	1899.07
262	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
263	Birch-Sweet	Betula	lenta	10	...	...	1	...	Fair	<25%	...	879.2
264	Birch-Sweet	Betula	lenta	13	...	...	1	...	Fair	<25%	...	1485.85
265	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
266	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Poor	<25%	...	640.94
267	Birch-Sweet	Betula	lenta	16	...	...	1	...	Fair	<25%	...	2250.75
268	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
269	Birch-Sweet	Betula	lenta	9	...	...	1	...	Fair	<25%	...	712.15
270	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
271	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Fair	<25%	...	3165.12
272	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Poor	<25%	...	791.28
273	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Fair	<25%	...	1406.72
274	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Poor	<25%	...	957.45
275	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Poor	<25%	...	791.28
276	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Fair	<25%	...	1406.72
277	Birch-Sweet	Betula	lenta	23	...	...	1	...	Good	<25%	...	6511.36
278	Birch-Sweet	Betula	lenta	24	...	...	1	...	Good	<25%	...	7089.87
279	Birch-Sweet	Betula	lenta	23	...	...	1	...	Good	<25%	...	6511.36
280	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
281	Oak-White	Quercus	alba	23	...	...	1	...	Poor	<25%	...	6976.45
282	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
283	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
284	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
285	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Fair	<25%	...	844.03
286	Birch-Sweet	Betula	lenta	14	...	...	1	...	Poor	<25%	...	1033.94
287	Linden	Tilia	sp	14	...	...	1	...	Fair	<25%	...	3015.66
288	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
289	Oak-White	Quercus	alba	19	...	...	1	...	Fair	<25%	...	7934.78
290	Oak-White	Quercus	alba	8	...	...	1	...	Fair	<25%	...	1406.72
291	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Poor	<25%	...	957.45
292	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
293	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
294	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
295	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Fair	<25%	...	1068.23
296	Beech-American	Fagus	grandifolia	24	...	...	1	...	Good	<25%	...	14179.74
297	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Fair	<25%	...	3165.12
298	Beech-American	Fagus	grandifolia	26	...	...	1	...	Good	<25%	...	16641.5
299	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
300	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
301	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
302	Beech-American	Fagus	grandifolia	10.5	...	...	1	...	Good	<25%	...	2714.09
303	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
304	Hickory-Shagbark	Carya	ovata	16	...	...	1	...	Good	<25%	...	6302.11
305	Beech-American	Fagus	grandifolia	12	...	...	1	...	Good	<25%	...	3544.93
306	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
307	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
308	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
309	Hickory-Pignut	Carya	glabra	21.5	...	...	1	...	Good	<25%	...	11379.49
310	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
311	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
312	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
313	Maple-Norway	Acer	platanoides	12	...	...	1	...	Good	<25%	...	2215.58
314	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
315	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
316	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
317	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
318	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
319	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
320	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
321	Oak	Quercus	sp	18.5	...	...	1	...	Good	<25%	...	8425.37
322	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
323	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
324	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
325	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
326	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
327	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
328	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
329	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
330	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
331	Birch-Sweet	Betula	lenta	19.5	...	...	1	...	Good	<25%	...	4680.42
332	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
333	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
334	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
335	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28

336	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
337	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
338	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
339	Maple-Red	Acer	rubrum	19	...	...	1	...	Good	<25%	...	8886.95
340	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
341	Oak	Quercus	sp	23	...	...	1	...	Good	<25%	...	13022.71
342	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
343	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
344	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
345	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
346	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
347	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
348	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
349	Maple-Sugar	Acer	saccharum	9.5	...	...	1	...	Good	<25%	...	2777.17
350	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
351	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
352	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
353	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
354	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
355	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
356	Birch-Sweet	Betula	lenta	17.5	...	...	1	...	Good	<25%	...	3769.57
357	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
358	Birch-Sweet	Betula	lenta	7	...	...	2	...	Good	<25%	...	1046.25
359	Cherry	Prunus	sp	14	...	...	1	...	Fair	<25%	...	1723.23
360	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
361	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
362	Locust-Black	Robinia	pseudoacacia	12.5	...	...	1	...	Good	<25%	...	2884.88
363	Locust-Black	Robinia	pseudoacacia	9	...	...	1	...	Poor	<25%	...	640.94
364	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
365	Maple-Sugar	Acer	saccharum	12.5	...	...	1	...	Good	<25%	...	4808.13
366	Walnut-Black	Juglans	nigra	13	...	...	1	...	Good	<25%	...	4680.42
367	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
368	Cherry	Prunus	sp	19	...	...	1	...	Good	<25%	...	4443.48
369	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
370	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
371	Elm-American	Ulmus	americana	10	...	...	1	...	Good	<25%	...	1846.32
372	Cherry	Prunus	sp	19	...	...	1	...	Good	<25%	...	4443.48
373	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
374	Maple-Sugar	Acer	saccharum	9.5	...	...	1	...	Good	<25%	...	2777.17
375	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
376	Oak-Northern Red	Quercus	rubra	20.5	...	...	1	...	Good	<25%	...	12931.93
377	Walnut-Black	Juglans	nigra	16	...	...	1	...	Good	<25%	...	7089.87
378	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
379	Maple-Sugar	Acer	saccharum	16.5	...	...	1	...	Good	<25%	...	8377.68
380	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
381	Oak-Northern Red	Quercus	rubra	10	...	...	1	...	Good	<25%	...	3077.2
382	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
383	Birch-Sweet	Betula	lenta	16	...	...	2	...	Good	<25%	...	5231.24
384	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
385	Birch-Sweet	Betula	lenta	24	...	...	1	...	Good	<25%	...	7089.87
386	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
387	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
388	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
389	Birch-Sweet	Betula	lenta	15.5	...	...	2	...	Good	<25%	...	3846.5
390	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
391	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
392	Tuliptree	.iriodendro	tulipifera	34	...	...	1	...	Good	<25%	...	27657.64
393	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
394	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
395	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
396	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
397	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
398	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
399	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
400	Locust-Black	Robinia	pseudoacacia	9.5	...	...	1	...	Poor	<25%	...	714.13
401	Oak-Northern Red	Quercus	rubra	13	...	...	1	...	Fair	<25%	...	3714.62
402	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
403	Hickory-Shagbark	Carya	ovata	13	...	...	1	...	Good	<25%	...	4160.37
404	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
405	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
406	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Good	<25%	...	12308.8
407	Birch-Sweet	Betula	lenta	8	...	...	1	...	Fair	<25%	...	562.69
408	Birch-Sweet	Betula	lenta	13	...	...	2	...	Good	<25%	...	4160.37
409	Linden	Tilia	sp	12	...	...	1	...	Good	<25%	...	3101.82
410	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
411	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
412	Birch-Sweet	Betula	lenta	13	...	...	2	...	Fair	<25%	...	2751.9
413	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
414	Beech-American	Fagus	grandifolia	22	...	...	1	...	Good	<25%	...	11914.92
415	Beech-American	Fagus	grandifolia	22	...	...	1	...	Good	<25%	...	11914.92
416	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
417	Linden	Tilia	sp	19	...	...	1	...	Fair	<25%	...	5554.35
418	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
419	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
420	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
421	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
422	Birch-Sweet	Betula	lenta	22	...	...	1	...	Good	<25%	...	5957.46
423	Birch-Sweet	Betula	lenta	21	...	...	1	...	Fair	<25%	...	3877.27
424	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
425	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
426	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
427	Birch-Sweet	Betula	lenta	9	...	...	1	...	Fair	<25%	...	712.15
428	Beech-American	Fagus	grandifolia	11	...	...	2	...	Good	<25%	...	4184.99
429	Birch-Sweet	Betula	lenta	13	...	...	3	...	Good	<25%	...	5157.39
430	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
431	Maple-Red	Acer	rubrum	19	...	...	1	...	Good	<25%	...	8886.95
432	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
433	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
434	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
435	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
436	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
437	Birch-Sweet	Betula	lenta	23	...	...	1	...	Good	<25%	...	6511.36
438	Maple-Sugar	Acer	saccharum	10	...	...	2	...	Good	<25%	...	3846.5
439	Birch-Sweet	Betula	lenta	22	...	...	1	...	Good	<25%	...	5957.46
440	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Fair	<25%	...	1899.07

441	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
442	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
443	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
444	Oak	Quercus	sp	18	...	...	1	...	Good	<25%	...	7976.1
445	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Good	<25%	...	12308.8
446	Birch-Sweet	Betula	lenta	8	...	...	1	...	Fair	<25%	...	562.69
447	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
448	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
449	Beech-American	Fagus	grandifolia	19	...	...	1	...	Good	<25%	...	8886.95
450	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Poor	<25%	...	1139.44
451	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
452	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
453	Oak-Northern Red	Quercus	rubra	22	...	...	1	...	Good	<25%	...	14893.65
454	Birch-Sweet	Betula	lenta	10	...	...	1	...	Fair	<25%	...	879.2
455	Tuliptree	iriodendro	tulipifera	23	...	...	1	...	Good	<25%	...	13022.71
456	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
457	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
458	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
459	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
460	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Good	<25%	...	6923.7
461	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Good	<25%	...	9970.13
462	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Fair	<25%	...	4945.5
463	Birch-Sweet	Betula	lenta	20	...	...	1	...	Fair	<25%	...	3516.8
464	Oak-White	Quercus	alba	10	...	...	1	...	Fair	<25%	...	2198
465	Oak-English	Quercus	robur	20	...	...	1	...	Fair	<25%	...	8792
466	Oak-English	Quercus	robur	26	...	...	1	...	Good	<25%	...	20801.87
467	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
468	Birch-Sweet	Betula	lenta	10	...	...	1	...	Poor	<25%	...	527.52
469	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
470	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
471	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
472	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
473	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
474	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
475	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
476	Birch-Sweet	Betula	lenta	12	...	...	1	...	Fair	<25%	...	1266.05
477	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
478	Beech-American	Fagus	grandifolia	31	...	...	1	...	Fair	<25%	...	16561.78
479	Birch-Sweet	Betula	lenta	13	...	...	1	...	Fair	<25%	...	1485.85
480	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
481	Birch-Sweet	Betula	lenta	10	...	...	1	...	Fair	<25%	...	879.2
482	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
483	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
484	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
485	Birch-Sweet	Betula	lenta	11	...	...	2	...	Fair	<25%	...	1943.03
486	Birch-Sweet	Betula	lenta	11	...	...	1	...	Fair	<25%	...	1063.83
487	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Good	<25%	...	12308.8
488	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
489	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
490	Hemlock-Canadian	Tsuga	canadensis	13	...	...	1	...	Fair	<25%	...	2228.77
491	Birch-Sweet	Betula	lenta	22	...	...	1	...	Good	<25%	...	5957.46
492	Beech-American	Fagus	grandifolia	13	...	...	1	...	Fair	<25%	...	2971.7
493	Oak-White	Quercus	alba	16	...	...	1	...	Fair	<25%	...	5626.88
494	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
495	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
496	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
497	Maple-Red	Acer	rubrum	12	...	...	1	...	Fair	<25%	...	2532.1
498	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Fair	<25%	...	1318.8
499	Oak-Northern Red	Quercus	rubra	25	...	...	1	...	Good	<25%	...	19232.5
500	Oak-Northern Red	Quercus	rubra	13	...	...	1	...	Good	<25%	...	5200.47
501	Oak-Northern Red	Quercus	rubra	11.5	...	...	1	...	Good	<25%	...	4069.6
502	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
503	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
504	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
505	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
506	Birch-Sweet	Betula	lenta	12	...	...	2	...	Good	<25%	...	3261.83
507	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
508	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
509	Maple-Sugar	Acer	saccharum	17.5	...	...	1	...	Good	<25%	...	9423.93
510	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
511	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
512	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
513	Birch-Sweet	Betula	lenta	11	...	...	4	...	Good	<25%	...	3757.26
514	Oak-Northern Red	Quercus	rubra	23	...	...	1	...	Good	<25%	...	16278.39
515	Hickory-Shagbark	Carya	ovata	14.5	...	...	1	...	Good	<25%	...	5175.85
516	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
517	Maple-Red	Acer	rubrum	21	...	...	1	...	Good	<25%	...	10856.36
518	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
519	Birch-Sweet	Betula	lenta	11.5	...	...	3	...	Good	<25%	...	3748.03
520	Birch-Sweet	Betula	lenta	10.5	...	...	2	...	Good	<25%	...	2144.81
521	Locust-Black	Robinia	pseudoacacia	24.5	...	...	1	...	Good	<25%	...	11082.54
522	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
523	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
524	Birch-Sweet	Betula	lenta	13.5	...	...	2	...	Good	<25%	...	4015.75
525	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
526	Cherry	Prunus	sp	13.5	...	...	1	...	Good	<25%	...	2243.28
527	Locust-Black	Robinia	pseudoacacia	13	...	...	1	...	Good	<25%	...	3120.28
528	Locust-Black	Robinia	pseudoacacia	17.5	...	...	1	...	Good	<25%	...	5654.36
529	Birch-Sweet	Betula	lenta	15.5	...	...	2	...	Good	<25%	...	5037.38
530	Birch-Sweet	Betula	lenta	16	...	...	2	...	Good	<25%	...	4381.93
531	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
532	Birch-Sweet	Betula	lenta	19.5	...	...	2	...	Good	<25%	...	8237.66
533	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
534	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
535	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
536	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
537	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
538	Birch-Sweet	Betula	lenta	19.5	...	...	1	...	Good	<25%	...	4680.42
539	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
540	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
541	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
542	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
543	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
544	Maple-Sugar	Acer	saccharum	9.5	...	...	1	...	Good	<25%	...	2777.17
545	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41

546	Maple-Sugar	Acer	saccharum	20.5	...	...	1	...	Good	<25%	...	12931.93
547	Oak-Northern Red	Quercus	rubra	24.5	...	...	1	...	Good	<25%	...	18470.89
548	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
549	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
550	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
551	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
552	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
553	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
554	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
555	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
556	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
557	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
558	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
559	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
560	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
561	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
562	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
563	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
564	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
565	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
566	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Good	<25%	...	12308.8
567	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
568	Birch-Sweet	Betula	lenta	15	...	...	3	...	Good	<25%	...	4849.67
569	Oak-Northern Red	Quercus	rubra	32	...	...	1	...	Good	<25%	...	30872.35
570	Beech-American	Fagus	grandifolia	13	...	...	1	...	Good	<25%	...	4160.37
571	Beech-American	Fagus	grandifolia	10.5	...	...	1	...	Good	<25%	...	2714.09
572	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
573	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
574	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
575	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
576	Hemlock-Canadian	Tsuga	canadensis	14	...	...	1	...	Poor	<25%	...	1550.91
577	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
578	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
579	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
580	Hemlock-Canadian	Tsuga	canadensis	14	...	...	1	...	Good	<25%	...	3618.79
581	Hickory-Shagbark	Carya	ovata	22	...	...	1	...	Good	<25%	...	11914.92
582	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
583	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
584	Oak-Northern Red	Quercus	rubra	17.5	...	...	1	...	Good	<25%	...	9423.93
585	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
586	Oak-Northern Red	Quercus	rubra	31.5	...	...	1	...	Good	<25%	...	29931.01
587	Maple-Sugar	Acer	saccharum	8.5	...	...	1	...	Good	<25%	...	2223.28
588	Maple-Sugar	Acer	saccharum	10.5	...	...	1	...	Good	<25%	...	3392.61
589	Oak-White	Quercus	alba	41	...	...	1	...	Good	<25%	...	46693.67
590	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Good	<25%	...	1181.64
591	Beech-American	Fagus	grandifolia	17.5	...	...	1	...	Good	<25%	...	7539.14
592	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
593	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
594	Maple-Red	Acer	rubrum	8.5	...	...	1	...	Good	<25%	...	1778.62
595	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
596	Birch-Sweet	Betula	lenta	14	...	...	2	...	Good	<25%	...	4825.05
597	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
598	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
599	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
600	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
601	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
602	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
603	Oak-Northern Red	Quercus	rubra	15.5	...	...	1	...	Good	<25%	...	7392.97
604	Oak-Northern Red	Quercus	rubra	13.5	...	...	1	...	Good	<25%	...	5608.2
605	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
606	Maple-Red	Acer	rubrum	17.5	...	...	1	...	Poor	<25%	...	3231.06
607	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
608	Hemlock-Canadian	Tsuga	canadensis	13	...	...	1	...	Good	<25%	...	3120.28
609	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
610	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
611	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
612	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
613	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
614	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
615	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
616	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
617	Birch-Sweet	Betula	lenta	18	...	...	1	...	Poor	<25%	...	1709.16
618	Maple-Sugar	Acer	saccharum	15.5	...	...	1	...	Good	<25%	...	7392.97
619	Oak-Northern Red	Quercus	rubra	14	...	...	1	...	Good	<25%	...	6031.31
620	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
621	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Good	<25%	...	6923.7
622	Birch-Sweet	Betula	lenta	21.5	...	...	1	...	Good	<25%	...	5689.74
623	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
624	Birch-Sweet	Betula	lenta	16	...	...	3	...	Good	<25%	...	7806.86
625	Maple-Sugar	Acer	saccharum	23	...	...	1	...	Good	<25%	...	16278.39
626	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
627	Maple-Sugar	Acer	saccharum	13.5	...	...	1	...	Good	<25%	...	5608.2
628	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
629	Maple-Red	Acer	rubrum	9.5	...	...	1	...	Good	<25%	...	2221.74
630	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
631	Maple-Sugar	Acer	saccharum	17	...	...	1	...	Good	<25%	...	8893.11
632	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
633	Oak-Northern Red	Quercus	rubra	23	...	...	1	...	Poor	<25%	...	6976.45
634	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
635	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Good	<25%	...	12308.8
636	Oak-White	Quercus	alba	12.5	...	...	1	...	Good	<25%	...	4808.13
637	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
638	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
639	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
640	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
641	Oak-White	Quercus	alba	15	...	...	1	...	Good	<25%	...	6923.7
642	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
643	Birch-Sweet	Betula	lenta	13	...	...	2	...	Good	<25%	...	4160.37
644	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
645	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
646	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
647	Birch-Sweet	Betula	lenta	14	...	...	2	...	Good	<25%	...	3643.4
648	Birch-Sweet	Betula	lenta	12	...	...	2	...	Good	<25%	...	2769.48
649	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
650	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87

651	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
652	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
653	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
654	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
655	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
656	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
657	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
658	Oak-Northern Red	Quercus	rubra	24.5	...	...	1	...	Good	<25%	...	18470.89
659	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
660	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
661	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Good	<25%	...	1495.52
662	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
663	Maple-Red	Acer	rubrum	16	...	...	1	...	Good	<25%	...	6302.11
664	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
665	Maple-Sugar	Acer	saccharum	8.5	...	...	1	...	Good	<25%	...	2223.28
666	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Good	<25%	...	12308.8
667	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
668	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	4849.67
669	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
670	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
671	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
672	Beech-American	Fagus	grandifolia	9.5	...	...	1	...	Good	<25%	...	2221.74
673	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
674	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
675	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
676	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
677	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
678	Maple-Red	Acer	rubrum	15.5	...	...	1	...	Good	<25%	...	5914.38
679	Birch-Sweet	Betula	lenta	17.5	...	...	1	...	Good	<25%	...	3769.57
680	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
681	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
682	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
683	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
684	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
685	Hemlock-Canadian	Tsuga	canadensis	10.5	...	...	1	...	Good	<25%	...	2035.57
686	Oak-Northern Red	Quercus	rubra	20.5	...	...	1	...	Good	<25%	...	12931.93
687	Maple-Sugar	Acer	saccharum	15	...	...	1	...	Good	<25%	...	6923.7
688	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
689	Birch-Sweet	Betula	lenta	11.5	...	...	2	...	Good	<25%	...	2858.72
690	Hickory-Pignut	Carya	glabra	21	...	...	1	...	Good	<25%	...	10856.36
691	Elm-American	Ulmus	americana	9	...	...	1	...	Good	<25%	...	1495.52
692	Hickory-Pignut	Carya	glabra	20	...	...	1	...	Good	<25%	...	9847.04
693	Cherry	Prunus	sp	22	...	...	1	...	Good	<25%	...	5957.46
694	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
695	Elm-American	Ulmus	americana	8	...	...	1	...	Good	<25%	...	1181.64
696	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
697	Linden	Tilia	sp	16	...	...	1	...	Good	<25%	...	5514.34
698	Maple-Red	Acer	rubrum	18	...	...	1	...	Good	<25%	...	7976.1
699	Maple-Red	Acer	rubrum	21	...	...	1	...	Good	<25%	...	10856.36
700	Locust-Black	Robinia	pseudoacacia	12.5	...	...	1	...	Good	<25%	...	2884.88
701	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
702	Maple-Red	Acer	rubrum	8.5	...	...	1	...	Good	<25%	...	1778.62
703	Birch-Sweet	Betula	lenta	20.5	...	...	1	...	Good	<25%	...	5172.77
704	Locust-Black	Robinia	pseudoacacia	11.5	...	...	1	...	Good	<25%	...	2441.76
705	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
706	Cherry	Prunus	sp	23	...	...	2	...	Good	<25%	...	9862.43
707	Maple-Sugar	Acer	saccharum	10	...	...	2	...	Good	<25%	...	3846.5
708	Maple-Red	Acer	rubrum	9	...	...	2	...	Good	<25%	...	3378.77
709	Hickory-Pignut	Carya	glabra	16.5	...	...	1	...	Good	<25%	...	6702.14
710	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
711	Locust-Black	Robinia	pseudoacacia	12.5	...	...	1	...	Good	<25%	...	2884.88
712	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
713	Locust-Black	Robinia	pseudoacacia	16	...	...	1	...	Good	<25%	...	4726.58
714	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
715	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
716	Birch-Sweet	Betula	lenta	18.5	...	...	1	...	Poor	<25%	...	1805.44
717	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
718	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
719	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
720	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
721	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
722	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
723	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
724	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
725	Birch-Sweet	Betula	lenta	21	...	...	1	...	Good	<25%	...	5428.18
726	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
727	Locust-Black	Robinia	pseudoacacia	14.5	...	...	1	...	Good	<25%	...	3881.89
728	Locust-Black	Robinia	pseudoacacia	17.5	...	...	1	...	Good	<25%	...	5654.36
729	Locust-Black	Robinia	pseudoacacia	14.5	...	...	1	...	Good	<25%	...	3881.89
730	Locust-Black	Robinia	pseudoacacia	13.5	...	...	1	...	Good	<25%	...	3364.92
731	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
732	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
733	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
734	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
735	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
736	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
737	Birch-Sweet	Betula	lenta	18.5	...	...	1	...	Good	<25%	...	4212.69
738	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
739	Locust-Black	Robinia	pseudoacacia	11	...	...	1	...	Good	<25%	...	2234.05
740	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
741	Maple-Red	Acer	rubrum	14.5	...	...	1	...	Good	<25%	...	5175.85
742	Birch-Sweet	Betula	lenta	17.5	...	...	1	...	Good	<25%	...	3769.57
743	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
744	Locust-Black	Robinia	pseudoacacia	14.5	...	...	1	...	Good	<25%	...	3881.89
745	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
746	Locust-Black	Robinia	pseudoacacia	17	...	...	1	...	Good	<25%	...	5335.86
747	Birch-Sweet	Betula	lenta	12	...	...	1	...	Poor	<25%	...	759.63
748	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
749	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
750	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
751	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	4397.32
752	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
753	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
754	Birch-Sweet	Betula	lenta	23	...	...	1	...	Good	<25%	...	6511.36
755	Elm-American	Ulmus	americana	10	...	...	1	...	Good	<25%	...	1846.32

756	Locust-Black	Robinia	pseudoacacia	20	...	...	1	...	Good	<25%	...	7385.28
757	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
758	Locust-Black	Robinia	pseudoacacia	12.5	...	...	1	...	Good	<25%	...	2884.88
759	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
760	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
761	Locust-Black	Robinia	pseudoacacia	10.5	...	...	1	...	Good	<25%	...	2035.57
762	Locust-Black	Robinia	pseudoacacia	15.5	...	...	1	...	Good	<25%	...	4435.78
763	Maple-Norway	Acer	platanoides	8	...	...	1	...	Good	<25%	...	984.7
764	Birch-Sweet	Betula	lenta	21	...	...	1	...	Good	<25%	...	5428.18
765	Tuliptree	.iriodendro	tulipifera	21	...	...	1	...	Good	<25%	...	10856.36
766	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
767	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
768	Maple-Sugar	Acer	saccharum	8.5	...	...	1	...	Good	<25%	...	2223.28
769	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
770	Locust-Black	Robinia	pseudoacacia	13.5	...	...	1	...	Good	<25%	...	3364.92
771	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
772	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
773	Locust-Black	Robinia	pseudoacacia	15	...	...	1	...	Good	<25%	...	4154.22
774	Cherry	Prunus	sp	21.5	...	...	1	...	Good	<25%	...	5689.74
775	Maple-Sugar	Acer	saccharum	12.5	...	...	1	...	Good	<25%	...	4808.13
776	Maple-Red	Acer	rubrum	16.5	...	...	1	...	Good	<25%	...	6702.14
777	Locust-Black	Robinia	pseudoacacia	20.5	...	...	1	...	Good	<25%	...	7759.16
778	Maple-Red	Acer	rubrum	26	...	...	1	...	Good	<25%	...	16641.5
779	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
780	Locust-Black	Robinia	pseudoacacia	12.5	...	...	1	...	Good	<25%	...	2884.88
781	Cherry	Prunus	sp	10	...	...	1	...	Poor	<25%	...	527.52
782	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
783	Walnut-Black	Juglans	nigra	21.5	...	...	1	...	Good	<25%	...	12801.92
784	Cherry	Prunus	sp	9	...	...	1	...	Good	<25%	...	997.01
785	Maple-Sugar	Acer	saccharum	8.5	...	...	1	...	Good	<25%	...	2223.28
786	Walnut-Black	Juglans	nigra	28	...	...	1	...	Good	<25%	...	21712.72
787	Walnut-Black	Juglans	nigra	21	...	...	1	...	Good	<25%	...	12213.41
788	Maple-Sugar	Acer	saccharum	18	...	...	1	...	Good	<25%	...	9970.13
789	Maple-Sugar	Acer	saccharum	8.5	...	...	1	...	Good	<25%	...	2223.28
790	Locust-Black	Robinia	pseudoacacia	11.5	...	...	1	...	Good	<25%	...	2441.76
791	Locust-Black	Robinia	pseudoacacia	15.5	...	...	1	...	Good	<25%	...	4435.78
792	Maple-Sugar	Acer	saccharum	15	...	...	1	...	Good	<25%	...	6923.7
793	Maple-Sugar	Acer	saccharum	9.5	...	...	1	...	Good	<25%	...	2777.17
794	Cherry	Prunus	sp	10.5	...	...	1	...	Good	<25%	...	1357.05
795	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
796	Maple-Sugar	Acer	saccharum	10.5	...	...	1	...	Good	<25%	...	3392.61
797	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
798	Locust-Black	Robinia	pseudoacacia	12.5	...	...	1	...	Good	<25%	...	2884.88
799	Maple-Sugar	Acer	saccharum	26	...	...	1	...	Good	<25%	...	20801.87
800	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
801	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
802	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
803	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
804	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
805	Birch-Sweet	Betula	lenta	21	...	...	1	...	Good	<25%	...	5428.18
806	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Good	<25%	...	2234.05
807	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
808	Maple-Red	Acer	rubrum	17.5	...	...	1	...	Good	<25%	...	7539.14
809	Tuliptree	.iriodendro	tulipifera	21	...	...	1	...	Good	<25%	...	10856.36
810	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
811	Maple-Red	Acer	rubrum	13.5	...	...	1	...	Good	<25%	...	4486.56
812	Birch-Sweet	Betula	lenta	21.5	...	...	1	...	Good	<25%	...	5689.74
813	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
814	Birch-Sweet	Betula	lenta	19.5	...	...	1	...	Good	<25%	...	4680.42
815	Birch-Sweet	Betula	lenta	22	...	...	1	...	Good	<25%	...	5957.46
816	Linden	Tilia	sp	21	...	...	1	...	Good	<25%	...	9499.32
817	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
818	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
819	Tuliptree	.iriodendro	tulipifera	32	...	...	1	...	Good	<25%	...	24697.88
820	Maple-Sugar	Acer	saccharum	7	...	...	2	...	Good	<25%	...	2807.95
821	Maple-Sugar	Acer	saccharum	13.5	...	...	1	...	Good	<25%	...	5608.2
822	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
823	Maple-Red	Acer	rubrum	16.5	...	...	1	...	Good	<25%	...	6702.14
824	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
825	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
826	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
827	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
828	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
829	Locust-Black	Robinia	pseudoacacia	21	...	...	1	...	Good	<25%	...	8142.27
830	Maple-Sugar	Acer	saccharum	19.5	...	...	1	...	Good	<25%	...	11701.05
831	Linden	Tilia	sp	16	...	...	1	...	Good	<25%	...	5514.34
832	Hickory-Pignut	Carya	glabra	19	...	...	1	...	Good	<25%	...	8886.95
833	Maple-Red	Acer	rubrum	9.5	...	...	1	...	Good	<25%	...	2221.74
834	Tuliptree	.iriodendro	tulipifera	54	...	...	1	...	Good	<25%	...	52632.74
835	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
836	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
837	Oak-Northern Red	Quercus	rubra	24.5	...	...	1	...	Good	<25%	...	18470.89
838	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
839	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
840	Oak-Northern Red	Quercus	rubra	27.5	...	...	1	...	Good	<25%	...	23271.33
841	Birch-Sweet	Betula	lenta	9	...	...	2	...	Good	<25%	...	1600.14
842	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
843	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
844	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
845	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
846	Maple-Sugar	Acer	saccharum	9.5	...	...	1	...	Good	<25%	...	2777.17
847	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
848	Birch-Sweet	Betula	lenta	20.5	...	...	1	...	Good	<25%	...	5172.77
849	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
850	Oak-Northern Red	Quercus	rubra	22	...	...	1	...	Good	<25%	...	14893.65
851	Maple-Red	Acer	rubrum	12	...	...	1	...	Fair	<25%	...	2532.1
852	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
853	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
854	Maple-Red	Acer	rubrum	8	...	...	1	...	Poor	<25%	...	675.23
855	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
856	Hemlock-Canadian	Tsuga	canadensis	8.5	...	...	1	...	Good	<25%	...	1333.97
857	Oak-Northern Red	Quercus	rubra	14	...	...	1	...	Good	<25%	...	6031.31
858	Oak-Northern Red	Quercus	rubra	26.5	...	...	1	...	Good	<25%	...	21609.64
859	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
860	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52

861	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
862	Maple-Red	Acer	rubrum	8	...	...	1	...	Poor	<25%	...	675.23
863	Oak-Northern Red	Quercus	rubra	18.5	...	...	1	...	Good	<25%	...	10531.72
864	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
865	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
866	Oak-Northern Red	Quercus	rubra	26.5	...	...	1	...	Good	<25%	...	21609.64
867	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
868	Oak-Northern Red	Quercus	rubra	16	...	...	1	...	Good	<25%	...	7877.63
869	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
870	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
871	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
872	Oak-Northern Red	Quercus	rubra	22	...	...	1	...	Good	<25%	...	14893.65
873	Oak-Northern Red	Quercus	rubra	25	...	...	1	...	Good	<25%	...	19232.5
874	Oak-Northern Red	Quercus	rubra	31	...	...	1	...	Good	<25%	...	53977.67
875	Birch-Sweet	Betula	lenta	17.5	...	...	1	...	Good	<25%	...	3769.57
876	Locust-Black	Robinia	pseudoacacia	11.5	...	...	1	...	Good	<25%	...	2441.76
877	Oak-Northern Red	Quercus	rubra	18.5	...	...	2	...	Good	<25%	...	16563.03
878	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
879	Maple-Sugar	Acer	saccharum	10.5	...	...	1	...	Good	<25%	...	3392.61
880	Oak-Northern Red	Quercus	rubra	35	...	...	1	...	Good	<25%	...	36382.5
881	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
882	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
883	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
884	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
885	Oak-Northern Red	Quercus	rubra	14	...	...	1	...	Good	<25%	...	6031.31
886	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
887	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
888	Birch-Sweet	Betula	lenta	17	...	...	2	...	Good	<25%	...	5969.77
889	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
890	Maple-Sugar	Acer	saccharum	8.5	...	...	1	...	Good	<25%	...	2223.28
891	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
892	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
893	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Good	<25%	...	1846.32
894	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
895	Maple-Sugar	Acer	saccharum	17	...	...	1	...	Good	<25%	...	8893.11
896	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
897	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
898	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
899	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
900	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
901	Maple-Norway	Acer	platanoides	20.5	...	...	1	...	Good	<25%	...	6465.97
902	Maple-Sugar	Acer	saccharum	13	...	...	2	...	Good	<25%	...	5969.77
903	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Fair	<25%	...	1406.72
904	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
905	Hickory-Shagbark	Carya	ovata	11.5	...	...	1	...	Good	<25%	...	3255.68
906	Maple-Sugar	Acer	saccharum	17	...	...	1	...	Good	<25%	...	8893.11
907	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
908	Elm-American	Ulmus	americana	9.5	...	...	1	...	Good	<25%	...	1666.3
909	Tuliptree	.iriodendro	tulipifera	13	...	...	1	...	Good	<25%	...	4160.37
910	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
911	Maple-Sugar	Acer	saccharum	15	...	...	1	...	Good	<25%	...	6923.7
912	Hickory-Shagbark	Carya	ovata	14	...	...	1	...	Good	<25%	...	4825.05
913	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
914	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
915	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
916	Hickory-Shagbark	Carya	ovata	17	...	...	1	...	Good	<25%	...	7114.49
917	Oak-White	Quercus	alba	17	...	...	1	...	Good	<25%	...	8893.11
918	Maple-Norway	Acer	platanoides	12	...	...	1	...	Good	<25%	...	2215.58
919	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
920	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
921	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
922	Elm-American	Ulmus	americana	8	...	...	1	...	Good	<25%	...	1181.64
923	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
924	Maple-Red	Acer	rubrum	10.5	...	...	2	...	Poor	<25%	...	1608.94
925	Maple-Sugar	Acer	saccharum	17	...	...	1	...	Good	<25%	...	8893.11
926	Maple-Norway	Acer	platanoides	8.5	...	...	1	...	Good	<25%	...	1111.64
927	Elm-American	Ulmus	americana	13.5	...	...	1	...	Good	<25%	...	3364.92
928	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
929	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
930	Tuliptree	.iriodendro	tulipifera	17	...	...	1	...	Good	<25%	...	7114.49
931	Tuliptree	.iriodendro	tulipifera	18	...	...	1	...	Good	<25%	...	7976.1
932	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
933	Maple-Red	Acer	rubrum	18	...	...	1	...	Good	<25%	...	7976.1
934	Oak-White	Quercus	alba	21	...	...	1	...	Good	<25%	...	13570.45
935	Maple-Red	Acer	rubrum	11	...	...	1	...	Fair	<25%	...	2127.66
936	Maple-Sugar	Acer	saccharum	12.5	...	...	1	...	Good	<25%	...	4808.13
937	Oak-White	Quercus	alba	17.5	...	...	1	...	Good	<25%	...	9423.93
938	Maple-Red	Acer	rubrum	18.5	...	...	1	...	Good	<25%	...	8425.37
939	Planetree-London	Platanus	x acerifolia	13.5	...	...	2	...	Good	<25%	...	4981.22
940	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
941	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
942	Oak-White	Quercus	alba	14	...	...	2	...	Good	<25%	...	10100.91
943	Oak-White	Quercus	alba	14.5	...	...	1	...	Good	<25%	...	6469.81
944	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
945	Maple-Sugar	Acer	saccharum	22.5	...	...	2	...	Good	<25%	...	27887.13
946	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
947	Oak-White	Quercus	alba	8	...	...	1	...	Good	<25%	...	1969.41
948	Oak-White	Quercus	alba	14	...	...	1	...	Good	<25%	...	6031.31
949	Oak-White	Quercus	alba	14.5	...	...	1	...	Good	<25%	...	6469.81
950	Oak-White	Quercus	alba	13.5	...	...	1	...	Good	<25%	...	5608.2
951	Maple-Sugar	Acer	saccharum	15.5	...	...	1	...	Good	<25%	...	7392.97
952	Maple-Sugar	Acer	saccharum	11	...	...	3	...	Good	<25%	...	8046.88
953	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
954	Maple-Red	Acer	rubrum	14.5	...	...	1	...	Good	<25%	...	5175.85
955	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
956	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
957	Oak-White	Quercus	alba	9.5	...	...	1	...	Good	<25%	...	2777.17
958	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
959	Maple-Red	Acer	rubrum	9	...	...	2	...	Good	<25%	...	3772.65
960	Oak-Northern Red	Quercus	rubra	22.5	...	...	2	...	Good	<25%	...	29802.68
961	Maple-Sugar	Acer	saccharum	12.5	...	...	1	...	Good	<25%	...	4808.13
962	Oak-White	Quercus	alba	9.5	...	...	1	...	Good	<25%	...	2777.17
963	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
964	Oak-Northern Red	Quercus	rubra	33	...	...	1	...	Good	<25%	...	32735.33
965	Birch-Sweet	Betula	lenta	17	...	...	4	...	Good	<25%	...	7203.73

966	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
967	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
968	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
969	Maple-Sugar	Acer	saccharum	11.5	...	...	1	...	Good	<25%	...	4069.6
970	Pine-Eastern White	Pinus	strobus	16	...	...	1	...	Good	<25%	...	6302.11
971	Maple-Red	Acer	rubrum	10.5	...	...	1	...	Good	<25%	...	2714.09
972	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
973	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
974	Maple-Red	Acer	rubrum	13	...	...	1	...	Poor	<25%	...	1783.02
975	Maple-Red	Acer	rubrum	11.5	...	...	1	...	Good	<25%	...	3255.68
976	Maple-Sugar	Acer	saccharum	18	...	...	1	...	Good	<25%	...	9970.13
977	Cherry	Prunus	sp	10	...	...	1	...	Good	<25%	...	1230.88
978	Hickory-Pignut	Carya	glabra	15	...	...	2	...	Fair	<25%	...	5543.36
979	Maple-Red	Acer	rubrum	17.5	...	...	1	...	Poor	<25%	...	3231.06
980	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
981	Maple-Sugar	Acer	saccharum	22	...	...	1	...	Good	<25%	...	14893.65
982	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
983	Oak-Northern Red	Quercus	rubra	28.5	...	...	1	...	Good	<25%	...	24994.56
984	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
985	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
986	Maple-Red	Acer	rubrum	20.5	...	...	2	...	Good	<25%	...	11231.78
987	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
988	Oak-Northern Red	Quercus	rubra	27	...	...	1	...	Good	<25%	...	22432.79
989	Maple-Red	Acer	rubrum	10.5	...	...	1	...	Good	<25%	...	2714.09
990	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
991	Maple-Red	Acer	rubrum	17	...	...	1	...	Good	<25%	...	7114.49
992	Oak-Northern Red	Quercus	rubra	12	...	...	1	...	Good	<25%	...	4431.17
993	Maple-Red	Acer	rubrum	14.5	...	...	1	...	Good	<25%	...	5175.85
994	Oak-White	Quercus	alba	15.5	...	...	1	...	Good	<25%	...	7392.97
995	Oak-White	Quercus	alba	23	...	...	1	...	Good	<25%	...	16278.39
996	Oak-Northern Red	Quercus	rubra	17.5	...	...	1	...	Good	<25%	...	9423.93
997	Oak-White	Quercus	alba	16	...	...	1	...	Good	<25%	...	7877.63
998	Birch-Sweet	Betula	lenta	12.5	...	...	2	...	Good	<25%	...	2526.38
999	Oak-White	Quercus	alba	20	...	...	1	...	Good	<25%	...	12308.8
1000	Oak-Northern Red	Quercus	rubra	22.5	...	...	1	...	Good	<25%	...	15578.33
1001	Oak-Pin	Quercus	palustris	24.5	...	...	1	...	Good	<25%	...	16623.8
1002	Maple-Red	Acer	rubrum	10.5	...	...	1	...	Good	<25%	...	2714.09
1003	Oak-White	Quercus	alba	15	...	...	1	...	Good	<25%	...	6923.7
1004	Oak-White	Quercus	alba	13.5	...	...	1	...	Good	<25%	...	5608.2
1005	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1006	Oak-White	Quercus	alba	10	...	...	1	...	Good	<25%	...	3077.2
1007	Oak-Northern Red	Quercus	rubra	25	...	...	1	...	Good	<25%	...	19232.5
1008	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1009	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1010	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
1011	Beech-American	Fagus	grandifolia	8.5	...	...	1	...	Good	<25%	...	1778.62
1012	Maple-Red	Acer	rubrum	22	...	...	2	...	Good	<25%	...	16401.48
1013	Maple-Red	Acer	rubrum	8.5	...	...	1	...	Good	<25%	...	1778.62
1014	Oak-Northern Red	Quercus	rubra	19	...	...	1	...	Good	<25%	...	11108.69
1015	Hickory-Pignut	Carya	glabra	10.5	...	...	1	...	Good	<25%	...	2714.09
1016	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
1017	Birch-Sweet	Betula	lenta	16	...	...	2	...	Good	<25%	...	3400.31
1018	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1019	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1020	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1021	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1022	Maple-Red	Acer	rubrum	9.5	...	...	1	...	Good	<25%	...	2221.74
1023	Oak-White	Quercus	alba	22	...	...	1	...	Good	<25%	...	14893.65
1024	Hemlock-Canadian	Tsuga	canadensis	17.5	...	...	1	...	Good	<25%	...	5654.36
1025	Maple-Red	Acer	rubrum	9.5	...	...	1	...	Good	<25%	...	2221.74
1026	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
1027	Birch-Sweet	Betula	lenta	19.5	...	...	1	...	Good	<25%	...	4680.42
1028	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
1029	Hickory-Pignut	Carya	glabra	14	...	...	1	...	Good	<25%	...	4825.05
1030	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
1031	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
1032	Oak-Northern Red	Quercus	rubra	19.5	...	...	1	...	Good	<25%	...	11701.05
1033	Maple-Red	Acer	rubrum	17	...	...	1	...	Good	<25%	...	7114.49
1034	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
1035	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1036	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Good	<25%	...	2658.7
1037	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
1038	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1039	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
1040	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
1041	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1042	Maple-Red	Acer	rubrum	18	...	...	1	...	Good	<25%	...	7976.1
1043	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1044	Hemlock-Canadian	Tsuga	canadensis	12.5	...	...	1	...	Good	<25%	...	2884.88
1045	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
1046	Oak-White	Quercus	alba	27	...	...	1	...	Good	<25%	...	22432.79
1047	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
1048	Maple-Red	Acer	rubrum	16	...	...	1	...	Good	<25%	...	6302.11
1049	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1050	Maple-Red	Acer	rubrum	14.5	...	...	1	...	Good	<25%	...	5175.85
1051	Oak-White	Quercus	alba	18.5	...	...	1	...	Good	<25%	...	10531.72
1052	Oak-White	Quercus	alba	8.5	...	...	1	...	Good	<25%	...	2223.28
1053	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1054	Maple-Red	Acer	rubrum	18.5	...	...	1	...	Good	<25%	...	8425.37
1055	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
1056	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
1057	Oak-White	Quercus	alba	15.5	...	...	1	...	Good	<25%	...	7392.97
1058	Oak-White	Quercus	alba	14.5	...	...	1	...	Good	<25%	...	6469.81
1059	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
1060	Maple-Red	Acer	rubrum	16.5	...	...	1	...	Good	<25%	...	6702.14
1061	Hemlock-Canadian	Tsuga	canadensis	13	...	...	1	...	Poor	<25%	...	1337.26
1062	Maple-Red	Acer	rubrum	15.5	...	...	1	...	Good	<25%	...	5914.38
1063	Maple-Sugar	Acer	saccharum	10.5	...	...	1	...	Good	<25%	...	3392.61
1064	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1065	Maple-Red	Acer	rubrum	16.5	...	...	1	...	Good	<25%	...	6702.14
1066	Oak-Northern Red	Quercus	rubra	23.5	...	...	1	...	Good	<25%	...	16993.84
1067	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1068	Oak-White	Quercus	alba	18	...	...	1	...	Good	<25%	...	9970.13
1069	Maple-Sugar	Acer	saccharum	12.5	...	...	1	...	Good	<25%	...	4808.13
1070	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03

1071	Maple-Red	Acer	rubrum	10.5	...	...	1	...	Good	<25%	...	2714.09
1072	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1073	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
1074	Birch-Sweet	Betula	lenta	22	...	...	2	...	Good	<25%	...	6400.58
1075	Hickory-Pignut	Carya	glabra	22	...	...	2	...	Good	<25%	...	19891.02
1076	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
1077	Maple-Norway	Acer	platanoides	9	...	...	1	...	Good	<25%	...	1246.27
1078	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1079	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1080	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
1081	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1082	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1083	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
1084	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
1085	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1086	Hemlock-Canadian	Tsuga	canadensis	11.5	...	...	1	...	Good	<25%	...	2441.76
1087	Hemlock-Canadian	Tsuga	canadensis	16	...	...	3	...	Good	<25%	...	11299.48
1088	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
1089	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
1090	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
1091	Oak-White	Quercus	alba	12	...	...	1	...	Good	<25%	...	4431.17
1092	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
1093	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1094	Maple-Red	Acer	rubrum	25	...	...	1	...	Good	<25%	...	15386
1095	Maple-Sugar	Acer	saccharum	8	...	...	3	...	Good	<25%	...	4585.03
1096	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1097	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
1098	Oak-White	Quercus	alba	12.5	...	...	1	...	Good	<25%	...	4808.13
1099	Birch-Sweet	Betula	lenta	23	...	...	1	...	Good	<25%	...	6511.36
1100	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Fair	<25%	...	2393.62
1101	Maple-Red	Acer	rubrum	17	...	...	1	...	Good	<25%	...	7114.49
1102	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1103	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
1104	Hickory-Shagbark	Carya	ovata	13	...	...	1	...	Good	<25%	...	4160.37
1105	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
1106	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1107	Maple-Red	Acer	rubrum	20	...	...	1	...	Good	<25%	...	9847.04
1108	Maple-Red	Acer	rubrum	19	...	...	1	...	Good	<25%	...	8886.95
1109	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
1110	Oak-White	Quercus	alba	19	...	...	1	...	Good	<25%	...	11108.69
1111	Oak-Northern Red	Quercus	rubra	22	...	...	1	...	Good	<25%	...	14893.65
1112	Oak-Northern Red	Quercus	rubra	18.5	...	...	1	...	Good	<25%	...	10531.72
1113	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1114	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1115	Birch-Sweet	Betula	lenta	23.5	...	...	1	...	Good	<25%	...	6797.53
1116	Maple-Sugar	Acer	saccharum	26	...	...	1	...	Good	<25%	...	20801.87
1117	Hickory-Pignut	Carya	glabra	22.5	...	...	1	...	Good	<25%	...	12462.66
1118	Hickory-Shagbark	Carya	ovata	15.5	...	...	1	...	Good	<25%	...	5914.38
1119	Hickory-Pignut	Carya	glabra	20.5	...	...	2	...	Good	<25%	...	18321.65
1120	Hickory-Pignut	Carya	glabra	19.5	...	...	1	...	Good	<25%	...	9360.84
1121	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
1122	Hickory-Pignut	Carya	glabra	14.5	...	...	1	...	Good	<25%	...	5175.85
1123	Elm-American	Ulmus	americana	15	...	...	1	...	Good	<25%	...	4154.22
1124	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
1125	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1126	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1127	Beech-American	Fagus	grandifolia	23.5	...	...	1	...	Good	<25%	...	13595.07
1128	Hickory-Shagbark	Carya	ovata	8	...	...	1	...	Good	<25%	...	1575.53
1129	Hickory-Shagbark	Carya	ovata	12	...	...	1	...	Good	<25%	...	3544.93
1130	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
1131	Hickory-Pignut	Carya	glabra	21	...	...	1	...	Good	<25%	...	10856.36
1132	Beech-American	Fagus	grandifolia	12	...	...	1	...	Good	<25%	...	3544.93
1133	Hickory-Pignut	Carya	glabra	15	...	...	1	...	Good	<25%	...	5538.96
1134	Beech-American	Fagus	grandifolia	21	...	...	1	...	Good	<25%	...	10856.36
1135	Hickory-Pignut	Carya	glabra	22	...	...	1	...	Good	<25%	...	11914.92
1136	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1137	Maple-Sugar	Acer	saccharum	23.5	...	...	1	...	Good	<25%	...	16993.84
1138	Hickory-Shagbark	Carya	ovata	21.5	...	...	1	...	Good	<25%	...	11379.49
1139	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1140	Beech-American	Fagus	grandifolia	17	...	...	1	...	Good	<25%	...	7114.49
1141	Maple-Sugar	Acer	saccharum	18	...	...	1	...	Good	<25%	...	9970.13
1142	Beech-American	Fagus	grandifolia	20.5	...	...	1	...	Good	<25%	...	10345.55
1143	Maple-Red	Acer	rubrum	17	...	...	1	...	Good	<25%	...	7114.49
1144	Beech-American	Fagus	grandifolia	11.5	...	...	1	...	Good	<25%	...	3255.68
1145	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1146	Beech-American	Fagus	grandifolia	9.5	...	...	1	...	Good	<25%	...	2221.74
1147	Beech-American	Fagus	grandifolia	15	...	...	1	...	Good	<25%	...	5538.96
1148	Oak-Northern Red	Quercus	rubra	20.5	...	...	1	...	Good	<25%	...	12931.93
1149	Beech-American	Fagus	grandifolia	13.5	...	...	1	...	Good	<25%	...	4486.56
1150	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1151	Oak-Northern Red	Quercus	rubra	46.5	...	...	1	...	Good	<25%	...	55314.97
1152	Beech-American	Fagus	grandifolia	14	...	...	1	...	Good	<25%	...	4825.05
1153	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1154	Beech-American	Fagus	grandifolia	20	...	...	1	...	Fair	<25%	...	7033.6
1155	Hemlock-Canadian	Tsuga	canadensis	37.5	...	...	1	...	Good	<25%	...	24476.24
1156	Elm-American	Ulmus	americana	15.5	...	...	1	...	Good	<25%	...	4435.78
1157	Hickory-Shagbark	Carya	ovata	18	...	...	1	...	Good	<25%	...	7976.1
1158	Hickory-Pignut	Carya	glabra	15	...	...	1	...	Good	<25%	...	5538.96
1159	Hickory-Pignut	Carya	glabra	14	...	...	1	...	Good	<25%	...	4825.05
1160	Hickory-Pignut	Carya	glabra	15.5	...	...	2	...	Good	<25%	...	11453.34
1161	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
1162	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
1163	Maple-Sugar	Acer	saccharum	8.5	...	...	1	...	Good	<25%	...	2223.28
1164	Oak-Northern Red	Quercus	rubra	22	...	...	1	...	Good	<25%	...	14893.65
1165	Maple-Red	Acer	rubrum	8.5	...	...	1	...	Good	<25%	...	1778.62
1166	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1167	Maple-Red	Acer	rubrum	17.5	...	...	1	...	Good	<25%	...	7539.14
1168	Hickory-Shagbark	Carya	ovata	19	...	...	3	...	Good	<25%	...	18050.86
1169	Oak-White	Quercus	alba	22.5	...	...	1	...	Good	<25%	...	15578.33
1170	Hickory-Pignut	Carya	glabra	17	...	...	1	...	Good	<25%	...	7114.49
1171	Hickory-Pignut	Carya	glabra	17	...	...	1	...	Good	<25%	...	7114.49
1172	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1173	Beech-American	Fagus	grandifolia	18	...	...	1	...	Good	<25%	...	7976.1
1174	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
1175	Beech-American	Fagus	grandifolia	27	...	...	1	...	Good	<25%	...	17946.23

1176	Oak-White	Quercus	alba	9	...	...	1	...	Good	<25%	...	2492.53
1177	Hemlock-Canadian	Tsuga	canadensis	18	...	...	3	...	Fair	<25%	...	10669.09
1178	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
1179	Oak-Northern Red	Quercus	rubra	12.5	...	...	1	...	Good	<25%	...	4808.13
1180	Hemlock-Canadian	Tsuga	canadensis	27	...	...	1	...	Good	<25%	...	13459.67
1181	Linden	Tilia	sp	13	...	...	3	...	Good	<25%	...	7172.95
1182	Maple-Sugar	Acer	saccharum	10.5	...	...	1	...	Good	<25%	...	3392.61
1183	Maple-Sugar	Acer	saccharum	16	...	...	1	...	Good	<25%	...	7877.63
1184	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1185	Maple-Red	Acer	rubrum	12.5	...	...	1	...	Good	<25%	...	3846.5
1186	Hickory-Shagbark	Carya	ovata	11.5	...	...	1	...	Good	<25%	...	3255.68
1187	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1188	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1189	Hickory-Shagbark	Carya	ovata	12.5	...	...	1	...	Good	<25%	...	3846.5
1190	Birch-Sweet	Betula	lenta	18.5	...	...	1	...	Good	<25%	...	4212.69
1191	niper-Eastern Redcec	Juniperus	virginiana	10.5	...	...	1	...	Good	<25%	...	2374.83
1192	Oak-White	Quercus	alba	19	...	...	1	...	Good	<25%	...	11108.69
1193	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
1194	Oak-White	Quercus	alba	12	...	...	1	...	Good	<25%	...	4431.17
1195	Oak-White	Quercus	alba	8.5	...	...	1	...	Good	<25%	...	2223.28
1196	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1197	Maple-Red	Acer	rubrum	29	...	...	1	...	Good	<25%	...	20703.4
1198	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1199	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Good	<25%	...	9970.13
1200	Maple-Red	Acer	rubrum	12.5	...	...	1	...	Good	<25%	...	3846.5
1201	Maple-Sugar	Acer	saccharum	16	...	...	1	...	Good	<25%	...	7877.63
1202	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1203	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1204	Maple-Norway	Acer	platanoides	17	...	...	1	...	Good	<25%	...	4446.55
1205	Tuliptree	.iriodendro	tulipifera	18	...	...	1	...	Good	<25%	...	7976.1
1206	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1207	Maple-Red	Acer	rubrum	27	...	...	1	...	Good	<25%	...	17946.23
1208	Tuliptree	.iriodendro	tulipifera	8	...	...	1	...	Good	<25%	...	1575.53
1209	Maple-Red	Acer	rubrum	11	...	...	1	...	Fair	<25%	...	2127.66
1210	Elm-American	Ulmus	americana	9	...	...	1	...	Fair	<25%	...	1068.23
1211	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
1212	Tuliptree	.iriodendro	tulipifera	17	...	...	1	...	Good	<25%	...	7114.49
1213	Maple-Red	Acer	rubrum	11	...	...	1	...	Fair	<25%	...	2127.66
1214	Elm-American	Ulmus	americana	8	...	...	1	...	Good	<25%	...	1181.64
1215	Maple-Red	Acer	rubrum	22	...	...	1	...	Good	<25%	...	11914.92
1216	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1217	Elm-American	Ulmus	americana	8	...	...	1	...	Good	<25%	...	1181.64
1218	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1219	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1220	Hickory-Shagbark	Carya	ovata	15	...	...	1	...	Good	<25%	...	5538.96
1221	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1222	Tuliptree	.iriodendro	tulipifera	16	...	...	1	...	Good	<25%	...	6302.11
1223	Tuliptree	.iriodendro	tulipifera	13	...	...	1	...	Good	<25%	...	4160.37
1224	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1225	Maple-Sugar	Acer	saccharum	26	...	...	1	...	Good	<25%	...	20801.87
1226	Maple-Red	Acer	rubrum	9	...	...	1	...	Fair	<25%	...	1424.3
1227	Maple-Red	Acer	rubrum	22	...	...	1	...	Good	<25%	...	11914.92
1228	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1229	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
1230	Maple-Red	Acer	rubrum	24	...	...	1	...	Fair	<25%	...	10128.38
1231	Maple-Red	Acer	rubrum	14	...	...	1	...	Fair	<25%	...	3446.46
1232	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Poor	<25%	...	1068.23
1233	Poplar-Eastern	Populus	deltoides	17	...	...	1	...	Fair	<25%	...	1270.44
1234	Maple-Sugar	Acer	saccharum	25	...	...	1	...	Fair	<25%	...	13737.5
1235	Maple-Red	Acer	rubrum	13	...	...	1	...	Fair	<25%	...	2971.7
1236	Maple-Red	Acer	rubrum	26	...	...	1	...	Fair	<25%	...	11886.78
1237	Maple-Red	Acer	rubrum	13	...	...	2	...	Fair	<25%	...	5503.79
1238	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1239	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1240	Poplar-Eastern	Populus	deltoides	18	...	...	1	...	Fair	<25%	...	1424.3
1241	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1242	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
1243	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1244	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1245	Maple-Red	Acer	rubrum	17	...	...	1	...	Good	<25%	...	7114.49
1246	Maple-Red	Acer	rubrum	11	...	...	1	...	Fair	<25%	...	2127.66
1247	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1248	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
1249	Oak-Swamp White	Quercus	bicolor	8	...	...	1	...	Fair	<25%	...	1266.05
1250	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
1251	Tuliptree	.iriodendro	tulipifera	17	...	...	1	...	Good	<25%	...	7114.49
1252	Hickory-Pignut	Carya	glabra	17	...	...	1	...	Good	<25%	...	7114.49
1253	Hickory-Pignut	Carya	glabra	15	...	...	1	...	Good	<25%	...	5538.96
1254	Hickory-Pignut	Carya	glabra	22	...	...	1	...	Good	<25%	...	11914.92
1255	Hickory-Pignut	Carya	glabra	18	...	...	2	...	Good	<25%	...	11521.04
1256	Hickory-Pignut	Carya	glabra	12	...	...	2	...	Good	<25%	...	5120.46
1257	Hickory-Pignut	Carya	glabra	17	...	...	2	...	Good	<25%	...	12653.45
1258	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1259	Hickory-Pignut	Carya	glabra	8	...	...	1	...	Fair	<25%	...	1125.38
1260	Hickory-Pignut	Carya	glabra	22	...	...	1	...	Good	<25%	...	11914.92
1261	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1262	Hickory-Shagbark	Carya	ovata	11	...	...	1	...	Good	<25%	...	2978.73
1263	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
1264	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Fair	<25%	...	1406.72
1265	Maple-Red	Acer	rubrum	12	...	...	1	...	Fair	<25%	...	2532.1
1266	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1267	Hickory-Pignut	Carya	glabra	36	...	...	1	...	Good	<25%	...	30533.35
1268	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
1269	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Good	<25%	...	9970.13
1270	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
1271	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Fair	<25%	...	844.03
1272	Maple-Sugar	Acer	saccharum	10	...	...	2	...	Fair	<25%	...	3275.02
1273	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
1274	Maple-Red	Acer	rubrum	17	...	...	2	...	Fair	<25%	...	8528.24
1275	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
1276	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1277	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1278	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1279	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1280	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01

1281	Oak-Northern Red	Quercus	rubra	32	...	...	1	...	Good	<25%	...	30872.35
1282	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1283	Maple-Red	Acer	rubrum	16	...	...	1	...	Good	<25%	...	6302.11
1284	Oak-White	Quercus	alba	16	...	...	1	...	Good	<25%	...	7877.63
1285	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1286	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1287	Oak-Swamp White	Quercus	bicolor	11	...	...	1	...	Good	<25%	...	3351.07
1288	Maple-Red	Acer	rubrum	16	...	...	1	...	Fair	<25%	...	4501.5
1289	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
1290	Maple-Red	Acer	rubrum	10	...	...	1	...	Fair	<25%	...	1758.4
1291	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
1292	Beech-American	Fagus	grandifolia	22	...	...	1	...	Good	<25%	...	11914.92
1293	Oak-White	Quercus	alba	19	...	...	1	...	Good	<25%	...	11108.69
1294	Oak-Swamp White	Quercus	bicolor	13	...	...	1	...	Good	<25%	...	4680.42
1295	Oak-Northern Red	Quercus	rubra	13	...	...	1	...	Good	<25%	...	5200.47
1296	Beech-American	Fagus	grandifolia	14	...	...	1	...	Good	<25%	...	4825.05
1297	Hickory-Shagbark	Carya	ovata	8	...	...	1	...	Poor	<25%	...	675.23
1298	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
1299	Oak-White	Quercus	alba	23	...	...	1	...	Good	<25%	...	16278.39
1300	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
1301	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
1302	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1303	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Poor	<25%	...	640.94
1304	Hickory-Shagbark	Carya	ovata	18	...	...	1	...	Good	<25%	...	7976.1
1305	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
1306	Oak-Northern Red	Quercus	rubra	25	...	...	1	...	Good	<25%	...	19232.5
1307	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
1308	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
1309	Beech-American	Fagus	grandifolia	12	...	...	1	...	Good	<25%	...	3544.93
1310	Beech-American	Fagus	grandifolia	21	...	...	1	...	Good	<25%	...	10856.36
1311	Oak-Northern Red	Quercus	rubra	21	...	...	1	...	Good	<25%	...	13570.45
1312	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Poor	<25%	...	791.28
1313	Oak-Swamp White	Quercus	bicolor	18	...	...	1	...	Good	<25%	...	8973.12
1314	Oak-Scarlet	Quercus	coccinea	19	...	...	1	...	Fair	<25%	...	7934.78
1315	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
1316	Oak-Swamp White	Quercus	bicolor	16	...	...	1	...	Fair	<25%	...	5064.19
1317	Oak-Swamp White	Quercus	bicolor	10	...	...	1	...	Fair	<25%	...	1978.2
1318	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1319	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Poor	<25%	...	791.28
1320	Hickory-Pignut	Carya	glabra	11	...	...	1	...	Good	<25%	...	2978.73
1321	Oak-White	Quercus	alba	19	...	...	1	...	Fair	<25%	...	7934.78
1322	Hickory-Pignut	Carya	glabra	21	...	...	1	...	Good	<25%	...	10856.36
1323	Beech-American	Fagus	grandifolia	8	...	...	1	...	Fair	<25%	...	1125.38
1324	Maple-Red	Acer	rubrum	17	...	...	1	...	Fair	<25%	...	5081.78
1325	Maple-Red	Acer	rubrum	17	...	...	1	...	Fair	<25%	...	5081.78
1326	Hickory-Pignut	Carya	glabra	26	...	...	1	...	Fair	<25%	...	11886.78
1327	Maple-Red	Acer	rubrum	16	...	...	1	...	Fair	<25%	...	4501.5
1328	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Poor	<25%	...	1139.44
1329	Birch-Sweet	Betula	lenta	8	...	...	1	...	Fair	<25%	...	562.69
1330	Maple-Sugar	Acer	saccharum	15	...	...	1	...	Good	<25%	...	6923.7
1331	Maple-Sugar	Acer	saccharum	1	...	...	1	...	Good	<25%	...	30.77
1332	Beech-American	Fagus	grandifolia	17	...	...	1	...	Good	<25%	...	7114.49
1333	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1334	Hickory-Shagbark	Carya	ovata	13	...	...	2	...	Fair	<25%	...	5503.79
1335	Oak-White	Quercus	alba	11	...	...	1	...	Fair	<25%	...	2659.58
1336	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1337	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1338	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1339	Oak-English	Quercus	robur	26	...	...	1	...	Good	<25%	...	20801.87
1340	Hickory-Pignut	Carya	glabra	9	...	...	1	...	Fair	<25%	...	1424.3
1341	Oak-White	Quercus	alba	22	...	...	1	...	Good	<25%	...	14893.65
1342	Oak-White	Quercus	alba	14	...	...	1	...	Fair	<25%	...	4308.08
1343	Maple-Red	Acer	rubrum	11	...	...	1	...	Fair	<25%	...	2127.66
1344	Beech-American	Fagus	grandifolia	21	...	...	1	...	Good	<25%	...	10856.36
1345	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
1346	Maple-Sugar	Acer	saccharum	15	...	...	1	...	Good	<25%	...	6923.7
1347	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Fair	<25%	...	1406.72
1348	Hickory-Shagbark	Carya	ovata	10	...	...	1	...	Good	<25%	...	2461.76
1349	Beech-American	Fagus	grandifolia	22	...	...	1	...	Fair	<25%	...	8510.66
1350	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
1351	Maple-Red	Acer	rubrum	26	...	...	1	...	Fair	<25%	...	11886.78
1352	Oak-White	Quercus	alba	20	...	...	1	...	Good	<25%	...	12308.8
1353	Beech-American	Fagus	grandifolia	14	...	...	1	...	Fair	<25%	...	3446.46
1354	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1355	Maple-Red	Acer	rubrum	10	...	...	1	...	Fair	<25%	...	1758.4
1356	Oak-Northern Red	Quercus	rubra	28	...	...	1	...	Good	<25%	...	24125.25
1357	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1358	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
1359	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1360	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
1361	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1362	Hickory-Pignut	Carya	glabra	12	...	...	1	...	Fair	<25%	...	2532.1
1363	Beech-American	Fagus	grandifolia	13	...	...	2	...	Fair	<25%	...	3253.04
1364	Oak-White	Quercus	alba	10	...	...	1	...	Poor	<25%	...	1318.8
1365	Hemlock-Canadian	Tsuga	canadensis	16	...	...	1	...	Fair	<25%	...	3376.13
1366	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1367	Oak-Swamp White	Quercus	bicolor	14	...	...	1	...	Fair	<25%	...	3877.27
1368	Beech-American	Fagus	grandifolia	18	...	...	1	...	Good	<25%	...	7976.1
1369	Oak-Northern Red	Quercus	rubra	35	...	...	1	...	Fair	<25%	...	25987.5
1370	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1371	Maple-Sugar	Acer	saccharum	24	...	...	1	...	Good	<25%	...	17724.67
1372	Hickory-Pignut	Carya	glabra	9	...	...	1	...	Good	<25%	...	1994.03
1373	Beech-American	Fagus	grandifolia	25	...	...	1	...	Fair	<25%	...	10990
1374	Birch-Sweet	Betula	lenta	19	...	...	1	...	Poor	<25%	...	1904.35
1375	Oak-Northern Red	Quercus	rubra	13	...	...	1	...	Fair	<25%	...	3714.62
1376	Hickory-Pignut	Carya	glabra	13	...	...	1	...	Fair	<25%	...	2971.7
1377	Birch-Sweet	Betula	lenta	20	...	...	1	...	Fair	<25%	...	3516.8
1378	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Poor	<25%	...	1139.44
1379	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
1380	Birch-Sweet	Betula	lenta	13	...	...	1	...	Fair	<25%	...	1485.85
1381	Birch-Sweet	Betula	lenta	15	...	...	1	...	Fair	<25%	...	1978.2
1382	Linden	Tilia	sp	13	...	...	1	...	Fair	<25%	...	2600.23
1383	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1384	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Poor	<25%	...	1139.44
1385	Linden	Tilia	sp	22	...	...	1	...	Fair	<25%	...	7446.82

1386	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1387	Hickory-Pignut	Carya	glabra	23	...	...	1	...	Good	<25%	...	13022.71
1388	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Poor	<25%	...	1139.44
1389	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Poor	<25%	...	957.45
1390	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
1391	Maple-Red	Acer	rubrum	13	...	...	1	...	Fair	<25%	...	2971.7
1392	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1393	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1394	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Fair	<25%	...	4945.5
1395	Hickory-Pignut	Carya	glabra	8	...	...	1	...	Fair	<25%	...	1125.38
1396	Oak-Northern Red	Quercus	rubra	21	...	...	1	...	Good	<25%	...	13570.45
1397	Maple-Red	Acer	rubrum	12	...	...	1	...	Good	<25%	...	3544.93
1398	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Fair	<25%	...	7121.52
1399	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Fair	<25%	...	1780.38
1400	Maple-Red	Acer	rubrum	11	...	...	1	...	Fair	<25%	...	2127.66
1401	Hickory-Shagbark	Carya	ovata	10	...	...	1	...	Good	<25%	...	2461.76
1402	Maple-Norway	Acer	platanoides	12	...	...	1	...	Good	<25%	...	2215.58
1403	Maple-Red	Acer	rubrum	10	...	...	1	...	Fair	<25%	...	1758.4
1404	Maple-Red	Acer	rubrum	8	...	...	2	...	Fair	<25%	...	1406.72
1405	Hickory-Pignut	Carya	glabra	8	...	...	1	...	Fair	<25%	...	1125.38
1406	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
1407	Maple-Red	Acer	rubrum	38	...	...	1	...	Good	<25%	...	33325.02
1408	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1409	Hickory-Pignut	Carya	glabra	8	...	...	2	...	Good	<25%	...	2461.76
1410	Oak-Northern Red	Quercus	rubra	26	...	...	1	...	Good	<25%	...	20801.87
1411	Hickory-Pignut	Carya	glabra	26	...	...	1	...	Good	<25%	...	16641.5
1412	Maple-Red	Acer	rubrum	17	...	...	1	...	Good	<25%	...	7114.49
1413	Oak-White	Quercus	alba	18	...	...	1	...	Good	<25%	...	9970.13
1414	Maple-Red	Acer	rubrum	14	...	...	1	...	Fair	<25%	...	3446.46
1415	Tuliptree	.iriodendro	tulipifera	8	...	...	1	...	Good	<25%	...	1575.53
1416	Maple-Red	Acer	rubrum	9	...	...	1	...	Fair	<25%	...	1424.3
1417	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1418	Tuliptree	.iriodendro	tulipifera	15	...	...	1	...	Good	<25%	...	5538.96
1419	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
1420	Tuliptree	.iriodendro	tulipifera	15	...	...	1	...	Good	<25%	...	5538.96
1421	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Fair	<25%	...	2659.58
1422	niper-Eastern Redcec	Juniperus	virginiana	8	...	...	1	...	Poor	<25%	...	590.82
1423	Oak-Northern Red	Quercus	rubra	28	...	...	1	...	Good	<25%	...	24125.25
1424	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Good	<25%	...	6923.7
1425	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
1426	Maple-Red	Acer	rubrum	9	...	...	1	...	Fair	<25%	...	1424.3
1427	Maple-Red	Acer	rubrum	22	...	...	1	...	Good	<25%	...	11914.92
1428	Maple-Red	Acer	rubrum	31	...	...	1	...	Good	<25%	...	23186.49
1429	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1430	Hickory-Pignut	Carya	glabra	17	...	...	1	...	Good	<25%	...	7114.49
1431	Tupelo-Black	Nyssa	sylvatica	10	...	...	1	...	Good	<25%	...	2769.48
1432	Tupelo-Black	Nyssa	sylvatica	14	...	...	1	...	Good	<25%	...	5428.18
1433	Hickory-Shagbark	Carya	ovata	9	...	...	1	...	Good	<25%	...	1994.03
1434	Hickory-Shagbark	Carya	ovata	22	...	...	1	...	Good	<25%	...	11914.92
1435	Hickory-Shagbark	Carya	ovata	18	...	...	1	...	Fair	<25%	...	5697.22
1436	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1437	Hickory-Pignut	Carya	glabra	21	...	...	1	...	Good	<25%	...	10856.36
1438	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Fair	<25%	...	1899.07
1439	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
1440	Beech-American	Fagus	grandifolia	16	...	...	1	...	Fair	<25%	...	4501.5
1441	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1442	Beech-American	Fagus	grandifolia	8	...	...	1	...	Fair	<25%	...	1125.38
1443	Beech-American	Fagus	grandifolia	19	...	...	1	...	Good	<25%	...	8886.95
1444	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1445	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1446	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1447	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1448	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
1449	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
1450	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1451	Oak-Northern Red	Quercus	rubra	23	...	...	1	...	Good	<25%	...	16278.39
1452	Oak-Northern Red	Quercus	rubra	28	...	...	1	...	Good	<25%	...	24125.25
1453	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1454	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1455	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1456	Maple-Red	Acer	rubrum	16	...	...	1	...	Fair	<25%	...	4501.5
1457	Maple-Red	Acer	rubrum	10	...	...	1	...	Poor	<25%	...	1055.04
1458	Oak-Swamp White	Quercus	bicolor	9	...	...	1	...	Good	<25%	...	2243.28
1459	Oak-Swamp White	Quercus	bicolor	12	...	...	2	...	Fair	<25%	...	3560.76
1460	Oak-White	Quercus	alba	23	...	...	1	...	Good	<25%	...	16278.39
1461	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1462	Maple-Red	Acer	rubrum	13	...	...	1	...	Poor	<25%	...	1783.02
1463	Hickory-Pignut	Carya	glabra	15	...	...	1	...	Good	<25%	...	5538.96
1464	Oak-White	Quercus	alba	10	...	...	1	...	Fair	<25%	...	2198
1465	Oak-White	Quercus	alba	17	...	...	1	...	Good	<25%	...	8893.11
1466	Oak-White	Quercus	alba	10	...	...	1	...	Fair	<25%	...	2198
1467	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
1468	Maple-Red	Acer	rubrum	14	...	...	1	...	Fair	<25%	...	3446.46
1469	Oak-White	Quercus	alba	15	...	...	1	...	Good	<25%	...	6923.7
1470	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1471	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1472	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Poor	<25%	...	640.94
1473	Oak-Northern Red	Quercus	rubra	26	...	...	1	...	Good	<25%	...	20801.87
1474	Birch-Sweet	Betula	lenta	25	...	...	1	...	Fair	<25%	...	5495
1475	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1476	Oak-Northern Red	Quercus	rubra	27	...	...	1	...	Good	<25%	...	22432.79
1477	Birch-Sweet	Betula	lenta	15	...	...	1	...	Fair	<25%	...	1978.2
1478	Maple-Red	Acer	rubrum	13	...	...	1	...	Fair	<25%	...	2971.7
1479	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Fair	<25%	...	844.03
1480	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Fair	<25%	...	1068.23
1481	Birch-Sweet	Betula	lenta	12	...	...	3	...	Good	<25%	...	4492.71
1482	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	5182
1483	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1484	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1485	Oak-Northern Red	Quercus	rubra	17	...	...	1	...	Good	<25%	...	8893.11
1486	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
1487	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1488	Maple-Red	Acer	rubrum	30	...	...	1	...	Good	<25%	...	22155.84
1489	Maple-Red	Acer	rubrum	8	...	...	1	...	Fair	<25%	...	1125.38
1490	Maple-Sugar	Acer	saccharum	1	...	...	1	...	Good	<25%	...	30.77

1491	Beech-American	Fagus	grandifolia	21	...	...	1	...	Good	<25%	...	10856.36
1492	Ash-White	Fraxinus	americana	14	...	...	1	...	Poor	<25%	...	1033.94
1493	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
1494	Maple-Red	Acer	rubrum	18	...	...	1	...	Fair	<25%	...	5697.22
1495	Hemlock-Canadian	Tsuga	canadensis	13	...	...	1	...	Fair	<25%	...	2228.77
1496	Maple-Sugar	Acer	saccharum	12	...	...	1	...	Good	<25%	...	4431.17
1497	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1498	Hickory-Pignut	Carya	glabra	16	...	...	2	...	Good	<25%	...	9847.04
1499	Hickory-Pignut	Carya	glabra	14	...	...	1	...	Good	<25%	...	4825.05
1500	Hickory-Pignut	Carya	glabra	15	...	...	1	...	Good	<25%	...	5538.96
1501	Oak-Northern Red	Quercus	rubra	23	...	...	1	...	Good	<25%	...	16278.39
1502	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1503	Maple-Red	Acer	rubrum	23	...	...	1	...	Good	<25%	...	13022.71
1504	Maple-Red	Acer	rubrum	16	...	...	1	...	Good	<25%	...	6302.11
1505	Maple-Red	Acer	rubrum	16	...	...	1	...	Good	<25%	...	6302.11
1506	Oak-Northern Red	Quercus	rubra	14	...	...	1	...	Good	<25%	...	6031.31
1507	Birch-Sweet	Betula	lenta	21.5	...	...	2	...	Good	<25%	...	10613.26
1508	Beech-American	Fagus	grandifolia	28	...	...	1	...	Good	<25%	...	19300.2
1509	Hickory-Shagbark	Carya	ovata	9	...	...	1	...	Good	<25%	...	1994.03
1510	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
1511	Oak-White	Quercus	alba	24	...	...	1	...	Good	<25%	...	17724.67
1512	Oak-Northern Red	Quercus	rubra	31.5	...	...	1	...	Good	<25%	...	29931.01
1513	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1514	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1515	Hickory-Shagbark	Carya	ovata	20	...	...	3	...	Good	<25%	...	21817.35
1516	Oak-White	Quercus	alba	29	...	...	1	...	Good	<25%	...	25879.25
1517	Beech-American	Fagus	grandifolia	9.5	...	...	1	...	Good	<25%	...	2221.74
1518	Oak-White	Quercus	alba	24	...	...	1	...	Good	<25%	...	17724.67
1519	Cherry	Prunus	sp	8	...	...	1	...	Good	<25%	...	787.76
1520	Maple-Sugar	Acer	saccharum	11	...	...	1	...	Good	<25%	...	3723.41
1521	Maple-Red	Acer	rubrum	8.5	...	...	1	...	Good	<25%	...	1778.62
1522	Hickory-Pignut	Carya	glabra	12.5	...	...	2	...	Good	<25%	...	6825.23
1523	Maple-Red	Acer	rubrum	16	...	...	1	...	Good	<25%	...	6302.11
1524	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
1525	Maple-Red	Acer	rubrum	13	...	...	1	...	Good	<25%	...	4160.37
1526	Beech-American	Fagus	grandifolia	17	...	...	1	...	Good	<25%	...	7114.49
1527	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
1528	Oak-White	Quercus	alba	18	...	...	1	...	Good	<25%	...	9970.13
1529	Oak-White	Quercus	alba	16.5	...	...	1	...	Good	<25%	...	8377.68
1530	Oak-Northern Red	Quercus	rubra	27	...	...	1	...	Good	<25%	...	22432.79
1531	Maple-Red	Acer	rubrum	10	...	...	1	...	Good	<25%	...	2461.76
1532	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1533	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1534	Birch-Sweet	Betula	lenta	17.5	...	...	1	...	Good	<25%	...	3769.57
1535	Birch-Sweet	Betula	lenta	20.5	...	...	1	...	Good	<25%	...	5172.77
1536	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1537	Oak-White	Quercus	alba	17	...	...	1	...	Good	<25%	...	8893.11
1538	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
1539	Birch-Sweet	Betula	lenta	13.5	...	...	2	...	Good	<25%	...	4323.47
1540	Oak-White	Quercus	alba	17.5	...	...	1	...	Good	<25%	...	9423.93
1541	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1542	Birch-Sweet	Betula	lenta	17	...	...	2	...	Good	<25%	...	6708.3
1543	Maple-Red	Acer	rubrum	9.5	...	...	1	...	Good	<25%	...	2221.74
1544	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1545	Maple-Red	Acer	rubrum	12.5	...	...	1	...	Good	<25%	...	3846.5
1546	Beech-American	Fagus	grandifolia	19.5	...	...	1	...	Good	<25%	...	9360.84
1547	Maple-Red	Acer	rubrum	14	...	...	1	...	Fair	<25%	...	3446.46
1548	Hickory-Shagbark	Carya	ovata	16.5	...	...	3	...	Good	<25%	...	17792.37
1549	Maple-Red	Acer	rubrum	25.5	...	...	2	...	Good	<25%	...	31393.59
1550	Hickory-Pignut	Carya	glabra	23	...	...	1	...	Good	<25%	...	13022.71
1551	Maple-Red	Acer	rubrum	20	...	...	1	...	Good	<25%	...	9847.04
1552	Hickory-Pignut	Carya	glabra	17	...	...	2	...	Good	<25%	...	14228.97
1553	Oak-White	Quercus	alba	10	...	...	1	...	Good	<25%	...	3077.2
1554	Oak-White	Quercus	alba	29	...	...	1	...	Good	<25%	...	25879.25
1555	Oak-Northern Red	Quercus	rubra	25	...	...	1	...	Good	<25%	...	19232.5
1556	Oak-White	Quercus	alba	19	...	...	1	...	Good	<25%	...	11108.69
1557	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	5012.76
1558	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1559	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1560	Birch-Sweet	Betula	lenta	14.5	...	...	2	...	Good	<25%	...	3818.81
1561	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	4258.84
1562	Maple-Red	Acer	rubrum	16	...	...	1	...	Good	<25%	...	6302.11
1563	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1564	Birch-Sweet	Betula	lenta	13	...	...	2	...	Good	<25%	...	3708.03
1565	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1566	Birch-Sweet	Betula	lenta	13	...	...	2	...	Good	<25%	...	3852.65
1567	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1568	Cherry	Prunus	sp	8	...	...	1	...	Good	<25%	...	787.76
1569	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1570	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1571	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
1572	Birch-Sweet	Betula	lenta	17.5	...	...	2	...	Good	<25%	...	6539.05
1573	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
1574	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
1575	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1576	Oak-Northern Red	Quercus	rubra	20	...	...	1	...	Good	<25%	...	12308.8
1577	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1578	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1579	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1580	Oak-White	Quercus	alba	14	...	...	1	...	Good	<25%	...	6031.31
1581	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1582	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1583	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1584	Beech-American	Fagus	grandifolia	23	...	...	1	...	Good	<25%	...	13022.71
1585	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1586	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1587	Oak-White	Quercus	alba	14	...	...	1	...	Good	<25%	...	6031.31
1588	Birch-Sweet	Betula	lenta	16	...	...	2	...	Good	<25%	...	3671.1
1589	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1590	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1591	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1592	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1593	Birch-Sweet	Betula	lenta	19	...	...	1	...	Good	<25%	...	4443.48
1594	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1595	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31

1596	Hemlock-Canadian	Tsuga	canadensis	11.5	...	...	1	...	Good	<25%	...	2441.76
1597	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1598	Birch-Sweet	Betula	lenta	12	...	...	2	...	Good	<25%	...	3261.83
1599	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1600	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1601	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1602	Oak-Northern Red	Quercus	rubra	14	...	...	1	...	Good	<25%	...	6031.31
1603	Birch-Sweet	Betula	lenta	13.5	...	...	2	...	Good	<25%	...	4486.56
1604	Oak-Northern Red	Quercus	rubra	29	...	...	1	...	Good	<25%	...	25879.25
1605	Hemlock-Canadian	Tsuga	canadensis	15.5	...	...	1	...	Good	<25%	...	4435.78
1606	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1607	Birch-Sweet	Betula	lenta	16	...	...	2	...	Good	<25%	...	5920.53
1608	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1609	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1610	Oak-Northern Red	Quercus	rubra	28	...	...	1	...	Good	<25%	...	24125.25
1611	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
1612	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1613	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1614	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
1615	Oak-White	Quercus	alba	16	...	...	1	...	Good	<25%	...	7877.63
1616	Oak-White	Quercus	alba	13.5	...	...	1	...	Good	<25%	...	5608.2
1617	Oak-White	Quercus	alba	14.5	...	...	1	...	Good	<25%	...	6469.81
1618	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1619	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1620	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1621	Oak-White	Quercus	alba	11	...	...	1	...	Good	<25%	...	3723.41
1622	Oak-White	Quercus	alba	18	...	...	1	...	Good	<25%	...	9970.13
1623	Oak-White	Quercus	alba	16	...	...	1	...	Good	<25%	...	7877.63
1624	Oak-White	Quercus	alba	13.5	...	...	2	...	Good	<25%	...	10039.37
1625	Oak-White	Quercus	alba	21	...	...	1	...	Good	<25%	...	13570.45
1626	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
1627	Oak-White	Quercus	alba	12.5	...	...	1	...	Good	<25%	...	4808.13
1628	Oak-White	Quercus	alba	16	...	...	1	...	Good	<25%	...	7877.63
1629	Oak-White	Quercus	alba	10	...	...	1	...	Good	<25%	...	3077.2
1630	Oak-White	Quercus	alba	15	...	...	1	...	Good	<25%	...	6923.7
1631	Hickory-Pignut	Carya	glabra	16.5	...	...	2	...	Good	<25%	...	11877.99
1632	Oak-White	Quercus	alba	8	...	...	1	...	Good	<25%	...	1969.41
1633	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
1634	Oak-White	Quercus	alba	15.5	...	...	1	...	Good	<25%	...	7392.97
1635	Oak-White	Quercus	alba	12.5	...	...	1	...	Good	<25%	...	4808.13
1636	Oak-White	Quercus	alba	16	...	...	1	...	Good	<25%	...	7877.63
1637	Oak-White	Quercus	alba	24	...	...	1	...	Good	<25%	...	17724.67
1638	Hickory-Shagbark	Carya	ovata	13	...	...	1	...	Good	<25%	...	4160.37
1639	Beech-American	Fagus	grandifolia	14	...	...	1	...	Good	<25%	...	4825.05
1640	Beech-American	Fagus	grandifolia	14.5	...	...	1	...	Good	<25%	...	5175.85
1641	Oak-White	Quercus	alba	10.5	...	...	1	...	Good	<25%	...	3392.61
1642	Oak-White	Quercus	alba	11	...	...	1	...	Good	<25%	...	3723.41
1643	Oak-White	Quercus	alba	27.5	...	...	1	...	Good	<25%	...	23271.33
1644	Oak-White	Quercus	alba	14	...	...	1	...	Good	<25%	...	6031.31
1645	Birch-Sweet	Betula	lenta	11	...	...	2	...	Good	<25%	...	2720.24
1646	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1647	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	3766.49
1648	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1649	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1650	Birch-Sweet	Betula	lenta	14	...	...	3	...	Good	<25%	...	4089.6
1651	Oak-White	Quercus	alba	20.5	...	...	1	...	Good	<25%	...	12931.93
1652	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
1653	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1654	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1655	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1656	Birch-Sweet	Betula	lenta	13.5	...	...	2	...	Good	<25%	...	3600.32
1657	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1658	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1659	Birch-Sweet	Betula	lenta	19	...	...	2	...	Good	<25%	...	7031.4
1660	Birch-Sweet	Betula	lenta	20.5	...	...	1	...	Good	<25%	...	5172.77
1661	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1662	Birch-Sweet	Betula	lenta	13	...	...	2	...	Good	<25%	...	3852.65
1663	Oak-White	Quercus	alba	21.5	...	...	1	...	Good	<25%	...	14224.36
1664	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1665	Birch-Sweet	Betula	lenta	12.5	...	...	2	...	Good	<25%	...	3551.09
1666	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1667	Birch-Sweet	Betula	lenta	15	...	...	3	...	Good	<25%	...	6465.2
1668	Birch-Sweet	Betula	lenta	12.5	...	...	2	...	Good	<25%	...	3154.13
1669	Oak-White	Quercus	alba	12	...	...	1	...	Good	<25%	...	4431.17
1670	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1671	Birch-Sweet	Betula	lenta	11	...	...	2	...	Good	<25%	...	2720.24
1672	Birch-Sweet	Betula	lenta	25	...	...	1	...	Good	<25%	...	7693
1673	Oak-Northern Red	Quercus	rubra	25	...	...	2	...	Good	<25%	...	33456.86
1674	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1675	Hemlock-Canadian	Tsuga	canadensis	9	...	...	1	...	Good	<25%	...	1495.52
1676	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
1677	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
1678	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1679	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1680	Birch-Sweet	Betula	lenta	8.5	...	...	2	...	Good	<25%	...	1332.43
1681	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1682	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1683	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1684	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1685	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1686	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
1687	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1688	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1689	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
1690	Oak-White	Quercus	alba	9	...	...	1	...	Good	<25%	...	2492.53
1691	Birch-Sweet	Betula	lenta	11	...	...	2	...	Good	<25%	...	2092.5
1692	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
1693	Hemlock-Canadian	Tsuga	canadensis	8.5	...	...	1	...	Good	<25%	...	1333.97
1694	Birch-Sweet	Betula	lenta	13.5	...	...	2	...	Good	<25%	...	4323.47
1695	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1696	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1697	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1698	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1699	Birch-Sweet	Betula	lenta	13	...	...	2	...	Good	<25%	...	4160.37
1700	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53

1701	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1702	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
1703	Birch-Sweet	Betula	lenta	12	...	...	2	...	Fair	<25%	...	2532.1
1704	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1705	Birch-Sweet	Betula	lenta	25	...	...	1	...	Good	<25%	...	7693
1706	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Fair	<25%	...	1899.07
1707	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1708	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Good	<25%	...	9970.13
1709	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1710	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	5182
1711	Birch-Sweet	Betula	lenta	13	...	...	1	...	Fair	<25%	...	1485.85
1712	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1713	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1714	Maple-Red	Acer	rubrum	16	...	...	1	...	Fair	<25%	...	4501.5
1715	Birch-Sweet	Betula	lenta	16	...	...	1	...	Fair	<25%	...	2250.75
1716	Oak-Northern Red	Quercus	rubra	14	...	...	1	...	Good	<25%	...	6031.31
1717	Oak-Northern Red	Quercus	rubra	25	...	...	1	...	Good	<25%	...	19232.5
1718	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
1719	Birch-Sweet	Betula	lenta	10	...	...	1	...	Fair	<25%	...	879.2
1720	Birch-Sweet	Betula	lenta	16	...	...	2	...	Good	<25%	...	3594.17
1721	Oak-White	Quercus	alba	12	...	...	1	...	Fair	<25%	...	3165.12
1722	Beech-American	Fagus	grandifolia	8	...	...	1	...	Fair	<25%	...	1125.38
1723	Birch-Sweet	Betula	lenta	8	...	...	1	...	Fair	<25%	...	562.69
1724	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
1725	Oak-White	Quercus	alba	13	...	...	1	...	Fair	<25%	...	3714.62
1726	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Good	<25%	...	6923.7
1727	Birch-Sweet	Betula	lenta	12	...	...	2	...	Good	<25%	...	3261.83
1728	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
1729	Oak-Northern Red	Quercus	rubra	16	...	...	1	...	Good	<25%	...	7877.63
1730	Oak-White	Quercus	alba	10	...	...	1	...	Good	<25%	...	3077.2
1731	Oak-White	Quercus	alba	20	...	...	1	...	Good	<25%	...	12308.8
1732	Birch-Sweet	Betula	lenta	12	...	...	1	...	Fair	<25%	...	1266.05
1733	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1734	Oak-White	Quercus	alba	13	...	...	1	...	Good	<25%	...	5200.47
1735	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
1736	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Poor	<25%	...	1139.44
1737	Oak-Northern Red	Quercus	rubra	26	...	...	1	...	Good	<25%	...	20801.87
1738	Oak-White	Quercus	alba	12	...	...	1	...	Fair	<25%	...	3165.12
1739	Maple-Red	Acer	rubrum	10	...	...	1	...	Fair	<25%	...	1758.4
1740	Birch-Sweet	Betula	lenta	18	...	...	1	...	Good	<25%	...	3988.05
1741	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
1742	Birch-Sweet	Betula	lenta	19	...	...	1	...	Fair	<25%	...	3173.91
1743	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
1744	Birch-Sweet	Betula	lenta	9	...	...	1	...	Fair	<25%	...	712.15
1745	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1746	Birch-Sweet	Betula	lenta	22	...	...	1	...	Good	<25%	...	5957.46
1747	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1748	Birch-Sweet	Betula	lenta	21	...	...	1	...	Good	<25%	...	5428.18
1749	Maple-Sugar	Acer	saccharum	15	...	...	1	...	Good	<25%	...	6923.7
1750	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1751	Elm-American	Ulmus	americana	13	...	...	1	...	Fair	<25%	...	2228.77
1752	Hemlock-Canadian	Tsuga	canadensis	14	...	...	1	...	Poor	<25%	...	1550.91
1753	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
1754	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Fair	<25%	...	1780.38
1755	Maple-Red	Acer	rubrum	17	...	...	1	...	Good	<25%	...	7114.49
1756	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Fair	<25%	...	844.03
1757	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Fair	<25%	...	1406.72
1758	Maple-Sugar	Acer	saccharum	15	...	...	1	...	Good	<25%	...	6923.7
1759	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Fair	<25%	...	1595.75
1760	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1761	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
1762	Maple-Sugar	Acer	saccharum	10	...	...	1	...	Good	<25%	...	3077.2
1763	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Fair	<25%	...	1406.72
1764	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Fair	<25%	...	1318.8
1765	Maple-Sugar	Acer	saccharum	14	...	...	1	...	Good	<25%	...	6031.31
1766	Birch-Sweet	Betula	lenta	19	...	...	1	...	Fair	<25%	...	3173.91
1767	Maple-Sugar	Acer	saccharum	9	...	...	1	...	Good	<25%	...	2492.53
1768	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1769	Maple-Sugar	Acer	saccharum	13	...	...	1	...	Good	<25%	...	5200.47
1770	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Fair	<25%	...	844.03
1771	Ash-White	Fraxinus	americana	9	...	...	1	...	Poor	<25%	...	427.29
1772	Hickory-Pignut	Carya	glabra	16	...	...	3	...	Good	<25%	...	12308.8
1773	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
1774	Hemlock-Canadian	Tsuga	canadensis	10	...	...	1	...	Poor	<25%	...	791.28
1775	Beech-American	Fagus	grandifolia	11	...	...	1	...	Fair	<25%	...	2127.66
1776	Hickory-Pignut	Carya	glabra	19	...	...	1	...	Fair	<25%	...	6347.82
1777	Hemlock-Canadian	Tsuga	canadensis	12	...	...	1	...	Fair	<25%	...	1899.07
1778	Hickory-Shagbark	Carya	ovata	13	...	...	1	...	Good	<25%	...	4160.37
1779	Hemlock-Canadian	Tsuga	canadensis	13	...	...	1	...	Fair	<25%	...	2228.77
1780	Hickory-Shagbark	Carya	ovata	18	...	...	1	...	Good	<25%	...	7976.1
1781	Hickory-Pignut	Carya	glabra	14	...	...	1	...	Good	<25%	...	4825.05
1782	Oak-Northern Red	Quercus	rubra	32	...	...	1	...	Good	<25%	...	30872.35
1783	Beech-American	Fagus	grandifolia	23	...	...	1	...	Good	<25%	...	13022.71
1784	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	4541.95
1785	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1786	Hemlock-Canadian	Tsuga	canadensis	38	...	...	1	...	Fair	<25%	...	17852.69
1787	Birch-Sweet	Betula	lenta	16	...	...	1	...	Fair	<25%	...	2250.75
1788	Hemlock-Canadian	Tsuga	canadensis	8	...	...	1	...	Poor	<25%	...	506.42
1789	Birch-Sweet	Betula	lenta	14	...	...	1	...	Fair	<25%	...	1723.23
1790	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1791	Birch-Sweet	Betula	lenta	12	...	...	2	...	Fair	<25%	...	1828.74
1792	Oak-Northern Red	Quercus	rubra	16	...	...	1	...	Fair	<25%	...	5626.88
1793	Oak-Northern Red	Quercus	rubra	13	...	...	1	...	Fair	<25%	...	3714.62
1794	Maple-Sugar	Acer	saccharum	8	...	...	2	...	Good	<25%	...	2246.36
1795	Oak-Northern Red	Quercus	rubra	28	...	...	1	...	Good	<25%	...	24125.25
1796	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
1797	Oak-Northern Red	Quercus	rubra	26	...	...	1	...	Good	<25%	...	20801.87
1798	Beech-American	Fagus	grandifolia	22	...	...	1	...	Fair	<25%	...	8510.66
1799	Oak	Quercus	sp	23	...	...	2	...	Good	<25%	...	17847.76
1800	Oak	Quercus	sp	9	...	...	1	...	Fair	<25%	...	1424.3
1801	Birch-Sweet	Betula	lenta	19.5	...	...	1	...	Good	<25%	...	4680.42
1802	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1803	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
1804	Birch-Sweet	Betula	lenta	11	...	...	2	...	Good	<25%	...	2846.41
1805	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28

1806	Oak-White	Quercus	alba	18	...	...	1	...	Good	<25%	...	9970.13
1807	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
1808	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1809	Birch-Sweet	Betula	lenta	13.5	...	...	2	...	Good	<25%	...	3240.29
1810	Birch-Sweet	Betula	lenta	13	...	...	2	...	Good	<25%	...	2867.95
1811	Birch-Sweet	Betula	lenta	14.5	...	...	2	...	Good	<25%	...	3477.24
1812	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1813	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1814	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1815	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
1816	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1817	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1818	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
1819	Oak-White	Quercus	alba	19	...	...	1	...	Good	<25%	...	11108.69
1820	Birch-Sweet	Betula	lenta	20.5	...	...	1	...	Good	<25%	...	5172.77
1821	Oak-White	Quercus	alba	10.5	...	...	1	...	Good	<25%	...	3392.61
1822	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
1823	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1824	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1825	Beech-American	Fagus	grandifolia	22	...	...	1	...	Good	<25%	...	11914.92
1826	Hickory-Pignut	Carya	glabra	15	...	...	1	...	Good	<25%	...	5538.96
1827	Hickory-Pignut	Carya	glabra	10	...	...	1	...	Good	<25%	...	2461.76
1828	Maple-Sugar	Acer	saccharum	13.5	...	...	1	...	Good	<25%	...	5608.2
1829	Hickory-Pignut	Carya	glabra	16	...	...	1	...	Good	<25%	...	6302.11
1830	Beech-American	Fagus	grandifolia	10	...	...	1	...	Good	<25%	...	2461.76
1831	Beech-American	Fagus	grandifolia	19.5	...	...	1	...	Good	<25%	...	9360.84
1832	Beech-American	Fagus	grandifolia	19.5	...	...	1	...	Good	<25%	...	9360.84
1833	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1834	Birch-Sweet	Betula	lenta	21	...	...	2	...	Good	<25%	...	9871.66
1835	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1836	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
1837	Oak-Northern Red	Quercus	rubra	21	...	...	1	...	Good	<25%	...	13570.45
1838	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1839	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
1840	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1841	Birch-Sweet	Betula	lenta	35	...	...	1	...	Good	<25%	...	14553
1842	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
1843	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
1844	Birch-Sweet	Betula	lenta	12.5	...	...	1	...	Good	<25%	...	1923.25
1845	Birch-Sweet	Betula	lenta	13	...	...	3	...	Good	<25%	...	3043.35
1846	Beech-American	Fagus	grandifolia	16	...	...	1	...	Good	<25%	...	6302.11
1847	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1848	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1849	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1850	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Good	<25%	...	9970.13
1851	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1852	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1853	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1854	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1855	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1856	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1857	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
1858	Birch-Sweet	Betula	lenta	15	...	...	2	...	Good	<25%	...	4849.67
1859	Birch-Sweet	Betula	lenta	15.5	...	...	1	...	Good	<25%	...	2957.19
1860	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1861	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1862	Birch-Sweet	Betula	lenta	10	...	...	2	...	Good	<25%	...	2018.64
1863	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1864	Oak-Northern Red	Quercus	rubra	20.5	...	...	1	...	Good	<25%	...	12931.93
1865	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1866	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1867	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1868	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1869	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
1870	Oak-Northern Red	Quercus	rubra	13.5	...	...	1	...	Good	<25%	...	5608.2
1871	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1872	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Good	<25%	...	2234.05
1873	Oak-Northern Red	Quercus	rubra	20.5	...	...	1	...	Good	<25%	...	12931.93
1874	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1875	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
1876	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1877	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1878	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1879	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1880	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1881	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1882	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1883	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1884	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
1885	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
1886	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1887	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
1888	Birch-Sweet	Betula	lenta	13.5	...	...	1	...	Good	<25%	...	2243.28
1889	Oak-Northern Red	Quercus	rubra	19	...	...	1	...	Good	<25%	...	11108.69
1890	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1891	Birch-Sweet	Betula	lenta	8	...	...	2	...	Good	<25%	...	1230.88
1892	Birch-Sweet	Betula	lenta	9	...	...	1	...	Good	<25%	...	997.01
1893	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
1894	Oak-White	Quercus	alba	12.5	...	...	1	...	Good	<25%	...	4808.13
1895	Oak-Northern Red	Quercus	rubra	18	...	...	1	...	Good	<25%	...	9970.13
1896	Oak-White	Quercus	alba	13.5	...	...	1	...	Good	<25%	...	5608.2
1897	Oak-White	Quercus	alba	198	...	...	1	...	Good	<25%	...	-19558.5
1898	Birch-Sweet	Betula	lenta	8.5	...	...	2	...	Good	<25%	...	1492.44
1899	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1900	Birch-Sweet	Betula	lenta	17	...	...	2	...	Good	<25%	...	4914.29
1901	Birch-Sweet	Betula	lenta	16.5	...	...	1	...	Good	<25%	...	3351.07
1902	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1903	Oak-White	Quercus	alba	23.5	...	...	1	...	Good	<25%	...	16993.84
1904	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1905	Birch-Sweet	Betula	lenta	8.5	...	...	1	...	Good	<25%	...	889.31
1906	Beech-American	Fagus	grandifolia	9	...	...	1	...	Good	<25%	...	1994.03
1907	Birch-Sweet	Betula	lenta	11	...	...	1	...	Good	<25%	...	1489.36
1908	Birch-Sweet	Betula	lenta	22.5	...	...	1	...	Good	<25%	...	6231.33
1909	Beech-American	Fagus	grandifolia	8.5	...	...	1	...	Good	<25%	...	1778.62
1910	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47

1911	Oak-Northern Red	Quercus	rubra	23.5	...	...	1	...	Good	<25%	...	16993.84
1912	Oak-White	Quercus	alba	18.5	...	...	1	...	Good	<25%	...	10531.72
1913	Birch-Sweet	Betula	lenta	17	...	...	1	...	Good	<25%	...	3557.24
1914	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1915	Oak-Northern Red	Quercus	rubra	18.5	...	...	1	...	Good	<25%	...	10531.72
1916	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1110.87
1917	Beech-American	Fagus	grandifolia	9.5	...	...	1	...	Good	<25%	...	2221.74
1918	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1919	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1920	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1921	Birch-Sweet	Betula	lenta	12	...	...	1	...	Good	<25%	...	1772.47
1922	Birch-Sweet	Betula	lenta	9.5	...	...	1	...	Good	<25%	...	1418.59
1923	Birch-Sweet	Betula	lenta	20	...	...	1	...	Good	<25%	...	4923.52
1924	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1925	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1926	Hemlock-Canadian	Tsuga	canadensis	11	...	...	1	...	Good	<25%	...	2234.05
1927	Beech-American	Fagus	grandifolia	11	...	...	1	...	Good	<25%	...	2978.73
1928	Hickory-Pignut	Carya	glabra	13	...	...	3	...	Good	<25%	...	10000.9
1929	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1930	Birch-Sweet	Betula	lenta	17.5	...	...	1	...	Good	<25%	...	3769.57
1931	Birch-Sweet	Betula	lenta	32	...	...	1	...	Good	<25%	...	12348.94
1932	Birch-Sweet	Betula	lenta	16	...	...	1	...	Good	<25%	...	3151.05
1933	Beech-American	Fagus	grandifolia	9.5	...	...	1	...	Good	<25%	...	2221.74
1934	Maple-Sugar	Acer	saccharum	17	...	...	1	...	Good	<25%	...	8893.11
1935	Beech-American	Fagus	grandifolia	10.5	...	...	2	...	Good	<25%	...	3107.97
1936	Birch-Sweet	Betula	lenta	19.5	...	...	1	...	Good	<25%	...	4680.42
1937	Maple-Sugar	Acer	saccharum	9.5	...	...	1	...	Good	<25%	...	2777.17
1938	Maple-Sugar	Acer	saccharum	8	...	...	1	...	Good	<25%	...	1969.41
1939	Oak-Northern Red	Quercus	rubra	14	...	...	1	...	Good	<25%	...	6031.31
1940	Oak-Northern Red	Quercus	rubra	23.5	...	...	1	...	Good	<25%	...	16993.84
1941	Hickory-Pignut	Carya	glabra	16.5	...	...	1	...	Good	<25%	...	6702.14
1942	Hemlock-Canadian	Tsuga	canadensis	9.5	...	...	1	...	Good	<25%	...	1666.3
1943	Beech-American	Fagus	grandifolia	10.5	...	...	1	...	Good	<25%	...	2714.09
1944	Hickory-Pignut	Carya	glabra	8	...	...	1	...	Good	<25%	...	1575.53
1945	Hickory-Pignut	Carya	glabra	14	...	...	1	...	Good	<25%	...	4825.05
1946	Hickory-Pignut	Carya	glabra	16.5	...	...	1	...	Good	<25%	...	6702.14
1947	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1948	Hickory-Pignut	Carya	glabra	16.5	...	...	1	...	Good	<25%	...	6702.14
1949	Hickory-Pignut	Carya	glabra	18	...	...	1	...	Good	<25%	...	7976.1
1950	Oak-Northern Red	Quercus	rubra	23	...	...	1	...	Good	<25%	...	16278.39
1951	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1952	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1953	Hickory-Pignut	Carya	glabra	19	...	...	2	...	Good	<25%	...	13712
1954	Beech-American	Fagus	grandifolia	11.5	...	...	1	...	Good	<25%	...	3255.68
1955	Hickory-Pignut	Carya	glabra	18.5	...	...	1	...	Good	<25%	...	8425.37
1956	Hickory-Pignut	Carya	glabra	12	...	...	1	...	Good	<25%	...	3544.93
1957	Maple-Red	Acer	rubrum	9	...	...	1	...	Good	<25%	...	1994.03
1958	Hickory-Pignut	Carya	glabra	8	...	...	1	...	Good	<25%	...	1575.53
1959	Hickory-Pignut	Carya	glabra	18	...	...	1	...	Good	<25%	...	7976.1
1960	Oak-White	Quercus	alba	19.5	...	...	2	...	Good	<25%	...	19578.69
1961	Birch-Sweet	Betula	lenta	15	...	...	1	...	Good	<25%	...	2769.48
1962	Oak-White	Quercus	alba	17.5	...	...	1	...	Good	<25%	...	9423.93
1963	Oak-White	Quercus	alba	29	...	...	1	...	Good	<25%	...	25879.25
1964	Birch-Sweet	Betula	lenta	9	...	...	3	...	Good	<25%	...	1907.86
1965	Birch-Sweet	Betula	lenta	10.5	...	...	1	...	Good	<25%	...	1357.05
1966	Oak-Northern Red	Quercus	rubra	24.5	...	...	2	...	Good	<25%	...	30779.69
1967	Beech-American	Fagus	grandifolia	8.5	...	...	1	...	Good	<25%	...	1778.62
1968	Birch-Sweet	Betula	lenta	9	...	...	2	...	Good	<25%	...	1517.06
1969	Oak-Northern Red	Quercus	rubra	15	...	...	1	...	Good	<25%	...	6923.7
1970	Oak-Northern Red	Quercus	rubra	11	...	...	1	...	Good	<25%	...	3723.41
1971	Maple-Red	Acer	rubrum	8	...	...	1	...	Good	<25%	...	1575.53
1972	Maple-Sugar	Acer	saccharum	18.5	...	...	1	...	Good	<25%	...	10531.72
1973	Oak-White	Quercus	alba	8	...	...	1	...	Good	<25%	...	1969.41
1974	Hickory-Shagbark	Carya	ovata	11	...	...	1	...	Good	<25%	...	2978.73
1975	Maple-Red	Acer	rubrum	15	...	...	1	...	Good	<25%	...	5538.96
1976	Hickory-Shagbark	Carya	ovata	12	...	...	1	...	Good	<25%	...	3544.93
1977	Oak-White	Quercus	alba	19	...	...	1	...	Good	<25%	...	11108.69
1978	Oak-White	Quercus	alba	9.5	...	...	1	...	Good	<25%	...	2777.17
1979	Oak-Northern Red	Quercus	rubra	24	...	...	1	...	Good	<25%	...	17724.67
1980	Oak-White	Quercus	alba	11	...	...	1	...	Good	<25%	...	3723.41
1981	Birch-Sweet	Betula	lenta	25	...	...	1	...	Good	<25%	...	7693
1982	Oak-Northern Red	Quercus	rubra	13	...	...	1	...	Good	<25%	...	5200.47
1983	Oak-Northern Red	Quercus	rubra	23.5	...	...	1	...	Good	<25%	...	16993.84
1984	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
1985	Birch-Sweet	Betula	lenta	14	...	...	1	...	Good	<25%	...	2412.52
1986	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
1987	Beech-American	Fagus	grandifolia	8	...	...	1	...	Good	<25%	...	1575.53
1988	Birch-Sweet	Betula	lenta	14.5	...	...	1	...	Good	<25%	...	2587.93
1989	Birch-Sweet	Betula	lenta	19	...	...	2	...	Good	<25%	...	8431.53
1990	Birch-Sweet	Betula	lenta	13	...	...	1	...	Good	<25%	...	2080.19
1991	Oak-Northern Red	Quercus	rubra	14.5	...	...	1	...	Good	<25%	...	6469.81
1992	Maple-Red	Acer	rubrum	12	...	...	2	...	Good	<25%	...	6800.61
1993	Birch-Sweet	Betula	lenta	10	...	...	1	...	Good	<25%	...	1230.88
1994	Birch-Sweet	Betula	lenta	19.5	...	...	2	...	Good	<25%	...	5123.54
1995	Maple-Red	Acer	rubrum	14	...	...	1	...	Good	<25%	...	4825.05
1996	Maple-Red	Acer	rubrum	11	...	...	1	...	Good	<25%	...	2978.73
1997	Birch-Sweet	Betula	lenta	11.5	...	...	1	...	Good	<25%	...	1627.84
1998	Birch-Sweet	Betula	lenta	8	...	...	1	...	Good	<25%	...	787.76
1999	Hickory-Pignut	Carya	glabra	8.5	...	...	1	...	Good	<25%	...	1778.62
2000	Birch-Sweet	Betula	lenta	18.5	...	...	1	...	Good	<25%	...	4212.69

To: Yorktown Planning Board
From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: 3 January 2022
cc: Yorktown Planning Dept. (J. Tegeder, R. Steinberg, N. Calicchia); Engineering Dept. (L. Kobiliak); Conservation Board (K. Hughes); Town Supervisor (M. Slater); Town Clerk (D. Quast); TCAC members (L. Klein, T. Schmitt, K. Schepart)

Re: Proposed solar facility at 3849 Foothill Street

Dear Chairman Fon and members of the Planning Board:

The TCAC received additional documents relating to this project on 28 December 2021. The TCAC finds that the current submission fails to meet the requirements of the Chapter 270 tree ordinance for the following reasons:

1. The submittal includes a drawing C006 – LANDSCAPING & PLANTING FOR MITIGATION PLAN. This plan shows the developer is proposing to plant 179 evergreen trees and 33 evergreen shrubs. Considering that a very large number of trees are to be removed and significant protected woodlands will be disturbed, the TCAC's position is that this mitigation is inadequate. Chapter 270-10.B.(1) states "All nonadministrative permits require mitigation." Chapter 270-10.D.(1)states "The approval authority shall require the preparation of a mitigation plan …..". According to Chapter 270-4's definition of a MITIGATION PLAN states "…. The goal of such plan is to replace the functions carried out by the protected trees and woodlands affected by the proposed activity." A revised mitigation plan must be submitted. Chapter270-10.C.(1) through (5) gives options for mitigation.
2. Furthermore, drawing C006 shows the proposed plantings "INSTALLED SIZE" in heights not DBH. This needs to be corrected so that a mitigation ration can be calculated.
3. The submittal does not contain a tree removal plan. Chapter 270-8.A.(1)(b) requires that applications contain "A plan or sketch showing proposed tree removals and proposed mitigation …..". Chapter 270-8.C.(1)(c) requires a plan that shows "Within the proposed area of disturbance, the number, location and species of protected trees to be removed."
4. The Arborist has previously provided a 28 June 2021 tree inventory. The Arborist shows that 1871 trees are to be removed. However, he has not calculated the number of protected trees to be removed. He needs to provide this calculation.
5. The submittal does not contain a plan showing the protected woodlands to be disturbed. Chapter 270-8.C.(1)(b) requires that applications contain a plan that shows "Within the proposed area of disturbance the location of existing …… protected woodlands." Furthermore, Chapter 270-8.C.(1)(c) requires a plan that shows "The square footage and boundaries of protected woodlands that will be disturbed." The submittal does contain a drawing C002 – SITE PLAN that has notes on it that says

"LIMITS OF TREE CLEARING (TYP.)" If this is the line of protected woodlands, it should say so.

The Engineer and Arborist must correct the above noted deficiencies and resubmit a revised letter and plans. Until these changes are made, this proposal should not be allowed to advance further in the Planning Board review process.

Sincerely,

Tree Conservation Advisory Commission
Lawrence W. Klein, PE, Member
Keith Schepart, ISA, Member
Tom Schmitt, Member

Robyn Steinberg

From: Leigh G. Jones <ljones@bartonandloguidice.com>
Sent: Tuesday, January 4, 2022 1:51 PM
To: Robyn Steinberg; John Tegeder; Nancy Calicchia
Subject: RE: Yorktown Foothill Street Response Letter

Thank you, Robyn. We will file that on our end. Down to two (2) items now.

Leigh G. Jones, P.L.A.
Barton&Loguidice

From: Robyn Steinberg [mailto:rsteinberg@yorktownny.org]
Sent: Tuesday, January 4, 2022 1:48 PM
To: Leigh G. Jones <ljones@bartonandloguidice.com>; John Tegeder <jtegeder@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>
Subject: RE: Yorktown Foothill Street Response Letter

Leigh,

Thanks for this response. Attached is the memo from the Fire Inspector to check off that item.

Robyn

****

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598
Phone | 914-962-6565
Email | rsteinberg@yorktownny.org
Web | http://www.yorktownny.org/planning

From: Leigh G. Jones <ljones@bartonandloguidice.com>
Sent: Tuesday, January 4, 2022 1:41 PM
To: John Tegeder <jtegeder@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>
Subject: Yorktown Foothill Street Response Letter

Happy New Year all!

We received a response letter from Joe Shanahan regarding the 3849 Foothill Street project that you were cc'ed on, John, so I assuming that you received it as well. I have attached for reference regardless.

We have reviewed the letter and this satisfies our glare analysis comment (FAA No Hazard Approval) from our comment letter from 12/6/21, which I have also attached for reference.

The following comments still need to be addressed;

Part 1 of the Long Form EAF

1. Item 10: In regards to section D.1.g.i., the total number of structures is listed as "0.07±". This is unclear. Total number of structures should refer to the total number of solar mounts (i.e. a whole number). If you would like to refer to the number of structures as an area, please provide units.

Permitting Site Plans

1. Item 17: The site plans have been adjusted to provide the sight distances, however both sight distances are noted as "Sight Distance to the Right:" Please clarify that the Sight distance of 431' should be denoted as "Sight Distance to the Left: 431'±"

Additional Information and Anticipated Permits/Coordination

1. Item 5: B&L has not received the letter from the Mohegan Volunteer Fire Department acknowledging receipt of the plans and verifying approval of proposed access for fire and emergency vehicles. Please ensure that has been completed and will be submitted along with final application.

We will wait for further comments. Let me know if you would like a more formal response than this email at this time and/or if you would like us to inform the applicant.

Thank you.

Leigh G. Jones, P.L.A.
Senior Managing Landscape Architect

Barton&Loguidice
Office: 914.232.3646
Mobile: 917.861.3032
Email: ljones@bartonandloguidice.com
Website | LinkedIn | Twitter | Facebook | Vimeo

Nancy Calicchia

From: Shanahan, Joseph <ShanahanJ@conedceb.com>
Sent: Tuesday, December 28, 2021 4:19 PM
To: John Tegeder
Cc: Robyn Steinberg; Nancy Calicchia; Edward Kolisz; Engineering Department; Matthew Slater; Redding, Eric; Darbouze, Websly; gracelaw1@aol.com; Lord, Jeffrey; BILL LOCKWOOD
Subject: Proposed Solar Project - 3849 Foothill Street
Attachments: Yorktown A_Memo to Pl Bd re FAA Determination of No Hazard_12-28-2021.pdf

Good afternoon John.
This is in further response to the comment letter prepared by Leigh G. Jones, PLA from Barton & Loguidice with regard to the subject Project dated December 6, 2021. Our consulting engineers, Bergmann, first responded to that comment letter on December 16, 2021. In the comment letter, with regard to "Glare Analysis," the Applicant was asked to "Please ... file with
the FAA again for an updated determination (Determination of No Hazard to Air Navigation)." Bergmann responded that the Applicant had filed again with the FAA on December8, 2021, but had not yet received an updated Determination.
This is to advise that, on December 28, 2021, the FAA did issue an updated Determination of No Hazard to Air Navigation in connection with the subject Project. A Memo and copies of the relevant paperwork from the FAA (8 pages) are attached for the Planning Board's file. I have also sent hard copies of this package to you and Ms. Jones by USPS Priority Mail Express.
I believe that, with this Determination, the few outstanding items mentioned in the outside consultant's letter of December 6, 2021 have now been satisfactorily addressed and, as Ms. Jones indicated in that letter, Barton & Loguidice is now "in approval of this application."

Also ...
In follow-up to Fire Inspector Kolisz's Memo to the Planning Board dated October 29, 2021 and our response to him, our consulting engineer, our Manager of Environmental, Health
and Safety, and I met with the Inspector and the Fire Chief at the project site on December 20, 2021. The site visit went well and I expect that Inspector Kolisz will issue a follow-up Memo approving the project, with certain conditions which we have already agreed upon, shortly. I ask that your office please provide me with a copy of that follow-up Memo as soon as it is received.
Further ...
Our consulting engineers telephoned the Town Engineer, Dan Ciarcia, today to inquire about his review of their responses to his comment letter of December 14, 2021. Mr. Ciarcia indicated that he had not yet reviewed those responses, but that he would shortly and issue a follow-up letter to the Planning Board in advance of the Continued Public Hearing on January 10, 2021.
Again, I ask that your office please provide me with a copy of that follow-up letter as soon as it is received.
Finally ...
Presuming that you receive the above-mentioned approvals from both the Fire Inspector and the Town Engineer prior to the Continued Public Hearing on January 10, I would hope that the Planning Board would

close the Public Hearing on that date and request that a Resolution approving the project be prepared for consideration at the Board's next regularly scheduled meeting.
If you are aware of any outstanding issues that should be addressed in order to close the Public Hearing, I would appreciate you advising me of them ASAP.
As always, your consideration of these matters is appreciated.
If you have any questions with regard to this matter, please do not hesitate to contact me.
Joe

Joe Shanahan
Project Developer

Con Edison Clean Energy Businesses
100 Summit Lake Drive
Valhalla, NY 10595
M: (978) 888-4088
E: ShanahanJ@conedceb.com
W: ConEdCEB.com

MEMO

FROM: Joe Shanahan, Project Developer, Con Edison Clean Energy Businesses

TO: John A. Tegeder, R.A., Director of Planning, Town of Yorktown
Leigh G. Jones, PLA, Barton & Loguidice, D.P.C.

SUBJECT: Further Response to Outside Consultant Environmental Review Comment Letter
Proposed Solar Project – 3849 Foothill Street

DATE: December 28, 2021

VIA: USPS to John A. Tegeder and Leigh G. Jones
Email to jtegeder@yorktownny.org and rsteinberg@yorktownny.org

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This Memo is provided in further response to the comment letter prepared by Leigh G. Jones, PLA from Barton & Loguidice with regard to the subject Project dated December 6, 2021. Bergmann, on behalf of Con Edison Clean Energy Businesses, first responded to that comment letter on December 16, 2021.

In the comment letter, with regard to "Glare Analysis," the Applicant was asked to "Please ... file with the FAA again for an updated determination (Determination of No Hazard to Air Navigation)." Bergmann responded that the Applicant had filed again with the FAA on December 8, 2021, but had not yet received an updated Determination.

This is to advise that, on December 28, 2021, the FAA did issue an updated Determination of No Hazard to Air Navigation in connection with the subject Project. Copies of the relevant paperwork from the FAA (8 pages) are enclosed herewith.

If you have any questions with regard to this matter, please do not hesitate to contact me at shanahanj@conedceb.com or 978.888.4088.

Status of FAA Filing 2021-AEA-17307-OE, 2021-AEA-17308-OE, 2021-AEA-17309-OE, 2021-AEA-17310-OE (DNE)

Your filing is assigned Aeronautical Study Number 2021-AEA-17307-OE, 2021-AEA-17308-OE, 2021-AEA-17309-OE, 2021-AEA-17310-OE.

An aeronautical study has been completed and the FAA issued a determination. To review your electronic record, go to our website oeaaa.faa.gov and select the Search Archives link to locate your case using the Aeronautical Study Number (ASN). Copies of your letter are available on the website for your convenience. Please review the letter and adhere to all conditions.

After reviewing your determination if you require additional assistance, please contact Stephanie Kimmel via phone: (404) 305-6582 or email: Stephanie.Kimmel@faa.gov. Please refer to the assigned ASN on all future inquiries regarding this filing.

To ensure e-mail notifications are delivered to your inbox please add noreply@faa.gov to your address book. Notifications sent from this address are system generated FAA e-mails and replies to this address will NOT be read or forwarded for review. Each system generated e-mail will contain specific FAA contact information in the text of the message.

Federal Aviation Administration

« OE/AAA

My Cases In DETERMINED Status

View Letters - Desk Reference Guide V_2020-DEC.2

Please refer to the assigned ASN on all inquiries to the FAA

All Cases	Filter by Case Status	Cases Requiring Action
Show All Cases (4)	Draft (0) | Accepted (0) | Work In Progress (0) Interim (0) | Determined (4) | Circularized (0) | Terminated (0)	Waiting (0) | 7460-2 Required (0) | Add Letter (0) Cases Due to Expire (0)

Records 1 to 4 of 4

Page 1 of 1

View Folder | Create Folder | Manage Folders | Transfer Cases

Transfer Cases - Desk Reference Guide V_2018.2.0

	ASN	Folder Name	Project Name	Structure Name	Status	Date Accepted	Date Determined	7460-2 Received	City	State
☐	2021-AEA-17307-OE		CONED-000682917-21	Yorktown A	Determined	12/08/2021	12/28/2021		Mount Kisco	NY
☐	2021-AEA-17308-OE		CONED-000682917-21	Yorktown A	Determined	12/08/2021	12/28/2021		Mount Kisco	NY
☐	2021-AEA-17309-OE		CONED-000682917-21	Yorktown A	Determined	12/08/2021	12/28/2021		Mount Kisco	NY
☐	2021-AEA-17310-OE		CONED-000682917-21	Yorktown A	Determined	12/08/2021	12/28/2021		Mount Kisco	NY

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Records 1 to 4 of 4

Rows per Page: 20

Page: 1

Page 1 of 1

Draft: Cases that have been saved by the user but have not been submitted to the FAA.
Waiting: Wind Turbine/Met Tower (w/WT Farm) cases that have not been submitted to the FAA and are waiting for an action from the user, either to verify the map or attach specific documents
Accepted: Cases that have been submitted to the FAA.
Add Letter: Cases that have been reviewed by the FAA and require additional information from the user.
Work In Progress: Cases that are being evaluated by the FAA.
Interim: Cases that have been reviewed by the FAA and require resolution from the user.
Determined: Cases that have a completed aeronautical study and an FAA determination.
Terminated: Cases that are no longer valid.
Please allow the FAA a minimum of 45 days to complete a study.

Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-AEA-17307-OE

Issued Date: 12/28/2021

Joseph Shanahan
ConEd CEB
41 Hanks Street
Lowell, MA 01852

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Solar Panel Yorktown A
Location:	Mount Kisco, NY
Latitude:	41-20-03.30N NAD 83
Longitude:	73-51-41.29W
Heights:	273 feet site elevation (SE)
	12 feet above ground level (AGL)
	285 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 06/28/2023 unless:

(a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
(b) extended, revised, or terminated by the issuing office.
(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

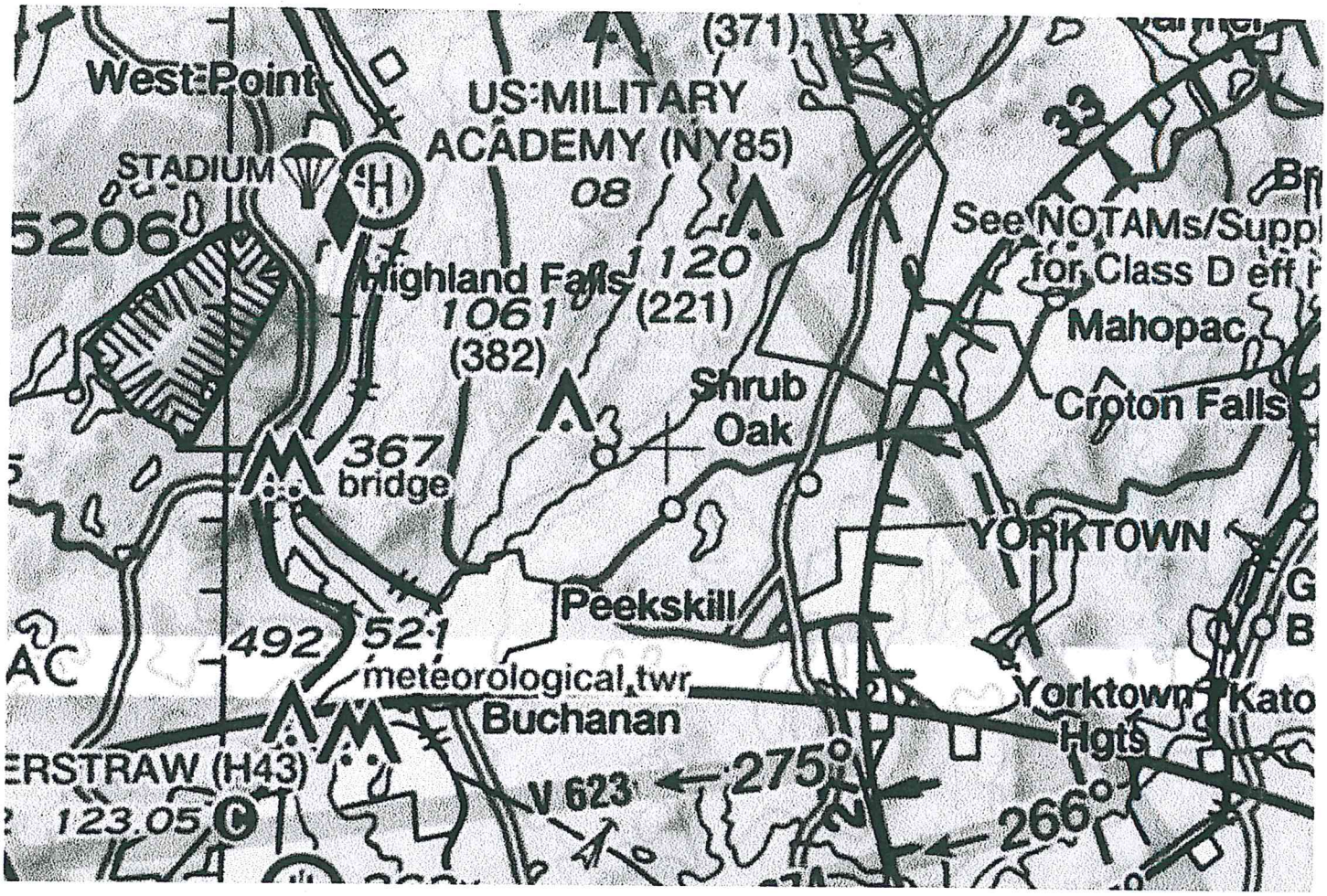
This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (404) 305-6582, or Stephanie.Kimmel@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-AEA-17307-OE.

Signature Control No: 503945423-505995312 (DNE)
Stephanie Kimmel
Specialist

Attachment(s)
Map(s)


West Point
US MILITARY ACADEMY (NY85)
STADIUM
08
5206
Highland Falls
1061
(382)
1120
(221)
See NOTAMs/Supp
for Class D eff
Mahopac
Shrub Oak
Croton Falls
367
bridge
YORKTOWN
Peekskill
492
521
meteorological twr
Buchanan
Yorktown Hgts
ERSTRAW (H43)
123.05
V 623
275°
266°

Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-AEA-17308-OE

Issued Date: 12/28/2021

Joseph Shanahan
ConEd CEB
41 Hanks Street
Lowell, MA 01852

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Solar Panel Yorktown A
Location:	Mount Kisco, NY
Latitude:	41-19-54.70N NAD 83
Longitude:	73-51-30.23W
Heights:	366 feet site elevation (SE) 12 feet above ground level (AGL) 378 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 06/28/2023 unless:

(a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
(b) extended, revised, or terminated by the issuing office.
(c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-AEA-17309-OE

Issued Date: 12/28/2021

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**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

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Structure:	Solar Panel Yorktown A
Location:	Mount Kisco, NY
Latitude:	41-19-54.70N NAD 83
Longitude:	73-51-28.11W
Heights:	389 feet site elevation (SE)
	12 feet above ground level (AGL)
	401 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

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Fort Worth, TX 76177

Aeronautical Study No.
2021-AEA-17310-OE

Issued Date: 12/28/2021

Joseph Shanahan
ConEd CEB
41 Hanks Street
Lowell, MA 01852

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Solar Panel Yorktown A
Location:	Mount Kisco, NY
Latitude:	41-20-03.78N NAD 83
Longitude:	73-51-25.94W
Heights:	319 feet site elevation (SE)
	12 feet above ground level (AGL)
	331 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 06/28/2023 unless:

(a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
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Town of Yorktown *www.yorktownny.org*

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.254 Fax (914) 962-1731

MEMORANDUM

Edward Kolisz, Fire Inspector
Telephone (914) 962 5722 ext. 254 Email: ekolisz@yorktownny.org Office hours: Weekdays 9:00-10:00 a.m., 3:30-5:00 p.m.

TO: Planning Board, Town of Yorktown
From: Edward Kolisz, Fire Inspector
Re: **Foothill Street Solar Farm Project**
Date: December 29, 2021

On Tuesday December 21, 2021 Chief Grevius of the Lake Mohegan Fire Dept. and I met with representatives from ConEd and Bergmann Associates to discuss the proposed solar farm project located on Foothill St. Both sides discussed their concerns and the fire chief and I are ok with the plan that was dated November 22, 2021 provided that they:

- Provide a six foot wide access gate at the south end of the fence along Foohill St.
- Provide a maintenance plan for grass cutting throughout the site and snow removal from the access road.
- Provide lock boxes and or pad locks for fire department access that are compatible with fire depts. Knox Box system.
- Provide training to the fire department and their training officer. Training material shall also be provided to the fire department so that they can train all staff.
- Provide proper signage throughout the installation including the property address and emergency contact information.

Please contact me with any questions.

conEdison
Clean Energy Businesses

October 23, 2021

BY EMAIL

Richard Fon, Chairman
Planning Board
Town of Yorktown
363 Underhill Avenue
Yorktown, NY 10598

Subject: Tree Ordinance Mitigation Plan - Proposed Solar Project, Foothill Street, Yorktown

Dear Mr. Fon:

Con Edison Clean Energy Businesses, Inc. is proposing to develop a ground-mounted solar facility on 15.90 acres of the 34.23-acre site at 3849 Foothill Street in Yorktown owned by William Lockwood.

In accordance with the local Tree Ordinance, the Applicant has recently submitted a Tree Inventory to the Planning Board showing that a total of 1871 "protected" trees, of varying quality and condition, will be removed to develop the proposed project.

The Tree Ordinance also requires that the Applicant submit a "mitigation plan" to the Planning Board to "address and compensate for the impact of the removal of protected trees and removal or disturbance of protected woodlands."

The Applicant previously submitted a draft mitigation plan for discussion purposes, but, with the completion of the Tree Inventory, is now able to propose a final mitigation plan for consideration.

The Tree Ordinance provides for "Payment into the Tree Bank Fund. In lieu of replacing a lost protected tree or disturbance to a protected woodland, the payment shall be $100 for every protected tree removed and $300 for every 5,000 square feet of protected woodland disturbed." In gross terms, this formula would result in a payment to the Tree Bank Fund of $228,656, based upon the 1871 trees @ $100 ($187,100) to be removed and the 15.90 acres of the 34.23-acre site to be disturbed ($41,556).

As a part of its mitigation plan, the Applicant has submitted plans for an additional 212 plantings, installed at a cost of $160,000, at the project site to enhance the natural screening and in mitigation for the trees to be removed for the project. See the Landscaping & Plantings in Mitigation Plan attached (and included in the Site Plan set as Sheet C006 at a larger scale). See also the Landscaping and Plantings for Mitigation Inventory and Cost Estimate attached.

The Applicant will also post a Bond to ensure the sustainability of those plantings and to pay for their replacement if necessary.

It is suggested that this $160,000 expenditure for new plantings be credited toward the $228,656 payment to the Tree Bank Fund and, as a result, the net payment to the Fund by the Applicant will be $68,656.

In further mitigation, the Applicant notes that, over and above the 18.32 acres at the site left wholly undisturbed and untouched by the solar project development, once the project is completed, almost all of the 15.90 acres that is disturbed will be returned to grass and meadow, using a pollinator-friendly seed mix, as prescribed by a Certified Ecological Restoration Practitioner, providing a new, much-needed habitat for bees, butterflies and other native pollinators.

The solar project will also have a positive, indirect effect on the environment as solar energy replaces or reduces the use of other energy sources that have larger effects on the environment. The EPA Greenhouse Gas Equivalencies Calculator attached demonstrates that the greenhouse gas offsets from this 1.87 MW AC solar project will be 60 million pounds of carbon dioxide (CO2) over the 25-year life of the project. That is the equivalent of taking nearly 6 million passenger car miles driven ... and their fossil fuel emissions ... off the road. By comparison the trees currently on the site which are to be cut would sequester less than 5% of that amount of carbon dioxide during the same period.

This mitigation plan will be in addition to a Payment in Lieu of Taxes Agreement (PILOT) that the Applicant proposes to enter upon with the Town. Please refer to the attached PILOT Toolkit, which is information and guidance provided by the New York State Energy Research and Development Authority (NYSERDA). As you can see, the proposed range for PILOT payments in the ConEd Territory is from a base of $3,700 to a high of $11,100 per MW AC of capacity. The reason for the range is that each Solar Project has individual characteristics which greatly affect its profitability. In this case, the Applicant is proposing to make payment to the Town at the top end of the NYSERDA Guidance, that is $11,100 per MW AC. Though some of the project specific characteristics are higher than the NYSERDA Base Case which was used to come up with the PILOT guidance, such as higher lease payments and utility interconnection costs, in the spirit of collaboration the Applicant does not propose any discounts to the PILOT rate. These payments will be made in addition to the standard property tax currently paid to the Town.

As currently designed, this proposed project has a capacity of approximately 1.87 MW AC. Based on the $11,100 per MW AC payment, this equals an additional tax payment to the Town of approximately $20,757 per year, or a total of approximately $311,355 over the term of the PILOT Agreement. This provides great tax benefit to the Town without placing any burden on Town resources or services. More specifically, such projects do not use sewer or water, do not require trash pick-up or police or fire response and, most importantly, do not put any additional

conEdison
Clean Energy Businesses

children in the school system. As a result, all of this additional revenue can be used for enhancing Town programs and/or or infrastructure ... or to lower the tax burden for residents.

Your consideration of this mitigation plan is appreciated. Con Edison Clean Energy Businesses, Inc. looks forward to becoming a good corporate neighbor in the Town and to assisting in further enhancing the community in which you and the Planning Board justifiably take such pride. It is also excited to bring this clean, renewable electricity project to the Town.

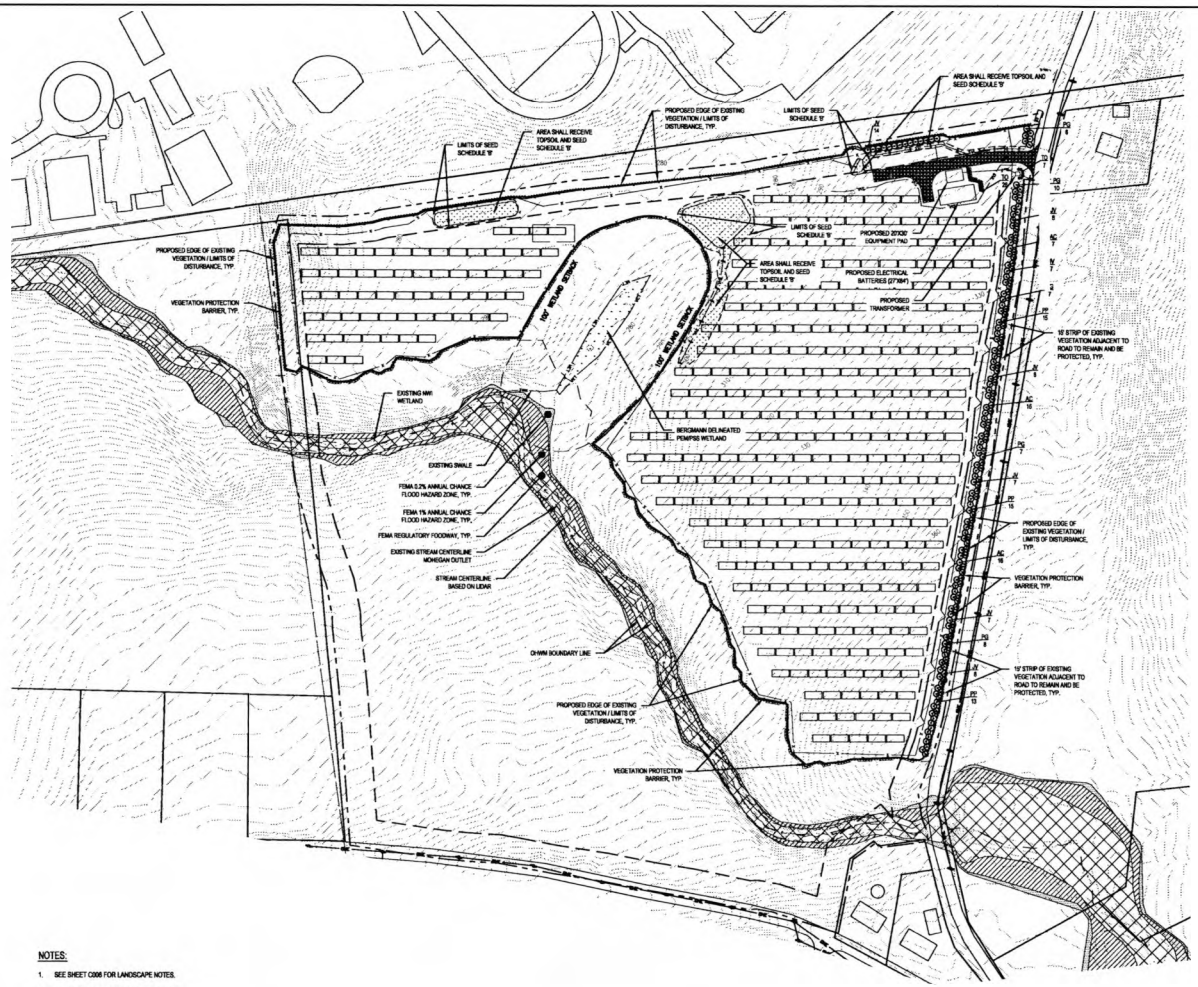
Regards,

Joe Shanahan

Project Developer

Con Edison Clean Energy Businesses
100 Summit Lake Drive
Valhalla, NY 10595
M: (978) 888-4088
E: ShanahanJ@conedceb.com
W: ConEdCEB.com

CC: Town Supervisor Matthew Slater (By Email)
Tree Conservation Advisory Commission Attn: Bill Kellner (By USPS)



LEGEND:

- PROPOSED TREE PLANTING
- VEGETATION PROTECTION BARRIER
- SEED LIMIT LINE
- SEED SCHEDULE 'B'
- PROPOSED GRAVEL DRIVEWAY
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- EXISTING VEGETATION
- PROPOSED LIMITS OF TREE CLEARING
- BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ℄ STREAM
- 100' WETLAND SETBACK

NOTES:

1. SEE SHEET C008 FOR LANDSCAPE NOTES.
2. SEE SHEET C007 FOR LANDSCAPE DETAILS.
3. SEE SHEET C009 FOR SEED SCHEDULES.

PLANT LIST

Key	Qty.	Botanical Name	Common Name	Mature Size Height	Mature Size Spread	Installed Size	Condition	Notes
Evergreen Trees								
AC	39	Abies concolor	White Fir	50-75 Ht.	20-30' Sprd.	6-7' Ht.	B&B	
JV	59	Juniperus virginiana	Eastern Red Cedar	30-60' Ht.	10-20' Sprd.	8' Ht.	B&B	
PG	35	Picea glauca	White Spruce	40-60' Ht.	10-20' Sprd.	8' Ht.	B&B	
PP	43	Picea pungens	Colorado Spruce	30-60' Ht.	10-20' Sprd.	7-8' Ht.	B&B	
Evergreen Shrubs								
TO	33	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	7-15 Ht.	3-4' Sprd.	5' Ht.	B&B	

CALL BEFORE YOU DIG !
NEW YORK LAW REQUIRES NOTICE AT LEAST 2 FULL WORKING DAYS, BUT NOT MORE THAN 10 FULL WORKING DAYS, BEFORE EXCAVATION IS SCHEDULED TO BEGIN.
Dig|Safely. New York
1-800-962-7962

YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595

BERGMANN
ARCHITECTS ENGINEERS PLANNERS

Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office 518.862.0325

www.bergmannpc.com

REVISIONS

NO.	DATE	DESCRIPTION	REV.	CK'D
1	1/28/2021	PLAN REVISIONS	WD	ECR

PRELIMINARY
NOT FOR CONSTRUCTION

Project Manager	Checked By
ECR	ECR
Designed By	Drawn By
WD	WD
Date Issued	Scale
OCTOBER 27, 2020	1"=100'
Project Number	
14647.00	

LANDSCAPING & PLANTING FOR MITIGATION PLAN

Drawing Number
C006
7 of 12

Yorktown A Solar Farm
Town of Yorktown, Westchester County, NY

BERGMANN
ARCHITECTS ENGINEERS PLANNERS

Landscaping & Planting for Mitigation Budget Cost Estimate

February 5, 2021

Item Description	Unit	Quantity	Unit Price (2020 $)	Cost
Tree Plantings				
AC - Abies concolor - White Fir (6-7' Height)	EA	39	$600	$23,400
JV - Juniperus virginiana - Eastern Red Cedar (8' Height)	EA	59	$700	$41,300
PG - Picea glauca - White Spruce (8' Height)	EA	38	$700	$26,600
PP - Picea pungens - Colorado Spruce (8' Height)	EA	43	$650	$27,950
TO - Thuja occidentalis 'Emerald Green' - Emerald Green Arborvitae (5' Height)	EA	33	$450	$14,850
			SUB-TOTAL	**$134,100**
Basic Work Zone traffic Control (5%)	LS	1		$6,705
Mobilization (4%)	LS	1		$5,364
Survey Operations (2%)	LS	1		$2,682
Erosion and Sediment Control (0.5%)	LS	1		$671
			TOTAL	**$149,522**
			Construction Contingency (5%)	**$7,476**
			GRAND TOTAL	**$156,998**
			SAY	**$160,000**

Assumptions:
1. Unit cost includes installation.

PLANT LIST

Key	Qty.	Botanical Name	Common Name	Mature Size Height	Mature Size Spread	Installed Size	Condition	Approximate Size in 5 Years
Evergreen Trees								
AC	39	Abies concolor	White Fir	50-75' Ht.	20-30' Sprd.	6-7' Ht.	B&B	14-15' Ht. /10-12' Sprd.
JV	59	Juniperus virginiana	Eastern Red Cedar	30-60' Ht.	10-25' Sprd.	8' Ht.	B&B	15-16' Ht. /8-9' Sprd.
PG	38	Picea glauca	White Spruce	40-60' Ht.	10-20' Sprd.	8' Ht.	B&B	15-16' Ht. /8-9' Sprd.
PP	43	Picea pungens	Colorado Spruce	30-60' Ht.	10-20' Sprd.	7-8' Ht.	B&B	14-15' Ht. /10-12' Sprd.
Evergreen Shrubs								
TO	33	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	7-15 Ht.	3-4' Sprd.	5' Ht.	B&B	7-8' Ht. /2-3' Sprd.

1. Average growth rates were based on information from the Arbor Day Foundation.
2. Size in 5 years represented on this table are approximate and do not take into account exact site conditions the trees will be planted in.
3. Individual trees grow at different rates depending on their condition at installation and watering/maintenance during the period of establishment. Growth rates will vary.

United States Environmental Protection Agency

Greenhouse Gas Equivalencies Calculator

1.87 MW AC Solar Project

3,132,000 kilowatt-hours of electricity

Equivalency Results

How are they calculated?

The sum of the greenhouse gas emissions you entered above is of Carbon Dioxide Equivalent. This is equivalent to:

2,214 **Metric Tons**

Greenhouse gas emissions from

478

Passenger vehicles driven for one year

-or-

5,494,911

Miles driven by an average passenger vehicle

CO_2 emissions from

249,178

gallons of gasoline consumed

-or-

217,529

gallons of diesel consumed

-or-

2,440,019

Pounds of coal burned

-or-

29.3

tanker trucks' worth of gasoline

-or-

256

homes' energy use for one year

-or-

375

homes' electricity use for one year

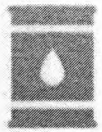
-or-

12.2

railcars' worth of coal burned

-or-

5,127



barrels of oil consumed

-or-

90,526

propane cylinders used for home barbeques

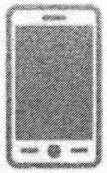
-or-

0.0006

coal-fired power plants in one year

-or-

282,413,637



number of smartphones charged

Greenhouse gas emissions avoided by

753

Tons of waste recycled instead of landfilled

-or-

108

Garbage trucks of waste recycled instead of landfilled

-or-

94,224

trash bags of waste recycled instead of landfilled

-or-

0.470

84,126

0.470

Wind turbines running for a year

-or-

64,120

Incandescent lamps switched to LEDs

Carbon sequestered by

36,616

tree seedlings grown for 10 years

-or-

2,892

acres of U.S. forests in one year

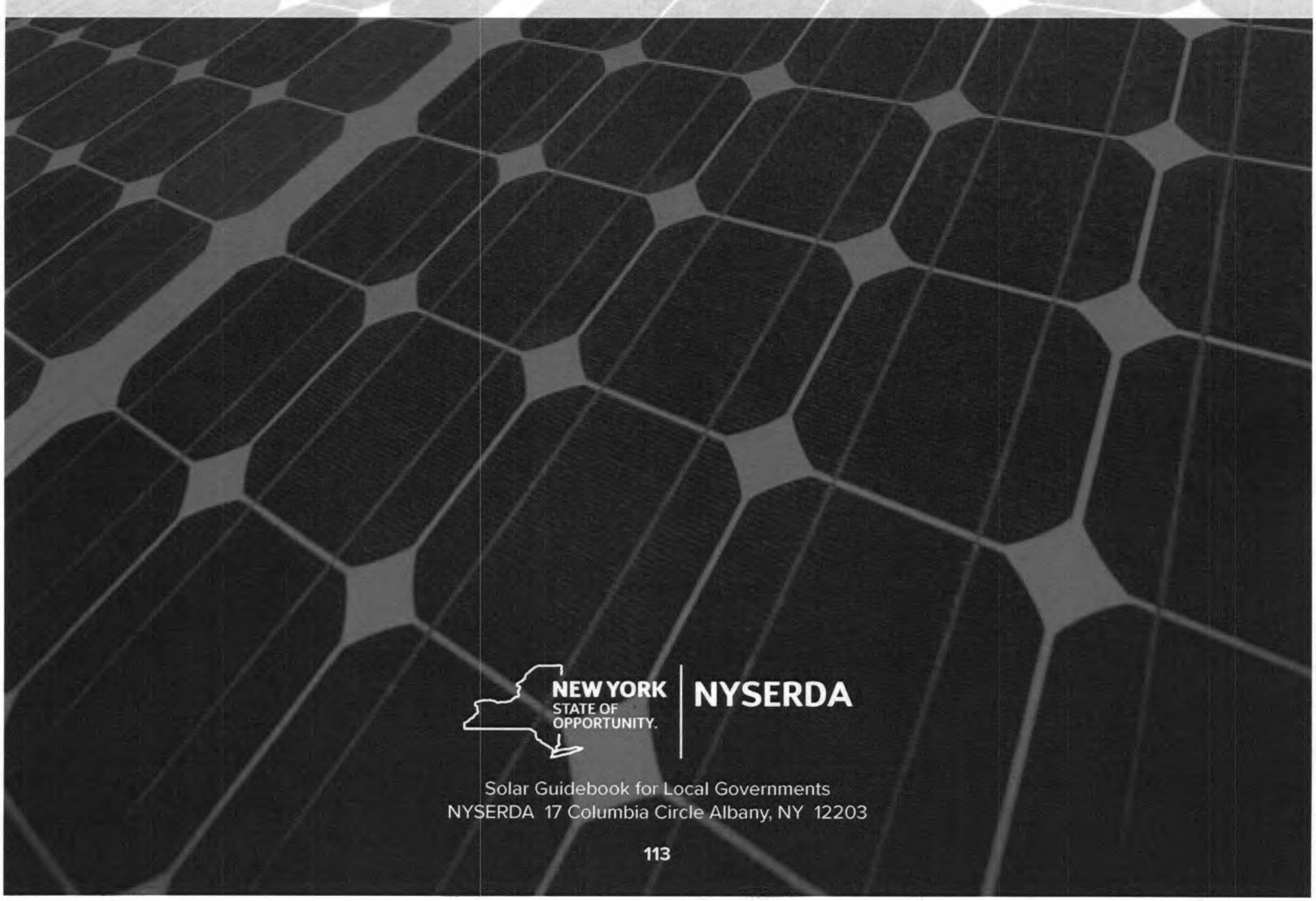
-or-

15

acres of U.S. forests preserved from conversion to cropland in one year

Solar Payment-In-Lieu-Of-Taxes (PILOT)

Assisting New York State municipalities considering payment-in-lieu-of taxes (PILOT) agreements for community solar projects larger than one megawatt.



NEW YORK STATE OF OPPORTUNITY. | NYSERDA

Section Content

Overview

The following toolkit is for local governments in New York State who are considering a payment-in-lieu-of-taxes (PILOT) agreement for solar projects larger than one megawatt (MW). We provide resources for local governments to gain more information on PILOT agreements. A few notable resources within the toolkit are the New York Model Solar Energy PILOT Law, Model Solar PILOT Agreement for a single jurisdiction, and the PILOT calculator for taxing jurisdictions, which can be accessed here and under the PILOT toolkit section below.[18]

1. Community Solar

In addition to residential, commercial, and municipal projects, a relatively new kind of solar project, "community solar," has emerged as an efficient and affordable way for all New Yorkers to gain access to clean energy. Community solar projects are much larger, typically in the 2,000-kw range and allow individuals (including renters and others who cannot install a system on their own roof) to purchase individual panels or some fraction of the electricity the entire system generates. These customers receive credits for this electricity on their monthly utility bills.

A community solar project brings revenues and benefits to a community and its residents in several ways. The owner of a project site will typically lease land to the solar company in return for lease payments. Community solar customers, which may include municipalities, businesses, and residents, save money on their utility bills. Taxing jurisdictions can benefit from PILOT payments. At the same time, given the passive nature of a solar array, a solar project does not create increased demands on municipal services and infrastructure.

2. Real Property Tax Law (RPTL) § 487

As a measure to promote the installation of clean energy sources, the New York State legislature adopted a section of the RPTL § 487 that exempts the value of a solar panel system from local property taxes.[19] Under the law, any increase in the property value attributable to the addition of the solar panel system is exempt from property tax. The RPTL § 487 exemption has been a cornerstone of the State's efforts to meet its clean energy goals, providing essential economic incentives for solar. The law does, however, allow any taxing jurisdiction (town, school, etc.) to "opt-out" of the tax exemption by adopting a local law or resolution, making the added value of a solar panel system fully taxable. Alternatively, a taxing jurisdiction that does not opt-out can require a solar developer to pay an annual fee or "payment- in-lieu of taxes" as a replacement for the taxes it would have otherwise collected. Under the law, PILOT amounts cannot exceed what the tax amount would have been without the exemption. Additionally, the law does not allow jurisdictions to partially opt out of the law to generate tax revenue from large solar projects while exempting the small systems of homeowners. Opting out of RPTL § 487 makes community solar projects financially unviable and makes homeowners' rooftop systems more expensive.

[18] The terms "taxing jurisdictions" and "jurisdictions" include counties, cities, towns, villages and school districts.

[19] New York State Real Property Tax Law § 487 provides a 15-year real property tax exemption for properties located in New York State with renewable energy systems, including solar electric systems. The law applies only to the value that a solar electric system adds to the overall value of the property; it does not mean that landowners with an installed renewable energy system are exempt from all property tax. Local governments have the option to opt out of RPTL § 487 and tax solar projects at the full property tax rate, but doing so can impact project economics in a way that unintentionally prohibits developers from building projects. For more information on RPTL § 487, see Understanding New York State's Real Property Tax Law § 487 fact sheet. A local government that does not opt out of RPTL § 487 can still generate revenue through PILOT agreements.

NYSERDA understands that many communities have little or no experience with solar PILOT agreements or with assessing the value of large-scale solar projects. Information is difficult to obtain by consulting other communities because few communities have completed large-scale solar projects.

Two common questions have arisen from New York State municipal officials and other interested parties:

(1) If we do not opt-out and seek a PILOT, what is a fair PILOT amount based on what projects can afford?

(2) What are the steps to negotiate a successful PILOT agreement?

The answer to the first question is complicated, as PILOTs are often negotiated for individual projects, and the PILOT amount a project can afford depends on many factors, including construction and maintenance costs, and the amount of revenue from electricity sales. From the point of view of solar developers, if the PILOT amount is too high, they will not be able to make the project economically feasible and will not proceed. So, the amount of revenue available for a PILOT is dependent on the overall project economics. The first question then becomes, "What PILOT amount will allow the jurisdiction and its residents to enjoy the benefits of the project, but will not make the project financially unviable and unattractive to a developer?"

NYSERDA's research indicates that PILOT rates should be negotiable between 1% and 3% of the compensation solar developers receive for the electricity their projects generate.[20] This research includes an independent analysis of current solar market data and an analysis of solar project compensation rates established under the preliminary value stack in the New York Public Service Commission's March 2017 Value of Distributed Energy Resources (VDER) order. The new solar energy compensation methodology will likely reduce project revenue. NYSERDA will review and update its PILOT guidance regularly; taxing jurisdictions are encouraged to adjust their PILOT rates accordingly.

NYSERDA offers the Solar PILOT Toolkit as a resource to help municipalities and solar developers negotiate successful PILOT agreements. The following describes the Toolkit's contents.

3. Solar PILOT Toolkit

3.1 The Model Solar PILOT Law

The Model Solar PILOT Law, or resolution, provides a sample template for jurisdictions that wish to establish the legal authority to implement a formulaic, jurisdiction-wide PILOT agreement process with solar developers. The model law cites the appropriate laws to do so and includes blank fields for jurisdictions to fill in. The model law exempts projects smaller than 1 MW AC as the amount of PILOT revenue may not justify the cost of negotiating the PILOT.

3.2 The Model Solar PILOT Agreement

Only jurisdictions that do not opt out of RPTL § 487 may enter PILOT agreements. The Model Solar PILOT Agreement provides a draft contract that jurisdictions can sign with solar developers. The agreement can be tailored to meet a jurisdiction's specific needs and includes blank fields for the jurisdiction to fill in. Jurisdictions may negotiate PILOT rates with solar developers on a project-by-project basis or may adopt a jurisdiction-wide rate for certain types of solar panel systems, typically in the form of annual payments based on a dollar-per-MW rate.

[20] NYSERDA continuously assesses market data and Public Service Commission proceedings and may revise this Toolkit when appropriate.

3.3 The Solar PILOT Calculator

The Solar PILOT Calculator can be accessed here.

This tool provides PILOT rate guidance for solar projects and includes two separate calculators.[21] Calculator One should be used to set a uniform PILOT rate across an entire jurisdiction.

The following table displays sample PILOT rates generated by Calculator One for a 2-MW AC community solar project in each utility service territory. The "Low" and "High" rates represent 1% and 3% of the compensation solar developers receive for the electricity their projects generate. NYSERDA's research of solar project economics across the State indicates that such projects should be able to afford rates within this range.

	Low ($/MW AC)	High ($/MW AC)
Central Hudson	$2,600	$7,600
Orange & Rockland	$3,200	$9,500
National Grid	$1,700	$5,100
NYSEG	$1,700	$5,000
Con Edison	$3,700	$11,100
Rochester Gas & Electric	$1,700	$5,000

Calculator Two should be used to set PILOT rates on a project-by-project basis. It is highly customizable, taking into account extensive project-specific data and all factors affecting solar project economics. Users may accept the default values but are encouraged to enter project-specific data. Calculator Two estimates PILOT rates based on the net present value of a project's unlevered cash flow that achieves a specified pre-tax internal rate of return.

[21] Each calculator's outputs reflect the sum total of all PILOT payments, property taxes from taxing jurisdictions which have opted-out of the exemption, and special district taxes (which are not exempt under RPTL § 487).

December 16, 2021

Mr. John Tegeder
Director of Planning
Town of Yorktown
Albert A. Capellini Community and Culture Center
1974 Commerce Street
Yorktown Heights, New York 10598

Re: Response to Outside Consultant Environmental Review Comment Letter
Con Edison Clean Energy Businesses, Inc.
Yorktown A Solar Project
3849 Foothill Street
Yorktown, New York
File #: 2478.001.001

Dear Mr. Tegeder;

This letter is provided in response to a comment letter prepared by Leigh Jones, PLA from Barton & Loguidice regarding the Project dated, December 6, 2021. On behalf of Con Edison Clean Energy Businesses, Inc. (ConEd CEB), enclosed please find an updated submission for the Yorktown A Solar Project (Project) for your review which includes the following:

- Eight (8) copies of the Site Plan Set
- Eight (8) copies of the Full Environmental Assessment Form (FEAF)
- Eight (8) copies of the Letter to the Town of Yorktown Fire Inspector
- Eight (8) copies of the FAA Status email

Provided below are the comments from the letter followed by our responses in bold.

<u>Part 1 of the Long Form EAF</u>

1. Item 10: In regards to section D.1.g.i., the total number of structures is listed as "0.07±". This is unclear. Total number of structures should refer to the total number of solar mounts (i.e. a whole number). If you would like to refer to the number of structures as an area, please provide unit?

   In section D.1.g.i, the total number of structures has been updated to 5,994 solar modules.

<u>Glare Analysis</u>

1. The applicant filed with the FAA and received a Determination of No Hazard to Air Navigation on 09/11/2017. Within this letter, it states that the determination expires on 03/11/2019 unless:
   a. The construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
   b. Extended, revised, or terminated by the issuing office.

c. The construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

Please confirm that any of these requirements have been met and therefore the determination is still valid, and/or file with the FAA again for an updated determination.

As noted in the Barton & Loguidice letter, the Applicant filed with the FAA and received a Determination of No Hazard to Air Navigation on 9/11/2017, which would have expired on 3/11/2019 (Favorable Determinations are valid for 18 months) unless extended. At the Applicant's request, the FAA did extend the Favorable Determination through 4/27/2020, but the FAA can only grant a one-time extension, so the Favorable Determination expired on that date. As this project has been in the local permitting process for a number of years, the Applicant chose not to file for a new Determination from the FAA until the project was close to approval. Based upon the Barton & Loguidice letter, the Applicant did file with the FAA again on 12/8/2021, but, as is its practice, the FAA has advised to allow "a minimum of 45 days" to complete its review. See email from FAA attached. As the FAA has previously issued a Favorable Determination in connection with this project and none of the circumstances have changed since that Determination, it is reasonable to presume that another Favorable Determination will be issued upon completion of the FAA review. Accordingly, we respectfully suggest that, if a new Favorable Determination is not issued from the FAA by the date of the approval of this project, in its Resolution of approval for this project, the Planning Board include a Condition that, prior to being issued a Building Permit for this project, the Applicant shall provide evidence of an updated and currently valid Determination of No Hazard to Air Navigation from the FAA.

<u>Permitting Site Plans</u>

1. Item 17: The site plans have been adjusted to provide the sight distances, however both sight distances are noted as "Sight Distance to the Right:" Please clarify that the Sight distance of 431' should be denoted as "Sight Distance to the Left: 431'±"

   The Site Plans have been updated accordingly.

<u>Additional Information and Anticipated Permits/Coordination</u>

1. Item 5: B&L has not received the letter from the Mohegan Volunteer Fire Department acknowledging receipt of the plans and verifying approval of proposed access for fire and emergency vehicles. Please ensure that has been completed and will be submitted along with final application.

   We apologize for the delay with regard to this item. While the Fire Department submitted a Memo with its comments to the Planning Board on 10/29/2021, we were not aware of it as the Planning Board did not provide a copy to us for response until 12/3/2021. In collaboration with David Raines, Manager of Environmental Health and Safety at Con Edison Clean Energy Businesses, we responded to Fire Inspector Kolisz's Memo on 12/15/2021, addressing each of the three matters set forth therein. A copy of our response is attached in this submission.

We believe that the responses provided above adequately addresses the comments from the letter. Should you have any questions or require additional information, do not hesitate to contact me at (518) 556-3631 or by email at eredding@bergmannpc.com.

Sincerely,

Eric Redding

Eric Redding, PE, LEED AP
DISCIPLINE LEADER, BERGMANN

cc **Leigh G. Jones, PLA, Barton & Loguidice D.P.C**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Yorktown A Solar Farm		
Project Location (describe, and attach a general location map): 3849 Foothill Street, Mohegan Lake, Westchester County, NY 10547		
Brief Description of Proposed Action (include purpose or need): The proposed project consists of a 16.0± acre community solar farm (Yorktown A). It will involve tree removal, the installation of ground mounted photovoltaic panels, battery storage, as well as the associated access road, electric utility upgrades, and perimeter fencing.		
Name of Applicant/Sponsor: Con Edison Clean Energy Businesses, Inc. c/o Joe Shanahan, Project Developer	Telephone: (978) 888-4088 E-Mail: ShanahanJ@conedceb.com	
Address: 100 Summit Lake Drive		
City/PO: Valhalla	State: NY	Zip Code: 10595
Project Contact (if not same as sponsor; give name and title/role): Bergmann c/o Eric Redding, PE as Agent for Applicant	Telephone: (518) 556-3631 E-Mail: eredding@bergmannpc.com	
Address: 2 Winners Circle, Suite 102		
City/PO: Albany	State: NY	Zip Code: 12205
Property Owner (if not same as sponsor): William Lockwood	Telephone: (914) 760-0817 E-Mail: bill0704@hotmail.com	
Address: 50 Lockwood Drive		
City/PO: Cortlandt Manor	State: NY	Zip Code: 10567

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	**If Yes: Identify Agency and Approval(s) Required**	**Application Date (Actual or projected)**
a. City Counsel, Town Board, or Village Board of Trustees ☐Yes ☑No		
b. City, Town or Village Planning Board or Commission ☑Yes ☐No	Planning Board: Site Plan Approval; Special Use Permit; Tree Permit	
c. City, Town or Village Zoning Board of Appeals ☐Yes ☑No		
d. Other local agencies ☑Yes ☐No	Town Conservation Board	
e. County agencies ☑Yes ☐No	Westchester County: 239M Review	
f. Regional agencies ☐Yes ☑No		
g. State agencies ☑Yes ☐No	NYSDEC - SPDES General Permit GP-0-20-001; SHPO - No Effect; NYSERDA - Incentives;	
h. Federal agencies ☐Yes ☑No		

i. Coastal Resources.

i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? ☐Yes ☑No

ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? ☐Yes ☑No

iii. Is the project site within a Coastal Erosion Hazard Area? ☐Yes ☑No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐Yes ☑No

- **If Yes,** complete sections C, F and G.
- **If No,** proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☑Yes ☐No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☑Yes ☐No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐Yes ☑No

If Yes, identify the plan(s):

_____

_____

_____

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐Yes ☑No

If Yes, identify the plan(s):

_____

_____

_____

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☑ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?
R1-40 - One Family Residential

b. Is the use permitted or allowed by a special or conditional use permit? ☑ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☑ No
If Yes,
i. What is the proposed new zoning for the site?

C.4. Existing community services.

a. In what school district is the project site located? Lakeland Central School District

b. What police or other public protection forces serve the project site?
Yorktown Police Department

c. Which fire protection and emergency medical services serve the project site?
Yorktown Heights Fire Department

d. What parks serve the project site?
Blackberry Woods Park, Shrub Oak Park, Ivy Knolls Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Community Solar Farm

b. a. Total acreage of the site of the proposed action? 34.23± acres
b. Total acreage to be physically disturbed? 16.00± acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 34.23± acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☑ No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☑ No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☑ Yes ☐ No
i. If No, anticipated period of construction: _____ months
ii. If Yes:
- Total number of phases anticipated 4
- Anticipated commencement date of phase 1 (including demolition) March month 2022 year
- Anticipated completion date of final phase July month 2022 year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:

The project site is divided into phases to avoid disturbing more than 5 acres at a time. The construction of future phases depend on the stabilization of each phase as the project continues.

f. Does the project include new residential uses? ☐ Yes ☑ No

If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase				
At completion of all phases				

g. Does the proposed action include new non-residential construction (including expansions)? ☑ Yes ☐ No

If Yes,

i. Total number of structures 5994 module

ii. Dimensions (in feet) of largest proposed structure: 10± height; 3.12± width; and 6.58± length

iii. Approximate extent of building space to be heated or cooled: N/A square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☑ Yes ☐ No

If Yes,

i. Purpose of the impoundment: Stormwater Detention

ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☑ Other specify: Stormwater

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: 0.17 million gallons; surface area: 0.26 acres

v. Dimensions of the proposed dam or impounding structure: 2 ft height; varies length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): Earth Fill

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) ☐ Yes ☑ No

If Yes:

i. What is the purpose of the excavation or dredging?

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards):
- Over what duration of time?

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? ☐ Yes ☐ No

If yes, describe.

v. What is the total area to be dredged or excavated? acres

vi. What is the maximum area to be worked at any one time? acres

vii. What would be the maximum depth of excavation or dredging? feet

viii. Will the excavation require blasting? ☐ Yes ☐ No

ix. Summarize site reclamation goals and plan:

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐ Yes ☑ No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description):

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

_____

_____

_____

_____

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐Yes☐No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐Yes☐No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____

_____

- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

_____

c. Will the proposed action use, or create a new demand for water? ☐Yes☑No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐Yes☐No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? ☐Yes☐No
- Is the project site in the existing district? ☐Yes☐No
- Is expansion of the district needed? ☐Yes☐No
- Do existing lines serve the project site? ☐Yes☐No

iii. Will line extension within an existing district be necessary to supply the project? ☐Yes☐No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐Yes☐No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☐Yes☑No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

_____

_____

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐Yes☐No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐Yes☐No
- Is the project site in the existing district? ☐Yes☐No
- Is expansion of the district needed? ☐Yes☐No

- Do existing sewer lines serve the project site? ☐Yes☐No
- Will a line extension within an existing district be necessary to serve the project? ☐Yes☐No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐Yes☐No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

_____

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☑Yes☐No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

2,920± Square feet or 0.07± acres (impervious surface)

1,491,189± Square feet or 34.23± acres (parcel size)

ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

Stormwater runoff will be directed to stormwater management facilities on site (detention ponds, bio-retention basin) and ultimately discharge to on and off site wetlands/streams.

- If to surface waters, identify receiving water bodies or wetlands: _____

On-site Federal wetland and Stream

- Will stormwater runoff flow to adjacent properties? ☑Yes☐No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☑Yes☐No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☐Yes☑No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐Yes☑No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐Yes☐No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____Tons/year (short tons) of Carbon Dioxide (CO_2)
- _____Tons/year (short tons) of Nitrous Oxide (N_2O)
- _____Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____Tons/year (short tons) of Sulfur Hexafluoride (SF_6)
- _____Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)
- _____Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐Yes ☑No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐Yes ☑No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐Yes ☑No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐Yes ☐No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐Yes ☐No

vii Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐Yes ☐No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐Yes ☐No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐Yes ☑No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐Yes ☐No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: 7:00 a.m. - 6:00 p.m.
- Saturday: 7:00 a.m. - 6:00 p.m.
- Sunday: N/A
- Holidays: N/A

ii. During Operations:

- Monday - Friday: N/A
- Saturday: N/A
- Sunday: N/A
- Holidays: N/A

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☑ Yes ☐ No

If yes:

i. Provide details including sources, time of day and duration:

Noise levels will temporarily increase during construction due to construction equipment during the hours of 7:00 a.m. – 6:00 p.m., Monday – Saturday. Construct duration will not exceed 4 months. No significant impact with respect to noise is anticipated during operations. Work will conform to local noise ordinance.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☑ No

Describe: Existing vegetation will remain around the boundary of the project site.

n. Will the proposed action have outdoor lighting? ☐ Yes ☑ No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☐ Yes ☐ No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☑ No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☑ No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☑ No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☐ Yes ☑ No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☑ Residential (suburban) ☐ Rural (non-farm)
☑ Forest ☐ Agriculture ☑ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.00	0.07	+0.07
• Forested	32.40±	16.40±	-16.00±
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.00	15.76±	+15.76±
• Agricultural (includes active orchards, field, greenhouse etc.)	0.00	0.00	0.00
• Surface water features (lakes, ponds, streams, rivers, etc.)	1.66±	1.66±	0.00
• Wetlands (freshwater or tidal)	0.17±	0.17±	0.00
• Non-vegetated (bare rock, earth or fill)	0.00	0.00	0.00
• Other Describe: Limited Use Pervious Gravel	0.00	0.17±	+0.17±

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☑ No

i. If Yes: explain:

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☑ Yes ☐ No

If Yes,

i. Identify Facilities:

Putnam Valley Middle School, Putnam Valley High School

e. Does the project site contain an existing dam? ☐ Yes ☑ No

If Yes:

i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: gallons OR acre-feet

ii. Dam's existing hazard classification: _____

iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Has the facility been formally closed? ☐ Yes ☐ No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☑ No

If Yes:

i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No

☐ Yes – Spills Incidents database — Provide DEC ID number(s): _____

☐ Yes – Environmental Site Remediation database — Provide DEC ID number(s): _____

☐ Neither database

ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☑ No

If yes, provide DEC ID number(s): _____

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☑ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain:

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? >6.5± feet

b. Are there bedrock outcroppings on the project site? ☐ Yes ☑ No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

ChB (HSG B)	73.3± %
ChE (HSG B)	17.2± %
SuB (HSG D)	6.6± %

d. What is the average depth to the water table on the project site? Average: >6.5± feet

e. Drainage status of project site soils:
☑ Well Drained: 91.6 % of site
☑ Moderately Well Drained: 8.4 % of site
☐ Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes:
☑ 0-10%: 33 % of site
☑ 10-15%: 36 % of site
☑ 15% or greater: 31 % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☑ No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☑ Yes ☐ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☑ Yes ☐ No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☑ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 864-614 Classification C
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters Approximate Size 0.17± Acres
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☑ No

If yes, name of impaired water body/bodies and basis for listing as impaired:

_____

i. Is the project site in a designated Floodway? ☑ Yes ☐ No

j. Is the project site in the 100-year Floodplain? ☑ Yes ☐ No

k. Is the project site in the 500-year Floodplain? ☑ Yes ☐ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☐ Yes ☑ No
If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site:
Various Migratory Birds
Typical Northeastern Wildlife

n. Does the project site contain a designated significant natural community? ☐ Yes ☑ No
If Yes:
i. Describe the habitat/community (composition, function, and basis for designation):
ii. Source(s) of description or evaluation:
iii. Extent of community/habitat:
- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☑ Yes ☐ No

If Yes:
i. Species and listing (endangered or threatened):
Habitat for Indiana Bat (Myotis Sodalis)

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐ Yes ☑ No

If Yes:
i. Species and listing:

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐ Yes ☑ No
If yes, give a brief description of how the proposed action may affect that use:

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐ Yes ☑ No
If Yes, provide county plus district name/number:

b. Are agricultural lands consisting of highly productive soils present? ☑ Yes ☐ No
i. If Yes: acreage(s) on project site? 27.7 Acres
ii. Source(s) of soil rating(s): NRCS Web Soil Survey

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐ Yes ☑ No
If Yes:
i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature
ii. Provide brief description of landmark, including values behind designation and approximate size/extent:

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐ Yes ☑ No
If Yes:
i. CEA name:
ii. Basis for designation:
iii. Designating agency and date:

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☑ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based:

_____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☐ Yes ☑ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☑ No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☑ Yes ☐ No

If Yes:

i. Identify resource: Taconic State Parkway

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Scenic Byway

iii. Distance between project and resource: 2.0± miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☑ No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

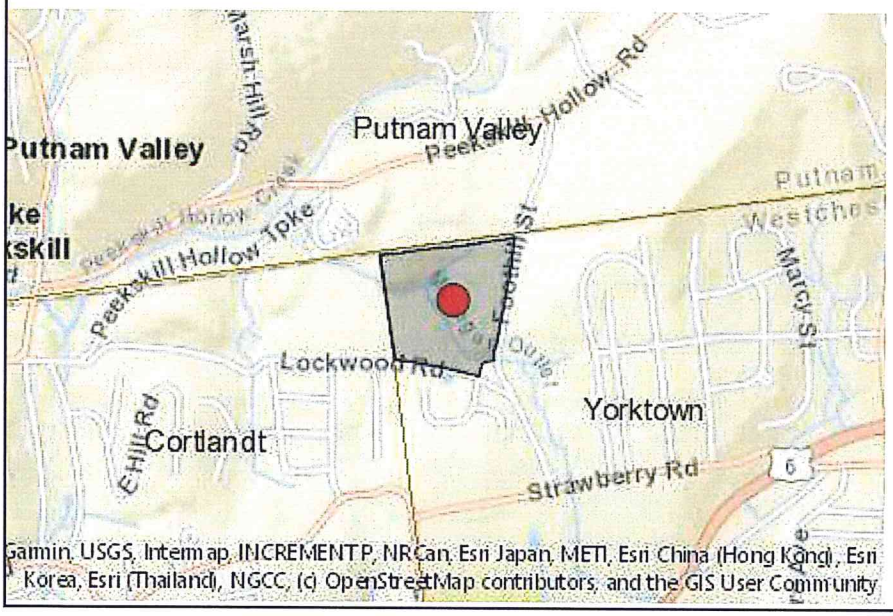
Applicant/Sponsor Name: Con Edison Clean Energy Businesses, Inc. c/o Joe Shanahan Date: 12/20/2021

Signature: Eric Redding Bergmann c/o Eric Redding, PE as Agent for Applicant Title: Discipline Leader

PRINT FORM

EAF Mapper Summary Report

Thursday, October 8, 2020 7:57 PM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	864-614
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Yes
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	Yes

E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	WEST001
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

conEdison
Clean Energy Businesses

December 15, 2021

Town of Yorktown
Bureau of Fire Prevention
Town Hall
363 Underhill Avenue
Yorktown Heights, NY 10598
Attn: Edward Kolisz, Fire Inspector

Re: Solar Project – Foothill Street

Inspector Kolisz:

This is in response to your Memorandum dated October 29, 2021 to the Planning Board, Town of Yorktown, with regard to the subject solar project. I apologize for the delay in responding to you, but the Planning Department did not provide a copy of the Memorandum to me until December 3, 2021.

With regard to your comments:

- **Vehicle access to the remote areas of the site needs to be improved. The fire department wants emergency vehicle access to extend to within 300 feet of all panels.**

  The submitted Site Plan provides an unobstructed Fire Access Road to the Gate. We have incorporated perimeter clearance allowing vehicular access around the entire. perimeter of the project to support medical response and small utility type vehicles within the fenced array.

  If the Town would like us to add a second gate to the project, for emergency access only, we are happy to do that and would suggest it be placed at the south end of the project.

  In the event of a fire, electrical or brush, we would expect that the fire department would follow operating guidelines very similar to what it currently does in connection with any incident at a Utility Substation in the Town of Yorktown.

  Upon substantial completion of the project, ConEdison Clean Energy will provide Emergency Response Guidelines and training to Yorktown, Police Fire and EMS. The ERGs include response to the following:

- Electrical Fires

  All personnel MUST stage at gate and await CEB Site Personnel

  - Water SHALL NOT be utilized to extinguish any electrical fire or energized equipment
  - Water can be utilized for; brush fire or to wet down area around affected electrical equipment
  - Dry chemical and/or CO2 extinguishers can be utilized under the direction of CEB Site Personnel
  - Firefighters should stand by, maintain a safe distance and await direction from CEB Site Personnel

- Brush Fires

  - Brush Fires within the site should be managed be creating fire breaks or fire lines to contain the spread of fire
  - Water SHOULD NOT be utilized within the array unless an imminent life-threat exists
  - Personnel should take great care in not coming into contact with any of the equipment within the solar array
  - Brush Fires outside the fence line or located > 25ft from equipment can be managed utilizing standard practices including the use of water for extinguishment

- **Training:**

  As we have done at so many of our projects throughout the country, proper training WILL be provided to the fire department. The site-specific training program will be developed collaboratively between CEB Manager of Environmental Health and Safety, David Raines, and representatives of the fire department. (I understand that you and David have worked together in the past during his time in a similar role at IBM in the Town of Yorktown.)

- **A lock box for fire access needs to be provided.**

  As we do at ALL of our projects throughout the country, a Knox Box and Knox Lock on the gate will be provided. And, if a second gate is to be added, a Knox Box and Knox Lock will be added at that gate also.

conEdison
Clean Energy Businesses

If you have any questions or require additional information with regard to this matter, please do not hesitate to contact me.

If you feel a conference call or a meeting to discuss this matter would be beneficial, David Raines and I shall be happy accommodate you at your earliest convenience.

Your consideration is appreciated.

Regards,

Joe Shanahan

Project Developer

Con Edison Clean Energy Businesses
100 Summit Lake Drive
Valhalla, NY 10595
M: (978) 888-4088
E: ShanahanJ@conedceb.com
W: ConEdCEB.com

Darbouze, Websly

From: noreply@faa.gov
Sent: Wednesday, December 8, 2021 10:51 AM
To: Shanahan, Joseph
Subject: <External Sender> Status of FAA Filing

Your filing is assigned Aeronautical Study Number(s) (ASN): 2021-AEA-17307-OE, 2021-AEA-17308-OE, 2021-AEA-17310-OE, 2021-AEA-17309-OE.

To review your electronic record, go to our website oeaaa.faa.gov and select the Search Archives link to locate your case using the assigned Aeronautical Study Number (ASN).

The FAA verified your filing and an aeronautical study has been initiated. Please allow a minimum 45 days for the FAA to complete the study. Please refer to the assigned ASN on all future inquiries regarding this filing.

For Wind Turbine proposals only, please ensure Wind Turbine Data as described on the project summary page in your registered e-filing account has been uploaded to your filing.

To ensure e-mail notifications are delivered to your inbox please add noreply@faa.gov to your address book. Notifications sent from this address are system generated FAA e-mails and replies to this address will NOT be read or forwarded for review. Each system generated e-mail will contain specific FAA contact information in the text of the message.

BERGMANN
ARCHITECTS ENGINEERS PLANNERS

December 20, 2021

Mr. John Tegeder
Director of Planning
Town of Yorktown Planning Board
Albert A. Capellini Community and Culture Center
1974 Commerce Street
Yorktown Heights, New York 10598

RECEIVED
PLANNING DEPARTMENT
DEC 27 2021
TOWN OF YORKTOWN

Re: Response to Town Engineer Memorandum
Con Edison Clean Energy Businesses, Inc.
Yorktown A Solar Project
3849 Foothill Street
Yorktown, New York

Dear Mr. Tegeder;

This letter is provided in response to a comment letter prepared by Dan Ciarcia from the Town of Yorktown Engineering Department regarding the Project dated, December 14, 2021. On behalf of Con Edison Clean Energy Businesses, Inc. (ConEd CEB), enclosed please find an updated submission for the Yorktown A Solar Project (Project) for your review which includes the following:

- Eight (8) copies of the Site Plan Set
- Eight (8) copies of the NYSDEC Response
- Eight (8) copies of the SWPPP Report Narrative

Provided below are the comments from the letter followed by our responses in bold.

1. The applicant has proposed the design to be consistent with the New York State Department of Environmental Conservation (NYSDEC) memorandum that allows solar panel installations to be considered "Land Clearing and grading for the purpose of creating vegetated open space". The proposed panels do not have the proper orientation with respect to the existing topography to have this project analyzed as vegetated open space. The panels should be reorientated or the stormwater design revised accordingly.

   Although some the solar panels orientation is not parallel with the existing contours on site, we are proposing additional stormwater features that will achieve the same goal as the NYSDEC's Guidance on the installation of solar panels.

   The level spreaders have been modified to be installed parallel to the contours. In that manner, they will work as a way to slow down the time of concentration by allowing runoff to while also providing some infiltration properties and promote groundwater recharge as a secondary function.

   Below is a statement from a NYSDEC Environmental Program Specialist regarding the requirements for site where the panels are not parallel to existing contours.

" Section VIII.D states that the site can be considered as land clearing and grading for the purposes of creating vegetated open space, as the hydrology change is less than 5%. This exemption only applies to solar projects that meet the attached NYSDEC guidance. Since panels are installed perpendicular to slopes, the exemption does not apply, and post-construction practices will need to be employed to manage any increase in hydrology." A copy of the email is attached in this submission, some information on the email has been redacted for privacy purposes.

The proposed project will not increase the hydrology of the site after construction because we are proposing post-construction stormwater practices that will mitigate any increase in peak runoff. To mitigate the loss of tree cover on site, two drainage ponds have been designed to collect and store runoff from the project site before discharging in a timely manner. The peak discharge rates for the project site will not increase from pre to post development. Refer to the Calculations in the latest submitted SWPPP for more information.

2. The proposed level spreaders will not provide that function due to the slope. As designed the level spreaders will not provide sheet flow and will likely decrease the time of concentration (t_c), thus increasing peak flows.

   The level spreaders have been modified to be installed parallel to the contours. In that manner, they will work as a way to slow down the time of concentration by allowing runoff to level and spread momentarily while also providing some infiltration properties and promoting groundwater recharge as a secondary function.

3. The sequence of major construction activities should be revised to include the four (4) phases and describe the milestones when the contractor will be allowed to proceed to the next phase.

   The contractor will not be allowed to proceed to a subsequent phase until the previous phase has been temporarily stabilized with seed and mulch. If the Town wishes to inspect and sign-off on each phase as it is stabilized, arrangements will be made for that., but any such inspection(s) or sign-off(s) should not delay the construction schedule.
   The sequence of construction activities has also been revised to include the 4 phases as well as the milestones to proceed to the next phase. Refer to site plans and updated SWPPP Report narrative.

We believe that the responses provided above adequately addresses the comments from the letter. Should you have any questions or require additional information, do not hesitate to contact me at (518) 556-3631 or by email at eredding@bergmannpc.com.

Sincerely,

Eric Redding

Eric Redding, PE, LEED AP
DISCIPLINE LEADER, BERGMANN

Cc: Dan Ciarcia, Town Engineer
Matthew Slater, Town Supervisor

From: Melancon, Julie E (DEC) <julie.melancon@dec.ny.gov>
Sent: Wednesday, December 15, 2021 10:21 AM
To: [redacted]
Cc: [redacted]; Charles Voss <cvoss@bergmannpc.com>; [redacted]
Subject: [redacted] Photovoltaic SWPPP

Hi Chris.
I started to review the SWPPP for the abovementioned project. Section VIII.D states that the site can be considered as land clearing and grading for the purposes of creating vegetated open space, as the hydrology change is less than 5%. This exemption only applies to solar projects that meet the attached NYSDEC guidance. Since panels are installed perpendicular to slopes, the exemption does not apply, and post-construction practices will need to be employed to manage any increase in hydrology. The good news is that such a minimal increase will not likely require large scale permanent practices. I looked at the composite curve numbers used for the pre- and post-construction calculations and they are the same. Please break out the CN in more detail for discussion.
Thank You,
Julie

Julie Melançon, CPESC
Environmental Program Specialist II, Division of Water
(she/her/hers)

New York State Department of Environmental Conservation
615 Erie Blvd West , Syracuse, NY 13204
P: (315) 426-7550| F: (315) 426-7459 | julie.melancon@dec.ny.gov
www.dec.ny.gov |

B

Stormwater Pollution Prevention Plan (SWPPP)

YORKTOWN A SOLAR FARM – TOWN OF YORKTOWN
INSTRUCTIONS TO OWNER/OPERATOR/OPERATOR'S ENGINEER AND CONTRACTORS

Responsibilities for Compliance with Storm Water Discharge Permit Regulations at Construction Sites

Operator's Engineer's Responsibilities:

1. Prepare the SWPPP using good engineering practices, Best Management Practices, and in compliance with all federal, state and local permit requirements. This preparation shall also include providing a description of the Project as it relates to site ownership and development responsibilities. The Operator's Engineer shall also prepare the SWPPP Ledger for use in the implementation and documentation of the SWPPP at the Project during Construction Activities.
2. Prepare the NOI form for the Operator's signature and forward to Operator for signature; submit the signed form to the appropriate regulatory agency along with any required fees and attachments. SWPPP must be complete prior to NOI submittal.
3. Include a signed NOI in the SWPPP prepared for the Project.
4. Participate at the pre-construction meeting with Contractor and appropriate subcontractors, which should include a review with all parties of the requirements of the SWPPP, if requested by Operator.
5. Review Contractor's SWPPP records on a periodic basis to ensure compliance with requirements for reports and inspection and maintenance logs, if requested by Operator.
6. Certify to Operator the Contractor's compliance with SWPPP record keeping requirements, if requested by Operator.

Operator's Responsibilities:

1. Have an authorized corporate officer sign the NOI and SWPPP Certification Statement.
2. Schedule and conduct a SWPPP Pre-Construction Meeting with the Operator's Engineer, Contractor and appropriate subcontractors, which should include a review with all parties the requirements under the SWPPP.
3. Require the Contractor to implement fully the SWPPP prepared for the site by the Operator's Engineer.
4. Forward a copy of the original permit certificate received from the regulatory agency to the Owner (if different than the operator), the Municipality's Representative, the MS4 (if applicable and if different from the municipality), the Operator's Engineer and the Contractor for inclusion in the SWPPP Ledger and display at the Project.
5. Ensure (through periodic observations by Operator's Engineer) and document that the Contractor is implementing the controls, inspections, maintenance, record-keeping, and all other requirements of the SWPPP.
6. File an appropriately signed Notice of Termination ("NOT") form when site work construction is completed and stabilization is achieved in accordance with the General Permit.
7. Request and receive all SWPPP records from the Contractor and archive those records for a minimum of five (5) years after the NOT is filed.

Contractor's Responsibilities:

1. Sign the SWPPP Contractor's Certification Form in the SWPPP prepared for the Project (Appendix H).
2. Provide subcontractor training and require all subcontractors to sign the Subcontractor's Certification Form in the SWPPP prepared for the Project (Appendix I).
3. Identify a trained individual (i.e. *Trained Contractor*) who will be responsible for implementing the SWPPP and will be on-site during all soil disturbing activities.
4. Implement the Erosion and Sediment Control Plans, and other requirements of the SWPPP.
5. Provide *Trained Contractors*, and documentation of qualifications, for the controls implemented at the Project.
6. Conduct all necessary inspections at the required intervals and prepare and retain written documentation of those inspections and all other written documentation required by the Construction General Permit.
7. Keep a copy of the SWPPP, all NOI's, permit certificates, permit language, Materials Management Process (MMP), inspection records, and other required records on the Project.
8. Post in a prominent place at the Project entrance and inside the job trailer office wall those documents required to be posted under the terms of the Construction General Permit including, the NOI (Appendix D), Letter of Acknowledgement, etc.
9. Update and make changes to the SWPPP and supporting documents (such as the BMPs) as needed and with the approval of the Operator and the Operator's Engineer.
10. Prepare and sign a NOT form when site work construction is completed and stabilization is achieved in accordance with the General Permit.
11. Transfer the SWPPP documents, along with all NOI's, permit certificates, NOT's, and written records required by the Construction General Permit to the Operator for archiving.

Off-site borrow or fill locations

The General Permit applies to construction activities involving soil disturbances of one (1) or more acres. This may require off-site borrow, fill, and material storage sites to be permitted under the NOI and covered by the SWPPP for the construction site, only if the off-site sites are used solely for that one project. If an off-site borrow or fill location or material storage site is operated by a subcontractor for more than one project, the Operator of this multi-use site must obtain a separate NOI. The multi-use site must be covered under its own Project Permit. A Construction General Permit from a state, local, or appropriate governmental agency may have different requirements relating to off-site borrow or excess (waste) locations. The Operator's Engineer must determine any applicable permit requirements for off-site borrow or excess (waste) locations. The requirements must be incorporated into the SWPPP, where applicable. If a separate General Permit coverage is required for these activities, a copy of the coverage must be provided in the SWPPP.

TABLE OF CONTENTS

APPENDIX A: WRITTEN STORM WATER POLLUTION PREVENTION PLAN

I. SCOPE

A. PURPOSE:

1. Development and proper implementation of the New York State Department of Environmental Conservation (NYSDEC), State Pollutant Discharge Elimination System (SPDES) Construction General Permit governing stormwater discharges during construction and the National Pollutant Discharge Elimination System (NPDES) Construction General Permit governing storm water discharges during construction, and in accordance with Erosion and Sediment Control practices is critical. The Contractor's participation in this program is mandatory and its non-compliance is subject to various remedies, including without limitation, monetary set-offs, withholding payments; reimbursement for costs, expenses (including reasonable attorney's fees), fines and civil penalties incurred by the Operator. This section provides a descriptive explanation of the Storm Water Pollution Prevention Program and required Contractor participation.

B. SPDES CONSTRUCTION GENERAL PERMIT FOR STORM WATER DISCHARGE FROM CONSTRUCTION SITES:

1. Regulations promulgated by the NYSDEC to regulate the discharge of storm water from Construction Activity on sites where one (1) or more acre of soil is disturbed. One of the ways to comply with these regulations for affected sites is to request coverage under the SPDES General Permit for Stormwater Discharges from Construction Activities (GP-0-20-001). In order to use the Construction General Permit, a Notice of Intent (NOI) form must be completed and mailed to the NYSDEC. Authorization to discharge stormwater under the General Permit will be effective when the owner or operator has satisfied all of the criteria listed in Part II, B of the SPDES General Permit for Construction Activity (GP-0-20-001).

C. NOTICE OF INTENT:

1. The Operator will petition the NYSDEC for stormwater discharges during construction at this site to be covered by the SPDES General Permit for Stormwater Discharges from Construction Activity, GP-0-20-001, following completion of this SWPPP. An NOI form will be filed by the Operator. Authorization to discharge stormwater from Construction Activities is effective five (5) or (60) calendar days after the NYSDEC receives the complete NOI.

D. RESPONSIBILITIES OF CONTRACTOR REGARDING THE CONSTRUCTION GENERAL PERMIT:

1. The Contractor shall manage the discharge of stormwater from the site in accordance with the NYSDEC General Permit for Stormwater Discharges from Construction Activities and the following provisions:

a) The Contractor shall be responsible for conducting the Storm Water Management practices in accordance with the permit.

b) The Contractor shall be responsible for providing *Trained Contractors* (See GP-0-20-001 for definition) to conduct the inspections required by the SWPPP.

c) The Contractor shall be responsible for any enforcement action taken or imposed by federal, state, or local agencies, including the cost of fines, construction delays, and remedial actions resulting from the Contractor's failure to comply with the permit provisions.

E. PRE-CONSTRUCTION MEETING:

1. A Pre-Construction SWPPP Meeting shall be mandatory and occur before any land disturbing activities are started. The Certification and Training Program have been developed to stress the importance of the following topics:

a) Erosion and sediment control for water quality protection

b) Implementation of Erosion and Sediment Control Plans

c) The importance to proper installation of erosion and sediment control measures

d) Regular inspection by **Qualified Inspector** of erosion and sediment control measures

e) Diligent maintenance to erosion and sediment control measures

f) Contemporaneous preparation of accurate and complete records regarding inspection and maintenance of erosion and sediment control measures

g) Record-keeping for inspections and maintenance activities

F. SWPPP CERTIFICATION REQUIREMENTS FOR THE CONTRACTOR AND SUBCONTRACTOR(S):

1. The SWPPP shall provide forms for both the Contractor and Subcontractor(s) identifying the Company Name, Business Address and Telephone Number along with the Responsible Person for the Contractor and all Subcontractors who will implement the measures identified in the SWPPP. **The Contractor shall sign, the Contractor's Certification Statement** (Appendix H) **and all Subcontractors shall sign the Subcontractor's Certification Statement** (Appendix I) verifying they have been instructed on how to comply with and fully understand the requirements of the NYSDEC and SWPPP. **These certifications must be signed by a responsible corporate officer or other party meeting the "Signatory Requirements" in Part VII Section H & Part III.A.5. of the NYS DEC SPDES General Permit for Stormwater Runoff from Construction Activity (GP-0-20-001), on behalf of each entity, prior to the beginning of any Construction Activities and shall be filed in the Project's SWPPP.**

G. SWPPP LOCATION REQUIREMENTS:

1. The SWPPP Ledger is meant to be a working document that shall be maintained at the site of the Construction Activities at all times throughout the Project, shall be readily available upon request by the Operator's personnel or NYSDEC or any other agency with regulatory authority over storm water issues, and shall be kept on-site until the site complies with the Final Stabilization section of this document. A copy of the General Permit (GP-0-20-001), NOI, NOI Acknowledgment Letter, SWPPP, and inspection reports shall be maintained at the construction site until all disturbed areas have achieved final stabilization and the Notice of Termination has been submitted to the Department. The documents must be maintained in a secure location, such as a job trailer, on-site construction office, or mailbox with lock; that is accessible during normal working hours to an individual performing a compliance inspection.

H. SWPPP:

1. **A minimum of two (2) copies of the SWPPP, in three (3) ring binders shall be provided by the Operator's Engineer.** One (1) copy shall be provided for use by the General Contractor and one (1) copy shall be provided as an original.

I. INSPECTIONS AND RECORD-KEEPING: Inspections are required per the General Permit GP-0-20-001 by a qualified inspector.

1. INSPECTOR QUALIFICATIONS:

a) Inspections must be conducted by a "Qualified" Inspector. "Qualified" is defined as a person knowledgeable in the principles and practices of erosion and sediment controls who possesses the skills to assess conditions at the construction site that could impact storm water quality and to assess the effectiveness of any sediment and erosion control measures selected to control the quality of storm water discharges from the Construction Activity such as a licensed Professional Engineer, Certified Professional in Erosion and Sediment Control(CPESC), licensed Landscape Architect. It also means that someone working under the direct supervision of a licensed Professional Engineer, or Landscape Architect, provided that person has training in the principles and practices or erosion and sediment control. Training in the principles and practices of erosion and sediment control means that an individual performing the site inspection has received four (4) hours of training, endorsed by the Department, from a Soil and Water Conservation District, CPESC, Inc. or other department endorsed entity in proper erosion and sediment control principles no later than two (2) years from the date of the current general permit issued. After receiving the initial training, an individual working under the direct supervision of a licensed Professional Engineer or licensed Landscape Architect shall receive four (4) hours of training every three (3) years. Inspections of post construction stormwater management practices that include structural components, such as a dam for impoundment, shall be performed by a licensed Professional Engineer.

2. RAINFALL MONITORING:

a) A rain gage should be maintained on the site and a record of the rainfall amounts (in tenths of an inch) and dates shall be recorded every 24 hours on the Rain Log (Appendix P).

3. INSPECTOR RESPONSIBILITIES:

a) The Qualified Inspector shall be trained in all the inspection and maintenance practices necessary for keeping the Erosion and Sediment Controls that are used onsite in good working order. They will also be trained in the completion of, initiation of actions required by, and the filing of the inspection forms. Documentation of Qualified Inspector training will be kept on site with the SWPPP.

4. INSPECTION PROCEDURES:

a) Inspections must include all areas of the site disturbed by Construction Activities and areas used for storage of materials that are exposed to precipitation. Qualified Inspectors must look for evidence of, or the potential for, pollutants entering the storm water conveyance system. Erosion and Sediment Control measures identified in the SWPPP must be observed to ensure proper operation. Discharge locations must be inspected to ascertain whether Erosion and Sediment Control measures are effective in preventing significant impacts to Waters of the United States, where accessible. Where discharge locations are inaccessible, nearby downstream locations must be inspected to the extent that such inspections are practicable. Locations where vehicles enter or exit the site must be inspected for evidence of off-site tracking. The following inspection and maintenance practices will be used to maintain Erosion and Sediment Controls and stabilization measures:

(1) All control measures will be inspected at least at the frequency identified in this Section. The minimum inspection frequency shall be once every seven (7) calendar days.

(2) All measures will be maintained in good working order; if repairs or other measures are found to be necessary, they will be initiated within 24 hours of report, and completed within 48 hours of report and documented with photos.

(3) Built up sediment will be removed from silt fence when it has reached 25% of the height of the fence.

(4) Silt fences will be inspected for depth of sediment, tears, etc., to see if the fabric is securely attached to the fence posts, and to see that the fence posts are securely in the ground.

(5) Temporary and permanent seeding and all other stabilization measures will be inspected for bare spots, washouts, and healthy growth.

(6) An Inspection Report (Appendix J) will be completed after each inspection. Copies of the report forms to be completed by the Qualified Inspector(s) are included in this SWPPP. These reports shall be provided to the Town of Macedon within 24 hours of completion.

(7) The Contractor's Superintendent will be responsible for selecting and training the individuals who will be responsible for these inspections, maintenance and repair activities, and filling out inspection and maintenance reports.

(8) Disturbed Areas and materials storage areas will be inspected for evidence of or potential for pollutants entering stormwater systems.

(9) Report to U.S. Environmental Protection Agency, or NYSDEC within 24 hours any noncompliance with the SWPPP that will endanger public health or the environment. Follow up with a written report within five (5) days of the noncompliance event. The following events require 24-hour reporting: a) any unanticipated bypass which exceeds any effluent limitation in the permit, b) any upset which exceeds any effluent limitation in the permit, and c) a violation of a maximum daily discharge limitation for any of the pollutants listed by the EPA in the permit to be reported within 24 hours. The written submission must contain a description of the non-compliance and its cause; the period of non-compliance, including exact dates and times, and if the non-compliance has not been corrected, the anticipated time it is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the non-compliance.

(10) Spills or Releases of Hazardous Substances or Oil in excess of reportable quantities (as established under 40 CFR Part 110, 40 CFR Part 117 or 40 CFR Part 302) must be reported.

5. MONITORING:

a) Contractor shall be required to inspect daily per GP-0-20-001, Part IV.B.1.

6. THIRD PARTY INSPECTIONS:

a) Where required or requested by the Operator, third party inspections by the design engineer shall be in addition to and shall not replace inspections by the Contractor (Qualified Inspector). The third-party inspector shall complete and sign any inspection report and include a copy of the report in the SWPPP following each inspection.

7. RECORDKEEPING:

a) It is imperative that documentation of the inspection and maintenance of all erosion and sediment control measures as soon as possible after the inspection and/or maintenance is completed. The inspection reports identify any incidents of non-compliance with the permit conditions. Where a report does not identify any incidents of non-compliance, the report must

contain a certification that the Project is in compliance with the SWPPP and the Construction General Permit or other applicable State Permit. The report must be signed in accordance with the General Permit (GP-0-20-001). These records are used to prove that the required inspection and maintenance were performed and shall be placed in the SWPPP Ledger. In addition to inspection and maintenance reports, records should be kept of the Construction Activities that occur on the site. The Contractor shall retain copies of the SWPPP, all reports and data for a minimum of **five (5) years** after the project is complete in paper and CD format.

The forms found in this SWPPP shall be used by the Qualified Inspector(s) and/or the *Trained Contractor* (as applicable) to inventory and report the condition of each measure to assist in maintaining the erosion and sediment control measures in good working order. The following list identifies the required Inspection and Maintenance documentation and record keeping that must be maintained by the Contractor under this SWPPP:

Appendix J: Inspection Report

Appendix K: Stabilization Schedule

Appendix L: Implementation Schedule

Appendix M: Modification Report

Appendix N: Final Stabilization/Notice of Termination Checklist

Appendix O: Reportable Quantity Release Form

Appendix P: Project Rainfall Log

These report forms shall become an integral part of the SWPPP and shall be made readily accessible to governmental inspection officials, the Operator's Engineer, and the Operator for review upon request during visits to the Project site. In addition, copies of the reports shall be provided to any of these persons, upon request, via mail or facsimile transmission. Inspection and maintenance report forms are to be maintained by the permittee for five years following the final stabilization of the site.

8. OTHER RECORD KEEPING REQUIREMENTS:

a) The Contractor shall keep the following records related to Construction Activities at the site:

(1) Dates when major grading activities occur and the areas which were graded

(2) Dates and details concerning the installation of structural controls

(3) Dates when Construction Activities cease in an area

(4) Dates when stabilization measures are initiated

(5) Dates when an area is stabilized, either temporarily or permanently

(6) Dates of rainfall and the amount of rainfall

(7) Dates and descriptions of the character and amount of any spills of Hazardous Substances or Oil

(8) Records of reports filed with regulatory agencies if reportable quantities of Hazardous Substances or Oil spilled

J. SWPPP MODIFICATIONS: The inspection report should also identify if any revisions to the SWPPP are warranted due to unexpected conditions. The SWPPP is meant to be a dynamic working guide that is to be kept current and amended whenever:

1. There is a change in design, construction, operation, or maintenance at the construction site that has or could have a significant effect on the discharge of pollutants to the Waters of the United States that has not been previously addressed in the SWPPP. In addition to modifying the SWPPP, the site map may also require an amendment.
2. Inspections or investigations by site staff, or by local, state or federal officials, determine that the discharges the SWPPP is ineffective in eliminating or significantly minimizing pollutants in storm water discharges from the construction site. Modifications that are the result of an inspection must be initiated within 24 hours and completed within 48 hours.
3. Based on the results of an inspection, it must be modified as necessary to include additional or modified BMPs designed to correct problems identified. Revisions to the SWPPP must be completed within seven (7) calendar days following the inspection.
4. There is a release containing a Hazardous Substance or Oil in an amount equal or in excess of a reportable quantity established under either 40 CFR Part 110, 40 CFR Part 117 or 40 CFR Part 302 occurs during a 24-hour period. Revisions to the SWPPP must be completed within seven (7) calendar days of knowledge of the release.

Any such changes to the SWPPP must be made in writing on the Modification Report (Appendix M) within seven (7) days of the date such modification or amendment is made. Changes must also be drawn on the Progress Drawing.

K. FINAL STABILIZATION AND TERMINATION OF PERMIT COVERAGE: A site can be considered finally stabilized when all soil disturbing activities have been completed and:

1. A uniform perennial vegetative cover with a density of **80%** for the unpaved areas and areas not covered by permanent structures has been established or equivalent permanent stabilization measures have been established.
2. The facility no longer discharges storm water associated with Construction Activities.
3. A Notice of Termination (NOT) form filed by the Operator(s) with the NYSDEC. The NOT must be submitted within thirty (30) days of final stabilization.

The Operator's Project Manager must provide a completed copy of the NOT to the Contractor for inclusion in the SWPPP. This filing terminates coverage under the Construction General Permit and terminates the Contractor's responsibility to implement the SWPPP, but the requirements of the SWPPP, including periodic inspections, must be continued until the NOT is filed. Upon achieving this milestone, the Contractor shall also submit "Final Stabilization Certification/Notice of Termination Checklist" (Appendix N).

II. PROJECT NAME AND LOCATION

Yorktown A Solar Farm
Town of Yorktown
Westchester County
73.859 W, 41.333 N

A general location map (Appendix B) with enough detail to identify the location of the construction site, direction of storm water flow, the receiving waters within one (1) mile of the site, surface waters and Wetlands, storm water discharge locations and other areas as required by *NYSDEC* is included in Appendix B.

III. OPERATOR'S NAME AND ADDRESS

Con Edison Clean Energy Businesses, inc.
Joe Shanahan
100 Summit Lake Drive
Valhalla, New York 10595

IV. PROJECT DESCRIPTION

This SWPPP is for Yorktown A Solar Farm. The project is located within the Town of Yorktown, Westchester County, New York. The entire property is approximately 34.23± acres. The project consists of the installation of photovoltaic panels as well as the associated access road, electric utility upgrades, and perimeter fencing. This SWPPP addresses all the proposed work to be done at the new Yorktown A Solar Farm (Appendix C).

The total project disturbance area will not exceed 5.0 acres at any one time. The approximate start of construction is March, 2021 with an expected end of construction by June, 2021. General soil disturbing activities will include:

- Installation of solar racking
- Construction of entrance driveway
- Panel installation
- Trenching for wiring of panels
- Finalization of connection to the grid
- Vegetation clearing and grubbing
- Decompaction of construction driveway
- Construction of Limited use pervious gravel entrance driveway
- Final grading

V. EXISTING SITE CONDITIONS

The project site tributary area is approximately 17± acres. The topography of the project site ranges from elevations of 292 feet to 238 feet. The site has slopes ranging from 0.1% to 70.0%. The project site consists of mostly wooded areas, a wetland, and a stream. The site drains to existing on-site wetland and stream.

VI. NAME OF RECEIVING WATERS

The site discharges to an existing onsite stream (Mohegan Outlet) and wetland.

VII. DESCRIPTION OF SOILS

Soil Types within the Subject Area

Symbol	Soil Name	Hydrologic Soil Group
ChB	Charlton fine sandy loam, 3 to 8 percent slopes	B
ChE	Charlton loam, 25 to 35 percent slopes	B
SuB	Sutton loam, 3 to 8 percent slopes	B/D
LeB	Leicester loam, 2 to 8 percent slopes	A/D
PnC	Paxton fine sandy loam, 8 to 15 percent slopes	C

More information pertaining soils can be found in the Soil Map included in Appendix B section of this report.

VIII. EROSION AND SEDIMENT CONTROLS

A. The project will utilize temporary and permanent erosion and sediment control practices to prevent sediment from leaving the project area. A list of the practices anticipated are as follows:

Temporary Structural					
	BMP	**Notes**		**BMP**	**Notes**
☐	Check Dams		☐	Sediment Traps	
☐	Construction Road Stabilization		☒	Silt Fence	
☐	Dust Control		☒	Stabilized Construction Entrance	
☐	Earth Dike		☐	Storm Drain Inlet Protection	
☐	Level Spreader		☐	Straw/Hay Bale Dike	
☐	Perimeter Dike/Swale		☐	Temporary Access Waterway Crossing	
☐	Pipe Slope Drain		☐	Temporary Stormdrain Diversion	
☐	Portable Sediment Tank		☐	Temporary Swale	
☐	Rock Dam		☐	Turbidity Curtain	
☐	Sediment Basin		☐	Water Bars	
Vegetative Measures					
	BMP	**Notes**		**BMP**	**Notes**
☐	Brush Matting		☐	Sodding	
☐	Dune Stabilization		☐	Straw/Hay Bale Dike	
☐	Grassed Waterway		☐	Streambank protection	
☒	Mulching		☐	Temporary Swale	
☐	Protecting Vegetation		☐	Topsoiling	
☐	Recreation Area Improvement		☐	Vegetative Waterways	
☒	Seeding		☐	Other	
Biotechnical					
☐	Brush Matting		☐	Wattling	

Permanent Structural					
	BMP	**Notes**		**BMP**	**Notes**
☐	Debris Basin		☐	Riprap Slope Protection	
☐	Diversion		☐	Rock Outlet Protection	
☐	Grade Stabilization Structure		☐	Streambank Protection	
☒	Land Grading		☐	Other	
☐	Lined Waterway (Rock)		☐	Other	
☐	Paved Channel		☐	Other	
☐	Paved Flume		☐	Other	
☐	Retaining Wall		☐	Other	

B. Sequence of Major Construction Activities

The Contractor will be responsible for implementing the following Erosion and Sediment Control and Storm Water Management control measures. The Contractor may designate these tasks to certain subcontractors as he sees fit, but the ultimate responsibility for implementing these controls and ensuring their proper functioning remains with the Contractor. The order of activities will be as follows (refer to the Erosion and Sediment Control / SWPPP Plan Sheet C001):

Construction Sequence

1. Pre-construction meeting held to include project manager, operator's engineer, town representative, contractor, and sub-contractors prior to land disturbing activities.
2. Construct construction entrance/exit at locations designated on plans.
3. Install compost silt sock.
4. Have a qualified professional conduct an assessment of the site prior to the commencement of construction and certify in an inspection report that the appropriate erosion and sediment controls described in the SWPPP and required by the NYSDEC permit have been adequately installed or implemented to ensure overall preparedness of the site for the commencement of construction.
5. Begin clearing and grubbing operations. Clearing and grubbing operations shall be done only in areas where earth work will be performed and only in areas where construction is planned to commence within fourteen (14) days after clearing and grubbing.
6. Construct stormwater management practices per plan.
7. Construct gravel driveway to be used during construction.
8. Strip topsoil and stockpile in a location acceptable to construction manager. When stockpile is complete, install a perimeter silt sock, seed surface with 100% perennial ryegrass mixture at a rate of 2-4 lbs. per 1000 square feet. Apply 90-100 lbs. per 1,000 square feet of mulch.
9. Commence earthwork cut and fills. The work shall be progressed to allow a reasonable transfer of cut and fill earth for rough grading and earth moving. The contractor will be given some latitude to vary

from the following schedule in order to meet the field conditions encountered. Contractor shall review variations to SWPPP with Design Engineer and qualified professional prior to implementation.

10. Construct solar array area in four phases as detailed in Sheet C007 of this plan set. Contractor shall construct each phase individually and shall not proceed to the following phase until the solar racking has been installed and the phase area has been temporarily stabilized with seed and mulch.
11. Stabilize all areas as soon as practicable, idle in excess of seven (7) days and in which construction will not commence within fourteen (14) days
12. Install utilities. Trench excavation/backfill areas should be stabilized progressively at the end of each workday with seed and straw mulch at a rate of 100% perennial ryegrass at 2-4 lbs. per 1,000 square feet mulched at 90-100 lbs. per 1000 square feet.
13. Remove the construction gravel driveway and construct the proposed pervious gravel driveway after construction activities such as the installation of the panels and perimeter fence. The sub-grade material where the driveway is to be installed shall be decompacted per NYSDEC'S "Deep-Ripping and Decompaction" manual, dated April 2008. Contractor shall avoid frequent heavy traffic on the Limited Use Pervious Gravel Driveway
14. Stabilize all areas as soon as practicable, idle in excess of seven (7) days and in which construction will not commence within fourteen (14) days.
15. Remove temporary construction exits and perimeter silt sock once site has achieved 80% uniform stabilization.

C. Storm Water Management

Con Edison Clean Energy Businesses, Inc. will be responsible for all maintenance of the stormwater management facilities associated with the project.

The amount of stormwater leaving the site will be restricted to pre-development rates for the 1-year, 10-year (Overbank Flood) and 100-year (Extreme Storm), 24 hour storm events with a Type II rainfall distribution. The Volume of water being detained will be a function of the increased runoff. Detailed information related to the proposed stormwater management facilities is included in the Stormwater Management Report (Appendix R).

Due to the use of the NYSDEC Approved Limited Use Pervious Gravel, the concrete pads constitutes the only impervious addition to the site. A Bio-Retention basin is proposed to treat stormwater runoff from the concrete pads. Detailed information related to the proposed stormwater management facilities is included in the Stormwater Management Report (Appendix R)

D. Post Construction Stormwater BMP Operation and Maintenance Plan

An Operations and Maintenance Plan is included to address the inspection, operation and maintenance of all post construction BMPs identified in this plan. The contractor is responsible for proper installation, maintenance and functioning of all the best management practices shown on the drawings until after stabilization is achieved. A copy of the Post Construction Stormwater BMP Operations and Maintenance Plan is included in Appendix T of this document.

IX. OTHER CONTROLS

A. Off-Site Vehicle Tracking

1. Dump trucks hauling material from the construction site will be covered with a tarpaulin. The job Contractor's Superintendent will be responsible for seeing that these procedures are followed.
2. Rock construction entrance to be installed as site conditions warrant or at the request of the engineer or inspector.

B. Excavation Spoil Materials

1. Excavation spoil materials may be generated during excavations including, but not limited to roadway and utilities installation. These materials must be properly managed to prevent them from contributing to storm water discharges. The materials generated from the development of this Project will be managed by the following method: Stockpiled on-site, the general site contractor to specify location and provide erosion control for excavated spoil materials or the material shall be hauled off-site and disposed of in an appropriate manner.

C. Dust Control

1. Minimizing wind erosion and controlling dust will be accomplished by one or more of the following methods
   - **a)** Covering 30% or more of the soil surface with a non-erodible material.
   - **b)** Roughening the soil to produce ridges perpendicular to the prevailing wind. Ridges should be about six (6) inches in height.
   - **c)** Frequent watering of excavation and fill areas.
   - **d)** Providing gravel or paving at entrance/exit drives, parking areas and transit paths.

D. Equipment Service Area

1. The Contractor shall identify an area on the Erosion and Sediment Control Plan for equipment cleaning, maintenance and repair. This area shall be protected by a temporary perimeter berm preventing all surface runoff from leaving the area, or equivalent measure, and shall be located no closer than 100' from any Waters of the United States or state, and shall be located no closer than 50' from any storm inlet. External washing of trucks and other construction vehicles must be confined to this area. No engine degreasing or asphalt equipment or tool washing is permitted.

E. Material Stockpiles

1. Stormwater runoff to and from material stockpiles shall be controlled to prevent materials from creating a diversion of surface water to disturbed soils or from entering the surface water. Topsoil stockpiles shall be surrounded with perimeter sediment control measures such as silt fence and be covered with non-erosive material as soon as practicable but no longer than 14 days after completion of the pile. Non-erosive material may include temporary seeding with straw mulch and tackifier, mulch, or other material providing suitable cover.

F. Masonry Mixing Area

1. Non-stormwater discharges into storm drainage systems or waterways containing slurries from concrete or mortar mixing operations shall not be permitted. Masonry mixing areas shall be located a minimum distance of 100 linear feet from drainage ways, inlets and surface waters and all storm water runoff from these areas shall be contained by a berm or other measures. Run-on water to these areas will be diverted to prevent mixing of clean water and water contaminated with concrete slurry.

X. COMPLIANCE WITH OTHER STATE AND LOCAL REGULATIONS

A. At a minimum, the Contractor will obtain copies of any and all local and state regulations which are applicable to Storm Water Management, Erosion and Sediment Control, and pollution minimization at this Project and will comply fully with such regulations. The Contractor will submit written evidence of such compliance if requested by the Operator or any agent of a regulatory body. The Contractor will comply with all conditions of the *NYSDEC* General Permit for Stormwater Discharges from Construction Activities including the conditions related to maintaining the SWPPP and evidence of compliance with the SWPPP at the Project and allowing regulatory personnel access to the Project and to records in order to determine compliance. The Contractor shall also comply with any additional or more stringent requirements imposed by the permit issued by an approved state storm water program, or with permits issued, or requirements imposed by the Town to which the Project discharges storm water. Requirements with which the Contractor must comply include installation of post-construction measures required by the State, County, or City.

XI. MATERIALS MANAGEMENT PLAN

A. Progress Drawing

1. A Progress Drawing consisting of a print of the Erosion and Sediment Control Plans shall be posted inside the job trailer wall. The Progress Drawing will be used to record the locations of the Job Trailer, Sanitary Waste Facilities, Solid Waste Facilities, Fuel Storage Area, Equipment Service Area, and Concrete Washout Pit. Any time any of these facilities are relocated on the site, a new location will be noted on the Progress Drawing and a Modification Report (Appendix M) will be prepared.

B. Materials Covered

1. The following materials or substances are expected to be present onsite during construction:

Concrete/Additives/Wastes	Cleaning solvents
Detergents	Petroleum based products
Paints/Solvents	Pesticides
Acids	Fertilizers
Solid and construction wastes	Sanitary wastes
Soil stabilization additives	

C. Materials Management Practices

The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances to stormwater runoff. The Contractor's Superintendent will be responsible for ensuring that these procedures are followed:

1. Good Housekeeping

The following good housekeeping practices will be followed onsite during construction:

a) An effort will be made to store only enough products required to do the job.

b) All materials stored onsite will be stored in a neat, orderly manner and, if possible, under a roof or in a containment area. At a minimum, all containers will be stored with their lids on when not in use. Drip pans shall be provided under all dispensers.

c) Products will be kept in their original containers with the original manufacturer's label in legible condition.

d) Substances will not be mixed with one another unless recommended by the manufacturer.

e) Whenever possible, all of a product will be used up before disposing of the container.

f) Manufacturer's recommendations for proper use and disposal will be followed.

g) The Contractor's Superintendent will be responsible for daily inspections to ensure proper use and disposal of materials.

2. Hazardous Substances

These practices will be used to reduce the risks associated with Hazardous Substances. Safety Data Sheets (SDS's) for each product with hazardous properties that is used at the Project will be obtained and used for the proper management of potential wastes that may result from these products. An SDS will be posted in the immediate area where such product is stored and/or used and another copy of each SDS will be maintained in the job trailer at the Project. Each employee who must handle a Hazardous Substance will be instructed on the use of SDS sheets and the specific information in the applicable SDS for the product he/she is using, particularly regarding spill control techniques.

a) Products will be kept in original containers with the original labels in legible condition.

b) Original labels and SDS's will be procured and used for each product.

c) If surplus product must be disposed manufacturer's and local/state/federal required methods for proper disposal must be followed.

3. Hazardous Waste

It is imperative that all Hazardous Waste be properly identified and handled in accordance with all applicable Hazardous Waste Standards, including the storage, transport and disposal of the Hazardous Wastes. There are significant penalties for the improper handling of Hazardous Wastes. It is important that the Site Superintendent seeks appropriate assistance in making the determination of whether a substance or material is a Hazardous Waste. For example, Hazardous Waste may include certain Hazardous Substances, as well as pesticides, paints, paint solvents, cleaning solvents, pesticides, contaminated soils, and other materials, substances or chemicals that have been discarded (or are to be discarded) as being out-of-date, contaminated, or otherwise unusable, and can include the containers for those substances; other materials and substances can also be or become Hazardous Wastes, however. The Contractor's Superintendent is also responsible for ensuring that all site personnel are instructed as to these Hazardous Waste requirements and also that the requirements are being followed.

4. Product Specific Practices

The following product specific practices will be followed on the job site:

a) Petroleum Products

(1) All onsite vehicles will be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products will be stored in tightly sealed containers which are clearly labeled. Petroleum storage tanks shall be located at minimum 100 linear feet from drainage ways, inlets and surface waters. Maximum total aggregate above ground storage capacity (for the total permit area) shall not exceed 1,320 gallons (which includes both bulk and equipment operational storage volumes in fuel tanks 55 gallons and greater). Total aggregate petroleum storage exceeding 1,320 gallons shall require preparation, certification (using a Professional Engineer or providing a Self-Certified SPCC Plan if applicable) and implementation of a Spill Prevention Control and Countermeasures

(SPCC) Plan. The SPCC Plan must be prepared and fully implemented prior to the commencement of work. The SPCC Plan, if needed, will be furnished by the Contractor. Any petroleum storage tanks stored onsite will be located within a containment area that is designed with an impervious surface between the tank and the ground. The secondary containment must be designed to provide a containment volume that is equal to 110% of the volume of the largest tank. Any mobile petroleum tank shall be parked in a vehicular service area surrounded by a berm that provides a containment volume that is equal to 110% of the volume of the largest tank. Containment must provide sufficient volume to contain expected precipitation and 110% volume of the largest tank. Accumulated rainwater or spills from containment areas are to be promptly pumped into a containment device and disposed of properly by a licensed Hazardous Waste transporter. Drip pans shall be provided for all dispensers. Any asphalt substances used onsite will be applied according to the manufacturer's recommendations. The location of any fuel tanks and/or equipment storage areas must be identified on the PROGRESS DRAWING by the Contractor once the locations have been determined.

b) Fertilizers

(1) Fertilizers will be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer will be worked in the soil to limit exposure to storm water. Storage will be in a covered shed. The contents of any partially used bags of fertilizer will be transferred to a sealable plastic bin to avoid spills.

c) Paints, Paint Solvents, and Cleaning Solvents

(1) All containers will be tightly sealed and stored when not in use. Excess paint and solvents will not be discharged to the storm sewer system but will be properly disposed of according to manufacturer's instructions or state and federal regulations.

d) Concrete Wastes

(1) Concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water on the site, but only in specifically designated diked and impervious washouts which have been prepared to prevent contact between the concrete wash and storm water. Waste generated from concrete wash water shall not be allowed to flow into drainage ways, inlets, receiving waters or highway right of ways, or any location other than the designated concrete washout. Waste concrete may be poured into forms to make riprap or other useful concrete products. Proper signage designating the "Concrete Washout" shall be placed near the facility. Concrete Washouts shall be located at minimum 100 linear feet from drainage ways, inlets and surface waters.

(2) The hardened residue from the concrete wash out areas will be disposed of in the same manner as other non-hazardous construction waste materials or may be broken up and used on site as deemed appropriate by the Contractor. Maintenance of the washout is to include removal of hardened concrete. The Facility shall have sufficient volume to contain all the concrete waste resulting from washout and a minimum freeboard of 12 inches. Facility shall not be filled beyond 95% capacity and shall be cleaned out once 75% full unless a new facility is constructed. The Contractor's Superintendent will be responsible for seeing that these procedures are followed.

(3) Saw-cut Portland Cement Concrete (PCC) slurry shall not be allowed to enter storm drains or Watercourses. Saw-cut residue should not be left on the surface of pavement or be allowed

to flow over and off pavement. Residue from saw-cutting and grinding shall be collected by vacuum and disposed of in the concrete washout facility.

(4) **The Project may require the use of multiple concrete wash out areas.** These concrete wash out areas are to be made available to all trades and subcontractors working on the Project. The Contractor may designate certain wash out areas for particular trades or subcontractors, but the Contractor is responsible for the management of all concrete washout areas on the Project. All concrete wash out areas will be located in an area where the likelihood of the area contributing to storm water discharges is negligible. If required, additional BMPs must be implemented to prevent concrete wastes from contributing to storm water discharges. The location of concrete wash out area(s) must be identified on the PROGRESS DRAWING by the Contractor once the locations have been determined.

e) Solid and Construction Wastes

(1) All waste materials will be collected and stored in an appropriately covered container and/or securely contained metal dumpster rented from a local waste management company which must be a licensed solid waste management company. The dumpster will comply with all local and state solid waste management regulations.

(2) All trash and construction debris from the site will be deposited in the dumpster. The dumpster will be emptied a minimum of once per week or more often if necessary. Once building construction has commenced, the dumpster will be emptied a minimum of once per week or when 95% full, or more often if necessary, to prevent over-flow and the trash will be hauled to a landfill. No construction waste materials will be buried on site. All personnel will be instructed regarding the correct procedures for waste disposal.

(3) All waste dumpsters and roll-off containers will be located in an area where the likelihood of the containers contributing to storm water discharges is negligible. Solid waste containers shall be located no less than 50 feet from any storm inlet, drainage way, or surface water. If required, additional BMPs must be implemented, such as gravel bags, wattles, dikes, berms, and fences around the base to prevent wastes from contributing to storm water discharges. The location of waste dumpsters and roll-off containers must be identified on the PROGRESS DRAWING by the Contractor once the locations have been determined.

f) Sanitary Wastes

(1) A minimum of one portable sanitary unit will be provided for every ten (10) workers on the site. All sanitary waste will be collected from the portable units a minimum of one time per week by a licensed portable facility provider in complete compliance with local and state regulations.

(2) All sanitary waste units will be located in an area where the likelihood of the unit contributing to storm water discharges is negligible. Additional containment BMPs must be implemented, such as gravel bags or specially designed plastic skid containers around the base, to prevent wastes from contributing to storm water discharges. The location of sanitary waste units must be identified on the PROGRESS DRAWING by the contractor once the locations have been determined.

g) Contaminated Soils

(1) Any contaminated soils (resulting from spills of Hazardous Substances or Oil or discovered during the course of construction) which may result from Construction Activities will be contained and cleaned up in accordance with applicable state and federal regulations.

Contaminated soils not resulting from Construction Activities, or which pre-existed Construction Activities, but which are discovered by virtue of Construction Activities, should be reported in the same manner as spills, but with sufficient information to indicate that the discovery of an existing condition is being reported. If there is a release that occurs by virtue of the discovery of existing contamination, this should be reported as a spill, if it otherwise meets the requirements for a reportable spill.

D. Spill Prevention and Response Procedures

The Contractor will train all personnel in the proper handling and cleanup of spilled Hazardous Substances or Oil. No spilled Hazardous Substances or Oil will be allowed to come in contact with storm water discharges. If such contact occurs, the storm water discharge will be contained on site until appropriate measures in compliance with state and federal regulations are taken to dispose of such contaminated storm water. It shall be the responsibility of the Contractor's Superintendent to be properly trained, and to train all personnel in spill prevention and clean up procedures.

1. In order to prevent or minimize the potential for a spill of Hazardous Substances or Oil to come into contact with storm water, the following steps will be implemented:

a) All Hazardous Substances or Oil (such as pesticides, petroleum products, fertilizers, detergents, construction chemicals, acids, paints, paint solvents, cleaning solvents, additives for soil stabilization, concrete curing compounds and additives, etc.) will be stored in a secure location, with their lids on, preferably under cover, when not in use.

b) The minimum practical quantity of all such materials will be kept at the Project.

c) A spill control and containment kit (containing, for example, absorbent materials, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, goggles, plastic and metal trash containers, etc.) will be provided at the storage site.

d) Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be trained regarding these procedures and the location of the information and cleanup supplies.

e) It is the Contractors responsibility to ensure that all Hazardous Waste discovered or generated at the Project site is disposed of properly by a licensed hazardous material disposal company. The Contractor is responsible for not exceeding Hazardous Waste storage requirements mandated by the EPA or state and local authority.

2. In the event of a spill of Hazardous Substances or Oil, the following procedures must be followed:

a) All measures must be taken to contain and abate the spill and to prevent the discharge of the Hazardous Substance or Oil to storm water or off-site. (The spill area must be kept well ventilated and personnel must wear appropriate protective clothing to prevent injury from contact with the Hazardous Substances.

b) If the release is equal to or in excess of a reportable quantity, the SWPPP must be modified within seven (7) calendar days of knowledge of the discharge to provide a description of the release, the circumstances leading to the release, and the date of the release. The SWPPP must identify measures to prevent the recurrence of such releases and to respond to such releases. The form in Appendix O must be completed in accordance with this requirement.

XII. CONTROL OF NON-STORM WATER DISCHARGES

A. Certain types of discharges are allowable under the NYSDEC General Permit for Stormwater Discharges from Construction Activities, and it is the intent of this SWPPP to allow such discharges. These types of discharges will be allowed under the conditions that no pollutants will be allowed to come in contact with the water prior to or after its discharge. The control measures which have been outlined previously in this SWPPP will be strictly followed to ensure that no contamination of these non-storm water discharges takes place. The following non-storm water discharges are allowed by the NYSDEC and may occur at the Project:

1. Discharges from fire-fighting activities;
2. Fire hydrant flushings;
3. Waters used to wash vehicles where detergents are not used;
4. Water used to control dust;
5. Potable water including uncontaminated water line flushings;
6. Routine external building wash down that does not use detergents;
7. Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless all spilled material has been removed) and where detergents are not used;
8. Uncontaminated air conditioning or compressor condensate;
9. Uncontaminated ground water or spring water;
10. Foundation or footing drains where flows are not contaminated with process materials such as solvents;
11. Uncontaminated excavation dewatering;
12. Landscape irrigation

XIII. HISTORICAL PROPERTIES

A. A review of potential adverse impact to cultural, historic and archaeological resources was conducted. The Project area was determined to be Archeologically sensitive. The New York State Historic Preservation Office response letter can be found in Appendix S.

XIV. INDUSTRIAL ACTIVITIES

A. There are no discharges planned from industrial activities as part of this project.

XV. ENHANCED PHOSPHORUS REMOVAL STANDARDS

A. This project is not required to provide enhanced phosphorus removal practices

Daniel Ciarcia, P.E.
Town Engineer

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN
ENGINEERING DEPARTMENT

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board

From: Dan Ciarcia

Date: December 14, 2021

Re: Yorktown A Solar Farm
ConEdison Clean Energy – Foothill Street
Plans Dated October 27, 2020, Last Revised November 22, 2021
SWPPP Dated October 27, 2020, Last Revised January, 28, 2021

The plans and SWPPP submitted have been reviewed and we have the following comments:

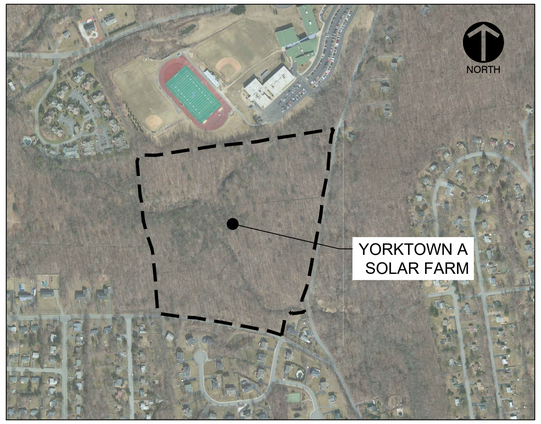
1. The applicant has proposed the design to be consistent with the New York State Department of Environmental Conservation (NYSDEC) memorandum that allows solar panel installations to be considered "Land clearing and grading for the purpose of creating vegetated open space. The proposed panels do not have the proper orientation with respect to the existing topography to have this project analyzed as vegetated open space. The panels should be reoriented or the stormwater design revised accordingly.
2. The proposed level spreaders will not provide that function due to the slope. As designed, the level spreaders will not provide sheet flow and will likely decrease the time of concentration (t_c), thus increasing peak flows.
3. The sequence of major construction activities should be revised to include the four (4) phases and describe the milestones when the contractor will be allowed to proceed to the next phase.

DAC:mc:
cc: Planning Department
Planning Board Attorney
Applicant's Engineer
Applicant
Conservation Board
Highway Superintendent
Water Superintendent
Town Supervisor

CON EDISON CLEAN ENERGY BUSINESSES, INC.

YORKTOWN A SOLAR FARM
SITE PLANS

FOOTHILL STREET
TOWN OF YORKTOWN



LOCATION MAP
1"=500'

SHEET INDEX			
C000	SHEET 1 OF	14	COVER SHEET
C001	SHEET 2 OF	14	OVERALL SITE PLAN
C002	SHEET 3 OF	14	SITE PLAN
C003	SHEET 4 OF	14	GRADING / SWPPP PLAN
C004	SHEET 5 OF	14	DETAILED GRADING PLAN
C005	SHEET 6 OF	14	DRIVEWAY DETAILS
C006	SHEET 7 OF	14	LANDSCAPING & PLANTING FOR MITIGATION PLAN
C007	SHEET 8 OF	14	PHASING PLAN
C008	SHEET 9 OF	14	GENERAL NOTES
C009	SHEET 10 OF	14	EROSION & SEDIMENT CONTROL DETAILS
C010	SHEET 11 OF	14	EROSION & SEDIMENT CONTROL DETAILS
C011	SHEET 12 OF	14	SITE DETAILS
C012 & C013	SHEET 13 & 14 OF	14	CONSTRUCTION DETAILS

PROJECT INFORMATION:

LATITUDE: 41.333 N
LONGITUDE: 73.859 W

TOWN: YORKTOWN
COUNTY: WESTCHESTER
STATE: NEW YORK

PROJECT OWNER/APPLICANT:

CON EDISON CLEAN ENERGY BUSINESSES, INC.
100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595
PH: (973) 600-4328
CONTACT: JOE SHANAHAN

PREPARED BY:

BERGMANN
2 WINNERS CIRCLE, SUITE 102
ALBANY, NY 12205
PH: (518) 862-0325
CONTACT: ERIC REDDING, P.E.

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YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595

BERGMANN
ARCHITECTS ENGINEERS PLANNERS

Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office: 518.862.0325

www.bergmannpc.com

REVISIONS

NO.	DATE	DESCRIPTION	REV.	CK'D
1	1/28/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR

PRELIMINARY
NOT FOR CONSTRUCTION

STATE OF NEW YORK
ERIC C. REDDING
092443
LICENSED PROFESSIONAL ENGINEER

Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED

Project Number:
14847.00

COVER SHEET

Drawing Number:
C000

1 of 14

LEGEND:

- PROPERTY LINE SETBACK – 50 FEET
- PROPERTY/R.O.W. LINE
- EXISTING LOT LINE ADJUSTMENT
- PROPOSED GRAVEL DRIVEWAY
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- 1010 CONTOUR – MAJOR
- 1012 CONTOUR – MINOR
- EXISTING VEGETATION
- EXISTING ROCK WALL
- PROPOSED LIMITS OF TREE CLEARING
- BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ℄ STREAM
- 100' WETLAND BUFFER
- PROPOSED ROCK WALL
- PROPOSED SCREENING TREES
- SWL SWL PROPOSED SWALE

SOFTBALL DIAMOND
TRACK/FOOTBALL FIELD
N/F PUTNAM VALLEY MIDDLE SCHOOL TAX
SCHOOL PARKING LOT
PROPOSED 20' WIDE LIMITED USE PERVIOUS GRAVEL DRIVEWAY.
PROPOSED CHAIN LINK FENCE WITH 16' WIDE DOUBLE GATE: 6,790 ± LF TOTAL ENCLOSING 14.65 ± TOTAL ACRES
PROPOSED 20'X30' EQUIPMENT PAD FOR INVERTER
PROPOSED STORMWATER SWALE WITH CHECK DAMS
PROPOSED LAYDOWN AREA, CONTRACTOR TO USE LIMITED USE PERVIOUS GRAVEL
SIGHT DISTANCE TO THE LEFT: 431'±
EXISTING CONCRETE VAULT
REFER TO SITE ENTRANCE DETAIL, THIS SHEET
N/F MICHAEL BEAKES TAX 48.05-1-37
N/F GIL SUSMAS TAX 15.08-1-
WESTCHESTER COUNTY AND YORKTOWN TOWNSHIP LINE
PROPERTY LINE, TYP.
PROPOSED DETENTION POND
LIMITS OF TREE CLEARING (TYP.)
PROPOSED DETENTION POND
N/F DOUGLAS CALL TAX 15.07-1-6
EXISTING BUILDING (TYP.)
N/F JOHN & MARY MULGREW TAX 15.08-1-15
POINT OF INTERCONNECTION
UTILITY RECLOSER POLE ARRAY SERVICE
PROPOSED PAD MOUNTED TRANSFORMER
ARRAY DISCONNECT MAY BE PAD/POLE MOUNTED
UNDERGROUND ELECTRICAL CONDUIT
TURNING SPACE FOR PUMPER FIRE TRUCK
PROPOSED 30'X75' TEMPORARY STAGING AREA.
PROPOSED BIO-RETENTION BASIN
PROPOSED 27'X64' ELECTRICAL BATTERIES (TESLA MEGAPACKS)
STONE CHECK DAM, TYP.
100' WETLAND SETBACK
100' WETLAND SETBACK
PROPOSED STORMWATER SWALE WITH CHECK DAMS
YORKTOWN A SOLAR FARM
PANEL WIDTH: 12.9'
SPACING BETWEEN ROWS: 25.0'
N/F RICHARD &ANN HARTNETT TAX 15.08-1-14
EXCESS ROCK TO BE STOCKPILED ON-SITE
EXISTING SWALE
100' OHWM SETBACK
LIMITS OF TREE CLEARING (TYP.)
SIGHT DISTANCE TO THE RIGHT: 517'±
N/F VICTOR WRIGHT TAX 15.08-1-13
BERGMANN DELINEATED PEM/PSS WETLAND
N/F NILES SCHWARTZ TAX 15.07-1-7
N/F LAWRENCE WATKINS TAX 15.08-1-12
EXISTING STREAM CENTERLINE MONEGAN OUTLET
FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE, TYP.
FEMA 1% ANNUAL CHANCE FLOOD HAZARD ZONE, TYP.
FEMA REGULATORY FOODWAY, TYP.
EXCESS ROCK TO BE STOCKPILED ON-SITE
PROPOSED PERIMETER FENCE TO BE INSTALLED ALONG PROJECT FRONT YARD
50' SETBACK LINE
FOOTHILL STREET
N/F JONATHON MENZ TAX 15.08-1-11
STREAM CENTERLINE BASED ON LIDAR
EXCESS ROCK WALLS TO BE REMOVED AND RELOCATED TO PROJECT FRONT YARD, TYP.
EXCESS ROCKS FROM EXISTING ROCK WALL TO BE USED AS ROCK WALL ALONG FRONT YARD
N/F RICHARD BAMBACE JR TAX 15.08-1-10
N/F WILLIAM LOCKWOOD TAX 15.07-1-5 AREA = 34.233± ACRES
OHWM BOUNDARY LINE
N/F JARED & JILL GREENWALD TAX 15.08-1-9
EXISTING STONE WALL
PAGE OLNER SOURBY TAX 15.08-1-8
N/F TOWN OF YORKTOWN PARKLAND TAX 15.08-1-7
50' SETBACK LINE
LOCKWOOD ROAD
N/F EDWARD & JULIE STOLL TAX 15.07-1-3
N/F EDWARD & TERESA HALPIN TAX 15.07-1-4
N/F WILLIAM LOCKWOOD TAX 13.10-2-3
N/F EMIGRANT MORTGAGE CO TAX 13.10-2-3.5
N/F ANNA & ERNEST POLAO TAX 13.10-2-3.6
N/F WILLIAM LOCKWOOD TAX 13.10-2-3.7
N/F WILLIAM LOCKWOOD TAX 13.10-2-3.8
N/F JOHN & MARY GARVY TAX 13.10-3-5
N/F SHARON HORBECK TAX 15.07-1-2
N/F RICHARD BARRESCIA TAX 15.07-1-8
N/F ANTHONY MATESE TAX 15.07-1-9
N/F JOHN CIMATA TAX 15.07-1-10
N/F SHEILA SHERIDAN TAX 15.07-1-12
N/F DOUGLAS BERRY TAX 15.07-1-11
N/F DEBANJAN & KANJA SAHA TAX 15.07-1-13
N/F MITESH PATEL TAX 15.07-1-20
N/F EUGENE & ESPINOSA SALA TAX 15.07-1-21
N/F SHANATHA & R SAHOO TAX 15.07-1-16
N/F WINDY & MARK NELSON TAX 15.07-1-15
N/F ROBET SATERIALE TAX 15.07-1-14
EMMA LANE
N/F DAVID KONKICH TAX 13.10-3-6
MCARTHUR BLVD
WOODLAND BLVD
OSEY CT

SITE PLAN DATA TABLE

SITE IS LOCATED IN THE "R1-40" RESIDENTIAL ZONING DISTRICT.

PROPOSED USE: SOLAR

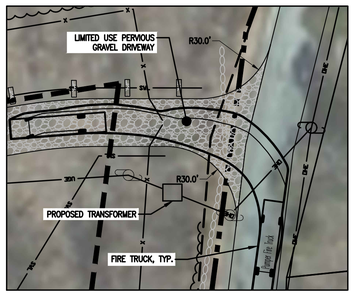
PARCEL 15.07-1-5
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER
STATE OF NEW YORK

APPLICANT:
CON EDISON CLEAN ENERGY BUSINESSES, INC.
100 SUMMIT LAKE DRIVE
VALHALLA NY, 10595
(978) 888-4088

OWNER(S) OF RECORD:
WILLIAM LOCKWOOD

PLANS PREPARED BY:
BERGMANN
2 WINNERS CIRCLE, SUITE 102
ALBANY, NY 12205
(518) 862-0325

DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	2 AC.	34.2± AC.
MIN. LOT WIDTH	150 FT	1,011± FT
MIN. LOT DEPTH	150 FT	1,114± FT
MIN. SIDE YARD SETBACK	50 FT	60± FT
MIN. FRONT YARD SETBACK	50 FT	55± FT
MIN. REAR YARD SETBACK	50 FT	50± FT
MAX. PANEL HEIGHT	15 FT	12± FT
MAX. LOT COVERAGE (INCLUDING PANELS)	80%	11.3± %



DRIVEWAY ENTRANCE DETAIL
SCALE: 1"=30'

0 100 200 300 FT
1" = 100' SCALE BAR

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FOOTHILL STREET

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PRELIMINARY
NOT FOR CONSTRUCTION

STATE OF NEW YORK · ERIC C. REDING · 092442 · LICENSED PROFESSIONAL ENGINEER

Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	1"=100'

Project Number:
14847.00

OVERALL SITE PLAN

Drawing Number:
C001
2 of 14

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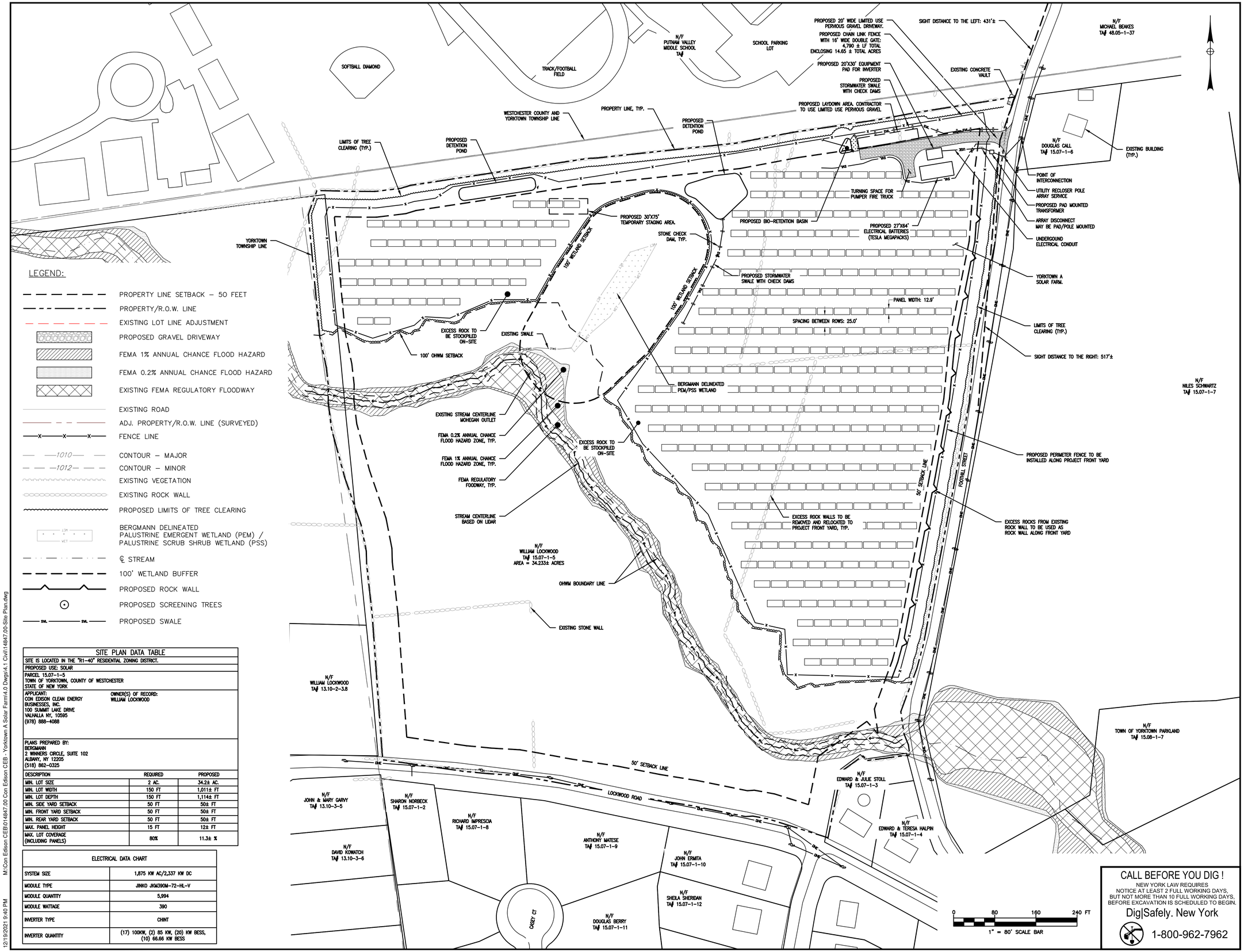

LEGEND:

- PROPERTY LINE SETBACK – 50 FEET
- PROPERTY/R.O.W. LINE
- EXISTING LOT LINE ADJUSTMENT
- PROPOSED GRAVEL DRIVEWAY
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- CONTOUR – MAJOR
- CONTOUR – MINOR
- EXISTING VEGETATION
- EXISTING ROCK WALL
- PROPOSED LIMITS OF TREE CLEARING
- BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ℄ STREAM
- 100' WETLAND BUFFER
- PROPOSED ROCK WALL
- PROPOSED SCREENING TREES
- PROPOSED SWALE

SITE PLAN DATA TABLE		
SITE IS LOCATED IN THE "R1-40" RESIDENTIAL ZONING DISTRICT.		
PROPOSED USE: SOLAR		
PARCEL 15.07-1-5 TOWN OF YORKTOWN, COUNTY OF WESTCHESTER STATE OF NEW YORK		
APPLICANT: CON EDISON CLEAN ENERGY BUSINESSES, INC. 100 SUMMIT LAKE DRIVE VALHALLA NY, 10595 (978) 888-4088	OWNER(S) OF RECORD: WILLIAM LOCKWOOD	
PLANS PREPARED BY: BERGMANN 2 WINNERS CIRCLE, SUITE 102 ALBANY, NY 12205 (518) 862-0325		
DESCRIPTION	REQUIRED	PROPOSED
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MIN. REAR YARD SETBACK	50 FT	50± FT
MAX. PANEL HEIGHT	15 FT	12± FT
MAX. LOT COVERAGE (INCLUDING PANELS)	80%	11.3± %

ELECTRICAL DATA CHART	
SYSTEM SIZE	1,875 KW AC/2,337 KW DC
MODULE TYPE	JINKO JKM390M-72-HL-V
MODULE QUANTITY	5,994
MODULE WATTAGE	390
INVERTER TYPE	CHINT
INVERTER QUANTITY	(17) 100KW, (2) 85 KW, (20) KW BESS, (10) 68.66 KW BESS

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YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595

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ARCHITECTS ENGINEERS PLANNERS

Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office: 518.862.0325

www.bergmannpc.com

REVISIONS

NO.	DATE	DESCRIPTION	REV.	CK'D
1	1/28/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR

PRELIMINARY
NOT FOR CONSTRUCTION

STATE OF NEW YORK · ERIC C. REDDING · 092442 · LICENSED PROFESSIONAL ENGINEER

Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	1"=80'

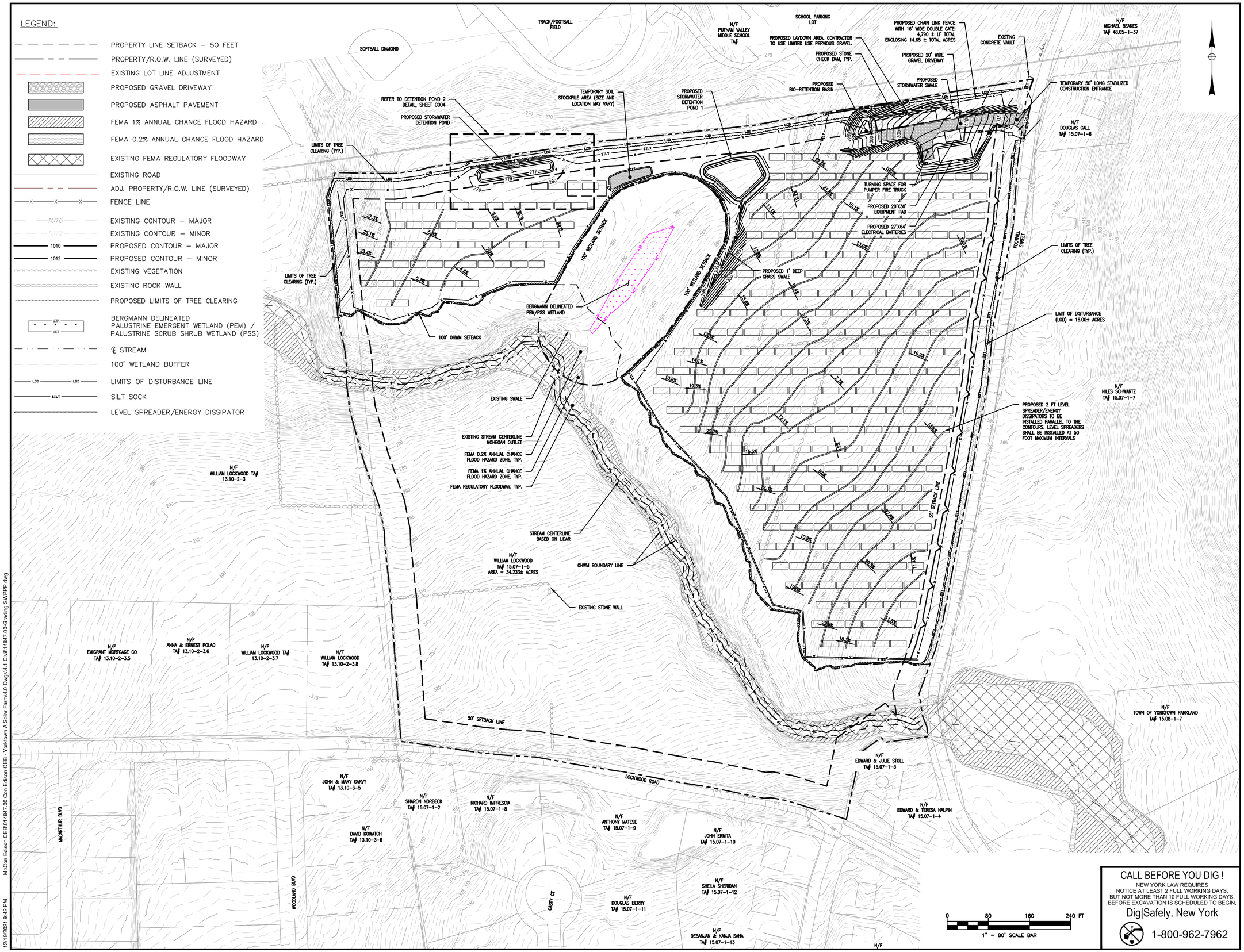
Project Number:
14847.00

SITE PLAN

Drawing Number:
C002

LEGEND:

- PROPERTY LINE SETBACK – 50 FEET
- PROPERTY/R.O.W. LINE (SURVEYED)
- EXISTING LOT LINE ADJUSTMENT
- PROPOSED GRAVEL DRIVEWAY
- PROPOSED ASPHALT PAVEMENT
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- 1010 EXISTING CONTOUR – MAJOR
- 1012 EXISTING CONTOUR – MINOR
- 1010 PROPOSED CONTOUR – MAJOR
- 1012 PROPOSED CONTOUR – MINOR
- EXISTING VEGETATION
- EXISTING ROCK WALL
- PROPOSED LIMITS OF TREE CLEARING
- LIN / VET BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ℄ STREAM
- 100' WETLAND BUFFER
- LOD LIMITS OF DISTURBANCE LINE
- SILT SILT SOCK
- LEVEL SPREADER/ENERGY DISSIPATOR



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M:\Con Edison CEB\01484700 Con Edison CEB - Yorktown A Solar Farm\4.0 Dwgs\4.1 Civil\14847.00-Grading SWPPP.dwg
12/19/2021 9:42 PM

YORKTOWN A SOLAR FARM

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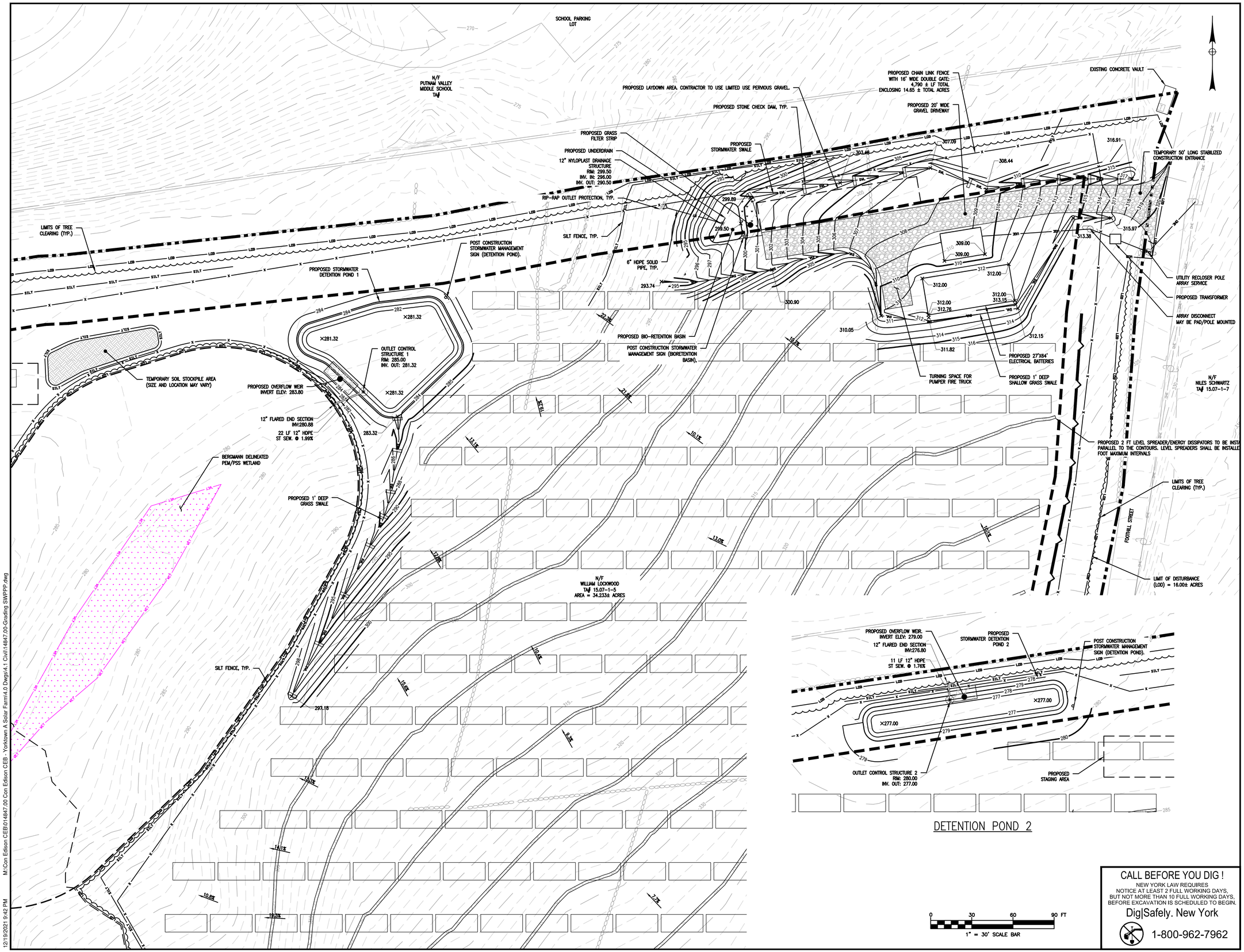
ERIC C. REDDING — STATE OF NEW YORK — 092442 — LICENSED PROFESSIONAL ENGINEER

Project Manager: ECR	Checked By: ECR
Designed By: WD	Drawn By: WD
Date Issued: OCTOBER 27, 2020	Scale: 1" = 80'
Project Number: 14847.00	

GRADING / SWPPP PLAN

Drawing Number:

C003



DETENTION POND 2

0 30 60 90 FT
1" = 30' SCALE BAR

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STATE OF NEW YORK · ERIC C. REDDING · 092442 · LICENSED PROFESSIONAL ENGINEER

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Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	1"=30'
Project Number:	
14847.00	

DETAILED GRADING PLAN

Drawing Number:

C004

GENERAL NOTES:

1. USE OF THIS DETAIL/CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOWING, EQUIPMENT REPAIR OR MAINTENANCE)
2. LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
3. REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY, FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
4. REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER, COMPACT TO THE DEGREE OF THE NATIVE IN SITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
5. GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOILS AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
6. REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
7. ROADWAY WIDTH TO BE DETERMINED BY CLIENT.
8. THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 1.5% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
9. LIMITED USE PERVIOUS ACCESS ROAD IS NOT INTENDED TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION, EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY.
10. TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON, OR OFF SITE. MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
11. THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
12. PROJECTS SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINED ARES, HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE WOVEN GEOTEXTILE MATERIAL AS DETAILED IN FOLLOWING NOTES.
13. THE DRAINAGE DITCH IS OFFERED IN THE DETAIL FOR CIRCUMSTANCES WHEN CONCENTRATED FLOW COULD NOT BE AVOIDED . THE INTENTION OF THE DESIGN IS TO MINIMIZE ALTERATIONS TO HYDROLOGY, HOWEVER WHEN DEALING WITH 5%-15% GRADES NOT PARALLEL TO THE CONTOUR, A ROADSIDE DITCH MAY BE REQUIRED. THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR GRASSED WATERWAYS AND VEGETATED WATERWAYS ARE APPLICABLE FOR SIZING AND STABILIZATION. DIMENSIONS FOR THE GRASSED WATERWAY SPECIFICATION WOULD BE DESIGNED FOR PROJECT SPECIFIC HYDROLOGIC RUNOFF CALCULATIONS, AND A SEPARATE DETAIL FOR THE SPECIFIC GRASSED WATERWAY WOULD BE INCLUDED IN THIS PRACTICE. RUNOFF DISCHARGE WILL BE SUBJECT TO THE OUTLET REQUIREMENTS OF THE REFERENCED STANDARD. INCREASED POST-DEVELOPMENT RUNOFF FROM THE ASSOCIATED ROADSIDE DITCH MAY REQUIRE ADDITIONAL PRACTICES TO ATTENUATE RUNOFF TO PRE-DEVELOPMENT CONDITIONS.
14. IF A ROADSIDE DITCH IS NOT UTILIZED TO CAPTURE RUNOFF FROM THE ACCESS ROAD, THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION (I.E. BUFFER), 20 FEET WIDE AND PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRICTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
15. THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USED PERVIOUS ACCESS ROAD IN THEIR SITE ASSESSMENT / HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE- TO POST-DEVELOPMENT CONDITIONS (SEE APPENDIX A OF GP-0-15-002 FOR THE DEFINITION OF "ALTER THE HYDROLOGY..."), THE DESIGN MUST INCLUDE THE NECESSARY DETENTION/RETENTION PRACTICES TO ATTENUATE THE RATES (10 AND 100 YEAR EVENTS) TO PRE-DEVELOPMENT CONDITIONS.

GEOGRID MATERIAL NOTES:

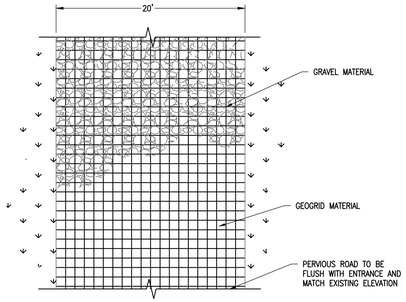
1. THE GEOGRID, OR COMPARABLE PRODUCT, IS INTENDED FOR USE IN ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS LOADS.
2. GRAVEL FILL MATERIAL SHALL CONSIST OF 1-4" CLEAN, DURABLE, SHARP ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATION OF NYSDOT 703-02, SIZE DESIGNATION 3-5 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF AND SPREAD WITH A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
3. GEOGRID SHALL BE MIRAFI BXG110 OR APPROVED EQUAL. GEOGRID SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
4. IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
5. REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
6. LIMITED USE PERVIOUS ACCESS ROAD SHALL BE DRESSED AS REQUIRED WITH ONLY 1-4" CRUSHED STONE MEETING NYSDOT 703-02 SPECIFICATIONS.

BASIS OF DESIGN: TENCATE MIRAFI BXG110 GEOGRIDS; 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA; 800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM

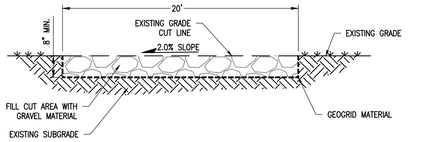
WOVEN GEOTEXTILE MATERIAL NOTES:

1. SPECIFIED GEOTEXTILE WILL ONLY BE UTILIZED IN PLACID SOILS. PLACID SOILS CONSIST OF POORLY DRAINED SOILS COMPOSED OF FINELY TEXTURED PARTICLES AND ARE PRONE TO RUTTING. PLACID SOILS ARE TYPICALLY PRESENT IN LOW-LYING AREAS WITH HYDROLOGIC SOILS GROUP (HSG) OF C OR D OR AS SPECIFIED FROM AN ENVIRONMENTAL SCIENTIST, SOIL SCIENTIST OR GEOTECHNICAL DATA.
2. THE CONCERN OF POTENTIAL REDUCTION OF NATIVE INFILTRATION RATES DIE TO THE GEOTEXTILE MATERIAL WOULD NOT BE A SIGNIFICANT CONCERN IN POORLY DRAINED SOILS WHERE SEGREGATION OF PERVIOUS STONE AND NATIVE MATERIALS IS CRUCIAL FOR LONG TERM OPERATION AND MAINTENANCE.

BASIS OF DESIGN: TENCATE MIRAFI RSI-SERIES WOVEN GEOSYNTHETICS; 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA; 800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM

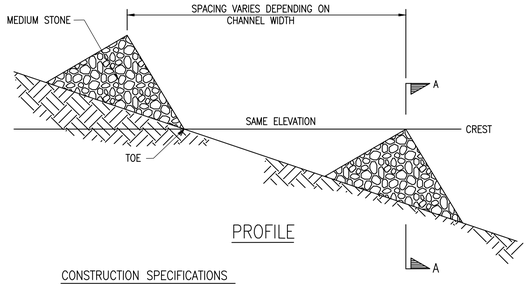


PLAN



LIMITED USE PERVIOUS ACCESS ROAD – 0% TO 10% SLOPES

NO SCALE



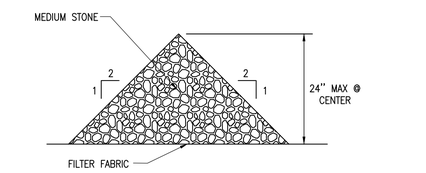
PROFILE

CONSTRUCTION SPECIFICATIONS

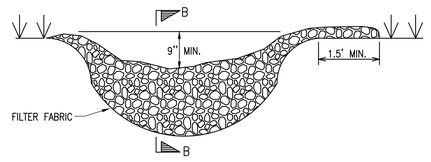
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES GRADES AND LOCATIONS SHOWN ON THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5' BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWESTCHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

LIGHT STONE CHECK DAM

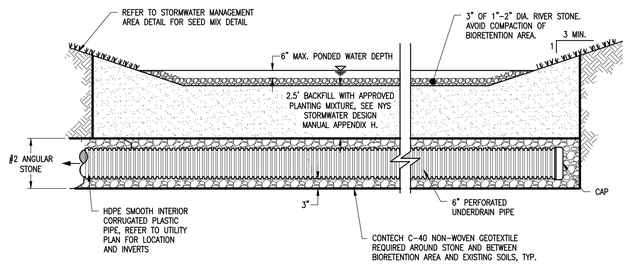
NOT TO SCALE



SECTION B-B



SECTION A-A



BIORETENTION AREA DETAIL

N.T.S.

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ERIC C. REDDING
092442
LICENSED PROFESSIONAL ENGINEER

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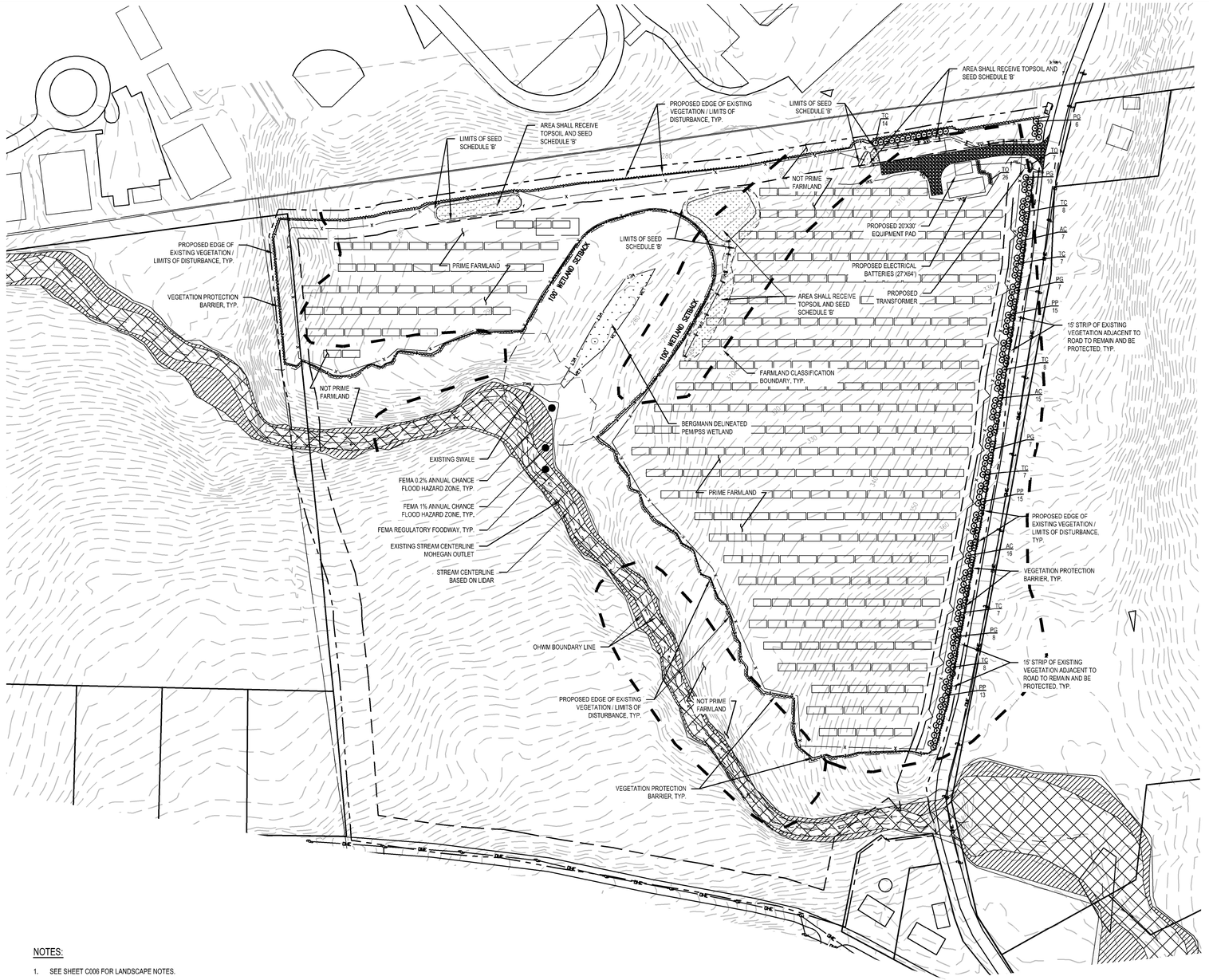
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED
Project Number:	
14847.00	

DRIVEWAY DETAILS

Drawing Number:

C005



LEGEND:

- PROPOSED TREE PLANTING
- VEGETATION PROTECTION BARRIER
- SEED LIMIT LINE
- SEED SCHEDULE 'B'
- PROPOSED GRAVEL DRIVEWAY
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
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- EXISTING VEGETATION
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- BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ℄ STREAM
- 100' WETLAND SETBACK
- FARMLAND CLASSIFICATION BOUNDARY

NOTES:

1. SEE SHEET C006 FOR LANDSCAPE NOTES.
2. SEE SHEET C007 FOR LANDSCAPE DETAILS.
3. SEE SHEET C009 FOR SEED SCHEDULES.

PLANT LIST

Key	Qty.	Botanical Name	Common Name	Mature Size Height	Mature Size Spread	Installed Size	Condition	Notes
Evergreen Trees								
AC	39	Abies concolor	White Fir	50-75' Ht.	20-30' Sprd.	6-7' Ht.	B&B	
TC	59	Tsuga Canadensis	Canadian Hemlock	40-70' Ht.	25-35' Sprd.	8' Ht.	B&B	
PG	38	Picea glauca	White Spruce	40-60' Ht.	10-20' Sprd.	8' Ht.	B&B	
PP	43	Picea pungens	Colorado Spruce	30-60' Ht.	10-20' Sprd.	7-8' Ht.	B&B	
Evergreen Shrubs								
TO	33	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	7-15 Ht.	3-4' Sprd	5' Ht.	B&B	

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LANDSCAPING & PLANTING FOR MITIGATION PLAN

Drawing Number:

C006

7 of 14

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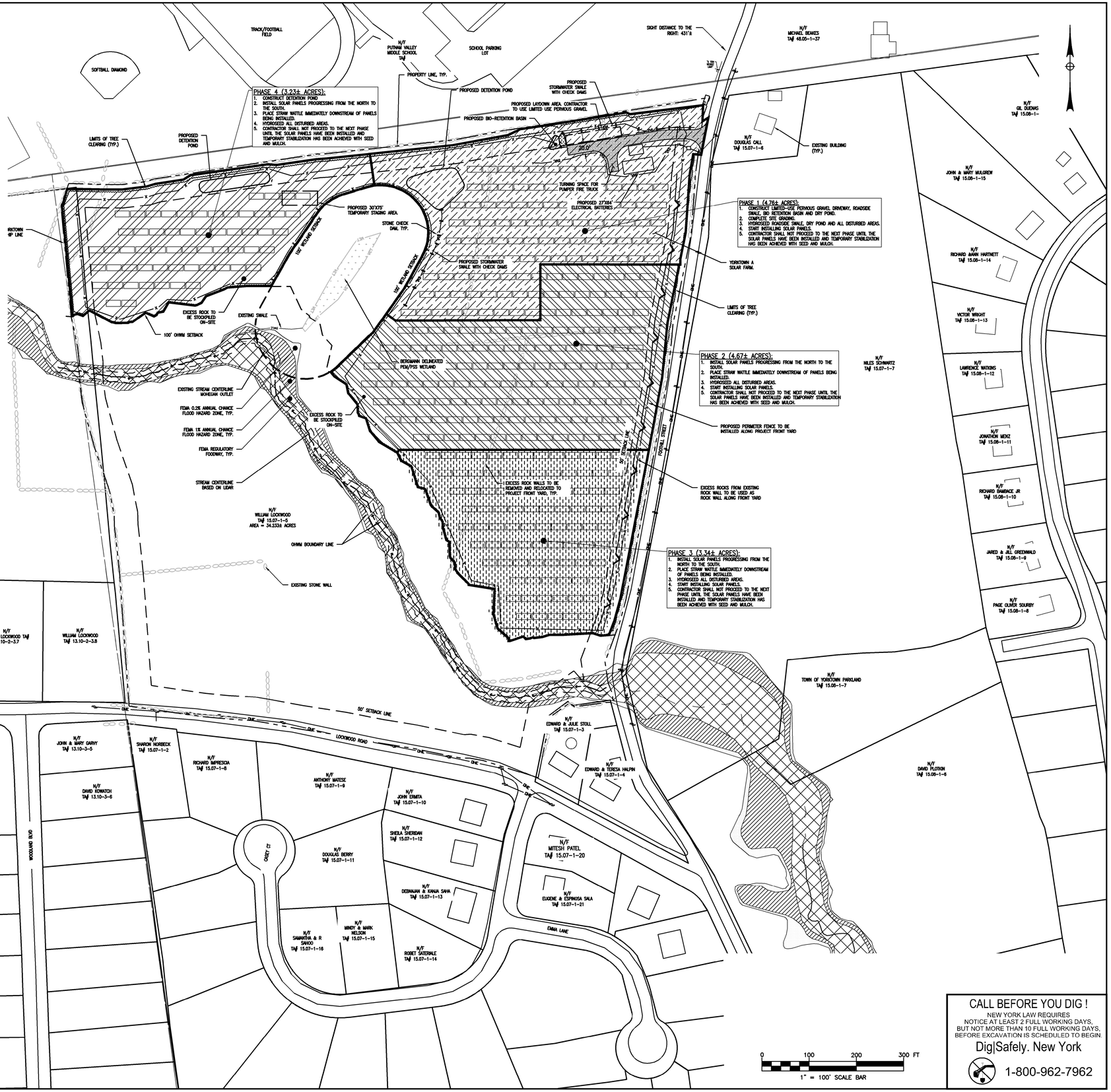
- BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ℄ STREAM
- 100' WETLAND BUFFER
- PROPOSED ROCK WALL
- PROPOSED SCREENING TREES
- SWL SWL PROPOSED SWALE
- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4



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Date Issued:	Notes:
OCTOBER 27, 2020	1"=100'

Project Number:
14847.00

PHASING PLAN

Drawing Number:

C007

GENERAL NOTES

1. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
2. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION(OSHA).
3. HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
4. THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
5. IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
6. IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
7. EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
8. AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
9. UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED MAY 1, 2008 AND ANY SUBSEQUENT REVISIONS.

SITE STABILIZATION

1. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
2. MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
3. STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ALONG THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
4. BEFORE SEEDING IS APPLIED THE CONTRACTOR SHALL SPREAD SOIL TO PREVENT PONDING AND CONFIRM THAT SOIL WILL SUSTAIN THE SEED GERMINATION AND ESTABLISHMENT OF VEGETATION.
5. GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE, COMPACTED SOILS SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES, ALONG CONTOUR WHEREVER POSSIBLE, PRIOR TO SEEDING.
6. TOPSOIL OR AMENDED SOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A MINIMUM DEPTH OF 4 INCHES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS.
7. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OF SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
8. WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE ½" TO ¾". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
9. POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45° F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
10. SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
11. MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
12. SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.
13. LIME, FERTILIZER, SEED, AND MULCH DISTURBED AREAS PER THE EROSION AND SEDIMENT CONTROL PLANS. IN AREAS OF STEEP SLOPES OR OBVIOUS AREAS WHERE POTENTIAL EROSION MAY OCCUR, AN EROSION CONTROL MAT OR FLEXIBLE GROWTH MEDIUM (FGM) SHALL BE USED. FGM SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS.
14. ONCE A SECTION OF THE ALIGNMENT HAS BEEN STABILIZED, NO CONSTRUCTION TRAFFIC SHALL OCCUR TO REMOVE ANY BMPS UNTIL THE SECTION HAS ACHIEVED 80% PERENNIAL VEGETATIVE COVER. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NONVEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

WASTE/HAZARDOUS MATERIAL PRACTICES

1. WHENEVER POSSIBLE COVERED TRASH CONTAINERS SHOULD BE USED.
2. DAILY SITE CLEANUP IS REQUIRED TO REDUCE DEBRIS AND POLLUTANTS IN THE ENVIRONMENT.
3. CONTRACTOR SHALL PROVIDE A SAFE STORAGE SPACE FOR ALL PAINTS, STAINS AND SOLVENTS INSIDE A COVERED STORAGE AREA.
4. CONTRACTOR SHALL PROVIDE A SAFE STORAGE AREA FOR PESTICIDES AND FERTILIZERS.
5. ALL FUELS, OILS AND GREASE MUST BE KEPT IN CONTAINERS AT ALL TIMES.

STORMWATER POLLUTION PREVENTION PLAN NOTES

1. THE DEVELOPER/OWNER/OPERATOR SHALL PROVIDE A QUALIFIED INSPECTOR TO INSPECT THE PROJECT AT THE END OF EACH WORK WEEK AND PROVIDE A REPORT AT LEAST ONCE PER WEEK.
2. INSTALL SILT FENCE, DIVERSION SWALES/BERMS, CHECK DAMS AND ALL OTHER EROSION CONTROL MEASURES AS INDICATED ON THE PLAN PRIOR TO THE START OF ANY EXCAVATION WORK. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, NEW YORK STATE HEALTH DEPARTMENT, AND THE GOVERNING CITY REQUIREMENTS.
3. REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER REPLACE TOPSOIL TO A MINIMUM 4" DEPTH WITH TOPSOIL OR AMENDED SOIL. ALL DISTURBED AREAS TO BE SEEDED TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
4. IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATION HAS BEEN ACHIEVED.
6. INSTALL INLET PROTECTION, AND RIP RAP APRONS PROGRESSIVELY AS STORM SEWER, AND DISCHARGE POINTS ARE INSTALLED.
7. ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL OR AMENDED TO ALL DISTURBED AREAS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
9. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
10. ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC. MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
11. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
12. DUST SHALL BE CONTROLLED BY WATERING.
13. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
14. DIVERSION SWALES/BERMS, AND SEDIMENT TRAPS SHOULD BE RELOCATED INWARD AS PERIMETER SLOPE CONSTRUCTION PROGRESSES AND RECONSTRUCTED TO THE NYS STANDARDS & SPECIFICATIONS AT THE END OF EACH DAY TO DIVERT RUNOFF FROM SLOPED AREAS AND DIRECT TO APPROPRIATE BASINS.
15. SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

SWPPP SEQUENCE OF CONSTRUCTION

1. PRE-CONSTRUCTION MEETING HELD TO INCLUDE PROJECT MANAGER, OPERATOR'S ENGINEER, CONTRACTOR, AND SUB-CONTRACTORS PRIOR TO LAND DISTURBING ACTIVITIES.
2. CONSTRUCT CONSTRUCTION ENTRANCE/EXIT AT LOCATIONS DESIGNATED ON PLANS.
3. INSTALL COMPOST SILT SOCK.
4. BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE CONSTRUCTION IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
5. HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND CERTIFY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS DESCRIBED IN THE SWPPP AND REQUIRED BY THE NYSDEC PERMIT HAVE BEEN ADEQUATELY INSTALLED OR IMPLEMENTED TO ENSURE OVERALL PREPAREDNESS OF THE SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
6. STRIP TOPSOIL AND STOCKPILE IN A LOCATION ACCEPTABLE TO CONSTRUCTION MANAGER. WHEN STOCKPILE IS COMPLETE, INSTALL PERIMETER SILT FENCE, SEED SURFACE WITH 100% PERENNIAL RYEGRASS MIXTURE AT A RATE OF 2-4 LBS. PER 1000 SF, APPLY 90-100 LBS PER 1000 SF OF MULCH.
7. COMMENCE EARTHWORK CUT AND FILLS. THE WORK SHALL BE PROGRESSED TO ALLOW A REASONABLE TRANSFER OF CUT AND FILL EARTH FOR ROUGH GRADING AND EARTH MOVING, THE CONTRACTOR WILL BE GIVEN SOME LATITUDE TO VARY FROM THE FOLLOWING SCHEDULE IN ORDER TO MEET THE FIELD CONDITIONS ENCOUNTERED. CONTRACTOR SHALL REVIEW VARIATIONS TO SWPPP WITH DESIGN ENGINEER AND QUALIFIED PROFESSIONAL PRIOR TO IMPLEMENTATION. ALL CHANGES TO SWPPP DRAWINGS MUST BE DOCUMENTED WITHIN ONSITE SWPPP.
8. STABILIZE ALL AREAS AS SOON AS PRACTICABLE, IDLE IN EXCESS OF 7 DAYS AND IN WHICH CONSTRUCTION WILL NOT COMMENCE WITHIN 14 DAYS.
9. FOLLOWING ROUGH GRADING, UTILITY INSTALLATION SHOULD BEGIN, TRENCH EXCAVATION/BACKFILL AREAS SHOULD BE STABILIZED PROGRESSIVELY AT THE END OF EACH WORKDAY WITH SEED AND STRAW MULCH AT A RATE OF 100% PERENNIAL RYE GRASS AT 2-4 LBS/1000 SF MULCHED AT 90-100 LBS/1000 SF.
10. CONSTRUCT SWALES AS SHOWN ON THE PLANS.
11. STABILIZE ALL AREAS IDLE IN EXCESS OF 7 DAYS IN WHICH CONSTRUCTION WILL NOT COMMENCE WITHIN 14 DAYS.
12. AS ROADWAY AND ACCESS DRIVES ARE BROUGHT TO GRADE, THEY WILL BE STABILIZED WITH CRUSHED STONE SUBBASE AT A DEPTH SPECIFIED ON PLANS TO PREVENT EROSION AS SOON AS PRACTICABLE.
13. CONSTRUCT SOLAR ARRAY AREA IN FOUR PHASES AS DETAILED IN SHEET C007 OF THIS PLAN SET. CONTRACTOR SHALL CONSTRUCT EACH PHASE INDIVIDUALLY AND SHALL NOT PROCEED TO THE FOLLOWING PHASE UNTIL THE SOLAR RACKING HAS BEEN INSTALLED AND THE PHASE AREA HAS BEEN TEMPORARILY STABILIZED WITH SEED AND MULCH.
14. AS LANDSCAPED AREAS ARE BROUGHT TO GRADE, STABILIZE WITH TOPSOIL, SEEDING AND MULCHING PER SPECIFICATIONS.
15. REMOVE TEMPORARY CONSTRUCTION EXITS ONLY PRIOR TO GRAVEL ROAD CONSTRUCTION (THESE AREAS ARE TO BE CONSTRUCTED LAST).
16. THE DEVELOPER/OWNER/OPERATOR SHALL HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE AND FINAL REPORT TO DETERMINE ALL PERMANENT STORMWATER MEASURES HAVE BEEN INSTALLED PER PLANS AND 80% UNIFORM GERMINATION/STABILIZATION HAS BEEN ACHIEVED PRIOR TO THE REMOVAL OF ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.

LANDSCAPE NOTES

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
2. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", ANSI, Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
3. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
4. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
5. ALL TREES MUST BE STRAIGHT TRUNKED, INJURY FREE, AND FULL HEADED.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
7. ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH DOUBLE GROUND BARK MULCH MADE FROM A MIXTURE OF HARDWOOD AND/OR SOFTWOOD. MULCH SHALL BE AGED A MIN. OF ONE (1) YEAR FOR PARTIAL DECOMPOSITION. IT SHALL BE SCREENED TO EXCLUDE PARTICLES LARGER THAN ONE (1) INCH IN DIAMETER. MATERIAL SHALL BE COMPOSED OF BARK AND HAVE A LOW WOOD CONTENT WITH NO HIDDEN WOODS FROM CONSTRUCTION DEBRIS, PALLETS OR PRESSURE TREATED LUMBER AND BE FREE OF WEEDS, SEEDS, AND GREEN LEAF MATTER. IT SHALL BE NATURALLY DARK BROWN IN COLOR. NO DYED MULCH WILL BE ACCEPTED. MULCH DEPTH SHALL BE THREE (3) INCHES UNLESS OTHERWISE DIRECTED.
9. ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND LAWN AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.
11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
12. ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE APPROVED TOPSOIL (TO A COMPACTED DEPTH OF FOUR (4) INCHES, UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY), BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
13. ALL TOPSOIL SHALL BE SCREENED LOAM SURFACE SOIL, FREE OF STONES AND SHALL HAVE THE FOLLOWING MINIMUM REQUIREMENTS:
    a) AN ORGANIC CONTENT OF 6-12%
    b) SOIL ACIDITY RANGE OF pH 6.0 TO pH 6.8
    c) SOLUBLE SALTS OF 1000 PPM OR LESS
    d) MAXIMUM CLAY CONTENT OF 15-20%
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, AT THEIR EXPENSE, A CERTIFIED SOIL TEST ANALYSIS OF ON SITE AND / OR IMPORTED TOPSOIL. TOPSOIL ANALYSIS TO INCLUDE THE FOLLOWING DATA:
    a) pH FACTOR,
    b) MECHANICAL ANALYSIS, INCLUDING SIEVE ANALYSIS PROVIDING SEPARATE SAND, SILT AND CLAY PERCENTAGES.
    c) PERCENTAGE OF ORGANIC CONTENT BY WEIGHT
    d) NUTRIENT LEVELS INCLUDING NITROGEN, PHOSPHOROUS AND POTASSIUM.
15. SHOULD TESTS AND ANALYSIS INDICATE THAT SOIL PROPOSED FOR USE IS DEFICIENT IN ANY OF THE ABOVE REQUIREMENTS; A SYSTEM OF AMELIORATING MAY BE PROPOSED FOR APPROVAL. ANY SYSTEM PROPOSED SHALL PROVIDE FOR AN ACIDITY RANGE OF Ph 6.0 TO 6.8 INCLUSIVE.
16. COMPOST SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
    a) ORGANIC CONTENT OF 35-60% (DRY WEIGHT BASIS)
    b) LOOSE AND FRIABLE WITH MOISTURE CONTENT OF 35-60% (WET WEIGHT BASIS)
    c) PARTICLE SIZE SHALL BE <1/2 INCH (100% PASSING)
    d) SOLUBLE SALTS CONCENTRATION SHALL BE <4.0 MMHOS/CM (DS/M), MAXIMUM
    e) pH RANGE OF 6.0-8.5
17. PLANTING MIX FOR PLANT PITS SHALL BE COMPOSED OF (2) PARTS IMPORTED OR ON-SITE SCREENED TOPSOIL AND (1) PART COMPOST. THE RATIO OF TOPSOIL TO COMPOST IS SUBJECT TO CHANGE BASED ON THE TESTING RESULTS FOR TOPSOIL.
18. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLAN ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE INSTALLATION.
19. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER DETAILS. ANY DEVIATIONS FROM THE DETAIL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
20. SEE SHEET C007 FOR LANDSCAPE DETAILS.
21. UPON FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE OWNER WILL ASSUME MAINTENANCE OF THE LANDSCAPED AREAS.
22. EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING A TEMPORARY FENCE AT THE OUTER LIMITS OF THE TREE CANOPY.

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REVISIONS

NO.	DATE	DESCRIPTION	REV.	CK'D
1	1/28/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR

PRELIMINARY
NOT FOR CONSTRUCTION

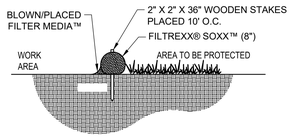
STATE OF NEW YORK
ERIC C. REDDING
092442
LICENSED PROFESSIONAL ENGINEER

Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED

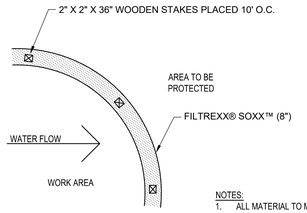
Project Number:
14847.00

GENERAL NOTES

Drawing Number:
C008



SECTION
NTS

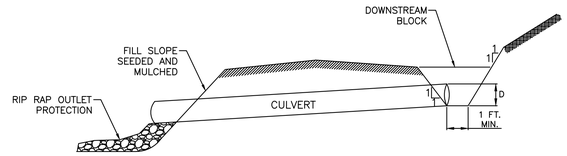


PLAN
NTS

NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. WHEN SEDIMENT CONTROL IS USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS

FILTREXX FILTERSOXX SEDIMENT CONTROL

NO SCALE



SECTION VIEW

NOTES:

CUT AND FILL SLOPES SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF DRIVEWAY GRADING. THESE AREAS SHALL BE BLANKETED WHEREVER THEY ARE LOCATED WITHIN 50 FEET OF A SURFACE WATER OR WITHIN 100 FEET OF AN HIGH QUALITY OR EXCEPTIONAL VALUE SURFACE WATER OR WHERE A SUITABLE VEGETATIVE FILTER STRIP DOES NOT EXIST.

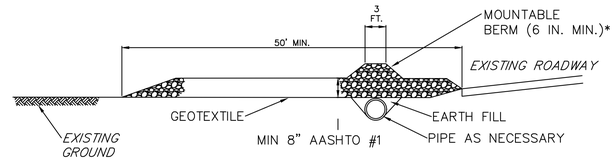
A TOP DRESSING COMPOSED OF HARD, DURABLE STONE SHALL BE PROVIDED FOR SOILS HAVING LOW STRENGTH.

DRIVEWAY DITCHES SHALL BE PROVIDED WITH ADEQUATE PROTECTIVE LINING WHEREVER RUNOFF CANNOT SHEET FLOW AWAY FROM THE DRIVEWAY.

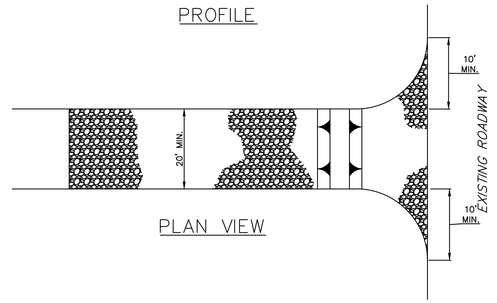
DRIVEWAY SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED DRIVEWAYS, DITCHES, OR CROSS DRAINS SHALL BE REPAIRED IMMEDIATELY.

CROSS CULVERT

NO SCALE



PROFILE



PLAN VIEW

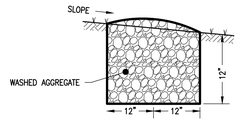
* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STABILIZED CONSTRUCTION ENTRANCE

NO SCALE

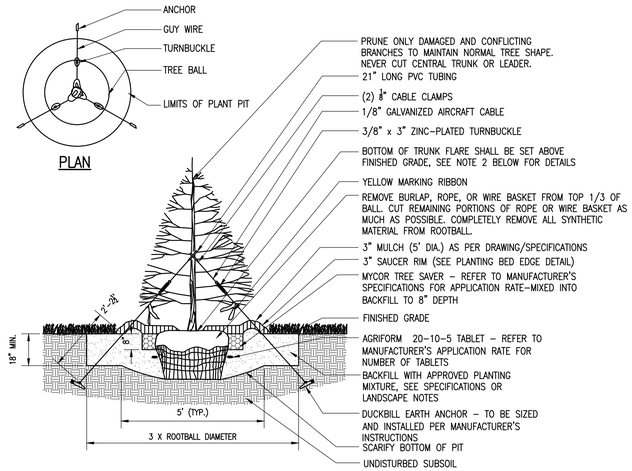


SIDE VIEW

NOTES:
1. LEVEL SPREADERS SHALL BE CONSTRUCTED PARALLEL WITH CONTOURS.

LEVEL SPREADER DETAIL

N.T.S.



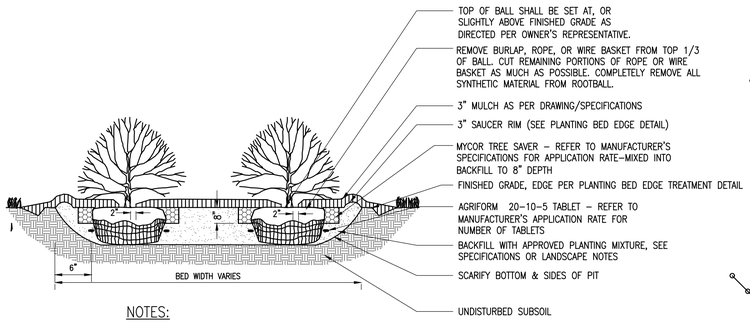
PLAN

NOTES:

1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:
   FOR SANDY OR LOAMY SOILS: 1"
   FOR CLAY OR POORLY DRAINED SOILS: 3"
   THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.

EVERGREEN TREE PLANTING

NO SCALE

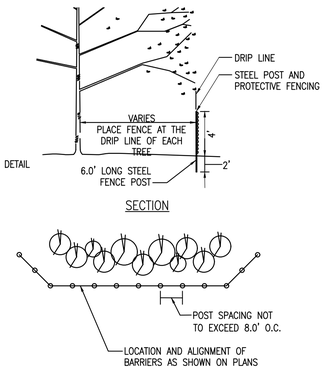


NOTES:

1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. PLANTING BED DEPTH IN LAWN AREAS SHALL BE A MINIMUM OF 18" DEEP AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
3. ALL PLANTING BEDS SHALL BE FREE OF CONSTRUCTION DEBRIS.

SHRUB PLANTING

NO SCALE

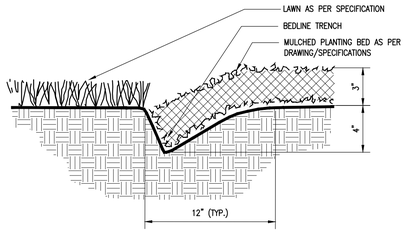


SECTION

PLAN

VEGETATION PROTECTION BARRIER

NO SCALE



PLANTING BED EDGE TREATMENT

NO SCALE

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3	12/20/2021	PLAN REVISIONS	WD	ECR

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NOT FOR CONSTRUCTION

STATE OF NEW YORK · ERIC C. REDDING · 092442 · LICENSED PROFESSIONAL ENGINEER

Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED
Project Number:	
14847.00	

EROSION AND SEDIMENT CONTROL DETAILS

Drawing Number:

C009

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Guaranteed **SOLUTIONS**

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EVANSVILLE, IN 47725
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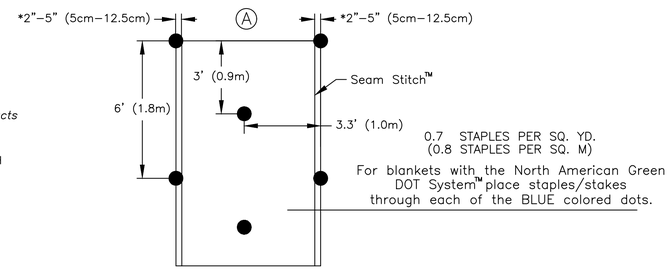
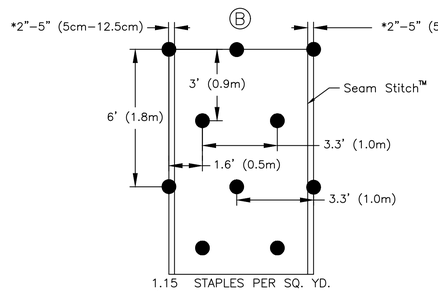
www.nagreen.com

DOT SYSTEM™ STAPLE PATTERN GUIDE



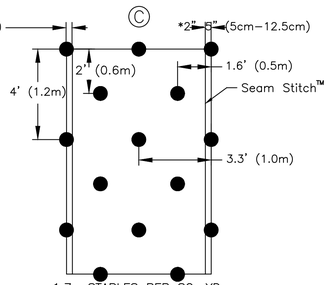
0.7 STAPLES PER SQ. YD.
(0.8 STAPLES PER SQ. M)

For blankets with the North American Green DOT System™ place staples/stakes through each of the BLUE colored dots.



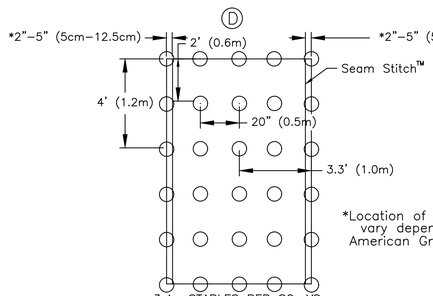
1.15 STAPLES PER SQ. YD.
(1.35 STAPLES PER SQ. M)

For blankets with the North American Green DOT System™ place staples/stakes through each of the RED colored dots.



1.7 STAPLES PER SQ. YD.
(2.0 STAPLES PER SQ. M)

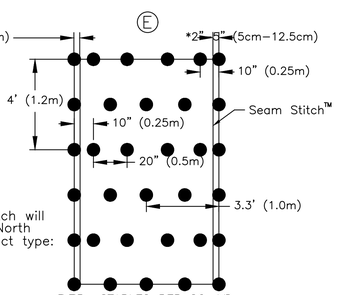
For blankets with the North American Green DOT System™ place staples/stakes through each of the GREEN colored dots.



3.4 STAPLES PER SQ. YD.
(4.1 STAPLES PER SQ. M)

For blankets with the North American Green DOT System™ place staples/stakes through each of the WHITE colored dots.

*Location of Seam Stitch will vary depending on North American Green product type:

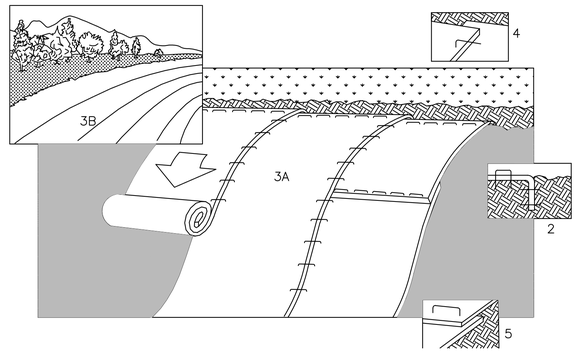


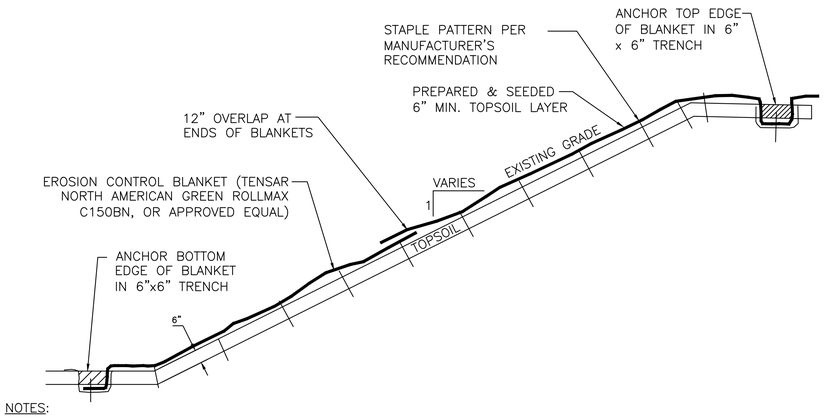
3.75 STAPLES PER SQ. YD.
(4.5 STAPLES PER SQ. M)

For blankets with the North American Green DOT System™ place staples/stakes through each of the YELLOW colored dots.

EROSION CONTROL BLANKET STAPLE PATTERN

NO SCALE





NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 12" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL 3:1 OR STEEPER SLOPES WITH A MINIMUM OF 6 INCHES OF TOPSOIL.
7. REFER TO STAPLE PATTERN DETAIL FOR ADDITIONAL STAPLE INFORMATION.
8. THE USE OF FLEXIBLE GROWTH MEDIUM, BONDED FIBER MATRIX, OR POLYMER STABILIZED FIBER MATRIX, APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, IS AN ACCEPTABLE ALTERNATIVE TO THE USE OF EROSION CONTROL BLANKET.

EROSION CONTROL BLANKET

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Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED

Project Number: 14847.00

EROSION AND SEDIMENT CONTROL DETAILS

Drawing Number:

C010

SEED SCHEDULE 'A'

Upland Seed Mix		
Low-Growing Wildflower & Grass Mix - ERNMX #156		
Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre		
SCIENTIFIC NAME	**COMMON NAME**	**% OF MIX**
Festuca ovina	Sheep Fescue, Variety Not Stated	63.60%
Lolium multiflorum (L. perenne var. italicum)	Annual Ryegrass	17%
Linum perenne ssp. lewisii	Perennial Blue Flax	8%
Rudbeckia hirta	Blackeyed Susan, Coastal Plain NC Ecotype	2%
Coreopsis lanceolata	Lanceleaf Coreopsis, Coastal Plain NC Ecotype	2%
Chrysanthemum leucanthemum	Oxeye Daisy	2%
Chrysanthemum maximum	Shasta Daisy	1%
Chamaecrista fasciculata (Cassia f.)	Partridge Pea, PA Ecotype	1%
Papaver rhoeas, Shirley Mix	Corn Poppy/Shirley Mix	1%
Achillea millefolium	Common Yarrow	0.5%
Aster oblongifolius (Symphyotrichum oblongifolium)	Aromatic Aster, PA Ecotype	0.5%
Eupatorium coelestinum (Conoclinium c.)	Mistflower, VA Ecotype	0.5%
Monarda punctata, Coastal Plain SC Ecotype	Spotted Beebalm, Coastal Plain SC Ecotype	0.5%
Asclepias tuberosa	Butterfly Milkweed	0.3%
Pycnanthemum tenuifolium	Slender Mountainmint	0.1%
Company Information		
Ernst Conservation Seeds, Inc.		
Address: 8884 Mercer Pike, Meadville, PA 16335		
Phone: (800) 873-3321		
Web: http://www.ernstseed.com		

* CURRENT ERNST SEED MIX COMPOSITION OR APPROVED EQUIVALENT
* PROVIDE TEMPORARY SEEDING OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) WITHIN SEEDING LIMITS AT RATE OF 20 LBS. PER ACRE

SEED SCHEDULE 'B'

OBL-FACW Wetland Mix		
ERNMX #120		
Seeding Rate: 20 lb per acre or 1/2 lb per 1000 sq ft		
SCIENTIFIC NAME	**COMMON NAME**	**% OF MIX**
Elymus virginicus	Virginia Wildrye	20%
Poa palustris	Fowl Bluegrass	20%
Carex lurida	Lurid Shallow Sedge	17%
Carex lupulina	Hop Sedge	9%
Carex scoparia	Blunt Broom Sedge	8%
Carex vulpinoidea	Fox Sedge	5%
Panicum clandestinum Dichanthelium c.	Deertongue 'Tioga'	5%
Sparganium eurycarpum	Giant Bur Reed	4%
Sparganium americanum	Eastern Bur Reed	3%
Juncus effusus	Soft Rush	3%
Carex crinita	Fringed Nodding Sedge	2%
Leersia oryzoides	Rice Cutgrass	2%
Scirpus cyperinus	Woolgrass	2%
Juncus tenuis	Path Rush	0.5%
Company Information		
Ernst Conservation Seeds Inc.		
Address: 8884 Mercer Pike Meadville PA 16335		
Phone: 800 873-3321		
Web: http://www.ernstseed.com		

* CURRENT ERNST SEED MIX COMPOSITION OR APPROVED EQUIVALENT
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SITE STABILIZATION – SEED MIX

SOIL AMENDMENT APPLICATION RATE EQUIVALENTS

SOIL AMENDMENT		PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	NOTES
PERMANENT SEEDING	AGRICULTURAL LIME	6 TONS	240 LB.	2,480 LB.	OR AS PER SOIL TEST: MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
	10-10-20 FERTILIZER	1,000 L.B.	25 LB.	210 LB.	
TEMPORARY SEEDING	AGRICULTURAL LIME	1 TON	40 LB.	410 LB.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES
	10-10-20 FERTILIZER	500 LB.	12.5 LB.	100 LB.	

COMPOST STANDARDS

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

MULCH APPLICATION RATES

MULCH TYPE	APPLICATION RATE (MIN.)			NOTES
	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	
STRAW	3 TONS	140 LB.	1,240 LB.	EITHER WHEAT OR OAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN
HAY	3 TONS	140 LB.	1,240 LB.	TIMOTHY, MIXED CLOVER AND TIMOTHY, OR OTHER NATIVE FORAGE GRASSES
WOOD CELLULOSE	1,500 LB.	35 LB.	310 LB.	DO NOT USE ALONE IN WINTER, DURING HOT AND DRY WEATHER OR ON STEEP SLOPES (> 3:1)
WOOD	1,000 LB. CELLULOSE	25 LB.	210 LB.	WHEN USED OVER STRAW OR HAY
WOOD CHIPS	4 - 6 TONS	185 - 275 LB.	1,650 - 2,500 LB.	MAY PREVENT GERMINATION OF GRASSES AND LEGUMES

NOTES:

1. WHEN FINAL GRADE IS ACHIEVED DURING NON–GERMINATING MONTHS, THE AREA SHOULD BE TEMPORARILY STABILIZED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
2. MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
3. STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN.
4. TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 INCHES MINIMUM. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE.
5. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OF SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
6. WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE 1/2" TO 3/4". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
7. BLANKETING SHALL BE USED ON ALL SLOPES 3H:1V OR STEEPER OR AS NOTED ON THE PLANS.
8. PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF EARTH DISTURBANCE.
9. WETLAND SEED MIX SHOULD BE INSTALLED ONLY IN DRY SWALE.

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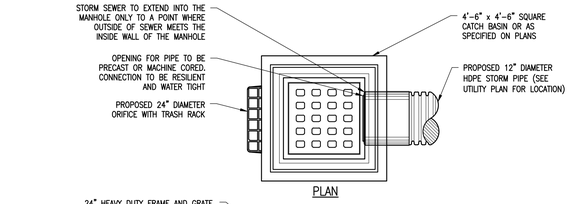
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED

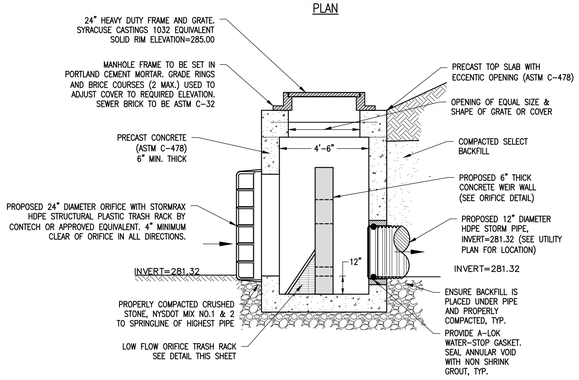
Project Number:
14847.00

SITE DETAILS

Drawing Number:
C011

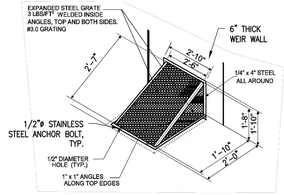


PLAN



OUTLET CONTROL STRUCTURE 1 DETAIL

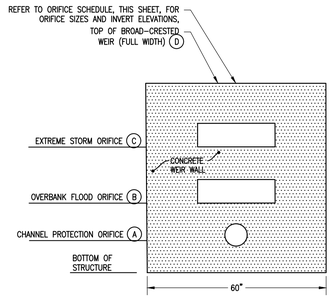
N.T.S.



LOW FLOW ORIFICE TRASH RACK DETAIL

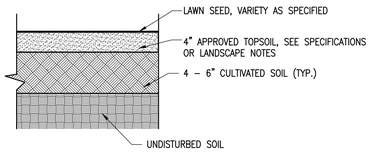
N.T.S.

CONTROL STRUCTURE	(A) SIZE	(A) ELEV	(B) SIZE	(B) ELEV	(C) SIZE	(C) ELEV	(D) ELEV
1	3"	281.32	30"X8"	281.75	30"X6"	283.10	284.00



ORIFICE DETAIL

N.T.S.

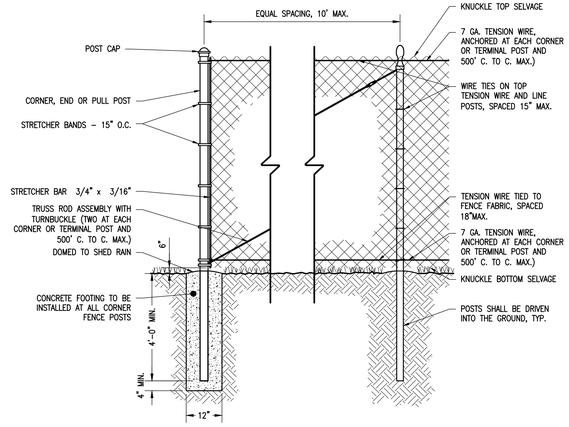


SEEDING PROCEDURE:

1. CULTIVATE ENTIRE AREA TO 4"-6" DEPTH. HANDRAKE SMOOTH. SPREAD 4" OF TOPSOIL.
2. APPLY ANY SOIL MODIFICATIONS AS NECESSARY (SEE SPECIFICATIONS OR LANDSCAPE NOTES)
3. WATER AREA TO BE SEEDED PRIOR TO LAYING SEED.
4. WATER THOROUGHLY UPON COMPLETION OF SEEDING.
5. APPLY SOIL STABILIZATION AS NECESSARY.

SOIL RESTORATION DETAIL

N.T.S.



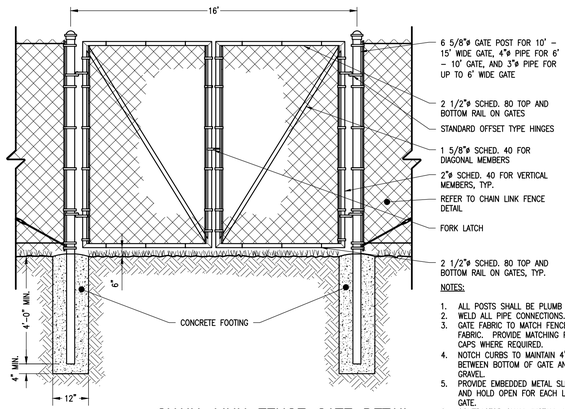
NOTES:

1. ALL POSTS SHALL BE PLUMB
2. WIRE TIES SHALL BE PLACED 15" ON CENTER ALONG TOP RAIL AND LINE POSTS.

USE	NOM. OD.
LINE POSTS	2 1/2 "
CORNER, END, GATE, & PULL POSTS	3"
RAILS	1 5/8 "
GATE FRAMES	2"

CHAIN-LINK FENCE DETAIL

N.T.S.

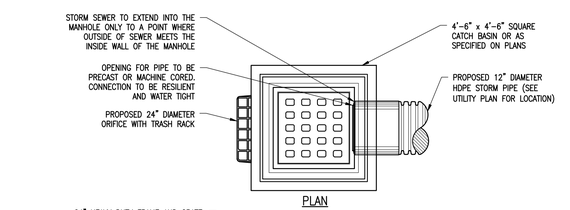


NOTES:

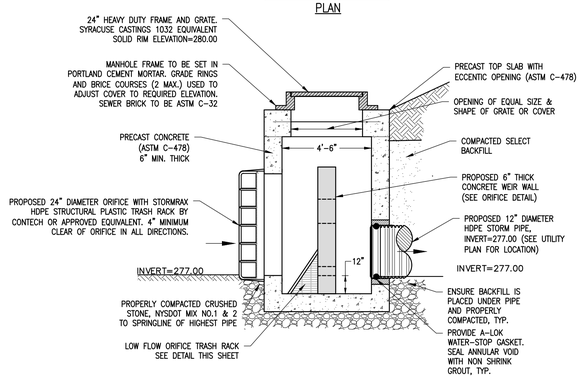
1. ALL POSTS SHALL BE PLUMB
2. WELD ALL PIPE CONNECTIONS.
3. GATE FABRIC TO MATCH FENCE FABRIC. PROVIDE MATCHING POST CAPS WHERE REQUIRED.
4. NOTCH CURBS TO MAINTAIN 4" HEIGHT BETWEEN BOTTOM OF GATE AND GRAVEL.
5. PROVIDE EMBEDDED METAL SLEEVE AND HOLD OPEN FOR EACH LEAF OF GATE.
6. CONTRACTOR SHALL INSTALL A KNOX BOX NEXT TO GATE FOR FIRE DEPARTMENT ACCESS.
7. POSTS SHALL BE DRIVEN INTO THE GROUND.
8. PROVIDE 6" WILDLIFE GAP BELOW FENCE

CHAIN-LINK FENCE GATE DETAIL

NO SCALE

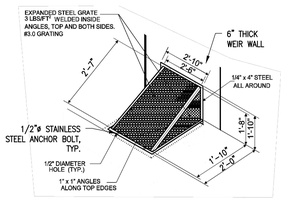


PLAN



OUTLET CONTROL STRUCTURE 2 DETAIL

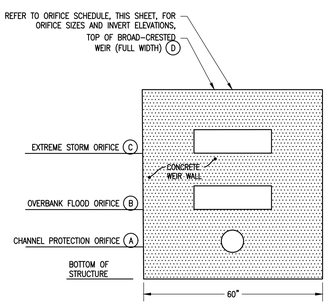
N.T.S.



LOW FLOW ORIFICE TRASH RACK DETAIL

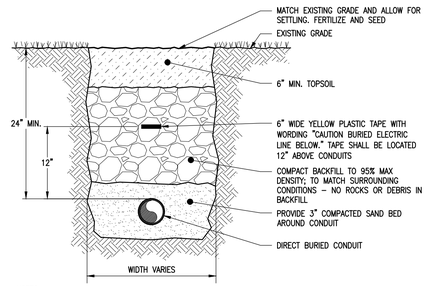
N.T.S.

CONTROL STRUCTURE	(A) SIZE	(A) ELEV	(B) SIZE	(B) ELEV	(C) SIZE	(C) ELEV	(D) ELEV
1	3"	277.00	20"X6"	277.50	30"X6"	278.10	279.00



ORIFICE DETAIL

N.T.S.



NOTES:

1. REPAIR ALL SETTLEMENT
2. MINIMUM TOP SOIL DEPTH 6"
3. MULTIPLE CONDUITS SHALL BE SPACED 7" ON CENTER

DIRECT BURIED CONDUIT TRENCH DETAIL (IN GRASS)

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1	1/28/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR

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STATE OF NEW YORK · ERIC C. REDDING · 092442 · LICENSED PROFESSIONAL ENGINEER

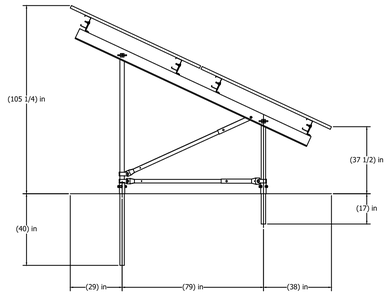
Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED
Project Number:	
14847.00	

CONSTRUCTION DETAILS

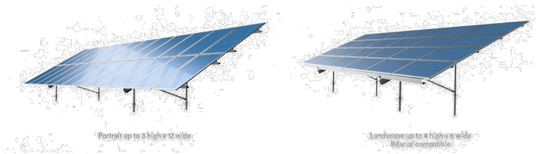
Drawing Number:

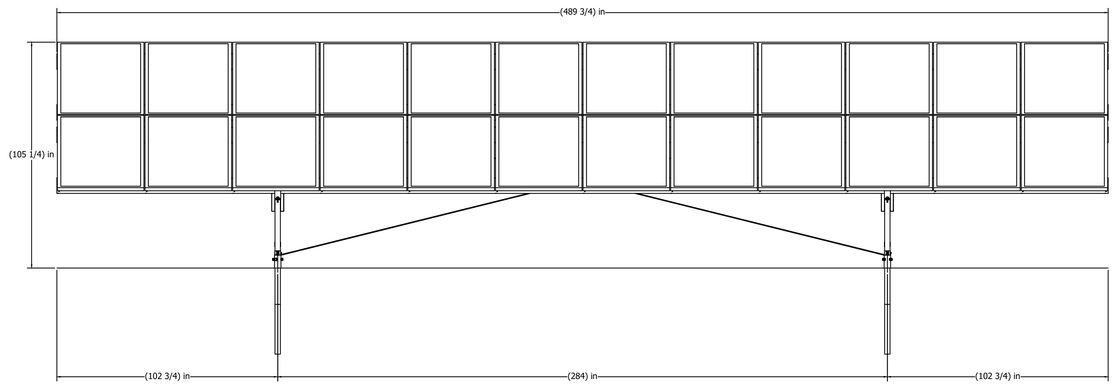
C012

13 of 14

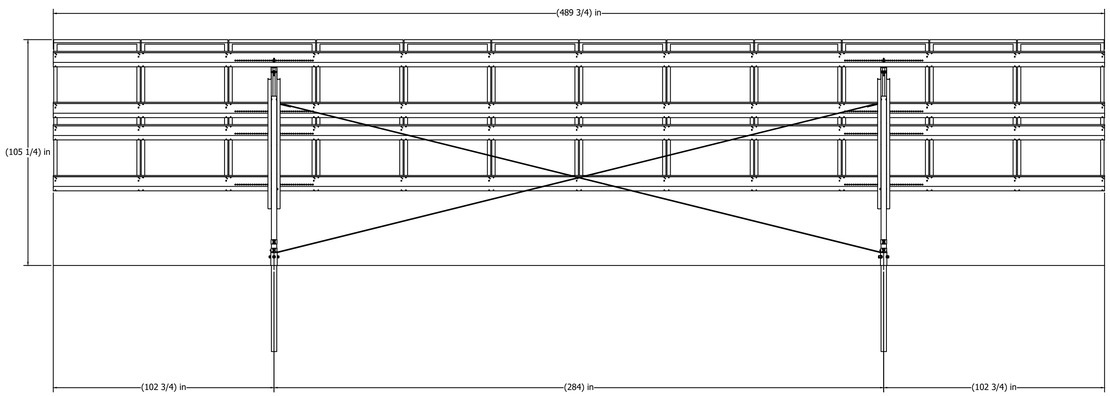


SIDE ELEVATION VIEW





FRONT ELEVATION VIEW



REAR ELEVATION VIEW

NOTES:
1. TYPICAL INSTALLATION DIMENSIONS MAY BE ADJUSTED TO SUIT FIELD CONDITIONS.
2. FINAL DESIGN AND ENGINEERING PLANS TO BE PROVIDED BY THE RACKING MANUFACTURER.

SOLAR PANEL DETAIL

NO SCALE

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STATE OF NEW YORK · ERIC C. REDDING · LICENSED PROFESSIONAL ENGINEER · 092442

Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	AS NOTED

Project Number:
14847.00

CONSTRUCTION DETAILS

Drawing Number:

C013

Mapping Westchester County

Environmental Features

Streams

Slopes 15%-25%

Slopes Over 25%

District Boundaries

Municipal Boundaries

0 220 440 880 ft

1:4,514

December 5, 2020

N

GIS GEOGRAPHIC INFORMATION SYSTEMS

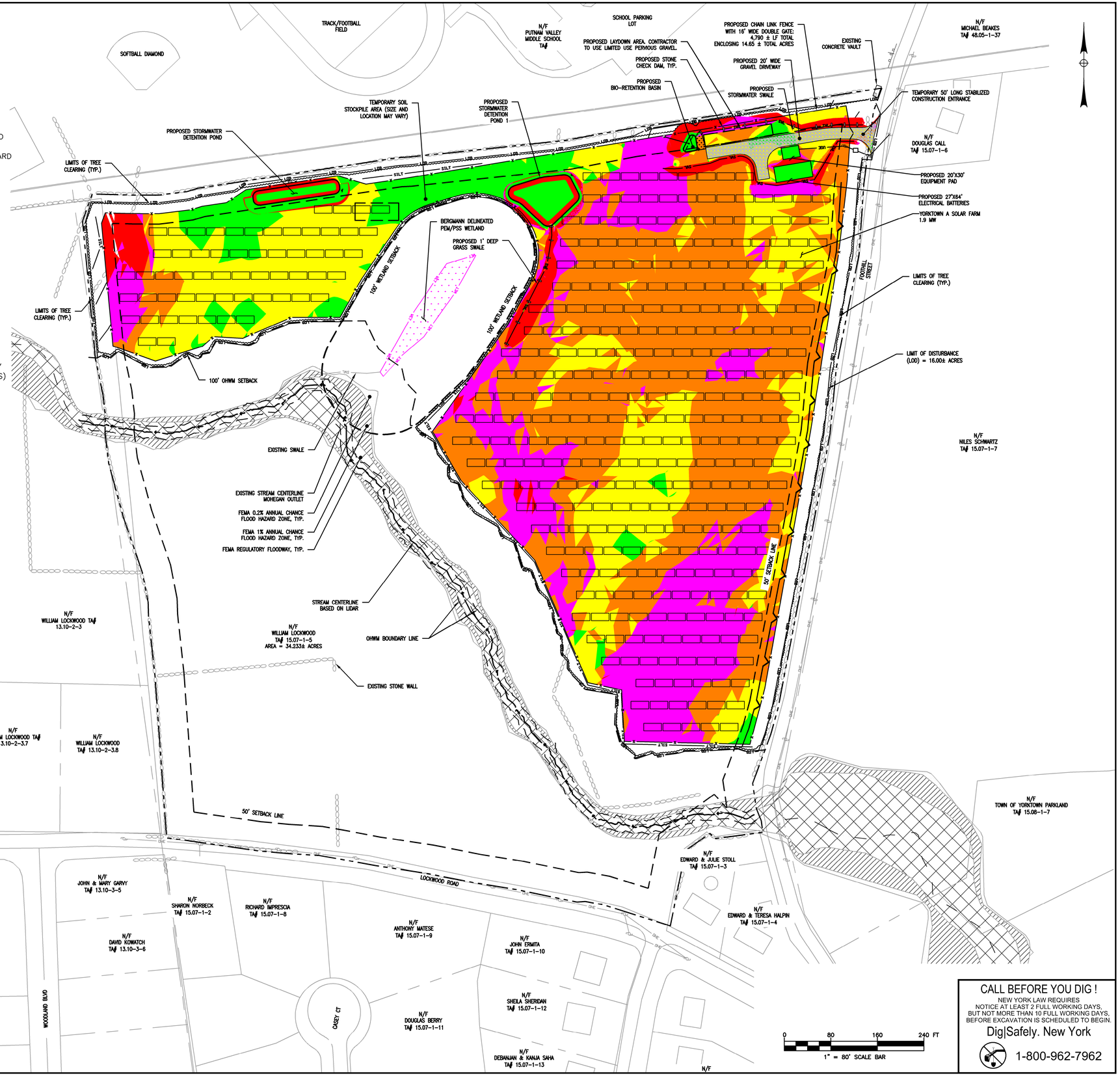
http://giswww.westchestergov.com
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

LEGEND:

- PROPERTY LINE SETBACK – 50 FEET
- PROPERTY/R.O.W. LINE (SURVEYED)
- EXISTING LOT LINE ADJUSTMENT
- PROPOSED GRAVEL DRIVEWAY
- PROPOSED ASPHALT PAVEMENT
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- 1010 EXISTING CONTOUR – MAJOR
- 1012 EXISTING CONTOUR – MINOR
- 1010 PROPOSED CONTOUR – MAJOR
- 1012 PROPOSED CONTOUR – MINOR
- EXISTING VEGETATION
- EXISTING ROCK WALL
- PROPOSED LIMITS OF TREE CLEARING
- LDS / WET BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ℄ STREAM
- 100' WETLAND BUFFER
- LOD LIMITS OF DISTURBANCE LINE
- SILT SILT FENCE

Slopes Table

Number	Minimum Slope	Maximum Slope	Color
1	0.00%	5.00%	
2	5.00%	10.00%	
3	10.00%	15.00%	
4	15.00%	25.00%	
5	25.00%	49.33%	



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M:\Con Edison CEB\0148\7.00 Con Edison CEB - Yorktown A Solar Farm\4.0 Dwgs\4.1 Civil\14847.00 Grading Slope Map.dwg
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Project Manager:	Checked By:
ECR	ECR
Designed By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	1" = 80'
Project Number:	
14847.00	

SLOPE HEAT MAP EXHIBIT

Drawing Number:

C003

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Wetland and Aquatic Resources Delineation Report

Clean Energy Collective – Yorktown A Solar Project

Prepared For:
Clean Energy Collective
361 Centennial Parkway #300
Louisville, CO 80027

Bergmann
2665 Corning Road
Horseheads, NY 14845

TABLE OF CONTENTS

FIGURES

APPENDICES

1.0 Introduction

Bergmann was retained by Clean Energy Collective to conduct a delineation of Wetlands and other Waters of the United States within the Yorktown A Solar Farm project site (referred to as the "Study Area"). The proposed project involves the installation of ground mounted photovoltaic panels on 16.00 acres of vacant forested land in Yorktown, Westchester County, NY.

The purpose of this investigation was to identify and delineate wetlands and other surface waters that are classified as "waters of the United States" under the Federal Clean Water Act, 33 U.S.C. §§ 1251 *et. seq.* (CWA) and Section 10 of the Rivers and Harbors Act of 1899, 33 U.S.C. § 403 (RHA), that could potentially be regulated by the United States Army Corps of Engineers (Corps) and/or the New York State Department of Environmental Conservation (NYSDEC). A formal wetland delineation of the project site was conducted on September 15, 2017 by Rita Zack and Michael Robson, Ph. D. of Bergmann. The delineation was conducted in accordance with the *Corps of Engineers Wetlands Delineation Manual* (USACE 1987; "1987 Manual") and the corresponding *USACE Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0)* (USACE 2012, "Regional Supplement").

This report has been revised on November 22, 2021 to address comments raised by Barton & Loguidice in a letter to the Town of Yorktown Planning Board dated November 1, 2021.

2.0 United States Army Corps of Engineers Methodology

As defined by the United States Army Corps of Engineers (Corps) and the Environmental Protection Agency (EPA), wetlands are "*those areas that are inundated or saturated by surface or groundwater at a frequency or duration sufficient to support, and that under normal circumstances does not support, a prevalence of vegetation typically adapted for life in saturated soil conditions*" (Environmental Laboratory 1987). Wetlands can support critical environmental functions including but not limited to: groundwater recharge and discharge, water and sediment retention, nutrient and toxicant removal and flora and fauna habitat. One way in which these valuable ecosystems are protected is through governmental regulations under Section 404 of The Clean Water Act (CWA) and Section 10 of the Rivers and Harbors Act. To provide an accurate and consistent way of identifying and delineating areas that meet the wetland definition, the Corps developed an approach that investigates the vegetation, soils and hydrology of an area. Locations that meet the Corps defined criteria of hydrophytic vegetation, hydric soils and wetland hydrology will be considered Corps-jurisdictional wetlands. A detailed methodology for wetland delineations was published in the Corps' 1987 Manual and accompanying Regional Supplements that are specific to regions throughout the United States.

2.1 HYDROPHYTIC VEGETATION

The 1987 Manual considers hydrophytic vegetation as a community of macrophytic plants that occur in areas where inundation or soil saturation is permanent, or frequently occurs in durations sufficient enough to influence the growth of plant species. The 1987 Manual emphasizes the assemblage of various plant species rather than the occurrence of individual indicator species to determine the presence or absence of hydrophytic vegetation. It is present when a location is dominated by species that either thrive in, or require extended soil saturation or inundation during the growing season. A hydrophytic vegetation determination is made by comparing the present plant species to the federal wetland indicators determined by the Corps, listed in the National Wetland Plant Indicator List. The Regional Supplements recognize the following indicator statuses:

1. Obligate Wetland Plants (OBL): Species that commonly occur in wetlands (>99% of the time).
2. Facultative Wetland Plants (FACW): Species that occur usually in wetlands (67%-99% of the time), but may also occur in non-wetlands.
3. Facultative Plants: (FAC): Species that usually occur in wetlands and non-wetlands equally (34%-66% of the time).
4. Facultative Upland Plants (FACU): Species that occur usually occur in non-wetlands (67%-99% of the time) but may also occur in wetlands.
5. Upland Plants (UPL): Species that commonly occur in non-wetlands (>99% of the time).

Occasionally, plant species are listed as "NI", indicating they have been reviewed but no regional indicator was assigned, or "NO" indicating no known occurrence in the region. If these instances present themselves the indicator status assigned to the closest adjacent Corps region should be used. If that region does not provide an indicator status, then the species in question is marked as "Not listed (NL)" and is not considered during the determination of hydrophytic vegetation.

2.2 HYDRIC SOILS

The United States Department of Agricultural (USDA) Natural Resource Conservation Service (NRCS) defines hydric soils as "*a soil that formed under conditions of saturation, flooding or ponding long enough during the growing season to develop anaerobic conditions in the upper part*" (USDA 2006). Inundation and saturation of a soil, combined with microbial activity causes anaerobic conditions within the soil, leading to oxygen depletion, accumulation of organic matter and/or reducible elements, most notably, iron. To determine the hydric status of a soil, the results of chemical reactions within the soil profile resulting from anaerobic conditions, are investigated based on color. Soil color is determined using the Munsell Soil Color Chart (X-Rite 2009), to establish the Hue, Value and Chroma of a sample. Hydric soil indicators are divided based on the texture of the soil. Indicators designated as "S" are applicable to Sandy Soils, while indicators designated as "F" are applicable to Loamy and Clayey Soils. Indicators listed as "A" are appropriate for All Soils. Hydric soil indicators vary by Regional Supplement.

2.3 WETLAND HYDROLOGY

"*The term 'wetland hydrology' encompasses all hydrologic characteristics of areas that are periodically inundated or have soils saturated to the surface, at some time during the growing season*" (Environmental Laboratory 1987).

Hydrology indicators provide insight to a locations long-term hydrologic regime. Some hydrology indicators are naturally seasonal. The absence of hydrologic indicators does not necessarily conclude that wetland hydrology is not present. If hydrology indicators are the only parameter not observed it is likely that the location has inundated or saturated soils at some point during the growing season, but not at the time of observation. If hydrophytic vegetation and hydric soils are observed on site, special considerations for the lack of hydrologic indicators should be considered and further information on the locations natural hydraulic regime may be necessary.

3.0 Office Assessment

The following sections describe the data and resources reviewed prior to the field visit.

3.1 TOPOGRAPHY

The Study Area is located in the United States Geological Survey (USGS) Mohegan Lake, NY 7.5' Topographic Quadrangle. Elevation of the site ranges from roughly 250 to 400 feet above sea level. The mapped perennial Mohegan Outlet is located in the central portion of the Study Area (refer to Figure 1, Site Location Map).

3.2 NATURAL RESOURCE CONSERVATION SERVICE SOIL SURVEY MAPPING

The United States Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Soil Survey for Westchester County, New York was reviewed. The following soil types are mapped within the Study Area:

- Charlton fine sandy loam, 3-8% slopes (ChB)
- Charlton loam, 25-35% slopes (ChE)
- Leicester loam, 3-8% slopes, very stony (LeB)
- Paxton fine sandy loam, 8-15% slopes (PnC)
- Sutton loam, 3-8% slopes (SuB)

Leicester loam is listed as a hydric soil for Westchester County, New York (refer to Figure 4, NRCS Soils Map).

3.3 NATIONAL WETLANDS INVENTORY MAPPING

The United States Fish and Wildlife Service (USFWS) National Wetlands Inventory (NWI) Map of the Study Area was reviewed prior to the field delineation. A riverine, upper perennial, unconsolidated bottom, permanently flooded (R3UBH) wetland was found mapped in the Study Area, consistent with the Mohegan Outlet (refer to Figure 3, NWI Map). A palustrine, emergent, persistent, seasonally flooded (PEM1C) wetland is also mapped to the immediate southeast of the project site, however impacts are not anticipated from the preliminary site plans.

3.4 NYSDEC ENVIRONMENTAL RESOURCE MAPPER

The Study Area was reviewed using the New York State Department of Environmental Conservation (NYSDEC) Environmental Resource Mapper (ERM). One freshwater wetland check zone area is mapped within the Study Area (refer to Figure 5, NYSDEC FWW Map). The freshwater wetland A-28 check zone extends into the southeastern corner of the project site, indicating the potential for wetlands in the area. The Mohegan Outlet (Regulation 864-614) is also mapped as a NYSDEC classified stream within the Study Area. The Mohegan Outlet is mapped as a Class C / Standard C stream. The Study Area does not fall within the vicinity of "Rare Plants and Rare Animals" shown on the ERM. A copy of the ERM results are included in Appendix C.

3.5 THREATENED AND ENDANGERED SPECIES REVIEW

USFWS Official Species Lists were originally obtained in May 2018. Updated Official Species Lists, from the New York State Ecological Field Office (Consultation Code: 05E1NY00-2018-SLI-2074) and the Long Island Ecological Field Office (Consultation Code: 05E1LI00-2018-SLI-0556) have been obtained. The updated Official Species Lists identify the

federally endangered Indiana bat (*Myotis sodalis*) and the federally threatened bog turtle (*Clemmys muhlenbergii*) as potentially occurring within the Study Area. The updated Official Species Lists are included in Appendix C.

The NYSDEC's Environmental Resource Mapper was reviewed. The Project site does not fall within the "Rare Plants and Animals" layer or the "Significant Natural Communities" layer mapped by the New York State Natural Heritage Program (NYNHP), indicating there are no known records of federal or state listed threatened or endangered species within the Project site.

Suitable summer habitat for the Indiana bat is present within the Study Area. The delineated wetland was not formally investigated for bog turtle habitat.

3.6 CULTURAL RESOURCES

The National Register of Historic Places (NRHP) was reviewed for properties within Westchester County, New York and no structures, historic properties or other features of historic significance listed on the National Register were determined to be located within the vicinity of the project area. The site is also not located within an archaeologically sensitive area. A project review with the New York Office of Parks, Recreation and Historic Preservation (OPRHP) was submitted on May 1, 2018 using the OPHRP's online, GIS based Cultural Resource Information System (CRIS). A response from the OPRHP is currently pending.

4.0 Field Delineation

The field delineation was conducted on September 15, 2017 by Rita Zack and Mike Robson, Ph. D. of Bergmann. The procedures defined by the 1987 Manual and accompanying Northeast Northcentral Regional Supplement were used during the delineation. The boundaries of the delineated wetlands were flagged in the field using pink survey tape and located using a Trimble R1 GNSS receiver and a Yuma 2 tablet computer. Data forms associated with the delineated features are included in Appendix A.

4.1 WETLANDS AND AQUATIC RESOURCES

The field delineation resulted in the delineation of one (1) jurisdictional wetland and one (1) perennial stream within the Study Area.

Approximately 0.17 acres of Wetland 1 occurs within the Study Area, in the northern portion of the Study Area, to the east of the bend in the Mohegan Outlet. Wetland 1 is a palustrine forested wetland (PFO) and is a sparsely vegetated concave surface. Wetland 1 is dominated by American red maple (*Acer rubrum*), sensitive fern (*Onoclea sensibilis*), and orange jewelweed (*Impatiens capensis*). Visible indicators of wetland hydrology include saturation, water-stained leaves, surface soil cracks, and moss trim lines. The hydric soil investigation determined that soils within Wetland 1 met the histic epipedon indicator and decomposition was observed.

A perennial stream (Mohegan Outlet) was delineated as Stream 1. Stream 1 was observed to be roughly twenty to thirty feet wide flowing from the southeast corner of the site to the northwest. Banks of the stream were observed to be four (4) to six (6) feet deep within the channel with a steep gradient and a slight meander through the site. Bed materials were observed to be cobbles.

4.2 UPLANDS

The majority of the Study Area is occupied by vacant forested land. An upland data point was taken in the central portion of the Study Area, to the west of the Mohegan Outlet. This area was dominated by sugar maple (*Acer saccharum*), eastern hemlock (*Tsuga canadensis*), American beech (*Fagus grandifolia*), and American red maple (*Acer rubrum*). No wetland hydrology indicators were observed and no hydric soils occur in the upland areas of the project site.

5.0 References

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FIGURES

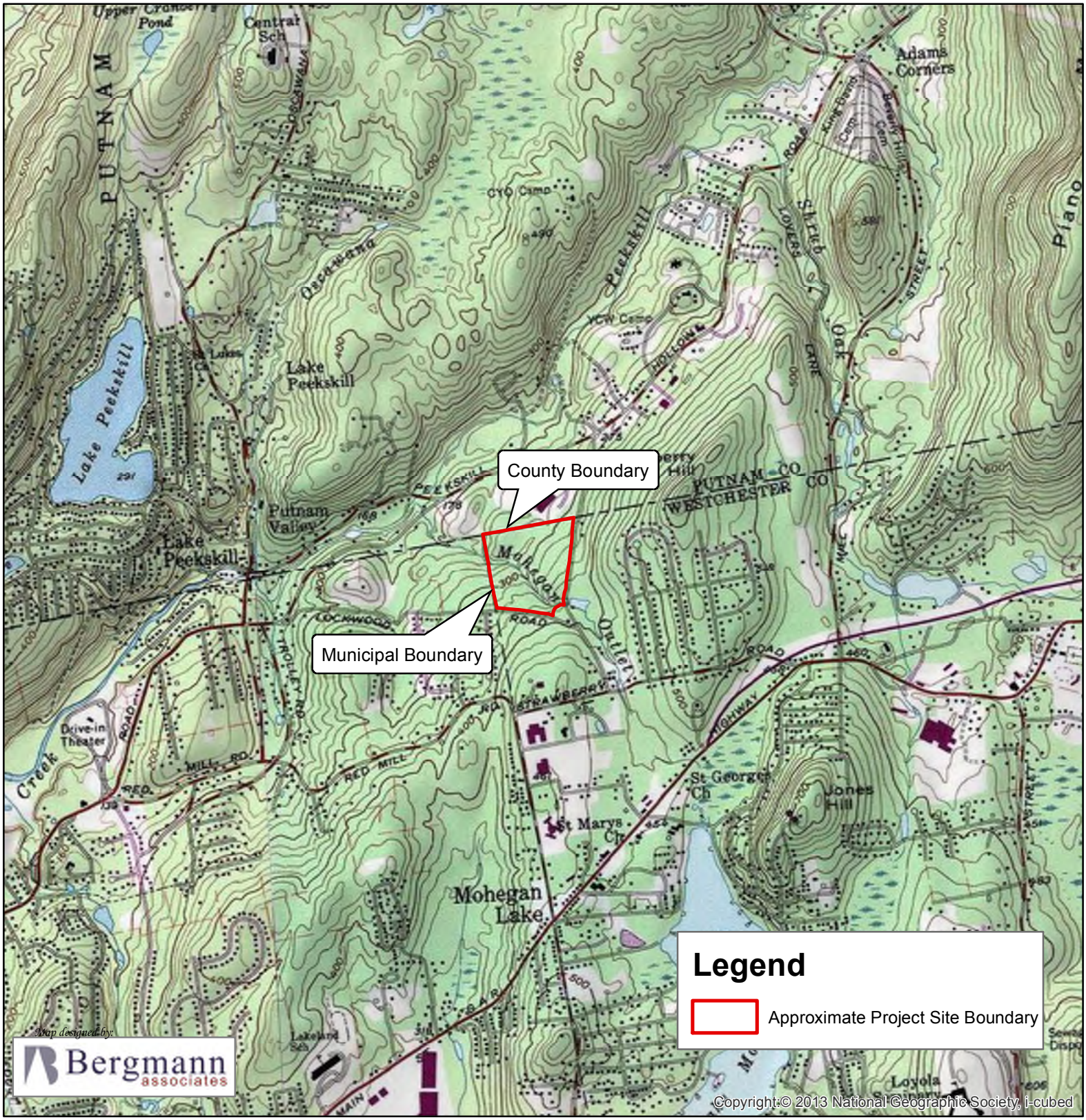
Clean Energy Collective
Yorktown Solar Farm
Solar Site Assessment

Town of Yorktown
Westchester County, New York

SITE LOCATION MAP Fig. 1

2,000 Feet

N
W E
S



Clean Energy Collective
Yorktown Solar Farm
Solar Site Assessment

Town of Yorktown
Westchester County, New York

AERIAL IMAGERY MAP

Fig. 2

1,000 Feet

N
W E
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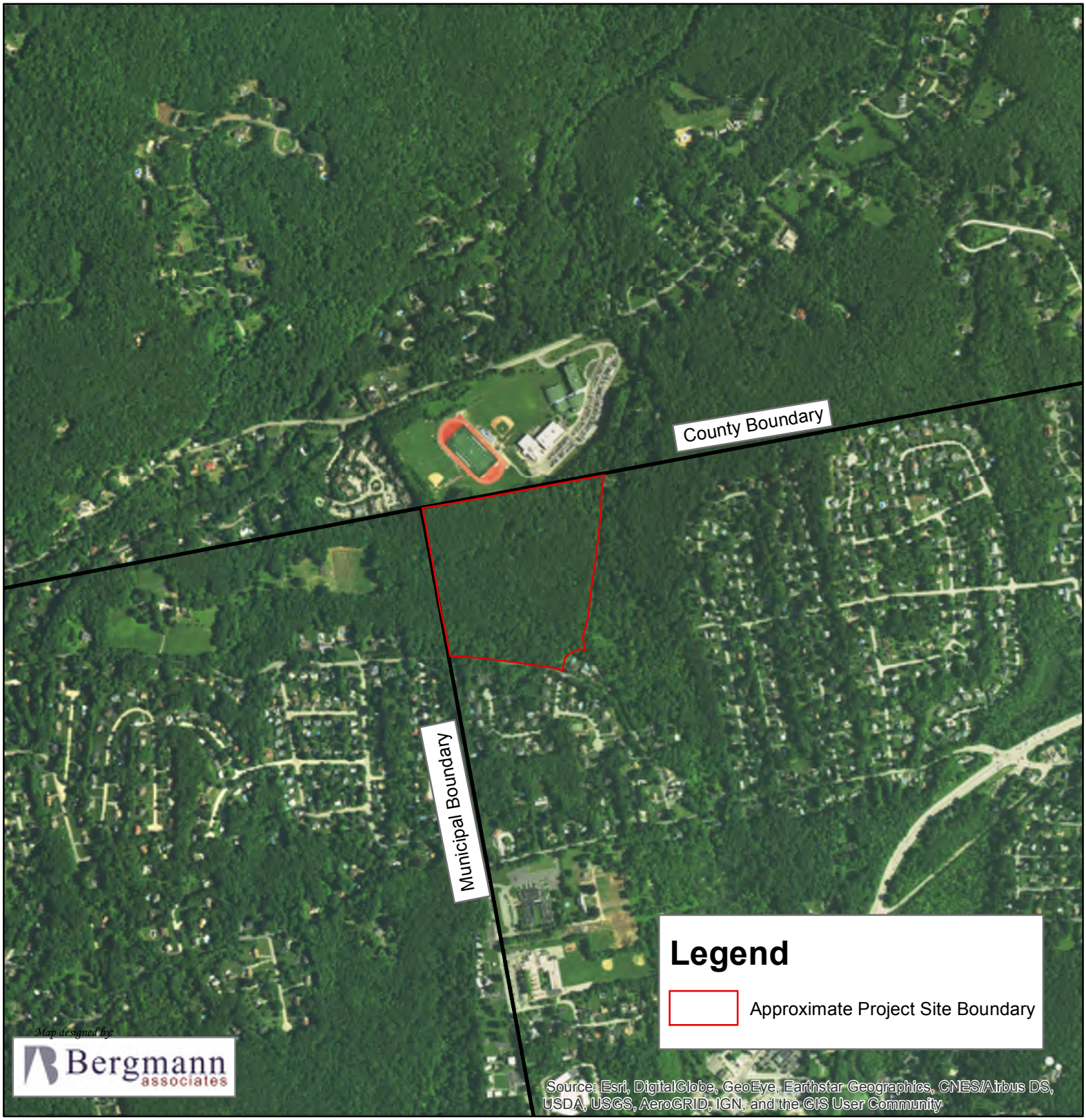

Map designed by:

Bergmann associates

Clean Energy Collective
Yorktown Solar Farm
Solar Site Assessment

Town of Yorktown
Westchester County, New York

NATIONAL WETLANDS INVENTORY MAP Fig. 3

250
Feet
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Map designed by:
Bergmann associates

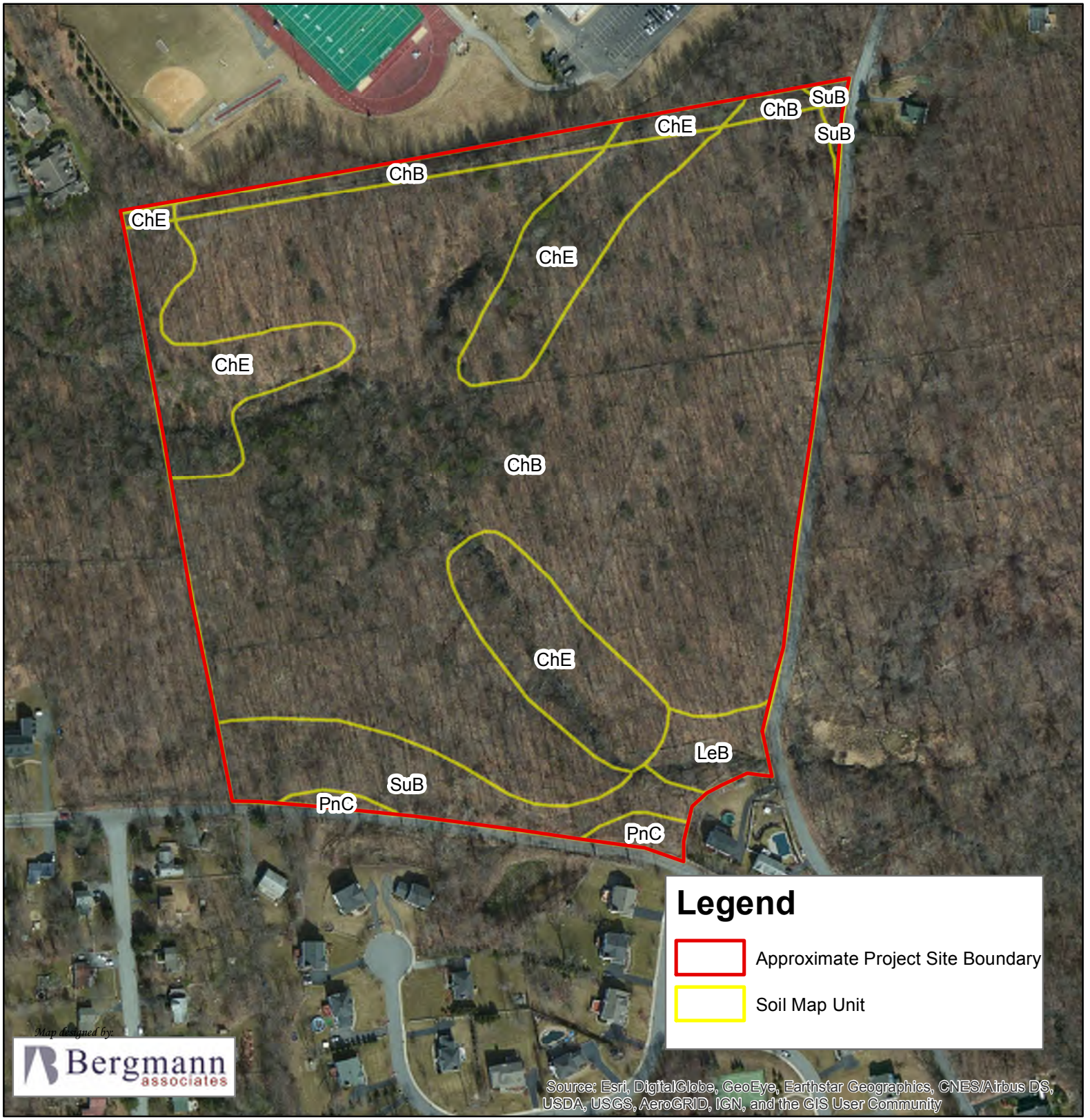
Clean Energy Collective
Yorktown Solar Farm
Solar Site Assessment

Town of Yorktown
Westchester County, New York

NRCS SOIL SURVEY MAP Fig. 4

250 Feet

N W E S



Legend

- Approximate Project Site Boundary
- Soil Map Unit

Map designed by:
Bergmann associates

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Clean Energy Collective
Yorktown Solar Farm
Solar Site Assessment

Town of Yorktown
Westchester County, New York

NYSDEC FRESHWATER WETLANDS MAP Fig. 5

1,000 Feet

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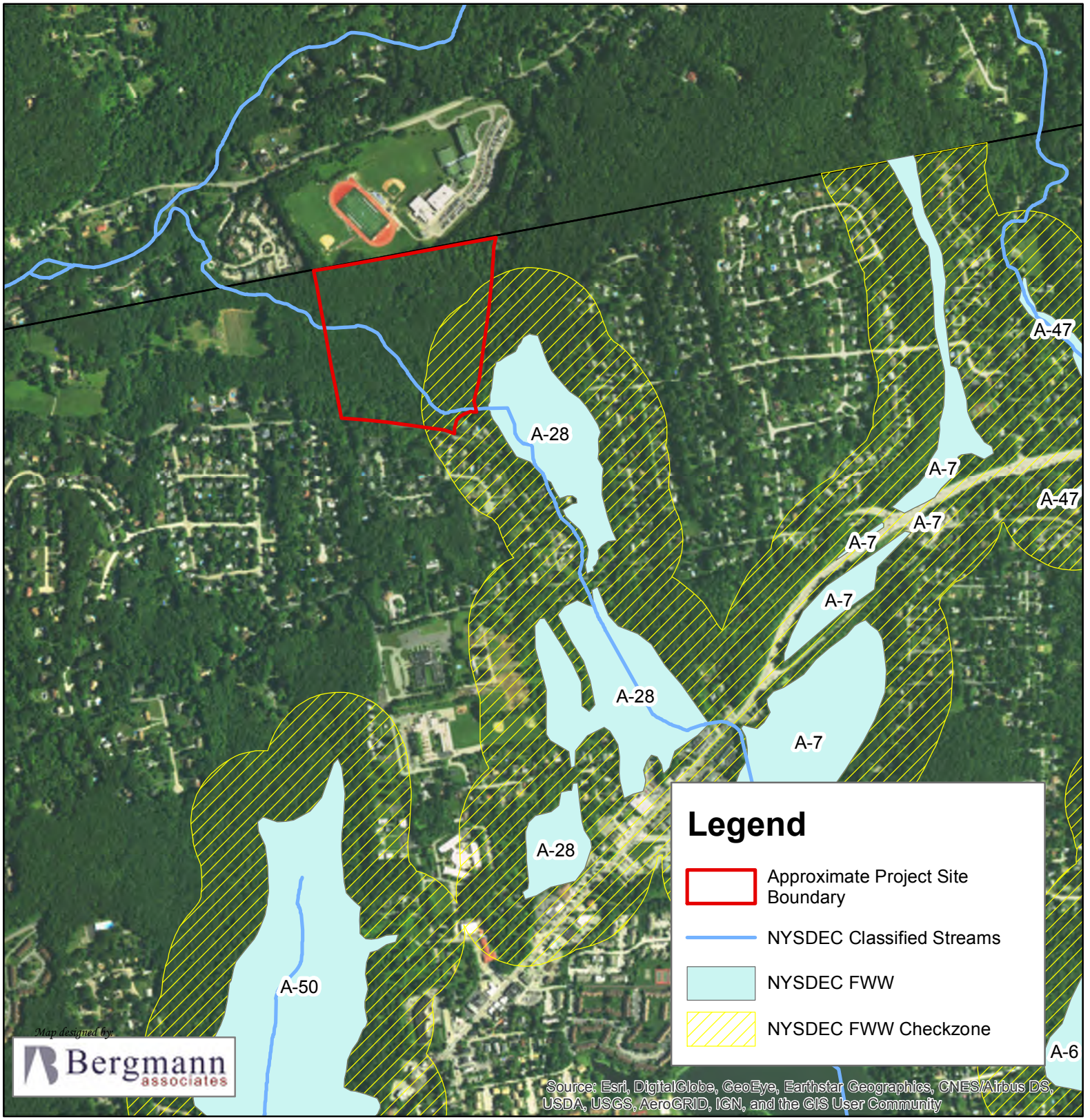

Map designed by:
Bergmann associates

APPENDIX A

Field Data Forms

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Yorktown City/County: Yorktown / Westchester Co. Sampling Date: 9/15/17

Applicant/Owner: Clean Energy Collective State: NY Sampling Point: W 1-1

Investigator(s): Rita Zack, Mike Robson Ph.D. - Bergmann Section, Township, Range:

Landform (hillslope, terrace, etc.): Floodplain Local relief (concave, convex, none): concave Slope (%):

Subregion (LRR or MLRA): LRR - R Lat: 41.333922 Long: -73.859676 Datum: NAD 83

Soil Map Unit Name: Charlton Loam 2-8% Slopes (ChB) NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes ☑ No ☐ (If no, explain in Remarks.)

Are Vegetation ☐, Soil ☐, or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☑ No ☐

Are Vegetation ☐, Soil ☐, or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes ☑	No ☐	**Is the Sampled Area within a Wetland?** Yes ☑ No ☐
Hydric Soil Present?	Yes ☑	No ☐	If yes, optional Wetland Site ID: Wetland 1
Wetland Hydrology Present?	Yes ☑	No ☐	

Remarks: (Explain alternative procedures here or in a separate report.)

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one is required; check all that apply)

- ☐ Surface Water (A1)
- ☐ High Water Table (A2)
- ☑ Saturation (A3)
- ☐ Water Marks (B1)
- ☐ Sediment Deposits (B2)
- ☐ Drift Deposits (B3)
- ☑ Algal Mat or Crust (B4)
- ☐ Iron Deposits (B5)
- ☑ Inundation Visible on Aerial Imagery (B7)
- ☑ Sparsely Vegetated Concave Surface (B8)
- ☑ Water-Stained Leaves (B9)
- ☐ Aquatic Fauna (B13)
- ☐ Marl Deposits (B15)
- ☐ Hydrogen Sulfide Odor (C1)
- ☐ Oxidized Rhizospheres on Living Roots (C3)
- ☐ Presence of Reduced Iron (C4)
- ☐ Recent Iron Reduction in Tilled Soils (C6)
- ☐ Thin Muck Surface (C7)
- ☐ Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- ☑ Surface Soil Cracks (B6)
- ☐ Drainage Patterns (B10)
- ☑ Moss Trim Lines (B16)
- ☐ Dry-Season Water Table (C2)
- ☐ Crayfish Burrows (C8)
- ☐ Saturation Visible on Aerial Imagery (C9)
- ☐ Stunted or Stressed Plants (D1)
- ☐ Geomorphic Position (D2)
- ☐ Shallow Aquitard (D3)
- ☐ Microtopographic Relief (D4)
- ☐ FAC-Neutral Test (D5)

Field Observations:

Surface Water Present? Yes ☐ No ☑ Depth (inches):

Water Table Present? Yes ☐ No ☑ Depth (inches):

Saturation Present? (includes capillary fringe) Yes ☑ No ☐ Depth (inches): 3 in

Wetland Hydrology Present? Yes ☑ No ☐

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

VEGETATION – Use scientific names of plants. Sampling Point: W 1-1

Tree Stratum (Plot size: 30' x 30')	Absolute % Cover	Dominant Species?	Indicator Status
1. Acer rubrum	40	yes	FAC
2.			
3.			
4.			
5.			
6.			
7.			
	40	= Total Cover	

Sapling/Shrub Stratum (Plot size: 15' x 15')			
1. Acer rubrum	10	yes	FAC
2. Lindera benzoin	3	yes	FACW
3.			
4.			
5.			
6.			
7.			
	13	= Total Cover	

Herb Stratum (Plot size: 5' x 5')			
1. Onoclea sensibilis	10	yes	FACW
2. Impatiens capensis	7	yes	FACW
3. Osmunda spectabilis	2	no	OBL
4.			
5.			
6.			
7.			
8.			
9.			
10.			
11.			
12.			
	19	= Total Cover	

Woody Vine Stratum (Plot size: 15' x 15')			
1.			
2.			
3.			
4.			
		= Total Cover	

Dominance Test worksheet:

Number of Dominant Species That Are OBL, FACW, or FAC: 5 (A)

Total Number of Dominant Species Across All Strata: 5 (B)

Percent of Dominant Species That Are OBL, FACW, or FAC: 100 (A/B)

Prevalence Index worksheet:

Total % Cover of:		Multiply by:	
OBL species	2	x 1 =	2
FACW species	20	x 2 =	40
FAC species	50	x 3 =	150
FACU species	0	x 4 =	0
UPL species	0	x 5 =	0
Column Totals:	72 (A)		192 (B)

Prevalence Index = B/A = 2.67

Hydrophytic Vegetation Indicators:

- ☑ 1 - Rapid Test for Hydrophytic Vegetation
- ☑ 2 - Dominance Test is >50%
- ☒ 3 - Prevalence Index is ≤3.0[1]
- ☐ 4 - Morphological Adaptations[1] (Provide supporting data in Remarks or on a separate sheet)
- ☐ Problematic Hydrophytic Vegetation[1] (Explain)

[1]Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Definitions of Vegetation Strata:

Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height.

Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall.

Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall.

Woody vines – All woody vines greater than 3.28 ft in height.

Hydrophytic Vegetation Present? Yes ☑ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)

Sparsely vegetated

SOIL

Sampling Point: W 1-1

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix Color (moist)	Matrix %	Redox Features Color (moist)	Redox Features %	Redox Features Type[1]	Redox Features Loc[2]	Texture	Remarks
0-3	10 YR 3/1	100					Organic	Decomposition
3-14	10 YR 3/2	100					Silty clay	

[1]Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.

[2]Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:

- ☐ Histosol (A1)
- ☑ Histic Epipedon (A2)
- ☐ Black Histic (A3)
- ☐ Hydrogen Sulfide (A4)
- ☐ Stratified Layers (A5)
- ☐ Depleted Below Dark Surface (A11)
- ☐ Thick Dark Surface (A12)
- ☐ Sandy Mucky Mineral (S1)
- ☐ Sandy Gleyed Matrix (S4)
- ☐ Sandy Redox (S5)
- ☐ Stripped Matrix (S6)
- ☐ Dark Surface (S7) (**LRR R, MLRA 149B**)
- ☐ Polyvalue Below Surface (S8) (**LRR R, MLRA 149B**)
- ☐ Thin Dark Surface (S9) (**LRR R, MLRA 149B**)
- ☐ Loamy Mucky Mineral (F1) (**LRR K, L**)
- ☐ Loamy Gleyed Matrix (F2)
- ☐ Depleted Matrix (F3)
- ☐ Redox Dark Surface (F6)
- ☐ Depleted Dark Surface (F7)
- ☐ Redox Depressions (F8)

Indicators for Problematic Hydric Soils[3]:

- ☐ 2 cm Muck (A10) (**LRR K, L, MLRA 149B**)
- ☐ Coast Prairie Redox (A16) (**LRR K, L, R**)
- ☐ 5 cm Mucky Peat or Peat (S3) (**LRR K, L, R**)
- ☐ Dark Surface (S7) (**LRR K, L**)
- ☐ Polyvalue Below Surface (S8) (**LRR K, L**)
- ☐ Thin Dark Surface (S9) (**LRR K, L**)
- ☐ Iron-Manganese Masses (F12) (**LRR K, L, R**)
- ☐ Piedmont Floodplain Soils (F19) (**MLRA 149B**)
- ☐ Mesic Spodic (TA6) (**MLRA 144A, 145, 149B**)
- ☐ Red Parent Material (F21)
- ☐ Very Shallow Dark Surface (TF12)
- ☐ Other (Explain in Remarks)

[3]Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):

Type: _____

Depth (inches): _____

Hydric Soil Present? Yes ☑ No ☐

Remarks:

Linear Waters of the U.S. Field Classification Form

Whenever an ephemeral stream, intermittent stream, or perennial stream is identified on a project site, use this form to document field observations in support of the field interpreted stream classification.

Stream Feature: Mohegan Outlet **Watershed:** Hudson River

Field Observations (check all that apply and describe if applicable):

☑ Surface water flow within a defined channel Southeast to northwest

☐ Presence of Ordinary High Water Mark
(If OHWM is present, place a stake to mark its location)_____

☐ Water seeping from banks (or ice along banks in winter)_____

☐ Channel has a floodplain or observable bankfull bench_____

☑ Presence of fish or macroinvertebrates_____

☐ Primarily erosive features_____

☑ Recent sediment deposits or accumulations in channel Gravel bar near Foothill St culvert

☐ Algae growing on bed materials_____

☑ Rooted plants growing in channel bed At Foothill St culvert

☐ Hydric soils in sides of channel_____

Provide a detailed description for each (use additional space in remarks section if necessary):

Antecendent weather conditions ~ 70 degrees, sun

Position of channel within the drainage basin (high, middle, low)? low

Gradient of the channel (steep, moderately sloping, flat)? steep

Channel morphology (linear/meandering)? slight meader

Width of channel? 20' - 30' Height of bank? 4'-6'

Interpreted water table position above or below defined channel? Below

Bed materials (provide description of bed materials and indicate if different from surrounding ground surface):
Cobbles

Topographic map designation? ☐ Intermittent ☑ Perennial ☐ Not Mapped

Describe off-site conditions:

Is there development upgradient of channel? Residential

Any artificial structures (i.e. culvert, detention basin) regulating flow?
Foothill st culvert

Remarks:

DEC mapped wetland east of Foothill St. Culvert directing flow from wetland into Mohegan outlet

Based on observations, characterize the stream type (check one):

Ephemeral Stream ☐ Intermittent Stream ☐ Perennial Stream ☑

Project Name: Clean Energy - Yorktown Date of Field Review: 09/15/17

Project Number: 12413.05 Field Reviewer: RZ, MR

WETLAND DETERMINATION DATA FORM – Northcentral and Northeast Region

Project/Site: Yorktown City/County: Yorktown / Westchester Co. Sampling Date: 9/15/17

Applicant/Owner: Clean Energy Collective State: NY Sampling Point: UPDP-1

Investigator(s): Rita Zack, Mike Robson Ph.D. - Bergmann Section, Township, Range:

Landform (hillslope, terrace, etc.): Local relief (concave, convex, none): None Slope (%):

Subregion (LRR or MLRA): LRR - R Lat: 41.332846 Long: -73.861208 Datum: NAD 83

Soil Map Unit Name: Charlton Loam 2-8% Slopes (ChB) NWI classification: None

Are climatic / hydrologic conditions on the site typical for this time of year? Yes ☑ No ☐ (If no, explain in Remarks.)

Are Vegetation ☐, Soil ☐, or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☑ No ☐

Are Vegetation ☐, Soil ☐, or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes ☐	No ☑	**Is the Sampled Area within a Wetland?** Yes ☐ No ☑
Hydric Soil Present?	Yes ☐	No ☑	
Wetland Hydrology Present?	Yes ☐	No ☑	If yes, optional Wetland Site ID:

Remarks: (Explain alternative procedures here or in a separate report.)

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one is required; check all that apply)

- ☐ Surface Water (A1)
- ☐ High Water Table (A2)
- ☐ Saturation (A3)
- ☐ Water Marks (B1)
- ☐ Sediment Deposits (B2)
- ☐ Drift Deposits (B3)
- ☐ Algal Mat or Crust (B4)
- ☐ Iron Deposits (B5)
- ☐ Inundation Visible on Aerial Imagery (B7)
- ☐ Sparsely Vegetated Concave Surface (B8)
- ☐ Water-Stained Leaves (B9)
- ☐ Aquatic Fauna (B13)
- ☐ Marl Deposits (B15)
- ☐ Hydrogen Sulfide Odor (C1)
- ☐ Oxidized Rhizospheres on Living Roots (C3)
- ☐ Presence of Reduced Iron (C4)
- ☐ Recent Iron Reduction in Tilled Soils (C6)
- ☐ Thin Muck Surface (C7)
- ☐ Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- ☐ Surface Soil Cracks (B6)
- ☐ Drainage Patterns (B10)
- ☐ Moss Trim Lines (B16)
- ☐ Dry-Season Water Table (C2)
- ☐ Crayfish Burrows (C8)
- ☐ Saturation Visible on Aerial Imagery (C9)
- ☐ Stunted or Stressed Plants (D1)
- ☐ Geomorphic Position (D2)
- ☐ Shallow Aquitard (D3)
- ☐ Microtopographic Relief (D4)
- ☐ FAC-Neutral Test (D5)

Field Observations:

Surface Water Present?	Yes ☐	No ☑	Depth (inches):
Water Table Present?	Yes ☐	No ☑	Depth (inches):
Saturation Present? (includes capillary fringe)	Yes ☐	No ☑	Depth (inches):

Wetland Hydrology Present? Yes ☐ No ☑

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

VEGETATION – Use scientific names of plants. Sampling Point: UPDP-1

Tree Stratum (Plot size: 30' x 30')	Absolute % Cover	Dominant Species?	Indicator Status
1. Acer saccharum	38	yes	FACU
2. Tsuga canadensis	25	yes	FACU
3. Acer rubrum	12	no	FAC
4. Fagus grandifolia	7	no	FACU
5.			
6.			
7.			
	82	= Total Cover	

Sapling/Shrub Stratum (Plot size: 15' x 15')			
1. Fagus grandifolia	15	yes	FACU
2. Acer saccharum	5	yes	FACU
3.			
4.			
5.			
6.			
7.			
	20	= Total Cover	

Herb Stratum (Plot size: 5' x 5')			
1.			
2.			
3.			
4.			
5.			
6.			
7.			
8.			
9.			
10.			
11.			
12.			
	19	= Total Cover	

Woody Vine Stratum (Plot size: 15' x 15')			
1.			
2.			
3.			
4.			
		= Total Cover	

Dominance Test worksheet:

Number of Dominant Species That Are OBL, FACW, or FAC: 0 (A)

Total Number of Dominant Species Across All Strata: 4 (B)

Percent of Dominant Species That Are OBL, FACW, or FAC: 0 (A/B)

Prevalence Index worksheet:

Total % Cover of:		Multiply by:	
OBL species	0	x 1 =	0
FACW species	0	x 2 =	0
FAC species	12	x 3 =	36
FACU species	90	x 4 =	360
UPL species	0	x 5 =	0
Column Totals:	102 (A)		396 (B)

Prevalence Index = B/A = 3.88

Hydrophytic Vegetation Indicators:

- ☐ 1 - Rapid Test for Hydrophytic Vegetation
- ☐ 2 - Dominance Test is >50%
- ☐ 3 - Prevalence Index is ≤3.0[1]
- ☐ 4 - Morphological Adaptations[1] (Provide supporting data in Remarks or on a separate sheet)
- ☐ Problematic Hydrophytic Vegetation[1] (Explain)

[1]Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Definitions of Vegetation Strata:

Tree – Woody plants 3 in. (7.6 cm) or more in diameter at breast height (DBH), regardless of height.

Sapling/shrub – Woody plants less than 3 in. DBH and greater than or equal to 3.28 ft (1 m) tall.

Herb – All herbaceous (non-woody) plants, regardless of size, and woody plants less than 3.28 ft tall.

Woody vines – All woody vines greater than 3.28 ft in height.

Hydrophytic Vegetation Present? Yes ☐ No ☑

Remarks: (Include photo numbers here or on a separate sheet.)

Heavy deer browsing

SOIL

Sampling Point: UPDP-1

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix Color (moist)	Matrix %	Redox Features Color (moist)	Redox Features %	Type[1]	Loc[2]	Texture	Remarks
0-12	10 YR 3/4	100					Silt	

[1]Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.

[2]Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:

- ☐ Histosol (A1)
- ☐ Histic Epipedon (A2)
- ☐ Black Histic (A3)
- ☐ Hydrogen Sulfide (A4)
- ☐ Stratified Layers (A5)
- ☐ Depleted Below Dark Surface (A11)
- ☐ Thick Dark Surface (A12)
- ☐ Sandy Mucky Mineral (S1)
- ☐ Sandy Gleyed Matrix (S4)
- ☐ Sandy Redox (S5)
- ☐ Stripped Matrix (S6)
- ☐ Dark Surface (S7) (**LRR R, MLRA 149B**)
- ☐ Polyvalue Below Surface (S8) (**LRR R, MLRA 149B**)
- ☐ Thin Dark Surface (S9) (**LRR R, MLRA 149B**)
- ☐ Loamy Mucky Mineral (F1) (**LRR K, L**)
- ☐ Loamy Gleyed Matrix (F2)
- ☐ Depleted Matrix (F3)
- ☐ Redox Dark Surface (F6)
- ☐ Depleted Dark Surface (F7)
- ☐ Redox Depressions (F8)

Indicators for Problematic Hydric Soils[3]:

- ☐ 2 cm Muck (A10) (**LRR K, L, MLRA 149B**)
- ☐ Coast Prairie Redox (A16) (**LRR K, L, R**)
- ☐ 5 cm Mucky Peat or Peat (S3) (**LRR K, L, R**)
- ☐ Dark Surface (S7) (**LRR K, L**)
- ☐ Polyvalue Below Surface (S8) (**LRR K, L**)
- ☐ Thin Dark Surface (S9) (**LRR K, L**)
- ☐ Iron-Manganese Masses (F12) (**LRR K, L, R**)
- ☐ Piedmont Floodplain Soils (F19) (**MLRA 149B**)
- ☐ Mesic Spodic (TA6) (**MLRA 144A, 145, 149B**)
- ☐ Red Parent Material (F21)
- ☐ Very Shallow Dark Surface (TF12)
- ☐ Other (Explain in Remarks)

[3]Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):

Type: _____

Depth (inches): _____

Hydric Soil Present? **Yes** ☐ **No** ☑

Remarks:

APPENDIX B

Representative Photographs

Facing North on Foothill St

Facing South on Foothill St

Rusted culvert with sediment found in North-Eastern corner of property

Old rock walls within the subject property

Northwest corner of the subject property, looking south.

Man-made trails throughout subject property

Northwest corner of the subject property, facing north.

Northwest corner of the subject property, facing south

Northwest corner of the subject property, looking south.

Woods throughout subject property.

Within subject property

Wetlands within subject property

Wetlands within subject property

Mohegan Outlet

Mohegan Outlet

Mohegan Outlet

Culvert within Mohegan Outlet

Mohegan Outlet

Mohegan Outlet, southeast edge of property looking north

Mohegan Outlet, southeast edge of property looking south

Facing West in Lockwood Road

Facing East in Lockwood Road

APPENDIX C

Threatened and Endangered Species Research

United States Department of the Interior

FISH AND WILDLIFE SERVICE
New York Ecological Services Field Office
3817 Luker Road
Cortland, NY 13045-9385
Phone: (607) 753-9334 Fax: (607) 753-9699
http://www.fws.gov/northeast/nyfo/es/section7.htm

In Reply Refer To: November 16, 2021
Consultation Code: 05E1NY00-2018-SLI-2074
Event Code: 05E1NY00-2022-E-01878
Project Name: Yorktown A Solar Farm

Subject: Updated list of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (ESA) of 1973, as amended (16 U.S.C. 1531 *et seq.*). This list can also be used to determine whether listed species may be present for projects without federal agency involvement. New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list.

Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the ESA, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC site at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list. If listed, proposed, or candidate species were identified as potentially occurring in the project area, coordination with our office is encouraged. Information on the steps involved with assessing potential impacts from projects can be found at: http://www.fws.gov/northeast/nyfo/es/section7.htm

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the Services wind

energy guidelines (http://www.fws.gov/windenergy/) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm; http://www.towerkill.com; and http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the ESA. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

New York Ecological Services Field Office
3817 Luker Road
Cortland, NY 13045-9385
(607) 753-9334

This project's location is within the jurisdiction of multiple offices. Expect additional species list documents from the following office, and expect that the species and critical habitats in each document reflect only those that fall in the office's jurisdiction:

Long Island Ecological Services Field Office
340 Smith Road
Shirley, NY 11967-2258
(631) 286-0485

Project Summary

Consultation Code: 05E1NY00-2018-SLI-2074
Event Code: Some(05E1NY00-2022-E-01878)
Project Name: Yorktown A Solar Farm
Project Type: POWER GENERATION
Project Description: Creation of a solar farm on existing parcel
Project Location:

Approximate location of the project can be viewed in Google Maps: https://www.google.com/maps/@41.33303187541901,-73.85947370639772,14z

Counties: Putnam and Westchester counties, New York

Endangered Species Act Species

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries[1], as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

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1. NOAA Fisheries, also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Indiana Bat *Myotis sodalis*	Endangered

There is **final** critical habitat for this species. The location of the critical habitat is not available.
Species profile: https://ecos.fws.gov/ecp/species/5949

Reptiles

NAME	STATUS
Bog Turtle *Clemmys muhlenbergii*	Threatened

Population: Wherever found, except GA, NC, SC, TN, VA
No critical habitat has been designated for this species.
Species profile: https://ecos.fws.gov/ecp/species/6962

Insects

NAME	STATUS
Monarch Butterfly *Danaus plexippus*	Candidate

No critical habitat has been designated for this species.
Species profile: https://ecos.fws.gov/ecp/species/9743

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

United States Department of the Interior

FISH AND WILDLIFE SERVICE
Long Island Ecological Services Field Office
340 Smith Road
Shirley, NY 11967-2258
Phone: (631) 286-0485 Fax: (631) 286-4003

In Reply Refer To:
Consultation Code: 05E1LI00-2018-SLI-0556
Event Code: 05E1LI00-2022-E-00646
Project Name: Yorktown A Solar Farm

November 16, 2021

Subject: Updated list of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)

(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF

Please be aware that bald and golden eagles are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 *et seq.*), and projects affecting these species may require development of an eagle conservation plan (http://www.fws.gov/windenergy/eagle_guidance.html). Additionally, wind energy projects should follow the wind energy guidelines (http://www.fws.gov/windenergy/) for minimizing impacts to migratory birds and bats.

Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm; http://www.towerkill.com; and http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Long Island Ecological Services Field Office
340 Smith Road
Shirley, NY 11967-2258
(631) 286-0485

This project's location is within the jurisdiction of multiple offices. Expect additional species list documents from the following office, and expect that the species and critical habitats in each document reflect only those that fall in the office's jurisdiction:

New York Ecological Services Field Office
3817 Luker Road
Cortland, NY 13045-9385
(607) 753-9334

Project Summary

Consultation Code: 05E1LI00-2018-SLI-0556
Event Code: Some(05E1LI00-2022-E-00646)
Project Name: Yorktown A Solar Farm
Project Type: POWER GENERATION
Project Description: Creation of a solar farm on existing parcel
Project Location:

Approximate location of the project can be viewed in Google Maps: https://www.google.com/maps/@41.33303187541901,-73.85947370639772,14z

Counties: Putnam and Westchester counties, New York

Endangered Species Act Species

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries[1], as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

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1. NOAA Fisheries, also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Indiana Bat *Myotis sodalis*	Endangered

There is **final** critical habitat for this species. The location of the critical habitat is not available.
Species profile: https://ecos.fws.gov/ecp/species/5949

Reptiles

NAME	STATUS
Bog Turtle *Clemmys muhlenbergii*	Threatened

Population: Wherever found, except GA, NC, SC, TN, VA
No critical habitat has been designated for this species.
Species profile: https://ecos.fws.gov/ecp/species/6962

Insects

NAME	STATUS
Monarch Butterfly *Danaus plexippus*	Candidate

No critical habitat has been designated for this species.
Species profile: https://ecos.fws.gov/ecp/species/9743

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

Environmental Resource Mapper

Base Map: Topographical Using this map

- Search
- Tools
- Layers and Legend
  - All Layers
  - Unique Geological Features
  - Waterbody Classifications for Rivers/Streams
  - Waterbody Classifications for Lakes
  - State Regulated Freshwater Wetlands
    - State Regulated Wetland Checkzone
  - Significant Natural Communities
    - Natural Communities Near This Location
  - Rare Plants or Animals
- Other Wetland Layers
- Reference Layers
- Tell Me More...
- Need A Permit?
- Contacts

GLIDE Agile

Our adjustable and durable frame features less hardware, integrated electrical bonding, and included wire management resulting in reduced labor hours. Installation times are shortened by up to 36% through simplified connections, agile parts, and seasoned field teams. Our versatile design enables numerous configurations allowing us to meet your unique needs and bring solar to more fields.

Portrait up to 3 high x 12 wide

Landscape up to 4 high x 6 wide
Bifacial compatible

Benefits

- Less hardware for faster installation and reduced labor hours
- Simplified hardware featuring 2-piece bolt stacks and only two types of hardware
- Adapts to steep slopes
- Accommodates arduous soils
- Included wire management
- Lighter, stiffer components for less freight costs
- Versatile with numerous configurations
- Durable, tolerating up to 170 MPH winds and 100 PSF ground snow loads
- Landscape orientation is bifacial compatible to maximize potential backside power yield

Specifications

Module orientation	Portrait or Landscape
Module mounting	Bottom mount / Integrated electrical bonding
Tilt angle	5°- 35°
Wire management	Incorporated in structure – NEC compliant
Configuration	Portrait: up to 3 high x 12 wide / Landscape: up to 4 high x 6 wide
Slopes	East or West facing, up to 30% / North or South facing, up to 36%
Load capacities	Project specific: up to 170 MPH wind speed and 100 PSF ground snow load
Foundations	Ground screws / Driven piles
Warranty	20 year limited warranty
Certifications	UL2703, edition 1; CPP wind tunnel tested

jinkosolar.us

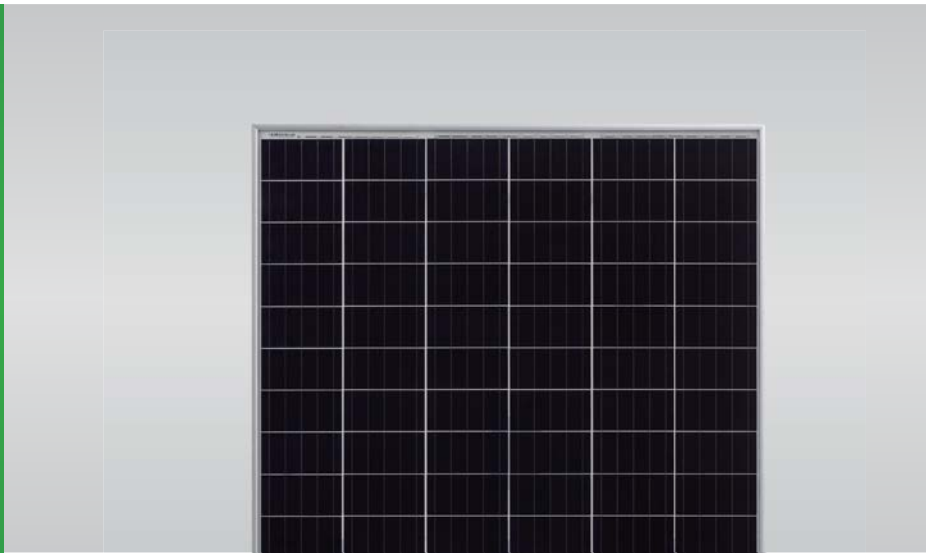
Building Your Trust in Solar

Eagle 72HM G2

390-410 Watt

MONO PERC HALF CELL MODULE

Positive power tolerance of 0~+3%



KEY FEATURES

Diamond Cell Technology
Uniquely designed high performance 5 busbar mono PERC half cell

High Voltage
UL and IEC 1500V certified; lowers BOS costs and yields better LCOE

Higher Module Power
Decrease in current loss yields higher module efficiency

Shade Tolerance
More shade tolerance due to twin arrays

PID FREE
Reinforced cell prevents potential induced degradation

Strength and Durability
Certified for high snow (5400Pa) and wind (2400 Pa) loads

- ISO9001:2008 Quality Standards
- ISO14001:2004 Environmental Standards
- OHSAS18001 Occupational Health & Safety Standards
- IEC61215, IEC61730 certified products
- UL1703 certified products

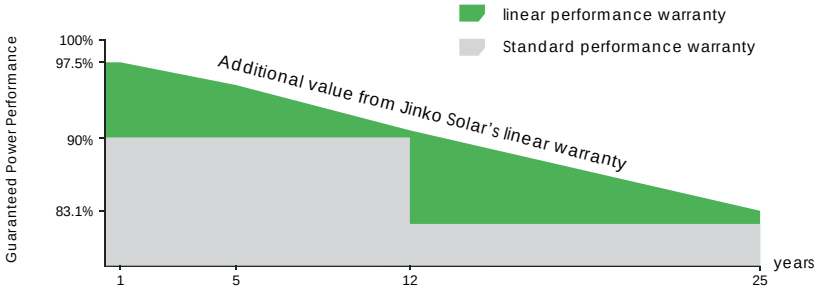
Nomenclature:

JKM410M-72HL-V

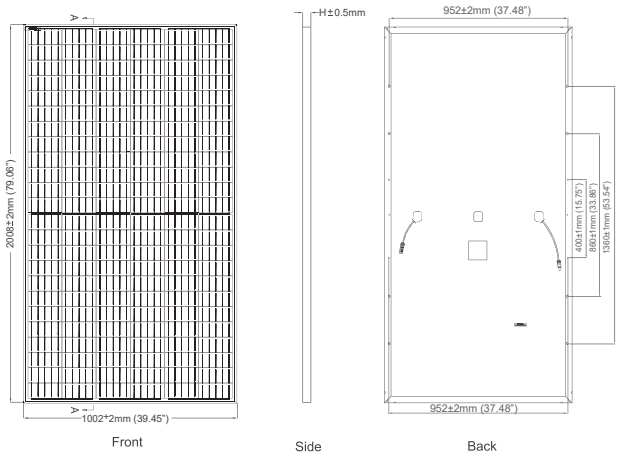
Code	Cell	Code	Cell	Code	Certification
null	Full	null	Normal	null	1000V
H	Half	L	Diamond	V	1500V

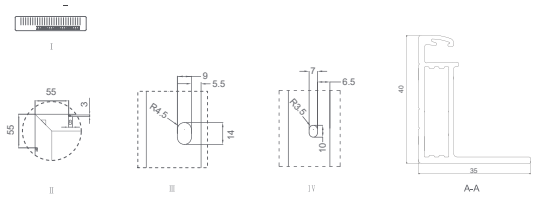
LINEAR PERFORMANCE WARRANTY

12 Year Product Warranty • 25 Year Linear Power Warranty



Engineering Drawings



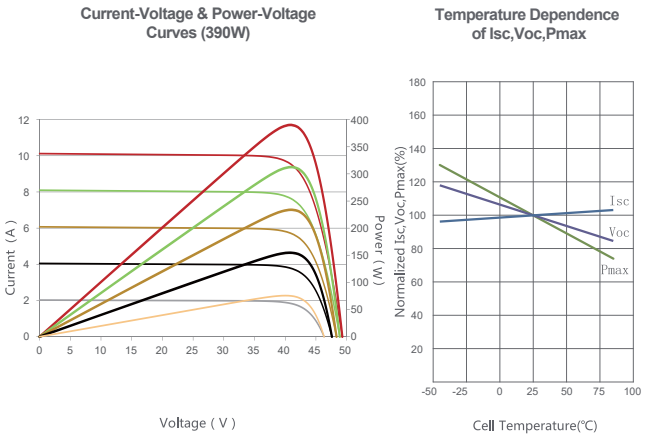


Packaging Configuration

(Two pallets = One stack)

27pcs/pallet, 54pcs/stack, 594pcs/40'HQ Container

Electrical Performance & Temperature Dependence



Mechanical Characteristics

Cell Type	Mono PERC Diamond Cell (158.75 x 158.75 mm)
No.of Half-cells	144 (6×24)
Dimensions	2008×1002×40mm (79.06×39.45×1.57 inch)
Weight	22.5 kg (49.6 lbs)
Front Glass	3.2mm, Anti-Reflection Coating, High Transmission, Low Iron, Tempered Glass
Frame	Anodized Aluminium Alloy
Junction Box	IP67 Rated
Output Cables	12 AWG, (+) 1400mm(55.12 in), (-) 1400mm(55.12 in) or Customized Length
Fire Type	Type 1

SPECIFICATIONS

Module Type	JKM390M-72HL-V		JKM395M-72HL-V		JKM400M-72HL-V		JKM405M-72HL-V		JKM410M-72HL-V	
	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT	STC	NOCT
Maximum Power (Pmax)	390Wp	294Wp	395Wp	298Wp	400Wp	302Wp	405Wp	306Wp	410Wp	310Wp
Maximum Power Voltage (Vmp)	41.1V	39.1V	41.4V	39.3V	41.7V	39.6V	42.0V	39.8V	42.3V	40.0V
Maximum Power Current (Imp)	9.49A	7.54A	9.55A	7.60A	9.60A	7.66A	9.65A	7.72A	9.69A	7.76A
Open-circuit Voltage (Voc)	49.3V	48.0V	49.5V	48.2V	49.8V	48.5V	50.1V	48.7V	50.4V	48.9V
Short-circuit Current (Isc)	10.12A	8.02A	10.23A	8.09A	10.36A	8.16A	10.48A	8.22A	10.60A	8.26A
Module Efficiency STC (%)	19.38%		19.63%		19.88%		20.13%		20.38%	
Operating Temperature (℃)	-40℃~+85℃									
Maximum System Voltage	1500VDC(UL)/1500VDC(IEC)									
Maximum Series Fuse Rating	20A									
Power Tolerance	0~+3%									
Temperature Coefficients of Pmax	-0.36%/℃									
Temperature Coefficients of Voc	-0.28%/℃									
Temperature Coefficients of Isc	0.048%/℃									
Nominal Operating Cell Temperature (NOCT)	45±2℃									

STC: Irradiance 1000W/m² Cell Temperature 25°C AM=1.5

NOCT: Irradiance 800W/m² Ambient Temperature 20°C AM=1.5 Wind Speed 1m/s

* Power measurement tolerance: ± 3%

Photo simulation #1 – Foothill Street with Planting Enhancement – Day 1

Photo simulation #2 – Foothill Street with Planting Enhancement – Day 1

Photo simulation #3 – Foothill Street with Planting Enhancement – Day 1

Photo simulation #4 – Foothill Street with Planting Enhancement – Year 5

Photo simulation #5 – Foothill Street with Planting Enhancement – Year 5

Photo simulation #6 – Foothill Street with Planting Enhancement – Year 5

Photo simulation #7 – Foothill Street with Planting Enhancement – Day 1

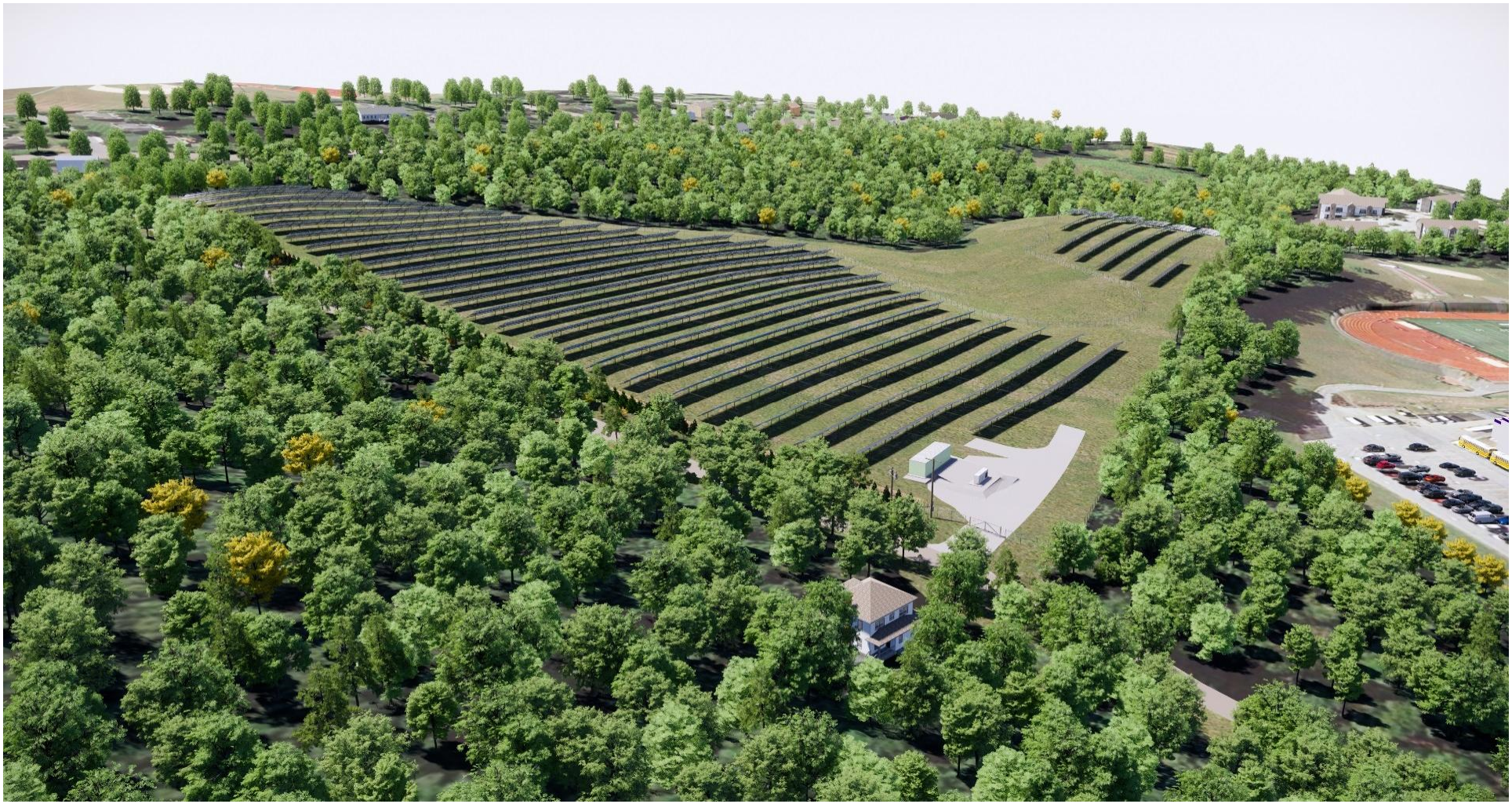
Photo simulation #8 – Entrance Area with Planting Enhancement – Day 1

Photo simulation #9 – Entrance Area with Planting Enhancement – Year 5

Photo simulation #10 – Entrance Area with Planting Enhancement – Year 5

Photo simulation #11 – Aerial – Year 5

Photo simulation #12 – Aerial – Year 5



Barton & Loguidice

November 1, 2021

Mr. John Tegeder
Director of Planning
Town of Yorktown
Albert A. Capellini Community and Cultural Center
1974 Commerce Street
Yorktown Heights, New York 10598

Re: Yorktown A Solar Project
3849 Foothill Street
Yorktown, New York
Subj: Environmental Review for Foothill Street Solar Farm
File: 2478.001.001

Dear Mr. Tegeder and Members of the Planning Board:

Barton & Loguidice, D.P.C. (B&L), has completed our initial Environmental Review for the above referenced community solar project. To date B&L has received the following documents for review and comment:

- The Full Environmental Assessment Form, signed October 20, 2020
- The Operational Noise Levels from the Yorktown A Solar Project, dated June 25, 2021
- The Yorktown A Solar Farm Site Plans, with the latest revision date as January 28, 2021
- The Storm water Pollution Prevention Plan, with the latest revision date as January 28, 2021
- The tree Inventory Reports, dated June 28, 2021
- The Westchester Country Planning Board Referral Review, dated November 13, 2020
- The Additional Comments to the Westchester Country Planning Board Referral Review, dated December 2, 2020
- Existing and Proposed Peak Discharge for the Storm Events, undated
- Decommissioning Plan and Cost Estimate Memo, dated April 23, 2021
- Wetland and Aquatic Resources Delineation Report, dated May 16, 2018
- Initial TCAC Comment on Proposed Solar Facility at 3849 Foothill Street, dated March 22, 2021
- Resolution by Putnam Valley Central School District in Opposition to Project, dated April 8, 2021
- Photo Simulations Day 1 to Year 5, undated
- Draft Mitigation Plan for Proposed Solar Project, Foothill Street, Yorktown, New York, Dated November 30, 2020
- Comparison to Previously Proposed Residential Subdivisions, dated March 12, 2021
- Board of Education Resolution Related to Proposed Yorktown Solar Farm, dated March 2, 2021

Pinewood Business Center, 247 Route 100, Suite 2000D, Somers, NY 10589 ▪ Office: 914-232-3646 ▪ BartonandLoguidice.com

Project Description

Con Edison Clean Energy Business, Inc. (Applicant) is proposing the construction of a solar facility and associated electrical appurtenances on a single parcel located at 3849 Foothill Street in the Town of Yorktown. The solar photovoltaic (PV) system is proposed for installation within approximately 16 acres of the 34.23 acres of the site, with the rest remaining undeveloped.

The development will result in one 1.87-megawatts AC solar project. The PV systems will have a maximum height of the mounted panels being at 12ft tall.

This project is considered a large-scale ground mounted solar energy system by the Town Code and is allowed within the Residential Zoning District (R1-40) by a Special Use Permit subject to Planning Board review. B&L offers the following comments to the Planning Board for consideration in its review and recommendation to the Town Board.

Part 1 of the Long Form EAF

B&L has reviewed Part 1 of the Long Form EAF prepared by Bergmann on behalf of the Applicant, Con Edison Clean Energy Business, Inc. and we offer the following comments and questions:

<u>Environmental Specific Comments</u>:

1. Item B (Government Approvals, Funding or Sponsorship) – Should the Town's conservation board be listed as an agency where approval is required due to presence of wetlands on the site?
2. Item D.1.h (Proposed and Potential Development) – Item h.v. Please replace 'varies' with approximate range for both height and length of the stormwater detention basin.
3. Item D.2.e (Project Operations) – Please ensure that the solar panels can be considered a pervious surface by complying with the requirements as stated in the New York State Department of Environmental Conservation Memorandum titled 'Solar Panel Construction Stormwater Permitting/SWPPP Guidance' dated February 21, 2020. Large amounts of surface runoff are not being captured on site before being discharged into streams and wetlands. The amount of runoff is changing due to replacing forested areas with grassy fields. In order to comply with the above stated requirements, the change in surface cover must be accounted for such that hydrology will not change between pre and post development conditions. If the panels cannot be considered pervious, adjust these numbers and the design accordingly.
4. Item E.1.b (Land Uses on and Surrounding the Project Site) – Item 'Other' describes Pervious Gravel. Ensure that this gravel can indeed be considered pervious.
5. Item E.2.c (Natural Resources On or Near Project Site) – The predominant soil types present on the project site (ChB and SuB, making up 79.90% of the site) are prime farmland. Avoid installation of solar rays on the most valuable productive farmland (provided in order of importance of current use: active rotational farmland, permanent hayland, improved pasture, unimproved pasture, other support lands, fallow/inactive farmland), especially when containing prime farmland soils or soils of statewide importance.
6. Item E.2.o (Natural Resources On or Near Project Site) – Item o states that there are no endangered or threatened species on site, but subsequently lists two species. Please clarify whether endangered or threatened species are present on site or not.

7. Item E.3.b (Designated Public Resources on or Near Project Site) – As stated above in item 5 above, the predominant soil types present on the project site are prime farmland, and solar ray installation is to be avoided on the most valuable productive farmland.

General Comments:

8. Item D.1.b (Proposed and Potential Development) – Item b.b 'Total Acreage to be physically disturbed' is listed as 16.00± acres. In the Westchester County Planning Board Referral Review letters, page 1, it is listed as 15 acres. The Grading/SWPP Plan sheet (C003) also says 16.00 acres. Please ensure all documents are stating the same number, and that the number is accurate to the hundredth of an acre.
9. Item D.1.e (Proposed and Potential Development) – Item e.ii. 'Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases', Applicant answers "The project is divided into phases to avoid disturbing more than 5 acres at a time." The applicant notes that the total number of phases anticipated is 3 phases. 5 acres times 3 phases is 15 acres total of disturbed area. Applicant states earlier (see item 8 above) that the total number of disturbed acres is 16.00 acres, which would therefore require at least 4 phases. Please clarify how many acres are being disturbed total, how many acres are being disturbed in each phase, and why.
10. Item D.1.g (Proposed and Potential Development) – Item g asks about the number and size of structures. Applicant notes 'N/A'. The ground mounted solar panels are considered accessory structures and therefore this information should be filled out with number of panels and size/height of mounted panels.
11. Item E.1.b (Land Uses on and Surrounding the Project Site) – Item 'Roads, Buildings and other paved or impervious surfaces' Item 'Forested' states that 15.90 acres of forested area are to be removed, making the disturbed area now 15.90 acres. This does not match the acreage mentioned elsewhere (see items 8 and 9 above). All disturbance numbers must match on all documents and be accurate to the hundredth of an acre.
12. Item E.2.f (Natural Resources On or Near Project Site) – Note that static mounted solar panels shall not be placed on slopes greater than 25%.

Wetland and Aquatic Resources Delineation Report

B&L has reviewed the Wetland and Aquatic Resources Delineation Report prepared by Bergmann on behalf of the Applicant, Con Edison Clean Energy Business, Inc. and we offer the following comments and questions:

Environmental Specific Comments:

1. Page 6-7, 3.5 Threatened and Endangered Species Review – The Indiana Bat (endangered) and the Northern Long-eared bat (threatened) may occur within the project area. It is recommended that an official evaluation of the site be conducted to ensure that none of these species are present on site and that the final development will have no impact on said species. See also item 6 above under Part 1 of the Long Form EAF and adjust accordingly.
2. Page 8, 4.1 Wetlands and Aquatic Resources and 4.2 Uplands – The wetlands include various trees, as well as the upland area. Ensure that panel locations surrounding wetlands are accurate due to shading associated with untouched vegetation within the 100' wetland buffer.

3. Figures, Wetland Determination Data From, Sampling Point W 1-1 – Prevalence Index worksheet is not filled out.

General Comments:

4. Page 3, Introduction – Site is listed as being 34.62 acres. In the EAF & WCPB letter, site is stated to be 34.23 acres. Please make sure all areas are matching in all letters.

Resolution by Putnam Valley Central School District in Opposition to Project

B&L has reviewed the Resolution by Putnam Valley Central School District in Opposition to Project prepared by Con Edison Clean Energy Business, Inc. to the chairman of the Planning Board and we offer the following comments and questions:

Environmental Specific Comments:

1. Page 1-2 – The letter discusses the reduction in stormwater runoff noting the use of the detention pond and bioretention area. These areas capture some of the runoff from the property, but leave other areas of the property free to runoff into existing streams and wetlands at an increased rate due to change in land cover. Please ensure that the proposed stormwater management practices will actually provide the required WQv and RRv for the entirety of the site, and if they do not, adjust plans accordingly.
2. Page 2 – The letter discusses the noise levels around the Wellness Trail not being affected by the project. This Wellness Trail is not shown or spoken of in the noise study. Please adjust the noise study to accurately show that the proposed activities will not be affecting the Wellness Trail.
3. Page 2-3 – The letter states that the panels will be 3' off the ground, but earlier in the letter says 12'. Please clarify height of panels throughout site and that wildlife will indeed be able to move throughout the site freely.

General Comments:

4. Page 2 – The letter states that the maximum height of the panels will be 12 feet. This information is not stated anywhere else. Please ensure this number is accurate, and if so, please present on plans.
5. Page 5 – States that the project will produce 1.87 MW AC of energy. The site plans say '1.90 MW'. Please ensure site plans match letter.

Board of Education Resolution Related to Proposed Yorktown Solar Farm

B&L has reviewed the Board of Education Resolution that includes the Evaluation of Proposal for the Solar Farm by Ed Vergano from Preferred Design and Construction, Inc. for the Putnam Valley Central School District. Overall, B&L is in agreeance with almost all of Mr. Vergano's findings and recommendations and the applicant is advised to read through this letter and comply with all of Mr. Veragano's requests. There are a few areas that B&L is not in agreeance with, and those are as follows:

1. This letter notes frequently the existing flooding conditions in the schools parking area. While this is unfortunate, as long as runoff to the existing lot is not being increased, this is not the

responsibility of the applicant. The applicants only responsibility is to match existing conditions, and if they can improve existing conditions that is preferable but not necessary. This is something that the applicant can agree to in order to move the project along faster but it is not necessary.

2. Page 3, Stormwater Runoff (SWPPP) – Mr. Vergano lists other issues for the designer to look at. Item 3 notes that the 50' buffer is an area that is intended to remain untouched. This statement is untrue. Unless some sort of agreement has been made between the school and the applicant, which can be argued for if that would keep the abutting properties happy, the 50' buffer is intended for structures only. As long as no solar panels are within this 50' buffer, the applicant is in compliance with the zoning laws.

Draft Mitigation Plan for Proposed Solar Project, Foothill Street, Yorktown New York

B&L has reviewed the Draft Mitigation Plan and agrees that this plan shows adequate mitigation measures to ensure the environmental health of the site and surrounding areas. B&L is interested in reviewing the final mitigation plan before acceptance. There is one comment:

1. The mitigation plan notes that the site does not require fire services. While it is unlikely, this site does include electrical equipment and it does not appear wise to state that the site will never need this service in absolute language.

Tree Inventory Report & Comparison to Previously Proposed Residential Subdivisions

B&L has reviewed the tree inventory report. B&L also reviewed the Comparison to Previously Proposed Residential Subdivisions letter that included the Greenhouse Gas Equivalencies Calculator. Additionally, B&L evaluated the site for the presence of core forests, as well as evaluated the site with a field walk for existing conditions.

A core forest is essentially a piece of a forest that is surrounded by more forest. Forest fragmentation is a significant problem today in the struggle to maintain biodiversity and shall be avoided at all costs. This property is not part of a core forest and therefore removing the forest in this area is not out of the question. The proposed alternative developments split the forest on property, and therefore promotes forest fragmentation to a greater extent than the solar development that will keep the development on one side of the property and decrease the impact to the length of the forest perimeter.
While the amount of tree removal is always to be minimized as much as possible, it is of B&L's opinion that when considering the alternative residential developments, the greenhouse gas equivalencies of the project long term, and the current state of forest, the forest removal for the solar farm is the best option.

Decommissioning Plan and Cost Estimate

A Decommissioning Plan has been created for this site by Normal E. Dupuis for the applicant. B&L has reviewed the plan and offers the following comments:

1. The decommissioning plan includes reseeding of the area with native species, but does not specify what. In the Resolution by Putnam Valley Central School District in Opposition to Project, page 2 states that "once the project is completed, almost all of the 15.90 acres disturbed to

construct the project will be returned to grass and meadow". The current site is composed of a lot of trees. If the detention basins are being filled in, and the site is being restored to grasses instead of forested area, the drainage conditions will be changed. The decommissioning plan must either replant trees in the amount and species of trees that are currently there, and/or maintain the existing stormwater mitigation measures to ensure runoff will not be changed.

Visual Analysis

A visual analysis has been conducted on this site via photo simulations. B&L has reviewed the visual analysis and agrees that there is sufficient screening of the solar farm, particularly after the 5 year mark. The visual analysis was also commented on by the Applicant in the Resolution by Putnam Valley Central School District in Opposition to Project on page 2. A formal write up specifically for the visual analysis is requested for final acceptance.

Glare Analysis

A glare study has not yet been completed for this site. It is recommended that a glare analysis be performed on the site in order to assess the potential effects of glare on motorists travelling near the location. The location should also be evaluated as to whether it is within proximity of an airport (< 5 miles) or on a flight path (< 18 miles) of an airport. The FAA solar guidance states that is the responsibility of local governments and solar developers in the vicinity of an airport to check with the airport sponsor and the FAA to ensure there are no potential safety or navigational problems with a proposed solar facility. The FAA should be notified and provided an opportunity to participate in review of the proposed activity and findings of the Glare Analysis. In order to provide a glare analysis, the applicant will need the following:

1. Locations and elevations of existing and proposed contours
2. Locations and elevations of existing and proposed trees and other landscaping
3. Locations and elevations of existing roads
4. Location of existing airports and flight paths

Noise Analysis

A noise study was conducted to assess the impacts of noise from the battery energy storage systems, the inverters and the transformer. The Town of Yorktown has a noise ordinance that prohibits the noise levels from exceeding 60 dBA outside of the wall of any non-participating residence or occupied community building. This study indicated that the 60 dBA contour for the operation activities lies within the property lines and therefore all activities are in compliance with the Town ordinance.

1. Please show the actual locations of all inverters and recalculate the decibels in relation to said locations. All inverters would not be placed where shown in Figure 1.
2. Please depict the Wellness Trail on the noise analysis and ensure that the proposed development will not affect the Wellness Trail.

Permitting Site Plans

In general, the submitted Plans and Documents should be reviewed against the following guidance documents and updated accordingly:

- NYSDAM Guidelines for Solar Energy Projects – Construction Mitigation for Agricultural Lands (Revised 10/18/2019)
- NYSDEC's Memorandum on Solar Panel Construction Stormwater Permitting/SWPPP Guidance (Dated 02/21/2020)

A review of the plans in accordance with the NYSDAM Guidelines, dated 10/18/2019, will be completed when construction plans are further along. At minimum, the following elements should be addressed in accordance with the requirements of the NYSDAM Guidelines.

3. Include the following general notes on the construction plans:
   a. The designated Environmental Monitor shall be on site whenever construction or restoration work is occurring on agricultural land and shall coordinate with the NYS Dept. of Ag & Markets, Division of Land and Water Resources, to develop a schedule for inspections and ensure compliance with the Department's Guidelines for Agricultural Mitigation for Solar Energy Projects, revised 4/19/2018.
   b. Topsoil sampling, stockpiling, spreading, seeding and site restoration is to be performed in accordance with the NYS Department of Agriculture & Markets Guidelines for Solar Energy Projects Construction Mitigation, revised 10/18/2019.
   c. The Contractor shall notify Dig Safely New York prior to construction.

4. Add an underground electrical conduit trench detail. Indicate that the conduit or direct bury wires will be buried per NYSDAM guidelines: *All buried utilities located within the generation facility's security fence must have a minimum depth of 18-inches of cover if buried in a conduit and a minimum depth of twenty-four inches of cover if directly buried (e.g. not routed in conduit*). See NYSDAM guidelines for utilities buried outside of the generation facility security fence.
5. Add a topsoil and vegetative restoration detail to the Plans. Indicate the proposed vegetative surface under the solar array panels.

The following elements should be addressed in accordance with the requirements of the NYSDEC Guidance, dated 02/21/2020:

6. Provide a detail and/or dimensions on the Plans depicting the panel spacing. The individual rows of panels should generally be spaced such that the vegetative area receiving runoff is equal to or greater in length than the disconnected surface (e.g., the width of the row of solar array).
7. Where feasible, solar panels constructed on slopes are to be installed along the contour so that runoff sheet flows downslope. Ensure sheet flow is maintained across the site (i.e., level spreaders to prevent channelized flow).
8. Site plans should include a scale and labelling of contours. Steep slopes (i.e., greater than 15% and 25%) should be identified on the plans, if applicable, and should be addressed with adequate protection (i.e., RECP or TRM).

Additional Environmental Specific Comments:

9. Where the slope exceeds 10% additional BMPs such as infiltration trenches or infiltration berms may be installed downgradient between each row. Refer to PA Stormwater BMP Manual, BMP 6.4.4: Infiltration Trench and BMP 6.4.10: Infiltration Berm and Retentive Grading for additional guidance.
10. Replace silt fence with compost filter sock.
11. Depict the location and extent of prime soils, prime soils if drained, soils of statewide importance, and indicate whether the parcel is receiving an agricultural valuation. Avoid installation of solar rays on the most valuable productive farmland (provided in order of importance of current use: active rotational farmland, permanent hayland, improved pasture, unimproved pasture, other support lands, fallow/inactive farmland), especially when containing prime farmland soils or soils of statewide importance.
12. One tree proposed for planting as a buffer (Eastern Red Cedar) is not the preferred species as it is susceptible to blight and is not deer resistant. It is recommended to explore alternatives that are more deer resistant species such as spruces or pines.

General Comments:

13. Static mounted solar panels shall not be placed on slopes steeper than 25%. It appears that there are at least 3 racks currently that should be removed from plans to maintain this.
14. There currently does not appear to be any information on the plans regarding existing utility connection/proposed electrical equipment sizing and capacity.
15. Plans are currently not showing locations of inverters.
16. Grading/SWPPP Plan (C003) states “Yorktown A Solar Farm 1.9 MW”. Please specify if this is AC or DC and if this number includes the panels to the left of the wetlands.
17. Please provide a table stating Type of panel, number of panels, wattage of panels, type of inverters, number of inverters, total number of wattage for DC and AC.
18. Please provide details/specs on type of panels, type of racks, type of inverters, and spacing between racks.
19. Add site distance at the access driveway.
20. Include a note on the Plans indicating maximum panel height (Yorktown zoning regulations state max height is 15 feet in residential zones and 20 feet in other zones).
21. Dimension access driveway length and turning radius. Verify sufficient access and turning movements for emergency vehicles.
22. Plans must be signed by a Professional Engineer or a Registered Architect.

Additional Information and Anticipated Permits/Coordination

In addition to the items noted in the comments above, B&L anticipates the following information and/or documents be submitted in support of the application:

23. PILOT Agreement, if applicable;
24. Confirm whether NYSERDA funding is being used for this project. For NYSERDA projects, the Applicant must submit the NOI to NYSERDA for referral to Ag & Markets. Provide determination of impact from NYSDAM, including acceptable mitigation options as appropriate.

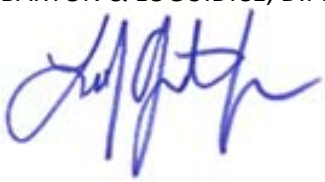
25. An Operations and Maintenance Manual must be submitted, including a map indicating the limits of maintenance for the site Operator/Owner. The Plan should indicate what the future land use plans are for remaining portions of the property situated outside of the fenced solar array and responsibility for the maintenance of the various portions of the site (i.e., mowing, trimming, etc.). The O&M Plan should address the post-construction monitoring requirements per the NYSDAM Guidelines, dated 10/18/2019.
26. Submit correspondence from SHPO indicating that they have conducted their review of the subject property and reached a conclusion of "No Effect".
27. Provide a letter from the Mohegan Volunteer fire department acknowledging receipt of the Plans and verifying approval of proposed access for fire and emergency vehicles.
28. Provide equipment specification sheets and photos for all significant components of the proposed solar facility, including the mounting/tracking systems.
29. Local and State Permits, as required, including for work performed within the highway or right-of-way. Please note that utility poles, signage, parking, etc. should be located on private property and not within the ROW.

B&L is ready to provide an additional round of review once the above requested information is addressed and subsequent materials are submitted. An itemized response to the comments provided herein would be most efficient.

If you have any questions, please do not hesitate to contact me.

Sincerely,

BARTON & LOGUIDICE, D.P.C.



Leigh G. Jones, PLA
Project Manager

NN/LGJ/jms

Barton & Loguidice

December 6, 2021

Mr. John Tegeder
Director of Planning
Town of Yorktown
Albert A. Capellini Community and Cultural Center
1974 Commerce Street
Yorktown Heights, New York 10598

Re: Response to Outside Consultant Environmental Review Comment Letter
Con Edison Clean Energy Business, Inc.
Yorktown A Solar Project
3849 Foothill Street
Yorktown, New York
Subj: Response to Bergmann Response to Comment Letter
File: 2478.001.001

Dear Mr. Tegeder and Members of the Planning Board:

Barton & Loguidice, D.P.C. (B&L), has completed our review of Bergmann's response to our initial Environmental Review for the above referenced community solar project. B&L has received the following revised/resubmitted documents in support of Bergmann's response letter:

- The Response to Outside Consultant Environmental Review Comment Letter, Dated November 23, 2021
- The Full Environmental Assessment Form, revised November 23, 2021
- The Operational Noise Levels from the Yorktown A Solar Project, dated June 25, 2021
- The Yorktown A Solar Farm Site Plans, revised November 22, 2021
- Wetland and Aquatic Resources Delineation Report, revised November 22, 2021
- Response to Comment Concerning Noise Levels on the Wellness Trail due to the Yorktown A Solar Farm in the Town of Yorktown, NY, dated November 24, 2021
- Equipment Specification Data, undated
- Letter from the New York State Historic Preservation Office (SHPO), dated May 21, 2018
- Slope Heat Map Exhibit, dated November 22, 2021
- The Determination of No Hazard to Air Navigation from the Federal Aviation Administration (FAA), dated September 11, 2017

B&L is pleased with the resubmission materials that Bergmann has submitted in response to our initial environmental review. B&L offers the following comments to their responses for clarification and finalization:

Pinewood Business Center, 247 Route 100, Suite 2000D, Somers, NY 10589 ▪ Office: 914-232-3646 ▪ BartonandLoguidice.com

Part 1 of the Long Form EAF

1. Item 10: In regards to section D.1.g.i., the total number of structures is listed as "0.07±". This is unclear. Total number of structures should refer to the total number of solar mounts (i.e. a whole number). If you would like to refer to the number of structures as an area, please provide units.

Glare Analysis

1. The applicant filed with the FAA and received a Determination of No Hazard to Air Navigation on 09/11/2017. Within this letter, it states that the determination expires on 03/11/2019 unless:
    a. The construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
    b. Extended, revised, or terminated by the issuing office.
    c. The construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

    Please confirm that any of these requirements have been met and therefore the determination is still valid, and/or file with the FAA again for an updated determination.

Permitting Site Plans

1. Item 17: The site plans have been adjusted to provide the sight distances, however both sight distances are noted as "Sight Distance to the Right:" Please clarify that the Sight distance of 431' should be denoted as "Sight Distance to the Left: 431'±"

Additional Information and Anticipated Permits/Coordination

1. Item 5: B&L has not received the letter from the Mohegan Volunteer Fire Department acknowledging receipt of the plans and verifying approval of proposed access for fire and emergency vehicles. Please ensure that has been completed and will be submitted along with final application.

B&L is satisfied with the revised and resubmitted documents that we have received and are in approval of this application once the above items have been addressed.

If you have any questions, please do not hesitate to contact me.

Sincerely,

BARTON & LOGUIDICE, D.P.C.

Leigh G. Jones, PLA
Project Manager

NN/LGJ

Yorktown Energy Storage

From: Morris Yann <myann@borregosolar.com>
Sent: Tuesday, December 28, 2021 3:41 PM
To: Robyn Steinberg <rsteinberg@yorktownny.org>; Gregory Gibbons <ggibbons@borregosolar.com>
Cc: Corina Solis <csolis@borregosolar.com>; Cam Atzl <catzl@snyderlaw.net>; Douglas Warden <DWarden@snyderlaw.net>; Robert Gaudioso <RGaudioso@snyderlaw.net>
Subject: **Special Use Permit Amendment - 3901 Gomer Court**

Hi Robyn,
Happy Holidays!

Please see the attached certificate of mailing for the abutting properties.
Thank you, Morris

RECEIVED
PLANNING DEPARTMENT

JAN 3 2022

TOWN OF YORKTOWN

UNITED STATES POSTAL SERVICE

Name and Address of Sender

Check type of mail or service

- ☐ Adult Signature Required
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- ☐ Priority Mail Express
- ☐ Registered Mail
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1.	HANSMANN, JACOB PO BOX 237 JEFFERSON VALLEY, NY 10535			Handling Charge - if Registered and over $50,000 in value				Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
2.	SILBER, HERBERT & LENORE 3787 GOMER ST YORKTOWN HGTS, NY 10598													
3.	HANSMANN, JACOB & KRISTINE 75 CONCORD DR MAHOPAC, NY 10541													
4.	GOMER PROP ASSOC 13 GILBERT LA PUTNAM VALLEY, NY 10579													
5.	ABBONDANZA, BRUNO & KERIANN 3721 GOMER ST YORKTOWN HGTS, NY 10598													
6	TRILEK, LLC SUNRISE CARPENTRY, INC. 3 OLD TOMAHAWK ST YORKTOWN HGTS, NY 10598													
7.	THE VAN MASTER INC 5 TAMARACK RD MAHOPAC, NY 10541													
8.	CORREIA ENTERPRISES 1135 WILLIAMS DRIVE SHRUB OAK, NY 10588													

Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)

PS Form 3877, January 2017 (Page 1 of 2) Complete in Ink Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.
PSN 7530-02-000-9098

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- ☐ Collect on Delivery (COD)
- ☐ Insured Mail
- ☐ Priority Mail
- ☐ Priority Mail Express
- ☐ Registered Mail
- ☐ Return Receipt for Merchandise
- ☐ Signature Confirmation
- ☐ Signature Confirmation Restricted Delivery

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	BHV PROPERTIES, LLC PO BOX 160 JEFFERSON VALLEY, NY 10535													
2.	TOWN OF YORKTOWN 363 UNDERHILL AVE YORKTOWN HGTS, NY 10598													
3	NYS DOT Main Office 50 Wolf Rd Albany, NY 12232													
4.	Gregory Garcia 3788 Gomer St Yorktown HGTs, NY 10598													
5.	Anthony & Donna Centone 200 Campbell Rd Yorktown Hgts, NY 10598													
6.	Eliecer A Sanchez 206 Campbell Rd Yorktown Hgts, NY 10598													
7.														
8.														

Handling Charge - if Registered and over $50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per *(Name of receiving employee)*

November 9, 2021

Planning Board
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

RE: Amendment - Special Use Permit
Tier 2 Battery Storage System
3901 Gomer Court
Yorktown, NY

Dear Members of the Planning Board:

Yorktown Energy Storage 1, LLC is requesting an amendment to the existing Special Use Permit for the Tier 2 Battery Storage Project at 3901 Gomer Court. The amendment request is due to technology upgrades afforded by the Fluence Gridstack battery storage system compared to the previous containerized design. Overall, the basics of the site and general functionality of the system are unchanged.

The benefits of the system are as follows:

- Improved safety and emergency operation systems due to smaller battery containers (24 cubes vs 5 large containers previously), each with self-contained HVAC and fire protection systems.
- Fluence Gridstack is UL9540a certified. UL9540A is the industry standard test method for evaluating thermal runaway fire propagation in battery energy storage systems.
- Reduced system fenced area (from 14,817 SF to 10,228 SF) and impervious area (from 3,660 SF to 3,465 SF)
- Reduced system height (from 13’ to 9.5’)

We are providing the following documentation for review (8 copies each):

- Revised Site Use Plan set dated 11/09/21 (24x36)
- Fluence Operations and Maintenance Manual
- Fluence Gridstack Dimension Specs
- FirePro Xtinguish Solid Aerosol Cut Sheet

Please feel free to contact me via phone or email at 315-378-9567 or ggibbons@borregosolar.com should you have any questions.

Best,

Greg Gibbons, PE
Project Engineer

SITE USE PLANS

3901 GOMER COURT, YORKTOWN, NY 10598

5000 KW RATED / 15000 KWH ENERGY STORAGE SYSTEM

GENERAL NOTES

1. AS CONTAINED HEREIN, "CONTRACTOR" IS ASSUMED TO BE THE EPC PROVIDER HIRED BY THE SYSTEM/PROJECT OWNER.
2. WHEN THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.
3. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING: LOCAL BUILDING CODE, LOCAL ELECTRICAL CODE, ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK AND THOSE CODES AND STANDARDS LISTED IN THESE DRAWINGS.
4. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING A CONSTRUCTION LEVEL DESIGN AND ASSOCIATED DRAWINGS AND DETAILS.
5. COORDINATE THESE DRAWINGS WITH SPECIFICATIONS AND MANUFACTURER INSTALLATION AND OPERATION MANUALS.
6. UNLESS OTHERWISE NOTED, THE DESIGN REPRESENTED ON THESE PLANS IS BASED ON THE INFORMATION AND CRITERIA LISTED IN THE "BASIS OF DESIGN" SECTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SUCH INFORMATION IN PREPARATION OF THE CONSTRUCTION DESIGN.
7. THE EXISTING CONDITIONS REPRESENTED ON THESE PLANS ARE BASED ON PUBLICLY AVAILABLE INFORMATION AND THE SITE DISCOVERY SUMMARIZED IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF SUCH INFORMATION AND SUPPLEMENT WITH ANY ADDITIONAL REQUIRED INFORMATION.
8. UNLESS INDICATED AS EXISTING (E), ALL PROPOSED MATERIALS AND EQUIPMENT SHALL BE CONSIDERED TO BE NEW.
9. ALL EQUIPMENT AND COMPONENTS SHALL BE MOUNTED IN COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS, CONSTRUCTION DETAILS, AND/OR PRUDENT INDUSTRY STANDARDS.

PROJECT SCOPE

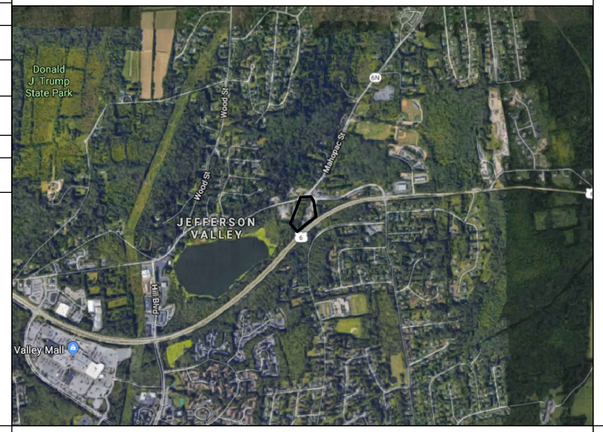
THIS PROJECT CONSISTS OF THE INSTALLATION OF ENERGY STORAGE EQUIPMENT, PER THE SYSTEM DESCRIPTION, BELOW. THE LITHIUM ION ENERGY STORAGE MODULES WILL BE INSTALLED IN PURPOSE BUILT CONTAINERS (CUBES) WITH INTEGRATED BATTERY MANAGMENT SYSTEM, HEATING, VENTILATION, AIR CONDITIONING UNIT(S), AND FIRE SUPPRESSION SYSTEMS. THE ENERGY STORAGE MODULES WILL BE WIRED IN SERIES AND CONNECTED TO THE POWER CONVERSION SYSTEM, WHICH WILL CONVERT DC TO AC WHILE THE BATTERIES ARE DISCHARGING.

ENERGY STORAGE SYSTEM DESCRIPTION

SYSTEM POWER CAPACITY	5000 KWAC
SYSTEM ENERGY CAPACITY	15000 KWH
POWER CONVERSION SYSTEM INFORMATION	(2) POWER ELECTRONICS FREEMAQ PCSK FP3350K LIMITED TO 2500KW
TRANSFORMER CAPACTIY	(2) 2500 KVA
AGGREGATE NAMEPLATE CAPACITY	5000 KW
MAXIMUM EXPORT TO UTILITY	5000 KW

LOCATION MAP

AERIAL VIEW



Sheet List Table

Sheet Number	Sheet Title
T-1	TITLE PAGE
CIVIL	
C-1.0	EXISTING CONDITIONS PLAN
C-2.0	LAYOUT AND MATERIALS PLAN
C-2.2	VISUAL ANALYSIS SITE PHOTOS
C-2.3	FEMA FLOODZONE COMPARISON
C-2.4	CONSERVATION EASEMENT
C-3.0	GRADING AND EROSION CONTROL PLAN
C-4.0	CIVIL DETAILS
C-5.0	DECOMMISSIONING PLAN
C-6.0	LANDSCAPE PLAN
ELECTRICAL	
E-3.3	AC THREE LINE DIAGRAM
E-6.0	PLACARDS
E-7.0	DATA SHEETS

APPLICABLE CODES AND STANDARDS

2017 NATIONAL ELECTRICAL CODE
2020 BUILDING CODE OF NEW YORK STATE
NFPA 855 – STANDARD FOR THE INSTALLATION OF STATIONARY ENERGY STORAGE SYSTEMS
UL-1741 – INVERTERS, COMBINER BOXES
UL-1642 – STANDARD FOR LITHIUM BATTERIES
UL-1973 – STANDARD FOR BATTERIES FOR USE IN LIGHT ELECTRIC RAIL (LER) APPLICATIONS AND STATIONARY APPLICATIONS
UL-9540 – STANDARD FOR ENERGY STORAGE SYSTEM AND EQUIPMENT

PROJECT DIRECTORY

LAND OWNER / HOST
GOMER PROPERTIES ASSOCIATES LTD.
ANN MARIE DRING
3901 GOMER COURT
YORKTOWN, NY 10598

AUTHORITY HAVING JURISDICTION
TOWN OF YORKTOWN
363 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NY 10598

UTILITY
CON EDISON

CIVIL ENGINEER
FIRM: GREENBERGFARROW
CONTACT: KERI WILLIAMS
PHONE: (781)-929-1651

ELECTRICAL ENGINEER
FIRM: BORREGO SOLAR SYSTEMS, INC.
CONTACT: AHARON WRIGHT
PHONE: (978)-221-3081

DESIGN ENGINEER
FIRM: BORREGO SOLAR SYSTEMS, INC.
CONTACT: CALEB LETOURNEAU
PHONE: (978)-735-1606

GENERAL ABBREVIATIONS

(E)	EXISTING
AHJ	AUTHORITY HAVING JURISDICTION
AL	ALUMINUM
APPROX	APPROXIMATE
ARY	ARRAY
BLDG	BUILDING
BSS	BORREGO SOLAR SYSTEM
CL	CENTERLINE
DAS	DATA ACQUISITION SYSTEM
DIA	DIAMETER
DO	DITTO
EW	EAST-WEST
FBO	FURNISHED BY OTHERS
FF	FORWARD FACING
GALV	GALVANIZED
HDG	HOT DIP GALVANIZED
HVAC	HEATING VENTILATION AND AIR CONDITIONING
ID	INSIDE DIAMETER
MFR	MANUFACTURER
MOD	SOLAR MODULE
NS	NORTH-SOUTH
NTS	NOT TO SCALE
OAE	OR APPROVED EQUAL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
PV	PHOTOVOLTAIC
PVC	POLY VINYL CHLORIDE
SCH	SCHEDULE
SS	STAINLESS STEEL
SSS	SOLAR SUPPORT STRUCTURE
STC	STANDARD TEST CONDITIONS
TBD	TO BE DETERMINED
TP	TAMPER PROOF
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WP	WEATHER PROOF

REV 1.0

BASIS OF DESIGN

BOUNDARY & TOPOGRAPHIC SURVEY:
LAWSON SURVEYING & MAPPING
JUNE 2020

WETLAND STREAM AND DELINEATION REPORT:
SHUMAKER CONSULTING ENGINEERING & LAND SURVEYING, D.P.C
MARCH 2019

GEOTECHNICAL REPORT:
GZA GEOENVIRONMENTAL OF NEW YORK
APRIL 2021

APPLICABLE BUILDING CODE:
2020 BUILDING CODE OF NEW YORK STATE

RISK CATEGORY: I

WIND CRITERIA:
EXPOSURE CATEGORY: C
WIND SPEED (V): 105 MPH
TOPOGRAPHIC FACTOR (K_{zt}): 1.0

SNOW CRITERIA:
GROUND SNOW (P_g): 30 PSF
MIN. FLAT ROOF SNOW (P_{f_min}): 0 PSF
EXPOSURE FACTOR: (C_e): 1.0

SEISMIC CRITERIA
SITE CLASS: D
S_S: 0.269
S_1: 0.060
S_{DS}: 0.284
S_{D1}: 0.096

BORREGO SOLAR
55 TECHNOLOGY DRIVE, SUITE 102
LOWELL, MA 01851
PHONE: (888) 898-6273
FAX: (888) 843-6778
WWW.BORREGOSOLAR.COM

GreenbergFarrow
21 SOUTH EVERGREEN AVENUE
SUITE 200
ARLINGTON HEIGHTS, IL 60005
t: 847 788 9200 f: 847 788 9537

NOT FOR CONSTRUCTION

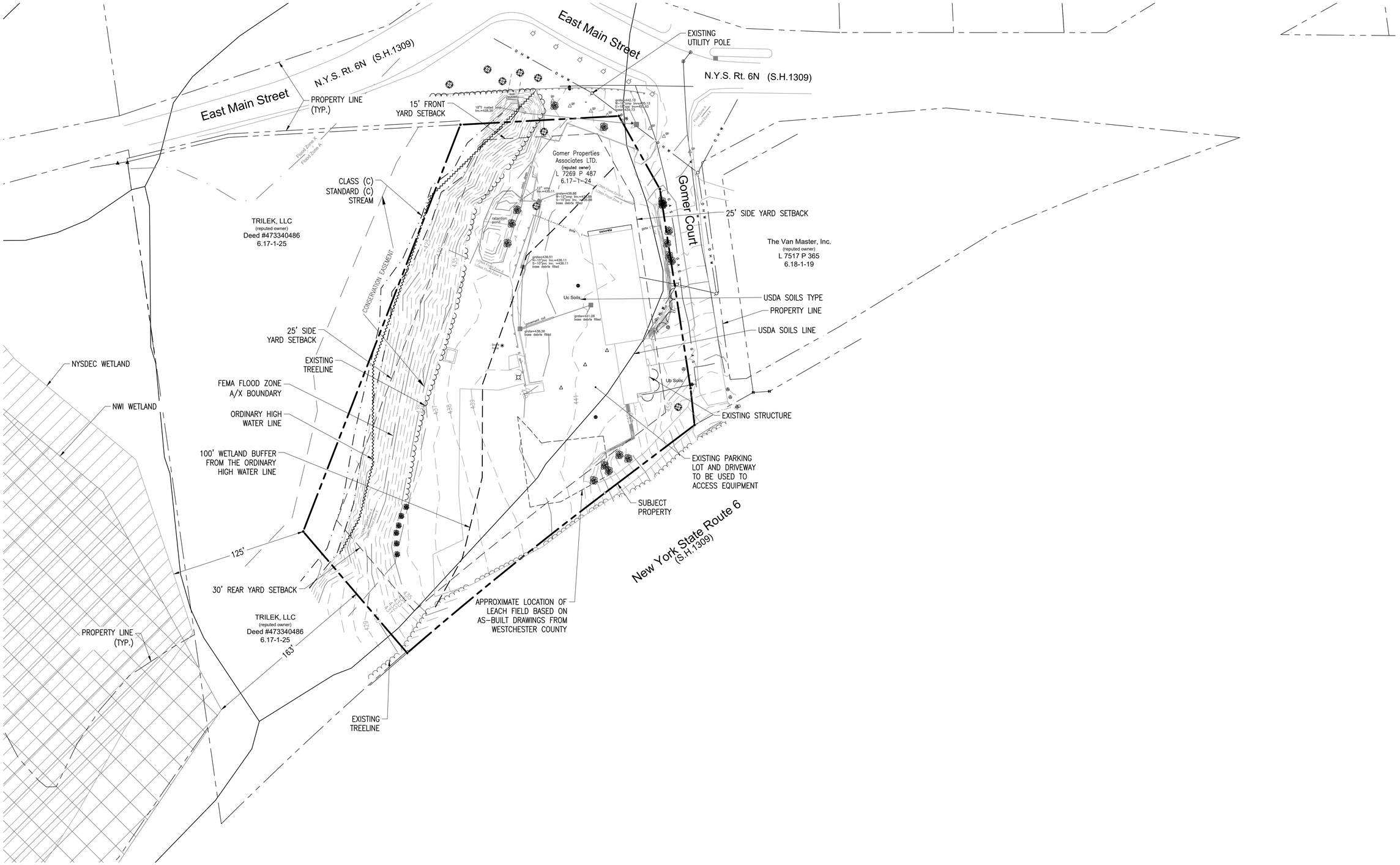
SITE USE PLANS
3901 GOMER COURT, YORKTOWN, NY 10598

PROJECT NUMBER:
908-1385

REV	DATE	DRAWN	CHECKED	RELEASE LEVEL
	09/18/20	TB	MS	SUP SUBMISSION
	10/13/20	TB	MS	SUP SUBMISSION
	11/12/20	TB	MS	SUP SUBMISSION
	12/07/20	TB	MS	SUP SUBMISSION
	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

T-1
TITLE PAGE



EXISTING CONDITIONS PLAN

SCALE: 1" = 40'

0 40' 80'

BORREGO SOLAR
55 TECHNOLOGY DRIVE, SUITE 102
LOWELL, MA 01851
PHONE: (888) 898-6273
FAX: (888) 843-6778
WWW.BORREGOSOLAR.COM

GreenbergFarrow
21 SOUTH EVERGREEN AVENUE
SUITE 200
ARLINGTON HEIGHTS, IL 60005
t: 847 788 9200 f: 847 788 9537

NOT FOR CONSTRUCTION

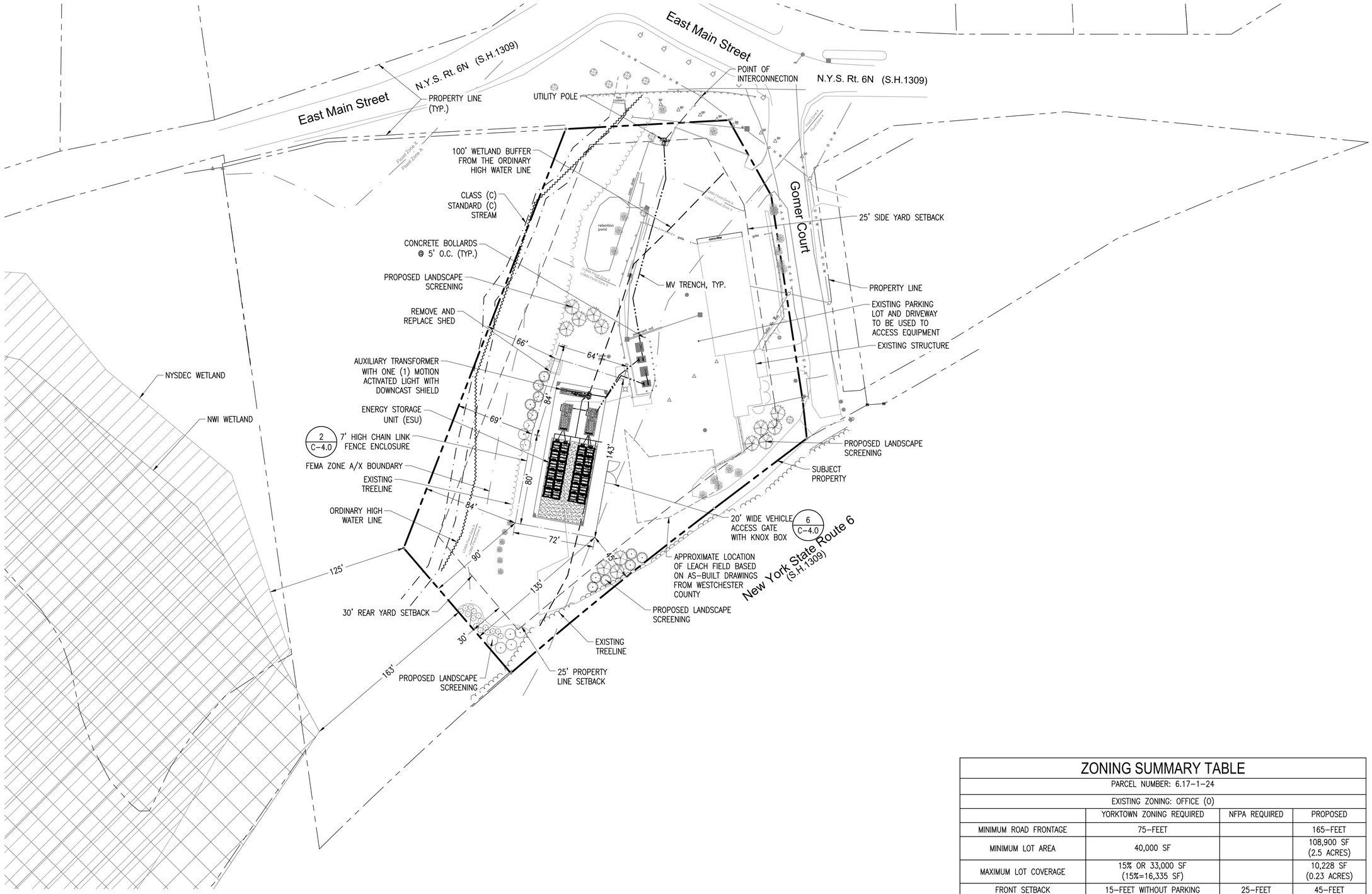
SITE USE PLANS
3901 GOMER COURT, YORKTOWN, NY 10598

PROJECT NUMBER:
908-1385

REV	DATE	DRAWN	CHECKED	RELEASE LEVEL
	09/18/20	TB	MS	SUP SUBMISSION
	10/13/20	TB	MS	SUP SUBMISSION
	11/12/20	TB	MS	SUP SUBMISSION
	12/07/20	TB	MS	SUP SUBMISSION
	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

C-1.0
EXISTING CONDITIONS PLAN



ZONING SUMMARY TABLE

PARCEL NUMBER: 6.17-1-24			
EXISTING ZONING: OFFICE (O)			
	YORKTOWN ZONING REQUIRED	NFPA REQUIRED	PROPOSED
MINIMUM ROAD FRONTAGE	75-FEET		165-FEET
MINIMUM LOT AREA	40,000 SF		108,900 SF (2.5 ACRES)
MAXIMUM LOT COVERAGE	15% OR 33,000 SF (15%=16,335 SF)		10,228 SF (0.23 ACRES)
FRONT SETBACK	15-FEET WITHOUT PARKING	25-FEET	45-FEET
SIDE SETBACK	NONE UNLESS USED AS ONE-WAY VEHICULAR ACCESS IT SHALL BE 17'	25-FEET	66-FEET
REAR SETBACK	30-FEET	25-FEET	90-FEET
SETBACK TO PERIMETER FENCING	NONE		45-FEET
MAXIMUM BUILDING HEIGHT	15-FEET		9.5-FEET
FENCE HEIGHT	7-FEET		7-FEET

LAYOUT AND MATERIALS PLAN

SCALE: 1" = 40'

0 40' 80'

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SUITE 200
ARLINGTON HEIGHTS, IL 60005
t: 847 788 9200 f: 847 788 9537

NOT FOR CONSTRUCTION

SITE USE PLANS
3901 GOMER COURT, YORKTOWN, NY 10598

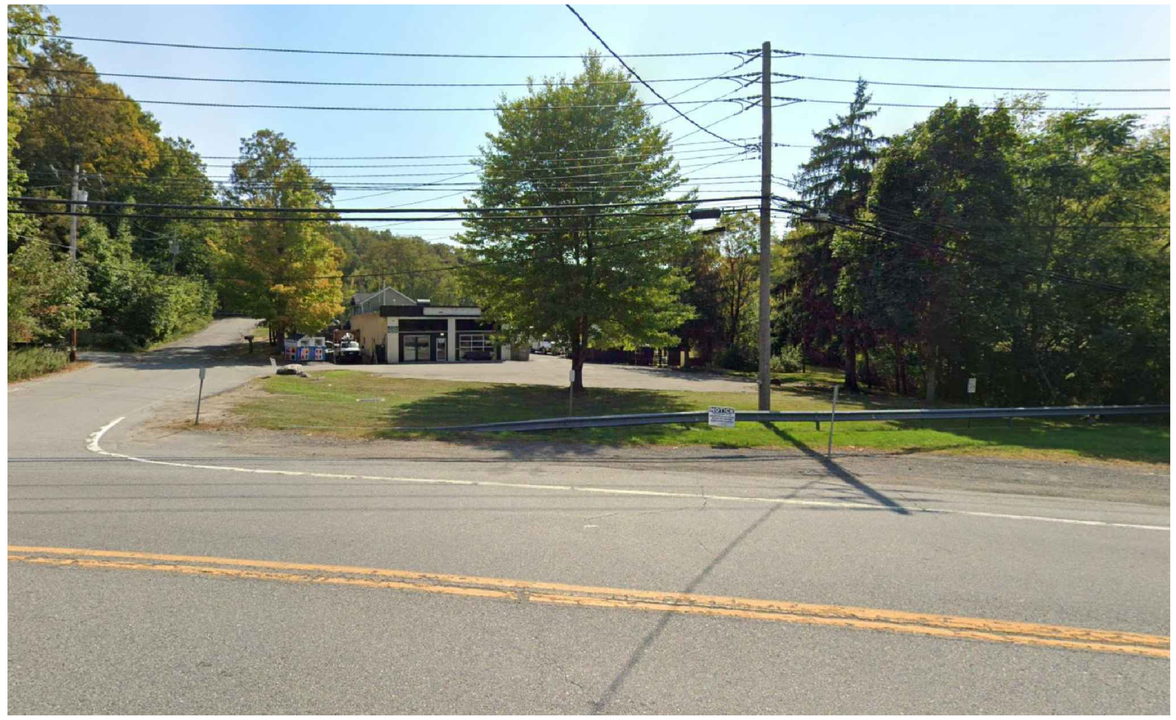
PROJECT NUMBER: 908-1385

REV	DATE	DRAWN	CHECKED	RELEASE LEVEL
	09/18/20	TB	MS	SUP SUBMISSION
	10/13/20	TB	MS	SUP SUBMISSION
	11/12/20	TB	MS	SUP SUBMISSION
	12/07/20	TB	MS	SUP SUBMISSION
	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

C-2.0
LAYOUT AND MATERIALS PLAN

VIEW 1 PHOTO



VIEW 2 PHOTO

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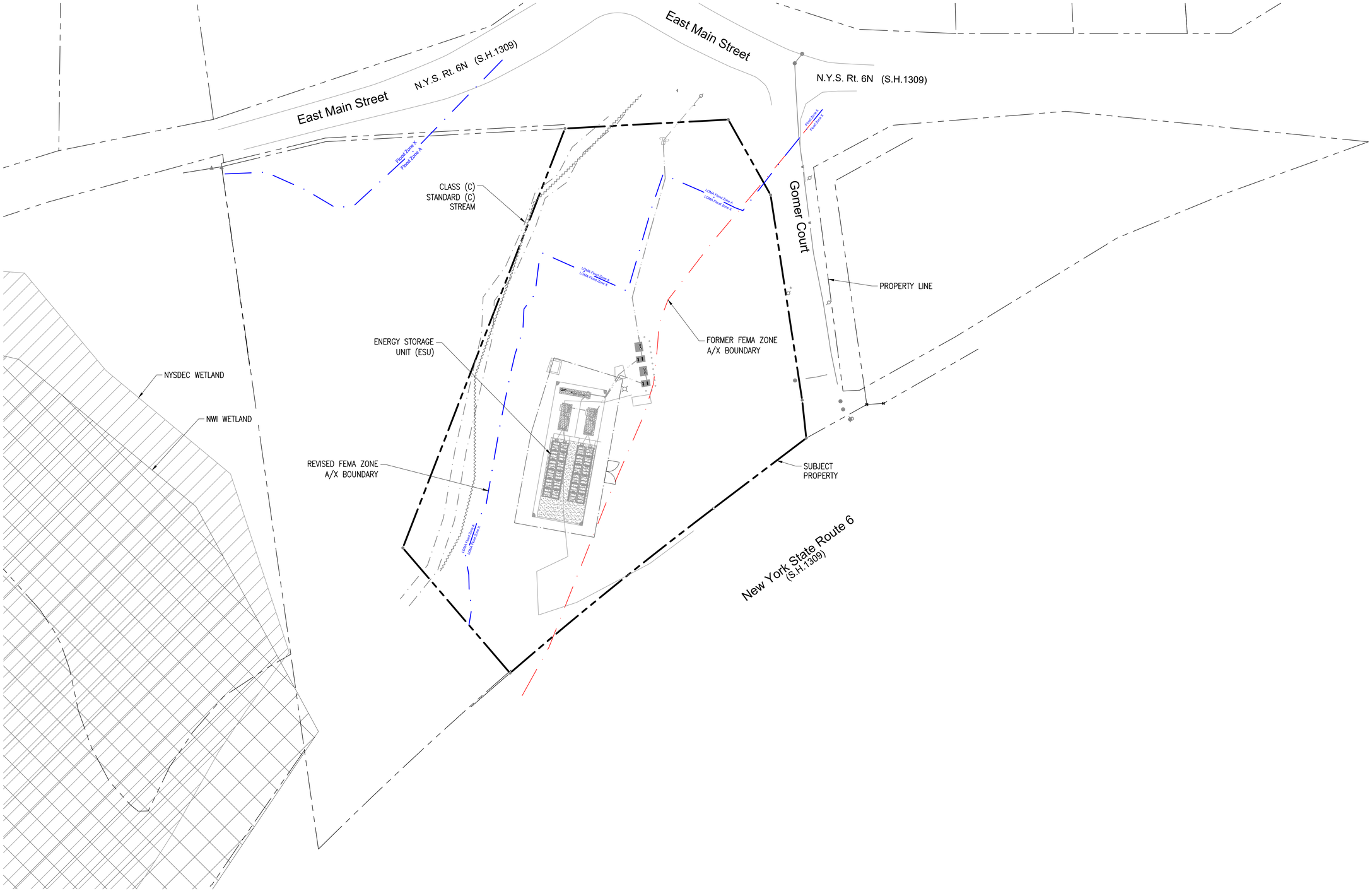
	12/07/20	TB	MS	SUP SUBMISSION
	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

C-2.2
VISUAL ANALYSIS SITE PHOTOS



FEMA FLOODZONE COMPARISON

SCALE: 1" = 40'

0 40' 80'

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	12/07/20	TB	MS	SUP SUBMISSION
	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

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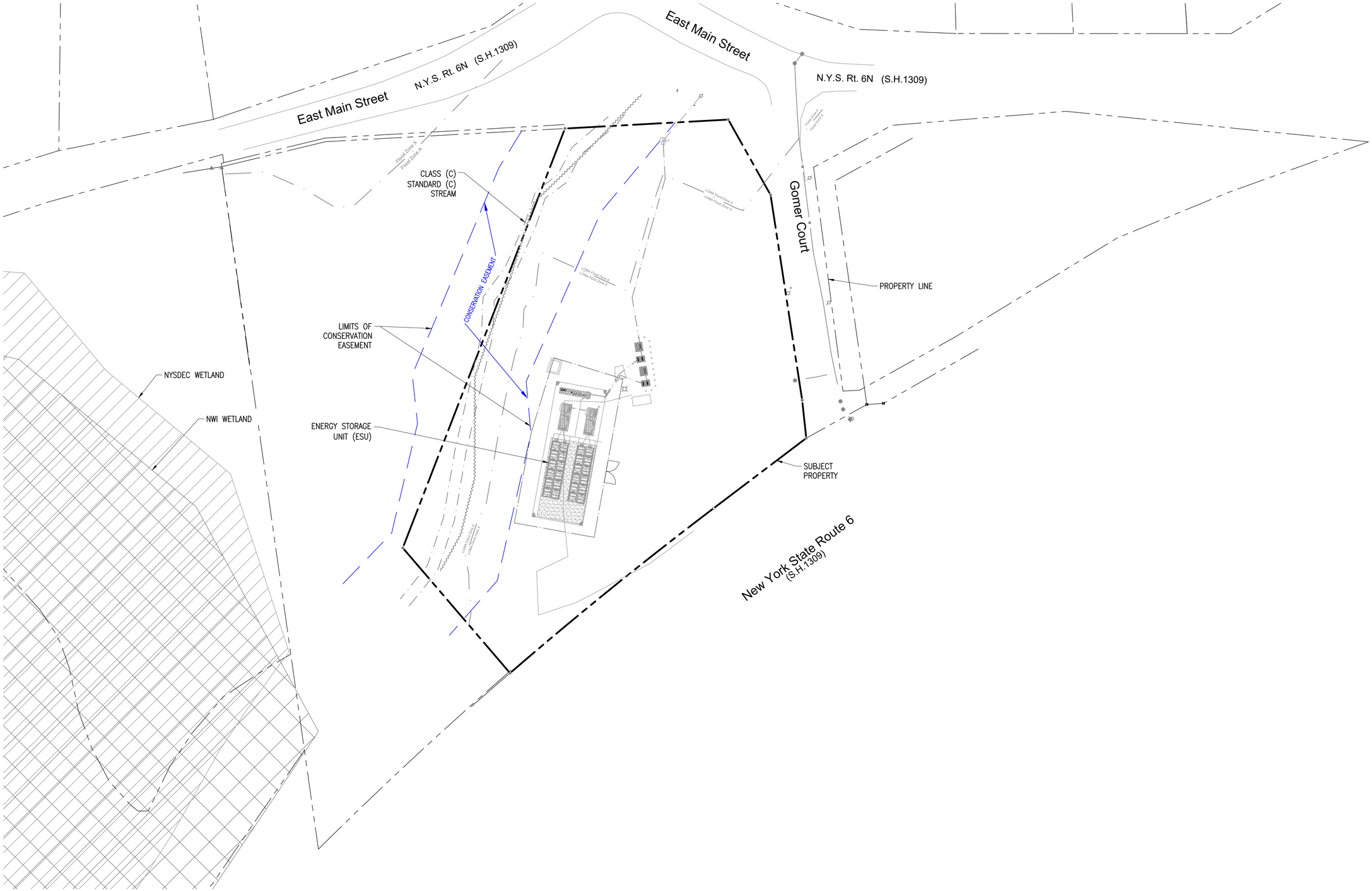
C-2.3
FEMA FLOODZONE COMPARISON



CONSERVATION EASEMENT

SCALE: 1" = 40'

0 40' 80'

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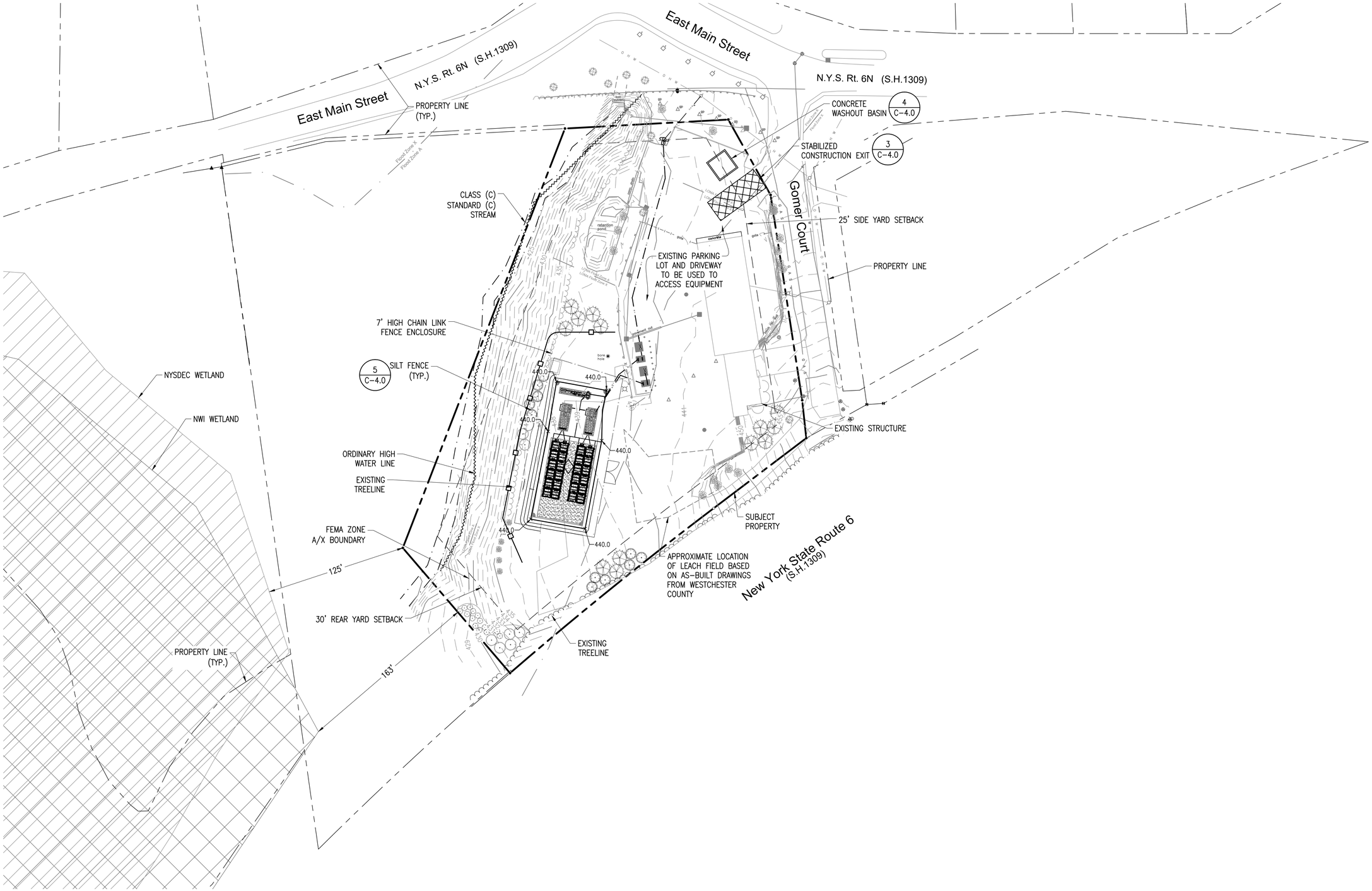
	12/07/20	TB	MS	SUP SUBMISSION
	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

C-2.4
CONSERVATION EASEMENT



GRADING AND EROSION CONTROL PLAN

SCALE: 1" = 40'

0 40' 80'

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3901 GOMER COURT, YORKTOWN, NY 10598

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	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

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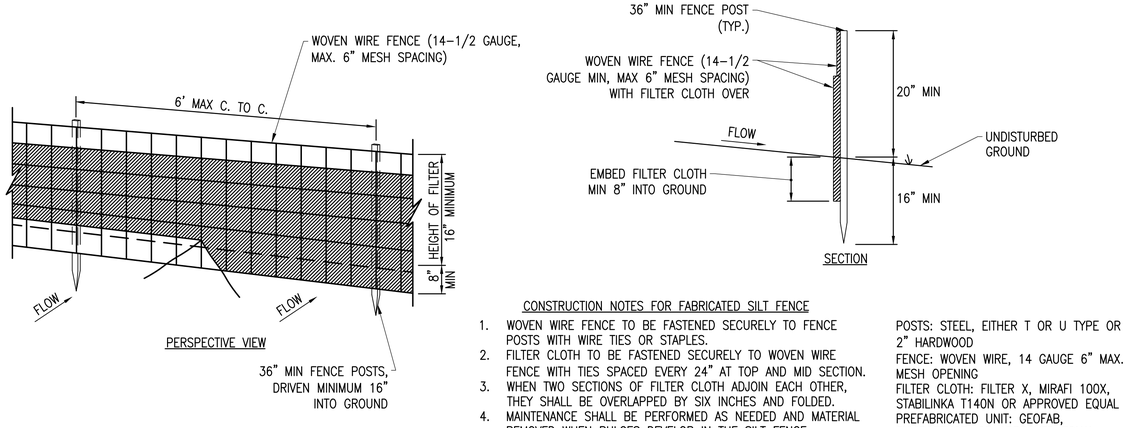
C-3.0
GRADING AND EROSION CONTROL PLAN



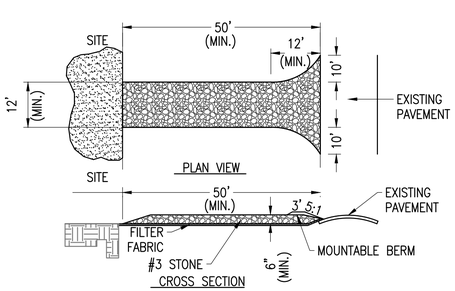
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.

POSTS: STEEL, EITHER T OR U TYPE OR 2" HARDWOOD
FENCE: WOVEN WIRE, 14 GAUGE 6" MAX. MESH OPENING
FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

5 SILT FENCE DETAIL

SCALE: NTS
XD_CIVIL_SILT-FENCE-DETAIL 03-07-2016

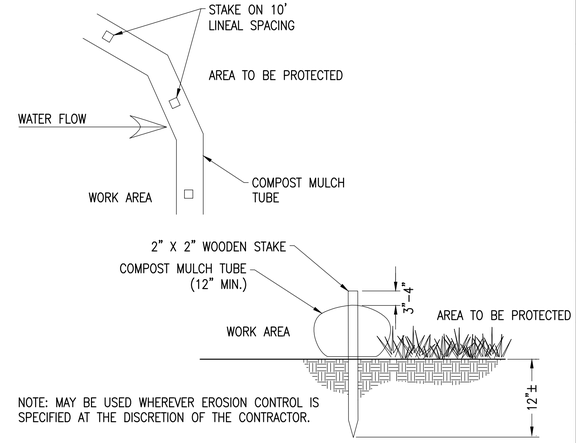


NOTES:

1. STONE SIZE – USE NYSDOT 703-0201 SIZE DESIGNATION #3 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH– NOT LESS THAN 50 FEET.
3. THICKNESS–NOT LESS THAN 6 INCHES.
4. WIDTH–NOT LESS THAN 12 FEET WHERE MORE THAN ONE (1) ACCESS POINT TO THE SITE. WHERE ONE (1) ACCESS POINT A MINIMUM OF 24 FEET IS REQUIRED.
5. GEOTEXTILE–SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER–SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5: 1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE–THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS–OF–WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS–OF–WAY SHALL BE REMOVED IMMEDIATELY.
8. WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

3 STABILIZED CONSTRUCTION EXIT

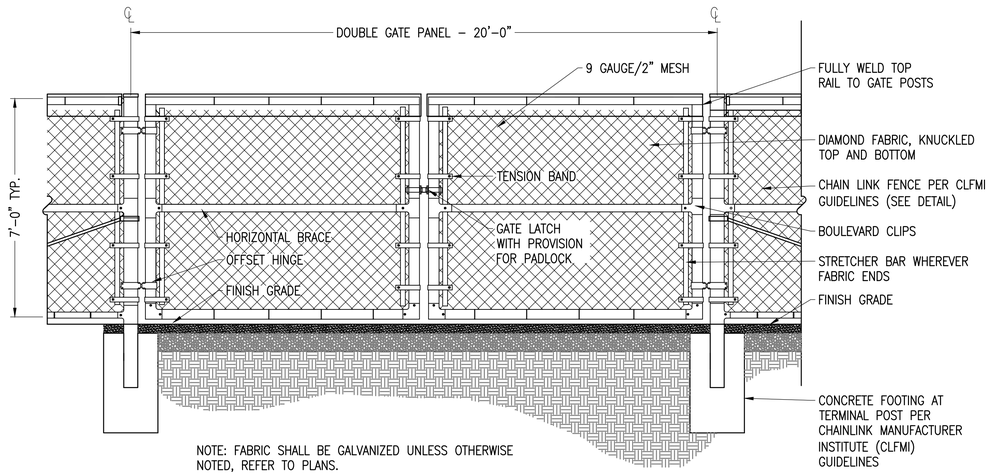
SCALE: NTS
XD_CIVIL_TEMPORARY CONSTRUCTION_STABILIZED CONSTRUCTION EXIT_NY 2019-04-02



NOTE: MAY BE USED WHEREVER EROSION CONTROL IS SPECIFIED AT THE DISCRETION OF THE CONTRACTOR.

1 MULCH TUBE

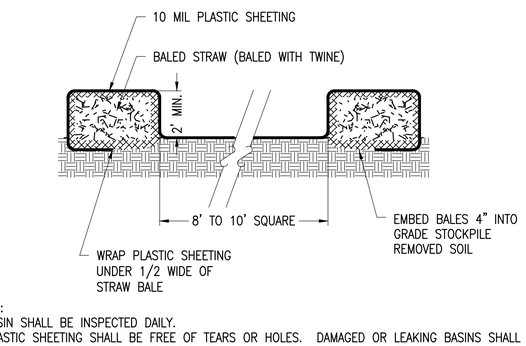
SCALE: NTS
XD_CIVIL_FILTREXX_FILTER_SOCK 03-29-2016



NOTE: FABRIC SHALL BE GALVANIZED UNLESS OTHERWISE NOTED, REFER TO PLANS.

6 VEHICLE GATE

SCALE: NTS
XD_CIVIL_FENCE_VEHICLE GATE_7' OR 8' 07-25-2017

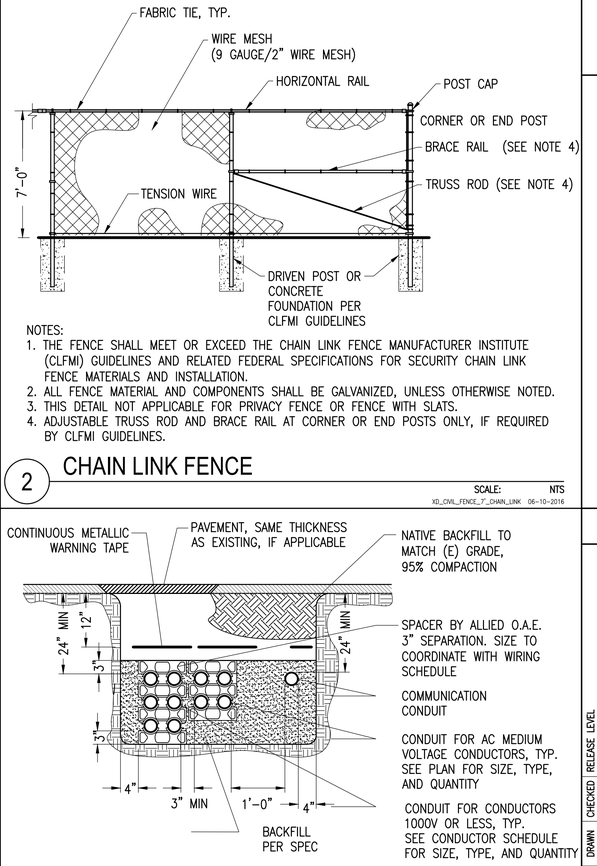


NOTES:

1. BASIN SHALL BE INSPECTED DAILY.
2 .PLASTIC SHEETING SHALL BE FREE OF TEARS OR HOLES. DAMAGED OR LEAKING BASINS SHALL BE REPLACED OR REPAIRED IMMEDIATLY.
3. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE BASIN IS FILLED. WASHWATER FROM WASHOUT BASIN SHALL EVAPORATE OR BE VACUUMED OUT. REMOVE REMAINING HARDENED SOLIDS. REPLACE PLASTIC SHEETING WITH EACH CLEANING. REPLACE STRAWBALES AS REQUIRED.
4. DISPOSE OF HARDENED MATERIAL OFF–SITE OR PER THE PROJECTS SWPPP.

4 CONCRETE WASHOUT BASINS

SCALE: NTS
XD_CIVIL_CONCRETE WASHOUT BASINS 07-26-2017

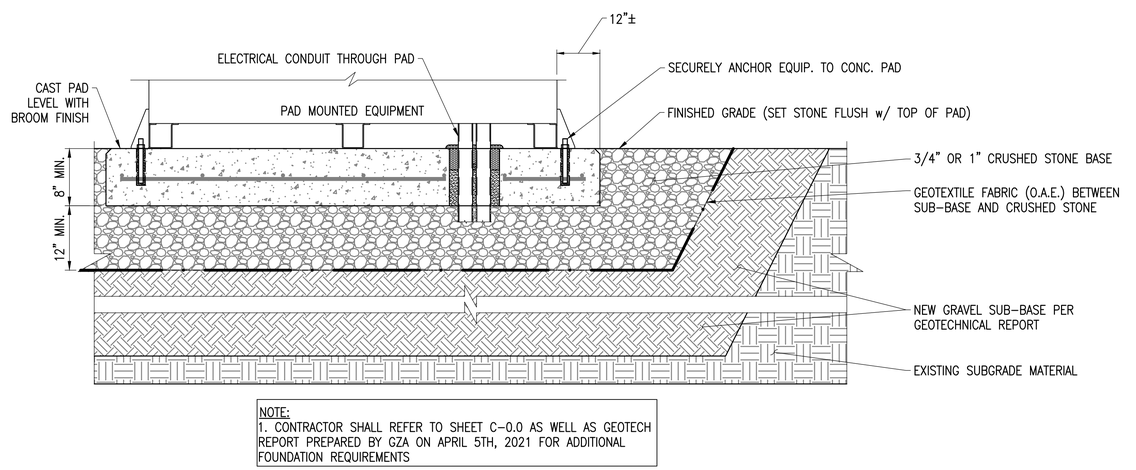


NOTES:

1. THE FENCE SHALL MEET OR EXCEED THE CHAIN LINK FENCE MANUFACTURER INSTITUTE (CLFMI) GUIDELINES AND RELATED FEDERAL SPECIFICATIONS FOR SECURITY CHAIN LINK FENCE MATERIALS AND INSTALLATION.
2. ALL FENCE MATERIAL AND COMPONENTS SHALL BE GALVANIZED, UNLESS OTHERWISE NOTED.
3. THIS DETAIL NOT APPLICABLE FOR PRIVACY FENCE OR FENCE WITH SLATS.
4. ADJUSTABLE TRUSS ROD AND BRACE RAIL AT CORNER OR END POSTS ONLY, IF REQUIRED BY CLFMI GUIDELINES.

2 CHAIN LINK FENCE

SCALE: NTS
XD_CIVIL_FENCE_7'_CHAIN_LINK 06-10-2016



NOTE:
1. CONTRACTOR SHALL REFER TO SHEET C–0.0 AS WELL AS GEOTECH REPORT PREPARED BY GZA ON APRIL 5TH, 2021 FOR ADDITIONAL FOUNDATION REQUIREMENTS

8 CONCRETE EQUIPMENT PAD - SECTION

SCALE: N.T.S.
XD_CIVIL_EQUIPMENT PAD 2018-08-06

NOTES:

1. MAINTAIN A MINIMUM DISTANCE OF 1' BETWEEN CONDUIT WITH COMMUNICATION WIRING AND ANY CONDUIT WITH ELECTRIC POWER CONDUCTORS. POWER AND DATA CONDUITS MAY CROSS AND THE 1' MIN. MAY BE REDUCED FOR TRENCH SECTIONS LESS THAN 10' OR NEAR EQUIPMENT STUB–UPS.
2. BACKFILL IN ACCORDANCE WITH ELECTRICAL SPECIFICATION SECTION 312000.

7 TYPICAL TRENCH

SCALE: NTS
XD_ELEC_TYPICAL_TRENCH 2016-10-17

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PROJECT NUMBER: 908-1385

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	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

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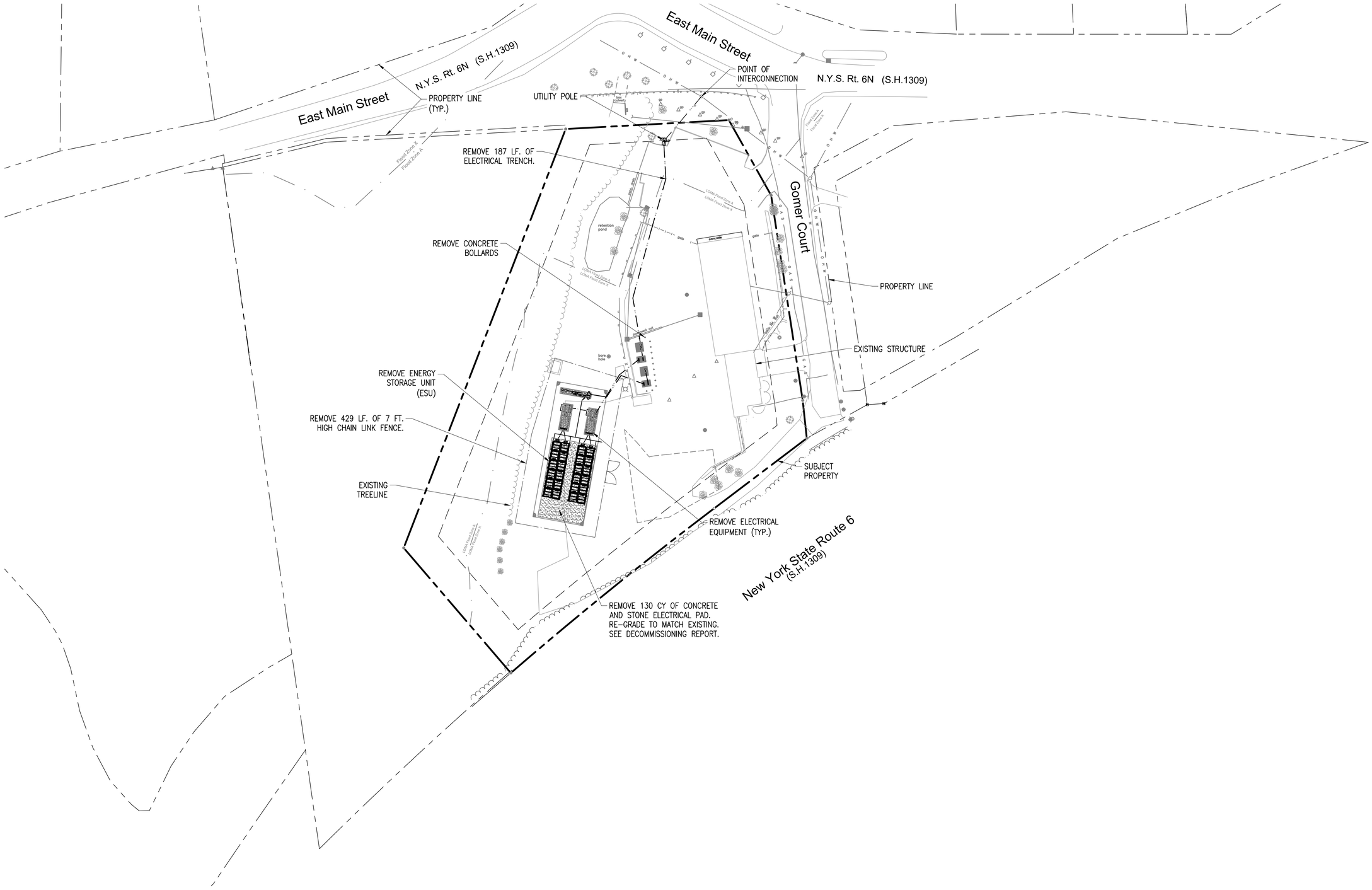
C-4.0
CIVIL DETAILS



DECOMMISSIONING PLAN

SCALE: 1" = 40'

0 40' 80'

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	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

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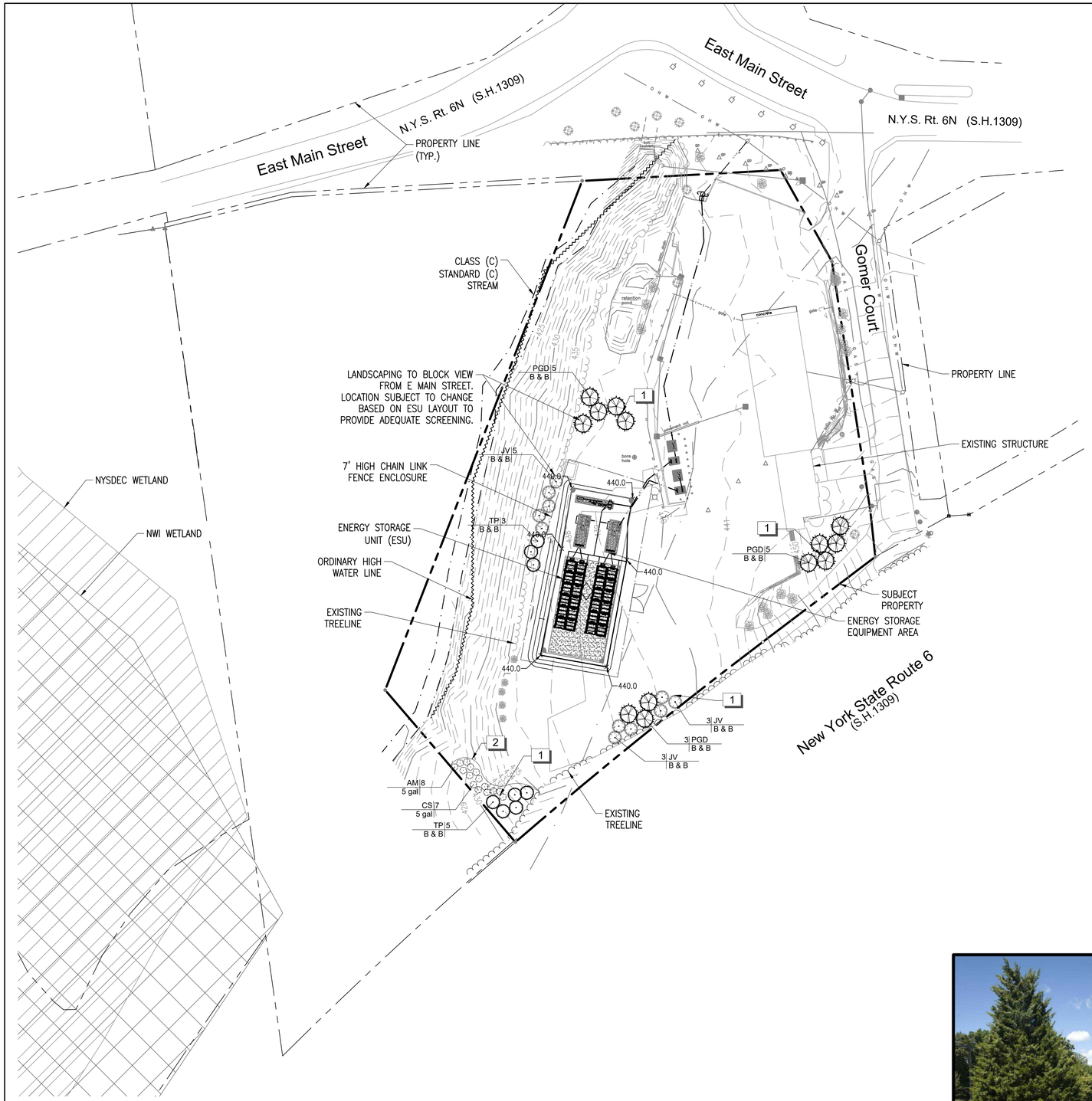
C-5.0
DECOMMISSIONING PLAN



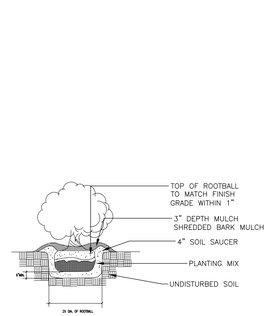
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
	JV	11	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B & B	8` HT. MIN.
	PGD	13	PICEA GLAUCA `DENSATA`	BLACK HILLS SPRUCE	B & B	8` HT. MIN.
	TP	8	THUJA PLICATA	WESTERN RED CEDAR	B & B	8` HT. MIN.

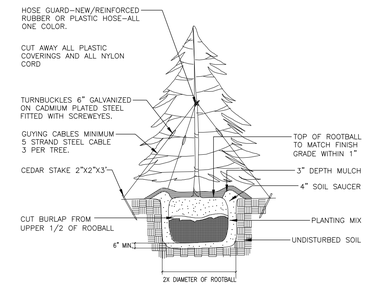
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
	AM	8	ARONIA MELANOCARPA ELATA	GLOSSY BLACK CHOKEBERRY	5 GAL		60" o.c.
	CS	7	CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL		60" o.c.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
1	CONTRACTOR TO INSTALL SHREDDED BARK MULCH BENEATH PLANTINGS TO A DEPTH OF 3"		
2	4" DEPTH SPADE CUT BEDLINE		



1 SHRUB PLANTING DETAIL
NOT TO SCALE 329333.16-01



2 EVERGREEN TREE PLANTING DETAIL
1" = 1" 329343.46-01


Picea glauca 'Densata'


Thuja plicata


Juniperus virginiana


Cornus sericea


Aronia melanocarpa elata

LANDSCAPE PLAN

SCALE: 1" = 40'

0 40' 80'

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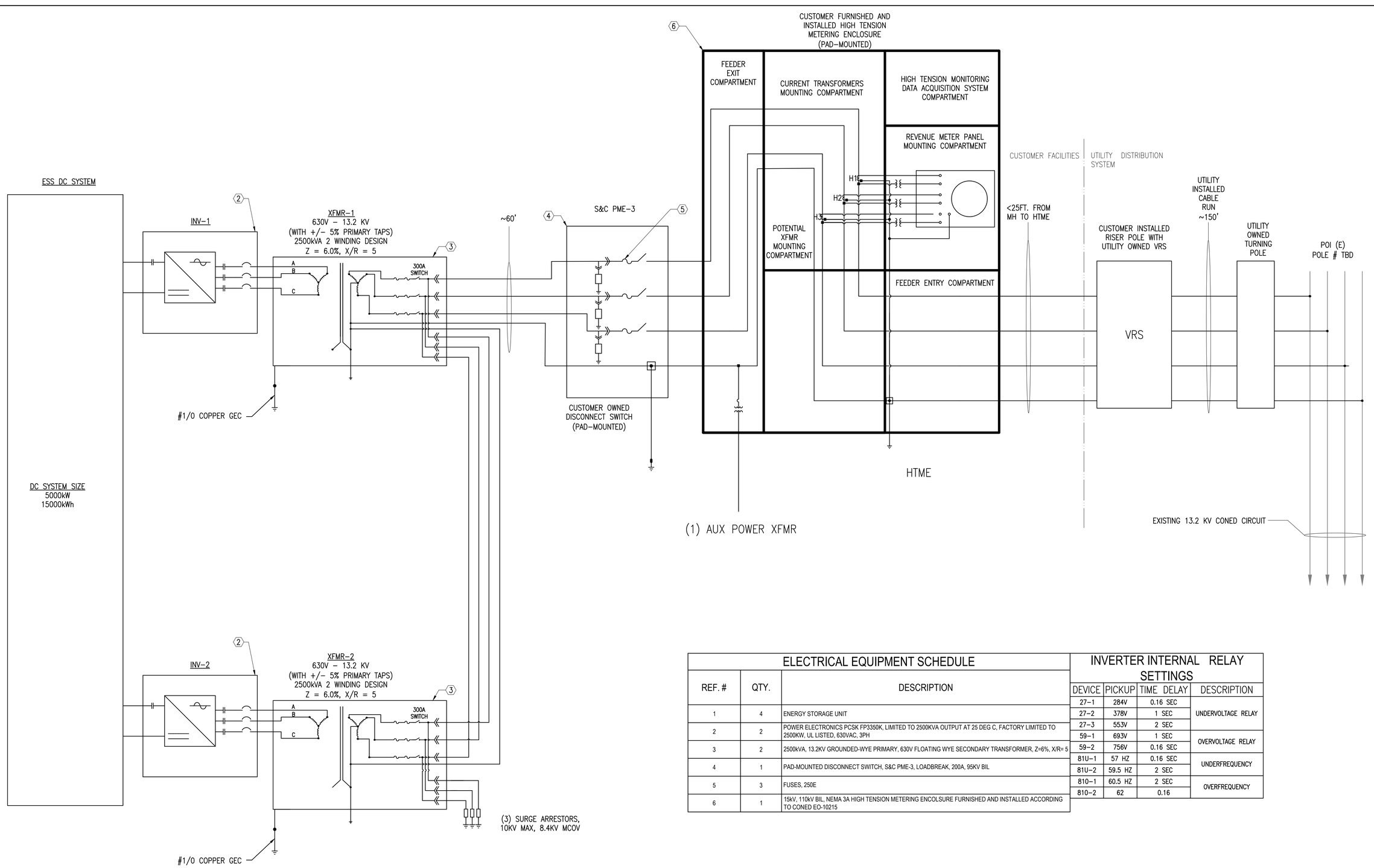
C-6.0
LANDSCAPE PLAN



ELECTRICAL EQUIPMENT SCHEDULE

REF. #	QTY.	DESCRIPTION
1	4	ENERGY STORAGE UNIT
2	2	POWER ELECTRONICS PCSK FP3350K, LIMITED TO 2500KVA OUTPUT AT 25 DEG C, FACTORY LIMITED TO 2500KW, UL LISTED, 630VAC, 3PH
3	2	2500kVA, 13.2KV GROUNDED-WYE PRIMARY, 630V FLOATING WYE SECONDARY TRANSFORMER, Z=6%, X/R= 5
4	1	PAD-MOUNTED DISCONNECT SWITCH, S&C PME-3, LOADBREAK, 200A, 95KV BIL
5	3	FUSES, 250E
6	1	15kV, 110kV BIL, NEMA 3A HIGH TENSION METERING ENCOLSURE FURNISHED AND INSTALLED ACCORDING TO CONED EO-10215

INVERTER INTERNAL RELAY SETTINGS

DEVICE	PICKUP	TIME DELAY	DESCRIPTION
27–1	284V	0.16 SEC	UNDERVOLTAGE RELAY
27–2	378V	1 SEC	
27–3	553V	2 SEC	
59–1	693V	1 SEC	OVERVOLTAGE RELAY
59–2	756V	0.16 SEC	
81U–1	57 HZ	0.16 SEC	UNDERFREQUENCY
81U–2	59.5 HZ	2 SEC	
81O–1	60.5 HZ	2 SEC	OVERFREQUENCY
81O–2	62	0.16	

AC THREE LINE DIAGRAM

SCALE: NTS

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ARLINGTON HEIGHTS, IL 60005
t: 847 788 9200 f: 847 788 9537

NOT FOR CONSTRUCTION

SITE USE PLANS
3901 GOMER COURT, YORKTOWN, NY 10598

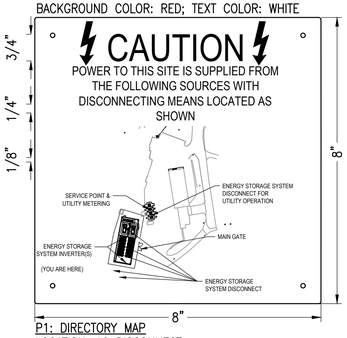
PROJECT NUMBER: 908–1385

REV	DATE	DRAWN	CHECKED	RELEASE LEVEL
	09/18/20	TB	MS	SUP SUBMISSION
	10/13/20	TB	MS	SUP SUBMISSION
	11/12/20	TB	MS	SUP SUBMISSION
	12/07/20	TB	MS	SUP SUBMISSION
	01/21/21	TB	MS	SUP SUBMISSION
	05/12/21	TB	MS	SUP SUBMISSION
	11/09/21	TB	GG	SUP SUBMISSION

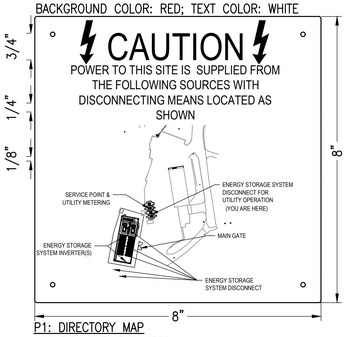
SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

E-3.3
AC THREE LINE DIAGRAM

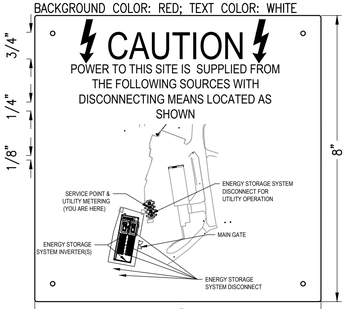
P1: DIRECTORY MAP
LOCATION: EQUIPMENT PAD
BACKGROUND COLOR: RED; TEXT COLOR: WHITE



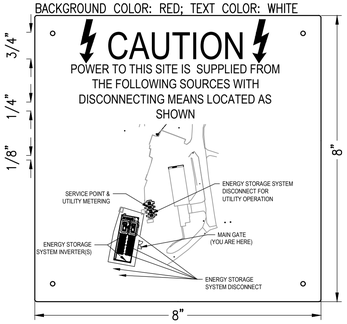
P1: DIRECTORY MAP
LOCATION: AC DISCONNECT
BACKGROUND COLOR: RED; TEXT COLOR: WHITE



P1: DIRECTORY MAP
LOCATION: UTILITY METER
BACKGROUND COLOR: RED; TEXT COLOR: WHITE

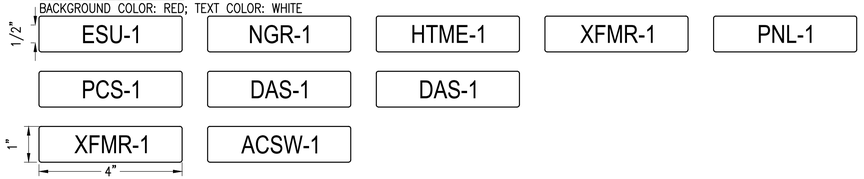


P1: DIRECTORY MAP
LOCATION: MAIN GATE
BACKGROUND COLOR: RED; TEXT COLOR: WHITE

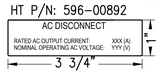


P2: BORREGO O&M CONTACT INFO
LOCATION: UTILITY ACSW, POI, INV-#, DAS
BACKGROUND COLOR: RED
TEXT COLOR: WHITE

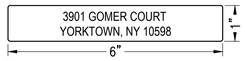
ARRAY AND EQUIPMENT ID
BACKGROUND COLOR: RED; TEXT COLOR: WHITE



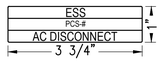
PAC1: UTILITY ESS DISCONNECTING MEANS
LOCATION: ACSW-X
NEC: 690.54
BACKGROUND COLOR: RED; TEXT COLOR: WHITE
HT P/N: 596-00892



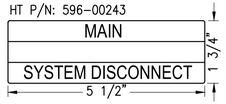
PAC2: SITE ADDRESS
LOCATION: UTILITY ACSW-X
BACKGROUND COLOR: RED
TEXT COLOR: WHITE



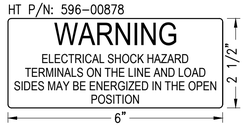
PAC3: AC EQUIPMENT DISCONNECTING MEANS
LOCATION: ACSW-X OR INV-# (IF INTEGRAL ACSW)
NEC: 690.13(B)
BACKGROUND COLOR: RED, WHITE
TEXT COLOR: WHITE
HT P/N: 596-00237



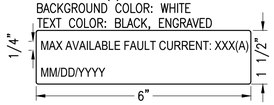
PAC4: PV SYSTEM DISCONNECTING MEANS
LOCATION: ACSW-X OR INV-# (IF CENTRAL INV.)
NEC: 690.13(B)
BACKGROUND COLOR: RED REFLECTIVE, WHITE
TEXT COLOR: WHITE
HT P/N: 596-00243



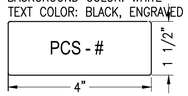
PAC5: AC DISCONNECT MEANS ENERGIZED
LOCATION: ACSW-X, PNL-X
NEC: 690.13(B)
BACKGROUND COLOR: ORANGE AND WHITE
TEXT COLOR: BLACK
HT P/N: 596-00878



PAC13: FAULT CURRENT
LOCATION: PNL-X, MAIN SERVICE
NEC: 110.24(A)
BACKGROUND COLOR: WHITE
TEXT COLOR: BLACK, ENGRAVED



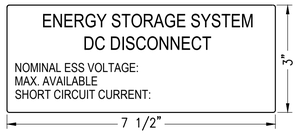
PAC14: SOURCE OF SUPPLY
LOCATION: AT EACH PCS BREAKER OF PNL AND SWBD, MAIN SERVICE
NEC: 408.4(B)
BACKGROUND COLOR: WHITE
TEXT COLOR: BLACK, ENGRAVED



PDC4: FUSE SERVICE WARNING
LOCATION: INV-X
BACKGROUND COLOR: ORANGE AND WHITE
TEXT COLOR: BLACK, ENGRAVED

P4: DANGEROUS VOLTAGE
LOCATION: ALL ACCESS POINTS TO THE SITE AND EVERY 250' AROUND THE PERIMETER (ON FENCES AS NECESSARY)
NEC: 110.27(C)
BACKGROUND COLOR: ORANGE; TEXT COLOR: BLACK

ESS1: ENERGY STORAGE SYSTEM DISCONNECTING MEANS
LOCATION: ESS SW-X
NEC: 706.7(D)
BACKGROUND COLOR: RED; TEXT COLOR: WHITE
HT P/N: 596-00987



SHEET NOTES

GENERAL PLACARD NOTES:
1. NOT ALL PLACARDS DESCRIBED IN THESE NOTES MAY APPLY TO THIS PROJECT.
2. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE ALL PLACARDS AS REQUIRED BY THE NEC, LOCAL FIRE DEPARTMENT, THE AUTHORITY HAVING JURISDICTION, AND LOCAL UTILITY REQUIREMENTS. PLACARDS IN ADDITION TO THOSE SHOWN HERE MAY BE REQUIRED BY THE NEC AND ARE THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR.
3. PLACARDS SHALL USE ARIAL OR SIMILAR FONT, NON-BOLD.
4. FONT SIZES SHALL BE THE MINIMUM SHOWN IN THESE DRAWINGS.
5. PLACARDS SHALL HAVE LETTERING IN CAPITAL LETTERS.
6. PLACARDS SHALL BE WEATHER RESISTANT AND SUITABLE FOR THE ENVIRONMENT AND COMPLY WITH ANSI Z535.4-2011.
7. PLACARDS SHALL BE ADHERED WHEN POSSIBLE AND MEET WITH UL969 STANDARDS. IF MECHANICALLY AFFIXED TO EQUIPMENT, USE RIVETS OR SCREWS. SEALANTS AND GASKETED HARDWARE SHALL BE USED TO MAINTAIN EQUIPMENT LISTINGS WHERE REQUIRED. NEMA 4R EQUIPMENT SHALL NOT BE DRILLED.
8. SUBMITTALS REQUIRED FOR PLACARDS AND FOR ADHESIVES USED TO SECURE PLACARDS TO EQUIPMENT.
9. PLACARDS WITH MOUNTING HOLES SHOULD BE 1/8" THICKNESS AND HOLES SHOULD BE 1/2" INSIDE FROM THE EDGE.

EQUIPMENT ID PLACARDS:
1. SUBCONTRACTOR SHALL LABEL ALL ARRAYS, PULL BOXES, JUNCTION BOXES, COMBINER BOXES, DC SAFETY SWITCHES, CIRCUIT BREAKER SAFETY SWITCHES, MULTIPLE DISCONNECT SAFETY SWITCHES, DC CONTACTOR DISCONNECTS, REMOTE PV TIES, BI-POLAR ARRAY COMBINERS, INVERTERS, AC SAFETY SWITCHES, TRANSFORMERS, PANELBOARDS, CIRCUIT BREAKERS, SWITCHGEAR, RECTIFIERS, DATA MONITORING ENCLOSURES, AND METERING CABINETS. A PARTIAL LIST OF PLACARDS IS SHOWN HERE.
2. EQUIPMENT ID PLACARDS – THE FIRST TYPE OF EACH REQUIRED EQUIPMENT ID PLACARD IS SHOWN HERE. ELECTRICAL SUBCONTRACTOR SHALL GENERATE PLACARDS FOR EACH PIECE OF EQUIPMENT AND NUMBER ALL EQUIPMENT PER THE NAMING AND NUMBERING CONVENTION DEFINED IN THESE PLANS.

V17

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E-6.0
PLACARDS

FREEMAQ PCSK
FREEMAQ MULTI PCSK
UTILITY SCALE BATTERY INVERTER

- POWER CONVERSION SYSTEM
- FIELD REPLACEABLE UNITS
- MODULAR DESIGN
- UP TO 3 INDEPENDENT BESS INPUTS
- ICOOL 3
- 4 QUADRANT
- 3 LEVEL TOPOLOGY
- NEMA 3R / IP55

PROVEN HARDWARE AND ROBUST OUTDOOR DESIGN FEATURED WITH THE LATEST CONTROL

The Freemaq PCSK is a modular solution from 1700 kW to 3800 kW with configurable DC and AC voltages making it compatible with all battery technology and manufacturers. Power Electronics is a proven partner in the solar and energy storage market. The PCSK has been designed to be the lowest LCOE solution in the market for storage applications.

The Power Electronics Freemaq PCSK offers proven hardware to meet storage and grid support challenges.The energy production industry is embracing renewable energy sources. However, high penetration creates power transmission instability challenges, thus Grid Operators require stringent dynamic and static grid support features for solar inverters and Power Conversion Systems (PCS).

The MULTI PCSK can support two or three independent battery systems and optimize the storage facility.

The converters can perform grid support functions such as: Peak Shaving, Ramp Rate Control, Frequency Regulation, Load Leveling and Voltage Regulation, controlled by a Power Plant Controller or SCADA. The converters stations are turn-key solutions ready for connection to the battery container and MV power distribution wiring. Units are designed for concrete pads or piers, open skids or integrated into full container solutions.

Making a brighter future possible

As a result of the increasing number of states that are adopting aggressive renewable and alternative energy portfolios, the solar energy market is growing—nearly doubling year over year. Eaton, a key innovator and supplier in this expanding market, is proud to offer Cooper Power™ series Envirotran™ transformers specifically designed for solar photovoltaic medium-voltage applications. Eaton is working with top solar photovoltaic developers, integrators and inverter manufacturers to evolve the industry and change the way we distribute power.

In accordance with this progressive stance, every Cooper Power series Envirotran solar transformer is filled with non-toxic, biodegradable Envirotemp™ FR3™ dielectric fluid made from renewable seed oils. On top of its biodegradability, Envirotemp FR3 fluid substantially extends the life of the transformer insulation, saving valuable resources. What better way to distribute green power than to use a green transformer? In fact, delaying conversion to Envirotran transformers places the burden of today's environmental issues onto tomorrow's generations.

Eaton can help you create a customized transformer based on site-specific characteristics including temperature profile, site altitude, solar profile and required system life.

Some of the benefits gained from this custom rating include:

- Reduction in core losses
- Improved payback on investment
- Reduction in footprint
- Improved fire safety
- Reduced environmental impact

Finally, when it comes time for decommissioning of your Envirotran solar transformer, virtually all materials, from the durable core and cabinet steel to the biodegradable Envirotemp FR3 fluid, can be easily and economically recycled or reclaimed.

Envirotran solar transformers, when evaluated on total ownership cost (TOC), can save you money on losses and maintenance. For example, the table below shows the savings you could experience by allowing Eaton to site-optimize the transformer design.

Rating	No load	Load	No load loss ❶	Load loss	Price	Total ownership cost
1000 kVA	1600 W	8280 W	$15,720	$3530 ❷	$32,000	$51,250
Optimized	1250 W	6690 W	$12,280	$5070 ❸	$27,000	$44,350
						14% savings

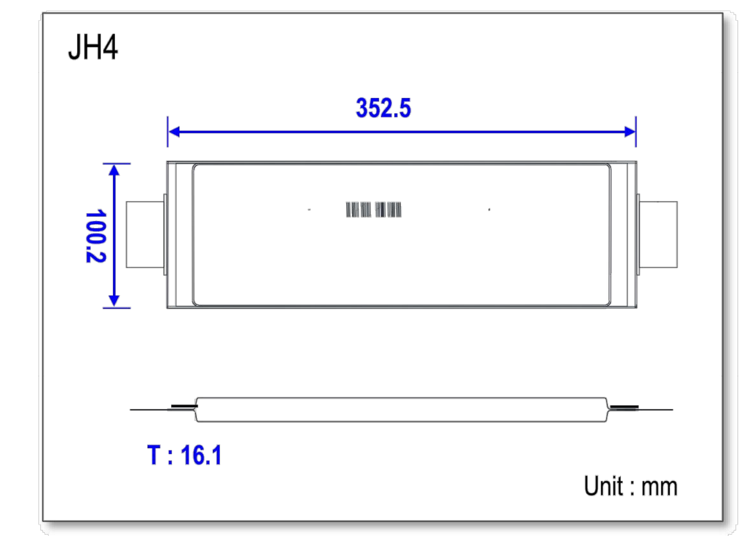
❶ Based on 20 years, 5% interest, 9c/kWh.
❷ 21% average loading.
❸ 28% average loading.
Note: Values above for illustrative purposes only. Actual values will depend on many factors not discussed here.

EATON
Powering Business Worldwide

JH4 Cell Information

Item		Unit	JH4
Nominal Capacity		Ah	72.5
Nominal Energy		Wh	266
Nominal Voltage		V	3.67
Energy Density		Wh/L	468
Specific Energy		Wh/kg	226
Voltage Range		V	3.0 ~ 4.2
Storage Temperature (for shipping state)		°C	-30 ~ 60
Weight		g	1,175
Volume		mL	569
Dimension (W/L/T)		mm	100.2 / 352.5 / 16.1
Chemistry		(+)	NMC
		(-)	Graphite

< Dimension >



LG Chem

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TECHNICAL CHARACTERISTICS
FREEMAQ MULTI PCSK 630V

		FRAME 1	FRAME 2	
NUMBER OF MODULES		4	6	
REFERENCES		FP2235K2	FP3350K2	FP3350K3
AC	AC Output Power (kVA/kW) @50°C [1]	2235	3350	
	AC Output Power (kVA/kW) @40°C [1]	2310	3465	
	Max. AC Output Current (A) @50°C	2047	3070	
	Max. AC Output Current (A) @40°C	2117	3175	
	Operating Grid Voltage (VAC)	630V ±10%		
	Operating Grid Frequency (Hz)	50/60 Hz		
	Current Harmonic Distortion (THDi)	< 3% per IEEE519		
	Power Factor (cosine phi)[2]	0.5 leading…0.5 lagging		
	Reactive power compensation	Four quadrant operation		
DC	DC Voltage Range (full power)	891V-1310V		
	Maximum DC voltage	1500V		
	DC Voltage Ripple	< 3%		
	Max. DC continuous current (A)	2646	3969	
	Max. DC shortcircuit current (A)	180kA / 5ms		
	Battery Technology	All type of batteries (BMS required)		
	Number of separate DC inputs	2	2	3
EFFICIENCY & AUX. SUPPLY	Efficiency (Max) (η)	98.79%	98.85%	
	Euroeta (η)	98.42%	98.59%	
	Max. Power Consumption (kVA)	8	10	
CABINET	Dimensions [WxDxH] (ft)	12 x 7 x 7		
	Dimensions [WxDxH] (m)	3.7 x 2.2 x 2.2		
	Weight (lbs)	12125	12677	
	Weight (kg)	5500	5750	
	Type of ventilation	Forced air cooling		
ENVIROMENT	Degree of protection	NEMA 3R / IP55		
	Permissible Ambient Temperature	-35°C to +60°C, >50°C / Active Power derating (>50°C)		
	Relative Humidity	4% to 100% non condensing		
	Max. Altitude (above sea level)	2000m / >2000m power derating (Max. 4000m)		
	Noise level [3]	< 79 dBA		
CONTROL INTERFACE	Communication protocol	Modbus TCP		
	Power Plant Controller	Optional. Third party SCADA systems supported		
	Keyed ON/OFF switch	Standard		
PROTECTIONS	Ground Fault Protection	Insulation monitoring device		
	Humidity control	Active Heating		
	General AC Protection & Disconn.	Circuit Breaker		
	General DC Protection & Disconn.	DC switch [4]		
	Overvoltage Protection	AC and DC protection (type 2)		
CERTIFICATIONS	Safety	UL1741, CSA 22.2 No.107.1-16, IEC62109-1, IEC62109-2		
	Utility interconnect [5]	UL 1741 SA - Feb. 2018, IEEE 1547.1-2005		

[1] Values at 1.00•Vac nom and cos Φ= 1. Consult Power Electronics for derating curves.
[2] Consult P-Q charts available: Q(kVAr)=√(S(kVA)²-P(kW)²).
[3] Readings taken 1 meter from the back of the unit.
[4] Battery short circuit disconnection has to be done on the battery side.
[5] Consult Power Electronics for other applicable standards / grid codes.

Why Envirotran solar transformer?

Environmentally desirable

Envirotran solar transformers are friendlier to the environment. While traditional liquid-filled transformers use mineral oil or synthetic oils, Envirotran transformers use the revolutionary, vegetable oil–based, dielectric coolant—Envirotemp FR3 fluid. Envirotemp FR3 fluid is made from soybeans, making it both non-toxic and non-hazardous. Moreover, because Envirotemp FR3 dielectric fluid is petroleum independent, it doubles as a valuable renewable resource with a carbon-neutral footprint.

Quality matters

Choosing Eaton's Cooper Power series reliable and durable Envirotran solar transformer allows you substantial cost savings, delayed capital expenditures and maximized power handling performance. It all starts with the superior performance of Envirotemp FR3 fluid, preserving and protecting the paper insulation found in each coil. This extended insulation life coupled with the non-hazardous properties of Envirotemp FR3 fluid makes the Envirotran solar transformer design an industry leader in quality and reliability.

High fire point

Envirotemp FR3 fluid, which has a fire point above 300 °C, highly reduces the likelihood of a fire within the transformer. In more than 30 years of field experience, no Cooper Power series less-flammable fluid-filled transformer has resulted in a pool fire. Mineral oil, while exhibiting reliable dielectric properties, typically does not provide an adequate margin of fire safety during transformer failure. With a fire point at nearly double (300 °C compared to 155 °C) of mineral oil, switching to Eaton's Cooper Power series Envirotran solar transformer filled with Envirotemp FR3 fluid will greatly minimize the long-term risk associated with catastrophic transformer failures.

Product scope

Description	Specification
Type	Three-phase, 50 or 60 Hz, 65 °C rise (55 °C, 55 °C/65 °C), 75 °C, 65/75 °C
Fluid type	Envirotemp FR3 fluid
Size	45–12,000 kVA
Primary voltage	2400–46,000 V
Secondary voltage	208Y/120 V to 14,400 V
Coil configuration	2-winding or 4-winding or 3-winding (low-high-low), 3-winding (low-low-high)
Specialty designs	Inverter/rectifier bridge
	K-Factor (up to K-19)
	Vacuum fault interrupter (VFI)
	UL listed, labeled and classified
	Factory mutual (FM) approved
	Solar/wind designs
	Differential protection
	Seismic applications (including OSHPD)

For Eaton's Cooper Power series product information, visit
Eaton.com/cooperpowerseries

EATON
Powering Business Worldwide

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1000 Eaton Boulevard
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Eaton.com

Eaton's Power Systems Division
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Waukesha, WI 53188
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Eaton.com/cooperpowerseries

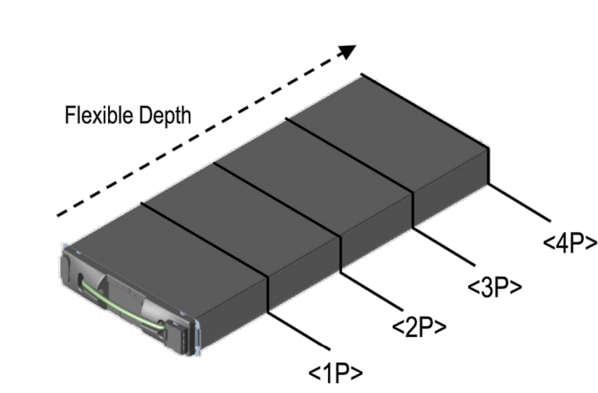
Publication No. PA202009EN / Z19894
Supersedes B210-10040
September 2017

Follow us on social media to get the latest product and support information.

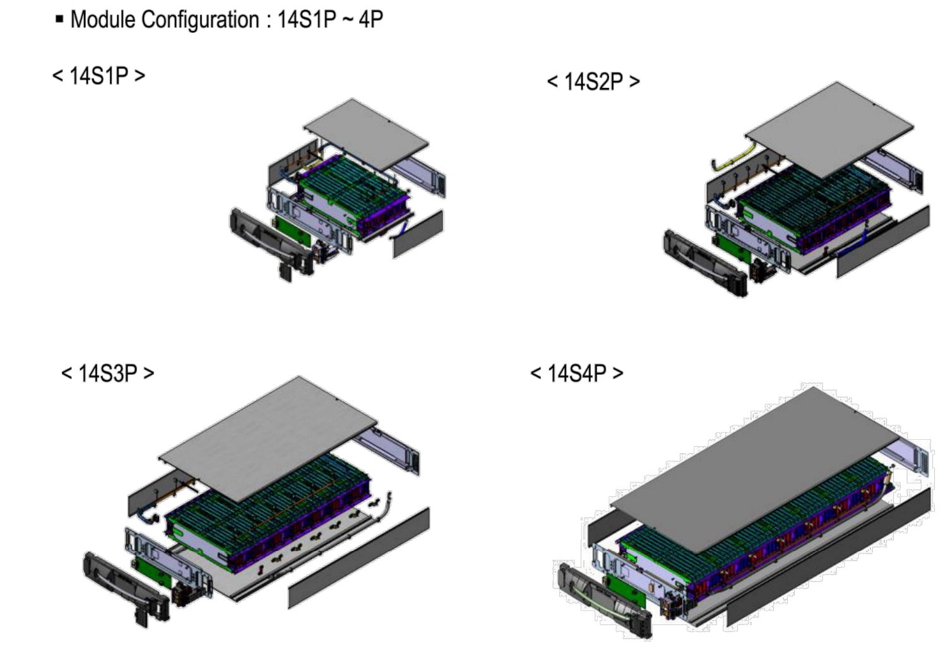
JH4 – Module Specification

TBD

Module Structure



• Module Configuration : 14S1P ~ 4P



Module Configuration

Specification				
Cell type	JH4			
Configuration	14S1P	14S2P	14S3P	14S4P
Voltage Range (V)	42 ~ 58.8 (nominal : 51.8)			
Capacity (Ah)	72.5	145	217.5	290
Energy (kWh)	3.7	7.4	11.1	14.8
Max Constant Power	Cell : Max 0.5CP Module : TBD			
Dimension (mm, W x H x D)	445 110 x 338.8	445 x 110 x 586.6	445 x 110 x 846.4	445 x 110 x 1100
Weight (kg)	25	43.5	68	85

※ All product specifications are tentative and subject to change

LG Chem

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SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

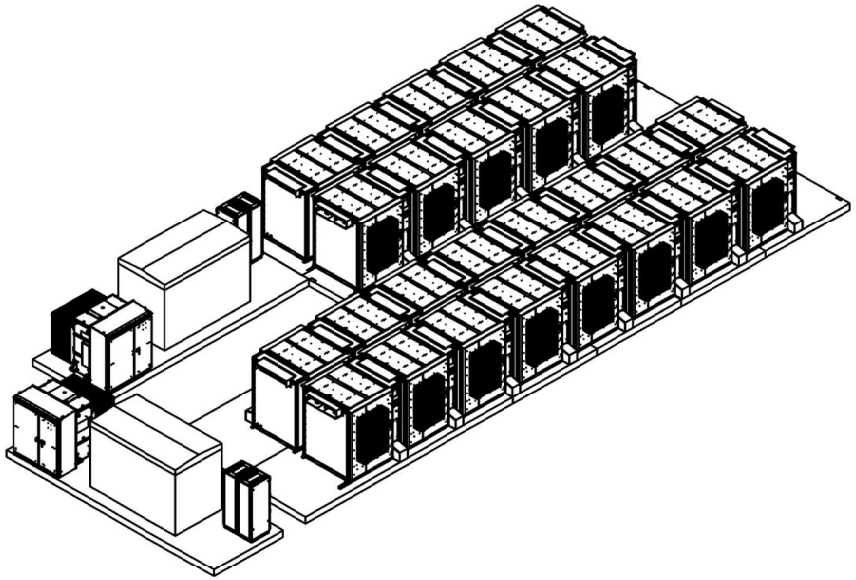
E-7.0
DATA SHEETS

FLUENCE ENERGY LLC - BORREGO SOLAR PROGRAM

PHASE I- NEXT GEN - GRIDSTACK

BATTERY ENERGY STORAGE SYSTEM

MECHANICAL, LAYOUT AND CONSTRUCTION SPECIFICATIONS



ZONE	REV	DESCRIPTION	DATE	DRW BY	APV BY
	1	1ST RELEASE	12/18/2019	SC	

REVISIONS

FLUENCE
A Siemens and AES Company

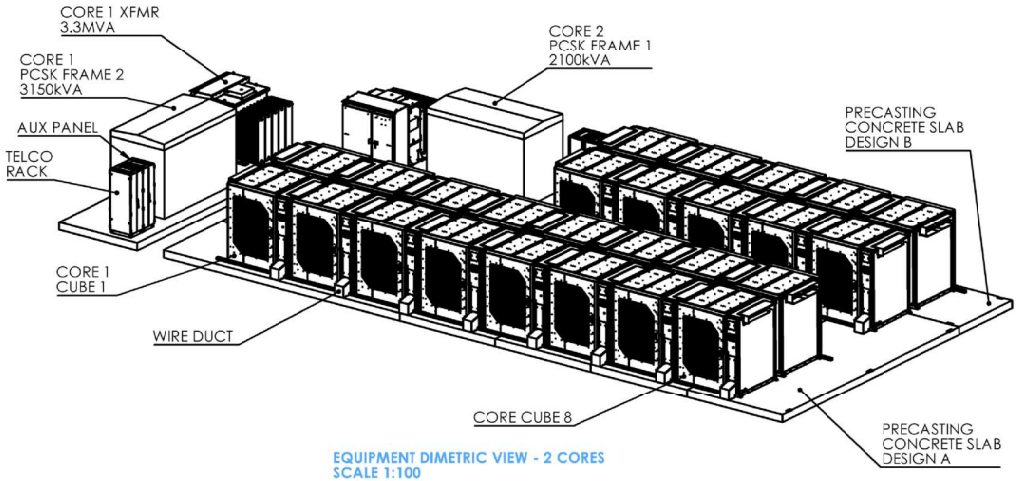
STATUS	PROPOSAL
PROJECT	BORREGO 5MW 3MWh
FINISH	
WEIGHT	kg
MATERIAL	
DRAWN BY	SC
DATE	12/18/2019
DRAWING NO	BORREGO 5MW 3MWh
REV	1
TOLERANCE	
CHECK BY	
DATE	
UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN MILIMETERS	
APV BY	
DATE	
SHEET	1 OF 5
SCALE	1:200
SIZE	A2

FLUENCE ENERGY LLC - GRIDSTACK

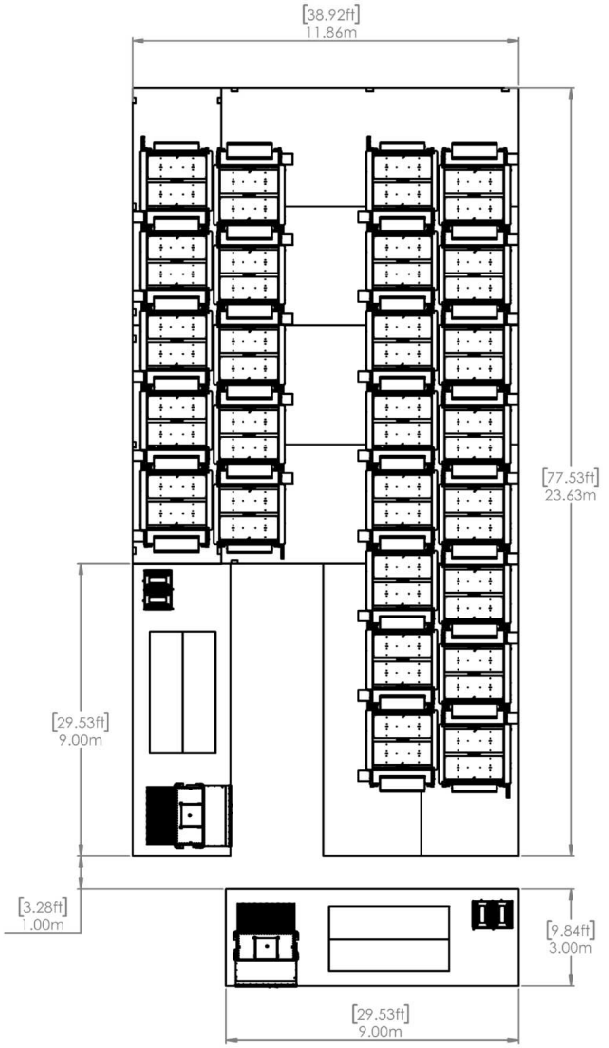
LAYOUT & BOM

ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	Core Foundation R0 08072019	12'x30'x10"	4
2	Cube Rows From Assembly Light version R1	8 Cubes Row	2
3	Cube Rows From Assembly Light version R1	5 Cubes Row	2
4	Core Foundation R0 08072019	8'x25'x10"	2
5	Core Foundation R0 08072019	PCSKM FRAME 1 & 2 MV SKID	2
6	MV Transformer + Load Center R0 09092019	PCSK FRAME 1& 2 MV SKID	2
7	SOIL		1

TABLE 1 - BILL OF MATERIALS



EQUIPMENT DIMETRIC VIEW - 2 CORES
SCALE 1:100



TOP VIEW - 2 CORES
SCALE 1:100

ZONE	REV	DESCRIPTION	DATE	DRW BY	APV BY

REVISIONS

FLUENCE CONFIDENTIAL & PROPRIETARY INFORMATION

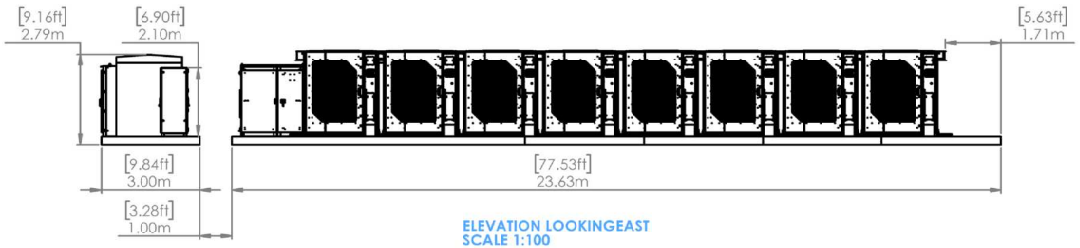
FLUENCE
A Siemens and AES Company

STATUS | PROJECT
FINISH | WEIGHT kg
MATERIAL | DRAWN BY | DATE 12/18/2019 | DRAWING NO. Borrego Solar 5MW3h Next Gen R0 12182019 | REV
TOLERANCE | CHECK BY | DATE
UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN MILIMETERS | APV BY | DATE | SHEET 2 OF 5 | SCALE 1:200 | SIZE A2

Template: FLUENCE - A2 - landscape - Rev A

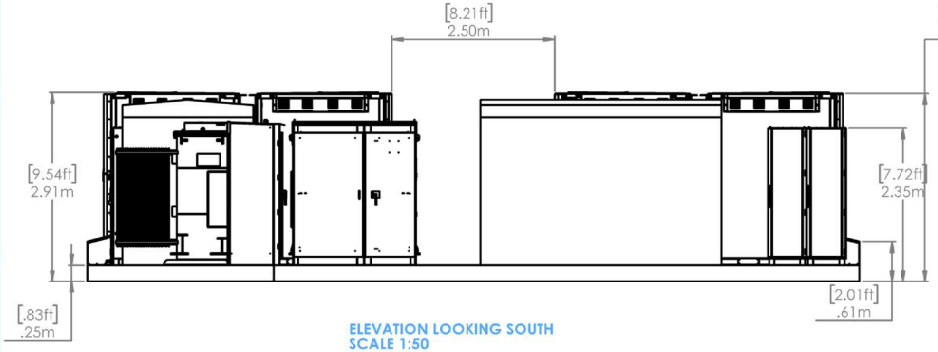
FLUENCE ENERGY LLC - GRIDSTACK

LAYOUT & ELEVATIONS

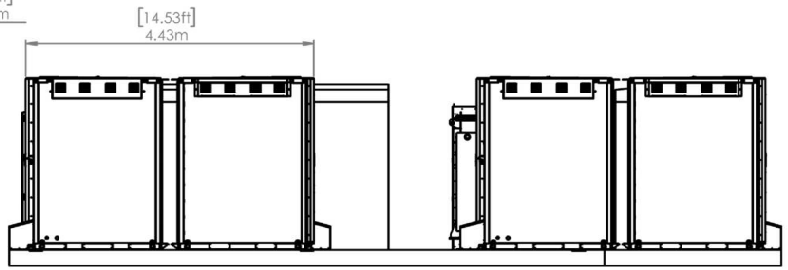


ELEVATION LOOKINGEAST
SCALE 1:100

ELEVATION LOOKING WEST
SCALE 1:100



ELEVATION LOOKING SOUTH
SCALE 1:50



ELEVATION LOOKING NORTH
SCALE 1:50

ZONE	REV	DESCRIPTION	DATE	DRW BY	APV BY

REVISIONS

FLUENCE CONFIDENTIAL & PROPRIETARY INFORMATION

FLUENCE
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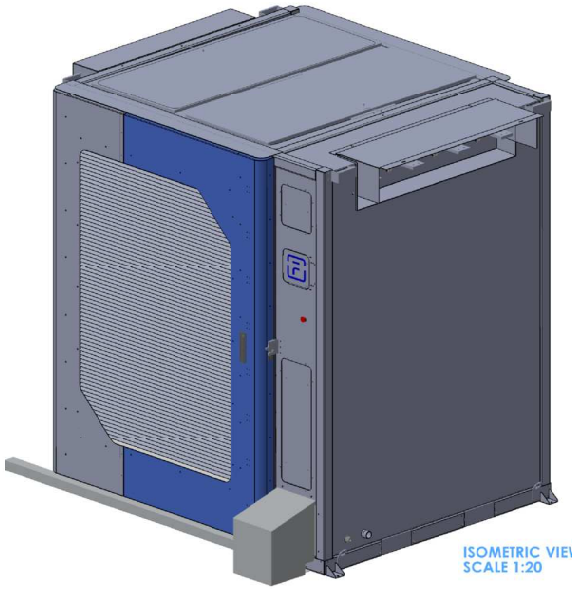
STATUS
PROJECT
FINISH
WEIGHT kg
MATERIAL
DRAWN BY DATE 12/18/2019
TOLERANCE
CHECK BY DATE
UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN MILIMETERS
APV BY DATE
DRAWING NO. Borrego Solar 5MW3h Next Gen R0 12182019
REV
SHEET 3 OF 5
SCALE 1:200
SIZE A2

Template: FLUENCE - A2 - landscape - Rev A

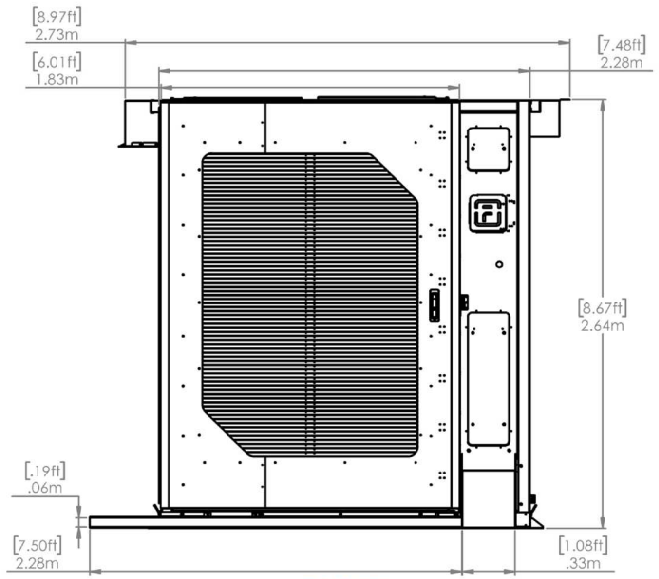
FLUENCE ENERGY LLC - GRIDSTACK

CUBE DIMENSIONS & SPECIFICATION

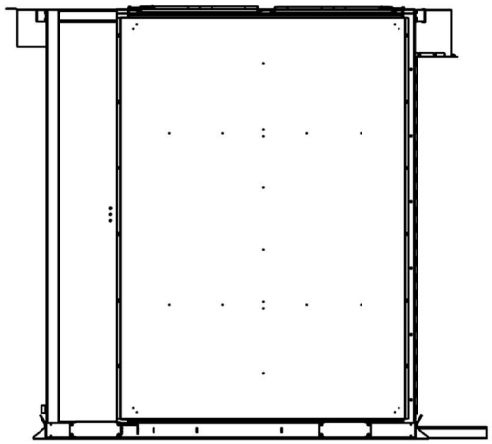
CUBE SPECIFICATIONS		
RATED POWER	kW	
DISCHARGE DURATION	h	3
RATED ENERGY	kWh	
OPERATIONAL DC VOLTAGE	Vdc	
CHEMISTRY		LI-ION- SDI E3D
CUBE DIMENSIONS	W/D/H - mm (FT)	2280
CUBE WEIGHT	lb / kg	12790 /5802
COOLING SYSTEM		AIR FORCED
FIRE SUPRESSION		SOLID AEROSOL AGENT
ENCLOSURE RATING		IP54
AMBIENT OPERATING TEMPERATURE		-40°C TO 55°C



ISOMETRIC VIEW
SCALE 1:20



FRONT VIEW
SCALE 1:20



BACK VIEW
SCALE 1:20

ZONE	REV	DESCRIPTION	DATE	DRW BY	APV BY

REVISIONS

FLUENCE CONFIDENTIAL & PROPRIETARY INFORMATION

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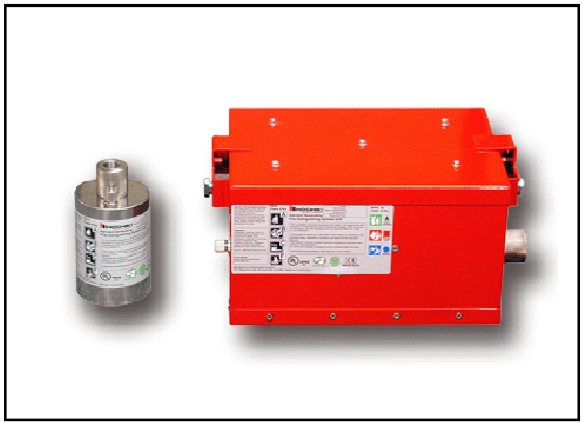
TOLERANCE | CHECK BY | DATE
UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN MILIMETERS | APV BY | DATE | SHEET 4 OF 5 | SCALE 1:200 | SIZE A2

HOCHIKI
america corporation

FirePro® Xtinguish



STANDARD FEATURES

- UL Listed for Class A, B, C fires
- Environmentally friendly (Green Label)
- Available in 10 models
- UL Listed for 10 years shelf life
- Easy installation, requires no piping or pressurized bottles
- Minimal maintenance
- Requires far less real estate compared to a typical Halon system
- Minimal cleanup on post fire
- Safe to handle
- Mounting brackets included for all models
- Compatible with HCVR-3 Fire Alarm Control Panel

APPLICATIONS

- Data centers (server room)
- Computer rooms
- Central stations (call centers)
- Mechanical / electrical control rooms
- Shipping warehouse
- Plant rooms
- Engine rooms
- Vehicle storage rooms (hangar bay)

DESCRIPTION

FNX Series products are a SBK aerosol forming solid compound (containing no pyrotechnic substances) that is used to extinguish Class A, B, C fires. The FNX Series products are electrically activated. The condensed aerosol extinguishing mechanism works by removing the active chemical particles involved in the flame chain reaction.

TRANSPORTATION CLASSIFICATION

- Class 9
- UN Identification: 3335 (Air) & 3077 (Ocean)
- Packaging group: PGIII

Shipping guidelines for maximum weight:

- Ground: None
- Ocean: None
- Cargo Air: 400 kg (881 lbs)
- Passenger Air: 30 kg (66 lbs)

PRODUCT LISTINGS

c UL us LISTED
EX16201

California State Fire Marshal
410:0205

GREEN LABEL
OZONE FRIENDLY NO CFC'S

BSI/A.1/3.46/62-133

Hochiki America Corporation
7051 Village Drive, Suite 100 Buena Park, CA 90621-2268
Phone: 714/522-2246 Fax: 714/522-2268
Technical Support: 800/845-6692 or technicalsupport@hochiki.com

SPECIFICATIONS

Canister Type			
Model	**FNX-20S**	**FNX-40S**	**FNX-80S**
Mass of SBK	20g	40g	80g
Product weight	310g ±5%	610g ±5%	870g ±5%
Supply Voltage	6 ~ 36 VDC	6 ~ 36 VDC	6 ~ 36 VDC
Initiation Current	0.8 A	0.8 A	0.8 A
Heating Element Resistance	1.6 – 3.6 Ohms	1.6 – 3.6 Ohms	1.6 – 3.6 Ohms
Supervision Current	5 mA	5 mA	5 mA
Ignition Time	4 seconds	4 seconds	4 seconds
Discharge Time	3 – 6 seconds	5 – 10 seconds	5 – 10 seconds
Min. Discharge Clearance (Human)	0.3ft (100mm)	0.3ft (100mm)	0.3ft (100mm)
Max. Mounting Height	3.2ft (1m)	3.2ft (1m)	6.5ft (2m)
Storage Temperature	-58°F (-50°C) - 122°F (50°C)	-58°F (-50°C) - 122°F (50°C)	-58°F (-50°C) - 122°F (50°C)
Self-Activation Temperature	572°F (300°C)	572°F (300°C)	572°F (300°C)
Dimensions	6.4”H (165mm) x 1.2”D (32mm)	5.5”H (140mm) x 2.0”D (51mm)	7.2”H (185mm) x 2.0”D (51mm)

Canister Type			
Model	**FNX-100S**	**FNX-200S**	**FNX-500S**
Mass of SBK	100g	200g	500g
Product weight	1370g ±5%	1840g ±5%	3340g
Supply Voltage	6 ~ 36 VDC	6 ~ 36 VDC	6 ~ 36 VDC
Initiation Current	0.8 A	0.8 A	0.8 A
Heating Element Resistance	1.6 – 3.6 Ohms	1.6 – 3.6 Ohms	1.6 – 3.6 Ohms
Supervision Current	5mA	5 mA	5 mA
Ignition Time	4 seconds	4 seconds	4 seconds
Discharge Time	5 – 10 seconds	5 – 10 seconds	5 – 10 seconds
Min. Discharge Clearance	1.3ft (400mm)	0.9ft (300mm)	1.6ft (500mm)
Max. Mounting Height	3.2ft (1m)	6.5ft (2m)	6.5ft (2m)
Storage Temperature	-58°F (-50°C) - 122°F (50°C)	-58°F (-50°C) - 122°F (50°C)	-58°F (-50°C) - 122°F (50°C)
Self-Activation Temperature	572°F (300°C)	572°F (300°C)	572°F (300°C)
Dimensions	6.1”H (155mm) x 3.4”D (84mm)	7.2”H (185mm) x 3.4”D (84mm)	11.6”H (295mm) x 3.4”D (84mm)

Box Type				
Model	**FNX-1200**	**FNX-2000**	**FNX-3000**	**FNX-5700**
Mass of SBK	1200g	2000g	3000g	5700g
Product weight	10900g ±5%	15500g ±5%	16300g ±5%	26400g ±5%
Supply Voltage	6 ~ 36 VDC	6 ~ 36 VDC	6 ~ 36 VDC	6 ~ 36 VDC
Initiation Current	0.8 A	0.8 A	0.8 A	0.8 A
Heating Element Resistance	1.6 – 3.6 Ohms	1.6 – 3.6 Ohms	1.6 – 3.6 Ohms	1.6 – 3.6 Ohms
Supervision Current	5 mA	5 mA	5 mA	5 mA
Ignition Time	4 seconds	4 seconds	4 seconds	4 seconds
Discharge Time	15 – 20 seconds	15 – 20 seconds	15 – 20 seconds	15 – 20 seconds
Min. Discharge Clearance (Human)	5.4ft (1650mm)	4.9ft (1500mm)	6.5ft (2000mm)	6.5ft (2000mm)
Max. Mounting Height	11.4ft (3.5m)	11.4ft (3.5m)	11.4ft (3.5m)	16.4ft (5m)
Storage Temperature	-58°F (-50°C) - 122°F (50°C)	-58°F (-50°C) - 122°F (50°C)	-58°F (-50°C) - 122°F (50°C)	-58°F (-50°C) - 122°F (50°C)
Self-Activation Temperature	572°F (300°C)	572°F (300°C)	572°F (300°C)	572°F (300°C)
Dimensions	6.5”H (167mm) x 11.8”L (300mm) x 8.5”W (216mm)	7.2”H (185mm) x 11.8”L (300mm) x 11.8”W (300mm)	7.2”H (185mm) x 11.8”L (300mm) x 11.8”W (300mm)	11.8”H (300mm) x 11.8”L (300mm) x 11.8”W (300mm)

Advancion®
Energy Storage

Fluence Advancion®

Energy Storage System

Operations and Maintenance Manual

Operation and Maintenance Manual

Advancion 5, Short Duration

Revision #: 05

Revision Date: 25 June 2018

Document Control Number:
0000-OAM-FLU-ADV-03-5000

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Table of Contents **Page**

Abbreviations and Definitions

1. Advancion® 5 – Fluence's fifth-generation energy storage system architecture.
2. AGC – Automatic Generation Control, a system that adjusts the power output of multiple generators at different power plants in response to changes in system load.
3. ARC – Automatic Resource Control, a mode of operation for the Advancion Control System where it automatically responds to an external dispatch signal.
4. Array – An Advancion energy storage facility. An Array is composed of multiple Advancion Core sub-units. The Array controller distributes charge and discharge signals to the Cores based on their optimal dispatch ranges, recent usage, system state, and a total system dispatch signal.
5. BESS – Battery Energy Storage System. A general term for energy storage facilities that use batteries.
6. Center-pole – A device or point in the Advancion Node Battery Module circuit, where the DC voltage may be divided in half. The exact implementation, if present, is site-specific.
7. Core – A complete functional unit within the Advancion Array, which can be operated independently from one another or grouped to create larger units. An Advancion Core may be disconnected and serviced without affecting the operation of the other Cores in the Array. A Core is composed of several Nodes and automatically dispatch each Node at an optimum power level.
8. DCS – Distributed Control System. Consists of a hierarchy of controllers connected by a communications network that operate in a closed-loop system to control an industrial process.
9. DCPM – Direct Current Protection Module, the primary Battery Management System of an Advancion Node. The DCPM is an electronic system that manages charge and discharge operations and protects the battery modules from voltage and current conditions outside of the safe performance range.
10. EAF – Equivalent Availability Factor, measures the percentage of time that a generation unit is available to generate electricity if called upon in the marketplace.
11. HMI – Human-Machine Interface, the input-output de-vice through which the human operator controls the process, and which presents process data to a human operator.
12. MDU – Market Dispatch Unit, a device that makes real-time changes in system operation based on market conditions.
13. Node - Each Core is composed of multiple Advancion Nodes. Each Node interacts with a single DC Protection Module (DCPM) and Power Control System (PCS) to dispatch real and reactive power. Each Node can be disconnected and serviced without affecting the operation of other Nodes and often without any effect to typical operation of the Core. Nodes are designed to fully and independently characterize and control any energy storage technology using over 90 different characteristics common to all technologies. This is the "distributed technology" part of the solution.
14. PCS – Power Conversion System, a bi-directional inverter that changes direct current to alternating current or vice-versa and is used to charge or discharge batteries.
15. PLC – Programmable Logic Controller, an industrial computer used to control automated processes.
16. RTU – Remote Terminal Unit, an industrial computer that transmits telemetry data from the market to a distributed control system.
17. SCADA – Supervisory Control and Data Acquisition System. A software program that gathers, analyzes, and monitors data processes.
18. SDU – Storage Dispatch Unit, software used to aggregate batteries and optimize their performance.
19. SEL-735 – (Schweitzer Engineering Laboratories) Power Quality and Revenue Meter. Provides high-accuracy revenue and power quality measurement for electric utilities and industrial applications.
20. SOP – Standard Operating Procedure

1. Introduction

This document serves as a guide for the safe operation and maintenance (O&M) of the Fluence Advancion® 5 System Battery Energy Storage System (BESS). The O&M Manual offers a framework to achieve a safe, trustworthy, and efficient performance of the system in compliance with applicable laws and regulations.

2. Safety

2.1 General

Each Fluence Advancion system is specially designed and configured to meet individual site needs as safely as possible. However, as with any utility scale generator or complex electrical system, risks are present. It is critical that only Qualified Persons operate or maintain the Advancion Energy Storage System in accordance with original design parameters and criteria. Failure to follow safe operating procedures, improper operation and/or maintenance of the BESS can result Death, Personal Injury, or Property Damage.

Fluence Energy Storage (Fluence ES) recommends that all BESS owners conduct orientation meetings with local first responders to ensure mutual understanding of Advancion component composition and necessary emergency actions.

Key Points:

- Only Qualified Persons are to operate and/or maintain the Advancion Array.
- Never operate the Advancion Array differently from design or with known unsafe conditions present.
- Only operate the Advancion Array in full compliance with relevant regulations, codes, standards or other requirements.
- Conduct site orientations with local first responders prior to system use.

2.2 Emergency Stop

The Advancion 5 Array is equipped with Master and Core Emergency Stop (E-Stop) buttons. Locations vary from site to site. General locations are:

- In a building installation, Control Room (Master E-Stop and Core E-Stops)
- In a building installation, Front and Back of each Core (Core E-Stop)
- In a battery enclosure, Control House (Master E-Stop)
- In a battery enclosure, one on each Core DC Panel and 2 externally mounted on each enclosure
- In a building installation, a Master E-Stop is located at the inside of the BESS access door.

All persons that work or visit the BESS should be familiar with E-Stop button locations and emergency exit paths prior to entering the BESS.

Pushing a Master E-Stop button shuts off AC and DC power flow.

- opens all Battery Storage Core DC Disconnects in DC Panels
- opens the AC Disconnect on the PCS
- opens all Node DCPM breakers
- de-energizes the HVAC

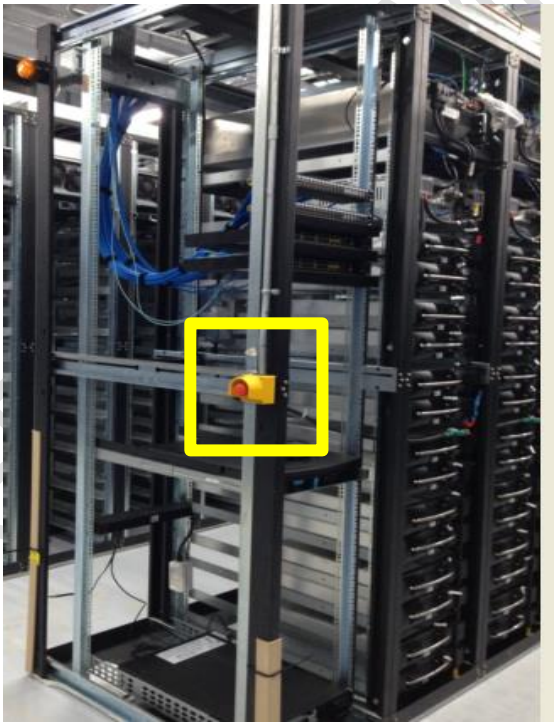
Pushing a Core E-Stop button performs similar actions to the Master E-Stop, but is limited to a single Core.

E-Stop buttons are intended to be used in emergencies and are not recommended for planned shutdown procedures during normal operation or scheduled maintenance.

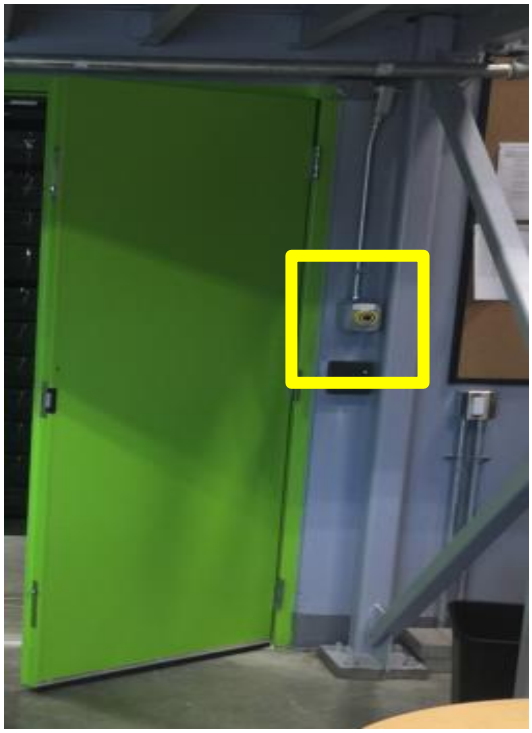
Key Points:

- All E-Stop buttons are for emergency use only.
- All persons entering the Advancion Array should identify E-Stop locations upon entry.

Picture 1. Example of Core E-Stop Button



Picture 2. Example of Master E-Stop



2.3 General Hazard Information

General sources of potential hazards that may be encountered with the system are mentioned below. Please consult all Safety Data Sheets for hazardous materials and review component-specific safety information in subsystem documentation for additional information. Adherence to electrical safety codes, such as NFPA 70E, will protect personnel and equipment.

2.3.1 Electrical

This product carries high-voltage electrical current, which can cause shocks or severe bodily harm. Equipment, supplies, and loads must be appropriately installed and grounded in accordance with specifications and applicable electrical safety codes. The common voltages encountered in this system may cause electric shocks and can sustain an arc flash.

2.3.2 Fire

A damaged lithium-ion battery module may cause a fire or explosion. Review all manufacturer instructions for proper procedures for handling and storage of components. Improper connection or damage to an electrical line may cause a fire or arc flash.

2.3.3 Chemical

Safety Data Sheets (SDS) for all chemicals and equipment are provided with each Advancion 5 site. Personnel performing Operations and or Maintenance on the BESS shall have access to the SDS onsite and through Fluence ES support. Note that chemical hazards present can change with altered condition of components.

2.4 Personal Protective Equipment (PPE)

Use of suitable Personal Protective Equipment (PPE) is required to protect against injury. Each site must perform individual risk assessments to identify site specific hazards and develop mitigating strategies to include PPE. Sites managed by Fluence Energy Storage will also determine & implement applicable Fluence safety standards. Below are the minimum PPE requirements by work type performed on the Advancion 5 Array.

Visitor (Visual Observation Under Supervision of Qualified Person):

Hard Hat, Fire Resistant (FR) Smock, Safety Glasses.

Operator (FR CAT 2)

Cotton or natural fiber undergarments, FR Rated CAT 2 Long Sleeve Shirt and Pants, Hard Hat with Arc Rated Face Shield, Safety Glasses, Hearing Protection, Leather Gloves, Leather Shoes.

Key Points

- Appropriate PPE should always be worn during work in and around an Advancion® 5 Array.
- Level of PPE required is risk-dependent which must be determined on site by site basis with help of Qualified Persons.

3. System Description

The Fluence Advancion® system is a 5th generation grid connected battery energy storage system, with an unparalleled host of reliable capabilities ranging from Ancillary Services to Reserve Capacity. Please refer to the Fluence Advancion 5 User Manual for a full description of capabilities and system description.

3.1 AC System

The typical Advancion 5 AC system consists of low-voltage and medium-voltage equipment, and site-specific grid connection equipment.

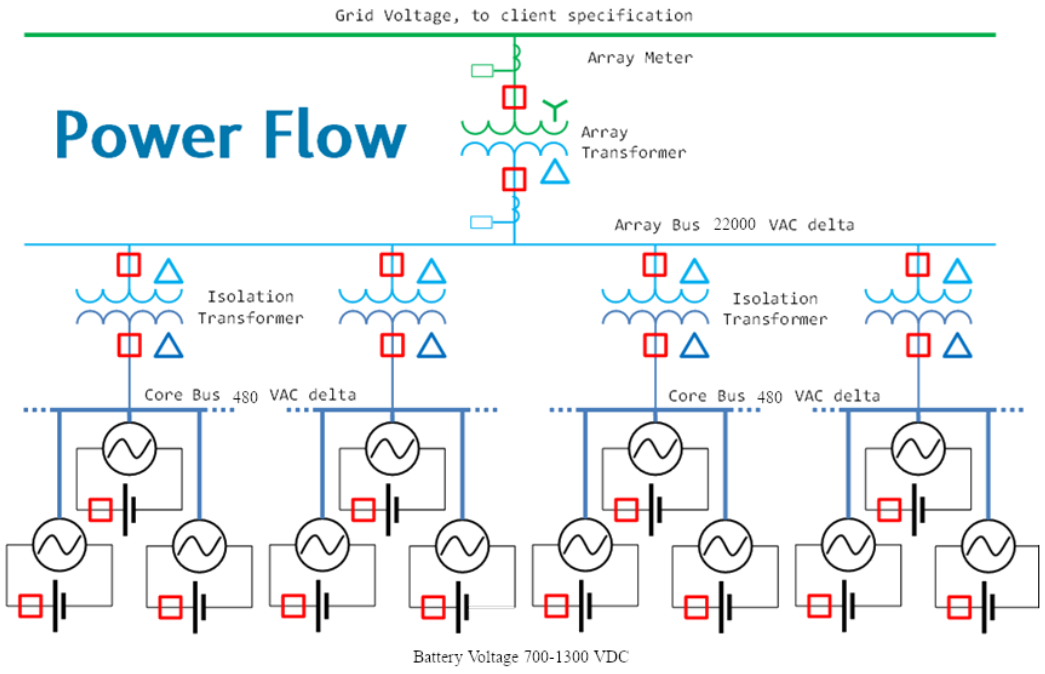
Each Node PCS attaches to the low-voltage AC system via a bolted cable-to-terminal connector and includes a 600Vac main breaker with a 65kA interrupt rating. Low-voltage 3-phase AC power runs from each Node to a collection panel. Power from the low-voltage collection panel is fed to an isolation transformer, to connect to the Array medium-voltage AC bus.

The main ac breaker is labelled with incident arc flash energy and approach boundary information. The breaker can be safely operated from the approach boundary. See site-specific single line drawings for details.

There is one Power Quality Meter (ex. SEL-735) installed in the Array for the group of medium voltage (MV) breakers feeding all isolation transformers, and there may be many on a string connected to one MV breaker.

The power connection to the external grid is site-specific. The Array may interact with the external grid at medium-voltage, or at high-voltage if a step-up transformer is required by the grid or utility.

Figure 1. Generic AC System Design

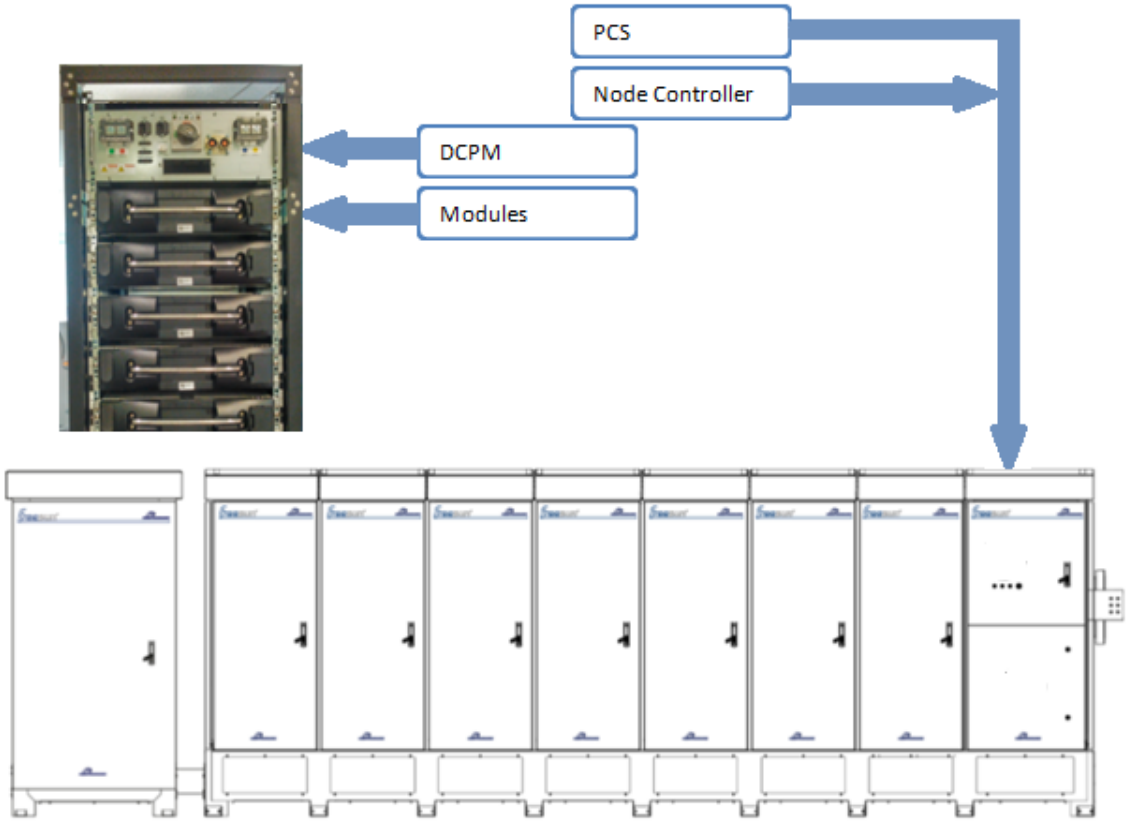


3.2 DC System

Each Node includes a Power Conversion System (PCS) interacting with a DC Panel. Each DC Panel is equipped with a main DC Disconnect, main fuse, a main DC bus and multiple feeder circuits. Each feeder circuit is connected to one DC Protection Module (DCPM). Each DCPM is connected to a string of Lithium Ion Batteries. The DC voltage varies between approximately 700 and 1300V, depending on battery state of charge. Previously, the PCS was a rack-mounted unit, but Advancion 5 uses a separate, multi-cabinet system. This new system may include 3 to 7 input cabinets, each containing multiple busbars. For single-line systems,

each of the battery racks (17 batteries and a DCPM) is paralleled onto a single DC bus for short-duration systems.

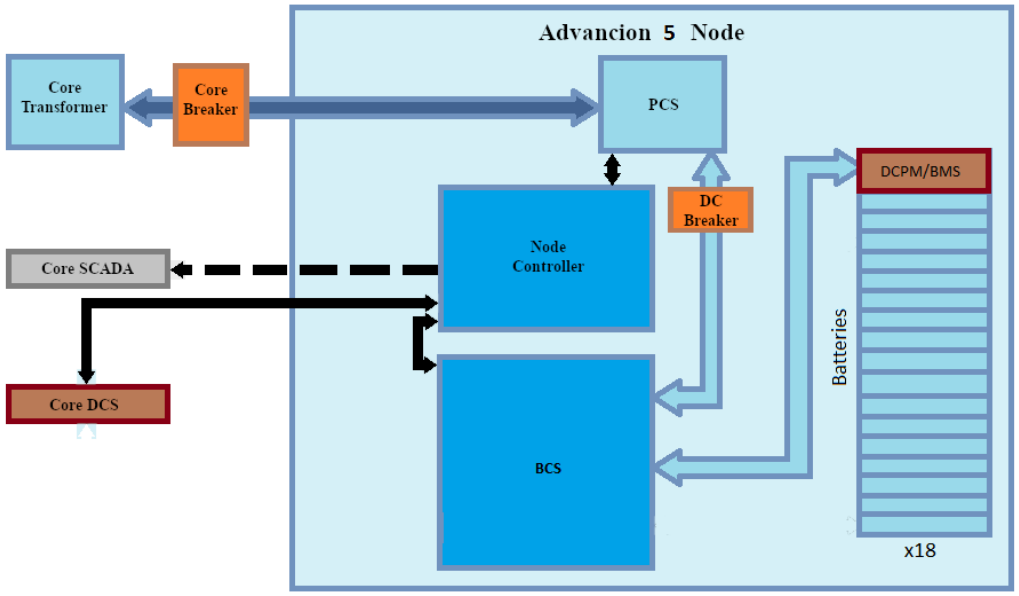
Figure 2. Generic Node (Labeled) Advancion 4 vs Advancion 5



The DC-Protection Module (DCPM) in each battery rack includes over current protection by means of fuses and disconnecting contactors. In addition, some DCPMs may include a disconnect switch, depending on vendor, that can isolate the DC battery strings. This makes it possible to change the batteries or perform maintenance without taking the whole Core out of commission when using LG batteries. The DCPM and battery strings must be properly connected to make sure the batteries do not experience excessive voltage or current conditions.

As an additional safety measure, the maximum PCS power demand (nominally, 300 kW) is limited to match the design rating of the battery system. At the DC input panel, safety is also provided in the form of a 1600 A DC main disconnect and main fuse; alternatively, some systems might have a main disconnect rated for 3200A. Each PCS Module has 400A DC contactors which allow for connection and disconnection of the DC grid (battery racks).

Figure 3. Generic Node (DC Flow)



3.3 HVAC

An Advancion® Array includes HVAC units to control operating temperatures. These units must be well maintained to ensure maximum system life and component Warranty compliance. Actively managed environmental conditions are a requirement for successful operation.

3.4 Fire Protection System

Each Advancion® Energy Storage System is equipped with a Fire Protection System (FPS) designed to detect fires early, alarm appropriate personnel, and suppress fires. The type and design of the FPS deployed can be different depending on site-specific requirements. Please see site specific details for a complete explanation of system design and capabilities. Below are summaries for two FPS configurations.

Building

A typical Advancion 5 FPS installation within a building consists of multiple sensors including smoke detectors, Heat Sensors, and Tamper/Flow Water Detectors. The Alarm system is configurable to communicate with both local site control rooms and external monitoring teams. Alarms are recognized by audio and visual means through sirens and flashing strobe lights located both inside and outside the BESS.

The typical suppression system used is a dry pipe Double Pre-Action Water Sprinkler System. Water is charged into the pipes when two initiating sensors indicate likelihood of fire. Each sprinkler head releases water only if elevated temperature is detected in its response zone.

Fire warning is relayed to the operator as soon as possible, to allow for investigation through onsite sensors or in person, before suppression systems are engaged.

Enclosure

A typical Advancion 5 FPS installation for a containerized solution is very similar to the building design with a couple of exceptions. Smoke and Heat sensors are used in conjunction with a waterless gaseous clean-agent suppressant system. Like the water system used in the buildings, there are two steps before the suppressant is discharged. First step is a pre-alarm condition followed by an actual alarm. Once the alarm is sounded, suppressant discharge is delayed approximately 30 seconds to enable operator escape from the BESS. For details, please refer to site-specific settings in the FPS manual.

3.5 Auxiliary Equipment

Multiple pieces of necessary auxiliary equipment support each Advancion 5 site. A typical list of equipment is as follows:

- Telco racks with servers, switches, routers, firewalls, and Uninterruptible Power Supplies (UPS)
- Environmental monitoring system
- Medium voltage Power Quality Meters / High Voltage Meter*
- Low voltage relays
- Ground Fault Detection Systems
- Real Time Automation Controller (RTAC)
- Cameras and/or Intrusion Sensors
- Lighting Control Panels

*High voltage equipment may not apply to each installation.

4. Operational Plan

4.1 HMI and SCADA (control and reporting)

The Array is primarily controlled by system operators through the Human Machine Interface (HMI). The HMI is explained in detail in the HMI User Manual and during the Operations Training Course.

SCADA is also available which enables trending, analysis, data extract and automated reporting. Please see Advancion® 5 HMI and SCADA User Manuals for details.

4.2 Alarm Parameters

Alarm parameters are defined by Fluence ES for each site. Warnings and alarms are presented through the HMI and SCADA systems. These key alarm parameters for the power electronics are set by Fluence ES and can be changed depending on service life and performance needs.

Table 1. Example Advancion Alarm Parameters

Location	Data	Nominal	Low Limit	Low Warn	Hi Warn	Hi Limit
BMS	SOC %	55	0	3	97	100
BMS	DC V	800	600	625	800	825
PCS	DC V	800	600	625	800	825
PCS	AC V	480	432	450	505	528
PCS	DC CHG A				230	250
PCS	DC DCHG A				230	250
PCS	AC CHG A				230	250
PCS	AC DCHG A				230	250
PCS	TEMP °C	23	10	15	70	75
BMS	CELL °C	23	15	18	43	48
CORE	SOC %		0	3	97	100
ARRAY	SOC %		0	3	97	100

4.3 Standard Operation Procedures

Fluence ES provides a general set of system SOPs to enable consistent operations and support user training.

Operation SOPs include:

- System start-up / shut down
- Resetting and Clearing Faults
- Adjusting SOC (battery State of Charge)
- Reconnecting Inactive Nodes through HMI

5. Maintenance Plan

The maintenance plan below is the Fluence ES recommended minimum starting point to guide the effective management of the Advancion® Array to achieve designed potential. A site-specific maintenance plan is developed for each site in the Fluence ES Computerized Maintenance Management System (CMMS)

5.1 Consolidated PM Plan & Schedule

Table 2. PM Activities Schedule

Task	Task Description	Component	Frequency	Ref Material/Spec
1	Meter Calibration	Power & Revenue Meters	Every 3 yrs.	OEM Manual
2	Transformer testing: (DGA, IR, Doble, Megger)	Isolation & Auxiliary transformers	Complete Every 3 yrs. IR/Oil – 1/yr.	OEM or Regulatory Standards
3	Annual Performance Test	Array	1/Yr.	Fluence ES Performance Test Standard
4	Cooling System Maintenance.	HVAC/Chillers	Complete 1/yr. Filter 1/mo. (varies by vendor)	OEM Manual
5	Switchboard UPS Battery Maintenance	125 v DC	1/Yr.	OEM Manual
6	Fire Protection System Maintenance	Fire Protection System	1/Yr. – Building 2/Yr. Container	OEM Manual
7	Building/Container Housekeeping	Building/Container. Network / Telco Racks	2/Yr.	Fluence Standard Procedure
8	Node IR - DC/AC Connections	DC Connectors	1/Yr.	Fluence ES Standard Procedure
9	Ambient condition check	PCS	4/Yr.	OEM Manual
10	Power measurements	PCS	4/Yr.	OEM Manual
11	Power/control connection inspection	PCS	2/Yr. (1/Yr. fasten connections)	OEM Manual
12	Cabinet door seals	PCS	4/Yr.	OEM Manual
13	Visual damage to doors, gratings, cabinet	PCS	4/Yr.	OEM Manual
14	Cable input sealing	PCS	4/Yr.	OEM Manual
15	Check cabinet paint for damage or corrosion	PCS	4/Yr.	OEM Manual
16	Safety notices and stickers on and in the switch cabinet	PCS	4/Yr.	OEM Manual
17	Check nameplate	PCS	4/Yr.	OEM Manual

18	Check bottom connection panels	PCS	4/Yr.	OEM Manual
19	IGBT's module	PCS	1/Yr.	OEM Manual
20	Correct capacitor	PCS	1/Yr.	OEM Manual
21	Inductances	PCS	2/Yr. for evidence of overheating 1/Yr. for connections and temperatures	OEM Manual
22	Auxiliary Transformers	PCS	2/Yr. for visual damage and overheating 1/Yr. to verify connections	OEM Manual
23	AC Contactor/circuit breakers	PCS	2/Yr.	OEM Manual
24	UPS (if included)	PCS	2/Yr.	OEM Manual
25	Cooling fans	PCS	2/Yr.	OEM Manual
26	Gratings	PCS	2/Yr.	OEM Manual
27	Dust Filters	PCS	2/Yr. inspection 1/Yr. cleaning	OEM Manual
28	Historical data and errors	PCS	1/Yr.	OEM Manual
29	Protections	PCS	1/Yr.	OEM Manual

5.2 Troubleshooting

Fluence Energy Storage provides a Troubleshooting Standard Operation Procedure with each new site commissioning. Please refer to that document for detailed instructions for identifying failed components.

5.3 Repair Activity

Please reference Fluence Energy Storage provided Standard Operation Procedures for performing component replacements (PCS, UPS, Node Controller, DCPM, etc.) Projects under warranty are to remove failed component and follow OEM Return Material Authorization (RMA) process. Any unauthorized repair activity within a component can result in voiding part warranty.

5.4 Critical Spares

To support optimal maintenance activities, critical spares lists are provided by Fluence-ES. An overview of the minimum critical spares is provided in the CMMS.

6. Escalation

Fluence ES is committed to fully supporting each Advancion® site. Our primary point of contact is our 24/7 Operations group who log each issue raised into our workflow tracking tool and progressively escalate the issue within the ES Support team.

24/7 Support may be contacted at +1 (408) 520-1979.

7. Training

Fluence ES Support Services offers three training courses (Orientation, Operations, and Maintenance) with each site commissioning. Additional refresher training is available upon request. See training program summary documents.

8. Revision History

Document Control Number 0000-OAM-FLU-GEN-03-5000

Revision	Authored By	Sections Revised	Reviewed By	Approved By	Date
03	Johnathan McClure	Glossary	Charlene Lee	Jeff Gibbons	07 Mar 2017
04	Johnathan McClure	Whole Document	Irina Beloreshka	Jeff Gibbons	27 Nov 2017
05	Sean Poole	Whole Document			

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT, AND WETLAND PERMIT FOR
YORKTOWN ENERGY STORAGE 1, LLC
C/O BORREGO SOLAR SYSTEMS, INC

RESOLUTION NUMBER: # **DATE:**

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Site Use Plans 3901 Gomer Court," prepared by PV Engineers, P.C. and Greenberg Farrow, dated June 16, 2020, and last revised December 7, 2020, was submitted to the Planning Board on behalf of Yorktown Energy Storage 1, LLC (hereinafter referred to as "the Applicant"); and

WHEREAS the property owner, Ann Marie Dring representing Gomer Properties Associates, LTD, submitted authorization for this application by Borrego Solar Systems, Inc., operating as Yorktown Energy Storage 1, LLC for this property, and the property is located at 3901 Gomer Court, Yorktown Heights, also known as Section 6.17, Block 1, Lot 24 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this board that they are the lawful owners of the land within said site plan; and

WHEREAS an amended application fee of $1,226.00 has been received by this Board; and

WHEREAS a special use permit application and fee of $625 to allow a Tier 2 Battery Energy Storage facility pursuant to Town Code Section 300-81.5 entitled "Battery energy storage systems," has been received by this Board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board declared lead agency on December 21, 2020.
3. A negative declaration was adopted on December 21, 2020 on the basis of a Short EAF dated September 18, 2020.

WHEREAS the Planning Board approved a site plan, special use permit, stormwater pollution prevention plan, and wetland permit for this property by Resolution #20-27 on December 21, 2020; and

WHEREAS the amended site plan application is to accommodate a dimensionally smaller battery storage system than was approved by Resolution #20-27 including:

- Reduced system fenced area from 14,817 SF to 10,228 SF
- Reduced impervious area from 3,660 SF to 3,465 SF
- Reduced system height from 13 ft to 9.5 ft

WHEREAS the applicant has submitted as part of his application the following maps and documents for Site Use Plans 3901 Gomer Court:

Survey

1. A survey, sheet 1 of 1, titled "Gomer Properties Associates LTD., prepared by Lawson Surveying & Mapping, and dated July 10, 2019, and last revised June 1, 2020; and

Site Plans

2. A drawing, Sheet T-1, titled "Title Page," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
3. A drawing, Sheet C-1.0, titled "Existing Conditions Plan," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
4. A drawing, Sheet C-2.0, titled "Layout and Materials Plan," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
5. A drawing, Sheet C-2.2, titled "Visual Analysis Site Photos," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
6. A drawing, Sheet C-2.3, titled "FEMA Floodzone Comparison," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
7. A drawing, Sheet C-2.4, titled "Conservation Easement," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
8. A drawing, Sheet C-3.0, titled "Grading and Erosion Control Plan," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
9. A drawing, Sheet C-4.0, titled "Civil Details," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
10. A drawing, Sheet C-5.0, titled "Decomissioning Plan," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
11. A drawing, Sheet C-6.0, titled "Landscape Plan," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and

12. A drawing, Sheet E-3.3, titled "AC Three Line Diagram," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
13. A drawing, Sheet E-6.0, titled "Placards," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and
14. A drawing, Sheet C-7.0, titled "Data Sheets," prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021; and

Additional Documents & Reports

15. Fluence Advancion® Energy Storage System Operations and Maintenance Manual prepared by Advancion® Energy Storage and dated June 25, 2018; and
16. Fluence Gridstack Dimension Specs prepared by Fluence and dated December 18, 2019; and
17. FirePro Xtinguish Solid Aerosol Cut Sheet prepared by Hochiki America Corporation and dated 03/2015; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	**Report Date**
Fire Inspector	12/17/21

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS the Board has reviewed this application pursuant to Section 300-81.5 of the Town Code, and more specifically Subsection G which lists the requirements for Tier 2 battery energy storage systems;

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said amended site plan application by Zoom video conference on December 20, 2021; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said amended site plan application commencing and closing on January 10, 2022 by Zoom video conference;

WHEREAS the Board reviewed this project pursuant to Section 300-81.5 of the Town Code as part of the site plan approval dated December 21, 2020; and

RESOLVED as mitigation for impacts to the wetland buffer, the Applicant will remove debris and invasive vines in the buffer corridor, outlined in red on Sheet Fig. 1 Wetland Mitigation Plan listed herein, and along the bottom of the embankment next to Route 6 and utility trucks stored in this area will be removed; and

BE IT NOW RESOLVED that the application of Yorktown Energy Storage 1, LLC for the approval of a site plan titled "Site Use Plans 3901 Gomer Court" as prepared by GreenbergFarrow and Borrego Solar Systems, Inc, dated September 18, 2020 and last revised November 9, 2021, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of inspection fees and/or security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements:

2. All non-permitted uses on the site shall cease and be removed from the site or permitted to legalize same.

3. A Decommissioning Fund - The Applicant shall continuously maintain a fund or bond payable to the Town, in a form approved by the Town, for the removal of the battery energy storage system, in an amount to be determined by the Town, for the period of the life of the facility. This fund may consist of a letter of credit from a State of New York licensed financial institution. All costs of the financial security shall be borne by the applicant.

4. The Applicant shall enter into a Utility Maintenance Agreement with the Town whereby the Applicant shall submit yearly reports to the Town confirming the battery storage facility has been inspected and certified safe, that all preventative maintenance has been completed, and that no unused equipment is being stored on site.

5. Proposed plan must comply with all current applicable ADA standards.

6. Prior to the issuance of a building permit, submission of all legal documents to effectuate the offers of cession, road dedications, easement, and other agreements set forth on the map or its notes, in form satisfactory to the Town Attorney.

7. Applicant must obtain all necessary permits from outside agencies.

8. Upon completion of the project, the Applicant must submit an as-built survey.

BE IT FURTHER RESOLVED, that in accordance with Chapter 178, the application of Yorktown Energy Storage 1, LLC for the approval of a Wetland Permit **#WP-056-19** is reapproved with this resolution, subject to the conditions listed therein; and

BE IT FURTHER RESOLVED the special use permit and site plan approval shall be valid for a period of 24 months, provided that a building permit is issued for construction and construction is commenced. In the event construction is not completed in accordance with the final site plan, as may have been amended and approved, as required by the Planning Board, within 24 months after approval, the applicant or the Town may extend the time to complete construction for 180 days. If the owner and/or operator fails to perform substantial construction after 36 months, the approvals shall expire.

C3 Holdings, LLC

Site Design Consultants

Civil Engineers • Land Planners

December 16, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

Re: C3 Holdings, LLC
1500 Front Street

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Hearing scheduled for January 10, 2022 and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date; and
- Photo of the Notice sign and Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,

Joseph C. Riina, P.E.

/cm /Enc./ sdc 21-63

251-F Underhill Avenue • Yorktown Heights, New York 10598
60 Walnut Grove Road • Ridgefield, Connecticut 06877
(914) 962-4488 (203) 431-9504 Fax (914) 962-7386

NOTICE TO INTERESTED PARTIES

TO:

PUBLIC NOTICE

PLEASE TAKE NOTICE that a **Public Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday, January 10, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of C3 Holdings, LLC for approval of a site plan with submitted plans titled, "Proposed Garage Warehouse prepared for C3 Holdings LLC.," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021.

It is proposed to construct an 1,800 square foot two-story frame and masonry building on 2 acres in the I-2 zoning district. The same site plan was previously approved by the Planning Board on March 9, 2009. The site is located at 1500 Front Street, Yorktown Heights, also known as Section 48.11, Block 1, Lot 51 on the Town of Yorktown Tax Map.

The above listed site plan may be viewed on the Town's website: http://www.yorktownny.org/planning/public-hearings. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

This Notice is being sent to you by regular mail, pursuant to Section '195-22A(5), Section '195-23B(5), Section '195-24B(4), or Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined there under.

ALL PERSONS INTERESTED in the above matter may appear before the Board in person, by agent, or attorney and will be heard before any final determination is made. Comments may also be sent by mail to the Planning Department at 1974 Commerce Street, Room 222, Yorktown Heights, NY 10598 or by email to planning@yorktownny.org.

C3 Holdings, LLC
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants
By (Name and Title)

December 16, 2021
Date

48.11-1-52
1401 FRONT STREET ASSOC. LLC
C/O JOSEPH SISCA, JR.
1944 ROUTE 22
BREWSTER, NY 10509

48.11-1-50
CROWN DELTA CORP.
1520 FRONT ST.
YORKTOWN HGTS., NY 10598

48.11-1-51
C3 HOLDINGS, LLC.
1500 FRONT STREET
YORKTOWN HGTS, NY 10598

48.10-1-30
SCHACHTER, HARRY E
P.O. BOX 285
MT. KISCO, NY 10549

48.11-1-23
DAI, JIE & XU, XIN
366 ROSE CT.
YORKTOWN HGTS., NY 10598

48.11-1-22
TAYLOR, JAMES & IVY SUE
374 ROSE CT.
YORKTOWN HGTS., NY 10598

48.11-1-21
GONZALEZ, HUGO P. & GABRIELA
1599 PINE BROOK RD.
YORKTOWN HGTS., NY 10598

48.10-1-25
PARK NEIGHBORHOOD ASSOC INC
P.O. BOX 516
YORKTOWN HGTS., NY 10598

48.11-1-20
RABINOWITZ, NEAL D & BONITA
1583 PINE BROOK RD.
YORKTOWN HGTS., NY 10598

Firm Mailing Book For Accountable Mail

Name and Address of Sender

Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

Check type of mail or service

- ☐ Adult Signature Required
- ☐ Adult Signature Restricted Delivery
- ☐ Certified Mail
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery (COD)
- ☐ Insured Mail
- ☐ Priority Mail
- ☐ Priority Mail Express
- ☐ Registered Mail
- ☐ Return Receipt for Merchandise
- ☐ Signature Confirmation
- ☐ Signature Confirmation Restricted Delivery

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

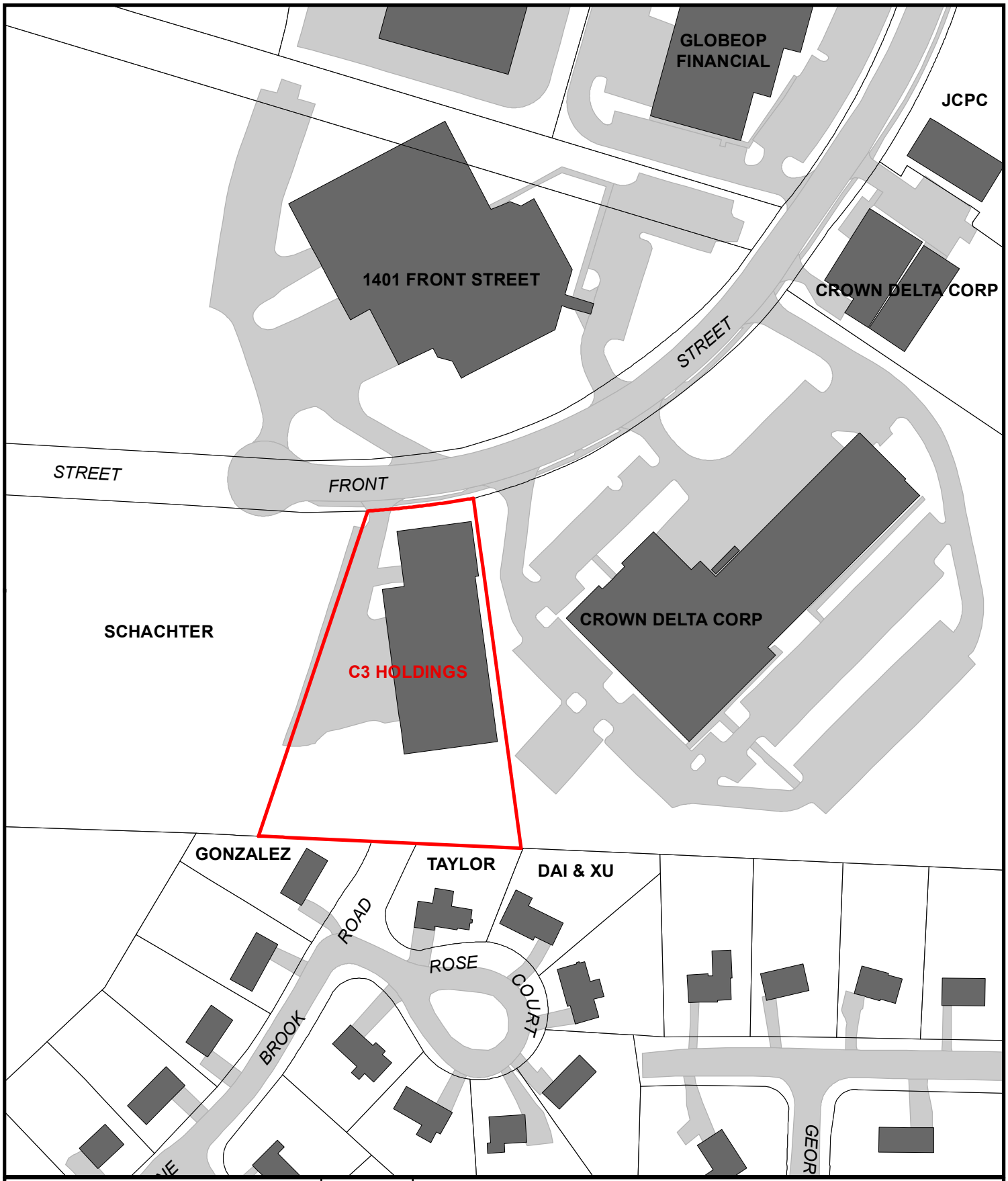
U.S. POSTAGE PAID
YORKTOWN HEIGHTS, NY
10598
DEC 28, 21
AMOUNT
$3.29
R2304M110426-26

0000

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	SCRD Fee	SH Fee
1.	1401 Front Street Assoc. LLC c/o Joseph Sisca, Jr. 1944 Route 22 Brewster, NY 10509			
2.	Crown Delta Corp. 1520 Front Street Yorktown Heights, NY 10598			
3.	C3 Holdings, LLC 1500 Front Street Yorktown Heights, NY 10598			
4.	Harry E. Schachter P.O. Box 285 Mt. Kisco, NY 10549			
5.	Dai, Jie & Xu, Xin 366 Rose Ct. Yorktown Heights, NY 10598			
6.	James & Ivy Sue Taylor 374 Rose Court Yorktown Heights, NY 10598			
7.	Hugo P. & Gabriela Gonzalez 1599 Pine Brook Road Yorktown Heights, NY 10598			
8.				

Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per *(Name of receiving employee)*

Complete in Ink



TOWN OF YORKTOWN PLANNING DEPARTMENT
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Yorktown Heights, NY 10598
(914) 962-6565, www.yorktownny.org/planning

N W E S

0 75 150 300 Feet

1 inch = 150 feet

TITLE: C3 Holdings, LLC
DATE: January 5, 2022

FILE: F:\ArcGIS\PROJECTS\C3 Holdings.mxd
BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 48.11 Parcel 1 Lot 51

Project Name: C3 Holdings, LLC

Address: 1500 Front Street, Yorktown Heights, NY 10598

Applicant's Name: C3 Holdings, LLC

Address: 1500 Front Street, Yorktown Heights, NY 10598

Phone: _____

No. Signs Posted: 1

Sign #1 Location: 1500 Front Street

Sign #2 Location: _____

Sign #3 Location: _____

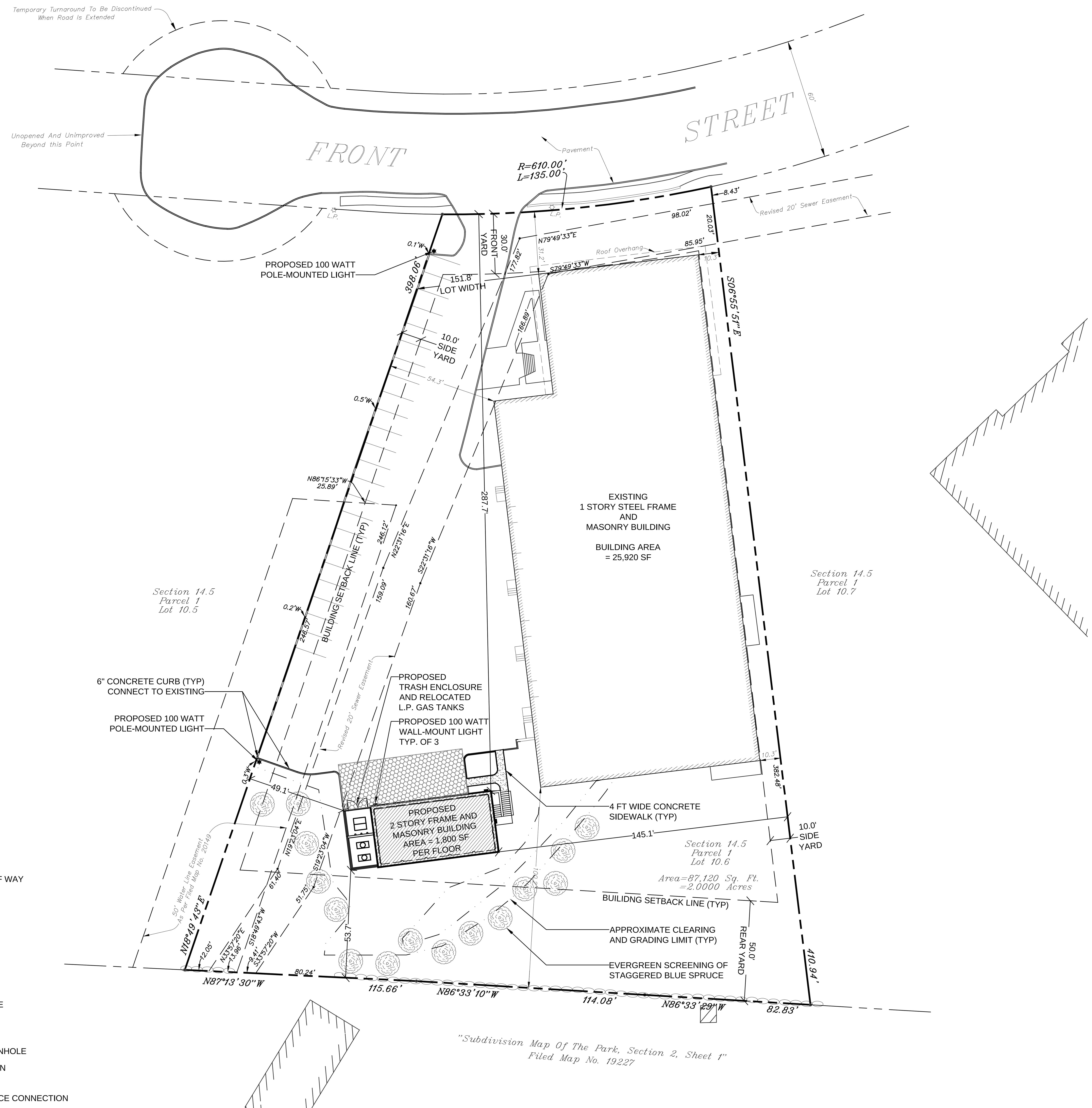
- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: _____

Land Owner's Signature: _____


1500 FRONT ST
ALL STAR WOODWORKING
PADDLEPRO
DIBIGGIO ADVERTISING
C3 HOLDINGS LLC
MASTER ATHLETICS
NOTICE
THIS PROPERTY IS THE
SUBJECT OF AN APPLICATION
BEFORE THE TOWN/TOWN
PLANNING BOARD

LOCATION MAP
NOT TO SCALE



LEGEND

— — 222 — —	EXISTING GRADING
×222.8	EXISTING SPOT GRADE
—— 200 ——	PROPOSED GRADING
	PROPERTY LINE / RIGHT OF WAY
	EXISTING EASEMENT LINE
	PROPOSED CURB
— W —	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING DRAINAGE INLET
— S —	EXISTING SANITARY LINE
	PROPOSED DRAINAGE LINE
	PROPOSED CATCH BASIN
(D)	PROPOSED DRAINAGE MANHOLE
— FD —	PROPOSED FOOTING DRAIN
— RD —	PROPOSED ROOF DRAIN
— SS —	PROPOSED SEWER SERVICE CONNECTION
— WS —	PROPOSED WATER SERVICE CONNECTION

NOTE:
1. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
2. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DONNELLY LAND SURVEYING, P.C., DATED APRIL 14, 2008. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
3. EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM AVAILABLE TOWN TOPOGRAPHY MAPS FOR THE PROJECT AREA.

SITE DATA:

OWNER / DEVELOPER:	C3 HOLDINGS LLC. 1500 FRONT STREET YORKTOWN HEIGHTS, NY 10598
PROJECT LOCATION:	1500 FRONT STREET YORKTOWN HEIGHTS, NY 10598
EXISTING TOWN ZONING:	I-2, PLANNED LIGHT INDUSTRY
PROPOSED USE:	I-2, PLANNED LIGHT INDUSTRY
TOWN TAX MAP DATA:	SECTION 48.11, BLOCK 1, LOT 51
SITE AREA :	2.00 ACRES (87,120.00 SF)
SEWAGE FACILITIES:	PUBLIC SEWERS, HALLOCKS MILL DISTRICT
WATER FACILITIES:	PUBLIC WATER FACILITIES, YORKTOWN CONSOLIDATED
SCHOOL DISTRICT:	YORKTOWN CENTRAL
FIRE DISTRICT:	YORKTOWN HEIGHTS

ZONING SCHEDULE:

ZONING DISTRICT:	I-2, PLANNED LIGHT INDUSTRY		
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	NONE	87,120.00 SF	NONE
MINIMUM LOT WIDTH:	75 FT	151.8 FT	NONE
MINIMUM LOT DEPTH:	75 FT	404.5 FT	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 F (SEE NOTE 1.1)	31.2 FT	NONE
REAR YARD SETBACK:	50 FT (SEE NOTE 1.2)	100.2 FT	NONE
SIDE YARD SETBACK:	10 FT (SEE NOTE 1.3)	10.3 FT AND 54.3 FT	NONE
ACCESSORY BUILDINGS:			
FRONT YARD SETBACK:	50 FT	287.7 FT	NONE
REAR YARD SETBACK:	50 FT (SEE NOTE 1.2)	53.7 FT	NONE
SIDE YARD SETBACK:	10 FT (SEE NOTE 1.3)	49.1 FT AND 145.1 FT	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
MAXIMUM COVERAGE (ALL BUILDINGS)	40% OF LOT AREA	29.7 % EXISTING 31.8 % PROPOSED	NONE NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	40 FEET	25 FT	NONE
ACCESSORY BUILDING - FEET:	40 FEET	25 FT	NONE

ZONING REGULATION NOTES:
1. STRUCTURES IN M-2, INDUSTRIAL MIXED USE DISTRICT SHALL COMPLY WITH THE FOLLOWING YARD SETBACKS:
   1.1. FRONT YARD SETBACK SHALL BE 30 FEET WITHOUT PARKING; 75 FEET WITH PARKING;
   1.2. REAR YARD SETBACK SHALL BE 30 FEET; IF ADJOINS RESIDENTIAL DISTRICT SHALL BE 50 FEET;
   1.3. NO MINIMUM SIDE YARD IS REQUIRED BUT IF PROVIDED SHALL BE 10 FEET; IF ADJOINS A RESIDENTIAL DISTRICT SHALL BE 50 FEET.

PARKING SCHEDULE

REQUIRED PARKING:	1 SPACE PER 3 EMPLOYEES + 10 VISITORS 18 EMPLOYEES / 3 SPACES PER EMPLOYEE = 6 SPACES 6 EMPLOYEE SPACES + 10 VISITOR SPACES = 16 TOTAL
EXISTING PARKING:	23 SPACES
ADDITIONAL REQUIRED PARKING: PROPOSED FIRST FLOOR USE: PROPOSED SECOND FLOOR USE:	0 SPACES (9 SPACES IF USED AS OFFICE - SEE BELOW) 3-BAY PARKING GARAGE (3 ADDITIONAL SPACES PROVIDED) STORAGE; IF USED AS OFFICE SPACE, REQUIRED PARKING = 5 SPACES PER 1,000 SF 5 SPACES x 1,800 SF / 1,000 SF = 9 SPACES
TOTAL PROVIDED PARKING:	26 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES

GENERAL NOTES:

1. The Engineer whose seal appears hereon has not been retained for supervision of construction, subsequently, he is not responsible for construction and therefore assumes no responsibility for construction practices, procedures, and results therefrom.
2. The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
3. The Town Engineer's office is to be notified 24 hours before commencing site construction.
4. All work is to be completed in accordance with the Town's Code of Practice and Specifications.
5. All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
6. All changes made to the plans shall be approved by the Engineer and any such changes shall be filed as amendments to the original Building Permit.
7. All written dimensions on the drawings shall take precedence over any scaled dimensions.
8. It is the Contractor's responsibility to call in a "CODE 53" prior to construction for underground utility locations.
9. Substructures and their encroachments below grade, if any, are not shown.
10. Contractor to verify all substructures encountered during construction.
11. Any proposed electric and/or telephone service lines are to be placed underground.
12. The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
13. The Contractor shall be responsible to the Owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
14. The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
15. *The contractor shall be responsible for obtaining all necessary permits for any blasting if required.*

0 15 30 60
SCALE: 1"=30'-0"

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Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
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www.SiteDesignConsultants.com

Engineer:
STATE OF NEW YORK · JOSEPH CARLO RIINA · LICENSED PROFESSIONAL ENGINEER
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:

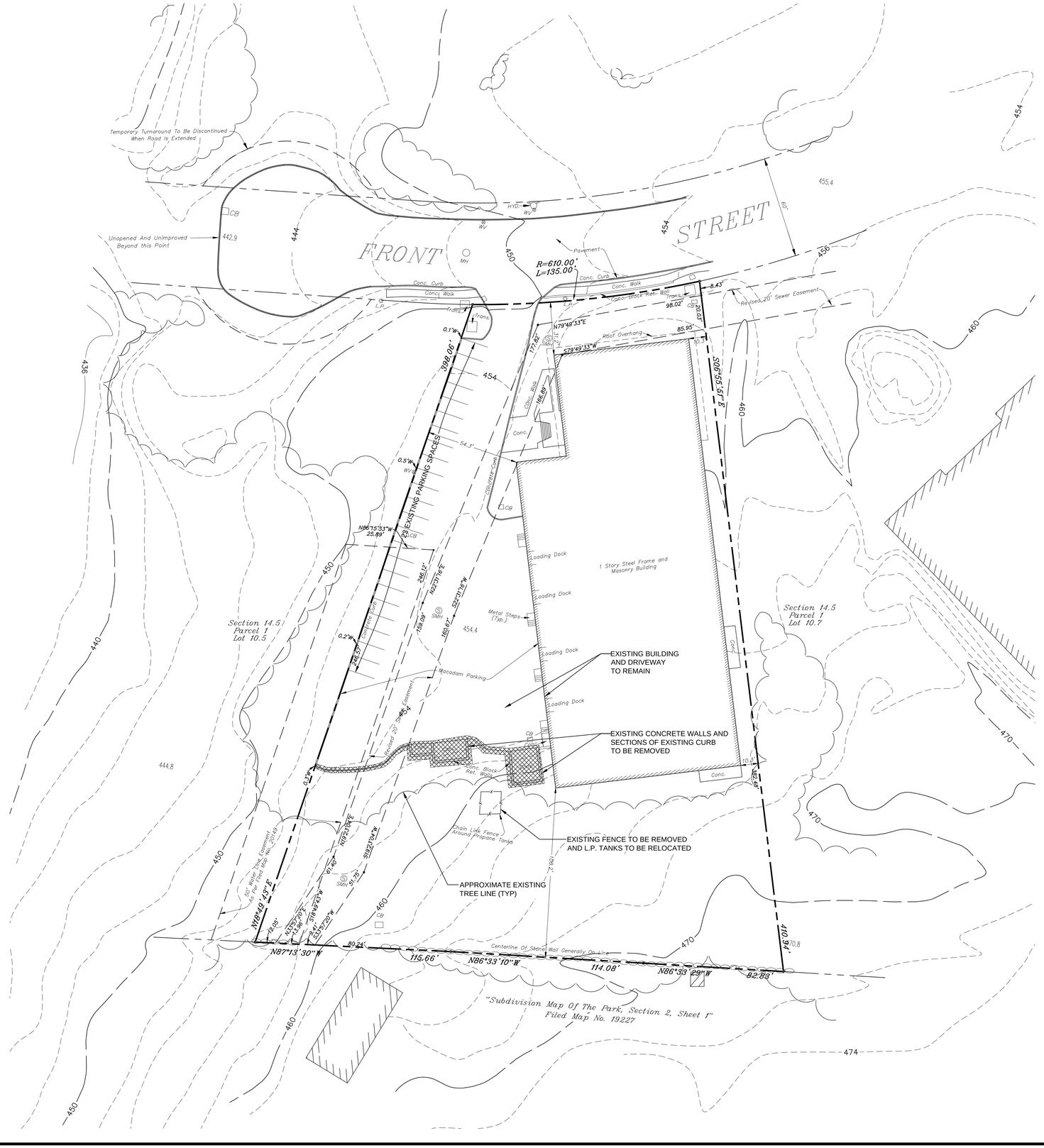
No.	Date	Comments:
1	1/12/09	Lighting / Planting
2	4/06/09	SWPPP
3	10/27/21	NEW OWNER

SCALE: 1" = 30'
DRAWN BY: JMC
DATE: 11/12/08

SITE PLAN

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
C3 HOLDINGS LLC.
1500 Front Street
Town Of Yorktown · Westchester Co., New York

Sheet 1 of 5



LEGEND

222	EXISTING GRADING
×222.8	EXISTING SPOT GRADE
200	PROPOSED GRADING
	PROPERTY LINE / RIGHT OF WAY
	EXISTING EASEMENT LINE
	PROPOSED CURB
W	EXISTING WATER LINE
	EXISTING FIRE HYDRANT
	EXISTING DRAINAGE INLET
S	EXISTING SANITARY LINE
	PROPOSED DRAINAGE LINE
	PROPOSED CATCH BASIN
D	PROPOSED DRAINAGE MANHOLE
FD	PROPOSED FOOTING DRAIN
RD	PROPOSED ROOF DRAIN
SS	PROPOSED SEWER SERVICE CONNECTION
WS	PROPOSED WATER SERVICE CONNECTION

NOTE:

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2. *THIS IS NOT A SURVEY*. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DONNELLY LAND SURVEYING, P.C., DATED APRIL 14, 2008. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
3. EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM AVAILABLE TOWN TOPOGRAPHY MAPS FOR THE PROJECT AREA.

0 15 30 60

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Revisions:

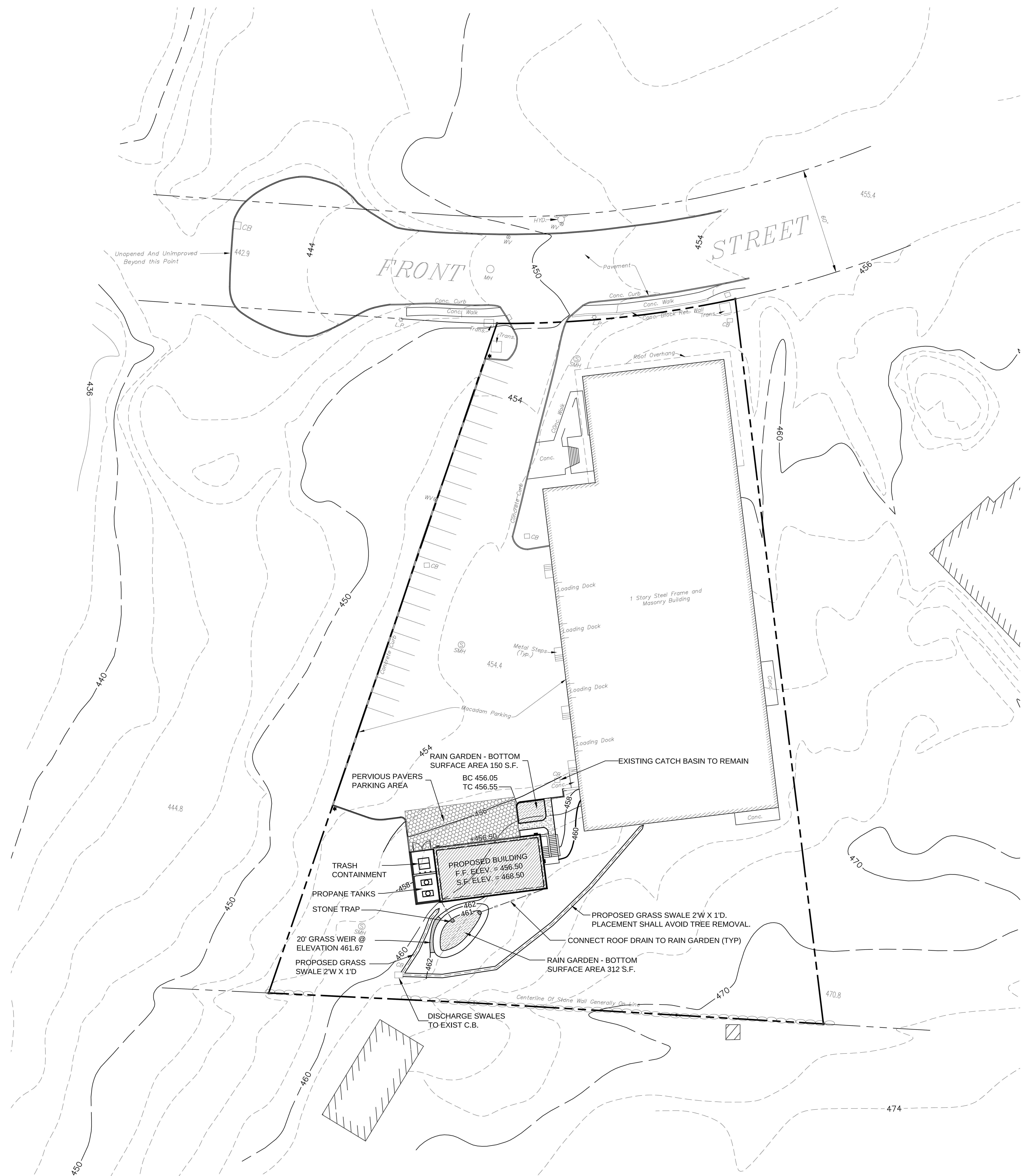
No.	Date	Comments:
1	11/1/09	Utility Planning
2	4/06/09	SWPPP
3	10.27.21	NEW OWNER

SCALE: 1" = 30'
DRAWN BY: JMC
DATE: 11/12/08

EXISTING CONDITIONS PLAN

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
C3 HOLDINGS LLC.
1500 Front Street
Town Of Yorktown Westchester Co., New York

Sheet 2 of 5



GENERAL GRADING & UTILITY NOTES:

1. It is the Contractor's responsibility to call in a "Code 53" prior to any excavation or construction of underground utilities.
2. No top soil shall be removed from the site.
3. Any and all construction demolition debris generated by this project shall be properly handled by the Contractor and disposed of at an approved off-site disposal facility.
4. All structures shall be set flush with pavement finished grade.
5. Any proposed electric and/or telephone service lines are to be placed underground.
6. The Contractor shall be responsible to obtain all necessary permits for any blasting if required and permitted by the Town.
7. Roof leaders and footing drains shall empty into storm drainage systems. Elevation of footing shall be adjusted accordingly to permit proper drainage. Under no circumstances shall the discharge of ground water or storm water, either by gravity or by pumping, be discharged to any sanitary sewer system.
8. It is the Contractor's responsibility to properly shore existing utilities & existing improvements as required by construction
9. The building shall be constructed at such an elevation that the ground will slope away from it in all directions. The Owner shall guarantee positive drainage.
10. Owner shall provide designed retaining walls on all slopes exceeding 1V:1.5H.
11. Swales may be required, as determined by the Town Engineer, along property lines to minimize rain run-off.

LEGEND

- 222 — EXISTING GRADING
- ×222.8 — EXISTING SPOT GRADE
- 200 — PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- EXISTING EASEMENT LINE
- PROPOSED CURB
- W — EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING DRAINAGE INLET
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3	10/27/21	NEW OWNER

SCALE: 1" = 30'

DRAWN BY: JMC

DATE: 11/12/08

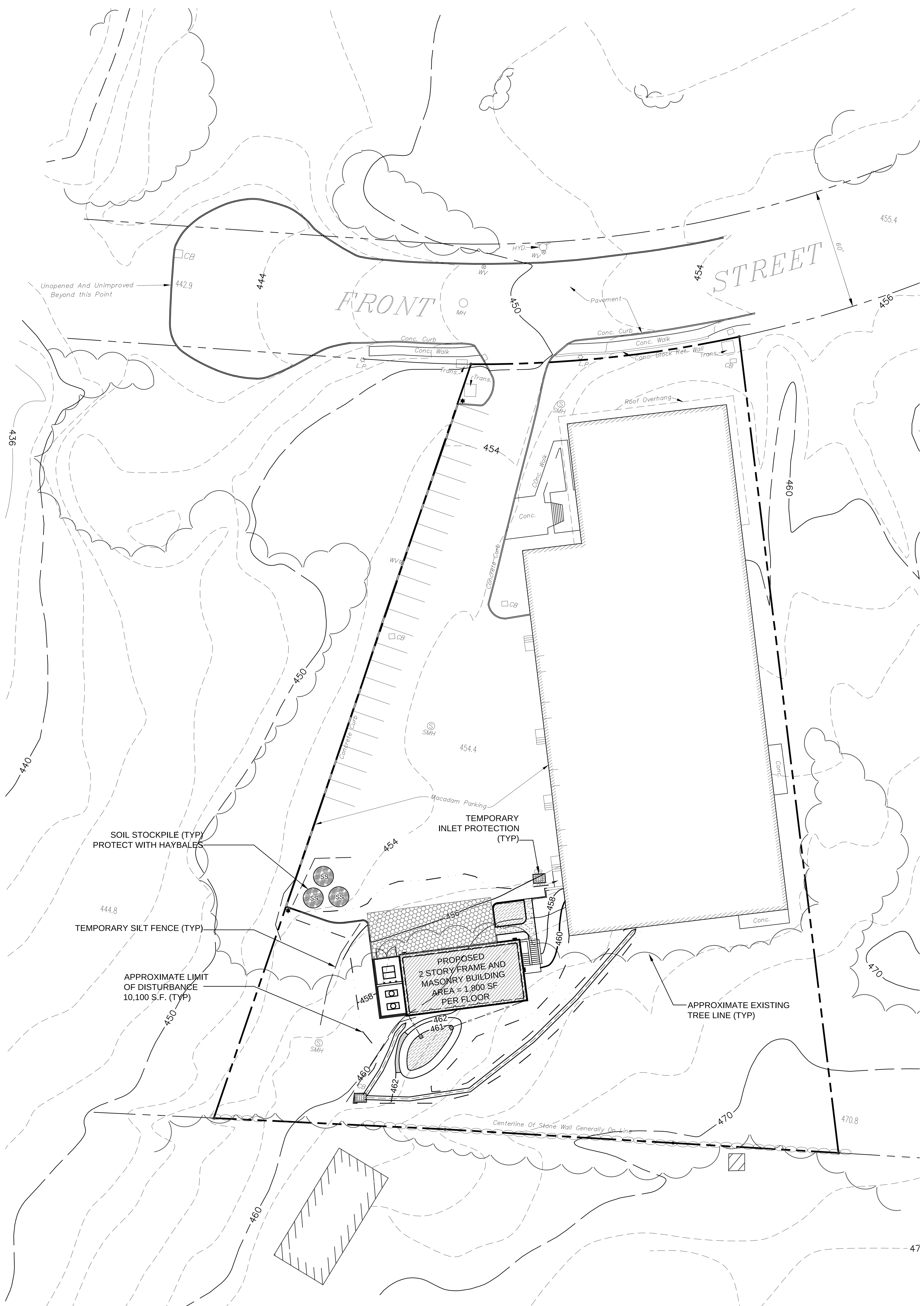
GRADING AND UTILITY PLAN

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
C3 HOLDINGS LLC.
1500 Front Street
Town Of Yorktown Westchester Co., New York

Sheet 3 of 5

Construction Sequence

1. Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and Stormwater practices.
2. Prior to commencement of work, an on-site preconstruction meeting will be held. This will be attended by the Owner responsible for any fines or penalties, the Operator responsible for complying with the approved construction drawings including the E&SC plan and details, the Environmental Planner responsible for E&SC monitoring during construction, Town representatives from the Engineering Department and Code Enforcement, and a NYC DEP representative.
3. Temporary erosion and sediment controls (E&SCs) as shown on the approved construction drawings shall be installed as detailed.
4. Remove brush and other surface features in the limit of construction.
5. Excavate for and install foundation. Upon completion of foundation walls backfill and grade area around building.
6. Construct swales, rear rain garden, and stabilize with permanent vegetation all areas in rear of building not subject to further disturbance.
7. Begin construction of the remainder of the building.
8. Install concrete curbing.
9. Install the porous paver section with stone reservoir and construct rain garden in the front in the building.
10. Install walks and final plantings.
11. Topsoil, rake, seed and mulch all disturbed areas.
12. Upon stabilization of all disturbed areas and approval from the Town representative remove all temporary erosion and sediment controls.



LEGEND

Symbol	Description
222	EXISTING GRADING
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RD	PROPOSED ROOF DRAIN
SS	PROPOSED SEWER SERVICE CONNECTION
WS	PROPOSED WATER SERVICE CONNECTION
SS SS	PROPOSED SOIL STOCKPILES
	PROPOSED SILT FENCE
	PROPOSED CRUSHED STONE INLET PROTECTION
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED LIMIT OF DISTURBANCE
EB/PS	PROPOSED EROSION BLANKET / PERMANENT SEED
	EXISTING TREE TO BE PROTECTED
	EXISTING TREE TO BE REMOVED

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GENERAL EROSION CONTROL NOTES:

1. Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
2. Catch basin inlet protection must be installed and operating at all times until tributary areas and basin have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
3. All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
4. The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
5. All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 14 days. Refer to soil stockpile details.
6. Any disturbed areas that will be left exposed more than 14 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
7. All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
8. The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
9. Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
10. All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
11. All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
12. Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Village officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place one half the volume of seed mix prior to laying net, and place the remaining seed after laying the stabilized blanket.
13. To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
14. Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-08-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
1. Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
2. Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
3. Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
4. Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or the sediment pond. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
5. For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
6. All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
7. All sites shall be stabilized with erosion control materials within 14 days of final grading.
8. Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	———	————	INSP.	INSP.	CLEAN/ REPLACE	REMOVE
WHEEL CLEANER	CLEAN	————	————	————	REPLACE	REMOVE
INLET PROTECTION	———	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor. The depth can be measured from the inspection port of the chamber.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):
1. The pH of the material shall be 5.5 to 7.6.
2. The organic content shall not be less than 2% or more than 70%.
3. Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

1. Site preparation:
   - 1.1. Install erosion control measures.
   - 1.2. Scarify compacted soil areas.
   - 1.3. Lime as required to ph 6.5.
   - 1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F.
   - 1.5. Incorporate amendments into soil with disc harrow.
2. Seed mixtures for use on swales and cut and fill areas.

MIXTURE		LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREEPING RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREEPING RED FESCUE	20
	REDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20

3. SEEDING
   - 3.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
   - 3.2. Apply soil amendments and integrate into soil.
   - 3.3. Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
   - 3.4. Stabilize seeded areas in drainage swales.
   - 3.5. Irrigate to fully saturate soil layer, but not to dislodge planting soil.
   - 3.6. Seed between April 1st and May 15th or August 15th and October 15th. Seeding may occur May 15th and August 15th if adequate irrigation is provided.

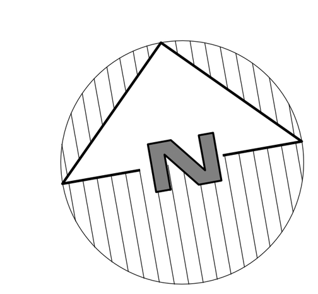
TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:
1. Install erosion control measures.
2. Scarify areas of compacted soil.
3. Fertilize with 10-10-10 at 400/acre.
4. Lime as required to ph 6.5.

SEED SPECIES:

MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:
Same as permanent vegetative cover



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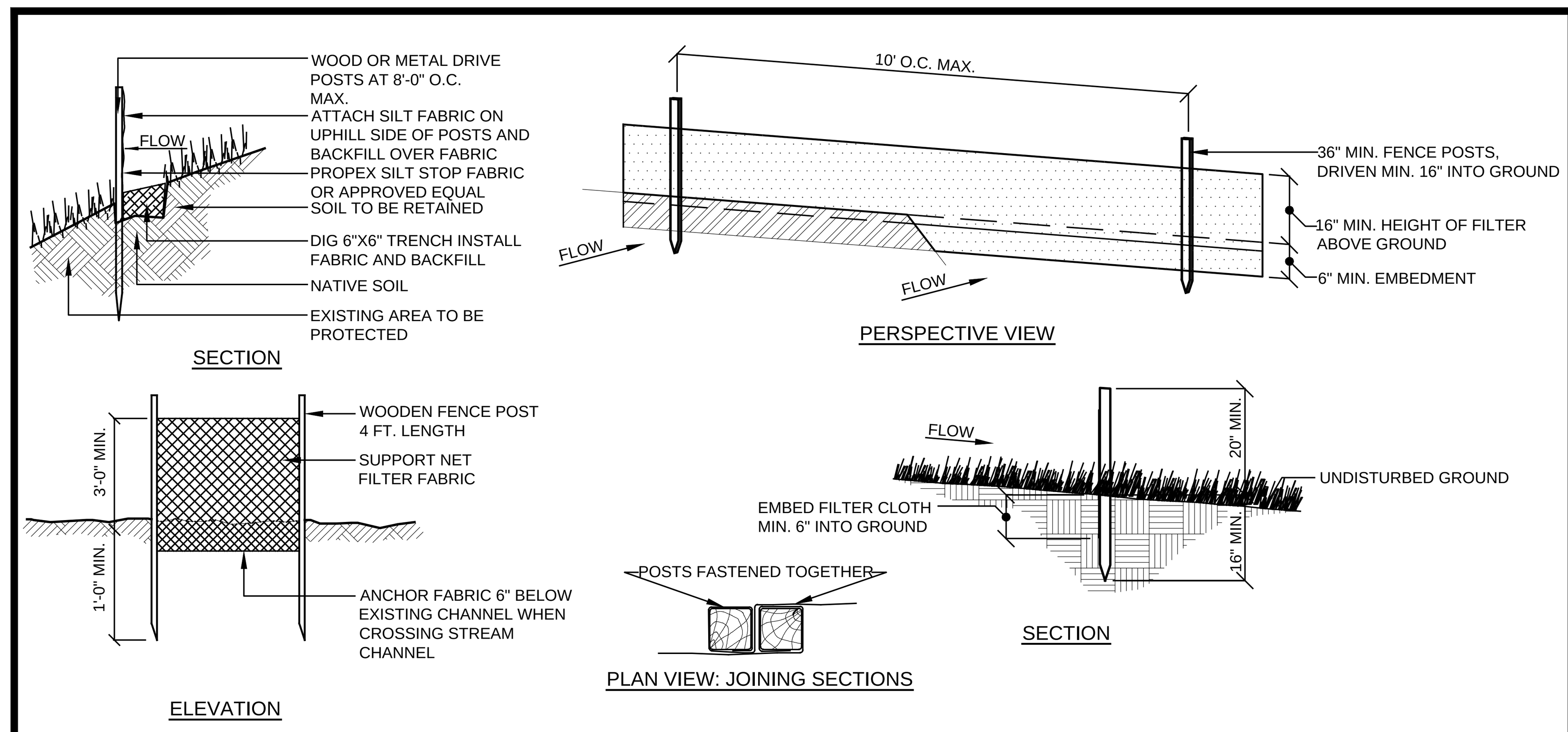
3	10/27/21	NEW OWNER

SCALE: 1" = 30'
DRAWN BY: JMC
DATE: 11/12/08

EROSION AND SEDIMENT CONTROL PLAN

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
C3 HOLDINGS LLC.
1500 Front Street
Town Of Yorktown
Westchester Co., New York

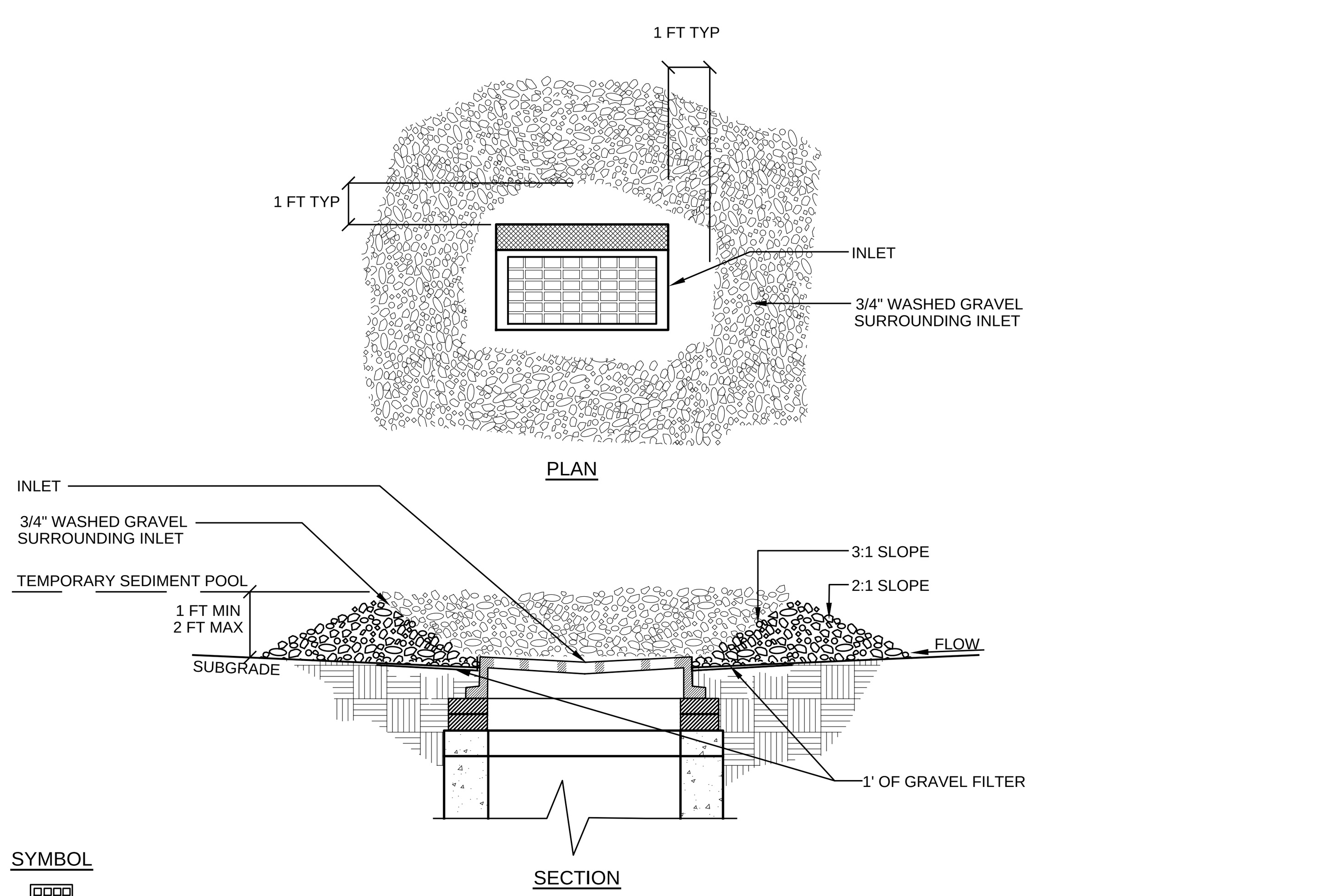
Sheet 4 of 5



NOTES:
1. Filter cloth to be fastened securely to post: steel either t or u type or 2" hardwood posts at top and mid section.
2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be mirafi 100x, stabilinka t140n or approved equal
3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
4. Excavate 4 inch trench along the lower perimeter of the site.
5. Unroll a section at a time and position the post against the back (downstream) wall of the trench (net side away from direction of flow).
6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
8. Join sections as shown above.

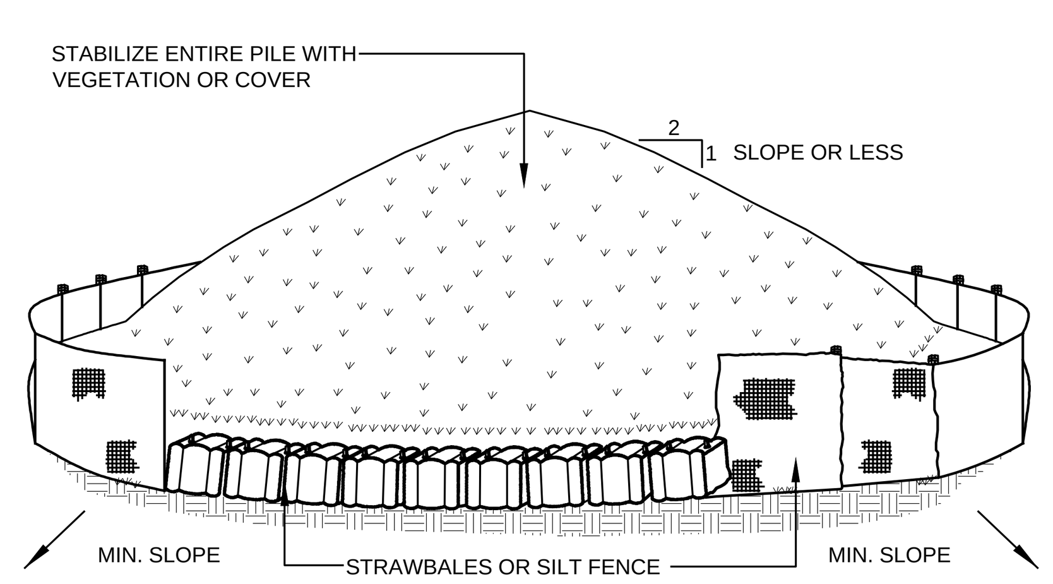
SYMBOL

E-1 SILT FENCE DETAIL
NOT TO SCALE



SYMBOL

E-2 INLET PROTECTION DETAIL
NOT TO SCALE

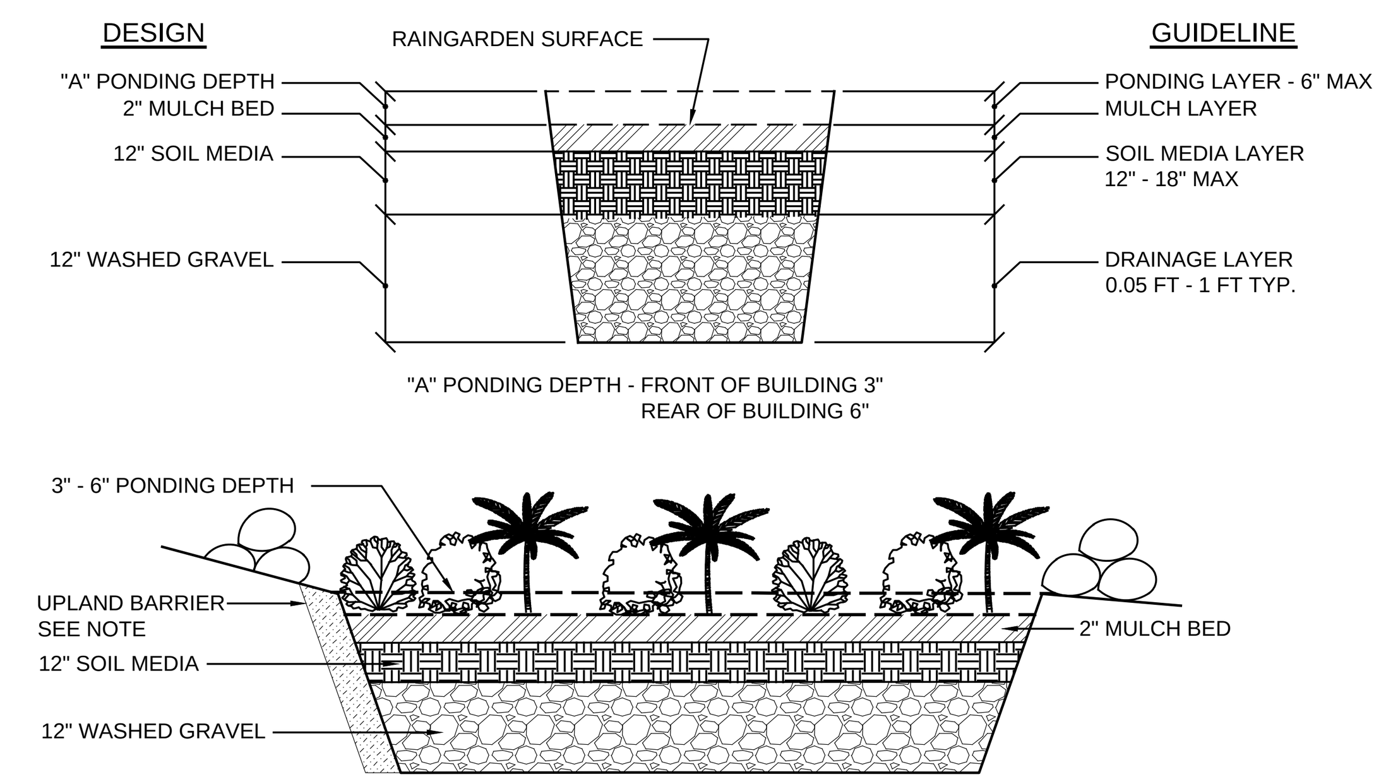


SYMBOL

SS

NOTES:
1. Area chosen for stockpiling operations shall be dry and stable.
2. Maximum slope of stockpile shall be 1:2.
3. Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
4. See detail for installation of silt fence

E-3 SOIL STOCKPILE DETAIL
NOT TO SCALE



SOIL MEDIA SPECIFICATIONS:
COMPOSITION - 50% SAND, 20-30% TOPSOIL W/ LESS THAN 5% CLAYS, 20-30% LEAF COMPOST
POROSITY - 0.20

DRAINAGE LAYER SPECIFICATIONS:
POROSITY - 0.40

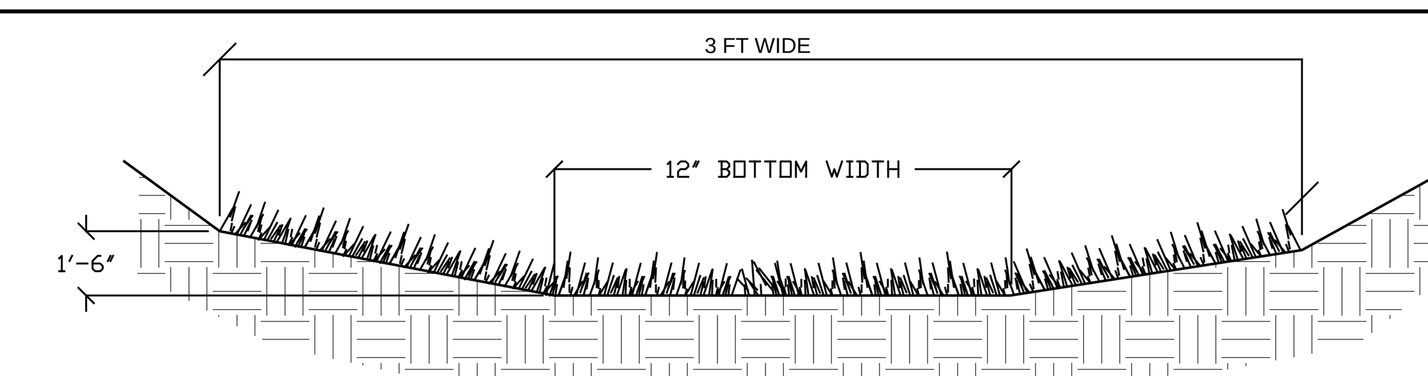
PLANT SPECIFICATIONS:

Suggested Shrubs List
WITCH HAZEL(Hamemelis virginiana)
WINTERBERRY(Ilex verticillata)
ARROWWOOD (Viburnum dentatum)
BROOK-SIDE ALDER (Alnus serrulata)
RED-OISER DOGWOOD (Cornus stolonifera)
SWEET PEPPERBUSH (Clethra alnifolia)

Suggested Herbaceous Plant List
CINNAMON FERN (Osmunda cinnamomea)
CUTLEAF CONEFLOWER (Rudbeckia laciniata)
WOOLGRASS (Scirpus cyperinus)
NEW ENGLAND ASTER (Aster novea-angliae)
FOX SEDGE (Carex culpinoidea)
SPOTTED JOE-PYE WEED (Eupatorium maculatum)
SWITCH GRASS (Panicum virgatum)
GREAT BLUE LOBELIA (Lobelia siphatica)
WILD BERGAMOT (Monarda fisulosa)
RED MILKWEED (Asclepias incarnata)

NOTE:
1. The upland side of the rain garden shall be protected from upgradient subsurface conditions with the installation of either a 12" thick clay barrier or placement of 6 mil polyethylene sheeting along the excavated side-walls of the drainage layers.

SW-1 RAIN GARDEN DETAIL
NOT TO SCALE

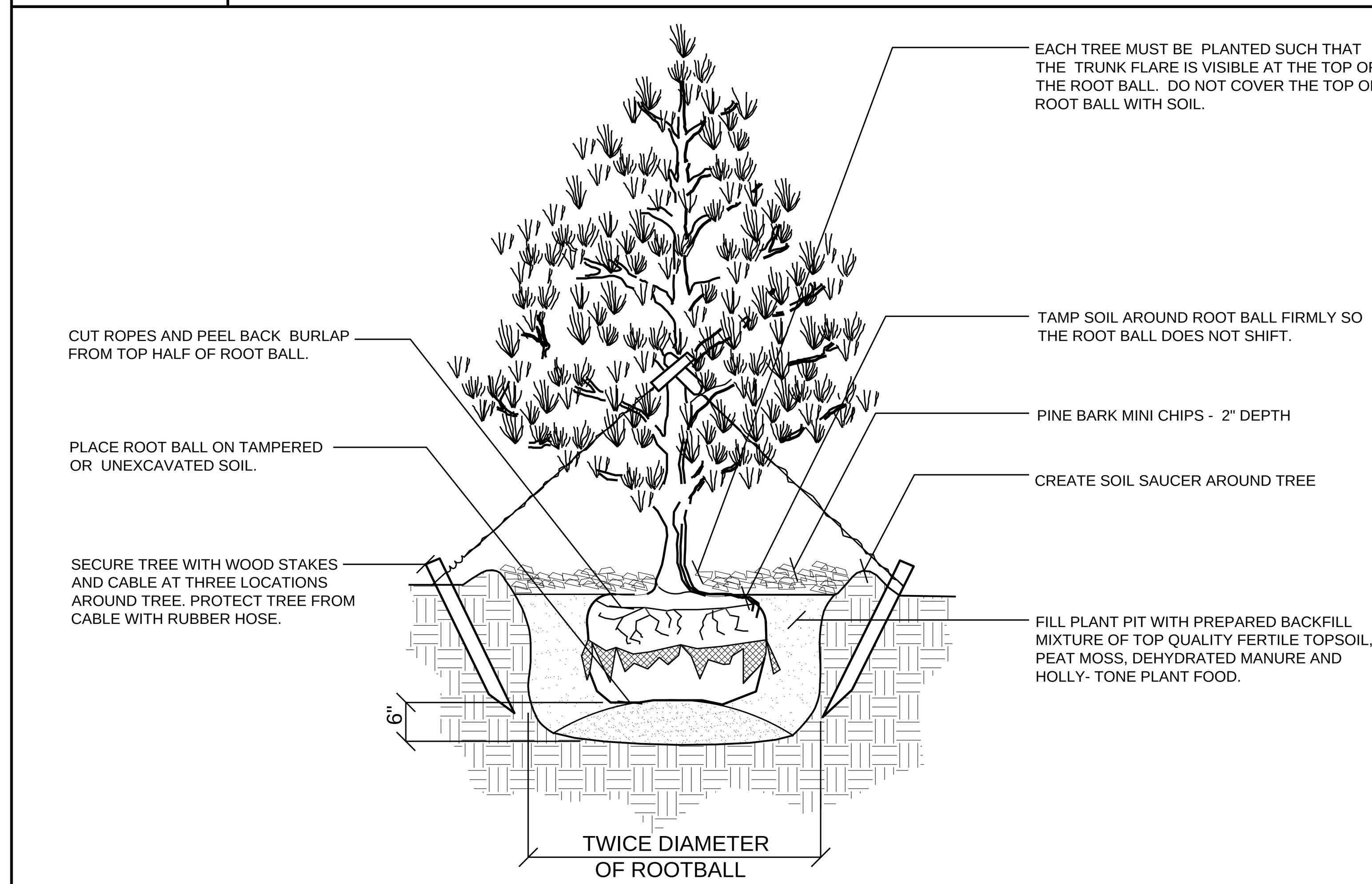


SYMBOL

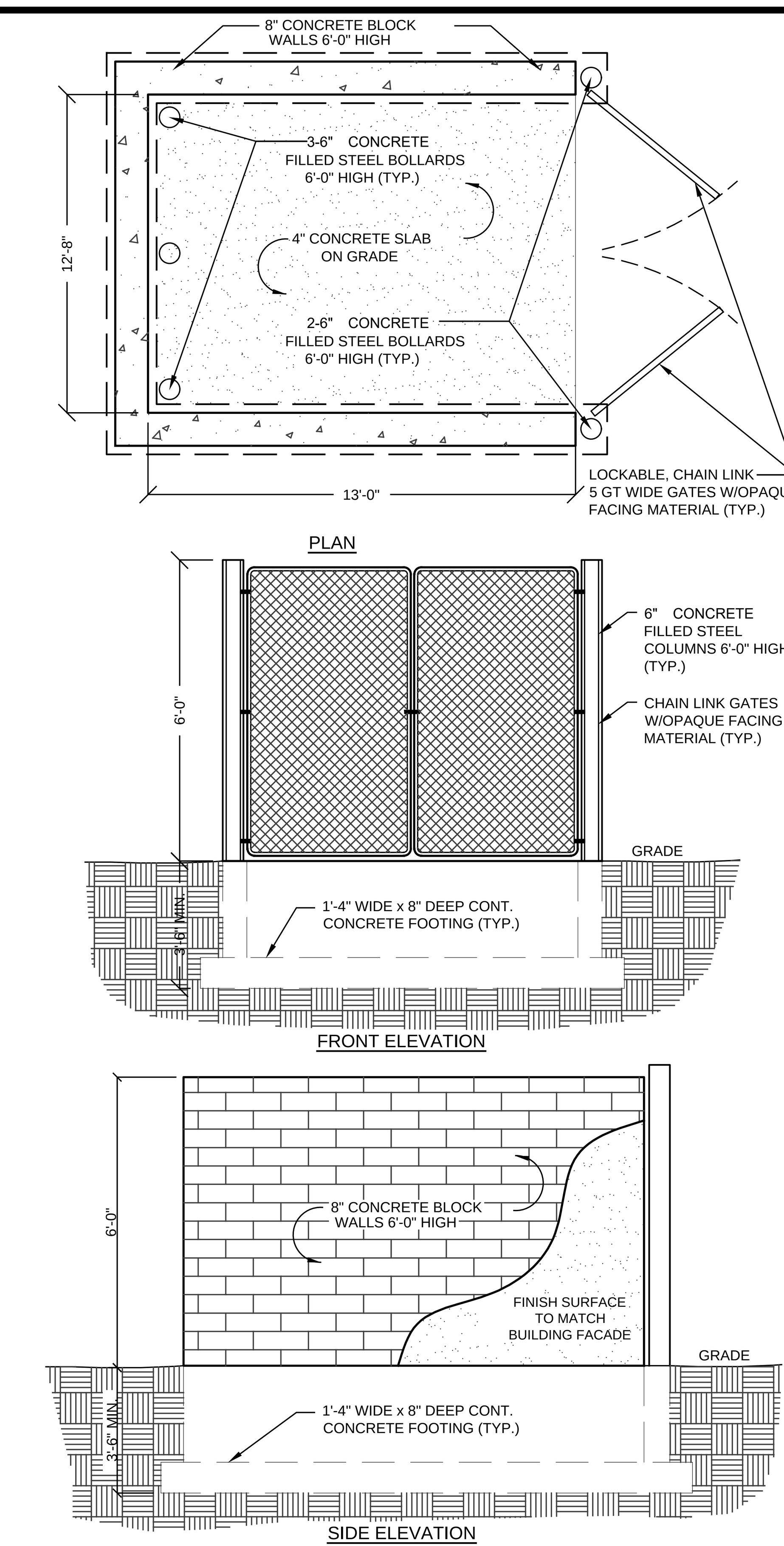
GL

NOTE:
1. GRASS SWALE TO BE SEEDED WITH GRASS MIXTURE PER 1000 S.F AS FOLLOWS:
KENTUCKY BLUEEGRASS: .60LBS
CREEPING RED FESCUE: .50 LBS
PERENNIAL RYEGRASS: .20LBS
2. THE FOUNDATION AREA SHALL BE CLEARED OF TREES, STUMPS,SOD, LOOSE ROCK, OR OTHER OBJECTIONABLE MATERIALS.
3. THE CROSS SECTION SHALL BE EVACUATED TO THE NEAT LINES AND GRADES SHOWN ON THE PLANS. OVER EXCAVATED AREAS SHALL BE BACKFILLED WITH MOIST SOIL COMPACTED TO THE DENSITY OF THE SURROUNDING MATERIAL.
4. NO ABRUPT DEVIATIONS FROM DESIGN GRADE OR HORIZONTAL ALIGNMENT SHALL BE PERMITTED.
5. CONSTRUCTION OPERATIONS SHALL BE DONE IN SUCH A MANNER THAT EROSION, AIR AND WATER PULLTION WILL BE MINIMIZED AND HELD WITHIN LEGAL LIMITS. ALL DISTURBED AREAS SHALL BE VEGETATED OR OTHERWISE PROTECTED AGAINST SOIL EROSION.

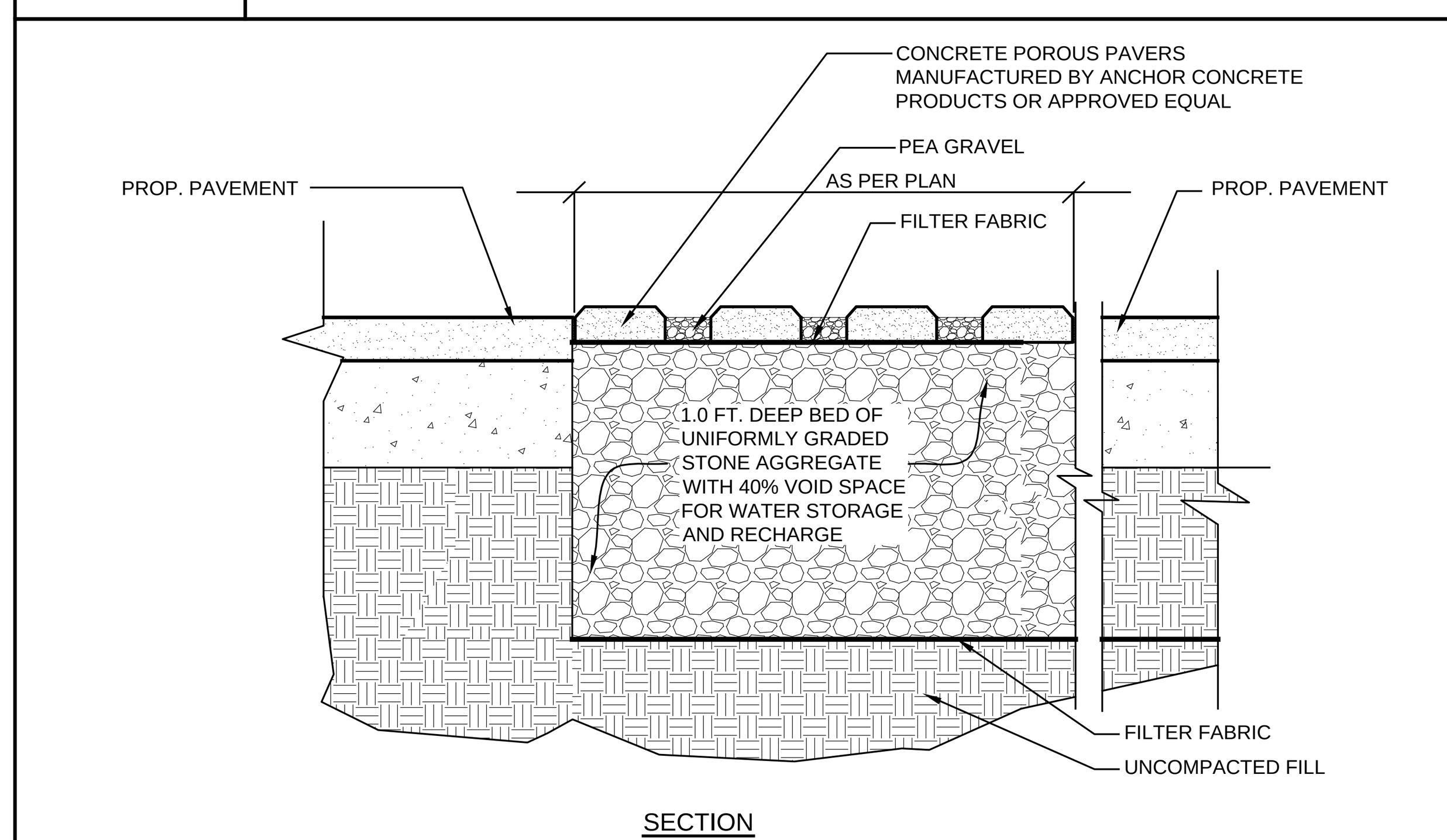
SW-2 GRASS SWALE DETAIL
NOT TO SCALE



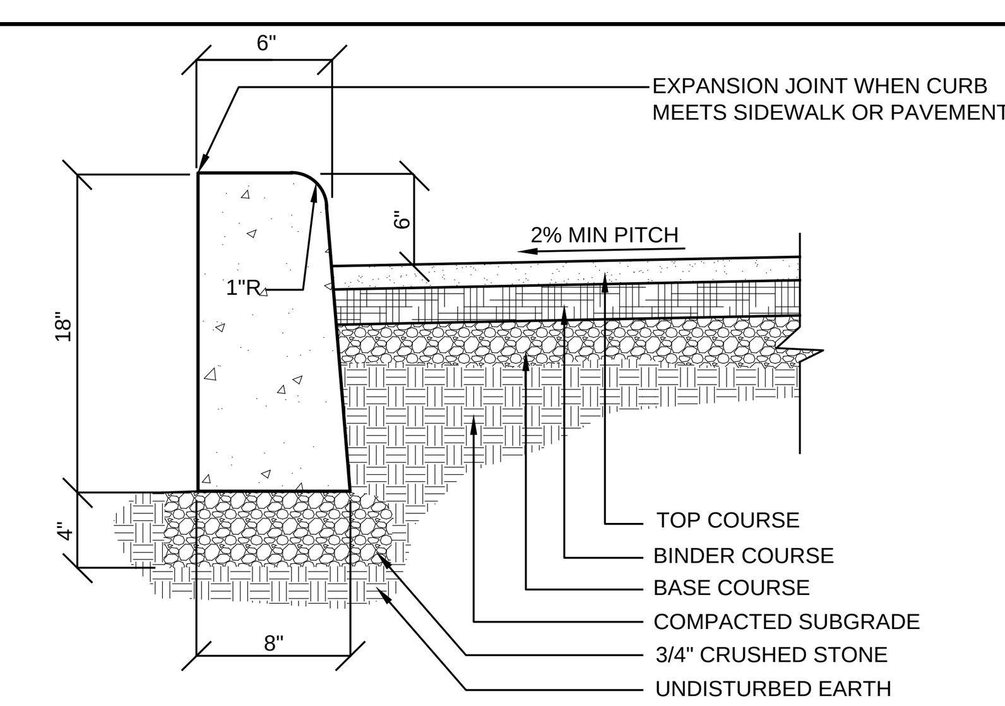
S-1 EVERGREEN PLANTING DETAIL
NOT TO SCALE



S-2 TRASH ENCLOSURE DETAIL
NOT TO SCALE



R-1 POROUS PAVER WITH STONE RESEVOIR DETAIL
NOT TO SCALE



NOTE:
1. Provide 1/2" expansion joint in concrete curb every ten feet.
2. Construct curb with class A concrete (3000 psi).

R-2 CONCRETE CURB DETAIL
NOT TO SCALE

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.SiteDesignConsultants.com

Engineer:
STATE OF NEW YORK
JOSEPH CARLO RIINA
NO. 64431
LICENSED PROFESSIONAL ENGINEER
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:		
No.	Date	Comments:
1	10/27/21	NEW OWNER

SCALE: 1" = NTS
DRAWN BY: JMC
DATE: 4/06/09

DETAIL SHEET

PROPOSED GARAGE WAREHOUSE
PREPARED FOR
C3 HOLDINGS LLC.
1500 Front Street
Town Of Yorktown
Westchester Co., New York

Sheet 5 of 5

617.20
Appendix A
State Environmental Quality Review
FULL ENVIRONMENTAL ASSESSMENT FORM

Purpose: The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

Part 1: Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.

Part 2: Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially-large impact. The form also identifies whether an impact can be mitigated or reduced.

Part 3: If any impact in Part 2 is identified as potentially-large, then Part 3 is used to evaluate whether or not the impact is actually important.

THIS AREA FOR LEAD AGENCY USE ONLY

DETERMINATION OF SIGNIFICANCE -- Type 1 and Unlisted Actions

Identify the Portions of EAF completed for this project: ☑ Part 1 ☐ Part 2 ☐ Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

☐ A. The project will not result in any large and important impact(s) and, therefore, is one which **will not** have a significant impact on the environment, therefore **a negative declaration will be prepared.**

☐ B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore **a CONDITIONED negative declaration will be prepared.***

☐ C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore **a positive declaration will be prepared**.

*A Conditioned Negative Declaration is only valid for Unlisted Actions

Name of Action

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

website

Date

PART 1--PROJECT INFORMATION
Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

Name of Action C3 Holdings LLC

Location of Action (include Street Address, Municipality and County)

1500 Front Street
Yorktown Heights, Westchester County

Name of Applicant/Sponsor Robert Considine

Address 1500 Front Street

City / PO Yorktown Hgts. State NY Zip Code 10598

Business Telephone 914-837-4000

Name of Owner (if different) Same as above

Address

City / PO State Zip Code

Business Telephone

Description of Action:

Project includes the development of a 2-story steel frame and masonry building approximately 3600 sf total in size (1800 sf per floor). The building is to be used as a three-bay parking garage on the first floor and a material storage area on the second floor for one of the existing business uses located within the existing building already on site. Associated utilities will also be constructed (storm, sewer, water, electric).

Please Complete Each Question--Indicate N.A. if not applicable

A. SITE DESCRIPTION

Physical setting of overall project, both developed and undeveloped areas.

1. Present Land Use: ☐ Urban ☑ Industrial ☐ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)
   ☐ Forest ☐ Agriculture ☐ Other _____

2. Total acreage of project area: 2.0 acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
Meadow or Brushland (Non-agricultural)	0 acres	0 acres
Forested	0.62 acres	0.44 acres
Agricultural (Includes orchards, cropland, pasture, etc.)	0 acres	0 acres
Wetland (Freshwater or tidal as per Articles 24,25 of ECL)	0 acres	0 acres
Water Surface Area	0 acres	0 acres
Unvegetated (Rock, earth or fill)	0 acres	0 acres
Roads, buildings and other paved surfaces	1.14 acres	1.25 acres
Other (Indicate type) Lawn / Landscape	0.24 acres	0.31 acres

3. What is predominant soil type(s) on project site?

   a. Soil drainage: ☐ Well drained ____% of site ☑ Moderately well drained 100 % of site.
   ☐ Poorly drained ____% of site

   b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? N/A acres (see 1 NYCRR 370).

4. Are there bedrock outcroppings on project site? ☐ Yes ☑ No

   a. What is depth to bedrock >3 (in feet)

5. Approximate percentage of proposed project site with slopes:

   ☑ 0-10% 85 % ☑ 10- 15% 10 % ☑ 15% or greater 5 %

6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or National Registers of Historic Places? ☐ Yes ☑ No

7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? ☐ Yes ☑ No

8. What is the depth of the water table? >3 (in feet)

9. Is site located over a primary, principal, or sole source aquifer? ☐ Yes ☑ No

10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? ☐ Yes ☑ No

11. Does project site contain any species of plant or animal life that is identified as threatened or endangered? ☐ Yes ☒ No

According to:

To be confirmed in writing by NYNHP.

Identify each species:

12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations?

☐ Yes ☒ No

Describe:

13. Is the project site presently used by the community or neighborhood as an open space or recreation area?

☐ Yes ☒ No

If yes, explain:

14. Does the present site include scenic views known to be important to the community? ☐ Yes ☒ No

15. Streams within or contiguous to project area:

None.

a. Name of Stream and name of River to which it is tributary

N/A

16. Lakes, ponds, wetland areas within or contiguous to project area:

None.

b. Size (in acres):

N/A

17. Is the site served by existing public utilities? ☒ Yes ☐ No

a. If **YES,** does sufficient capacity exist to allow connection? ☒ Yes ☐ No

b. If **YES**, will improvements be necessary to allow connection? ☒ Yes ☐ No

18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐ Yes ☒ No

19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? ☐ Yes ☒ No

20. Has the site ever been used for the disposal of solid or hazardous wastes? ☐ Yes ☒ No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate).

a. Total contiguous acreage owned or controlled by project sponsor: 2.0 acres.

b. Project acreage to be developed: 2.0 acres initially; 2.0 acres ultimately.

c. Project acreage to remain undeveloped: 0.0 acres.

d. Length of project, in miles: N/A (if appropriate)

e. If the project is an expansion, indicate percent of expansion proposed. 2.1 %

f. Number of off-street parking spaces existing 23 ; proposed 23

g. Maximum vehicular trips generated per hour: 15 (upon completion of project)?

h. If residential: Number and type of housing units:

	One Family	Two Family	Multiple Family	Condominium
Initially	NA	NA	NA	NA
Ultimately	NA	NA	NA	NA

i. Dimensions (in feet) of largest proposed structure: 25 height; 30 width; 60 length.

j. Linear feet of frontage along a public thoroughfare project will occupy is? 135 ft.

2. How much natural material (i.e. rock, earth, etc.) will be removed from the site? 250 cy tons/cubic yards.

3. Will disturbed areas be reclaimed ☒ Yes ☐ No ☐ N/A

a. If yes, for what intended purpose is the site being reclaimed?

The disturbed areas will be reclaimed for the purpose of the construction of the building as well as stormwater management improvements.

b. Will topsoil be stockpiled for reclamation? ☒ Yes ☐ No

c. Will upper subsoil be stockpiled for reclamation? ☒ Yes ☐ No

4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 0.18 acres.

5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?

☐ Yes ☒ No

6. If single phase project: Anticipated period of construction: 8 months, (including demolition)

7. If multi-phased:

   a. Total number of phases anticipated N/A (number)

   b. Anticipated date of commencement phase 1: N/A month N/A year, (including demolition)

   c. Approximate completion date of final phase: N/A month N/A year.

   d. Is phase 1 functionally dependent on subsequent phases? ☐ Yes ☐ No

8. Will blasting occur during construction? ☐ Yes ☒ No

9. Number of jobs generated: during construction 12 ; after project is complete

10. Number of jobs eliminated by this project 0 .

11. Will project require relocation of any projects or facilities? ☐ Yes ☒ No

    If yes, explain:

12. Is surface liquid waste disposal involved? ☐ Yes ☒ No

    a. If yes, indicate type of waste (sewage, industrial, etc) and amount _____

    b. Name of water body into which effluent will be discharged _____

13. Is subsurface liquid waste disposal involved? ☐ Yes ☒ No Type _____

14. Will surface area of an existing water body increase or decrease by proposal? ☐ Yes ☒ No

    If yes, explain:

15. Is project or any portion of project located in a 100 year flood plain? ☐ Yes ☒ No

16. Will the project generate solid waste? ☒ Yes ☐ No

    a. If yes, what is the amount per month? 1 tons

    b. If yes, will an existing solid waste facility be used? ☒ Yes ☐ No

    c. If yes, give name Charles Point ; location Peekskill, NY

    d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? ☐ Yes ☒ No

e. If yes, explain:

17. Will the project involve the disposal of solid waste? ☐ Yes ☒ No

    a. If yes, what is the anticipated rate of disposal? _____ tons/month.

    b. If yes, what is the anticipated site life? _____ years.

18. Will project use herbicides or pesticides? ☐ Yes ☒ No

19. Will project routinely produce odors (more than one hour per day)? ☐ Yes ☒ No

20. Will project produce operating noise exceeding the local ambient noise levels? ☐ Yes ☒ No

21. Will project result in an increase in energy use? ☒ Yes ☐ No

    If yes, indicate type(s)

The project will require energy usage for the water, electric and gas services.

22. If water supply is from wells, indicate pumping capacity N/A gallons/minute.

23. Total anticipated water usage per day 50 gallons/day.

24. Does project involve Local, State or Federal funding? ☐ Yes ☒ No

    If yes, explain:

25. Approvals Required:

			Type	Submittal Date
City, Town, Village Board	■ Yes	■ No		
City, Town, Village Planning Board	■ Yes	☐ No	Site Plan Approval Erosion Control Permit	
City, Town Zoning Board	☐ Yes	■ No		
City, County Health Department	☐ Yes	■ No		
Other Local Agencies	■ Yes	■ No		
Other Regional Agencies	☐ Yes	■ No		
State Agencies	■ Yes	☐ No	NYSDEC - Notice of Intent under GP-0-08-001	
Federal Agencies	☐ Yes	■ No		

C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? ■ Yes ☐ No

If Yes, indicate decision required:

☐ Zoning amendment	☐ Zoning variance	☐ New/revision of master plan	☐ Subdivision
■ Site plan	☐ Special use permit	☐ Resource management plan	☐ Other

2. What is the zoning classification(s) of the site?

M-2, Industrial Mixed Use

3. What is the maximum potential development of the site if developed as permitted by the present zoning?

Maximum Building Coverage of 40% of Lot area. Existing coverage is 29.7%.

4. What is the proposed zoning of the site?

No change. M-2, Industrial Mixed Use

5. What is the maximum potential development of the site if developed as permitted by the proposed zoning?

Maximum Building Coverage of 40% of Lot area. Proposed coverage is 31.8%.

6. Is the proposed action consistent with the recommended uses in adopted local land use plans? ■ Yes ☐ No

7. What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action?

M-2, Industrial Mixed Use
M-1, Planned Light Industrial
R-3, Multi-Family Residential
R1-10, Single-Family Residential - 1/4 acre
R1-20, Single-Family Residential - 1/2 acre
R1-40, Single-Family Residential - 1 acre
R1-200, Single-Family Residential - 5 acre

8. Is the proposed action compatible with adjoining/surrounding land uses with a ¼ mile? ■ Yes ☐ No

9. If the proposed action is the subdivision of land, how many lots are proposed? NA

   a. What is the minimum lot size proposed? _____

10. Will proposed action require any authorization(s) for the formation of sewer or water districts? ☐ Yes ☒ No

11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection?

☒ Yes ☐ No

a. If yes, is existing capacity sufficient to handle projected demand? ☒ Yes ☐ No

The proposed action will require a demand for police and fire protection.

12. Will the proposed action result in the generation of traffic significantly above present levels? ☐ Yes ☒ No

a. If yes, is the existing road network adequate to handle the additional traffic. ☐ Yes ☐ No

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name Joseph Riina Date 10/27/21

Signature

Title

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

PART 2 - PROJECT IMPACTS AND THEIR MAGNITUDE

Responsibility of Lead Agency

General Information (Read Carefully)

! In completing the form the reviewer should be guided by the question: Have my responses and determinations been **reasonable?** The reviewer is not expected to be an expert environmental analyst.

! The **Examples** provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.

! The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.

! The number of examples per question does not indicate the importance of each question.

! In identifying impacts, consider long term, short term and cumulative effects.

Instructions (Read carefully)

a. Answer each of the 20 questions in PART 2. Answer **Yes** if there will be **any** impact.

b. **Maybe** answers should be considered as **Yes** answers.

c. If answering **Yes** to a question then check the appropriate box(column 1 or 2)to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.

d. Identifying that an Impact will be potentially large (column 2) does not mean that it is also necessarily **significant**. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.

e. If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.

f. If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the **Yes** box in column 3. A **No** response indicates that such a reduction is not possible. This must be explained in Part 3.

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
Impact on Land			
1. Will the Proposed Action result in a physical change to the project site? NO ☐ YES ☐			
Examples that would apply to column 2			
• Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%.	☐	☐	☐ Yes ☐ No
• Construction on land where the depth to the water table is less than 3 feet.	☐	☐	☐ Yes ☐ No
• Construction of paved parking area for 1,000 or more vehicles.	☐	☐	☐ Yes ☐ No
• Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface.	☐	☐	☐ Yes ☐ No
• Construction that will continue for more than 1 year or involve more than one phase or stage.	☐	☐	☐ Yes ☐ No
• Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year.	☐	☐	☐ Yes ☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Construction or expansion of a santary landfill.	☐	☐	☐ Yes ☐ No
• Construction in a designated floodway.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

2. Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.)
   ☐ NO ☐ YES

• Specific land forms:	☐	☐	☐ Yes ☐ No

Impact on Water

3. Will Proposed Action affect any water body designated as protected? (Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)
   ☐ NO ☐ YES

Examples that would apply to column 2

• Developable area of site contains a protected water body.	☐	☐	☐ Yes ☐ No
• Dredging more than 100 cubic yards of material from channel of a protected stream.	☐	☐	☐ Yes ☐ No
• Extension of utility distribution facilities through a protected water body.	☐	☐	☐ Yes ☐ No
• Construction in a designated freshwater or tidal wetland.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

4. Will Proposed Action affect any non-protected existing or new body of water?
   ☐ NO ☐ YES

Examples that would apply to column 2

• A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.	☐	☐	☐ Yes ☐ No
• Construction of a body of water that exceeds 10 acres of surface area.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change

5. Will Proposed Action affect surface or groundwater quality or quantity?

☐ NO ☐ YES

Examples that would apply to column 2

• Proposed Action will require a discharge permit.	☐	☐	☐ Yes ☐ No
• Proposed Action requires use of a source of water that does not have approval to serve proposed (project) action.	☐	☐	☐ Yes ☐ No
• Proposed Action requires water supply from wells with greater than 45 gallons per minute pumping capacity.	☐	☐	☐ Yes ☐ No
• Construction or operation causing any contamination of a water supply system.	☐	☐	☐ Yes ☐ No
• Proposed Action will adversely affect groundwater.	☐	☐	☐ Yes ☐ No
• Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity.	☐	☐	☐ Yes ☐ No
• Proposed Action would use water in excess of 20,000 gallons per day.	☐	☐	☐ Yes ☐ No
• Proposed Action will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions.	☐	☐	☐ Yes ☐ No
• Proposed Action will require the storage of petroleum or chemical products greater than 1,100 gallons.	☐	☐	☐ Yes ☐ No
• Proposed Action will allow residential uses in areas without water and/or sewer services.	☐	☐	☐ Yes ☐ No
• Proposed Action locates commercial and/or industrial uses which may require new or expansion of existing waste treatment and/or storage facilities.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change

6. Will Proposed Action alter drainage flow or patterns, or surface water runoff?
☐ NO ☐ YES

Examples that would apply to column 2

• Proposed Action would change flood water flows	☐	☐	☐ Yes	☐ No
• Proposed Action may cause substantial erosion.	☐	☐	☐ Yes	☐ No
• Proposed Action is incompatible with existing drainage patterns.	☐	☐	☐ Yes	☐ No
• Proposed Action will allow development in a designated floodway.	☐	☐	☐ Yes	☐ No
• Other impacts:	☐	☐	☐ Yes	☐ No

IMPACT ON AIR

7. Will Proposed Action affect air quality?
☐ NO ☐ YES

Examples that would apply to column 2

• Proposed Action will induce 1,000 or more vehicle trips in any given hour.	☐	☐	☐ Yes	☐ No
• Proposed Action will result in the incineration of more than 1 ton of refuse per hour.	☐	☐	☐ Yes	☐ No
• Emission rate of total contaminants will exceed 5 lbs. per hour or a heat source producing more than 10 million BTU's per hour.	☐	☐	☐ Yes	☐ No
• Proposed Action will allow an increase in the amount of land committed to industrial use.	☐	☐	☐ Yes	☐ No
• Proposed Action will allow an increase in the density of industrial development within existing industrial areas.	☐	☐	☐ Yes	☐ No
• Other impacts:	☐	☐	☐ Yes	☐ No

IMPACT ON PLANTS AND ANIMALS

8. Will Proposed Action affect any threatened or endangered species?
☐ NO ☐ YES

Examples that would apply to column 2

• Reduction of one or more species listed on the New York or Federal list, using the site, over or near the site, or found on the site.	☐	☐	☐ Yes	☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Removal of any portion of a critical or significant wildlife habitat.	☐	☐	☐ Yes ☐ No
• Application of pesticide or herbicide more than twice a year, other than for agricultural purposes.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

9. Will Proposed Action substantially affect non-threatened or non-endangered species?
☐ NO ☐ YES

Examples that would apply to column 2			
• Proposed Action would substantially interfere with any resident or migratory fish, shellfish or wildlife species.	☐	☐	☐ Yes ☐ No
• Proposed Action requires the removal of more than 10 acres of mature forest (over 100 years of age) or other locally important vegetation.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

IMPACT ON AGRICULTURAL LAND RESOURCES

10. Will Proposed Action affect agricultural land resources?
☐ NO ☐ YES

Examples that would apply to column 2			
• The Proposed Action would sever, cross or limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc.)	☐	☐	☐ Yes ☐ No
• Construction activity would excavate or compact the soil profile of agricultural land.	☐	☐	☐ Yes ☐ No
• The Proposed Action would irreversibly convert more than 10 acres of agricultural land or, if located in an Agricultural District, more than 2.5 acres of agricultural land.	☐	☐	☐ Yes ☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• The Proposed Action would disrupt or prevent installation of agricultural land management systems (e.g., subsurface drain lines, outlet ditches, strip cropping); or create a need for such measures (e.g. cause a farm field to drain poorly due to increased runoff).	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

IMPACT ON AESTHETIC RESOURCES

11. Will Proposed Action affect aesthetic resources? (If necessary, use the Visual EAF Addendum in Section 617.20, Appendix B.)
☐ NO ☐ YES

Examples that would apply to column 2			
• Proposed land uses, or project components obviously different from or in sharp contrast to current surrounding land use patterns, whether man-made or natural.	☐	☐	☐ Yes ☐ No
• Proposed land uses, or project components visible to users of aesthetic resources which will eliminate or significantly reduce their enjoyment of the aesthetic qualities of that resource.	☐	☐	☐ Yes ☐ No
• Project components that will result in the elimination or significant screening of scenic views known to be important to the area.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

IMPACT ON HISTORIC AND ARCHAEOLOGICAL RESOURCES

12. Will Proposed Action impact any site or structure of historic, prehistoric or paleontological importance?
☐ NO ☐ YES

Examples that would apply to column 2			
• Proposed Action occurring wholly or partially within or substantially contiguous to any facility or site listed on the State or National Register of historic places.	☐	☐	☐ Yes ☐ No
• Any impact to an archaeological site or fossil bed located within the project site.	☐	☐	☐ Yes ☐ No
• Proposed Action will occur in an area designated as sensitive for archaeological sites on the NYS Site Inventory.	☐	☐	☐ Yes ☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Other impacts:	☐	☐	☐ Yes ☐ No

IMPACT ON OPEN SPACE AND RECREATION

13. Will proposed Action affect the quantity or quality of existing or future open spaces or recreational opportunities?
☐ NO ☐ YES

Examples that would apply to column 2			
• The permanent foreclosure of a future recreational opportunity.	☐	☐	☐ Yes ☐ No
• A major reduction of an open space important to the community.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

IMPACT ON CRITICAL ENVIRONMENTAL AREAS

14. Will Proposed Action impact the exceptional or unique characteristics of a critical environmental area (CEA) established pursuant to subdivision 6NYCRR 617.14(g)?
☐ NO ☐ YES

List the environmental characteristics that caused the designation of the CEA.

Examples that would apply to column 2			
• Proposed Action to locate within the CEA?	☐	☐	☐ Yes ☐ No
• Proposed Action will result in a reduction in the quantity of the resource?	☐	☐	☐ Yes ☐ No
• Proposed Action will result in a reduction in the quality of the resource?	☐	☐	☐ Yes ☐ No
• Proposed Action will impact the use, function or enjoyment of the resource?	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change

IMPACT ON TRANSPORTATION

15. Will there be an effect to existing transportation systems?
☐ NO ☐ YES

Examples that would apply to column 2

• Alteration of present patterns of movement of people and/or goods.	☐	☐	☐ Yes ☐ No
• Proposed Action will result in major traffic problems.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

IMPACT ON ENERGY

16. Will Proposed Action affect the community's sources of fuel or energy supply?

☐ NO ☐ YES

Examples that would apply to column 2

• Proposed Action will cause a greater than 5% increase in the use of any form of energy in the municipality.	☐	☐	☐ Yes ☐ No
• Proposed Action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two family residences or to serve a major commercial or industrial use.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

NOISE AND ODOR IMPACT

17. Will there be objectionable odors, noise, or vibration as a result of the Proposed Action?

☐ NO ☐ YES

Examples that would apply to column 2

• Blasting within 1,500 feet of a hospital, school or other sensitive facility.	☐	☐	☐ Yes ☐ No
• Odors will occur routinely (more than one hour per day).	☐	☐	☐ Yes ☐ No
• Proposed Action will produce operating noise exceeding the local ambient noise levels for noise outside of structures.	☐	☐	☐ Yes ☐ No
• Proposed Action will remove natural barriers that would act as a noise screen.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change

IMPACT ON PUBLIC HEALTH

18. Will Proposed Action affect public health and safety?
☐ NO ☐ YES

• Proposed Action may cause a risk of explosion or release of hazardous substances (i.e. oil, pesticides, chemicals, radiation, etc.) in the event of accident or upset conditions, or there may be a chronic low level discharge or emission.	☐	☐	☐ Yes	☐ No
• Proposed Action may result in the burial of "hazardous wastes" in any form (i.e. toxic, poisonous, highly reactive, radioactive, irritating, infectious, etc.)	☐	☐	☐ Yes	☐ No
• Storage facilities for one million or more gallons of liquefied natural gas or other flammable liquids.	☐	☐	☐ Yes	☐ No
• Proposed Action may result in the excavation or other disturbance within 2,000 feet of a site used for the disposal of solid or hazardous waste.	☐	☐	☐ Yes	☐ No
• Other impacts:	☐	☐	☐ Yes	☐ No

IMPACT ON GROWTH AND CHARACTER OF COMMUNITY OR NEIGHBORHOOD

19. Will Proposed Action affect the character of the existing community?
☐ NO ☐ YES

Examples that would apply to column 2

• The permanent population of the city, town or village in which the project is located is likely to grow by more than 5%.	☐	☐	☐ Yes	☐ No
• The municipal budget for capital expenditures or operating services will increase by more than 5% per year as a result of this project.	☐	☐	☐ Yes	☐ No
• Proposed Action will conflict with officially adopted plans or goals.	☐	☐	☐ Yes	☐ No
• Proposed Action will cause a change in the density of land use.	☐	☐	☐ Yes	☐ No
• Proposed Action will replace or eliminate existing facilities, structures or areas of historic importance to the community.	☐	☐	☐ Yes	☐ No
• Development will create a demand for additional community services (e.g. schools, police and fire, etc.)	☐	☐	☐ Yes	☐ No

	1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated by Project Change
• Proposed Action will set an important precedent for future projects.	☐	☐	☐ Yes ☐ No
• Proposed Action will create or eliminate employment.	☐	☐	☐ Yes ☐ No
• Other impacts:	☐	☐	☐ Yes ☐ No

20. Is there, or is there likely to be, public controversy related to potential adverse environment impacts?
☐ NO ☐ YES

If Any Action in Part 2 Is Identified as a Potential Large Impact or If you Cannot Determine the Magnitude of Impact, Proceed to Part 3

Part 3 - EVALUATION OF THE IMPORTANCE OF IMPACTS

Responsibility of Lead Agency

Part 3 must be prepared if one or more impact(s) is considered to be potentially large, even if the impact(s) may be mitigated.

Instructions (If you need more space, attach additional sheets)

Discuss the following for each impact identified in Column 2 of Part 2:

1. Briefly describe the impact.

2. Describe (if applicable) how the impact could be mitigated or reduced to a small to moderate impact by project change(s).

3. Based on the information available, decide if it is reasonable to conclude that this impact is **important**.

   To answer the question of importance, consider:

   - The probability of the impact occurring
   - The duration of the impact
   - Its irreversibility, including permanently lost resources of value
   - Whether the impact can or will be controlled
   - The regional consequence of the impact
   - Its potential divergence from local needs and goals
   - Whether known objections to the project relate to this impact.

Reset

12-12-79 (3/99)-9c

SEQR

State Environmental Quality Review

NEGATIVE DECLARATION

Notice of Determination of Non-Significance

Project Number

Date: January 10, 2022

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

C3 Holdings, LLC

SEQR Status: Type 1 ☐
Unlisted ☑

Conditioned Negative Declaration: ☐ Yes
☑ No

Description of Action:

It is proposed to construct an 1,800 square foot two-story frame and masonry building on 2 acres in the I-2 zoning district. The same site plan was previously approved by the Planning Board on March 9, 2009. The site is located at 1500 Front Street, Yorktown Heights, also known as Section 48.11, Block 1, Lot 51 on the Town of Yorktown Tax Map.

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

1500 Front Street, Yorktown Heights, NY 10598, Westchester County

Reasons Supporting This Determination:
(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

1. This negative declaration is based on a Full Environmental Assessment Form dated October 27, 2021.

2. The plan conforms to the Town's Land Use and Zoning Policies.

3. For reason of its size, this project will not have an impact on town services.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of pubication In the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Crompond Road, Yorktown Heights, NY 10598

Telephone Number: (914) 962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION REAPPROVING
SITE PLAN AND STORMWATER POLLUTION PREVENTION PLAN
FOR C3 HOLDINGS, LLC FKA GENERATIONS BUILDING

RESOLUTION NUMBER: #22-00 DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Proposed Garage Warehouse prepared for C3 Holdings, LLC," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021 was submitted to the Planning Board on behalf of C3 Holdings, LLC (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by C3 Holdings, LLC is located at 1500 Front Street, also known as Section 48.11, Block 1, Lot 51 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS the same proposed site plan was approved by Planning Board Resolution #09-08 on March 9, 2009; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on <DATE>.
3. A negative declaration has been adopted on <DATE> on the basis of a Full EAF dated October 27, 2021.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

1. A drawing, Sheet 1 of 5, titled "Site Plan," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021; and

2. A drawing, Sheet 2 of 5, titled "Existing Conditions Plan," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021; and

3. A drawing, Sheet 3 of 5, titled "Grading and Utility Plan," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021; and

4. A drawing, Sheet 4 of 5, titled "Erosion and Sediment Control Plan," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021; and

5. A drawing, Sheet 1 of 5, titled "Detail Sheet," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021; and

WHEREAS pursuant to the Town of Yorktown Town Code, the applicant has provided 1 parking space for every 3 employees and 10 visitors spaces, in addition to 5 parking spaces for every 1,000 square feet, of the proposed storage building should it be used as office space in the future, thereby requiring a total of 25 parking spaces where 26 parking spaces are provided on the site plan; and

WHEREAS the Property is located within a Designated Main Street Area and must receive reapproval from the New York City Department of Environmental Protection before the site plan is signed by the Planning Board Chairman; and

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application at the Town Hall in Yorktown Heights, New York on December 6, 2021; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing on and closing on January 10, 2022 via video conferencing;

BE IT NOW RESOLVED that the application of C3 Holdings, LLC for the approval of a site plan titled "Proposed Garage Warehouse prepared for C3 Holdings, LLC," prepared by Site Design Consultants, dated November 12, 2008, and last revised October 27, 2021, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such requirements as noted below:

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

   Application Fee for reapproval of site plan $1,181.00

MS4 Stormwater Permit Fee $1,500.00

2. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer.

3. Submission of inspection fees and security, if applicable, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer.

Additional requirements:

1. Proposed plan must comply with all current applicable ADA standards.

2. Applicant must obtain all necessary permits from outside agencies.

BE IT FURTHER RESOLVED, that in accordance with Town Code Chapter 248, the application of C3 Holdings, LLC for the approval of a Stormwater Pollution Prevention Plan, Permit **#WP-FSWPP-T-000-00** is approved subject to the conditions listed therein; and

RESOLVED, Permit **#WP-FSWPP-T-000-00** shall not be valid until it has been signed by the Chairman of this Board;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a "Qualified Inspector" as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by **January 10, 2023,** or a time extension has been granted by the Planning Board, this approval will be null and void.

3717 Crompond Road (Windmill)

Site Design Consultants

Civil Engineers • Land Planners

December 28, 2021

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
1974 Commerce Street

Re: 3717 Crompond Road, LLC
Section 35.08, Block 1, Lot 13

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Informational Hearing scheduled for January 10, 2022 and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date; and
- 2 Photos of the Notice signs and Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,

Joseph C. Riina, P.E.

/cm /Enc./ sdc 11-34

251-F Underhill Avenue • Yorktown Heights, New York 10598
60 Walnut Grove Road • Ridgefield, Connecticut 06877
(914) 962-4488 (203) 431-9504 Fax (914) 962-7386

NOTICE TO INTERESTED PARTIES

TO:

PLEASE TAKE NOTICE that a **Public Informational Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 or via Zoom video conferencing on **Monday, January 10, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of 3717 Crompond Road, LLC for approval of a site plan with submitted plans titled, "Site Plan prepared for 3717 Crompond Road, LLC," prepared by Site Design Consultant, dated December 7, 2021. This site plan may be reviewed on the Town's website at: https://www.yorktownny.org/planning/public-hearings.

The applicant proposes to amend their application to construct a 20,258 square foot warehouse/retail building at 3717 Crompond Road, Cortlandt Manor, 10567, also known as Section 35.08, Block 1, Lot 13 on the Town of Yorktown Tax Map. The parcel consists of 1.56 acres in the C-4 zoning district.

Due to public health and safety concerns related to COVID-19, the Town of Yorktown Planning Board may not meet in-person. If the meeting is not held in-person, it will be held via Zoom video conferencing. The public will have an opportunity to see and hear the meeting live on the Town's website https://www.yorktownny.org/ygtv/live and the Town's cable channels; Comcast channel 20 and Verizon FiOS channel 33. The public can provide comments by joining the Zoom video conference meeting. A link to register for the meeting will be included on the meeting agenda.

If any interested members of the public would like to provide written comments on this application, comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to planning@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting.

Please check the meeting agenda posted on the town's website www.yorktownny.org for the most current information regarding this meeting.

This Notice is being sent to you by regular first-class mail pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

3717 Crompond Road, LLC
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants
By (Name and Title)

December 27, 2021
Date

Firm Mailing Book For Accountable Mail

Name and Address of Sender	Check type of mail or service	Affix Stamp Here
Site Design Consultants **251-F Underhill Avenue** **Yorktown Heights, New York 10598**	☐ Adult Signature Required ☐ Adult Signature Restricted Delivery ☐ Certified Mail ☐ Certified Mail Restricted Delivery ☐ Collect on Delivery (COD) ☐ Insured Mail ☐ Priority Mail ☐ Priority Mail Express ☐ Registered Mail ☐ Return Receipt for Merchandise ☐ Signature Confirmation ☐ Signature Confirmation Restricted Delivery	*(for additional copies of this receipt).* ***Postmark with Date of Receipt.***

	USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fe	Handling Charge	Actual Value	Insured	Due	ASR	SCRD Fee	SH Fee
1.		Richard & Mary Ann Sautner 3711 Crompond Road Cortlandt Manor, NY 10567									
2.		Maria Cardenas 3755 Old Crompond Road Cortlandt Manor, NY 10567									
3.		J.E.S. Land Developers, LLC 3199 Albany Post Road, Suite 200A Buchanan, NY 10511									
4.		J.E.S. Land Developers, LLC 3199 Albany Post Road, Suite 2 Buchanan, NY 10511									
5.		3717 Crompond Road, LLC 10 Julia Lane, Ste. 101 Cold Spring, NY 10516									
6.		Daniel C. & Kaylan Robstad 3738 Old Crompond Road Cortlandt Manor, NY 10567									
7.		Vincent & Regina Nastri 3745 Oldd Crompond Road Cortlandt Manor, NY 10567									
8.		County of Westchester 148 Martine Avenue White Plains, NY 10601									

U.S. POSTAGE PAID
YORKTOWN HEIGHTS, NY
10598
DEC 28, 21
AMOUNT
$4.23
R2304M110426-26

0000

Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per *(Name of receiving employee)*

Complete in Ink

Firm Mailing Book For Accountable Mail

Name and Address of Sender

Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

Check type of mail or service

- ☐ Adult Signature Required
- ☐ Adult Signature Restricted Delivery
- ☐ Certified Mail
- ☐ Certified Mail Restricted Delivery
- ☐ Collect on Delivery (COD)
- ☐ Insured Mail
- ☐ Priority Mail
- ☐ Priority Mail Express
- ☐ Registered Mail
- ☐ Return Receipt for Merchandise
- ☐ Signature Confirmation
- ☐ Signature Confirmation Restricted Delivery

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	State Land Corp. 3967 Provost Avenue Bronx, NY 10466													
2.														
3.														
4.														
5.														
6.														
7.														
8.														

Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per *(Name of receiving employee)*

Complete in Ink

35.08-1-12
SAUTNER, RICHARD &
MARY ANN
3711 CROMPOND RD.
CORTLANDT MANOR, NY 10567

35.08-1-14
J.E.S. LAND DEVELOPERS,
LLC
3199 ALBANY POST RD. STE. 2
BUCHANAN, NY 10511

~~36.05-1-19~~
~~CAPPALEX REALTY CORP~~
~~PO BOX 9~~
~~CROMPOND, NY 10517~~

~~36.05-1-5~~
~~CAPPALEX REALTY CORP~~
~~PO BOX 9~~
~~CROMPOND, NY 10517~~

35.08-1-43
CARDENAS, MARIA
3755 OLD CROMPOND RD.
CORTLANDT MANOR, NY 10567

35.08-1-13
3717 CROMPOND RD. LLC
10 JULIA LANE, STE 101
COLD SPRING, NY 10516

~~35.08-1-40~~
~~BARNETT, PATRICK &~~
~~CHRISTIN~~
~~3744 OLD CROMPOND RD.~~
~~CORTLANDT MANOR, NY 10567~~

35.08-1-42
NASTRI, VINCENT &
REGINA (L/E)
3745 OLD CROMPOND RD.
CORTLANDT MANOR, NY 10567

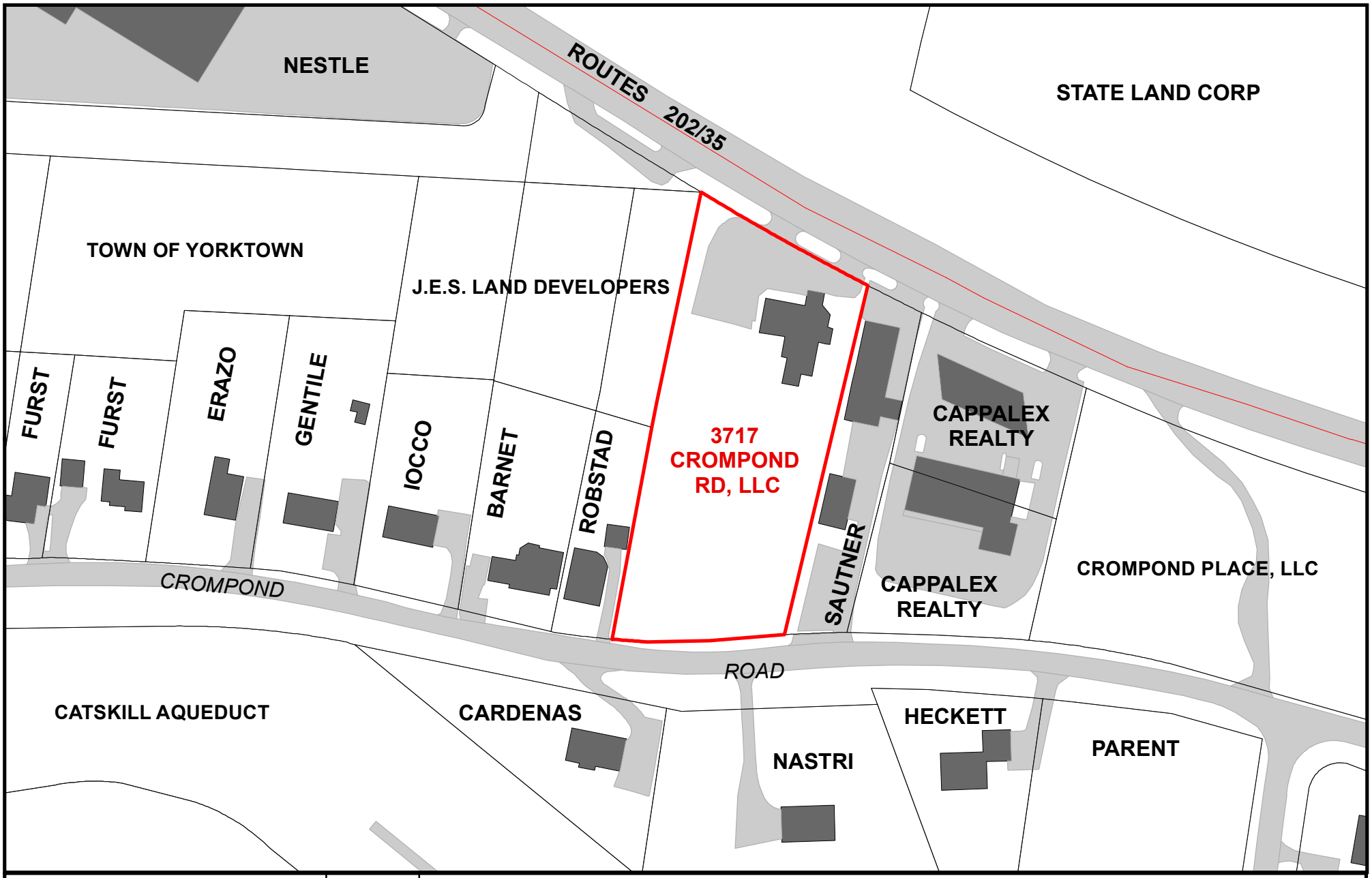
35.08-1-11
J.E.S. LAND DEVELOPERS,
LLC
3199 ALBANY POST RD.
SUITE 200A
BUCHANAN, NY 10511

~~35.08-1-15~~
~~J.E.S. LAND DEVELOPERS,~~
~~LLC.~~
~~3199 ALBANY POST RD. STE 20~~
~~BUCHANAN, NY 10511~~

35.08-1-41
ROBSTAD, DANIEL C. &
KAYLAN
3738 OLD CROMPOND RD.
CORTLANDT MANOR, NY 10567

25.20-1-12
County of Westchester
148 Martine Ave.
White Plains, NY 10601

26.17-1-1
State Land Corp.
3967 Provost Ave.
Bronx, NY 10466



TOWN OF YORKTOWN PLANNING DEPARTMENT
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Yorktown Heights, NY 10598
(914) 962-6565, www.yorktownny.org/planning

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0 62.5 125 250 Feet

1 inch = 125 feet

TITLE: 3717 Crompond Road, LLC
DATE: January 7, 2022

FILE: F:\ArcGIS\PROJECTS\3717 Crompond Road.mxd
BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 35.08 Parcel 1 Lot 13

Project Name: 3717 Crompond Road, LLC

Address: 3717 Crompond Road, Cortlandt Manor, NY 10567

Applicant's Name: 3717 Crompond Road, LLC (Paul Guillaro)

Address: 10 Julia Lane, Suite 103, Cold Spring, NY 10516

Phone: 845-809-5969

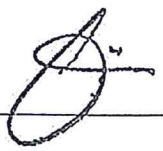
No. Signs Posted: 2

Sign #1 Location: 3717 Crompond Road

Sign #2 Location: Old Crompond Road

Sign #3 Location:

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: 

Land Owner's Signature:


NOTICE
THIS PROPERTY IS THE
SUBJECT OF AN APPLICATION
BEFORE THE YORKTOWN
PLANNING BOARD


NOTICE

From: Kaylan Navarro <kaylan.navarro@gmail.com>
Sent: Thursday, December 30, 2021 7:33 PM
To: Planning Department <planning@yorktownny.org>
Subject: **Public Hearing for 3717 Crompond Road**

Good Evening All,

I hope this email finds you and your loved ones well.

I am writing this letter in regards to the proposed plan for 3717 Crompond Road.

When we moved into 3738 Old Crompond Road 8 years ago, we were told that the space next to our house was a conservation easement and would never be developed. It seems like this proposed plan will plow right though the conservation easement and possibly create a busy business hub.

In the years that we've lived here our family has grown. We now have 2 young children. Therefore, safety, lighting, and noise are huge concerns of ours.

Below are some of our big questions.

1. How will this proposed lot be monitored? Security cameras? Motion lights? Gate? Fences? This lot will invite new people into our neighborhood that do not normally reside in this area. It will also give them access to our residential road.
2. Will there be appropriate lighting? Will the lighting be pointed away from our home so as to not disrupt our family?
3. Will there be a noise barrier created to keep the peace and quiet of the neighborhood? I know this was promised with the Nestles property, but that has yet to come to fruition. The early morning and late night noise has woken up our children on numerous occasions.
4. What will the hours of operation be?
5. When is the construction proposed to start? How long will this construction take? What are the hours of operation for the construction?
7. Will there be a fence put between the Old Crompond Road residential properties and this commercial property? This is very important for the safety of the current residential properties around the proposed parking lot.
8. How far away from the residential homes will this parking lot be built?

I know these questions might seem inconsequential to a large business and to the town, but to our family, this project, if not done with the surrounding residents in mind, will have a huge impact on our family and quality of life.

I truly appreciate your answers to these questions and look forward to a discussion on how we can work together to create a plan that will be mutually agreed upon by all parties.

Warmly,
Daniel & Kaylan Robstad
3738 Old Crompond Road
Cortlandt Manor, NY 10567

-----Original Message-----
From: Sally Klein [mailto:sally313@icloud.com]
Sent: Thursday, October 21, 2021 2:01 PM
To: John Tegeder <jtegeder@yorktownny.org>
Subject: **Please save the windmill**

I just read the article about the planned development and hope you can persuade the builder to incorporate the windmill into any design because it is so iconic and should be preserved like the historic Marcus Dairy smokestack the retail center retained!!
Thank you very much.

Best regards,
Sally Klein

Site Design Consultants

Civil Engineers • Land Planners

December 8, 2021

Ms. Robyn Steinberg, AICP, Town Planner
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

Re: 3717 Crompond Road LLC
Section 35.8 Block 1 Lot 13

Dear Robyn:

We have made modifications to the site plan and are submitting the following items for review and discussion at the Planning Board Meeting of December 20, 2021:

- Town of Yorktown Site Plan Application;
- Revised Short EAF;
- SWPPP Application (fees to be submitted under separate cover);
- Five sets of prints of the plan titled "Site Plan Prepared for 3717 Crompond Road, LLC" Sheets 1-2 of 2, dated 12-7-21.

We are also forwarding you a digital copy of this submission. Please add this project to the agenda for the Planning Board Meeting of December 20 and contact us if you have any questions. Thank you.

Yours Truly,

Joseph C. Riina, P.E.

Cc: 3717 Crompond Road LLC
Building Department
Engineering Department
Town Supervisor
Ed Lachterman

JCR / cm / Enc. / sdc 11-34

251-F Underhill Avenue • Yorktown Heights, New York 10598
60 Walnut Grove Road • Ridgefield, Connecticut 06877
(914) 962-4488 (203) 431-9504 Fax (914) 962-7386

SITE DATA:

OWNER / DEVELOPER:	3717 CROMPOND ROAD, LLC 10 JULIA LANE, SUITE 103 COLD SPRING, NY 10516
PROJECT LOCATION:	3717 CROMPOND ROAD TOWN OF YORKTOWN
EXISTING TOWN ZONING:	C-4, BUSINESS
PROPOSED USE:	C-4, BUSINESS
TOWN TAX MAP DATA:	SECTION 35.8, BLOCK 1, LOT 13
SITE AREA :	1.556 ACRES (67,795 SF)
SEWAGE FACILITIES:	PUBLIC SEWERS
WATER FACILITIES:	PUBLIC WATER FACILITIES

ZONING SCHEDULE:

ZONING DISTRICT:	C-4, BUSINESS		
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	NONE	67,795 SF.	NONE
MINIMUM LOT WIDTH AT MAIN BUILDING:	25 FT	178 FT.	NONE
MINIMUM LOT DEPTH:	100 FT	347.74 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			NONE
FRONT YARD SETBACK:	15 FT.	43.5 FT	NONE
REAR YARD SETBACK:	30 FT.	83.1 FT.	NONE
SIDE YARD SETBACK:	NONE - SEE NOTE - 1	16.5 FT.	NONE
ACCESSORY BUILDINGS:			NONE
FRONT YARD SETBACK:	15 FT.	NA	NONE
REAR YARD SETBACK:	30 FT.	NA	NONE
SIDE YARD SETBACK:	NONE - SEE NOTE - 1	NA	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			NONE
BUILDING COVERAGE (ALL BUILDINGS):	30% OF LOT AREA	30 % OF LOT AREA	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	NONE
ACCESSORY BUILDING - FEET:	20 FEET	NA	NONE
REQUIRED OFF STREET LOADING:	SEE NOTE - 2	1	NONE
REQUIRED OFF STREET PARKING:	SEE TABLE & NOTE - 3		NONE

ZONING REGULATION NOTES:

1. None, but if provided shall be 10 feet; if used as one-way vehicular access, shall be 17 feet; two way vehicular access, 25 feet; if adjoins an R-District, shall be 50 feet.
2. Space as re uired b 300-186 o the Code o the Town o Yorktown.
3. Parking plan approval re uired in accordance with 300-179 through 300-182 and 300-183 through 300-186.
4. Separate structures less than 500 square feet shall not be permitted.

GENERAL NOTE:

1. Stormwater management facilities are schematic only and do not reflect the final design. Subsurface infiltration or other means may be required.

PARKING SCHEDULE: WHOLESALE, STORAGE, UTILITY OR OTHER COMMERCIAL

PROPOSED USE:	
WAREHOUSE BUILDING: RETAIL:	1 SPACE PER 2 PERSONS FOR WHICH THE BUILDING IS DESIGNED 4 SPACES PER 1,000 SF OF OFFICE
REQUIRED PARKING:	12 WAREHOUSE SPACES WITH 6 EMPLOYEES: 36 SPACES 4,000 SF OF RETAIL @ 4 PER 1,000 SF = 16 SPACES TOTAL REQUIRED: 52 SPACES
PROVIDED PARKING:	50 STANDARD 2 HANDICAP 52 TOTAL

0 15 30 60
SCALE: 1"=30'-0"

N

SAFE DIG
Before You Dig, Drill or Blast!
Call 811

NOTE:
1. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XX/XX/XX, LAST REVISED XX/XX/XX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

PROJECT # #####

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

Engineer:
STATE OF NEW YORK · JOSEPH CARLO RIINA · LICENSED PROFESSIONAL ENGINEER · 064431
Joseph C. Riina, P.E.
NYS Lic. No. 64431

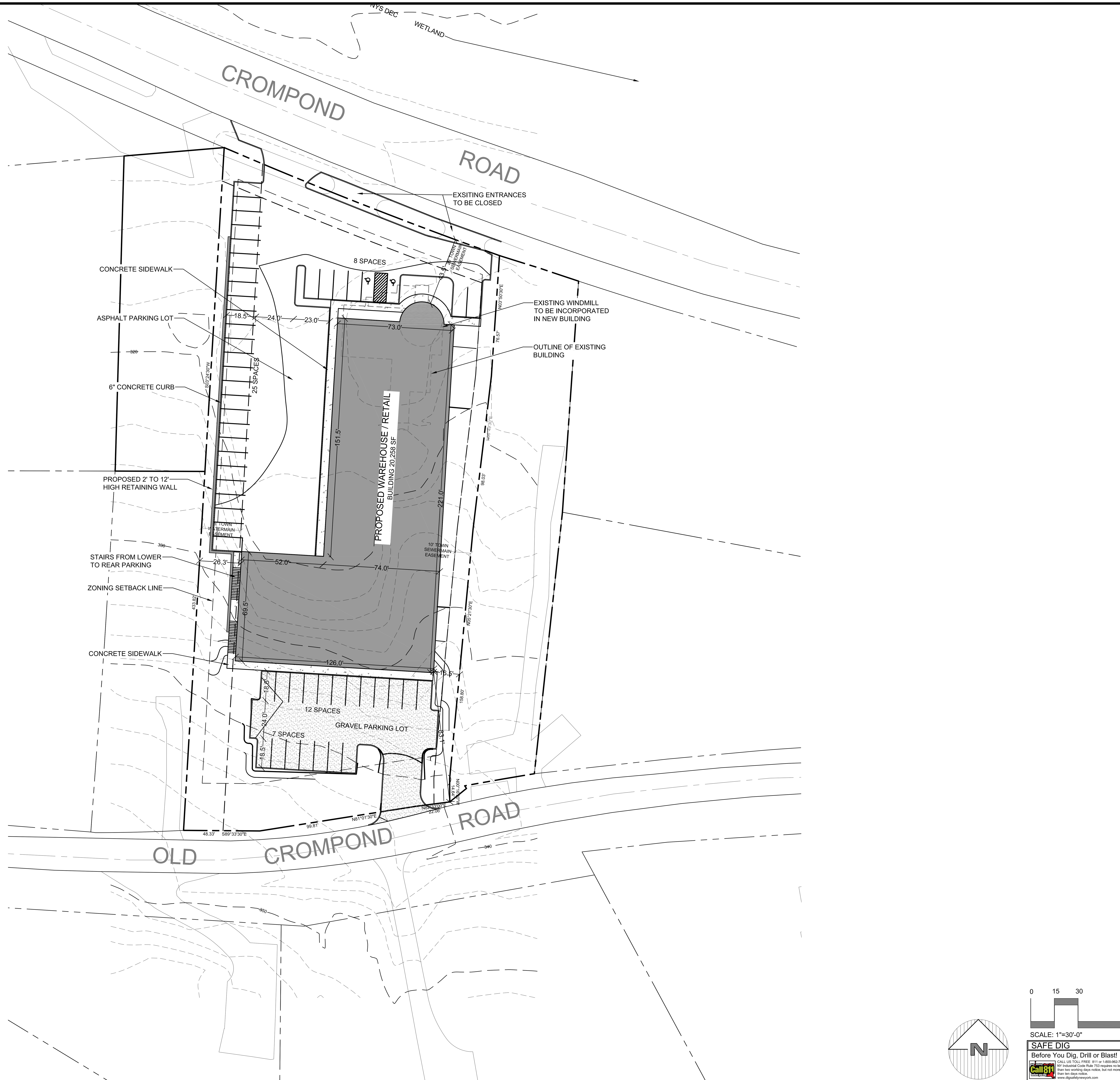
Revisions: No.	Date	Comments:

SCALE: 1" = 30'
DRAWN BY: ##
DATE: 12/07/21

TITLE SHEET

Site Plan
PREPARED FOR
3717 CROMPOND ROAD, LLC.
3717 CROMPOND ROAD
Town of Yorktown Westchester County, NY

Sheet 1 of 2



NOTE:

1. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XX/XX/XX, LAST REVISED XX/XX/XX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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Engineer: Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:		
No.	Date	Comments:

SCALE: 1" = 30'
DRAWN BY: ##
DATE: 12/07/21

SITE PLAN

Site Plan
PREPARED FOR
3717 CROMPOND ROAD, LLC.
3717 CROMPOND ROAD
Town of Yorktown, Westchester County, NY

Sheet 2 of 2

TOWN OF YORKTOWN
PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date December 7, 2021

1. **Name of Project:** 3717 Crompond Road
2. **Tax Map Designation (Section, Block, Lot)** 35.8-1-13
3. **Zone:** C-4 Business **Total Acreage:** 1.56 Acres
4. **Is a statement of easements relating to property attached?** ☑ Yes ☐ None exist
5. **Project narrative (brief description of proposed development):**

It is proposed to construct a 20, 260 sf warehouse / retail building. The ratio of warehouse to retail has not been determined and will be based on tenant demand.

The warehouse space will be divided into smaller individual spaces for vendors / contractors / trades and the like. Loft spaces above the warehouse for offices and storage.

6. **Contact Person - CHOOSE ONLY ONE:**

☐ Applicant	☐ Owner	☐ Architect	☐ Wetland Scientist
☐ Attorney	☐ Engineer	☐ Surveyor	☐ Landscape Architect

7. **Applicant**

Name Paul Guilaro
Firm 3717 Crompond Road, LLC
Address 10 Julia Lane, Suite 103 Cold Spring, NY 10516
Phone 845-809-5969
Fax
Email dferris@unicorncontracting.com

8. **Owner of Record**

Name Applicant
Firm
Address
Phone
Fax
Email

9. **Attorney**

Name _____

Firm _____

Address _____

Phone _____

Fax _____

Email _____

10. **Engineer**

Name Joseph C. Riina, P.E.

Firm Site Design Consultants

Address 251 F Underhill Avenue, Yorktown Heights, NY 10598

Phone 914-962-4488

Fax 914-962-7386

Email jriina@sitedesignconsultants.com

Lic. No. 064431

11. **Surveyor**

Name TBD

Firm _____

Address _____

Phone _____

Fax _____

Email _____

Lic. No. _____

12. **Architect**

Name TBD

Firm _____

Address _____

Phone _____

Fax _____

Email _____

Lic. No. _____

13. Wetland Scientist/Specialist

Name N/A

Firm _____

Address _____

Phone _____

Fax _____

Email _____

14. Landscape Architect

Name TBD

Firm _____

Address _____

Phone _____

Fax _____

Email _____

Lic. No. _____

15. Is this project within 500 feet of the Town line?	☐ Yes	☑ No
16. Is this project within 500 feet of the Putnam County line?	☐ Yes	☑ No
17. Is this project within the Sustainable Development Study Area?	☐ Yes	☑ No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road?	☑ Yes	☐ No
The boundary of an existing or proposed state or county park or any state or county recreation area?	☐ Yes	☑ No
The boundary of state or county-owned land on which a public building/ institution is located?	☐ Yes	☑ No
An existing or proposed county drainage line?	☐ Yes	☑ No
The boundary of a farm located in an agricultural district?	☐ Yes	☑ No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. ☑ Yes ☐ No

20. This project requires the following permits or approvals from the Town of Yorktown:

☑ Wetland Permit

☑ Stormwater Permit

☑ Tree Permit

☐ Planning Board special permit: _____

☐ Town Board variance or approval: _____

☐ Zoning Board of Appeals variance or special permit: _____

21. This project requires the following permits or approvals from other outside agencies:

- ☐ Westchester County Board of Health
- ☑ NYC DEP
- ☑ NYS DEC
- ☑ Other: NYS DOT , Flood plain

22. This parcel is in the following districts:

School District	Yorktown	Water District	Consolidated
Fire District	Mohegan	Sewer District	Hunterbrook

A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

Applicant

3717 Crompond Rd LLC
NAME (PLEASE PRINT)

Paul F Guillero
SIGNATURE

12/7/21
DATE

Owner of Record

3717 Crompond Rd LLC
NAME (PLEASE PRINT)

Paul F Guillero
SIGNATURE

12/7/21
DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

****

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

_____

Sworn before me this
_____ date of _____, 20__

_____
Notary Public

****

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Paul F Guillaro, being duly sworn, deposes and says that he resides at 25 Vigan Rd Garrison in the County of Putnam and State of New York. That he is the Member of 3717 Crompond Rd LLC the corporation which is owner in fee of the property described in the foregoing application for 3717 Crompond and that the statements contained therein are true to the best of his knowledge and belief.

_____

Sworn before me this
7th date of December, 2021

_____
Diane Ferris
Notary Public

DIANE FERRIS
Notary Public, State of New York
Qualified in Dutchess County
No. 01FE6360853
Commission Expires January 2, 2022

****

AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

Joseph Rlina, being duly sworn, deposes and says that he is the agent named in the foregoing application for 3717 Crompond Road, LLC and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

_____

Sworn before me this
_____ date of _____, 20 __

_____
Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd
Last updated: December 2011

TOWN OF YORKTOWN - ENGINEERING DEPARTMENT
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION

RECEIVED
PLANNING DEPARTMENT
DEC 8 2021
TOWN OF YORKTOWN

Section 35.8
Block 1
Lot # 13

Approval Authority: TE [ ] PB [ ] TB [ ]
Application #: _____
Date Received: _____
Date Issued: _____
Date Expires: _____
Fee Paid: $_____

Job Site Address: 3717 Crompond Road
City/State/Zip: Yorktown Hgts., NY 10598

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

APPLICANT:

YOUR NAME: Paul Guilaro
COMPANY: 3717 Crompond Road, LLC
ADDRESS: 10 Julia Lane, Suite 103
Cold Spring, NY ZIP 10516
PHONE: (845) 809-5969
EMAIL: dferris@unicorncontracting.com

OWNER:

YOUR NAME: Applicant
COMPANY: _____
ADDRESS: _____
_____ ZIP _____
PHONE: ( ) _____
EMAIL: _____

APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES

Select One	Type	Approval Authority	Cost
☐	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	$800.00
☑	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	$1,800.00
☐	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	$150.00
☐	MS4 Stormwater Management Permit (Administrative)	Town Engineer	$300.00
☑	MS4 Stormwater Management Permit	Town Board/Planning Board	$1,500.00
☐	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	$150.00
☑	Tree Permit	Town Engineer	$0.00

Application fees are doubled with issuance of a Stop Work Order as per Town Code.

PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)

1. **Description of wetlands (check all that apply):**

a. Lake/pond	☐	Control area of lake/pond	☐
b. Stream/River/Brook	☐	Control area of stream/river/brook	☐
c. Wetlands	☐	Control area of wetlands	☑

2a. **Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.**

Reconstruction of new building, existing driveway and parking lot.

2b. **Stormwater/Excavation - Description of proposed activity:**

Construction of a 20,600 sf building, parking and stormwater management system.

3. **Tree Removal:**

Amount of trees and/or stumps to be removed: TBD
Sizes; approximate DBH: _____
Species of trees to be removed (i.e. Birch, Spruce - if known): _____
Reason for removal: _____
Trees marked In field (trees must be marked prior to inspection): Yes: ☐ **No:** ☐
Tree removal contractor: _____

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

4. **PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:**

I, Paul F. Guillard **hereby authorize** Joseph C. Riina, P.E. **to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.**

Signature: Paul F. Guillard **Date:** 12/7/21

No application will be processed without the above-mentioned, required information.

GENERAL CONDITIONS

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.

2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
   a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
   b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
   c. Newly discovered information or significant physical changes are discovered.

3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.

4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.

5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.

6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.

7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Paul F Guillaro
PRINT NAME

SIGNATURE OF APPLICANT

12/7/21
DATE

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:
3717 Crompond Road

Project Location (describe, and attach a location map):
3717 Crompond Road aka SBL 35.8-1-13

Brief Description of Proposed Action:
It is proposed to construct a 20,260 sf warehouse / retail building. The ratio of warehouse to retail has not been determined and will be based on tenant demand. The warehouse space will be divided into smaller individual spaces for vendors / contractors / trades and the like. Loft spaces above the warehouse is for office and storage.

Name of Applicant or Sponsor:	Telephone: 914-962-4488
Joseph C. Riina, P.E., Site Design Consultants	E-Mail: jriina@sitedesignconsultants.com

Address:
251-F Underhill Avenue

City/PO:	State:	Zip Code:
Yorktown Heights	NY	10598

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	☑	☐

3.a. Total acreage of the site of the proposed action? 1.556 acres
b. Total acreage to be physically disturbed? 1.4 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 1.556 acres

4. Check all land uses that occur on, adjoining and near the proposed action.
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☑ Commercial ☑ Residential (suburban)
☑ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____
☐ Parkland

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☑	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify:	☑	☐
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation service(s) available at or near the site of the proposed action?	☐	☑
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☑	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: All new construction will be in accordance with NYS Code.	☑	☐
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water:	☐	☑
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment:	☐	☑
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	☑	☐
b. Is the proposed action located in an archeological sensitive area?	☐	☑
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	☑
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	☑	☐

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:
☐ Shoreline ☑ Forest ☐ Agricultural/grasslands ☐ Early mid-successional
☐ Wetland ☐ Urban ☐ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	☑	☐
16. Is the project site located in the 100 year flood plain?	☐	☑
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☐ NO ☑ YES	☐	☑
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: ☐ NO ☑ YES Runoff will be collected and detained on site and released at a controlled rate.		

	NO	YES
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	☑	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	☑	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	☑	☐

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Joseph C. Riina Date: 12-7-2021

Signature: _____

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing: a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT