

TOWN OF YORKTOWN PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA YORKTOWN TOWN HALL BOARD ROOM 363 Underhill Avenue, Yorktown Heights, NY 10598

February 28, 2022
7:00 PM

1. **Correspondence**
2. **Meeting Minutes – February 14, 2022**

WORK SESSION

3. **Old Hill Farm Solar Farm**
Discussion Site Plan & Special Use Permit
Location: 16.08-1-4 & 17; 571 East Main Street, Jefferson Valley
Contact: Hillside Solar LLC
Description: Proposed 3.75 MW ground mounted solar panels disturbing 15 acres on a 19.4 acre property in the R1-20 zone.
4. **Kitchawan Solar**
Discussion Site Plan & Special Permit
Location: 70.06-1-2 & 3; 716 Kitchawan Road
Contact: Ecology Kitchawan Community Solar Farm, LLC
Description: Proposed 2 MW ground mounted large-scale solar energy system.
5. **Ryder Subdivision**
Discussion Minor Subdivision
Location: 48.06-1-12; 532 Underhill Avenue
Contact: Site Design Consultants
Description: Proposed to subdivide a parcel with an existing residence into 2 building lots on 6.086 acres in the R1-20 zone. The Board previously reviewed this application from 2013 – 2015.
6. **Martino Contracting**
Discussion Site Plan
Location: 6.17-2-62; 286 East Main Street, Jefferson Valley
Contact: Site Design Consultants
Description: Proposed subdivision for a two-story office/warehouse/garage and apartment building in the Country Commercial zone and one single-family house in the R1-80 zone.
7. **Grishaj Major Subdivision**
Discussion Subdivision
Location: 16.17-2-77; 3319 Stony Street
Contact: Site Design Consultants
Description: Proposed 10 lot subdivision on 8 acres in the R1-20 zone. Plan proposes to connect to High Point Drive and South Shelley Street.

8. Home & Hearth

Discussion Site Plan

Location: 15.12-1-2; 1750 East Main Street

Contact: Site Design Consultants

Description: Proposed demolition of two existing buildings to construct a new 5,500 SF showroom/warehouse and 4,500 SF storage building on 1.99 acres in the C-4 zone.

9. Town Board Referral

Gas Station Special Use Permit

Location: 15.15-1-46; 1770 East Main Street

Contact: Neil Carnow, AIA project architect

Description: Proposed modifications to existing convenience store building.

10. Town Board Referral

Withdrawn from this Agenda

Gas Station Special Use Permit

Location: 36.06-1-25; 3451 Crompond Road

Contact: Vincent Franceschelli

Description: Proposed remodel of existing station and convenience store.

Last revised: February 25, 2022

Correspondence

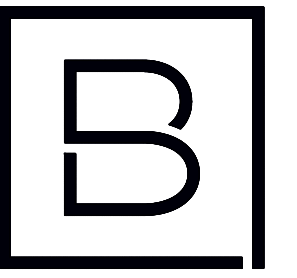
Draft Minutes

Old Hill Farm

PRELIMINARY DEVELOPMENT PLANS FOR
PROPOSED

OLD HILL FARM SOLAR FARM

SOLAR DEVELOPMENT
571 EAST MAIN STREET
JEFFERSON VALLEY, NEW YORK



BERGMANN
ARCHITECTS ENGINEERS PLANNERS

2 Winners Circle, Suite 102
Albany, NY 12205
www.bergmannpc.com
office: 518.862.0325

HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

**OLD HILL FARM
SOLAR FARM**

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

| Date Revised | Description |
|--------------|---|
| 10/13/2021 | REVISED PER CLIENT COMMENTS |
| 12/01/2021 | REVISED PER TREE COMMISSION COMMENTS |
| 12/28/2021 | REVISED PER FIRE DEPARTMENT COMMENTS |
| 1/07/2022 | REVISED PER SITE VISIT WITH FIRE DEPARTMENT |
| 1/13/2022 | REVISED PER ENGINEERING DEPARTMENT COMMENTS |
| 1/20/2022 | REVISED PER TCAC COMMENTS |

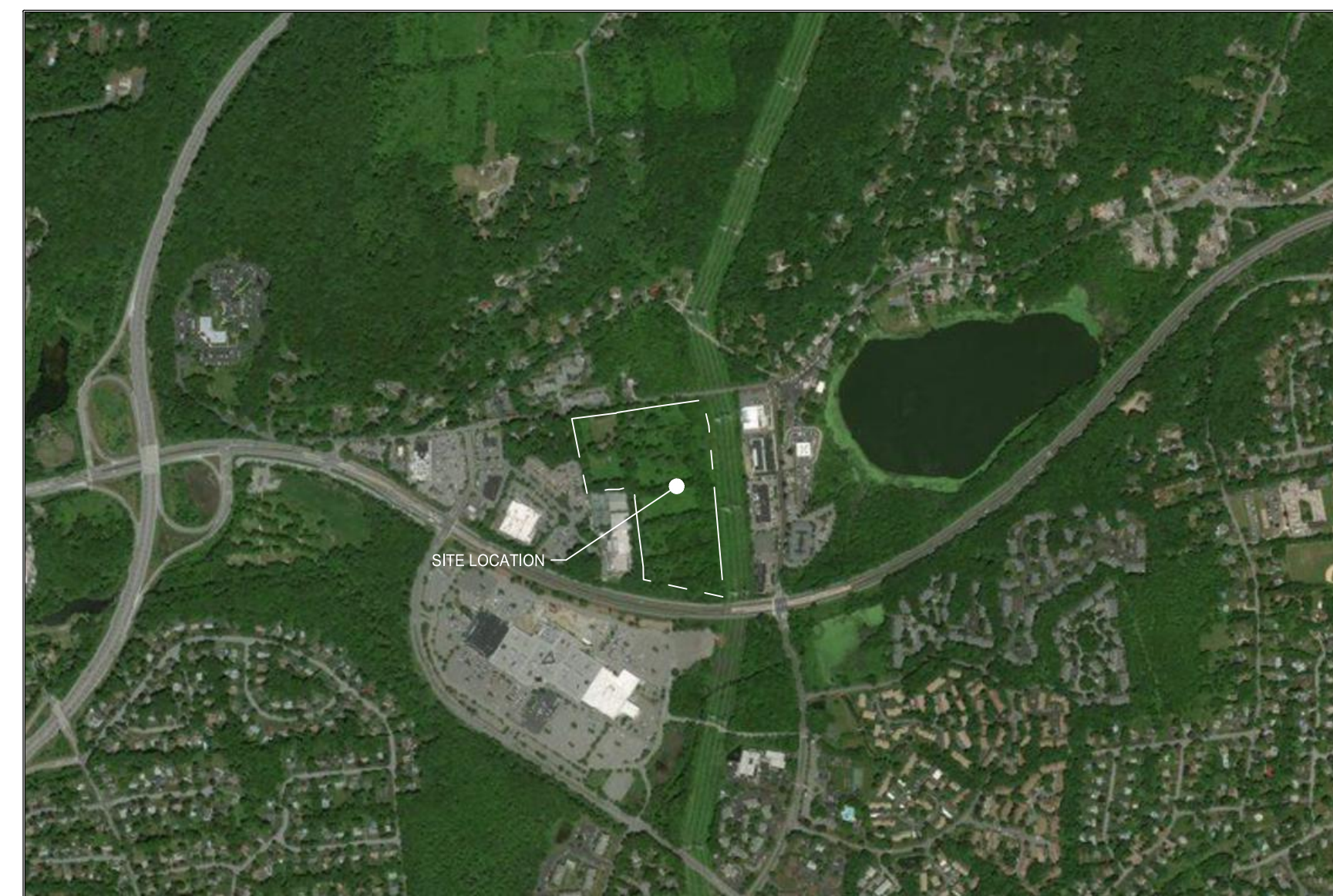
PROJECT CONTACTS

CIVIL ENGINEER
BERGMANN
2 WINNERS CIRCLE, SUITE 102
ALBANY, NY 12205
CONTACT: ERIC REDDING, PE
PHONE: 518.556.3631

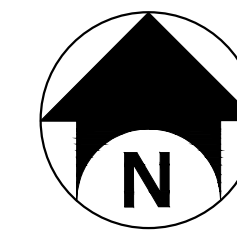
OWNER
OLD HILL FARM LLC
227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

APPLICANT
HILLSIDE SOLAR LLC
227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549
CONTACT: KATHRYN HOENIG
PHONE: 914.953.5312

ELECTRICAL ENGINEER
TBD



SITE LOCATION MAP
1"=1000'



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PRELIMINARY
NOT FOR CONSTRUCTION

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| | |
|-------------------|-----------------|
| Project Manager | Discipline Lead |
| ECR | ECR |
| Designer | Reviewer |
| AG | WD |
| Date Issued | Project Number |
| 07/28/2021 | 14064.11 |

Sheet Name

COVER

Drawing Number

C000

SEQUENCE OF CONSTRUCTION:

- PRE-CONSTRUCTION MEETING HELD TO INCLUDE PROJECT MANAGER, OPERATOR'S ENGINEER, CONTRACTOR, AND SUB-CONTRACTORS PRIOR TO LAND DISTURBING ACTIVITIES.
- CONSTRUCT CONSTRUCTION ENTRANCE/EXIT AT LOCATIONS DESIGNATED ON PLANS.
- INSTALL PERIMETER SILT FENCE.
- HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE CONSTRUCTION IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
- CONSTRUCT GRAVEL ROAD TO BE USED DURING CONSTRUCTION
- STRIP TOPSOIL AND STOCKPILE IN A LOCATION ACCEPTABLE TO CONSTRUCTION MANAGER. WHEN STOCKPILE IS COMPLETE, INSTALL PERIMETER SILT FENCE, SEED SURFACE WITH 100% PERENNIAL RYEGRASS MIXTURE AT A RATE OF 2-4 LBS. PER 1000 SF. APPLY 90-100 LBS PER 1000 SF OF MULCH.
- COMMENCE EARTHWORK CUT AND FILLS. THE WORK SHALL BE PROGRESSED TO ALLOW A REASONABLE TRANSFER OF CUT AND FILL EARTH FOR ROUGH GRADING AND EARTH MOVING. THE CONTRACTOR WILL BE GIVEN SOME LATITUDE TO VARY FROM THE FOLLOWING SCHEDULE IN ORDER TO MEET THE FIELD CONDITIONS ENCOUNTERED. CONTRACTOR SHALL REVIEW VARIATIONS TO SWPPP WITH DESIGN ENGINEER AND QUALIFIED PROFESSIONAL PRIOR TO IMPLEMENTATION.
- CONSTRUCT SOLAR ARRAY AREA IN THREE PHASES AS DETAILED IN SHEET C009 OF THIS PLAN SET. CONTRACTOR SHALL CONSTRUCT EACH PHASE INDIVIDUALLY AND SHALL NOT PROCEED TO THE FOLLOWING PHASE UNTIL THE SOLAR RACKING HAS BEEN INSTALLED AND THE PHASE AREA HAS BEEN TEMPORARILY STABILIZED WITH SEED AND MULCH.
- REMOVE GRAVEL DRIVEWAY USED DURING CONSTRUCTION AND CONSTRUCT THE PROPOSED PERVIOUS GRAVEL DRIVEWAY AFTER CONSTRUCTION ACTIVITIES SUCH AS THE INSTALLATION OF THE PANELS AND PERIMETER FENCE. THE SUB-GRADE MATERIAL WHERE THE DRIVEWAY IS TO BE INSTALLED SHALL BE DECOMPACTED PER NYSDEC'S "DEEP-RIPPING AND DECOMPACTION" MANUAL, DATED APRIL 2008. CONTRACTOR SHALL AVOID FREQUENT HEAVY TRAFFIC ON THE LIMITED USE PERVIOUS GRAVEL.
- AS ROADWAY AND ACCESS DRIVES ARE BROUGHT TO GRADE, THEY WILL BE STABILIZED WITH CRUSHED STONE SUBBASE AT A DEPTH SPECIFIED ON PLANS TO PREVENT EROSION AS SOON AS PRACTICABLE.
- STABILIZE ALL AREAS AS SOON AS PRACTICABLE, IDLE IN EXCESS OF 7 DAYS AND IN WHICH CONSTRUCTION WILL NOT RECOMMENCE WITHIN 14 DAYS.
- INSTALL UTILITIES. TRENCH EXCAVATION/BACKFILL AREAS SHOULD BE STABILIZED PROGRESSIVELY AT THE END OF EACH WORKDAY WITH SEED AND STRAW MULCH AT A RATE OF 100% PERENNIAL RYE GRASS AT 2-4 LBS/1000 SF MULCHED AT 90-100 LBS/1000 SF.
- STABILIZE ALL AREAS IDLE IN EXCESS OF 7 DAYS IN WHICH CONSTRUCTION WILL NOT RECOMMENCE WITHIN 14 DAYS.
- REMOVE TEMPORARY CONSTRUCTION EXITS AND PERIMETER SILT FENCE ONCE SITE HAS ACHIEVED 80% UNIFORM STABILIZATION.

GENERAL NOTES:

- THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
- HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
- THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
- EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED JANUARY 1, 2020 AND ANY SUBSEQUENT APPENDICES.

WASTE/HAZARDOUS MATERIAL PRACTICES:

- WHENEVER POSSIBLE COVERED TRASH CONTAINERS SHOULD BE USED.
- DAILY SITE CLEANUP IS REQUIRED TO REDUCE DEBRIS AND POLLUTANTS IN THE ENVIRONMENT.
- CONTRACTOR SHALL PROVIDE A SAFE STORAGE SPACE FOR ALL PAINTS, STAINS AND SOLVENTS INSIDE A COVERED STORAGE AREA.
- ALL FUELS, OILS, AND GREASE MUST BE KEPT IN CONTAINERS AT ALL TIMES.

EROSION & SEDIMENT CONTROL NOTES:

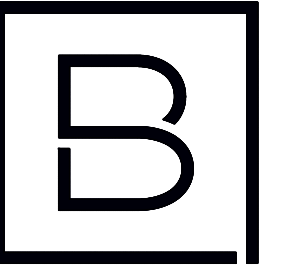
- INSTALL EROSION CONTROL MEASURES AS INDICATED ON THE PLAN PRIOR TO THE START OF ANY EXCAVATION WORK. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, AND THE GOVERNING MUNICIPAL REQUIREMENTS.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER REPLACE TOPSOIL TO A MINIMUM 4" DEPTH WITH TOPSOIL OR AMENDED SOIL. ALL DISTURBED AREAS TO BE SEEDED TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATIVE COVER HAS BEEN ACHIEVED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL OR AMENDED TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.) MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

STORM WATER POLLUTION PREVENTION PLAN NOTES:

- THE CONTRACTOR SHALL PROVIDE A QUALIFIED INSPECTOR TO INSPECT THE PROJECT AT THE END OF EACH WORK WEEK AND PROVIDE A REPORT AT LEAST ONCE PER WEEK.
- EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, WESTCHESTER COUNTY DEPARTMENT OF HEALTH, AND THE TOWN OF YORKTOWN REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES (BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEED AS DIRECTED BY THE CONSTRUCTION MANAGER TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATION HAS BEEN ACHIEVED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED WHEN THEY HAVE REACHED THE DESIGN LIFE INDICATED IN THE NYS GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL DESIGN MANUAL OR EVERY THREE MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL AND EROSION CONTROL STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.) MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- EROSION CONTROL MEASURES SHOULD BE RELOCATED INWARD AS PERIMETER SLOPE CONSTRUCTION PROGRESSES AND RECONSTRUCTED TO THE NYS STANDARDS & SPECIFICATION AT THE END OF EACH DAY.
- PERIMETER AREAS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH PROGRESSIVELY AT MINIMUM AT THE END OF EACH WEEK WITH 100% PERENNIAL RYEGRASS MIX AT A RATE OF 2-4 LBS PER 1000 SF AND MULCH 90-100 LBS PER 1000 SF OF WEED FREE STRAW.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

SITE STABILIZATION:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WIND BLOWN. A TRACTOR-DRAWN IMPLEMENTS MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ALONG THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- BEFORE SEEDING IS APPLIED THE CONTRACTOR SHALL SPREAD SOIL TO PREVENT PONDING AND CONFIRM THAT SOIL WILL SUSTAIN THE SEED GERMINATION AND ESTABLISHMENT OF VEGETATION.
- GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENEO TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE. COMPACTED SOILS SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES, ALONG CONTOUR WHEREVER POSSIBLE, PRIOR TO SEEDING.
- TOPSOIL OR AMENDED SOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A MINIMUM DEPTH OF 6 INCHES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE $\frac{1}{2}$ " TO $\frac{1}{4}$ ". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45° F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.
- LIME, FERTILIZER, SEED, AND MULCH DISTURBED AREAS PER THE EROSION AND SEDIMENT CONTROL PLANS. IN AREAS OF STEEP SLOPES OR OBVIOUS AREAS WHERE POTENTIAL EROSION MAY OCCUR, AN EROSION CONTROL MAT OR FLEXIBLE GROWTH MEDIUM (FGM) SHALL BE USED. FGM SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS.
- ONCE A SECTION OF THE ALIGNMENT HAS BEEN STABILIZED, NO CONSTRUCTION TRAFFIC SHALL OCCUR TO REMOVE ANY BMP'S UNTIL THE SECTION HAS ACHIEVED 80% PERENNIAL VEGETATIVE COVER. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NONVEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.



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ARCHITECTS ENGINEERS PLANNERS

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HILLSIDE SOLAR LLC

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BEDFORD CORNERS, NY 10549

OLD HILL FARM SOLAR FARM

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

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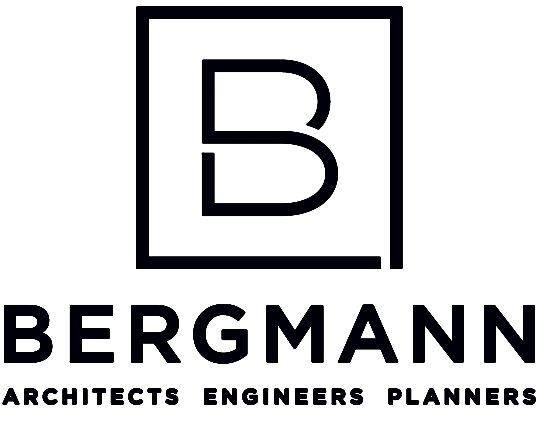
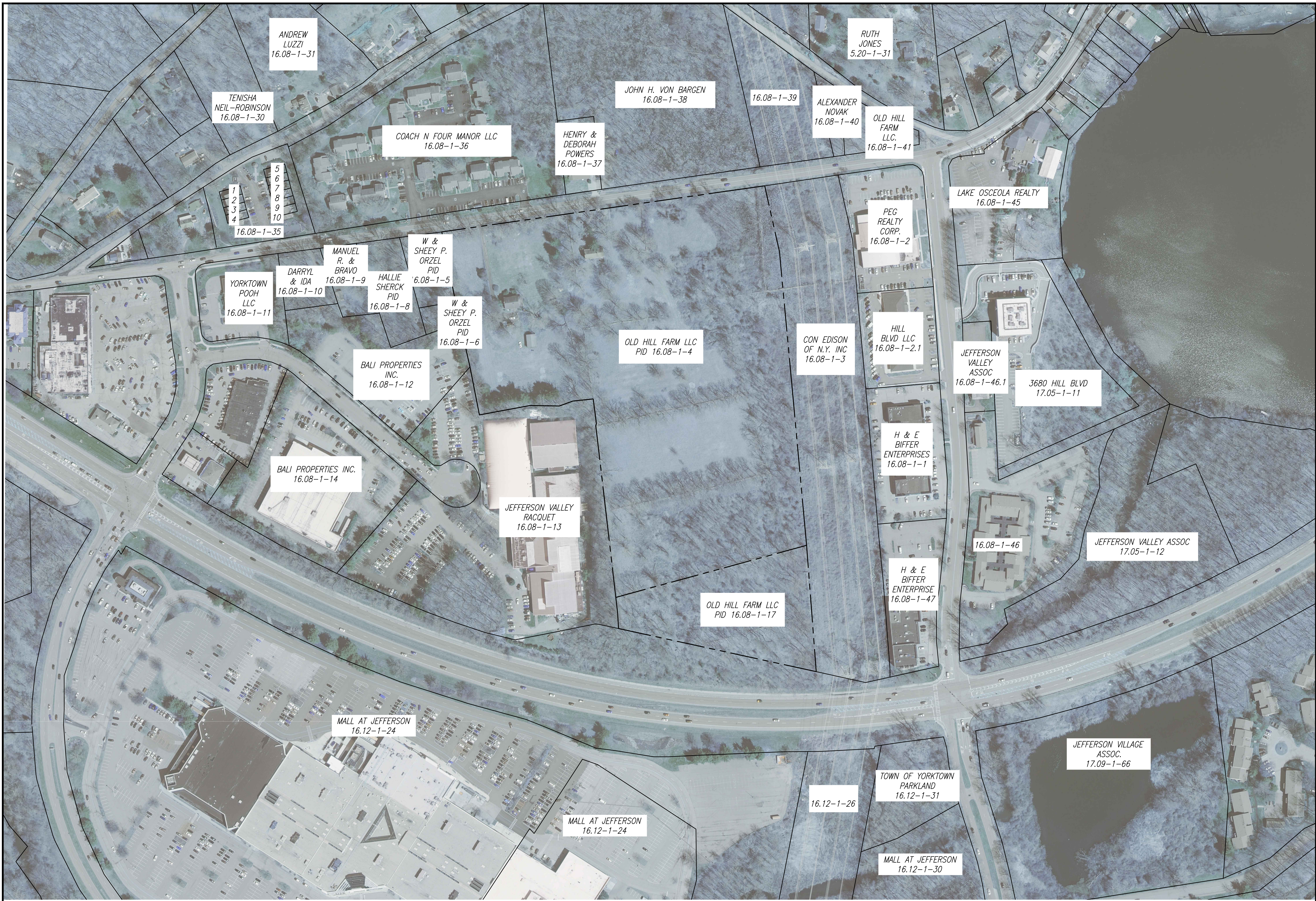
| | |
|-------------------|-----------------|
| Project Manager | Discipline Lead |
| ECR | ECR |
| Designer | Reviewer |
| AG | ECR |
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Sheet Name

GENERAL NOTES

Drawing Number

C001



2 Winners Circle, Suite 102
Albany, NY 12205
www.bergmannpc.com
office: 518.862.0325

HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

OLD HILL FARM SOLAR FARM

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

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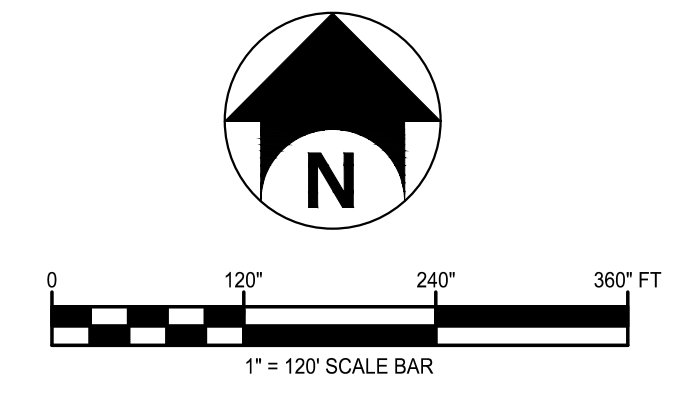
AREA PARCEL PLAN

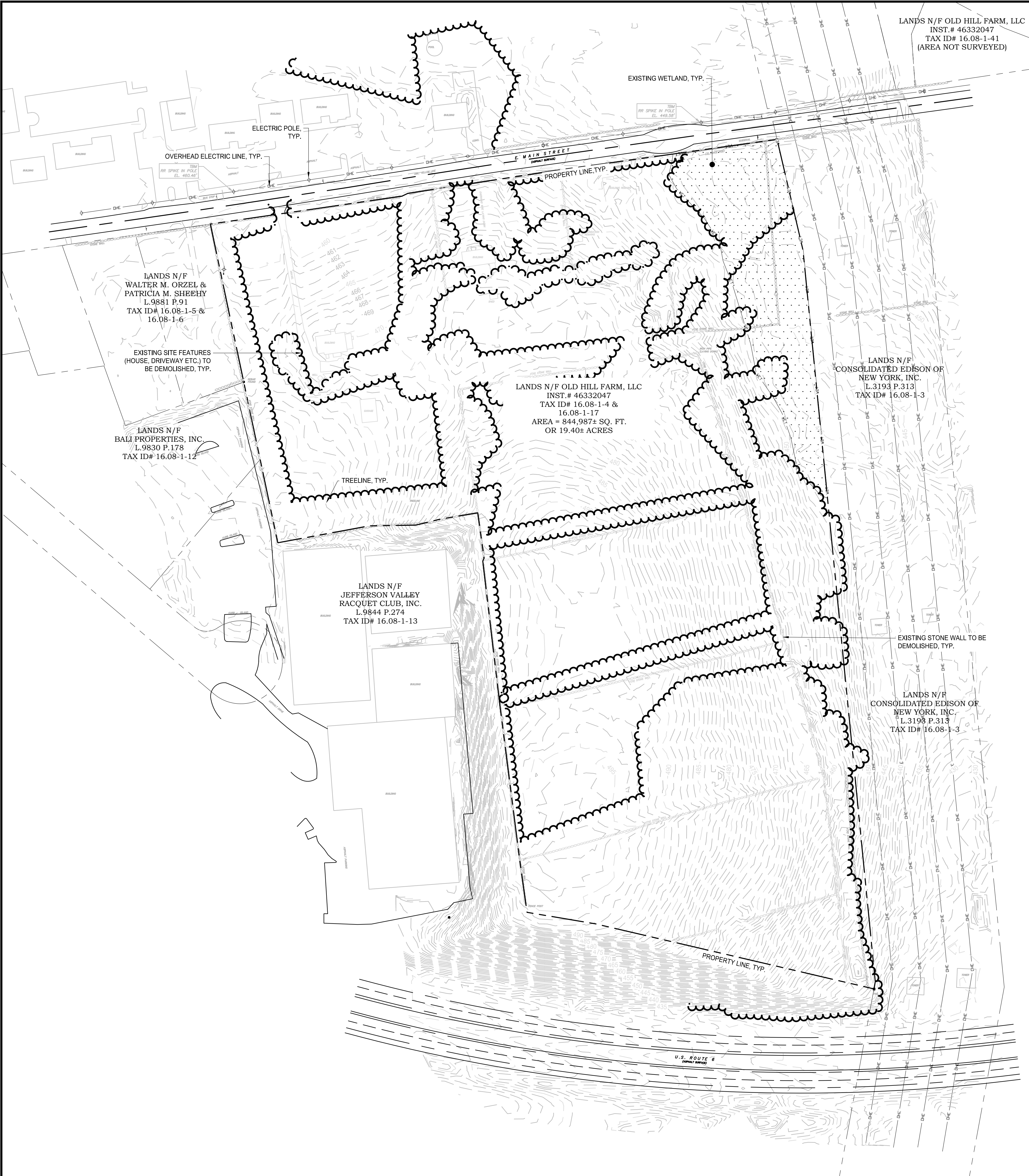
Drawing Number

C002

| NUMBER | TAX ID | PARCEL OWNER |
|--------|------------|-------------------|
| 1 | 16.08-1-51 | DANIELLE DISALVO |
| 2 | 16.08-1-50 | TERRENCE & MURPHY |
| 3 | 16.08-1-49 | LINDA EINFRAK |
| 4 | 16.08-1-48 | LOUISE MILLER |
| 5 | 16.08-1-57 | WILLIAM & OFRIAS |

| NUMBER | TAX ID | PARCEL OWNER |
|--------|------------|-------------------------|
| 6 | 16.08-1-56 | MICHAEL & LISA HUFFMAN |
| 7 | 16.08-1-55 | THOMAS & FURIA |
| 8 | 16.08-1-54 | ALFREDO & CASTRO ROMANO |
| 9 | 16.08-1-53 | MICHELE & MILAZZO |
| 10 | 16.08-1-52 | MICHAEL MANDINO |





SCHEDULE B EXCEPTIONS:

- 5. COVENANTS, RESTRICTIONS, EASEMENTS AND AGREEMENTS FOUND OF RECORD:
- A. TERMS, CONDITIONS, EASEMENTS AND RESERVATIONS CONTAINED IN DEED MADE BY JAMES CURRY HILL, ET AL. TO WESTCHESTER LIGHTING COMPANY, DATED 9/19/1931 AND RECORDED 11/12/1931 IN LIBER 3193 CP. 313, AS MODIFIED BY: TRANSMISSION LINE AS SHOWN.
- (I) RELEASE MADE BETWEEN SMALL SHOPPING CENTERS VENTURE AND CONSOLIDATED COMPANY OF NEW YORK, INC., RECORDED 10/21/1972 IN LIBER 7084 CP. 402 (RELEASES EASEMENTS GRANTED IN LIBER 3193 CP.313); AND
- (II) RELEASE OF EASEMENT MADE BETWEEN CONSOLIDATED COMPANY OF NEW YORK, INC. AND SMALL SHOPPING CENTERS VENTURE, RECORDED 11/24/1972 IN LIBER 7094 CP. 647 (RELEASES EASEMENTS GRANTED IN LIBER 3193 CP.313). (SEE EXHIBIT A)
- B. UTILITY EASEMENT GRANT TO WESTCHESTER LIGHTING COMPANY AND NEW YORK TELEPHONE COMPANY, RECORDED 6/14/1940 IN LIBER 3837 CP. 48, (EXHIBIT B). DOES NOT AFFECT SUBJECT PROPERTY.
- C. GRANT OF PIPELINE EASEMENT TO ALGONQUIN GAS TRANSMISSION COMPANY, RECORDED 7/21/1952 IN LIBER 5118 CP. 386, (EXHIBIT C). DOES NOT AFFECT SUBJECT PROPERTY.
- D. UTILITY EASEMENT GRANT TO CONSOLIDATED COMPANY OF NEW YORK, INC., RECORDED 10/9/1967 IN LIBER 6737 CP. 754, (EXHIBIT D) BLANKET IN NATURE
- E. NEW YORK TELEPHONE COMPANY EASEMENT AGREEMENT, RECORDED 10/10/1967 IN LIBER 6738 CP. 134, (EXHIBIT E) DOES NOT AFFECT SUBJECT PROPERTY.

GENERAL NOTES:

- UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND RECORD DRAWINGS AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES.
- THE OFFSETS OR DIMENSIONS SHOWN HEREON, FROM THE PROPERTY LINES TO THE STRUCTURES, ARE FOR A SPECIFIC PURPOSE AND USE; THEREFORE, THEY ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES OR ANY OTHER IMPROVEMENTS.
- EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY.
- SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.
- REFERENCE IS MADE TO STEWART TITLE INSURANCE COMPANY, TITLE NUMBER 837326 (S-NY-CP-BTA), EFFECTIVE DATE AUGUST 11, 2017.
- BASIS OF BEARING IS NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE. CONTROL WAS ESTABLISHED USING NYSNET VRS SYSTEM. THE HORIZONTAL DATUM IS RELATIVE TO NAD83
- THE VERTICAL POSITION OF THE HEREIN SURVEY IS BASED ON THE NYSNET RTK GPS NETWORK AND IS SUBJECT TO FURTHER ADJUSTMENT TO ANY LOCAL NGS BENCHMARKS. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.

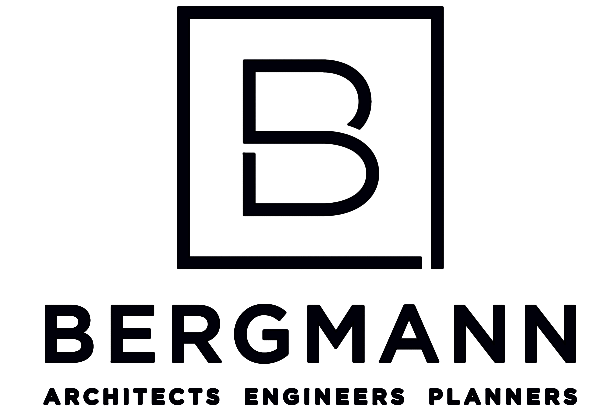
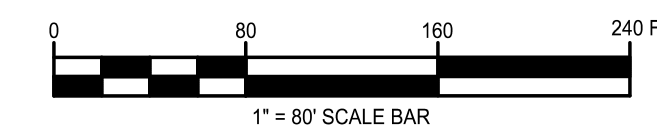
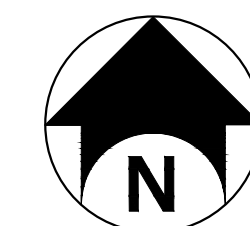
MAP REFERENCES:

- MAP ENTITLED "THE NEW YORK EDISON CO. JAMES CURRY HILL & THEODORE HILL JR. - PURCHASE, 132 KV RIGHT OF WAY BETWEEN PUTNAM-WESTCHESTER CO. LINE & MILLWOOD" DATED SEPT 3, 1931, N-664.
- MAP ENTITLED "SUBDIVISION MAP OF JEFFERSON VALLEY INDUSTRIAL PARK NO 1 FOR JEFFERSON VALLEY CORP.", BY J. HENRY CARPENTER & CO., DATED FEB. 3, 1964, AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE QN MAY 25, 1964 AS MAP NO. 13954.
- MAP ENTITLED "AMENDED SUBDIVISION MAP OF JEFFERSON VALLEY INDUSTRIAL PARK NO 1 FOR JEFFERSON VALLEY CORP.", BY J. HENRY CARPENTER & CO., DATED OCTOBER 2 1964, AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON FEB 1, 1965 AS MAP NO. 14225.
- MAP ENTITLED "SUBDIVISION MAP SHOWING RE-SUBDIVISION OF JEFFERSON VALLEY INDUSTRIAL PARK NO. 1" BY J. HENRY CARPENTER & CO., LAST REVISED MAY 24, 1990, AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON JUNE 11, 1990 AS MAP NO. 24181.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE N.Y. STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON BEHALF OF THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION OR SUBSEQUENT OWNERS.

LEGEND

- PROPERTY LINE
- ADJOINER PROPERTY LINE
- ROAD RIGHT-OF-WAY
- STONE WALL
- ROAD CENTERLINE
- OVERHEAD WIRE
- STREAM CENTERLINE
- CONTOUR - MAJOR
- CONTOUR - MINOR
- SWALE CENTERLINE
- EDGE OF ASPHALT
- EXISTING TREELINE
- PALUSTRINE FORESTED WETLAND (PFO)
- UTILITY POLE
- IRON MONUMENT
- FOUND CONCRETE MONUMENT
- EXISTING SIGN
- GUY WIRE



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227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

**OLD HILL FARM
SOLAR FARM**

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

| Date Revised | Description |
|--------------|---|
| 10/13/2021 | REVISED PER CLIENT COMMENTS |
| 12/01/2021 | REVISED PER TREE COMMISSION COMMENTS |
| 12/28/2021 | REVISED PER FIRE DEPARTMENT COMMENTS |
| 1/07/2022 | REVISED PER SITE VISIT WITH FIRE DEPARTMENT |
| 1/13/2022 | REVISED PER ENGINEERING DEPARTMENT COMMENTS |
| 1/20/2022 | REVISED PER TCAC COMMENTS |

**PRELIMINARY
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| | |
|-------------------|-----------------|
| Project Manager | Discipline Lead |
| ECR | ECR |
| Designer | Reviewer |
| AG | ECR |
| Date Issued | Project Number |
| 07/28/2021 | 14064.11 |

Sheet Name

**EXISTING CONDITIONS
PLAN**

Drawing Number

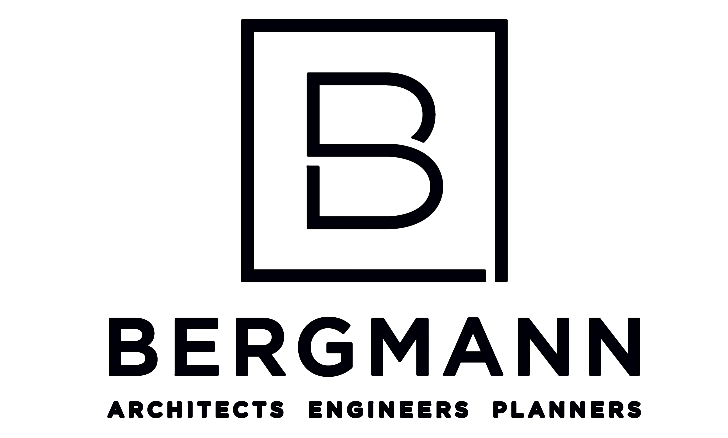
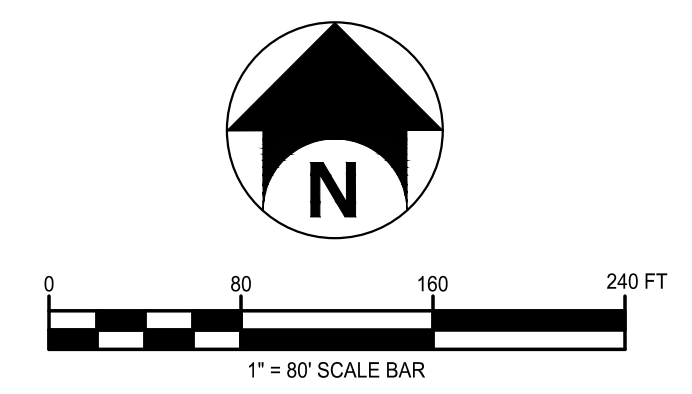
C003



| SITE PLAN DATA TABLE | | |
|---|------------------------------------|-------------|
| SITE IS LOCATED IN THE "R1-20" ONE-FAMILY RESIDENTIAL | | |
| PROPOSED USE: SOLAR ENERGY SYSTEM | | |
| PARCEL 16.08-1-17 | | |
| TOWN OF YORKTOWN, COUNTY OF WESTCHESTER | | |
| STATE OF NEW YORK | | |
| APPLICANT: POWERLEX 805 THIRD AVENUE NEW YORK, NY, 120022 (917) 426-9523 | OWNER(S) OF RECORD: ROMER BEATO | |
| PLANS PREPARED BY: BERGMANN 2 WINNERS CIRCLE, SUITE 102 ALBANY, NY 12205 (518) 862-0325 | | |
| DESCRIPTION | REQUIRED | PROPOSED |
| MIN. LOT SIZE | N/A | 844,987± SF |
| MINIMUM LOT WIDTH | N/A | 900± FT |
| MIN. SIDE YARD SETBACK | 50 FT | 50± FT |
| MIN. FRONT YARD SETBACK | 50 FT | 51± FT |
| MIN. REAR YARD SETBACK | 50 FT | 50± FT |

NOTES
1. REQUIRED ZONING STANDARDS REFLECT THE MOST STRICT RESIDENTIAL ZONING REQUIREMENTS OF THE TOWN OF YORKTOWN PER SECTION 300 ATTACHMENT 1 APPENDIX A RESIDENCE ZONE STANDARDS.

| LEGEND | |
|--------|-----------------------------------|
| | PROPERTY LINE |
| | SET BACK LINE |
| | WETLAND SET BACK |
| | STONE WALL |
| | ADJOINER PROPERTY LINE |
| | ROAD RIGHT-OF-WAY |
| | EXISTING ROAD CENTERLINE |
| | EXISTING OVERHEAD WIRE |
| | EXISTING STREAM CENTERLINE |
| | PROPOSED FENCE LINE |
| | PROPOSED OVERHEAD UTILITY LINE |
| | PROPOSED UNDERGROUND UTILITY LINE |
| | PROPOSED SWALE |
| | PROPOSED TREELINE |
| | SWALE CENTERLINE |
| | EXISTING BUILDING |
| | EXISTING EDGE OF ASPHALT |
| | EXISTING TREELINE |
| | PROPOSED DRIVEWAY |
| | PALUSTRINE FORESTED WETLAND (PFO) |
| | PROPOSED SOLAR PANEL |
| | EXISTING UTILITY POLE |



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| 1/13/2022 | REVISED PER ENGINEERING DEPARTMENT COMMENTS |
| 1/20/2022 | REVISED PER TCAC COMMENTS |

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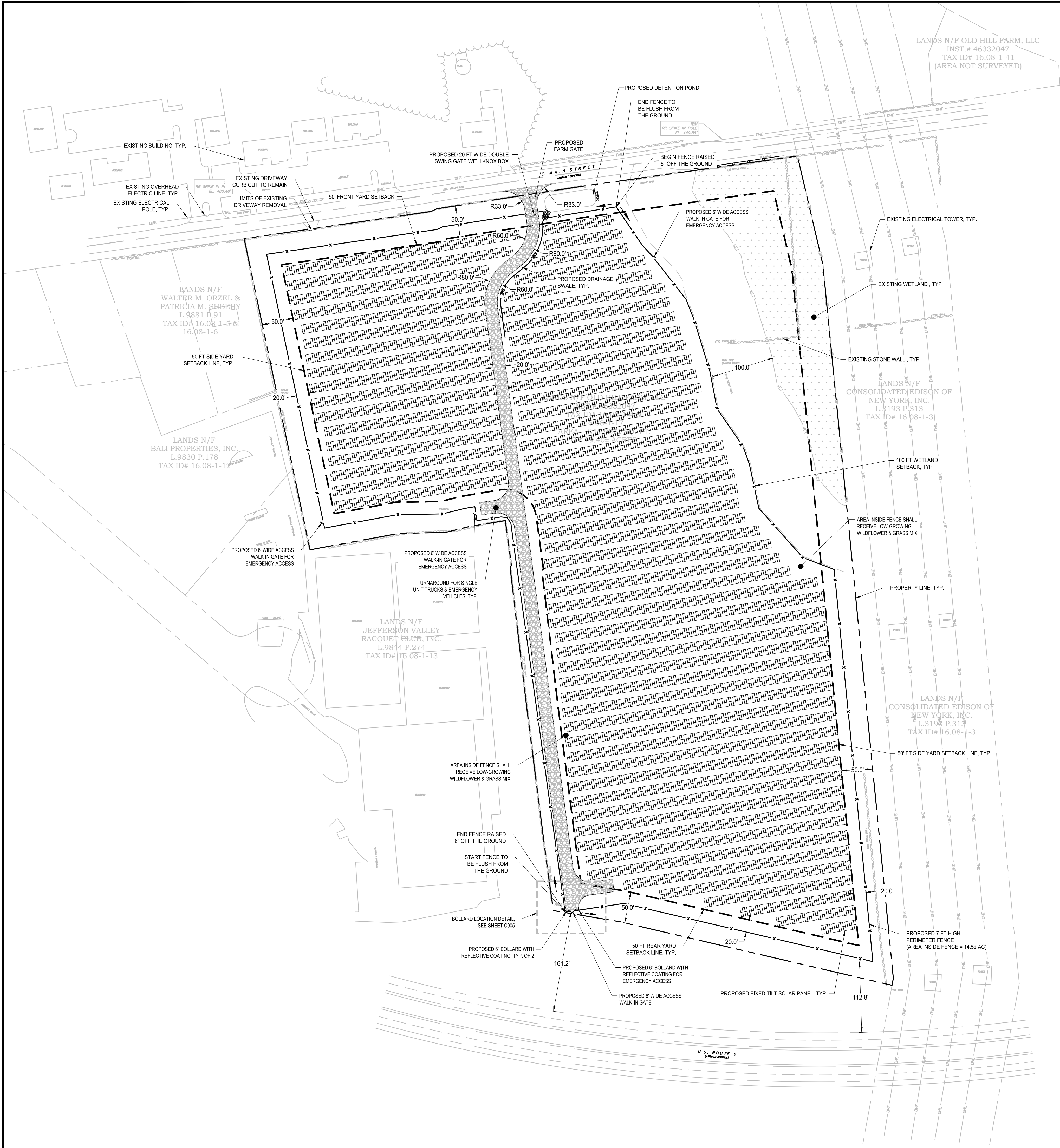
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| | |
|----------------------------------|-----------------------------------|
| Project Manager ECR | Discipline Lead ECR |
| Designer AG | Reviewer ECR |
| Date Issued 07/28/2021 | Project Number 14064.11 |

Sheet Name

OVERALL SITE PLAN

Drawing Number
C004



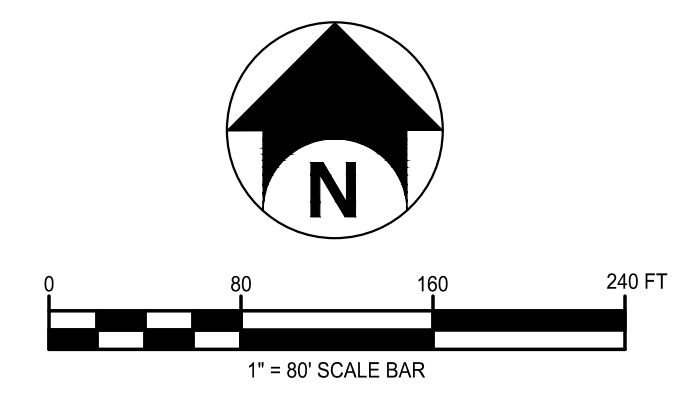
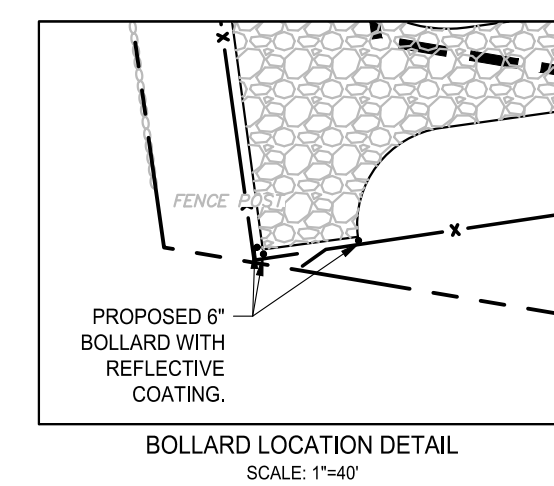
| SITE PLAN DATA TABLE | | |
|---|------------------------------------|------------|
| SITE IS LOCATED IN THE "R1-20" ONE-FAMILY RESIDENTIAL | | |
| PROPOSED USE: SOLAR ENERGY SYSTEM | | |
| PARCEL 16.08-1-17 | | |
| TOWN OF YORKTOWN, COUNTY OF WESTCHESTER | | |
| STATE OF NEW YORK | | |
| APPLICANT: POWERFLEX 805 THIRD AVENUE NEW YORK, NY, 12002 (917) 426-9523 | OWNER(S) OF RECORD: ROMER BEATO | |
| PLANS PREPARED BY: BERGMANN 2 WINNERS CIRCLE, SUITE 102 ALBANY, NY 12205 (518) 862-0325 | | |
| DESCRIPTION | REQUIRED | PROPOSED |
| MIN. LOT SIZE | N/A | 844,987 SF |
| MINIMUM LOT WIDTH | N/A | 900 FT |
| MIN. SIDE YARD SETBACK | 50 FT | 50 FT |
| MIN. FRONT YARD SETBACK | 50 FT | 51 FT |
| MIN. REAR YARD SETBACK | 50 FT | 50 FT |

NOTES

1. REQUIRED ZONING STANDARDS REFLECT THE MOST STRICT RESIDENTIAL ZONING REQUIREMENTS OF THE TOWN OF YORKTOWN PER SECTION 300 ATTACHMENT 1 APPENDIX A RESIDENCE ZONE STANDARDS.

LEGEND

| | |
|--|-----------------------------------|
| | PROPERTY LINE |
| | SET BACK LINE |
| | WETLAND SET BACK |
| | STONE WALL |
| | ADJOINER PROPERTY LINE |
| | ROAD RIGHT-OF-WAY |
| | EXISTING ROAD CENTERLINE |
| | EXISTING OVERHEAD WIRE |
| | EXISTING STREAM CENTERLINE |
| | PROPOSED FENCE LINE |
| | PROPOSED OVERHEAD UTILITY LINE |
| | PROPOSED UNDERGROUND UTILITY LINE |
| | PROPOSED SWALE |
| | PROPOSED TREELINE |
| | SWALE CENTERLINE |
| | EXISTING BUILDING |
| | EXISTING EDGE OF ASPHALT |
| | EXISTING TREELINE |
| | PROPOSED DRIVEWAY |
| | PALUSTRINE FORESTED WETLAND (PFO) |
| | PROPOSED SOLAR PANEL |
| | EXISTING UTILITY POLE |
| | 6" BOLLARD |



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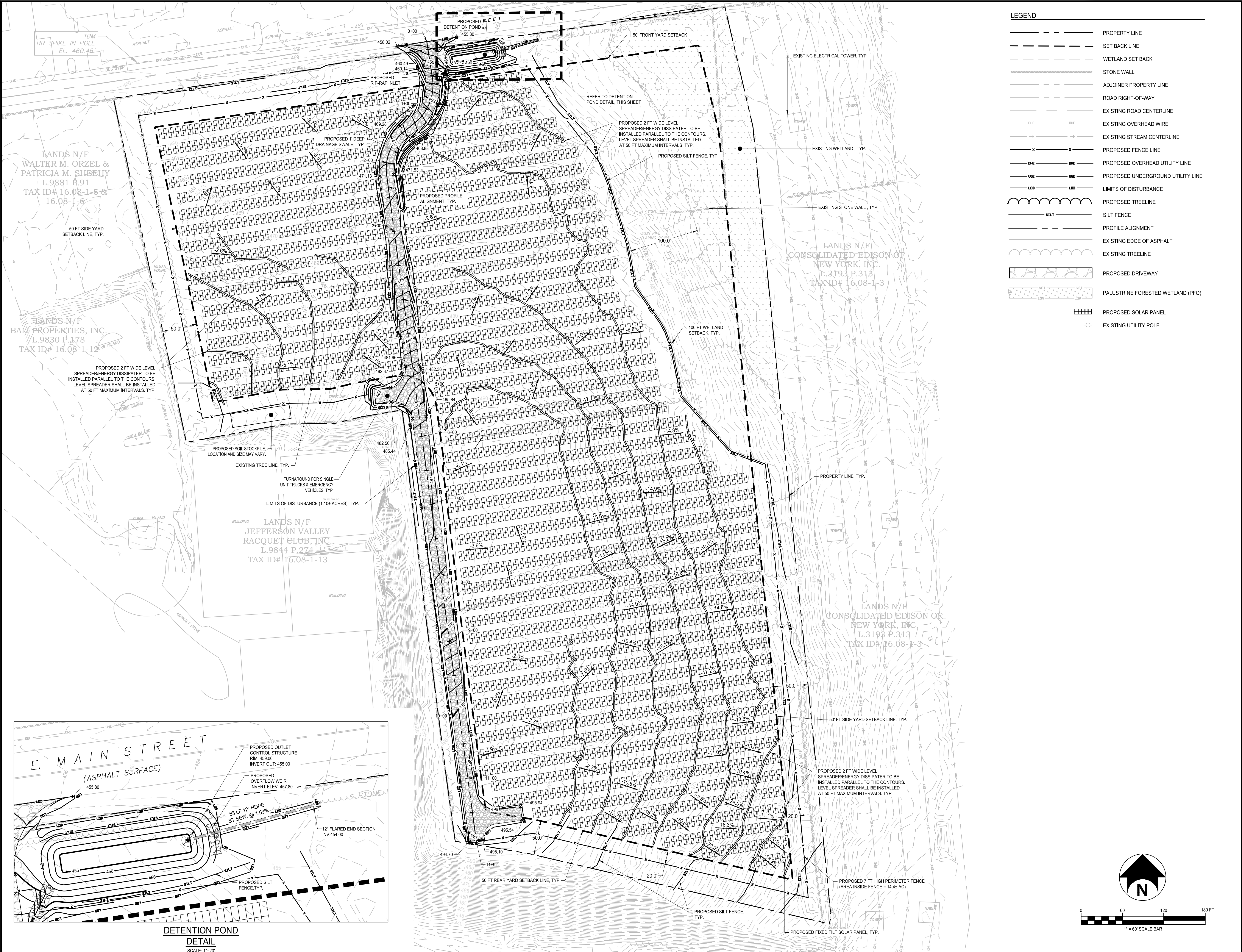
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| | |
|-------------------|-----------------|
| Project Manager | Discipline Lead |
| ECR | ECR |
| Designer | Reviewer |
| AG | ECR |
| Date Issued | Project Number |
| 07/28/2021 | 14064.11 |

Sheet Name

SITE PLAN

Drawing Number
C005



LEGEND

| | |
|--|-----------------------------------|
| | PROPERTY LINE |
| | SET BACK LINE |
| | WETLAND SET BACK |
| | STONE WALL |
| | ADJOINER PROPERTY LINE |
| | ROAD RIGHT-OF-WAY |
| | EXISTING ROAD CENTERLINE |
| | EXISTING OVERHEAD WIRE |
| | EXISTING STREAM CENTERLINE |
| | PROPOSED FENCE LINE |
| | PROPOSED OVERHEAD UTILITY LINE |
| | PROPOSED UNDERGROUND UTILITY LINE |
| | LIMITS OF DISTURBANCE |
| | PROPOSED TREELINE |
| | SILT FENCE |
| | PROFILE ALIGNMENT |
| | EXISTING EDGE OF ASPHALT |
| | EXISTING TREELINE |
| | PROPOSED DRIVEWAY |
| | PALUSTRINE FORESTED WETLAND (PFO) |
| | PROPOSED SOLAR PANEL |
| | EXISTING UTILITY POLE |



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| 1/20/2022 | REVISED PER TCAC COMMENTS |

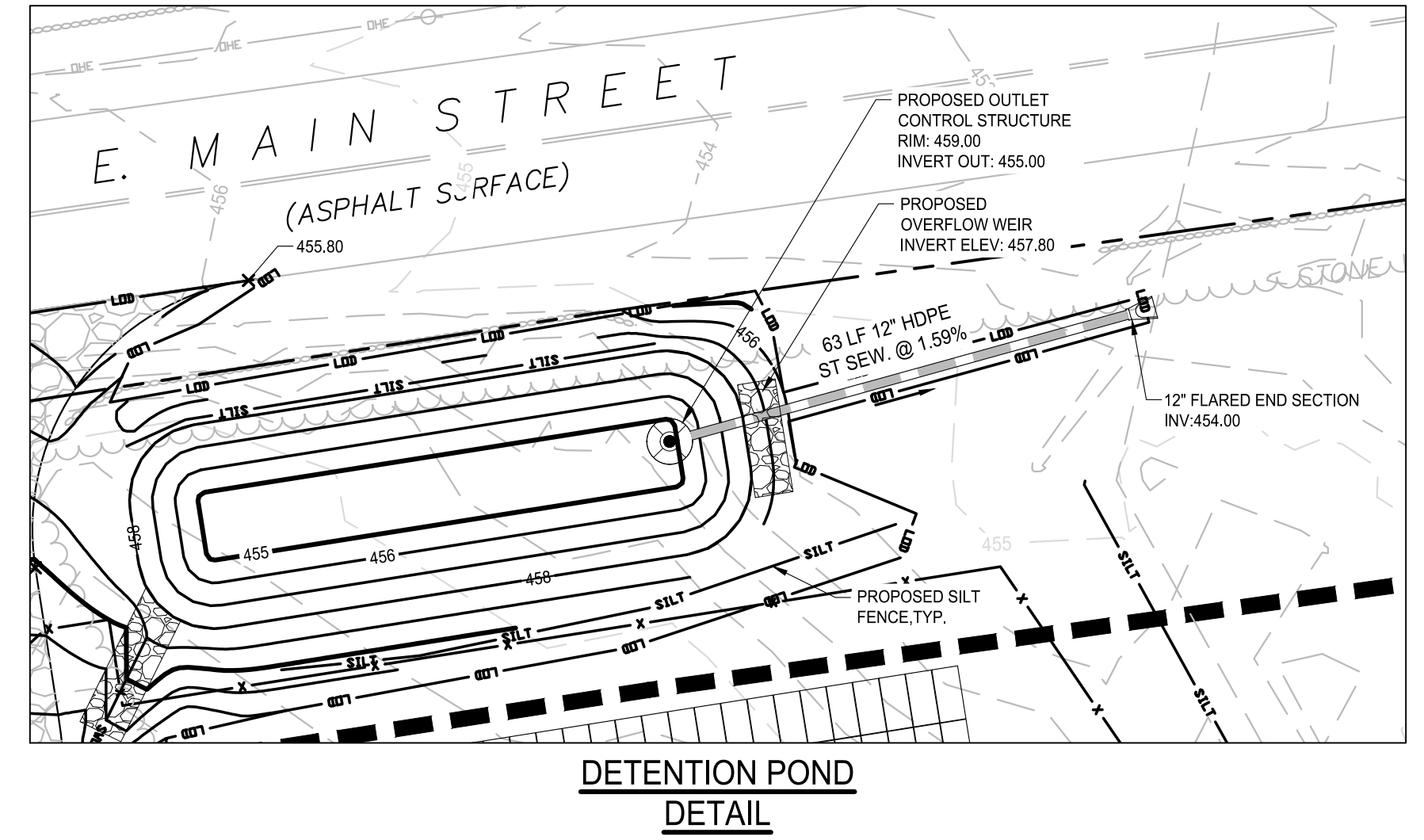
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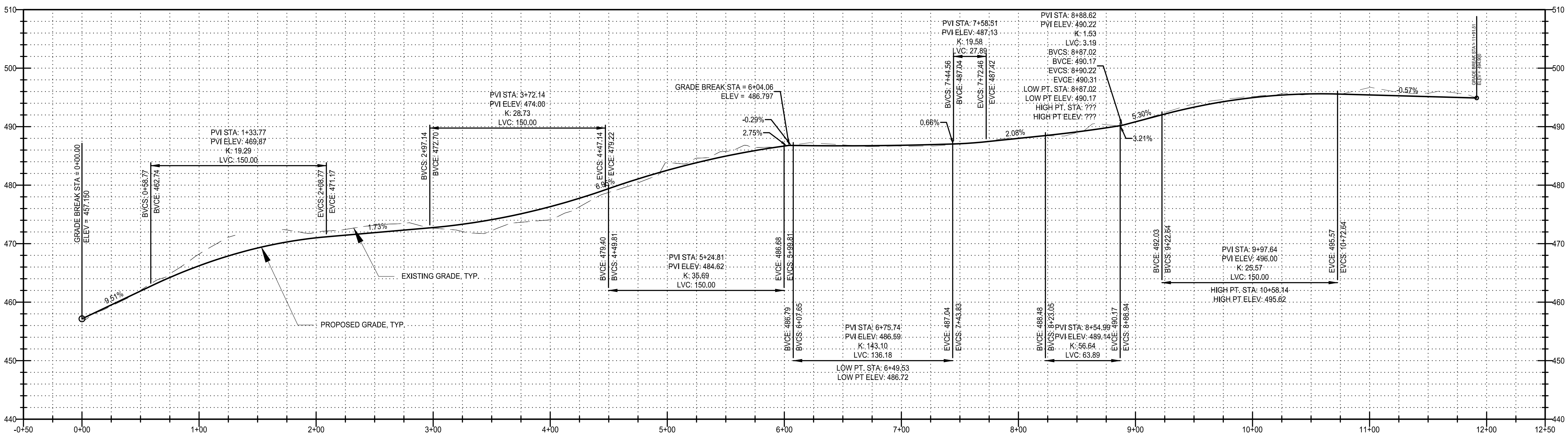
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| | |
|-----------------|-----------------|
| Project Manager | Discipline Lead |
| ECR | ECR |
| Designer | Reviewer |
| AG | ECR |
| Date Issued | Project Number |
| 07/28/2021 | 14064.11 |

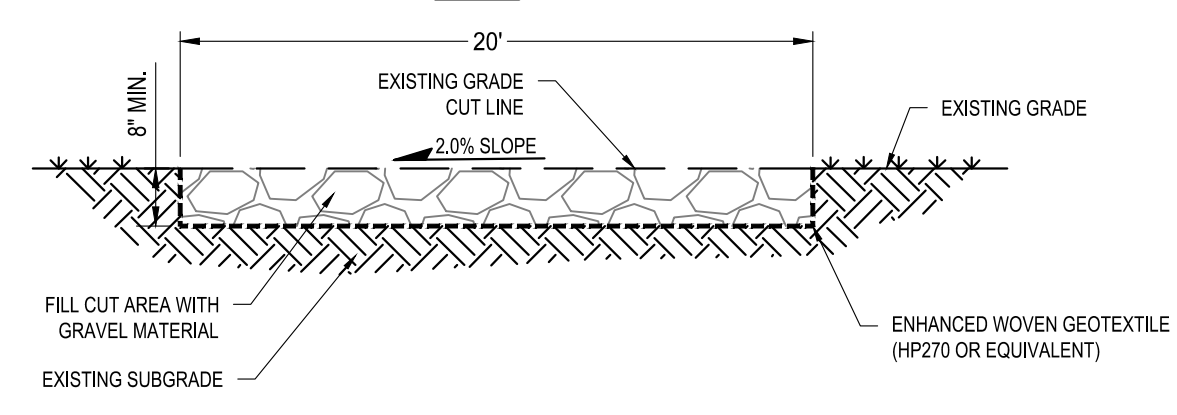
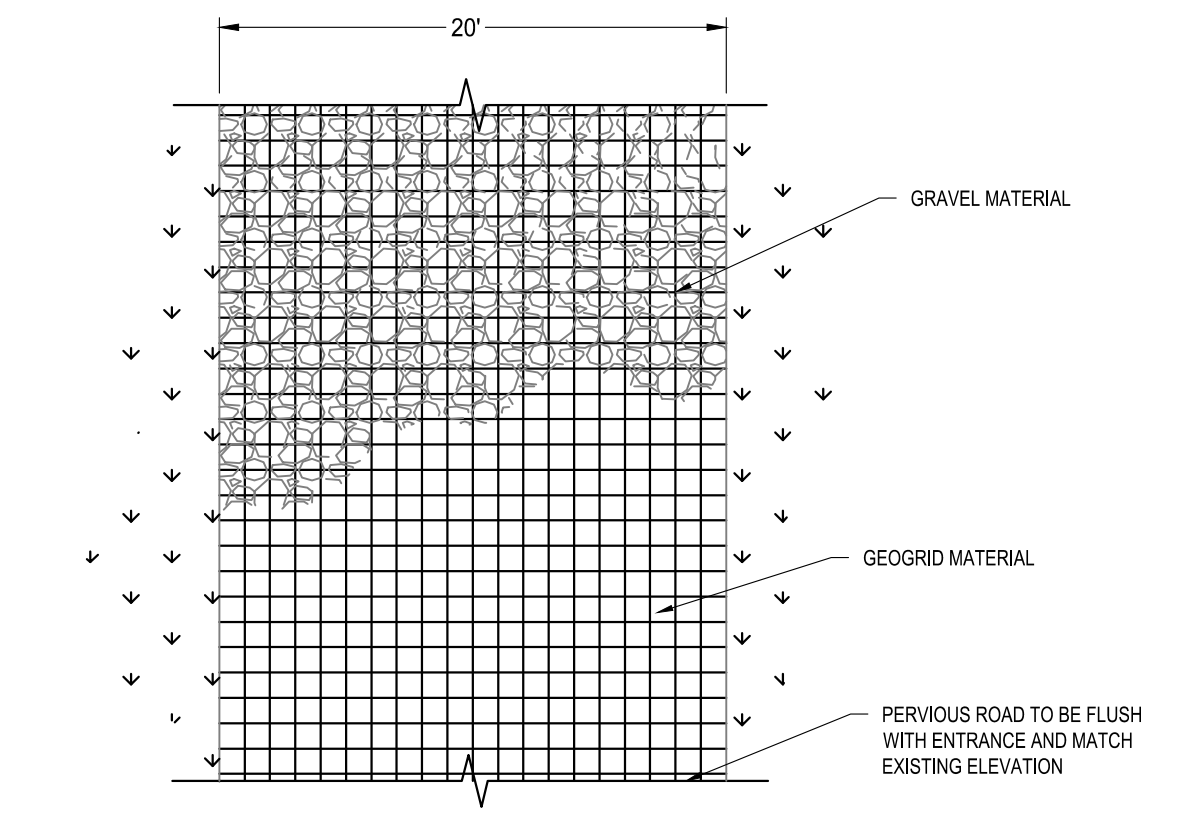
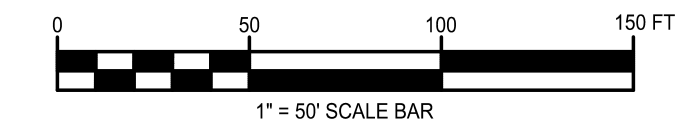
Sheet Name
GRADING & EROSION & SEDIMENT CONTROL PLAN

Drawing Number
C006





DRIVEWAY PROFILE
1"=10' VERTICAL
1"=50' HORIZONTAL



LIMITED USE PERVIOUS ACCESS ROAD - 0% TO 10% SLOPES

NO SCALE

GEOGRID MATERIAL NOTES:

1. THE GEOGRID, OR COMPARABLE PRODUCT, IS INTENDED FOR USE IN ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS LOADS.
2. GRAVEL FILL MATERIAL SHALL CONSIST OF 1-1/2" CLEAN, DURABLE, SHARP ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATION OF NYSDOT 703-02. SIZE DESIGNATION 3-4 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF AND SPREAD WITH A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
3. GEOGRID SHALL BE ENHANCED WOVEN GEOTEXTILE (HP270 OR EQUIVALENT). GEOGRID SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
4. IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
5. REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
6. LIMITED USE PERVIOUS ACCESS ROAD SHALL BE DRESSED AS REQUIRED WITH ONLY 1-1/2" CRUSHED STONE MEETING NYSDOT 703-02 SPECIFICATIONS.

BASIS OF DESIGN: TENCATE MIRAFI BXG110 GEORIDS, 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA. 800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM

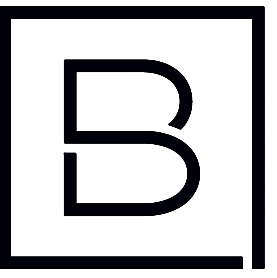
ENHANCED WOVEN GEOTEXTILE MATERIAL NOTES:

1. SPECIFIED GEOTEXTILE WILL ONLY BE UTILIZED IN PLACID SOILS. PLACID SOILS CONSIST OF POORLY DRAINED SOILS COMPOSED OF FINELY TEXTURED PARTICLES AND ARE PRONE TO RUTTING. PLACID SOILS ARE TYPICALLY PRESENT IN LOW-LYING AREAS WITH HYDROLOGIC SOILS GROUP (HSG) OF C OR D OR AS SPECIFIED FROM AN ENVIRONMENTAL SCIENTIST, SOIL SCIENTIST OR GEOTECHNICAL DATA.
2. THE CONCERN OF POTENTIAL REDUCTION OF NATIVE INFILTRATION RATES DUE TO THE GEOTEXTILE MATERIAL WOULD NOT BE A SIGNIFICANT CONCERN IN POORLY DRAINED SOILS WHERE SEGREGATION OF PERVIOUS STONE AND NATIVE MATERIALS IS CRUCIAL FOR LONG TERM OPERATION AND MAINTENANCE.

BASIS OF DESIGN: ENHANCED WOVEN GEOTEXTILE (HP270 OR EQUIVALENT)

GENERAL NOTES:

1. USE OF THIS DETAIL CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOWING, EQUIPMENT REPAIR OR MAINTENANCE).
2. LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
3. REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY. FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
4. REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE IN SITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
5. GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOILS AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
6. REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
7. ROADWAY WIDTH TO BE DETERMINED BY CLIENT.
8. THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 1.5% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
9. LIMITED USE PERVIOUS ACCESS ROAD IS NOT INTENDED TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION. EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY, TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON OR OFF SITE, MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
10. THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
11. PROJECTS SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINED AREAS. HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE WOVEN GEOTEXTILE MATERIAL AS DETAIL IN FOLLOWING NOTES.
12. THE DRAINAGE DITCH IS OFFERED IN THE DETAIL FOR CIRCUMSTANCES WHEN CONCENTRATED FLOW COULD NOT BE AVOIDED. THE INTENTION OF THE DESIGN IS TO MINIMIZE ALTERATIONS TO HYDROLOGY. HOWEVER WHEN DEALING WITH 5%-15% GRADES NOT PARALLEL TO THE CONTOUR, A ROADSIDE DITCH MAY BE REQUIRED. THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR GRASSED WATERWAYS AND VEGETATED WATERWAYS ARE APPLICABLE FOR SIZING AND STABILIZATION. DIMENSIONS FOR THE GRASSED WATERWAY SPECIFICATION SHOULD BE DESIGNED FOR PROJECT SPECIFIC HYDROLOGIC RUNOFF CALCULATIONS, AND A SEPARATE DETAIL FOR THE SPECIFIC GRASSED WATERWAY WOULD BE INCLUDED IN THIS PRACTICE. RUNOFF DISCHARGE WILL BE SUBJECT TO THE OUTLET REQUIREMENTS OF THE REFERENCED STANDARD. INCREASED POST-DEVELOPMENT RUNOFF FROM THE ASSOCIATED ROADSIDE DITCH MAY REQUIRE ADDITIONAL PRACTICES TO ATTENUATE RUNOFF TO PRE-DEVELOPMENT CONDITIONS.
13. IF A ROADSIDE DITCH IS NOT UTILIZED TO CAPTURE RUNOFF FROM THE ACCESS ROAD, THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION (I.E. BUFFER), 20 FEET WIDE AND PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
14. THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USE PERVIOUS ACCESS ROAD IN THEIR SITE ASSESSMENT / HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE- TO POST-DEVELOPMENT CONDITIONS (SEE APPENDIX A OF GP-0-20-01 FOR THE DEFINITION OF "ALTER THE HYDROLOGY..."), THE DESIGN MUST INCLUDE THE NECESSARY DETENTION/RETENTION PRACTICES TO ATTENUATE THE RATES (10 AND 100 YEAR EVENTS) TO PRE-DEVELOPMENT CONDITIONS.



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HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
 BEDFORD CORNERS, NY 10549

**OLD HILL FARM
 SOLAR FARM**

571 EAST MAIN STREET
 JEFFERSON VALLEY, NY 10535

| Date Revised | Description |
|--------------|---|
| 10/13/2021 | REVISED PER CLIENT COMMENTS |
| 12/01/2021 | REVISED PER TREE COMMISSION COMMENTS |
| 12/28/2021 | REVISED PER FIRE DEPARTMENT COMMENTS |
| 1/07/2022 | REVISED PER SITE VISIT WITH FIRE DEPARTMENT |
| 1/13/2022 | REVISED PER ENGINEERING DEPARTMENT COMMENTS |
| 1/20/2022 | REVISED PER TCAC COMMENTS |

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| ECR | ECR |
| Designer | Reviewer |
| AG | ECR |
| Date Issued | Project Number |
| 07/28/2021 | 14064.11 |

Sheet Name

GRADING PLAN DETAILS

Drawing Number

C007



| PLANT LIST | | | | | | | | | |
|-----------------|------|----------------------|--------------------|-------------|---------|----------------|-----------|-----|--|
| Key | Qty. | Botanical Name | Common Name | Mature Size | | Installed Size | Condition | DBH | |
| | | | | Height | Spread | | | | |
| Evergreen Trees | | | | | | | | | |
| JV | 75 | Juniperus Virginiana | Eastern Red Cedar | 30'-60' | 10'-25' | 8' HL | B&B | 3" | |
| PG | 67 | Picea Glauca | White Spruce | 40'-60' | 10'-20' | 8' HL | B&B | 3" | |
| PG-1 | 5 | Picea Glauca | White Spruce | 40'-60' | 10'-20' | 12' HL | B&B | 5" | |
| AC | 60 | Abies Concolor | White Fir | 50'-75' | 20'-30' | 6'-7' HL | B&B | 3" | |
| PP | 64 | Pinus Strobus | Eastern White Pine | 50'-60' | 20'-40' | 7'-8' HL | B&B | 3" | |
| TOTAL | 265 | | | | | | | | |

LEGEND:

- PROPOSED TREE PLANTING
- SEED LIMIT LINE
- SEED SCHEDULE 'B'
- PROPOSED GRAVEL DRIVEWAY
- PROTECTED WOODLAND AREA TO BE DISTURBED
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- EXISTING VEGETATION
- PROPOSED LIMITS OF TREE CLEARING
- PALUSTRINE FORESTED WETLAND (PFO)
- STREAM
- 100 FT WETLAND SETBACK
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED

| TREE MITIGATION DATA TABLE | | | | |
|----------------------------|-----------------|--|---|--|
| TREES TO BE REMOVED | TREES TO REMAIN | NUMBER OF TREES WITH DIAMETER AT BREAST HEIGHT 5" - 7" | NUMBER OF TREES WITH DIAMETER AT BREAST HEIGHT 7" - 24" | NUMBER OF TREES WITH DIAMETER AT BREAST HEIGHT > 24" |
| 578 | 121 | 8 | 602 | 90 |



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OLD HILL FARM SOLAR FARM

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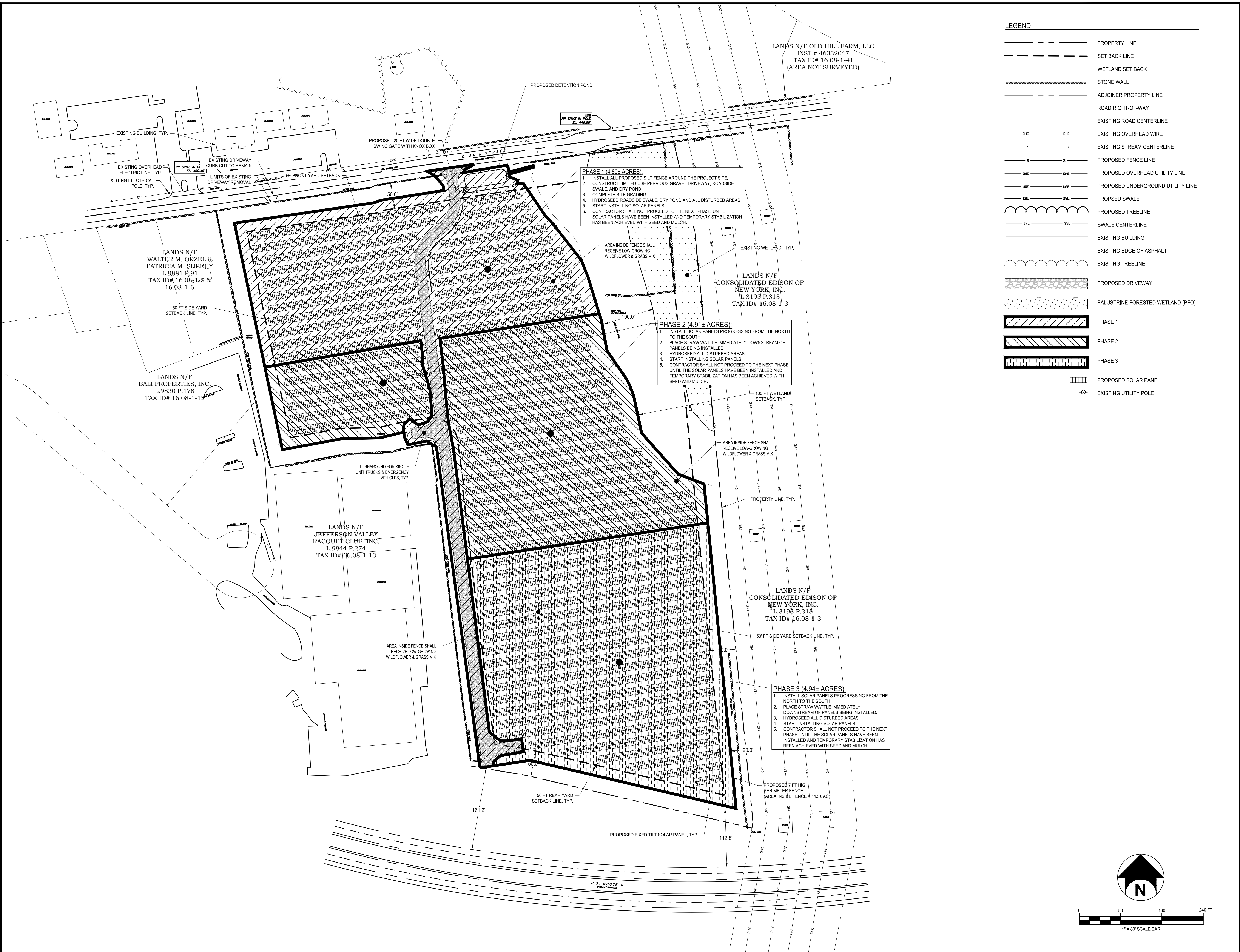
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| ECR | ECR |
| Designer | Reviewer |
| AG | ECR |
| Date Issued | Project Number |
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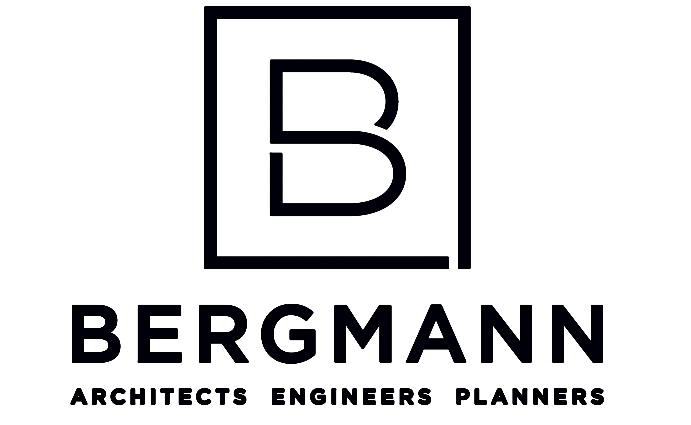
Sheet Name
LANDSCAPING & TREE MITIGATION PLAN

Drawing Number
C008



LEGEND

| | |
|--|-----------------------------------|
| | PROPERTY LINE |
| | SET BACK LINE |
| | WETLAND SET BACK |
| | STONE WALL |
| | ADJOINER PROPERTY LINE |
| | ROAD RIGHT-OF-WAY |
| | EXISTING ROAD CENTERLINE |
| | EXISTING OVERHEAD WIRE |
| | EXISTING STREAM CENTERLINE |
| | PROPOSED FENCE LINE |
| | PROPOSED OVERHEAD UTILITY LINE |
| | PROPOSED UNDERGROUND UTILITY LINE |
| | PROPOSED SWALE |
| | PROPOSED TREELINE |
| | SWALE CENTERLINE |
| | EXISTING BUILDING |
| | EXISTING EDGE OF ASPHALT |
| | EXISTING TREELINE |
| | PROPOSED DRIVEWAY |
| | PALUSTRINE FORESTED WETLAND (PFO) |
| | PHASE 1 |
| | PHASE 2 |
| | PHASE 3 |
| | PROPOSED SOLAR PANEL |
| | EXISTING UTILITY POLE |



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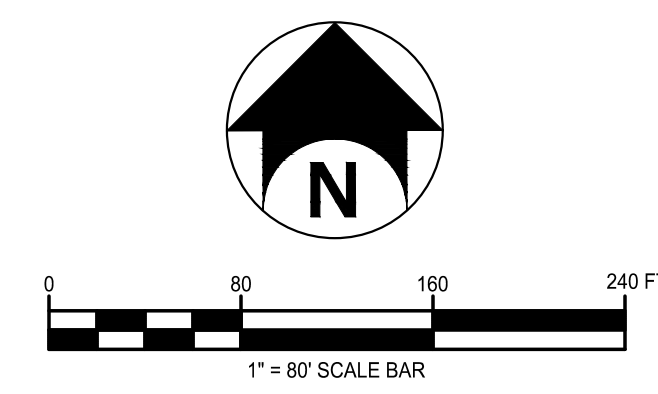
| | |
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| Project Manager | Discipline Lead |
| ECR | ECR |
| Designer | Reviewer |
| AG | ECR |
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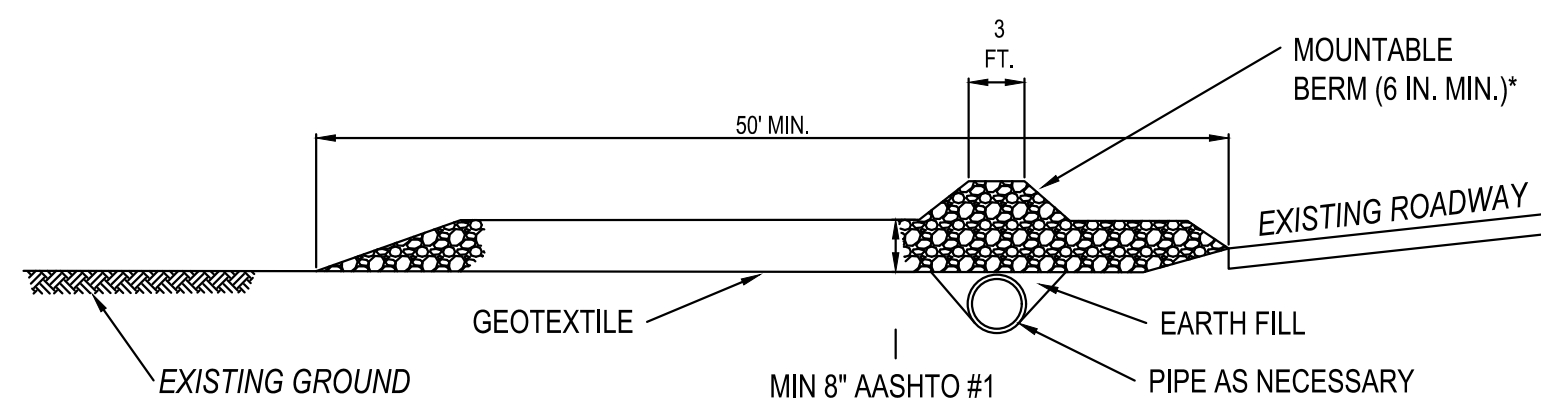
Sheet Name

PHASING PLAN

Drawing Number

C009





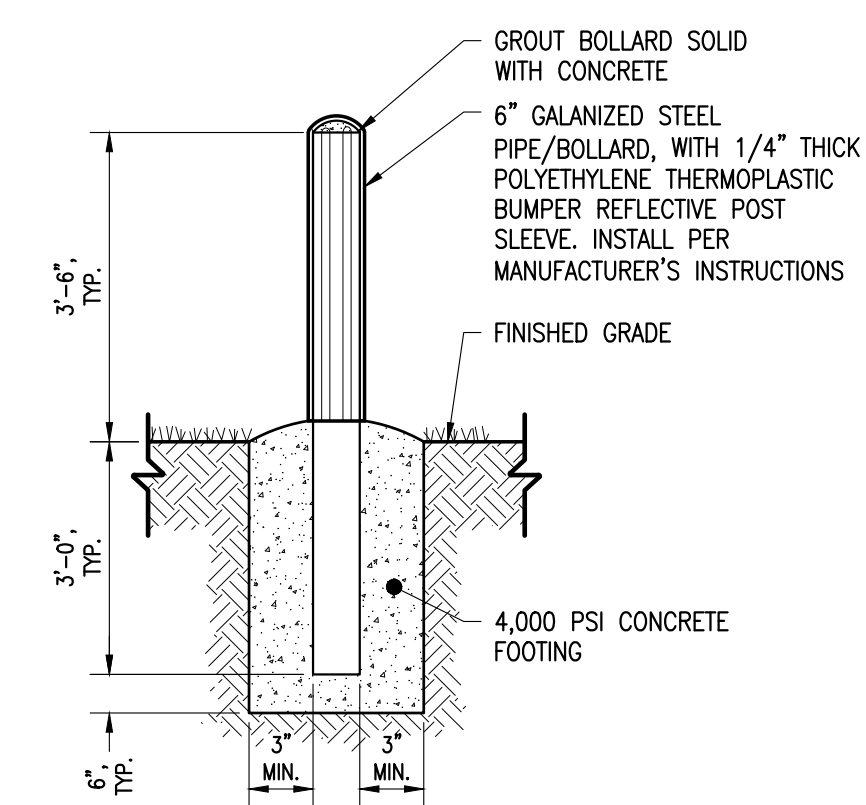
PROFILE

PLAN VIEW

* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

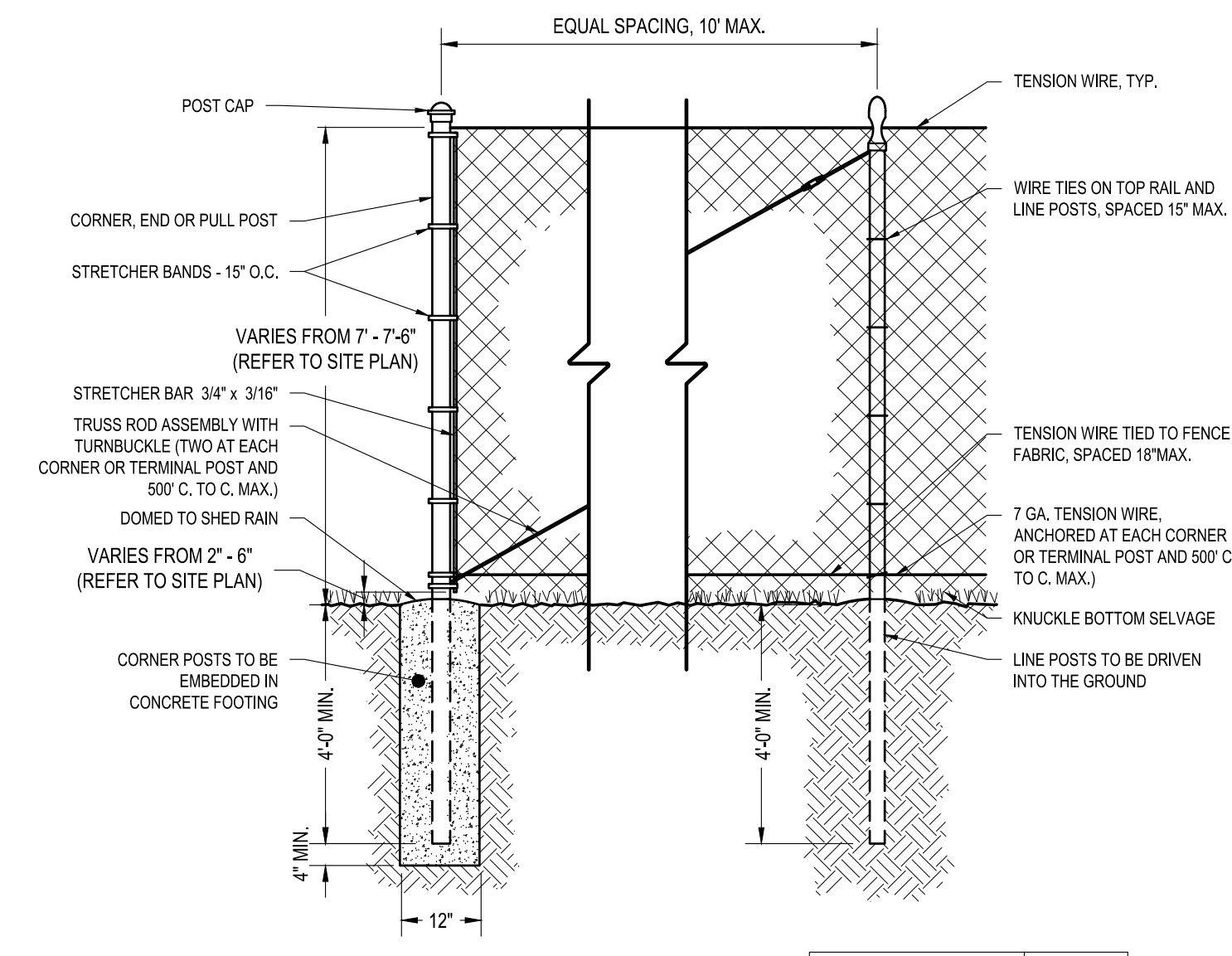
- NOTES:
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



- NOTES:
1. WHEN BOLLARD IS TO BE INSTALLED IN GRASS, FOOTING SHALL BE EXTENDED TO FINISHED GRADE AND DOMED TO PROMOTE DRAINAGE AWAY FROM BOLLARD.
 2. BOLLARD SLEEVE COVER SHALL BE REFLECTIVE

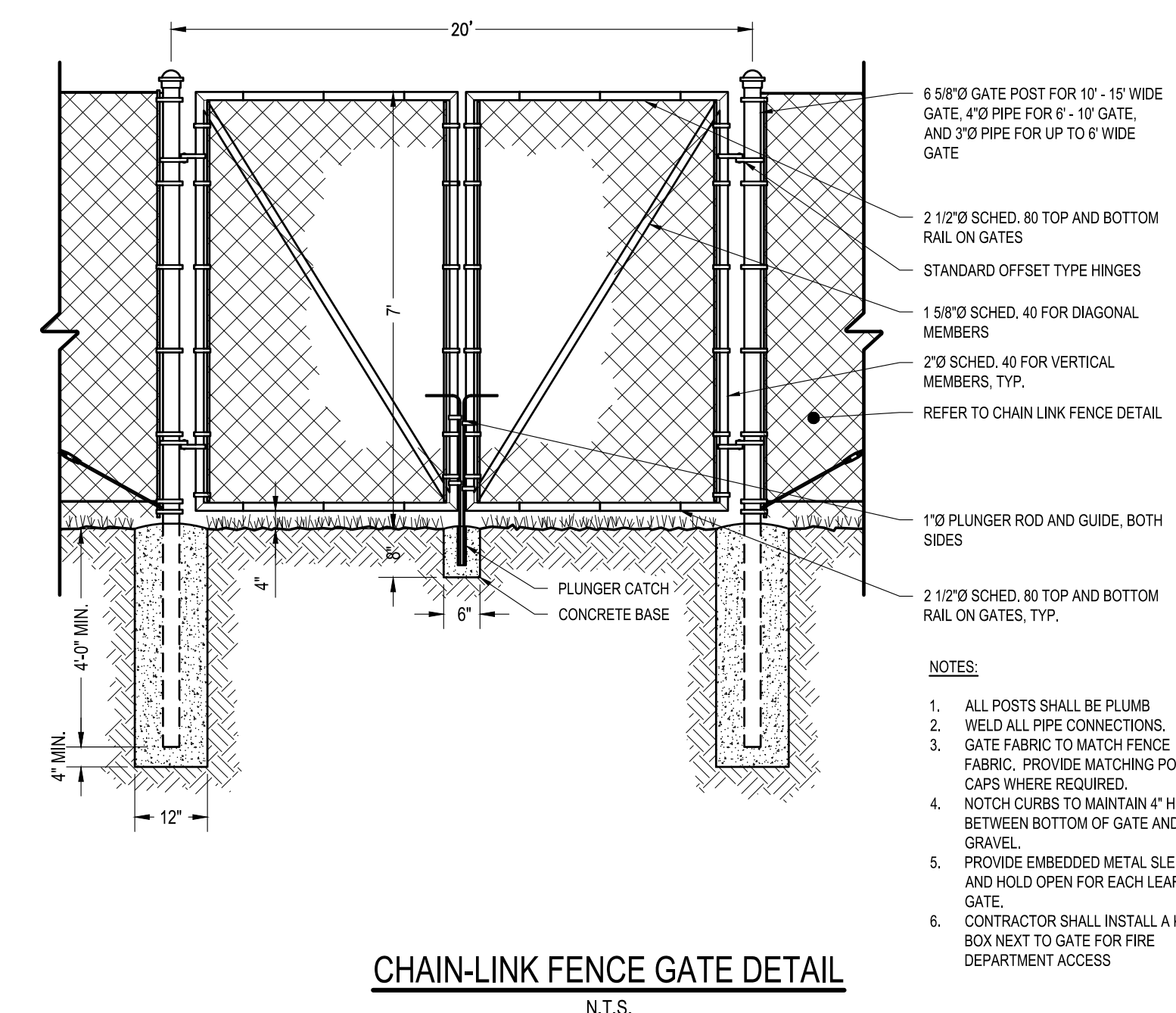
6" GALVANIZED STEEL PIPE BOLLARD W/SLEEVE
N.T.S.



- NOTES:
1. ALL POSTS SHALL BE PLUMB
 2. WIRE TIES SHALL BE PLACED 15" ON CENTER ALONG TOP RAIL AND LINE POSTS.
 3. LINE POSTS SHALL BE DRIVEN INTO THE GROUND.
 4. CORNER POSTS SHALL BE EMBEDDED IN 12" DIAMETER CONCRETE FOOTING.

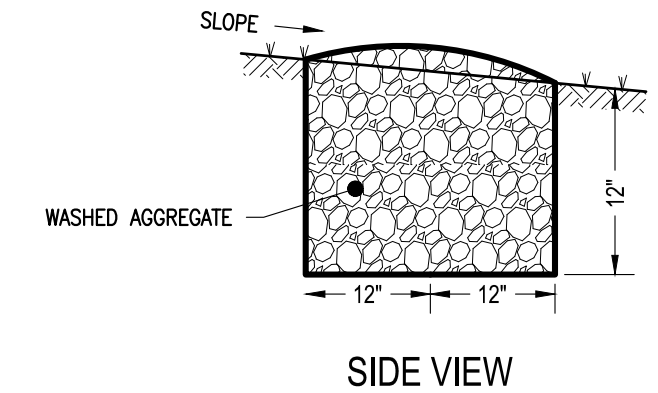
| USE | NOM. OD. |
|--------------------------------|----------|
| LINE POSTS | 2 1/2" |
| CORNER END, GATE, & PULL POSTS | 3" |
| RAILS | 1 5/8" |
| GATE FRAMES | 2" |

CHAIN-LINK FENCE DETAIL
N.T.S.



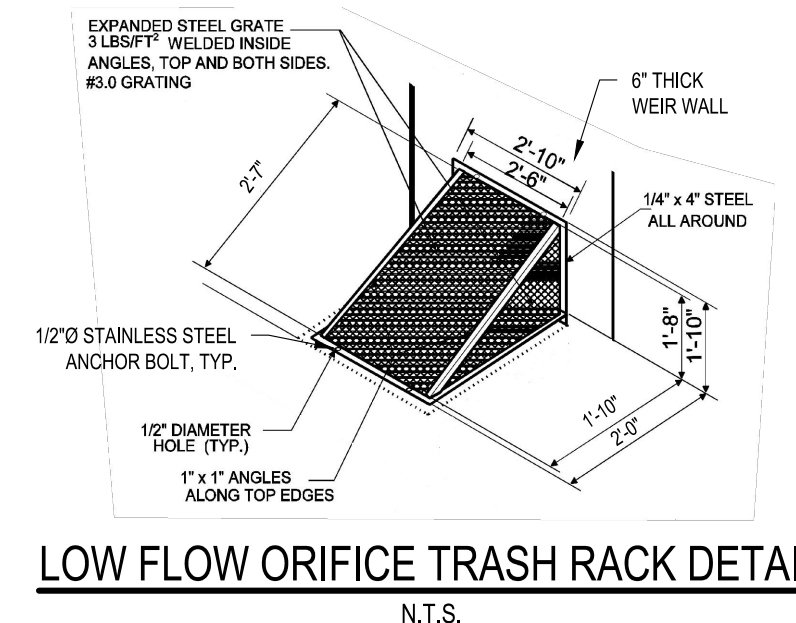
- NOTES:
1. ALL POSTS SHALL BE PLUMB
 2. WELD ALL PIPE CONNECTIONS.
 3. GATE FABRIC TO MATCH FENCE FABRIC. PROVIDE MATCHING POST CAPS WHERE REQUIRED.
 4. NOTCH CURBS TO MAINTAIN 4" HEIGHT BETWEEN BOTTOM OF GATE AND GRAVEL.
 5. PROVIDE EMBEDDED METAL SLEEVE AND HOLD OPEN FOR EACH LEAF OF GATE.
 6. CONTRACTOR SHALL INSTALL A KNOX BOX NEXT TO GATE FOR FIRE DEPARTMENT ACCESS

CHAIN-LINK FENCE GATE DETAIL
N.T.S.

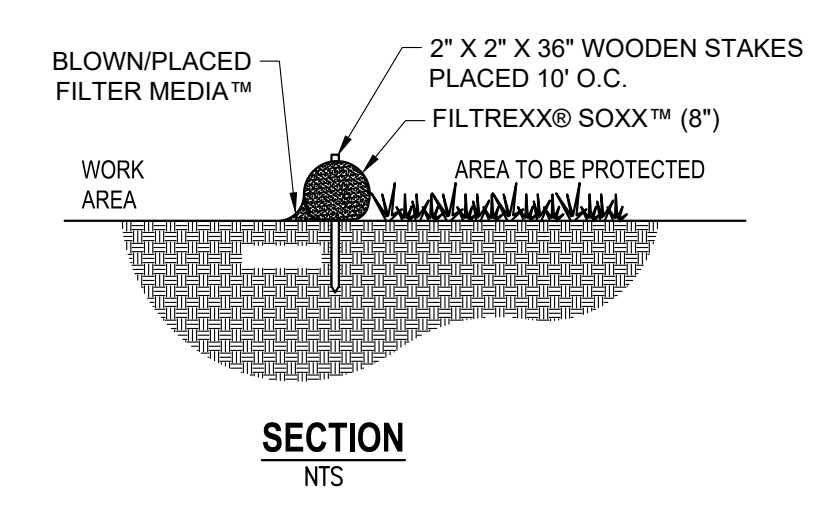


- NOTES:
1. LEVEL SPREADERS SHALL BE CONSTRUCTED PARALLEL WITH CONTOURS.

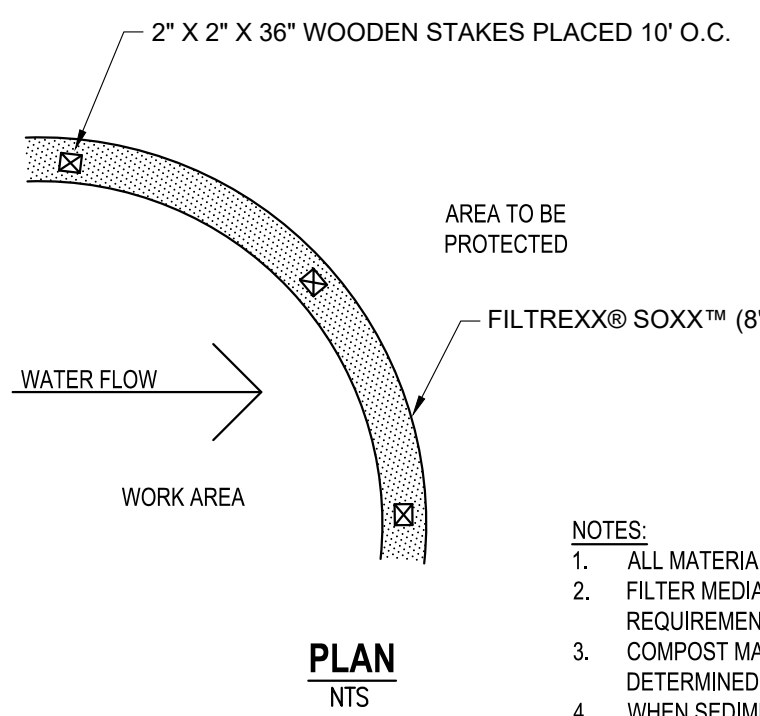
LEVEL SPREADER DETAIL
N.T.S.



LOW FLOW ORIFICE TRASH RACK DETAIL
N.T.S.



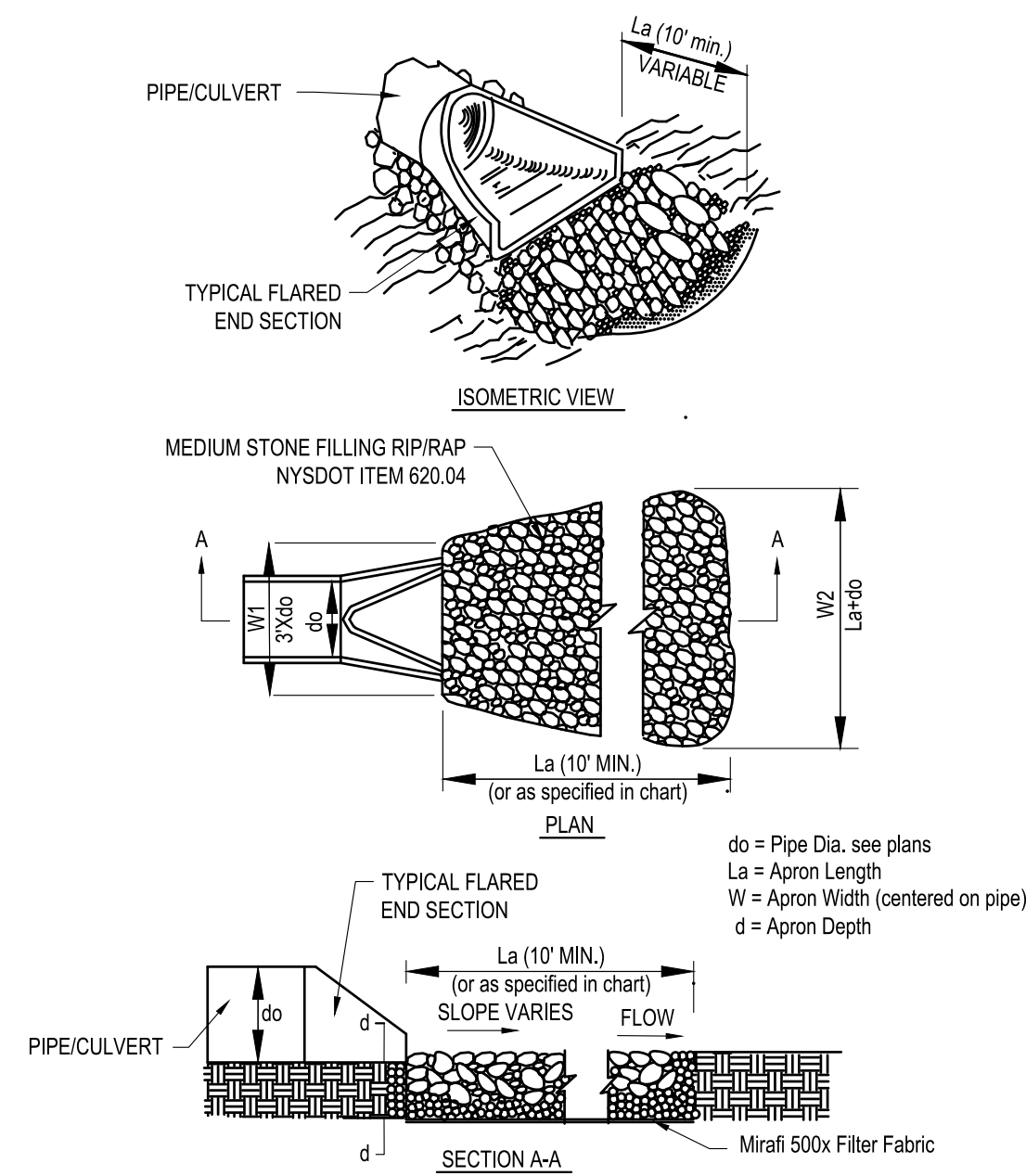
SECTION
N.T.S.



PLAN
N.T.S.

- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 4. WHEN SEDIMENT CONTROL IS USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS

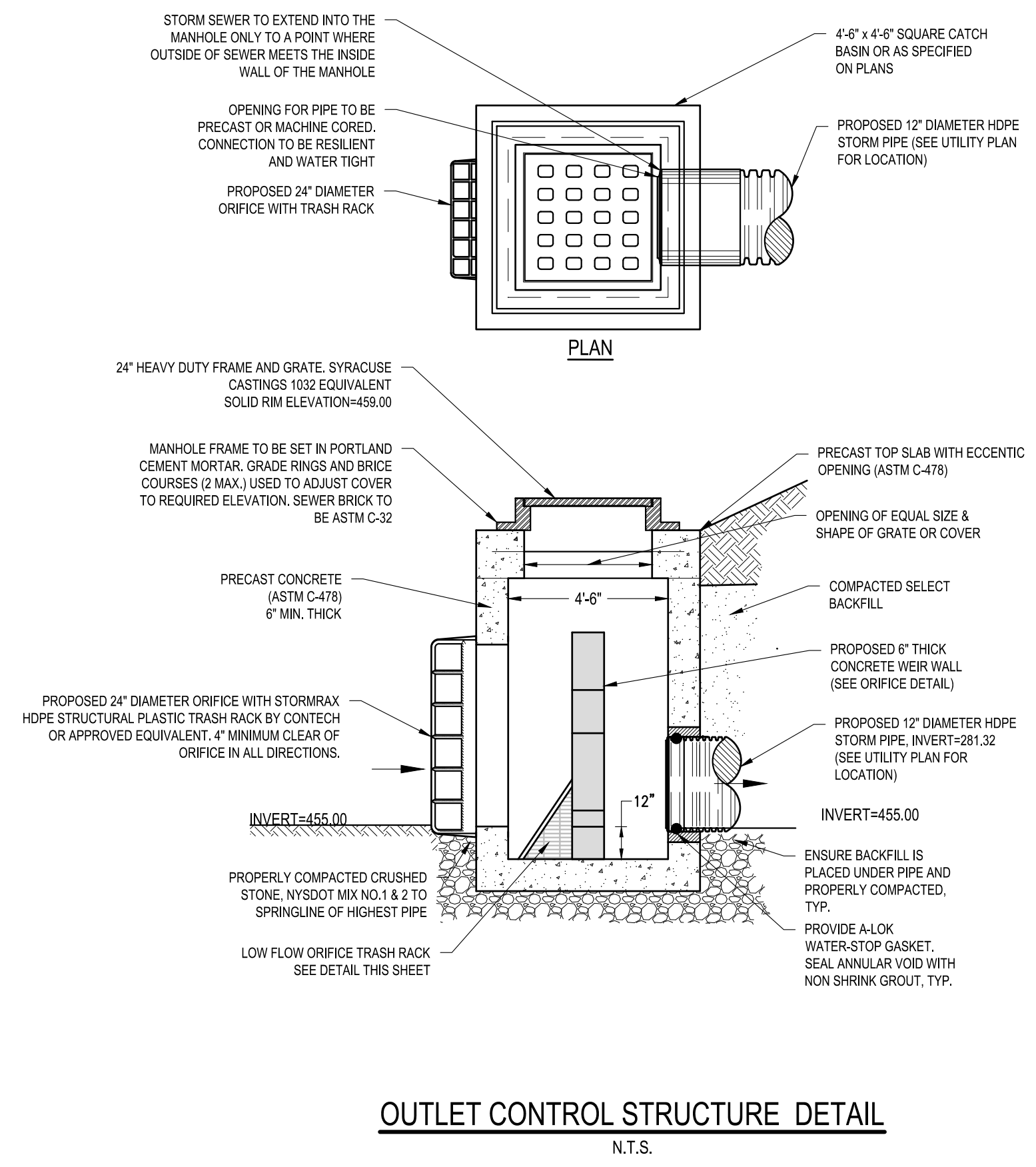
FILTREXX FILTERSOXX SEDIMENT CONTROL
N.T.S.



| PIPE DIA. | W1-MINIMUM | W2-MINIMUM | L1-MINIMUM | L2-MINIMUM | D-MINIMUM |
|-----------|------------|------------|------------|------------|-----------|
| 12" | 3' | 15' | 14' | 13.5' | 13.5" |
| 18" | 4.5' | 15.5' | 14' | 13.5' | 13.5" |
| 24" | 6' | 15' | 13' | 13.5' | 13.5" |

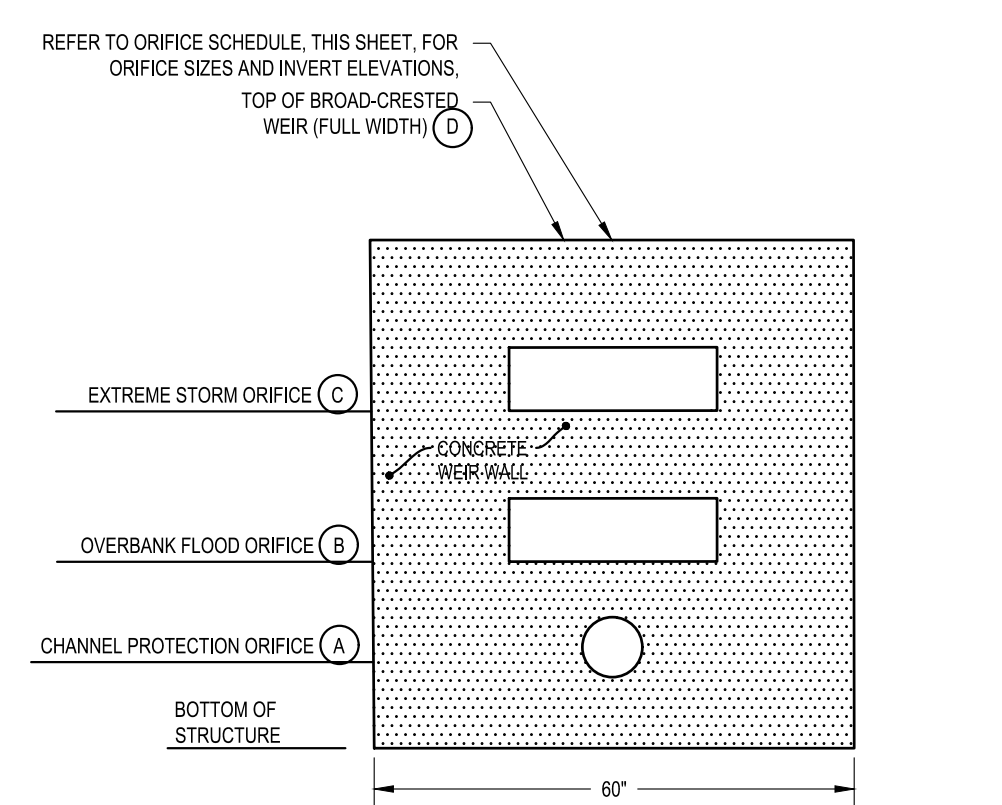
- NOTES:
1. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NO LESS THAN 6".
 2. INSTALL FILTER MIRAFI 500X OR APPROVED EQUAL FILTER FABRIC BETWEEN RIP-RAP AND SUBGRADE

OUTLET PROTECTION RIP-RAP APRON
N.T.S.

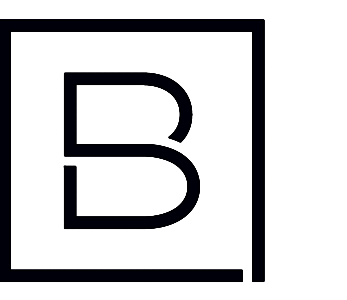


OUTLET CONTROL STRUCTURE DETAIL
N.T.S.

| CONTROL STRUCTURE | SIZE | ELEV | SIZE | ELEV | SIZE | ELEV | ELEV |
|-------------------|------|--------|--------|--------|--------|--------|--------|
| 1 | 3" | 455.00 | 24"x4" | 456.00 | 24"x5" | 457.00 | 458.00 |



ORIFICE DETAIL
N.T.S.



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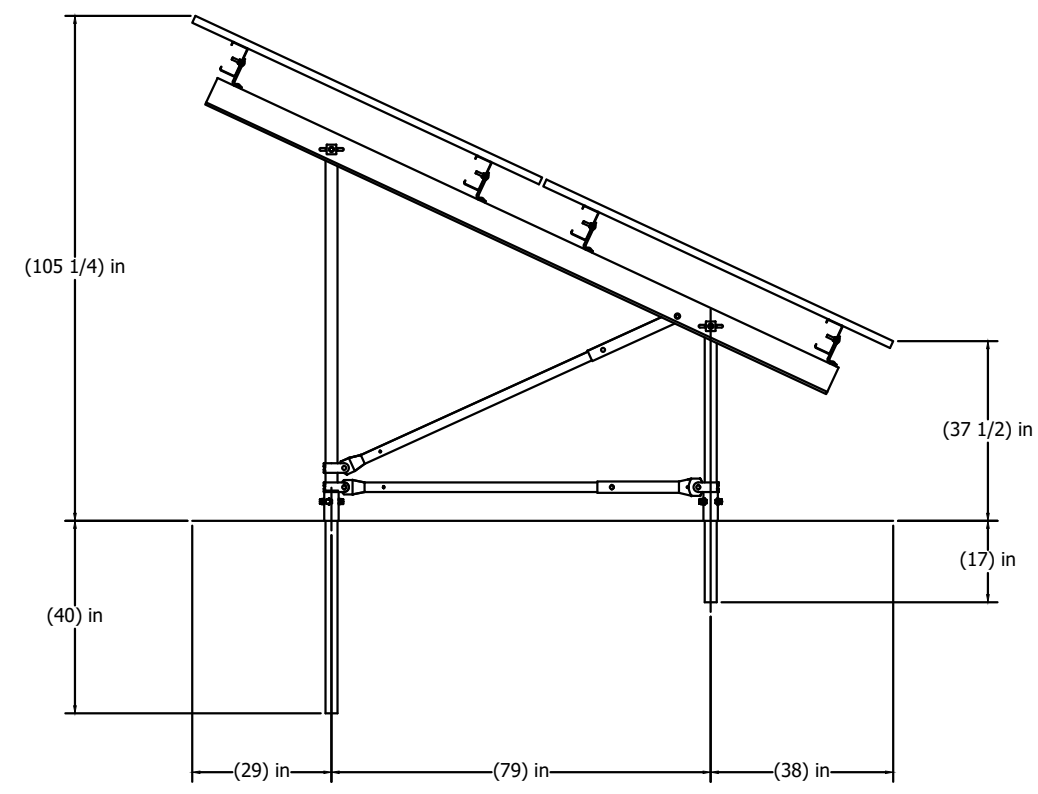
| Project Manager | Discipline Lead |
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| Designer | Reviewer |
| AG | WD |
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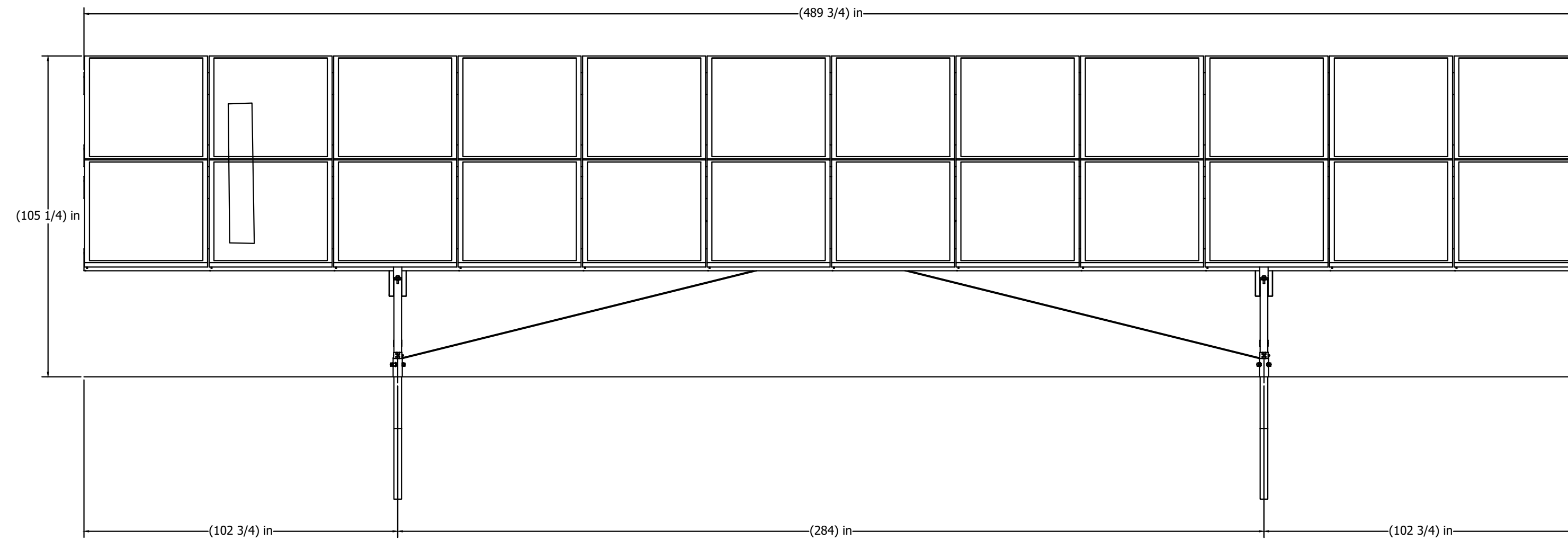
DETAILS I

Drawing Number

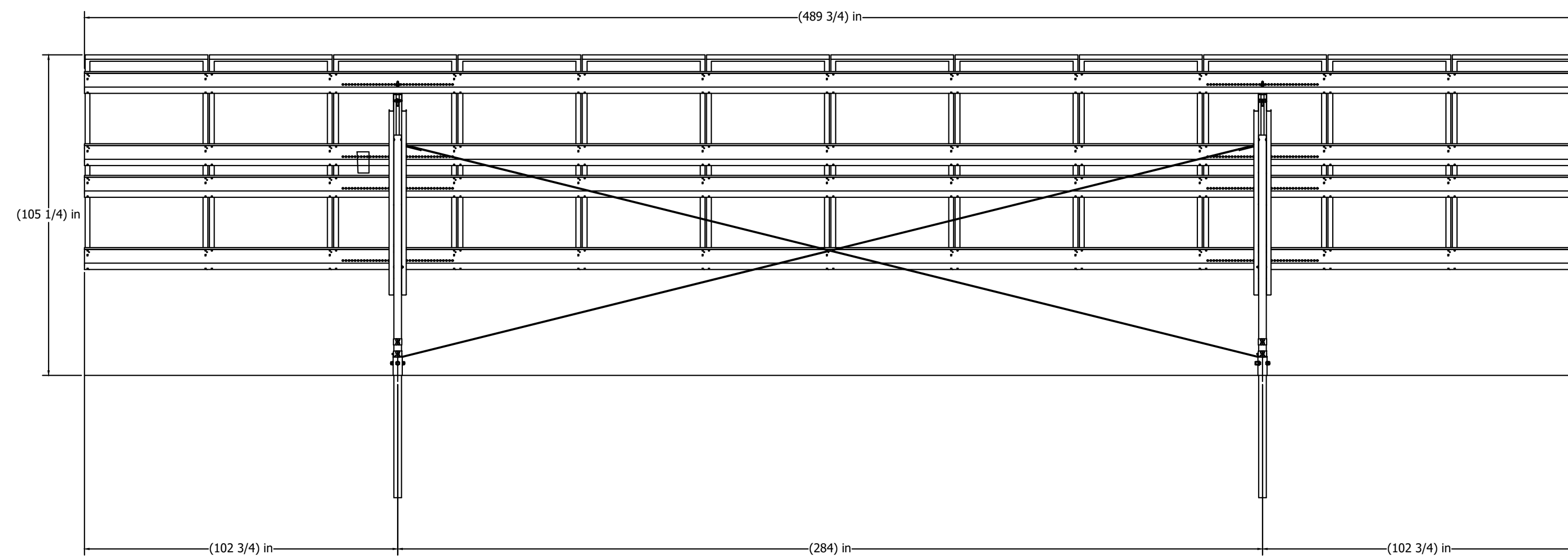
C010



SIDE ELEVATION VIEW



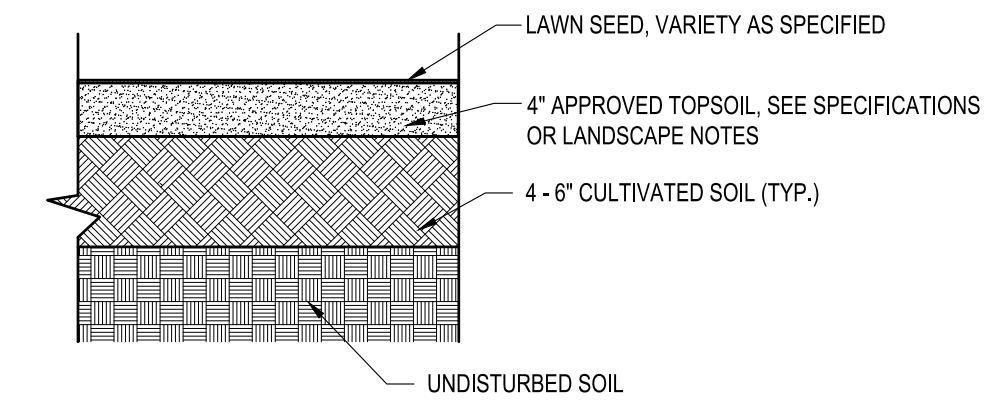
FRONT ELEVATION VIEW



REAR ELEVATION VIEW

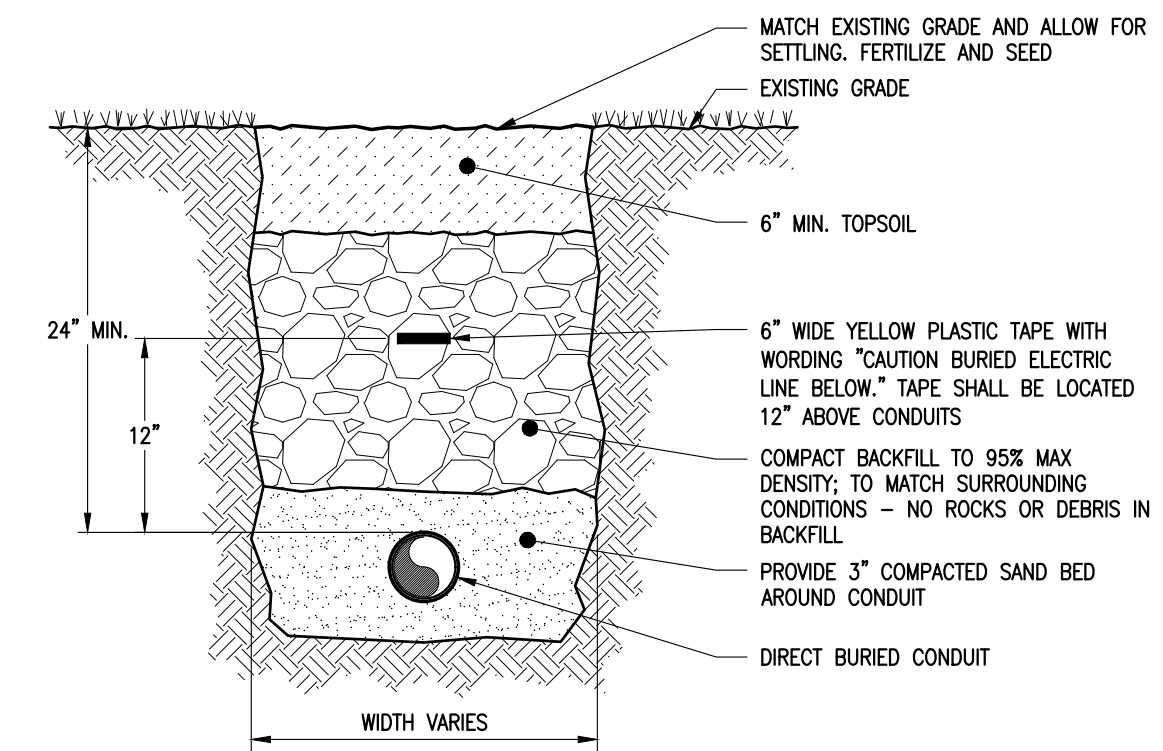
- NOTES:
1. TYPICAL INSTALLATION DIMENSIONS MAY BE ADJUSTED TO SUIT FIELD CONDITIONS.
 2. FINAL DESIGN AND ENGINEERING PLANS TO BE PROVIDED BY THE RACKING MANUFACTURER.

SOLAR ARRAY DETAIL
N.T.S.



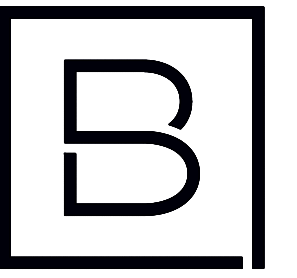
- SEEDING PROCEDURE:
1. CULTIVATE ENTIRE AREA TO 4'-6" DEPTH. HANDRAKE SMOOTH. SPREAD 4" OF TOPSOIL.
 2. APPLY ANY SOIL MODIFICATIONS AS NECESSARY (SEE SPECIFICATIONS OR LANDSCAPE NOTES)
 3. WATER AREA TO BE SEEDED PRIOR TO LAYING SEED.
 4. WATER THOROUGHLY UPON COMPLETION OF SEEDING.
 5. APPLY SOIL STABILIZATION AS NECESSARY.

SOIL RESTORATION DETAIL
N.T.S.



- NOTES:
1. REPAIR ALL SETTLEMENT
 2. MINIMUM TOP SOIL DEPTH 6"
 3. MULTIPLE CONDUITS SHALL BE SPACED 7" ON CENTER

DIRECT BURIED CONDUIT TRENCH DETAIL
(IN GRASS)
N.T.S.



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Sheet Name

DETAILS II

Drawing Number

C011

| UPLAND SEED MIX | | |
|---|---|----------|
| LOW-GROWING WILDFLOWER & GRASS MIX - ERNMX #156 | | |
| SEEDING RATE: 20 LB PER ACRE WITH A COVER CROP OF GRAIN RYE AT 30 LB PER ACRE | | |
| SCIENTIFIC NAME | COMMON NAME | % OF MIX |
| FESTUCA OVINA | SHEEP FESCUE, VARIETY NOT STATED | 63.60% |
| LOLIUM MULTIFLORUM (L. PERENNE VAR. ITALICUM) | ANNUAL RYEGRASS | 17% |
| LINUM PERENNE SSP. LEWISII | PERENNIAL BLUE FLAX | 8% |
| RUDBECKIA HIRTA | BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE | 2% |
| COREOPSIS LANCEOLATA | LANCELEAF COREOPSIS, COASTAL PLAIN NC ECOTYPE | 2% |
| CHRYSANTHEMUM LEUCANTHEMUM | OXEYE DAISY | 2% |
| CHRYSANTHEMUM MAXIMUM | SHASTA DAISY | 1% |
| CHAMAECRISTA FASCICULATA (CASSIA F.) | PARTRIDGE PEA, PA ECOTYPE | 1% |
| PAPAVER RHOEAS, SHIRLEY MIX | CORN POPPY/SHIRLEY MIX | 1% |
| ACHILLEA MILLEFOLIUM | COMMON YARROW | 0.5% |
| ASTER OBLONGIFOLIUS (SYMPHYOTRICHUM OBLONGIFOLIUM) | AROMATIC ASTER, PA ECOTYPE | 0.5% |
| EUPATORIUM COELESTINUM (CONOCLINIUM C.) | MISTFLOWER, VA ECOTYPE | 0.5% |
| MONARDA PUNCTATA, COASTAL PLAIN SC ECOTYPE | SPOTTED BEEBALM, COASTAL PLAIN SC ECOTYPE | 0.5% |
| ASCLEPIAS TUBEROSA | BUTTERFLY MILKWEED | 0.3% |
| PYCNANTHEMUM TENUIFOLIUM | SLENDER MOUNTAINMINT | 0.1% |
| COMPANY INFORMATION | | |
| ERNST CONSERVATION SEEDS, INC. | | |
| ADDRESS: 8884 MERCER PIKE, MEADVILLE, PA 16335 | | |
| PHONE: (800) 873-3321 | | |
| WEB: HTTP://WWW.ERNSTSEED.COM | | |

*OR APPROVED EQUIVALENT

SEED SCHEDULE 'A'

| OBL-FACW WETLAND MIX | | |
|---|-----------------------|----------|
| ERNMX #120 | | |
| SEEDING RATE: 20 LB PER ACRE OR 1/2 LB PER 1000 SQ FT | | |
| SCIENTIFIC NAME | COMMON NAME | % OF MIX |
| ELYMUS VIRGINICUS | VIRGINIA WILD RYE | 20% |
| POA PALUSTRIS | FOWL BLUEGRASS | 20% |
| CAREX LURIDA | LURID SHALLOW SEDGE | 17% |
| CAREX LUPULINA | HOP SEDGE | 9% |
| CAREX SCOPARIA | BLUNT BROOM SEDGE | 8% |
| CAREX VULPINOIDEA | FOX SEDGE | 5% |
| PANICUM CLANDESTINUM DICHANTHELIUM C. | DEERTONGUE 'TIOGA' | 5% |
| SPARGANIUM EURYCARPUM | GIANT BUR REED | 4% |
| SPARGANIUM AMERICANUM | EASTERN BUR REED | 3% |
| JUNCUS EFFUSUS | SOFT RUSH | 3% |
| CAREX CRINITA | FRINGED NODDING SEDGE | 2% |
| LEERSIA ORYZOIDES | RICE CUTGRASS | 2% |
| SCIRPUS CYPERINUS | WOOLGRASS | 2% |
| JUNCUS TENUIS | PATH RUSH | 0.5% |
| COMPANY INFORMATION | | |
| ERNST CONSERVATION SEEDS INC. | | |
| ADDRESS: 8884 MERCER PIKE MEADVILLE PA 16335 | | |
| PHONE: 800 873-3321 | | |
| WEB: HTTP://WWW.ERNSTSEED.COM | | |

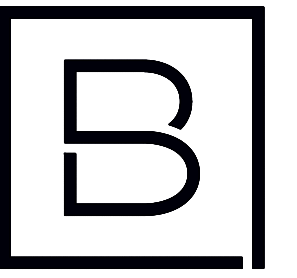
- * CURRENT ERNST SEED MIX COMPOSITION OR APPROVED EQUIVALENT
- * PROVIDE TEMPORARY SEEDING OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) WITHIN SEEDING LIMITS AT RATE OF 20 LBS. PER ACRE

SITE STABILIZATION - SEED MIX
N.T.S.

| SOIL AMENDMENT APPLICATION RATE EQUIVALENTS | | | | | |
|---|-------------------------|-------------------------------|-------------------|---|---|
| SOIL AMENDMENT | PER ACRE | PER 1,000 SQ. FT. | PER 1,000 SQ. YD. | NOTES | |
| TEMPORARY SEEDING | AGRICULTURAL LIME | 6 TONS | 240 LB. | 2,480 LB. | OR AS PER SOIL TEST: MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS |
| | 10-10-20 FERTILIZER | 1,000 L.B. | 25 LB. | 210 LB. | |
| TEMPORARY SEEDING | AGRICULTURAL LIME | 1 TON | 40 LB. | 410 LB. | TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES |
| | 10-10-20 FERTILIZER | 500 LB. | 12.5 LB. | 100 LB. | |
| COMPOST STANDARDS | | | | | |
| ORGANIC MATTER CONTENT | | 80% - 100% (DRY WEIGHT BASIS) | | | |
| ORGANIC PORTION | | FIBROUS AND ELONGATED | | | |
| pH | | 5.5 - 8.0 | | | |
| MOISTURE CONTENT | | 35% - 55% | | | |
| PARTICLE SIZE | | 98% PASS THROUGH 1" SCREEN | | | |
| SOLUBLE SALT CONCENTRATION | | 5.0 dS/m (mmhos/cm) MAXIMUM | | | |
| MULCH APPLICATION RATES | | | | | |
| MULCH TYPE | APPLICATION RATE (MIN.) | | | NOTES | |
| | PER ACRE | PER 1,000 SQ. FT. | PER 1,000 SQ. YD. | | |
| STRAW | 3 TONS | 140 LB. | 1,240 LB. | EITHER WHEAT OR OAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN | |
| HAY | 3 TONS | 140 LB. | 1,240 LB. | TIMOTHY, MIXED CLOVER AND TIMOTHY, OR OTHER NATIVE FORAGE GRASSES | |
| WOOD CELLULOSE | 1,500 LB. | 35 LB. | 310 LB. | DO NOT USE ALONE IN WINTER, DURING HOT AND DRY WEATHER OR ON STEEP SLOPES (> 3:1) | |
| WOOD | 1,000 LB. CELLULOSE | 25 LB. | 210 LB. | WHEN USED OVER STRAW OR HAY | |
| WOOD CHIPS | 4 - 6 TONS | 185 - 275 LB. | 1,650 - 2,500 LB. | MAY PREVENT GERMINATION OF GRASSES AND LEGUMES | |

NOTES:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE TEMPORARILY STABILIZED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 INCHES MINIMUM. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OF SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE 1/2" TO 3/4". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- BLANKETING SHALL BE USED ON ALL SLOPES 3H:1V OR STEEPER OR AS NOTED ON THE PLANS.
- PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF EARTH DISTURBANCE.



BERGMANN
ARCHITECTS ENGINEERS PLANNERS

2 Winners Circle, Suite 102
Albany, NY 12205
www.bergmannpc.com
office: 518.862.0325

HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

**OLD HILL FARM
SOLAR FARM**

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

| Date Revised | Description |
|--------------|---|
| 10/13/2021 | REVISED PER CLIENT COMMENTS |
| 12/01/2021 | REVISED PER TREE COMMISSION COMMENTS |
| 12/28/2021 | REVISED PER FIRE DEPARTMENT COMMENTS |
| 1/07/2022 | REVISED PER SITE VISIT WITH FIRE DEPARTMENT |
| 1/13/2022 | REVISED PER ENGINEERING DEPARTMENT COMMENTS |
| 1/20/2022 | REVISED PER TCAC COMMENTS |

PRELIMINARY
NOT FOR CONSTRUCTION

Copyright © Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C

| | |
|----------------------------------|-----------------------------------|
| Project Manager ECR | Discipline Lead ECR |
| Designer AG | Reviewer WD |
| Date Issued 07/28/2021 | Project Number 14064.11 |

Sheet Name

DETAILS III

Drawing Number

C012

Kitchawan Solar

FEB 22 2022

TOWN OF YORKTOWN

To: Yorktown Planning Board

From: Yorktown Tree Conservation Advisory Commission (TCAC)

Date: 18 February 2022

cc: Yorktown Planning Dept. (J. Tegeder, R. Steinberg, N. Calicchia); Engineering Dept. (L. Kobiliak); Conservation Board (K. Hughes); Town Supervisor (M. Slater); Town Clerk (D. Quast); TCAC members (L. Klein, T. Schmitt, K. Schepart)

Re: Proposed solar facility at 716 Kitchawan Road

Dear Chairman Fon and members of the Planning Board:

The TCAC has reviewed Ecology's 16 February 2022 memo which is in response to the TCAC's 11 February 2022 memo. We find that this project is not in compliance with the requirements of Chapter 270 for the following reasons:

1. Ecology states that they have submitted a mitigation plan in their 8 November 2021 memo. The TCAC notes that they did not receive this memo until after our 11 February 2022 memo was issued. However, their landscape plan does not qualify as mitigation. During the PB's work session of 24 January 2022, related to the Foothill Street solar project, the PB's lawyer, James W. Glatthaar, Esq., stated that screening plantings do not qualify as replacement trees because a screening plan is required by the solar law.
2. Ecology states that "Given the number of trees and the complexity of the large tree removal area, we were not able to pinpoint exact tree locations on the site plan." Other, far more complicated projects have provided the required tree removal plans. Chapter 270 requires the submittal of a tree removal plan. It should be provided. Ecology further states that "In addition, as far as we are aware, there are no protected woodlands on site and so we have not shown these on our plans." However, in their 8 November 2021 memo they state that "The total area of tree removal is 75,000 square feet." Given this large area of removals, the TCAC finds it hard to believe that no protected woodlands are being disturbed. Ecology needs to provide a letter from their Certified Arborist stating that no protected woodlands are being disturbed.
3. Ecology states that they "never stated we plan to mitigate the tree removal by planting replacement trees as required by the mitigation ratio. Instead, Ecology has proposed a landscaping plan that focuses on screening, ...". As noted above, a screening plan does not qualify as a mitigation plan. The calculation of a mitigation ratio and a tree deficit are vital for the Town to understand the magnitude of what we are losing by the removal of the project's existing trees. Chapter 270 requires these calculations. They should be provided.
4. Ecology states that because "the proposed plantings as described in the landscaping plan as not being considered for one-to-one replacement of the removed trees or to satisfy the mitigation ratio. Therefore, the DBH is not necessary." As noted above, a mitigation ratio is vital for the Town's

understanding of its loss. In order to calculate this ratio, the DBH's of the proposed trees is required. This information needs to be provided.

5. Ecology states that they "provided a proposed payment in a Memo dated November 8, 2021." Until it is determined that no protected woodlands are being disturbed, the value of this payment is in question.
6. Sourwood trees are native in the northeast from Pennsylvania to Florida. They are not native to the lower Hudson Valley. The TCAC suggests replacing them with the Cornus trees that are already being used in the plan. The suggestion to not replace them is not acceptable to our ethics.
7. The TCAC acknowledges the daunting task of planting a long and large screening. It also recognizes the maintenance needed to establish a mature hedge. Perhaps the rows of Arborvitae can be staggered like the White Pines. That way if one fails as they mature it won't result in as large a gap in the screening. Also, White Spruce can be planted as part of this staggered two row arrangement. This would reduce the quantity of Arborvitae.
8. The TCAC apologizes to the double comments regarding the Viburnums. We are also being diligent in reviewing your project.

Until the above deficiencies and recommendations are addressed, this proposal should not be allowed to advance further in the Planning Board review process.

Sincerely,

Tree Conservation Advisory Commission
Lawrence W. Klein, P.E., Member
Keith Schepart, ISA, Member
Tom Schmitt, Member

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

**TOWN OF YORKTOWN
CONSERVATION BOARD**

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board

From: Conservation Board

Date: February 17, 2022

Re: 716 Kitchawan Road – Proposed Solar Farm

RECEIVED
PLANNING DEPARTMENT

FEB 22 2022

TOWN OF YORKTOWN

The Conservation Board at its February 16, 2021 meeting discussed a proposed solar farm located at 716 Kitchawan Road with Julia Maglio of Ecology. The Conservation Board has the following comments:

- The applicant has proposed a post construction stormwater management that could overflow into the wetland. The practice has not been fully developed. This measure when developed could intrude into the wetland buffer. Conservation Board would like to see the practice when fully developed to ensure the practice preserves the water quality of the wetland and provides mitigation if needed.
- The Board agrees with the Tree Advisory Board on providing a variety of screening trees instead of one long row of the same species.

Respectfully submitted:

Diane Dreier

For the Conservation Board

CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
TCAC
Applicant

FEB 16 2022



To: Town of Yorktown Tree Conservation Advisory Commission

From: Ecogy Energy

cc: Town of Yorktown Planning Board

Date: February 16, 2022

Re: Ecogy Kitchawan Community Solar Farm LLC Response to Memo Received from TCAC on February 11, 2022

Dear members of the Yorktown Tree Conservation Advisory Commission,

Please accept this Memo of explanation in response to the comments received in the TCAC Memo dated February 11, 2022 regarding the proposed Kitchawan Farm Community Solar Farm at 716 Kitchawan Road. The responses are numbered to correspond to the comments as received in the TCAC Memo.

1. *The TCAC states that we have not provided a mitigation plan.* Ecogy has provided such a plan as outlined in our Memo dated November 8, 2021 submitted to the Planning Board during the Public Hearing. As stated in the Memo, the mitigation plan includes planting trees per the landscaping plans as well as proposing a payment of \$16,800 (\$100 for every tree to be removed) into the Tree Bank Fund. Please note the exact number of trees to be planted will adhere to the most recent landscaping plans, submitted on February 1, 2022, and not the numbers listed in the previous Memo.
2. *The TCAC states we have not provided a tree removal plan or show protected woodlands.* Providing a tree removal plan is not reasonable. The largest area of tree removal is shown in our site plan and all trees have been inventoried, listed, and tagged on site. The complete list of inventoried trees has been submitted to the Town. Given the number of trees and the complexity of the large tree removal area, we were not able to pinpoint exact tree locations on the site plan. It would have been too cluttered and not useful information as all trees in that area will be removed. In addition, as far as we are aware, there are no protected woodlands on site and so we have not shown these on our plans.
3. *The TCAC states we have not provided a mitigation ratio or tree deficit calculation.* Ecogy has never stated we plan to mitigate the tree removal by planting replacement trees as required by the mitigation ratio. Instead, Ecogy has proposed a landscaping plan that focuses on screening, which will result in 198 trees and 328 shrubs being planted. We have also proposed a mitigation plan which involves paying \$100 for each of the 168 trees being removed. The new plantings and the payment into the Tree Bank Fund we believe should be considered sufficient mitigation, regardless of the mitigation ratio number.
4. *The TCAC requests the DBH for the plantings shown in the landscaping plan.* Related to point 3, the proposed plantings as described in the landscaping plan as not being considered for one-to-one replacement of the removed trees or to satisfy the mitigation ratio. Therefore, the DBH is not necessary.

5. *The TCAC states we have not provided a payment to the Tree Bank Fund.* Ecology has provided a proposed payment in a Memo dated November 8, 2021.
6. *The TCAC states two of the trees chosen, Wildfire Sourwood and Sourwood, are not native to New York and must be replaced.* The Wildfire Sourwood is native to the Northeastern United States, a range which does include New York. Regardless, given that we have proposed to plant one each of those trees and they have been shown on our landscaping plans since June, we question why the TCAC has chosen to point them out at this time. Rather than finding a replacement, it may be easier for Ecology to remove those two trees entirely from the plans.
7. *The TCAC states the choice to plant 85 Green Giant Arborvitae will create a monoculture and recommends they are replaced with other tree species.* The Arborvitae were chosen for their growth rate and screening ability. In addition, given the size of the site and the screening required, the Arborvitae need to remain in the plan because a large number of trees need to be planted along the access road and the Arborvitae are the most highly recommended species.
8. *The TCAC recommends we replace some of the Viburnums with another species.* Ecology believes this is unnecessary given previous discussions with the TCAC. On October 18, 2021 the TCAC sent a Memo stating that the Arrowood Viburnum, as originally proposed in the landscaping plan, should be replaced with Viburnum lentago (nannyberry) and Viburnum prunifolium (Black Haw), because they are less susceptible to the leaf beetle. We made that change in the current landscaping plans and do not feel we should be forced to change the landscaping plans yet again when we have already adhered to previous TCAC recommendations.

Overall, we have been working diligently to address all TCAC comments throughout the planning process and thank the TCAC for considering our response. We feel strongly that the 716 Kitchawan solar project should not be held up due to this latest Memo and hope the TCAC will reconsider their recommendation.



TO: Town of Yorktown Planning Board

FROM: Ecogy Energy

DATE: Nov 08, 2021

**RE: Tree Removal & Mitigation Plan For Ecogy Kitchawan Community Solar Farm
(Ecogy New York XI LLC)**

Ecogy Kitchawan Community Solar Farm is a proposed 2670.3 kW DC ground mounted system located at 716 Kitchawan Road, Yorktown, New York. This memo addresses the Tree Removal & Mitigation concerns associated with this project.

This project requires removal of a maximum of 168 trees, of which 20 are invasive and 148 are non-invasive. Out of the 168 trees, 15 are non-viable trees that require removal due to poor condition, whereas the remaining 153 trees are viable trees. The total area of tree removal is 75,000 square feet.

Ecogy's mitigation plan includes planting a total of 123 trees and 403 shrubs. Out of the 123 trees, 94 are Evergreens and 29 are Deciduous. Out of the 403 shrubs, 90 are Broadleaf Evergreen, 83 are Semi-Evergreens and the remaining 230 are Deciduous. There were some concerns from the Town about the visibility of the arrays from Kitchawan road, and Ecogy plans on addressing this concern by planting a total 33 trees and shrubs next to the road, in order to minimize the visibility of the arrays. A line of sight analysis from the road was requested by the Planning Board and it will be provided once it is ready.

Moreover, the Yorktown code § 270-10D(4)(f) states that the mitigation plan may include but not be limited to "Payment into the Tree Bank Fund. In lieu of replacing a lost protected tree or disturbance to a protected woodland, the payment shall be \$100 for every protected tree removed". Ecogy plans to deposit \$100 for **each** tree removed regardless of status, which is more than the recommended number of trees requiring mitigation. With this payment of \$16,800 into the Tree Bank Fund, Ecogy hopes to ensure satisfactory mitigation per the Town code in our mitigation plan.

UTILITY EQUIPMENT KEY:

- ① NEW UTILITY OWNED 2000 KVA TXFMR
13.2 KV WYE PRIMARY, 480 V WYE SECONDARY
- ② EXISTING UTILITY POLE #W.55

CUSTOMER EQUIPMENT KEY:

- A AC DISCONNECT SWITCH (PV SYSTEM)
SOLAREGE INVERTERS
AC COMBINER PANEL
PV SYSTEM UTILITY METER
DAS
- B (NEW) CUSTOMER OWNED RISER POLE WITH GOAB
- C (NEW) CUSTOMER OWNED CLASS 1 POLE WITH UTILITY SUPPLIED RECLOSER

NOTE:

1. MEADOW SEED MIXTURE TO BE PLANTED BETWEEN PV ARRAY ROWS
2. FENCING AROUND THE ARRAY WILL BE WILDLIFE FRIENDLY

SYMBOLS LEGEND:

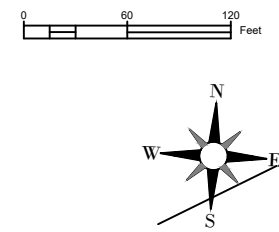
- ⊕ EXISTING UTILITY POLE
- ⊕ PROPOSED UTILITY POLE

LINETYPE LEGEND:

- - - - - APPROXIMATE PROPERTY LINE
- - - - - PROPERTY LINE SETBACK
- x-x-x- PROPOSED CHAINLINK FENCE
- OE-OE- OVERHEAD ELECTRIC
- UE-UE- UNDERGROUND ELECTRIC
- · · · - APPROXIMATE WETLAND BOUNDARY GIS
- - - - - 10' ARRAY SETBACK



MODULE COUNT = 5934
LONGEI 450W MODULE
190 DEG AZIMUTH
2670.3 KW-DC



ECOGY ENERGY
315 FLATBUSH AVENUE, SUITE 393
BROOKLYN, NY 11217
projectmanagement@ecogyenergy.com
(718)-304-0945

Ecogy New York XI LLC

Project Name:
KITCHAWAN
2670.3 kW-DC PV SYSTEM
GROUND MOUNT
Project Site:
**716 KITCHAWAN ROAD,
OSSINING, NY, 10562**

Account No: xxxxx
New Service Case #: xxxxx

| | | | | DOP | SCG | BY |
|---|--|--|--|-----------|----------|-------------------------------------|
| | | | | 9/24/2021 | 7/8/2021 | DATE |
| | | | | | | REVISION DESCRIPTION |
| 2 | | | | | | UPDATED ACCESS ROAD |
| 1 | | | | | | UPDATED ARRAY LAYOUT AND MISC NOTES |
| # | | | | | | |

Professional Stamp

PRELIMINARY

SHEET NAME:
SITE PLAN
PROJECT NUMBER: --- DRAWN BY: SCG CHECKED BY: JLA
DATE: 01/26/22 DWG. NUMBER:
SHEET NUMBER: X of X **PV-100**



GENERAL NOTES:

- CONTACT CALL DIG SAFELY NEW YORK AT 811 OR WWW.DIGSAFELYNEWYORK.COM TO HAVE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
- BASE MAP INFORMATION WAS TAKEN FROM "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS & LAND SURVEYORS, D.P.C., DATED OCTOBER 6, 2021.

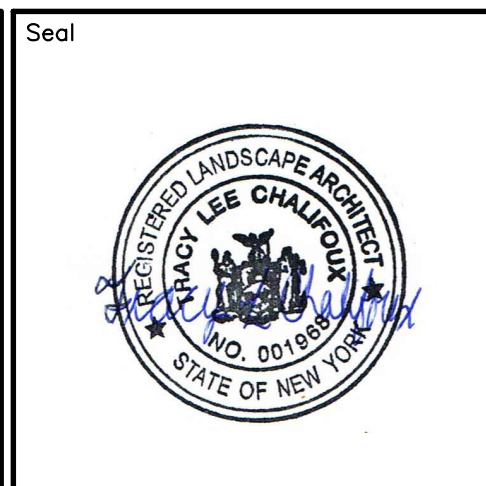
CLEAN UP NOTES:

- DEAD ASH TREES WITHIN THIS AREA TO BE REMOVED.
- PROTECT ALL HEALTHY TREES, WHICH ARE TO REMAIN.
- UNDERSTORY VEGETATION TO REMAIN.

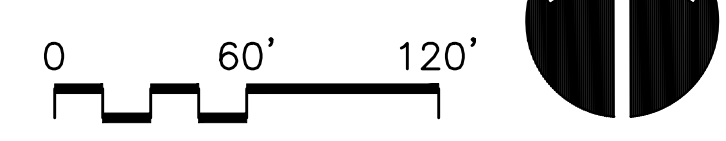
| Revisions | Date |
|---|----------|
| Revised Plan & Plant List per comment | 01.31.22 |
| Revised Plant List per P.B. comment to add screen trees to West | 01.07.22 |
| Revised Plant List per P.B. comment | 11.01.21 |
| Revised per Town review & comment | 10.25.21 |

| | |
|--|--|
| | |
|--|--|


Tracy Chalifoux LLC
 Landscape Architect
 7 King Street, Danbury, CT 06811
 Office: 845-364-1360
 E-mail: tchalifoux@gmail.com

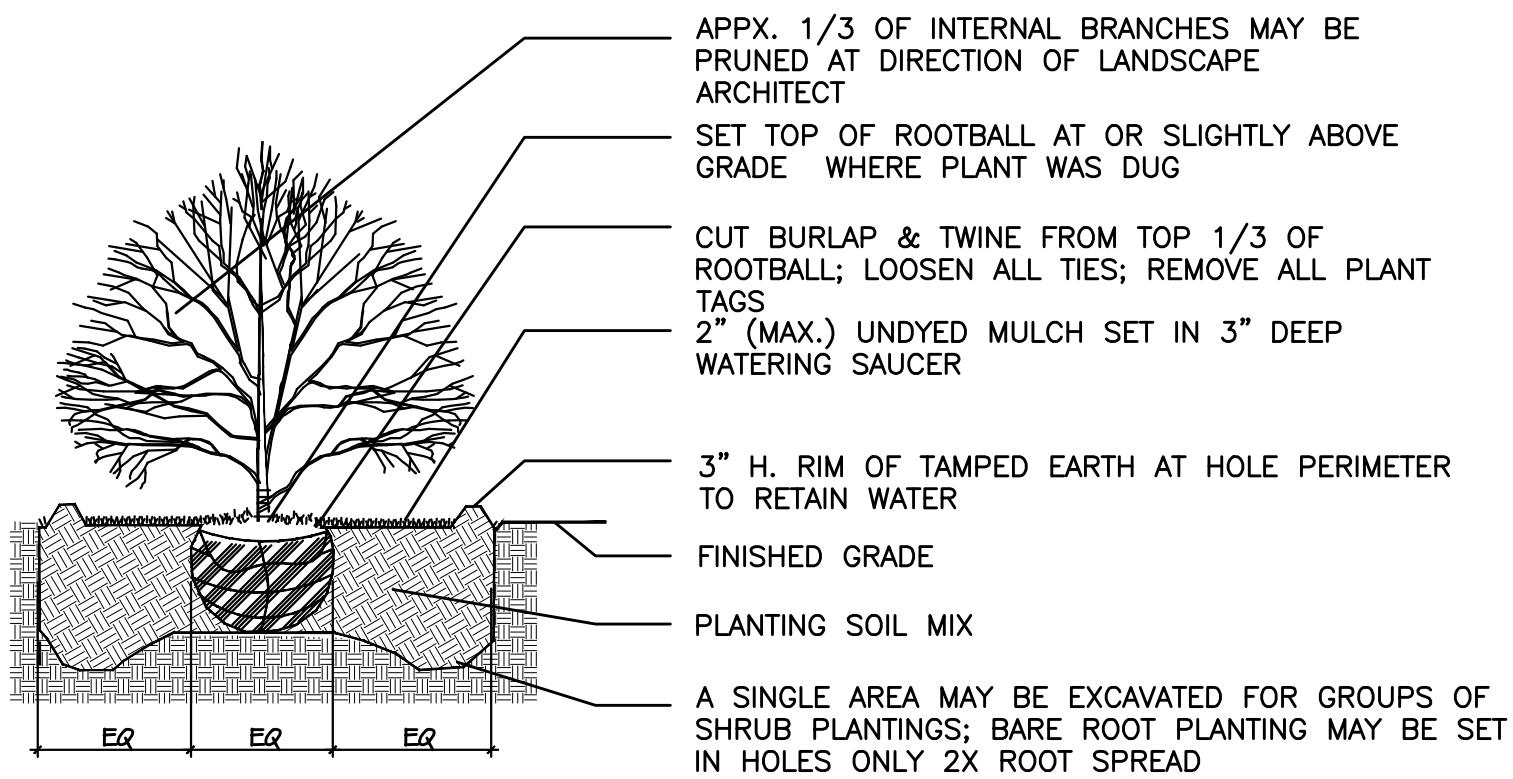


Project Title
LANDSCAPE MASTER PLAN
 ECOGY NEW YORK XI LLC
 KITCHAWAN
 Location
 716 KITCHAWAN ROAD
 YORKTOWN, NY 10562

Graphic Scale and North Arrow

 Date
 June 3, 2021
 Scale
 1"=60'-0"
 Checked
 TLC
 Drawn
 TLC

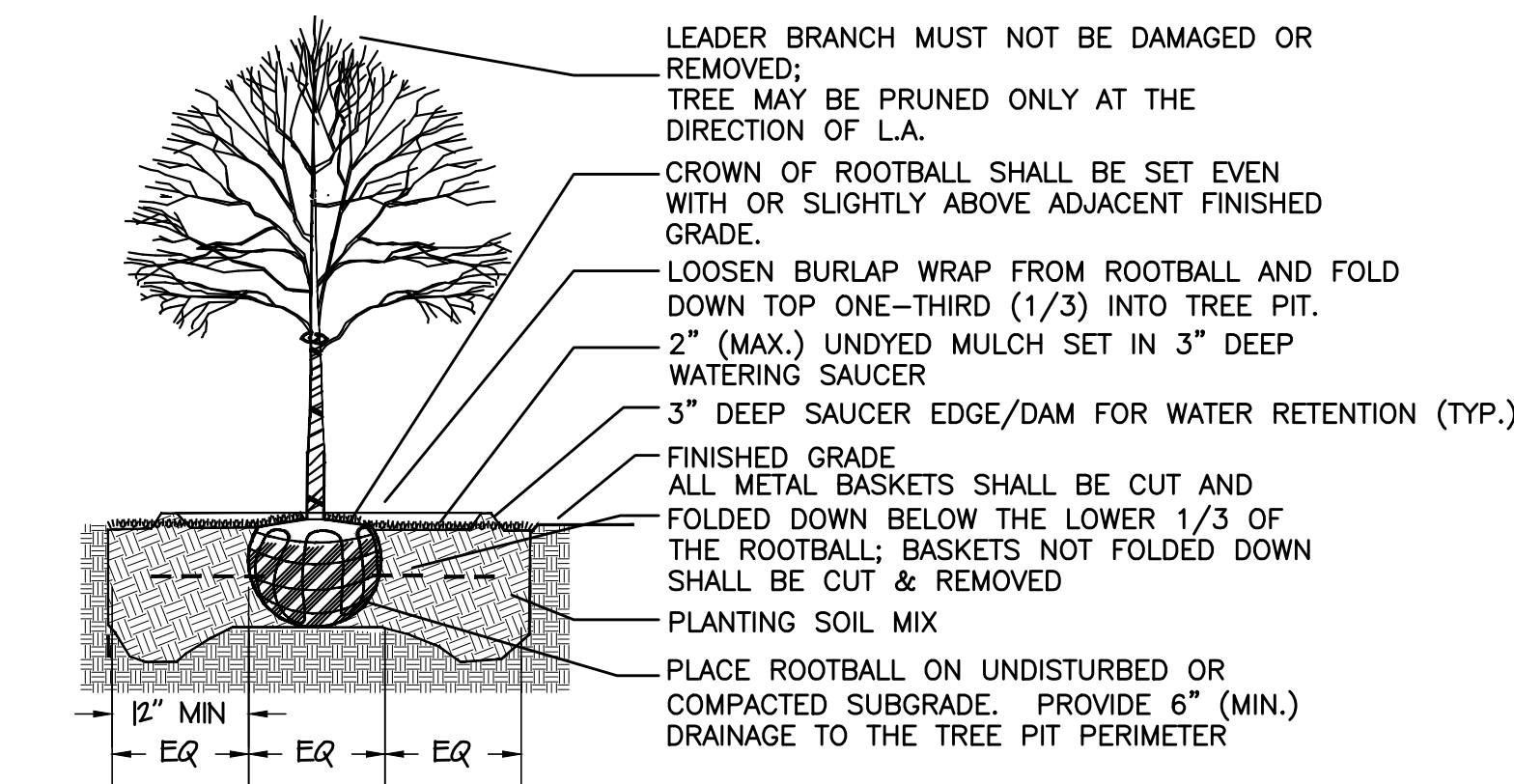
Drawing Title
OVERALL LANDSCAPE PLAN

Drawing No.
L-1
 SHEET 1 OF 4

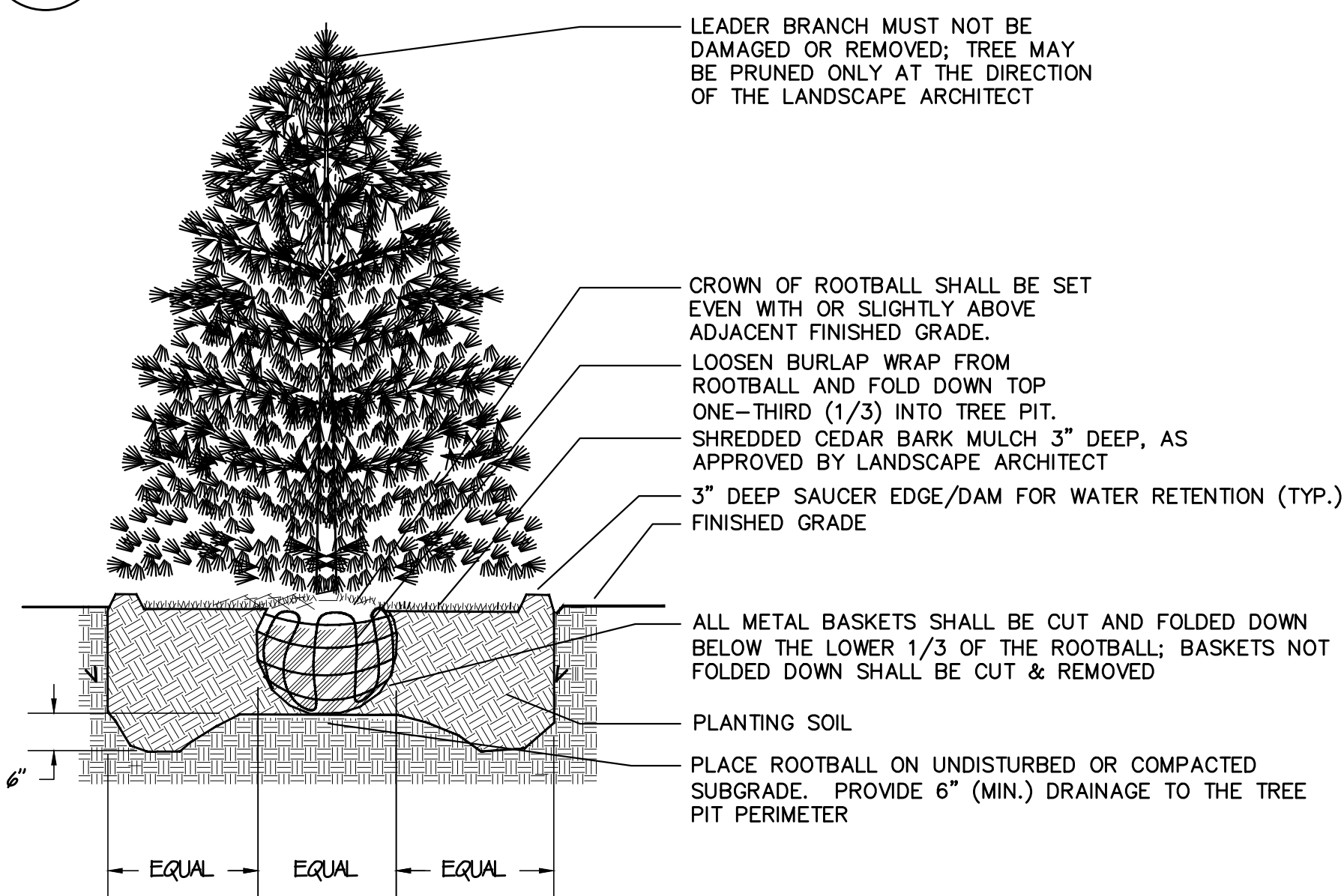


NOTE: FOR ALL CONTAINER GROWN PLANTS, REMOVE FROM CONTAINER JUST PRIOR TO PLANTING AND MAKE VERTICAL INCISIONS ALONG THE SURFACE OF THE ROOTBALL WITH A SHARP INSTRUMENT. CUT THROUGH CIRCULAR ROOTS AND GENTLY COMB OUT ROOTS.

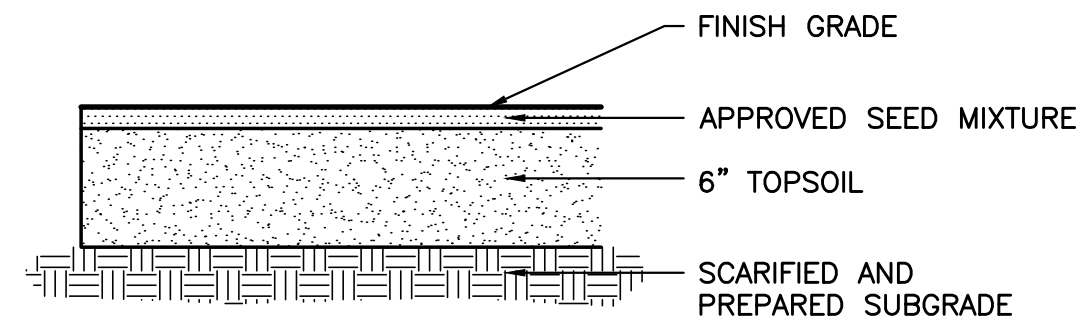
1 SHRUB PLANTING DETAIL
L-4 NOT TO SCALE



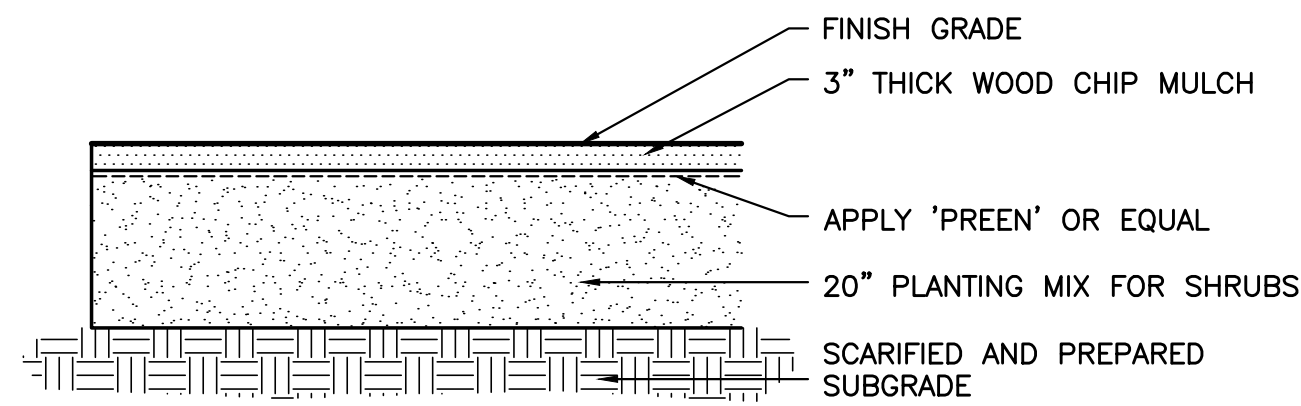
2 DECIDUOUS TREE PLANTING DETAIL
L-4 NOT TO SCALE



3 CONIFEROUS TREE PLANTING DETAIL
L-4 NOT TO SCALE



4 TOPSOIL AND SEED DETAIL
L-4 NOT TO SCALE



5 SECTION THROUGH SHRUB BED DETAIL
L-4 NOT TO SCALE

PLANT LIST-Kitchawan Farm-Overall Site Plantings

| QUANTITY | SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | NOTES | SPACING | DECIDUOUS TYPE | AV. GROWTH PER YR | YRS TO MATURE HT. | MAX. HT./MAX SPREAD |
|---------------|--------|------------------------------------|------------------------|----------------|--------------------------------------|----------|---------------------|-------------------|-------------------|---------------------|
| TREES | | | | | | | | | | |
| 3 | AR | Acer rubrum 'Autumn Flame' | Autumn Flame Red Maple | 2"-2 1/2" cal. | Full, Heavy, Matching | | Deciduous | 24" | 26 | 50'/50' |
| 5 | AC | Amelanchier canadensis | Shadblow Serviceberry | 8'-10' ht. | Full, Heavy, Multi-stem, B&B | | Deciduous | 24" | 15 | 30'/20' |
| 9 | BN | Betula nigra 'Heritage' | Heritage River Birch | 8'-10' ht. | Full, Heavy, Matching, Clumps | 25' O.C. | Deciduous | 24" | 35 | 70'/60' |
| 1 | CC | Cercis canadensis | Eastern Redbud | 8'-10' ht. | Full, Heavy, Multi-stem, B&B | | Deciduous | 12"-24" | 15 | 30'/35' |
| 3 | CRH | Cornus rutgersensis 'Hyperion' | Hyperion Dogwood | 2"-2 1/2" cal. | Full, Heavy, Matching, Specimen, B&B | 20' O.C. | Deciduous | 12"-24" | 10 | 20'/20' |
| 2 | CRS | Cornus rutgersensis 'Stellar Pink' | Stellar Pink Dogwood | 2"-2 1/2" cal. | Full, Heavy, Matching, Specimen, B&B | 20' O.C. | Deciduous | 12"-24" | 10 | 20'/20' |
| 15 | IO | Ilex opaca | American Holly | 8'-9 ht. | Full, Heavy, Specimen, B&B | | Evergreen | 12"-24" | 15 | 30'/20' |
| 6 | JV | Juniperus virginiana | Eastern Red Cedar | 8'-10' ht. | Full, Heavy, Specimen, B&B | | Evergreen | 24" | 35 | 70'/25' |
| 1 | NS | Nyssa sylvatica 'Wildfire' | Wildfire Sourwood | 2"-2 1/2" cal. | Full, Heavy, Specimen, B&B | | Deciduous | 12"-24" | 25 | 50'/30' |
| 1 | OV | Ostrya virginiana | American Hophornbeam | 2"-2 1/2" cal. | Full, Heavy, Specimen, B&B | | Deciduous | 12"-24" | 20 | 40'/20' |
| 1 | OA | Oxydendrum arboreum | Sourwood | 8'-10' ht. | Full, Heavy, Specimen, B&B | | Deciduous | 12"-24" | 25 | 50'/25' |
| 27 | PG | Picea glauca 'Black Hills' | White Spruce | 8'-10' ht. | Full, Heavy, Specimen, B&B | 9' O.C. | Evergreen | <12" | 40 | 40'/15' |
| 9 | PG | Picea glauca 'Black Hills' | White Spruce | 12'-14' ht. | Full, Heavy, Specimen, B&B | 12' O.C. | Evergreen | <12" | 40 | 40'/15' |
| 5 | PS | Pinus strobus | White Pine | 8'-10' ht. | Full, Heavy, Specimen, B&B | 9' O.C. | Evergreen | 24"-36" | 27 | 80'/40' |
| 23 | PSS | Pinus strobus | White Pine | 12'-14' ht. | Full, Heavy, Specimen, B&B | 9' O.C. | Evergreen | 24"-36" | 27 | 80'/40' |
| 1 | QB | Quercus bicolor | Swamp White Oak | 2"-2 1/2" cal. | Full, Heavy, Specimen, B&B | | Deciduous | 12"-24" | 30 | 60'/60' |
| 1 | QR | Quercus rubra | Red Oak | 2"-2 1/2" cal. | Full, Heavy, Specimen, B&B | | Deciduous | 12"-24" | 38 | 75'/75' |
| 37 | TS | Thuja standishii | Green Giant Arborvitae | 8'-10' ht. | Full, Heavy, Specimen, B&B | 10' O.C. | Evergreen | 36" | 20 | 60'/20' |
| 48 | TSS | Thuja standishii | Green Giant Arborvitae | 10'-12' ht. | Full, Heavy, Specimen, B&B | 10' O.C. | Evergreen | 36" | 20 | 60'/20' |
| SHRUBS | | | | | | | | | | |
| 18 | CF | Calycanthus floridus | Common Sweetshrub | 3'-3 1/2' ht. | Full, Heavy, Container | 5' O.C. | Deciduous | 12"-18" | 6 | 9'/12' |
| 5 | CA | Clethra alnifolia | Sweet Pepperbush | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | 12"-18" | 5 | 8'/6' |
| 33 | CS | Cornus sericea 'Baileyi' | Redtwig Dogwood | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | 24" | 5 | 9'/9' |
| 13 | CR | Corylus americana | American Hazelnut | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | 24" | 8 | 16'/13' |
| 24 | HV | Hamamelis virginiana | Witchhazel | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | 12"-24" | 10 | 20'/20' |
| 51 | IG | Ilex glabra | Inkberry | 3'-3 1/2' ht. | Full, Heavy, Matching, Container | 6' O.C. | Broadleaf Evergreen | <12" | 10 | 8'/8' |
| 12 | IGC | Ilex glabra 'Shamrock' | Shamrock Inkberry | 3'-3 1/2' ht. | Full, Heavy, Matching, Container | 6' O.C. | Broadleaf Evergreen | <12" | 7 | 5'/5' |
| 34 | IV | Ilex verticillata 'Winter Red' | Winter Red Winterberry | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | <12" | 10 | 8'/8' |
| 25 | LB | Lindera benzoin | Spicebush | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | 12"-18" | 8 | 12'/12' |
| 57 | MP | Myrica pensylvanica | Bayberry | 3'-3 1/2' ht. | Full, Heavy, Matching, Container | 6' O.C. | Semi-evergreen | 12"-18" | 8 | 12'/12' |
| 7 | RM | Rhododendron maximum | Rosebay Rhododendron | 3'-3 1/2' ht. | B & B, Full, Heavy | 6' O.C. | Broadleaf Evergreen | 12"-24" | 7 | 15'/20' |
| 7 | SC | Sambucus canadensis | Elderberry | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | 12"-24" | 6 | 12'/12' |
| 23 | VL | Viburnum lentago | Nannyberry | 3'-3 1/2' ht. | Full, Heavy, Container | 6' O.C. | Deciduous | 12"-24" | 10 | 20'/20' |
| 19 | VP | Viburnum prunifolium | Blackhaw Viburnum | 3'-3 1/2' ht. | Full, Heavy, Container | 5' O.C. | Deciduous | 12"-24" | 7 | 15'/10' |

Note: Provide 3" of shredded bark mulch in all planting beds.

PLANTING NOTES:

- CONTACT CALL DIG SAFELY NEW YORK AT 811 OR WWW.DIGSAFELYNEWYORK.COM TO HAVE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
- BASE MAP INFORMATION WAS TAKEN FROM "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY TECTONIC ENGINEERING CONSULTANTS, GEOLOGISTS & LAND SURVEYORS, D.P.C., DATED APRIL 22, 2021.
- EXACT LOCATION OF PLANTINGS, SPECIES TYPES AND QUANTITIES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES OF PLANTS IN THE PLANT LIST AND THE ACTUAL QUANTITIES SHOWN ON THE PLAN THE PLAN SHALL GOVERN.
- ANY PLANTINGS SUSCEPTIBLE TO DEER BROWSING SHALL BE SPRAYED WITH ORGANIC DEER REPELLENT, OR PROTECTED BY PHYSICAL MEASURES, SUCH AS WITH TEMPORARY FENCING OR TREE TUBES WHERE APPROPRIATE.
- ALL NEW PLANTINGS SHALL EITHER BE HAND WATERED, OR A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED UNTIL PLANTINGS ARE ESTABLISHED.
- THE LANDSCAPE CONTRACTOR SHALL READ ALL LANDSCAPE PLANS, SPECIFICATIONS AND VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- ANY AND ALL QUESTIONS CONCERNING THE LANDSCAPE PLANS AND SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE AFFURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MULCHING, AND OTHER REQUIREMENTS OF PLANT MATERIALS WHILE THEY ARE TEMPORARILY STORED ON OR OFF SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE LAYOUT OF PLANTING BEDS, PLANT MASSING, STAKED LOCATION OF TREES AND INSTALLATION OF PLANT MATERIAL WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ALL LANDSCAPE MATERIAL SHALL MEET THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-1996) PER THE AMERICAN ASSOCIATION OF NURSEYMEN. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- PER OWNER'S DIRECTION, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIAL AT THE NURSERY, PRIOR TO SELECTION OR DIGGING.
- CONDUCT PLANTING UNDER FAVORABLE WEATHER CONDITIONS DURING EITHER THE SPRING PLANTING SEASON, MARCH 1 TO JUNE 1, OR THE FALL PLANTING SEASON, SEPTEMBER 30 UNTIL FREEZING OF THE GROUND. DURING THE FALL PLANTING SEASON, CONIFEROUS MATERIAL PLANTING SHALL BE CONDUCTED AUGUST 15 TO OCTOBER 1. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
- THE PLANTING SOIL MIXTURE FOR ALL TREE PLANTINGS SHALL INCLUDE SOIL EXCAVATED FROM THE HOLE. RATIO: 50% VIRGIN SOIL + 50% AMENDED TOP SOIL.
- ROOT STIMULATOR SHALL BE APPLIED TO ALL PLANT MATERIALS WITH THE EXCEPTION OF LAWN AREAS. APPLY AS PER THE MANUFACTURER'S SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL RESTORE FINISH GRADES IN ALL PLANTING AREAS (PER GRADING PLANS) WHICH MAY HAVE BEEN DISTURBED DURING PLANTING OPERATIONS.
- ALL TREE SAUKERS AND PLANTING BEDS ARE TO BE MULCHED WITH A MINIMUM OF 3" DOUBLE-GROUND HARDWOOD MULCH (NON-DYED). LANDSCAPE CONTRACTOR TO PROVIDE MULCH SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. WHERE PLANTING BEDS ARE ADJACENT TO WALKS AND CURBS THE SOIL LEVEL SHALL BE 3" LOWER TO ALLOW FOR MULCH LAYER.
- MULCH, STAKES, GUY WIRE, PRE-EMERGENT HERBICIDES, ETC. SHALL BE SUBSIDIARY TO INDIVIDUAL PLANTS.
- LABEL EACH TREE AND SHRUB WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. LABEL EACH ORNAMENTAL GRASS, GROUNDCOVER, PERENNIAL AND ANNUAL WITH THE LABEL PROVIDED BY THE ORIGINAL GROWER OF THE PLANT. LABELS SHALL NOT BE REMOVED UNTIL AFTER PROVISIONAL ACCEPTANCE BY LANDSCAPE ARCHITECT.
- STAKES AND GUY WIRES, IF USED, SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
- LOOSEN SOIL FOR ALL PLANTING ISLANDS AND SHRUB/PERENNIAL BEDS TO A DEPTH OF 12". TOPSOIL SHALL BE FERTILE NATURAL TOPSOIL TYPICAL OF THE LOCALITY, OBTAINED FROM WELL DRAINED AREAS. STOCKPILED TOPSOIL MAY BE USED. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR SLAG AND SHALL BE FREE OF STONES, LIMPS, STICKS, PLANTS OR THEIR ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR WOULD INTERFERE WITH FUTURE MAINTENANCE. TOPSOIL PH RANGE SHALL BE 5.5 TO 7.0.
- THERE SHALL BE NO ADDITIONS, DELETIONS OR SUBSTITUTION OF PLANT MATERIAL SPECIES WITHOUT THE WRITTEN APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. ANY SUBSTITUTION THAT HAS NOT BEEN APPROVED SHALL BE REMOVED AND REPLACED WITH THE CORRECT PLANT AT LANDSCAPE CONTRACTOR'S EXPENSE.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER AN UNCONDITIONAL 2-YEAR WARRANTY OF PLANT MATERIAL SHALL BEGIN FROM THE TIME OF HANDLING PLANT MATERIAL AT TIME OF DELIVERY THROUGH INSTALLATION AND END AFTER SUBSTANTIAL COMPLETION AND FINAL PLANT LIST APPROVAL BY LANDSCAPE ARCHITECT. WARRANTY SHALL INCLUDE ALL LABOR REQUIRED REPLACING MATERIALS ON-SITE.
- THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR THE COLLECTION, REMOVAL, AND PROPER DISPOSAL OF ANY AND ALL DEBRIS GENERATED DURING THE INSTALLATION OF THE LANDSCAPE CONSTRUCTION.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

| | | | | | | | | |
|---|--|---|--|---|---|---|---------------------------|--------------|
| Revised Plan & Plant List per comment Revised Plant List per P.B. comment to add screen trees to West Revised Plant List per P.B. comment Revised per Town review & comment Revisions | 01.31.22 01.07.22 11.01.21 10.25.21 Date | <p>Tracy Chalifoux LLC Landscape Architect 7 King Street, Danbury, CT 06811 Office: 845-364-1360 E-mail: tchalifoux@gmail.com</p> | | Project Title LANDSCAPE MASTER PLAN ECOGY NEW YORK XI LLC KITCHAWAN | Graphic Scale and North Arrow Date June 3, 2021 | Drawing Title PLANTING DETAILS, PLANT LIST & PLANTING NOTES | Drawing No. L-4 | |
| | | | | Location 716 KITCHAWAN ROAD YORKTOWN, NY 10562 | Scale AS SHOWN | Checked TLC | Drawn TLC | SHEET 4 OF 4 |

FEB 11 2022

TOWN OF YORKTOWN

To: Yorktown Planning Board

From: Yorktown Tree Conservation Advisory Commission (TCAC)

Date: 11 February 2022

cc: Yorktown Planning Dept. (J. Tegeder, R. Steinberg, N. Calicchia); Engineering Dept. (L. Kobiliak); Conservation Board (K. Hughes); Town Supervisor (M. Slater); Town Clerk (D. Quast); TCAC members (L. Klein, T. Schmitt, K. Schepart)

Re: Proposed solar facility at 716 Kitchawan Road

Dear Chairman Fon and members of the Planning Board:

The TCAC has reviewed all of the referral materials in our possession for the referenced project. We find that this project is not in compliance with the requirements of Chapter 270 for the following reasons:

1. The Engineer has provided no mitigation plan. Chapter 270-10.B.(1) states that "All nonadministrative permits require mitigation". Chapter 270-10.D.(1) states that "The approval authority shall require the preparation of a mitigation plan".
2. The Engineer has not provided a tree removal plan or area of protected woodlands disturbance. Chapter 270-8.A.(1).(b) requires "A plan or sketch showing proposed tree removals" Chapter 270-8.C.(1)(b) requires a plan showing "Within the proposed area of disturbance the location of existing trees and/or protected woodlands". Chapter 270-8.C.(1)(c) requires a plan showing "Within the proposed area of disturbance, the number, location and species of protected trees to be removed". Chapter 270-8.C.(1)(d) requires a plan showing "The square footage and boundaries of protected woodlands that will be disturbed".
3. The Engineer has not provided a mitigation ratio or a tree deficit calculation as required by Chapter 270-4.
4. Many of the proposed trees listed on Drawing L-4, PLANTING DETAILS, PLANT LIST & PLANTING NOTES, have sizes listed with heights instead of DBH's. All proposed trees need to be listed with DBH's. Without DBH's, a mitigation ratio cannot be calculated.
5. The Engineer has not provided a payment to the Tree Bank Fund calculation as required by Chapter 270-10.D.(4)(f).
6. The Wildfire Sourwood and Sourwood trees on the tree list are not native to New York. Chapter 270-10.C.(4) states "Use of native species of trees, understory shrubs and herbaceous ground cover if replanting is required". A native substitute must be chosen.
7. The committee has agreed to the planting of Green Giant Arborvitae on other projects even though they are not native. However, planting 85 of these trees is excessive and creates a monoculture. It is recommended that the Developer plant more Eastern Red Cedars, White Spruce and White Pine.

8. The proposed Viburnums are native to NY but are moderately susceptible to leaf beetles. Planting 42 of these shrubs may lead to an infestation. The *Viburnum setigerum* is less susceptible. Mt. Laurel is a hardy native shrub that could be a partial substitute along with more of the other shrubs listed.

Until the above deficiencies and recommendations are addressed, this proposal should not be allowed to advance further in the Planning Board review process.

Sincerely,

Tree Conservation Advisory Commission
Lawrence W. Klein, P.E., Member
Keith Schepart, ISA, Member
Tom Schmitt, Member



Memorandum

RECEIVED
PLANNING DEPARTMENT
FEB 2 2022
TOWN OF YORKTOWN

To: Shelby Hang, Ecogy Energy
From: Michael Gagnon, PE, SLR
Date: February 1, 2022
Subject: Kitchwawan Ground Mount Solar – Preliminary Stormwater Results

Stormwater watershed cover and peak-flow calculations were calculated based on the solar facility layout received from Ecogy Energy on January 27, 2022, for the project located at 716 Kitchwawan Road in Ossining, New York. The proposed layout will include tree clearing south of the array and the installation of a new 18-foot-wide gravel access road. The revised layout contained additional tree clearing, which resulted in an increase in proposed peak-flows, as shown in Table 1.

**Table 1. Peak-Flow Rates for Revised Layout
Without Stormwater Management Basin Attenuation**

| | 1-Year (Cpv) | 10-Year (Qp) | 25-Year | 100-Year (Qf) |
|----------------|--------------|--------------|---------|---------------|
| Existing | 7.97 | 35.42 | 50.53 | 75.1 |
| Proposed | 8.16 | 35.65 | 50.85 | 75.58 |
| Change | 0.19 | 0.23 | 0.32 | 0.48 |
| Percent Change | 2% | 1% | 1% | 1% |

Since proposed peak-flow rates exceed existing rates for all storm events, various stormwater management options were reviewed to meet Town requirements for no net increase in peak flows. Consequently, it was determined that the installation of a stormwater management basin would attenuate peak-flow rates and result in an overall reduction for all storm events. For the purposes of this preliminary analysis, the stormwater management basin will be located at the northwest corner of the site to capture runoff from the northern and western parts of the site. This area is best suited for the siting of a stormwater management basin considering the adequate distance from the property line and the presence of an uninhabited wetland area north of the outlet of the basin, and deeper depth to groundwater. The stormwater management basin will have a V-notch weir wall to allow for overflow in higher storm events. It is estimated that 14,000 cubic-feet of storage is required to attenuate peak-flow rates.

Using a stormwater management basin storage of 14,000 cubic-feet, peak-flow rates under proposed conditions were reduced for all storm events. Results for the preliminary analysis with the stormwater management basin is shown in Table 2.

Table 2. Peak-Flow Rates with Stormwater Management Basins

| | 1-Year (Cpv) | 10-Year (Qp) | 25-Year | 100-Year (Qf) |
|-----------------------|--------------|--------------|---------|---------------|
| Existing | 7.97 | 35.42 | 50.53 | 75.10 |
| Proposed | 7.7 | 34.55 | 49.4 | 75.10 |
| Change | -0.27 | -0.87 | -1.13 | 0.00 |
| Percent Change | -3% | -2% | -2% | 0% |

Installation of the solar facility and stormwater management basin will result in some ground disturbances throughout the site. There will be minor grading activities associated with the stormwater management basin, tree clearing, installation of solar panel racking support posts, addition of a new gravel access road, and installation of impervious equipment pads. Total disturbance area is anticipated to be approximately 1.50 acres. Disturbance types and areas are summarized in Table 3 below.






Table 3. Summary of Land Disturbances

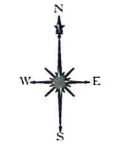
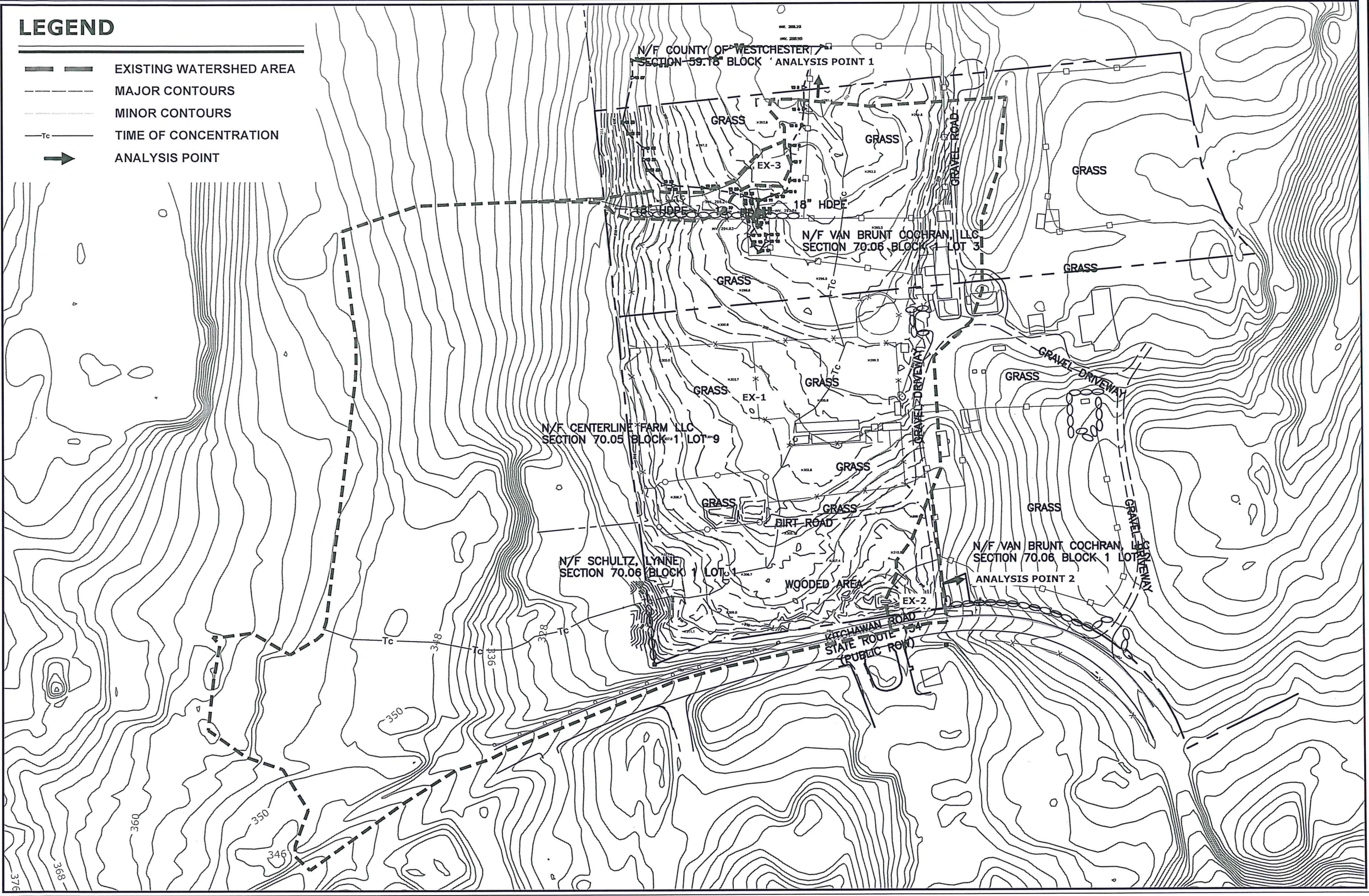
| Disturbance Type | Area (SF) |
|---------------------------------------|---------------|
| Tree clearing | 37,000 |
| Solar Equipment Pads | 720 |
| Solar Panel Racking Support Posts | 10 |
| New gravel access drive | 20,450 |
| Stormwater management basin (approx.) | 7,000 |
| <i>Total</i> | <i>65,180</i> |

Drawing: C:\Users\jphartman\OneDrive\Documents\Projects\2022\Kitchawan\Kitchawan_Terminal.dwg - 10:52 AM

Printed by: HANOTI On this date: Tue, 02/01/2022 February 1 - 5:23 pm

LEGEND

-  EXISTING WATERSHED AREA
-  MAJOR CONTOURS
-  MINOR CONTOURS
-  TIME OF CONCENTRATION
-  ANALYSIS POINT



SLR
 231 MAIN STREET, SUITE 102
 NEW PALTZ, NY 12561
 845.633.8135
 slrarchitect.com
 SLR Engineering, Landscape Architecture,
 and Land Surveying P.C.
 Registration No. 083112

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WATERSHED MAP - EXISTING CONDITIONS
KITCHAWAN GROUND MOUNT
 716 KITCHAWAN ROAD
 OSSINING, NEW YORK

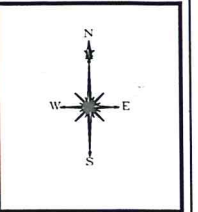
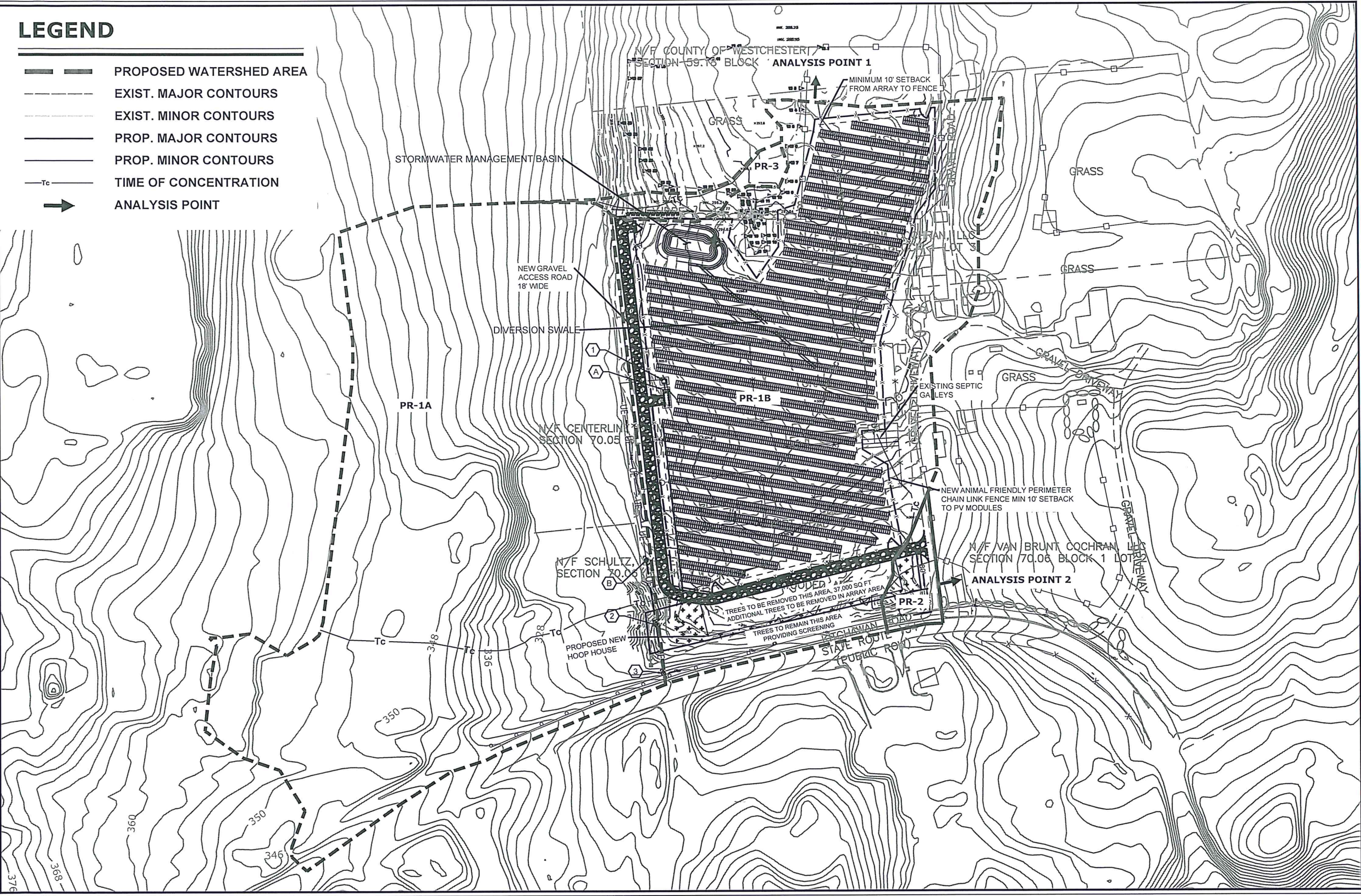
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| SCALE: 1"=150' | | |
| DATE: FEBRUARY 1, 2022 | | |
| PROJECT NO: 17054.00017 | | |
| EX-WS | | |
| SHEET NO | | |

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Drawing: 17054.00017 - DE VADU VADU UNSEEN WATERSHED PROPOSED LOT LAYOUT (PR-WS)
 Plotted by: HANUOT On this date: Tue, 2022 February 1 - 5:21pm

LEGEND

- PROPOSED WATERSHED AREA
- EXIST. MAJOR CONTOURS
- EXIST. MINOR CONTOURS
- PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS
- TIME OF CONCENTRATION
- ANALYSIS POINT



SLR
 231 MAIN STREET, SUITE 102
 NEW PALTZ, NY 12561
 SLRCONSULTING.COM
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 Registration No. 083112

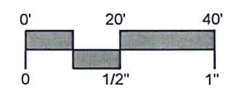
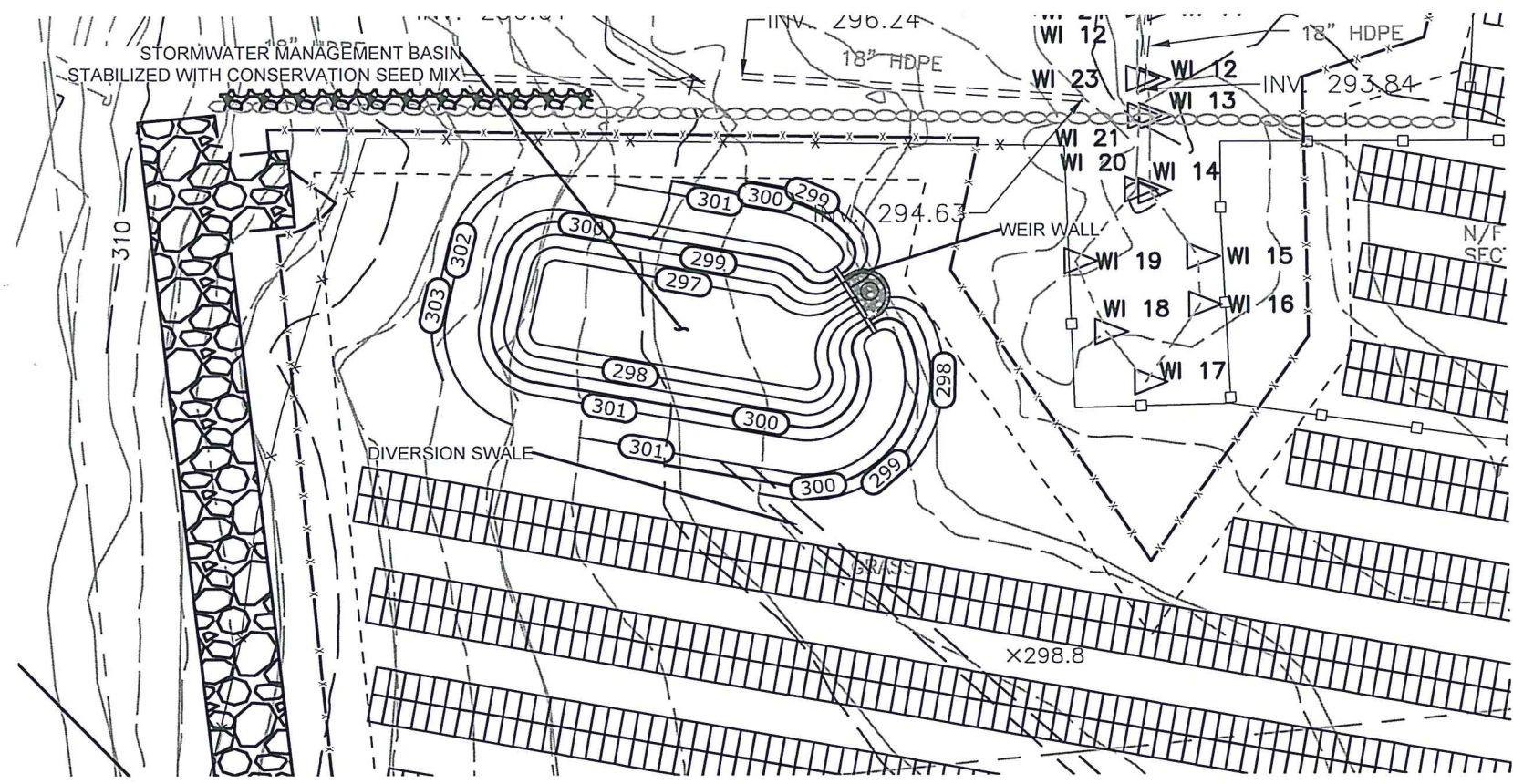
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WATERSHED MAP - PROPOSED CONDITIONS
KITCHAWAN GROUND MOUNT
 716 KITCHAWAN ROAD
 OSSINGEN, NEW YORK

| | | |
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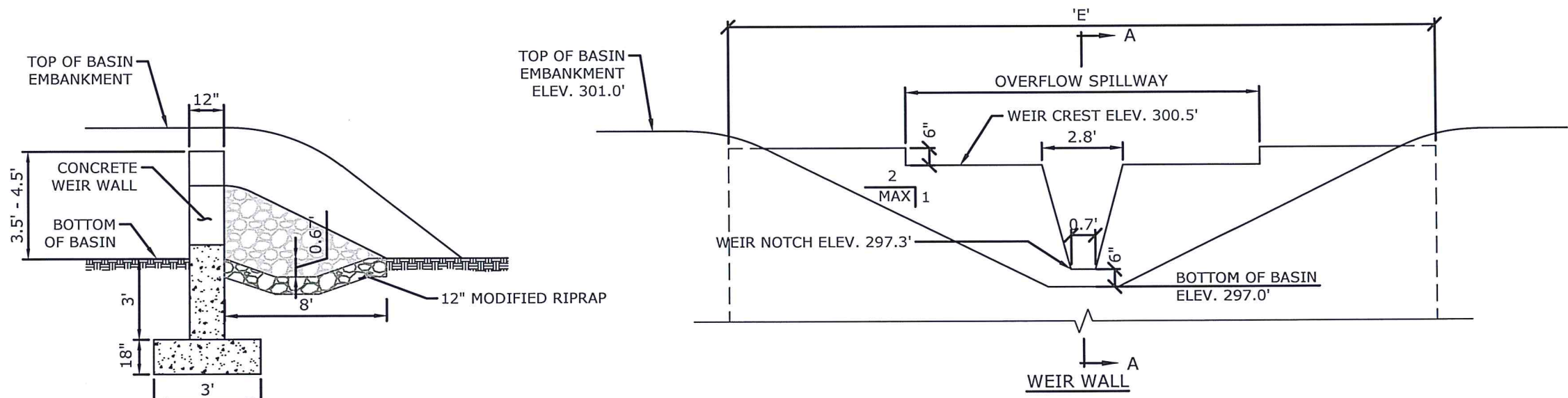
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Drawing: W:\2020\DESIGN\17054.00017-06\CAD\NONPLANSET\WATER\SHED\PROP\SC01.DWG Layout: 17054.SMB



STORMWATER MANAGEMENT BASIN

1"=40'



SECTION A-A

OUTLET WEIR WALL

NOT TO SCALE



SLR
 231 MAIN STREET, SUITE 102
 NEW YORK, NY 10011
 212.693.1313
 SLR CONSULTING.COM
 SLR Engineering, Landscape Architecture,
 and Land Surveying P.C.
 Registration No. 083112

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
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PRELIMINARY STORMWATER MANAGEMENT BASIN
 KITCHAWAN GROUND MOUNT
 716 KITCHAWAN ROAD
 OSSING, NEW YORK

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| SCALE: 1"=150' | | |
| DATE: FEBRUARY 1, 2022 | | |
| PROJECT NO: 17054.00017 | | |

SMB

Plotted by: HMMOTT On this date: Feb, 2022 February 1 - 5:21pm

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Town of Yorktown www.yorktownny.org

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.254 Fax (914) 962-1731

MEMORANDUM

Edward Kolisz, Fire Inspector

Telephone (914) 962 5722 ext. 254

Email: ekolisz@yorktownny.org

Office hours: Weekdays 9:00-10:00 a.m., 3:30-5:00 p.m.

TO: Planning Board, Town of Yorktown
From: Edward Kolisz, Fire Inspector
Re: **Kitchawan Farm Solar Farm Access Rd. Revision**
Date: January 21, 2022

I have reviewed the proposed changes to the access road to the Kitchawan Farm solar farm plan. I have no objections or concerns to moving the access road. Please contact me with any questions.

Ryder Subdivision

TOWN OF YORKTOWN PLANNING DEPARTMENT


Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: February 24, 2022
Subject: Ryder Subdivision
SBL: 48.06-1-12

The Planning Department has reviewed the current submission and has the following comments:

1. The applicant should submit a new application form and EAF for the current application.
2. The applicant should submit a stormwater and wetland permit application and associated fees.
3. The wetland delineation and mitigation plan should be reviewed by the Town's environmental consultant.
4. The Public Informational Hearing can be scheduled for the March 14, 2022 meeting.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

Site Design Consultants

Civil Engineers • Land Planners

February 15, 2022

Ms. Robyn Steinberg, AICP
Town Planner
Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

FEB 16 2022

TOWN OF YORKTOWN

Re: Ryder Subdivision
532 Underhill Avenue
SBL 48.06-1-12

Dear Robyn:

Enclosed please find the following items for placement on the agenda for the Planning Board Meeting of February 28, 2022:

- Five prints of the Mitigation Plan prepared by Steve Marino;
- Five prints of the Site Plan titled "Site Plan Prepared for Ryder," Sheet 1 of 1, dated 2-15-2022,

We would also request that the Board set a Public Information Hearing date for this project. We will submit a digital copy of this submission. If you have any questions or need additional information, please contact me. Thank you.

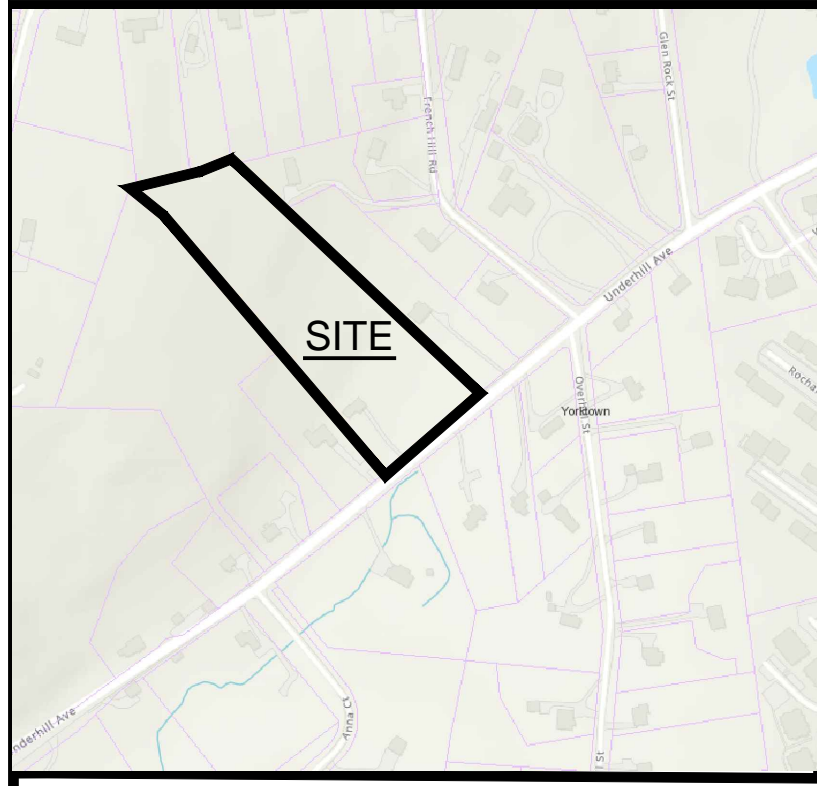
Yours Truly,


Joseph C. Riina, P.E.

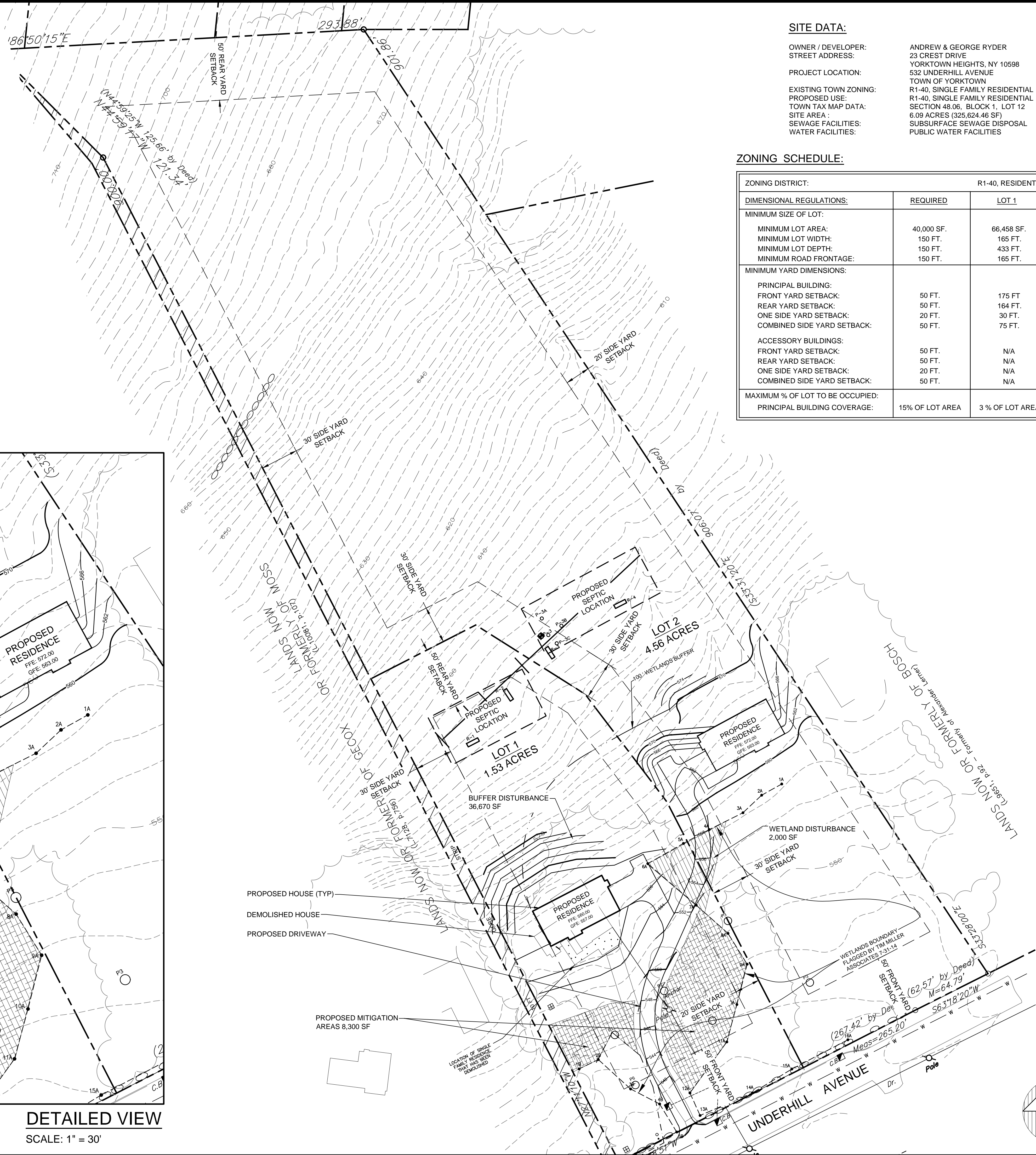
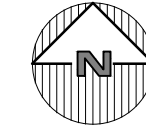
Cc: Town Supervisors
Engineering Department
Bureau of Fire Prevention
Building Department
Water Department
Ed Lachterman
Andrew Ryder

JCR / cm / Enc. / sdc 21-21





LOCATION MAP
NOT TO SCALE

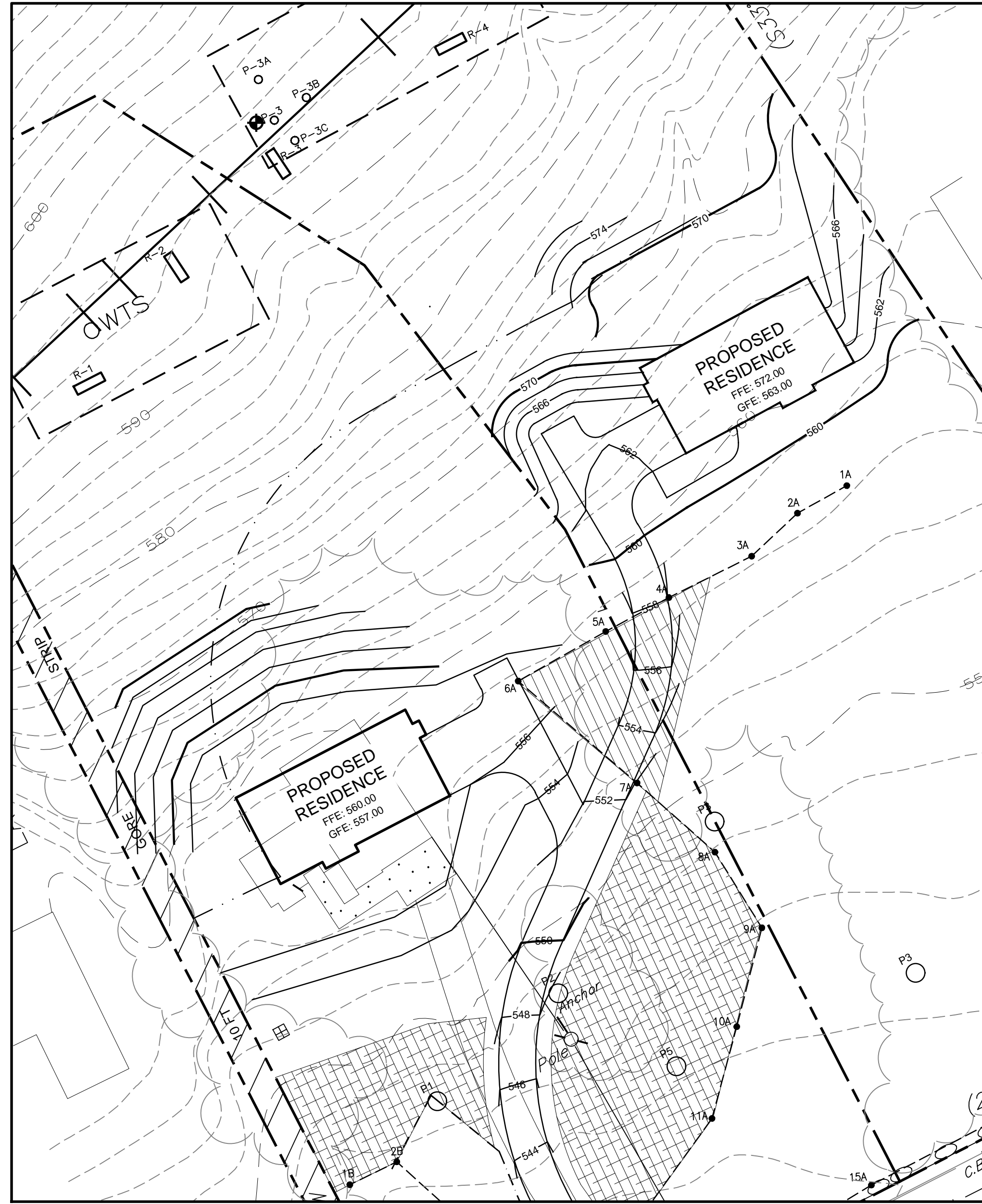


SITE DATA:

OWNER / DEVELOPER: ANDREW & GEORGE RYDER
 STREET ADDRESS: 23 CREST DRIVE, YORKTOWN HEIGHTS, NY 10598
 PROJECT LOCATION: 532 UNDERHILL AVENUE, TOWN OF YORKTOWN
 EXISTING TOWN ZONING: R1-40, SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: R1-40, SINGLE FAMILY RESIDENTIAL
 TOWN TAX MAP DATA: SECTION 48.06, BLOCK 1, LOT 12
 SITE AREA: 6.09 ACRES (325,624.46 SF)
 SEWAGE FACILITIES: SUBSURFACE SEWAGE DISPOSAL
 WATER FACILITIES: PUBLIC WATER FACILITIES

ZONING SCHEDULE:

| ZONING DISTRICT: | R1-40, RESIDENTIAL | | | |
|---|--------------------|----------------|----------------|-------------------|
| DIMENSIONAL REGULATIONS: | REQUIRED | LOT 1 | LOT 2 | VARIANCE REQUIRED |
| MINIMUM SIZE OF LOT: | | | | |
| MINIMUM LOT AREA: | 40,000 SF. | 66,458 SF. | 198,758 SF. | NONE |
| MINIMUM LOT WIDTH: | 150 FT. | 165 FT. | 165 FT. | NONE |
| MINIMUM LOT DEPTH: | 150 FT. | 433 FT. | 937 FT. | NONE |
| MINIMUM ROAD FRONTAGE: | 150 FT. | 165 FT. | 165 FT. | NONE |
| MINIMUM YARD DIMENSIONS: | | | | |
| PRINCIPAL BUILDING: | | | | |
| FRONT YARD SETBACK: | 50 FT. | 175 FT. | 241 FT. | NONE |
| REAR YARD SETBACK: | 50 FT. | 164 FT. | 568 FT. | NONE |
| ONE SIDE YARD SETBACK: | 20 FT. | 30 FT. | 28 FT. | NONE |
| COMBINED SIDE YARD SETBACK: | 50 FT. | 75 FT. | 54 FT. | NONE |
| ACCESSORY BUILDINGS: | | | | |
| FRONT YARD SETBACK: | 50 FT. | N/A | N/A | NONE |
| REAR YARD SETBACK: | 50 FT. | N/A | N/A | NONE |
| ONE SIDE YARD SETBACK: | 20 FT. | N/A | N/A | NONE |
| COMBINED SIDE YARD SETBACK: | 50 FT. | N/A | N/A | NONE |
| MAXIMUM % OF LOT TO BE OCCUPIED: | | | | |
| PRINCIPAL BUILDING COVERAGE: | 15% OF LOT AREA | 3% OF LOT AREA | 1% OF LOT AREA | NONE |

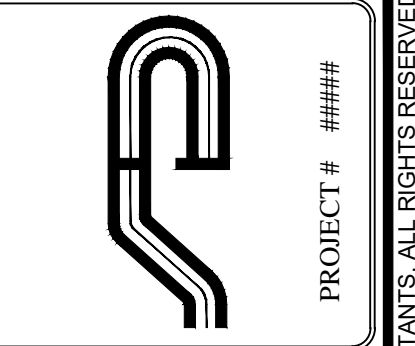


DETAILED VIEW

SCALE: 1" = 30'

NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XX/XX/XX, LAST REVISED XXXXXX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



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 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 - Fax: (914) 962-7386
 www.sitedesignconsultants.com

Engineer:
 Joseph C. Rinna, P.E.
 NYS Lic. No. 64431

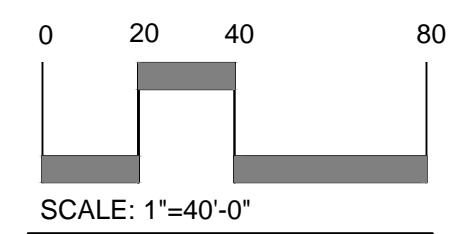
| Revisions: | No. | Date | Comments |
|------------|-----|------|----------|
| | ### | ### | ### |

SCALE: 1" = 40'
 DRAWN BY: CS
 DATE: 2/15/22

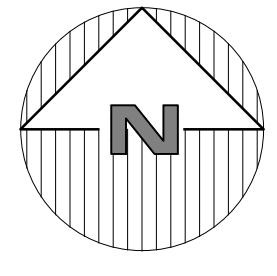
PRELIMINARY SUBDIVISION PLAN

SITE PLAN PREPARED FOR
RYDER
 532 UNDERHILL AVENUE
 Town of Yorktown Heights
 Westchester County, NY

Sheet 1 of 1



SCALE: 1"=40'-0"
SAFE DIG
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 Call 811



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PROPOSED MITIGATION AREAS 8,300 SF

LOCATION OF SINGLE FAMILY RESIDENCE THAT HAS BEEN DEMOLISHED

| Plant Species Choices for Wetland Expansion | | | | |
|---|-----------|---|--------------------|---------|
| Map Symbol | Quantity* | Scientific Name | Common Name | Size |
| Trees | | | | |
| Aru | 8 | Acer rubrum | Red Maple | 5' - 6' |
| Shrubs | | | | |
| CSe | 17 | Cornus sericea | Redosier dogwood | 3' - 4' |
| IV | 15 | Ilex verticillata | Winterberry holly | 3' - 4' |
| VC | 7 | Vaccinium corymbosum | Highbush blueberry | 4' - 5' |
| VD | 7 | Viburnum dentatum | Arrowwood | 4' - 5' |
| Seed Mix | | | | |
| RBM | 10 pounds | Pinelands Wet Site Pollinator Mix or equivalent | | |

* Plant quantities will be held, but final locations will be determined in the field following removal of invasive and dead plant materials and preservation of existing trees.

Grading Details

It is proposed to excavate the mitigation area in order to establish pools and flow paths as shown on the grading plan. These areas will be accessed for purposes of the wetland mitigation construction from the proposed road. If suitable, topsoil removed from excavated area will be used within the new wetlands as replacement of organic material for surface preparation.

Soil erosion and sediment control fencing will be installed at the outer and down slope limits of the proposed wetland expansion. The location of the proposed mitigation will be cleared as necessary, but with an eye toward preserving any trees or shrubs adjacent to the work area; some may be removed and stockpiled for replanting after completion of grading.

Where available, the upper one foot of topsoil will be stripped from the site and set aside from other site grading materials. The temporary storage area will be an upland site either removed from wetlands by 100 feet or separated from same by a soil erosion and sediment control fence.

All excavations will be to finished grade elevations as indicated in the mitigation drawings. Per the above, topsoil will be stripped from the site and stockpiled for use in finishing grading. The stockpiled topsoil will be returned to the site to create a planting surface four to six inches deep for the wetland mitigation plantings as described above. Finished soils at the invert of the mitigation sites will be of landscape quality.

The finished surfaces of the planting area will be smooth within specified tolerances in uniform levels or slopes between points where elevations are indicated or between such points and existing grades. The accepted grading tolerance will be a smooth and even surface, free of voids, and within 0.25 feet of the specified elevation. Leaving the surface rough, crating mounds and kettles for a variable microtopography can be beneficial. During the course of earthwork, inspections will be scheduled at a frequency to be determined by the engineer/environmental consultant but no less than weekly. Some changes to the grades may be appropriate to establish flow paths and preserve trees. These determinations will be made by the wetland specialist supervising the grading.

Planting Details

Plant choices for the wetland expansion were made according to existing site conditions and locally common species.

All planting will proceed by hand. Materials will be brought to the site in good condition (see below) and then placed in central drop locations. The materials will then be hand-carried to their planting locations and in turn, planted by hand. Only rounded, shallow planting shovels will be used in this effort.

Criteria for selecting plant material will include (1) the plant's ability to withstand the expected light and saturation conditions; (2) its demonstrated survival on this site and other nearby sites; (3) the plant must be native and non-invasive; and (4) whether the plant material is available at nurseries in the same region as the site. See Table 1 for complete plant species list. Seed mix was chosen based on the species' ability to survive in moist areas adjacent to the road with some sun.

Planting will be done in spring or early summer (between April 1 and July 1). Shrubs may also be planted in the late summer to early fall (September 1 to October 30). In all cases, a hole will be dug twice as deep as the root ball. The only shovels allowed are rounded, shallow spades. The hole will then be backfilled with a thin layer (two to four inches) of rich, organic topsoil, the plant placed inside, the hole backfilled to the top and then gently tamped down.

Container-grown plant material delivered to the job site will be inspected to assure moist soil/moss masses. Any dry and light weight plants will not be accepted. If not planted immediately the container will be stored out of the sun and wind and kept moist (i.e., a means of watering will be provided and watering will occur daily). When removed from the containers, the plants will be the size of the specified container. If in leaf, the plants will appear healthy with no spots, leaf damage, discoloration, insects or fungus. If not in leaf, the buds will be firm and free of damage, discoloration, insects or fungus. Containers will be a minimum of quart size for shrubs and gallon size for trees.

Plants not having an abundance of well developed terminal buds on the leaders and branches will be rejected. The stems and branches of all plants will be turgid and the cambium healthy or the plants rejected.

Seeding within wetland areas should not be completed when there is more than two inches of standing water, or in areas that are likely to be flooded. Seeds should be broadcast by hand or knapsack seeder using the proper seeding rate (13 pounds per acre), and carefully proportioning seed for the entire area. Cover with a light layer of straw mulch following seeding.

Plan Notes

1. Prior to commencement of site work, silt fence is to be placed at limit of disturbance.
2. Regrade area and spread topsoil four to six inches deep using existing stockpiles. Final grading is to be generally completed as shown on this plan. Some field adjustment to achieve desired flow paths is acceptable.
3. Trees to remain will be identified prior to the commencement of site grading. These trees will be flagged in the field prior to the commencement of any clearing or excavation. Leave smaller existing trees in assumed area of disturbance to the extent practicable. Field adjustments to the grading plan may be necessary in order to ensure minimal impacts to roots of trees to be saved.
4. Hay and seed area of wetland expansion with Pinelands Riparian Buffer Mix or equivalent. Companion seed with annual ryegrass as per grower's recommendations.
5. Trees and shrubs will be planted within the proposed wetland creation area as specified on the plan and the table above.

Monitoring and Maintenance

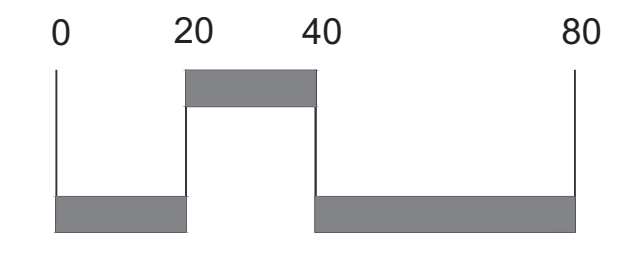
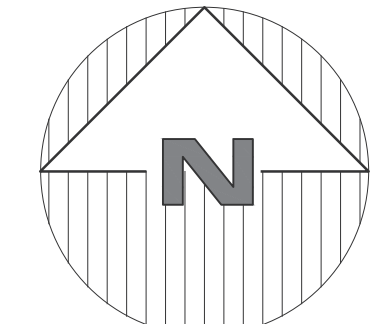
At least one pre-construction meeting will occur between the chosen grading and/or planting contractor/subcontractor and the site environmental systems planner prior to beginning construction on site. The construction monitor will have experience in wetland construction and a Bachelor of Science degree in Natural and/or Physical Resources.

Monitoring and maintenance efforts for the mitigation plantings will take place over a five year period following construction. This will include bi-weekly visits for the first growing season, and then twice a year for the next two years, with additional inspections as required depending on conditions. The applicant's environmental monitor will conduct a survey of the site and site conditions will be noted and adjusted as necessary. An annual report will be provided to the Town of Yorktown at the end of the growing season for each of the three years. These reports will include the following information:

1. All plant species, along with their estimated relative frequency and percent cover, shall be identified by using plots measuring 10 feet by 10 feet, with at least one representative plot located in each of the habitat types within the mitigation site. For this proposal, there are two plots identified on the plan view planting plan.
2. Vegetation cover maps, at a scale of one inch equals 100 or larger, shall be prepared for each growing season.
3. Photographs showing all representative areas of the mitigation site shall be taken at least once each year during the period between 1 June and 15 August.
4. Surface water and groundwater elevations in representative areas of the mitigation site shall be recorded twice a month during April through September of each year. The location of the monitoring wells are shown on the plan view grading plan

Plantings will meet or exceed 85 percent survival rate by the end of the second growing season. If this goal is not met, the site will be re-evaluated, and re-grading and/or replanting will be completed as necessary. Invasive species (i.e., Lythrum salicaria and Phragmites australis) will not constitute more than 10 percent of the vegetative community. If this goal is exceeded, measures will be taken to eradicate the invasive species.

Wetland Mitigation Plan
 prepared by
 Steve Marino, PWS
 Tim Miller Associates
 10 North Street, Cold Spring, NY 01516



PROJECT # 000000

Site Design Consultants

Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
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 www.sitedesignconsultants.com

Engineer:
Joseph C. Rima, P.E.
NYS Lic. No. 64431

| Revisions: | Comments: |
|------------|-----------|
| | |
| | |
| | |
| | |

SCALE: 1" = 40'

DRAWN BY: CS

DATE: 12/07/21

WETLAND MITIGATION PLAN

SITE PLAN PREPARED FOR RYDER

532 UNDERHILL AVENUE
Town of Yorktown Heights
Westchester County, NY

Sheet _____ of _____

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Martino Contracting

TOWN OF YORKTOWN PLANNING DEPARTMENT


Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

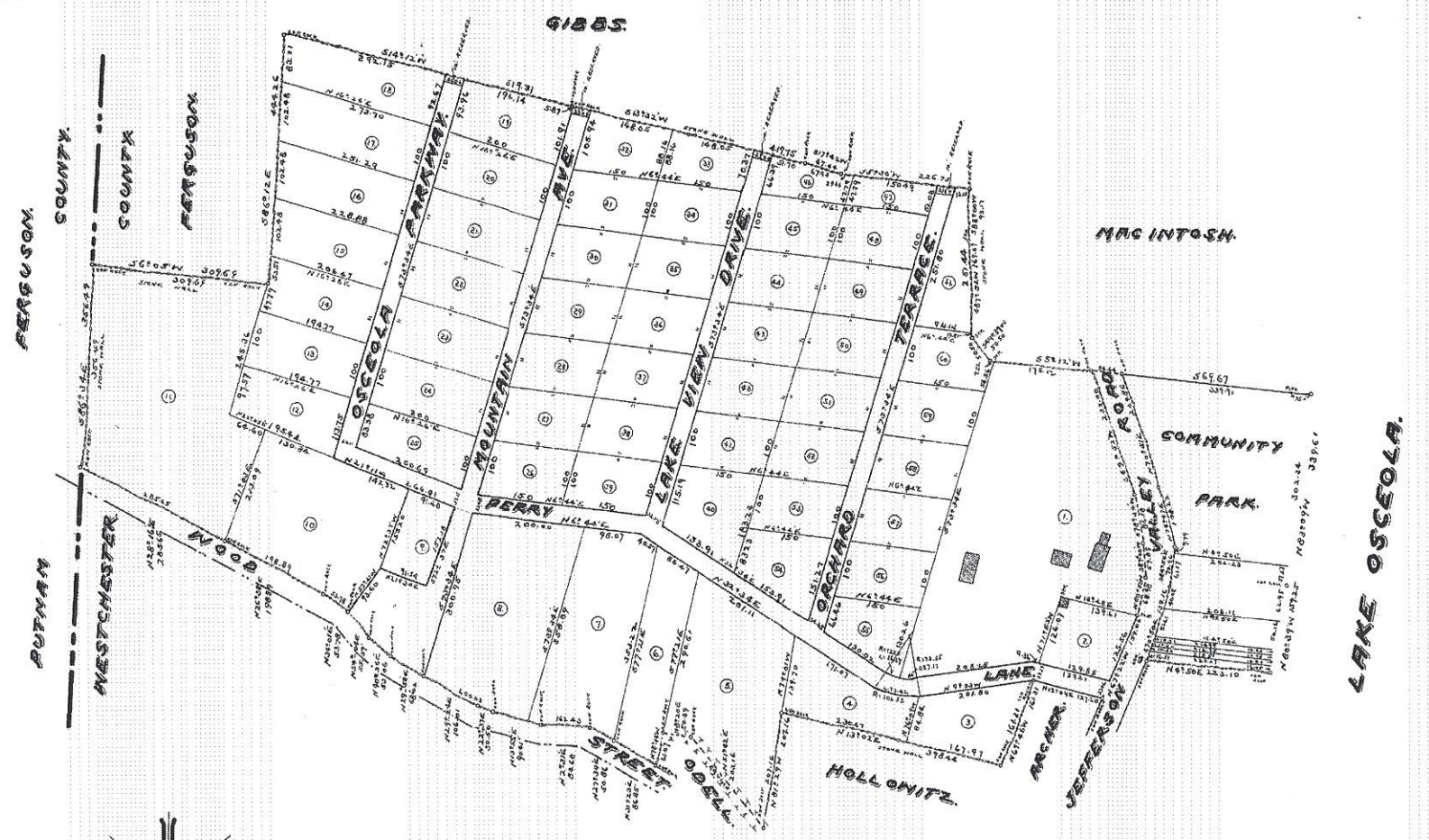
To: Planning Board
From: Planning Department
Date: February 24, 2022
Subject: Martino Contracting
SBL: 6.17-2-62

The Planning Department has reviewed the current submission and has the following comments:

1. The residential development is proposed with access from Lakeview Road. This road was part of the Osceola Heights subdivision and seems to have the same issue of access over a 10 foot reserve strip as the Hansmann Subdivision that was proposed from Osceola Road.
2. If a subdivision is also proposed, a subdivision application must also be submitted. The Planning Department can determine fee schedules for both developments once submitted.
3. Applicant should confirm whether the Short EAF submitted in 2020 is accurate for the current proposed plan or submit a revision.
4. Stormwater and tree removal must be evaluated for this site.
5. Lighting and Landscaping plans should be submitted for the commercial development. Proposed elevations should also be submitted when prepared.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner



MAP OF
OSCEOLA HEIGHTS,
 YORKTOWN, WESTCHESTER COUNTY,
JEFFERSON VALLEY, N. Y.

SCALE 1 INCH = 100 FEET.

SEPT 25, 1923.

I, WILBUR D. LOCKWOOD, DO HEREBY
 CERTIFY THAT I COMPLETED THE
 SURVEY OF THIS PROPERTY ON SEPT.
 20, 1923, AND COMPLETED THIS MAP
 ON SEPT 27, 1923.

Wilbur D. Lockwood.

CIVIL ENGINEER & SURVEYOR,
 PEEKSKILL, NEW YORK.

Filed in the office of the Register
 of West. Co. Oct. 15th 1923
 -G. W. ... Register

Site Design Consultants

Civil Engineers • Land Planners

February 16, 2022

Rich Fon, Chairman
Members of the Yorktown Planning Board
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

FEB 16 2022

TOWN OF YORKTOWN

Re: Martino Landscaping
286 East Main Street
New Tax Data Section 6.17 Block 2 Lot 62

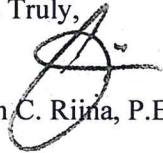
Dear Chairman Fon and Members of the Yorktown Planning Board:

We have addressed the Fire Inspector's memo to the Planning Board dated December 17, 2021 and have enclosed our responses along with the following revised plans. These plans have been modified in accordance with Ed's memo and discussions with the Planning Board and property owner. Enclosed please find the following plan sets:

- Five sets of prints titled "Site/Subdivision Plan Prepared for Martino Landscaping," Sheets 1-4 or 4, dated 8/25/20, last revised 1/14/22.

Please place this project on the Yorktown Planning Board Agenda for February 28, 2022. A digital copy is being submitted. If you have any questions or need additional information, please contact me. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

Cc: Engineering Department
Bureau of Fire Prevention
Building Department
Water Department
Ed Lachterman
Martino Landscaping

JCR / cm / Enc. / sdc 18-34



Site Design Consultants

Civil Engineers • Land Planners

February 16, 2022

Rich Fon, Chairman
Members of the Yorktown Planning Board
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

FEB 16 2022

TOWN OF YORKTOWN

Re: Martino Landscaping
286 East Main Street
New Tax Data Section 6.17 Block 2 Lot 62

Dear Chairman Fon and Members of the Yorktown Planning Board:

We are in receipt of the review memo from Edward Kolisz, Fire Inspector to the Planning Board dated December 17, 2021 and offer the following responses:

For the commercial site:

1. The applicant should be aware that fire sprinklers will be required. **Response: It is noted that fire suppression sprinklers will be required for the commercial building.**
2. The applicant shall demonstrate that fire apparatus can maneuver the site. Turning radius and grade need to be shown. **Response: A plan has been provided showing fire truck turning movements and driveway grades.**
3. Since the access road is in excess of 150 feet an approved turnaround is required. See Appendix D of the Fire Code Of New York State. **Response: As stated in response #2 the ability for a fire truck to turn around is shown.**

For the residential building:

1. A turnaround of some sort is needed for not only emergency vehicles but all vehicles. Lakeview Rd. is very narrow and difficult for emergency vehicles to operate on. The turnaround needs to meet code. See Appendix D of the Fire Code of New York State for approved turnarounds. **Response: A plan has been provided showing fire truck turning movements and driveway grades.**
2. The Bureau would like to know if there is legal access to this site from Lakeview Rd. **Response: I think the proper and only way to address this is to extend the Lakeview public right-of-way into the property.**

If you have any questions or need additional information, please contact me. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

Cc: Martino Landscaping
JCR / cm / Enc. / sdc 18-34

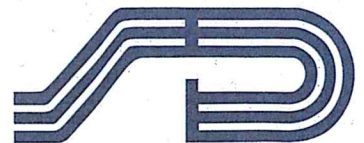
251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

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(203) 431-9504

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Town of Yorktown www.yorktownny.org

RECEIVED
PLANNING DEPARTMENT

DEC 17 2021

TOWN OF YORKTOWN

BUREAU OF FIRE PREVENTION

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.254

MEMORANDUM

Edward Kolisz, Fire Inspector

Fax (914) 962-1731

Email: ekolisz@yorktownny.org

Office hours: Weekdays 8:00-10:00 a.m., 3:00-4:00 p.m.

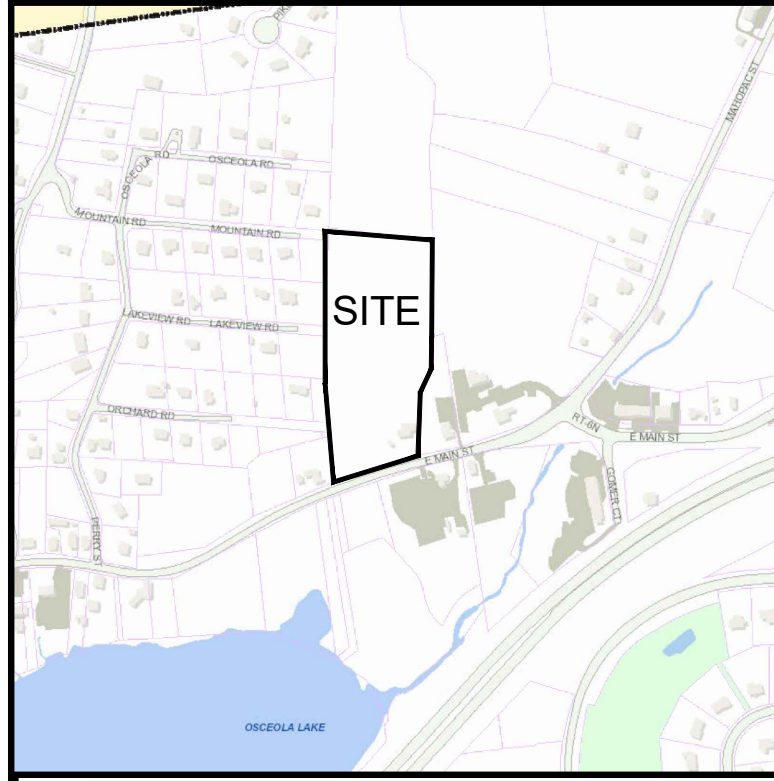
TO: Planning Board, Town of Yorktown
From: Edward Kolisz, Fire Inspector
Re: **Martino Subdivision**
Date: December 17, 2021

On Monday December 13, 2021 the Bureau of Fire Prevention met to discuss the proposed Martino Subdivision at 286 East Main St. Jefferson Valley, NY. The Bureau had the following comments:

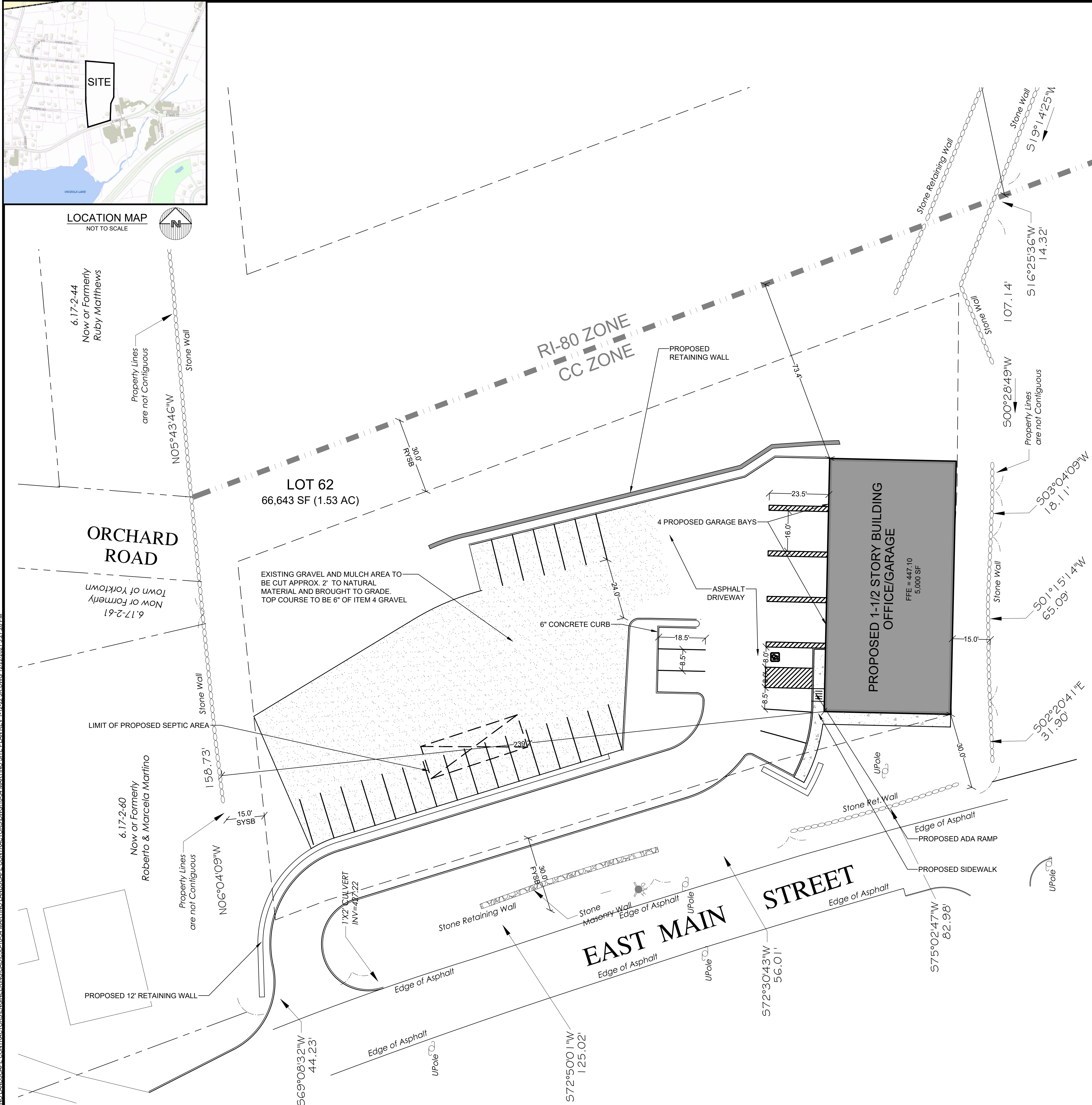
- **For the commercial site:**
 1. The applicant should be aware that fire sprinklers will be required.
 2. The applicant shall demonstrate that fire apparatus can maneuver the site. Turning radius and grade need to be shown.
 3. Since the access road is in excess of 150 feet an approved turnaround is required. See Appendix D of the Fire Code Of New York State.

- **For the residential building:**
 1. A turnaround of some sort is needed for not only emergency vehicles but all vehicles. Lakeview Rd. is very narrow and difficult for emergency vehicles to operate on. The turnaround needs to meet code. See Appendix D of the Fire Code of New York State for approved turnarounds.
 2. The Bureau would like to know if there is legal access to this site from Lakeview Rd.

Please contact me with any questions.



LOCATION MAP
NOT TO SCALE



SITE DATA:
 OWNER / DEVELOPER: MARTINO LANDSCAPING CONTRACTING, INC.
 P.O. BOX 237
 YORKTOWN HEIGHTS, NY 10598
 PROJECT LOCATION: 286 EAST MAIN STREET
 TOWN OF YORKTOWN
 EXISTING TOWN ZONING: R1-80 RESIDENTIAL / CC COUNTRY COMMERCIAL
 PROPOSED USE: R1-80 RESIDENTIAL / CC COUNTRY COMMERCIAL
 TOWN TAX MAP DATA: SECTION 6.17, BLOCK 2, LOT 62
 SITE AREA: 6.47 ACRES (281,992.45 SF)
 SEWAGE FACILITIES: ON-SITE WASTEWATER TREATMENT
 WATER FACILITIES: PUBLIC WATER FACILITIES
 WATERSHED: HUDSON RIVER

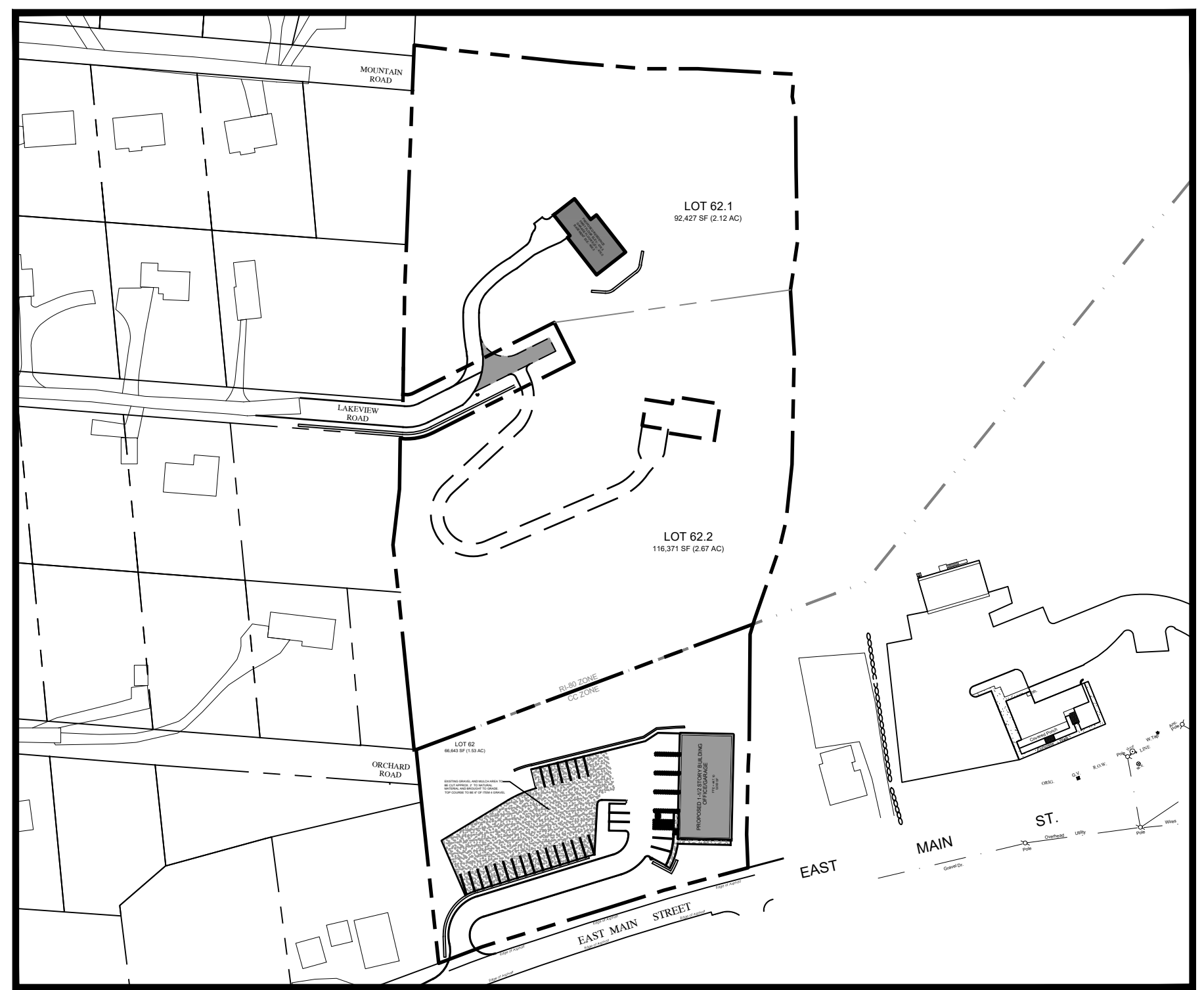
| BULK & DIMENSIONAL REGULATIONS: | | |
|--|--|---------------------------------------|
| COUNTRY COMMERCIAL | REQUIRED | PROPOSED |
| MINIMUM LOT AREA: | None | 35,942 S.F. |
| MAXIMUM ALLOWABLE DENSITY: | For dwelling units: 1/15,000 sq. ft. of lot area = 2 units For commercial or mixed use structures: 0.20 F.A.R. F.A.R. = 20 x 35,942.72 F.A.R. = 7,188 S.F. | None 5,000 S.F./35,942 S.F. = 0.14 |
| MAXIMUM BUILDING HEIGHT: | Two stories (or 35 feet) | 1-1/2 stories (or 25 feet) |
| MAXIMUM BUILDING COVERAGE: (Principal and Accessory Building) | 30% of lot area: 35,942 sf x 0.30 = 10,783 sf | 13.9% of lot area |
| LENGTH OF BUILDING: | No building shall be greater than 100 feet in length. For every 40 feet of building facade facing a public street the building facade shall be modulated such that the building is stepped back or extended forward. | 100 Feet |
| BUILDING SETBACKS: | | |
| FRONT YARD: | 30' | 30' |
| REAR YARD: | 30' | 73' |
| SIDE YARD: | 15' except 20 when adjacent to a residential district. | 15' |

BUFFERING:
 A landscaped area shall be provide in all front setbacks. There shall be a minimum ten (10) foot landscaped buffer in rear setbacks and ten (10) foot landscaped buffer in side setbacks adjacent to a street or residential district. Paved pedestrian paths shall connect parking areas with building entrances.

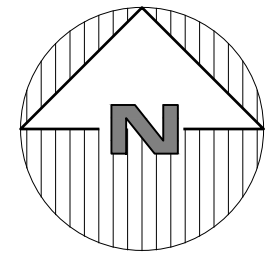
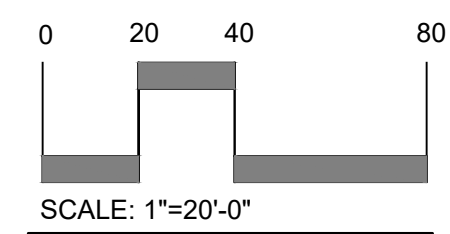
PARKING SCHEDULE

| | |
|--|-----------|
| REQUIRED PARKING: 4 SPACES PER 1000 SF OF OFFICE OR RETAIL + 1 SPACE PER TWO EMPLOYEES OF WAREHOUSE | |
| USE 1: RETAIL / OFFICE: 800 S.F. @ 4 SPACES/1000 S.F. = 3.2 SPACES | |
| USE 2: WHOLESALE, STORAGE, UTILITY OR OTHER COMMERCIAL: 1 SPACE / TWO PERSONS EMPLOYED (34)= 17 SPACES | |
| TOTAL REQUIRED PARKING: | 21 SPACES |
| TOTAL PROVIDED PARKING: | 28 SPACES |
| PARKING VARIANCE REQUIRED: | 0 SPACES |

NOTE:
 1. 30 EMPLOYEES ARE OFFSITE DURING BUSINESS HOURS



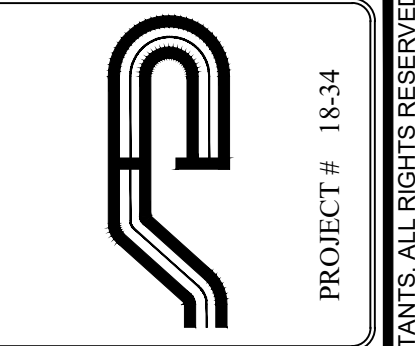
INSET
SCALE: 1" = 120'



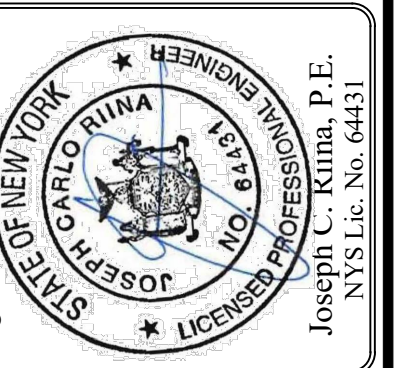
SAFE DIG
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NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITS, DATED 7/30/18. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.



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 Civil Engineers • Land Planners
 251-J Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 - Fax: (914) 962-7386
 www.sitedesignconsultants.com



| Revisions: | Date | Comments |
|------------|---------|---------------|
| 1 | 12/8/21 | Town Comments |
| 2 | 1/14/22 | Update |

SCALE: 1" = 20'
 DRAWN BY: TK
 DATE: 8/25/20

CC SITE LAYOUT PLAN

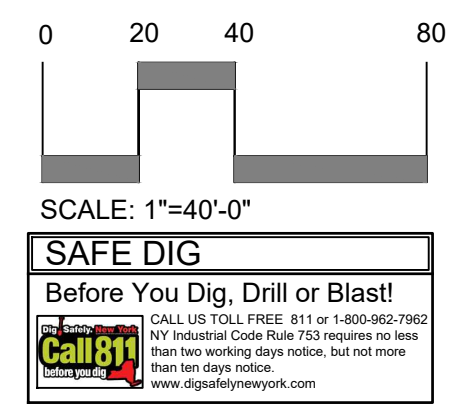
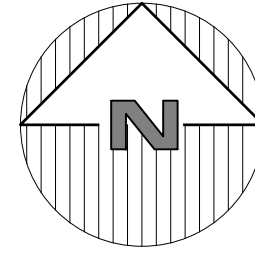
MARTINO LANDSCAPING
 PREPARED FOR
 286 EAST MAIN STREET
 Town of Yorktown
 Westchester County

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E:\2018\18-34 MARTINO LANDSCAPE CONTRACTORS\ENGINEERING\CAD\18-34 MARTINO LANDSCAPE CONTRACTORS\DWG\18-34 MARTINO SITE PLAN REL 11-22-18.DWG, 12/22/2024, 3:27:28 PM

NOTE:
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SHEET 2 OF 4

SITE/SUBDIVISION PLAN
 PREPARED FOR
MARTINO LANDSCAPING
 286 EAST MAIN STREET
 Town of Yorktown
 Westchester County

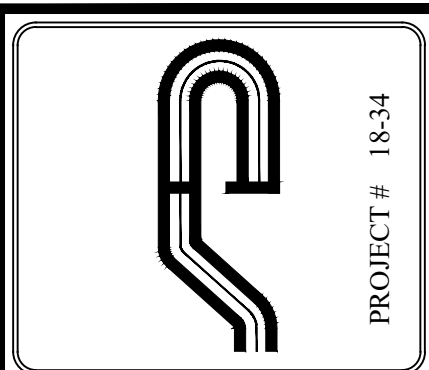
**EXISTING
 CONDITION
 PLAN**

SCALE: 1"=40'
 DRAWN BY: JR
 DATE: 10-29-18

| Revisions: | No. | Date | Comments |
|------------|-----|---------|---------------|
| | 1 | 12/8/21 | Town Comments |
| | 2 | 1/14/22 | Update |

Engineer:
 Joseph C. Rinna, P.E.
 NYS Lic. No. 64431

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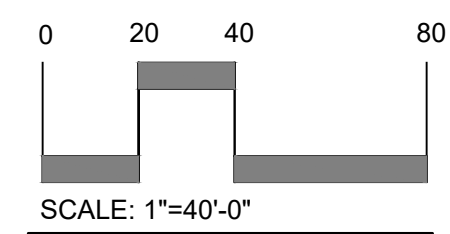
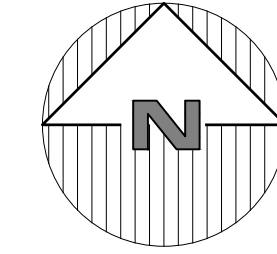
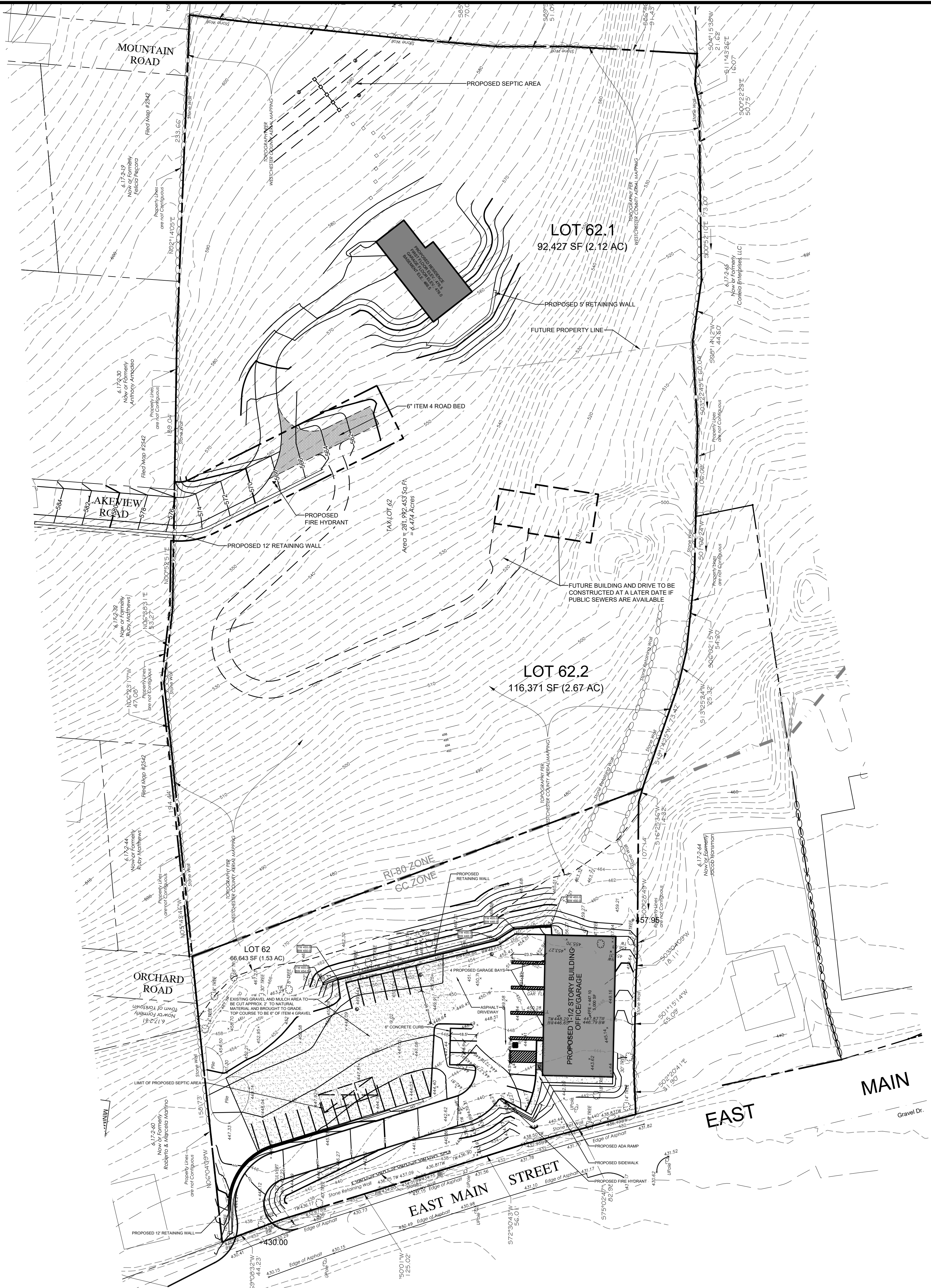


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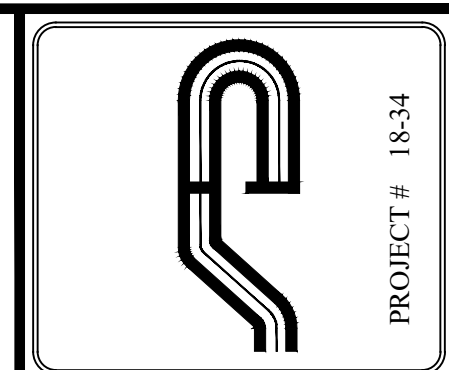
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Engineer:
Joseph C. Rinn, P.E.
NYS Lic. No. 64431

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SCALE: 1"=40'
DRAWN BY: JR
DATE: 10-29-18

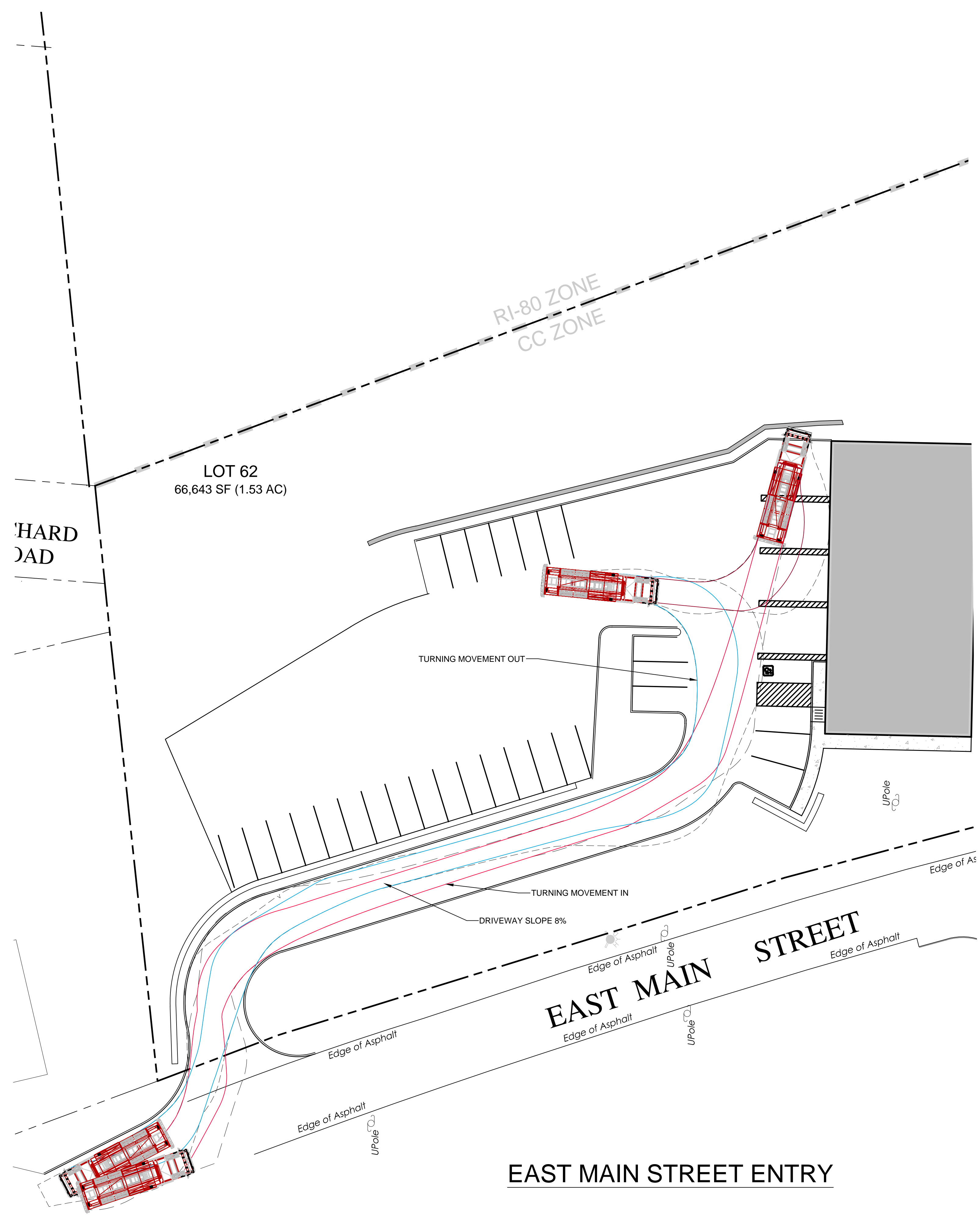
INTEGRATED PLOT PLAN

SITE/SUBDIVISION PLAN
PREPARED FOR
MARTINO LANDSCAPING
286 EAST MAIN STREET
Town of Yorktown
Westchester County

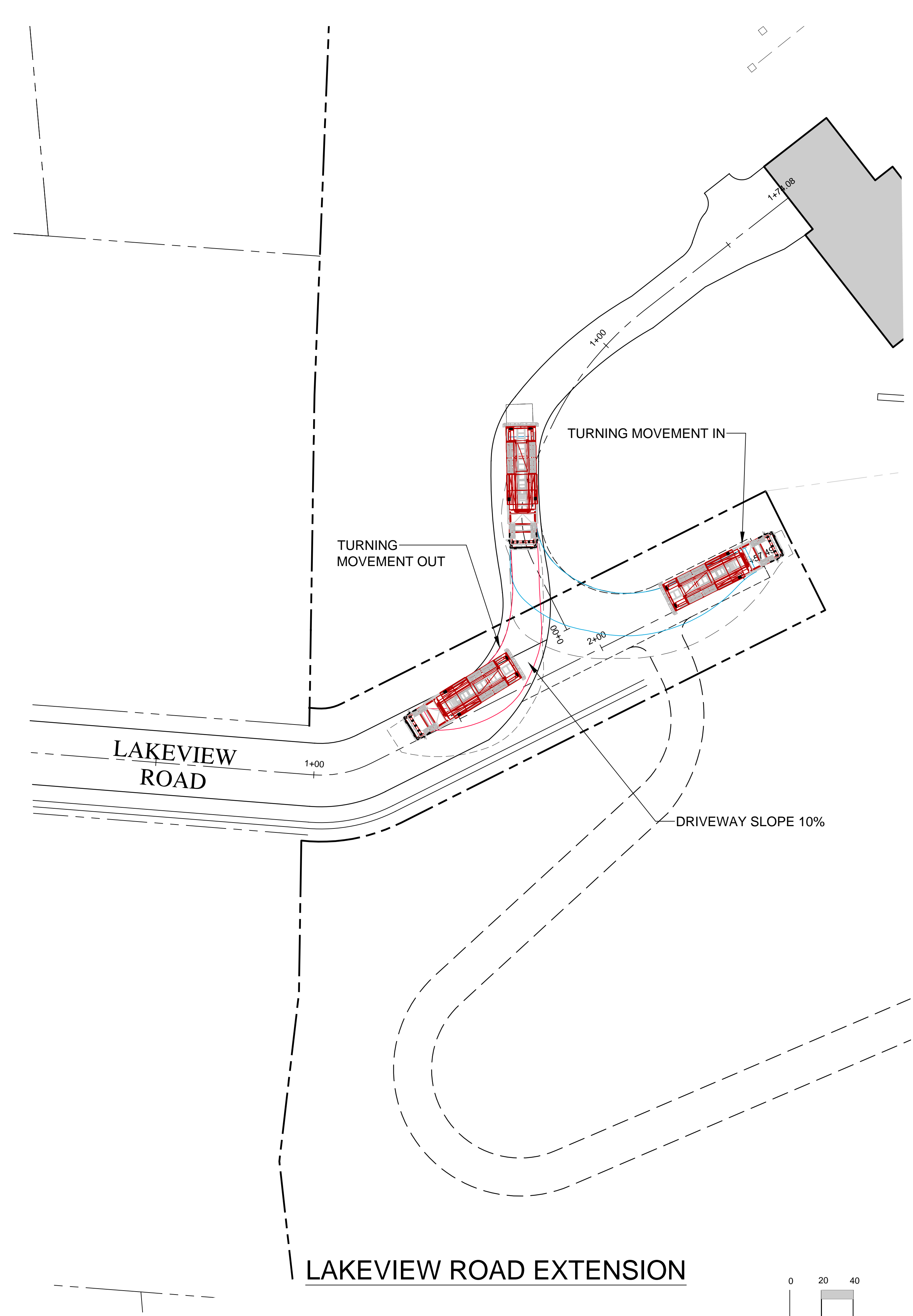
Sheet 3 of 4

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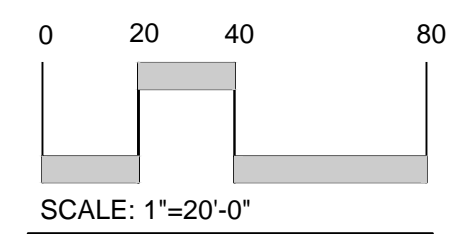
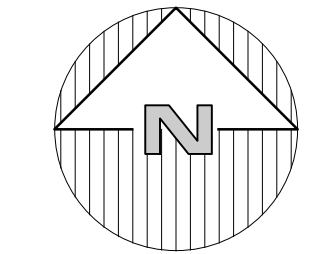
EAST MAIN STREET ENTRY



LAKEVIEW ROAD EXTENSION

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SCALE: 1"=20'-0"
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Revisions:

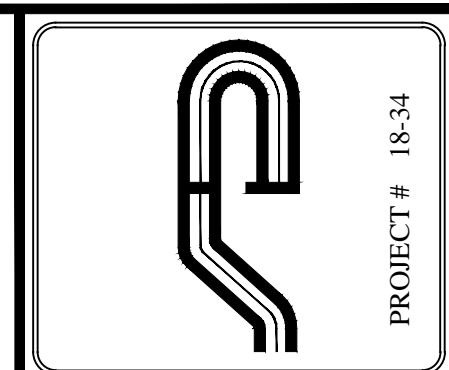
| No. | Date | Comments |
|-----|---------|---------------|
| 1 | 12/8/21 | Town Comments |
| 2 | 1/14/22 | Update |

SCALE: 1" = 20'
 DRAWN BY: TK
 DATE: 8/25/20

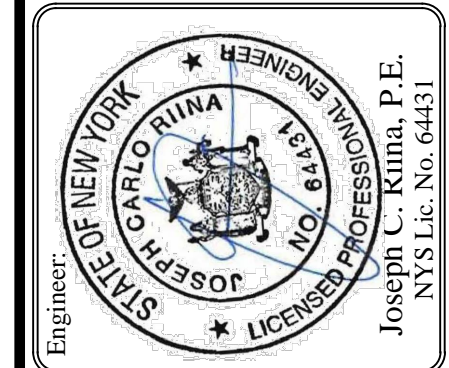
FIRE TRUCK TURNING MOVEMENTS

SITE/SUBDIVISION PLAN
 PREPARED FOR
MARTINO LANDSCAPING
 286 EAST MAIN STREET
 Town of Yorktown
 Westchester County

Sheet 4 of 4



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Grishaj Subdivision

TOWN OF YORKTOWN PLANNING DEPARTMENT


Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: February 24, 2022
Subject: Grishaj Subdivision
SBL: 16.17-2-77

The Planning Department has reviewed the current submission and has the following comments:

1. The Board must determine if this subdivision should go forward with the connection to South Shelley Street. A memo from the Fire Inspector has not been received yet on this issue, but can be discussed at the next Bureau of Fire Prevention meeting.
2. The wetland delineation and proposed mitigation plan should be reviewed by the Town's environmental consultant.
3. The tree removal and tree mitigation should be reviewed by the Town's environmental consultant.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

Site Design Consultants

Civil Engineers • Land Planners

February 15, 2022

Ms. Robyn Steinberg, AICP
Town Planner - Town of Yorktown
1975 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

FEB 16 2022

TOWN OF YORKTOWN

Re: Nikolla Grishaj
Subdivision of 3319 Stoney Street
Scofield Road and Stoney Street
SBL 16.17-2-77

Dear Robyn:

Enclosed please find the following items being submitted for distribution and discussion at the February 28, 2022 Planning Board Meeting:

- Five prints of the Mitigation Plan prepared by Steve Marino;
- Five prints of the Plan Sheet titled "Alternate Site Plan Prepared for Nikolla Grishaj," Sheet 1 of 1, dated 5/7/2021;

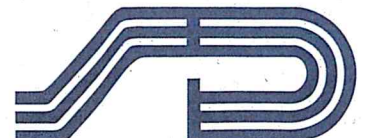
We are also forwarding you a digital copy of this submission. Please add this project to the agenda for the Planning Board Meeting of February 28th and contact us if you have any questions. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

Cc: Town Supervisor
Building Department
Engineering Department
Water Department
Nikolla Grishaj
Ed Lachterman

JCR / cm / Enc. / sdc 21-18





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WETLAND MITIGATION PLAN

SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
 3319 STONY STREET
 Town of Yorktown, Westchester County, New York

Project # 21-18

Scale: 1"=30'-0"

DATE: 5/7/21

Grading Details

It is proposed to excavate the mitigation area in order to establish pools and flow paths as shown on the grading plan. These areas will be accessed for purposes of the wetland mitigation construction from the proposed road. If suitable, topsoil removed from excavated area will be used within the new wetlands as replacement of organic material for surface preparation.

Soil erosion and sediment control fencing will be installed at the outer and down slope limits of the proposed wetland expansion. The location of the proposed mitigation will be cleared as necessary, but with an eye toward preserving any trees or shrubs adjacent to the work area, some may be removed and stockpiled for replanting after completion of grading.

Where available, the upper one foot of topsoil will be stripped from the site and set aside from other site grading materials. The temporary storage area will be an upland site either removed from wetlands by 100 feet or separated from same by a soil erosion and sediment control fence.

All excavations will be to finished grade elevations as indicated in the mitigation drawings. Per the above, topsoil will be stripped from the site and stockpiled for use in finishing grading. The stockpiled topsoil will be returned to the site to create a planting surface four to six inches deep for the wetland mitigation plantings as described above. Finished soils at the invert of the mitigation sites will be of landscape quality.

The finished surfaces of the planting area will be smooth within specified tolerances in uniform levels or slopes between points where elevations are indicated or between such points and existing grades. The accepted grading tolerance will be a smooth and even surface, free of voids, and within 0.25 feet of the specified elevation. Leaving the surface rough, crating mounds and kettles for a variable microtopography can be beneficial. During the course of earthwork, inspections will be scheduled at a frequency to be determined by the engineer/environmental consultant but no less than weekly. Some changes to the grades may be appropriate to establish flow paths and preserve trees. These determinations will be made by the wetland specialist supervising the grading.

Planting Details

Plant choices for the wetland expansion were made according to existing site conditions and locally common species.

All planting will proceed by hand. Materials will be brought to the site in good condition (see below) and then placed in central drop locations. The materials will then be hand-carried to their planting locations and in turn, planted by hand. Only rounded, shallow planting shovels will be used in this effort.

Criteria for selecting plant material will include (1) the plant's ability to withstand the expected light and saturation conditions; (2) its demonstrated survival on this site and other nearby sites; (3) the plant must be native and non-invasive; and (4) whether the plant material is available at nurseries in the same region as the site. See Table 1 for complete plant species list. Seed mix was chosen based on the species' ability to survive in moist areas adjacent to the road with some sun.

Planting will be done in spring or early summer (between April 1 and July 1). Shrubs may also be planted in the late summer to early fall (September 1 to October 30). In all cases, a hole will be dug twice as deep as the root ball. The only shovels allowed are rounded, shallow spades. The hole will then be backfilled with a thin layer (two to four inches) of rich, organic topsoil, the plant placed inside, the hole backfilled to the top and then gently tamped down.

Container-grown plant material delivered to the job site will be inspected to assure moist soil/root masses. Any dry and light weight plants will not be accepted. If not planted immediately the container will be stored out of the sun and wind and kept moist (i.e., a means of watering will be provided and watering will occur daily). When removed from the containers, the plants will be the size of the specified container. If in leaf, the plants will appear healthy with no spots, leaf damage, discoloration, insects or fungus. If not in leaf, the buds will be firm and free of damage, discoloration, insects or fungus. Containers will be a minimum of quart size for shrubs and gallon size for trees.

Plants not having an abundance of well developed terminal buds on the leaders and branches will be rejected. The stems and branches of all plants will be turged and the cambium healthy or the plants rejected.

Seeding within wetland areas should not be completed when there is more than two inches of standing water, or in areas that are likely to be flooded. Seeds should be broadcast by hand or knapsack seeder using the proper seeding rate (13 pounds per acre), and carefully proportioning seed for the entire area. Cover with a light layer of straw mulch following seeding.

Plan Notes

- Prior to commencement of site work, silt fence is to be placed at limit of disturbance.
- Regrade area and spread topsoil four to six inches deep using existing stockpiles. Final grading is to be generally completed as shown on this plan. Some field adjustment to achieve desired flow paths is acceptable.
- Trees to remain will be identified prior to the commencement of site grading. These trees will be flagged in the field prior to the commencement of any clearing or excavation. Leave smaller existing trees in assumed area of disturbance to the extent practicable. Field adjustments to the grading plan may be necessary in order to ensure minimal impacts to roots of trees to be saved.
- Hay and seed area of wetland expansion with Pinelands Riparian Buffer Mix or equivalent. Companion seed with annual ryegrass as per grower's recommendations.
- Trees and shrubs will be planted within the proposed wetland creation area as specified on the plan and the table above.

Monitoring and Maintenance

At least one pre-construction meeting will occur between the chosen grading and/or planting contractor/subcontractor and the site environmental systems planner prior to beginning construction on site. The construction monitor will have experience in wetland construction and a Bachelor of Science degree in Natural and/or Physical Resources.

Monitoring and maintenance efforts for the mitigation plantings will take place over a five year period following construction. This will include bi-weekly visits for the first growing season, and then twice a year for the next two years, with additional inspections as required depending on conditions. The applicant's environmental monitor will conduct a survey of the site and site conditions will be noted and adjusted as necessary. An annual report will be provided to the Town of Yorktown at the end of the growing season for each of the three years. These reports will include the following information:

- All plant species, along with their estimated relative frequency and percent cover, shall be identified by using plots measuring 10 feet by 10 feet, with at least one representative plot located in each of the habitat types within the mitigation site. For this proposal, there are two plots identified on the plan view planting plan.
- Vegetation cover maps, at a scale of one inch equals 100 or larger, shall be prepared for each growing season.
- Photographs showing all representative areas of the mitigation site shall be taken at least once each year during the period between 1 June and 15 August.
- Surface water and groundwater elevations in representative areas of the mitigation site shall be recorded twice a month during April through September of each year. The location of the monitoring wells are shown on the plan view grading plan.

Plantings will meet or exceed 85 percent survival rate by the end of the second growing season. If this goal is not met, the site will be re-evaluated, and re-grading and/or replanting will be completed as necessary. Invasive species (i.e., *Lythrum salicaria* and *Phragmites australis*) will not constitute more than 10 percent of the vegetative community. If this goal is exceeded, measures will be taken to eradicate the invasive species.

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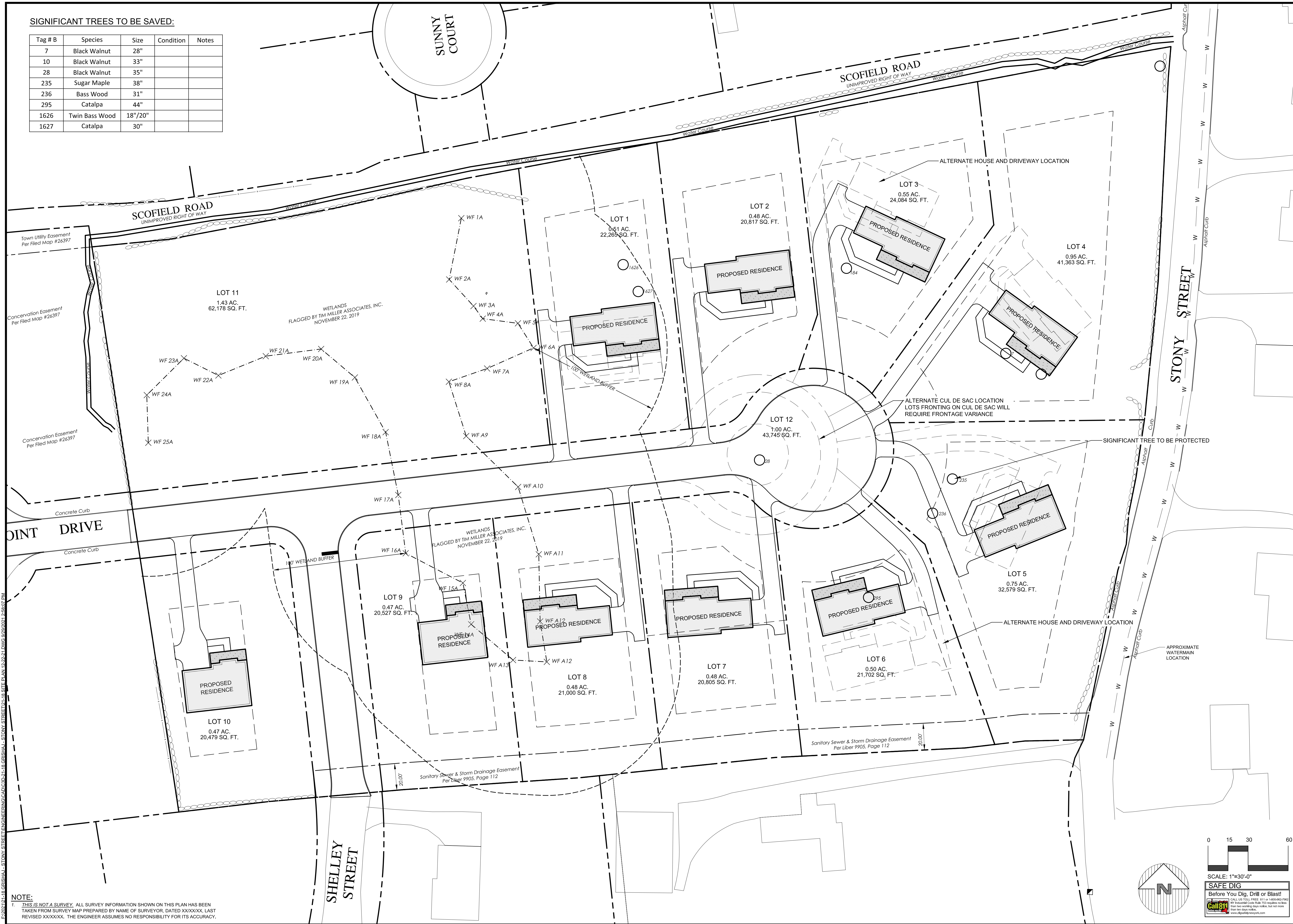
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| Map Symbol | Quantity* | Scientific Name | Common Name | Size |
|-------------------|-----------|---|--------------------|---------|
| Trees | | | | |
| Aru | 19 | <i>Acer rubrum</i> | Red Maple | 5' - 6' |
| Shrubs | | | | |
| CSe | 24 | <i>Cornus sericea</i> | Redstart dogwood | 3' - 4' |
| LB | 5 | <i>Lindera benzoin</i> | Spicebush | 3' - 4' |
| IV | 22 | <i>Ilex verticillata</i> | Winterberry holly | 3' - 4' |
| VC | 21 | <i>Vaccinium corymbosum</i> | Highbush blueberry | 4' - 5' |
| VD | 28 | <i>Viburnum dentatum</i> | Arrowwood | 4' - 5' |
| Herbaceous | | | | |
| CS | 150 | <i>Carex stricta</i> | Tussock sedge | 2" plug |
| CC | 100 | <i>Carex crinita</i> | Fringed sedge | 2" plug |
| JE | 100 | <i>Juncus effusus</i> | Soft rush | 2" plug |
| OC | 50 | <i>Osmunda cinnamomea</i> | Cinnamon fern | quart |
| Seed Mix | | | | |
| RBM | 8 pounds | Pinelands Riparian Buffer Mix or equivalent | | |

* Plant quantities will be held, but final locations will be determined in the field following removal of invasive and dead plant materials and preservation of existing trees.

SIGNIFICANT TREES TO BE SAVED:

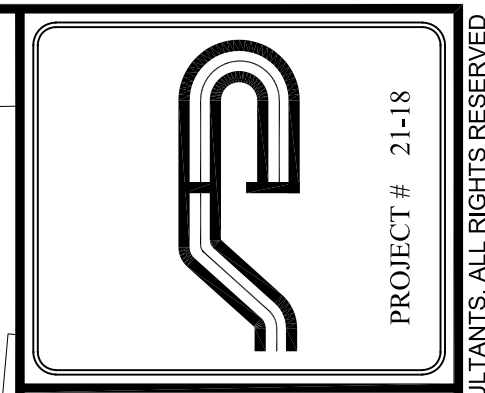
| Tag # B | Species | Size | Condition | Notes |
|---------|----------------|---------|-----------|-------|
| 7 | Black Walnut | 28" | | |
| 10 | Black Walnut | 33" | | |
| 28 | Black Walnut | 35" | | |
| 235 | Sugar Maple | 38" | | |
| 236 | Bass Wood | 31" | | |
| 295 | Catalpa | 44" | | |
| 1626 | Twin Bass Wood | 18"/20" | | |
| 1627 | Catalpa | 30" | | |



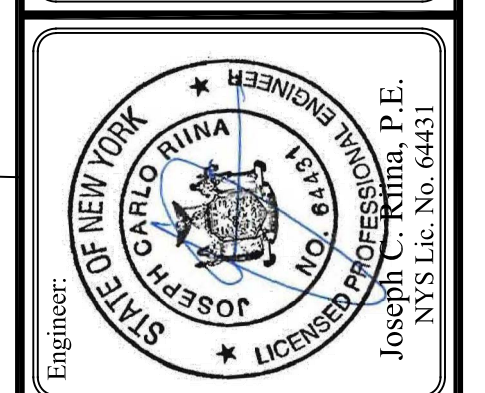
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| Revisions: | No. | Date | Comments |
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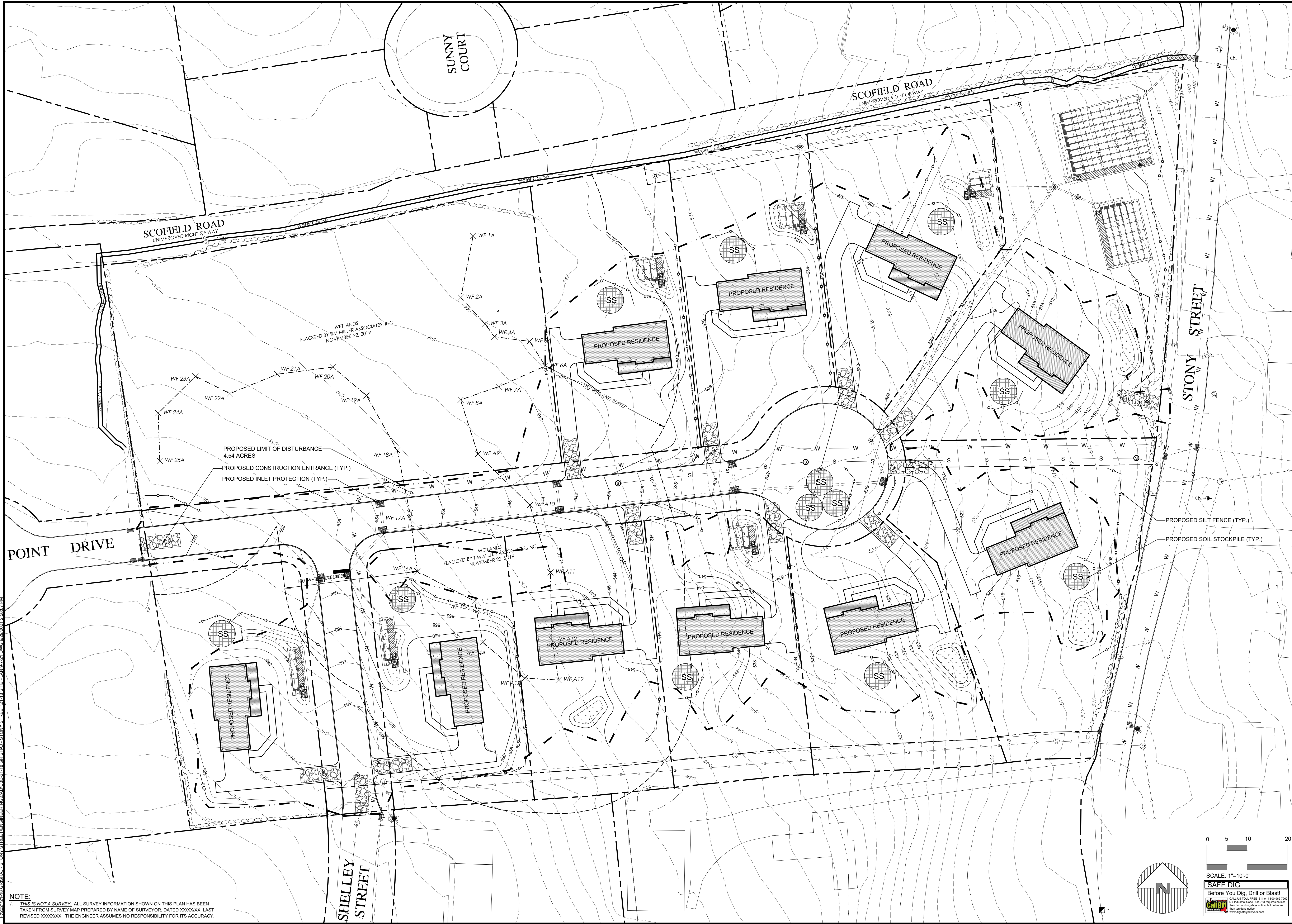
SCALE: 1" = 30'
 DRAWN BY: TK
 DATE: 5/7/21

ALTERNATE SITE PLAN

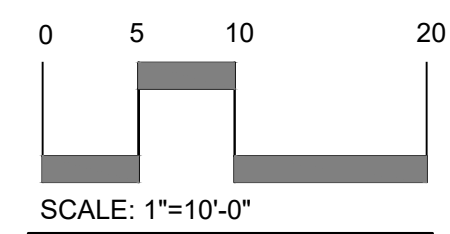
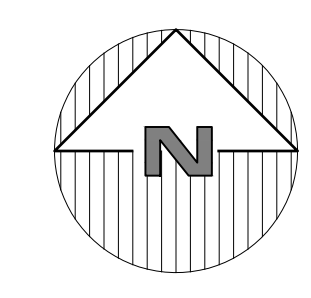
SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
 3319 STONY STREET
 Town of Yorktown Westchester County, New York

Sheet 1 of 1

PROJECT # 21-18
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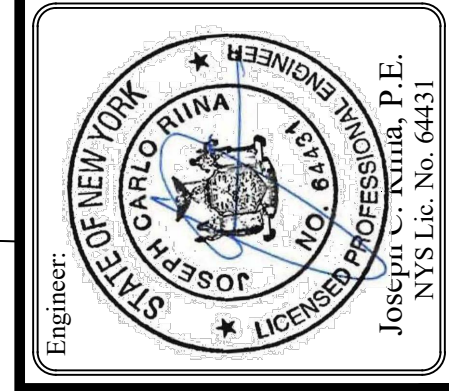


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| Revisions: | No. | Date | Comments: |
|------------|---------|------|----------------|
| | 10/7/21 | | Plan Revisions |

SCALE: 1" = 30'
 DRAWN BY: TK
 DATE: 5/7/21

E&S PLAN

SITE PLAN
 PREPARED FOR
NIKOLLA GRISHAJ
 3319 STONY STREET
 Town of Yorktown Westchester County, New York

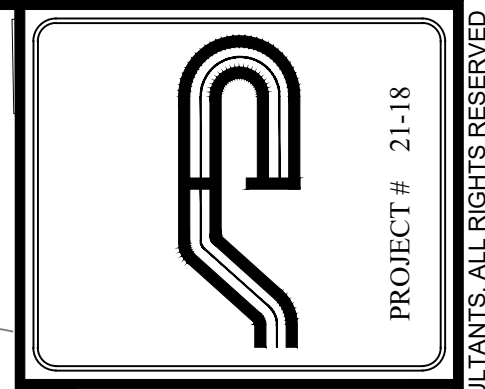
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|--|-----------------------|-----------------------|-------------|---------------|-----------------|-----------|------------------------|-----------------|--------------------|----------------------|-------------|---------------|-----------------|-----------|------------------------|
| CB-1 TO CB-2 | CB-1 | CB-2 | 19.03 | 553.60 | 553.49 | 0.50 | 18 | SMH-1 TO SMH-2 | SMH-1 | SMH-2 | 137.62 | 534.65 | 525.90 | 6.19 | 8 |
| CB-2 TO CB-4 | CB-2 | CB-4 | 39.21 | 550.83 | 550.00 | 1.96 | 18 | SMH-2 TO SMH-3 | SMH-2 | SMH-3 | 244.92 | 525.80 | 498.62 | 10.99 | 8 |
| CB-3 TO CB-4 | CB-3 | CB-4 | 18.97 | 550.00 | 549.90 | 0.50 | 18 | SMH-3 TO EX SMH | SMH-3 | EX SMH | 61.64 | 498.52 | 491.67 | 10.50 | 8 |
| CB-4 TO CB-6 | CB-4 | CB-6 | 129.26 | 549.65 | 539.27 | 7.82 | 18 | | | | | | | | |
| CB-5 TO CB-6 | CB-5 | CB-6 | 19.02 | 539.38 | 539.27 | 0.50 | 18 | | | | | | | | |
| CB-6 TO CB-8 | CB-6 | CB-8 | 128.61 | 539.02 | 528.46 | 8.00 | 18 | | | | | | | | |
| CB-7 TO CB-8 | CB-7 | CB-8 | 19.00 | 529.59 | 529.49 | 0.50 | 18 | | | | | | | | |
| CB-8 TO CB-9 | CB-8 | CB-9 | 108.59 | 525.23 | 523.96 | 1.14 | 18 | | | | | | | | |
| CB-9 TO DMH-1 | CB-9 | DMH-1 | 28.72 | 523.71 | 522.88 | 2.52 | 18 | | | | | | | | |
| DMH-1 TO BYPASS | DMH-1 | BYPASS | 230.88 | 522.63 | 503.83 | 8.03 | 18 | | | | | | | | |
| DMH-2 TO DMH-3 | DMH-2 | DMH-3 | 106.88 | 530.88 | 522.09 | 7.96 | 18 | | | | | | | | |
| DMH-3 TO DMH-4 | DMH-3 | DMH-4 | 164.13 | 521.84 | 505.37 | 9.85 | 18 | | | | | | | | |
| DMH-4 TO BYPASS | DMH-4 | BYPASS | 63.73 | 505.23 | 504.33 | 1.33 | 18 | | | | | | | | |
| BYPASS TO DOWNSTREAM DEFENDER | BYPASS | DOWNSTREAM DEFENDER | 15.05 | 498.84 | 498.65 | 1.00 | 12 | | | | | | | | |
| DOWNSTREAM DEFENDER TO INFILTRATION CHAMBERS | DOWNSTREAM DEFENDER | INFILTRATION CHAMBERS | 11.17 | 499.65 | 499.50 | 1.00 | 12 | | | | | | | | |
| BYPASS TO DETENTION CHAMBERS | BYPASS | DETENTION CHAMBERS | 9.73 | 500.25 | 500.11 | 1.00 | 12 | | | | | | | | |
| INFILTRATION CHAMBERS TO DMH-5 | INFILTRATION CHAMBERS | DMH-5 | 25.80 | 499.29 | 498.63 | 2.32 | 12 | | | | | | | | |
| DMH-5 TO DMH-6 | DMH-5 | DMH-6 | 75.79 | 498.38 | 497.98 | 0.50 | 12 | | | | | | | | |
| DMH-6 TO EX CB | DMH-6 | EX CB | 39.29 | 497.73 | 497.51 | 0.50 | 12 | | | | | | | | |
| DETENTION CHAMBERS TO RIP RAP CHANNEL | DETENTION CHAMBERS | RIP RAP CHANNEL | 27.09 | 493.25 | 492.00 | 4.62 | 12 | | | | | | | | |

Town Utility Easement
Per Filed Map #26397

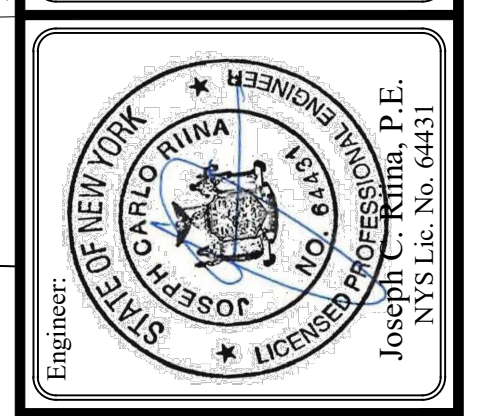


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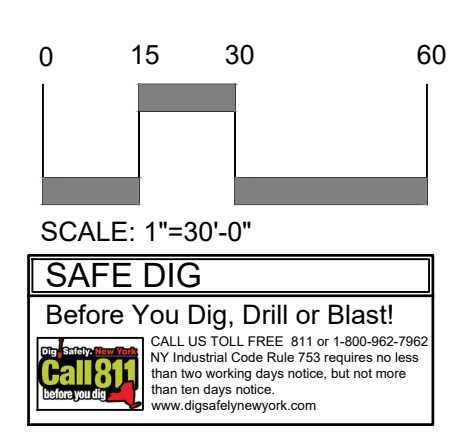


| Revisions: | No. | Date | Comments: |
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| | 10/7/21 | | Plan Revisions |

SCALE: 1" = 30'
DRAWN BY: TK
DATE: 5/7/21

IMPROVEMENT PLAN

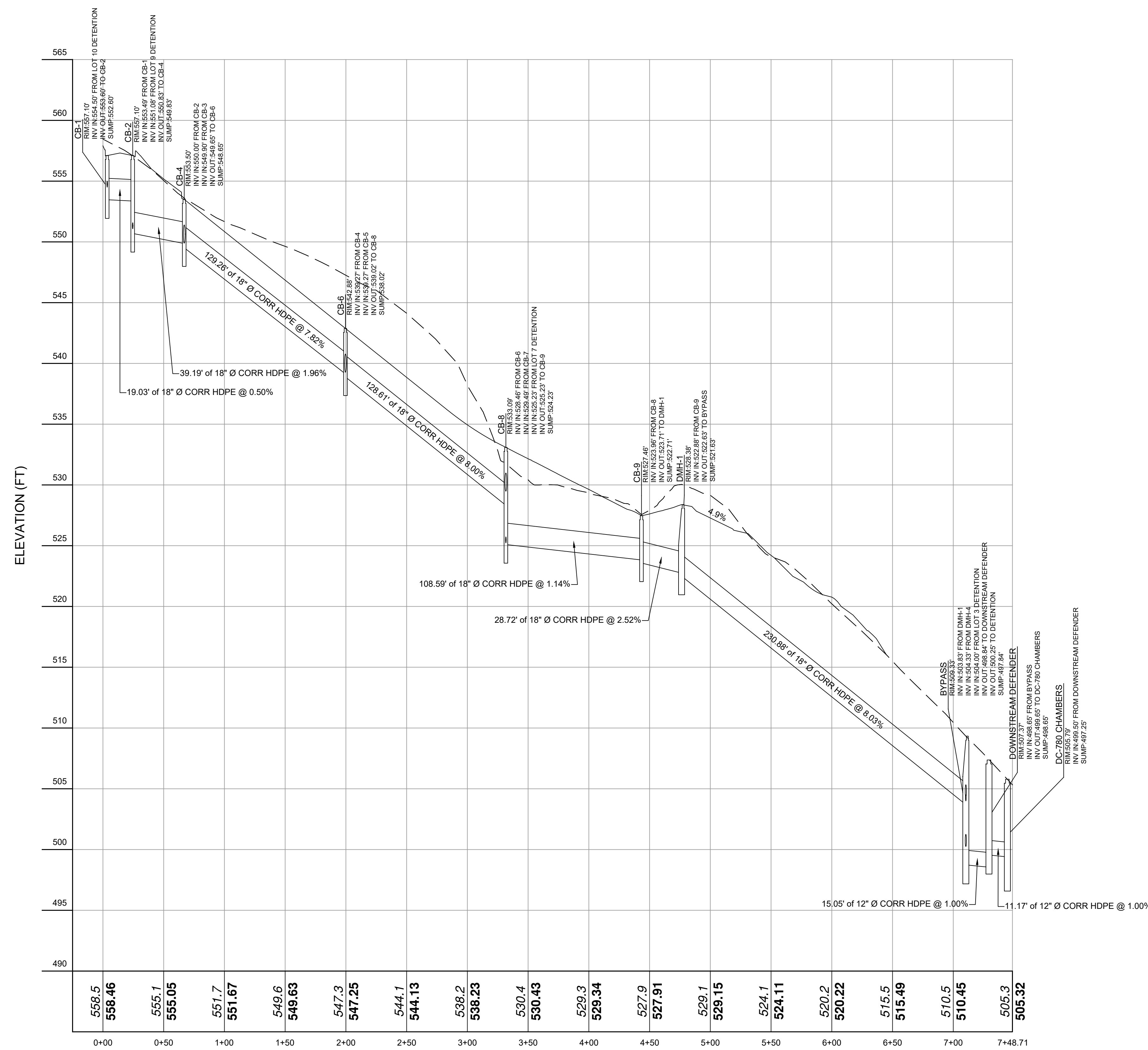
SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
3319 STONY STREET
Town of Yorktown, Westchester County, New York



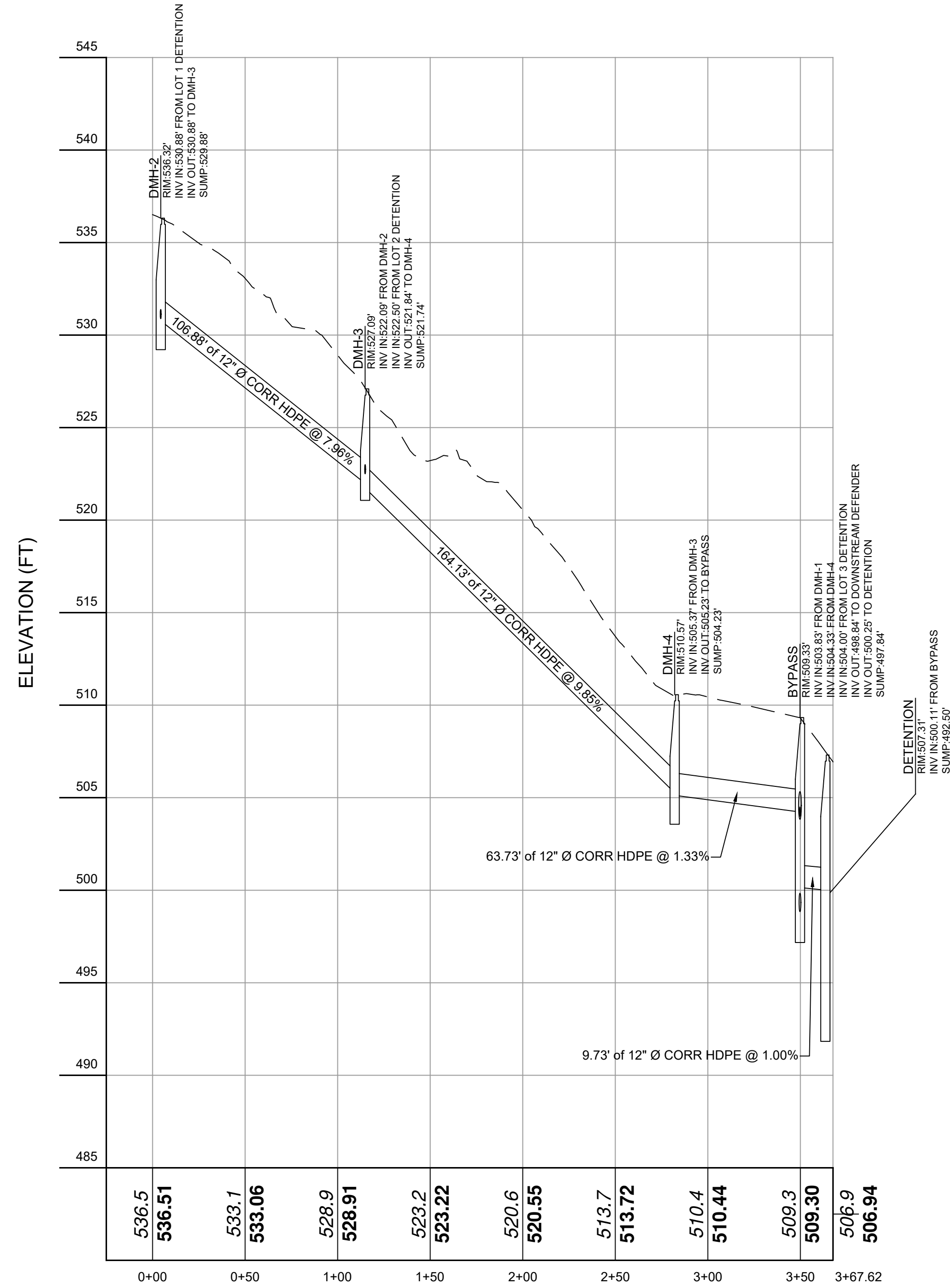
SAFE DIG
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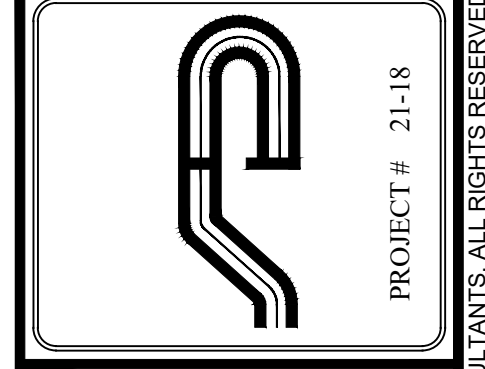
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 CB-1 TO TREATMENT
 VERT. SCALE: 1" = 5
 HORIZ. SCALE: 1" = 50



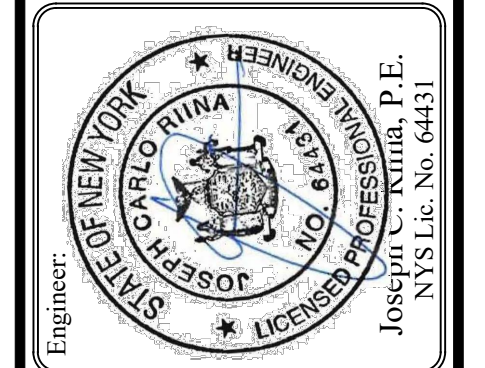
DISTANCE ALONG BASELINE (FT)
 DMH-2 TO DETENTION
 VERT. SCALE: 1" = 5
 HORIZ. SCALE: 1" = 50

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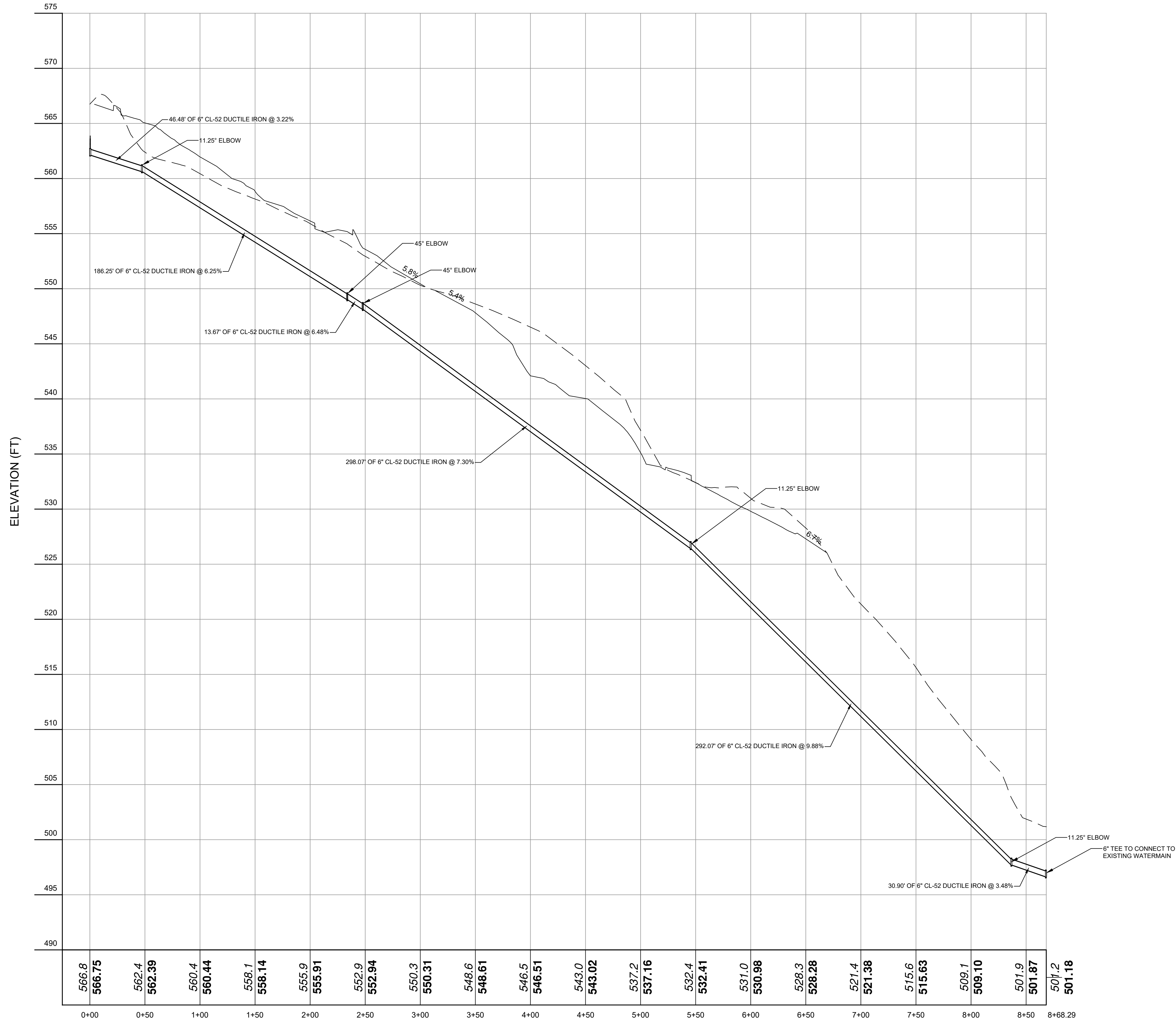
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DRAINAGE PROFILES

SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
 3319 STONY STREET
 Town of Yorktown Westchester County, New York

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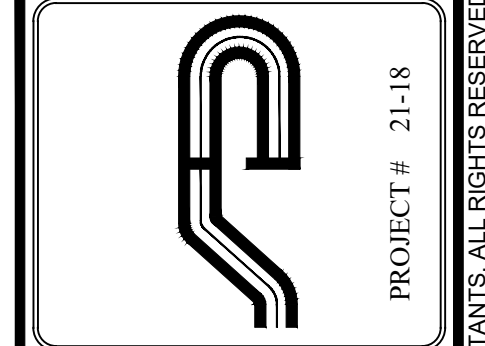


WATERMAIN
 VERT. SCALE: 1" = 5
 HORIZ. SCALE: 1" = 50

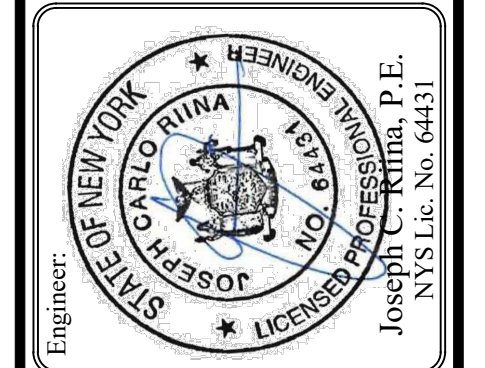
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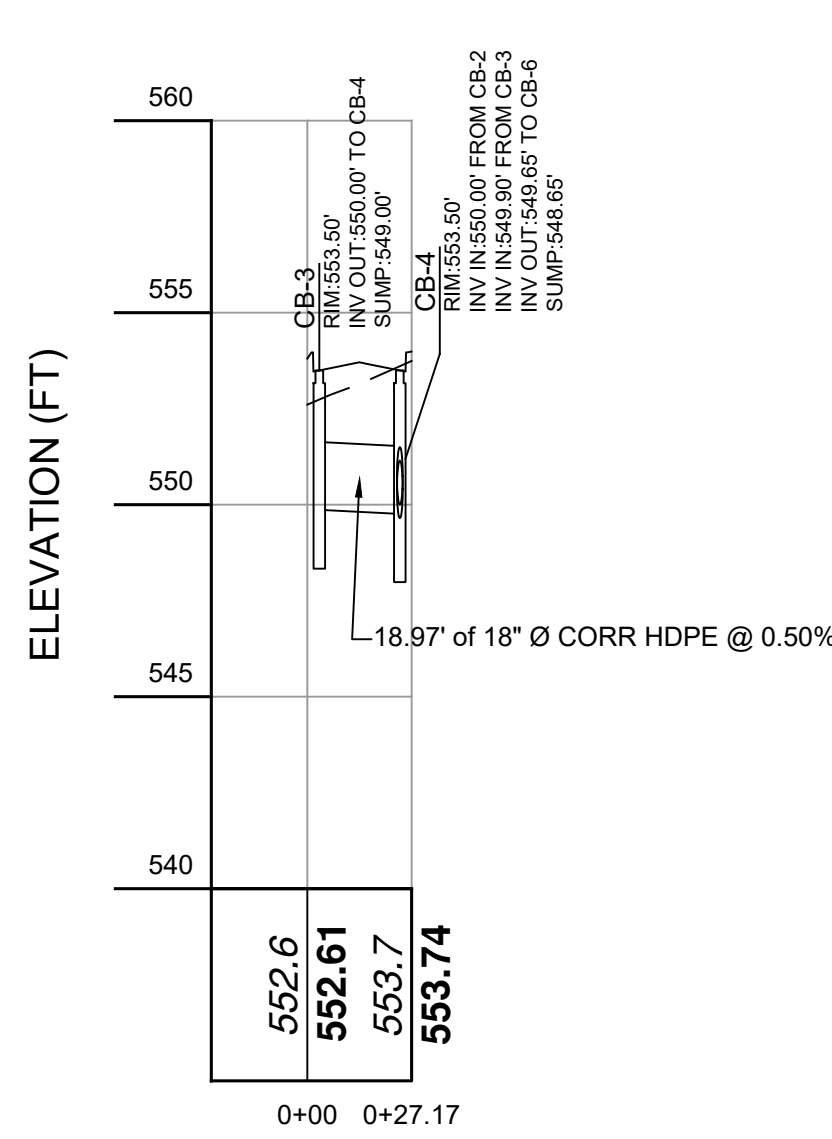
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WATERMAIN PROFILES

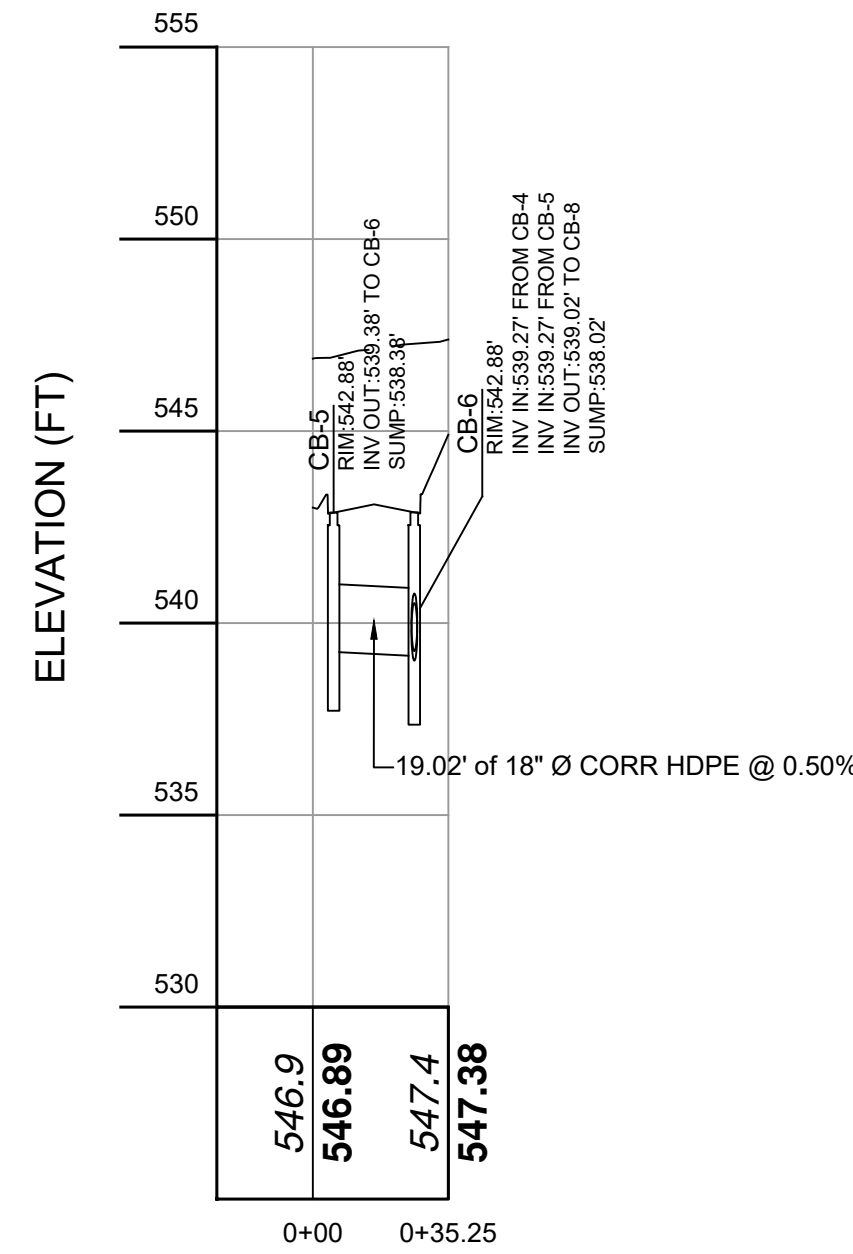
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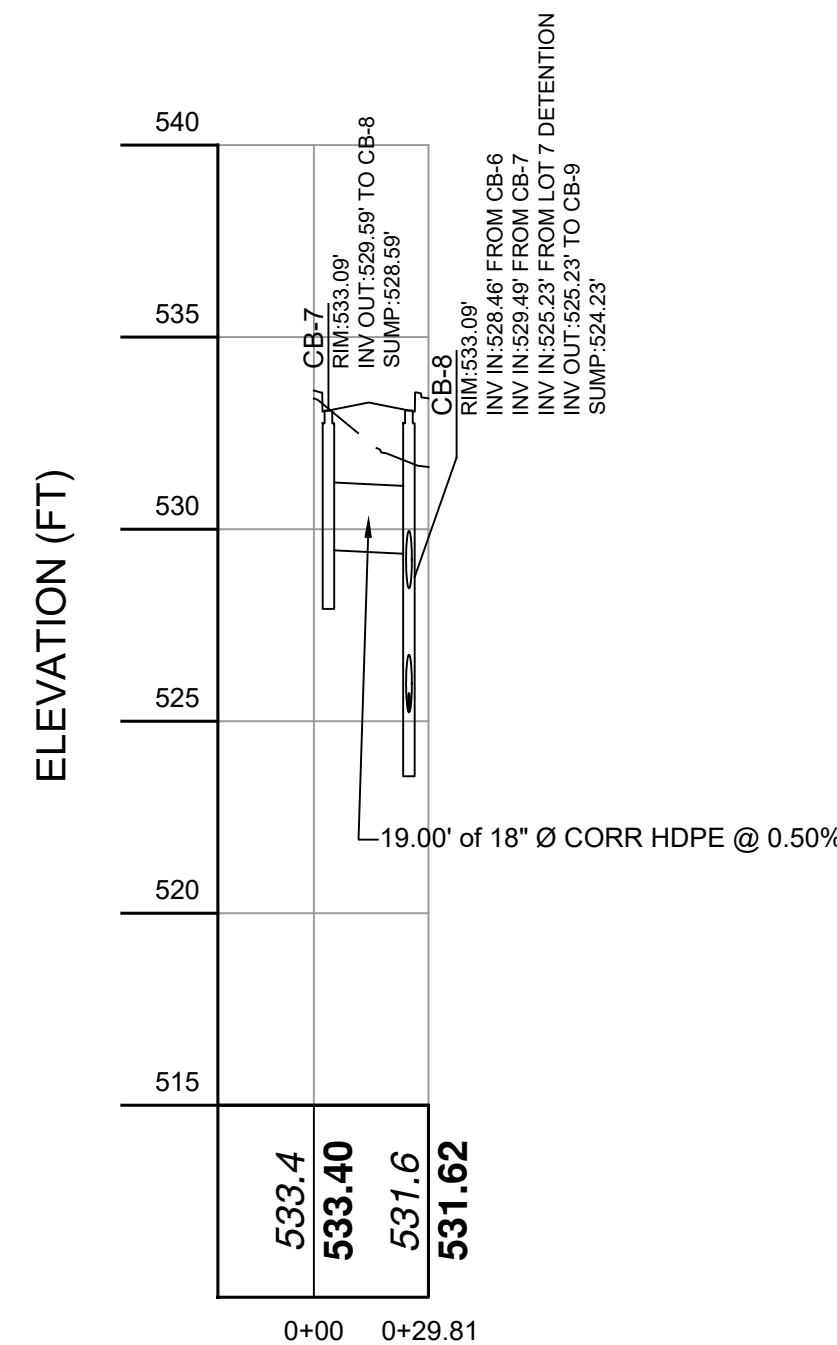
DISTANCE ALONG BASELINE (FT)

CB-3 TO CB-4
VERT. SCALE: 1" = 5
HORIZ. SCALE: 1" = 50



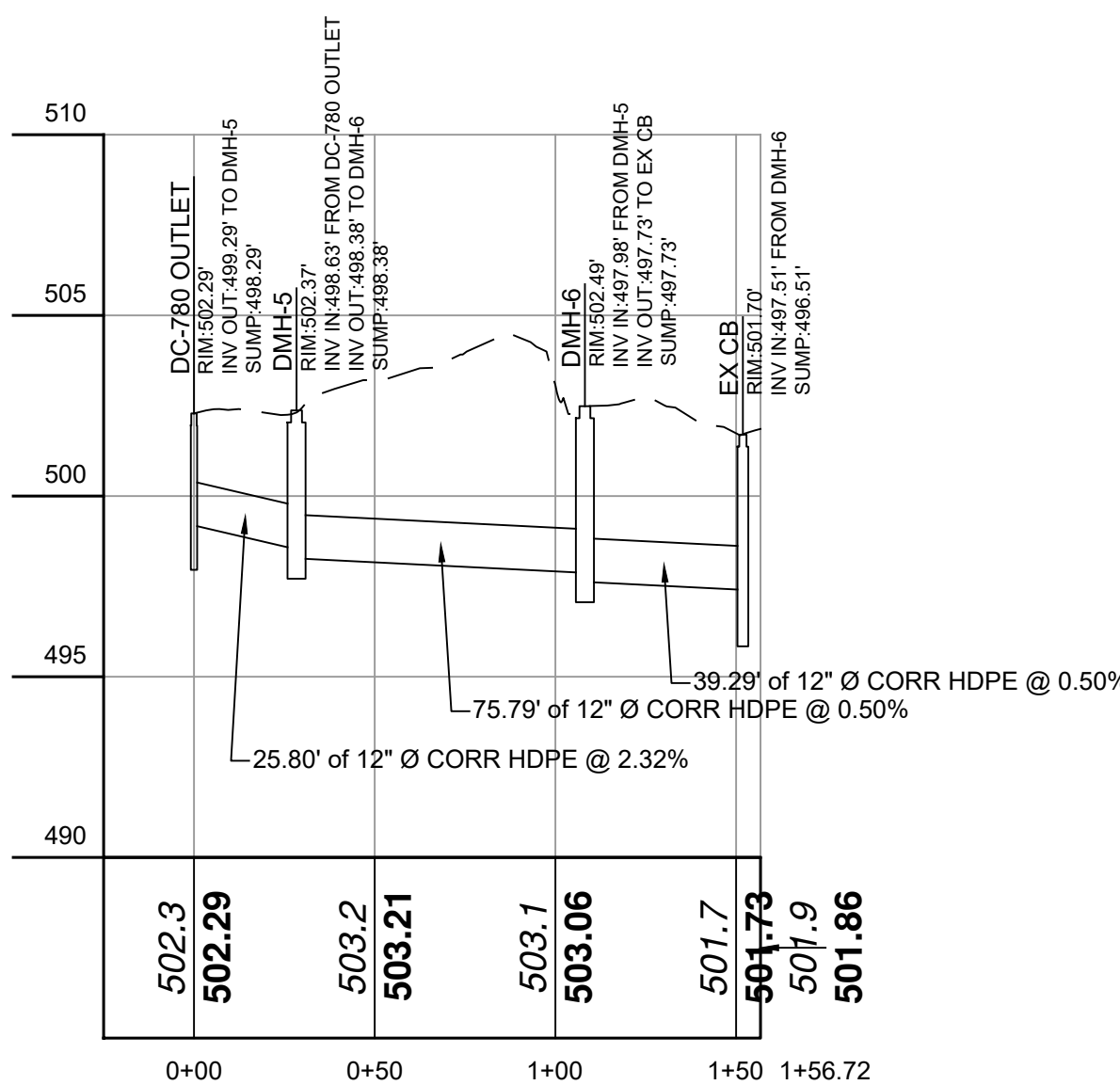
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CB-5 TO CB-6
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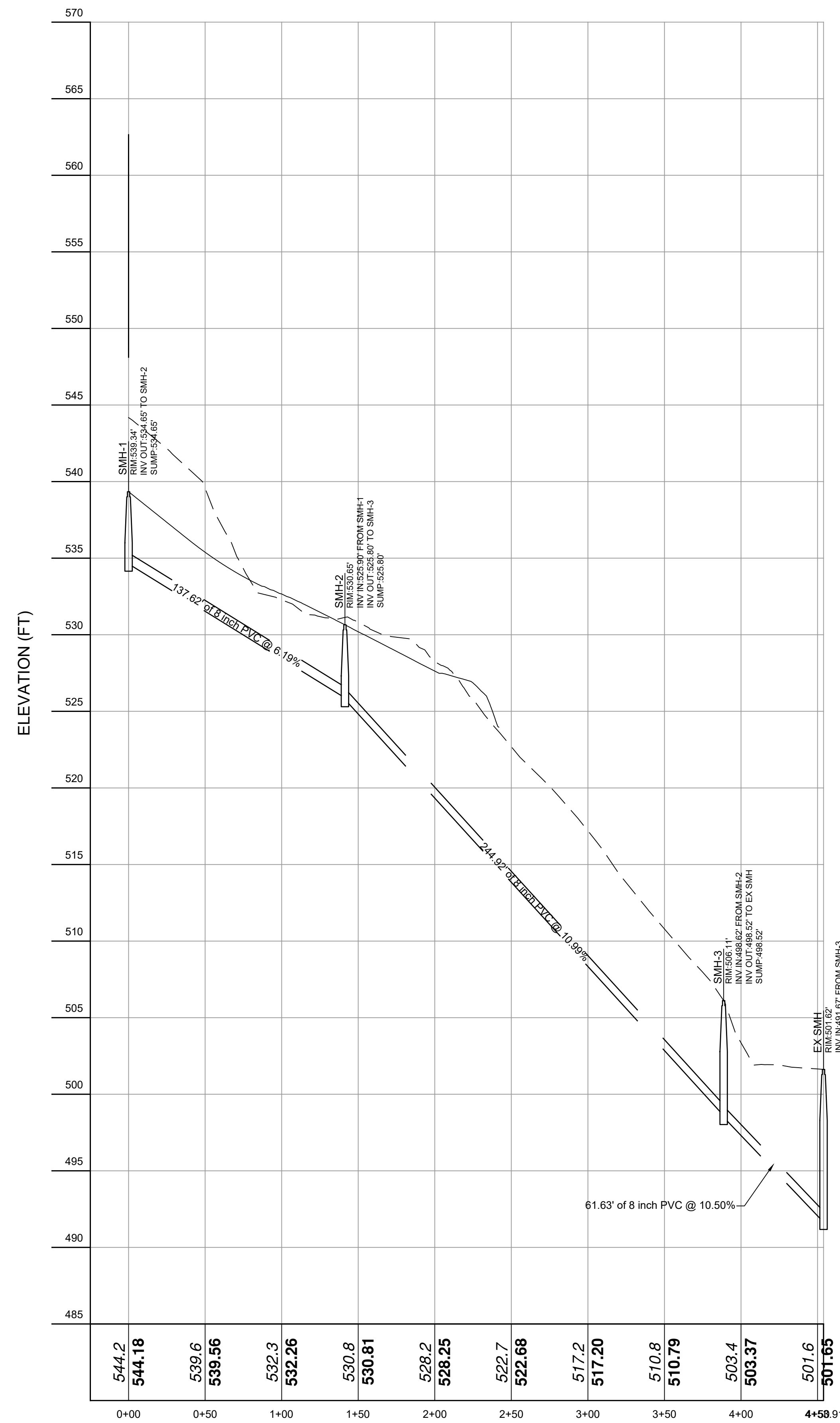
DISTANCE ALONG BASELINE (FT)

CB-7 TO CB-8
VERT. SCALE: 1" = 5
HORIZ. SCALE: 1" = 50



DISTANCE ALONG BASELINE (FT)

TREATMENT TO EX CB
VERT. SCALE: 1" = 5
HORIZ. SCALE: 1" = 50



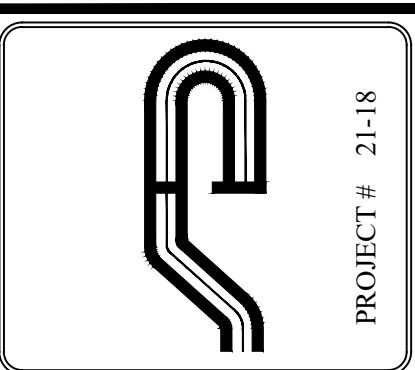
DISTANCE ALONG BASELINE (FT)

SANITARY SEWER
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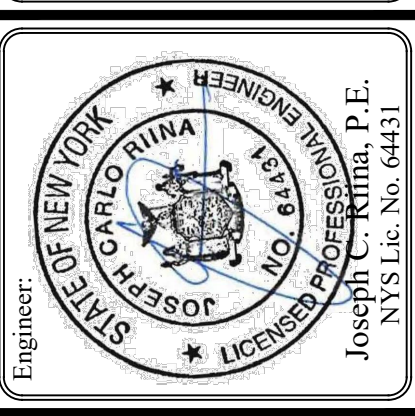
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UTILITY PROFILES

SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
3319 STONY STREET
Town of Yorktown Westchester County, New York

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GENERAL NOTES:

- 1. THE ENGINEER WHOSE SEAL APPEARS HEREON HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION...
2. THE ENGINEER'S SEAL AND RESULTS THEREFROM...
3. THE TOWN ENGINEER'S OFFICE AND WATER DISTRICT OFFICE IS TO BE NOTIFIED 24 HOURS BEFORE COMMENCING SITE CONSTRUCTION...
4. ALL WORK IS TO BE IN ACCORDANCE WITH THE TOWN CODE OF PRACTICE AND SPECIFICATIONS...
5. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES...
6. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS...
7. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS...
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL IN A "CODE 53" PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS...
9. ANY PROPOSED ELECTRIC AND/OR TELEPHONE SERVICE LINES ARE TO BE PLACED UNDERGROUND...
10. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION...
11. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK...

CONTRACTOR RESPONSIBILITIES:

- 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY...
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGES DUE TO HIS ACTIVITIES...
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES IF REQUIRED BY CONSTRUCTION...
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BUILDING INSPECTOR IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS APPROPRIATE...
5. ALL CONDITIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK...
6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS...
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION...
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS...
9. THE CONTRACTOR SHALL VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION...
10. THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION...

GENERAL CONSTRUCTION NOTES:

- 1. BENCH MARKS USING U.S.G.S. DATUM SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS...
2. CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS...
3. ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED...
4. NO TOPSOIL SHALL BE REMOVED FROM THE SITE...
5. ROCK OUT STABILIZATION IS TO BE FIELD VERIFIED BY GEOTECHNICAL ENGINEER...
6. NO CRUSHING/PROCESSING IS PERMITTED ON THE SITE WITHOUT PRIOR APPROVAL BY THE TOWN OF YORKTOWN PLANNING BOARD...

GENERAL STORM DRAINAGE & UTILITY NOTES

- 1. ALL UTILITIES, INCLUDING ELECTRIC LINES, TELEPHONE, WATER, SANITARY SEWER LINES, AND STORM SEWER LINES SHALL BE LOCATED UNDERGROUND...
2. LOCATION OF GAS AND WATER VALVES, ELECTRIC AND TELEPHONE POLES ARE TO BE DETERMINED BY PROPER AUTHORITIES AND APPROVED...
3. EACH BUILDING CONSTRUCTED HEREON SHALL BE OF SUCH AN ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS...
4. ROOF LEADERS AND FOOTING DRAINS SHALL EMPTY INTO THE STORM DRAINAGE SYSTEM OR DISCHARGE DIRECTLY TO STORMWATER MANAGEMENT SYSTEMS...
5. STORM DRAIN PIPING TO BE HIGH DENSITY POLYETHYLENE AS SHOWN ON THE CONSTRUCTION DRAWINGS...
6. INTERCEPTOR DRAINS ARE TO BE INSTALLED WHERE REQUIRED BY THE TOWN OR PROJECT ENGINEER...
7. ALL EXISTING UNDERGROUND DRAINS ENCOUNTERED DURING CONSTRUCTION OF PROPOSED ROADS ARE TO BE CONNECTED TO PROPOSED DRAINAGE IMPROVEMENTS...
8. PRIOR TO FINAL APPROVAL AND OPERATION OF DRAINAGE SYSTEM, CONTRACTOR SHALL CLEAR ALL ACCUMULATED SEDIMENT AND/OR DEBRIS FROM DRAINAGE STRUCTURES...
9. ALL STRUCTURES SHALL BE SET ONE INCH BELOW PAVEMENT...
10. STREET OPENING PERMIT FROM THE TOWN OF YORKTOWN D.P.W. MAY BE REQUIRED FOR INSTALLATIONS IN PUBLIC ROADS...

WATERMAIN NOTES

I. DISTRIBUTION SYSTEM - WATERMAIN

- A. GENERAL
THE CONTRACTOR SHALL PERFORM THE NECESSARY EXCAVATION, BACKFILLING, CLEARING, GRUBBING, SHEETING, SHORING, DO ALL SHAPING OF TRENCHES, PUMPING AND BAILING, LAYING AND JOINING OF ALL PIPES, PROTECT AND SUPPORT EXISTING STRUCTURES AND REPAIR THEM, IF DAMAGED, AND ALL ELSE NECESSARY TO COMPLETE THE WORK...
B. SITE AND ACCESS CLEARING (WITHIN EASEMENTS)
THE CONTRACTOR SHALL CONFINE ALL CLEARING OPERATIONS TO WITHIN THE IMMEDIATE AREAS THAT ARE ESSENTIAL FOR CONSTRUCTION OF THE WORK...
C. STOCKPILING OF SUITABLE BACKFILL MATERIAL
THE CONTRACTOR SHALL BE PREPARED WHEN EXCAVATING THE TRENCH TO SEPARATE SUITABLE BACKFILL MATERIAL FROM UNSUITABLE MATERIAL FOR USE AS BACKFILL ADJACENT TO THE PIPE...
D. PROTECTION OF EXISTING STRUCTURES AND UTILITIES
SPECIAL PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT OVERHEAD POWER LINES, WATERMANS, GAS MAINS, ELECTRIC AND TELEPHONE CONDUITS, STORM AND SANITARY SEWERS, CULTVERTS, BUILDINGS AND OTHER EXISTING STRUCTURES IN AND NEAR THE EXCAVATION...

THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT OVERHEAD POWER LINES, WATERMANS, GAS MAINS, ELECTRIC AND TELEPHONE CONDUITS, STORM AND SANITARY SEWERS, CULTVERTS, BUILDINGS AND OTHER EXISTING STRUCTURES IN AND NEAR THE EXCAVATION. IN ALL CASES, WHETHER UNDERGROUND STRUCTURES HAVE OR HAVE NOT BEEN DELINEATED, THE TOWN ENGINEER, WATER SUPERINTENDENT, OR AUTHORIZED REPRESENTATIVE ACCEPTS NO RESPONSIBILITY FOR THEIR LOCATION...

GUTTERS, SEWERS, DRAINS AND DITCHES SHALL BE KEPT OPEN AT ALL TIMES FOR SURFACE DRAINAGE. NO DAMMING OR PONDING OF WATER IN GUTTERS OR OTHER WATERWAYS WILL BE PERMITTED EXCEPT WHERE STREAM CROSSINGS ARE NECESSARY AND THEN ONLY TO AN EXTENT WHICH THE TOWN ENGINEER, WATER SUPERINTENDENT, OR AUTHORIZED REPRESENTATIVE SHALL CONSIDER NECESSARY...

THE CONTRACTOR WILL, AT HIS OWN EXPENSE, BE RESPONSIBLE FOR DIRECT OR INDIRECT DAMAGE THAT MAY BE DONE TO ANY UTILITY OR STRUCTURE IN THE PROSECUTION OF HIS WORK. THE LIABILITY OF THE CONTRACTOR IS ABSOLUTE AND IS NOT DEPENDENT UPON ANY QUESTIONS OF NEGLIGENCE ON HIS PART OR ON THE PART OF HIS AGENT, OR EMPLOYEES, AND THE NEGLECT OF THE TOWN ENGINEER, WATER SUPERINTENDENT, OR AUTHORIZED REPRESENTATIVE TO DIRECT THE CONTRACTOR TO TAKE ANY PARTICULAR PRECAUTION OR TO REFRAIN FROM DOING SUCH DAMAGE.

SHOULD THE POSITION OF ANY PIPE, CONDUIT, POLE OR OTHER STRUCTURES, ABOVE OR BELOW THE GROUND, BE SUCH AS TO REQUIRE ITS REMOVAL, REALIGNMENT, OR CHANGE DUE TO WORK TO BE DONE, REALIGNMENT OR CHANGE WILL BE DONE BY OR UNDER SUPERVISION OF THE OWNER OF THE OBSTRUCTIONS. THE CONTRACTOR SHALL UNCOVER AND SUSTAIN THE STRUCTURES, AFTER SUCH REALIGNMENT OR CHANGE.

THE CONTRACTOR SHALL NOT INTERFERE WITH ANY PERSONS, OR WITH THE OWNER IN PROTECTING, REMOVING, CHANGING OR REPLACING THEIR PIPES, CONDUITS, POLES OR OTHER STRUCTURES, BUT HE SHALL SUPPORT SAID STRUCTURES OR THE OWNER TO TAKE ALL SUCH MEASURES AS THEY MAY DEEM NECESSARY OR ADVISABLE FOR THE PURPOSE AFORESAID, AND THE CONTRACTOR SHALL THEREBY BE IN NO WAY RELIEVED OF ANY OF HIS RESPONSIBILITIES.

THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE OWNER OF THE RESPECTIVE UTILITY PRIOR TO RELOCATION OR INTERRUPTION OF SERVICE. ALL WORK NECESSARY FOR THE RELOCATION SHALL BE PERFORMED BY THE CONTRACTOR, OR BY THE OWNER AT THE OWNER'S OPTION, AND TO THE SATISFACTION OF THE OWNER...

E. CONSTRUCTION OF ROAD RIGHT-OF-WAY

CONSTRUCTION IN THE ROAD RIGHT-OF-WAY SHALL AT ALL TIMES BE PERFORMED WITH MINIMUM DISTURBANCE TO TRAFFIC WITH SUFFICIENT BARRICADES AND DIRECTION. DETOURS CAN BE INSTITUTED WITH APPROVAL OF THE TOWN ENGINEER, WATER SUPERINTENDENT, OR AUTHORIZED REPRESENTATIVE, OR STATE, COUNTY, OR LOCAL AUTHORITIES...

F. EXCAVATION AND PREPARATION OF TRENCH

THE CONTRACTOR SHALL PROCEED WITH CAUTION IN THE EXCAVATION AND PREPARATION OF THE TRENCH SO THAT THE EXACT LOCATION OF UNDERGROUND STRUCTURES, BOTH KNOWN AND UNKNOWN, MAY BE DETERMINED. THE TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND DEPTH REQUIRED. MINIMUM DEPTH OF COVER FROM SURFACE OF GROUND TO TOP OF PIPE BARREL SHALL BE FOUR FEET (4'). NO TRENCH SHALL BE EXCAVATED MORE THAN FIVE HUNDRED LINEAL FEET (500 LF) IN ADVANCE OF PIPE LAYING UNLESS AUTHORIZED BY THE TOWN ENGINEER, WATER SUPERINTENDENT, OR AUTHORIZED REPRESENTATIVE...

THE WIDTH OF THE TRENCH SHALL BE OF ADEQUATE SIZE TO PERMIT THE PIPE TO BE LAID AND JOINED PROPERLY, BUT SHALL NOT EXCEED THE SUM OF TWENTY-FOUR INCHES(24") PLUS THE PIPE OUTSIDE DIAMETER, AND THE BACKFILL TO BE PLACED AND COMPACTED AS SPECIFIED.

LEDGE ROCK, BOULDERS AND LARGE STONES SHALL BE REMOVED TO PROVIDE A CLEARANCE OF AT LEAST SIX INCHES (6") BELOW AND ON EACH SIDE OF ALL PIPES AND FITTINGS.

THE TRENCH SHALL BE EXCAVATED TO THE DEPTH REQUIRED SO AS TO PROVIDE A UNIFORM AND CONTINUOUS BEARING AND SUPPORT FOR THE PIPE ON SOLID AND UNDISTURBED GROUND AT EVERY POINT. WHERE THE BOTTOM OF THE TRENCH AT A SUBGRADE IS FOUND TO BE UNSTABLE, OR TO INCLUDE ASHES, CINDERS, ALL TYPES OF REFUSE, VEGETABLE OR OTHER ORGANIC MATERIAL OR LARGE PICES OF FRAGMENTS OR INORGANIC MATERIAL WHICH IN THE JUDGEMENT OF THE TOWN ENGINEER, WATER SUPERINTENDENT, OR AUTHORIZED REPRESENTATIVE SHOULD BE REMOVED...

ANY PART OF THE BOTTOM OF THE TRENCH EXCAVATED BELOW THE SPECIFIED GRADE SHALL BE CORRECTED WITH APPROVED BEDDING MATERIAL, SUCH AS THOROUGHLY COMPACTED CRUSHED STONE, GRAVEL, OR CONCRETE AS DIRECTED BY THE TOWN ENGINEER, WATER SUPERINTENDENT, OR AUTHORIZED REPRESENTATIVE. THE FINISHED SUBGRADE SHALL BE PREPARED ACCURATELY BY MEANS OF HAND TOOLS.

GENERAL WATER MAIN NOTES:

- 1. ALL PROPOSED WATERMAIN MATERIALS, CONSTRUCTION AND INSTALLATION SHALL CONFORM TO ALL APPLICABLE RULES AND REGULATIONS OF THE TOWN OF YORKTOWN WATER DEPARTMENT AND THE WESTCHESTER COUNTY HEALTH DEPARTMENT STANDARDS AND SPECIFICATIONS...
2. THE RECORDS OF THE TOWN OF YORKTOWN INDICATE THAT THERE IS ADEQUATE WATER PRESSURE AND CAPACITY AS REQUIRED TO SERVE THIS PROJECT...
3. ALL BACKFLOW PREVENTION DEVICES ASSOCIATED WITH THE FIRE AND DOMESTIC SERVICES FOR EACH OF THE PROPOSED OFFICE SPACES IN THE TYPE "B" UNITS SHALL BE LOCATED INTERNAL TO THE BUILDING AND SHALL REQUIRE SEPARATE APPROVAL BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH...
4. ALL FIRE AND DOMESTIC SERVICE CONNECTIONS FROM THE PROPOSED WATER MAIN SHALL BE INSTALLED WITH WET TAPS AFTER THE CONTRACTOR HAS INSTALLED THE MAIN AND IT HAS BEEN APPROVED BY THE TOWN OF YORKTOWN WATER DEPARTMENT AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH...
5. THE CONTRACTOR IS ADVISED THAT BEFORE HE CONNECTS TO THE EXISTING WATER SYSTEM, HE MUST ADVISE AND COORDINATE HIS OPERATIONS WITH THE TOWN OF YORKTOWN WATER DEPARTMENT'S SUPERINTENDENT...
6. THE CONTRACTOR IS TO MAINTAIN CONSTANT FLOW AND PRESSURE IN ALL WATER MAINS AT ALL TIMES...
7. WATER MAINS CROSSING HOUSE SEWERS, STORM SEWERS OR SANITARY SEWERS SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION OF A MINIMUM OF 18" BETWEEN THE BOTTOM OF WATER MAIN AND TOP OF SEWER...
8. WATER MAINS PASSING UNDER HOUSE SEWERS, IN ADDITION, SHALL BE PROTECTED BY PROVIDING A VERTICAL SEPARATION OF 18" MINIMUM FROM THE BOTTOM OF THE SEWER TO THE TOP OF THE WATER MAIN AND ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE JOINTS AND THE SEWER SETTLING AND BREAKING THE WATER MAIN...
9. THE COVER OVER THE TOP OF THE WATER MAIN SHALL BE A MINIMUM OF 4 FEET TO A MAXIMUM OF 5.5 FT...
10. WATER MAINS SHALL BE CLASS 52 DUCTILE IRON PIPES (DIP) TYTON JOINT TYPE AND FITTINGS SHALL BE FACTORY CEMENT LINED CLASS 52...
11. ALL GATE VALVES SHALL BE MUELLER RESILIENT WEDGE (TURN LEFT OPEN) TYPE AND SHALL MEET AWWA STANDARDS, LATEST REVISION...
12. ALL SERVICE CONNECTIONS AND SMALL DIAMETER EXTENSIONS SHALL CONFORM TO AWWA C-915...
13. RETAINER GLANDS AND CONCRETE THRUST BLOCKS OR RODS SHALL BE USED AT ALL LOCATIONS WHERE RESTRAINTS EXIST...
14. INSTALLATION AND TESTING OF THE WATER MAIN SHALL BE INSPECTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH...
15. ASBUILT DRAWINGS SHALL SHOW DIMENSIONS BETWEEN ALL VALVE TURNING NUTS AND FINISH GRADE...
16. INSTALLATION, DISINFECTION AND TESTING TO BE WITNESSED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER OR TOWN OF YORKTOWN ENGINEER...
17. ALL HYDRANTS AND VALVES SHALL BE AS MANUFACTURED BY THE MUELLER COMPANY...
18. THE FINAL LOCATIONS OF FIRE HYDRANTS AND SIAMISE CONNECTIONS SHALL BE DETERMINED BY AND COORDINATED WITH THE TOWN OF YORKTOWN FIRE DEPARTMENT...
19. IF, DURING CONSTRUCTION, IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS, AND BUILDING SEWERS CANNOT BE MET...
20. ALL TYPES OF INSTALLED PIPE SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C-600...
21. ALL NEW, CLEANED OR REPAIRED WATER MAINS SHALL BE DISINFECTED AND BACTERIOLOGICAL TESTING PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C-651-05...
22. ROAD OPENINGS SHALL BE DONE IN ACCORDANCE WITH CONDITIONS OF PERMIT, AND COORDINATED WITH THE TOWN OF YORKTOWN...
23. PRIOR TO COMPLETION AND PRIOR TO USE, TWO (2) SETS OF AS-BUILT PLANS AND ACCEPTABLE BACTERIOLOGICAL SAMPLE AND WATER MAIN HYDROSTATIC TEST RESULTS MUST BE SUBMITTED ALONG WITH THE DESIGN PROFESSIONAL'S CERTIFICATION OF CONSTRUCTION...

SANITARY SEWER NOTES:

- 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CODE OF THE TOWN OF YORKTOWN AND THE REGULATIONS OF THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH...
2. SANITARY MANHOLES/CLEANOUT MANHOLES SHALL BE PRECAST CONCRETE...
3. ALL WORK SHALL BE MANUFACTURED IN ACCORDANCE WITH APPROVED STANDARDS AND SHALL BE SPACED A MAXIMUM DISTANCE OF 300' ON STRAIGHT RUNS...
4. ALL BUILDING LATERALS TO BE INSTALLED BY PLUMBERS, LICENSED IN THE TOWN OF YORKTOWN ACCORDING TO THE REQUIREMENTS OF THE TOWN OF YORKTOWN...
5. SANITARY SEWER CONSTRUCTION SHALL MEET ALL SEWER CONSTRUCTION SPECIFICATIONS FOR THE TOWN OF YORKTOWN...
6. THE TOWN ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO THE START OF ANY WORK...
7. A CODE 53 SHALL BE CALLED BEFORE THE START OF ANY EXCAVATION WORK...
8. A STREET OPENING PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY WORK BEING STARTED IN PUBLIC ROAD...
9. ALL SEWERS SHALL BE LAID AT LEAST 10 FT HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN...
10. MANHOLE STEPS SHALL BE CAST IRON NEMAHO NO. R-1981-0 OR CAMPBELL FOUNDRY NO. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL...
11. UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE THE LETTERS "SEWER" CAST ON THE COVER...
12. MANHOLE COVERS AND STRUCTURES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS AND MUST BE RATED FOR H-20 LOADING...
13. ALL SANITARY STRUCTURES SHALL RECEIVE 2 MIL COATS OF BITUMINOUS MATERIAL "INERTOL NO. 49" KOPPERS SUPPER SERVICE BLACK OR APPROVED EQUAL...
14. R-ING JOINTS TO CONFORM TO A.S.T.M. DESIGNATION C-443 LATEST REVISION...
15. PRE-CAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH "PRE-CAST REINFORCED CONCRETE MANHOLE SECTIONS" A.S.T.M. DESIGNATION C-478, LATEST REVISION...
16. WHEN SEWER IS TO BE INSTALLED IN FILL MATERIAL, THE SUPPORTING FILL IS TO BE COMPACTED TO MINIMUM STANDARD PROCTOR DENSITY OF 95%...
17. WATER MAINS CROSSING HOUSE SEWERS, STORM SEWERS OR SANITARY SEWERS SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION OF A MINIMUM OF 18" BETWEEN THE BOTTOM OF WATER MAIN AND TOP OF SEWER...
18. MANHOLES AND SANITARY SEWER LINES SHALL BE TESTED TO CONFORM WITH WESTCHESTER COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS AND AS PER SANITARY SEWER TESTING NOTES BELOW...
19. THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH SHALL BE PROVIDED A 48 HOUR NOTICE PRIOR TO THE TESTING OF THE INSTALLED UTILITIES TO ALLOW WITNESSING OF TESTING BY THE DEPARTMENT...
20. ALL INSTALLATIONS AND TESTING SHALL BE IN ACCORDANCE WITH ASTM STANDARDS F-1417, C-1244 AND THE TEN STATES STANDARDS, LATEST VERSION...

SANITARY SEWER TESTING

PROCEDURE AND METHOD OF TESTING - THE TEST LENGTH INTERVALS AND TYPE OF LEAKAGE TEST SHALL BE APPROVED BY THE OWNER'S FIELD REPRESENTATIVE AND SITE ENGINEER. IN THE CASE OF SEWERS LAID ON STEEP GRADES, THE LENGTH OF LINE TO BE TESTED BY EXFILTRATION AT ANY ONE TIME MAY BE LIMITED BY THE MAXIMUM ALLOWABLE INTERNAL PRESSURE ON THE PIPE AND JOINTS AT THE LOWER END OF THE LINE...

- 1. HYDROSTATIC TEST - THE TEST PERIOD, WHEREIN THE MEASUREMENTS ARE TAKEN SHALL NOT BE LESS THAN FOUR (4) HOURS IN EITHER TYPE OF TEST...
(ii) INFILTRATION TEST - THIS TEST MAY BE USED ONLY WHEN GROUND WATER LEVELS ARE AT LEAST TWO (2) FEET ABOVE THE TOP OF THE PIPE FOR THE ENTIRE LENGTH OF THE SECTION TO BE TESTED DURING THE ENTIRE PERIOD OF THE TEST...

- (iii) EXFILTRATION TEST - THIS TEST CONSISTS OF FILLING THE PIPE WITH WATER TO PROVIDE A HEAD OF AT LEAST TWO (2) FEET ABOVE THE TOP OF THE PIPE OR TWO (2) FEET ABOVE GROUND WATER, WHICHEVER IS HIGHER...
WHEN A STANDPIPE AND PLUG ARRANGEMENT IS USED IN THE UPPER MANHOLE OF A LINE UNDER TEST, THERE MUST BE SOME POSITIVE METHOD OF RELEASING ENTRAPPED AIR IN THE SEWER PRIOR TO TAKING MEASUREMENTS...

- 2. VACUUM TESTING OF MANHOLES - TESTED AS PER ASTM STANDARD - C-1244 THIS TEST METHOD IS ONLY APPLICABLE TO PRECAST CONCRETE MANHOLES...
FOR MANHOLES 5 FT. IN DIAMETER, ADD AN ADDITIONAL 15 SECONDS; FOR MANHOLES 6 FT. IN DIAMETER, ADD AN ADDITIONAL 30 SECONDS TO THE TIME REQUIREMENTS FOR FOUR FOOT DIAMETER MANHOLES...

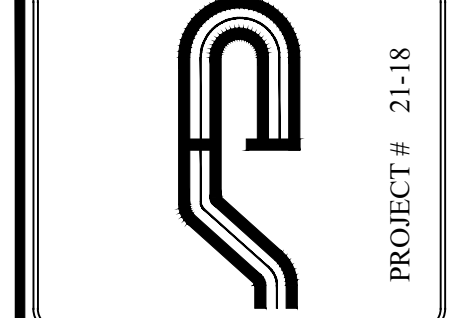
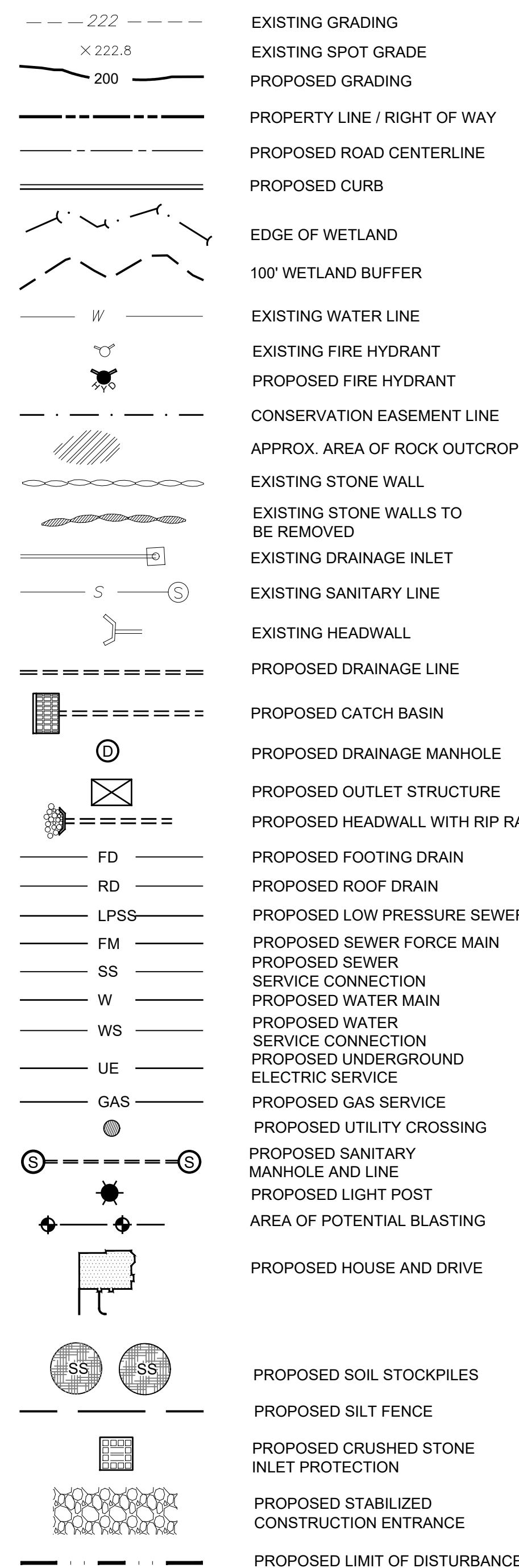
THE TEST HEAD MAY BE PLACED IN THE CONE SECTION OF THE MANHOLE. THE RIM-CONE JOINT IS NOT USUALLY TESTED. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN. THE TIME FOR THE VACUUM TO DROP TO 9 INCHES OF MERCURY SHALL BE RECORDED...

- 3. LOW-PRESSURE AIR TEST OF PIPE LINES - TESTED AS PER ASTM STANDARD F-1417 - PLUG ALL OPENINGS IN THE TEST SECTION...
FOR MANHOLES 5 FT. IN DIAMETER, ADD AN ADDITIONAL 15 SECONDS; FOR MANHOLES 6 FT. IN DIAMETER, ADD AN ADDITIONAL 30 SECONDS TO THE TIME REQUIREMENTS FOR FOUR FOOT DIAMETER MANHOLES...

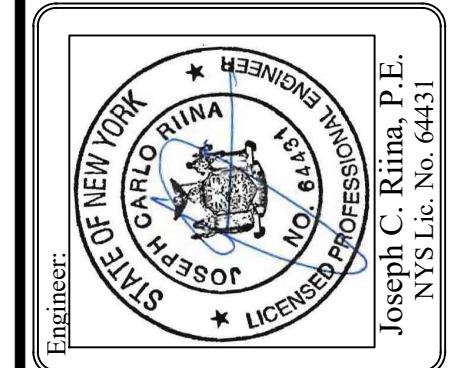
- 4. DEFLECTION TESTING OF PIPES - IN ACCORDANCE WITH THE TEN STATES "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES -SECTION 33.85"-LATEST EDITION...
A. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE...
B. NO PIPE SHALL EXCEED A DEFLECTION OF 5 PERCENT...
C. THE RIGID BALL OR MANDREL SPECIFIED FOR THE DEFLECTION TEST SHALL HAVE A DIAMETER NOT LESS THAN 95 PERCENT OF THE BASE INSIDE DIAMETER...

Table with 2 columns: SIZE (INCHES), TIME (MIN./100 FT.)

LEGEND



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Revisions table with columns: No., Date, Comments, Plan Revisions.

Scale, Drawn By, Date table: SCALE: NTS, DRAWN BY: TK, DATE: 5/7/21

NOTES

SITE PLAN PREPARED FOR NIKOLLA GRISHAJ
3319 STONY STREET
Westchester County, New York
Town of Yorktown

E:\2021\21-18 GRISHAJ - STONY STREET\ENGINEERING\CADD\21-18 GRISHAJ - STONY STREET\TITLE DETAILS 10-20-21.DWG

PROJECT # 21-18

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CONSTRUCTION SEQUENCE:

GENERAL SEQUENCE: THE GENERAL SEQUENCE APPLIES TO THE START OF ALL PHASES OF THE PROJECT. THE REQUIREMENTS IN SUCH SHALL BE APPLIED AS APPROPRIATE IN THAT PHASE AND SHALL BE ASSUMED IN PLACE PRIOR TO THE START OF THE WORK OUTLINED IN THE SEQUENCE FOR EACH PHASE.

- 1. PRIOR TO THE BEGINNING OF ANY SITE WORK THE MAJOR FEATURES OF THE CONSTRUCTION MUST BE FIELD STAKED BY A LICENSED SURVEYOR... 2. PRIOR TO THE START OF THE PROJECT, AN ON-SITE PRE-CONSTRUCTION MEETING WILL BE HELD... 3. CUT AND CLEAR TREES WITHIN THE PHASE LIMITS AS NECESSARY... 4. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN... 5. TIMBERED TREES AND WOODCHIPS SHALL BE TEMPORARILY STORED IN THE STOCKPILE AND/OR STAGING AREA... 6. REMOVE EXISTING VEGETATIVE COVER, CUT AND CLEAR TREES, GRUB, REMOVE STUMPS AND OTHER SURFACE FEATURES...

PHASE I: PROJECT INFRASTRUCTURE

- 1. ESTABLISH MAIN ROAD ENTRANCE AND INSTALL THE STABILIZED CONSTRUCTION ENTRANCE... 2. CLEAR THE AREA FOR THE PROPOSED ROAD AND THE TO THE EXTENTS SHOWN ON THE PLAN... 3. BEGIN INSTALLATION OF THE DRAINAGE SYSTEM... 4. BEGIN EXCAVATION FOR THE ROUGH GRADE OF THE PROPOSED ROADWAY... 5. INSTALL WATER MAIN MAIN AND CONNECT TO THE EXISTING MAIN IN STONY STREET... 6. INSTALL SEWER MAIN AND CONNECT TO THE MANHOLE STONY STREET... 7. UPON COMPLETION OF THE DRAINAGE AND UTILITIES... 8. DURING SITE CONSTRUCTION MAINTAIN AND RE-ESTABLISH AS REQUIRED... 9. CONNECT THE INFILTRATION BASIN TO THE UPSTREAM BYPASS STRUCTURE... 10. ONCE ALL AREAS HAVE ACHIEVED FINAL GRADES... 11. ONCE SITE STABILIZATION HAS TAKEN PLACE... 12. UPON STABILIZATION OF ALL DISTURBED AREAS AND APPROVAL FROM THE TOWN REPRESENTATIVE...

PHASE 2: INDIVIDUAL LOTS

EACH LOT WILL BE CONSTRUCTED INDIVIDUALLY. THE LOTS MAY BE CONSTRUCTED IN ANY PARTICULAR ORDER. AT NO ONE TIME SHALL MORE THAN 5 ACRES BE DISTURBED.

- 1. PREPARE THE INDIVIDUAL LOT FOR CONSTRUCTION BY INSTALLING ALL TEMPORARY PERIMETER EROSION AND SEDIMENT CONTROLS... 2. ESTABLISH THE DRIVEWAY ENTRANCE AND INSTALL THE STABILIZED CONSTRUCTION ENTRANCE... 3. REMOVE EXISTING VEGETATIVE COVER AND OTHER SURFACE FEATURES... 4. ROUGH GRADE DRIVEWAY AND INSTALL EROSION AND SEDIMENT CONTROLS AS NEEDED... 5. DURING SITE CONSTRUCTION MAINTAIN AND RE-ESTABLISH AS REQUIRED... 6. EXCAVATE FOR AND INSTALL FOUNDATION... 7. BEGIN CONSTRUCTION OF THE REMAINDER OF THE BUILDING... 8. ONCE THE NECESSARY CONNECTIONS HAVE BEEN CONSTRUCTED... 9. INSTALL ALL UNDERGROUND UTILITIES... 10. ONCE SITE STABILIZATION HAS TAKEN PLACE... 11. TOPSOIL, RAKE, SEED AND MULCH ALL DISTURBED AREAS... 12. INSTALL WALKS, FENCES, OTHER SITE IMPROVEMENTS AND FINAL PLANTINGS... 13. ONCE SITE STABILIZATION HAS TAKEN PLACE... 14. UPON STABILIZATION OF ALL DISTURBED AREAS AND APPROVAL FROM THE TOWN REPRESENTATIVE...

WINTER STABILIZATION NOTES:

IF CONSTRUCTION ACTIVITIES ARE EXPECTED TO EXTEND INTO OR OCCUR DURING THE WINTER SEASON THE CONTRACTOR SHALL ANTICIPATE PROPER STABILIZATION AND SEQUENCING. CONSTRUCTION SHALL BE SEQUENCED SUCH THAT WHEREVER POSSIBLE AREAS OF DISTURBANCE THAT CAN BE COMPLETED AND PERMANENTLY STABILIZED SHALL BE DONE BY APPLYING AND ESTABLISHING PERMANENT VEGETATIVE COVER BEFORE THE FIRST FROST...

THE RESPONSIBLE PARTY DURING AND AFTER CONSTRUCTION IS AS FOLLOWS:

JOHN COLANGELO
1133 WESTCHESTER AVE. SUITE N-006
WHITE PLAINS, NY 10604
347-231-6959

GENERAL EROSION CONTROL NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES... 2. CATCH BASIN INLET PROTECTION MUST BE INSTALLED AND OPERATING AT ALL TIMES... 3. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES... 4. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS SPECIFIED... 5. ALL TOPSOIL SHALL BE PLACED IN A STABILIZED STOCKPILE FOR REUSE ON THE SITE... 6. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 7 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC... 7. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED... 8. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY... 9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS... 10. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED... 11. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT EDITION OF NYSSESC... 12. ALL REGRADED AREAS MUST BE STABILIZED APPROPRIATELY PRIOR TO ANY ROCK BLASTING... 13. ANY SLOPES GRADED AT 3:1 OR GREATER SHALL BE STABILIZED WITH EROSION BLANKETS... 14. TO PREVENT HEAVY CONSTRUCTION EQUIPMENT AND TRUCKS FROM TRACKING SOIL OFF-SITE... 15. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS... 16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION INSPECTIONS AS PER NYSDEC GP-0-15-002... 17. TREES AND VEGETATION SHALL BE PROTECTED AT ALL TIMES... 18. CARE SHOULD BE TAKEN SO AS NOT TO CHANNEL CONCENTRATED RUNOFF... 19. FILL AND SITE DISTURBANCES SHOULD NOT BE CREATED WHICH CAUSES WATER TO POND OFF SITE... 20. RUNOFF FROM LAND DISTURBANCES SHALL NOT BE DISCHARGED OR HAVE THE POTENTIAL TO DISCHARGE OFF SITE... 21. FOR FINISHED GRADING, ADEQUATE GRADE SHALL BE PROVIDED... 22. EXCEPT IN SWALE FLOW AREAS WHICH MAY DRAIN FOR AS LONG AS 48 HOURS AFTER RAINFALL... 23. ALL SWALES AND OTHER AREAS OF CONCENTRATED FLOW SHALL BE PROPERLY STABILIZED... 24. ALL SITES SHALL BE STABILIZED WITH EROSION CONTROL MATERIALS WITHIN 7 DAYS OF FINAL GRADING... 25. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL BE REMOVED FROM THE SITE WITHIN 30 DAYS OF FINAL STABILIZATION.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - STATES THAT ANY EXPOSED EARTHWORK SHALL BE STABILIZED IN ACCORDANCE WITH THE GUIDELINES OF THIS PLAN.

- 1. TREES AND VEGETATION SHALL BE PROTECTED AT ALL TIMES AS SHOWN ON THE DETAIL DRAWING AND AS DIRECTED BY THE ENGINEER... 2. CARE SHOULD BE TAKEN SO AS NOT TO CHANNEL CONCENTRATED RUNOFF THROUGH THE AREAS OF CONSTRUCTION ACTIVITY... 3. FILL AND SITE DISTURBANCES SHOULD NOT BE CREATED WHICH CAUSES WATER TO POND OFF SITE... 4. RUNOFF FROM LAND DISTURBANCES SHALL NOT BE DISCHARGED OR HAVE THE POTENTIAL TO DISCHARGE OFF SITE... 5. FOR FINISHED GRADING, ADEQUATE GRADE SHALL BE PROVIDED SO THAT WATER WILL NOT POND ON LAWNS... 6. ALL SWALES AND OTHER AREAS OF CONCENTRATED FLOW SHALL BE PROPERLY STABILIZED WITH TEMPORARY CONTROL MEASURES... 7. ALL SITES SHALL BE STABILIZED WITH EROSION CONTROL MATERIALS WITHIN 7 DAYS OF FINAL GRADING... 8. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL BE REMOVED FROM THE SITE WITHIN 30 DAYS OF FINAL STABILIZATION.

MAINTENANCE SCHEDULE:

Table with columns: Item, Daily, Weekly, Monthly, After Rainfall, Necessary to Maintain Function, After Approval of Inspector. Rows include: SILT FENCE, STABILIZED CONST. ENT., SEDIMENT TRAP, SOIL STOCKPILE, DEWATERING PIT, OUTLET/INLET STRUCTURES & PROTECTION.

POST CONSTRUCTION MAINTENANCE SCHEDULE:

Table with columns: Control to be Inspected, Inspection Frequency, Maintenance Threshold Criteria, Maintenance Procedure. Rows include: Drain Inlets, Infiltration Basin, Downstream Defender, Rain Garden, Swale and Channels.

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- 1. The pH of the material shall be 5.5 to 7.6.
2. The organic content shall not be less than 2% or more than 70%.
3. Gradation: SIEVE SIZE, % PASSING BY WGT., 2 INCH, 100, 1 INCH, 85 TO 100, 1/4 INCH, 65 TO 100, NO. 200 MESH, 20 TO 80

PERMANENT VEGETATIVE COVER:

- 1. Site preparation:
1.1. Install erosion control measures.
1.2. Scarify compacted soil areas.
1.3. Lime as required to pH 6.5.
1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F.
1.5. Incorporate amendments into soil with disc harrow.
2. Seed mixtures for use on swales and cut and fill areas.
MIXTURE, LBS./ACRE
ALT. A, KENTUCKY BLUE GRASS 20, CREEPING RED FESCUE 28, RYE GRASS OR REDTOP 5
ALT. B, CREEPING RED FESCUE 20, REDTOP 2, TALL FESCUE/SMOOTH BLOOMGRASS 20

3. SEEDING

- 3.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
3.2. Apply soil amendments and integrate into soil.
3.3. Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
3.4. Stabilize seeded areas in drainage swales.
3.5. Irrigate to fully saturate soil layer, but not to dislodge planting soil.
3.6. Seed between April 1st and May 15th or August 15th and October 15th.
3.7. Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- 1. Install erosion control measures.
2. Scarify areas of compacted soil.
3. Fertilize with 10-10-10 at 400/acre.
4. Lime as required to pH 6.5.

SEED SPECIES:

Table with columns: MIXTURE, LBS./ACRE. Rows include: Rapidly germinating annual ryegrass (20), Perennial ryegrass (20), Cereal oats (36).

SEEDING:

Same as permanent vegetative cover

OWNER / OPERATOR CERTIFICATION

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS MADE HEREIN ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW."

NAME (PLEASE PRINT):

TITLE:

DATE:

ADDRESS:

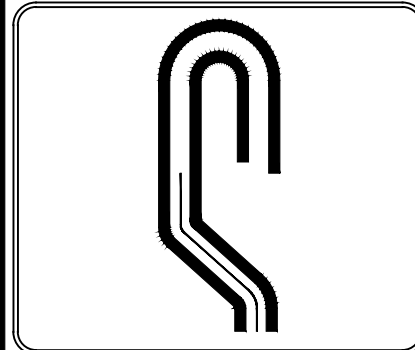
PHONE:

CONTRACTOR CERTIFICATION STATEMENT

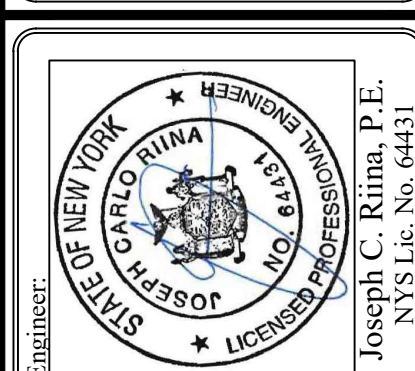
Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 12, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor:
Name and Title (please print):
Signature of Contractor:
Company / Contracting Firm:
Name of Company:
Address of Company:
Telephone Number / Cell Number:
Site Information:
Address of Site:
Today's Date:



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Revisions table with columns: No., Date, Comments, Plan Revisions.

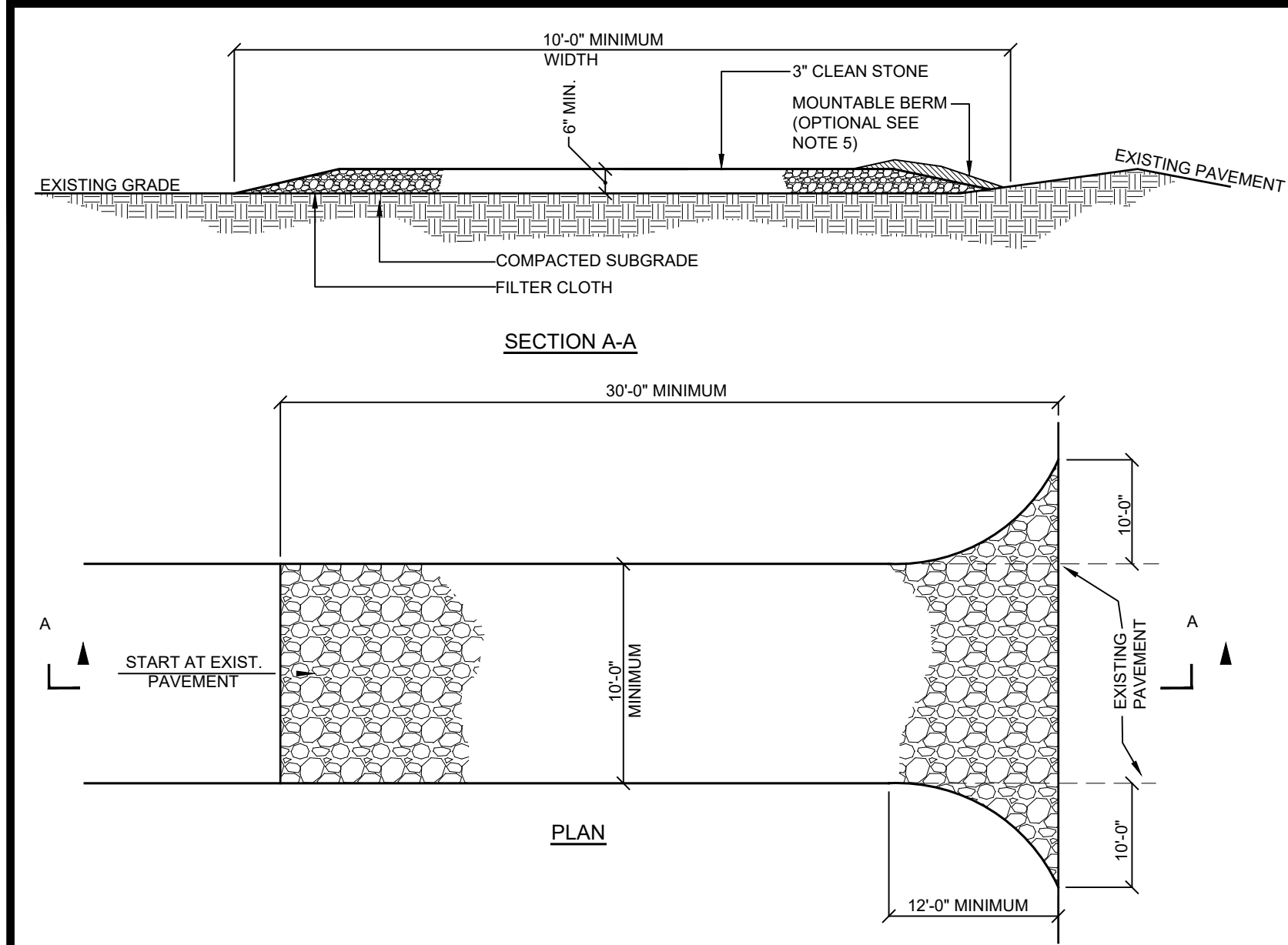
SCALE: N.T.S.
DRAWN BY: TK
DATE: 5/7/21

E&S NOTES

SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
3319 STONY STREET
Westchester County, New York
Town Of Yorktown

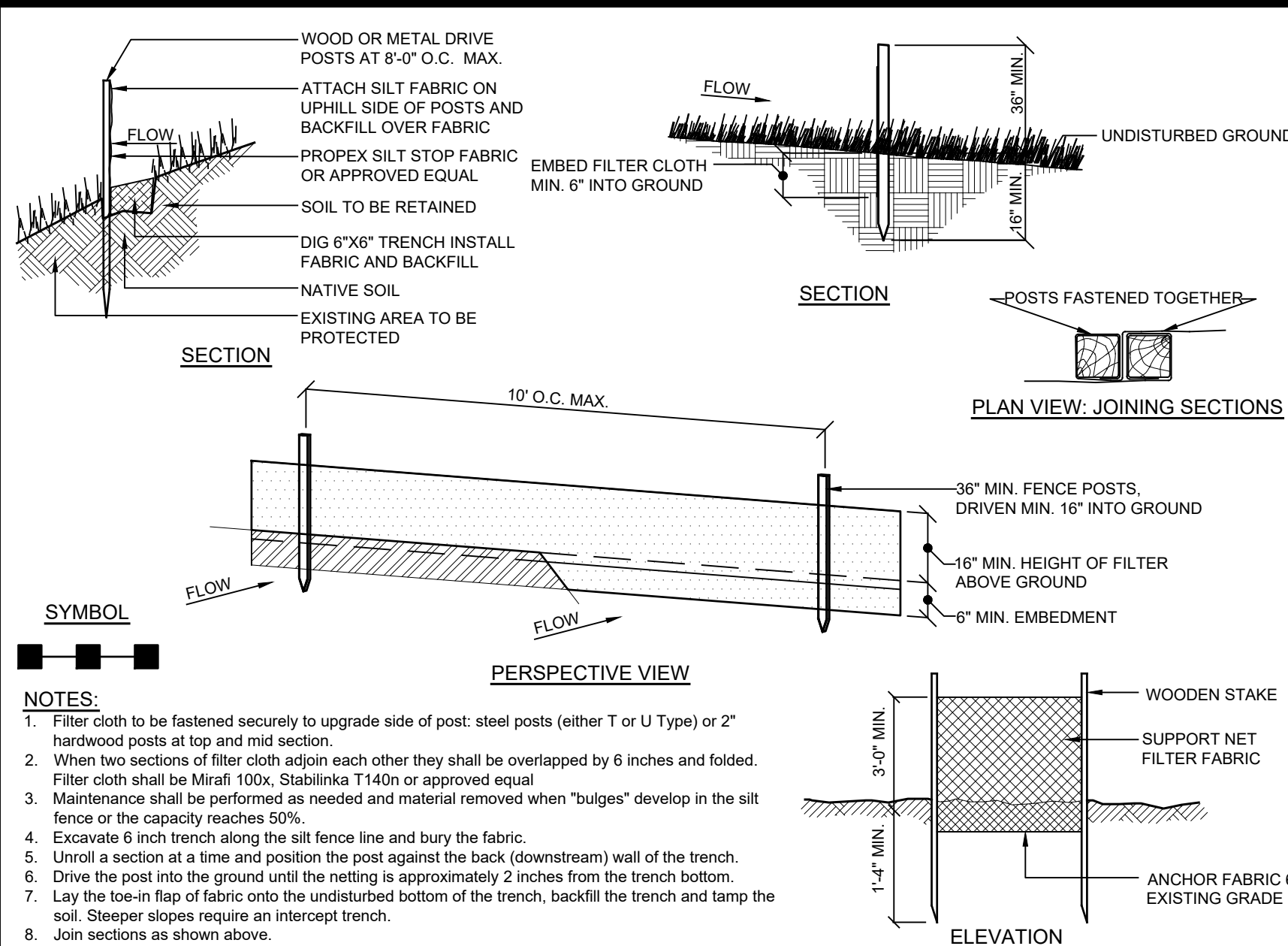
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E:\2024\218 GRISHAJ - STONY STREET\ENGINEERING\CADD\218 GRISHAJ - STONY STREET\11.DWG



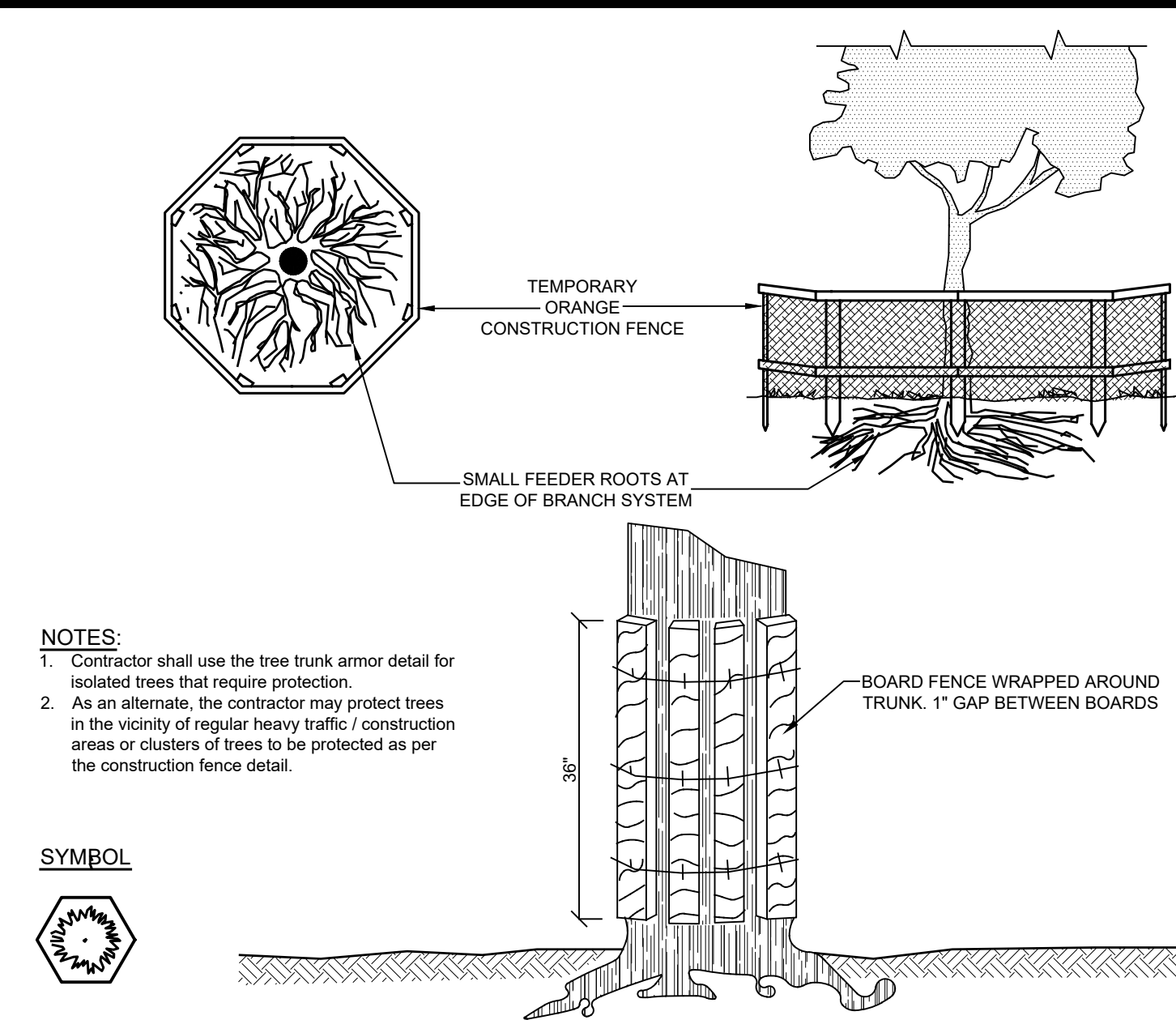
- INSTALLATION NOTES:**
1. Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent.
 2. Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 3. Thickness - not less than six (6) inches.
 4. Width - 10 foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
 5. Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 6. Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right of way must be removed immediately.
 7. Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 8. Periodic inspection and needed maintenance shall be provided after each rain.

E-1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



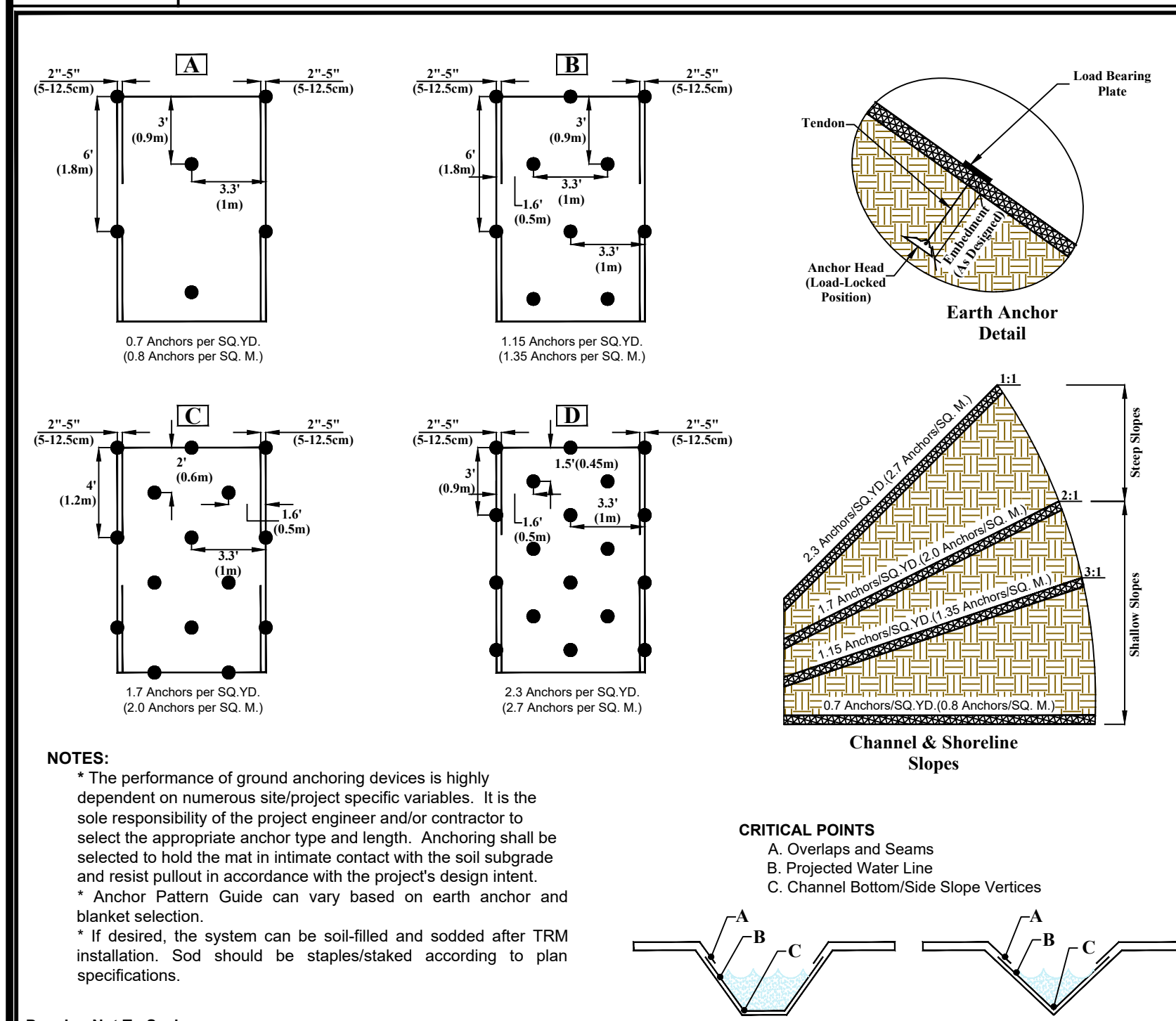
- NOTES:**
1. Filter cloth to be fastened securely to upgrade side of post: steel posts (either T or U type) or 2" hardwood posts at top and mid section.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be Mirafi 100x, Stablinka T140n or approved equal.
 3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence or the capacity reaches 50%.
 4. Excavate 6 inch trench along the silt fence line and bury the fabric.
 5. Unroll a section at a time and position the post against the back (downstream) wall of the trench.
 6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
 7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
 8. Join sections as shown above.

E-2 SILT FENCE DETAIL
NOT TO SCALE



- NOTES:**
1. Contractor shall use the tree trunk armor detail for isolated trees that require protection.
 2. As an alternate, the contractor may protect trees in the vicinity of regular heavy traffic / construction areas or clusters of trees to be protected as per the construction fence detail.

E-3 TREE TRUNK ARMOR / TREE PROTECTION DETAIL
NOT TO SCALE

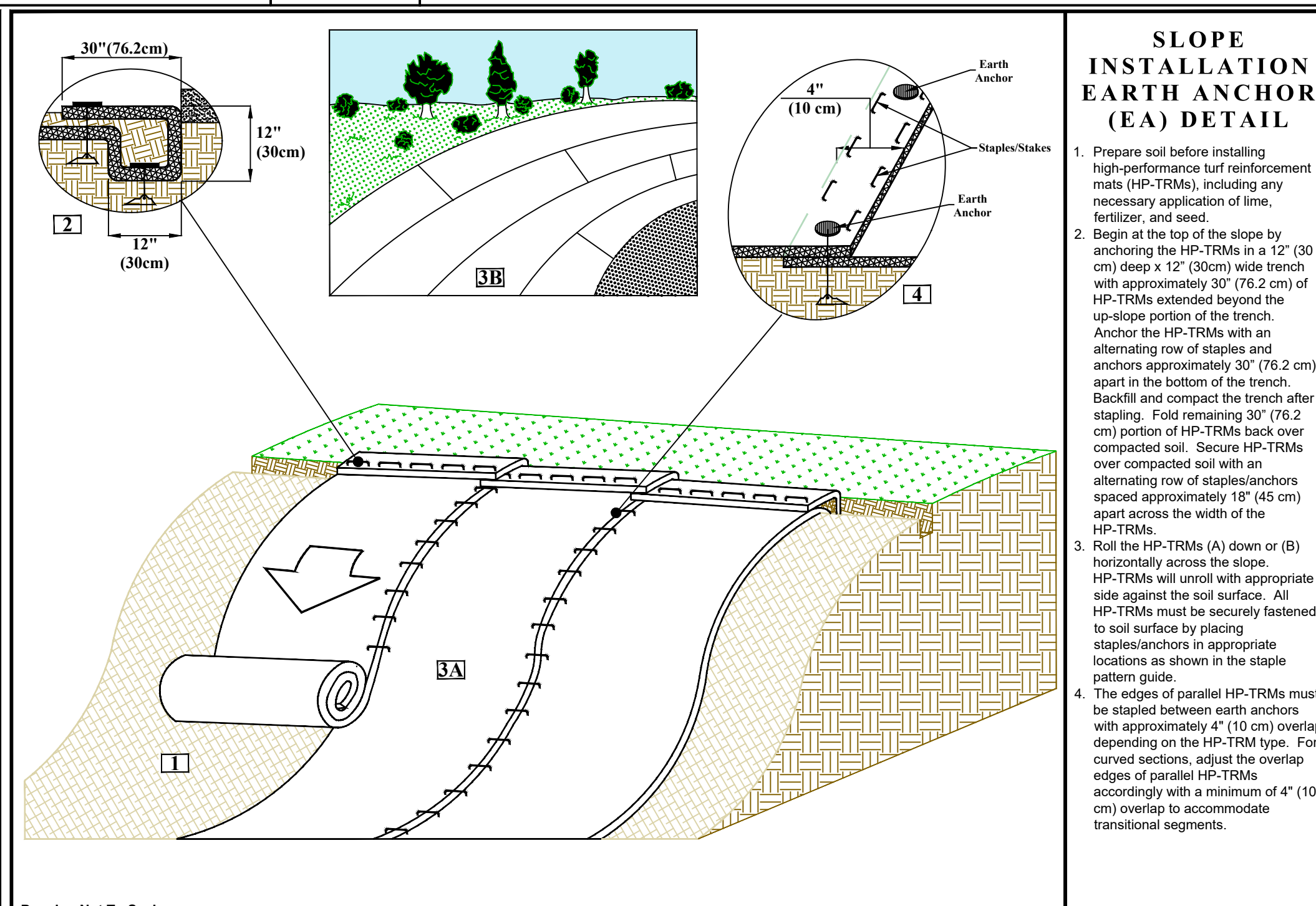


SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL

1. Prepare soil before installing high-performance turf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the HP-TRMs in a 6" (15 cm) deep x 6" (15cm) wide trench with approximately 12" (30 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRMs with a row of staples and anchors approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of HP-TRMs back over seed and compacted soil. Secure HP-TRMs over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the HP-TRMs. Roll the HP-TRM (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
3. The edges of parallel HP-TRMs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the HP-TRM type. Consecutive HP-TRMs spliced down the slope must be end over end (Shingle style) with an approximate 3" (7.5cm) overlap. Staple through overlapped area, approximately 12" (30cm) apart across entire HP-TRM width.

NOTE: In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the HP-TRMs.

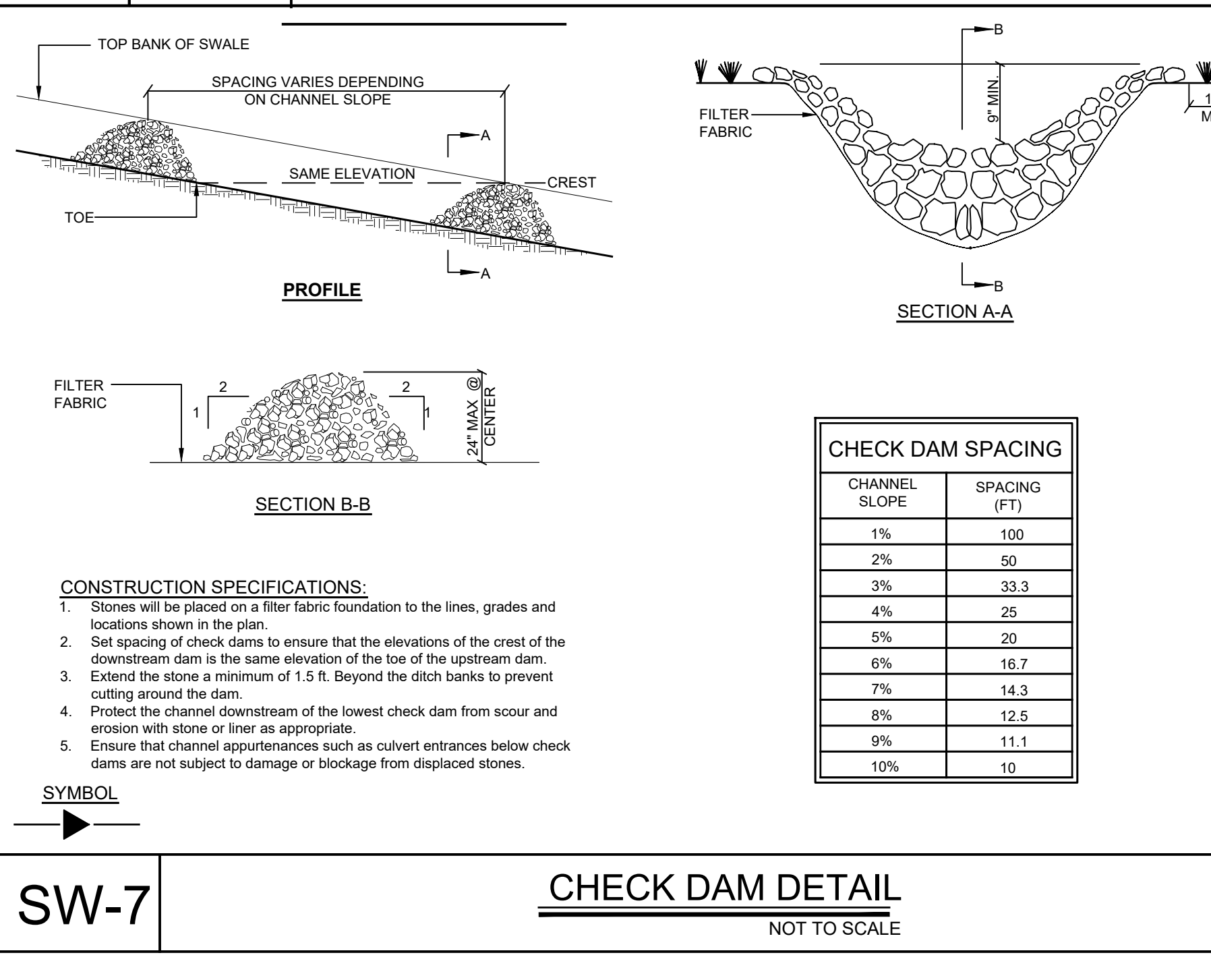
Tensor. NORTH AMERICAN GREEN
4501 St. Wendel - Cynthia Rd. PO Box 772-2040
Poseyville, IN 47633
PH: 800-772-2040
www.tensornagreen.com
Drawn on: 01-28-13



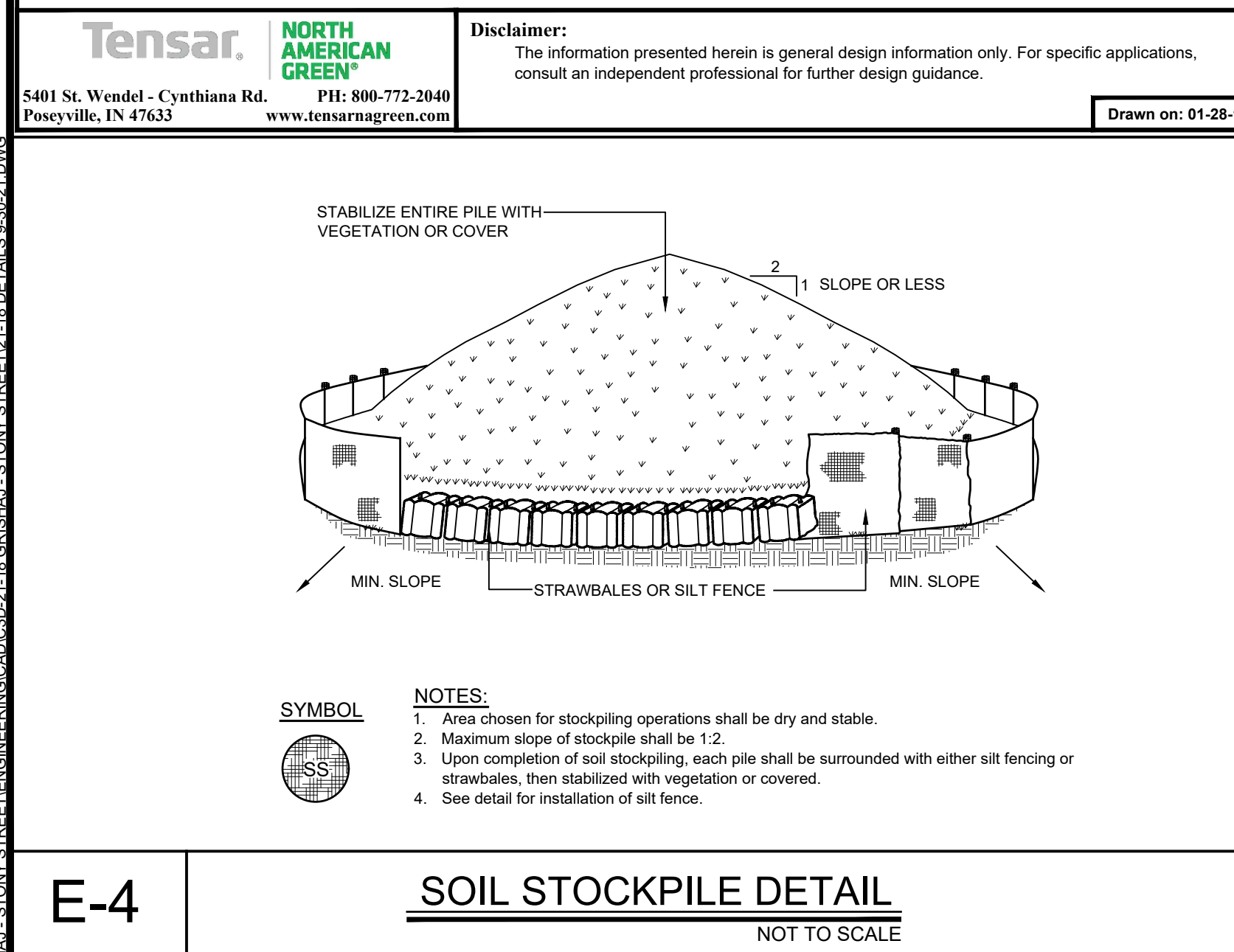
SLOPE INSTALLATION EARTH ANCHOR (EA) DETAIL

1. Prepare soil before installing high-performance turf reinforcement mats (HP-TRMs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the HP-TRMs in a 12" (30 cm) deep x 12" (30cm) wide trench with approximately 30" (76.2 cm) of HP-TRMs extended beyond the up-slope portion of the trench. Anchor the HP-TRMs with an alternating row of staples and anchors approximately 30" (76.2 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Fold remaining 30" (76.2 cm) portion of HP-TRMs back over compacted soil. Secure HP-TRMs over compacted soil with an alternating row of staples/anchors spaced approximately 18" (45 cm) apart across the width of the HP-TRMs.
3. Roll the HP-TRMs (A) down or (B) horizontally across the slope. HP-TRMs will unroll with appropriate side against the soil surface. All HP-TRMs must be securely fastened to soil surface by placing staples/anchors in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel HP-TRMs must be stapled between earth anchors with approximately 4" (10 cm) overlap depending on the HP-TRM type. For curved sections, adjust the overlap edges of parallel HP-TRMs accordingly with a minimum of 4" (10 cm) overlap to accommodate transitional segments.

NOTE: In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the HP-TRMs.

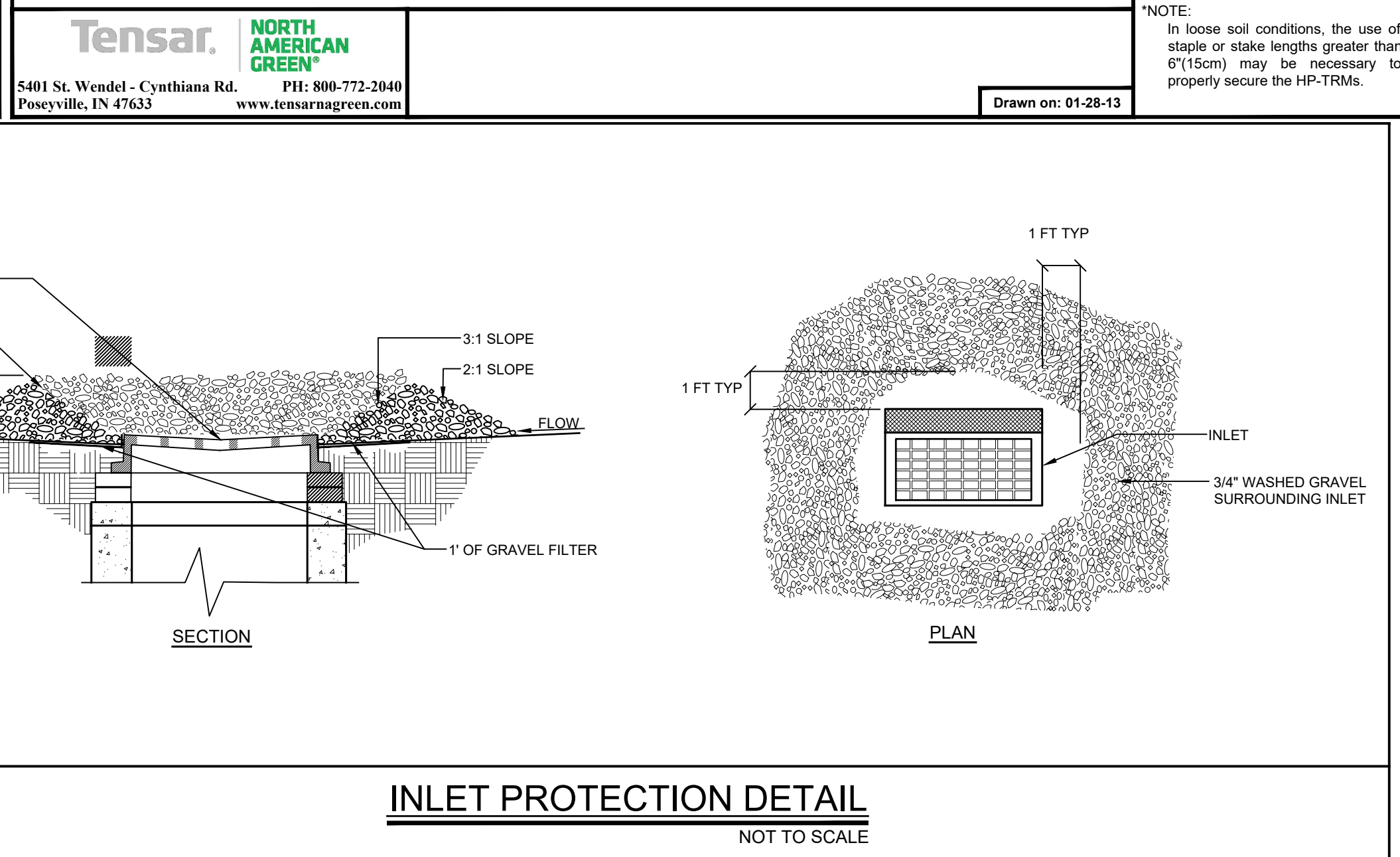


SW-7 CHECK DAM DETAIL
NOT TO SCALE



NOTE: In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the HP-TRMs.

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NOTE: In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the HP-TRMs.

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E-4 SOIL STOCKPILE DETAIL
NOT TO SCALE

E-5 INLET PROTECTION DETAIL
NOT TO SCALE

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Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

STATE OF NEW YORK
JOSEPH CARLO RUINA, P.E.
Professional Engineer
NYS Lic. No. 64431

Revisions:
No. Date Comments
1 10/7/21 Plan Revisions

SCALE: N.T.S.
DRAWN BY: TK
DATE: 5/7/21

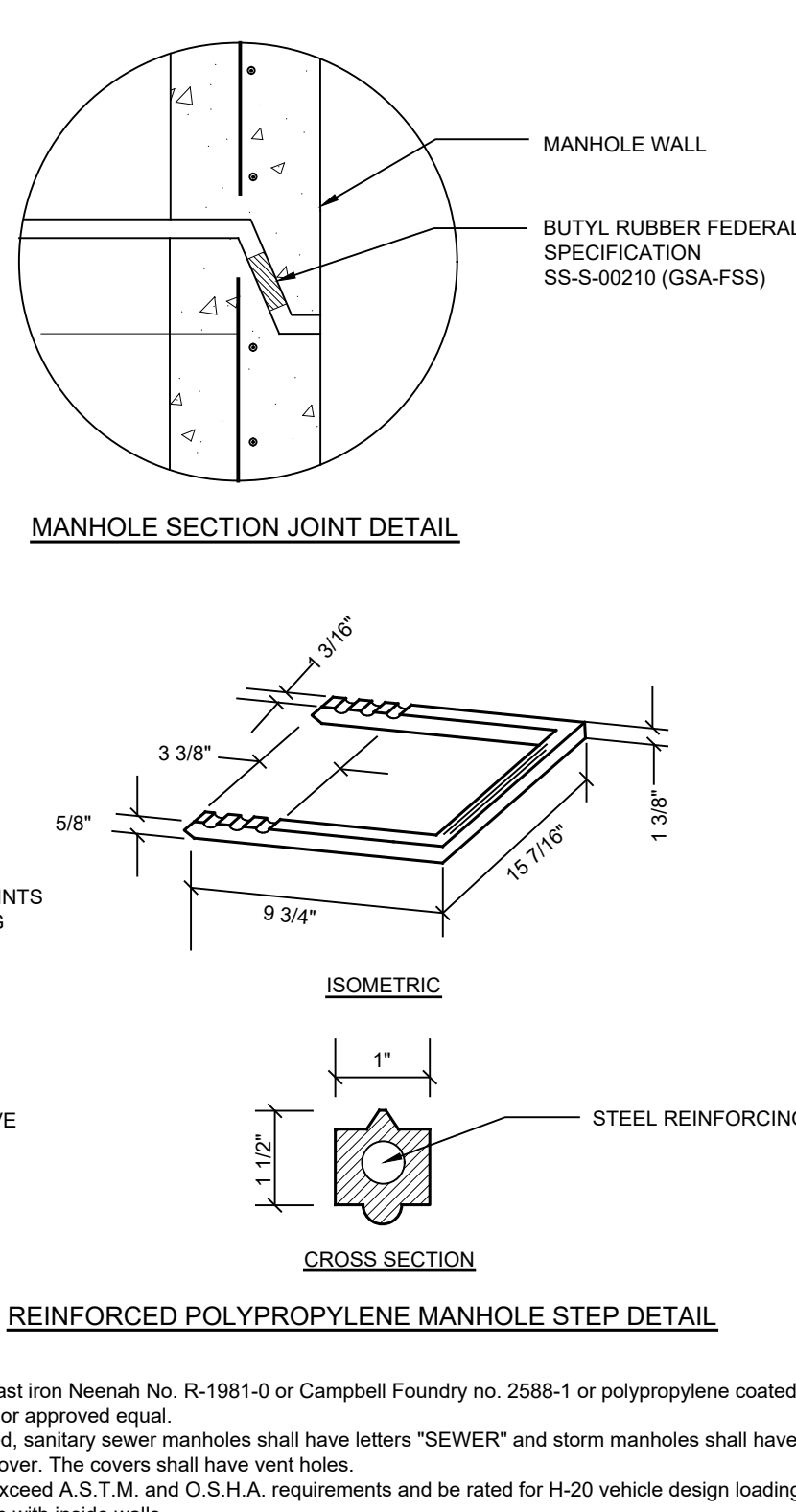
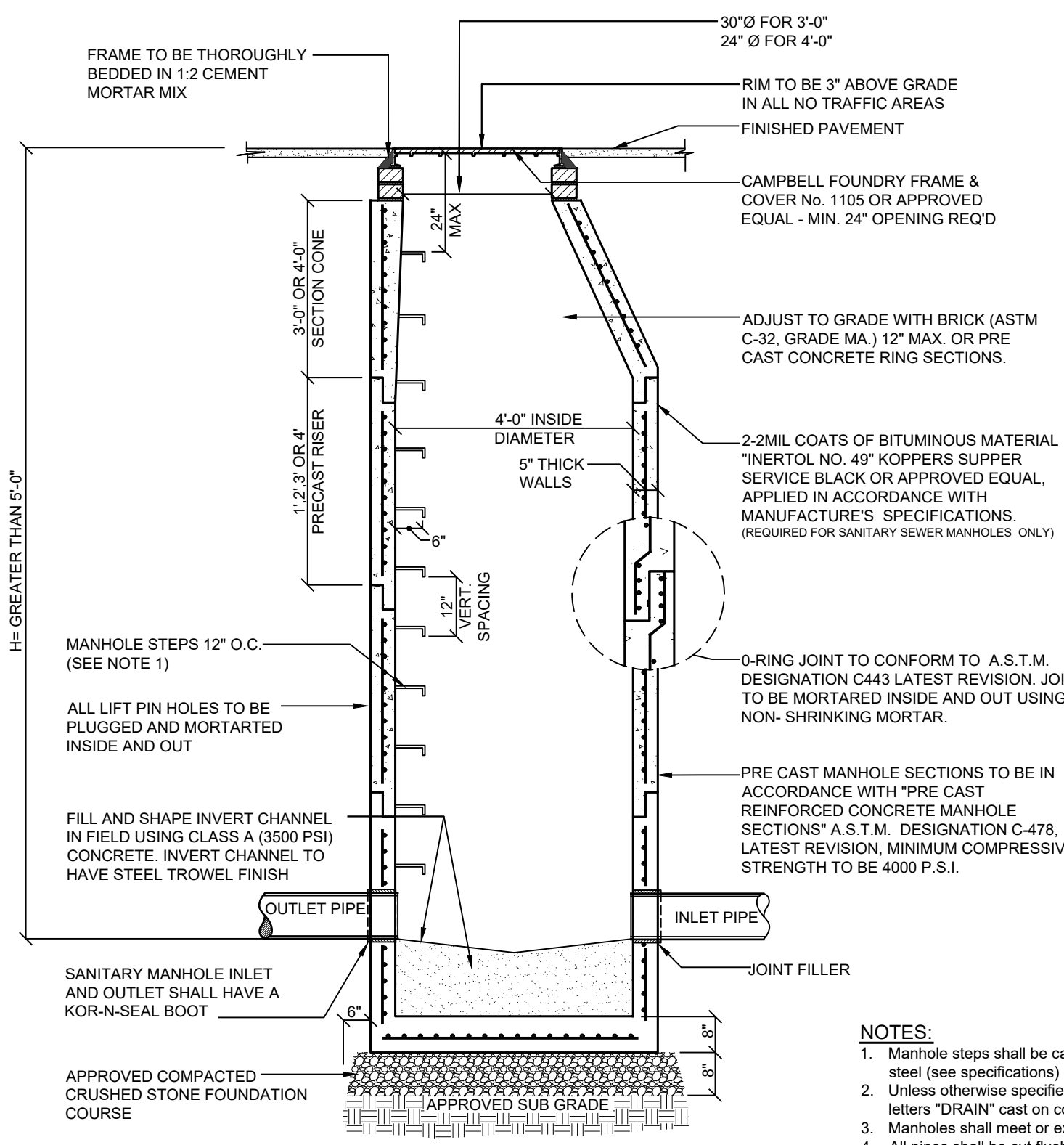
E&SC DETAILS

SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
3319 STONY STREET
Town Of Yorktown Westchester County, New York

Sheet 12 of 17

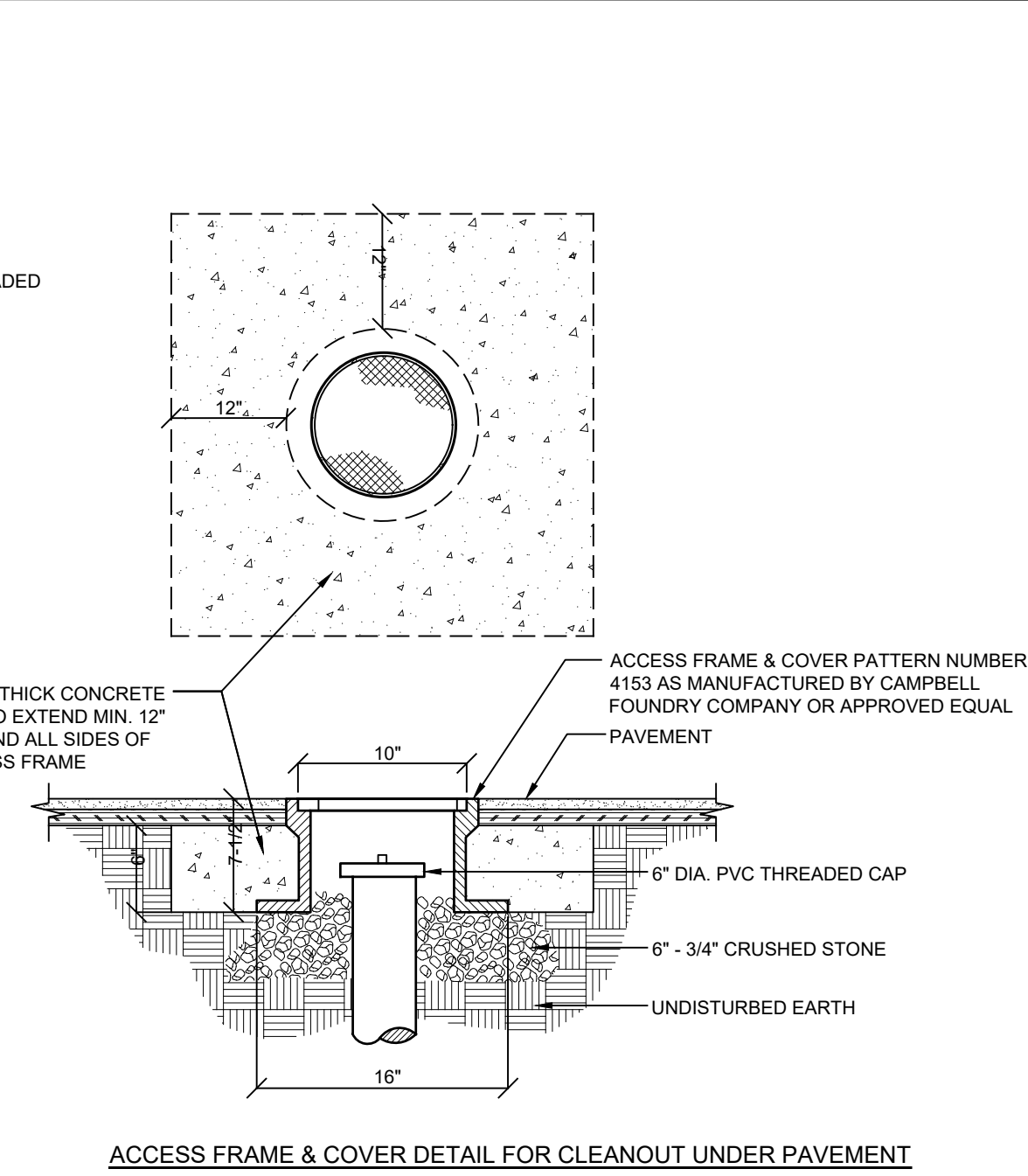
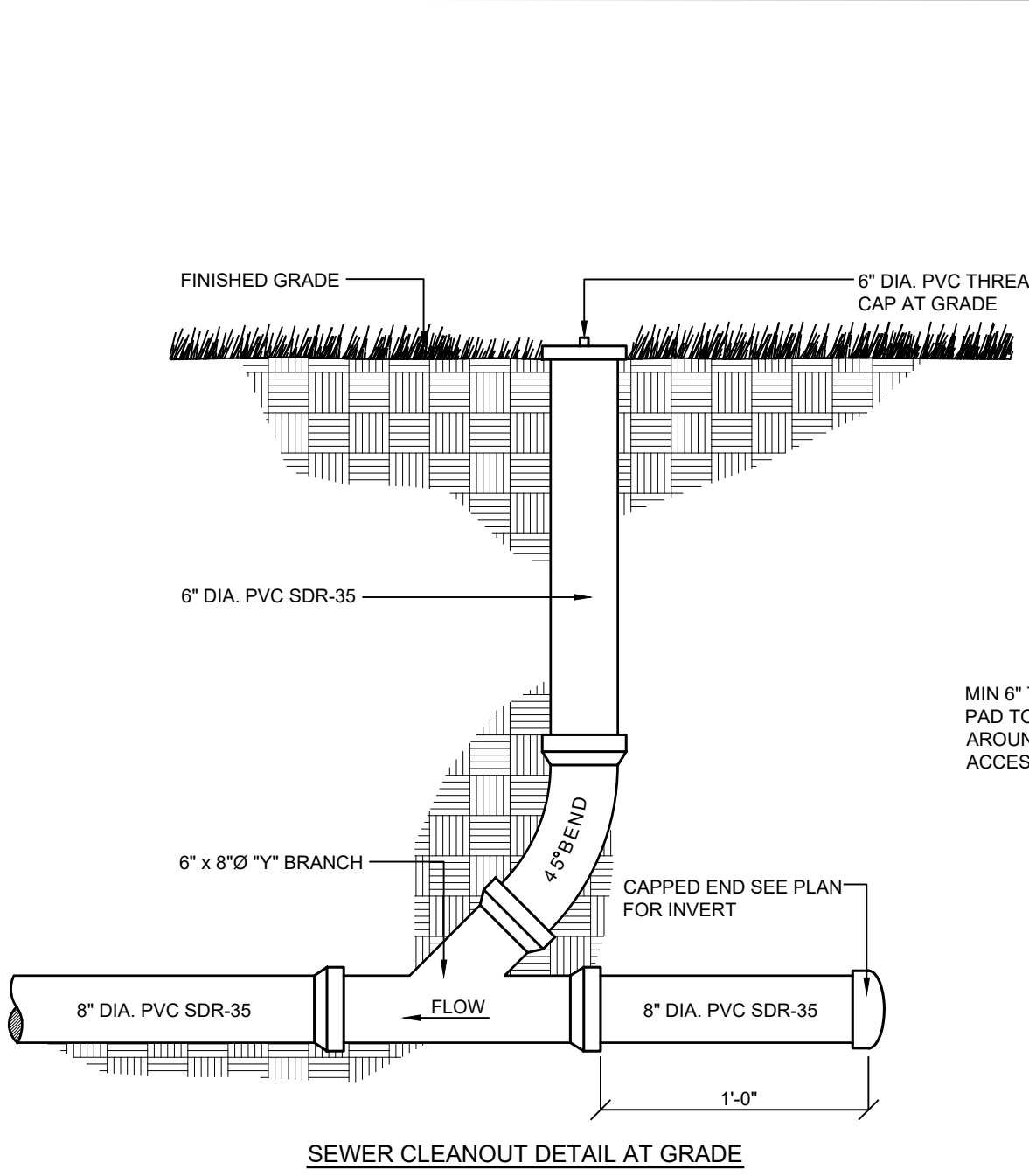
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NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(f) OF THE NEW YORK STATE EDUCATION LAW.



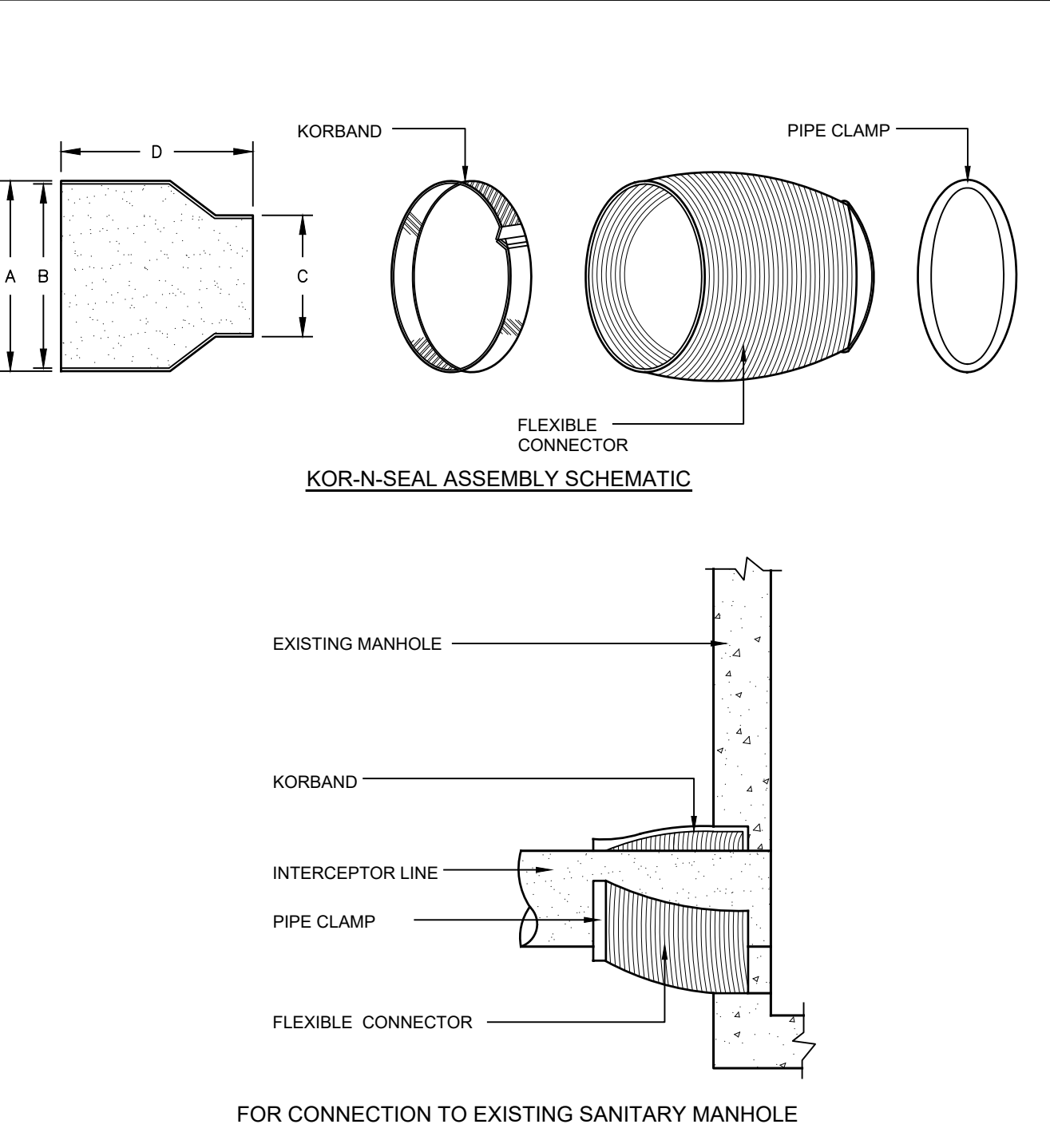
NOTES:
 1. Manhole steps shall be cast iron Neenah No. R-1981-0 or Campbell Foundry no. 2588-1 or polypropylene coated steel (see specifications) or approved equal.
 2. Unless otherwise specified, sanitary sewer manholes shall have letters "SEWER" and storm manholes shall have letters "DRAIN" cast on cover. The covers shall have vent holes.
 3. Manholes shall meet or exceed A.S.T.M. and O.S.H.A. requirements and be rated for H-20 vehicle design loading.
 4. All pipes shall be cut flush with inside walls.
 5. Where depth of manhole exceeds 10 ft, inside diameter shall be 60".

S-1 PRECAST CONCRETE SEWER MANHOLE DETAIL
NOT TO SCALE



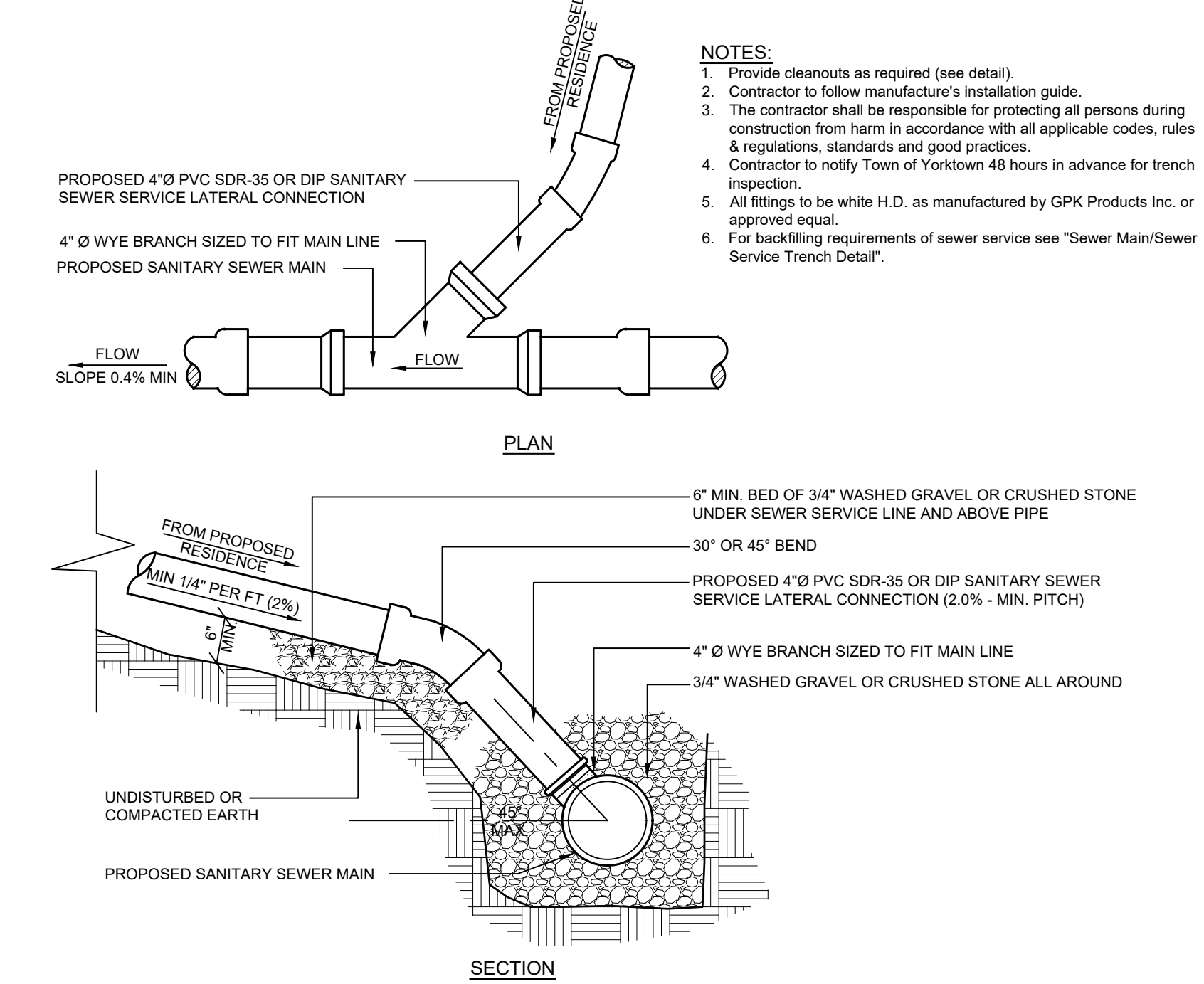
NOTES:
 1. Clean-outs shall be spaced at minimum 50 ft intervals and/or at all changes in vertical and horizontal alignment.
 2. All fittings to be white H.D. As manufactured by GPK Products Inc. or approved equal.

S-2 GRAVITY SEWER LATERAL CLEAN-OUT DETAIL
NOT TO SCALE



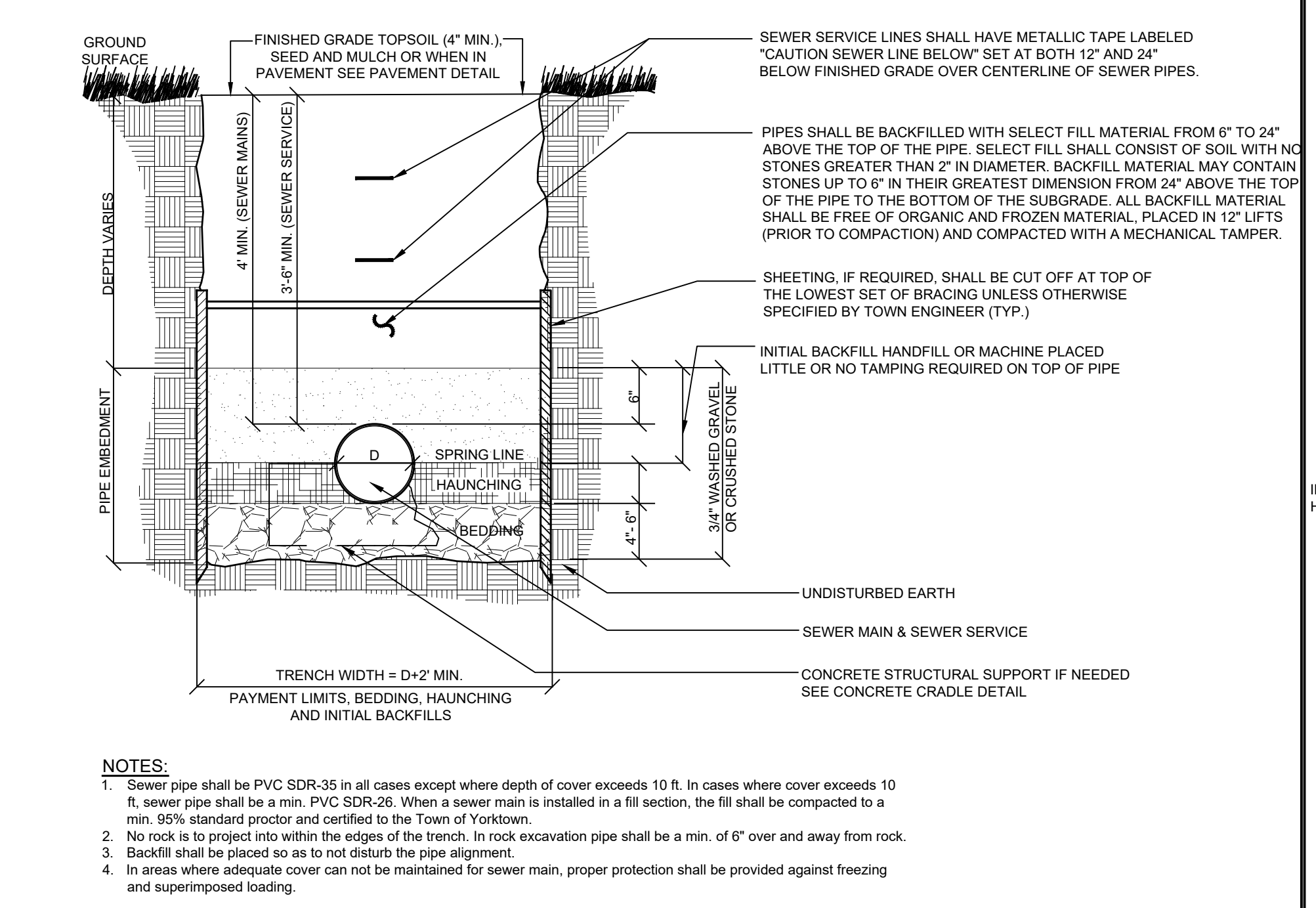
NOTES:
 1. Connections to existing precast concrete manholes with P.V.C. SDR-35 or higher class pipe shall be made, as follows:
 A. The existing manholes shall be core drilled to receive a kor-n-seal flexibility connector.
 B. The opening shall be cleaned and the connector set in place with the korbond using a hydraulic lift.
 C. The contractor may substitute another system for one described provided that a seal of the same reliability is maintained with the manhole. The pipe clamps and all devices, including screws, shall be stainless steel.

S-6 EXISTING SANITARY FLEXIBLE CONNECTION
NOT TO SCALE



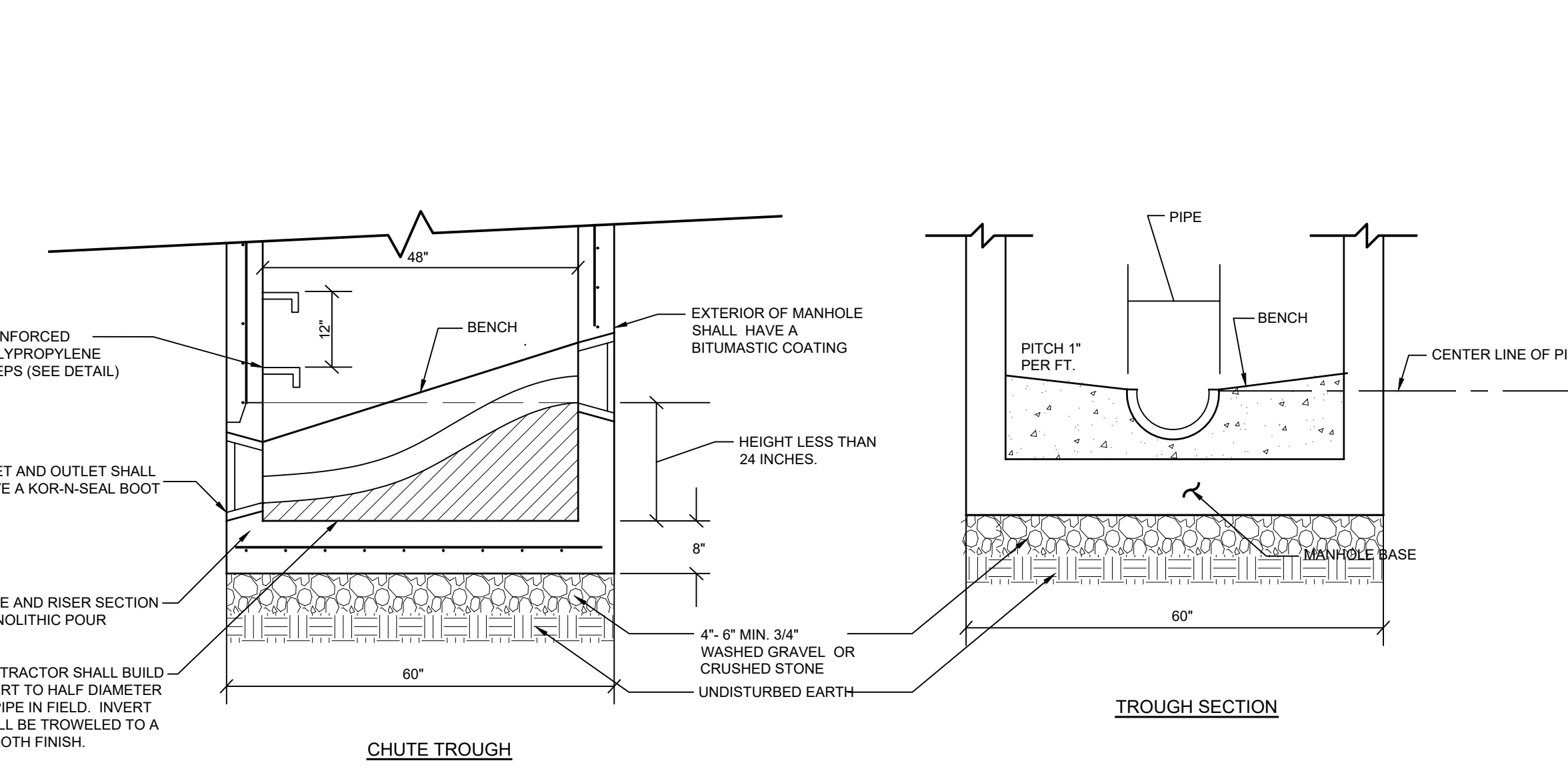
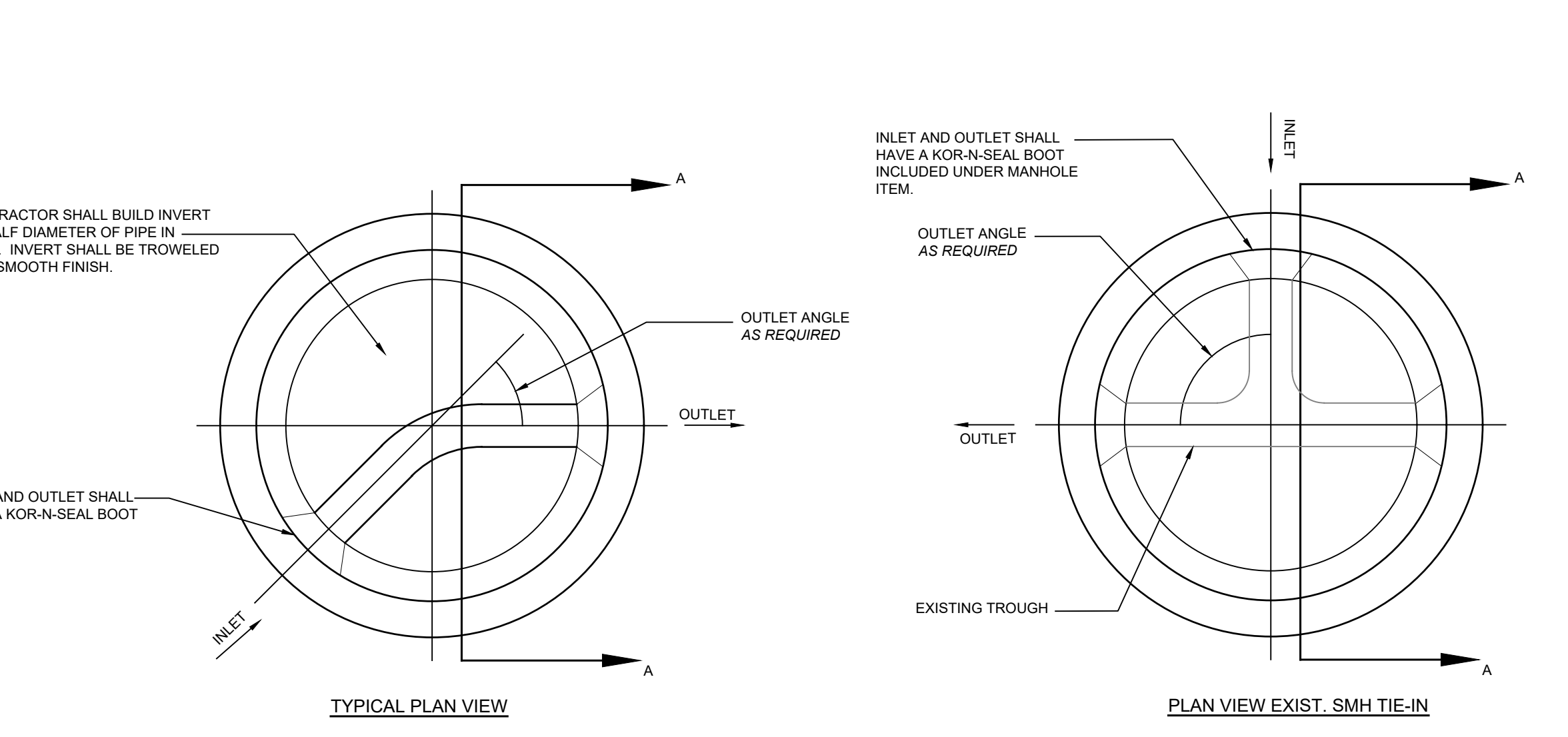
NOTES:
 1. Provide cleanouts as required (see detail).
 2. Contractor to follow manufacturer's installation guide.
 3. The contractor shall be responsible for protecting all persons during construction from harm in accordance with all applicable codes, rules & regulations, standards and good practices.
 4. Contractor to notify Town of Yorktown 48 hours in advance for trench inspection.
 5. All fittings to be white H.D. as manufactured by GPK Products Inc. or approved equal.
 6. For backfilling requirements of sewer service see "Sewer Main/Sewer Service Trench Detail".

S-3 SEWER CONNECTION TO PROPOSED MAIN-LINE DETAIL
NOT TO SCALE

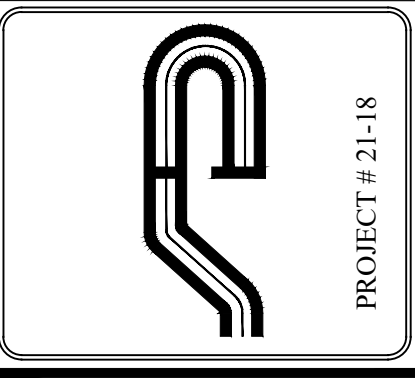


NOTES:
 1. Sewer pipe shall be PVC SDR-35 in all cases except where depth of cover exceeds 10 ft. In cases where cover exceeds 10 ft, sewer pipe shall be a min. PVC SDR-26. When a sewer main is installed in a fill section, the fill shall be compacted to a min. 95% standard proctor and certified to the Town of Yorktown.
 2. No rock is to project into within the edges of the trench. In rock excavation pipe shall be a min. of 6" over and away from rock.
 3. Backfill shall be placed so as to not disturb the pipe alignment.
 4. In areas where adequate cover can not be maintained for sewer main, proper protection shall be provided against freezing and superimposed loading.

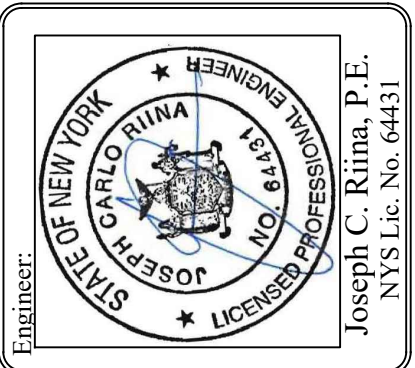
S-4 SEWER MAIN / SEWER SERVICE TRENCH DETAIL
NOT TO SCALE



S-5 TYPICAL DETAIL OF TIE-IN TO EXISTING SEWER MANHOLE
NOT TO SCALE



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| Revisions: | No. | Date | Comments/Plan Revisions |
|------------|-----|---------|-------------------------|
| | 1 | 10/7/21 | |

SCALE: NTS
 DRAWN BY: TK
 DATE: 5/7/21

SEWER DETAILS

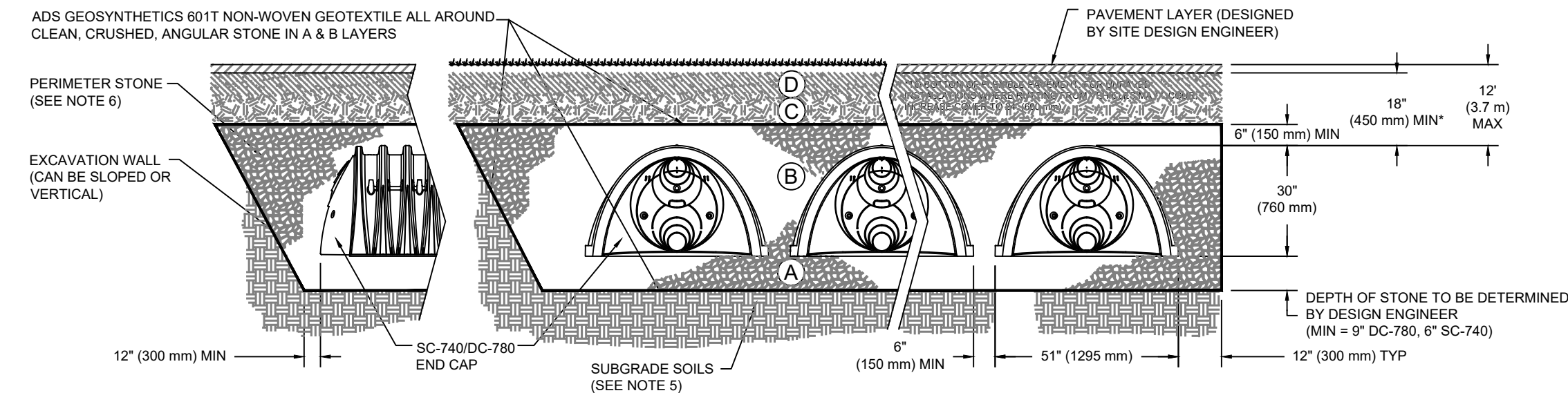
SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
 3319 STONY STREET
 Town of Yorktown Westchester County, New York

F:\022121-18 GRISHAJ - STONY STREET\ENGINEERING\CAD\3D-21-18 GRISHAJ - STONY STREET\21-18 DETAILS 9-30-21.DWG

ACCEPTABLE FILL MATERIALS: STORMTECH DC-780 CHAMBER SYSTEMS

| MATERIAL LOCATION | DESCRIPTION | AASHTO MATERIAL CLASSIFICATIONS | COMPACTION / DENSITY REQUIREMENT |
|-------------------|--|---|--|
| D | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER. | N/A | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. |
| C | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (8" LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER. | AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN). |
| B | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE. | AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 | NO COMPACTION REQUIRED. |
| A | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹ |

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE"
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES WILL BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

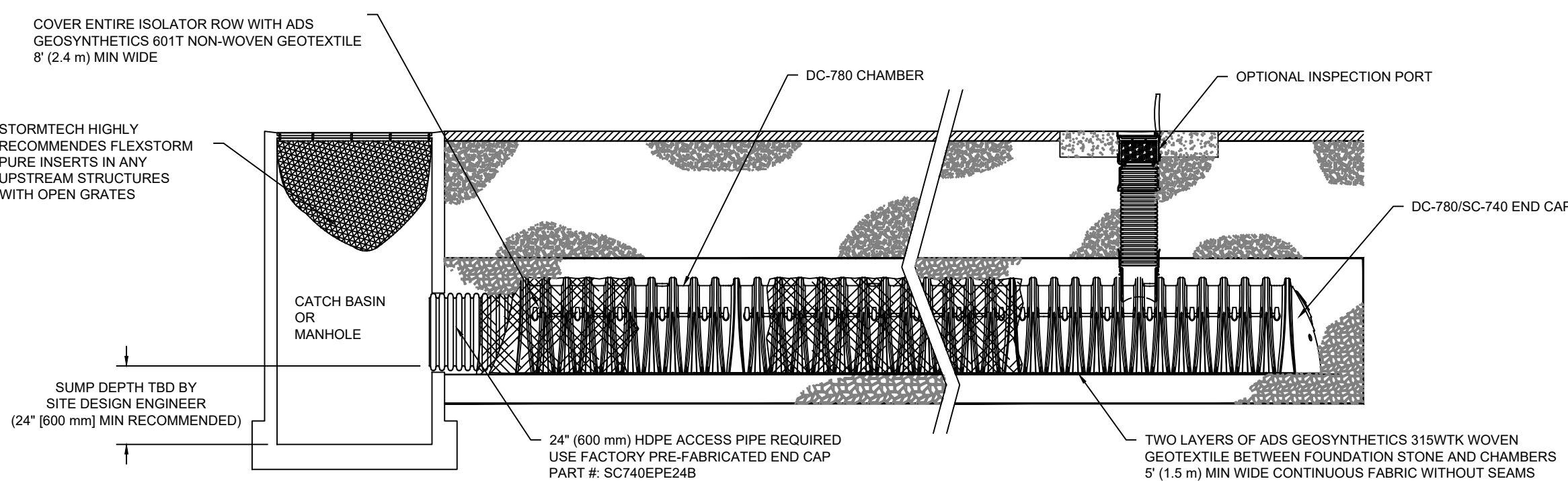


NOTES:

- DC-780 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"¹J
- DC-780 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"¹J
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.¹J
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.¹J
- THE "SITE DESIGN ENGINEER" IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.¹J
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

SW-1

STORMTECH SC-740/DC-780 CROSS SECTION DETAIL
NOT TO SCALE



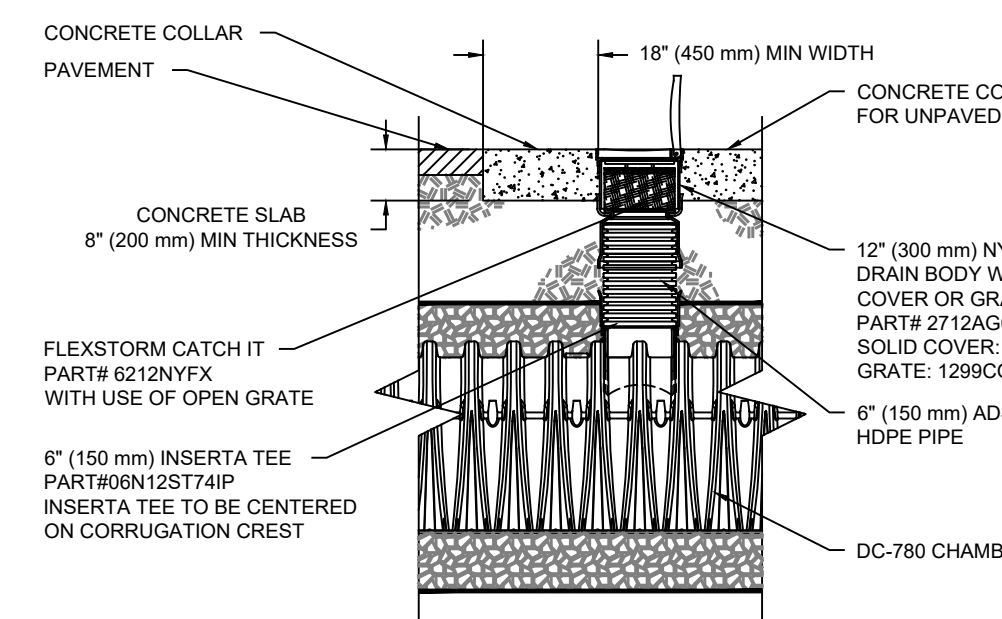
DC-780 ISOLATOR ROW DETAIL
NTS

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE⁽¹⁾ MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY⁽¹⁾ FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.¹J
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

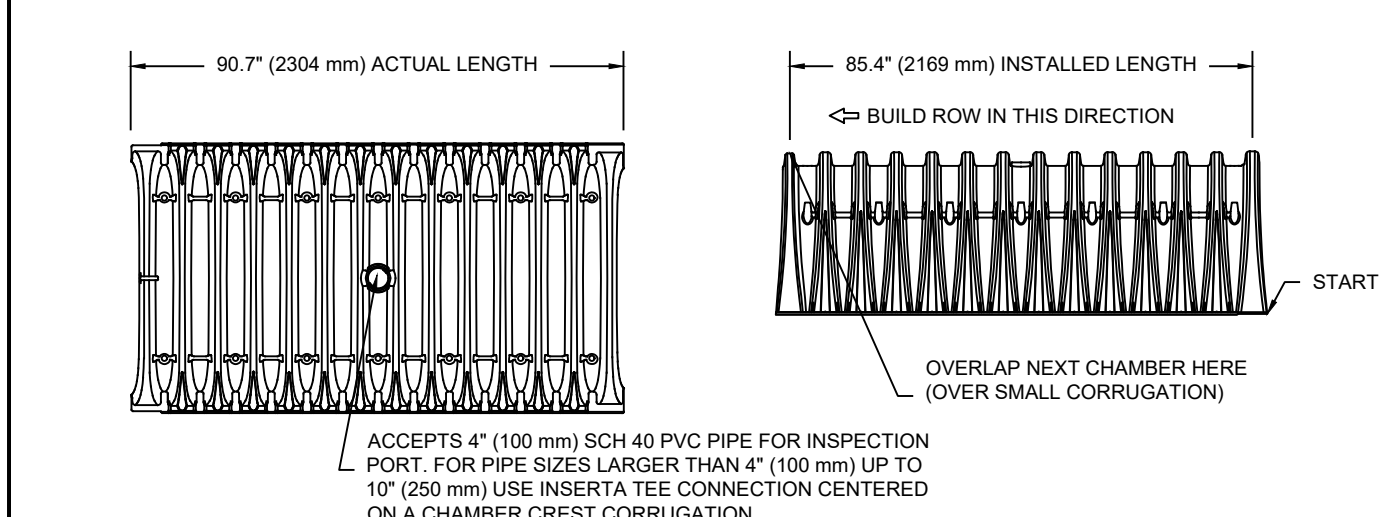


DC-780 6" INSPECTION PORT DETAIL
NTS

SW-2

STORMTECH SC-740/DC-780 ISOLATOR ROW DETAIL
NOT TO SCALE

DC-780 TECHNICAL SPECIFICATION
NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)
 CHAMBER STORAGE
 MINIMUM INSTALLED STORAGE¹
 WEIGHT

| PART # | STUB | A | B | C |
|-----------------------------|--------------|----------------|----------------|--------------|
| SC740EPE06T / SC740EPE06TPC | 6" (150 mm) | 10.9" (277 mm) | 18.5" (470 mm) | 0.5" (13 mm) |
| SC740EPE08T / SC740EPE08TPC | 8" (200 mm) | 12.2" (310 mm) | 16.5" (419 mm) | 0.6" (15 mm) |
| SC740EPE10T / SC740EPE10TPC | 10" (250 mm) | 13.4" (340 mm) | 14.5" (368 mm) | 0.7" (18 mm) |
| SC740EPE12T / SC740EPE12TPC | 12" (300 mm) | 14.7" (373 mm) | 12.5" (318 mm) | 0.8" (20 mm) |
| SC740EPE14T / SC740EPE14TPC | 14" (350 mm) | 16.0" (406 mm) | 10.5" (267 mm) | 0.9" (23 mm) |
| SC740EPE16T / SC740EPE16TPC | 16" (400 mm) | 17.3" (439 mm) | 9.0" (229 mm) | 1.0" (25 mm) |
| SC740EPE18T / SC740EPE18TPC | 18" (450 mm) | 19.7" (500 mm) | 5.0" (127 mm) | 1.1" (28 mm) |
| SC740EPE20T / SC740EPE20TPC | 20" (500 mm) | 22.1" (561 mm) | 3.0" (76 mm) | 1.2" (30 mm) |
| SC740EPE24B ¹ | 24" (600 mm) | 18.5" (470 mm) | --- | 0.1" (3 mm) |

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

¹ FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

SW-3

STORMTECH SC-740/DC-780 CHAMBER DETAIL
NOT TO SCALE

STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH DC-780 OR APPROVED EQUAL.¹J
- CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.¹J
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LIVED BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR:
 - LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.66 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.¹J
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.¹J
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.¹J
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE DC-780 CHAMBER SYSTEM

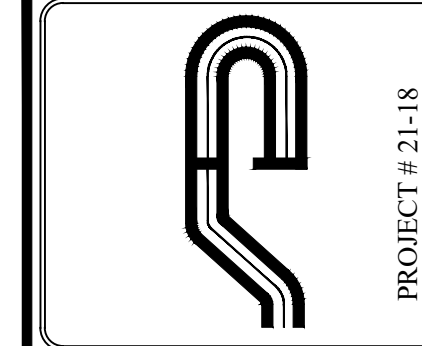
- STORMTECH DC-780 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.¹J
- STORMTECH DC-780 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".¹J
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.¹J
 - STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.¹J
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.¹J
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.¹J
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).¹J
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.¹J
- ADS RECOMMENDS THE USE OF FLEXSTORM CATCH IT[®] INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT¹J

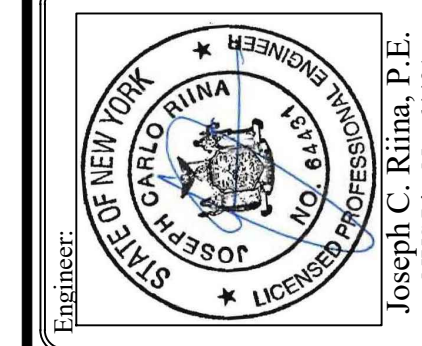
- STORMTECH DC-780 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".¹J
- THE USE OF CONSTRUCTION EQUIPMENT OVER DC-780 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".¹J
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



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| Revisions: | No. | Date | Comments | Plan | Revisions |
|------------|---------|------|----------|------|-----------|
| | 10/7/21 | | | | |

SCALE: NTS
 DRAWN BY: TK
 DATE: 5/7/21

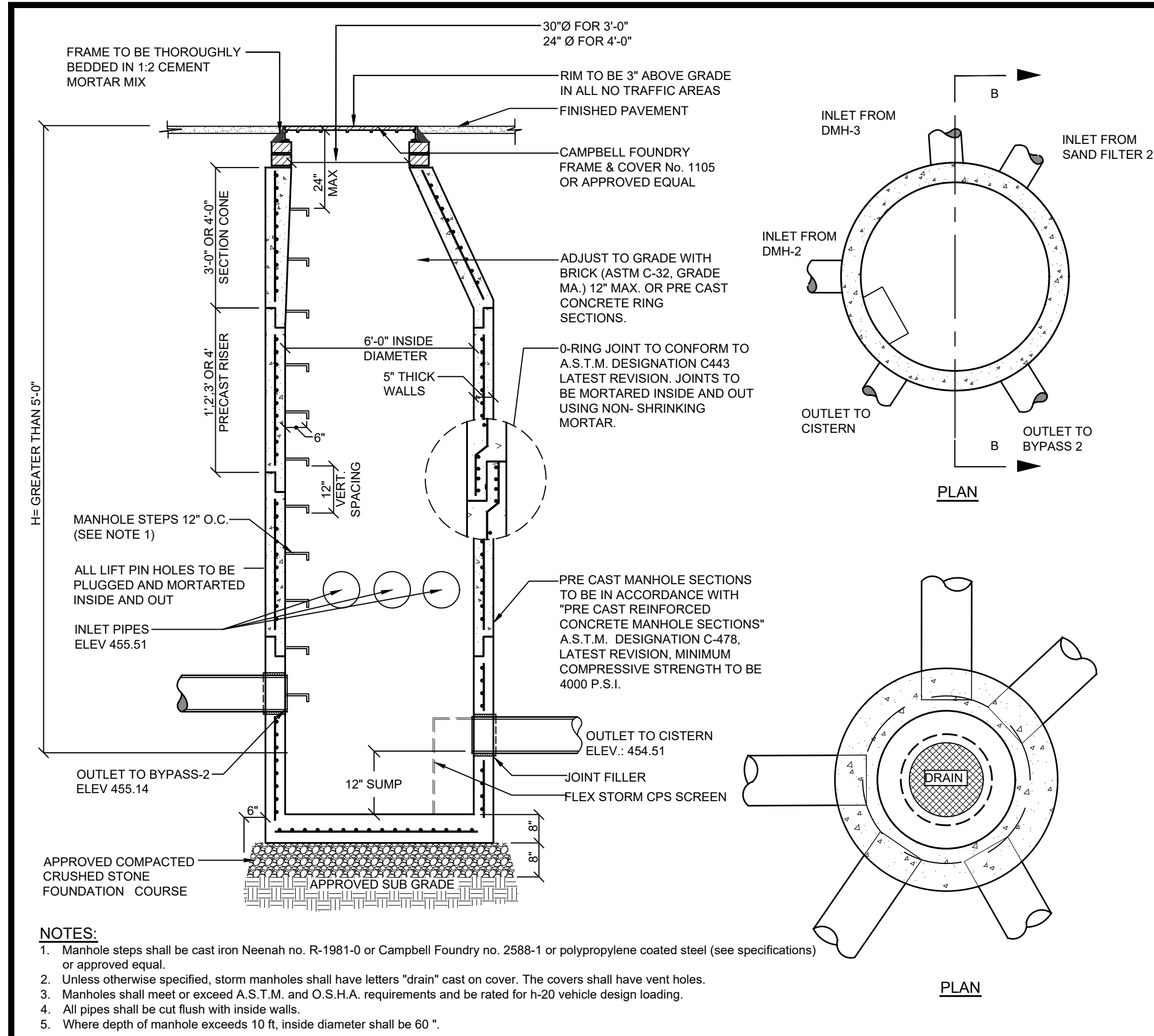
STORMTECH
DETAILS

SITE PLAN PREPARED FOR
NIKOLA GRISHAJ
 3319 STONY STREET
 Westchester County, New York
 Town of Yorktown

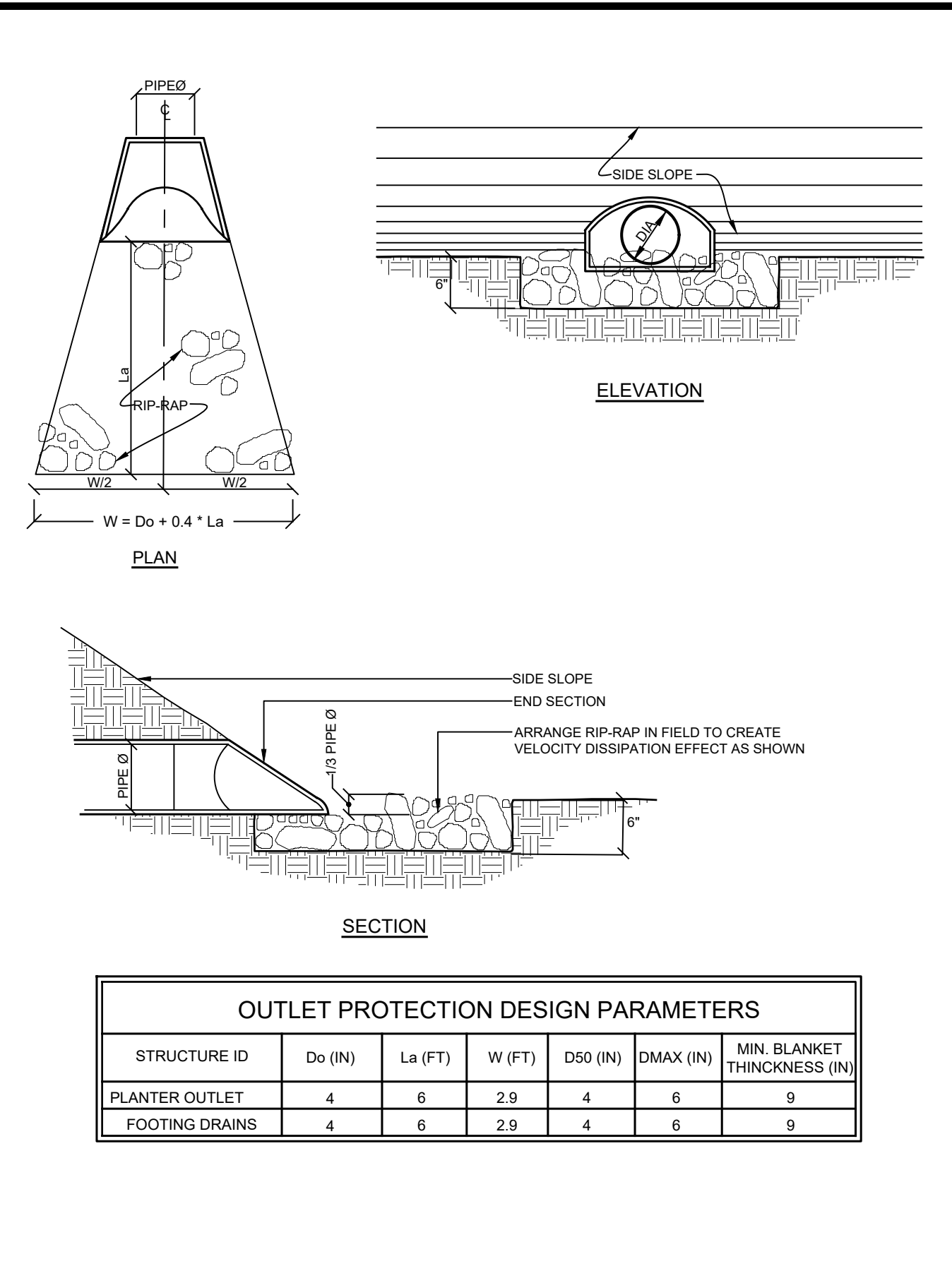
E:\2021\21-18 GRISHAJ - STONY STREET\ENGINEERING\CADD\CD-21-18 GRISHAJ - STONY STREET\DETAILS\16-DETAILS_16-20-21.DWG

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 1209 (2) OF THE NEW YORK STATE EDUCATION LAW.

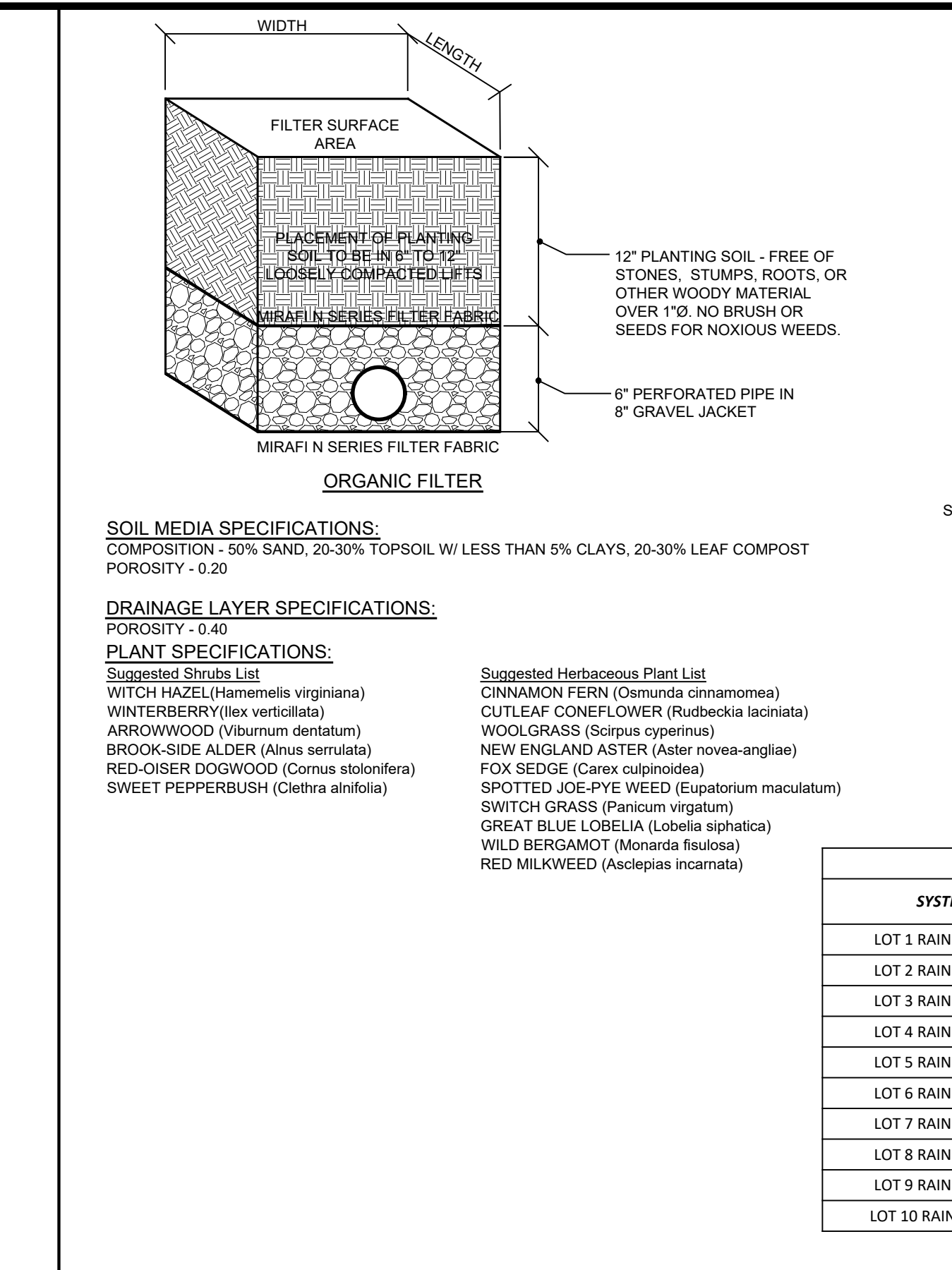
COPYRIGHT © 2012 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.



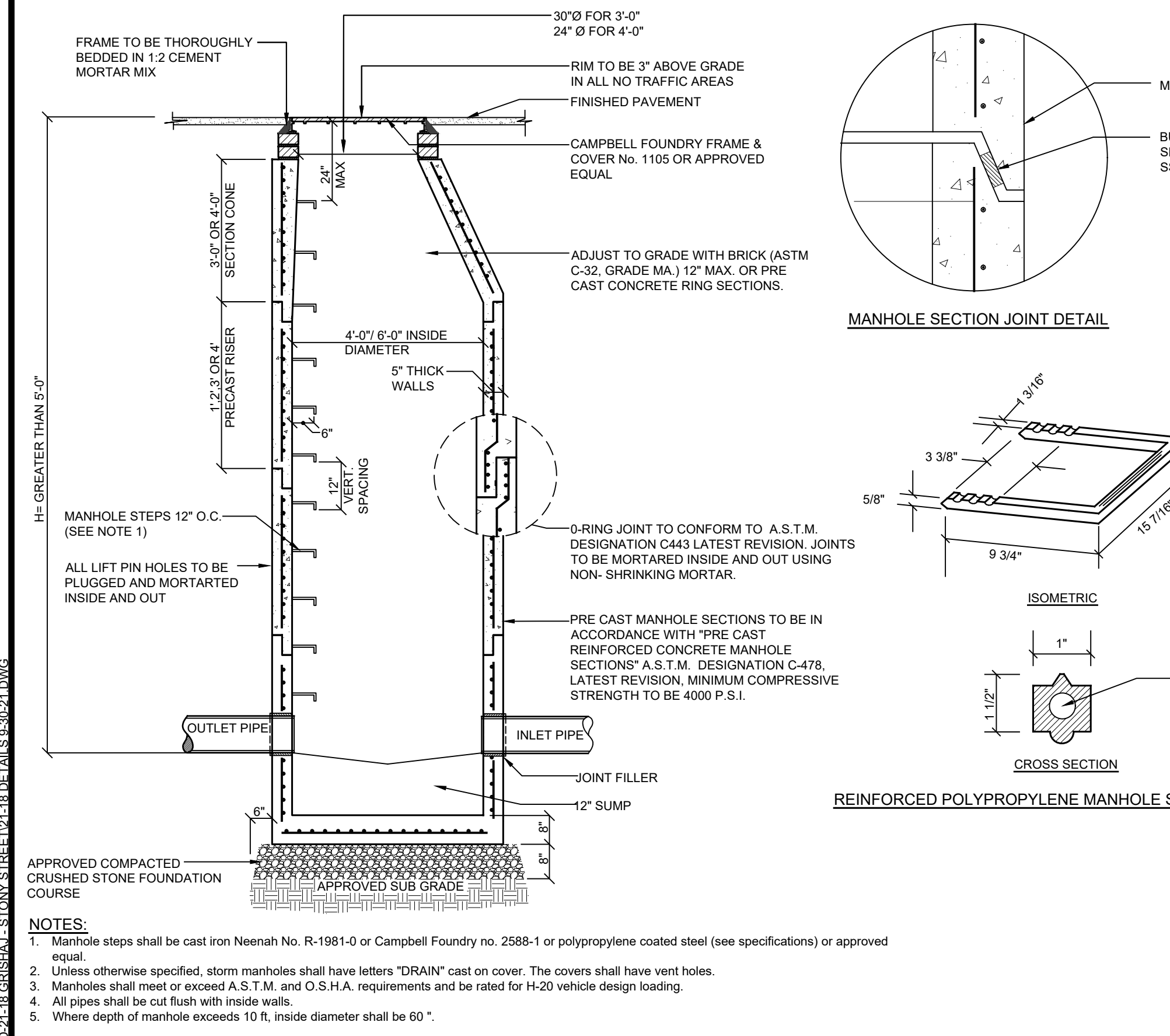
D-1 STORM BYPASS 2 STRUCTURE DETAIL
NOT TO SCALE



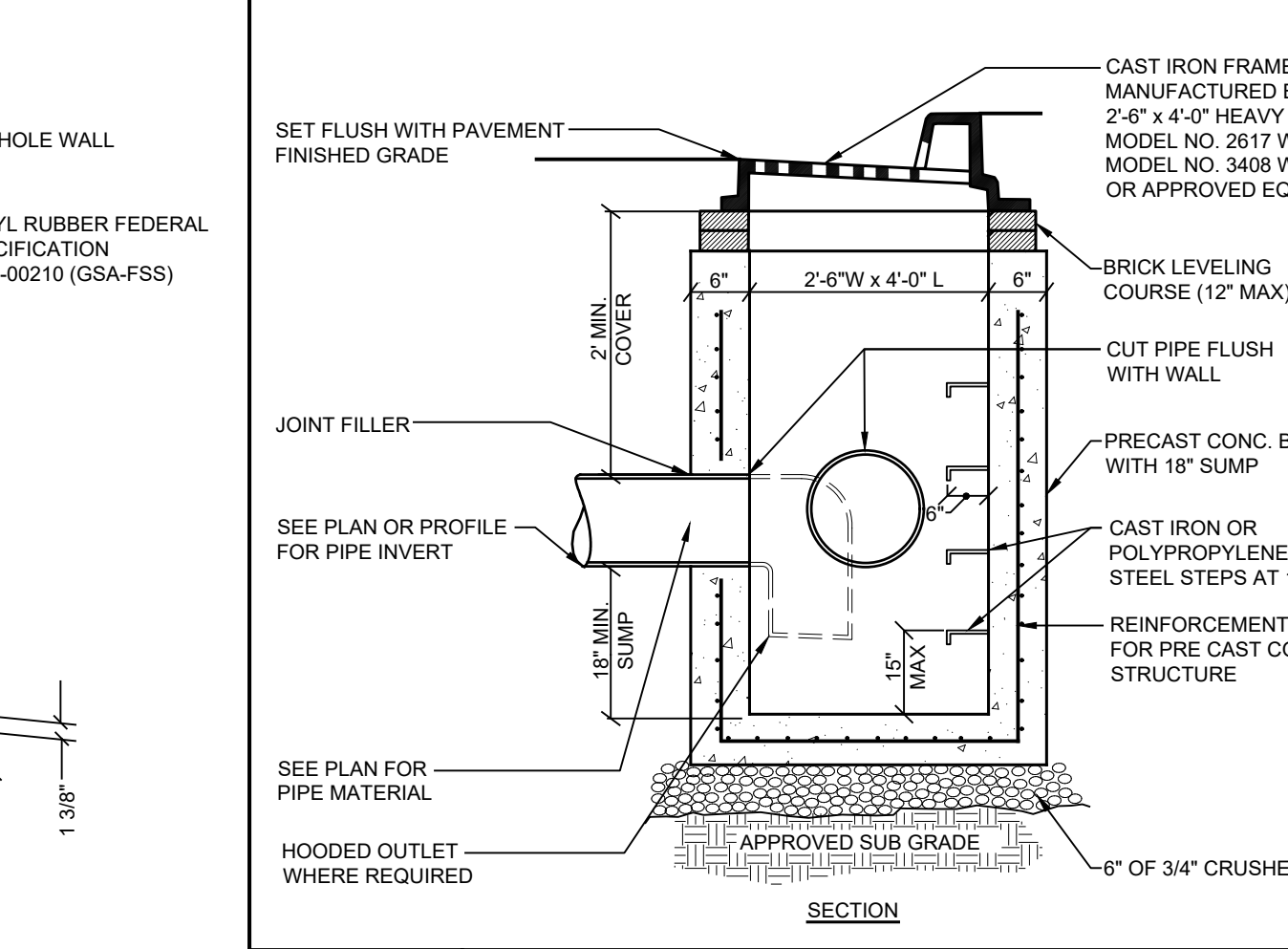
D-7 RIP-RAP APRON/ENERGY DISSIPATOR DETAIL
NOT TO SCALE



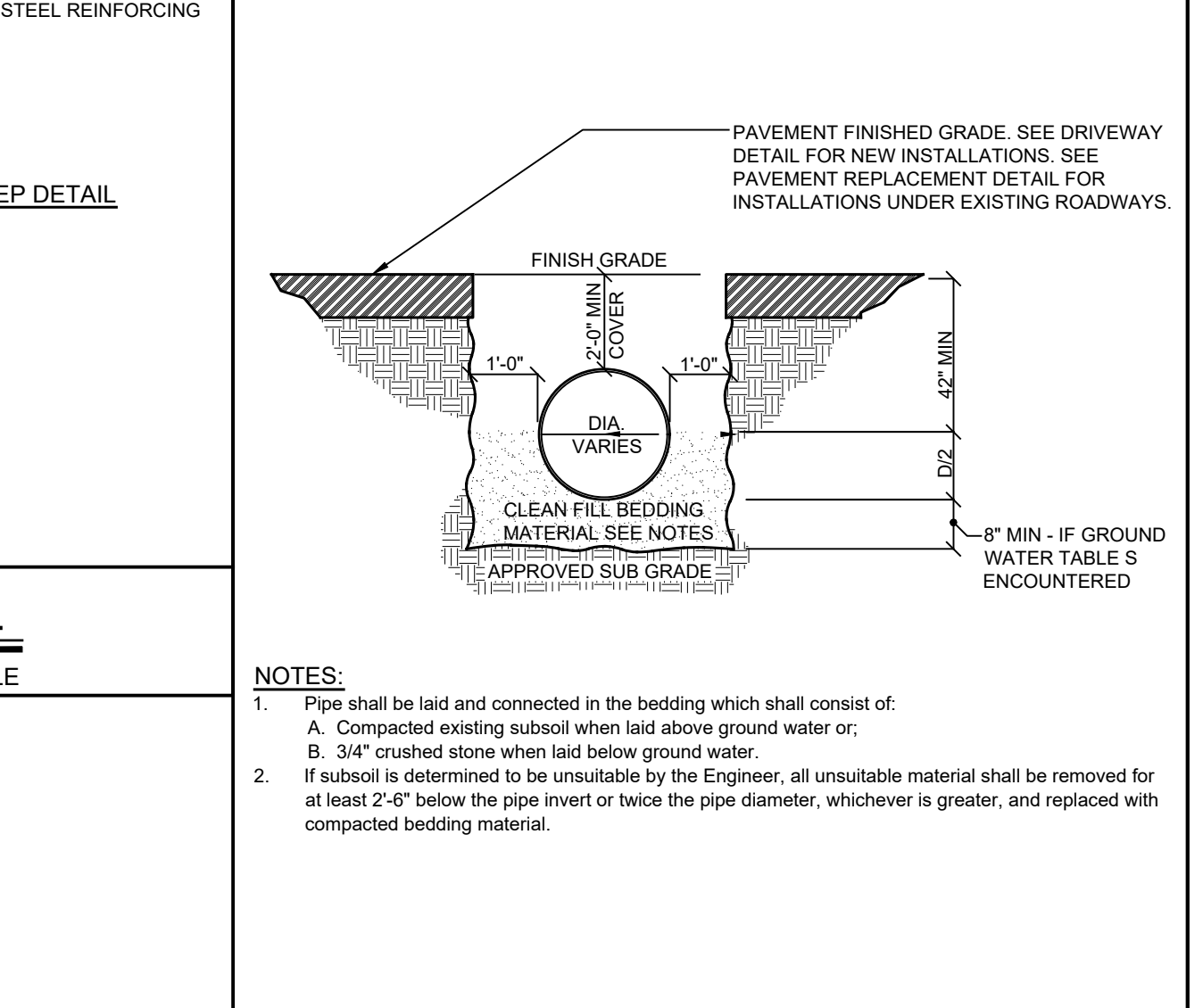
SWM-7 TYPICAL BIORETENTION DETAIL
NOT TO SCALE



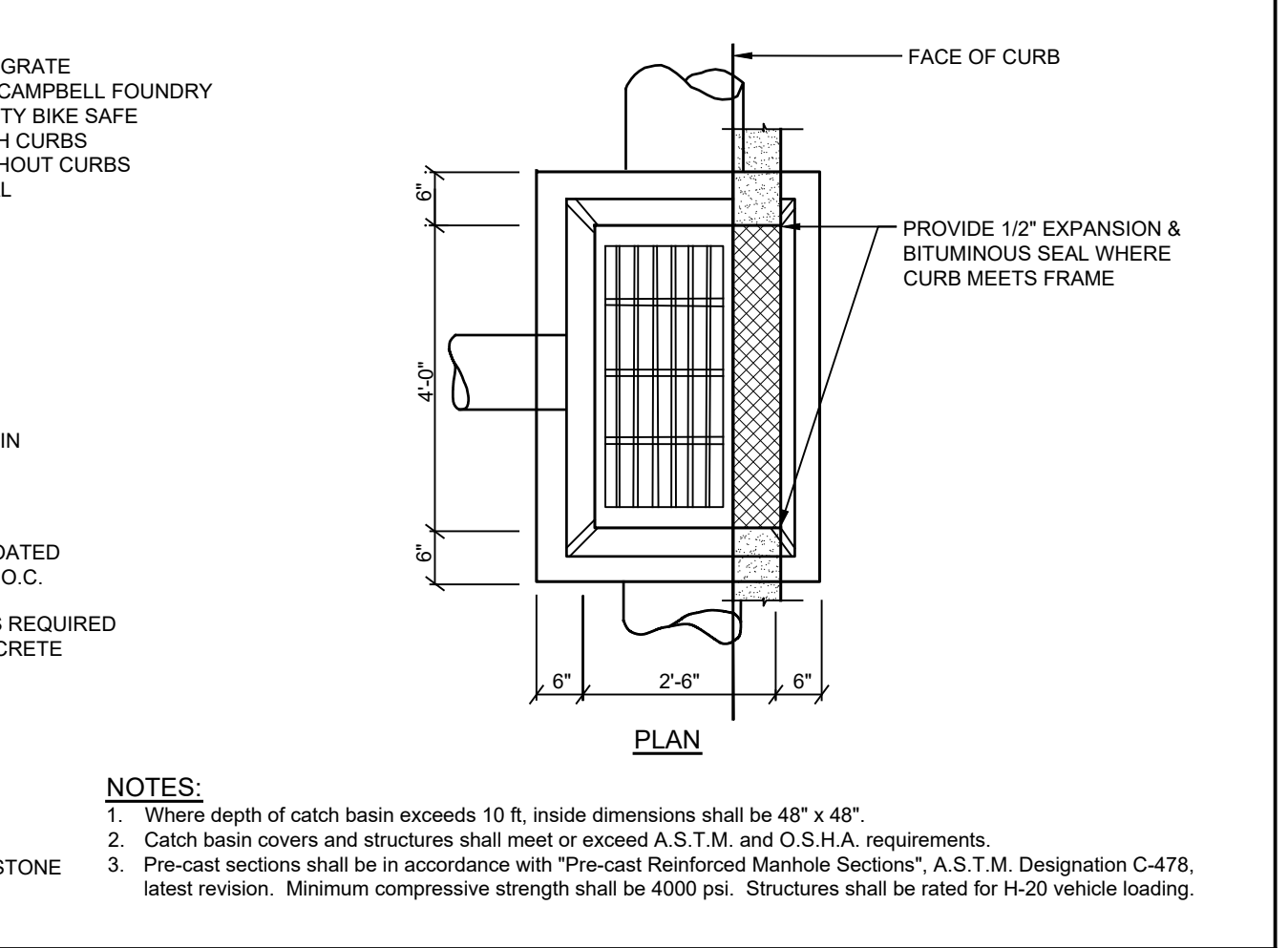
D-8 PRECAST CONCRETE STORM DRAIN MANHOLE DETAIL
NOT TO SCALE



D-4 TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



D-5 STORM PIPE BEDDING DETAIL
NOT TO SCALE



D-6 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE

SOIL MEDIA SPECIFICATIONS:
COMPOSITION - 50% SAND, 20-30% TOPSOIL W/ LESS THAN 5% CLAYS, 20-30% LEAF COMPOST
POROSITY - 0.20

DRAINAGE LAYER SPECIFICATIONS:
POROSITY - 0.40

PLANT SPECIFICATIONS:
Suggested Strives List
WITCH HAZEL (Hamamelis virginiana)
WINTERBERRY (Ilex verticillata)
ARROWWOOD (Viburnum dentatum)
BROOK-SIDE ALDER (Alnus serrulata)
RED-OISER DOGWOOD (Cornus stolonifera)
SWEET PEPPERBUSH (Clethra alnifolia)

Suggested Herbaceous Plant List
CINNAMON FERN (Osmunda cinnamomea)
CUTLEAF CONEFLOWER (Rudbeckia laciniata)
WOOLGRASS (Scirpus cyperinus)
NEW ENGLAND ASTER (Aster novae-angliae)
FOX SEDGE (Carex cupinoides)
SPOTTED JOE-PYE WEED (Eupatorium maculatum)
SWITCH GRASS (Panicum virgatum)
GREAT BLUE LOBELIA (Lobelia siphatica)
WILD BERGAMOT (Monarda fistulosa)
RED MILKWEED (Asclepias incarnata)

STORMWATER MANAGEMENT PRACTICES RIMS AND INVERTS

| SYSTEM | BASIN INV. | BERM ELEV. | SOIL MEDIA INV. | DRAINAGE LAYER INV. | OUTLET RIM | Pipe Out Site (in) |
|--------------------|------------|------------|-----------------|---------------------|------------|--------------------|
| LOT 1 RAIN GARDEN | 537.00 | 538.00 | 535.00 | 534.00 | 537.50 | 12 |
| LOT 2 RAIN GARDEN | 529.00 | 530.00 | 527.00 | 526.00 | 529.50 | 10 |
| LOT 3 RAIN GARDEN | 515.00 | 516.00 | 513.00 | 512.00 | 515.50 | 10 |
| LOT 4 RAIN GARDEN | 505.00 | 506.00 | 503.00 | 502.00 | 505.50 | 12 |
| LOT 5 RAIN GARDEN | 509.00 | 510.00 | 507.00 | 506.00 | 509.50 | 5' WEIR |
| LOT 6 RAIN GARDEN | 520.00 | 521.00 | 518.00 | 517.00 | 520.50 | 5' WEIR |
| LOT 7 RAIN GARDEN | 531.00 | 532.00 | 529.00 | 528.00 | 531.50 | 8 |
| LOT 8 RAIN GARDEN | 545.00 | 546.00 | 543.00 | 542.00 | 545.50 | 8 |
| LOT 9 RAIN GARDEN | 558.00 | 559.00 | 556.00 | 555.00 | 558.50 | 10 |
| LOT 10 RAIN GARDEN | 563 | 564 | 561.00 | 560.00 | 563.5 | 12 |

NOTE:
1. The upland side of the rain garden shall be protected from upgradient subsurface conditions with the installation of either a 12" thick clay barrier or placement of 6 mil polyethylene sheeting along the excavated side-walls of the drainage layers.

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PROJECT # 21-18

STATE OF NEW YORK
JOSEPH C. RIINA, P.E.
Professional Engineer
No. 64431

Revisions:

| No. | Date | Comments | Plan Revisions |
|-----|---------|----------|----------------|
| 1 | 10/7/21 | | |

SCALE: NTS
DRAWN BY: TK
DATE: 5/7/21

DRAINAGE DETAILS

SITE PLAN PREPARED FOR
NIKOLLA GRISHAJ
3319 STONY STREET
Town of Yorktown Westchester County, New York

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.

Home & Hearth

TOWN OF YORKTOWN PLANNING DEPARTMENT


Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: February 24, 2022
Subject: Home & Hearth
SBL: 15.12-1-2

The Planning Department has reviewed the current submission and has the following comments:

1. The Town's environmental consultant is scheduled to start review of the wetland delineation and proposed mitigation on March 2, 2022.
2. The Building Inspector determined the second building to be a second main use on the site and not an accessory structure therefore a height variance is not needed.
3. The applicant has indicated landscaping and lighting plans will be submitted at a future date, however this application will not be complete until those plans are submitted.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

Site Design Consultants

Civil Engineers • Land Planners

February 15, 2022

Rich Fon, Chairman
Members of the Planning Board
c/o Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

FEB 16 2022

TOWN OF YORKTOWN

Re: Home and Hearth
1750 East Main Street
Mohegan Lake
SBL 15.12-1-2

Dear Chairman Fon and Members of the Planning Board:

We are in receipt of the memo to the Planning Board from the Planning Department dated October 15, 2021 and offer the following responses:

1. All adjacent building should be shown on the site plan. **Response: All adjacent properties including buildings parking areas are included on the cover sheet.**
2. Applicant must develop landscape and lighting plans. **Response: These plans will be submitted at a future date.**
3. The freestanding sign location should be shown on the site plan. **Response: The existing freestanding sign location is indicated on the site plan.**
4. Show the existing sidewalk along Route 6 on the site plan. **Response: The sidewalk along Route 6 is shown and is noted to be replaced.**
5. The applicant was to revise the architecture of the accessory building and resubmit to possibly request a variance. No revised plans have been submitted yet. **Response: The architecture of the accessory building has been modified with new roof lines. It has been determined that no variance is required for the height of the roof for the accessory building. Revised plans from the architect are included in this submission.**
6. The wetland delineation and mitigation plan must be reviewed by the town's Environmental consultant. The Planning Department will send the submitted plans to the consultant and request a proposal for this review. **Response: Acknowledged.**
7. In 1986, the then property owner entered into an access easement agreement with the adjacent property to the west to allow ingress and egress across the front of the subject property. The filed easement is attached.

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



Richard Fon, Chairman
Members of the Planning Board
February 15, 2022
Page 2 of 2

Home and Hearth

The proposed new building is positioned directly on top of where the adjacent site access crosses the property line and where an existing light pole is also located. It seems the building could be pushed back at least a foot or two to relieve the crowding of site elements between the two sites. Response: **Response to #7 and current: The access easement is shown on the site plan. We have repositioned the new building by sliding it back away from the existing curb line.**

Enclosed please find the following items being submitted for distribution and discussion at the Planning Board Meeting. We would also request that this project be scheduled for Public Hearing:

- Five prints of the Architectural plan;
- Five prints of the Mitigation Plan from Steve Marino;
- Five sets of Plans titled "Site Plan Prepared for Home and Hearth," Title Sheet and Sheets 1-8 of 8, dated 7/28/2021, last revised 2/15/2022.

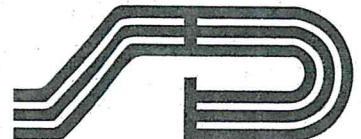
We are also forwarding you a digital copy of this submission. Please add this project to the agenda for the Planning Board Meeting of February 28th and contact us if you have any questions. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

Cc: Hearth and Home
 Town Supervisor
 Building Department
 Engineering Department
 Water Department
 Ed Lachterman

JCR / cm / Enc. / sdc 21-19



TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

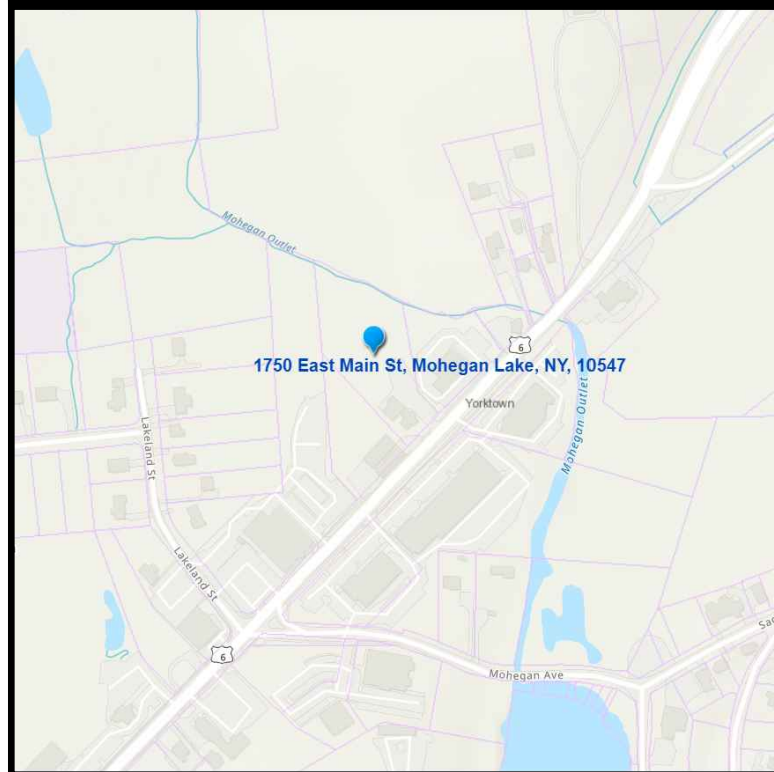
To: Planning Board
From: Planning Department
Date: October 15, 2021
Subject: Home & Hearth
SBL: 15.12-1-2

The Planning Department reviewed the submitted site plan and has the following comments:

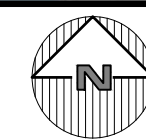
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4. Show the existing sidewalk along Route 6 on the site plan.
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6. The wetland delineation and mitigation plan must be reviewed by the town's Environmental consultant. The Planning Department will send the submitted plans to the consultant and request a proposal for this review.
7. In 1986, the then property owner entered into an access easement agreement with the adjacent property to the west to allow ingress and egress across the front of the subject property. The filed easement is attached.

The proposed new building is positioned directly on top of where the adjacent site access crosses the property line and where an existing light pole is also located. It seems the building could be pushed back at least a foot or two to relieve the crowding of site elements between the two sites.





LOCATION MAP
NOT TO SCALE



1750 EAST MAIN STREET MOHEGAN LAKE
TOWN OF YORKTOWN - WESTCHESTER COUNTY, NY

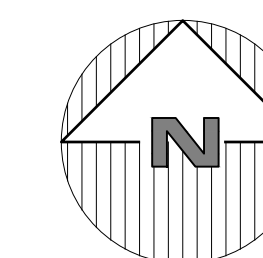
E:\2020\12-10-HOME & HEARTH\ENGINEERING\CADD\12-10-HOME & HEARTH\1-10 SITE PLAN 10-5-21.DWG 2/10/2022 12:10:28 PM

NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY H. STANLEY JOHNSON AND COMPANY LAND SURVEYORS, P.C., DATED MARCH 24, 2004. LAST REVISED DECEMBER 14, 2020. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. ALL INFORMATION RELATED TO ADJACENT PROPERTIES SUCH AS PROPERTY LINES, BUILDINGS AND SITE IMPROVEMENTS WERE OBTAINED FROM THE WESTCHESTER COUNTY GIS DATABASE AND SHOULD NOT BE CONSIDERED ACCURATE.

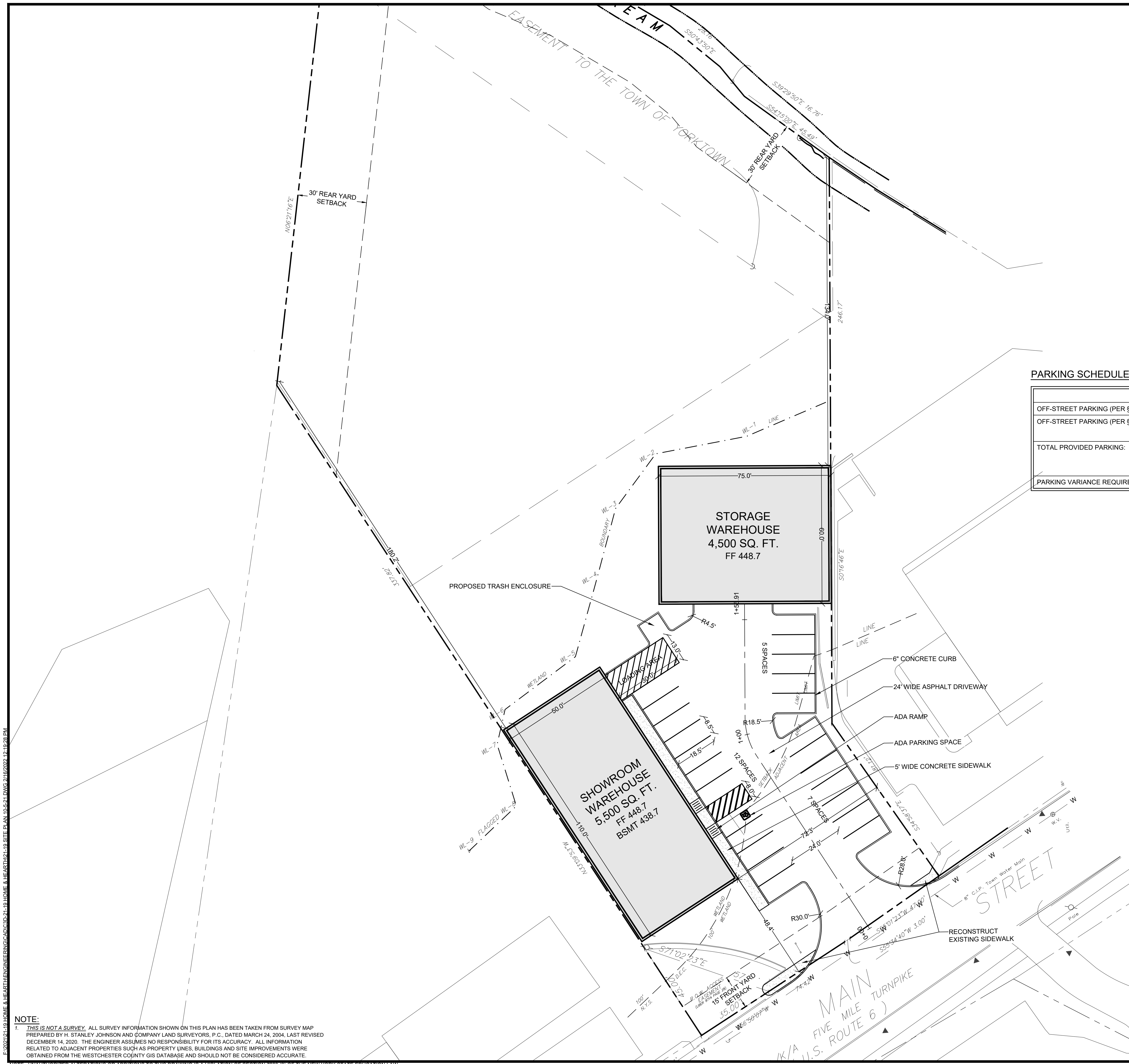
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VICINITY MAP

SCALE: 1" = 40'



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ZONING SCHEDULE:

| ZONING DISTRICT: C-4, BUSINESS (SECTION 300-71) | | |
|---|----------------------|--------------------|
| DIMENSIONAL REGULATIONS: | REQUIRED | PROVIDED |
| MINIMUM SIZE OF LOT: | | |
| MINIMUM LOT AREA: | NONE | 84,252 SF. |
| MINIMUM LOT WIDTH: | 25 FT. | 124.4 FT. |
| MINIMUM LOT DEPTH: | 100 FT. | 402.6 FT. |
| MINIMUM YARD DIMENSIONS: | | |
| PRINCIPAL BUILDING: | | |
| FRONT YARD SETBACK: | 15 FT. | 47.8 FT. |
| REAR YARD: MAIN BUILDING | 30 FT. | 181.8 FT. |
| SIDE YARD: MAIN BUILDING | | |
| | * NONE * SEE NOTE | 0 FT. |
| ACCESSORY BUILDINGS: | | |
| FRONT YARD SETBACK: | 15 FT. | 145.2 FT. |
| REAR YARD SETBACK: | 30 FT. | 134.3 FT. |
| MAXIMUM HEIGHT: | | |
| MAIN BUILDING - FEET: | 35 FEET | < 35 FT. |
| ACCESSORY BUILDING - FEET: | 20 FEET | < 20 FT. |
| MAXIMUM % OF LOT COVERAGE: | | |
| TOTAL BUILDING COVERAGE: | 30% OF LOT AREA | 11.9 % OF LOT AREA |

* NONE, BUT IF PROVIDED SHALL BE 10'; IF USED AS ONE WAY VEHICULAR ACCESS, SHALL BE 17 FT.; TWO WAY VEHICULAR ACCESS, 25 FT.; IF JOINS AN R DISTRICT, SHALL BE 50 FT.
** VARIANCE GRANTED BY ZONING BOARD OF APPEALS FEBRUARY 23, 2012 - REF# 5/12

PARKING SCHEDULE

| | REQUIRED PARKING (AS PER TOWN CODE SECTION 300-179) | PROVIDED PARKING |
|------------------------------------|--|---|
| OFF-STREET PARKING (PER §300-182): | 4 SPACES / 1,000 SF OF RETAIL SPACE = 10 SPACES | 18 PARKING SPACES |
| OFF-STREET PARKING (PER §300-186): | 1 SPACE PER FIRST 10,000 SF. = 1 SPACE ONE ADDITIONAL SPACE PER EACH 40,000 SF. AFTER. = 2.5 SPACES | 1 PARKING SPACES 3 PARKING SPACES |
| TOTAL PROVIDED PARKING: | | 23 STANDARD SPACES 1 HANDICAP SPACES |
| PARKING VARIANCE REQUIRED: | 0 SPACES | |

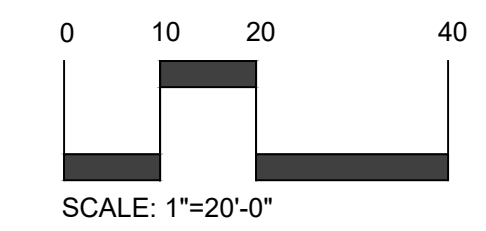
WETLAND, MITIGATION AND COVERAGE AREA SUMMARY

| LOCATION | AREA (SQUARE FEET) |
|---|--------------------|
| EXISTING ON-SITE WETLANDS & BUFFER | |
| TOTAL AREA OF WETLAND AND BUFFER | 76,594 S.F. |
| WETLAND (ON-SITE) | 56,153 S.F. |
| WETLAND BUFFER (FROM ON & OFF SITE WETLAND) | 20,441 S.F. |
| PROPOSED BUFFER DISTURBANCE | |
| MITIGATION AREA DISTURBANCE | - |
| OTHER SITE IMPROVEMENT DISTURBANCE | - |
| TOTAL AREA OF BUFFER DISTURBANCE | ±16,200 SF |
| IMPERVIOUS AREA: | |
| EXISTING | = 15,963 SF |
| PROPOSED | = 109,495 SF |
| IMPERVIOUS AREA W/IN 100' OF WETLAND: | |
| EXISTING | = 0.27 ACRES |
| PROPOSED | = 0.35 ACRES |

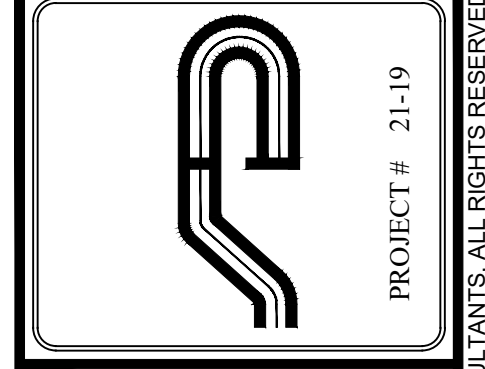
SITE PLAN NOTES:

1. WETLAND DELINEATION PERFORMED BY TIM MILLER ASSOCIATES AUGUST 2011 AND SURVEYED BY J. HENRY CARPENTER & CO. REVISED WETLAND LINE LOCATION AS SHOWN BASED ON FIELD CHANGE AS AGREED TO BY TOWN ENVIRONMENTAL CONSULTANT.
2. NO LOADING, UNLOADING OR TRANSFER OPERATION SHALL BE PERMITTED ON THE STREET, AT THE CURB OR WITHIN THE REQUIRED FRONT YARD, REF. SECTION300-71 OF THE TOWN CODE OF YORKTOWN.
3. NO REPAIR, SERVICE, OR WASHING OF VEHICLES ON-SITE IS PERMITTED.

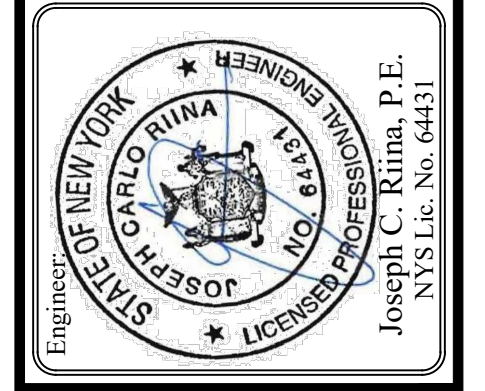
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| Revisions: | No. | Date | Comments: |
|------------|-----|----------|--------------|
| | 1 | 11/17/21 | Plan Updates |
| | 2 | 2/15/22 | PD Memo |

SCALE: 1" = 20'
DRAWN BY: TK
DATE: 7/28/21

SITE PLAN

SITE PLAN PREPARED FOR
HOME & HEARTH
1750 EAST MAIN STREET
Town of Yorktown, Westchester County, New York

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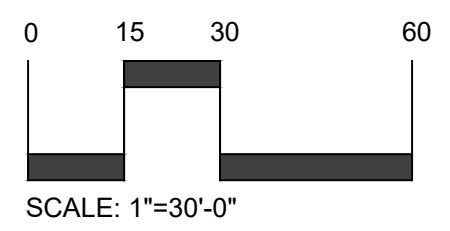
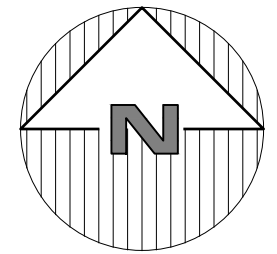
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18:28:23 PM 10/20/2021 10:18:28 PM SITE PLAN 10.5.21.DWG 2/18/2022 12:18:28 PM

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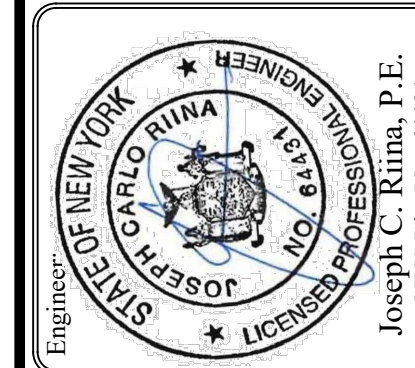
Sheet 2 of 9

EXISTING CONDITIONS

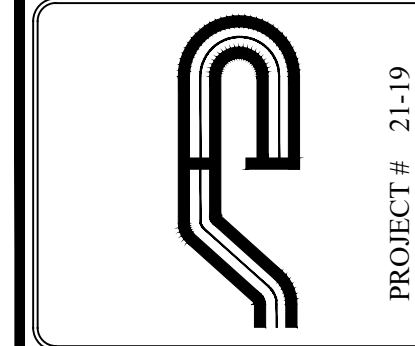
SITE PLAN PREPARED FOR
HOME & HEARTH
1750 EAST MAIN STREET
Town of Yorktown Westchester County, New York

SCALE: 1" = 30'
DRAWN BY: TK
DATE: 7/28/21

| Revisions: | No. | Date | Comments |
|------------|-----|----------|--------------|
| | 1 | 11/17/21 | Plan Updates |
| | 2 | 2/15/22 | PD Memo |



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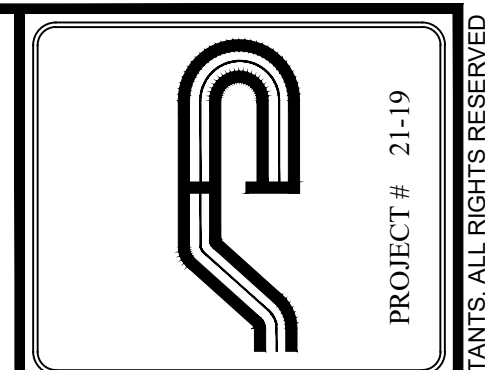
PROJECT # 21-19
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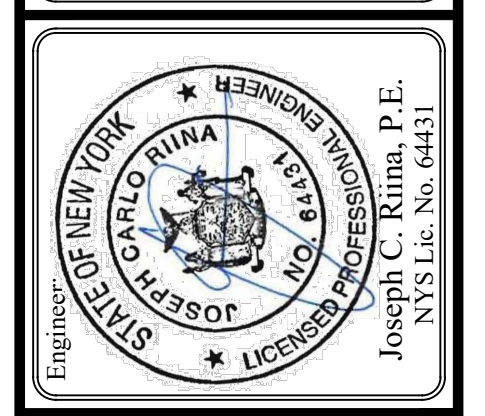
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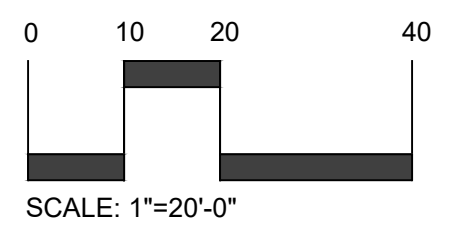
| Revisions: | No. | Date | Comments |
|------------|-----|---------|--------------|
| | 1 | 11/7/21 | Plan Updates |

SCALE: 1" = 20'
 DRAWN BY: TK
 DATE: 7/28/21

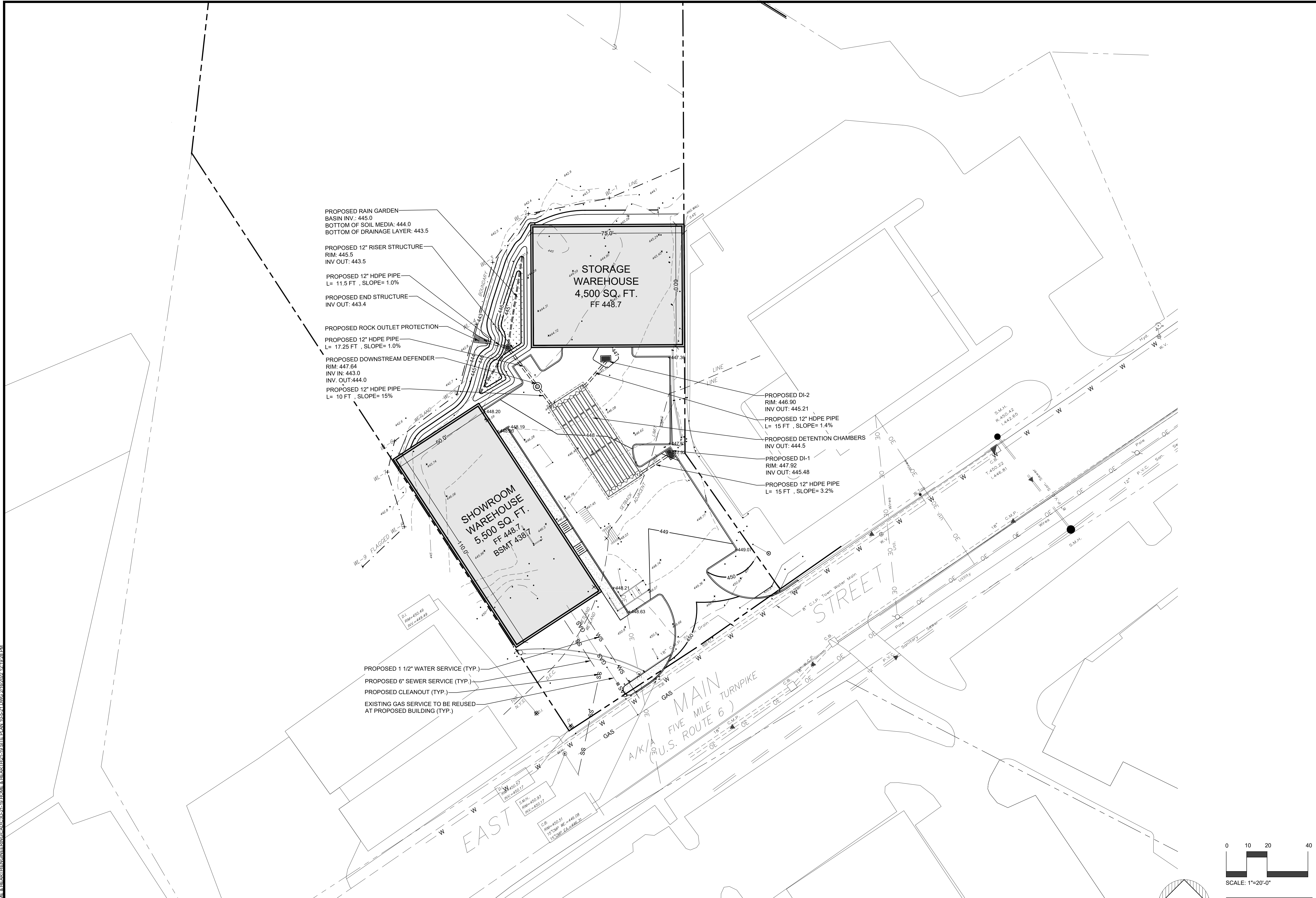
E&S PLAN

SITE PLAN PREPARED FOR
HOME & HEARTH
 1750 EAST MAIN STREET
 Town of Yorktown, Westchester County, New York

Sheet 3 of 9

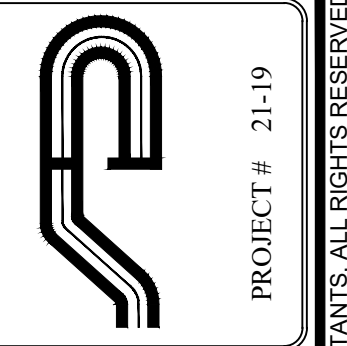


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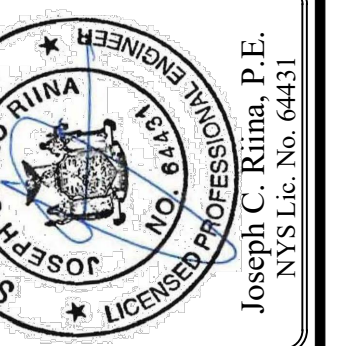


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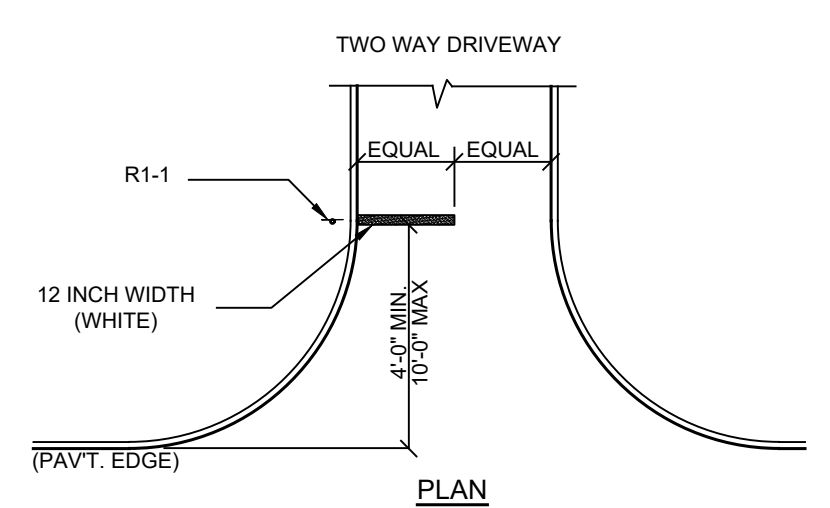
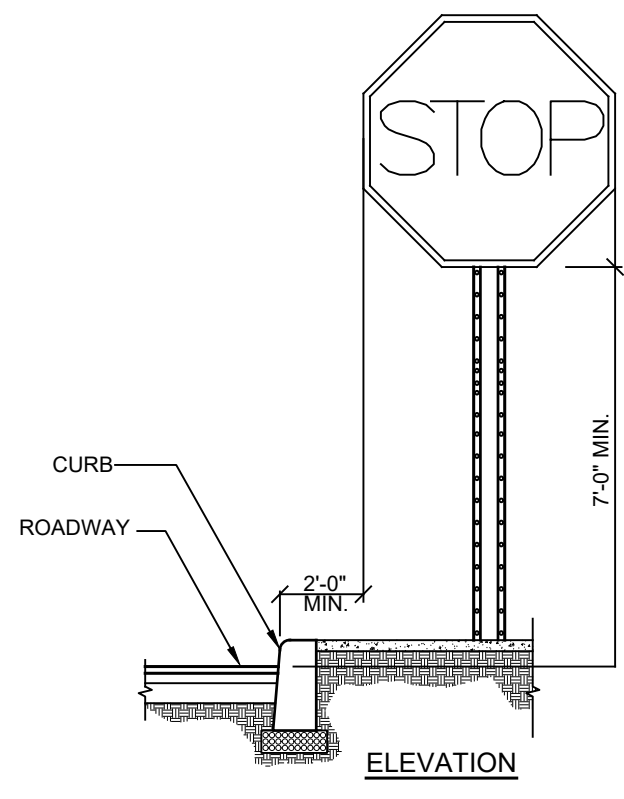
| Revisions: | No. | Date | Comments |
|------------|-----|----------|--------------|
| | 1 | 11/12/21 | Plan Updates |

| | |
|-----------|----------|
| SCALE: | 1" = 20' |
| DRAWN BY: | TK |
| DATE: | 7/28/21 |

IMPROVEMENT PLAN

SITE PLAN PREPARED FOR
HOME & HEARTH
 1750 EAST MAIN STREET
 Town of Yorktown Westchester County, New York

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| SYMBOL | DESCRIPTION |
|---------|------------------------------|
| GR. MT. | GROUND MOUNTED |
| OH. MT. | OVERHEAD MOUNTED |
| BR. MT. | BRIDGE MOUNTED |
| B/B | BACK TO BACK |
| + OR b | APPROXIMATE LOCATION OF SIGN |

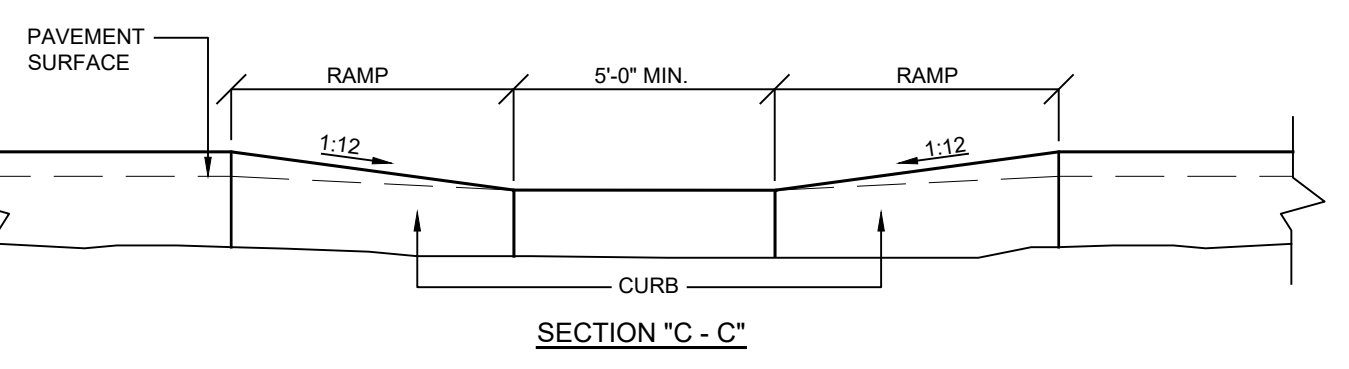
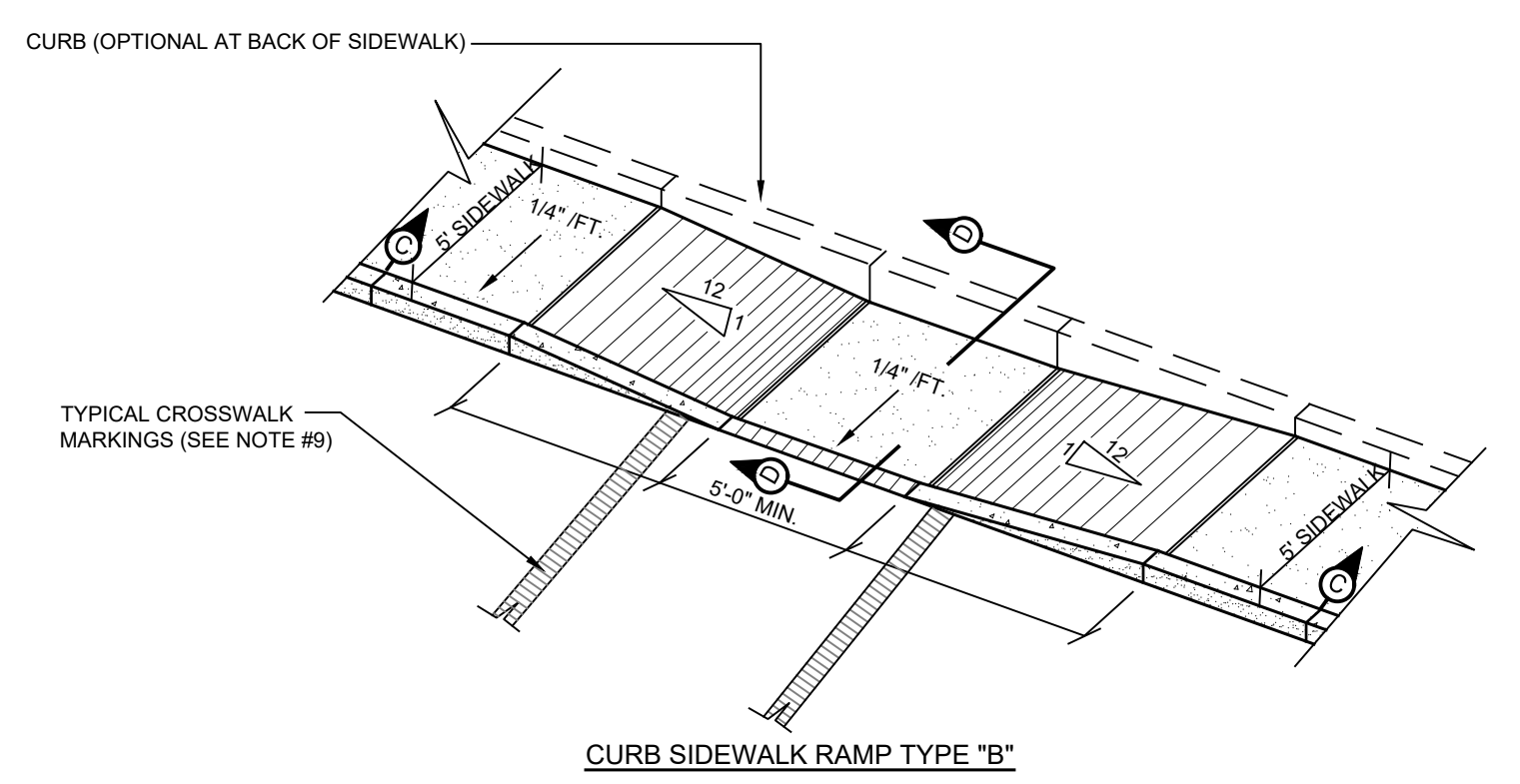
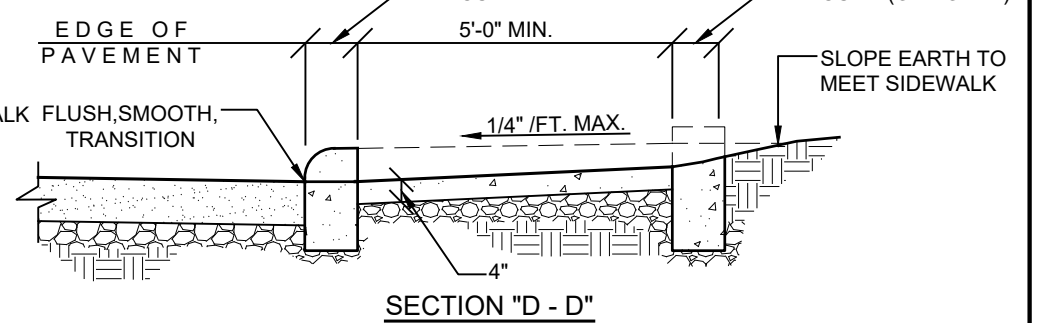
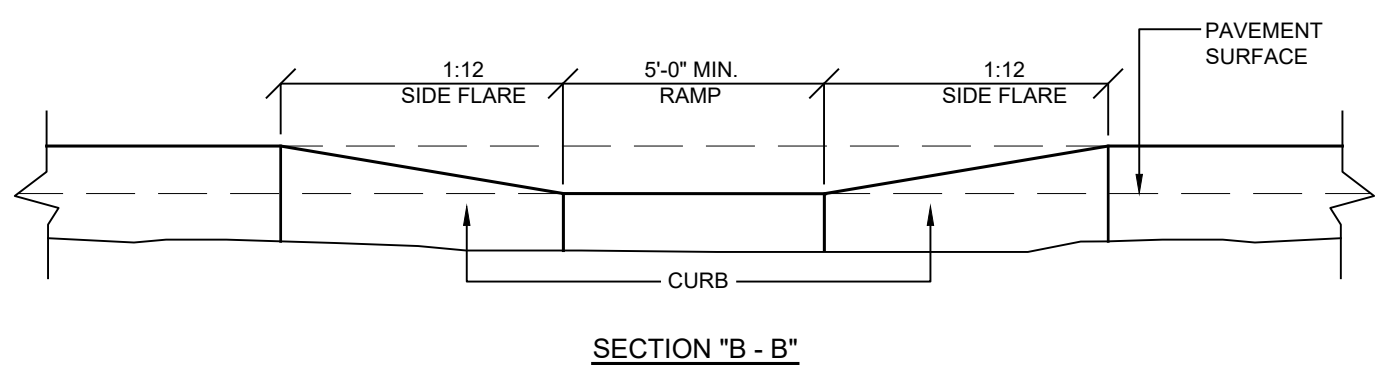
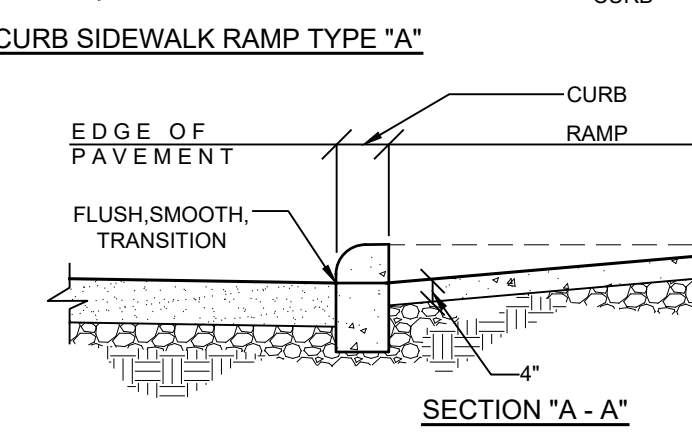
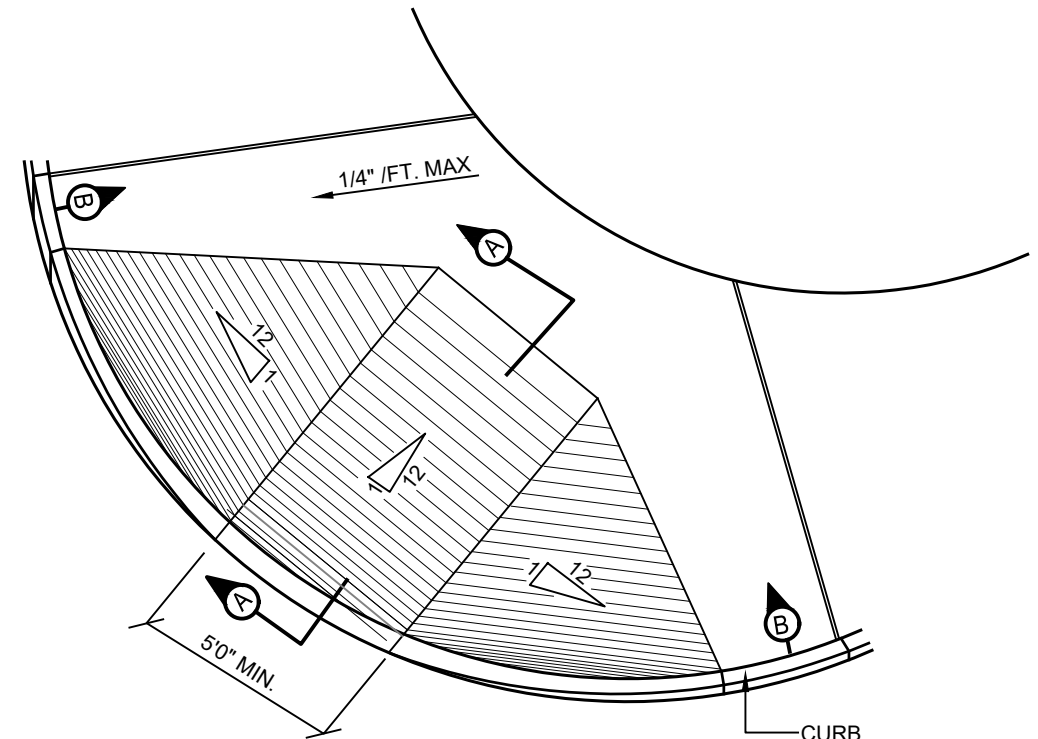
TYPICAL INSTALLATION GUIDELINES

| SIGN | M.U.T.C.D. NUMBER | SIZE OF SIGN | TYPE OF MOUNT |
|------|-------------------|--------------|---------------|
| | R1-1 | 30" X 30" | GR. MT. |
| | R7-8 | 12" X 18" | GR. MT. |

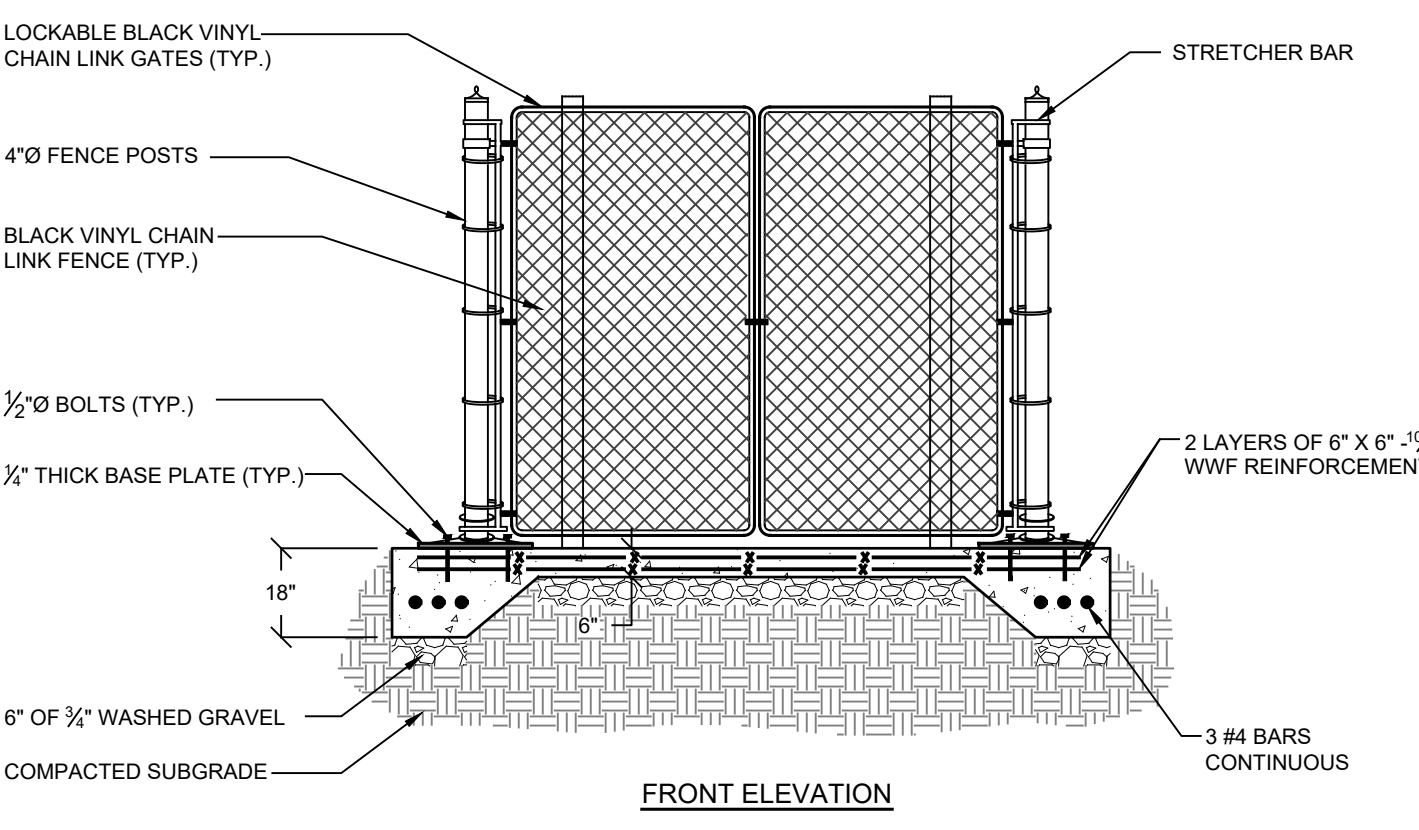
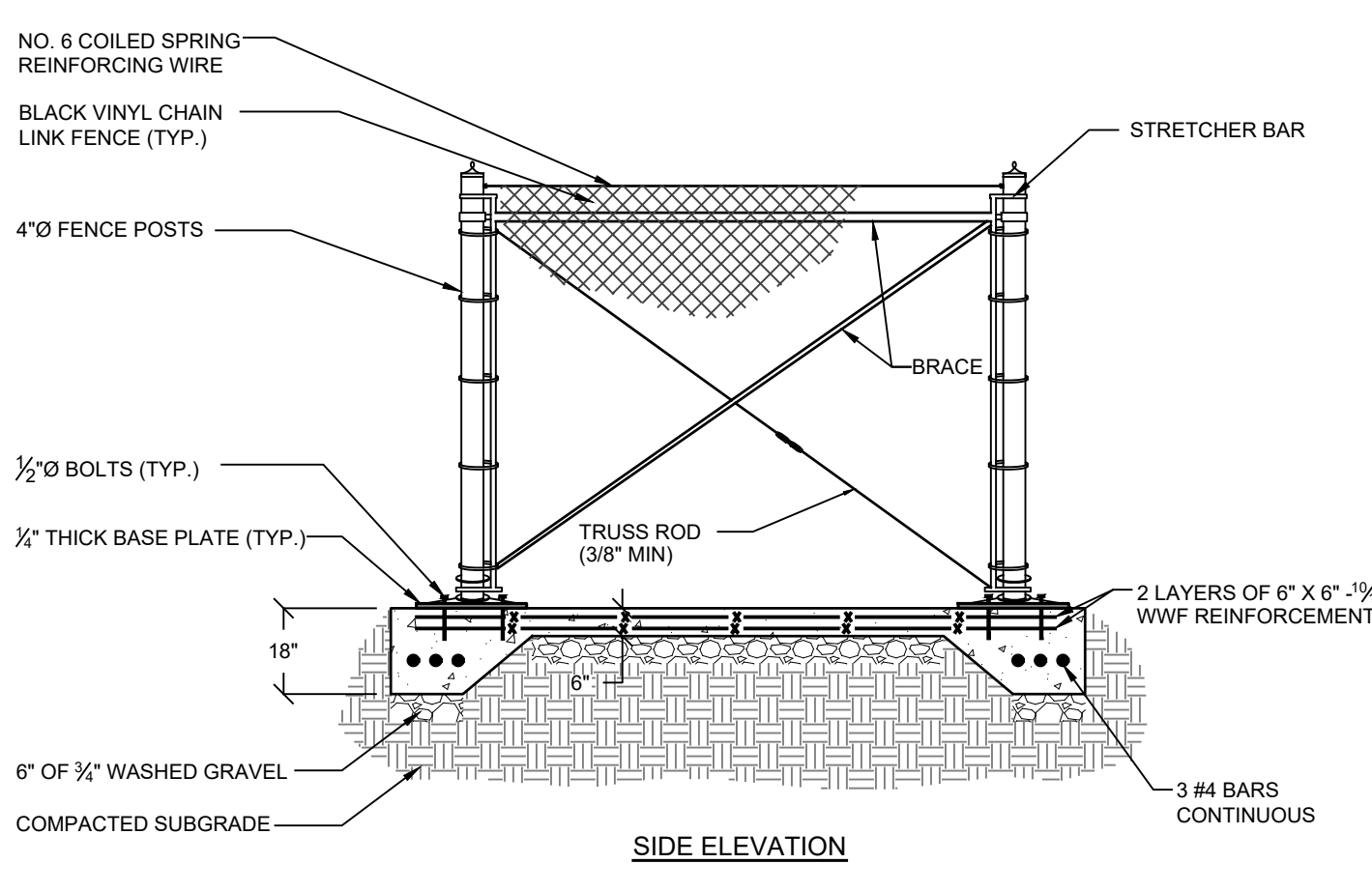
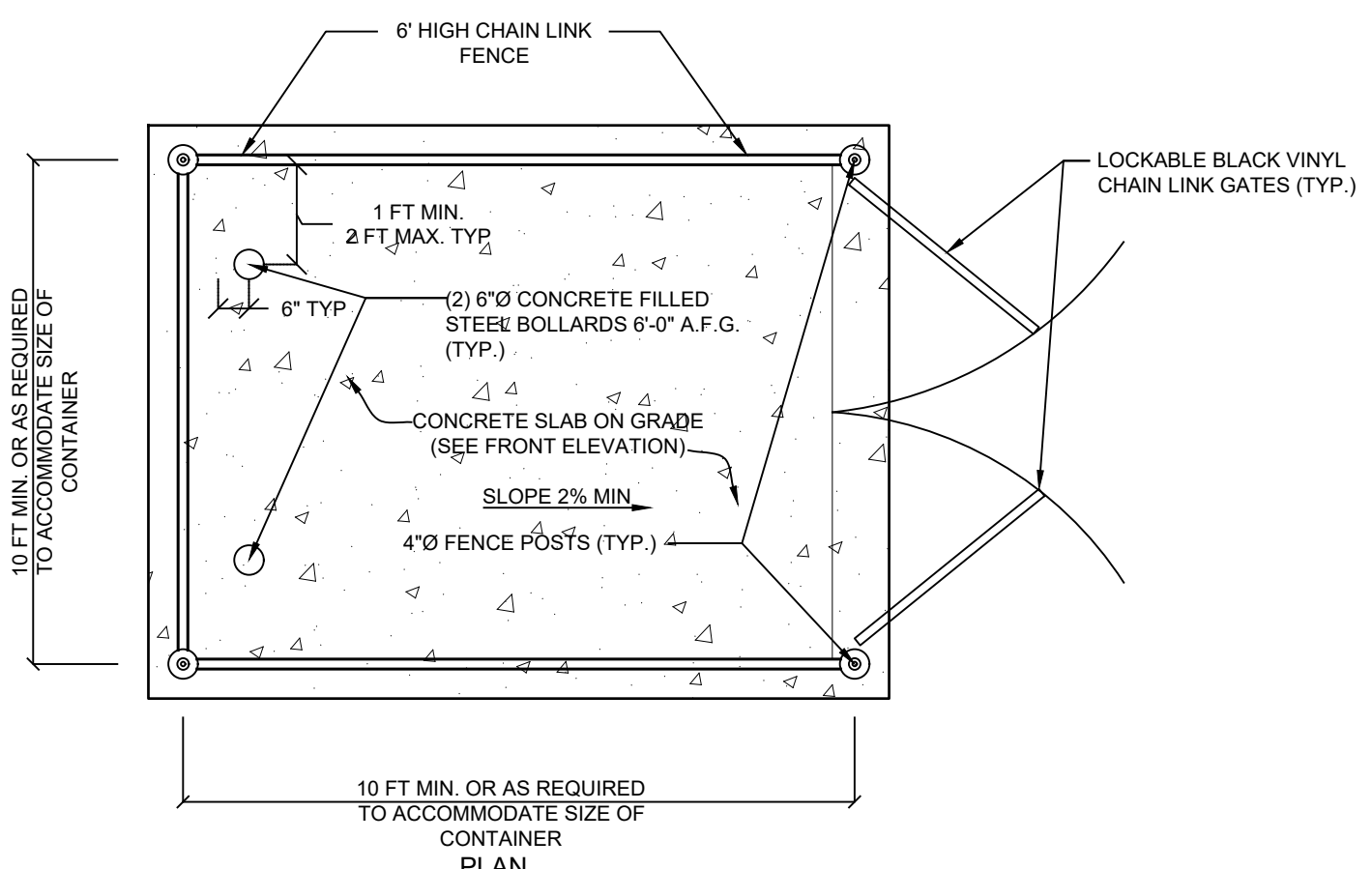
| SIGN | M.U.T.C.D. NUMBER | SIZE OF SIGN | TYPE OF MOUNT |
|------|-------------------|--------------|---------------|
| | P1-2 | 12" X 18" | GR. MT. |

- GENERAL NOTES:**
- All signage shall be in accordance with the latest edition of the national MUTCD and the N.Y.S Supplement (MUTCD), September 2007, including the following:
 - A. Letter size and series
 - B. Legend and background color
 - C. Reflectivity
 - D. Size of sign
 - The type of characters as specified in the standard specifications shall be as follows:

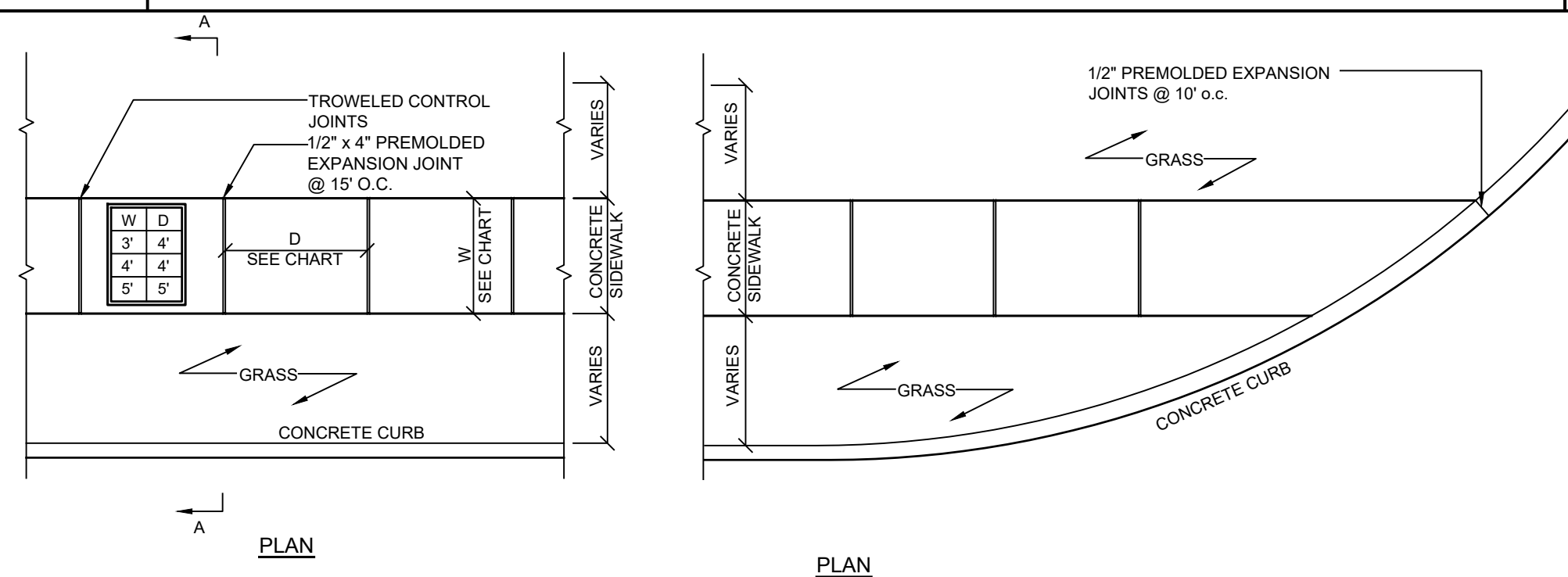
| MUTCD CODE LETTER | TYPE OF CHARACTER |
|-------------------|-------------------|
| G.I. | TYPE IV |
| R.P.W.M. | TYPE IV OR V |
 - Sign locations as shown on plans are approximate. The Contractor shall relocate existing signs and install new signs in accordance with the MUTCD, latest edition. The Contractor shall contact the Town Engineer to discuss/resolve problem areas.
 - Except where otherwise specified, parking signs shall be placed facing approaching traffic at an angle of between 30 and 45 degrees with the line of traffic flow. Parking signs shall be placed at each end of a regulation (single-headed arrows) and, within the regulation (double-headed arrows), at intervals not to exceed 200 ft.
 - Where new signs are installed the Contractor shall affix a label to the back of the sign panel. This label will show the date of installation and identification numbers.
 - Placement of W3-17 sign is prescribed in the General Municipal Law.



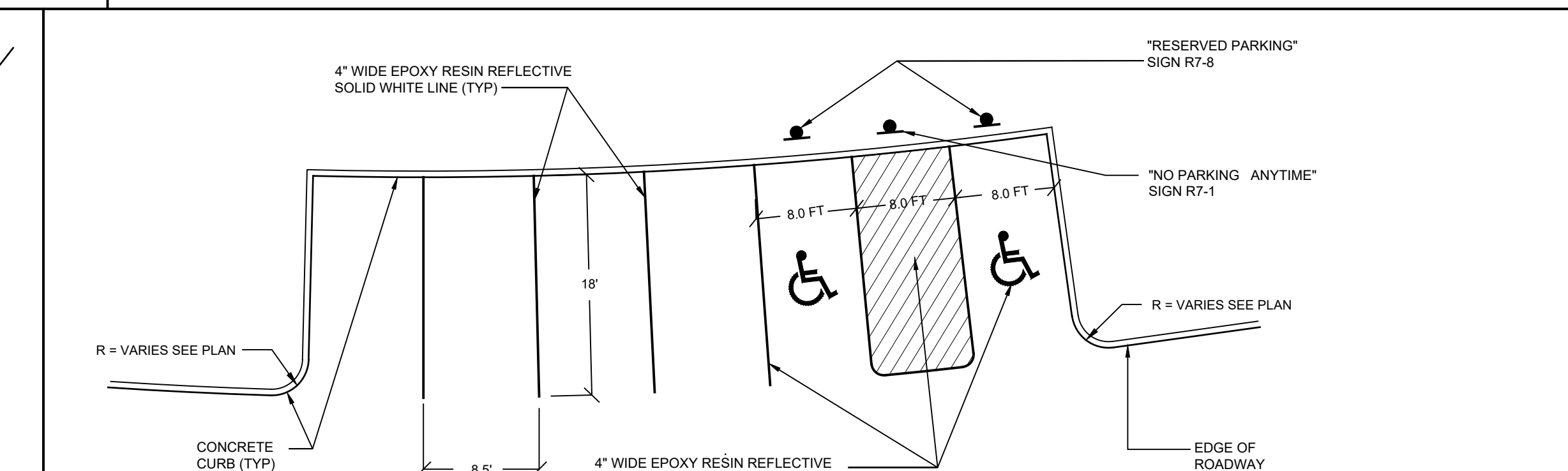
- NOTES:**
- GENERAL:**
- Sidewalk curb ramp type and location are as shown on the plans or as directed.
 - All sidewalk curb ramp types may be used as straight or curved curb sections.
 - Sidewalk curb ramp types may be different at each location within an intersection.
- SIDEWALK CURB RAMP CRITERIA:**
- The maximum slope of a sidewalk curb ramp shall be 1:12.
 - The maximum width of a sidewalk curb ramp shall be five feet. Exclusive of flared sides.
 - All sidewalk curb ramps shall have flush, smooth transitions to the adjacent street or highway surface.
- SURFACE FINISH:**
- The surface of all sidewalk curb ramps shall be stable, firm, and slip resistant (E.G. A coarse broom finish perpendicular to the ramp slope is acceptable on cement concrete curb ramps).
- SIDEWALK CURB RAMP PLACEMENT:**
- At a corner, where the curb radius is 25-feet or less, a single ramp (either type a or b) located diagonally can often serve crosswalks in two directions. However, a single ramp shall only be used where there is a minimum clear space of 48" falling entirely within the projection of the intersection curbs (see figure 1). Where the radius exceeds 25' or the minimum 48" clear space is not achievable, then separate ramps should be provided for each crosswalk.
- PAVEMENT MARKINGS AT CROSSWALKS:**
- Sidewalk curb ramps at marked crossings shall be wholly contained within the markings excluding any flared sides.
 - At a corner where a single ramp (either type a or b; located diagonally serves two crosswalks, this shall be a 48" minimum clear space at the ramp bottom wholly contained within the intersection crosswalk markings.
 - Where stop lines are necessary, they shall be located in advance of sidewalk curb ramps.
- UTILITIES - DRAINAGE INLETS OR GRATES:**
- Where feasible, provide for drainage inlets or grates immediately upstream from the curb ramps. Rectangular or rectangular drainage grates are to be used in the area of curb ramps.
 - Do not place signal poles, sign posts, utility poles, fire hydrants, etc., within the ramp or side flare areas.



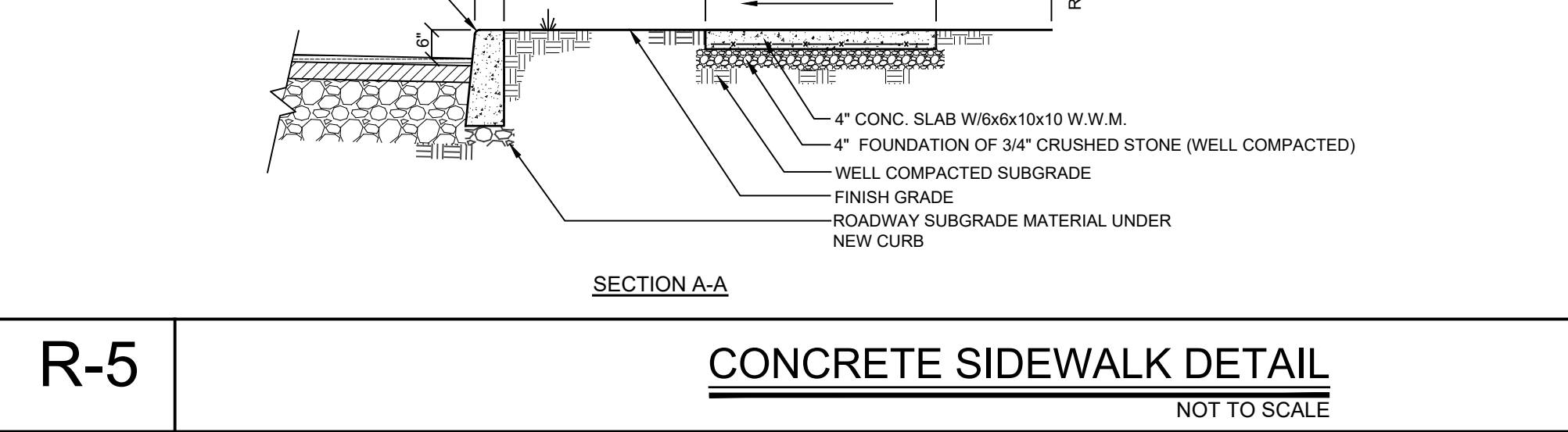
R-1 TRAFFIC SIGN DETAIL NOT TO SCALE



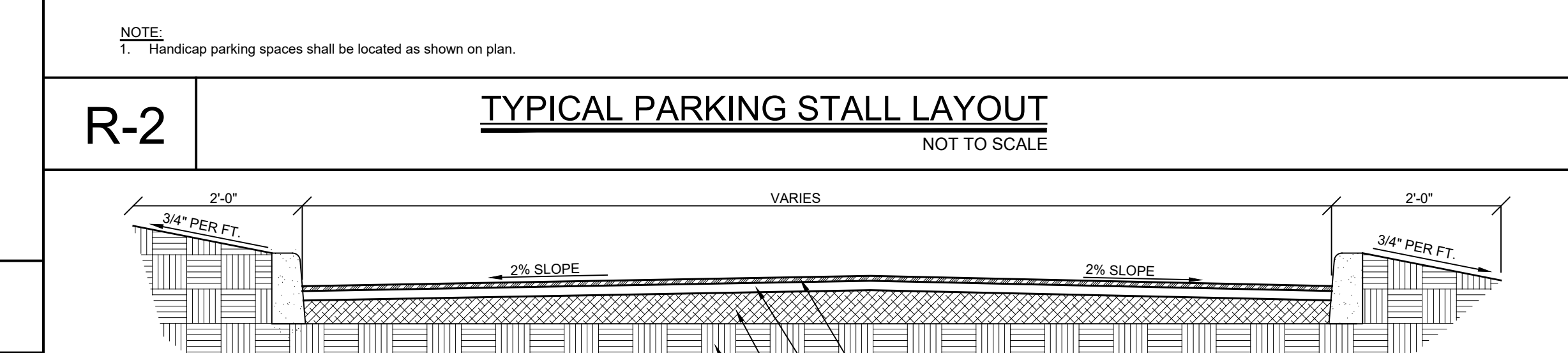
R-4 SIDEWALK CURB-RAMP DETAIL NOT TO SCALE



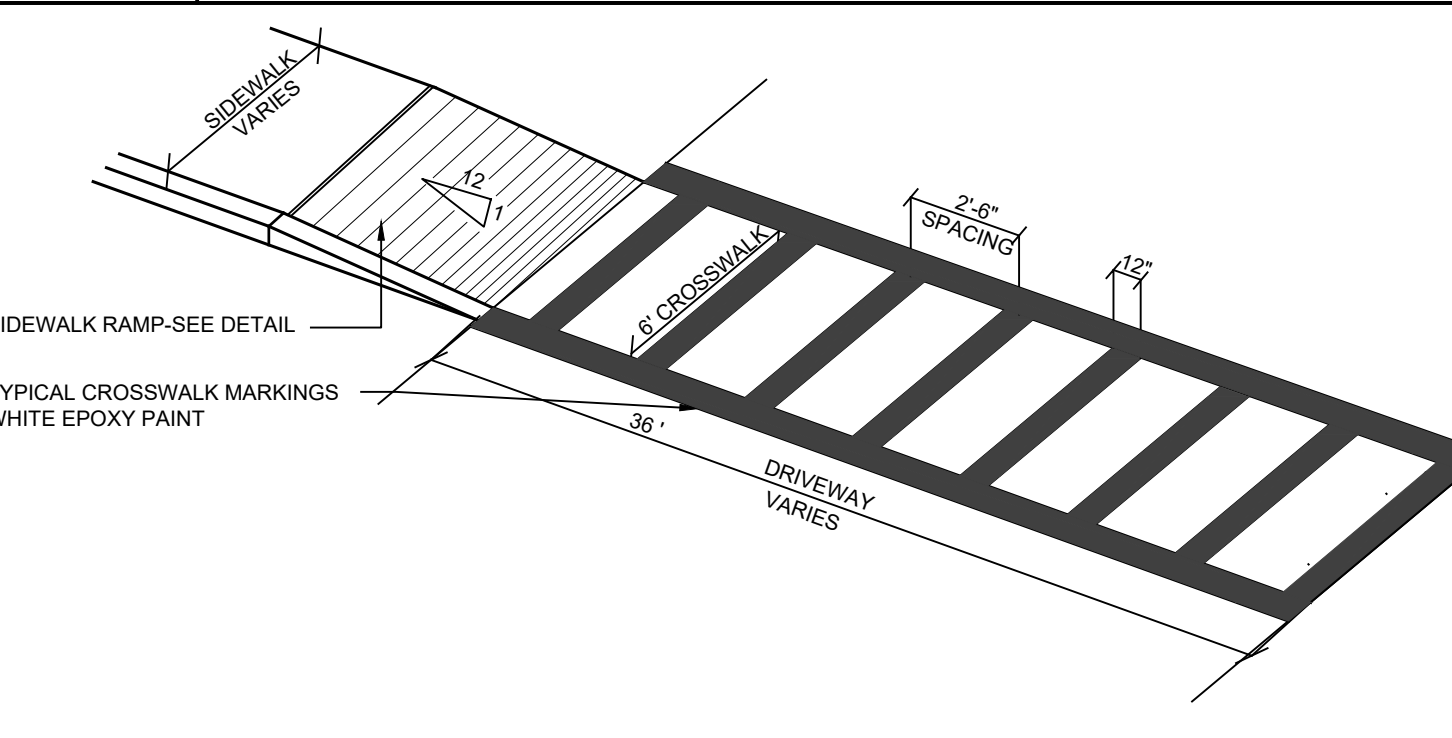
R-5 CONCRETE SIDEWALK DETAIL NOT TO SCALE



R-2 TYPICAL PARKING STALL LAYOUT NOT TO SCALE



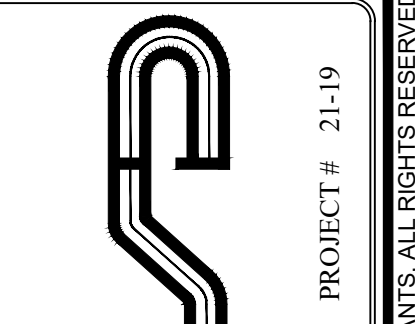
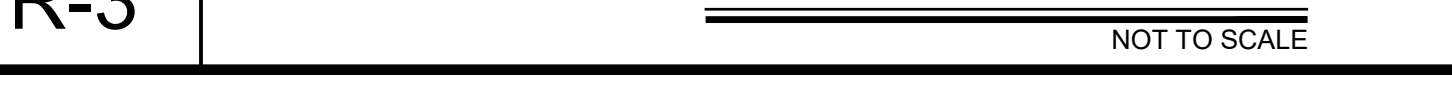
S-1 TRASH ENCLOSURE DETAIL NOT TO SCALE



R-6 TYPICAL DRIVEWAY AND PARKING LOT SECTION NOT TO SCALE



R-3 PAINTED CROSS WALK NOT TO SCALE



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| Revisions: | No. | Date | Comments |
|------------|-----|----------|--------------|
| | 1 | 11/12/21 | Plan Updates |
| | 2 | 2/15/22 | PD Memo |

| | | |
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| SCALE: NTS | DRAWN BY: TK | DATE: 7/28/21 |
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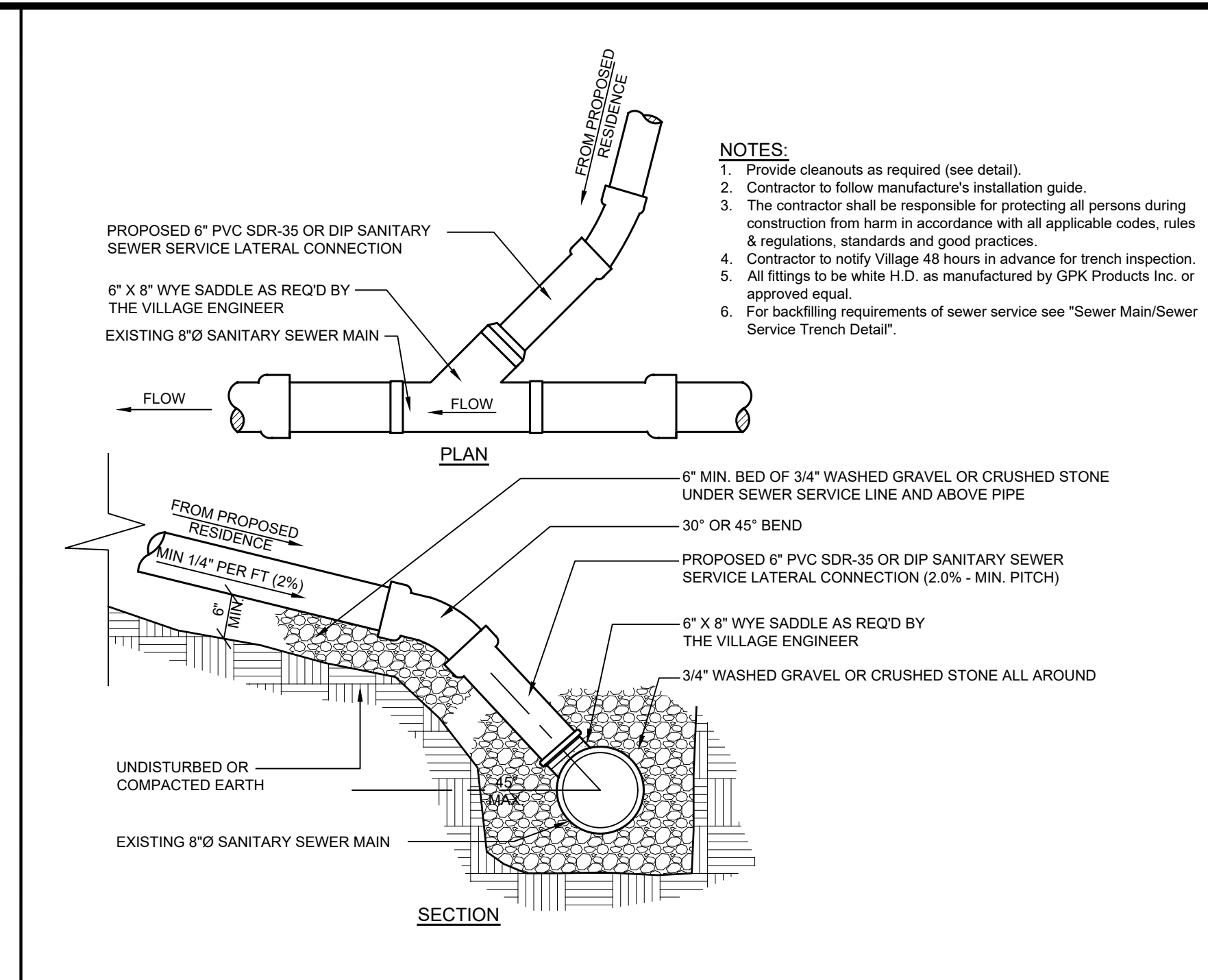
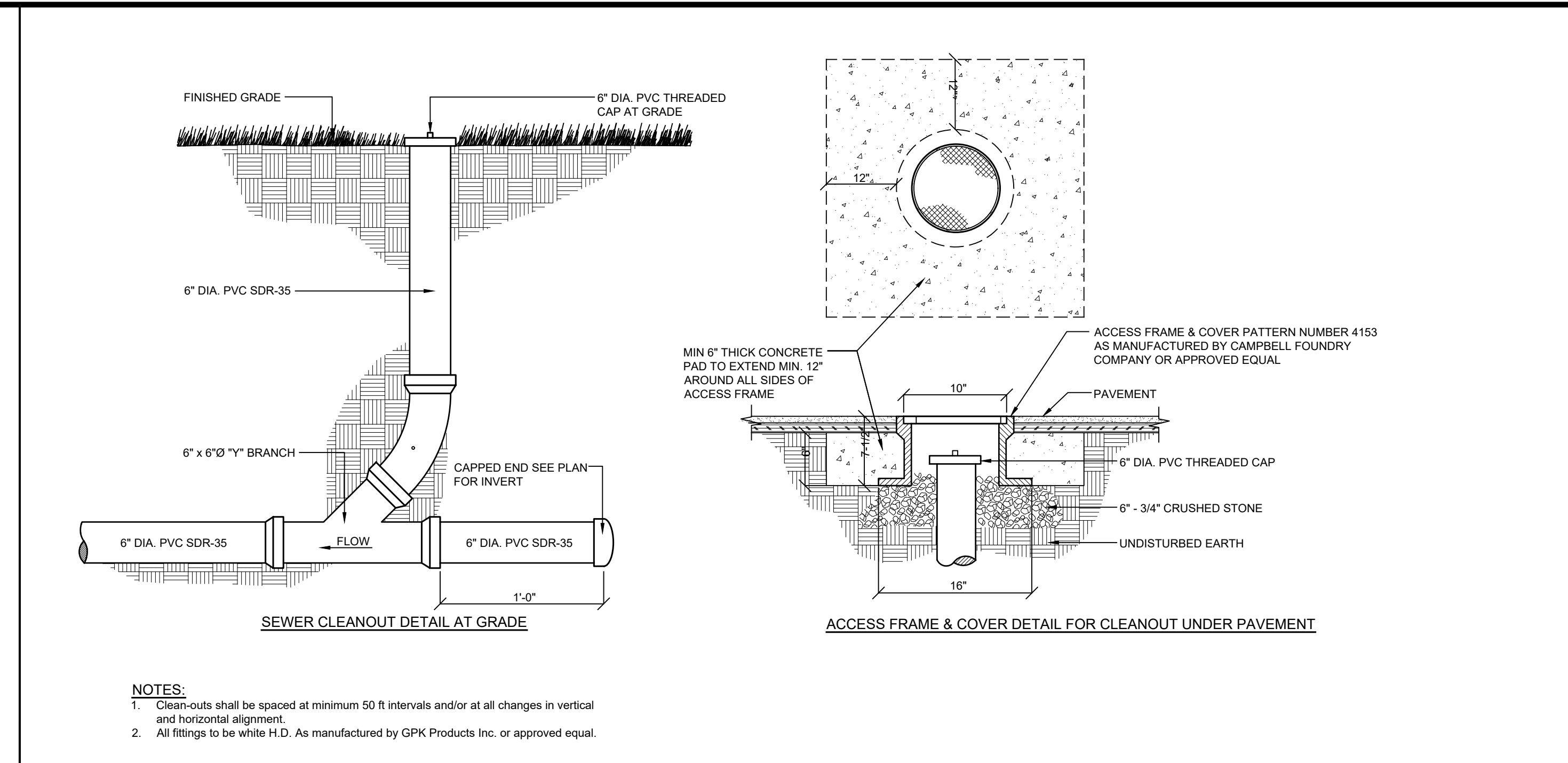
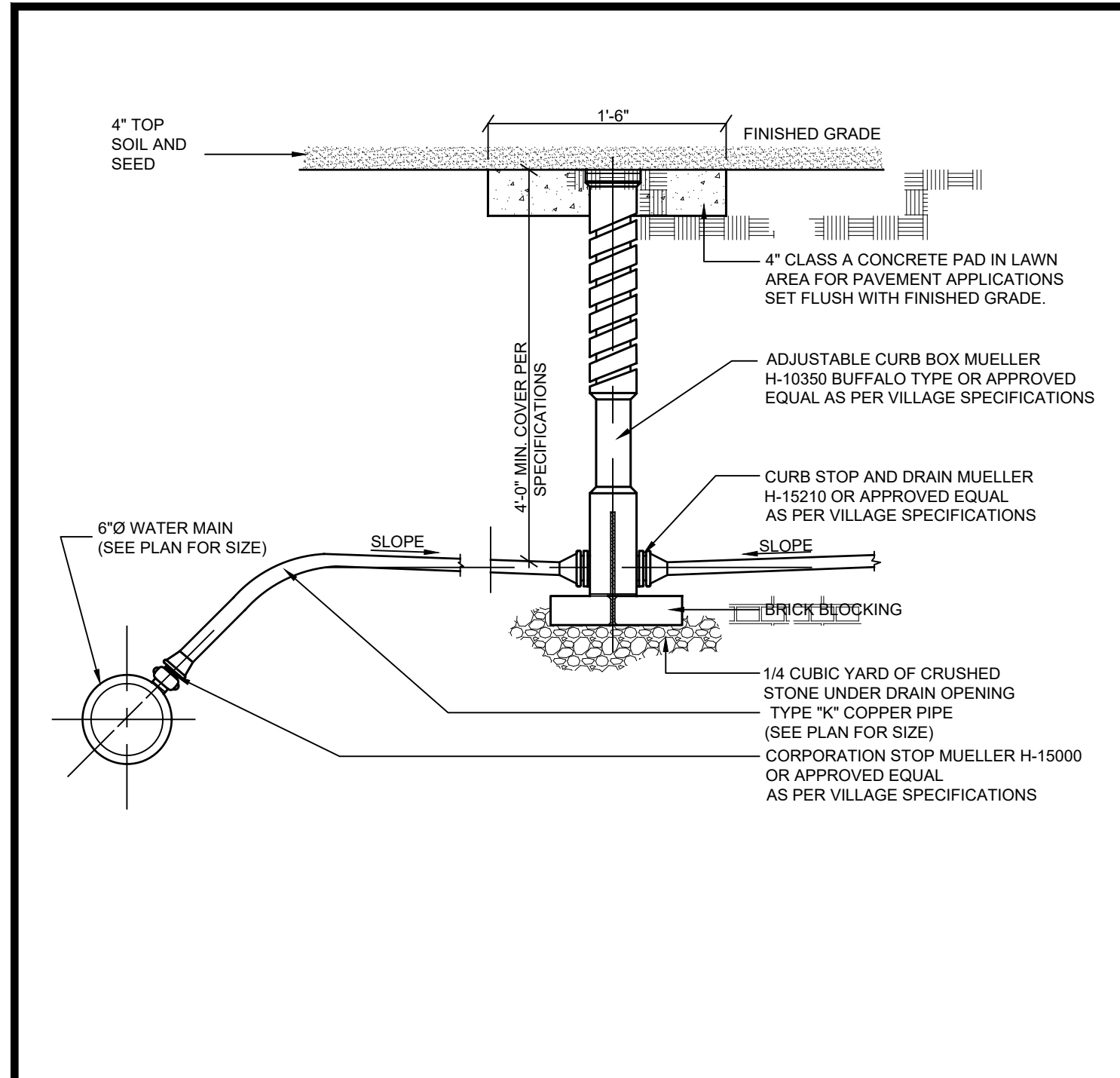
SITE DETAILS

SITE PLAN PREPARED FOR
HOME & HEARTH
 1750 EAST MAIN STREET
 Yorktown, New York
 Westchester County, New York

E:\2021\18 HOME & HEARTH\ENGINEERING\CD\21-18 HOME & HEARTH\18-01 DETAILS.CDWG, 10/20/21, 4:21:24 PM

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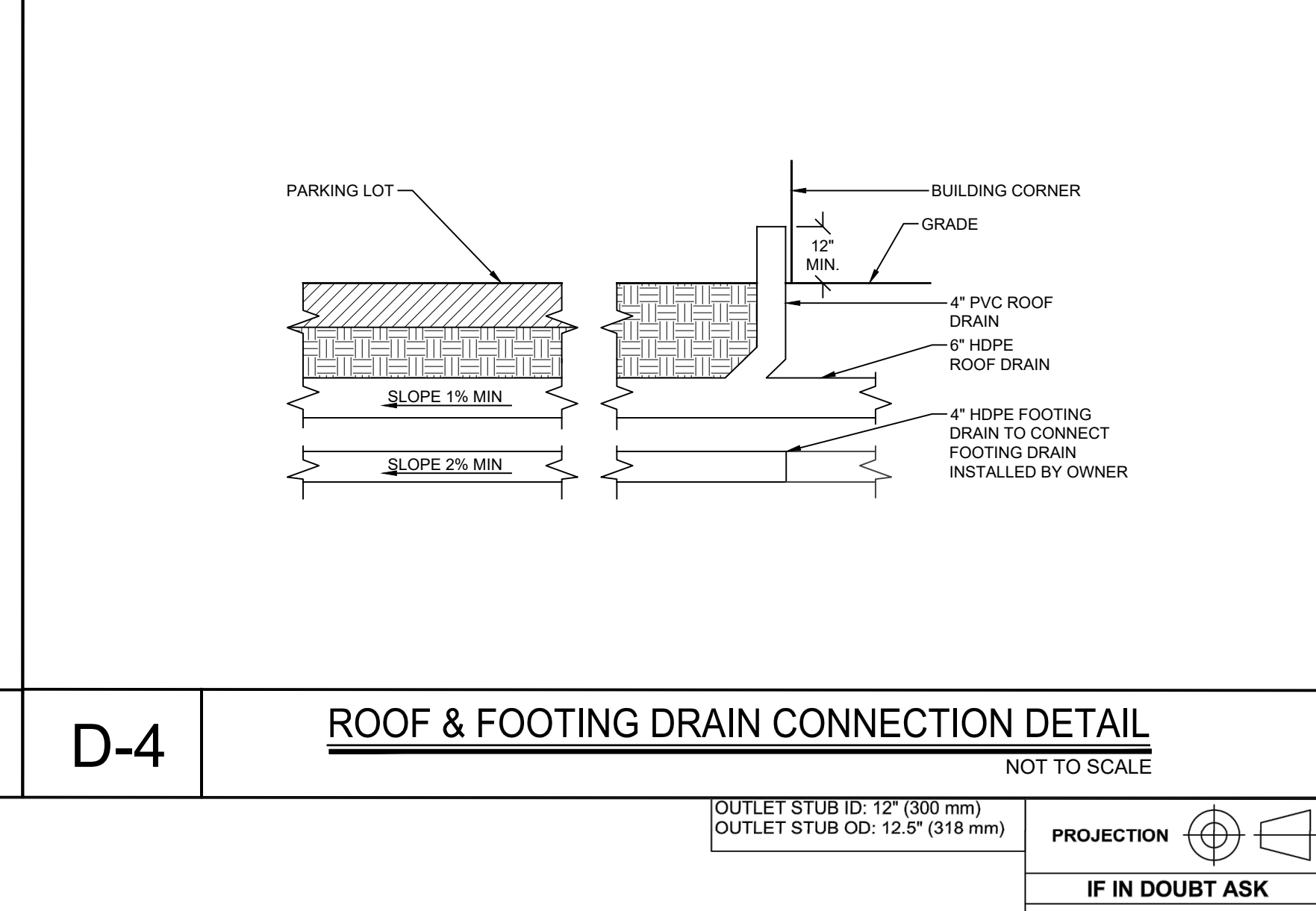
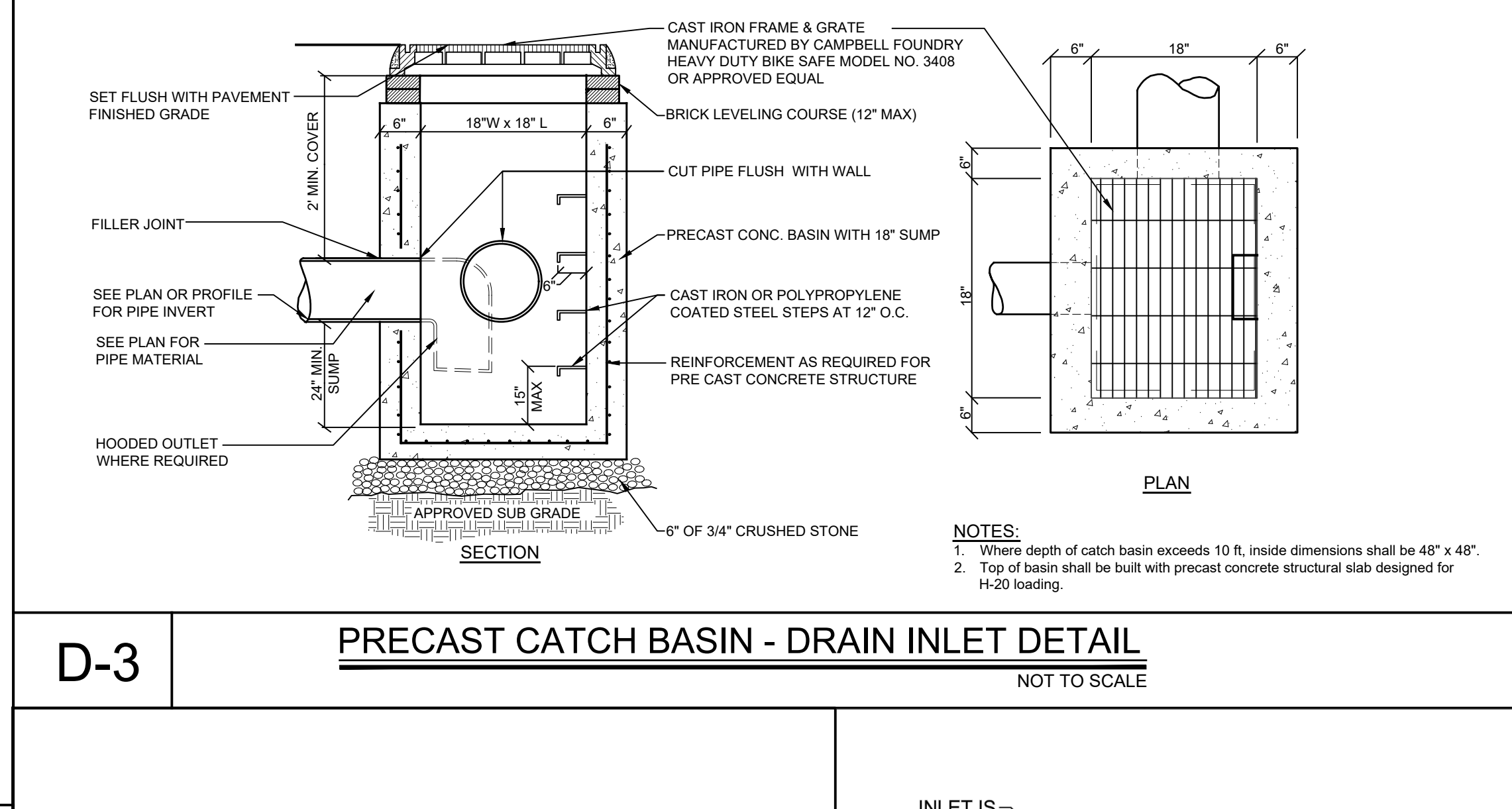
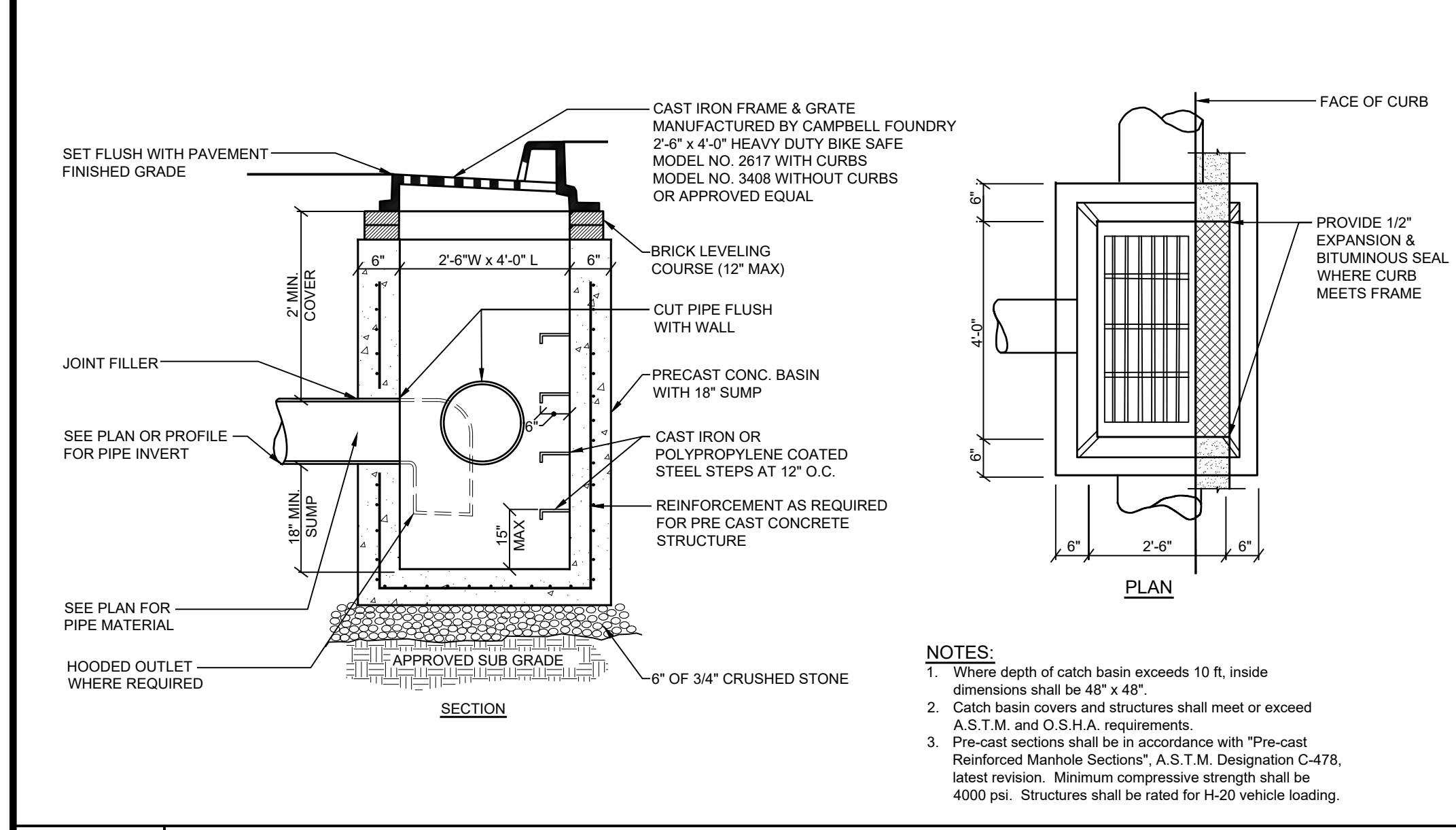
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W-1 WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

S-1 GRAVITY SEWER LATERAL CLEAN-OUT DETAIL
NOT TO SCALE

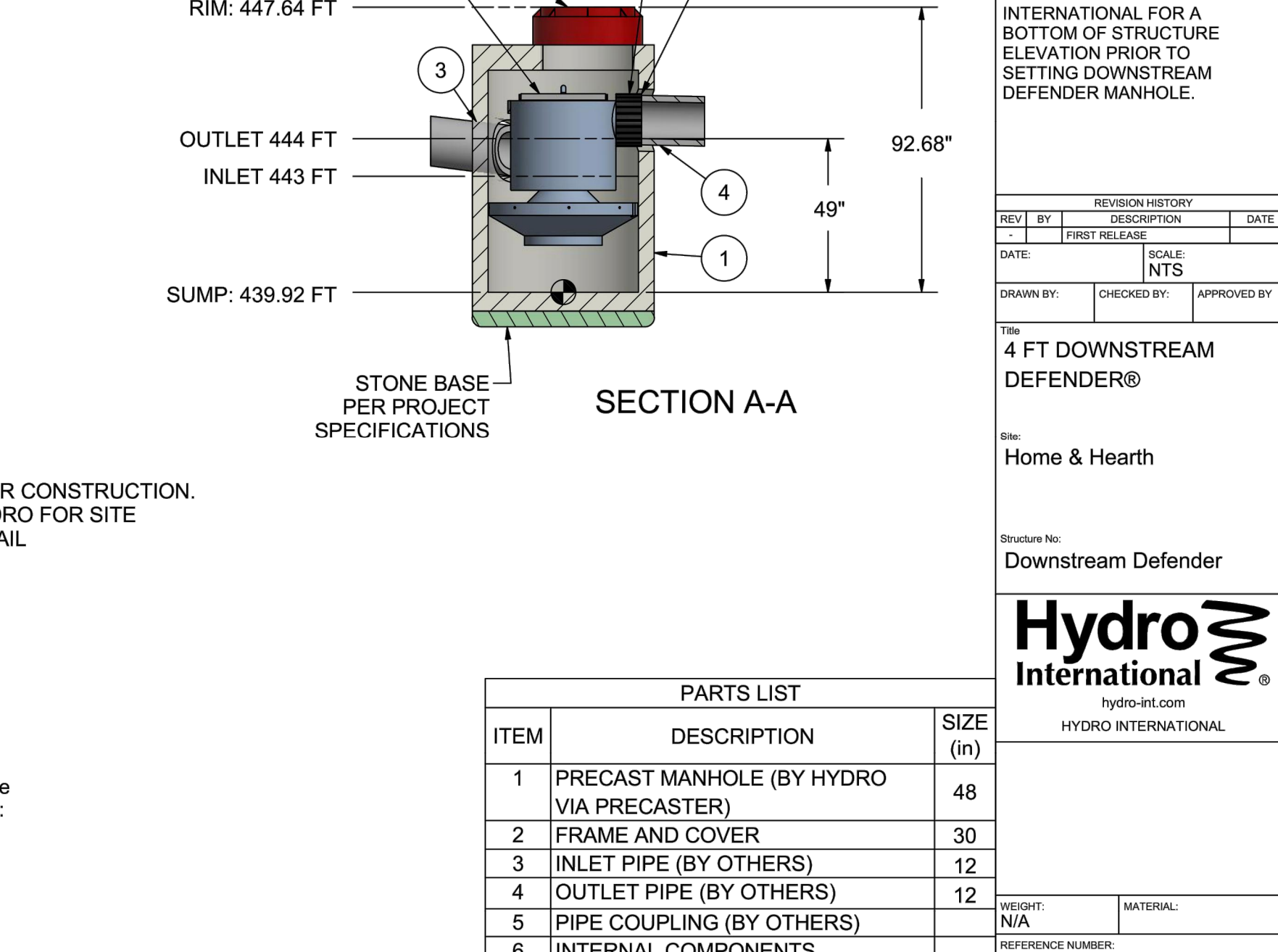
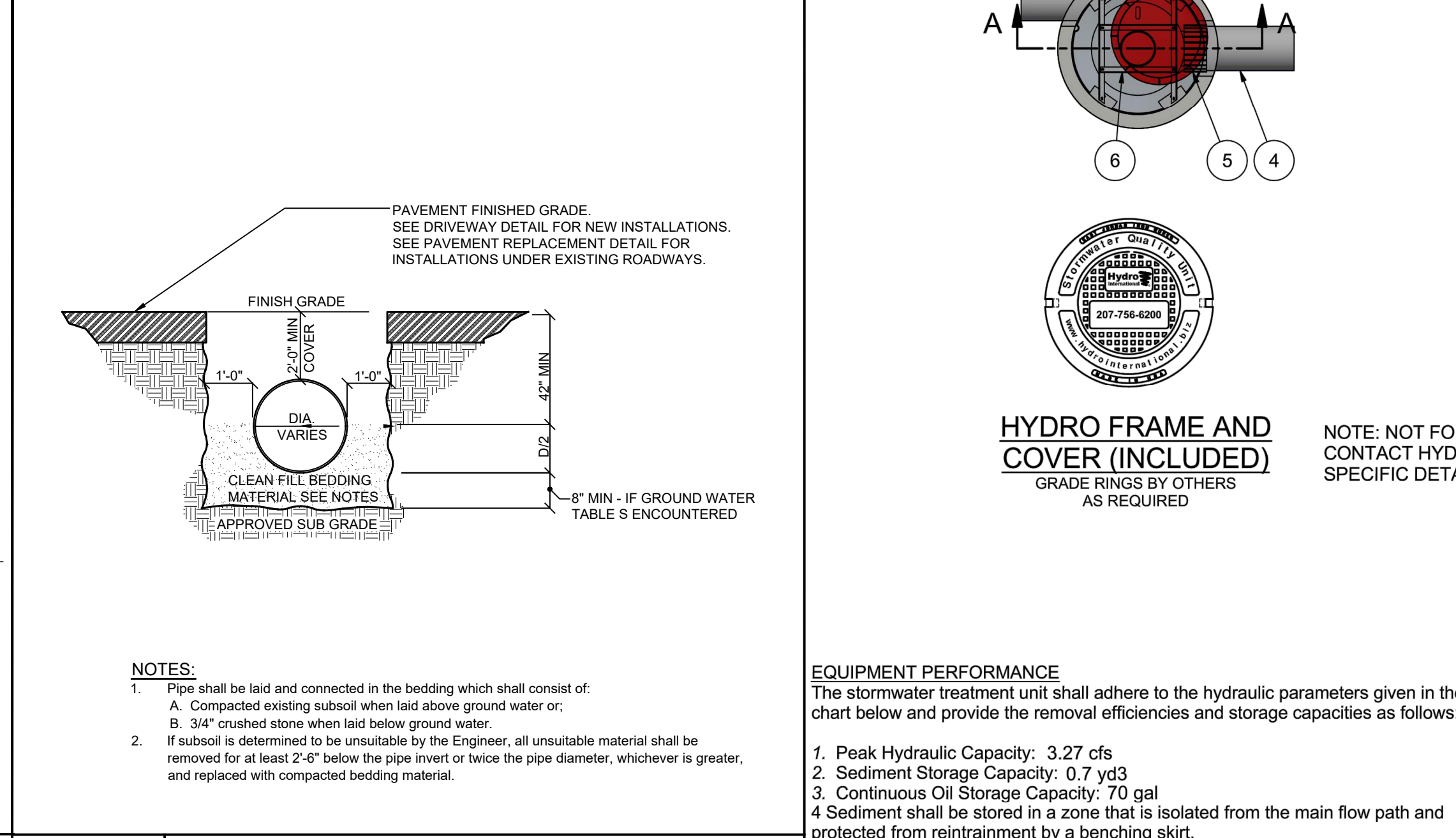
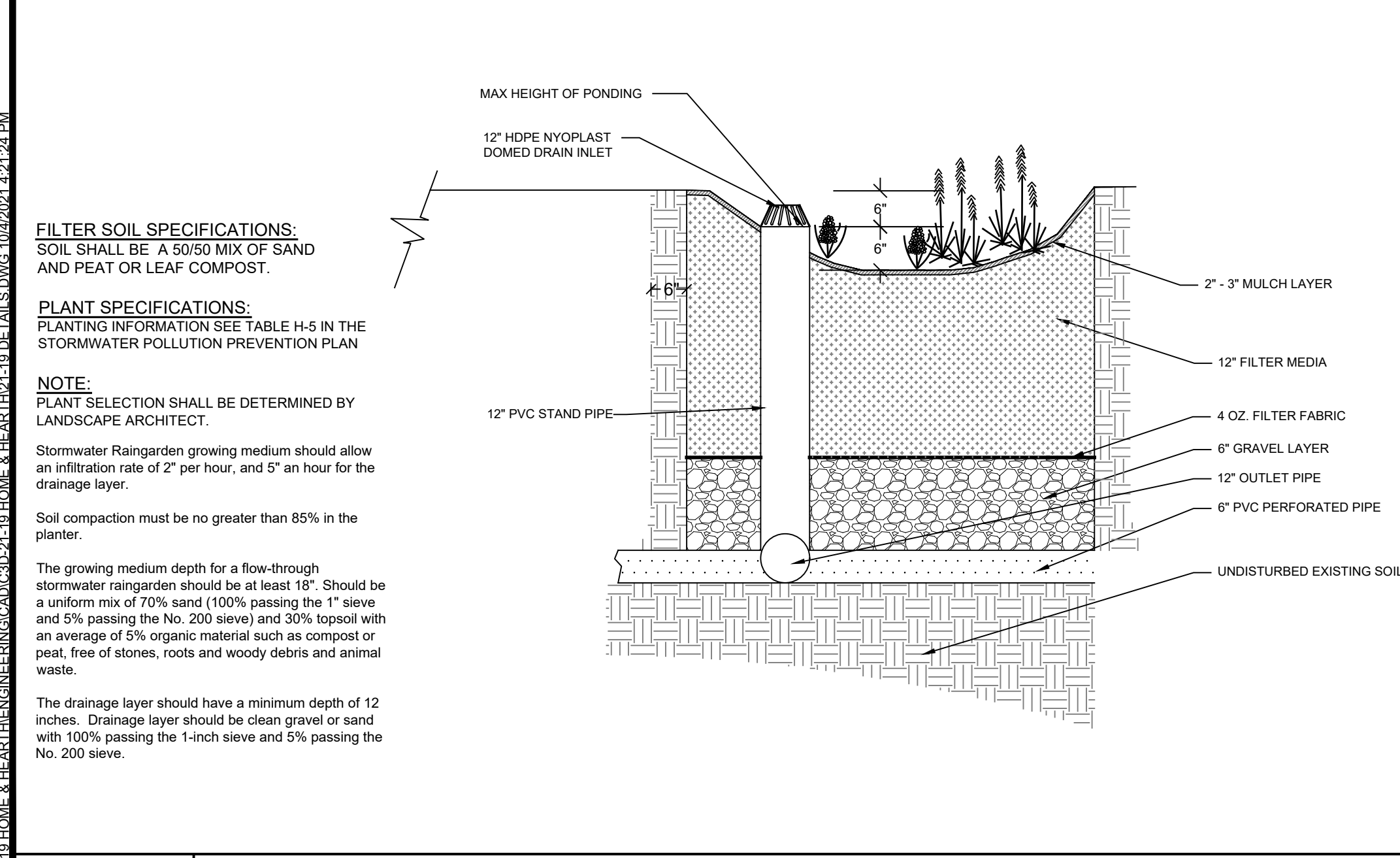
S-2 SEWER CONNECTION TO PROPOSED MAIN-LINE DETAIL
NOT TO SCALE



D-1 TYPICAL CATCH BASIN DETAIL
NOT TO SCALE

D-3 PRECAST CATCH BASIN - DRAIN INLET DETAIL
NOT TO SCALE

D-4 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE



SW-4 RAINGARDEN DETAIL
NOT TO SCALE

D-2 STORM PIPE BEDDING DETAIL
NOT TO SCALE

D-4 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE

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PROJECT # 21-19

Professional Engineer
STATE OF NEW YORK
JOSEPH C. RINNA, P.E.
NYS Lic. No. 64431

| Revisions: | No. | Date | Comments |
|------------|-----|----------|--------------|
| | 1 | 11/12/21 | Plan Updates |
| | 2 | 2/15/22 | PD Memo |

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| SCALE: | NTS |
| DRAWN BY: | TK |
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UTILITY DETAILS

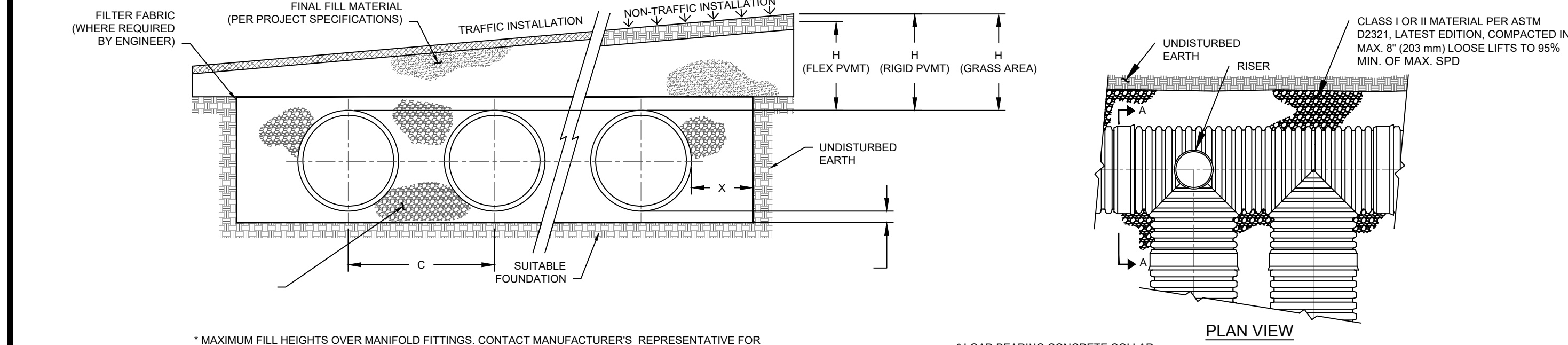
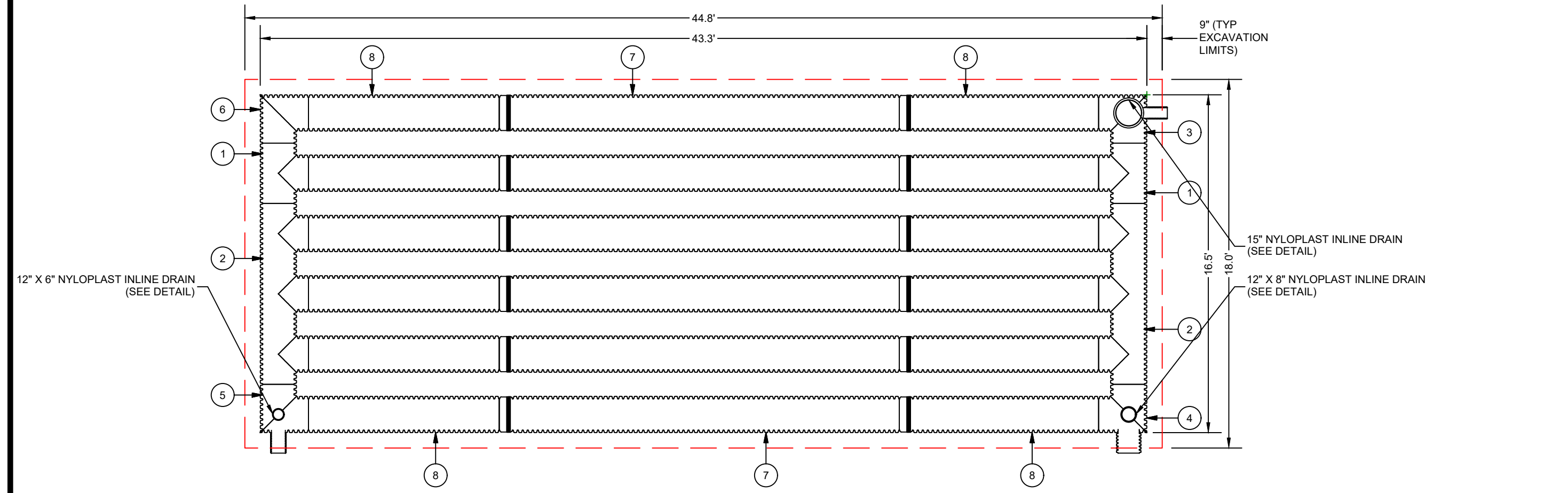
HOME & HEARTH
1750 EAST MAIN STREET
Town of Yorktown
Westchester County, New York

SITE PLAN PREPARED FOR

| ITEM | QTY | ALT. QTY | PART # | DESCRIPTION | STAN | VENDOR | NOTE | ITEM | QTY | ALT. QTY | PART # | DESCRIPTION | STAN | VENDOR | NOTE |
|------|-----|----------|-----------|--------------------------|------|--------|------------|------|----------|----------|---------------|---|------|--------|------------|
| 1 | 2 | | 1851AN | 18" MANIFOLD TEE | STAN | ADS | SEE DETAIL | 5-2 | 1 | | Standard_Stub | 8" FAB STUB | STAN | ADS | COMPONENT |
| 2 | 2 | | 1853AN | 18" TRIPLE MANIFOLD TEE | STAN | ADS | SEE DETAIL | 6 | 1 | | 1898AN | 18" MANIFOLD 90 DEG BEND | STAN | ADS | SEE DETAIL |
| 3 | 1 | | 1888ANC-1 | 18" MANIFOLD 90 DEG BEND | COMP | ADS | SEE DETAIL | 7 | 6 STICKS | 118 LF | 18850020IB | 18" N12 HWY STIB SOLID 20" | STAN | ADS | AS SHOWN |
| 3-1 | 1 | | 0603AN | 8" FAB STUB | STAN | ADS | COMPONENT | 8 | 6 STICKS | 115 LF | 18850020IB | 18" N12 HWY STIB SOLID 20" | STAN | ADS | FIELD CUT |
| 3-2 | 1 | | 1503AN | 15" MANIFOLD INLET RISER | STAN | ADS | COMPONENT | 9 | 18 | | 1865AA | 18" SPLIT COUPLER (150/PALLET) | STAN | ADS | NOT SHOWN |
| 4 | 1 | | 1888ANC-2 | 18" MANIFOLD 90 DEG BEND | COMP | ADS | SEE DETAIL | 10 | 1 ROLLS | 259 SY | 0601TG | 601.15' X 300' (500 SY) (NTP/PE SCAN) (20% OVERAGE) | STAN | ADS | SEE DETAIL |
| 4-1 | 1 | | 0603AN | 8" MANIFOLD INLET RISER | STAN | ADS | COMPONENT | 11 | 1 | | 2712AGSN | 12" INLINE DRAIN 12x6 ADS | STAN | ADS | SEE DETAIL |
| 4-2 | 1 | | 1206AN | 12" FAB STUB | STAN | ADS | COMPONENT | 12 | 1 | | 2712AGSN | 12" INLINE DRAIN 12x6 ADS | STAN | ADS | SEE DETAIL |
| 5 | 1 | | 1888ANC-3 | 18" MANIFOLD 90 DEG BEND | COMP | ADS | SEE DETAIL | 13 | 1 | | 2715AG | 15" INLINE DRAIN SPEC W/GRATE | STAN | ADS | SEE DETAIL |
| 5-1 | 1 | | 0603AN | 8" MANIFOLD INLET RISER | STAN | ADS | COMPONENT | 14 | 2095 CF | 78 CY | NA | EXCAVATION | NA | NA | NOT SHOWN |

NOTES

- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE PIPE COVER REQUIREMENTS ARE MET.
- STUB SIZES AND INVERTS TO BE VERIFIED BY THE SITE DESIGN ENGINEER PRIOR TO FABRICATION.
- ADS RISERS ARE FABRICATED 30" (900 mm) FROM TOP OF PIPE TO TOP OF RISER DUE TO SHIPPING LIMITATIONS. ADDITIONAL PIPE AND COUPLERS CAN BE USED TO EXTEND THE RISERS TO GRADE.
- LAYOUT SHOWN DOES NOT INCLUDE ADDITIONAL PIPE & MANIFOLD NEEDED FOR PROPER PIPE INSERTION INTO STRUCTURES.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



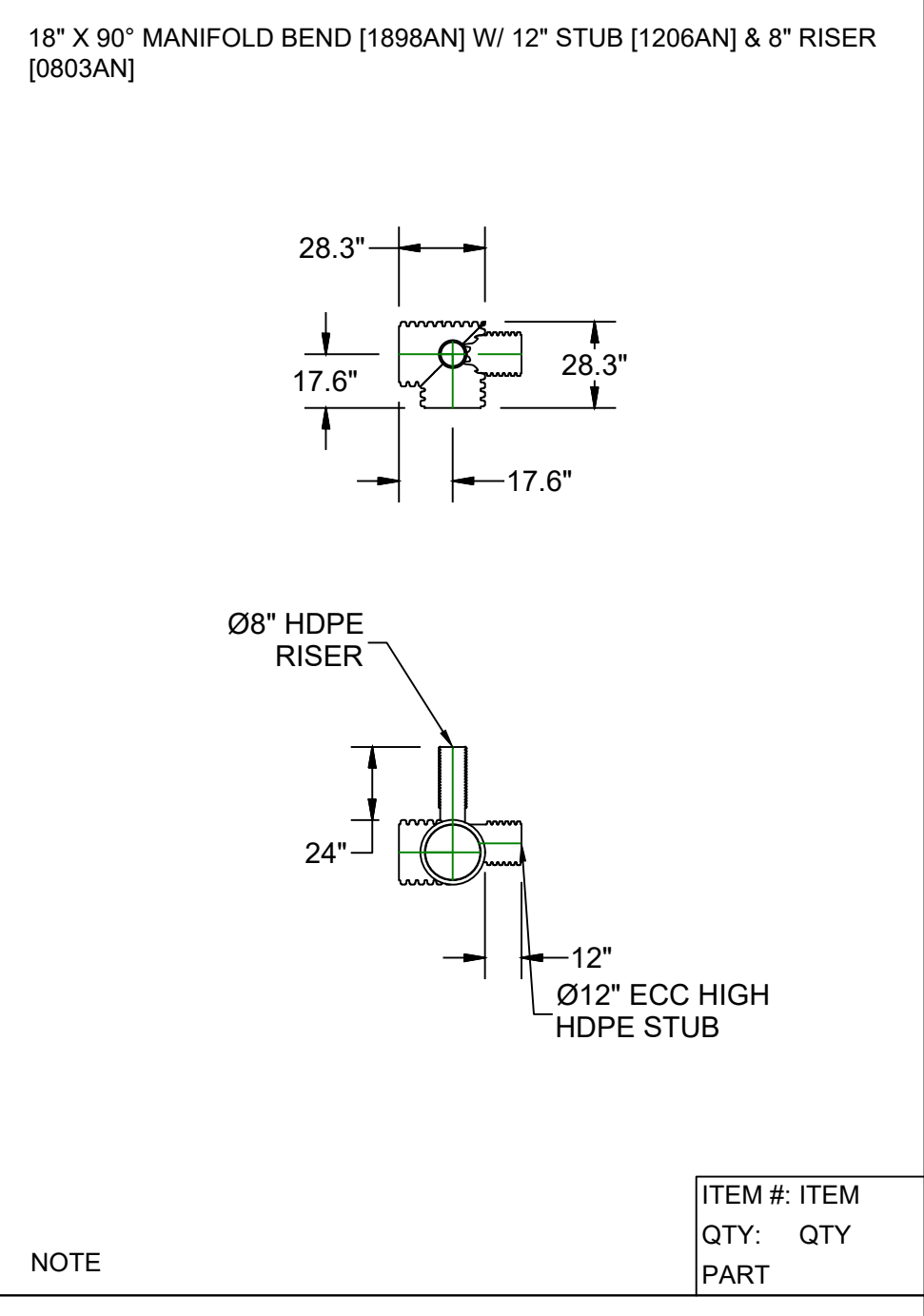
- NOTES:**
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" LATEST EDITION.
 - ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
 - MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL WHEN REQUIRED. SEE ASTM D2321.
 - FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (102 mm) FOR 4"-24" (100-600 mm), 6" (152 mm) FOR 30-60" (750-900 mm).
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" (152 mm) ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" (305 mm) FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" (305 mm) UP TO 36" (900 mm) DIAMETER PIPE AND 24" (610 mm) OF COVER FOR 42-60" (1050-1500 mm) DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. MAXIMUM FILL HEIGHT LIMITED TO 8 FT (2.4 m) OVER FITTINGS FOR STANDARD INSTALLATIONS. CONTACT A SALES REPRESENTATIVE WHEN MAXIMUM FILL HEIGHTS EXCEED 8 FT (2.4 m) FOR INSTALLATION CONSIDERATIONS.

ADS RETENTION/DETENTION PIPE SYSTEM SPECIFICATION

- SCOPE**
THIS SPECIFICATION DESCRIBES ADS RETENTION/DETENTION PIPE SYSTEMS FOR USE IN NON-PRESSURE GRAVITY-FLOW STORM WATER COLLECTION SYSTEMS UTILIZING A CONTINUOUS OUTFALL STRUCTURE.
- PIPE REQUIREMENTS**
ADS RETENTION/DETENTION SYSTEMS MAY UTILIZE ANY OF THE VARIOUS PIPE PRODUCTS BELOW:
- N-12 STIB PIPE (PER AASHTO) SHALL MEET AASHTO M 294, TYPE S OR ASTM F2306
 - N-12 STIB PIPE (PER ASTM F2848) SHALL MEET ASTM F2848
 - N-12 MEGA GREEN STIB SHALL MEET ASTM F2848
- ALL PRODUCTS SHALL HAVE A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. ALL STIB PIPE PRODUCTS ARE AVAILABLE AS PERFORATED OR NON-PERFORATED. WTIB PIPE PRODUCTS ARE ONLY AVAILABLE AS NON-PERFORATED. PRODUCT-SPECIFIC PIPE SPECIFICATIONS ARE AVAILABLE IN THE DRAINAGE HANDBOOK SECTION 1 "SPECIFICATIONS".
- JOINT PERFORMANCE**
PLAIN END / SOIL TIGHT (STIB)
STIB PIPE SHALL BE JOINED USING A BELL AND SPIGOT JOINT. THE BELL AND SPIGOT JOINT SHALL MEET THE SOIL-TIGHT REQUIREMENTS OF ASTM F2306 AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477.
- PLAIN END PIPE AND FITTINGS CONNECTIONS SHALL BE JOINED WITH COUPLING BANDS COVERING AT LEAST TWO FULL CORRUGATIONS ON EACH END OF THE PIPE. GASKETED SOIL-TIGHT COUPLING BAND CONNECTIONS SHALL INCORPORATE A CLOSED-CELL SYNTHETIC EXPANDED RUBBER GASKET MEETING THE REQUIREMENTS OF ASTM D1056 GRADE 2A2. GASKETS, WHEN APPLICABLE, SHALL BE INSTALLED BY THE PIPE MANUFACTURER.
- FITTINGS**
FITTINGS SHALL CONFORM TO ASTM F2306 AND MEET JOINT PERFORMANCE INDICATED ABOVE FOR FITTINGS CONNECTIONS. CUSTOM FITTINGS ARE AVAILABLE AND MAY REQUIRE SPECIAL INSTALLATION CRITERION.
- INSTALLATION**
INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN NON-TRAFFIC AREAS FOR 12-60 INCH (300-1500 mm) DIAMETERS SHALL BE 1 FT (0.3 m). MINIMUM COVER IN TRAFFIC AREAS FOR 12-36 INCH (300-900 mm) DIAMETERS SHALL BE 1 FT (0.3 m) AND FOR 42-60 INCH (1050-1500 mm) DIAMETERS, THE MINIMUM COVER SHALL BE 2 FT (0.6 m). BACKFILL SHALL CONSIST OF CLASS I (COMPACTED) OR CLASS II (MINIMUM 95% SPD) MATERIAL, WITH THE EXCEPTION THAT 60 INCH (1500 mm) SYSTEMS SHALL USE CLASS I MATERIAL ONLY. MINIMUM COVER HEIGHTS DO NOT ACCOUNT FOR PIPE BUOYANCY. REFER TO ADS TECHNICAL NOTE 5.05 "PIPE FLOATION" FOR BUOYANCY DESIGN CONSIDERATIONS. MAXIMUM COVER OVER SYSTEM USING STANDARD BACKFILL IS 8 FT (2.4 m). CONTACT A REPRESENTATIVE WHEN MAXIMUM FILL HEIGHT MAY BE EXCEEDED. ADDITIONAL INSTALLATION REQUIREMENTS ARE PROVIDED IN THE DRAINAGE HANDBOOK SECTION 6 "RETENTION/DETENTION".
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

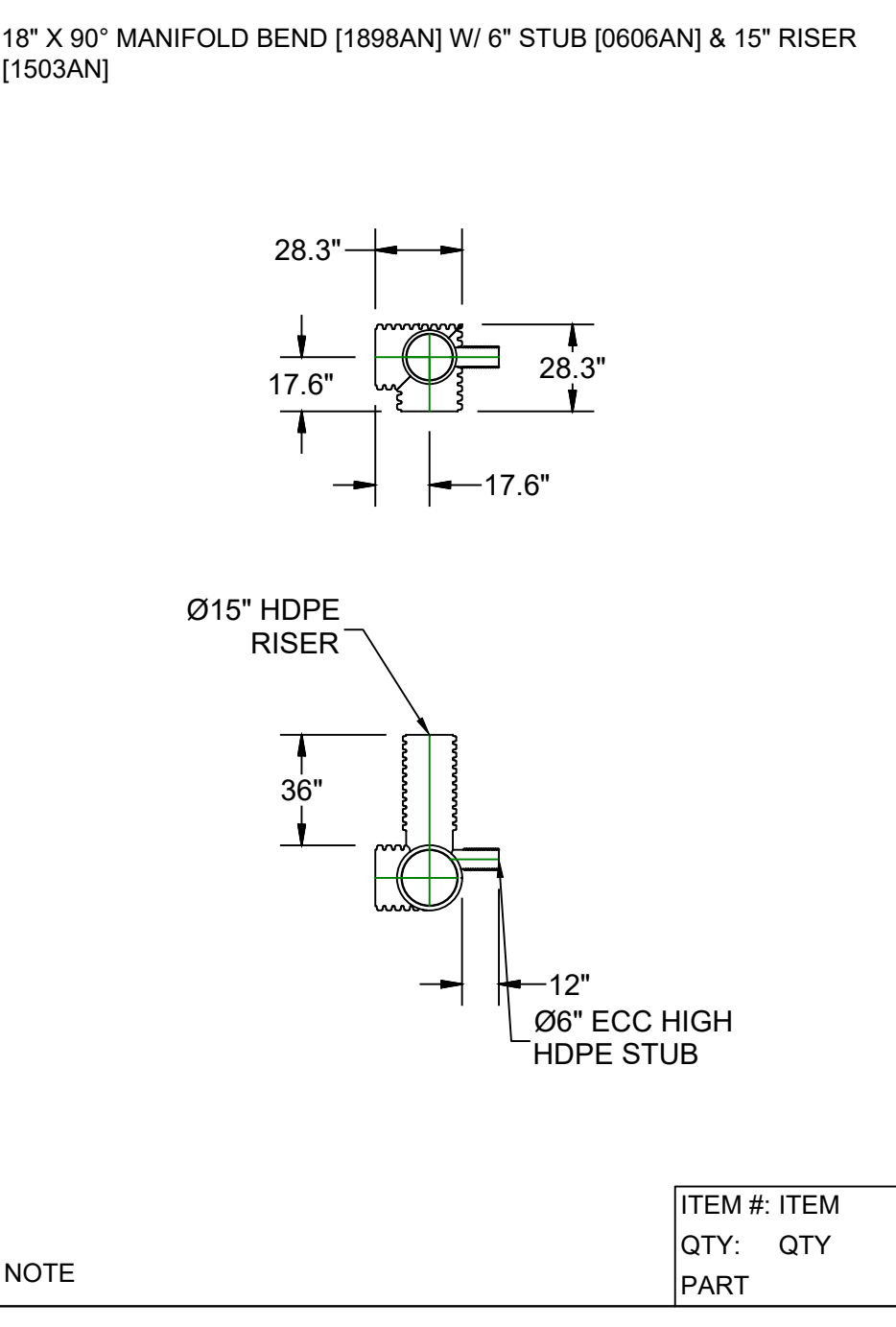
THE UNDERSIGNED HEREBY APPROVES THE ATTACHED PAGES.

CUSTOMER _____ DATE _____



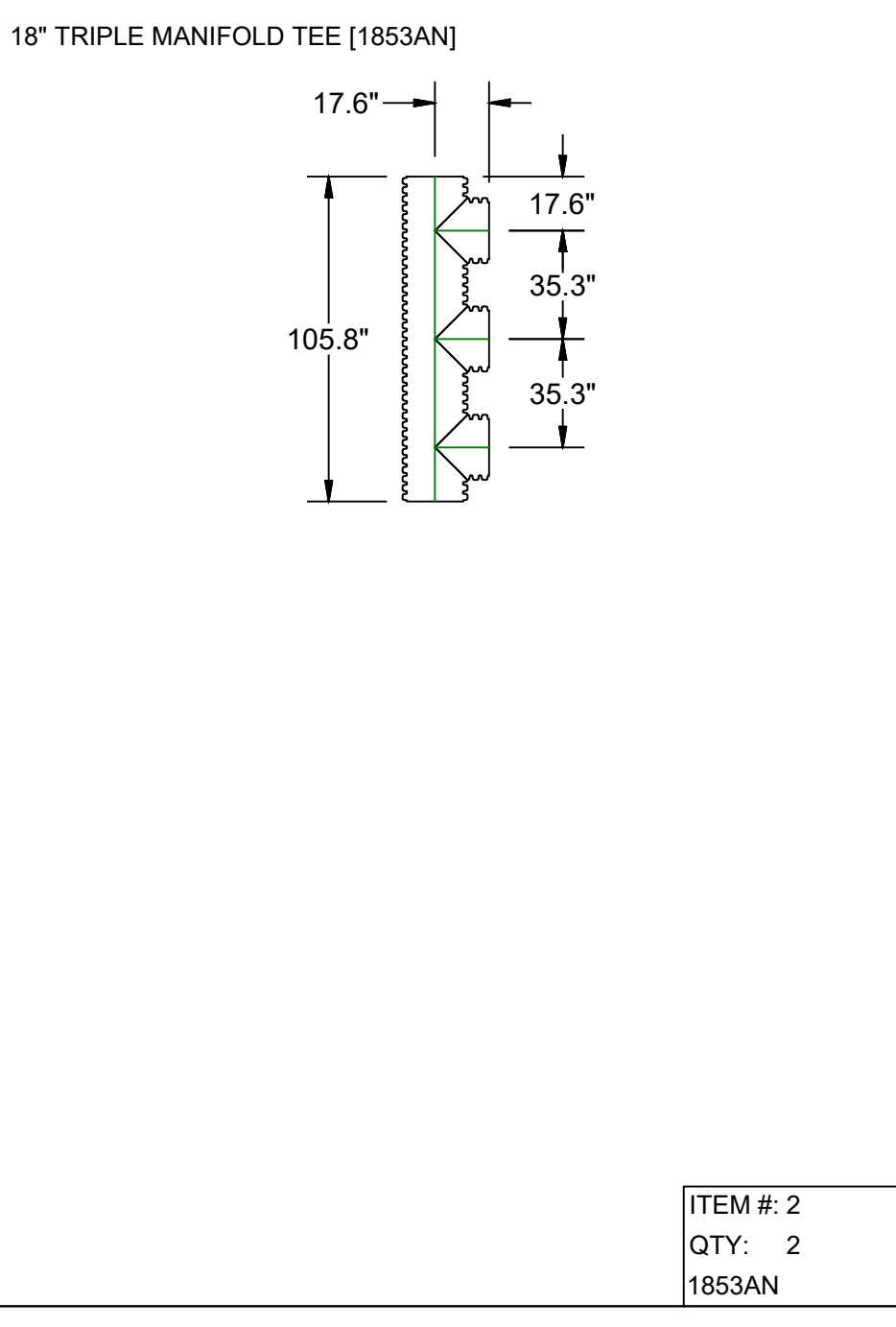
NOTE

ITEM # 1
QTY: 1
PART 1898AN



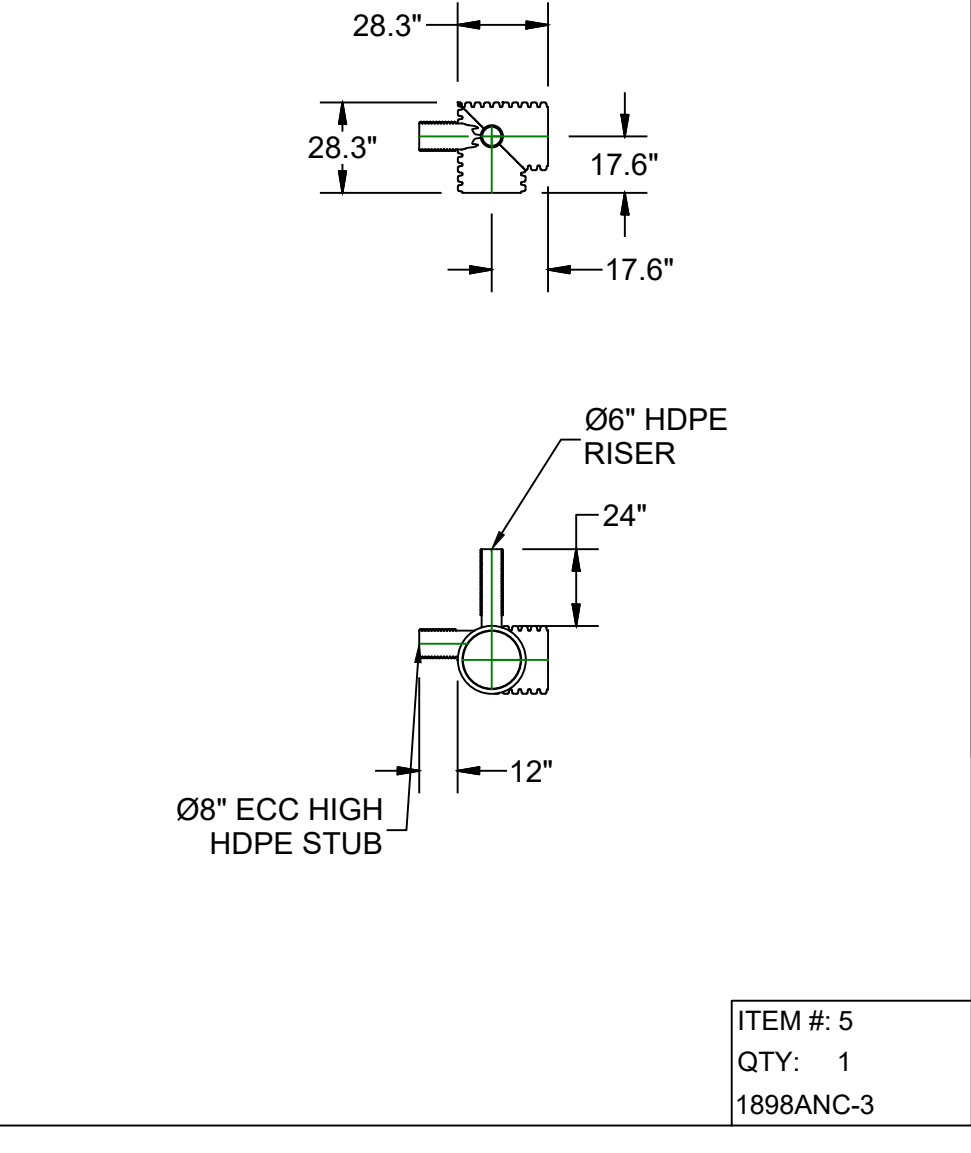
NOTE

ITEM # 2
QTY: 2
PART 1853AN



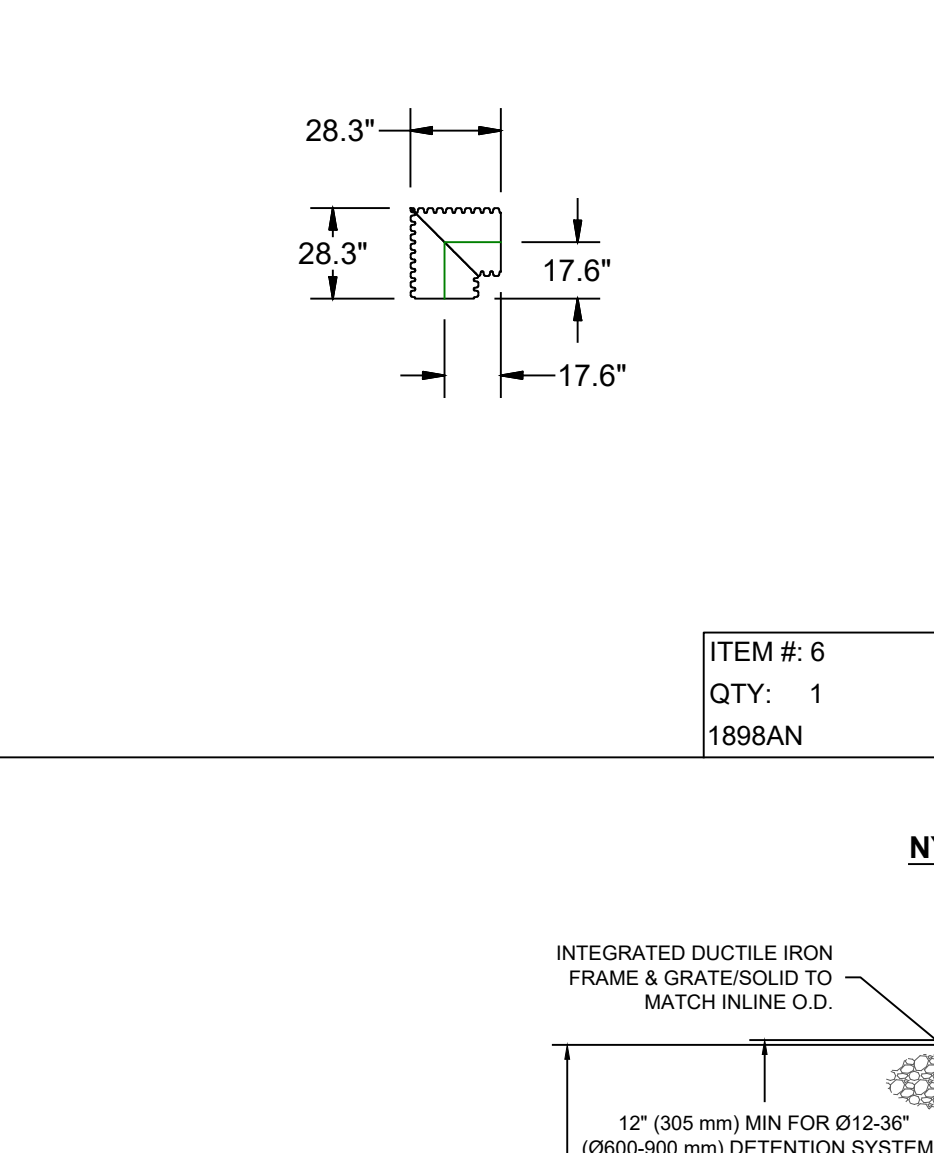
NOTE

ITEM # 6
QTY: 1
PART 1898AN



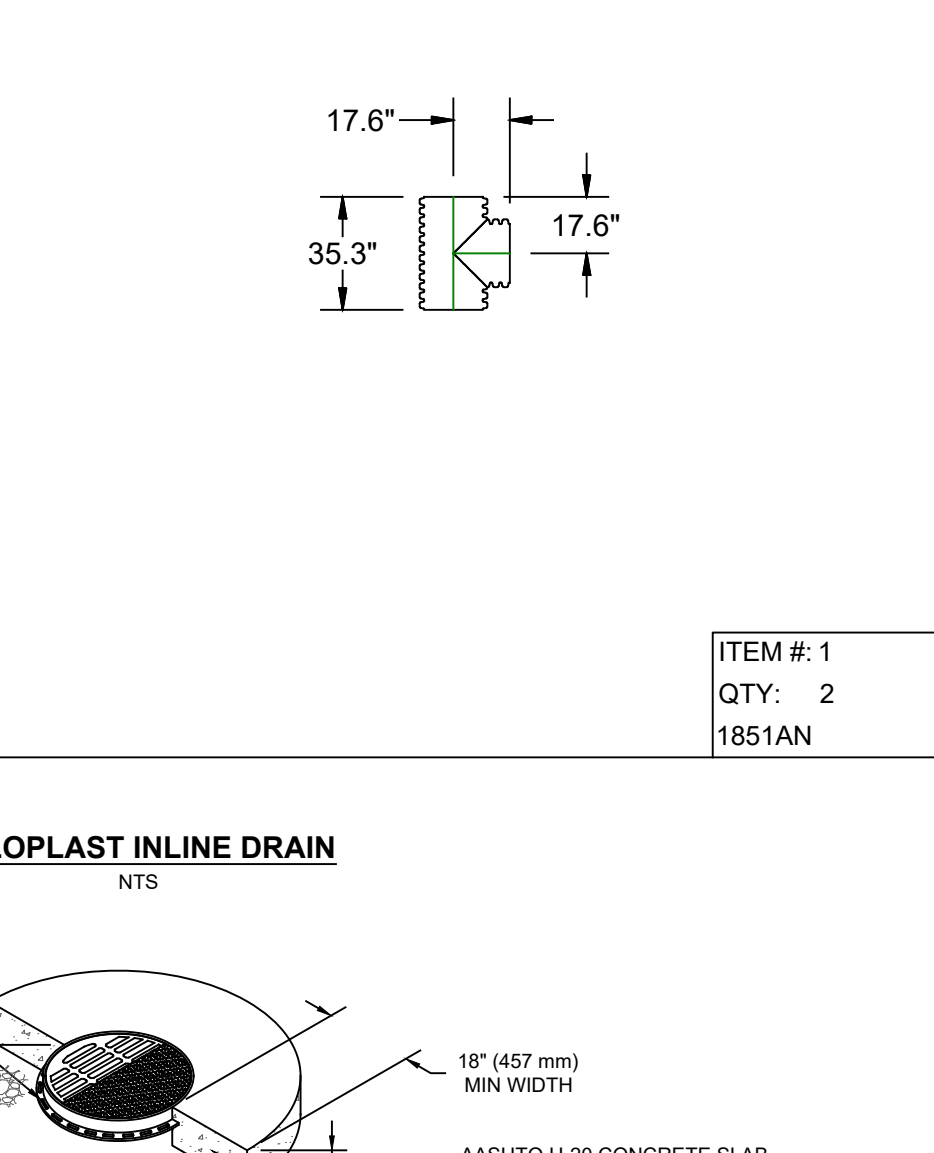
NOTE

ITEM # 5
QTY: 1
PART 1898ANC-3



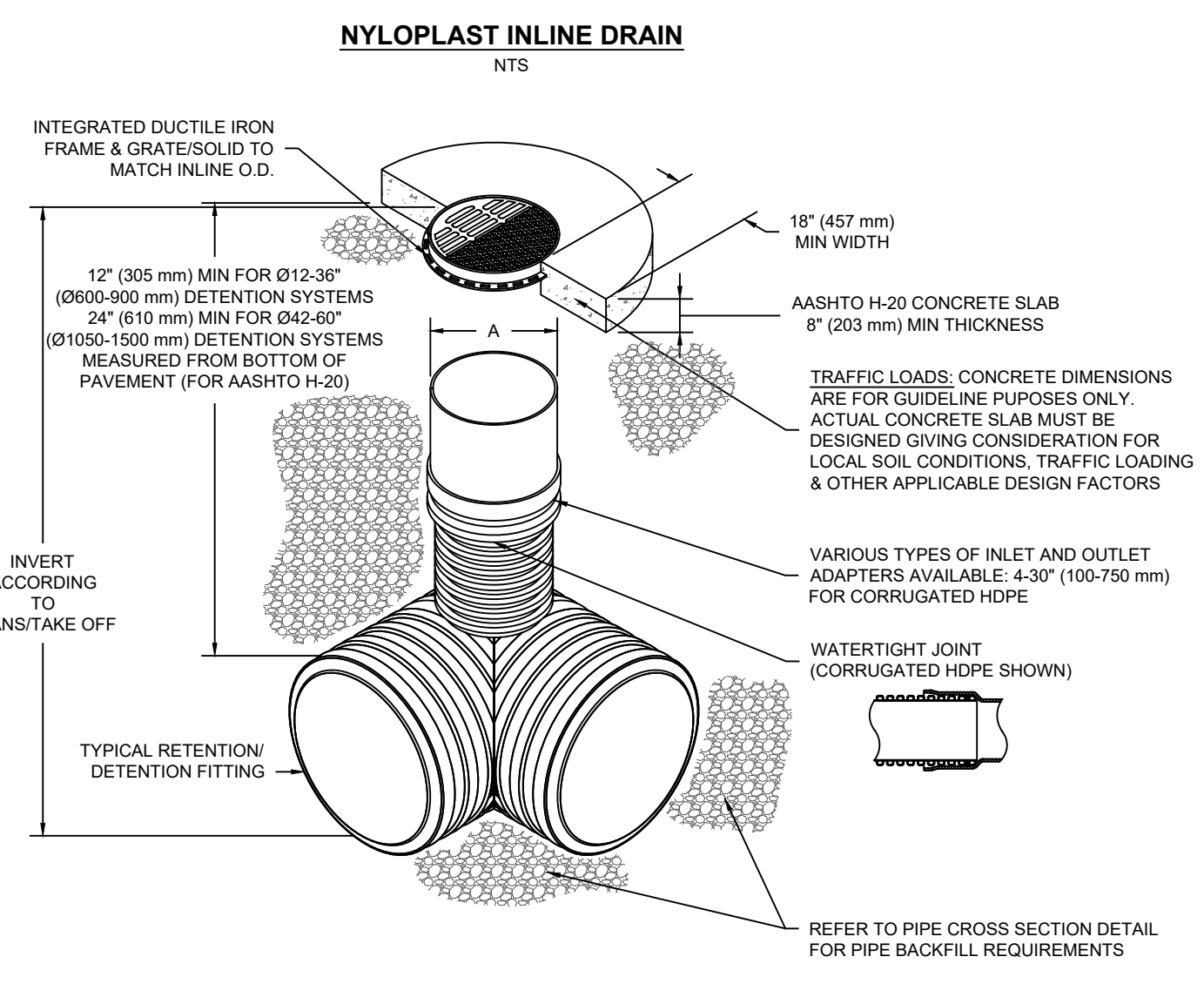
NOTE

ITEM # 1
QTY: 2
PART 1851AN



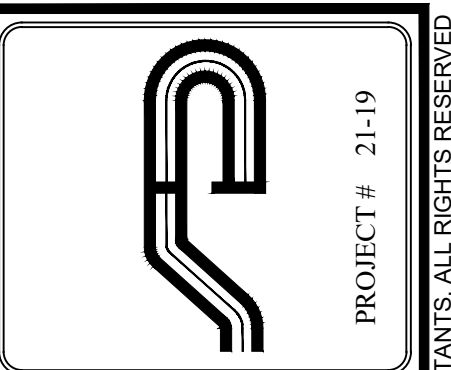
NOTE

ITEM # 1
QTY: 2
PART 1851AN

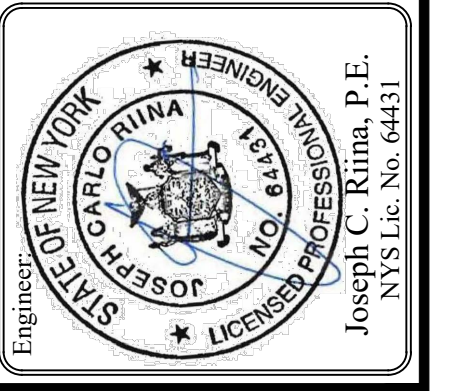


- NOTES**
- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 - 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE ADS & HANCOR DUAL WALL & SDR 35 PVC
 - FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
 - TO ORDER CALL: 800-821-6710

| A | PART # | GRATE/SOLID COVER OPTIONS |
|--------------|--------|---|
| 8" (200 mm) | 2708AG | PEDESTRIAN LIGHT DUTY STANDARD LIGHT DUTY SOLID LIGHT DUTY |
| 10" (250 mm) | 2710AG | PEDESTRIAN LIGHT DUTY STANDARD LIGHT DUTY SOLID LIGHT DUTY |
| 12" (300 mm) | 2712AG | PEDESTRIAN AASHTO H-10 STANDARD AASHTO H-20 SOLID AASHTO H-20 |
| 15" (375 mm) | 2715AG | PEDESTRIAN AASHTO H-10 STANDARD AASHTO H-20 SOLID AASHTO H-20 |
| 18" (450 mm) | 2718AG | PEDESTRIAN AASHTO H-10 STANDARD AASHTO H-20 SOLID AASHTO H-20 |
| 24" (600 mm) | 2724AG | PEDESTRIAN AASHTO H-10 STANDARD AASHTO H-20 SOLID AASHTO H-20 |
| 30" (750 mm) | 2730AG | PEDESTRIAN AASHTO H-20 STANDARD AASHTO H-20 SOLID AASHTO H-20 |



Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

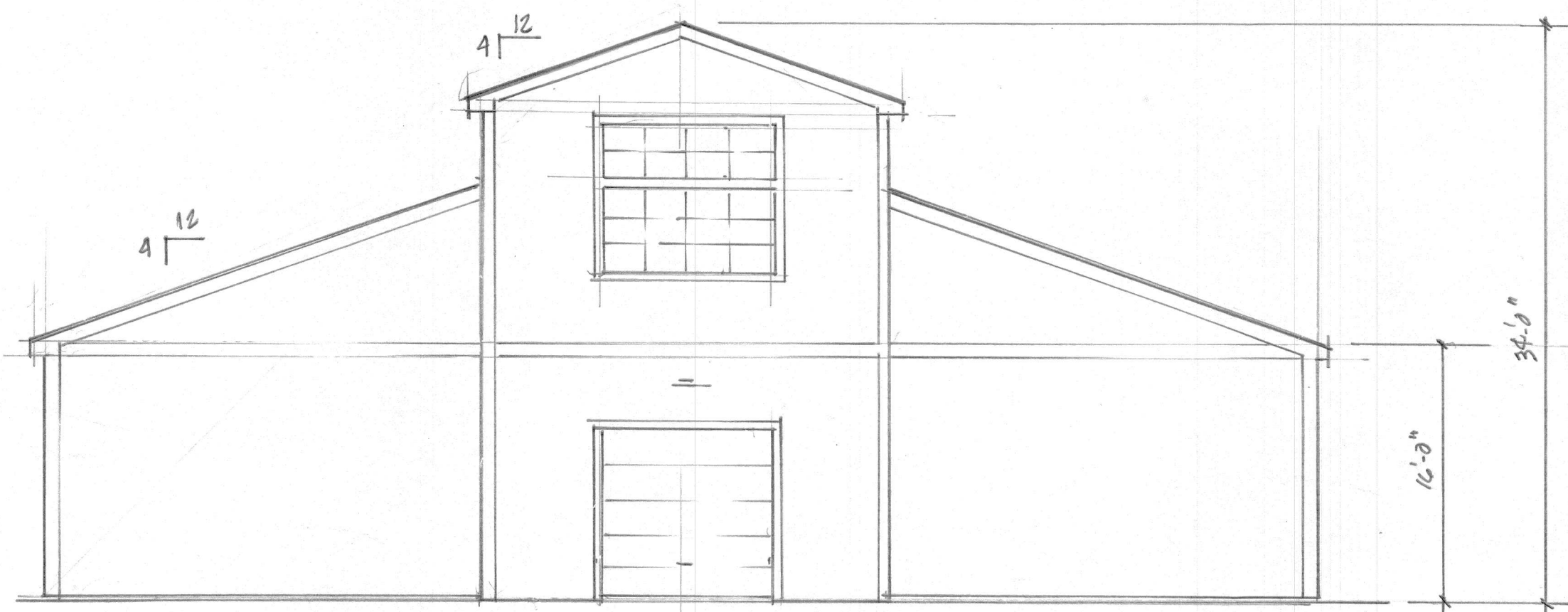


| Revisions: | No. | Date | Comments: |
|------------|-----|----------|--------------|
| | 1 | 11/12/21 | Plan Updates |
| | 2 | 2/15/22 | PD Memo |

SCALE: NTS
DRAWN BY: TK
DATE: 7/28/21

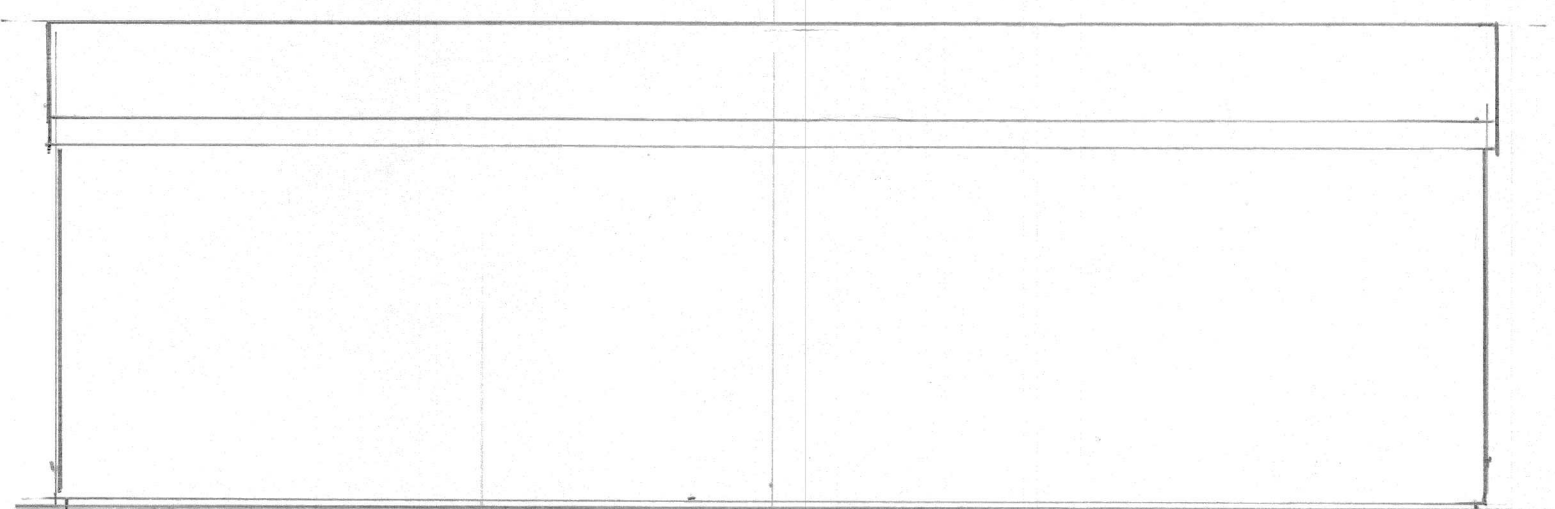
DETENTION DETAILS

SITE PLAN PREPARED FOR
HOME & HEARTH
1750 EAST MAIN STREET
Westchester County, New York
Town of Yorktown



FRONT ELEVATION - A

SCALE 1/8" = 1'-0"



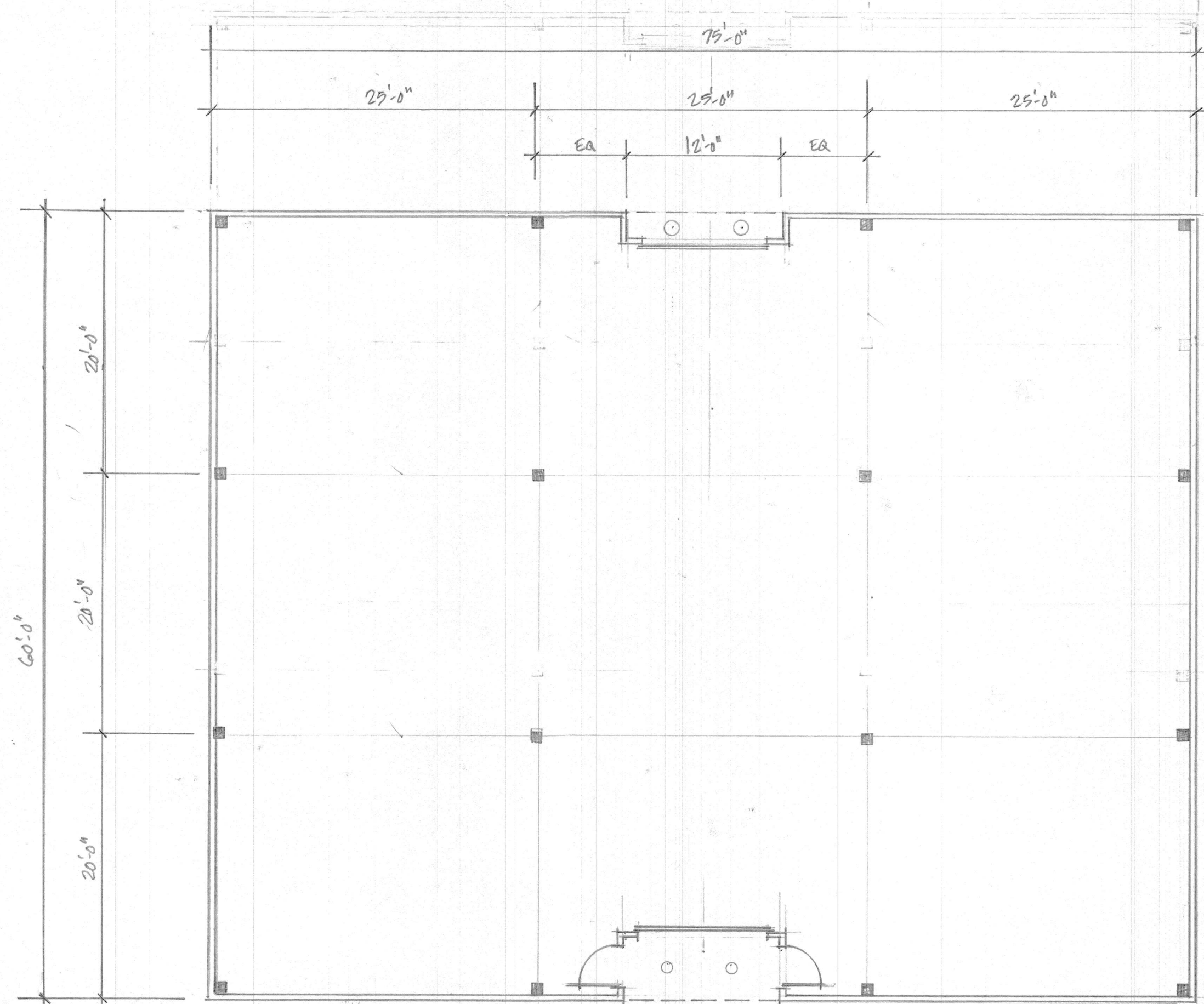
SIDE ELEVATION

SCALE 1/8" = 1'-0"



FRONT ELEVATION - B

SCALE 1/8" = 1'-0"



FLOOR PLAN

SCALE 1/8" = 1'-0"

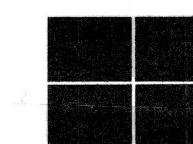
COPYRIGHT STATEMENT

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| DRAWING STATUS | BY | DATE |
|---|----|------|
| <input type="checkbox"/> PRELIMINARY | | |
| <input type="checkbox"/> CLIENT APPROVAL | | |
| <input type="checkbox"/> CONTRACT DRAWING | | |
| <input type="checkbox"/> PERMIT APPLICATION | | |
| <input type="checkbox"/> MUNICIPAL APPROVAL | | |
| <input type="checkbox"/> NOT FOR CONSTRUCTION | | |
| <input type="checkbox"/> CONSTRUCTION ISSUE | | |
| <input type="checkbox"/> PRODUCT ORDER | | |

| REVISION | BY | DATE |
|-------------|-----|-----------|
| ELEVATION A | REP | 12-1-2021 |
| | | |
| | | |
| | | |
| | | |

ARCHITECTS STAMP / SIGNATURE



ROBERT E. PHELAN
755 DELANO ROAD,
YORKTOWN HEIGHTS, NEW YORK 10598
REPHELAN@OPTONLINE.NET
914 - 391 - 6925

AUXILIARY BUILDING - STORAGE

HOME & HEARTH

1750 EAST MAIN STREET
YORKTOWN HEIGHTS, NEW YORK
10598

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board
From: Conservation Board
Date: 10/21/2021
Re: Home & Hearth 1750 East Main Street

RECEIVED
PLANNING DEPARTMENT
OCT 25 2021
TOWN OF YORKTOWN

The Conservation Board at its October 20, 2021 meeting discussed Home & Hearth located at 1750 East Main Street with Joe Riina of Site Designs and Steve Marino of Tim Miller Associates. The Conservation Board has the following comments:

- The Mitigation Plan looks appropriate and the Conservation Board recommends the project moves forward.

Respectfully submitted:

Phyllis Bock

For the Conservation Board

CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
Applicant

TB Referral
1770 East Main St

FEB 23 2022

TOWN OF YORKTOWN TOWN BOARD

TOWN OF YORKTOWN

Resolved, the Town Clerk is authorized to refer out to appropriate agencies for their review and/or recommendation on an application for a Special Use Permit for a gas station located at 1770 East Main Street, Mohegan Lake, NY for a site plan amendment.

Further Resolved, the Town Board declares its intent to act as Lead Agency. We are transmitting the following referral for your review and recommendations and ask that you respond back to the Town Clerk by March 11, 2022.

TO:

- | | |
|--|---|
| <input checked="" type="checkbox"/> File | <input checked="" type="checkbox"/> Westchester County |
| <input checked="" type="checkbox"/> Town Clerk | <input checked="" type="checkbox"/> Planning Department / Board |
| <input checked="" type="checkbox"/> ABACA | <input type="checkbox"/> Dept. of Public Works |
| <input checked="" type="checkbox"/> Building Inspector | <input type="checkbox"/> Dept. of Health |
| <input type="checkbox"/> Community Housing Board | <input type="checkbox"/> Parks & Recreation |
| <input checked="" type="checkbox"/> Conservation Board | <input type="checkbox"/> Environmental Facilities |
| <input type="checkbox"/> Fire: | <input type="checkbox"/> Soil & Water |
| <input checked="" type="checkbox"/> Lake Mohegan | <input checked="" type="checkbox"/> New York State |
| <input type="checkbox"/> Yorktown | <input checked="" type="checkbox"/> DEC Albany |
| <input checked="" type="checkbox"/> Highway Dept. | <input checked="" type="checkbox"/> DEC New Paltz (Region III) |
| <input type="checkbox"/> Open Space Committee | <input checked="" type="checkbox"/> DOT |
| <input checked="" type="checkbox"/> Planning Dept. / Board (6) | <input type="checkbox"/> Parks & Recreation |
| <input checked="" type="checkbox"/> Police Dept. | <input checked="" type="checkbox"/> NYC DEP |
| <input type="checkbox"/> Public Safety Committee | <input type="checkbox"/> Army Corp. of Engineers |
| <input type="checkbox"/> Recreation Commission | <input checked="" type="checkbox"/> Bordering Municipality |
| <input type="checkbox"/> School District: | <input type="checkbox"/> Town of Cortlandt |
| <input type="checkbox"/> Yorktown | <input type="checkbox"/> Town of Ossining |
| <input type="checkbox"/> Lakeland | <input type="checkbox"/> Town of Somers |
| <input checked="" type="checkbox"/> Town Attorney | <input type="checkbox"/> Town of Putnam Valley |
| <input checked="" type="checkbox"/> Town Board | <input type="checkbox"/> Yorktown Chamber of Commerce |
| <input checked="" type="checkbox"/> Town Engineer | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Tree Conservation Advisory Committee | <input checked="" type="checkbox"/> Other – CSC Task Force |
| <input checked="" type="checkbox"/> Water Department | |
| <input type="checkbox"/> Wetlands Inspector | |
| <input type="checkbox"/> Yorktown Land Trust | |

FROM: DIANA L. QUAST, YORKTOWN TOWN CLERK, CERTIFIED MUNICIPAL CLERK

SUBJECT: **We are transmitting the following:** Application and plans for Special Use Permit for gas station located at 1770 East Main Street, Mohegan Lake, NY.

DATE: February 23, 2022

- | | |
|--|--|
| <input checked="" type="checkbox"/> Application/Petition | <input type="checkbox"/> Report |
| <input checked="" type="checkbox"/> Drawings | <input type="checkbox"/> Wetlands Permit Application |
| <input type="checkbox"/> EAF | <input type="checkbox"/> SEQRA Scope |
| <input type="checkbox"/> EAF Addendum | <input type="checkbox"/> Other – Proposed Local Law |

FOR YOUR: Information Review Comment

Diana L. Quast, Town Clerk
dquast@yorktownny.org



Registrar of Vital Statistics
Telephone: (914) 962-5722 x 208
Fax: (914) 962 6591

TOWN OF YORKTOWN
363 Underhill Avenue, P.O. Box 703
Yorktown Heights, NY 10598

This is a resolution adopted by the Town Board of the Town of Yorktown at its regular meeting held on Tuesday, February 22, 2022.

RESOLVED, that the Town Clerk is authorized to refer out the following applications received by BP Gas Station, 1770 East Main Street and 7-Eleven, 3451 Crompond Road to amend their Site Plans - Gasoline Station.

Diana L. Quast, Town Clerk
Certified Municipal Clerk
Town of Yorktown

Date: February 23, 2022

To: Diana L. Quast, Town Clerk

cc: Matthew J. Slater, Town Supervisor
Patricia Caporale, Town Comptroller
Adam Rodriguez, Town Attorney
file

TOWN OF YORKTOWN

APPLICATION FOR SPECIAL USE PERMIT
GASOLINE STATIONS

Dated: 02/17/2022

TO: THE TOWN BOARD
c/o TOWN CLERK
363 UNDERHILL AVENUE
YORKTOWN HEIGHTS, NEW YORK 10598

The undersigned, as owner of certain premises located on the north side of East Main Street and known as Section 15.16, Parcel 1, Lot 46 on the Tax Map of the Town of Yorktown, does hereby make application for a Special Use Permit:

- Canopy
[X] Convenience Store
Truck Rental
Car Wash
Sign

In the event the Permit is issued, the applicant will comply with all the requirements of the Zoning Ordinance and the Building Department Ordinance of the Town of Yorktown and with the requirements of any other local laws or ordinances, laws, rules and regulations of any Federal, State and County Government, bureau or department thereof having jurisdiction over said premises and the business to be conducted there at, in addition to such terms or conditions as may be imposed by the Town Board.

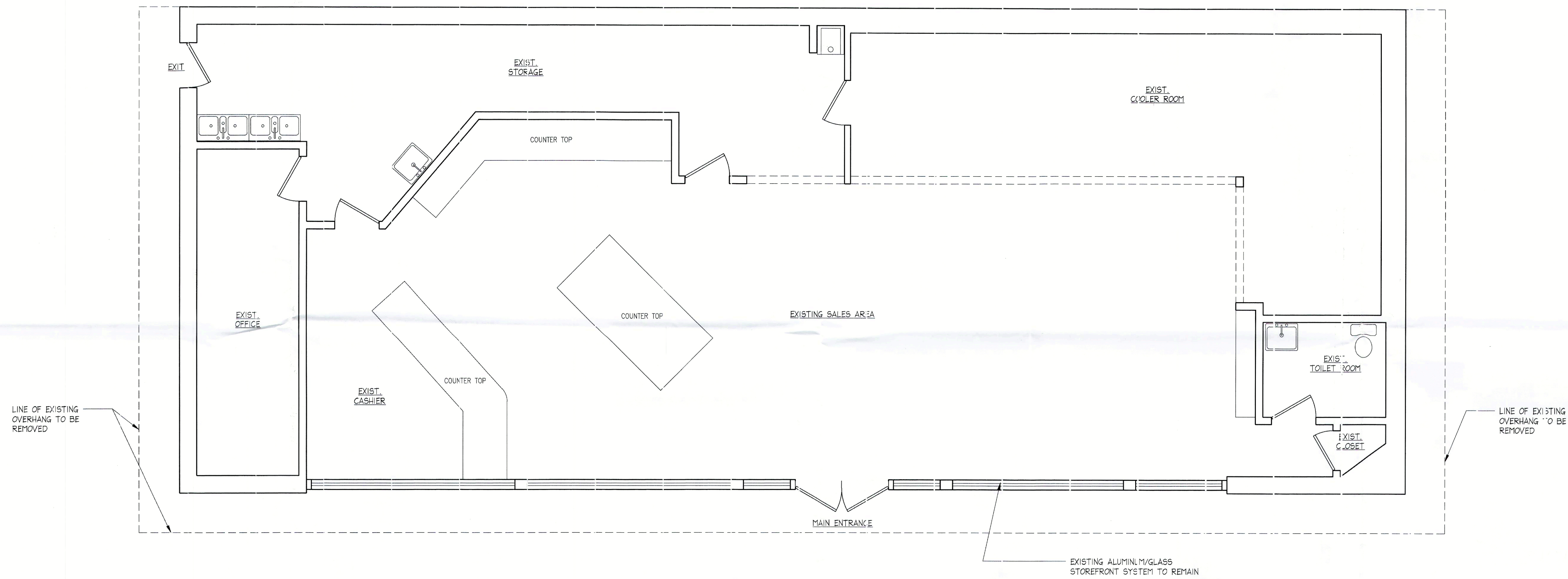
Attached hereto are twenty copies of the plot plan of the area prepared by J. Henry Carpenter & Co. and dated Oct. 18, 2000, and building plans prepared by Neil Carnow aia Architect and dated 02/07/2022, all of which are made part of this application, together with the required fee of \$1500.00.

Mohegan Lake Gas Mart, Inc.
Applicant

25 St. Charles Street
Address
Thornwood, NY
(914) 438-6125 (Neil Carnow)
Day Time Telephone No.

Application received on the day of 20

Fee of \$1500.00 received on the day of 20



1 FLOOR PLAN
A-1 SCALE: 1/4" = 1'-0"

SCOPE OF WORK

1. THE EXISTING OVERHANG CANOPY WAS DAMAGED BY A TRUCK
2. THE OWNER IS IN THE PROCESS OF PREPARING AN APPLICATION TO CONSTRUCT A NEW BUILDING WITH PUMPS FURTHER BACK FROM THE STREET THAN CURRENTLY EXISTS.
3. WE PROPOSE TO RE-INSTALL THE EXISTING METAL PANEL SYSTEM ON FURRING STRIPS AS A TEMPORARY FIX DURING THE TIME FRAME FOR REVIEW AND APPROVAL OF THE PROPOSED NEW PROJECT.
4. WE PROPOSE TO PAINT THE EXISTING WOOD SIDING THE SAME GRAY AS EXISTING.
5. EXISTING ALUMINUM STOREFRONT AND GLASS SYSTEM WOULD REMAIN.
6. ROOF MODIFICATIONS WOULD BE PROVIDED TO PROVIDE A NEW GRAVEL STOP WHEN THE REMAINDER OF THE CANOPY IS REMOVED.
7. NO WORK IS PROPOSED FOR THE INTERIOR OF THE CONVENIENCE MART

| REV | DATE | DESCRIPTION |
|--------|------|--|
| 2-7-22 | | SUBMIT TO BLDG DEPT FOR BUILDING PERMIT REVIEW |

neil carnow a.i.a.
architect

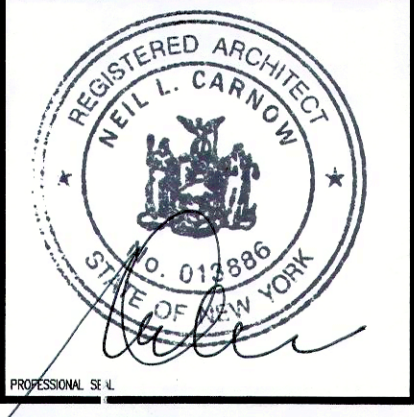
11 abbey lane #1201 danbury, ct 06810
Ph: 914-438-6125
email: carnowarchitectures@gmail.com

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT. THESE PLANS ARE THE PROPERTY OF NEIL CARNOW ARCHITECTURE AND MAY NOT BE COPIED, RE-USED OR ALTERED WITHOUT PERMISSION FROM THE ARCHITECT.

MODIFICATIONS TO EXISTING OVERHANG FLOOR PLAN

CLIENT: MOHEGAN LAKE GAS MART, INC
25 ST. CHARLES STREET
THORNWOOD, NEW YORK 10594

LOCATION: BP CONVENIENCE MART
1770 EAST MAIN STREET
MOHEGAN LAKE, NEW YORK



Drawn By: TBH
Checked By: NCA
Project No: 21103
Scale: AS NOTED
Issue Date: 2-7-22
DWG File Name: GasStation.dwg

A-1

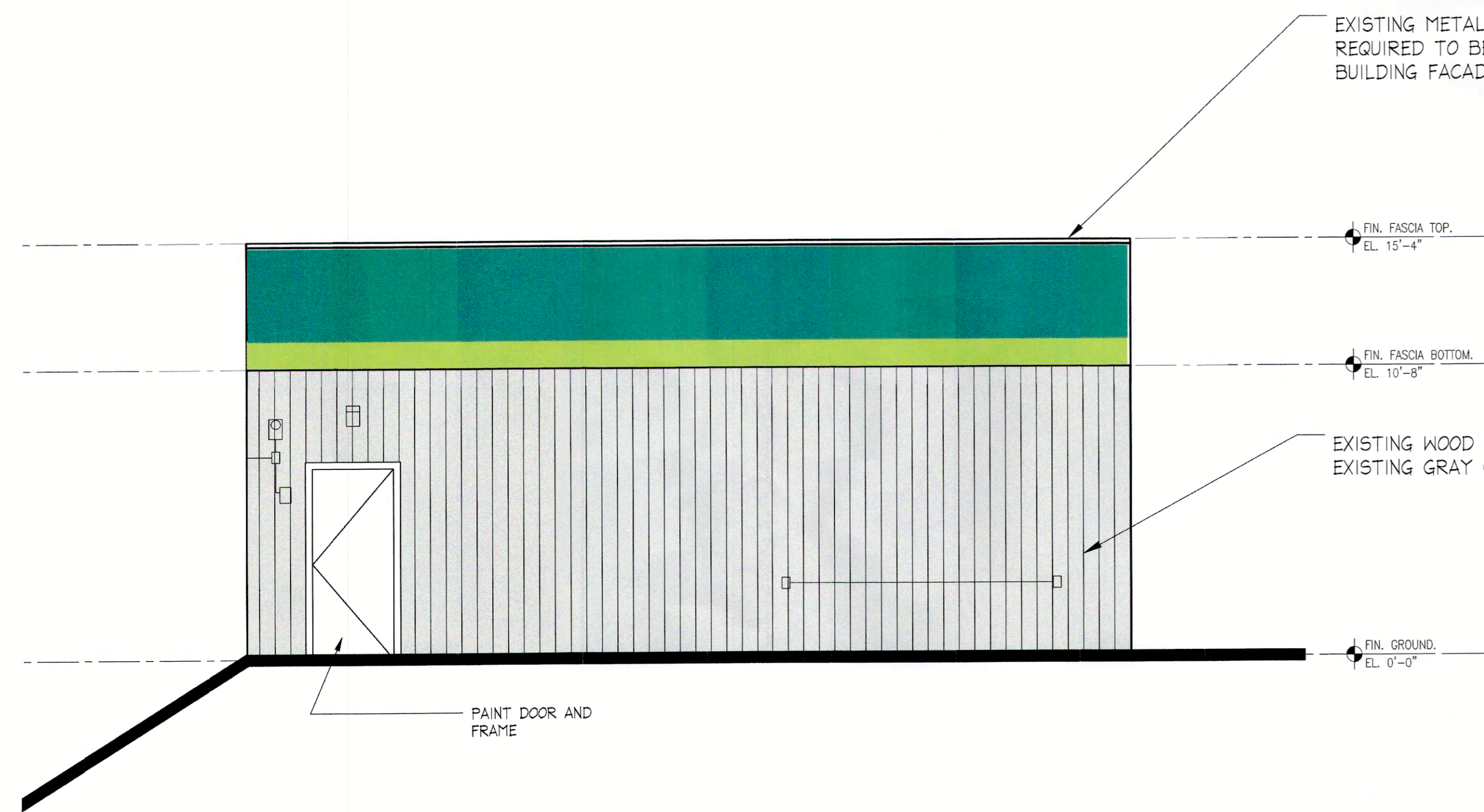
1. THE OWNER IS IN THE PROCESS OF PREPARING AN APPLICATION TO CONSTRUCT A NEW BUILDING WITH PUMPS FURTHER BACK FROM THE STREET THAN CURRENTLY EXISTS.
2. WE PROPOSE TO RE-INSTALL THE EXISTING METAL PANEL SYSTEM ON FURRING STRIPS AS A TEMPORARY FIX DURING THE TIME FRAME FOR REVIEW AND APPROVAL OF THE PROPOSED NEW PROJECT.
3. WE PROPOSE TO PAINT THE EXISTING WOOD SIDING THE SAME GRAY AS EXISTING.
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5. ROOF MODIFICATIONS WOULD BE PROVIDED TO PROVIDE A NEW GRAVEL STOP WHEN THE REMAINDER OF THE CANOPY IS REMOVED.
6. NO WORK IS PROPOSED FOR THE INTERIOR OF THE CONVENIENCE MART.



1 EAST ELEVATION
A-2 SCALE: 1/4" = 1'-0"

SCOPE OF WORK

1. THE EXISTING OVERHANG CANOPY WAS DAMAGED BY A TRUCK.
2. THE OWNER IS IN THE PROCESS OF PREPARING AN APPLICATION TO CONSTRUCT A NEW BUILDING WITH PUMPS FURTHER BACK FROM THE STREET THAN CURRENTLY EXISTS.
3. WE PROPOSE TO RE-INSTALL THE EXISTING METAL PANEL SYSTEM ON FURRING STRIPS AS A TEMPORARY FIX DURING THE TIME FRAME FOR REVIEW AND APPROVAL OF THE PROPOSED NEW PROJECT.
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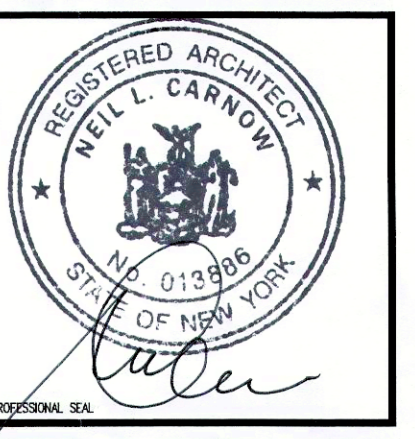
2 SOUTH ELEVATION
A-2 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
A-21 SCALE: 1/4" = 1'-0"

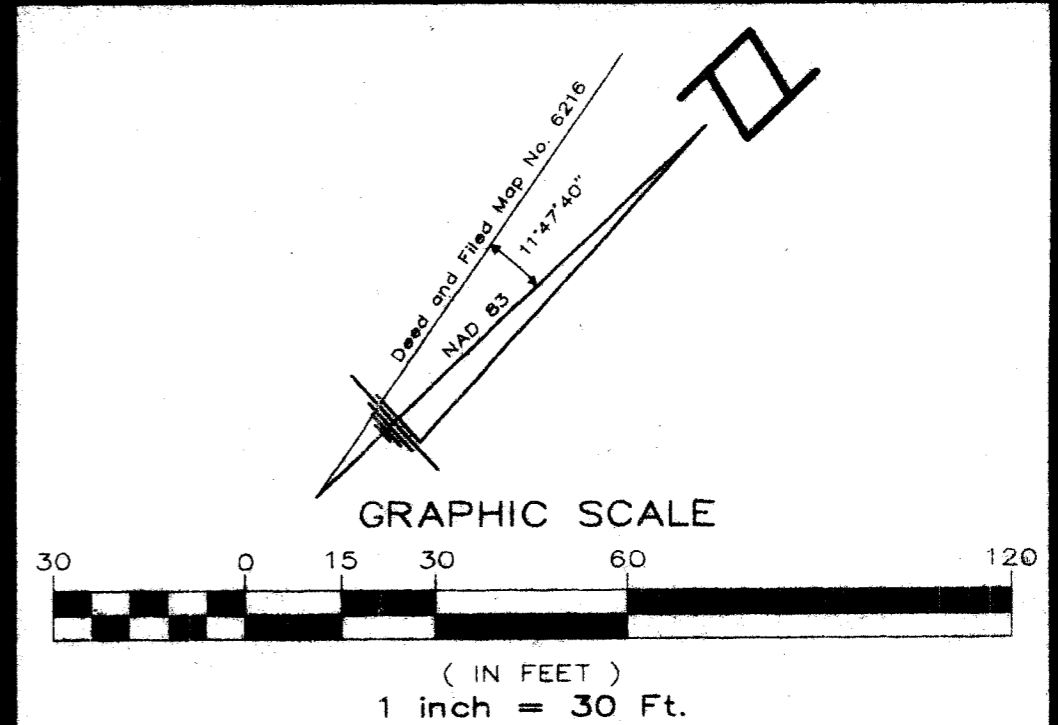
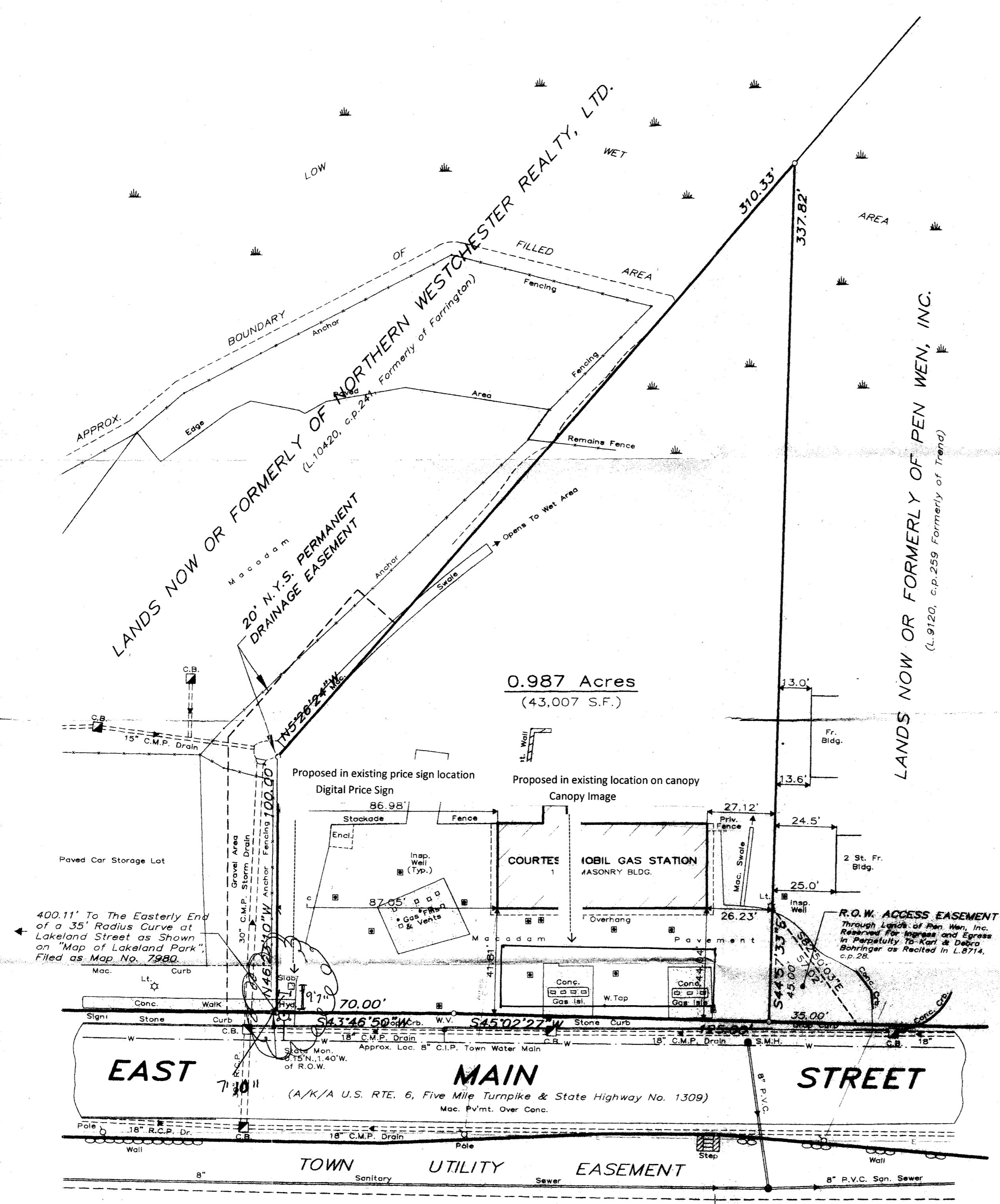
neil carrow a.i.a.
architect
11 abbey lane #1201
Ph. 914-438-6125
email: carrowarchitecture@gmail.com
11 abbey lane #1201
dambury, ct 06810
SUBMIT TO BLDG DEPT FOR BUILDING PERMIT REVIEW
SUBMIT TO BLDG DEPT FOR REVIEW AND COMMENT
REV DATE DESCRIPTION

MODIFICATIONS TO EXISTING OVERHANG ELEVATIONS
CLIENT: MOHEGAN LAKE GAS MART, INC
1770 EAST MAIN STREET
MOHEGAN LAKE, NEW YORK
BP CONVENIENCE MART
1770 EAST MAIN STREET
MOHEGAN LAKE, NEW YORK



| |
|-------------------------------|
| Drawn By: TBH |
| Checked By: NCA |
| Project No: 21103 |
| Scale: AS NOTED |
| Issue Date: 12-21-21 |
| DWG File Name: CarStation.dwg |

A-2



TOWN TAX MAP DATA:
 Section 3.14, Parcel 15, Lot 9.

Survey Notes:
 Parcel Shown Hereon Forms a Portion of Lands Entitled "To Be Conveyed To Douglas G. Trend" on Map Entitled "Map of Property Belonging To W.B.O. Field", Dated Oct. 25, 1946 And Filed In The County Clerk's Office Oct. 31, 1946 as Filed Map No. 6216.
 Deed Reference: L.8694, c.p.272, (Deed Meridian Rotated 11°47'40" +NW For Meridian Shown Hereon).
 Subject To The Turnpike Laws of The State of New York.
 Surveyed As In Possession (No Lines of Possession Other Than Those Indicated).
 Substructures and/or Their Encroachments Below Grade, If Any, are Not Shown.
 Subject to Electric and/or Telephone Company Easements, if Any, For Overhead and/or Underground Service.
 Building Offsets Shown Taken to Face Masonry Walls.
 Property Corners Not Staked.

Certifications Indicated Hereon Signify That This Survey Was Prepared In Accordance With The Existing Code of Practice For Land Surveys Adopted By The New York State Association of Professional Land Surveyors. Said Certifications Shall Run Only to the Person(s) For Whom the Survey Was Prepared and On Their behalf to the Title Company, Governmental Agency, and Lending Institution Listed hereon, and to the Assignees of the Lending Institution. Certifications Are Not Transferable to Additional Institutions or Subsequent Owners.

All Certifications Listed Hereon are Valid For This Map and Copies Thereof Only if said Map or Copies Bear the Impressed Seal of the Surveyor Whose Signature Appears Hereon.

Additions or Alterations to This Map Other Than By J. Henry Carpenter & Co. Shall Void This Certification.

Copyright © 2000 J. Henry Carpenter & Co. by James H. Seaboldt, L.S. All Rights Reserved, Including Rights of Reproduction.

THIS SURVEY IS HEREBY CERTIFIED ONLY TO:

1. KARL BOHRINGER Jr. and DEBRA BOHRINGER.
2. National Attorney's Title Insurance Company For Policy No. 10-26087.
3. Union State Bank, It's Successors and/or Assigns.

SURVEY OF PROPERTY
 PREPARED FOR
KARL & DEBRA BOHRINGER

LOCATED IN
TOWN OF YORKTOWN
WESTCHESTER COUNTY, N.Y.

DATE: Oct. 18, 2000

J. HENRY CARPENTER & CO.
 LAND SURVEYING & MAPPING
 YORKTOWN HEIGHTS, N.Y.

We, J. Henry Carpenter & Co., Do Hereby Certify That on Oct. 4, 2000 a Survey of the Premises Shown Hereon was Made and That This Map is Made in Accordance With the Field Notes of Said Survey.

James H. Seaboldt
 James H. Seaboldt, L.S. No. 49286

TB Referral
3451 Crompond Rd

*Applicant requested to be on
next agenda instead.*