

**TOWN OF YORKTOWN
PLANNING BOARD**

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

**PUBLIC MEETING AGENDA
YORKTOWN TOWN HALL BOARD ROOM
363 Underhill Avenue, Yorktown Heights, NY 10598**

**April 25, 2022
7:00 PM**

- 1. Correspondence**
- 2. Meeting Minutes – April 11, 2022**

REGULAR SESSION

- 3. Hemlock Hill Farm Solar Farm
Request for One-Year Time Extension**

Location: 46.08-1-1 (Yorktown) & 45.12-1-4 (Cortlandt); 500 Croton Avenue, Cortlandt Manor

Contact: Badey and Watson Surveying and Engineering, P.C.

Description: Approved 1.69 MW solar farm on 4 acres of the 50 acre Hemlock Hill Farm property that is located in the Town of Yorktown. Approved by Planning Board Res #21-06 on April 12, 2021.

- 4. Foothill Street Solar
Decision Statement**

Location: 15.07-1-5; 3849 Foothill Street

Contact: Con Edison Clean Energy Businesses, Inc.

Description: Proposed installation of a 1.875 MW ground mounted solar panel system and Tier 2 battery energy storage system disturbing 15.90 acres on 34.23 acres in the R1-20 zone.

- 5. Old Hill Farm Solar Farm
Decision Statement**

Location: 16.08-1-4 & 17; 571 East Main Street, Jefferson Valley

Contact: Hillside Solar, LLC

Description: Proposed 3.75 MW ground mounted solar panels disturbing 15 acres on a 19.4 acre property in the R1-20 zone.

- 6. Bellamy Subdivision
Public Hearing**

Location: 37.10-1-38; 379 Hallocks Mill Road

Contact: Burns Engineering Services, P.C.

Description: Proposed 2-lot subdivision on 1.417 acres in the R1-20 zone.

- 7. Boniello Equities Subdivision
Public Hearing**

Location: 37.09-1-67, 70, 71; 2012-2016 Crompond Road

Contact: Gus Boniello

Description: Proposed resubdivision of three lots to create 4 lots and construct two new two-family residences on 1.81 acres in the R-2 zone.

8. Granite Knolls Solar Projects

Public Hearing

Location: 26.09-1-22; 2975 Stony Street

Contact: HESP Solar LLC and Bergmann PC

Description: Proposed 1.3 MW-AC community solar project including ground mounted solar panels, solar carport system, and a battery storage system at Granite Knolls Sports Complex.

WORK SESSION

9. Underhill Farm

Discussion Site Plan

Location: 48.06-1-30; 370 Underhill Avenue

Contact: Site Design Consultants

Description: Proposed mixed use development of 148 residential units, 11,000 SF retail, and recreational amenities. Original main structure to remain and to be used for a mix of uses. Development is proposed on a 13.78 acre parcel in the R1-40 with Overlay District authorization from the Town Board.

10. Martinez Subdivision Lot 2

Discussion Amended Mitigation Plan

Location: 35.16-1-2; 1767 Jacob Road

Contact: Site Design Consultants

Description: Proposed amendments to approved wetland mitigation plan.

11. Shrub Oak International School

Discussion Amended Site Plan

Location: 26.05-1-4; 3151 Stony Street

Contact: DTS Provident Design Engineering

Description: Proposed amendments to the approved Phase II site improvements.

12. Lakeview Estates Lot #6

Discussion Site Plan

Location: 47.11-1-15; 1102 Gambelli Drive

Contact: TJ Engineering, LLC

Description: Proposed residence on the last subdivision lot in the Lakeview Estates subdivision.

13. Zoning Board Referral

ZBA #22/22 Clifford

Location: 48.07-2-28; 1625 Central Street

Contact: Michael Grace, Esq.

Description: To allow the subdivision of an existing single-family lot into two non-conforming lots; one fronting on Central Street and one front on Summit Street.

14. Town Board Referral

Homeland Towers

Location: 16.12-1-31; Route 6 & Hill Blvd

Description: Proposed monopole cellular tower on Town property.

15. Town Board Referral

Farm Special Event Special Permit

Correspondence

APR 19 2022

TOWN OF YORKTOWN

From: Eric Schore <ehschore@gmail.com>
Sent: Tuesday, April 19, 2022 9:49 AM
To: Planning Department <planning@yorktownny.org>
Cc: Donna Schore <donnaschore@gmail.com>
Subject: Grishaj Major subdivision to connect High Point Drive to South Shelley Street

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Eric Schore and I live on 1321 Lydia Court, Mohegan Lake.

At the Planning Board Meeting that took place on Monday April 11, 2022 the issue of extending South Shelley Street to High Point Drive was once again discussed.

The environmental review of the Subdivision was also discussed at prior meetings. I am concerned that the wetlands identified in the subdivision plans are far less than the wetlands actually existing in the area to be subdivided. Residents of South Shelley Street and nearby streets know that the area of the proposed development has wet and soggy ground that is evident beyond the areas identified in the subdivision plans.

As a resident of Yorktown, I respectfully request that the Planning Board do their own review of the wetlands in the area to ascertain the actual extent of the wetlands in the area of the proposed subdivision and the effect the proposed subdivision would have on these wetlands.

I also question the rationalization of having access via South Shelley Street because of access concerns from the fire department. Audra Court, which is directly across Stony Street from the proposed subdivision is a single point access road that extends more than a tenth of a mile ending in a roundabout. Why can't the same configuration be used for the Grishaj Major subdivision? It is not as long as Audra Court.

If a second access road must be part of this (and I don't think it needs to be nor should be) I also fail to understand that given our well documented objections at this point that there has been no consideration to either having the second access point come directly off of Stony Street, or from the other direction and connect it from the north. It would just mean shifting the proposed houses around.

My objections and many of my neighbor's objections to the extension of South Shelley Street as one of the subdivision's access points will directly impact our neighborhood. As we have stated, it will make Judy Road and South Shelley a through-street, greatly increasing traffic and changing the dynamic of Shelley Street, which everyone uses for walks, and where our children bike ride and play. It would become a noisier and more dangerous place for us and for our children.

As a resident of Yorktown, for these reasons I object to the extension of South Shelley Street to High Point Drive as proposed in the plans for the Grishaj subdivision. Please consider this objection when making your final decision on the extension of South Shelley Street.

--

Eric & Donna Schore

APR 19 2022

TOWN OF YORKTOWN

From: Maureen Milazzo <maureen.milazzo@gmail.com>
Sent: Monday, April 18, 2022 6:54 PM
To: Planning Department <planning@yorktownny.org>
Subject: Grishaj Major subdivision to connect High Point Drive to South Shelley Street

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Maureen Milazzo and I live on 1315 Lydia Court, Mohegan Lake.

At the Planning Board Meeting that took place on Monday April 11, 2022 the issue of extending South Shelley Street to High Point Drive was once again discussed.

The environmental review of the Subdivision was also discussed at prior meetings. I am concerned that the wetlands identified in the subdivision plans are far less than the wetlands actually existing in the area to be subdivided. Residents of South Shelley Street and nearby streets know that the area of the proposed development has wet and soggy ground that is evident beyond the areas identified in the subdivision plans.

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As a resident of Yorktown, for these reasons I object to the extension of South Shelley Street to High Point Drive as proposed in the plans for the Grishaj subdivision. Please consider this objection when making your final decision on the extension of South Shelley Street.

--

Maureen Milazzo

"Learn from the mistakes of others...You can never live long enough to make them all yourself!"

"The only way to have a life is to commit to it like crazy"

APR 20 2022

TOWN OF YORKTOWN

From: Rob Buchanan <holeymanrob@gmail.com>
Sent: Tuesday, April 19, 2022 10:24 PM
To: Planning Department <planning@yorktownny.org>
Subject: Grishaj Major Subdivision

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Robert Buchanan and I live at 3318 South Shelley Street, Mohegan Lake.

At the Planning Board Meeting that took place on Monday April 11, 2022 the issue of extending South Shelley Street to High Point Drive was once again discussed.

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As a resident of Yorktown, for these reasons I object to the extension of South Shelley Street to High Point Drive as proposed in the plans for the Grishaj subdivision. Please consider this objection when making your final decision on the extension of South Shelley Street.

Sincerely,
Rob Buchanan

APR 19 2022

TOWN OF YORKTOWN

From: Shane Davanzo <sldavanzo@gmail.com>
Sent: Monday, April 18, 2022 7:03 PM
To: Planning Department <planning@yorktownny.org>
Subject: Grishaj Major subdivision to connect High Point Drive to South Shelley Street

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Shane Davanzo and I live on 1310 Judy Road, Mohegan Lake, NY 10547

At the Planning Board Meeting that took place on Monday April 11, 2022 the issue of extending South Shelley Street to High Point Drive was once again discussed.

The environmental review of the Subdivision was also discussed at prior meetings. I am concerned that the wetlands identified in the subdivision plans are far less than the wetlands actually existing in the area to be subdivided. Residents of South Shelley Street and nearby streets know that the area of the proposed development has wet and soggy ground that is evident beyond the areas identified in the subdivision plans.

As a resident of Yorktown, I respectfully request that the Planning Board do their own review of the wetlands in the area to ascertain the actual extent of the wetlands in the area of the proposed subdivision and the effect the proposed subdivision would have on these wetlands.

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As a resident of Yorktown, for these reasons I object to the extension of South Shelley Street to High Point Drive as proposed in the plans for the Grishaj subdivision. Please consider this objection when making your final decision on the extension of South Shelley Street.

Sincerely,
Shane Davanzo

Draft Minutes

Hemlock Hill Farm

Solar Farm

RECEIVED
PLANNING DEPARTMENT

APR 13 2022

TOWN OF YORKTOWN



April 11, 2022

Richard Fon, Chairman
Town of Yorktown Planning Board
Albert A. Capellini Community & Cultural Center
1974 Commerce Street
(Top Floor, Room 222)
Yorktown Heights, NY 10598

RE: 174 Power Global, Inc.
Solar Farm at Hemlock Hills Farm
Pre-Application Sketch Plan
Yorktown (T) (Tax ID 46.08-1-1)
Cortlandt (T) (Tax ID 45.12-1-1)

Dear Chairman Fon and Board members:

On behalf of my client, I request an extension of the site plan approval granted for the above captioned site. We have been pursuing fulfilling the conditions of the resolution and have had some challenges in part due to the ongoing pandemic and slow response times from other agencies. We have just received our approval from the Town of Cortlandt and will be filing for a building permit. To that end we require the extension of your approval.

Please let me know if you have any questions or concerns.

Thank you for your attention to this project.

Yours truly,

BADEY & WATSON,
Surveying & Engineering, P.C.

by


Margaret Smith McManus
845.265.9217 x219
mmcmanus@badey-watson.com

cc: 174 Global Power

www.Badey-Watson.com

Foothill Street Solar

MEMO

FROM: Joe Shanahan, Project Developer, Con Edison Clean Energy Businesses

TO: Richard Fon, Chairman, Planning Board, Town of Yorktown

SUBJECT: Proposed Solar Facility, 3849 Foothill Street
Supplement to Final Mitigation Plan

DATE: April 19, 2022

On March 10, 2022, the Applicant/Developer submitted a Final Mitigation Plan to the Planning Board pursuant to the Town's Tree Ordinance, Chapter 270 of the Town Code. That Plan has since been reviewed by the Town's outside environmental consultant, Barton & Loguidice ("B&L"), which reported in its Supplemental Comment Letter dated April 4, 2022 that:

"B&L is recommending that within the Application, the Applicant designate a portion of the woodland to remain to be planted with native understory species. With deer being the largest contributor to this change in the understory, and with their numbers not forecasted to decrease in the near future, a deer enclosure should be included with ample S-gates, allowing people and small animals to traverse, but not deer. Within this space, any invasive species that exist should be removed and replanted with appropriate native understory. This work can be conducted using a portion of the tree fund money provided in response to the proposed development."

In accordance with the B&L recommendation, the Applicant/Developer hereby supplements its Final Mitigation Plan of March 10, 2022 as follows:

Removal of Invasive Species from Portion Remaining Woodland and Replanting with Native Understory ("Supplemental On-Site Mitigation") :

1. The Applicant/Developer will engage a Weed and Invasive Plant Specialist who shall do a sweep, identify the different invasive plants, and craft a fully customized plan to eradicate invasive weeds and non-native plants from the 6.14-acre portion of the remaining woodland outside of the solar project site as shown on the Plan attached hereto and made a part hereof (the "Mitigation Area"). This Mitigation Area has been established in accordance with the wetlands/watercourse and buffer limitations of Chapter 178.
2. All invasive weeds and non-native plants will be removed from the Mitigation Area.
3. The Mitigation Area shall be enclosed with a 7-foot chain link fence with a 6-inch clearing at the bottom to allow small animals (but not deer) to traverse, with a man gate for maintenance.
4. The Mitigation Area shall be replanted with an appropriate native understory.
5. The Town shall pay, or reimburse the Applicant/Developer, for all costs incurred in connection with this Supplemental On-Site Mitigation from the \$207,356 payment the Applicant/Developer shall make to the Tree Bank Fund under its Final Mitigation Plan dated March 10, 2022.



To: Joe Shanahan, Project Developer
Con Edison Energy Businesses

From: Eric J. Shaw, RLA, ASLA

Date: April 20, 2022

Re: Proposed Solar Facility, 3849 Foothill Street
Native Plantings for Mitigation Area

Supplement to Final Mitigation Plan Native Plantings for Mitigation Area – Foothill Street Solar

In support of the Proposed Solar Facility, located at 3849 Foothill Street, Yorktown, NY, the following list of native understory plant materials shall be considered for use throughout the replanting of the +/-6.5-acre Mitigation Area.

- *Aronia melanocarpa* / Black Chokeberry | mature size: 3-6' ht. / 3-6' sprd. | Full sun to part shade
- *Clethra alnifolia* / Sweet Pepperbush | mature size: 3-8' ht. / 4-6' sprd. | full sun to shade
- *Cornus florida* / Flowering Dogwood | mature size: 15-30' ht. / 15-30' sprd. | full sun to part shade
- *Hamamelis virginiana* / American Witch Hazel | mature size: 15-20' ht. / 15-20' sprd. | full sun to part shade
- *Ilex verticillata* / Winterberry | mature size: 6-12' ht. / 6-12' sprd. | full sun to part shade
- *Kalmia latifolia* / Mountain Laurel | mature size: 5-15' ht. / 5-15' sprd. | full sun to shade
- *Lindera benzoin* / Spicebush | mature size: 6-12' ht. / 6-12' sprd. | Part sun to shade
- *Physocarpus opulifolius* / Common Ninebark | mature size: 5-8' ht. / 4-6' sprd. | full sun to part shade
- *Rhododendron maximum* / Rosebay Rhododendron | mature size: 5-15' ht. / 5-12' sprd. | part shade to full shade
- *Rhododendron perichlymenoides* / Pinxterbloom Azalea | mature size: 3-6' ht. / 4-7' sprd. | full sun to part shade
- *Vaccinium corymbosum* / Highbush Blueberry | mature size: 6-12' ht. / 6-12' sprd. | full sun to part shade
- *Viburnum acerifolium* / Mapleleaf Viburnum | mature size: 3-6' ht. / 2-4' sprd. | full sun to part shade
- *Viburnum dentatum* / Arrowwood Viburnum | mature size: 6-10' ht. / 6-10' sprd. | full sun to part shade
- *Viburnum prunifolium* / Blackhaw Viburnum | mature size: 12-20' ht. / 6-12' sprd. | full sun to part shade

YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595

B BERGMANN
ARCHITECTS ENGINEERS PLANNERS

Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office: 518.862.0325

www.bergmannpc.com

REVISIONS

NO.	DATE	DESCRIPTION	REV.	CKD
1	1/29/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR
4	2/08/2022	PLAN REVISIONS	WD	ECR

**PRELIMINARY
NOT FOR CONSTRUCTION**



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Landscape Architects & Surveyors, D.P.C.

Note:
Unauthorized alteration or addition to this drawing is a violation of
the New York State Education Law Article 145, Section 7209.

ECR	ECR
Designed By	Drawn By
WD	WD
Date Issued	Scale
OCTOBER 27, 2020	1"=100'
Project Number:	
14847.00	

**LANDSCAPING & PLANTING
FOR MITIGATION PLAN FOR
UNDISTURBED AREA**

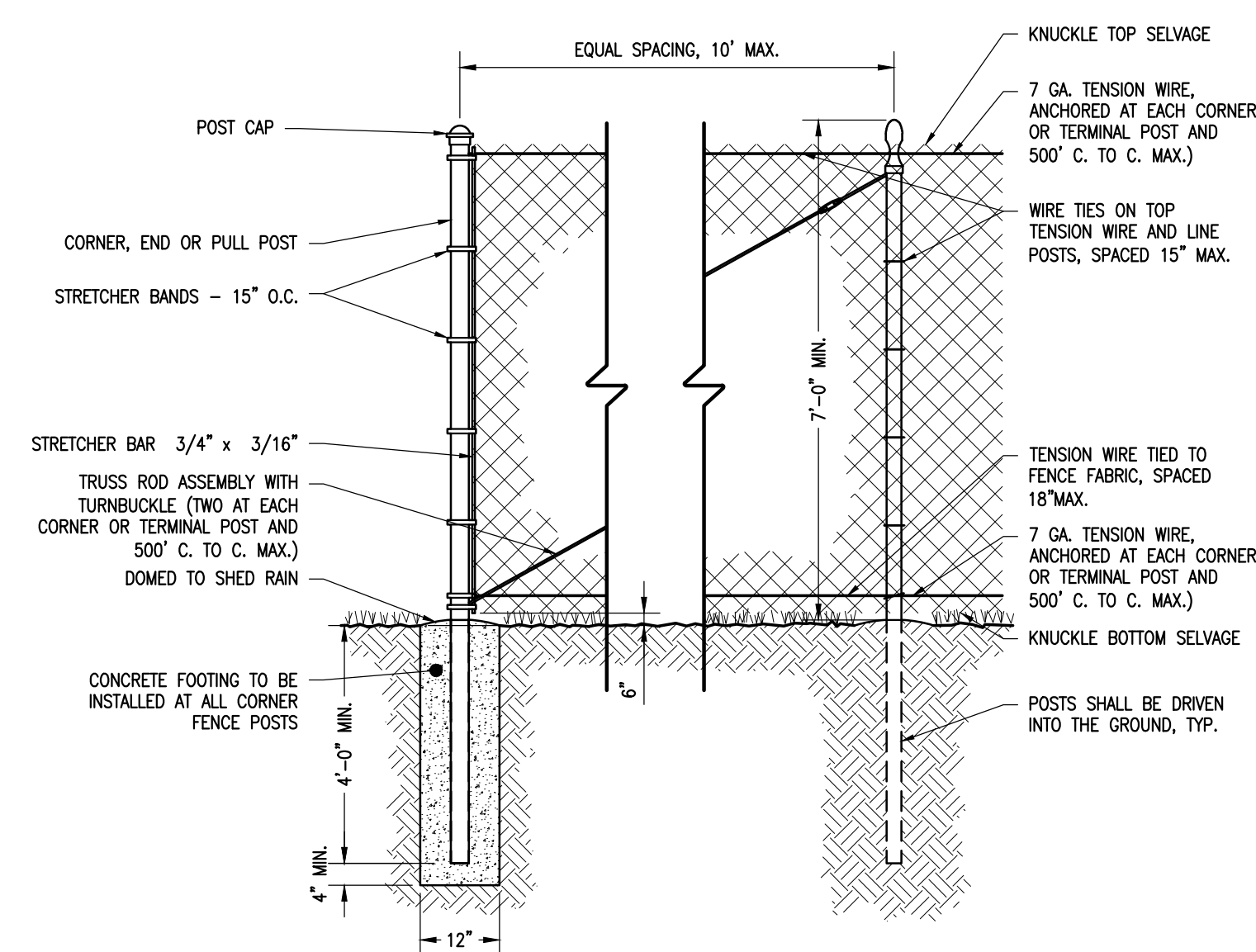
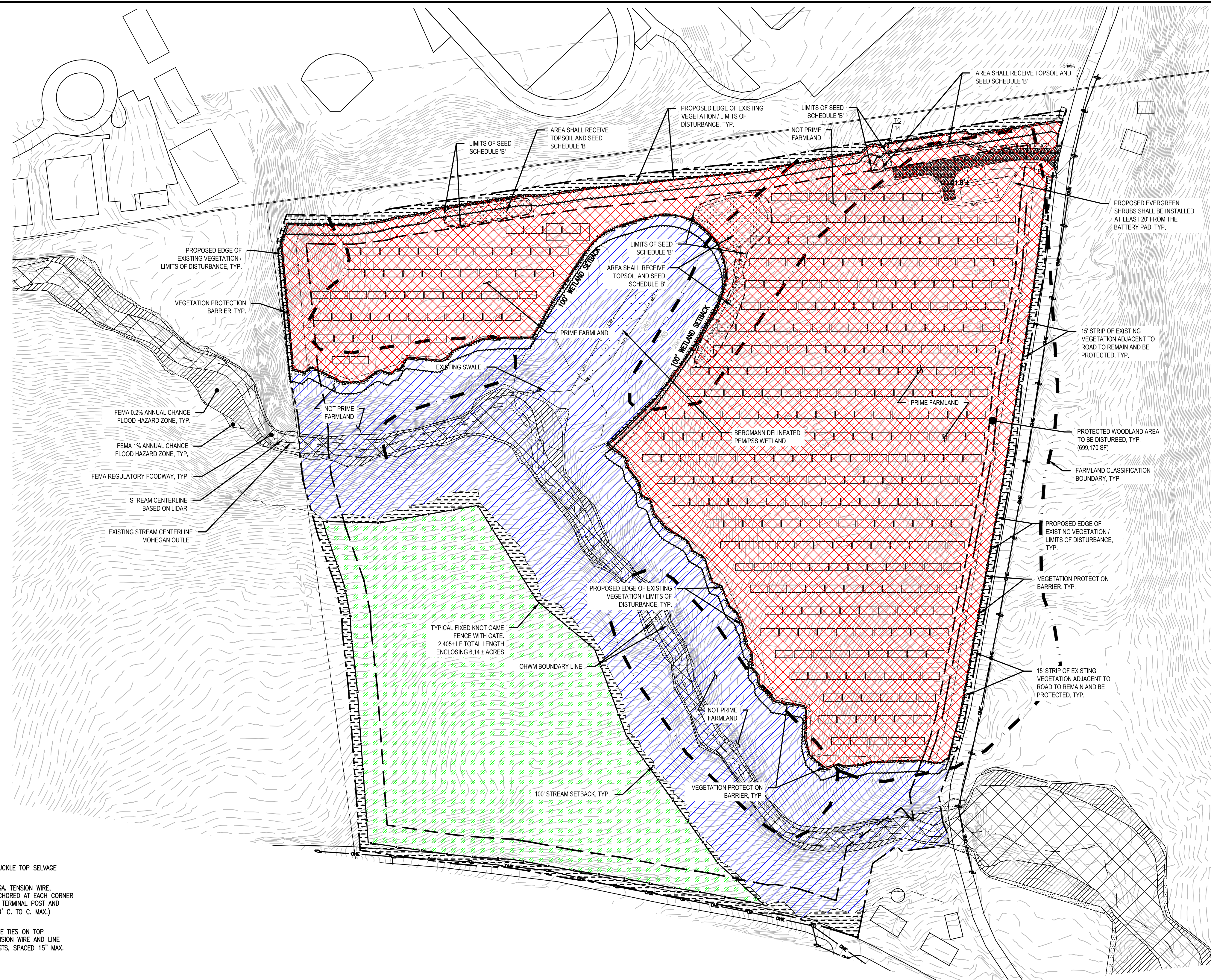
Drawing Number:

C006-A

CALL BEFORE YOU DIG!
NEW YORK LAW REQUIRES
NOTICE AT LEAST 2 FULL WORKING DAYS,
BUT NOT MORE THAN 10 FULL WORKING DAYS,
BEFORE EXCAVATION IS SCHEDULED TO BEGIN.
Dig|Safely. New York
1-800-962-7962

LEGEND:

- PROPOSED DEVELOPMENT AREA (16.00± ACRES)
- ENVIRONMENTAL FEATURES AND BUFFERS (9.81± ACRES)
- UNDISTURBED AREA TO BE PLANTED (6.14± ACRES)
- MISCELLANEOUS AREA (1.80± ACRES)
- PROPOSED CHAINLINK FENCE
- SEED SCHEDULE 'B'
- PROPOSED GRAVEL DRIVEWAY
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- EXISTING VEGETATION
- PROPOSED LIMITS OF TREE CLEARING
- BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- ♁ STREAM
- 100' WETLAND SETBACK
- FARMLAND CLASSIFICATION BOUNDARY



- NOTES:
- ALL POSTS SHALL BE PLUMB
 - WIRE TIES SHALL BE PLACED 15" ON CENTER ALONG TOP RAIL AND LINE POSTS.
 - 6 INCHES OF CLEARANCE SHALL BE PROVIDED AT THE BOTTOM OF THE FENCE.

USE	NOM. OD.
LINE POSTS	2 1/2"
CORNER, END, GATE, & PULL POSTS	3"
RAILS	1 5/8"
GATE FRAMES	2"

CHAIN-LINK FENCE DETAIL
N.T.S.

4/12/2022 1:56 PM M:\Con Edison CEB\014847\00 Con Edison CEB - Yorktown A Solar Farm\4.0 Dwg\4.1 CIVIL\4847.00 Landscape Plan_20220418_recover_recover.dwg

MAR 10 2022

TOWN OF YORKTOWN

MEMO

FROM: Joe Shanahan, Project Developer, Con Edison Clean Energy Businesses

TO: Richard Fon, Chairman, Planning Board, Town of Yorktown

SUBJECT: Proposed Solar Facility, 3849 Foothill Street
Final Mitigation Plan

DATE: March 10, 2022

On October 23, 2021, the Applicant/Developer submitted a proposed Mitigation Plan to the Planning Board pursuant to the Town's Tree Ordinance, Chapter 270 of the Town Code. That Plan has since been discussed and revised in response to comments made by the Tree Conservation Advisory Commission, the Conservation Board, the Planning Board and the Board's attorney. This Memo is intended to incorporate all of the elements of the proposed Mitigation Plan in one document for the Planning Board's consideration.

Payment into the Tree Bank Fund

In accordance with Chapter 270, the Applicant/Developer proposes to make a payment into the Tree Bank Fund of \$207,356. This amount was calculated as follows: 1658 trees to be removed @ \$100 (\$165,800) and the 15.90 acres of the 34.23-acre site to be disturbed @ \$300 for every 5,000 square feet (\$41,556) for a total of \$207,356.

Conservation Restriction on the Remaining 19 Acres

In response to concerns expressed that after the solar project is developed on the approximately 15-acre project site, the remaining approximately 19 acres of the 34-acre Lockwood parcel might still be developed for the installation of an additional solar project or a smaller version of one of the residential subdivisions which Mr. Lockwood has previously presented to the Town, Mr. Lockwood shall commit to enter upon a Conservation Restriction, or another restriction deemed acceptable to the Town, ensuring that the remaining 19 acres will NOT be developed, but left undisturbed and in its current natural state, for the life of the Lease for the solar project.

Plantings for Screening and Mitigation

The Applicant/Developer's proposal would leave undisturbed a 15-foot strip of existing vegetation along Foothill Street and further enhance that natural buffer with an additional 212 plantings, installed at a cost of \$160,000, to enhance the natural screening and in mitigation for the trees removed for the project.

Pollinator Habitat

Almost all of the 15.90 acres disturbed to develop the solar project will be returned to grass and meadow, using a pollinator seed and/or plantings, as suggested by a Certified Ecological Restoration Practitioner with whom the Applicant/Developer has previously consulted. The resulting much-needed pollinator habitat will provide valuable ecosystem services and positive climate impacts.

Pollution and the Greenhouse Gas Effect

While the development of the Lockwood parcel for any other use would result in vehicular traffic which would introduce fuel, oil, grease, road salt and other pollutants to the watershed and emissions which produce harmful greenhouse gases, the proposed solar project would not result in such pollutants nor produce air pollution, but would have a positive, indirect effect on the environment as solar energy replaces or reduces the use of other energy sources that have larger effects on the environment. This one 1.87 MW AC solar project would offset 2,214 metric tons of carbon dioxide (CO₂) during its lifetime which is the equivalent of offsetting 478 passenger vehicles driven for one year or 5,494,911 miles driven by an average passenger vehicle. By comparison, the trees currently on the site which are to be removed for the solar project would sequester less than 1% of that amount of carbon dioxide during the same period.

PILOT Agreement

In addition to the proposed payment into the Tree Bank Fund (\$207,356), the Applicant/Developer has proposed entering upon a PILOT (Payment In Lieu Of Taxes) Agreement with the Town whereby it would pay the Town approximately \$20,757 per year in connection with the solar project, based upon a rate of \$11,100 per MW AC for this approximately 1.87 MW AC project. This would represent payments totaling approximately \$311,355 to the Town over the term of the PILOT Agreement, providing a great tax benefit without placing any burden on Town resources or services as such projects do not use sewer or water, require trash pick-up or police or fire response and, most importantly, do not put any additional children in the school system. As a result, all of this additional revenue can be used for enhancing Town programs and/or infrastructure improvements ... or to lower the tax burden for residents.

State Environmental Quality Review
NEGATIVE DECLARATION
Notice of Determination of Non-Significance

Project Number

Date: April 11, 2022

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Foothill Street Solar Project

SEQR Status: Type 1
Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

The applicant has proposed to install a 1.875 MW ground-mounted solar energy system and 1.875 MW battery energy storage system disturbing approximately 16 acres on a 34.23 acres in the R1-40 zoning district. The site is located at the address 3849 Foothill Street, Mohegan Lake, 10547, also known as Section 15.07, Block 1, Lot 5 on the Town of Yorktown Tax Map.

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

3849 Foothill Street, Mohegan Lake, Town of Yorktown, Westchester County

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

- 1) This Negative Declaration is based on a Full Environmental Assessment Form last revised December 20, 2021.
- 2) The proposed solar array is allowed in all zoning districts.
- 3) The proposed solar array will have no impact on Town services.
- 4) A stormwater management plan will attenuate stormwater runoff and peak discharge from the site to pre-construction conditions through several measures including seeding the area within the perimeter fence with a pollinator seed and/or plantings implementation of the approved stormwater pollution prevention plan.
- 5) While the project requires the removal of 1658 protected trees and 16 acres of protected woodland, the area within the perimeter fence will be seeded with a low-growing seed mix or plantings, 212 plantings along Foothill Street, and a contribution will be made to the Town's tree bank to mitigate this impact.
- 6) The trees and shrubs proposed along Foothill Street will also provide screening of the site and limit to the greatest extent practicable the view of the solar panels from outside the parcel boundaries.
- 7) Construction of the array will be phased to keep the limits of disturbance at any one time to under 5 acres.
- 8) Emergency access to the site has been approved by the Town Fire Inspector.
- 9) The perimeter fencing will allow clearance under the fence for small animals to pass through the area unimpeded.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of Yorktown

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT FOR A LARGE-SCALE SOLAR ENERGY
SYSTEM, SPECIAL USE PERMIT FOR A TIER 2 BATTERY ENERGY
STORAGE SYSTEM, STORMWATER PERMIT, AND TREE REMOVAL
PERMIT FOR THE FOOTHILL SOLAR PROJECT**

RESOLUTION NUMBER: #22-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan and special use permits for a Large-Scale Solar Power Generation System and Tier 2 Battery Energy Storage System with submitted plans titled, "Yorktown A Solar Farm Site Plans," prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated October 27, 2020, and last revised February 8, 2022, was submitted to the Planning Board on behalf of Con Edison Clean Energy Businesses, Inc. (hereinafter referred to as "the Applicant"); and

WHEREAS the Applicant is proposing to construct a 1.875 MW capacity large scale solar energy system and 1.875 MW Tier 2 Battery Energy Storage System on approximately 16 acres of a 34.23 acre parcel in the R1-40 zoning district, located at 3849 Foothill Street, Mohegan Lake in the Town of Yorktown and owned by William Lockwood, also known as Section 15.07, Block 1, Lot 5 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS pursuant to SEQRA:

1. The action has been identified as a Type I action because the proposed action involves the physical alteration of more than 10 acres.
2. The Planning Board has been declared lead agency on April 11, 2022.
3. A negative declaration has been adopted on April 11, 2022 on the basis of a Full EAF dated December 20, 2021.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A drawing, sheet C000, titled "Cover Sheet," prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and

2. A drawing, sheet C001, titled “Overall Site Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
3. A drawing, sheet C002, titled “Site Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
4. A drawing, sheet C003, titled “Grading/SWPPP Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
5. A drawing, sheet C004, titled “Detailed Grading Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
6. A drawing, sheet C005, titled “Driveway Details,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
7. A drawing, sheet C006, titled “Landscaping & Planting for Mitigation Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
8. A drawing, sheet C006-A, titled “Landscaping & Planting for Mitigation Plan for Undisturbed Area,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
9. A drawing, sheet C007, titled “Phasing Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
10. A drawing, sheet C008, titled “General Notes,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
11. A drawing, sheet C009, titled “Erosion and Sediment Control Details,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and

12. A drawing, sheet C010, titled “Erosion and Sediment Control Details,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
13. A drawing, sheet C011, titled “Site Details,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
14. A drawing, sheet C012, titled “Construction Details,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
15. A drawing, sheet C013, titled “Construction Details,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised February 8, 2022; and
16. A drawing, sheet LOS, titled “Line of Sight Profile Site Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated February 8, 2022, and last revised February 14, 2022; and
17. A drawing, sheet LOS-1, titled “Line of Sight Profile,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated February 8, 2022, and last revised February 14, 2022; and
18. A drawing, sheet LOS-2, titled “Line of Sight Profile,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated February 8, 2022, and last revised February 14, 2022; and
19. A drawing, sheet LOS-3, titled “Line of Sight Profile,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated February 8, 2022, and last revised February 14, 2022; and
20. A drawing, sheet C003, titled “Slope Heat Map Exhibit,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated October 27, 2020, and last revised November 22, 2021; and

Additional Documents

21. A memo from Joe Shanahan, Project Developer, Con Edison Clean Energy Businesses with subject, “Proposed Solar Facility, 3849 Foothill Street Final Mitigation Plan,” and dated March 10, 2022;

22. A memo from Joe Shanahan, Project Developer, Con Edison Clean Energy Businesses with subject, "Proposed Solar Facility, 3849 Foothill Street Supplement to Final Mitigation Plan," and dated April 19, 2022;
23. A memo from Bergmann Associates with the subject, "Proposed Solar Facility, 3849 Foothill Street Native Plantings for Mitigation Area," and dated April 20, 2022;
24. A Tree Inventory, prepared by Bartlett Tree Experts, and dated June 28, 2021;
25. A Stormwater Pollution Prevention Plan, prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and submitted January 28, 2021; and
26. A Wetland and Aquatic Resources Delineation Report, prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated May 16, 2018; and
27. A noise analysis, prepared by Harris Miller Miller & Hanson Inc., and dated June 25, 2021; and
28. A noise analysis, prepared by Harris Miller Miller & Hanson Inc., for the Wellness Trail, and dated November 24, 2021; and
29. Photo simulations, prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated March 2021; and
30. A decommissioning plan and cost estimate, submitted in a memo from Joe Shanahan, Con Edison Clean Energy Businesses, dated April 23, 2021; and
31. Specification sheets for proposed the solar equipment; and
32. Specification sheets for proposed the battery storage equipment; and
33. A drawing, sheet PV04, titled "Three Line Diagram," prepared by ConEdison Solutions, and dated January 20, 2021; and
34. Draft Emergency Action Plan, prepared by ConEdison Clean Energy Businesses, and dated February 1, 2022; and
35. Employee Health and Safety Manual, prepared by ConEdison Clean Energy Businesses, and dated January 2022; and

36. A determination of no hazard from the Federal Aviation Administration, issued September 11, 2017; and

WHEREAS in memos dated March 10, 2022 and April 20, 2022, ConEdison Clean Energy Businesses outlined a mitigation plan, which consists of the following:

- A) This project requires removal of 1658 trees and the total area of tree removal is 15.90 acres, therefore a payment to the Tree Bank Fund in the amount of \$207,356.00; and
- B) A conservation restriction will be placed on the remaining approximately 19 acres of the parcel to ensure that this area will not be developed, and will be left undisturbed and in its current natural state, for the life of the Lease for the solar project.
- C) The proposed development would leave a 15 foot strip of existing vegetation along Foothill Street undisturbed and further enhance this natural buffer with an additional 212 plantings; and
- D) The 15.90 acres to be disturbed for the installation of the solar project will be planted as grass and meadow using a pollinator seed and/or plantings as suggested by a Certified Ecological Restoration Professional; and
- E) The Applicant will prepare a plan showing the remaining 19 acres of woodland and the limitations under Chapter 178 which results in 6.5 acres in which the following can be accomplished:
 - 1. The 6.5 acres shall be enclosed with a 7-foot chain link fence with a 6-inch clearing at the bottom to allow small animals (but not deer) to traverse, with a gate for maintenance.
 - 2. The Applicant will engage a weed and invasive plant specialist who shall do an analysis of the 6.5-acre area, identify the different invasive plants, and create a plan to remove the invasive weeds and non-native plants.
 - 3. The Applicant will develop a native understory species planting plan consisting of a combination of native flowers, grasses, shrubs, trees and/or vines.
 - 4. The invasive weeds and non-native plants will be removed and the understory species planted in accordance with the above-mentioned plans.

F) The Applicant will enter into a PILOT agreement with the Town of Yorktown

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
Conservation Board	11/05/20, 07/22/21, 09/01/21, 02/18/22
Environmental Consultant	11/01/21, 12/06/21, 04/04/22
Fire Inspector	11/17/20, 10/29/21, 12/04/21, 12/29/21
Town Engineer	11/09/20, 12/14/21
Tree Conservation Advisory Commission	03/22/21, 01/03/22, 01/10/22, 02/02/22
Westchester County Planning Board	11/13/20, 12/02/20
NYS OPRHP	05/21/18

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application via Zoom video conference commencing and closing on April 12, 2021; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing on September 13, 2021 at Town Hall in Yorktown Heights, New York and closing on January 10, 2022 via Zoom video conference;

RESOLVED the Planning Board finds the proposed site plan meets all the requirements and special use permit standards set forth in § 300-81.4 Solar power generation systems and facilities and § 300-81.5 Battery energy storage systems; and

BE IT THEREFORE NOW RESOLVED that the application of Con Edison Clean Energy Businesses, Inc. for the approval of a site plan and special use permits for a Large-Scale Solar Power Generation System and Tier 2 Battery Energy Storage System with submitted plans titled "Yorktown A Solar Farm Site Plans," prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated October 27, 2020, and last revised February 8, 2022, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

RESOLVED the Town's environmental consultant recommended habitat friendly perimeter fencing surround the project and the applicant will install 7 foot tall chain link fencing with a 6 inch clearance at the bottom to allow for animal passage; and

RESOLVED the Applicant is required to provide the following measures to mitigate the environmental impacts of the proposed solar facility:

- A) Payment to the Tree Bank Fund to be determined by the Planning Board once the mitigation for the undeveloped area described in Section E below is accepted by the Board and the cost of said mitigation is subtracted from the Applicant's proposed payment of \$207,356.00; and
- B) A conservation restriction will be placed on the remaining approximately 19 acres of the parcel to ensure that this area will not be developed, and will be left undisturbed and in its current natural state, for the life of the Lease for the solar project.
- C) The proposed development would leave a 15 foot strip of existing vegetation along Foothill Street undisturbed and further enhance this natural buffer with an additional 212 plantings; and
- D) The 15.90 acres to be disturbed for the installation of the solar project will be planted as grass and meadow using a pollinator seed and/or plantings as suggested by a Certified Ecological Restoration Professional; and
- E) In the 6.5 acre undeveloped area as shown on plan sheet C-006-A listed herein the Applicant will:
 1. Enclose the area with a 7-foot chain link fence with a 6-inch clearing at the bottom to allow small animals (but not deer) to traverse, with a gate for maintenance.
 2. The Applicant will engage a weed and invasive plant specialist to identify the invasive plants, and create a plan to remove the invasive weeds and non-native plants.
 3. The Applicant will develop a native understory planting plan based on the list of native plant species submitted on April 20, 2022 to the satisfaction of the Planning Board.
 4. The invasive weeds and non-native plants will be removed and the understory species planted in accordance with the above-mentioned plans.

Additional requirements prior to signature of the Site Plan and Stormwater Pollution Prevention Plan & Tree Permit by the Planning Board Chairman:

1. Submission of a final plan for installation of a fence, removal of invasive and non-native species, and the planting of native understory plants in the undisturbed area to the satisfaction of the Planning Board.
2. Submission of a Payment to the Tree Bank Fund in an amount determined by the Planning Board, but not to exceed \$207,356.00.
3. Submission of a final Stormwater Pollution Prevention Plan to the satisfaction of the Town Engineer and Planning Board.
4. Submission of any applicable inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements prior to Issuance of a Building Permit:

5. Submission of a decommissioning bond in an amount sufficient to cover the cost of decommissioning the system.

Additional requirements:

6. The owner, operator, or manager of the solar power generation system must conduct annual inspections of the site's approved landscaping, screening, and any other required vegetative plantings to ascertain the health, effectiveness, condition, and viability of said plantings and submit these findings annually to the Town Engineer. Any dead or diseased vegetative material or any other deficiencies must be promptly replaced or repaired.
7. Solar Energy Systems shall comply with all applicable laws, including, as applicable, the Fire Code of the State of New York and Applicant must obtain all necessary permits from outside agencies.
8. All Large-Scale Solar Energy Systems shall maintain an emergency key box on site to provide for emergency access to the system and to provide for the storage of vital system information.

BE IT FURTHER RESOLVED to the extent any real property with a Solar Energy System approved herein is exempt from taxation to the extent of any increase in the assessed value

thereof by reason of the inclusion of such Solar Energy System under New York Real Property Tax Law § 487, the property owner shall be required to enter a contract with the Town for payments in lieu of taxes (“PILOT”), as set forth in N.Y. R.P.T.L. § 487(9). The amount of such PILOT shall be set by the Town Board, upon recommendation of the Town Assessor. Said recommendation shall be based upon industry-recognized standards (e.g., the New York State Energy Research and Development Authority (NYSERDA) PILOT calculators). Under N.Y. R.P.T.L. § 487, Solar Energy Systems are not exempt from special district ad valorem taxes, which will be the responsibility of the property owner in addition to any PILOT payments; and

BE IT FURTHER RESOLVED that in accordance with Town Code Chapter 248, and Chapter 270, the application of Con Edison Clean Energy Businesses, Inc. for the approval of a Stormwater Pollution Prevention Plan and Tree Removal Permit **#FSWPPP-T-026-21** is approved subject to the conditions listed therein; and

BE IT FURTHER RESOLVED the owner, operator or manager of the solar power generation system must conduct annual inspections of the site’s approved landscaping, screening, buffering, and any other required vegetative plantings or structures required under this approval. The inspection shall ascertain the health, effectiveness, condition and viability of such landscaping, screening, buffering, and any other required vegetative plantings or structures. The findings of each annual inspection shall be reported to the Town Engineer as a written report with photographs where necessary. Any dead or diseased vegetative material or any other deficiencies shall be promptly replaced or repaired by the site owner, operator, or manager. If such diseased, dead or deficient material is not promptly replaced or repaired to the satisfaction of the Town Engineer, the Town Engineer shall exercise enforcement action pursuant to Section §300-193 of the Town Code; and

BE IT FURTHER RESOLVED the approval of the Planning Board is not valid until the conditions of this resolution are met and the Site Plan and Stormwater Pollution Prevention Plan & Tree Removal Permit **#FSWPPP-T-026-21** are signed by the Planning Board Chairman; and

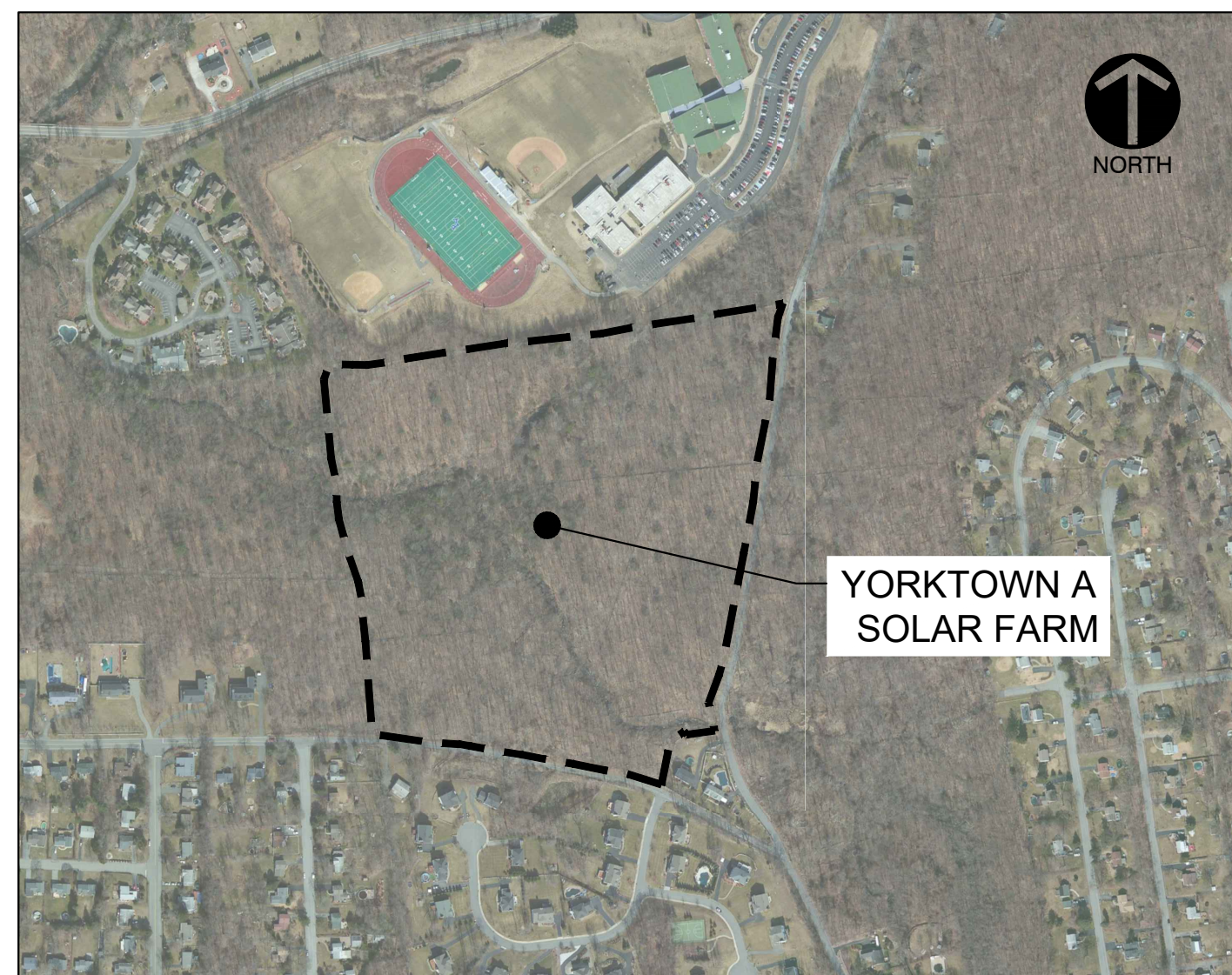
BE IT FURTHER RESOLVED that unless a building permit has been issued within one year of the date of this resolution, **<DATE>**, or a time extension has been granted by the Planning Board, this approval will be null and void; and

BE IT FURTHER RESOLVED the special use permits granted by this resolution for a large-scale solar power generation system and Tier 2 battery energy storage system shall run with the site plan approval and all improvements shall be completed within 24 months once a building permit is obtained.

CON EDISON CLEAN ENERGY BUSINESSES, INC.

YORKTOWN A SOLAR FARM SITE PLANS

FOOTHILL STREET
TOWN OF YORKTOWN



LOCATION MAP
1"=500'

SHEET INDEX			
C000	SHEET 1 OF	14	COVER SHEET
C001	SHEET 2 OF	14	OVERALL SITE PLAN
C002	SHEET 3 OF	14	SITE PLAN
C003	SHEET 4 OF	14	GRADING / SWPPP PLAN
C004	SHEET 5 OF	14	DETAILED GRADING PLAN
C005	SHEET 6 OF	14	DRIVEWAY DETAILS
C006	SHEET 7 OF	14	LANDSCAPING & PLANTING FOR MITIGATION PLAN
C007	SHEET 8 OF	14	PHASING PLAN
C008	SHEET 9 OF	14	GENERAL NOTES
C009	SHEET 10 OF	14	EROSION & SEDIMENT CONTROL DETAILS
C010	SHEET 11 OF	14	EROSION & SEDIMENT CONTROL DETAILS
C011	SHEET 12 OF	14	SITE DETAILS
C012 & C013	SHEET 13 & 14 OF	14	CONSTRUCTION DETAILS

PROJECT INFORMATION:

LATITUDE: 41.333 N
 LONGITUDE: 73.859 W
 TOWN: YORKTOWN
 COUNTY: WESTCHESTER
 STATE: NEW YORK

PROJECT OWNER/APPLICANT:

CON EDISON CLEAN ENERGY BUSINESSES, INC.
 100 SUMMIT LAKE DRIVE
 VALHALLA, NY 10595
 PH: (973) 600-4328
 CONTACT: JOE SHANAHAN

PREPARED BY:

BERGMANN
 2 WINNERS CIRCLE, SUITE 102
 ALBANY, NY 12205
 PH: (518) 862-0325
 CONTACT: ERIC REDDING, P.E.

YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

**CON EDISON CLEAN
ENERGY BUSINESSES, INC.**

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595



Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office: 518.862.0325

www.bergmannpc.com

REVISIONS				
NO.	DATE	DESCRIPTION	REV.	CK'D
1	1/29/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR
4	2/08/2022	PLAN REVISIONS	WD	ECR

**PRELIMINARY
NOT FOR CONSTRUCTION**



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Note:
Unauthorized alteration or addition to this drawing is a violation of
the New York State Education Law Article 145, Section 7209.

ECR	ECR
Designed By	Drawn By
WD	WD
Date Issued	Scale
OCTOBER 27, 2020	AS NOTED
Project Number:	
14847.00	

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 BEFORE EXCAVATION IS SCHEDULED TO BEGIN.
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COVER SHEET

C000

YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595

BERGMANN
ARCHITECTS ENGINEERS PLANNERS

Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office: 518.862.0325

www.bergmannpc.com

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ECR	ECR
Checked By:	Drawn By:
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	1"=100'
Project Number:	
14847.00	

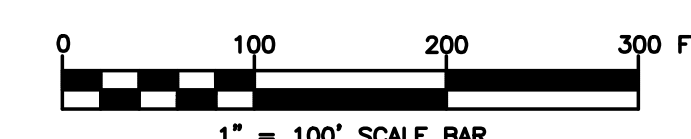
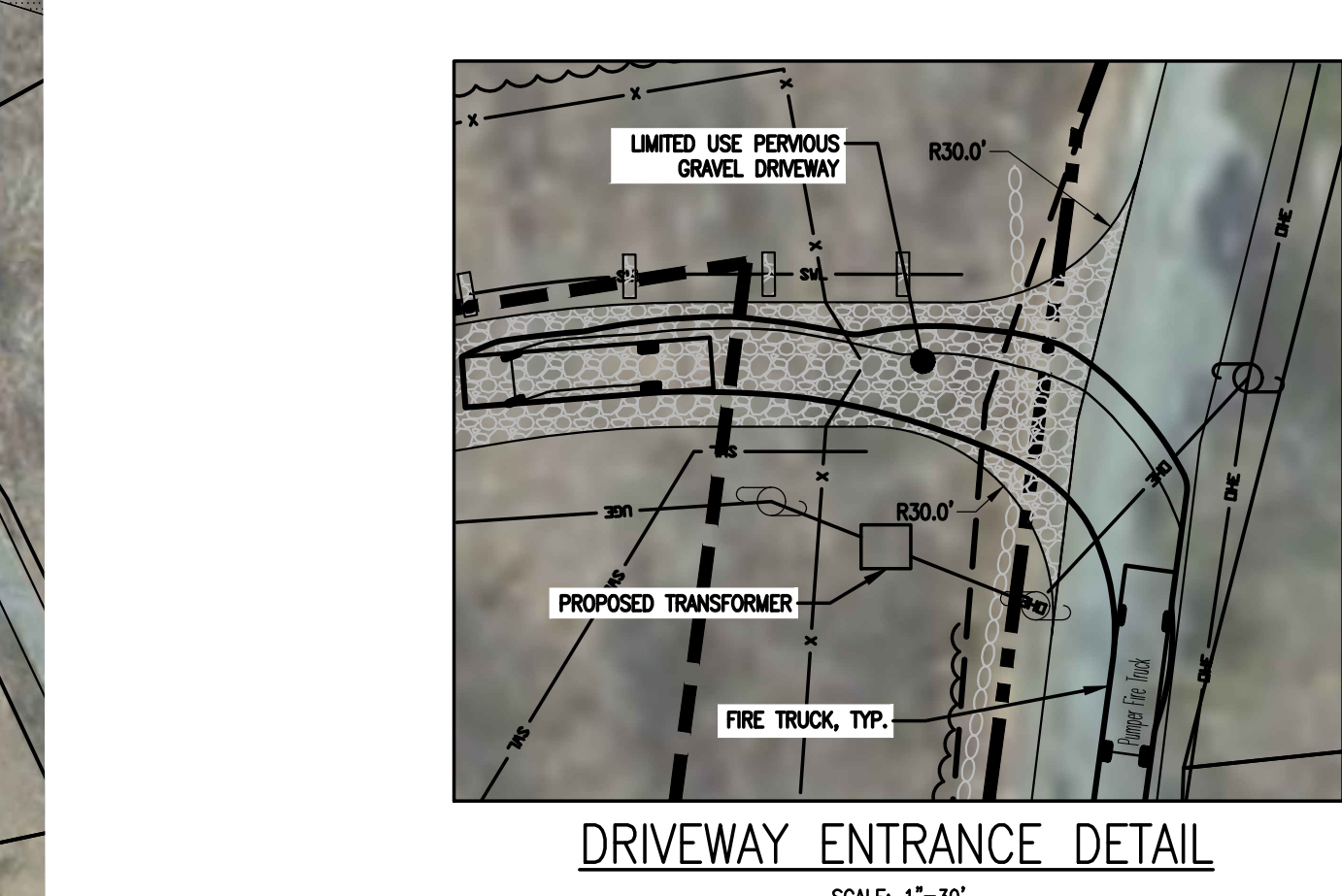
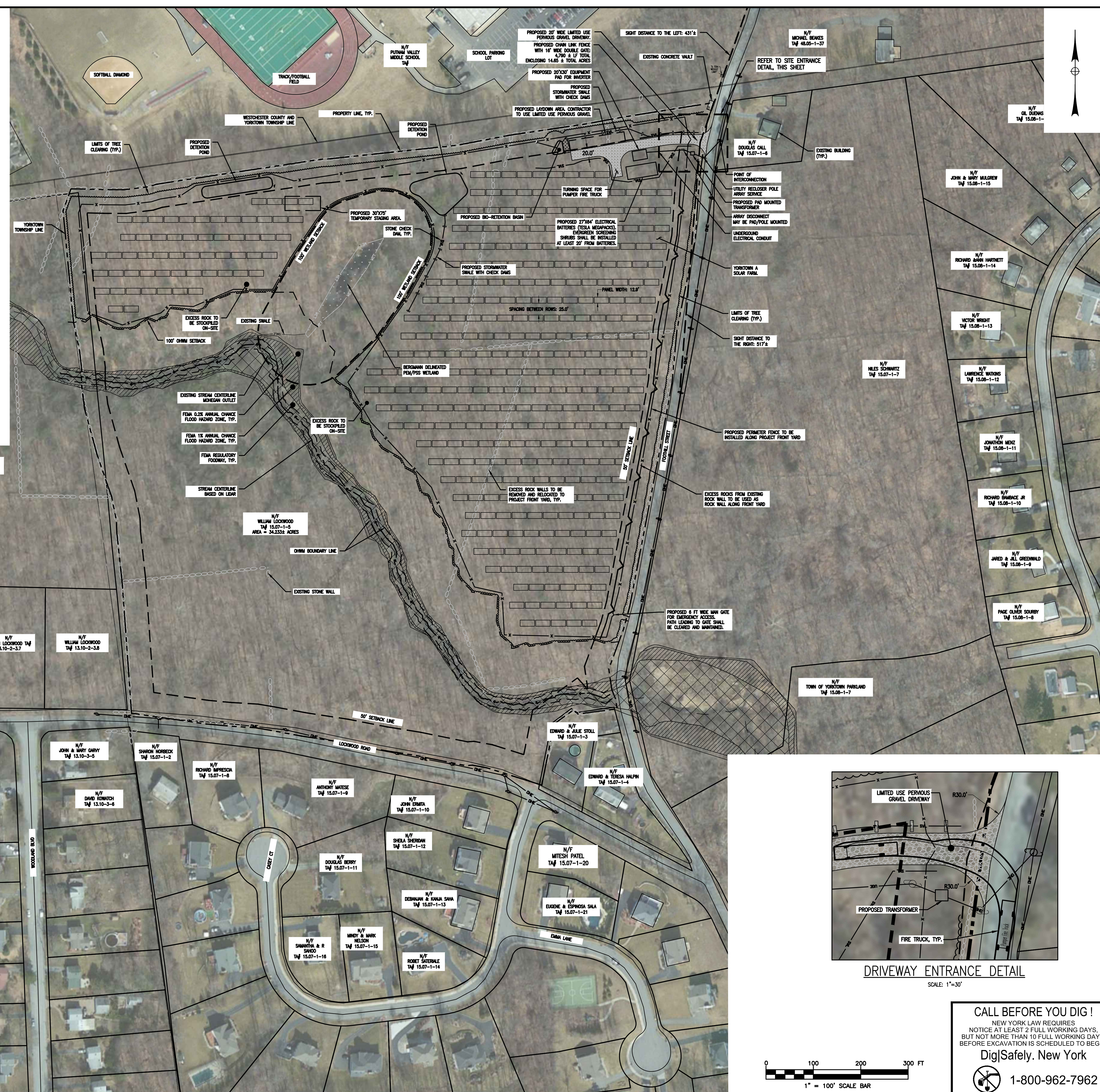
OVERALL SITE PLAN

Drawing Number:

C001

LEGEND:

	PROPERTY LINE SETBACK - 50 FEET
	PROPERTY/R.O.W. LINE
	EXISTING LOT LINE ADJUSTMENT
	PROPOSED GRAVEL DRIVEWAY
	FEMA 1% ANNUAL CHANCE FLOOD HAZARD
	FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
	EXISTING FEMA REGULATORY FLOODWAY
	EXISTING ROAD
	ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
	FENCE LINE
	CONTOUR - MAJOR
	CONTOUR - MINOR
	EXISTING VEGETATION
	EXISTING ROCK WALL
	PROPOSED LIMITS OF TREE CLEARING
	BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
	Q STREAM
	100' WETLAND BUFFER
	PROPOSED ROCK WALL
	PROPOSED SCREENING TREES
	PROPOSED SWALE



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2/8/2022 7:32 AM M:\Con Edison CEB\014847.00 Con Edison CEB - Yorktown A Solar Farm\k.d Dwg\k.d.1 CIV\114847.00 Site Plan.dwg

SITE PLAN DATA TABLE

SITE IS LOCATED IN THE "R1-40" RESIDENTIAL ZONING DISTRICT.

PROPOSED USE: SOLAR

PARCEL 15.07-1-5
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER
STATE OF NEW YORK

APPLICANT: CON EDISON CLEAN ENERGY BUSINESSES, INC.
100 SUMMIT LAKE DRIVE
VALHALLA NY, 10595
(978) 888-4088

OWNER(S) OF RECORD: WILLIAM LOCKWOOD

PLANS PREPARED BY:
BERGMANN
2 WINNERS CIRCLE, SUITE 102
ALBANY, NY 12205
(518) 862-0325

DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	2 AC.	34.2± AC.
MIN. LOT WIDTH	150 FT	1,011± FT
MIN. LOT DEPTH	150 FT	1,114± FT
MIN. SIDE YARD SETBACK	50 FT	60± FT
MIN. FRONT YARD SETBACK	50 FT	55± FT
MIN. REAR YARD SETBACK	50 FT	50± FT
MAX. PANEL HEIGHT	15 FT	12± FT
MAX. LOT COVERAGE (INCLUDING PANELS)	80%	11.3± %

YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595



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2 Winners Circle, Suite 102
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**PRELIMINARY
NOT FOR CONSTRUCTION**



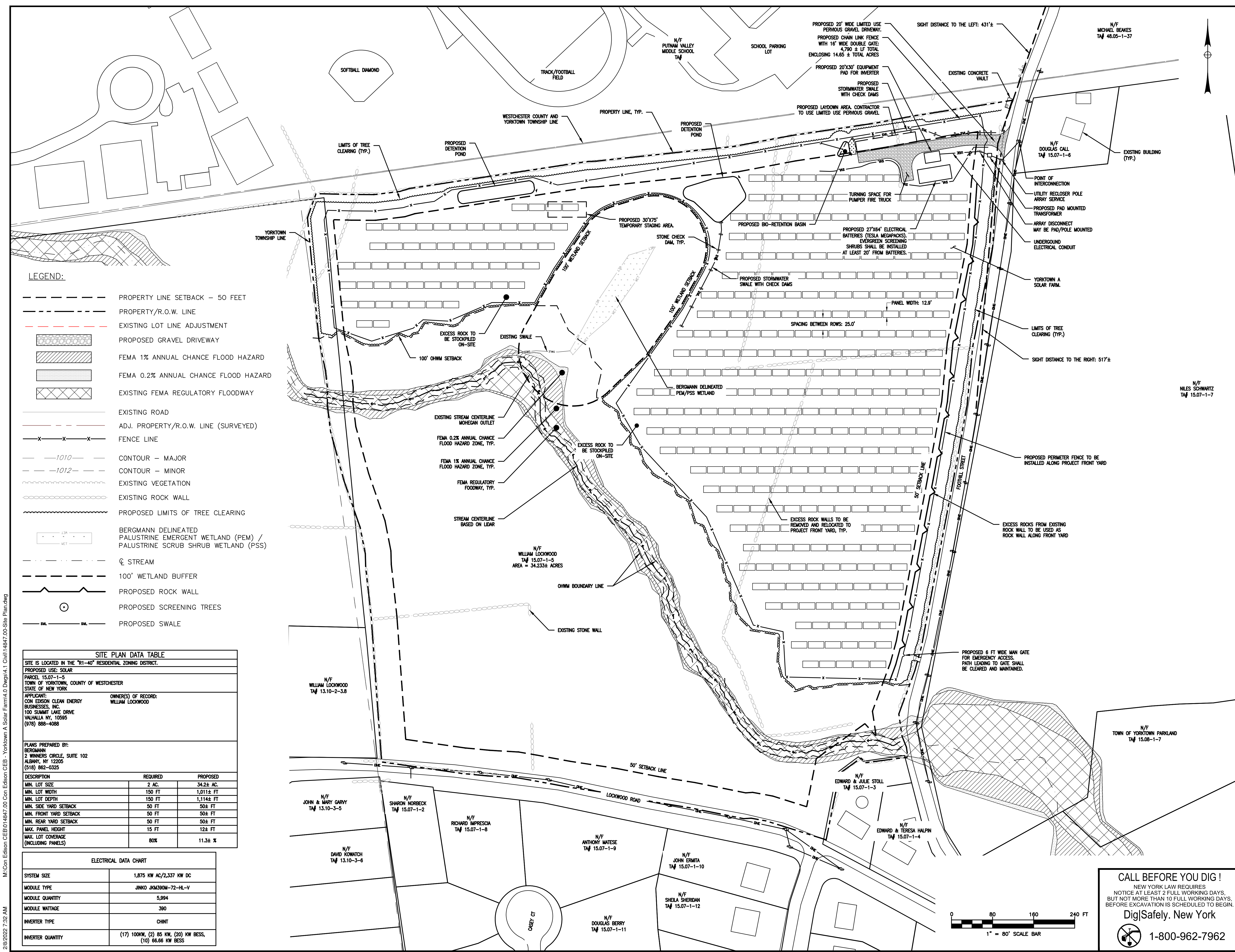
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the New York State Education Law Article 145, Section 7209.

ECR	ECR
WD	WD
October 27, 2020	1"=80'
14847.00	

SITE PLAN

C002



- LEGEND:**
- PROPERTY LINE SETBACK - 50 FEET
 - PROPERTY/R.O.W. LINE
 - - - EXISTING LOT LINE ADJUSTMENT
 - [Pattern] PROPOSED GRAVEL DRIVEWAY
 - [Pattern] FEMA 1% ANNUAL CHANCE FLOOD HAZARD
 - [Pattern] FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
 - [Pattern] EXISTING FEMA REGULATORY FLOODWAY
 - EXISTING ROAD
 - - - ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
 - x - x - x - FENCE LINE
 - 1010 --- CONTOUR - MAJOR
 - 1012 --- CONTOUR - MINOR
 - [Pattern] EXISTING VEGETATION
 - [Pattern] EXISTING ROCK WALL
 - [Pattern] PROPOSED LIMITS OF TREE CLEARING
 - [Pattern] BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
 - Q --- STREAM
 - 100' WETLAND BUFFER
 - [Pattern] PROPOSED ROCK WALL
 - [Symbol] PROPOSED SCREENING TREES
 - [Symbol] PROPOSED SWALE

SITE PLAN DATA TABLE

SITE IS LOCATED IN THE "R1-40" RESIDENTIAL ZONING DISTRICT.
PROPOSED USE: SOLAR
PARCEL 15.07-1-5
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER
STATE OF NEW YORK
APPLICANT: CON EDISON CLEAN ENERGY BUSINESSES, INC.
100 SUMMIT LAKE DRIVE
VALHALLA, NY, 10595
(878) 868-4088
OWNER(S) OF RECORD: WILLIAM LOCKWOOD

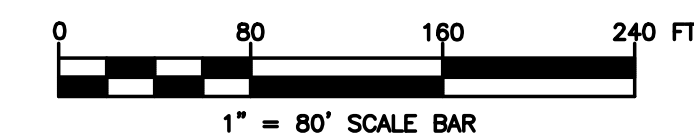
PLANS PREPARED BY:
BERGMANN
12 WINNERS CIRCLE, SUITE 102
ALBANY, NY 12205
(518) 862-0325

DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	2 AC.	34.2± AC.
MIN. LOT WIDTH	150 FT	1,011± FT
MIN. LOT DEPTH	150 FT	1,114± FT
MIN. SIDE YARD SETBACK	50 FT	50± FT
MIN. FRONT YARD SETBACK	50 FT	50± FT
MIN. REAR YARD SETBACK	50 FT	50± FT
MAX. PANEL HEIGHT	15 FT	12± FT
MAX. LOT COVERAGE (INCLUDING PANELS)	80%	11.3± %

ELECTRICAL DATA CHART

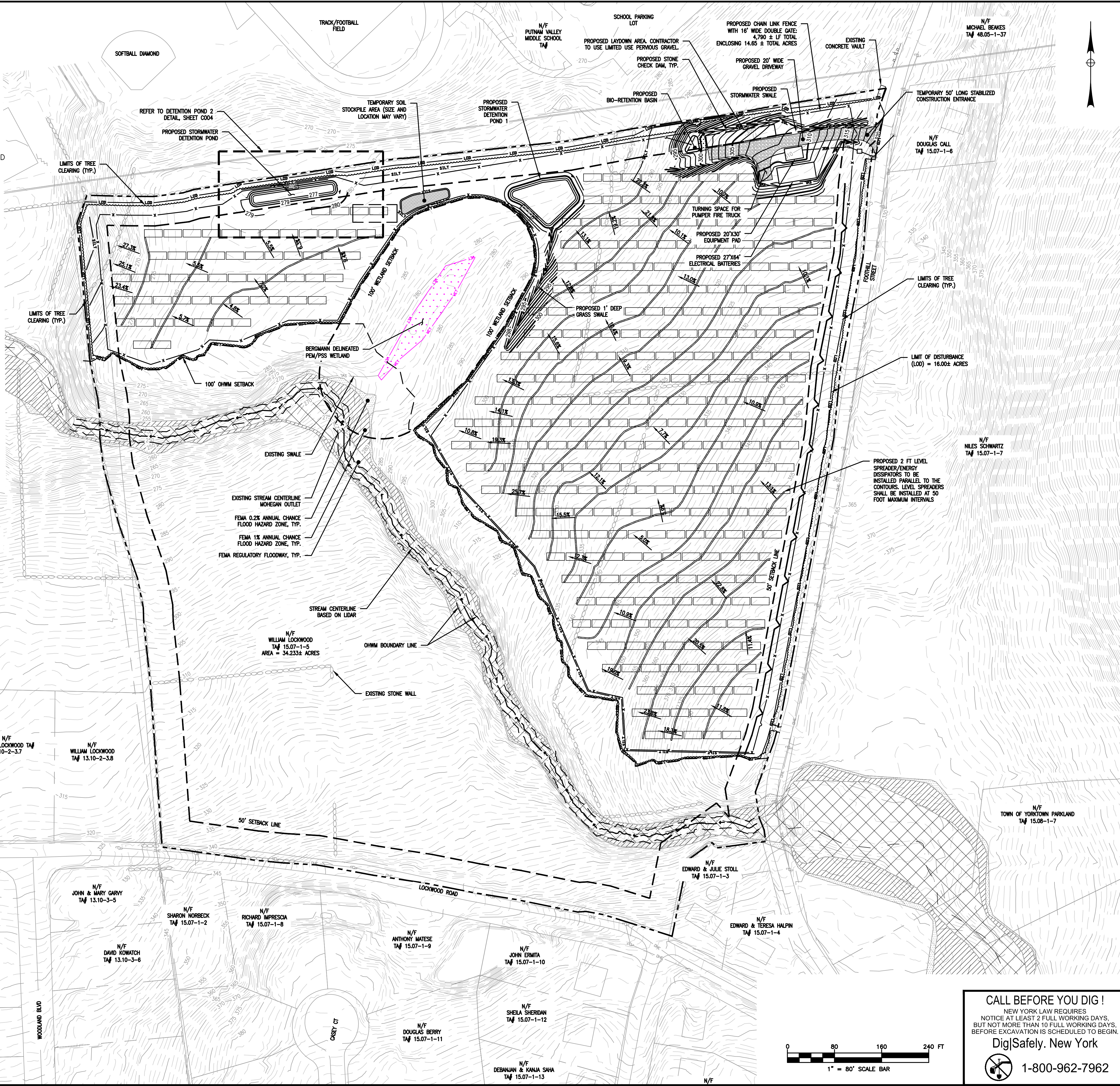
SYSTEM SIZE	1,875 KW AC/2,337 KW DC
MODULE TYPE	JINKO JKM390M-72-HL-V
MODULE QUANTITY	5,994
MODULE WATTAGE	390
INVERTER TYPE	CHINT
INVERTER QUANTITY	(17) 100KW, (2) 85 KW, (20) KW BESS, (10) 66.66 KW BESS

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2/8/2022 7:52 AM M:\Con Edison CEB\014847\200 Con Edison CEB - Yorktown A Solar Farm\4.0 Dwg\4.1 Civil\14847.00 Site Plan.dwg

- LEGEND:**
- PROPERTY LINE SETBACK - 50 FEET
 - - - PROPERTY/R.O.W. LINE (SURVEYED)
 - - - EXISTING LOT LINE ADJUSTMENT
 - [Pattern] PROPOSED GRAVEL DRIVEWAY
 - [Pattern] PROPOSED ASPHALT PAVEMENT
 - [Pattern] FEMA 1% ANNUAL CHANCE FLOOD HAZARD
 - [Pattern] FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
 - [Pattern] EXISTING FEMA REGULATORY FLOODWAY
 - EXISTING ROAD
 - - - ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
 - x - x - FENCE LINE
 - - - EXISTING CONTOUR - MAJOR
 - - - EXISTING CONTOUR - MINOR
 - - - PROPOSED CONTOUR - MAJOR
 - - - PROPOSED CONTOUR - MINOR
 - [Pattern] EXISTING VEGETATION
 - [Pattern] EXISTING ROCK WALL
 - [Pattern] PROPOSED LIMITS OF TREE CLEARING
 - [Pattern] BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
 - Q STREAM
 - - - 100' WETLAND BUFFER
 - - - LIMITS OF DISTURBANCE LINE
 - - - SILT SOCK
 - - - LEVEL SPREADER/ENERGY DISSIPATOR



YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595



Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office: 518.862.0325

www.bergmannpc.com

REVISIONS				
NO.	DATE	DESCRIPTION	REV.	CKD
1	1/29/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR
4	2/08/2022	PLAN REVISIONS	WD	ECR

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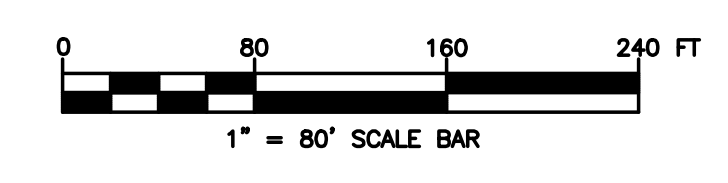


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ECR	ECR
WD	WD
Date Issued:	Scale:
OCTOBER 27, 2020	1" = 80'
Project Number:	
14847.00	

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GRADING / SWPPP PLAN

C003

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4	2/08/2022	PLAN REVISIONS	WD	ECR

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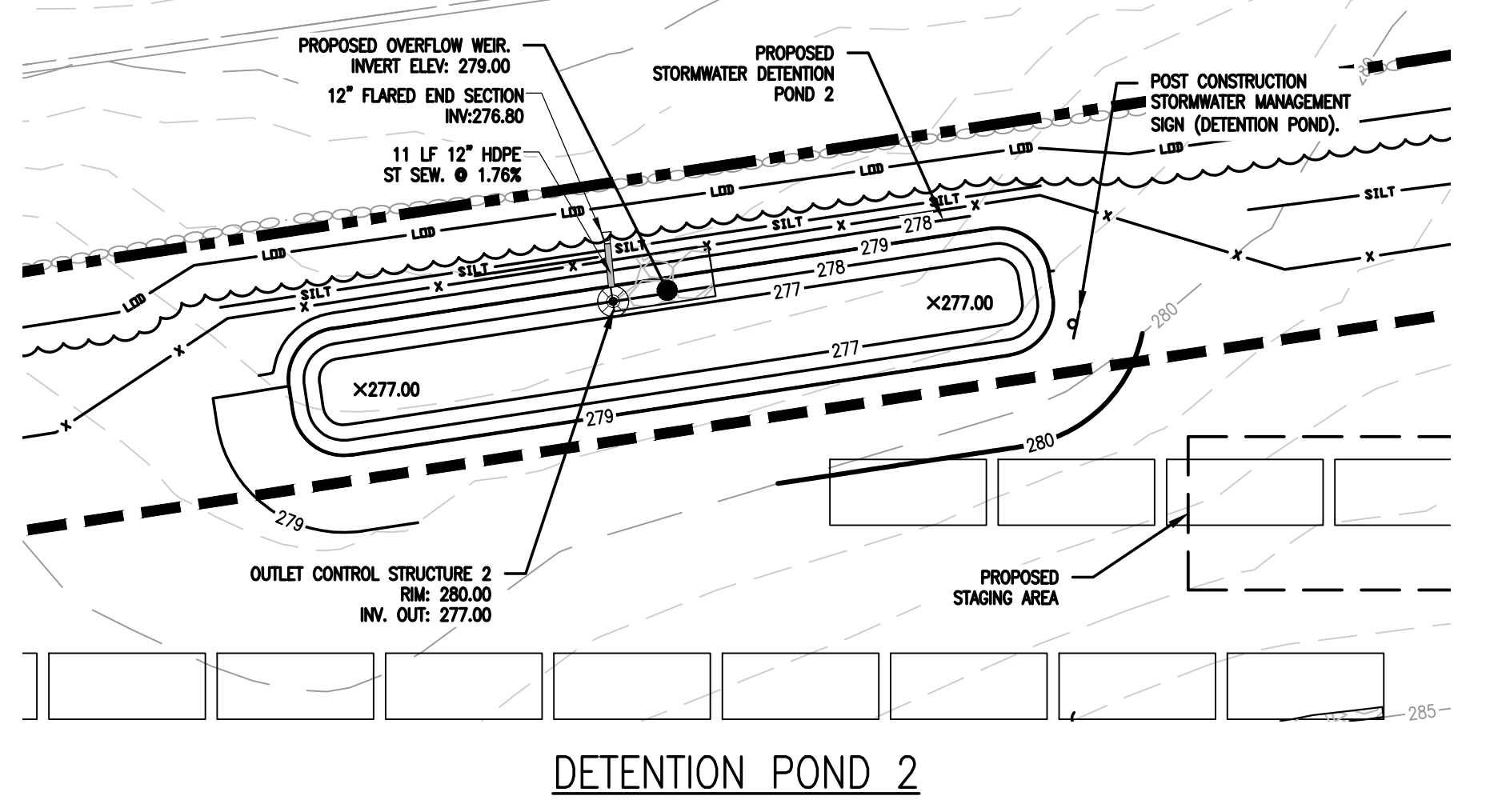
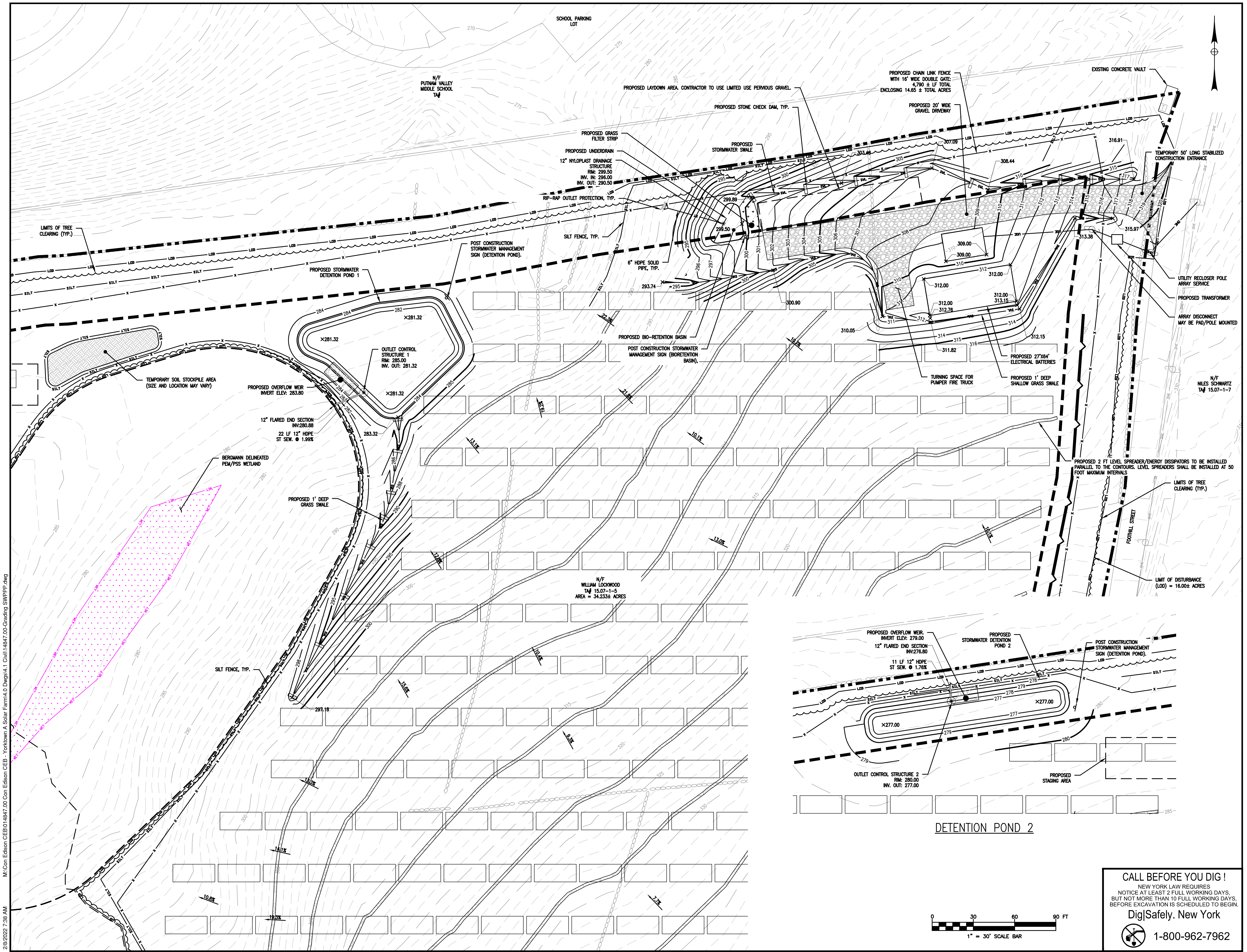
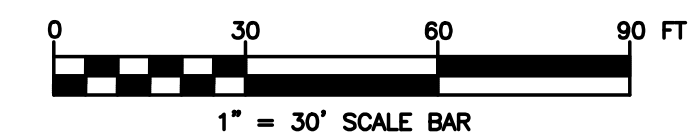
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Date Issued	Scale
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14847.00	

DETAILED GRADING PLAN

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DETENTION POND 2

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YORKTOWN A SOLAR FARM

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4	2/08/2022	PLAN REVISIONS	WD	ECR

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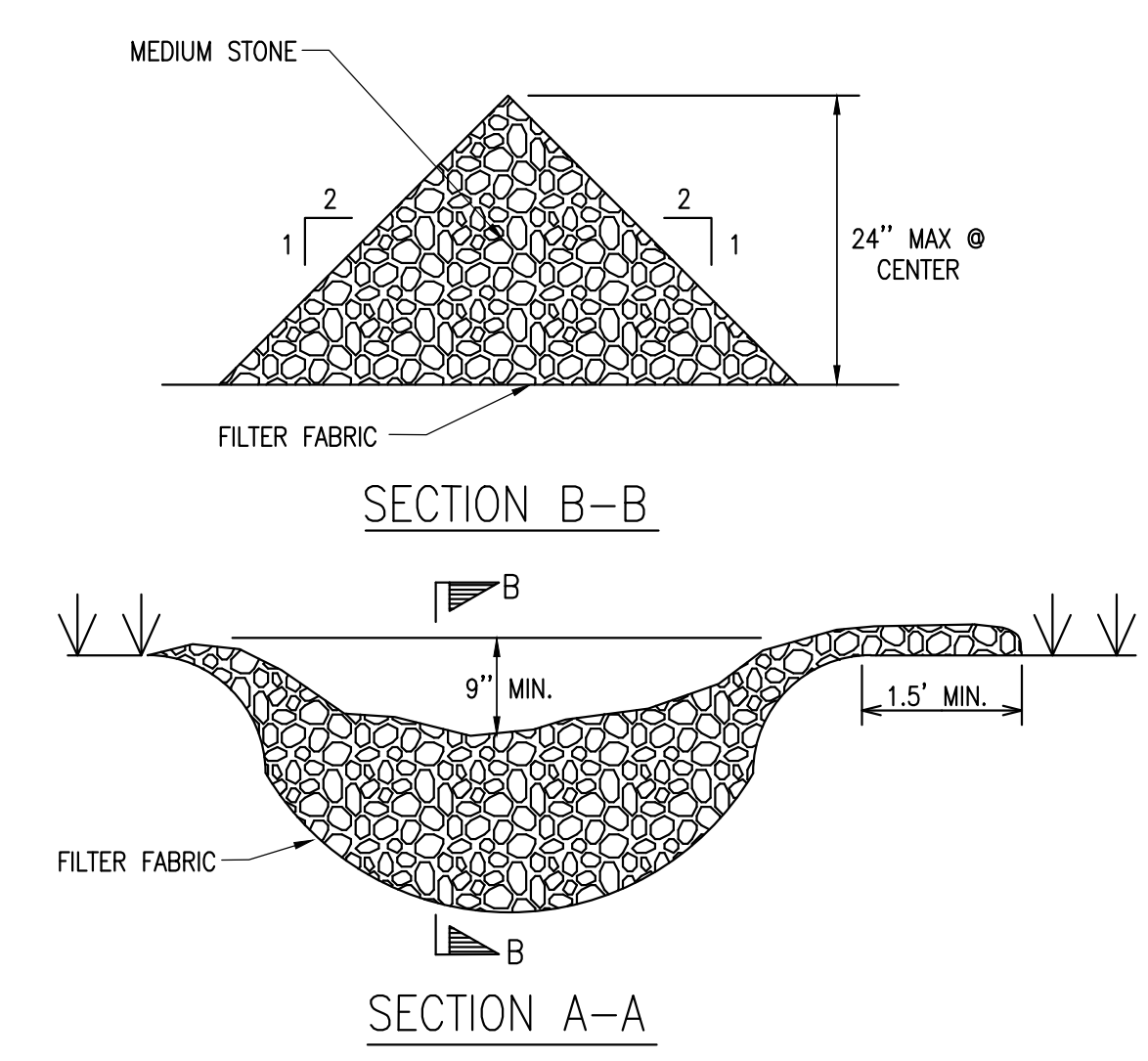
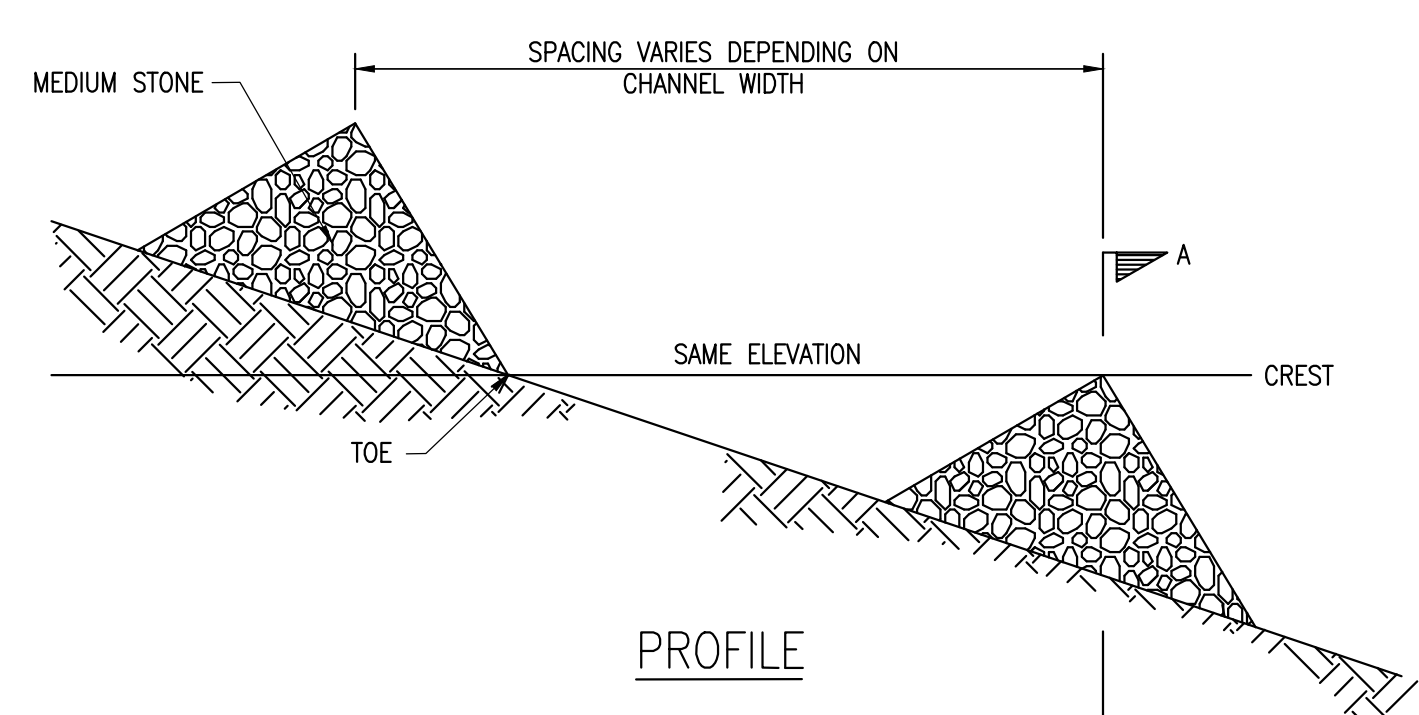
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WD	WD
OCTOBER 27, 2020	AS NOTED
14847.00	

DRIVEWAY DETAILS

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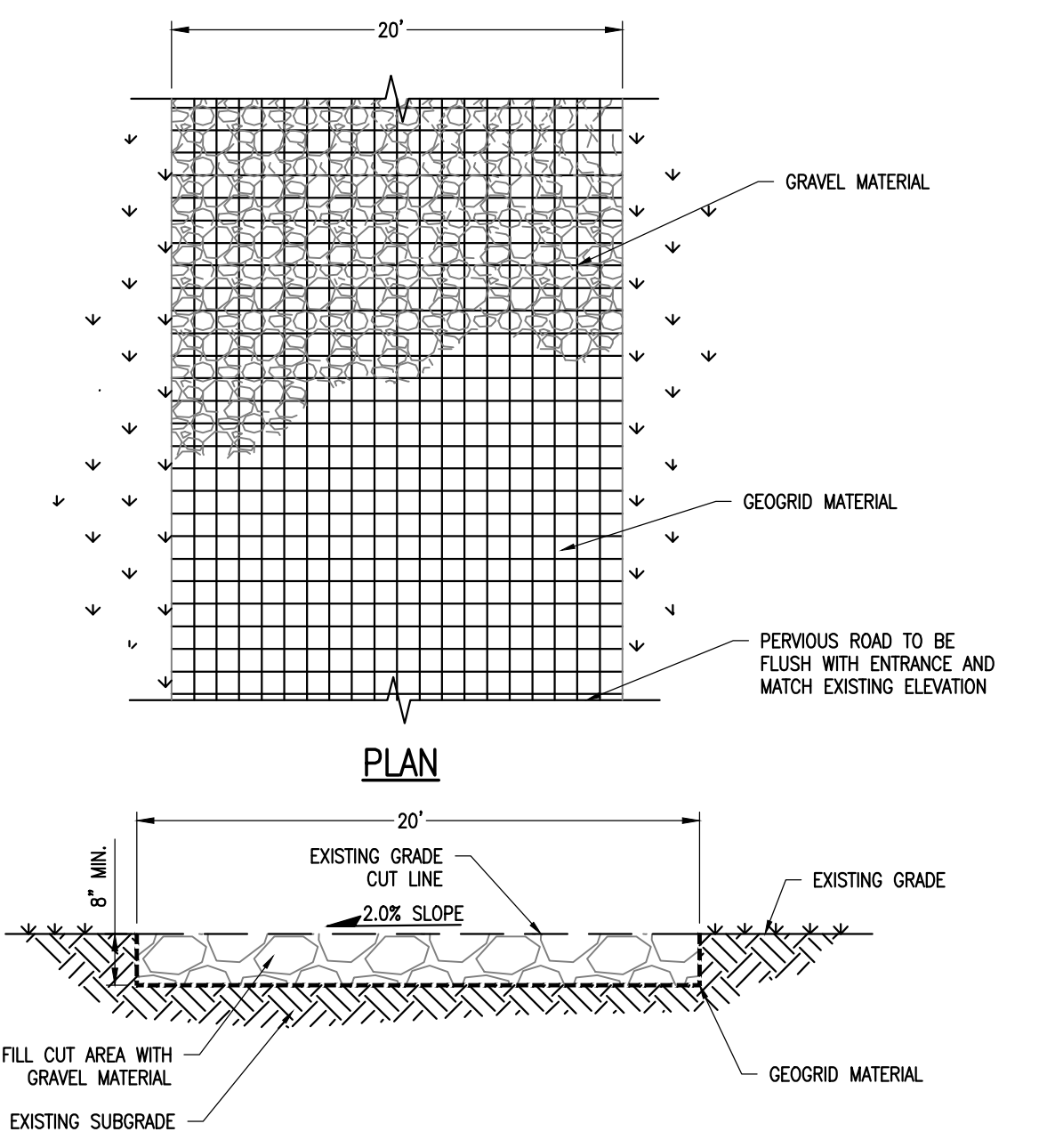
C005



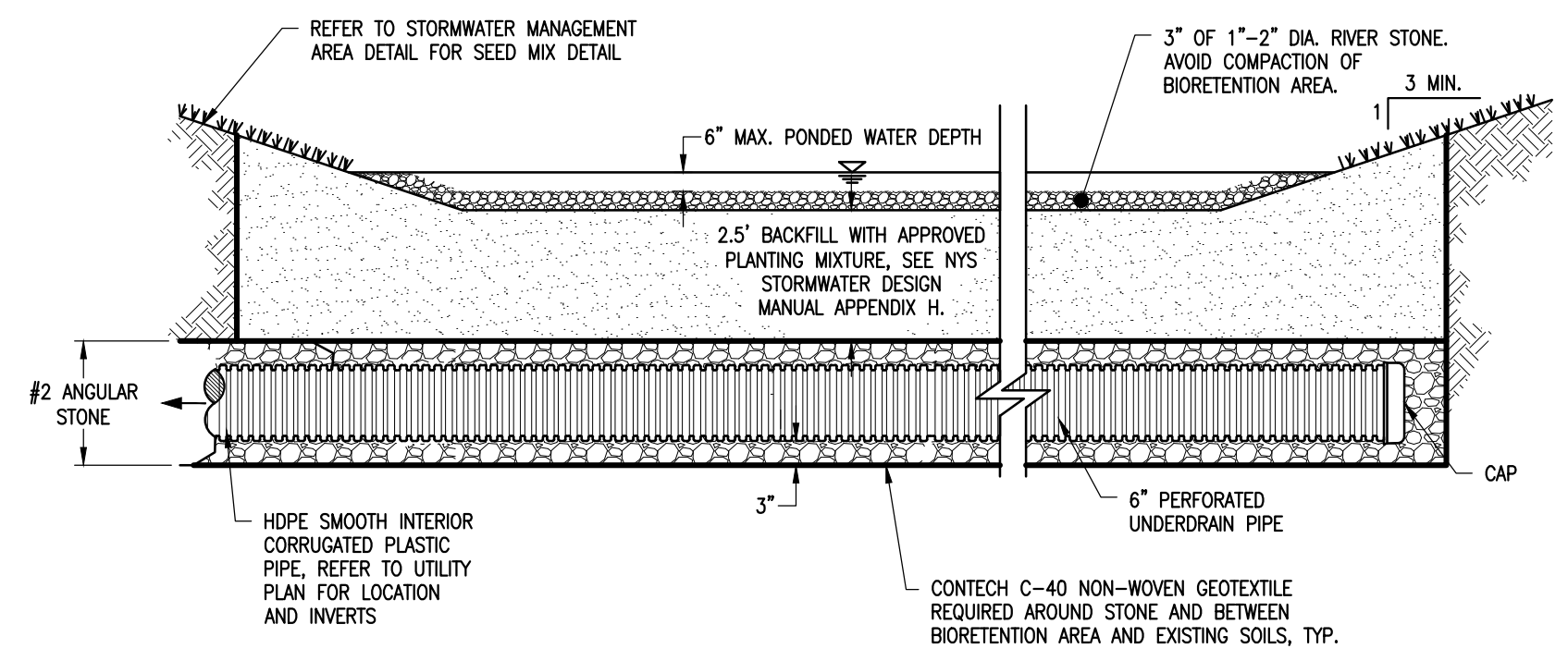
- CONSTRUCTION SPECIFICATIONS**
- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES GRADES AND LOCATIONS SHOWN ON THE PLAN.
 - SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 - EXTEND THE STONE A MINIMUM OF 1.5' BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 - PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 - ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

LIGHT STONE CHECK DAM
NOT TO SCALE

- GENERAL NOTES:**
- USE OF THIS DETAIL/CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOWING, EQUIPMENT REPAIR OR MAINTENANCE).
 - LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
 - REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY, FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
 - REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER, COMPACT TO THE DEGREE OF THE NATIVE IN SITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
 - GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOILS AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
 - REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
 - ROADWAY WIDTH TO BE DETERMINED BY CLIENT.
 - THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 1.5% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
 - LIMITED USE PERVIOUS ACCESS ROAD IS NOT INTENDED TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORD READINGS TAKEN PRIOR TO CONSTRUCTION, EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY.
 - TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON OR OFF SITE, MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
 - THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION. PROJECTS SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINED AREAS, HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE WOVEN GEOTEXTILE MATERIAL AS DETAILED IN FOLLOWING NOTES.
 - THE DRAINAGE DITCH IS OFFERED IN THE DETAIL FOR CIRCUMSTANCES WHEN CONCENTRATED FLOW COULD NOT BE AVOIDED. THE INTENTION OF THE DESIGN IS TO MINIMIZE ALTERATIONS TO HYDROLOGY, HOWEVER WHEN DEALING WITH 5%-15% GRADES NOT PARALLEL TO THE CONTOUR, A ROADSIDE DITCH MAY BE REQUIRED. THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR GRASSED WATERWAYS AND VEGETATED WATERWAYS ARE APPLICABLE FOR SIZING AND STABILIZATION. DIMENSIONS FOR THE GRASSED WATERWAY SPECIFICATION WOULD BE DESIGNED FOR PROJECT SPECIFIC HYDROLOGIC RUNOFF CALCULATIONS, AND A SEPARATE DETAIL FOR THE SPECIFIC GRASSED WATERWAY WOULD BE INCLUDED IN THIS PRACTICE. RUNOFF DISCHARGE WILL BE SUBJECT TO THE OUTLET REQUIREMENTS OF THE REFERENCED STANDARD. INCREASED POST-DEVELOPMENT RUNOFF FROM THE ASSOCIATED ROADSIDE DITCH MAY REQUIRE ADDITIONAL PRACTICES TO ATTENUATE RUNOFF TO PRE-DEVELOPMENT CONDITIONS.
 - IF A ROADSIDE DITCH IS NOT UTILIZED TO CAPTURE RUNOFF FROM THE ACCESS ROAD, THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION (I.E. BUFFERS), 20 FEET WIDE AND PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
 - THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USED PERVIOUS ACCESS ROAD IN THEIR SITE ASSESSMENT / HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE- TO POST-DEVELOPMENT CONDITIONS (SEE APPENDIX A OF CP-0-15-002 FOR THE DEFINITION OF "ALTER THE HYDROLOGY..."), THE DESIGN MUST INCLUDE THE NECESSARY DETENTION/RETENTION PRACTICES TO ATTENUATE THE RATES (10 AND 100 YEAR EVENTS) TO PRE-DEVELOPMENT CONDITIONS.



LIMITED USE PERVIOUS ACCESS ROAD - 0% TO 10% SLOPES
NO SCALE



BIORETENTION AREA DETAIL
N.T.S.

2/8/2022 7:39 AM M:\Con Edison CEB\014847.00 Con Edison CEB - Yorktown A Solar Farm\4.0 Dwg\4.1 CIVIL\14847.00-Grading\SWPPP.dwg

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FOOTHILL STREET

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WESTCHESTER COUNTY
NEW YORK

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Designed By: WD	Drawn By: WD
Date Issued: OCTOBER 27, 2020	Scale: 1"=100'
Project Number: 14847.00	

LANDSCAPING & PLANTING FOR MITIGATION PLAN

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C006



LEGEND:

- PROPOSED TREE PLANTING
- PROPOSED TREE TO BE REMOVED(1,658)
- PROPOSED TREE TO REMAIN (213)
- VEGETATION PROTECTION BARRIER
- SEED LIMIT LINE
- SEED SCHEDULE 'B'
- PROTECTED WOODLAND AREA TO BE DISTURBED
- PROPOSED GRAVEL DRIVEWAY
- FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- FENCE LINE
- EXISTING VEGETATION
- PROPOSED LIMITS OF TREE CLEARING
- BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- STREAM
- 100' WETLAND SETBACK
- FARMLAND CLASSIFICATION BOUNDARY

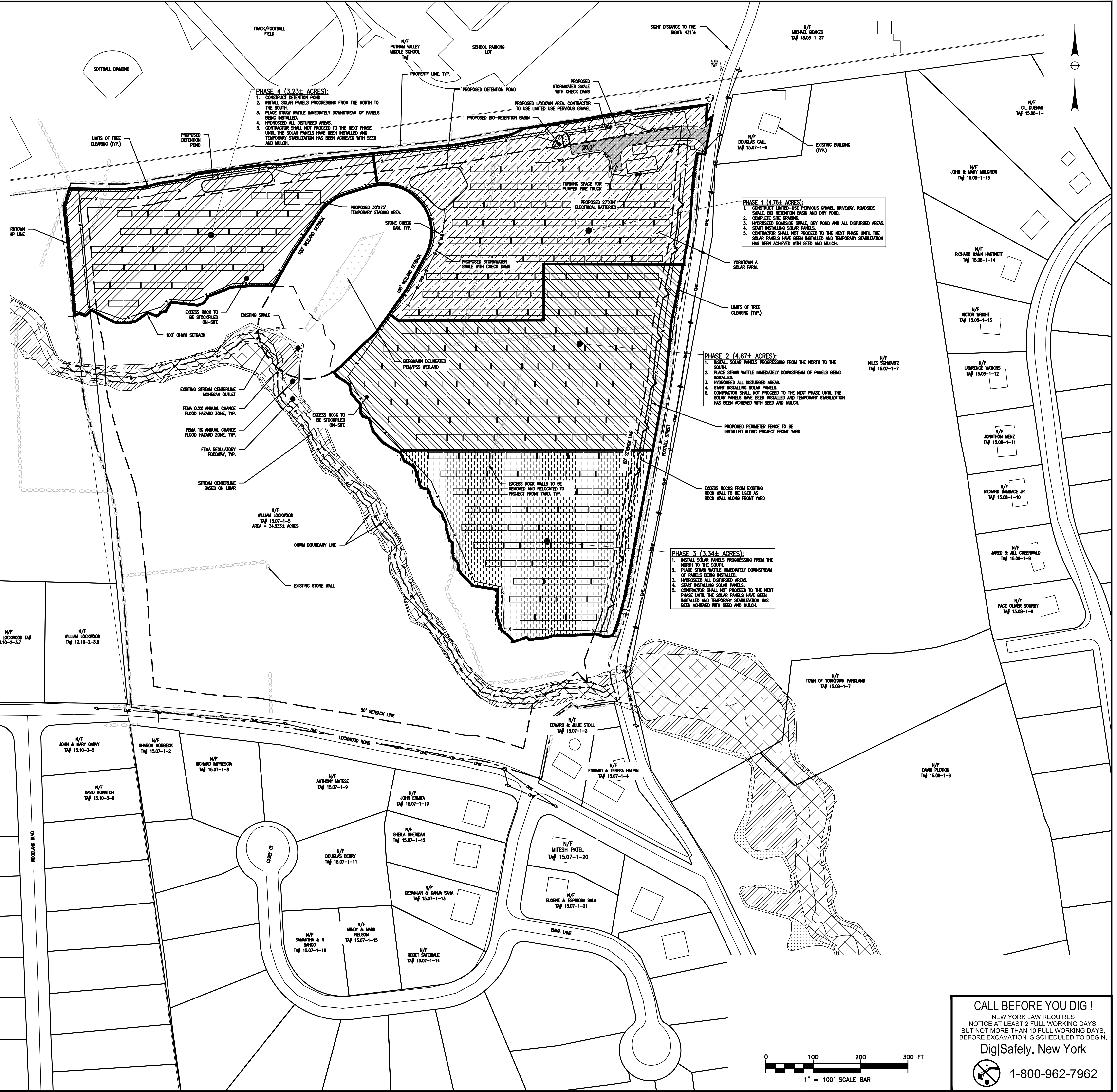
- NOTES:**
- SEE SHEET C006 FOR LANDSCAPE NOTES.
 - SEE SHEET C007 FOR LANDSCAPE DETAILS.
 - SEE SHEET C009 FOR SEED SCHEDULES.

PLANT LIST									
Key	Qty.	Botanical Name	Common Name	Mature Size		Installed Size	Condition	DBH	
				Height	Spread				
Evergreen Trees									
AC	39	Abies Concolor	White Fir	50'-75'	20'-30'	6'-7' Ht.	B&B	3"	
PG	38	Picea Glauca	White Spruce	40'-60'	10'-20'	8' Ht.	B&B	3"	
TC	59	Tsuga Canadensis	Canadian Hemlock	40'-70'	25'-35'	8' Ht.	B&B	3"	
PP	43	Picea Pungens	Colorado Spruce	30'-60'	10'-20'	7'-8' Ht.	B&B	3"	
TOTAL	179								
Evergreen Shrubs									
TO	33	Thuja occidentalis "Emerald Green"	Emerald Green Arborvitae	7'-15'	3'-4'	5'	B&B	3"	

2/9/2022 9:59 PM M:\Con Edison\CEB\014847.00\Con Edison CEB - Yorktown A Solar Farm\4.0 Dwg\4.1 CIV\114847.00_Landscape Plan.dwg

LEGEND:

- PROPERTY LINE SETBACK - 50 FEET
- - - PROPERTY/R.O.W. LINE
- - - EXISTING LOT LINE ADJUSTMENT
- [Pattern] PROPOSED GRAVEL DRIVEWAY
- [Pattern] FEMA 1% ANNUAL CHANCE FLOOD HAZARD
- [Pattern] FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
- [Pattern] EXISTING FEMA REGULATORY FLOODWAY
- EXISTING ROAD
- - - ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
- x - x - FENCE LINE
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- [Pattern] EXISTING ROCK WALL
- [Pattern] PROPOSED LIMITS OF TREE CLEARING
- [Pattern] BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
- & STREAM
- - - 100' WETLAND BUFFER
- - - PROPOSED ROCK WALL
- PROPOSED SCREENING TREES
- PROPOSED SWALE
- [Pattern] PHASE 1
- [Pattern] PHASE 2
- [Pattern] PHASE 3
- [Pattern] PHASE 4



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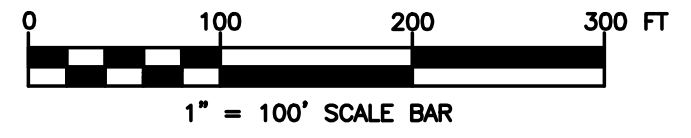


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Date Issued:	OCTOBER 27, 2020	Scale:	1"=100'
Project Number:	14847.00		

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PHASING PLAN

C007

2/8/2022 7:41 AM M:\Con Edison CEB\014847.00 Con Edison CEB - Yorktown A Solar Farm\4.0 Dwg\4.1 CIVIL\4847.00-Phasing Plan.dwg

GENERAL NOTES

- THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION(OSHA).
- HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
- THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
- EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED MAY 1, 2008 AND ANY SUBSEQUENT REVISIONS.

SITE STABILIZATION

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ALONG THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- BEFORE SEEDING IS APPLIED THE CONTRACTOR SHALL SPREAD SOIL TO PREVENT PONDING AND CONFIRM THAT SOIL WILL SUSTAIN THE SEED GERMINATION AND ESTABLISHMENT OF VEGETATION.
- GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE. COMPACTED SOILS SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES, ALONG CONTOUR WHEREVER POSSIBLE, PRIOR TO SEEDING.
- TOPSOIL OR AMENDED SOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A MINIMUM DEPTH OF 4 INCHES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OF SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE $\frac{1}{2}$ " TO $\frac{3}{4}$ ". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45° F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.
- LIME, FERTILIZER, SEED, AND MULCH DISTURBED AREAS PER THE EROSION AND SEDIMENT CONTROL PLANS. IN AREAS OF STEEP SLOPES OR OBVIOUS AREAS WHERE POTENTIAL EROSION MAY OCCUR, AN EROSION CONTROL MAT OR FLEXIBLE GROWTH MEDIUM (FGM) SHALL BE USED. FGM SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS.
- ONCE A SECTION OF THE ALIGNMENT HAS BEEN STABILIZED, NO CONSTRUCTION TRAFFIC SHALL OCCUR TO REMOVE ANY BMPs UNTIL THE SECTION HAS ACHIEVED 80% PERENNIAL VEGETATIVE COVER. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NONVEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

WASTE/HAZARDOUS MATERIAL PRACTICES

- WHENEVER POSSIBLE COVERED TRASH CONTAINERS SHOULD BE USED.
- DAILY SITE CLEANUP IS REQUIRED TO REDUCE DEBRIS AND POLLUTANTS IN THE ENVIRONMENT.
- CONTRACTOR SHALL PROVIDE A SAFE STORAGE SPACE FOR ALL PAINTS, STAINS AND SOLVENTS INSIDE A COVERED STORAGE AREA.
- CONTRACTOR SHALL PROVIDE A SAFE STORAGE AREA FOR PESTICIDES AND FERTILIZERS.
- ALL FUELS, OILS AND GREASE MUST BE KEPT IN CONTAINERS AT ALL TIMES.

STORMWATER POLLUTION PREVENTION PLAN NOTES

- THE DEVELOPER/OWNER/OPERATOR SHALL PROVIDE A QUALIFIED INSPECTOR TO INSPECT THE PROJECT AT THE END OF EACH WORK WEEK AND PROVIDE A REPORT AT LEAST ONCE PER WEEK.
- INSTALL SILT FENCE, DIVERSION SWALES/BERMS, CHECK DAMS AND ALL OTHER EROSION CONTROL MEASURES AS INDICATED ON THE PLAN PRIOR TO THE START OF ANY EXCAVATION WORK. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, NEW YORK STATE HEALTH DEPARTMENT, AND THE GOVERNING CITY REQUIREMENTS.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER REPLACE TOPSOIL TO A MINIMUM 4" DEPTH WITH TOPSOIL OR AMENDED SOIL. ALL DISTURBED AREAS TO BE SEEDDED TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATION HAS BEEN ACHIEVED.
- INSTALL INLET PROTECTION, AND RIP RAP APRONS PROGRESSIVELY AS STORM SEWER, AND DISCHARGE POINTS ARE INSTALLED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL OR AMENDED TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC. MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- DIVERSION SWALES/BERMS, AND SEDIMENT TRAPS SHOULD BE RELOCATED INWARD AS PERIMETER SLOPE CONSTRUCTION PROGRESSES AND RECONSTRUCTED TO THE NYS STANDARDS & SPECIFICATIONS AT THE END OF EACH DAY TO DIVERT RUNOFF FROM SLOPED AREAS AND DIRECT TO APPROPRIATE BASINS.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

SWPPP SEQUENCE OF CONSTRUCTION

- PRE-CONSTRUCTION MEETING HELD TO INCLUDE PROJECT MANAGER, OPERATOR'S ENGINEER, CONTRACTOR, AND SUB-CONTRACTORS PRIOR TO LAND DISTURBING ACTIVITIES.
- CONSTRUCT CONSTRUCTION ENTRANCE/EXIT AT LOCATIONS DESIGNATED ON PLANS.
- INSTALL COMPOST SILT SOCK.
- HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND CERTIFY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS DESCRIBED IN THE SWPPP AND REQUIRED BY THE NYSDEC PERMIT HAVE BEEN ADEQUATELY INSTALLED OR IMPLEMENTED TO ENSURE OVERALL PREPAREDNESS OF THE SITE FOR THE COMMENCEMENT OF CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE CONSTRUCTION IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
- CONSTRUCT STORMWATER MANAGEMENT PRACTICES PER PLAN.
- CONSTRUCT GRAVEL DRIVEWAY TO BE USED DURING CONSTRUCTION.
- STRIP TOPSOIL AND STOCKPILE IN A LOCATION ACCEPTABLE TO CONSTRUCTION MANAGER. WHEN STOCKPILE IS COMPLETE, INSTALL PERIMETER SILT FENCE, SEED SURFACE WITH 100% PERENNIAL RYEGRASS MIXTURE AT A RATE OF 24 LBS. PER 1000 SF. APPLY 90-100 LBS PER 1000 SF OF MULCH.
- COMMENCE EARTHWORK CUT AND FILLS. THE WORK SHALL BE PROGRESSED TO ALLOW A REASONABLE TRANSFER OF CUT AND FILL EARTH FOR ROUGH GRADING AND EARTH MOVING. THE CONTRACTOR WILL BE GIVEN SOME LATITUDE TO VARY FROM THE FOLLOWING SCHEDULE IN ORDER TO MEET THE FIELD CONDITIONS ENCOUNTERED. CONTRACTOR SHALL REVIEW VARIATIONS TO SWPPP WITH DESIGN ENGINEER AND QUALIFIED PROFESSIONAL PRIOR TO IMPLEMENTATION. ALL CHANGES TO SWPPP DRAWINGS MUST BE DOCUMENTED WITHIN ONSITE SWPPP.
- CONSTRUCT SOLAR ARRAY AREA IN FOUR PHASES AS DETAILED IN SHEET C007 OF THIS PLAN SET. CONTRACTOR SHALL CONSTRUCT EACH PHASE INDIVIDUALLY AND SHALL NOT PROCEED TO THE FOLLOWING PHASE UNTIL THE SOLAR RACKING HAS BEEN INSTALLED AND THE PHASE AREA HAS BEEN TEMPORARILY STABILIZED WITH SEED AND MULCH.
- STABILIZE ALL AREAS AS SOON AS PRACTICABLE, IDLE IN EXCESS OF 7 DAYS AND IN WHICH CONSTRUCTION WILL NOT COMMENCE WITHIN 14 DAYS.
- INSTALL UTILITIES. TRENCH EXCAVATION/BACKFILL AREAS SHOULD BE STABILIZED PROGRESSIVELY AT THE END OF EACH WORKDAY WITH SEED AND STRAW MULCH AT A RATE OF 100% PERENNIAL RYEGRASS AT 2-4 LBS PER 1,000 SF MULCHED AT 90-100 LBS PER 1,000 SF.
- REMOVE THE CONSTRUCTION GRAVEL DRIVEWAY AND CONSTRUCT THE PROPOSED PERVIOUS GRAVEL DRIVEWAY AFTER CONSTRUCTION ACTIVITIES SUCH AS THE INSTALLATION OF THE PANELS AND PERIMETER FENCE. THE SUB-GRADE MATERIAL WHERE THE DRIVEWAY IS TO BE INSTALLED SHALL BE DECOMPACTED PER NYSDEC'S "DEEPRIPPING AND DECOMPACTION" MANUAL, DATED APRIL 2008. CONTRACTOR SHALL AVOID FREQUENT HEAVY TRAFFIC ON THE LIMITED USE PERVIOUS GRAVEL DRIVEWAY.
- STABILIZE ALL AREAS IDLE IN EXCESS OF 7 DAYS IN WHICH CONSTRUCTION WILL NOT COMMENCE WITHIN 14 DAYS.
- REMOVE TEMPORARY CONSTRUCTION EXITS AND PERIMETER SILT SOCK ONCE SITE HAS ACHIEVED 80% UNIFORM STABILIZATION.

LANDSCAPE NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", ANSI, Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL TREES MUST BE STRAIGHT TRUNKED, INJURY FREE, AND FULL HEADED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH DOUBLE GROUND BARK MULCH MADE FROM A MIXTURE OF HARDWOOD AND/OR SOFTWOOD. MULCH SHALL BE AGED A MIN. OF ONE (1) YEAR FOR PARTIAL DECOMPOSITION. IT SHALL BE SCREENED TO EXCLUDE PARTICLES LARGER THAN ONE (1) INCH IN DIAMETER. MATERIAL SHALL BE COMPOSED OF BARK AND HAVE A LOW WOOD CONTENT WITH NO HIDDEN WOODS FROM CONSTRUCTION DEBRIS, PALLETS OR PRESSURE TREATED LUMBER AND BE FREE OF WEEDS, SEEDS, AND GREEN LEAF MATTER. IT SHALL BE NATURALLY DARK BROWN IN COLOR. NO DYED MULCH WILL BE ACCEPTED. MULCH DEPTH SHALL BE THREE (3) INCHES UNLESS OTHERWISE DIRECTED.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND LAWN AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE APPROVED TOPSOIL (TO A COMPACTED DEPTH OF FOUR (4) INCHES, UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY), BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL TOPSOIL SHALL BE SCREENED LOAM SURFACE SOIL, FREE OF STONES AND SHALL HAVE THE FOLLOWING MINIMUM REQUIREMENTS:
 - AN ORGANIC CONTENT OF 6-12%
 - SOIL ACIDITY RANGE OF pH 6.0 TO pH 6.8
 - SOLUBLE SALTS OF 1000 PPM OR LESS
 - MAXIMUM CLAY CONTENT OF 15-20%
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, AT THEIR EXPENSE, A CERTIFIED SOIL TEST ANALYSIS OF ON SITE AND / OR IMPORTED TOPSOIL. TOPSOIL ANALYSIS TO INCLUDE THE FOLLOWING DATA:
 - pH FACTOR.
 - MECHANICAL ANALYSIS, INCLUDING SIEVE ANALYSIS PROVIDING SEPARATE SAND, SILT AND CLAY PERCENTAGES.
 - PERCENTAGE OF ORGANIC CONTENT BY WEIGHT
 - NUTRIENT LEVELS INCLUDING NITROGEN, PHOSPHOROUS AND POTASSIUM.
- SHOULD TESTS AND ANALYSIS INDICATE THAT SOIL PROPOSED FOR USE IS DEFICIENT IN ANY OF THE ABOVE REQUIREMENTS, A SYSTEM OF AMELIORATING MAY BE PROPOSED FOR APPROVAL. ANY SYSTEM PROPOSED SHALL PROVIDE FOR AN ACIDITY RANGE OF Ph 6.0 TO 6.8 INCLUSIVE.
- COMPOST SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - ORGANIC CONTENT OF 35-60% (DRY WEIGHT BASIS)
 - LOOSE AND FRILABLE WITH MOISTURE CONTENT OF 35-60% (WET WEIGHT BASIS)
 - PARTICLE SIZE SHALL BE <12 INCH (100% PASSING)
 - SOLUBLE SALTS CONCENTRATION SHALL BE <4.0 MMHOS/CM (DSM), MAXIMUM
 - pH RANGE OF 6.0-8.5
- PLANTING MIX FOR PLANT PITS SHALL BE COMPOSED OF (2) PARTS IMPORTED OR ON-SITE SCREENED TOPSOIL AND (1) PART COMPOST. THE RATIO OF TOPSOIL TO COMPOST IS SUBJECT TO CHANGE BASED ON THE TESTING RESULTS FOR TOPSOIL.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLAN ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER DETAILS. ANY DEVIATIONS FROM THE DETAIL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE SHEET C007 FOR LANDSCAPE DETAILS.
- UPON FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE OWNER WILL ASSUME MAINTENANCE OF THE LANDSCAPED AREAS.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING A TEMPORARY FENCE AT THE OUTER LIMITS OF THE TREE CANOPY.

YORKTOWN A SOLAR FARM FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
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REVISIONS				
NO.	DATE	DESCRIPTION	REV.	CKD
1	1/29/2021	PLAN REVISIONS	WD	ECR
2	11/22/2021	PLAN REVISIONS	WD	ECR
3	12/20/2021	PLAN REVISIONS	WD	ECR
4	2/08/2022	PLAN REVISIONS	WD	ECR

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Prepared By:	ECR	Checked By:	ECR
Drawn By:	WD	Drawn By:	WD
Date Issued:	OCTOBER 27, 2020	Scale:	AS NOTED
Project Number:	14847.00		

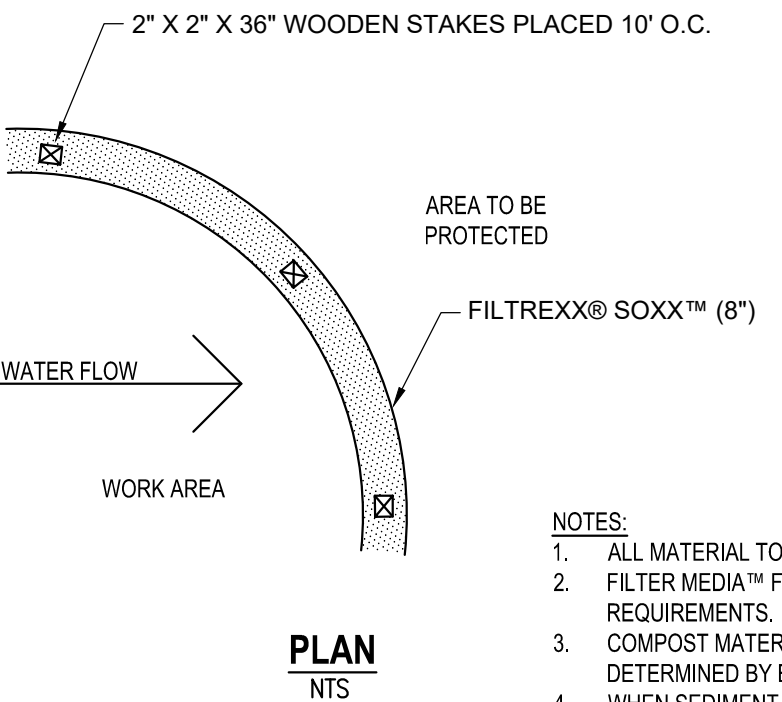
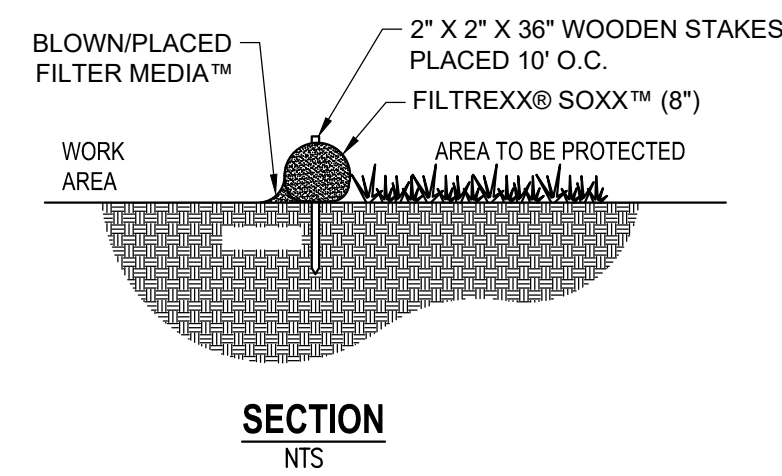
GENERAL NOTES

CALL BEFORE YOU DIG !
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BUT NOT MORE THAN 10 FULL WORKING DAYS,
BEFORE EXCAVATION IS SCHEDULED TO BEGIN.



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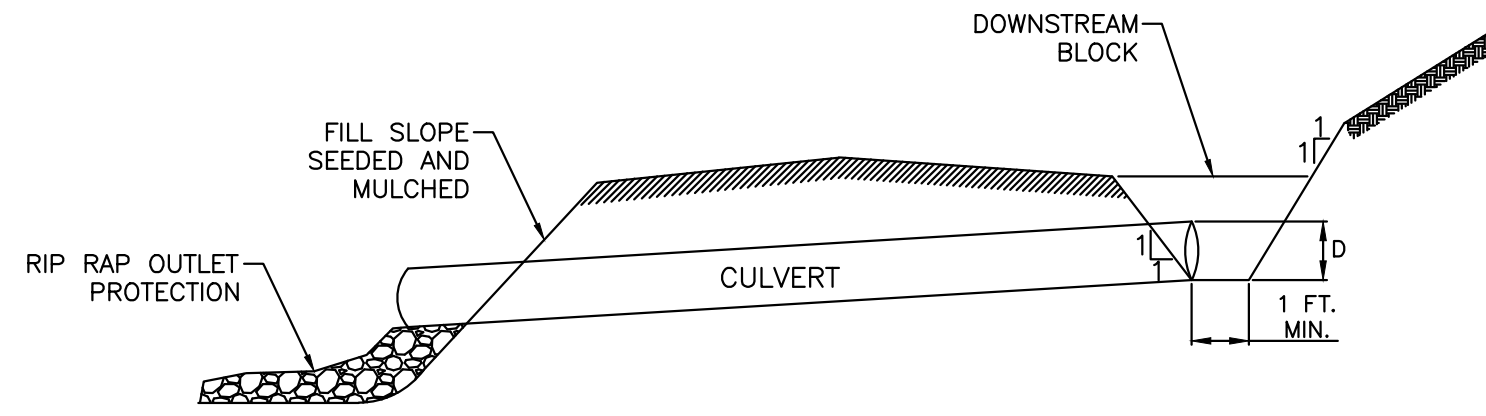
C008



- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 4. WHEN SEDIMENT CONTROL IS USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS

FILTREXX FILTERSOXX SEDIMENT CONTROL

NO SCALE



SECTION VIEW

NOTES:

CUT AND FILL SLOPES SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF DRIVEWAY GRADING. THESE AREAS SHALL BE BLANKETED WHEREVER THEY ARE LOCATED WITHIN 50 FEET OF A SURFACE WATER OR WITHIN 100 FEET OF AN HIGH QUALITY OR EXCEPTIONAL VALUE SURFACE WATER OR WHERE A SUITABLE VEGETATIVE FILTER STRIP DOES NOT EXIST.

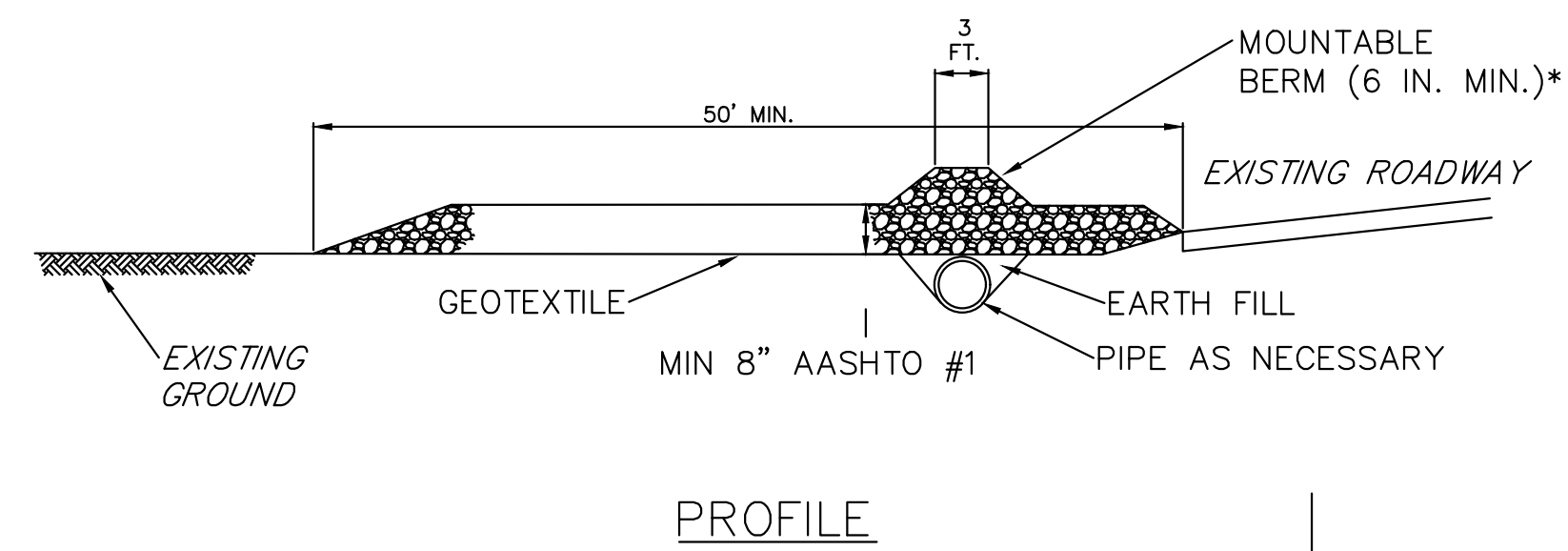
A TOP DRESSING COMPOSED OF HARD, DURABLE STONE SHALL BE PROVIDED FOR SOILS HAVING LOW STRENGTH.

DRIVEWAY DITCHES SHALL BE PROVIDED WITH ADEQUATE PROTECTIVE LINING WHEREVER RUNOFF CANNOT SHEET FLOW AWAY FROM THE DRIVEWAY.

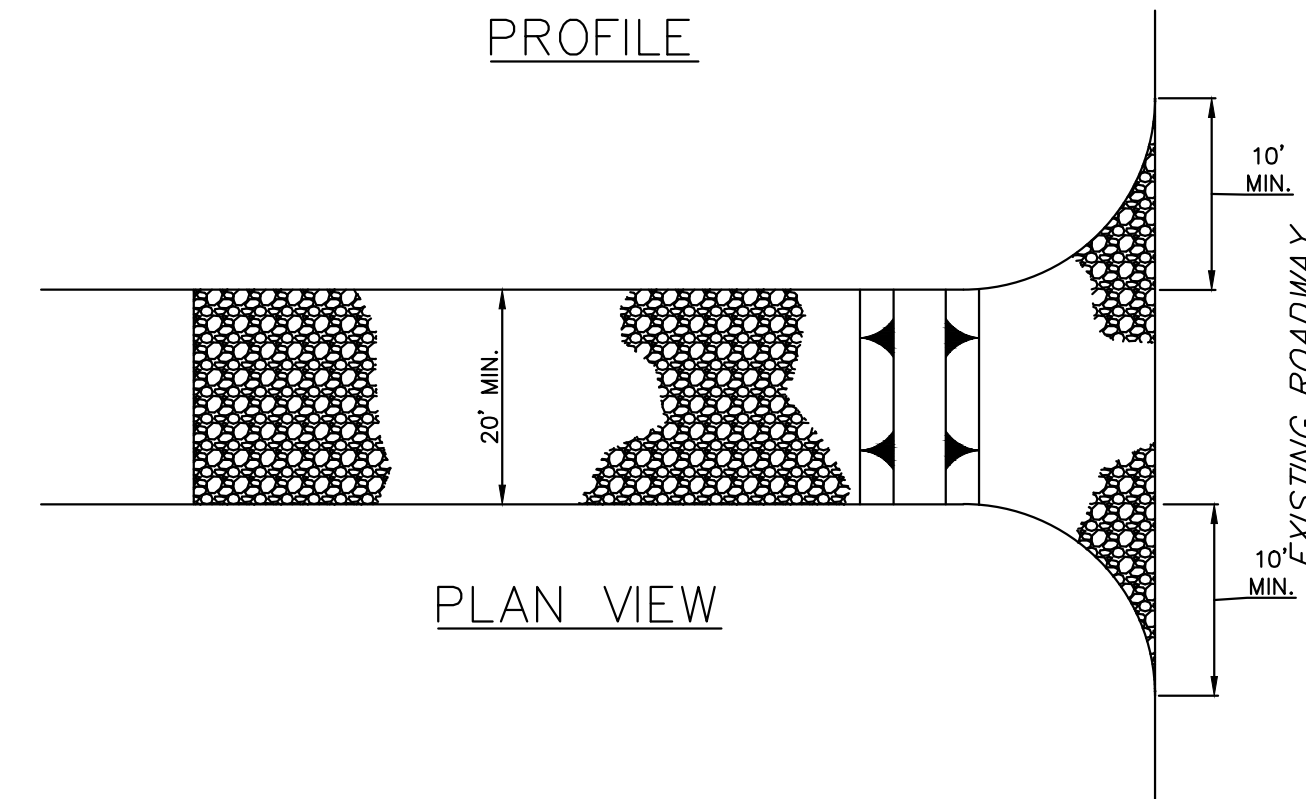
DRIVEWAY SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED DRIVEWAYS, DITCHES, OR CROSS DRAINS SHALL BE REPAIRED IMMEDIATELY.

CROSS CULVERT

NO SCALE



PROFILE



PLAN VIEW

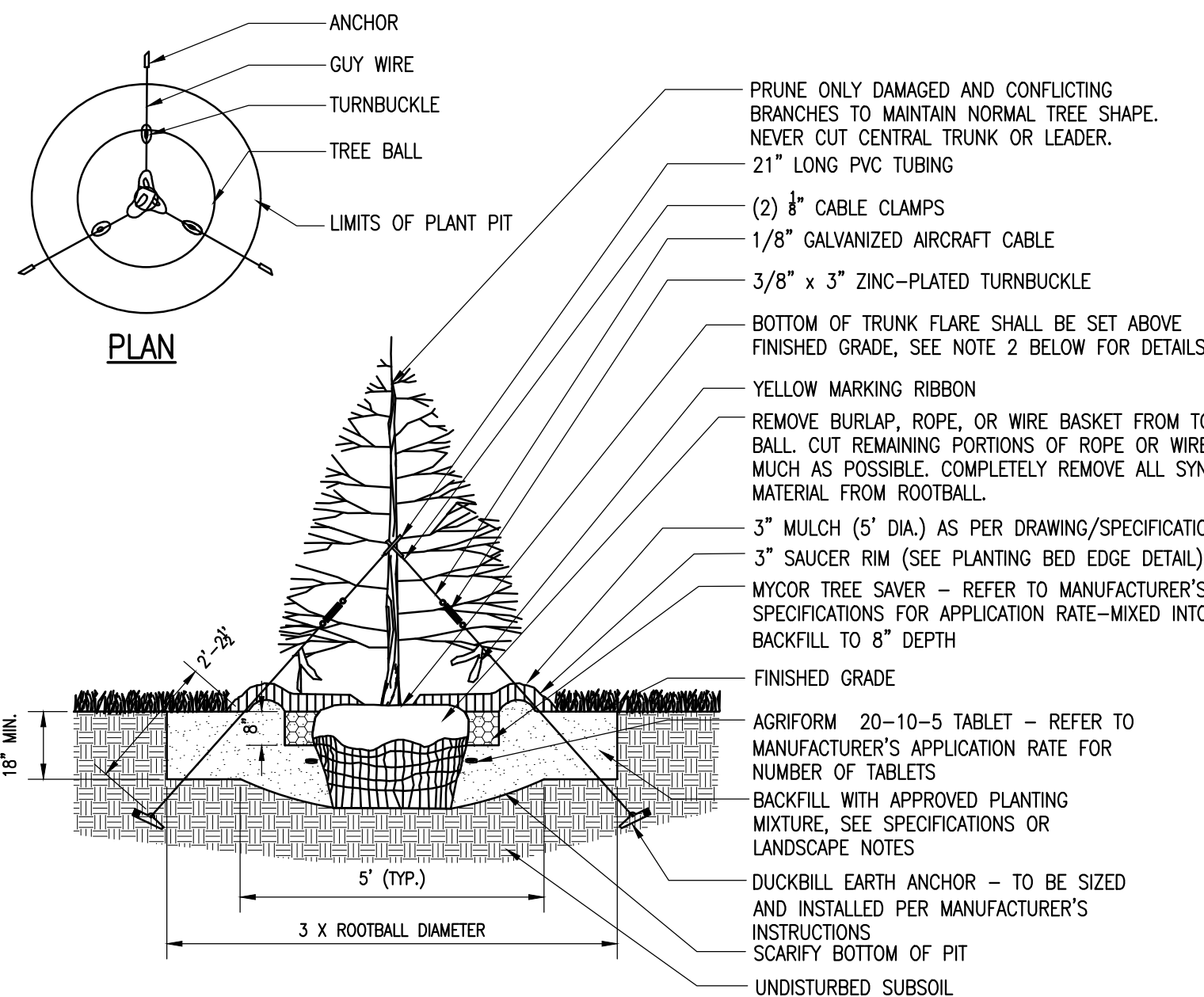
* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STABILIZED CONSTRUCTION ENTRANCE

NO SCALE

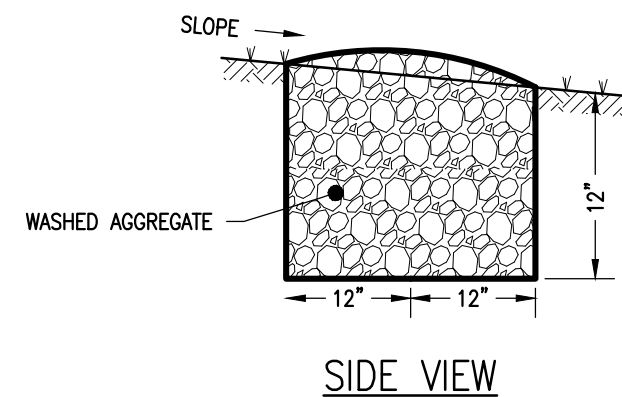


NOTES:

1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:
FOR SANDY OR LOAMY SOILS: 1"
FOR CLAY OR POORLY DRAINED SOILS: 3"
THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.

EVERGREEN TREE PLANTING

NO SCALE

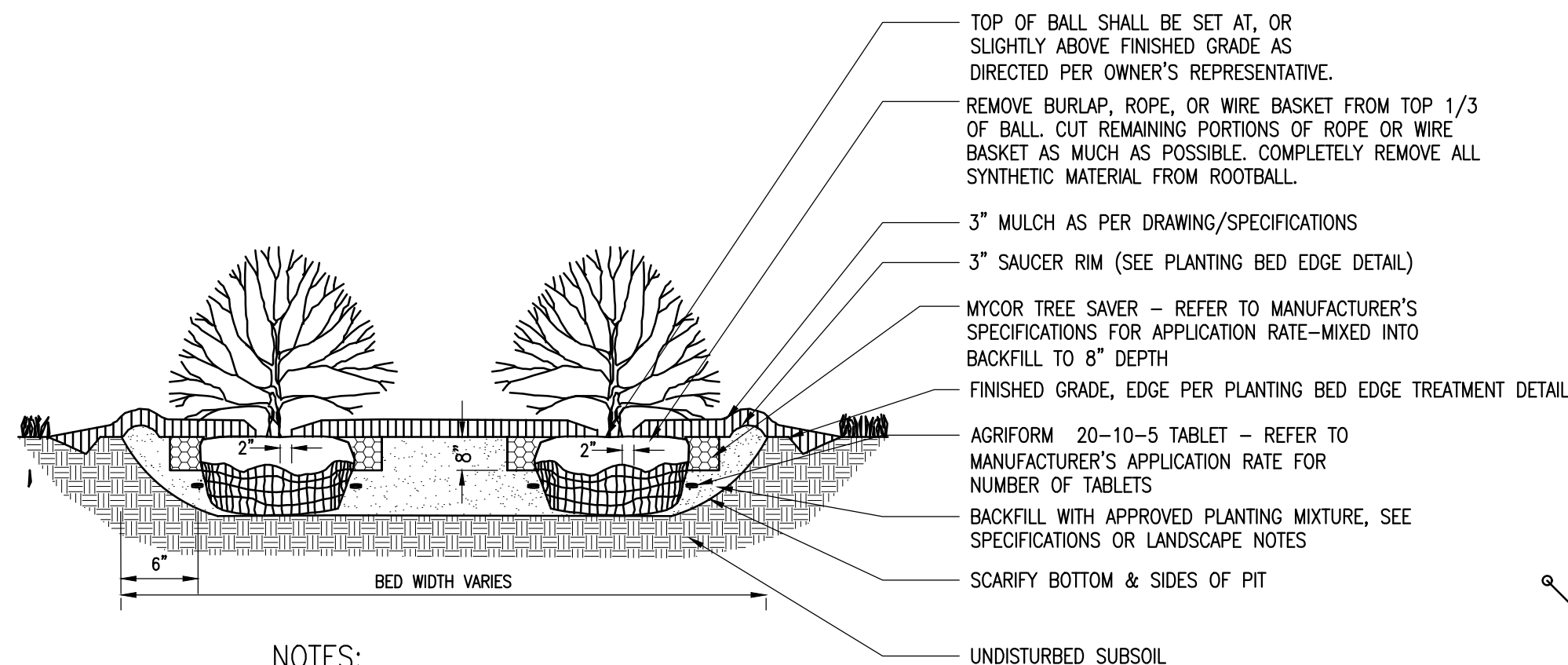


SIDE VIEW

- NOTES:**
1. LEVEL SPREADERS SHALL BE CONSTRUCTED PARALLEL WITH CONTOURS.

LEVEL SPREADER DETAIL

N.T.S.

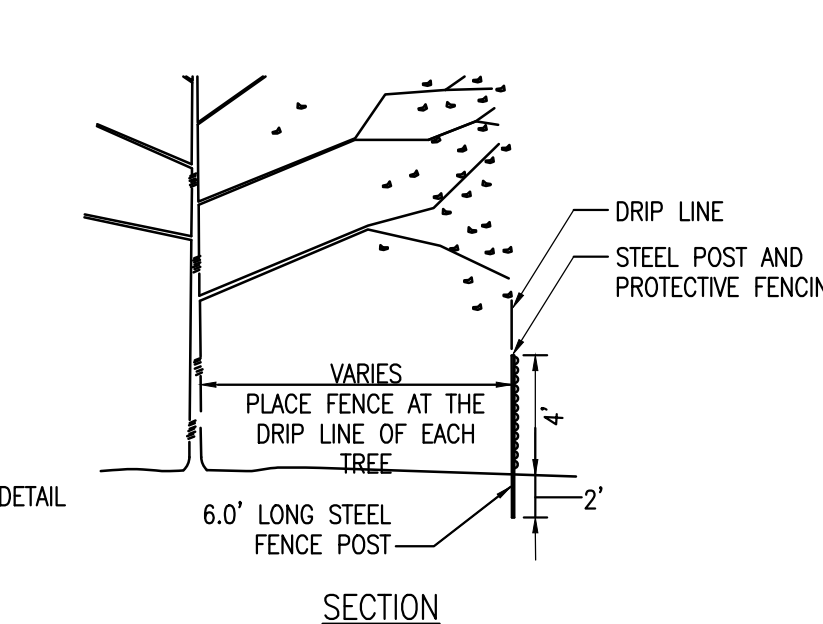


NOTES:

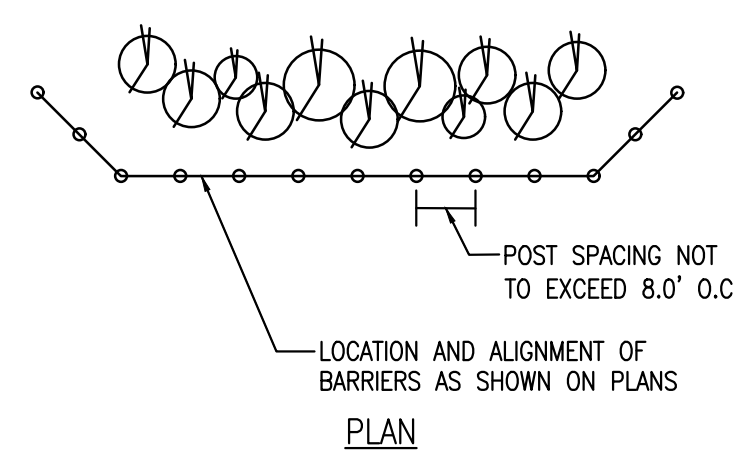
1. MAINTAIN A 2" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. PLANTING BED DEPTH IN LAWN AREAS SHALL BE A MINIMUM OF 18" DEEP AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
3. ALL PLANTING BEDS SHALL BE FREE OF CONSTRUCTION DEBRIS.

SHRUB PLANTING

NO SCALE



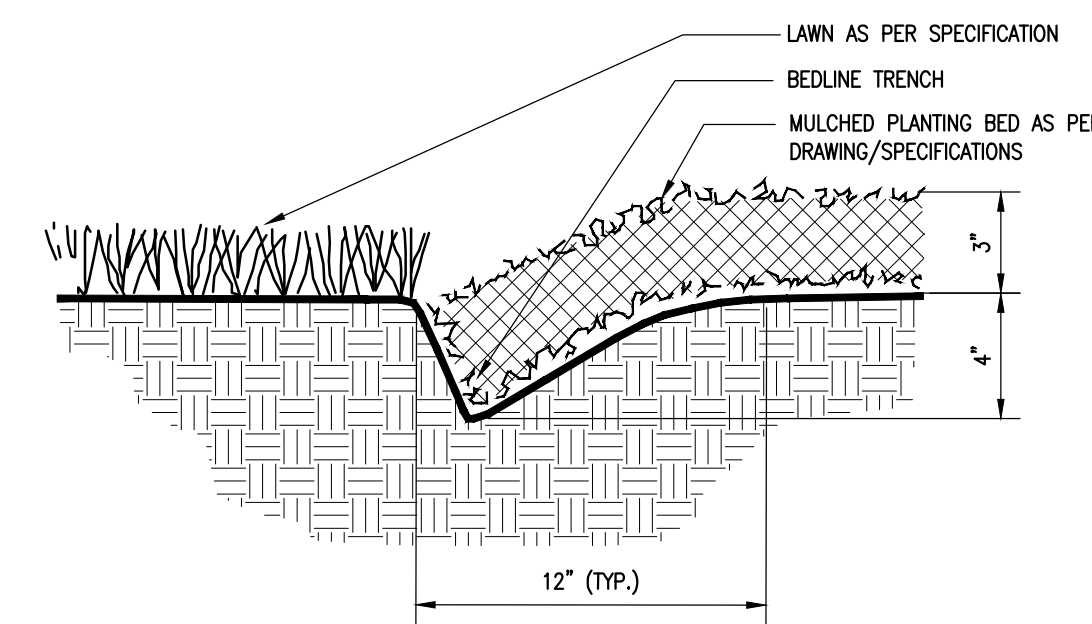
SECTION



PLAN

VEGETATION PROTECTION BARRIER

NO SCALE



PLANTING BED EDGE TREATMENT

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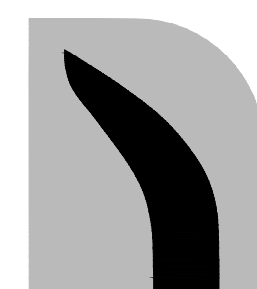
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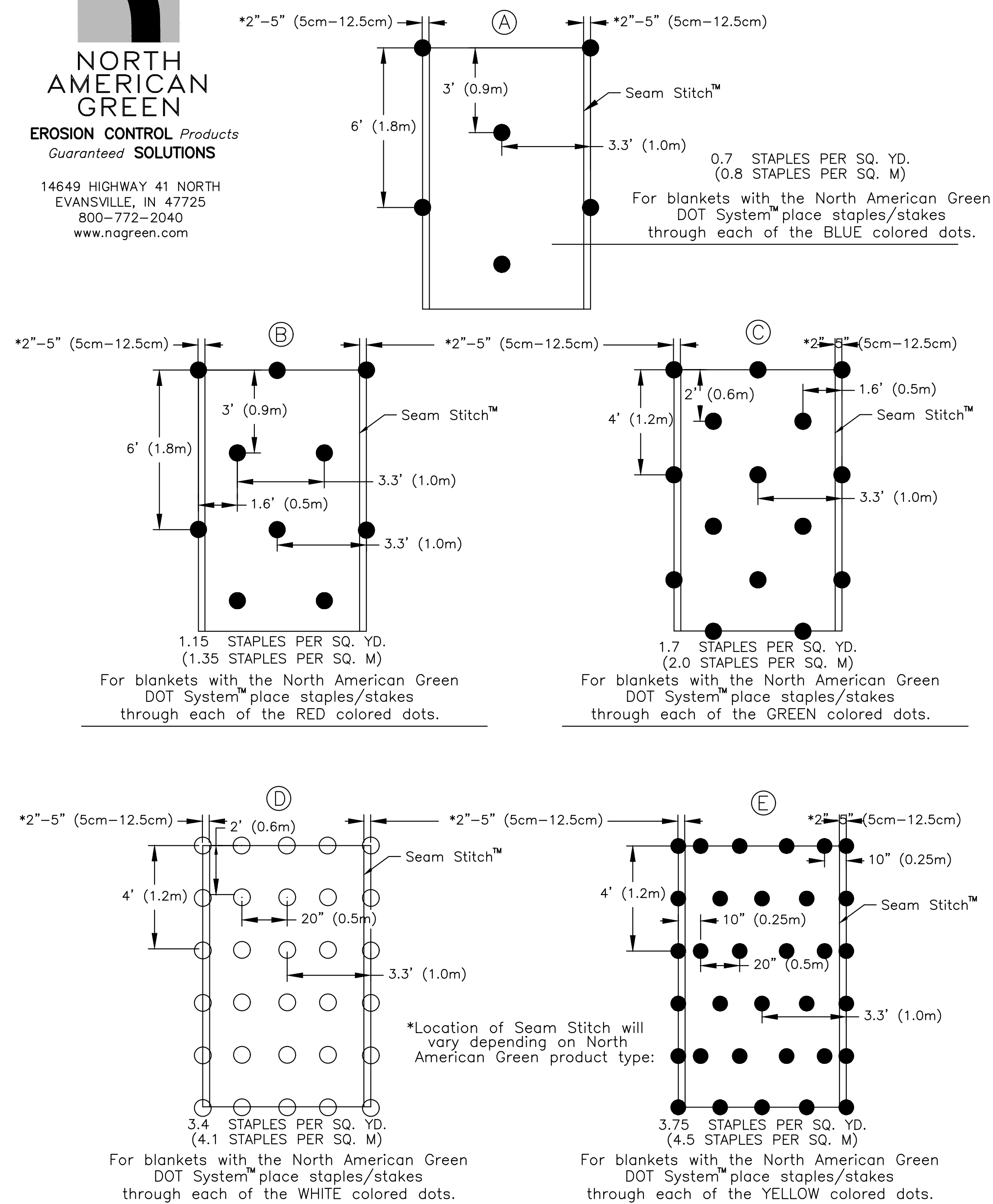
EROSION AND SEDIMENT CONTROL DETAILS

C009

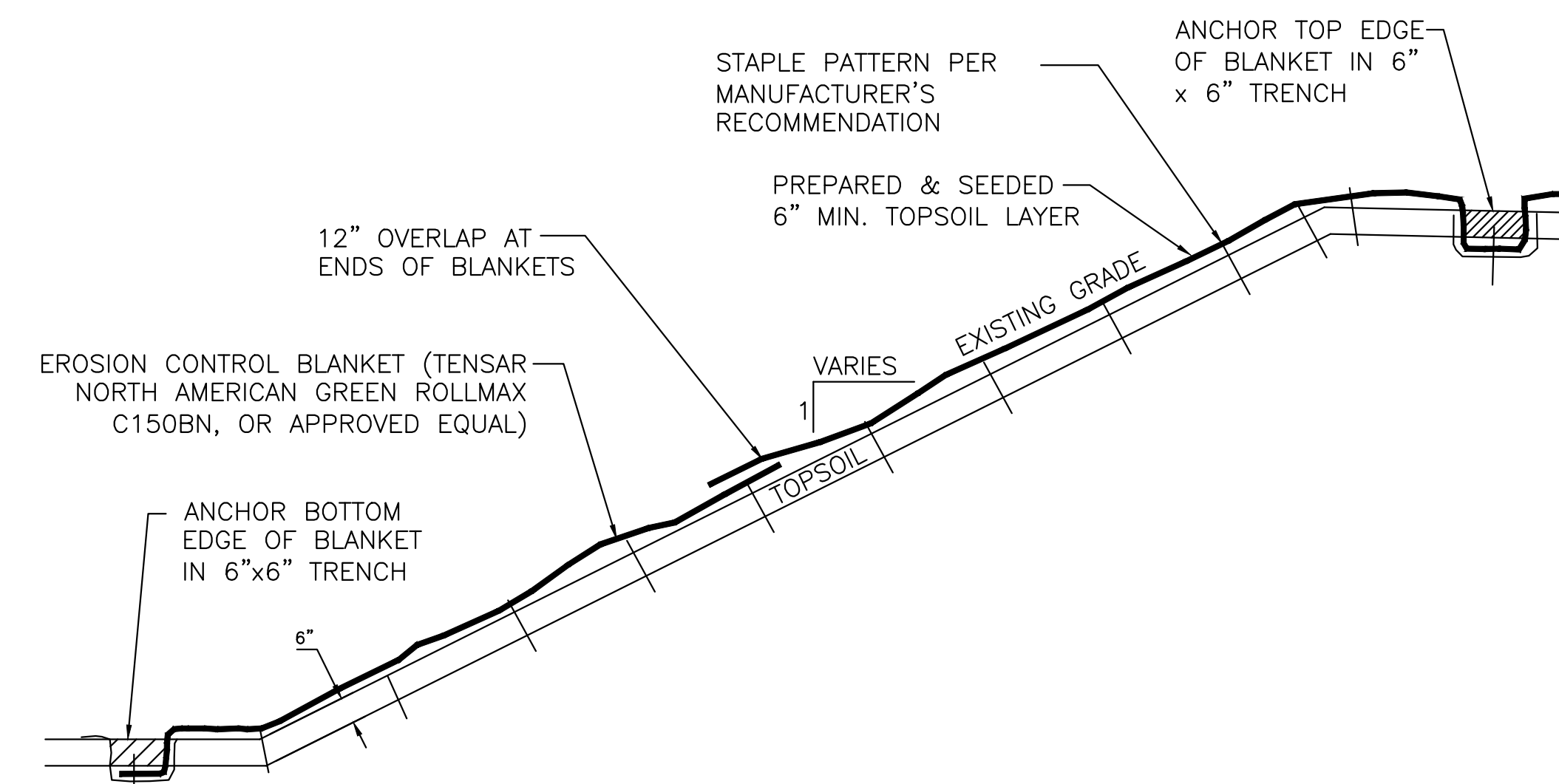
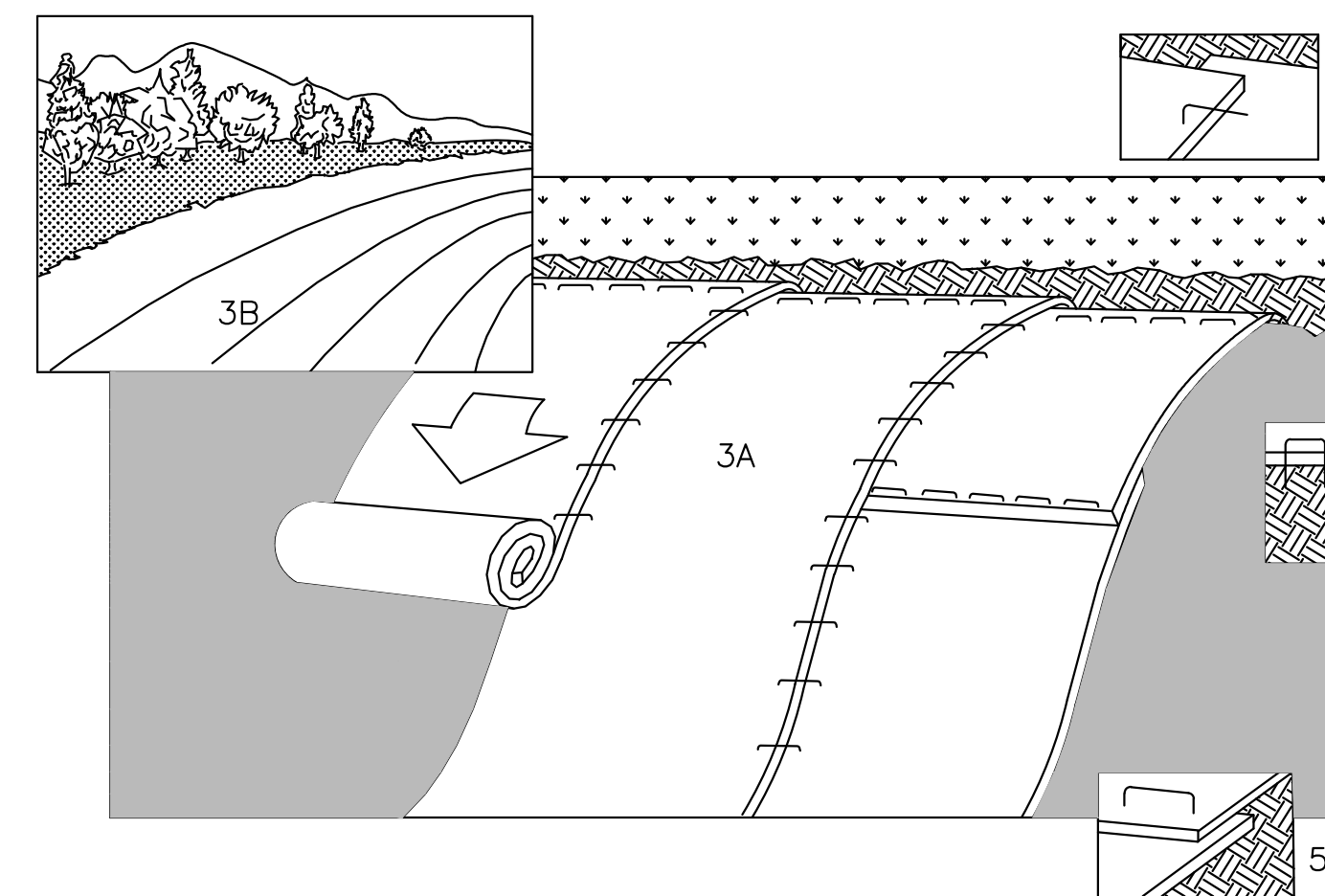


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**DOT SYSTEM™
 STAPLE PATTERN GUIDE**



**EROSION CONTROL BLANKET
 STAPLE PATTERN**
 NO SCALE



NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 12" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL 3:1 OR STEEPER SLOPES WITH A MINIMUM OF 6 INCHES OF TOPSOIL.
7. REFER TO STAPLE PATTERN DETAIL FOR ADDITIONAL STAPLE INFORMATION.
8. THE USE OF FLEXIBLE GROWTH MEDIUM, BONDED FIBER MATRIX, OR POLYMER STABILIZED FIBER MATRIX, APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, IS AN ACCEPTABLE ALTERNATIVE TO THE USE OF EROSION CONTROL BLANKET.

EROSION CONTROL BLANKET
 NO SCALE

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C010

SEED SCHEDULE 'A'

Upland Seed Mix		
Low-Growing Wildflower & Grass Mix - ERNMX #156		
Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre		
SCIENTIFIC NAME	COMMON NAME	% OF MIX
Festuca ovina	Sheep Fescue, Variety Not Stated	63.60%
Lolium multiflorum (L. perenne var. italicum)	Annual Ryegrass	17%
Linum perenne ssp. lewisii	Perennial Blue Flax	8%
Rudbeckia hirta	Blackeyed Susan, Coastal Plain NC Ecotype	2%
Coreopsis lanceolata	Lanceleaf Coreopsis, Coastal Plain NC Ecotype	2%
Chrysanthemum leucanthemum	Oxeye Daisy	2%
Chrysanthemum maximum	Shasta Daisy	1%
Chamaecrista fasciculata (Cassia f.)	Partridge Pea, PA Ecotype	1%
Papaver rhoeas, Shirley Mix	Corn Poppy/Shirley Mix	1%
Achillea millefolium	Common Yarrow	0.5%
Aster oblongifolius (Symphyotrichum oblongifolium)	Aromatic Aster, PA Ecotype	0.5%
Eupatorium coelestinum (Conoclinium c.)	Mistflower, VA Ecotype	0.5%
Monarda punctata, Coastal Plain SC Ecotype	Spotted Beebalm, Coastal Plain SC Ecotype	0.5%
Asclepias tuberosa	Butterfly Milkweed	0.3%
Pycnanthemum tenuifolium	Slender Mountainmint	0.1%
Company Information		
Ernst Conservation Seeds, Inc.		
Address: 8884 Mercer Pike, Meadville, PA 16335		
Phone: (800) 873-3321		
Web: http://www.ernstseed.com		

* CURRENT ERNST SEED MIX COMPOSITION OR APPROVED EQUIVALENT
 * PROVIDE TEMPORARY SEEDING OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) WITHIN SEEDING LIMITS AT RATE OF 20 LBS. PER ACRE

SEED SCHEDULE 'B'

OBL-FACW Wetland Mix		
ERNMX #120		
Seeding Rate: 20 lb per acre or 1/2 lb per 1000 sq ft		
SCIENTIFIC NAME	COMMON NAME	% OF MIX
Elymus virginicus	Virginia Wildrye	20%
Poa palustris	Fowl Bluegrass	20%
Carex lurida	Lurid Shallow Sedge	17%
Carex lupulina	Hop Sedge	9%
Carex scoparia	Blunt Broom Sedge	8%
Carex vulpinoidea	Fox Sedge	5%
Panicum clandestinum Dichanthelium c.	Deertongue 'Tioga'	5%
Sparganium eurycarpum	Giant Bur Reed	4%
Sparganium americanum	Eastern Bur Reed	3%
Juncus effusus	Soft Rush	3%
Carex crinita	Fringed Nodding Sedge	2%
Leersia oryzoides	Rice Cutgrass	2%
Scirpus cyperinus	Woolgrass	2%
Juncus tenuis	Path Rush	0.5%
Company Information		
Ernst Conservation Seeds Inc.		
Address: 8884 Mercer Pike Meadville PA 16335		
Phone: 800 873-3321		
Web: http://www.ernstseed.com		

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 * PROVIDE TEMPORARY SEEDING OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) WITHIN SEEDING LIMITS AT RATE OF 20 LBS. PER ACRE

SITE STABILIZATION – SEED MIX

SOIL AMENDMENT APPLICATION RATE EQUIVALENTS					
SOIL AMENDMENT	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	NOTES	
TEMPORARY SEEDING	AGRICULTURAL LIME	6 TONS	240 LB.	2,480 LB.	OR AS PER SOIL TEST: MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
	10-10-20 FERTILIZER	1,000 L.B.	25 LB.	210 LB.	
TEMPORARY SEEDING	AGRICULTURAL LIME	1 TON	40 LB.	410 LB.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES
	10-10-20 FERTILIZER	500 LB.	12.5 LB.	100 LB.	
COMPOST STANDARDS					
ORGANIC MATTER CONTENT		80% - 100% (DRY WEIGHT BASIS)			
ORGANIC PORTION		FIBROUS AND ELONGATED			
pH		5.5 - 8.0			
MOISTURE CONTENT		35% - 55%			
PARTICLE SIZE		98% PASS THROUGH 1" SCREEN			
SOLUBLE SALT CONCENTRATION		5.0 dS/m (mmhos/cm) MAXIMUM			
MULCH APPLICATION RATES					
MULCH TYPE	APPLICATION RATE (MIN.)			NOTES	
	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.		
STRAW	3 TONS	140 LB.	1,240 LB.	EITHER WHEAT OR OAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN	
HAY	3 TONS	140 LB.	1,240 LB.	TIMOTHY, MIXED CLOVER AND TIMOTHY, OR OTHER NATIVE FORAGE GRASSES	
WOOD CELLULOSE	1,500 LB.	35 LB.	310 LB.	DO NOT USE ALONE IN WINTER, DURING HOT AND DRY WEATHER OR ON STEEP SLOPES (> 3:1)	
WOOD	1,000 LB. CELLULOSE	25 LB.	210 LB.	WHEN USED OVER STRAW OR HAY	
WOOD CHIPS	4 - 6 TONS	185 - 275 LB.	1,650 - 2,500 LB.	MAY PREVENT GERMINATION OF GRASSES AND LEGUMES	

NOTES:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE TEMPORARILY STABILIZED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 INCHES MINIMUM. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OF SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE 1/2" TO 3/4". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- BLANKETING SHALL BE USED ON ALL SLOPES 3H:1V OR STEEPER OR AS NOTED ON THE PLANS.
- PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF EARTH DISTURBANCE.
- WETLAND SEED MIX SHOULD BE INSTALLED ONLY IN DRY SWALE.

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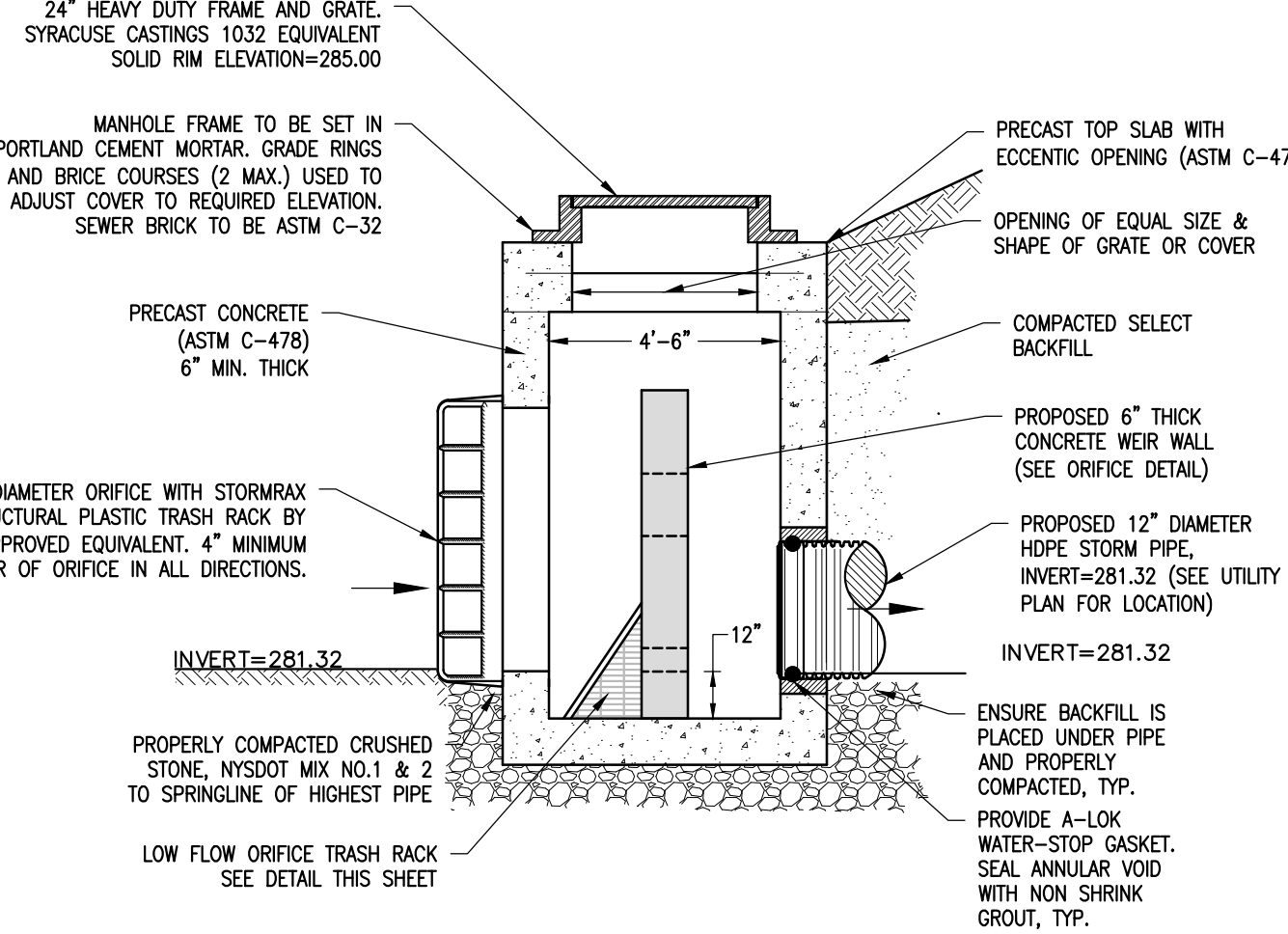
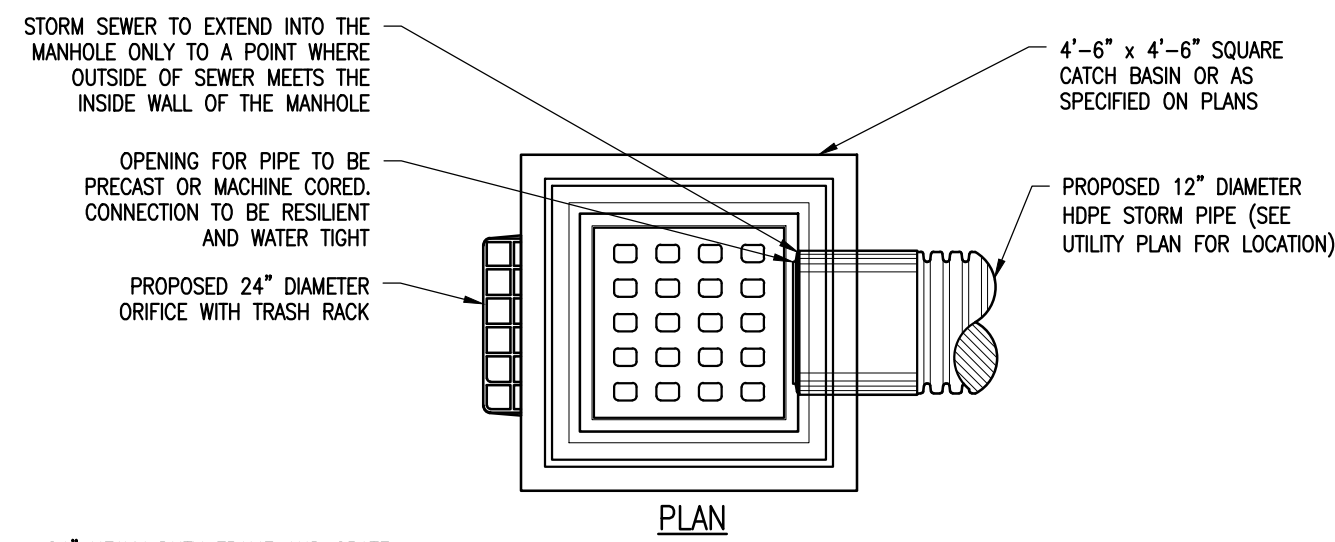
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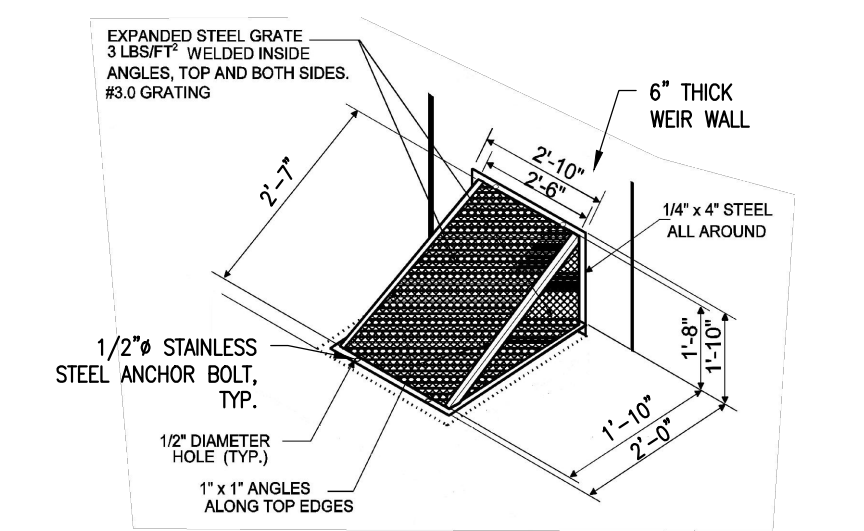
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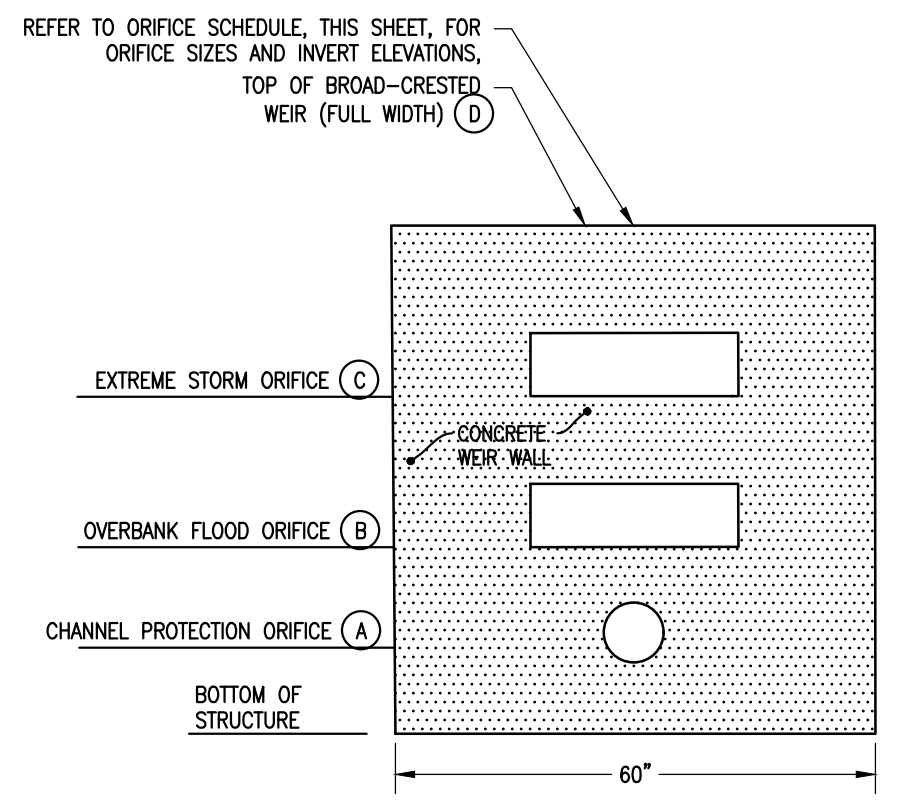


OUTLET CONTROL STRUCTURE 1 DETAIL
N.T.S.

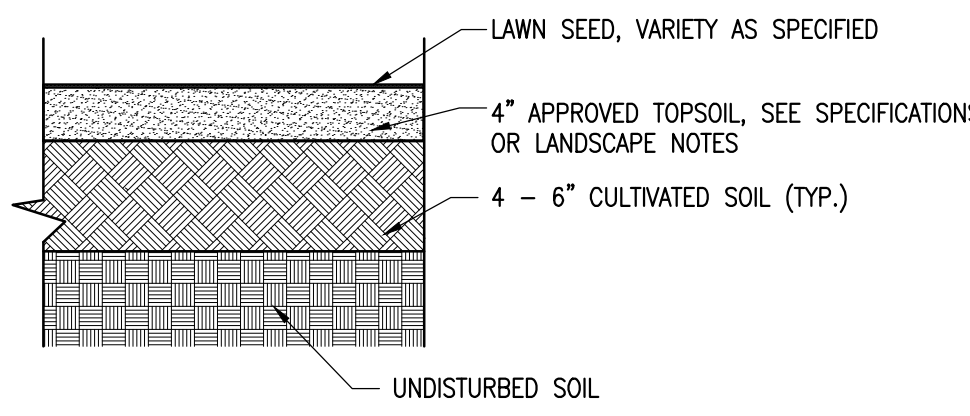


LOW FLOW ORIFICE TRASH RACK DETAIL
N.T.S.

CONTROL STRUCTURE	(A) SIZE	(A) ELEV	(B) SIZE	(B) ELEV	(C) SIZE	(C) ELEV	(D) ELEV
1	3'	281.32	30'x8'	281.75	30'x6'	283.10	284.00



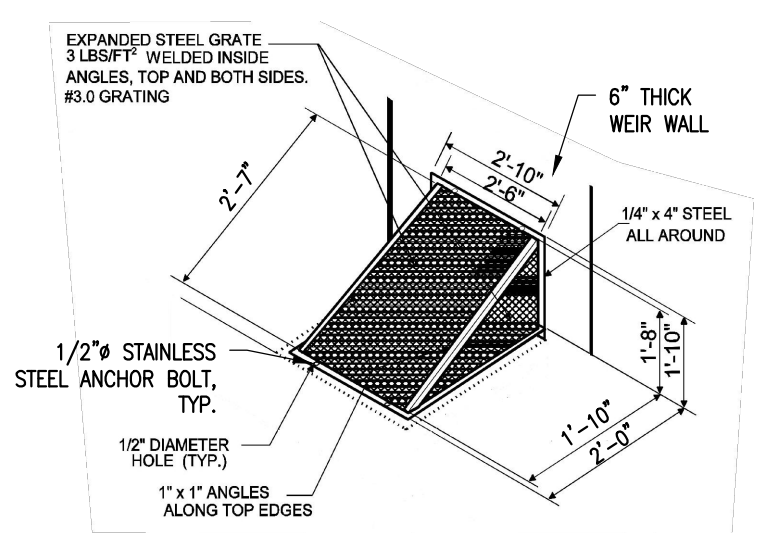
ORIFICE DETAIL
N.T.S.



- SEEDING PROCEDURE:**
- CULTIVATE ENTIRE AREA TO 4"-6" DEPTH. HANDRAKE SMOOTH. SPREAD 4" OF TOPSOIL.
 - APPLY ANY SOIL MODIFICATIONS AS NECESSARY (SEE SPECIFICATIONS OR LANDSCAPE NOTES)
 - WATER AREA TO BE SEED PRIOR TO LAYING SEED.
 - WATER THOROUGHLY UPON COMPLETION OF SEEDING.
 - APPLY SOIL STABILIZATION AS NECESSARY.

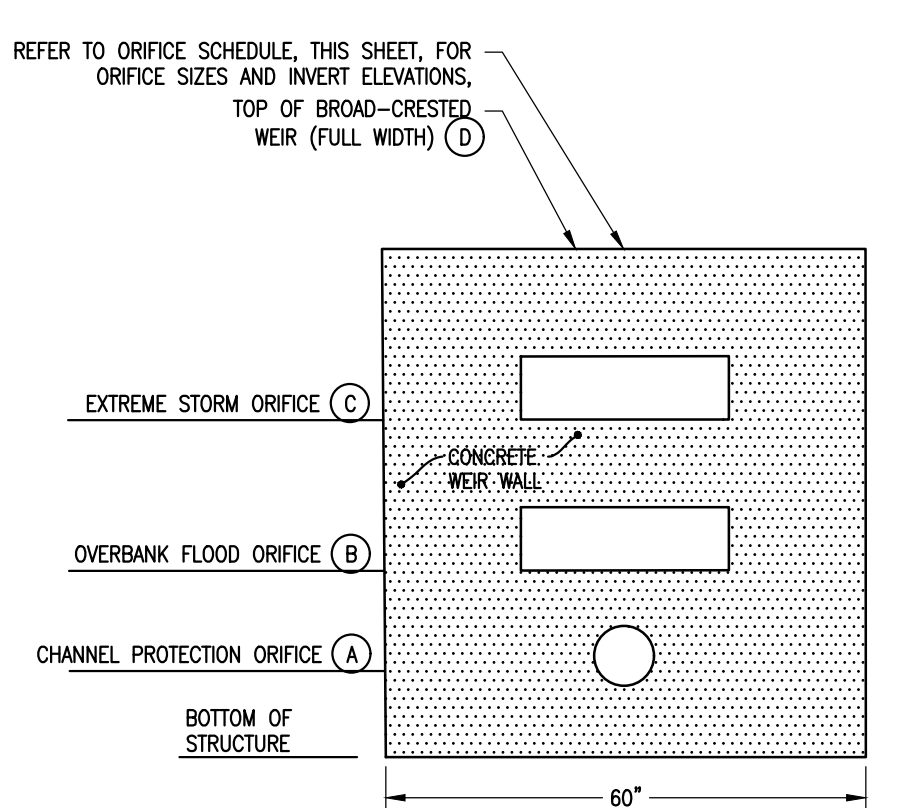
SOIL RESTORATION DETAIL

N.T.S.

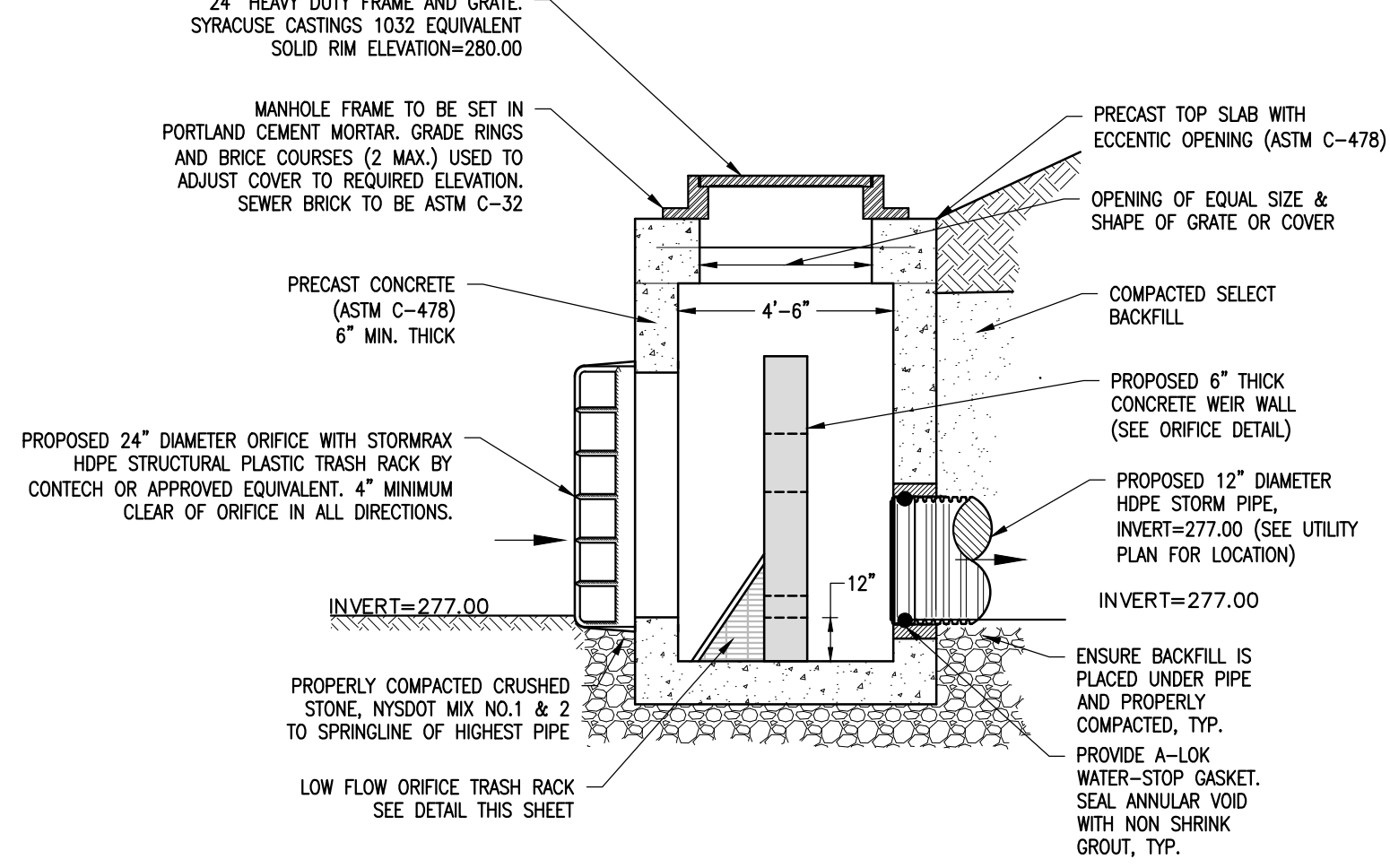
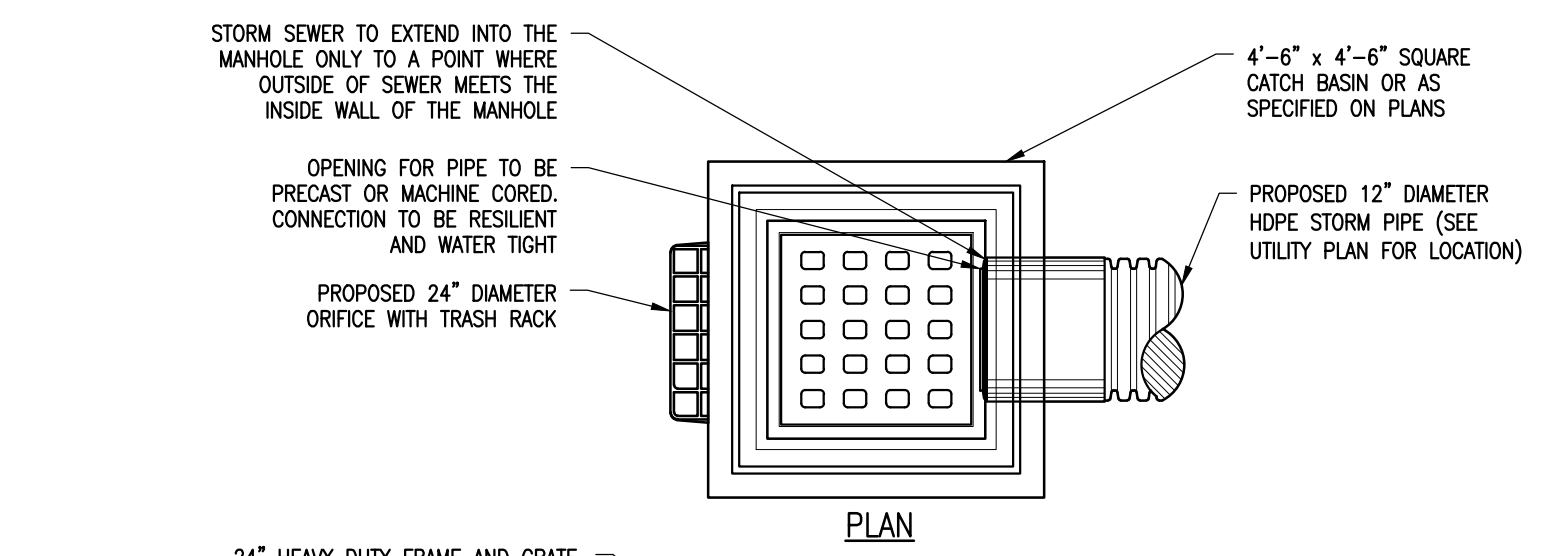


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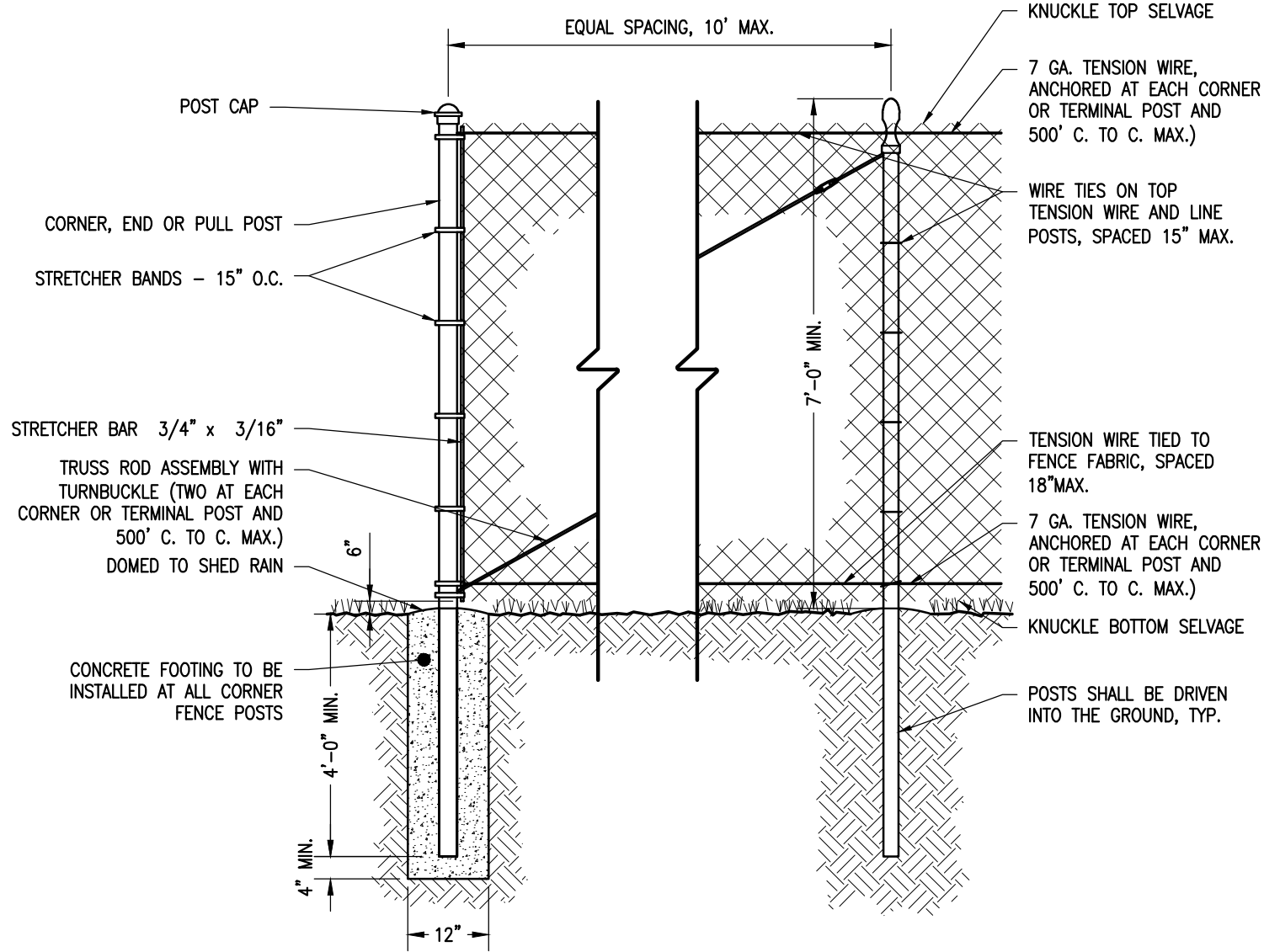
CONTROL STRUCTURE	(A) SIZE	(A) ELEV	(B) SIZE	(B) ELEV	(C) SIZE	(C) ELEV	(D) ELEV
1	3'	277.00	20'x6'	277.50	30'x6'	278.10	279.00



ORIFICE DETAIL
N.T.S.



OUTLET CONTROL STRUCTURE 2 DETAIL
N.T.S.

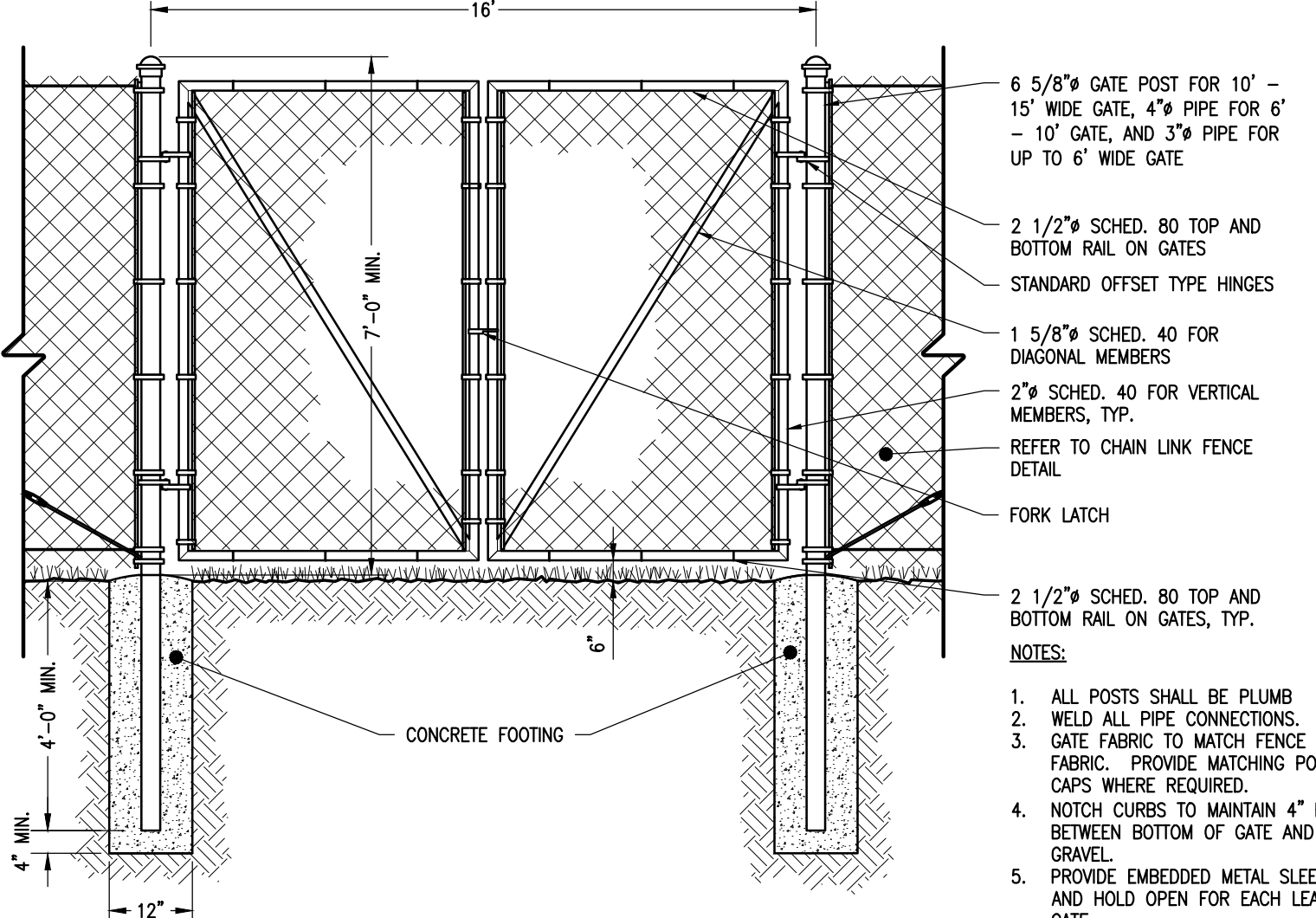


CHAIN-LINK FENCE DETAIL

N.T.S.

- NOTES:**
- ALL POSTS SHALL BE PLUMB
 - WIRE TIES SHALL BE PLACED 15" ON CENTER ALONG TOP RAIL AND LINE POSTS.

USE	NOM. OD.
LINE POSTS	2 1/2"
CORNER, END, GATE, & PULL POSTS	3"
RAILS	1 5/8"
GATE FRAMES	2"

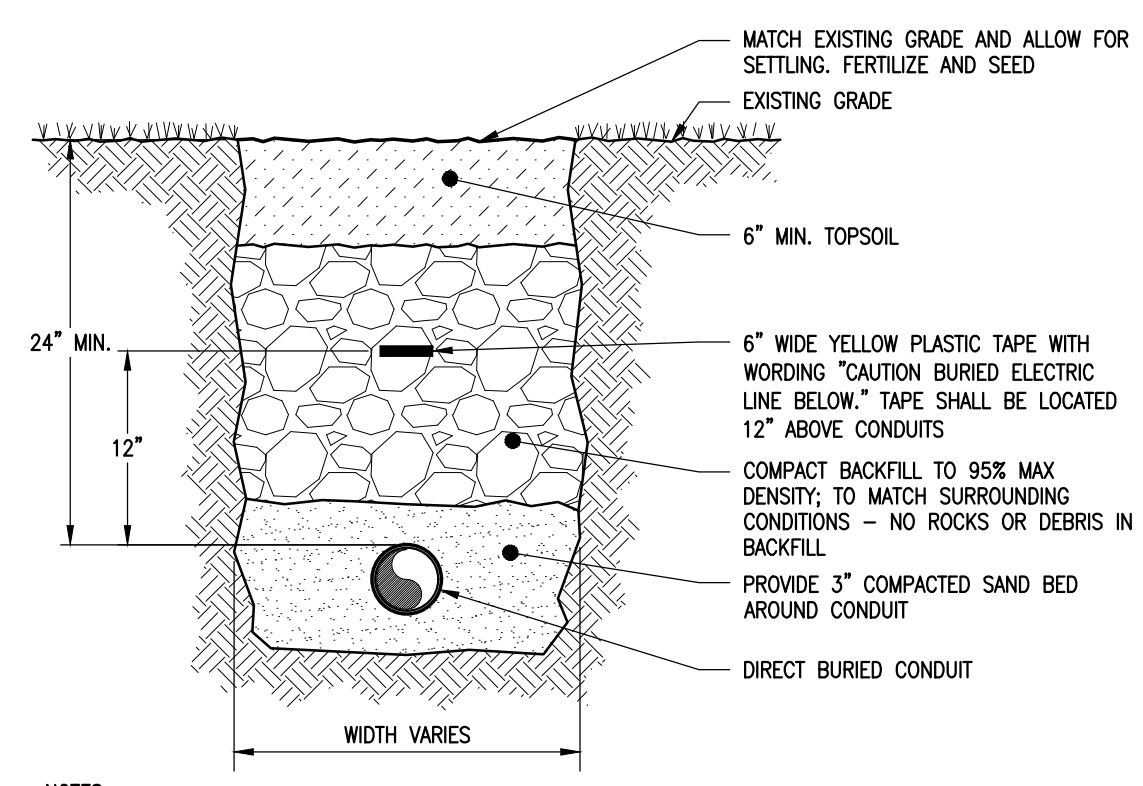


CHAIN-LINK FENCE GATE DETAIL

NO SCALE

- 6 5/8" GATE POST FOR 10' - 15' WIDE GATE, 4" PIPE FOR 6' - 10' GATE, AND 3" PIPE FOR UP TO 6' WIDE GATE
- 2 1/2" SCHED. 80 TOP AND BOTTOM RAIL ON GATES
- STANDARD OFFSET TYPE HINGES
- 1 5/8" SCHED. 40 FOR DIAGONAL MEMBERS
- 2" SCHED. 40 FOR VERTICAL MEMBERS, TYP.
- REFER TO CHAIN LINK FENCE DETAIL
- FORK LATCH
- 2 1/2" SCHED. 80 TOP AND BOTTOM RAIL ON GATES, TYP.

- NOTES:**
- ALL POSTS SHALL BE PLUMB
 - WELD ALL PIPE CONNECTIONS.
 - GATE FABRIC TO MATCH FENCE FABRIC. PROVIDE MATCHING POST CAPS WHERE REQUIRED.
 - NOTCH CURBS TO MAINTAIN 4" HEIGHT BETWEEN BOTTOM OF GATE AND GRAVEL.
 - PROVIDE EMBEDDED METAL SLEEVE AND HOLD OPEN FOR EACH LEAF OF GATE.
 - CONTRACTOR SHALL INSTALL A KNOX BOX NEXT TO GATE FOR FIRE DEPARTMENT ACCESS.
 - POSTS SHALL BE DRIVEN INTO THE GROUND.
 - PROVIDE 6" WILDLIFE GAP BELOW FENCE



DIRECT BURIED CONDUIT TRENCH DETAIL (IN GRASS)

N.T.S.

- NOTES:**
- REPAIR ALL SETTLEMENT
 - MINIMUM TOP SOIL DEPTH 6"
 - MULTIPLE CONDUITS SHALL BE SPACED 7" ON CENTER

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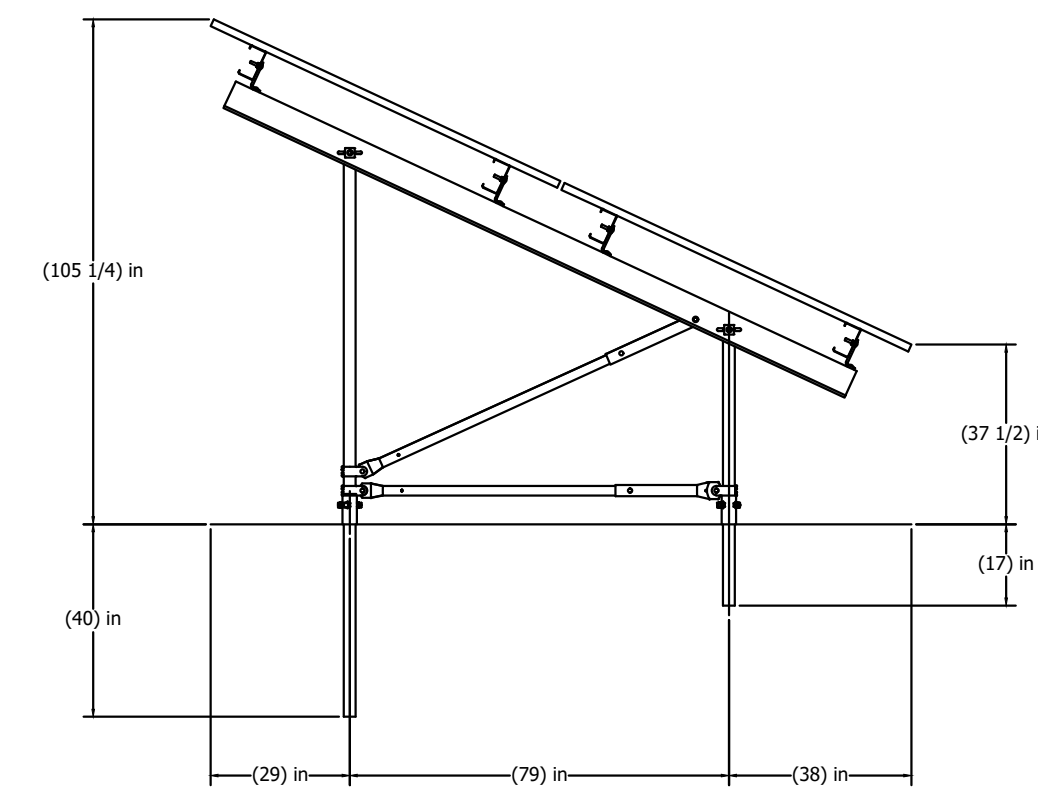
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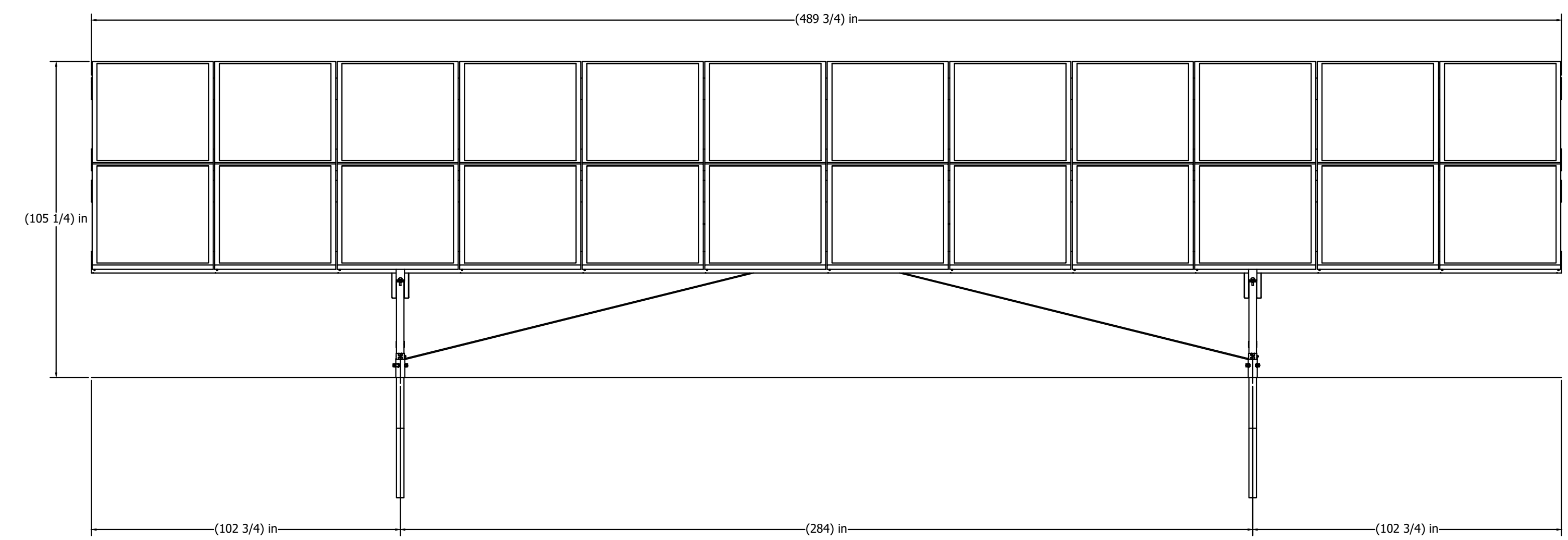
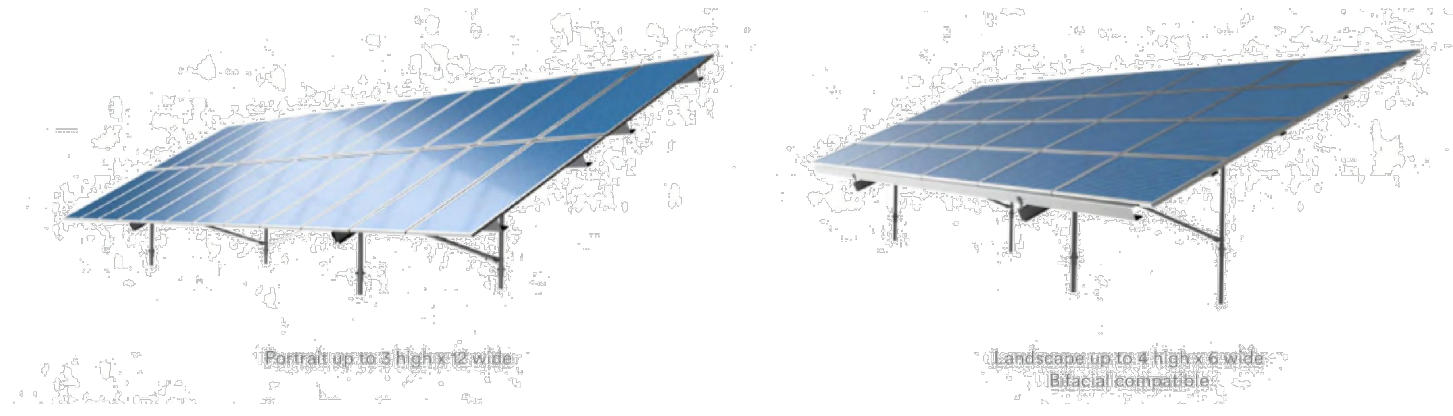
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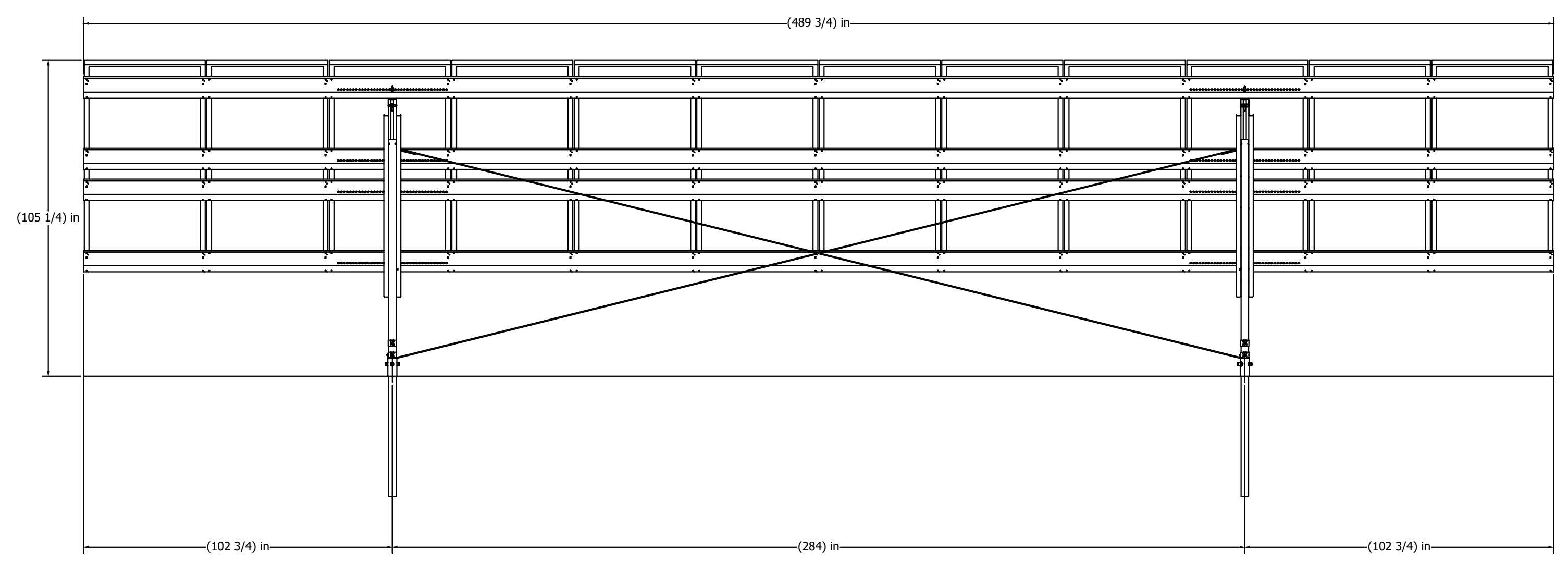
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SIDE ELEVATION VIEW



FRONT ELEVATION VIEW

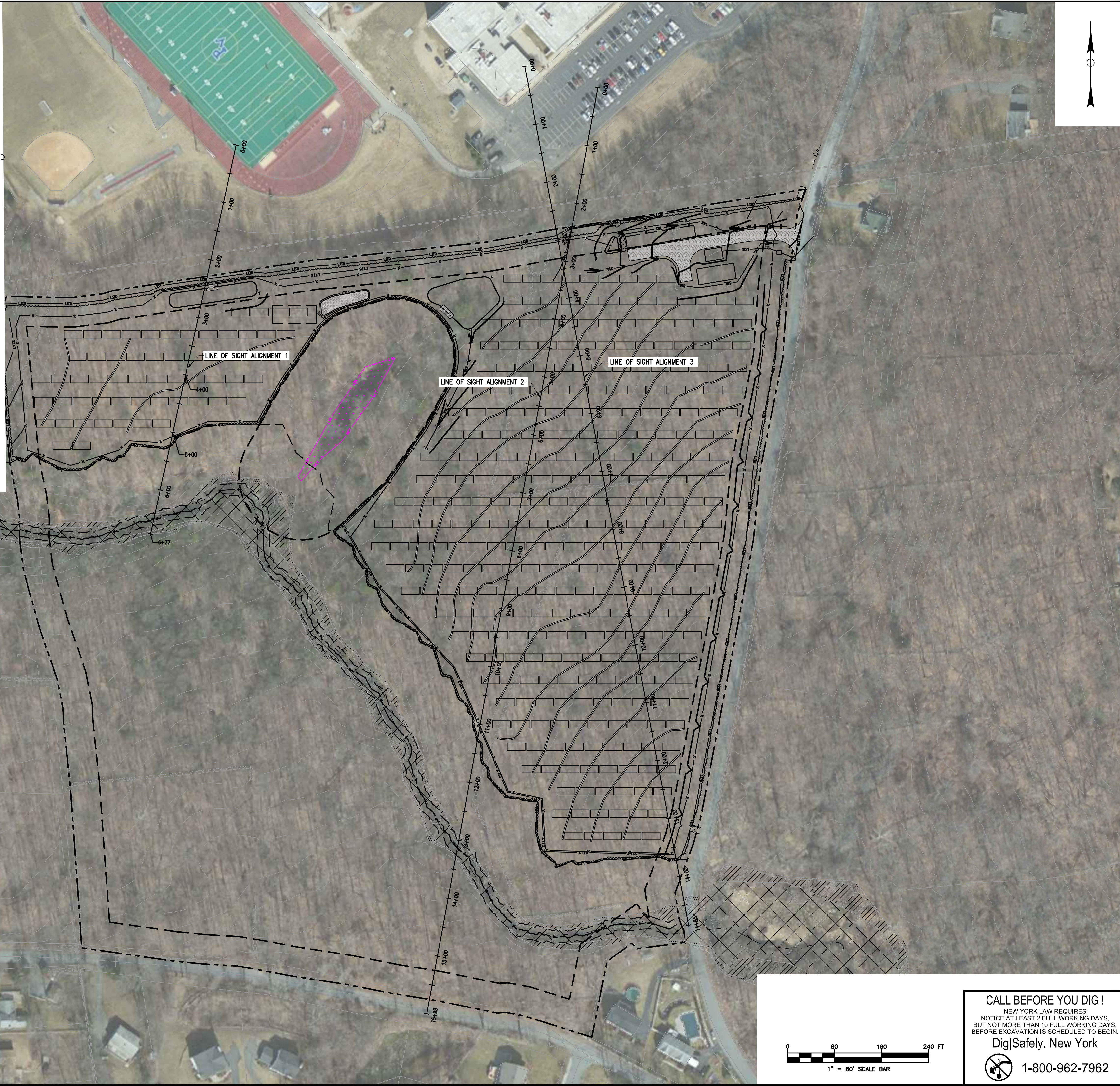


REAR ELEVATION VIEW

- NOTES:
1. TYPICAL INSTALLATION DIMENSIONS MAY BE ADJUSTED TO SUIT FIELD CONDITIONS.
 2. FINAL DESIGN AND ENGINEERING PLANS TO BE PROVIDED BY THE RACKING MANUFACTURER.

SOLAR PANEL DETAIL
NO SCALE

- LEGEND:**
- PROPERTY LINE SETBACK - 50 FEET
 - - - PROPERTY/R.O.W. LINE (SURVEYED)
 - - - EXISTING LOT LINE ADJUSTMENT
 - [Pattern] PROPOSED GRAVEL DRIVEWAY
 - [Pattern] PROPOSED ASPHALT PAVEMENT
 - [Pattern] FEMA 1% ANNUAL CHANCE FLOOD HAZARD
 - [Pattern] FEMA 0.2% ANNUAL CHANCE FLOOD HAZARD
 - [Pattern] EXISTING FEMA REGULATORY FLOODWAY
 - EXISTING ROAD
 - - - ADJ. PROPERTY/R.O.W. LINE (SURVEYED)
 - x - x - FENCE LINE
 - - - EXISTING CONTOUR - MAJOR
 - - - EXISTING CONTOUR - MINOR
 - - - PROPOSED CONTOUR - MAJOR
 - - - PROPOSED CONTOUR - MINOR
 - [Pattern] EXISTING VEGETATION
 - [Pattern] EXISTING ROCK WALL
 - [Pattern] PROPOSED LIMITS OF TREE CLEARING
 - [Pattern] BERGMANN DELINEATED PALUSTRINE EMERGENT WETLAND (PEM) / PALUSTRINE SCRUB SHRUB WETLAND (PSS)
 - Q STREAM
 - - - 100' WETLAND BUFFER
 - - - LIMITS OF DISTURBANCE LINE
 - - - SILT SOCK
 - - - LEVEL SPREADER/ENERGY DISSIPATOR



YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

**CON EDISON CLEAN
ENERGY BUSINESSES, INC.**

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595



Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C.
2 Winners Circle, Suite 102
Albany, NY 12205

office: 518.862.0325

www.bergmannpc.com

REVISIONS				
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1	02/14/2022	UPDATED PER TOWN COMMENTS	WD	ECR

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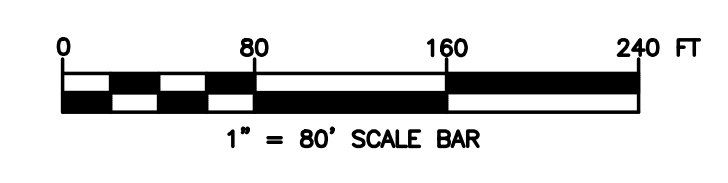
Prepared By: ECR	Checked By: WD
Designed By: KKB	Drawn By: KKB
Date Issued: FEBRUARY 8, 2022	Scale: 1" = 80'
Project Number: 14847.00	

LINE OF SIGHT PROFILE SITE PLAN

Drawing Number:

LOS

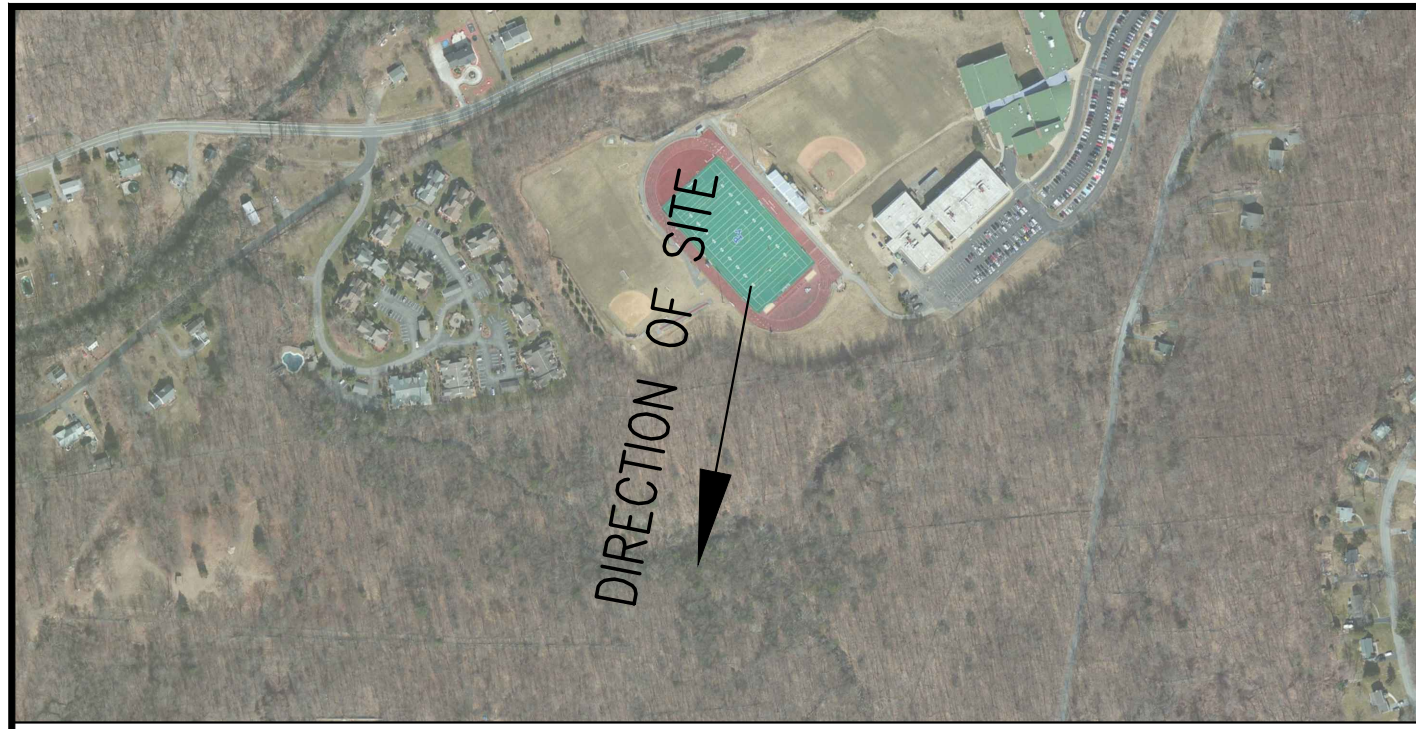
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LOCATION MAP



YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

**CON EDISON CLEAN
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100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595

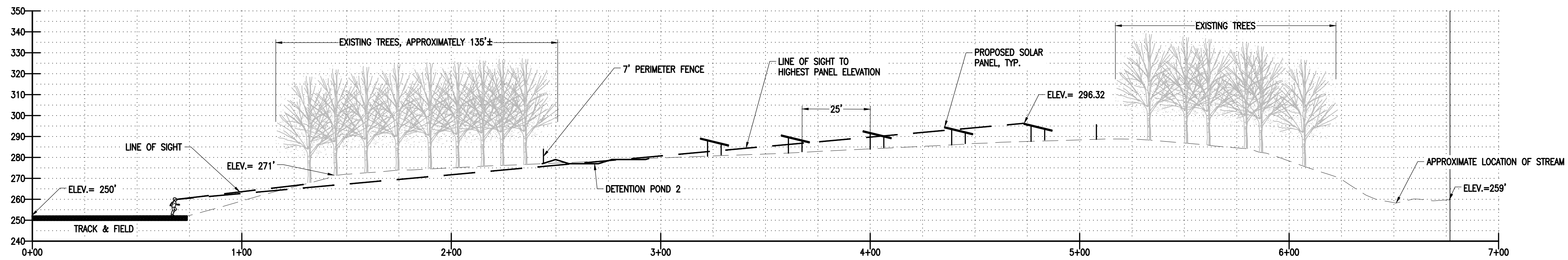


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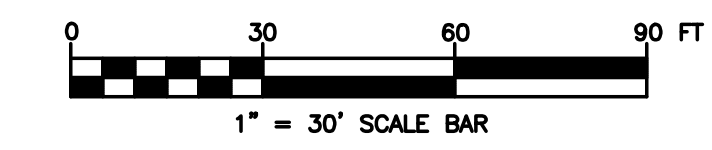
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LINE OF SIGHT PROFILE 1



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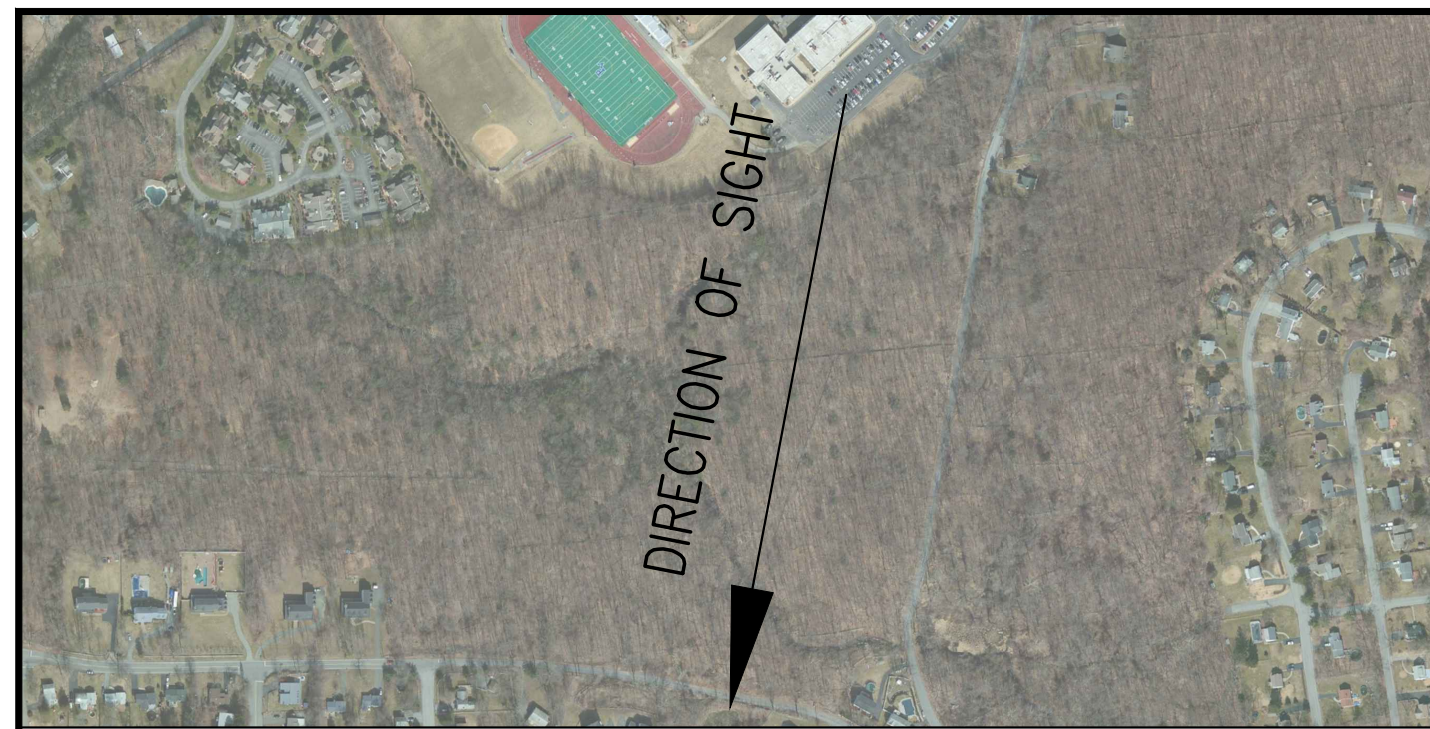
Project Manager:	ECR	Drawn By:	WD
Designed By:	KKB	Checked By:	KKB
Date Issued:	FEBRUARY 8, 2022	Scale:	1"=30'
Project Number:	14847.00		

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LINE OF SIGHT PROFILE

Drawing Number:

LOS-1



LOCATION MAP



**YORKTOWN A
SOLAR FARM**
FOOTHILL STREET
TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

**CON EDISON CLEAN
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B BERGMANN
ARCHITECTS ENGINEERS PLANNERS

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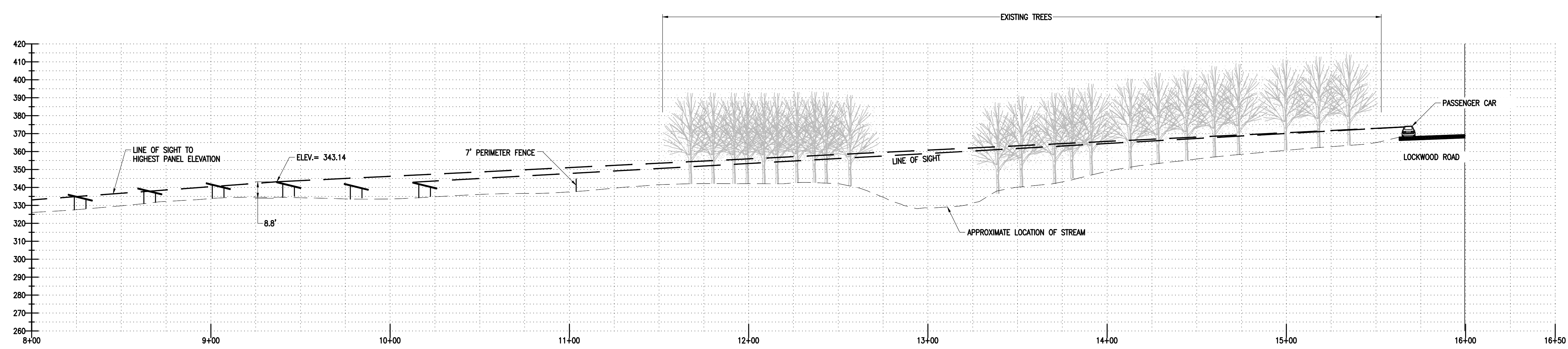
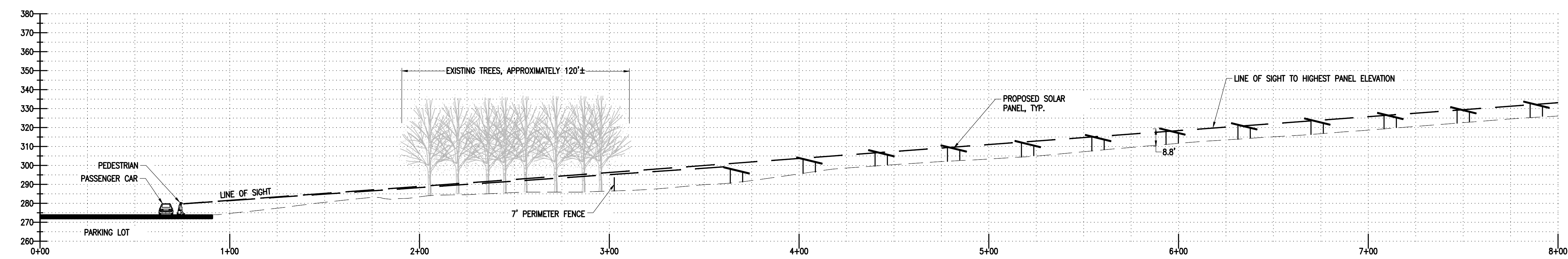


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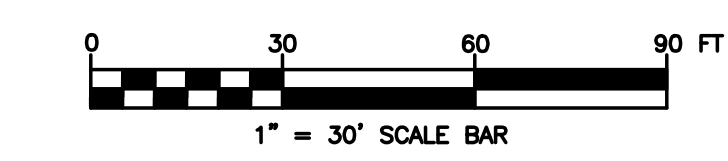
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Date Issued: FEBRUARY 8, 2022	Scale: 1"=30'
Project Number: 14847.00	

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LINE OF SIGHT PROFILE 2



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LINE OF SIGHT PROFILE

Drawing Number:
LOS-2
3 of 4



LOCATION MAP



YORKTOWN A SOLAR FARM

FOOTHILL STREET

TOWN OF YORKTOWN
WESTCHESTER COUNTY
NEW YORK

CON EDISON CLEAN ENERGY BUSINESSES, INC.

100 SUMMIT LAKE DRIVE
VALHALLA, NY 10595

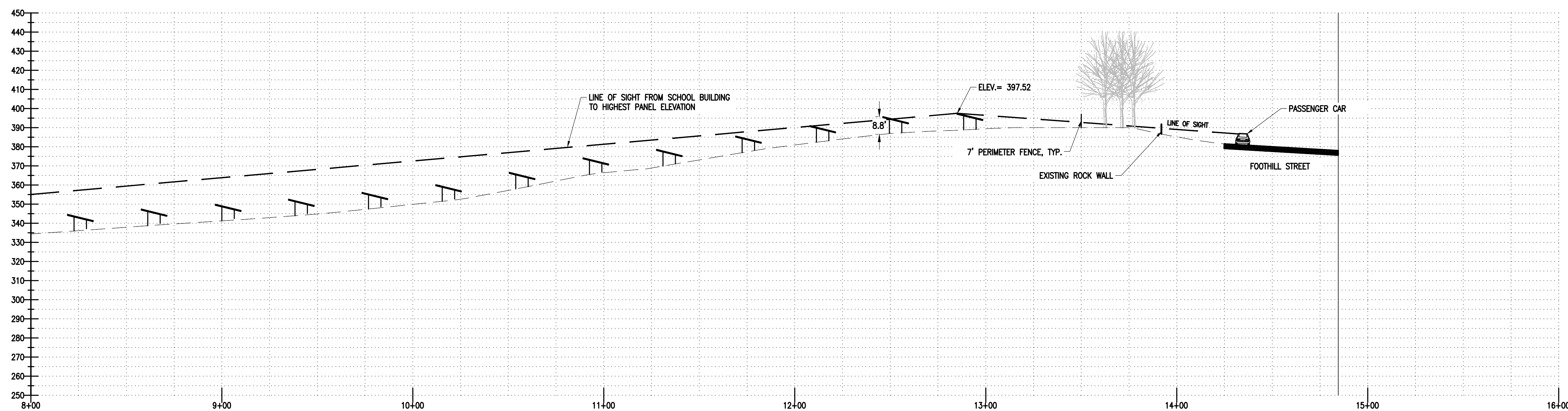
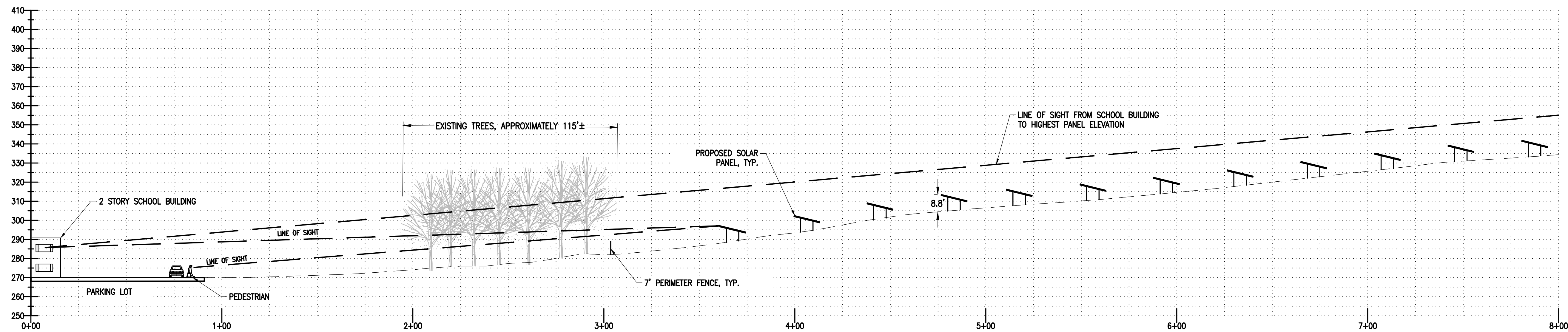


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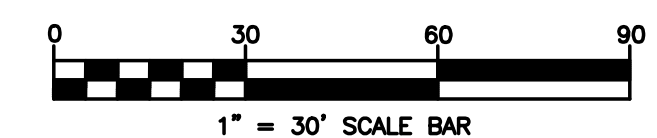
office: 518.862.0325

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LINE OF SIGHT PROFILE 3



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Prepared By: ECR	Checked By: WD
Designed By: KKB	Drawn By: KKB
Date Issued: FEBRUARY 8, 2022	Scale: 1"=30'
Project Number: 14847.00	

LINE OF SIGHT PROFILE

LOS-3

Old Hill Farm

Solar Farm

MEMORANDUM

TO: Robyn A. Steinberg, AICP, CPESC
 Town of Yorktown, New York

FROM: Daniel P. Biggs, RLA, ISA, CERP

DATE: April 8, 2022

SUBJECT: **Old Hill Farm Solar – Tree Mitigation**
 Town of Yorktown, New York

As requested, the Weston & Sampson PE, LS, LA, PC (Weston & Sampson) team completed a review of the proposed tree mitigation plan (dated 3/21/22 by Bergmann), and various memorandums between the applicant/consultant, and the Tree Conservation Advisory Committee for the Old Hill Farm Solar Farm project located at parcels 16.08-1-4 and 16.08-1-17 in the Town of Yorktown.

The subject parcel primarily consists of former agricultural fields within trees ranging in size from 8-in to 49-in. dbh, with an average size of 14.20-in. dbh. The subject parcel is surrounded by developed areas, roadways and utility infrastructure. Most of the former field areas consist of relatively common pioneer and colonizer species (cherry, tree of heaven, sweet birch, maple). Several larger “old growth” trees exist along the edges of the field areas and likely grew for many years while the fields were in operation. As a result, it does not appear that the forest areas proposed to be removed as a part of this project are a part of a contiguous old growth forest.

The following summarizes the total protected trees to be removed and associated mitigation costs. Attached to this memo is a copy of the Tree Removal/Mitigation Calculations:

- Total Protected Trees to be Removed (Fair-Good) 366
- Mitigation Ratio 5.08
- Total Replacement Trees to be Planted 265
- Total Protected Trees to be Mitigated (deduction of replacement trees planted) 314

Tree Fund Calculations

• Total Cost for Protected Trees Removed	\$ 31,379.73
• <u>Total Cost for Woodland Tree Removal</u>	<u>\$ 16,027.80</u>
Total Tree Bank Fund Payment	\$ 47,407.53

Based upon the requirements included in Chapter 270 – Trees of the Town Code, as well as the Total Protected Trees to be Removed (Fair-Good), Total Replacement Trees to be Planted and the Total Tree Bank Fund Payment, we believe the mitigation measures proposed for this project are adequate for the anticipated loss of forested areas.

Please do not hesitate to reach out with any comments or questions regarding our findings and summary of work for this project.

Certification

I certify that all the statements of fact in this appraisal are true, complete, and correct to the best of my knowledge and belief, and that they are made in good faith.



4/8/2022

Daniel P. Biggs, RLA, ISA (MA-5119A), CERP
Registered Landscape Architect NY-002443-01

Date
exp. 1/31/2023

Attachments: Attachment A- Tree Removal/Mitigation Calculations Table

Old Hill Farm Solar Farm
Town of Yorktown

Per Bergmann 12/29/21 memo		
Tree Removal Calculations		
Total Trees Surveyed		Qty 692
Total Trees Removed (501 - 7" to 24"dbh / 77 - >24"dbh)		578
<i>Invasives - Deduction</i>	72	
<i>Dead/Poor Native - Deduction</i>	140	
Total Protected Trees Removed (Fair-Good)		366
<i>Total DBH Protected Trees Removed (Fair-Good) = 5574" dbh</i>		
Average DBH of Protected Trees (Fair-Good)	15.23 in.	
Tree Mitigation Calculations		
Avg. DBH of trees to be removed	15.23 in.	
Avg. DBH of replacement trees	3 in.	
Mitigation Ratio		5.08
<i>Total Protected Trees Removed (per Bergmann 1/13/22 Landscape/Mitigation Plan)</i>	366	
Total Replacement Rqcd.		1858
<i>Replacement Trees to be Planted (per Bergmann 1/13/22 Landscape/Mitigation Plan)</i>	265	
Total Trees to be Mitigated		1593
Total Protected Trees to be Mitigated (deduction of replacement trees planted)		314
<hr/>		
Tree Fund Calculations		
<u>Payment to Tree Bank Fund (per Total Protected Trees Removed)</u>		
<i>Cost per Lost Tree</i>	\$ 100.00	
<i>Total Protected Trees to be Mitigated (deduction of replacement trees planted)</i>	314	
Total Cost for Protected Trees Removed		\$ 31,379.73
<u>Payment to Tree Bank Fun (per Total sf of protected woodland removal)</u>		
<i>Cost per 5,000 sf</i>	\$ 300.00	
<i>Total Protected Woodland Removal (per Bergmann 1/13/22 Landscape/Mitigation Plan)</i>	267,130 sf	
Total Cost for Woodland Tree Removal		\$ 16,027.80
Total Tree Bank Fund Payment		\$ 47,407.53

JAN 25 2022

TOWN OF YORKTOWN

To: Yorktown Planning Board
From: Yorktown Tree Conservation Advisory Commission (TCAC)
Date: 25 January 2022

RE: Old Hill Farm Solar Farm

Chairman Fon and members of the Planning Board

The TCAC has reviewed the materials in the referral for the referenced project that were received on 21 January 2022. The TCAC references our 21 December 2021 memo regarding this project and has the following comments:

1. The Planner has corrected the error in the average DBH of the protected trees that the TCAC pointed out in our 21 December 2021 memo.
2. The Planner agrees with the TCAC's calculations for the tree mitigation ratio, the tree deficit and Tree Bank Fund payment as noted in our 21 December 2022 memo.
3. The Planner has increased the required payment to the Tree Bank Fund by \$400.00 for a total of \$53,328.00. This increase is for the removal of 4 additional protected trees. The removal of these additional trees is the result of a request by the Fire Inspector that the access road be extended.
4. The TCAC acknowledges that the developer is withdrawing his offer to remove invasive vines as part of his mitigation plan. However, given the loss of this valued forest, the TCAC recommends that the Planning Board require this as part of the mitigation plan.
5. The Planner has substituted Eastern White Pines for the Colorado Spruces that the TCAC objected to.

Based on all of the above, the TCAC no longer has any objections to this project moving forward.

Tree Conservation Advisory Commission
Sincerely,

Lawrence W. Klein P.E., Member
Keith Schepart ISA, Member
Tom Schmitt, Member

State Environmental Quality Review
NEGATIVE DECLARATION
Notice of Determination of Non-Significance

Project Number

Date: February 28, 2022

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Old Hill Farm Solar Farm

SEQR Status: Type 1
 Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

The applicant has proposed to install a 3.75MW ground-mounted solar energy system disturbing approximately 15 acres on a 19.4 acres in the R1-20 zoning district. The site is located at the address 571 East Main Street, Jefferson Valley, 10535, also known as Section 16.08, Block 1, Lots 4 & 17 on the Town of Yorktown Tax Map.

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

571 East Main Street, Jefferson Valley, Town of Yorktown, Westchester County

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

- 1) This Negative Declaration is based on a Full Environmental Assessment Form last revised July 28, 2021.
- 2) The proposed solar array is allowed in all zoning districts.
- 3) The proposed solar array will have no impact on Town services.
- 4) There is no proposed disturbance in the wetland or wetland buffer.
- 5) the property is a former dairy farm that up until 35 years ago was used primarily for cow grazing and growing vegetables, which is now comprised of mostly abandoned cleared farm land, secondary growth and invasive trees, shrubs, and vines.
- 6) A stormwater management plan will attenuate stormwater runoff and peak discharge from the site to pre-construction conditions through several measures including seeding the area within the perimeter fence with low-growing wildflower and grass mix, installation of a detention basin, and the installation of 2 ft wide level spreader/energy dissipaters installed parallel to the contours.
- 7) While the project requires the removal of 367 protected trees and 267,130 square feet of protected woodland, the area within the perimeter fence will be seeded with a low-growing wildflower and grass mix, a mix of trees and shrubs will be planted along the perimeter of the fenced in area, and a contribution will be made to the Town's tree bank to mitigate this impact.
- 8) The trees and shrubs proposed along the perimeter of the fenced in area will also provide screening of the site and limit to the greatest extent practicable the view of the solar panels from outside the parcel boundaries.
- 9) Construction of the array will be phased to keep the limits of disturbance at any one time to under 5 acres.
- 10) Emergency access to the site has been approved by the Town Fire Inspector.
- 11) While construction noise is temporary and will only last for the construction phase of the project (approximately 4 months), there will be no significant noise generated by the array once installed.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of Yorktown

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT FOR A LARGE-SCALE SOLAR ENERGY
SYSTEM, STORMWATER PERMIT, AND TREE REMOVAL PERMIT
FOR THE OLD HILL FARM SOLAR FARM**

RESOLUTION NUMBER: #22-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan and special use permit for a large-scale solar power generation system with submitted plans titled, "Preliminary Development Plans for proposed Old Hill Farm Solar Farm," prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated July 28, 2021, and last revised April 11, 2022, was submitted to the Planning Board on behalf of Hillside Solar, LLC. (hereinafter referred to as "the Applicant"); and

WHEREAS the Applicant is proposing to construct a 3.75 MW capacity large scale solar energy system on approximately 15.5 acres of a 19.40 acre parcel in the R1-20 zoning district, located at 571 East Main Street, Jefferson Valley in the Town of Yorktown and owned by Old Hill Farm, LLC, also known as Section 16.08, Block 1, Lots 4 & 17 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS pursuant to SEQRA:

1. The action has been identified as a Type I action because the proposed action involves the physical alteration of more than 10 acres.
2. The Planning Board has been declared lead agency on February 28, 2022.
3. A negative declaration has been adopted on February 28, 2022 on the basis of a Full EAF dated July 28, 2021.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A drawing, sheet C000, titled "Cover Sheet," prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
2. A drawing, sheet C001, titled "General Notes," prepared by Bergmann Associates,

- Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
3. A drawing, sheet C002, titled “Area Parcel Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 4. A drawing, sheet C003, titled “Existing Conditions Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 5. A drawing, sheet C004, titled “Overall Site Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 6. A drawing, sheet C005, titled “Site Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 7. A drawing, sheet C006, titled “Grading & Erosion & Sediment Control Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 8. A drawing, sheet C007, titled “Grading Plan Details,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 9. A drawing, sheet C008, titled “Landscaping & Tree Mitigation Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 10. A drawing, sheet C009, titled “Phasing Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 11. A drawing, sheet C010, titled “Details I,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
 12. A drawing, sheet C011, titled “Details II,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and

13. A drawing, sheet C012, titled “Details III,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised April 11, 2022; and
14. A drawing, sheet LOS, titled “Line of Sight Profile Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated February 10, 2022; and
15. A drawing, sheet LOS-1, titled “Line of Sight Profile Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated February 10, 2022; and
16. A drawing, sheet LOS-2, titled “Line of Sight Profile Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated February 10, 2022; and
17. A drawing, sheet LOS-3, titled “Line of Sight Profile Plan,” prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and dated February 10, 2022; and

Additional Documents

18. A Tree Inventory, prepared by Bartlett Tree Experts, and dated October 2, 2021;
19. A Stormwater Pollution Prevention Plan, prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., dated July 28, 2021, and last revised January 14, 2022; and
20. A NYSDEC Freshwater Wetland Boundary Validation on a survey titled, “Boundary and Topographic Survey,” dated April 19, 2018, last revised March 4, 2022, signed by the NYS DEC on March 10, 2022, and valid until March 10, 2027; and
21. Photo simulations and Balloon Test analysis, prepared by Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C., and presented to the Board at the November 8, 2021 meeting; and
22. Specification sheets for proposed the solar equipment; and

WHEREAS the Applicant proposes a tree mitigation plan, which consists of the following:

- A) This project requires removal of 367 protected trees and the total area of tree

removal is 267,130 square feet, therefore a payment to the Tree Bank Fund in the amount of \$53,328.00; and

- B) The Applicant proposes to plant 325 trees on the site as shown on the Landscaping & Tree Mitigation Plan, sheet C-008, listed herein; and
- C) The disturbed area within the perimeter fence will be seeded with a low-growing wildflower and grass mix; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
Conservation Board	08/19/21, 10/21/21
Environmental Consultant	03/31/22, 04/08/22
Fire Inspector	12/17/21
Tree Conservation Advisory Commission	10/29/21, 11/15/21, 12/19/21, 12/21/21, 01/25/22
Westchester County Planning Board	02/14/22
NYS DEC	02/10/22

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application via Zoom video conference commencing and closing on December 6, 2021; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing and closing on February 14, 2022 at Town Hall in Yorktown Heights, New York;

RESOLVED the Planning Board finds the proposed site plan meets all the requirements and special use permit standards set forth in § 300-81.4 Solar power generation systems; and

BE IT THEREFORE NOW RESOLVED that the application of Hillside Solar, LLC for the approval of a site plan and special use permit for a Large-Scale Solar Power Generation System with submitted plans titled "Preliminary Development Plans for proposed Old Hill Farm Solar Farm," prepared by Bergmann Associates, Architects, Engineers, Landscape Architects &

Surveyors, D.P.C., and dated July 28, 2021, and last revised April 11, 2022, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

RESOLVED the Applicant is required to provide the following measures to mitigate the environmental impacts of the proposed solar facility:

- A) A payment to the Tree Bank Fund in the amount of \$53,328.00; and
- B) The installation of 325 trees on the site as shown on the Landscaping & Tree Mitigation Plan, sheet C-008, listed herein; and
- C) The disturbed area within the perimeter fence will be seeded with a low-growing wildflower and grass mix; and

Additional requirements prior to signature of the Site Plan and Stormwater Pollution Prevention Plan & Tree Permit by the Planning Board Chairman:

1. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

Tree Bank Fund	\$53,328
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2. Submission of a final Stormwater Pollution Prevention Plan to the satisfaction of the Town Engineer and Planning Board.
3. Submission of any applicable inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements prior to Issuance of a Building Permit:

4. Submission of a decommissioning bond in an amount sufficient to cover the cost of decommissioning the system.

Additional requirements:

5. The owner, operator, or manager of the solar power generation system must conduct annual inspections of the site's approved landscaping, screening, and any other required vegetative plantings to ascertain the health, effectiveness, condition, and

viability of said plantings and submit these findings annually to the Town Engineer. Any dead or diseased vegetative material or any other deficiencies must be promptly replaced or repaired.

6. Solar Energy Systems shall comply with all applicable laws, including, as applicable, the Fire Code of the State of New York and Applicant must obtain all necessary permits from outside agencies.
7. All Large-Scale Solar Energy Systems shall maintain an emergency key box on site to provide for emergency access to the system and to provide for the storage of vital system information.

BE IT FURTHER RESOLVED to the extent any real property with a Solar Energy System approved herein is exempt from taxation to the extent of any increase in the assessed value thereof by reason of the inclusion of such Solar Energy System under New York Real Property Tax Law § 487, the property owner shall be required to enter a contract with the Town for payments in lieu of taxes (“PILOT”), as set forth in N.Y. R.P.T.L. § 487(9). The amount of such PILOT shall be set by the Town Board, upon recommendation of the Town Assessor. Said recommendation shall be based upon industry-recognized standards (e.g., the New York State Energy Research and Development Authority (NYSERDA) PILOT calculators). Under N.Y. R.P.T.L. § 487, Solar Energy Systems are not exempt from special district ad valorem taxes, which will be the responsibility of the property owner in addition to any PILOT payments; and

BE IT FURTHER RESOLVED that in accordance with Town Code Chapter 248, and Chapter 270, the application of Con Edison Clean Energy Businesses, Inc. for the approval of a Stormwater Pollution Prevention Plan and Tree Removal Permit **#FSWPPP-T-062-21** is approved subject to the conditions listed therein; and

BE IT FURTHER RESOLVED the owner, operator or manager of the solar power generation system must conduct annual inspections of the site’s approved landscaping, screening, buffering, and any other required vegetative plantings or structures required under this approval. The inspection shall ascertain the health, effectiveness, condition and viability of such landscaping, screening, buffering, and any other required vegetative plantings or structures. The findings of each annual inspection shall be reported to the Town Engineer as a written report with photographs where necessary. Any dead or diseased vegetative material or any other deficiencies shall be promptly replaced or repaired by the site owner, operator, or manager. If such diseased, dead or deficient material is not promptly replaced or repaired to the satisfaction of the Town Engineer, the Town Engineer shall exercise enforcement action pursuant to Section §300-193 of the Town Code; and

BE IT FURTHER RESOLVED the approval of the Planning Board is not valid until the

conditions of this resolution are met and the Site Plan and Stormwater Pollution Prevention Plan & Tree Removal Permit **#FSWPPP-T-062-21** are signed by the Planning Board Chairman; and

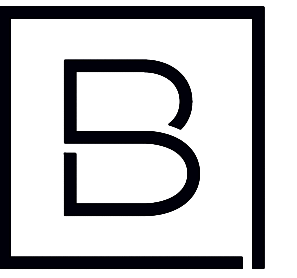
BE IT FURTHER RESOLVED that unless a building permit has been issued within one year of the date of this resolution, **<DATE>**, or a time extension has been granted by the Planning Board, this approval will be null and void; and

BE IT FURTHER RESOLVED the special use permits granted by this resolution for a large-scale solar power generation system shall run with the site plan approval and all improvements shall completed within 24 months once a building permit is obtained.

DRAFT

PRELIMINARY DEVELOPMENT PLANS FOR
PROPOSED

OLD HILL FARM SOLAR FARM
SOLAR DEVELOPMENT
571 EAST MAIN STREET
JEFFERSON VALLEY, NEW YORK



BERGMANN
ARCHITECTS ENGINEERS PLANNERS

2 Winners Circle, Suite 102
Albany, NY 12205
www.bergmannpc.com
office: 518.862.0325

HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

**OLD HILL FARM
SOLAR FARM**

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

Date Revised	Description
10/13/2021	REVISED PER CLIENT COMMENTS
12/01/2021	REVISED PER TREE COMMISSION COMMENTS
12/28/2021	REVISED PER FIRE DEPARTMENT COMMENTS
1/07/2022	REVISED PER SITE VISIT WITH FIRE DEPARTMENT
1/13/2022	REVISED PER ENGINEERING DEPARTMENT COMMENTS
1/20/2022	REVISED PER TCAC COMMENTS
3/01/2022	REVISED PER TOWN COMMENTS
3/21/2022	REVISED PER UPDATED WETLAND AREA
4/11/2022	REVISED PER CLIENT COMMENT

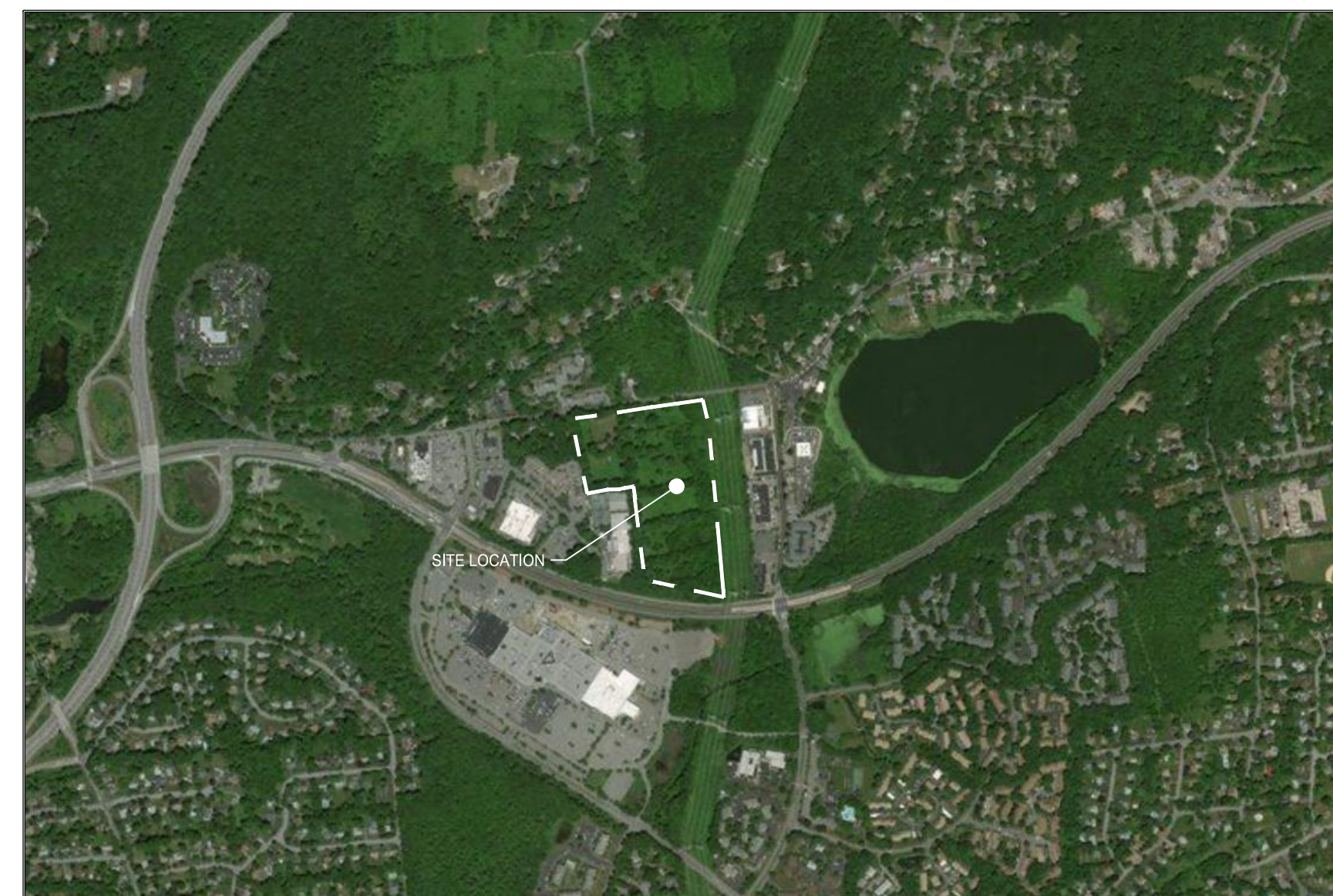
PROJECT CONTACTS

CIVIL ENGINEER
BERGMANN
2 WINNERS CIRCLE, SUITE 102
ALBANY, NY 12205
CONTACT: ERIC REDDING, PE
PHONE: 518.556.3631

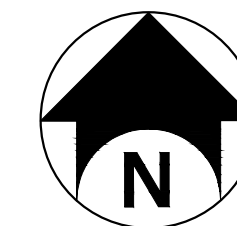
OWNER
OLD HILL FARM LLC
227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

APPLICANT
HILLSIDE SOLAR LLC
227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549
CONTACT: KATHRYN HOENIG
PHONE: 914.953.5312

ELECTRICAL ENGINEER
TBD



SITE LOCATION MAP
1"=1000'



DRAWING INDEX		
DRAWING NO.	DRAWING TITLE	SHEET NO.
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PRELIMINARY
NOT FOR CONSTRUCTION

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Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	WD
Date Issued	Project Number
07/28/2021	14064.11

Sheet Name

COVER

Drawing Number

C000

SEQUENCE OF CONSTRUCTION:

- PRE-CONSTRUCTION MEETING HELD TO INCLUDE PROJECT MANAGER, OPERATOR'S ENGINEER, CONTRACTOR, AND SUB-CONTRACTORS PRIOR TO LAND DISTURBING ACTIVITIES.
- CONSTRUCT CONSTRUCTION ENTRANCE/EXIT AT LOCATIONS DESIGNATED ON PLANS.
- INSTALL PERIMETER SILT FENCE.
- HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE CONSTRUCTION IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
- CONSTRUCT GRAVEL ROAD TO BE USED DURING CONSTRUCTION
- STRIP TOPSOIL AND STOCKPILE IN A LOCATION ACCEPTABLE TO CONSTRUCTION MANAGER. WHEN STOCKPILE IS COMPLETE, INSTALL PERIMETER SILT FENCE, SEED SURFACE WITH 100% PERENNIAL RYEGRASS MIXTURE AT A RATE OF 2-4 LBS. PER 1000 SF. APPLY 90-100 LBS PER 1000 SF OF MULCH.
- COMMENCE EARTHWORK CUT AND FILLS. THE WORK SHALL BE PROGRESSED TO ALLOW A REASONABLE TRANSFER OF CUT AND FILL EARTH FOR ROUGH GRADING AND EARTH MOVING. THE CONTRACTOR WILL BE GIVEN SOME LATITUDE TO VARY FROM THE FOLLOWING SCHEDULE IN ORDER TO MEET THE FIELD CONDITIONS ENCOUNTERED. CONTRACTOR SHALL REVIEW VARIATIONS TO SWPPP WITH DESIGN ENGINEER AND QUALIFIED PROFESSIONAL PRIOR TO IMPLEMENTATION.
- CONSTRUCT SOLAR ARRAY AREA IN THREE PHASES AS DETAILED IN SHEET C009 OF THIS PLAN SET. CONTRACTOR SHALL CONSTRUCT EACH PHASE INDIVIDUALLY AND SHALL NOT PROCEED TO THE FOLLOWING PHASE UNTIL THE SOLAR RACKING HAS BEEN INSTALLED AND THE PHASE AREA HAS BEEN TEMPORARILY STABILIZED WITH SEED AND MULCH.
- REMOVE GRAVEL DRIVEWAY USED DURING CONSTRUCTION AND CONSTRUCT THE PROPOSED PERVIOUS GRAVEL DRIVEWAY AFTER CONSTRUCTION ACTIVITIES SUCH AS THE INSTALLATION OF THE PANELS AND PERIMETER FENCE. THE SUB-GRADE MATERIAL WHERE THE DRIVEWAY IS TO BE INSTALLED SHALL BE DECOMPACTED PER NYSDEC'S "DEEP-RIPPING AND DECOMPACTION" MANUAL, DATED APRIL 2008. CONTRACTOR SHALL AVOID FREQUENT HEAVY TRAFFIC ON THE LIMITED USE PERVIOUS GRAVEL.
- AS ROADWAY AND ACCESS DRIVES ARE BROUGHT TO GRADE, THEY WILL BE STABILIZED WITH CRUSHED STONE SUBBASE AT A DEPTH SPECIFIED ON PLANS TO PREVENT EROSION AS SOON AS PRACTICABLE.
- STABILIZE ALL AREAS AS SOON AS PRACTICABLE, IDLE IN EXCESS OF 7 DAYS AND IN WHICH CONSTRUCTION WILL NOT RECOMMENCE WITHIN 14 DAYS.
- INSTALL UTILITIES. TRENCH EXCAVATION/BACKFILL AREAS SHOULD BE STABILIZED PROGRESSIVELY AT THE END OF EACH WORKDAY WITH SEED AND STRAW MULCH AT A RATE OF 100% PERENNIAL RYE GRASS AT 2-4 LBS/1000 SF MULCHED AT 90-100 LBS/1000 SF.
- STABILIZE ALL AREAS IDLE IN EXCESS OF 7 DAYS IN WHICH CONSTRUCTION WILL NOT RECOMMENCE WITHIN 14 DAYS.
- REMOVE TEMPORARY CONSTRUCTION EXITS AND PERIMETER SILT FENCE ONCE SITE HAS ACHIEVED 80% UNIFORM STABILIZATION.

GENERAL NOTES:

- THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
- HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
- THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
- EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED JANUARY 1, 2020 AND ANY SUBSEQUENT APPENDICES.

WASTE/HAZARDOUS MATERIAL PRACTICES:

- WHENEVER POSSIBLE COVERED TRASH CONTAINERS SHOULD BE USED.
- DAILY SITE CLEANUP IS REQUIRED TO REDUCE DEBRIS AND POLLUTANTS IN THE ENVIRONMENT.
- CONTRACTOR SHALL PROVIDE A SAFE STORAGE SPACE FOR ALL PAINTS, STAINS AND SOLVENTS INSIDE A COVERED STORAGE AREA.
- ALL FUELS, OILS, AND GREASE MUST BE KEPT IN CONTAINERS AT ALL TIMES.

EROSION & SEDIMENT CONTROL NOTES:

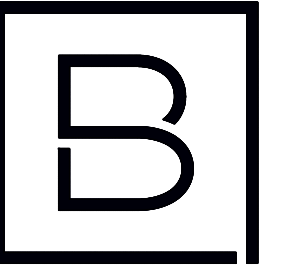
- INSTALL EROSION CONTROL MEASURES AS INDICATED ON THE PLAN PRIOR TO THE START OF ANY EXCAVATION WORK. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, AND THE GOVERNING MUNICIPAL REQUIREMENTS.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER REPLACE TOPSOIL TO A MINIMUM 4" DEPTH WITH TOPSOIL OR AMENDED SOIL. ALL DISTURBED AREAS TO BE SEEDED TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATIVE COVER HAS BEEN ACHIEVED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL OR AMENDED TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.) MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

STORM WATER POLLUTION PREVENTION PLAN NOTES:

- THE CONTRACTOR SHALL PROVIDE A QUALIFIED INSPECTOR TO INSPECT THE PROJECT AT THE END OF EACH WORK WEEK AND PROVIDE A REPORT AT LEAST ONCE PER WEEK.
- EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, WESTCHESTER COUNTY DEPARTMENT OF HEALTH, AND THE TOWN OF YORKTOWN REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES (BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEEDDED AS DIRECTED BY THE CONSTRUCTION MANAGER TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATION HAS BEEN ACHIEVED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED WHEN THEY HAVE REACHED THE DESIGN LIFE INDICATED IN THE NYS GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL DESIGN MANUAL OR EVERY THREE MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL AND EROSION CONTROL STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.) MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- EROSION CONTROL MEASURES SHOULD BE RELOCATED INWARD AS PERIMETER SLOPE CONSTRUCTION PROGRESSES AND RECONSTRUCTED TO THE NYS STANDARDS & SPECIFICATION AT THE END OF EACH DAY.
- PERIMETER AREAS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH PROGRESSIVELY AT MINIMUM AT THE END OF EACH WEEK WITH 100% PERENNIAL RYEGRASS MIX AT A RATE OF 2-4 LBS PER 1000 SF AND MULCH 90-100 LBS PER 1000 SF OF WEED FREE STRAW.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

SITE STABILIZATION:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WIND BLOWN. A TRACTOR-DRAWN IMPLEMENTS MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ALONG THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- BEFORE SEEDING IS APPLIED THE CONTRACTOR SHALL SPREAD SOIL TO PREVENT PONDING AND CONFIRM THAT SOIL WILL SUSTAIN THE SEED GERMINATION AND ESTABLISHMENT OF VEGETATION.
- GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENEED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE. COMPACTED SOILS SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES, ALONG CONTOUR WHEREVER POSSIBLE, PRIOR TO SEEDING.
- TOPSOIL OR AMENDED SOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A MINIMUM DEPTH OF 6 INCHES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE $\frac{1}{2}$ " TO $\frac{1}{4}$ ". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45° F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.
- LIME, FERTILIZER, SEED, AND MULCH DISTURBED AREAS PER THE EROSION AND SEDIMENT CONTROL PLANS. IN AREAS OF STEEP SLOPES OR OBVIOUS AREAS WHERE POTENTIAL EROSION MAY OCCUR, AN EROSION CONTROL MAT OR FLEXIBLE GROWTH MEDIUM (FGM) SHALL BE USED. FGM SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS.
- ONCE A SECTION OF THE ALIGNMENT HAS BEEN STABILIZED, NO CONSTRUCTION TRAFFIC SHALL OCCUR TO REMOVE ANY BMP'S UNTIL THE SECTION HAS ACHIEVED 80% PERENNIAL VEGETATIVE COVER. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NONVEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.



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office: 518.862.0325

HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

OLD HILL FARM SOLAR FARM

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

Date Revised	Description
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4/11/2022	REVISED PER CLIENT COMMENT

PRELIMINARY
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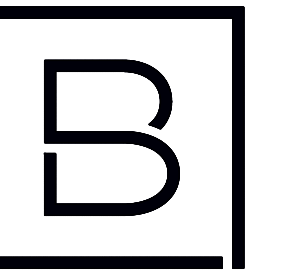
Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	ECR
Date Issued	Project Number
07/28/2021	14064.11

Sheet Name

GENERAL NOTES

Drawing Number

C001



BERGMANN
ARCHITECTS ENGINEERS PLANNERS

2 Winners Circle, Suite 102
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office: 518.862.0325

HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

**OLD HILL FARM
SOLAR FARM**

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

Date Revised	Description
10/13/2021	REVISED PER CLIENT COMMENTS
12/01/2021	REVISED PER TREE COMMISSION COMMENTS
12/28/2021	REVISED PER FIRE DEPARTMENT COMMENTS
1/07/2022	REVISED PER SITE VISIT WITH FIRE DEPARTMENT
1/13/2022	REVISED PER ENGINEERING DEPARTMENT COMMENTS
1/20/2022	REVISED PER TCAC COMMENTS
3/01/2022	REVISED PER TOWN COMMENTS
3/21/2022	REVISED PER UPDATED WETLAND AREA
4/11/2022	REVISED PER CLIENT COMMENT

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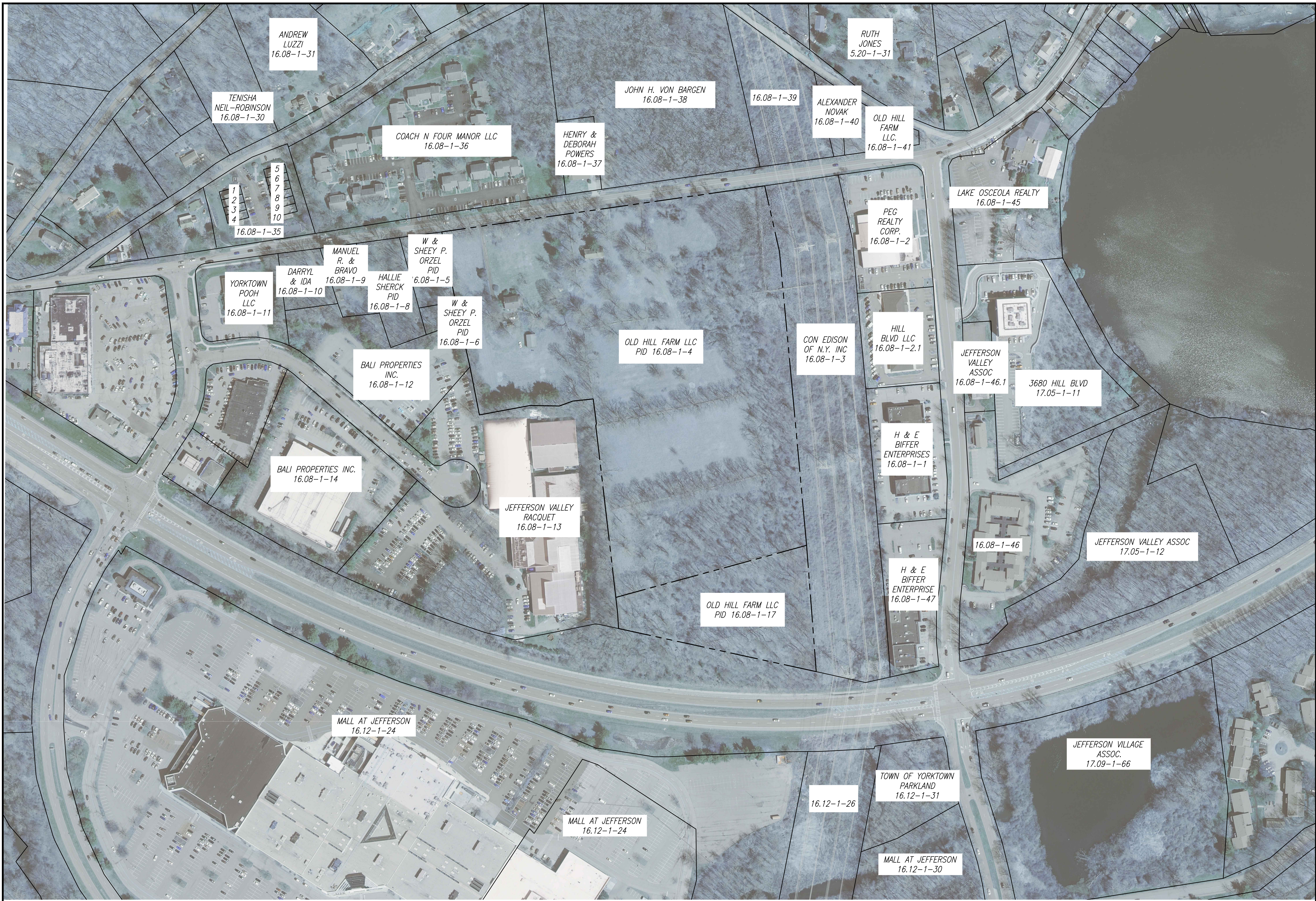
Project Manager	Discipline Lead
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07/28/2021	14064.11

Sheet Name

AREA PARCEL PLAN

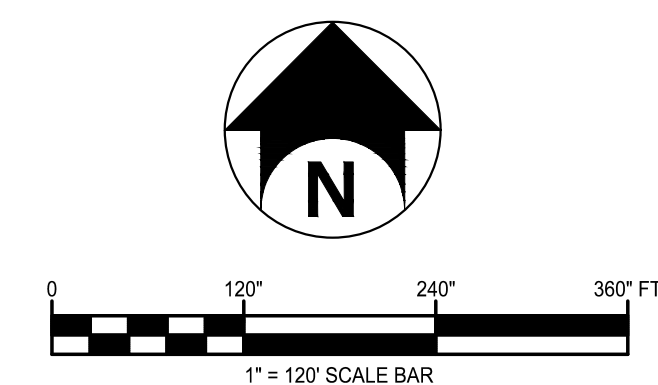
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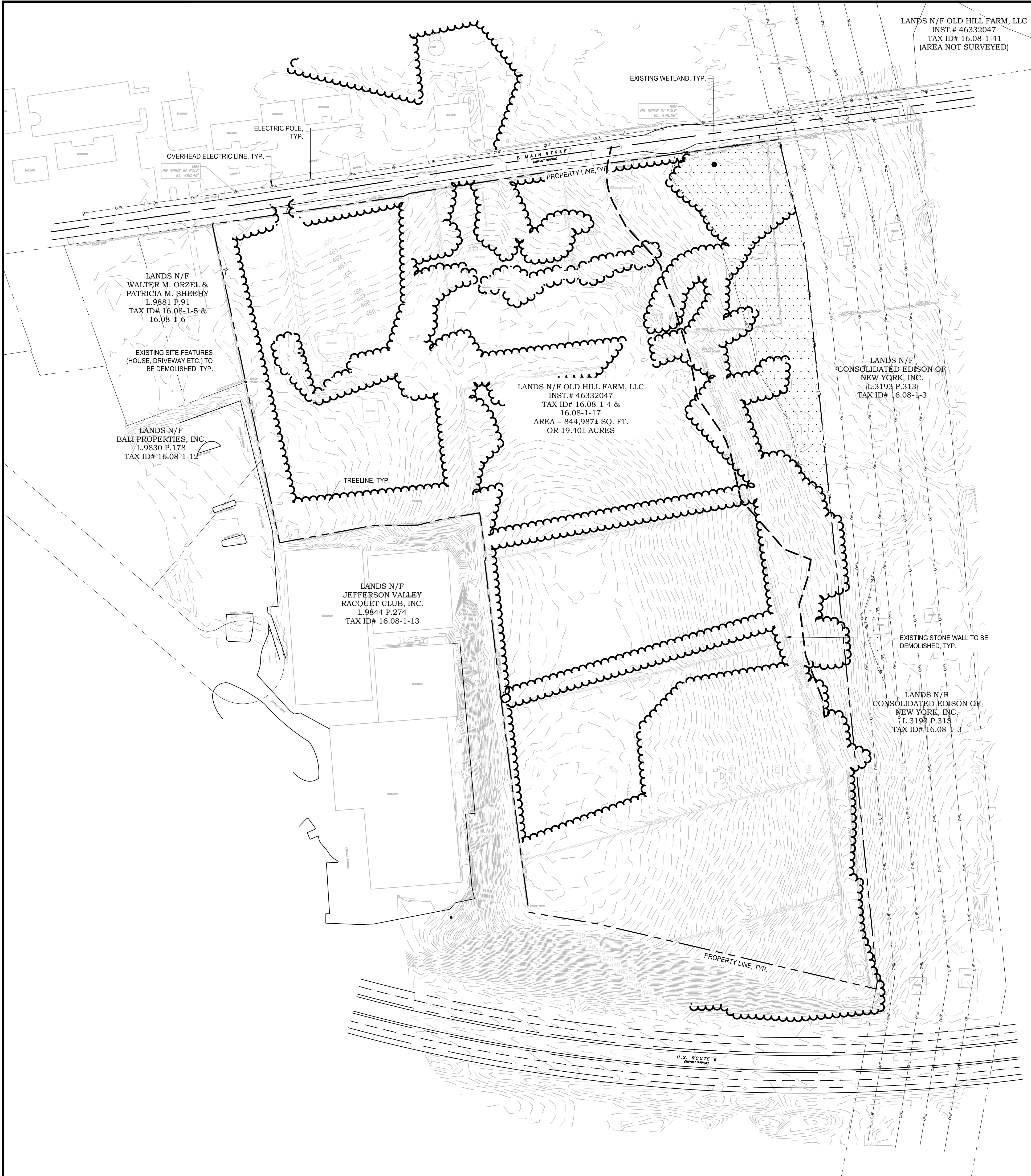
C002



NUMBER	TAX ID	PARCEL OWNER
1	16.08-1-51	DANIELLE DISALVO
2	16.08-1-50	TERRENCE & MURPHY
3	16.08-1-49	LINDA EINFRAK
4	16.08-1-48	LOUISE MILLER
5	16.08-1-57	WILLIAM & OFRIAS

NUMBER	TAX ID	PARCEL OWNER
6	16.08-1-56	MICHAEL & LISA HUFFMAN
7	16.08-1-55	THOMAS & FURIA
8	16.08-1-54	ALFREDO & CASTRO ROMANO
9	16.08-1-53	MICHELE & MILAZZO
10	16.08-1-52	MICHAEL MANDINO





LANDS N/F OLD HILL FARM, LLC
 INST.# 46332047
 TAX ID# 16.08-1-41
 (AREA NOT SURVEYED)

LANDS N/F
 WALTER M. ORZEL &
 PATRICIA M. SHEEHY
 L.9381 P.91
 TAX ID# 16.08-1-5 &
 16.08-1-6

EXISTING SITE FEATURES
 (HOUSE, DRIVEWAY ETC.) TO
 BE DEMOLISHED, TYP.

LANDS N/F
 BALI PROPERTIES, INC.
 L.9830 P.178
 TAX ID# 16.08-1-12

LANDS N/F OLD HILL FARM, LLC
 INST.# 46332047
 TAX ID# 16.08-1-4 &
 16.08-1-17
 AREA = 844,987± SQ. FT.
 OR 19.40± ACRES

LANDS N/F
 CONSOLIDATED EDISON OF
 NEW YORK, INC.
 L.3193 P.313
 TAX ID# 16.08-1-3

LANDS N/F
 JEFFERSON VALLEY
 RACQUET CLUB, INC.
 L.9844 P.274
 TAX ID# 16.08-1-13

LANDS N/F
 CONSOLIDATED EDISON OF
 NEW YORK, INC.
 L.3193 P.313
 TAX ID# 16.08-1-3

- SCHEDULE B EXCEPTIONS:
- COVENANTS, RESTRICTIONS, EASEMENTS AND AGREEMENTS FOUND OF RECORD:
 - TERMS, CONDITIONS, EASEMENTS AND RESERVATIONS CONTAINED IN DEED MADE BY JAMES CURRY HILL, ET AL. TO WESTCHESTER LIGHTING COMPANY, DATED 9/19/1931 AND RECORDED 11/12/1931 IN LIBER 3193 CP. 313, AS MODIFIED BY: TRANSMISSION LINE AS SHOWN.
 - RELEASE MADE BETWEEN SMALL SHOPPING CENTERS VENTURE AND CONSOLIDATED COMPANY OF NEW YORK, INC., RECORDED 10/2/1972 IN LIBER 7084 CP. 402 (RELEASES EASEMENTS GRANTED IN LIBER 3193 CP.313); AND
 - RELEASE OF EASEMENT MADE BETWEEN CONSOLIDATED COMPANY OF NEW YORK, INC. AND SMALL SHOPPING CENTERS VENTURE, RECORDED 11/24/1972 IN LIBER 7094 CP. 647 (RELEASES EASEMENTS GRANTED IN LIBER 3193 CP.313). (SEE EXHIBIT A)
 - UTILITY EASEMENT GRANT TO WESTCHESTER LIGHTING COMPANY AND NEW YORK TELEPHONE COMPANY, RECORDED 6/14/1940 IN LIBER 3837 CP. 48, (EXHIBIT B), DOES NOT AFFECT SUBJECT PROPERTY.
 - GRANT OF PIPELINE EASEMENT TO ALGONQUIN GAS TRANSMISSION COMPANY, RECORDED 7/21/1952 IN LIBER 5118 CP. 386, (EXHIBIT C), DOES NOT AFFECT SUBJECT PROPERTY.
 - UTILITY EASEMENT GRANT TO CONSOLIDATED COMPANY OF NEW YORK, INC., RECORDED 10/9/1967 IN LIBER 6737 CP. 754, (EXHIBIT D) BLANKET IN NATURE
 - NEW YORK TELEPHONE COMPANY EASEMENT AGREEMENT, RECORDED 10/10/1967 IN LIBER 6738 CP. 134, (EXHIBIT E) DOES NOT AFFECT SUBJECT PROPERTY.

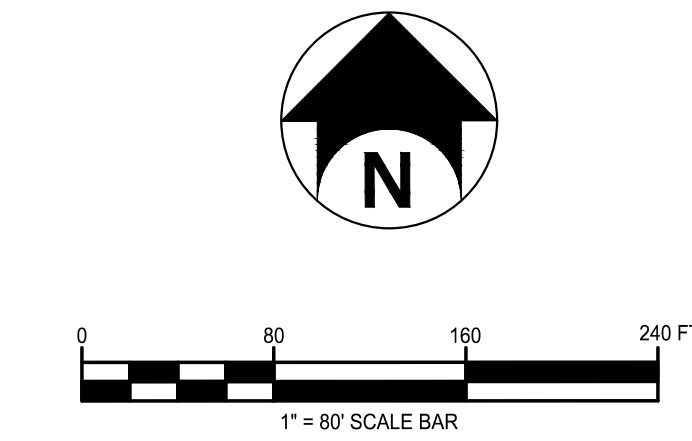
- GENERAL NOTES:
- UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND RECORD DRAWINGS AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES.
 - THE OFFSETS OR DIMENSIONS SHOWN HEREON, FROM THE PROPERTY LINES TO THE STRUCTURES, ARE FOR A SPECIFIC PURPOSE AND USE; THEREFORE, THEY ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES OR ANY OTHER IMPROVEMENTS.
 - EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY.
 - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS AND RESTRICTIONS OF RECORD.
 - REFERENCE IS MADE TO STEWART TITLE INSURANCE COMPANY, TITLE NUMBER 837326 (\$-NY-CP-BTA), EFFECTIVE DATE AUGUST 11, 2017.
 - BASIS OF BEARING IS NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE. CONTROL WAS ESTABLISHED USING NYSNET VRS SYSTEM. THE HORIZONTAL DATUM IS RELATIVE TO NAD83
 - THE VERTICAL POSITION OF THE HEREIN SURVEY IS BASED ON THE NYSNET RTK GPS NETWORK AND IS SUBJECT TO FURTHER ADJUSTMENT TO ANY LOCAL NGS BENCHMARKS. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.

- MAP REFERENCES:
- MAP ENTITLED "THE NEW YORK EDISON CO. JAMES CURRY HILL & THEODORE HILL JR. - PURCHASE, 132 KV RIGHT OF WAY BETWEEN PUTNAM-WESTCHESTER CO. LINE & MILLWOOD" DATED SEPT 3, 1931, N-664.
 - MAP ENTITLED "SUBDIVISION MAP OF JEFFERSON VALLEY INDUSTRIAL PARK NO 1 FOR JEFFERSON VALLEY CORP.", BY J. HENRY CARPENTER & CO., DATED FEB. 3, 1964, AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE QN MAY 25, 1964 AS MAP NO. 13954.
 - MAP ENTITLED "AMENDED SUBDIVISION MAP OF JEFFERSON VALLEY INDUSTRIAL PARK NO 1 FOR JEFFERSON VALLEY CORP.", BY J. HENRY CARPENTER & CO., DATED OCTOBER 2 1964, AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON FEB 1, 1965 AS MAP NO. 14225.
 - MAP ENTITLED "SUBDIVISION MAP SHOWING RE-SUBDIVISION OF JEFFERSON VALLEY INDUSTRIAL PARK NO. 1" BY J. HENRY CARPENTER & CO., LAST REVISED MAY 24, 1990, AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON JUNE 11, 1990 AS MAP NO. 24181.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE N.Y. STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON BEHALF OF THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION OR SUBSEQUENT OWNERS.

LEGEND

	PROPERTY LINE
	ADJOINER PROPERTY LINE
	ROAD RIGHT-OF-WAY
	STONE WALL
	ROAD CENTERLINE
	OVERHEAD WIRE
	STREAM CENTERLINE
	CONTOUR - MAJOR
	CONTOUR - MINOR
	SWALE CENTERLINE
	EDGE OF ASPHALT
	EXISTING TREELINE
	PALUSTRINE FORESTED WETLAND (PFO)
	UTILITY POLE
	IRON MONUMENT
	FOUND CONCRETE MONUMENT
	EXISTING SIGN
	GUY WIRE



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HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
 BEDFORD CORNERS, NY 10549

**OLD HILL FARM
 SOLAR FARM**

571 EAST MAIN STREET
 JEFFERSON VALLEY, NY 10535

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10/13/2021	REVISED PER CLIENT COMMENTS
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4/11/2022	REVISED PER CLIENT COMMENT

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ECR	ECR
Designer	Reviewer
AG	ECR
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07/28/2021	14064.11

Sheet Name

**EXISTING CONDITIONS
 PLAN**

Drawing Number
C003



SITE PLAN DATA TABLE		
SITE IS LOCATED IN THE "R1-20" ONE-FAMILY RESIDENTIAL		
PROPOSED USE: SOLAR ENERGY SYSTEM		
PARCEL 16.08-1-17		
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER		
STATE OF NEW YORK		
APPLICANT: POWERFLEX 805 THIRD AVENUE NEW YORK, NY, 120022 (917) 426-9523	OWNER(S) OF RECORD: BEN REISMAN	
PLANS PREPARED BY: BERGMANN 2 WINNERS CIRCLE, SUITE 102 ALBANY, NY 12205 (518) 862-0325		
DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	N/A	844,987± SF
MINIMUM LOT WIDTH	N/A	900± FT
MIN. SIDE YARD SETBACK	50 FT	50± FT
MIN. FRONT YARD SETBACK	50 FT	51± FT
MIN. REAR YARD SETBACK	50 FT	50± FT

NOTES
 1. REQUIRED ZONING STANDARDS REFLECT THE MOST STRICT RESIDENTIAL ZONING REQUIREMENTS OF THE TOWN OF YORKTOWN PER SECTION 300 ATTACHMENT 1 APPENDIX A RESIDENCE ZONE STANDARDS.

LEGEND	
	PROPERTY LINE
	SET BACK LINE
	WETLAND SET BACK
	STONE WALL
	ADJOINER PROPERTY LINE
	ROAD RIGHT-OF-WAY
	EXISTING ROAD CENTERLINE
	EXISTING OVERHEAD WIRE
	EXISTING STREAM CENTERLINE
	PROPOSED FENCE LINE
	PROPOSED OVERHEAD UTILITY LINE
	PROPOSED UNDERGROUND UTILITY LINE
	PROPOSED SWALE
	PROPOSED TREELINE
	SWALE CENTERLINE
	EXISTING BUILDING
	EXISTING EDGE OF ASPHALT
	EXISTING TREELINE
	PROPOSED DRIVEWAY
	PALUSTRINE FORESTED WETLAND (PFO)
	PROPOSED SOLAR PANEL
	EXISTING UTILITY POLE



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 BEDFORD CORNERS, NY 10549

OLD HILL FARM SOLAR FARM

571 EAST MAIN STREET
 JEFFERSON VALLEY, NY 10535

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4/11/2022	REVISED PER CLIENT COMMENT

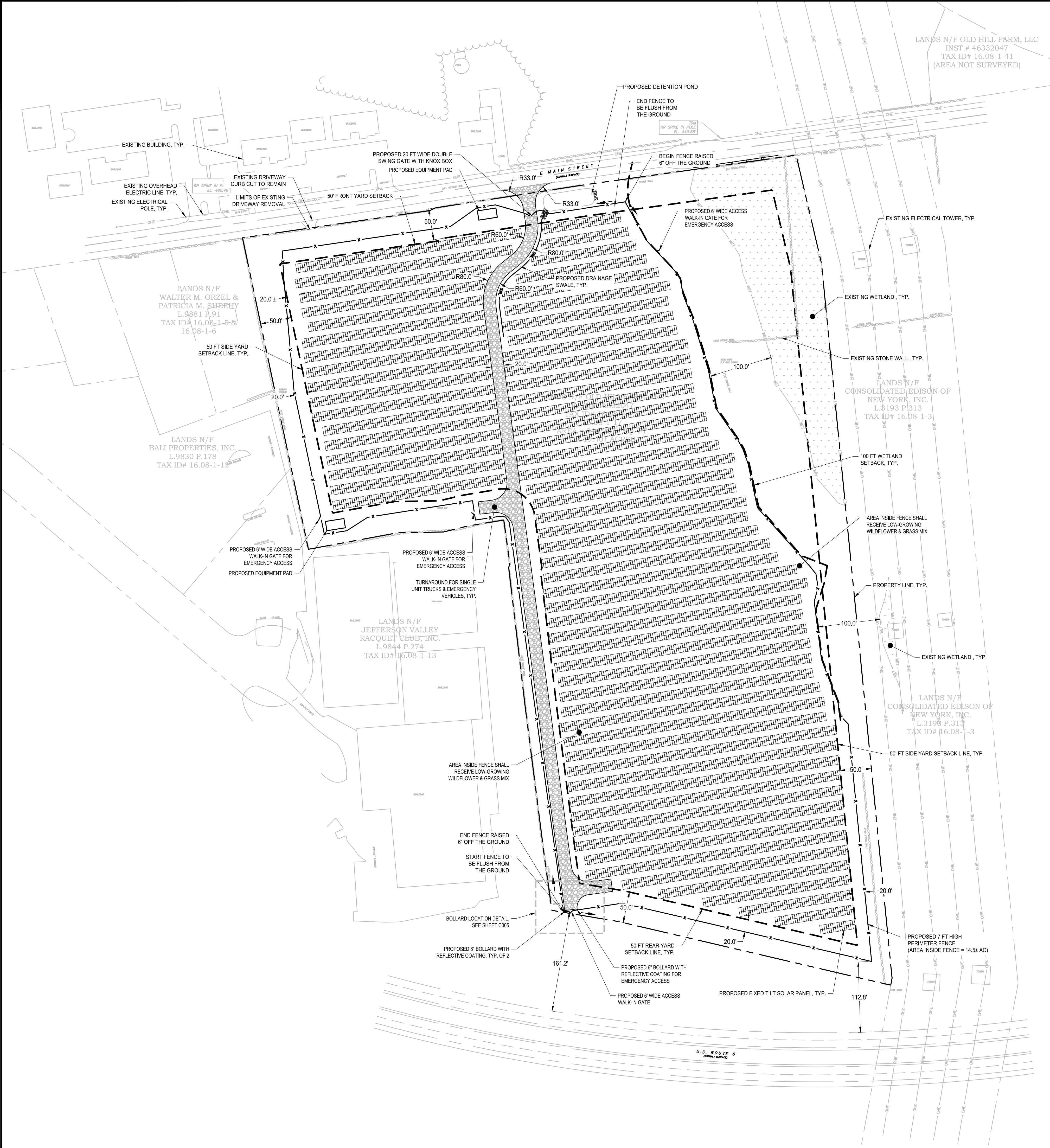
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Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	ECR
Date Issued	Project Number
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OVERALL SITE PLAN

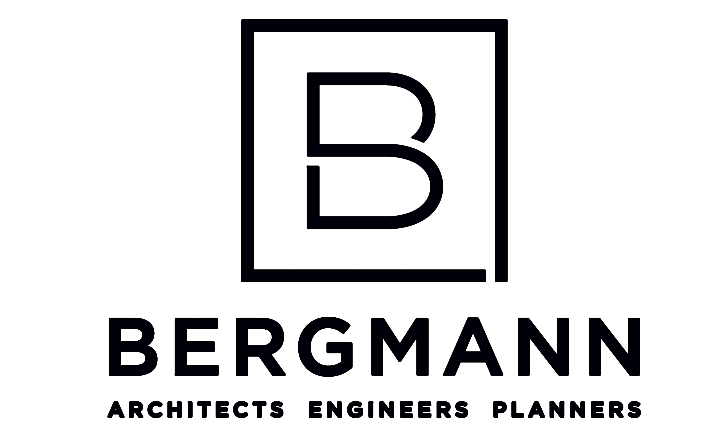
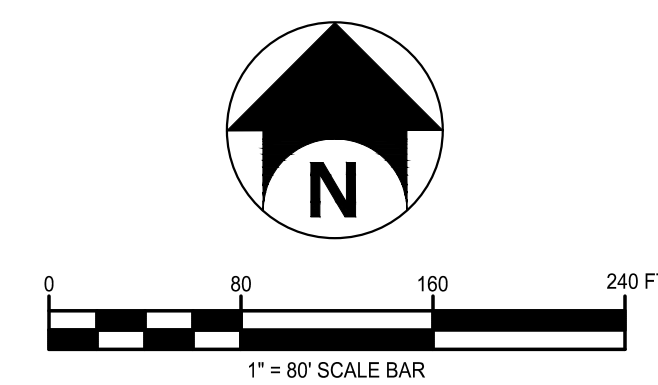
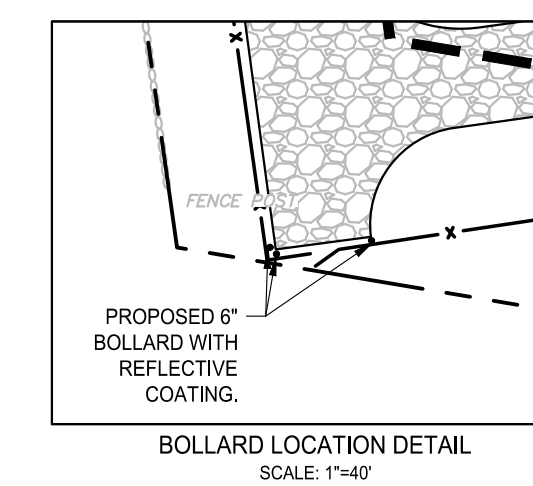
Drawing Number
C004



SITE PLAN DATA TABLE		
SITE IS LOCATED IN THE "R1-20" ONE-FAMILY RESIDENTIAL		
PROPOSED USE: SOLAR ENERGY SYSTEM		
PARCEL 16.08-1-17		
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER		
STATE OF NEW YORK		
APPLICANT: POWERFLEX 805 THIRD AVENUE NEW YORK, NY, 12002 (917) 426-9523	OWNER(S) OF RECORD: BEN REISMAN	
PLANS PREPARED BY: BERGMANN 2 WINNERS CIRCLE, SUITE 102 ALBANY, NY 12205 (518) 862-0325		
DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	N/A	844,987± SF
MINIMUM LOT WIDTH	N/A	900± FT
MIN. SIDE YARD SETBACK	50 FT	50± FT
MIN. FRONT YARD SETBACK	50 FT	51± FT
MIN. REAR YARD SETBACK	50 FT	50± FT

NOTES
 1. REQUIRED ZONING STANDARDS REFLECT THE MOST STRICT RESIDENTIAL ZONING REQUIREMENTS OF THE TOWN OF YORKTOWN PER SECTION 300 ATTACHMENT 1 APPENDIX A RESIDENCE ZONE STANDARDS.

LEGEND	
	PROPERTY LINE
	SET BACK LINE
	WETLAND SET BACK
	STONE WALL
	ADJOINER PROPERTY LINE
	ROAD RIGHT-OF-WAY
	EXISTING ROAD CENTERLINE
	EXISTING OVERHEAD WIRE
	EXISTING STREAM CENTERLINE
	PROPOSED FENCE LINE
	PROPOSED OVERHEAD UTILITY LINE
	PROPOSED UNDERGROUND UTILITY LINE
	PROPOSED SWALE
	PROPOSED TREELINE
	SWALE CENTERLINE
	EXISTING BUILDING
	EXISTING EDGE OF ASPHALT
	EXISTING TREELINE
	PROPOSED DRIVEWAY
	PALUSTRINE FORESTED WETLAND (PFO)
	PROPOSED SOLAR PANEL
	EXISTING UTILITY POLE
	6" BOLLARD



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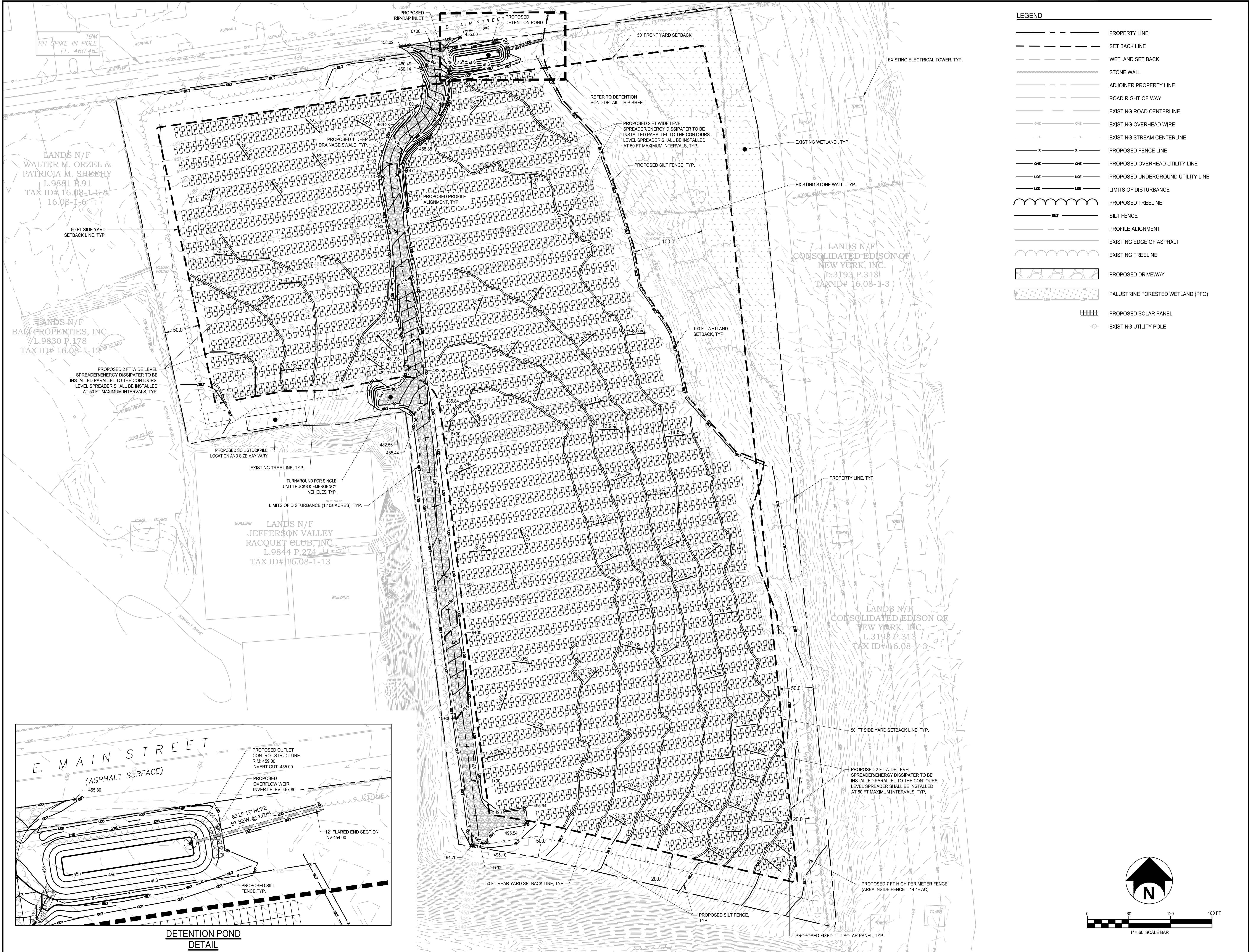
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Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	ECR
Date Issued	Project Number
07/28/2021	14064.11

Sheet Name

SITE PLAN

Drawing Number
C005



LEGEND

	PROPERTY LINE
	SET BACK LINE
	WETLAND SET BACK
	STONE WALL
	ADJOINER PROPERTY LINE
	ROAD RIGHT-OF-WAY
	EXISTING ROAD CENTERLINE
	EXISTING OVERHEAD WIRE
	EXISTING STREAM CENTERLINE
	PROPOSED FENCE LINE
	PROPOSED OVERHEAD UTILITY LINE
	PROPOSED UNDERGROUND UTILITY LINE
	LIMITS OF DISTURBANCE
	PROPOSED TREELINE
	SILT FENCE
	PROFILE ALIGNMENT
	EXISTING EDGE OF ASPHALT
	EXISTING TREELINE
	PROPOSED DRIVEWAY
	PALUSTRINE FORESTED WETLAND (PFO)
	PROPOSED SOLAR PANEL
	EXISTING UTILITY POLE



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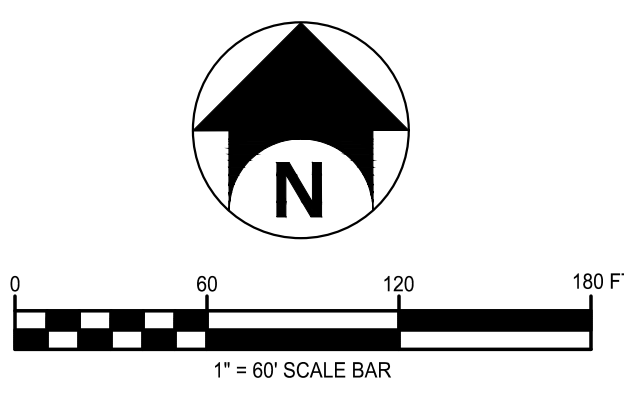
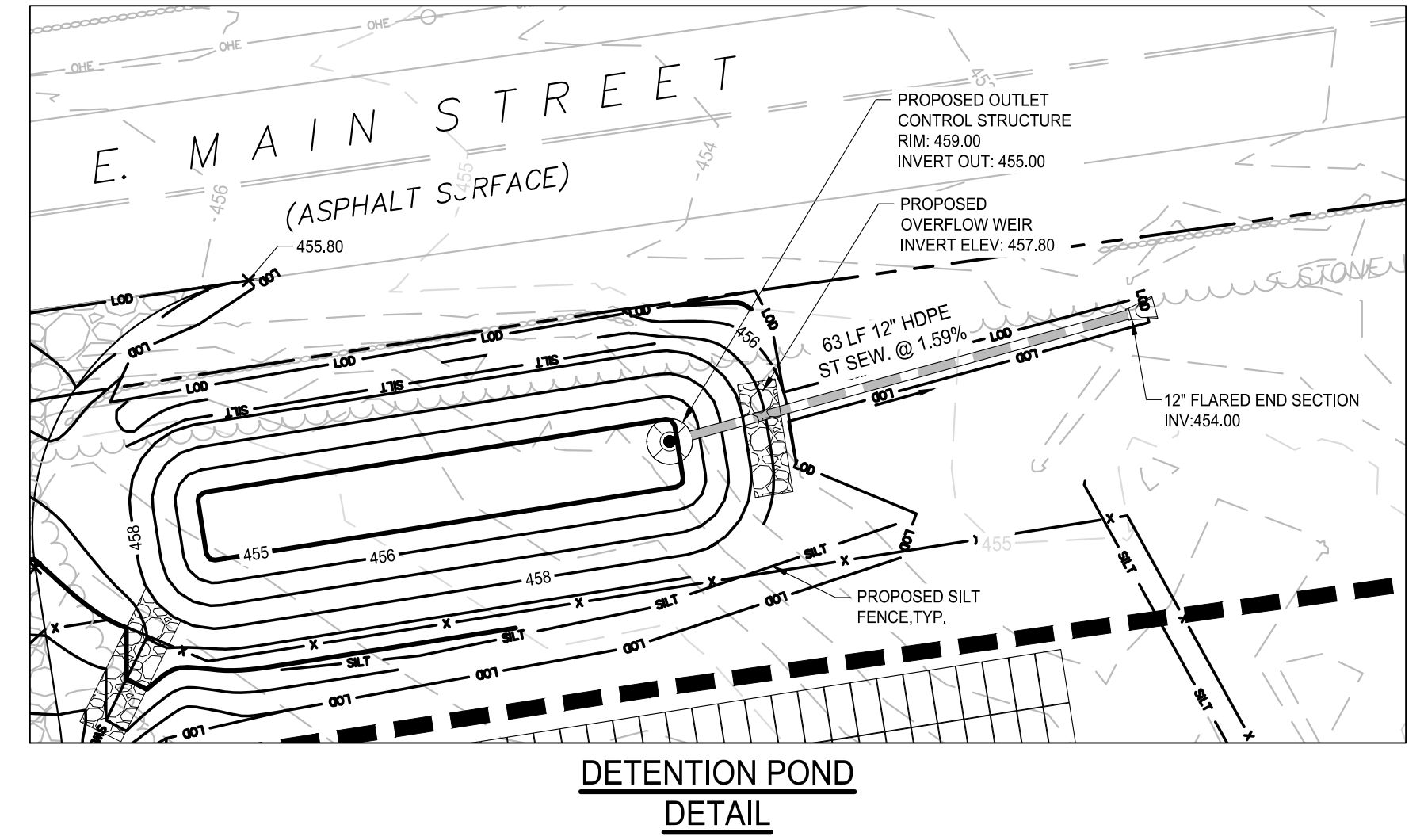
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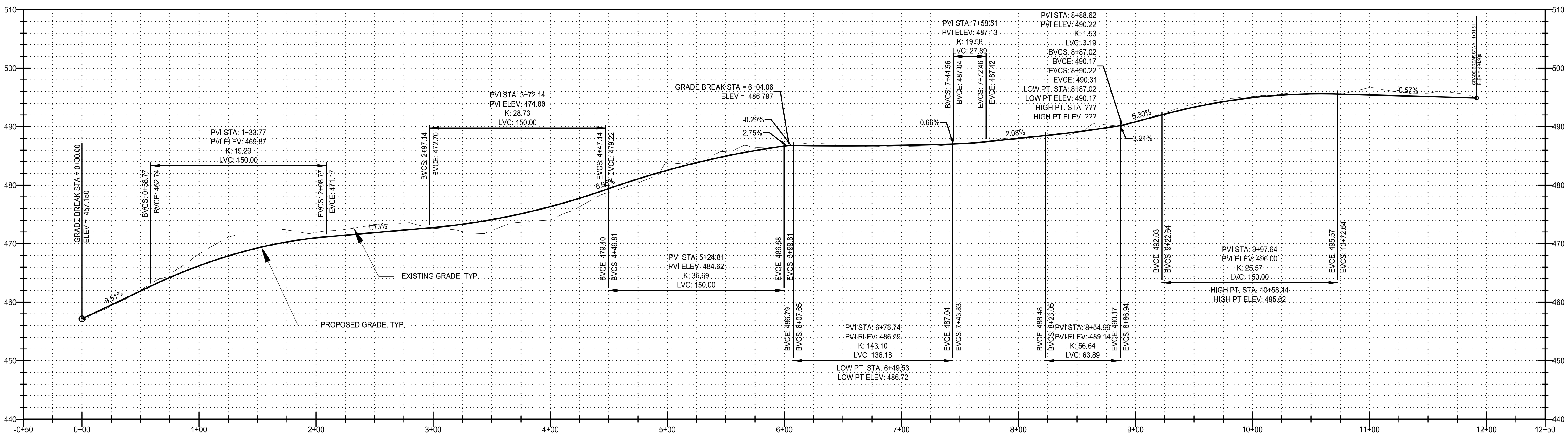
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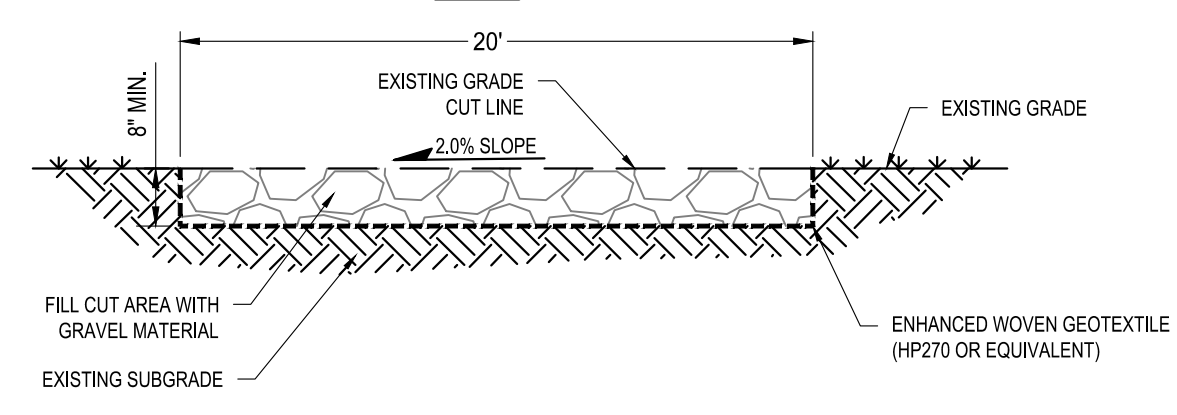
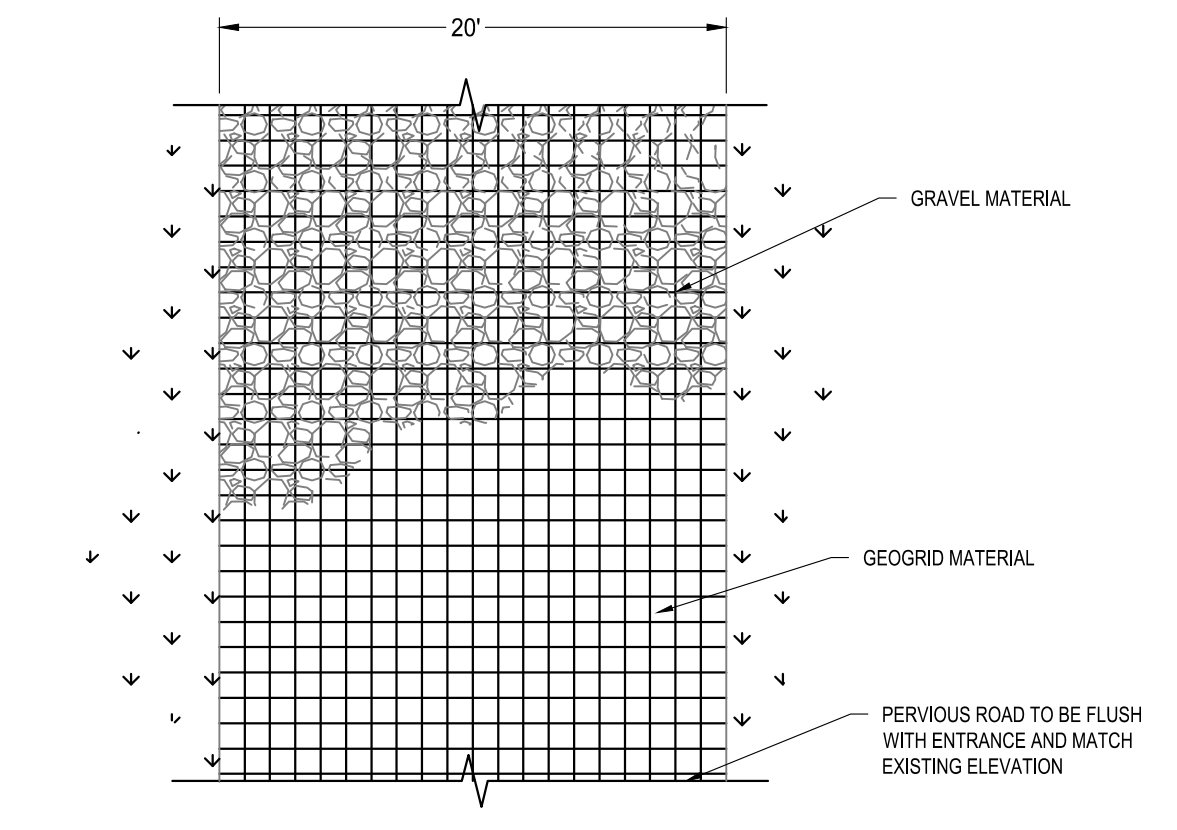
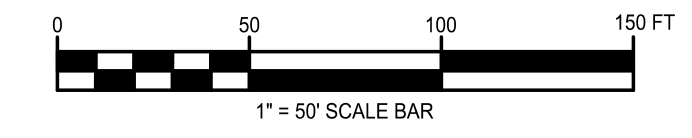
Sheet Name
GRADING & EROSION & SEDIMENT CONTROL PLAN

Drawing Number
C006





DRIVEWAY PROFILE
1"=10' VERTICAL
1"=50' HORIZONTAL



LIMITED USE PERVIOUS ACCESS ROAD - 0% TO 10% SLOPES

NO SCALE

GEOGRID MATERIAL NOTES:

1. THE GEOGRID, OR COMPARABLE PRODUCT, IS INTENDED FOR USE IN ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS LOADS.
2. GRAVEL FILL MATERIAL SHALL CONSIST OF 1-4" CLEAN, DURABLE, SHARP ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATION OF NYSDOT 703-02. SIZE DESIGNATION 3-4 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF AND SPREAD WITH A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
3. GEOGRID SHALL BE ENHANCED WOVEN GEOTEXTILE (HP270 OR EQUIVALENT). GEOGRID SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
4. IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
5. REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
6. LIMITED USE PERVIOUS ACCESS ROAD SHALL BE DRESSED AS REQUIRED WITH ONLY 1-4" CRUSHED STONE MEETING NYSDOT 703-02 SPECIFICATIONS.

BASIS OF DESIGN: TENCATE MIRAFI BXG110 GEORIDS, 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA. 800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM

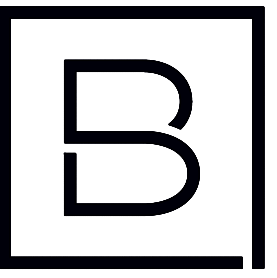
ENHANCED WOVEN GEOTEXTILE MATERIAL NOTES:

1. SPECIFIED GEOTEXTILE WILL ONLY BE UTILIZED IN PLACID SOILS. PLACID SOILS CONSIST OF POORLY DRAINED SOILS COMPOSED OF FINELY TEXTURED PARTICLES AND ARE PRONE TO RUTTING. PLACID SOILS ARE TYPICALLY PRESENT IN LOW-LYING AREAS WITH HYDROLOGIC SOILS GROUP (HSG) OF C OR D OR AS SPECIFIED FROM AN ENVIRONMENTAL SCIENTIST, SOIL SCIENTIST OR GEOTECHNICAL DATA.
2. THE CONCERN OF POTENTIAL REDUCTION OF NATIVE INFILTRATION RATES DUE TO THE GEOTEXTILE MATERIAL WOULD NOT BE A SIGNIFICANT CONCERN IN POORLY DRAINED SOILS WHERE SEGREGATION OF PERVIOUS STONE AND NATIVE MATERIALS IS CRUCIAL FOR LONG TERM OPERATION AND MAINTENANCE.

BASIS OF DESIGN: ENHANCED WOVEN GEOTEXTILE (HP270 OR EQUIVALENT)

GENERAL NOTES:

1. USE OF THIS DETAIL CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOWING, EQUIPMENT REPAIR OR MAINTENANCE).
2. LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
3. REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY. FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
4. REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE IN SITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
5. GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOILS AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
6. REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
7. ROADWAY WIDTH TO BE DETERMINED BY CLIENT.
8. THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 1.5% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
9. LIMITED USE PERVIOUS ACCESS ROAD IS NOT INTENDED TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION. EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY, TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON OR OFF SITE, MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
11. THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
12. PROJECTS SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINED AREAS. HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE WOVEN GEOTEXTILE MATERIAL AS DETAIL IN FOLLOWING NOTES.
13. THE DRAINAGE DITCH IS OFFERED IN THE DETAIL FOR CIRCUMSTANCES WHEN CONCENTRATED FLOW COULD NOT BE AVOIDED. THE INTENTION OF THE DESIGN IS TO MINIMIZE ALTERATIONS TO HYDROLOGY. HOWEVER WHEN DEALING WITH 5%-15% GRADES NOT PARALLEL TO THE CONTOUR, A ROADSIDE DITCH MAY BE REQUIRED. THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR GRASSED WATERWAYS AND VEGETATED WATERWAYS ARE APPLICABLE FOR SIZING AND STABILIZATION. DIMENSIONS FOR THE GRASSED WATERWAY SPECIFICATION SHOULD BE DESIGNED FOR PROJECT SPECIFIC HYDROLOGIC RUNOFF CALCULATIONS, AND A SEPARATE DETAIL FOR THE SPECIFIC GRASSED WATERWAY WOULD BE INCLUDED IN THIS PRACTICE. RUNOFF DISCHARGE WILL BE SUBJECT TO THE OUTLET REQUIREMENTS OF THE REFERENCED STANDARD. INCREASED POST-DEVELOPMENT RUNOFF FROM THE ASSOCIATED ROADSIDE DITCH MAY REQUIRE ADDITIONAL PRACTICES TO ATTENUATE RUNOFF TO PRE-DEVELOPMENT CONDITIONS.
14. IF A ROADSIDE DITCH IS NOT UTILIZED TO CAPTURE RUNOFF FROM THE ACCESS ROAD, THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION (I.E. BUFFER), 20 FEET WIDE AND PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
15. THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USE PERVIOUS ACCESS ROAD IN THEIR SITE ASSESSMENT / HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE- TO POST-DEVELOPMENT CONDITIONS (SEE APPENDIX A OF GP-20-001 FOR THE DEFINITION OF ALTER THE HYDROLOGY...), THE DESIGN MUST INCLUDE THE NECESSARY DETENTION/RETENTION PRACTICES TO ATTENUATE THE RATES (10 AND 100 YEAR EVENTS) TO PRE-DEVELOPMENT CONDITIONS.



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227 GUARD HILL ROAD
 BEDFORD CORNERS, NY 10549

**OLD HILL FARM
 SOLAR FARM**

571 EAST MAIN STREET
 JEFFERSON VALLEY, NY 10535

Date Revised	Description
10/13/2021	REVISED PER CLIENT COMMENTS
12/01/2021	REVISED PER TREE COMMISSION COMMENTS
12/28/2021	REVISED PER FIRE DEPARTMENT COMMENTS
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Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	ECR
Date Issued	Project Number
07/28/2021	14064.11

Sheet Name

GRADING PLAN DETAILS

Drawing Number

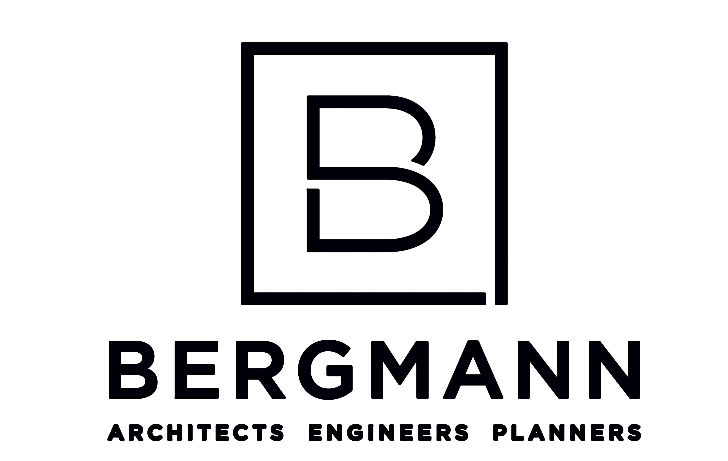
C007



PLANT LIST									
Key	Qty.	Botanical Name	Common Name	Mature Size		Installed Size	Condition	DBH	
				Height	Spread				
Evergreen Trees									
JV	88	Juniperus Virginiana	Eastern Red Cedar	30'-60'	10'-25'	8' HL	B&B	3"	
PG	89	Picea Glauca	White Spruce	40'-60'	10'-20'	8' HL	B&B	3"	
PG-1	5	Picea Glauca	White Spruce	40'-60'	10'-20'	12' HL	B&B	5"	
AC	64	Abies Concolor	White Fir	50'-75'	20'-30'	6'-7' HL	B&B	3"	
PP	79	Pinus Strobus	Eastern White Pine	50'-60'	20'-40'	7'-8' HL	B&B	3"	
TOTAL	325								



TREES TO BE REMOVED	TREES TO REMAIN	NUMBER OF TREES WITH DIAMETER AT BREAST HEIGHT 5" - 7"	NUMBER OF TREES WITH DIAMETER AT BREAST HEIGHT 7" - 24"	NUMBER OF TREES WITH DIAMETER AT BREAST HEIGHT > 24"
577	120	8	602	90



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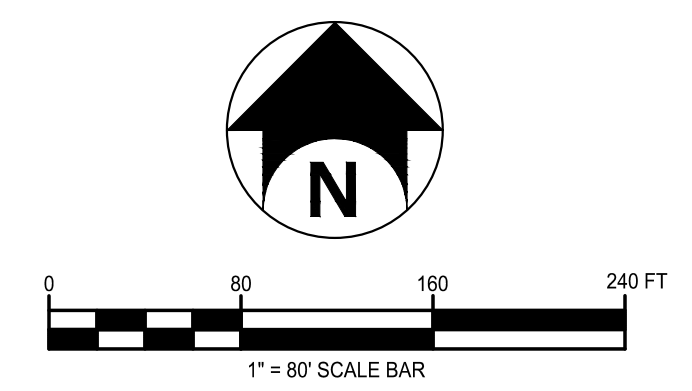
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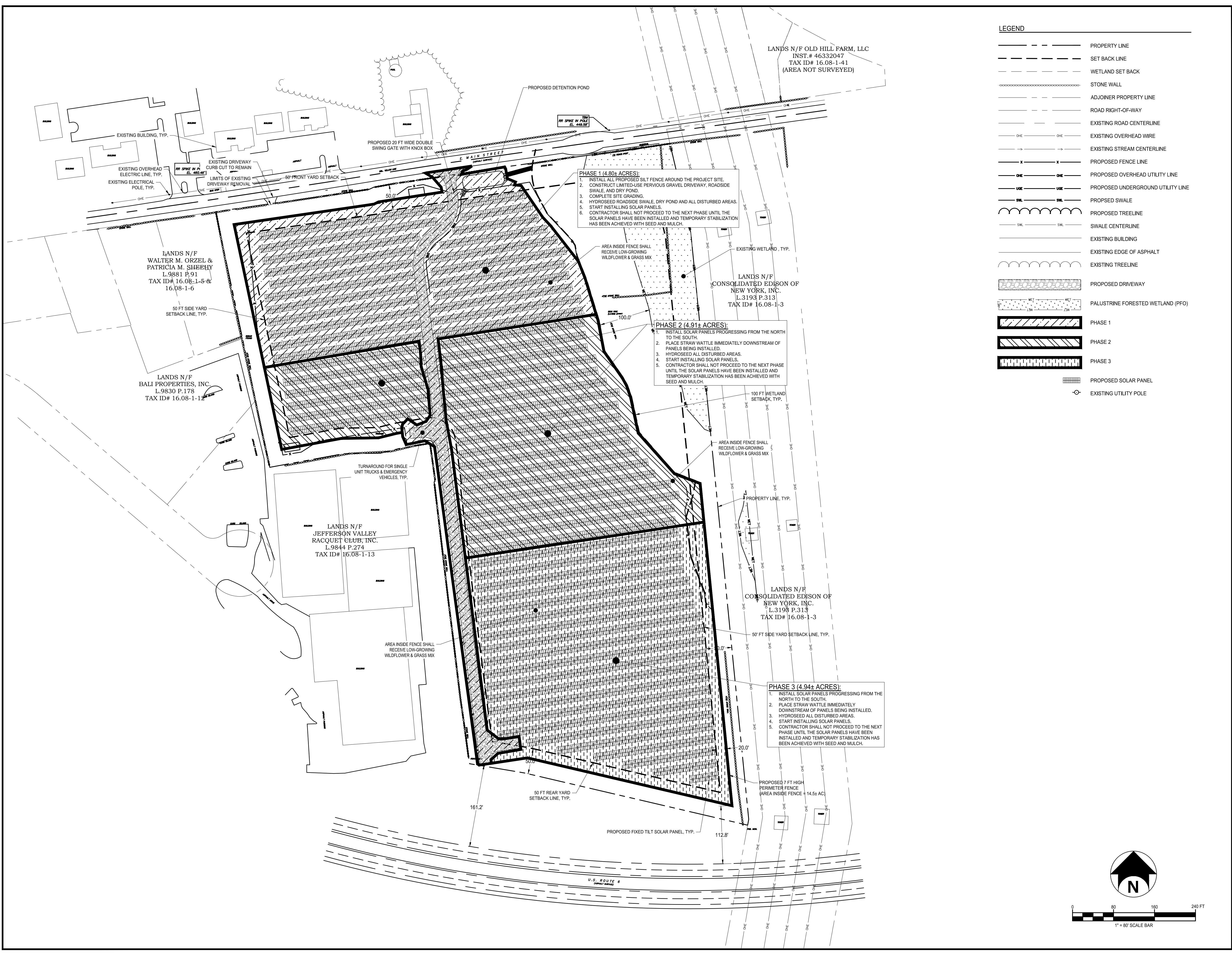
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Designer	Reviewer
AG	ECR
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07/28/2021	14064.11

Sheet Name
LANDSCAPING & TREE MITIGATION PLAN

Drawing Number
C008





PHASE 1 (4.80± ACRES):

1. INSTALL ALL PROPOSED SILT FENCE AROUND THE PROJECT SITE.
2. CONSTRUCT LIMITED USE PERVIOUS GRAVEL DRIVEWAY, ROADSIDE SWALE, AND DRY POND.
3. COMPLETE SITE GRADING.
4. HYDROSEED ROADSIDE SWALE, DRY POND AND ALL DISTURBED AREAS.
5. START INSTALLING SOLAR PANELS.
6. CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE UNTIL THE SOLAR PANELS HAVE BEEN INSTALLED AND TEMPORARY STABILIZATION HAS BEEN ACHIEVED WITH SEED AND MULCH.

PHASE 2 (4.91± ACRES):

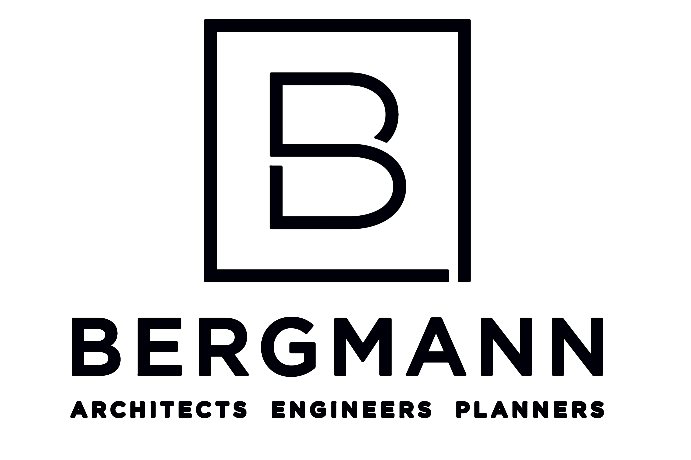
1. INSTALL SOLAR PANELS PROGRESSING FROM THE NORTH TO THE SOUTH.
2. PLACE STRAW WATTLE IMMEDIATELY DOWNSTREAM OF PANELS BEING INSTALLED.
3. HYDROSEED ALL DISTURBED AREAS.
4. START INSTALLING SOLAR PANELS.
5. CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE UNTIL THE SOLAR PANELS HAVE BEEN INSTALLED AND TEMPORARY STABILIZATION HAS BEEN ACHIEVED WITH SEED AND MULCH.

PHASE 3 (4.94± ACRES):

1. INSTALL SOLAR PANELS PROGRESSING FROM THE NORTH TO THE SOUTH.
2. PLACE STRAW WATTLE IMMEDIATELY DOWNSTREAM OF PANELS BEING INSTALLED.
3. HYDROSEED ALL DISTURBED AREAS.
4. START INSTALLING SOLAR PANELS.
5. CONTRACTOR SHALL NOT PROCEED TO THE NEXT PHASE UNTIL THE SOLAR PANELS HAVE BEEN INSTALLED AND TEMPORARY STABILIZATION HAS BEEN ACHIEVED WITH SEED AND MULCH.

LEGEND

	PROPERTY LINE
	SET BACK LINE
	WETLAND SET BACK
	STONE WALL
	ADJOINER PROPERTY LINE
	ROAD RIGHT-OF-WAY
	EXISTING ROAD CENTERLINE
	EXISTING OVERHEAD WIRE
	EXISTING STREAM CENTERLINE
	PROPOSED FENCE LINE
	PROPOSED OVERHEAD UTILITY LINE
	PROPOSED UNDERGROUND UTILITY LINE
	PROPOSED SWALE
	PROPOSED TREELINE
	SWALE CENTERLINE
	EXISTING BUILDING
	EXISTING EDGE OF ASPHALT
	EXISTING TREELINE
	PROPOSED DRIVEWAY
	PALUSTRINE FORESTED WETLAND (PFO)
	PHASE 1
	PHASE 2
	PHASE 3
	PROPOSED SOLAR PANEL
	EXISTING UTILITY POLE



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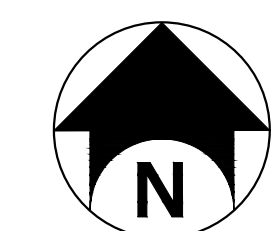
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ECR	ECR
Designer	Reviewer
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Date Issued	Project Number
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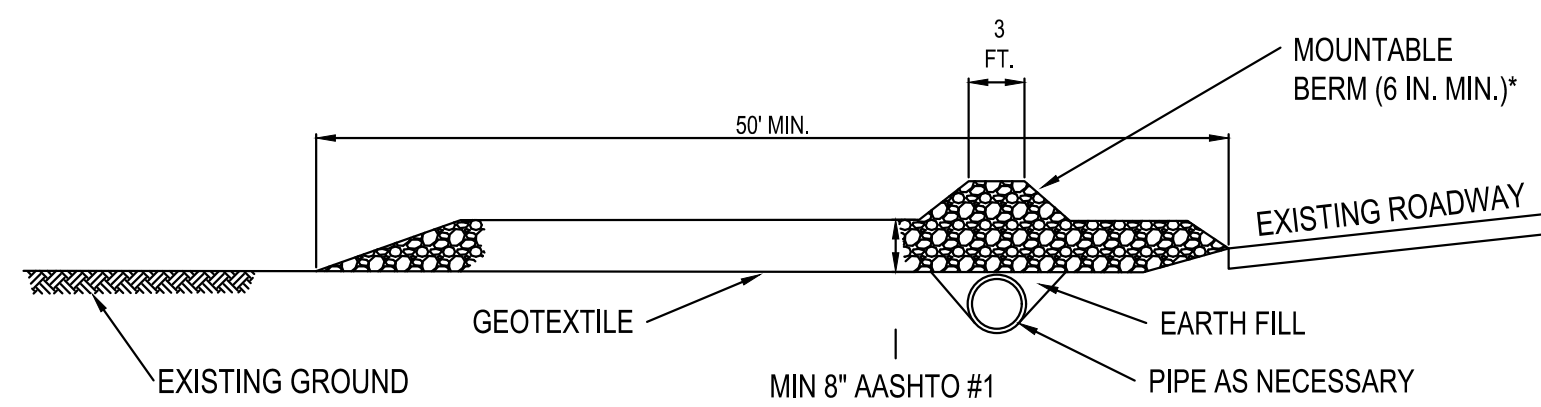
Sheet Name

PHASING PLAN

Drawing Number

C009



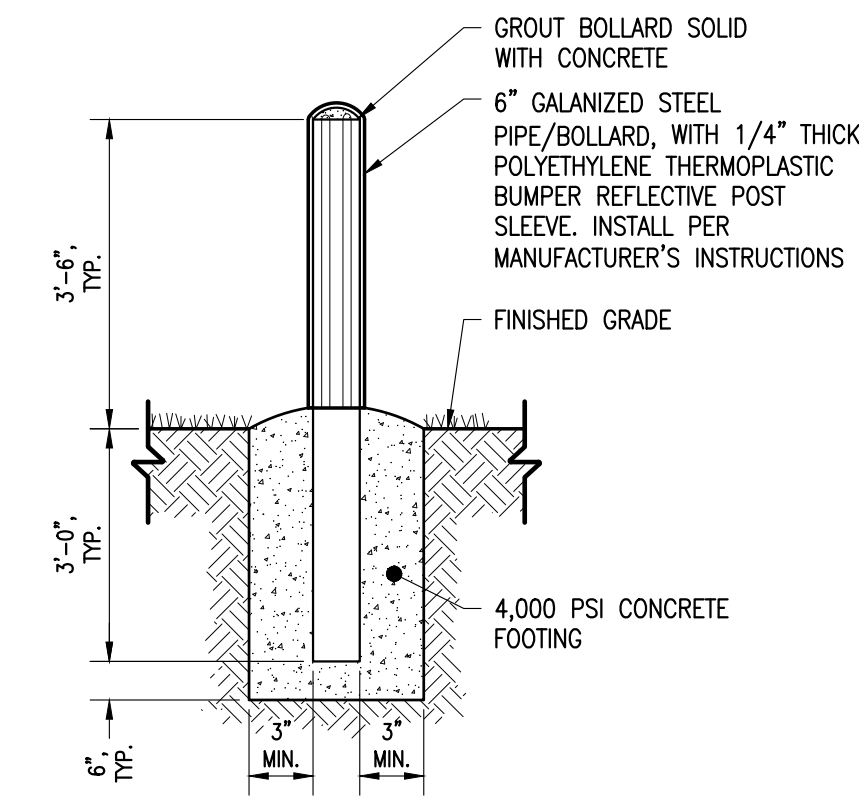


* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

- NOTES:**
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STABILIZED CONSTRUCTION ENTRANCE

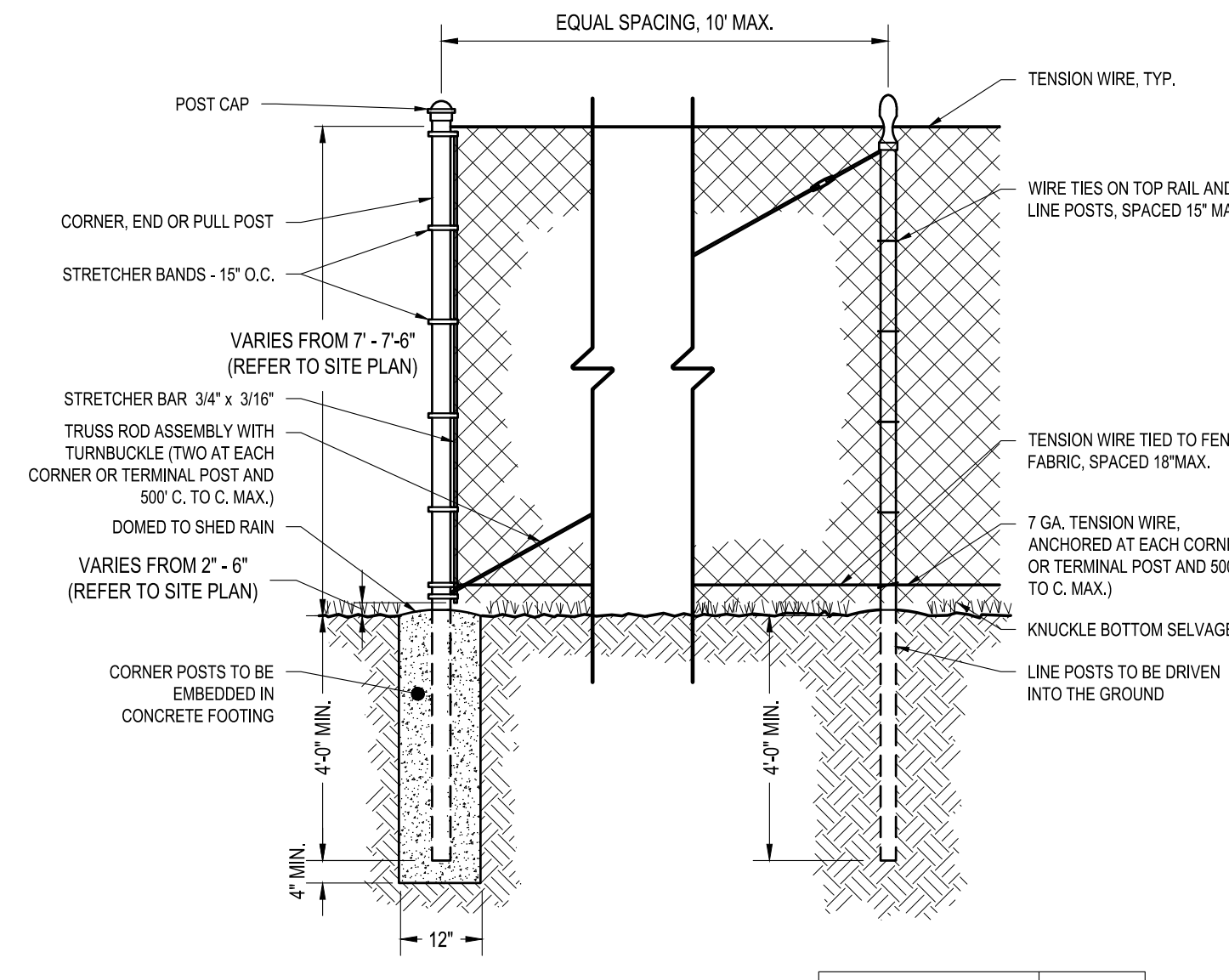
N.T.S.



- NOTE:**
1. WHEN BOLLARD IS TO BE INSTALLED IN GRASS, FOOTING SHALL BE EXTENDED TO FINISHED GRADE AND DOMED TO PROMOTE DRAINAGE AWAY FROM BOLLARD.
 2. BOLLARD SLEEVE COVER SHALL BE REFLECTIVE

6" GALVANIZED STEEL PIPE BOLLARD W/SLEEVE

N.T.S.

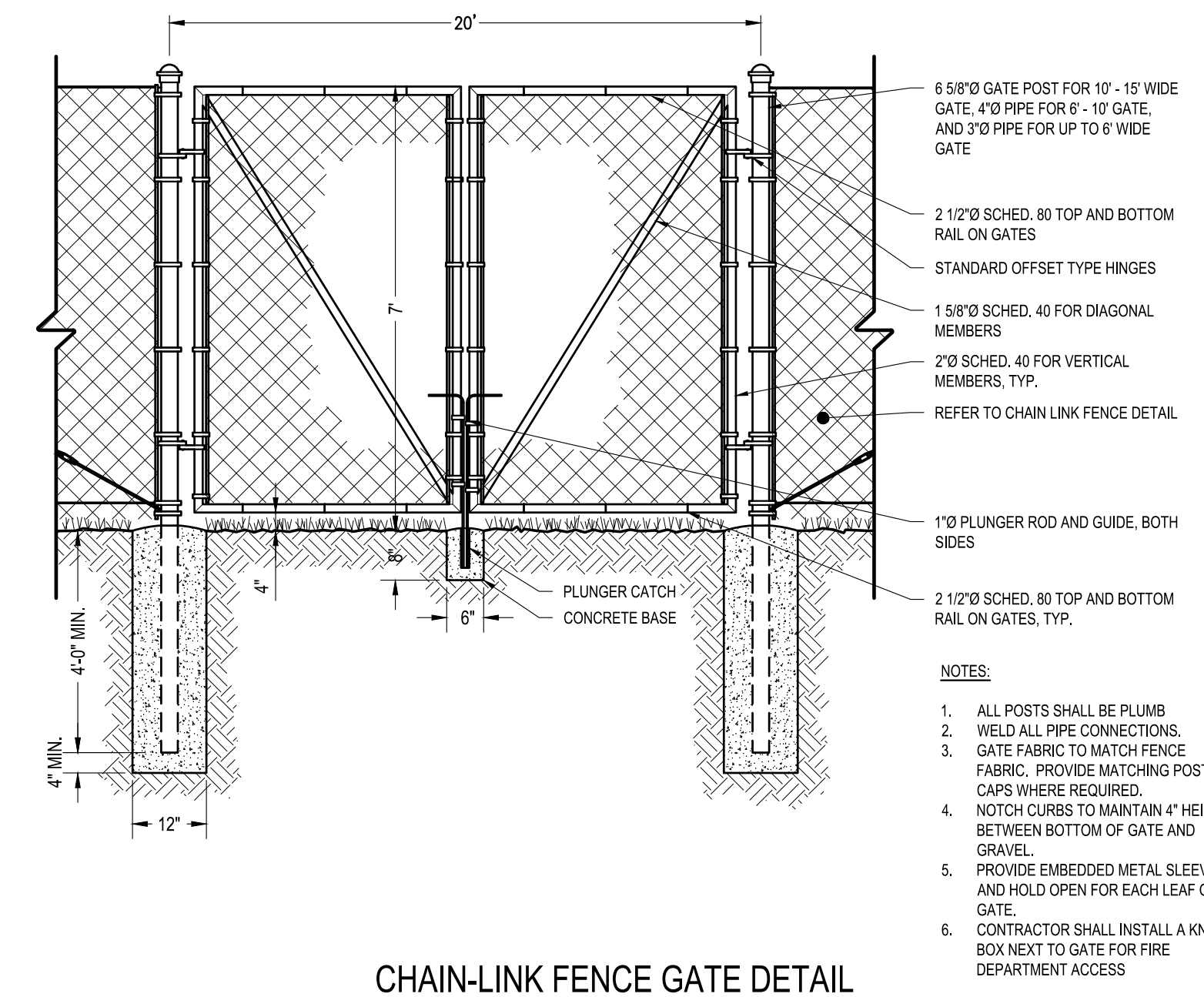


- NOTES:**
1. ALL POSTS SHALL BE PLUMB
 2. WIRE TIES SHALL BE PLACED 15" ON CENTER ALONG TOP RAIL AND LINE POSTS.
 3. LINE POSTS SHALL BE DRIVEN INTO THE GROUND.
 4. CORNER POSTS SHALL BE EMBEDDED IN 12" DIAMETER CONCRETE FOOTING.

USE	NOM. OD.
LINE POSTS	2 1/2"
CORNER END, GATE, & PULL POSTS	3"
RAILS	1 5/8"
GATE FRAMES	2"

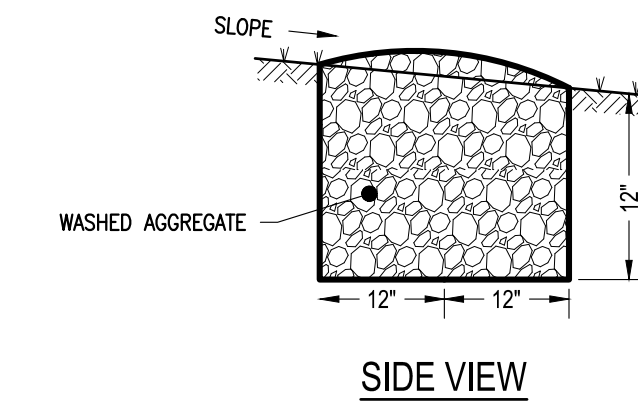
CHAIN-LINK FENCE DETAIL

N.T.S.



CHAIN-LINK FENCE GATE DETAIL

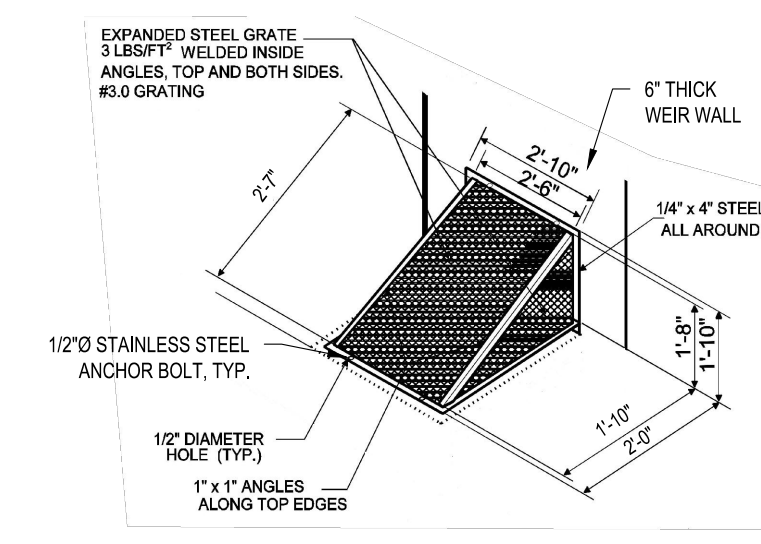
N.T.S.



- NOTES:**
1. LEVEL SPREADERS SHALL BE CONSTRUCTED PARALLEL WITH CONTOURS.

LEVEL SPREADER DETAIL

N.T.S.

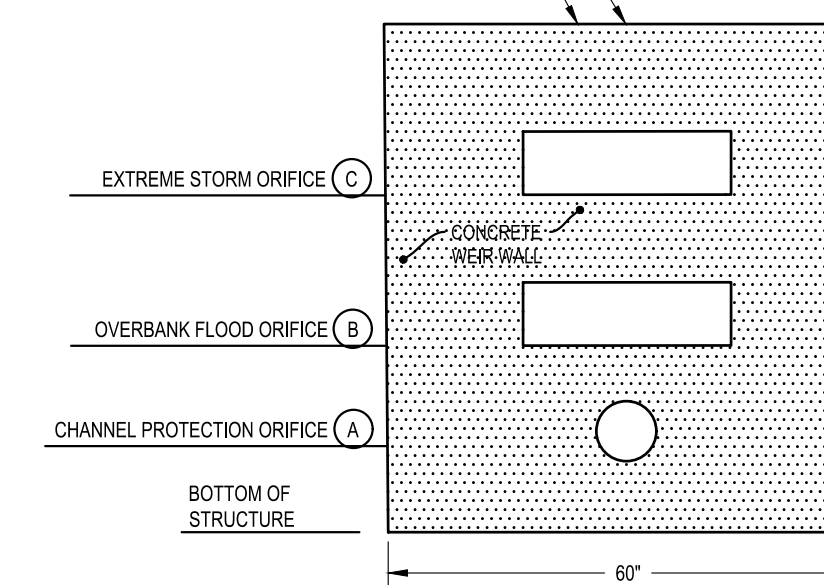


LOW FLOW ORIFICE TRASH RACK DETAIL

N.T.S.

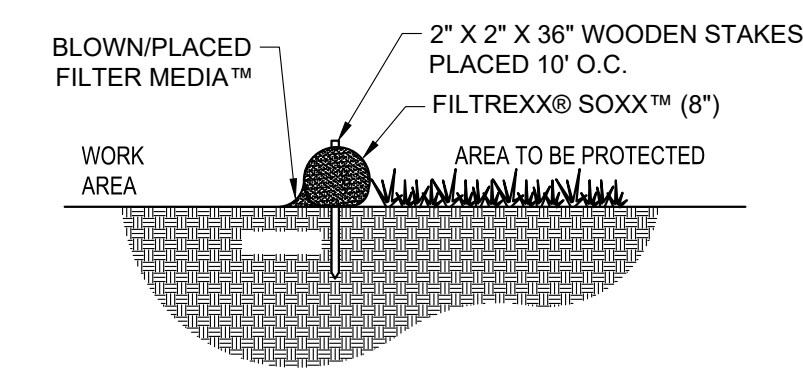
CONTROL STRUCTURE	SIZE	A ELEV	B SIZE	B ELEV	C SIZE	C ELEV	D ELEV
1	3"	455.00	24"x4"	456.00	24"x5"	457.00	458.00

REFER TO ORIFICE SCHEDULE. THIS SHEET, FOR ORIFICE SIZES AND INVERT ELEVATIONS, TOP OF BROAD-CRESTED WEIR (FULL WIDTH) (D)



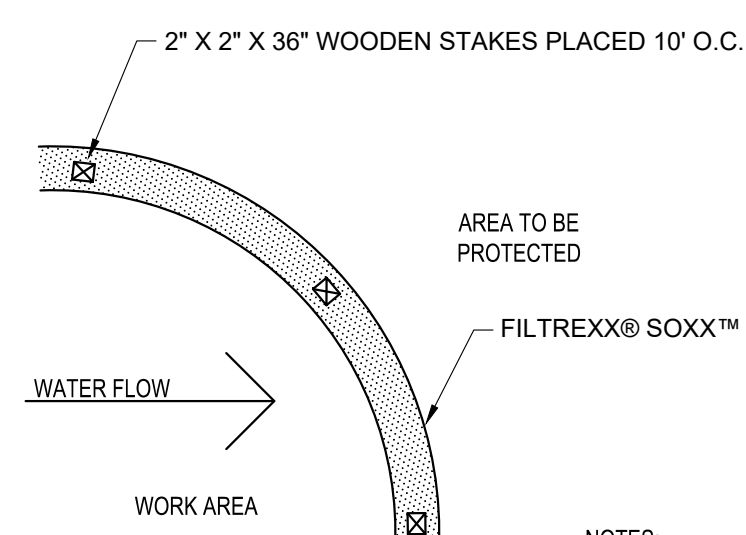
ORIFICE DETAIL

N.T.S.



SECTION

N.T.S.



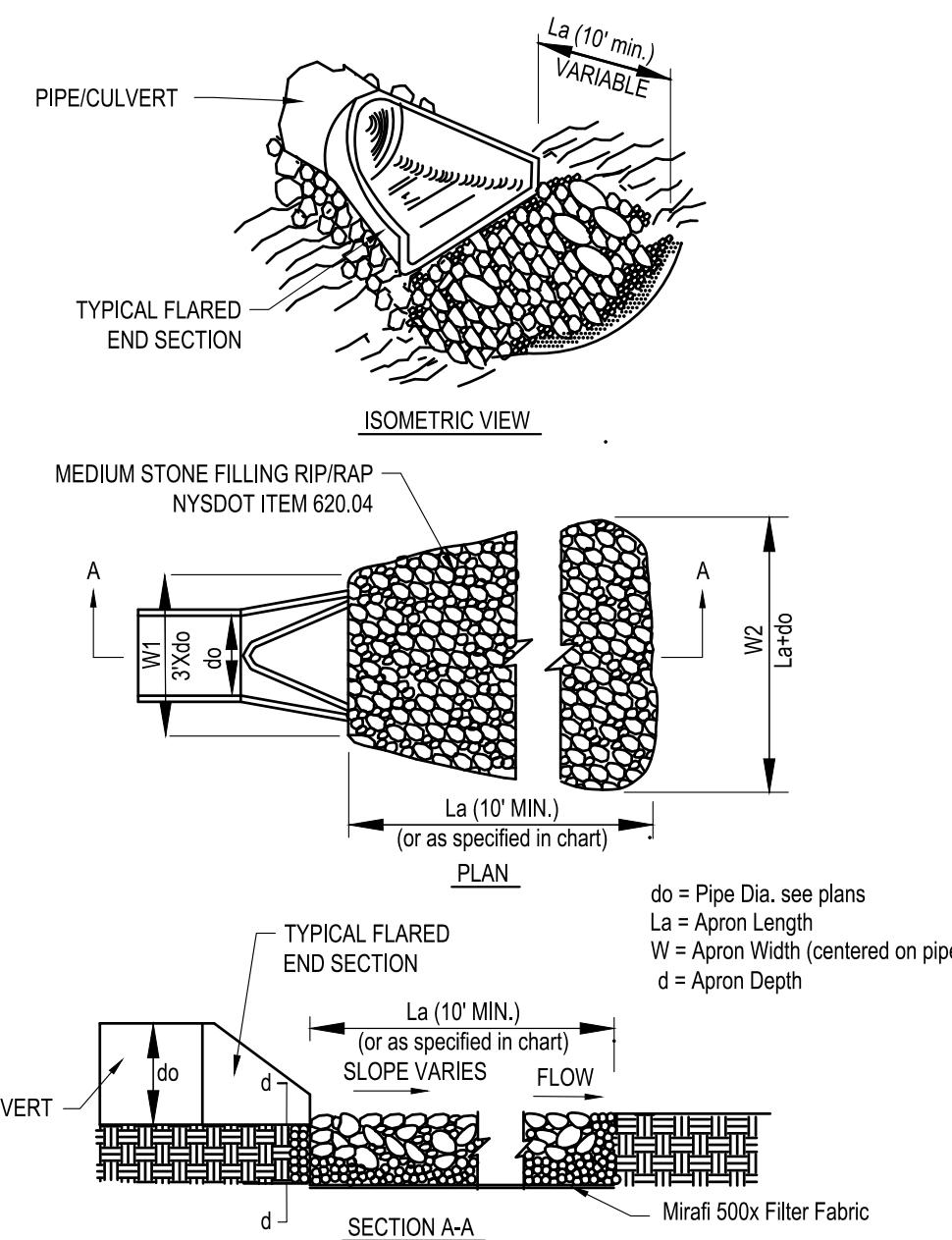
PLAN

N.T.S.

- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 4. WHEN SEDIMENT CONTROL IS USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS

FILTREXX FILTERSOXX SEDIMENT CONTROL

N.T.S.



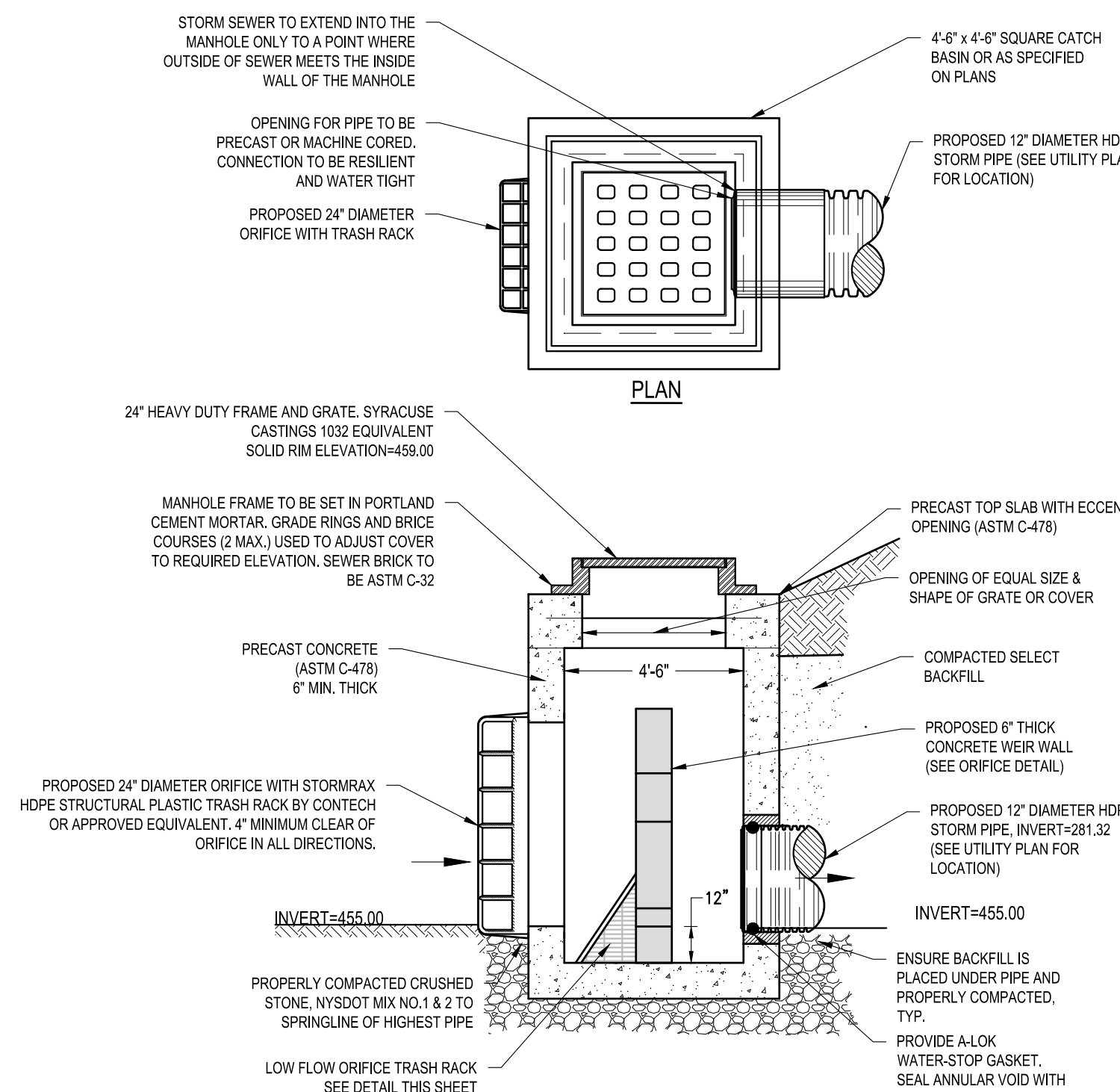
RIP RAP SIZING CHART

PIPE DIA.	W1-MINIMUM	W2-MINIMUM	La-MINIMUM	D-MINIMUM
12"	3'	15'	14'	13.5"
18"	4.5'	15.5'	14'	13.5"
24"	6'	15'	13'	13.5"

- NOTES:**
1. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NO LESS THAN 6".
 2. INSTALL FILTER MIRAFIX 500X OR APPROVED EQUAL FILTER FABRIC BETWEEN RIP-RAP AND SUBGRADE

OUTLET PROTECTION RIP-RAP APRON

N.T.S.



OUTLET CONTROL STRUCTURE DETAIL

N.T.S.

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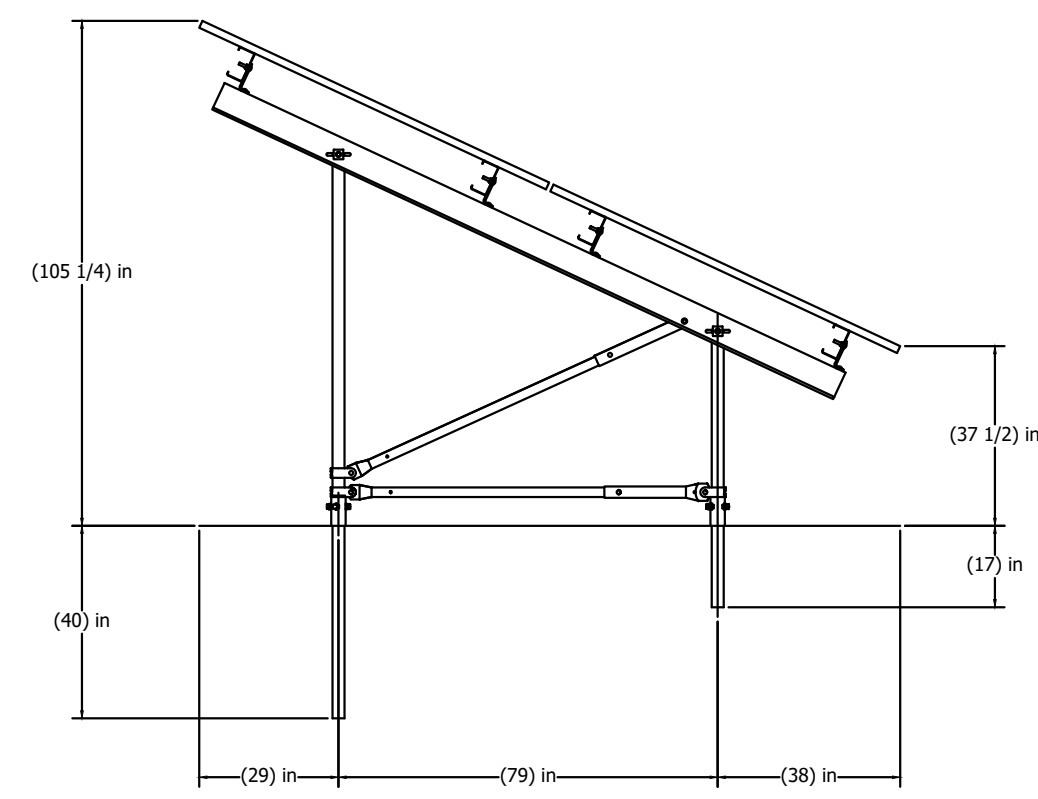
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AG	WD
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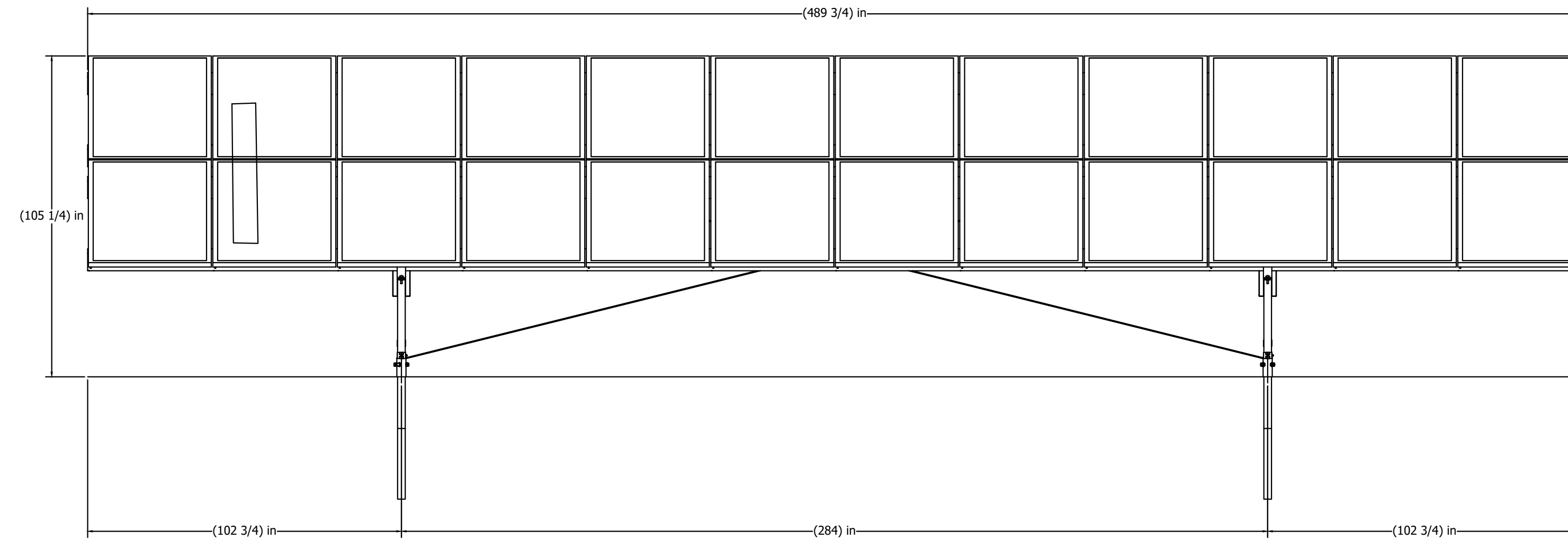
DETAILS I

Drawing Number

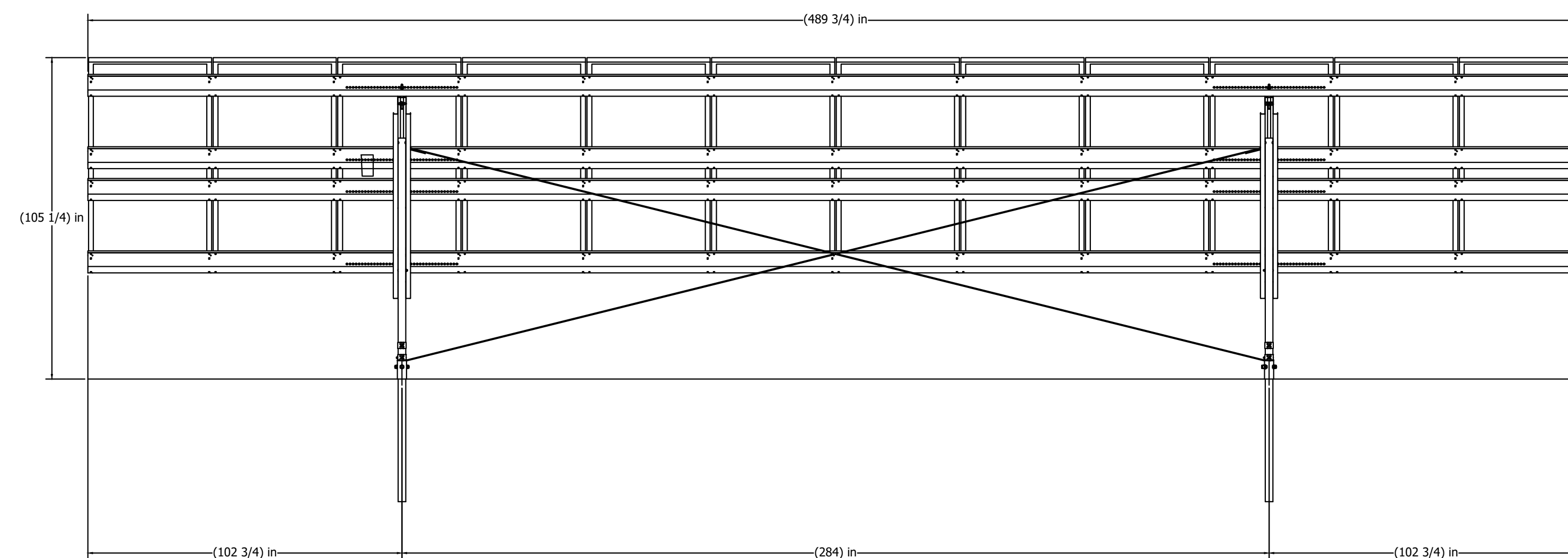
C010



SIDE ELEVATION VIEW



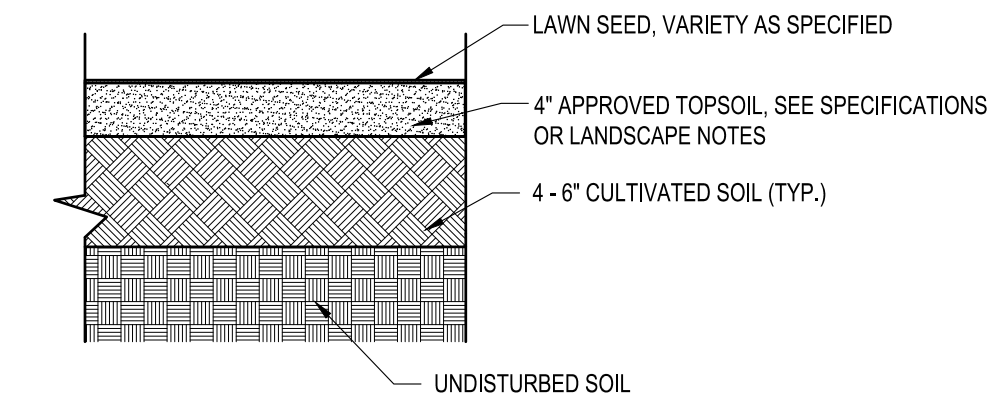
FRONT ELEVATION VIEW



REAR ELEVATION VIEW

- NOTES:
1. TYPICAL INSTALLATION DIMENSIONS MAY BE ADJUSTED TO SUIT FIELD CONDITIONS.
 2. FINAL DESIGN AND ENGINEERING PLANS TO BE PROVIDED BY THE RACKING MANUFACTURER.

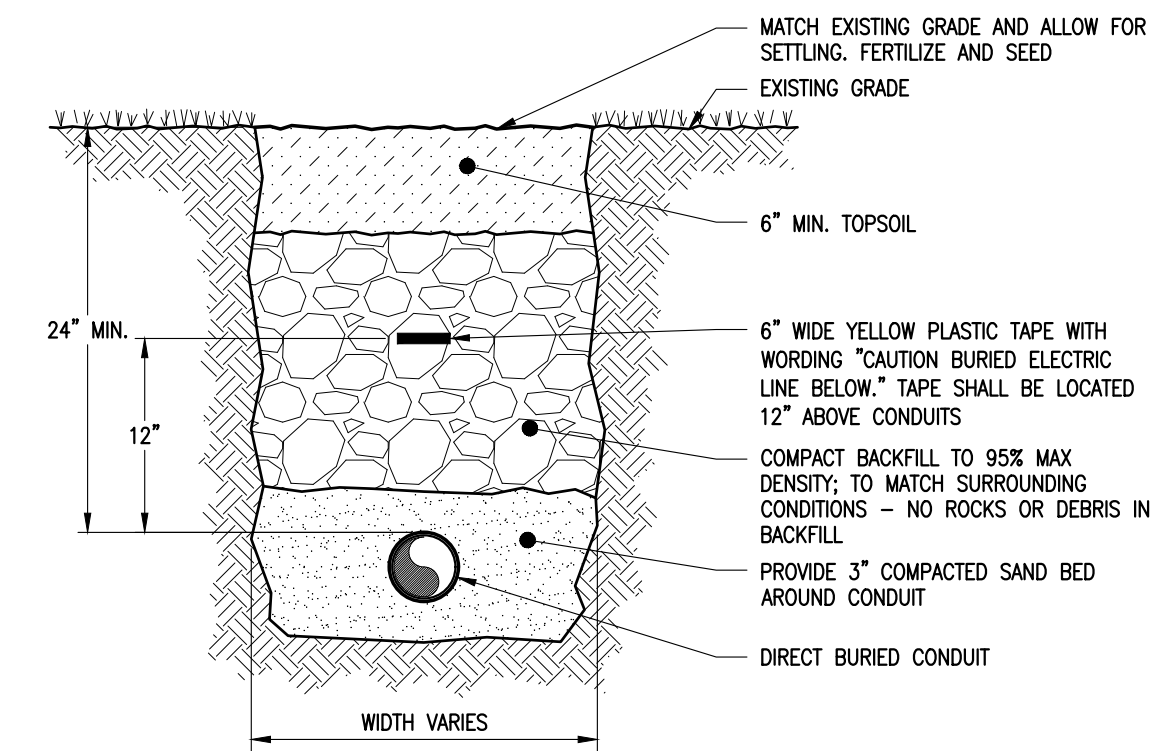
SOLAR ARRAY DETAIL
N.T.S.



SEEDING PROCEDURE:

1. CULTIVATE ENTIRE AREA TO 4'-6\"/>

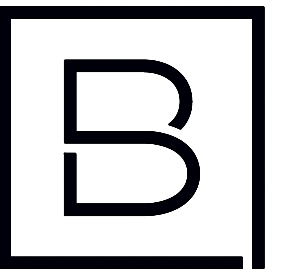
SOIL RESTORATION DETAIL
N.T.S.



NOTES:

1. REPAIR ALL SETTLEMENT
2. MINIMUM TOP SOIL DEPTH 6\"/>

DIRECT BURIED CONDUIT TRENCH DETAIL
(IN GRASS)
N.T.S.



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AG	WD
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Sheet Name

DETAILS II

Drawing Number

C011

UPLAND SEED MIX		
LOW-GROWING WILDFLOWER & GRASS MIX - ERNMX #156		
SEEDING RATE: 20 LB PER ACRE WITH A COVER CROP OF GRAIN RYE AT 30 LB PER ACRE		
SCIENTIFIC NAME	COMMON NAME	% OF MIX
FESTUCA OVINA	SHEEP FESCUE, VARIETY NOT STATED	63.60%
LOLIUM MULTIFLORUM (L. PERENNE VAR. ITALICUM)	ANNUAL RYEGRASS	17%
LINUM PERENNE SSP. LEWISII	PERENNIAL BLUE FLAX	8%
RUDBECKIA HIRTA	BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE	2%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS, COASTAL PLAIN NC ECOTYPE	2%
CHRYSANTHEMUM LEUCANTHEMUM	OXEYE DAISY	2%
CHRYSANTHEMUM MAXIMUM	SHASTA DAISY	1%
CHAMAECRISTA FASCICULATA (CASSIA F.)	PARTRIDGE PEA, PA ECOTYPE	1%
PAPAVER RHOEAS, SHIRLEY MIX	CORN POPPY/SHIRLEY MIX	1%
ACHILLEA MILLEFOLIUM	COMMON YARROW	0.5%
ASTER OBLONGIFOLIUS (SYMPHYOTRICHUM OBLONGIFOLIUM)	AROMATIC ASTER, PA ECOTYPE	0.5%
EUPATORIUM COELESTINUM (CONOCLINIUM C.)	MISTFLOWER, VA ECOTYPE	0.5%
MONARDA PUNCTATA, COASTAL PLAIN SC ECOTYPE	SPOTTED BEEBALM, COASTAL PLAIN SC ECOTYPE	0.5%
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	0.3%
PYCNANTHEMUM TENUIFOLIUM	SLENDER MOUNTAINMINT	0.1%
COMPANY INFORMATION		
ERNST CONSERVATION SEEDS, INC.		
ADDRESS: 8884 MERCER PIKE, MEADVILLE, PA 16335		
PHONE: (800) 873-3321		
WEB: HTTP://WWW.ERNSTSEED.COM		

*OR APPROVED EQUIVALENT

SEED SCHEDULE 'A'		
OBL-FACW WETLAND MIX		
ERNMX #120		
SEEDING RATE: 20 LB PER ACRE OR 1/2 LB PER 1000 SQ FT		
SCIENTIFIC NAME	COMMON NAME	% OF MIX
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	20%
POA PALUSTRIS	FOWL BLUEGRASS	20%
CAREX LURIDA	LURID SHALLOW SEDGE	17%
CAREX LUPULINA	HOP SEDGE	9%
CAREX SCOPARIA	BLUNT BROOM SEDGE	8%
CAREX VULPINOIDEA	FOX SEDGE	5%
PANICUM CLANDESTINUM DICHANTHELIUM C.	DEERTONGUE 'TIOGA'	5%
SPARGANIUM EURYCARPUM	GIANT BUR REED	4%
SPARGANIUM AMERICANUM	EASTERN BUR REED	3%
JUNCUS EFFUSUS	SOFT RUSH	3%
CAREX CRINITA	FRINGED NODDING SEDGE	2%
LEERSIA ORYZOIDES	RICE CUTGRASS	2%
SCIRPUS CYPERINUS	WOOLGRASS	2%
JUNCUS TENUIS	PATH RUSH	0.5%
COMPANY INFORMATION		
ERNST CONSERVATION SEEDS INC.		
ADDRESS: 8884 MERCER PIKE MEADVILLE PA 16335		
PHONE: 800 873-3321		
WEB: HTTP://WWW.ERNSTSEED.COM		

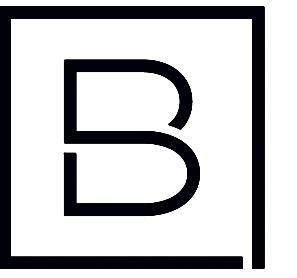
- * CURRENT ERNST SEED MIX COMPOSITION OR APPROVED EQUIVALENT
- * PROVIDE TEMPORARY SEEDING OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) WITHIN SEEDING LIMITS AT RATE OF 20 LBS. PER ACRE

SITE STABILIZATION - SEED MIX
N.T.S.

SOIL AMENDMENT APPLICATION RATE EQUIVALENTS					
SOIL AMENDMENT	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	NOTES	
PERMANENT SEEDING	AGRICULTURAL LIME	6 TONS	240 LB.	2,480 LB.	OR AS PER SOIL TEST: MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
	10-10-20 FERTILIZER	1,000 L.B.	25 LB.	210 LB.	
TEMPORARY SEEDING	AGRICULTURAL LIME	1 TON	40 LB.	410 LB.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES
	10-10-20 FERTILIZER	500 LB.	12.5 LB.	100 LB.	
COMPOST STANDARDS					
ORGANIC MATTER CONTENT		80% - 100% (DRY WEIGHT BASIS)			
ORGANIC PORTION		FIBROUS AND ELONGATED			
pH		5.5 - 8.0			
MOISTURE CONTENT		35% - 55%			
PARTICLE SIZE		98% PASS THROUGH 1" SCREEN			
SOLUBLE SALT CONCENTRATION		5.0 dS/m (mmhos/cm) MAXIMUM			
MULCH APPLICATION RATES					
MULCH TYPE	APPLICATION RATE (MIN.)			NOTES	
	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.		
STRAW	3 TONS	140 LB.	1,240 LB.	EITHER WHEAT OR OAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN	
HAY	3 TONS	140 LB.	1,240 LB.	TIMOTHY, MIXED CLOVER AND TIMOTHY, OR OTHER NATIVE FORAGE GRASSES	
WOOD CELLULOSE	1,500 LB.	35 LB.	310 LB.	DO NOT USE ALONE IN WINTER, DURING HOT AND DRY WEATHER OR ON STEEP SLOPES (> 3:1)	
WOOD	1,000 LB. CELLULOSE	25 LB.	210 LB.	WHEN USED OVER STRAW OR HAY	
WOOD CHIPS	4 - 6 TONS	185 - 275 LB.	1,650 - 2,500 LB.	MAY PREVENT GERMINATION OF GRASSES AND LEGUMES	

NOTES:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE TEMPORARILY STABILIZED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 INCHES MINIMUM. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OF SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE 1/2" TO 3/4". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- BLANKETING SHALL BE USED ON ALL SLOPES 3H:1V OR STEEPER OR AS NOTED ON THE PLANS.
- PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF EARTH DISTURBANCE.



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ARCHITECTS ENGINEERS PLANNERS

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HILLSIDE SOLAR LLC

227 GUARD HILL ROAD
BEDFORD CORNERS, NY 10549

**OLD HILL FARM
SOLAR FARM**

571 EAST MAIN STREET
JEFFERSON VALLEY, NY 10535

Date Revised	Description
10/13/2021	REVISED PER CLIENT COMMENTS
12/01/2021	REVISED PER TREE COMMISSION COMMENTS
12/28/2021	REVISED PER FIRE DEPARTMENT COMMENTS
1/07/2022	REVISED PER SITE VISIT WITH FIRE DEPARTMENT
1/13/2022	REVISED PER ENGINEERING DEPARTMENT COMMENTS
1/20/2022	REVISED PER TCAC COMMENTS
3/01/2022	REVISED PER TOWN COMMENTS
3/21/2022	REVISED PER UPDATED WETLAND AREA
4/11/2022	REVISED PER CLIENT COMMENT

**PRELIMINARY
NOT FOR CONSTRUCTION**

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Project Manager ECR	Discipline Lead ECR
Designer AG	Reviewer WD
Date Issued 07/28/2021	Project Number 14064.11

Sheet Name

DETAILS III

Drawing Number

C012

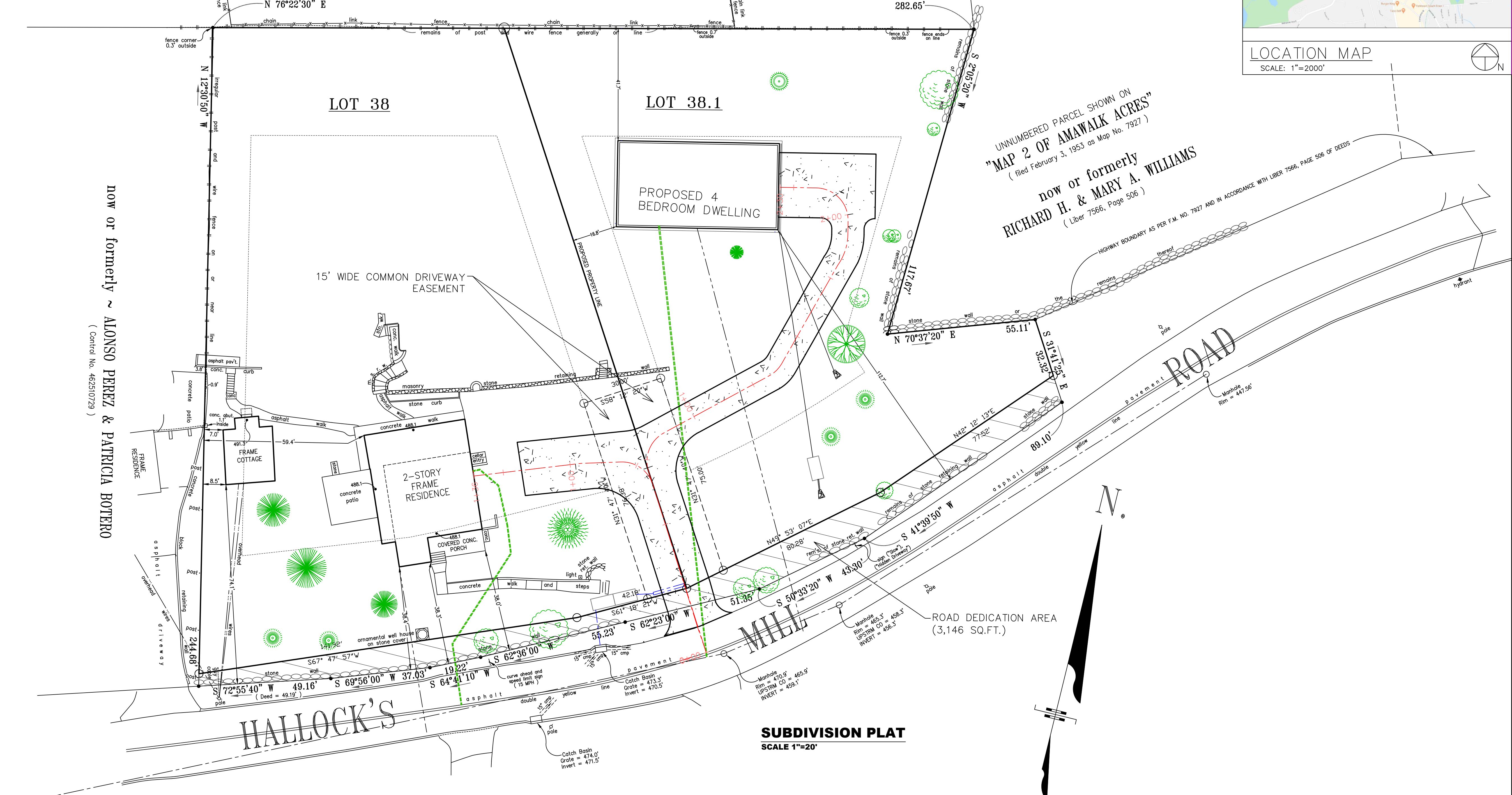
Bellamy Subdivision

"MAP OF EAST PORTION, SECTION NO. 1, AMENDED, AND SECTION NO. 3 OF AMAWALK ACRES"
(filed June 15, 1954 as Map No. 9123)

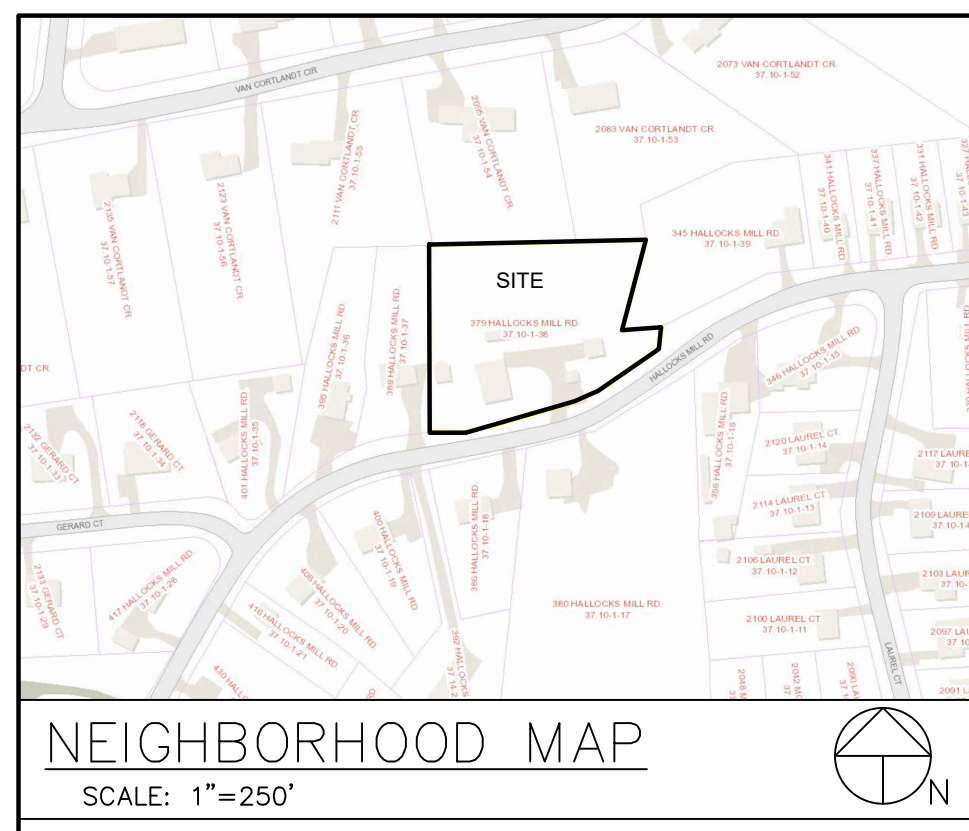
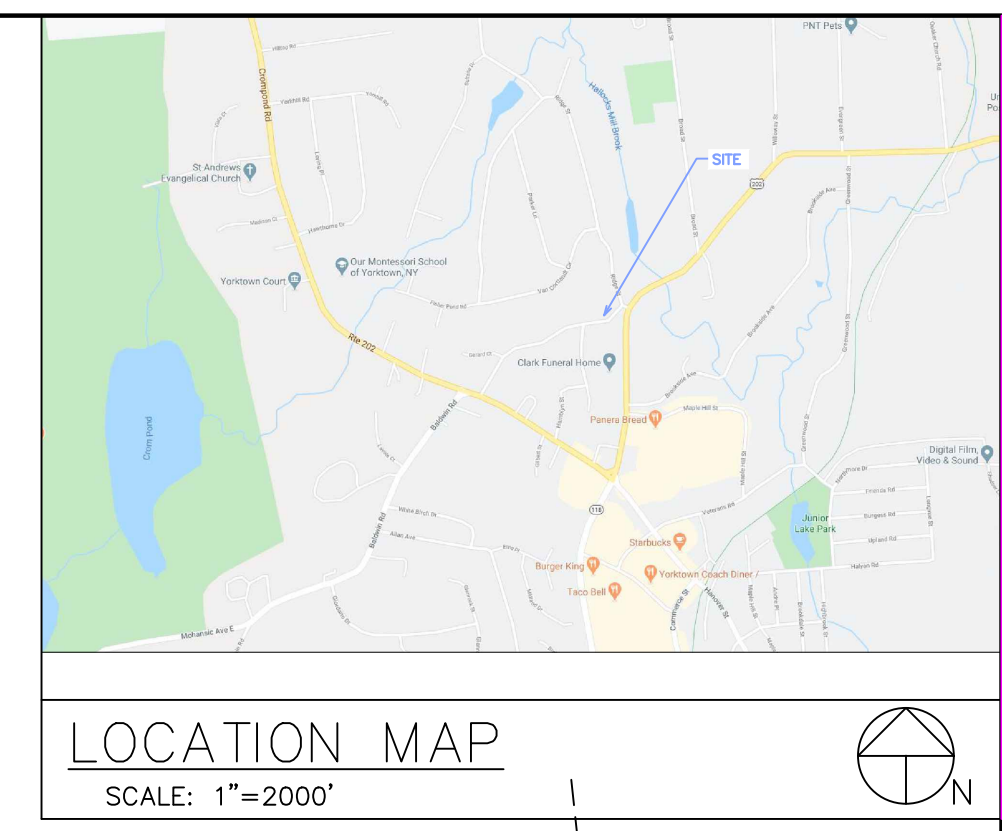
LOT 70
now or formerly
ANTHONY & JULIANNA SHALLO
(Control No. 581443101)

LOT 69
now or formerly
JORGE MIGUEL REIS & SUSANA MOUTOSO-REIS
(Control No. 540783066)

LOT 68
now or formerly
JOHN PATRICK, III & RONDA SAYLOR
(Control No. 503223143)



SUBDIVISION PLAT
SCALE 1"=20'



now or formerly ~ ALONSO PEREZ & PATRICIA BOTERO
(Control No. 462510729)

UNNUMBERED PARCEL SHOWN ON
"MAP 2 OF AMAWALK ACRES"
(filed February 3, 1953 as Map No. 7927)
now or formerly
RICHARD H. & MARY A. WILLIAMS
(Liber 7566, Page 506)

EXISTING STRUCTURE SCHEDULE				
STRUCTURE	USE	PROPOSED USE	SURFACE AREA	NOTES
2 STORY FRAME RESIDENCE	SINGLE FAMILY RESIDENCE	SINGLE FAMILY RESIDENCE	1,667 SQ. FT.	
FRAME COTTAGE	STUDIO/OFFICE SUITE	ACCESSORY APARTMENT	408 SQ.FT.	CONTAINS EXISTING BATHROOM, KITCHEN AND LIVING AREA
FRAME BUILDING	POOL HOUSE	TO BE REMOVED	375 SQ. FT.	
CONCRETE BLOCK SHED	STORAGE	TO BE REMOVED	90 SQ. FT.	
SWIMMING POOL	POOL	TO BE REMOVED	1,427 SQ. FT.	
FRAME GARAGE 1	GARAGE	TO BE REMOVED	490 SQ. FT.	
FRAME GARAGE 2	GARAGE	TO BE REMOVED	184 SQ. FT.	
ASPHALT DRIVEWAY	PARKING	TO BE REMOVED	4,828 SQ. FT.	

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Beacon, NY 12508
SBurns@BurnsEngineeringServices.Com
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Fax (845) 440-7343

REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING MEMO	SKB	12/14/20
2	ENGINEERING REVISIONS	SKB	01/20/21
3	ENGINEERING REVISIONS	SKB	12/06/21
4	ENGINEERING REVISIONS	SKB	02/23/22

RESIDENCE ZONE STANDARDS											
R1-20	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YARD	SIDE YARD	TWO SIDES	REAR YARD	MAX HEIGHT	MAX BUILDING COVERAGE	OFF STREET PARKING	ROAD FRONTAGE
REQUIRED	20,000 SQ. FT.	100 FEET	100 FEET	40 FEET	15 FEET	40 FEET	40 FEET	35 FEET	20%	1 PER DU	100 FEET
EXISTING	61,715 SQ. FT.	295 FEET	244 FEET	38.3 FEET	59.4 FEET	219.4 FEET	145 FEET	<35 FEET	<20 %	±10	±344 FEET
LOT 1	34,664 SQ. FT.	191 FEET	244 FEET	38.3 FEET	59 FEET	118 FEET	145 FEET	<35 FEET	<20 %	±4	±186 FEET
LOT 2	27,051 SQ. FT.	113 FEET	214 FEET	104 FEET	16.5 FEET	59.7 FEET	50 FEET	<35 FEET	<20%	>2	±158 FEET

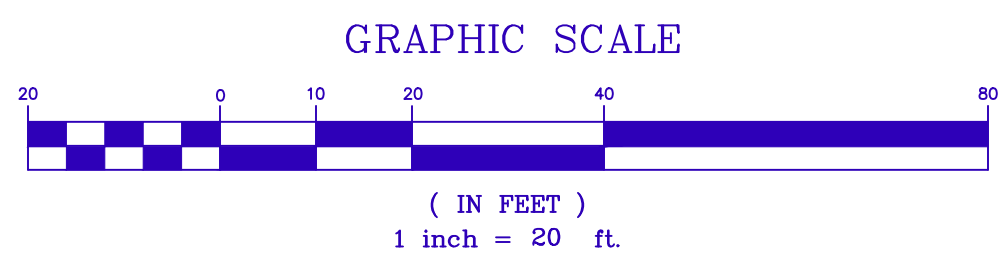
- GENERAL NOTES:
- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
 - ZONING DISTRICT - R 1-20; 1 FAMILY (20,000 SQ.FT.)
 - TAX MAP PARCEL # 37.10-1-38



SUBDIVISION PLAT
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

Burns Engineering Services, P.C.
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TEL: 845-546-3310
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SBurns@BurnsEngineeringServices.com

DATE: 06/01/20
SCALE: SHEET
DRAWN BY: SKB
1 OF 5



"MAP OF EAST PORTION, SECTION NO. 1, AMENDED, AND SECTION NO. 3 OF AMAWALK ACRES"
(Filed June 15, 1954 as Map No. 1923)

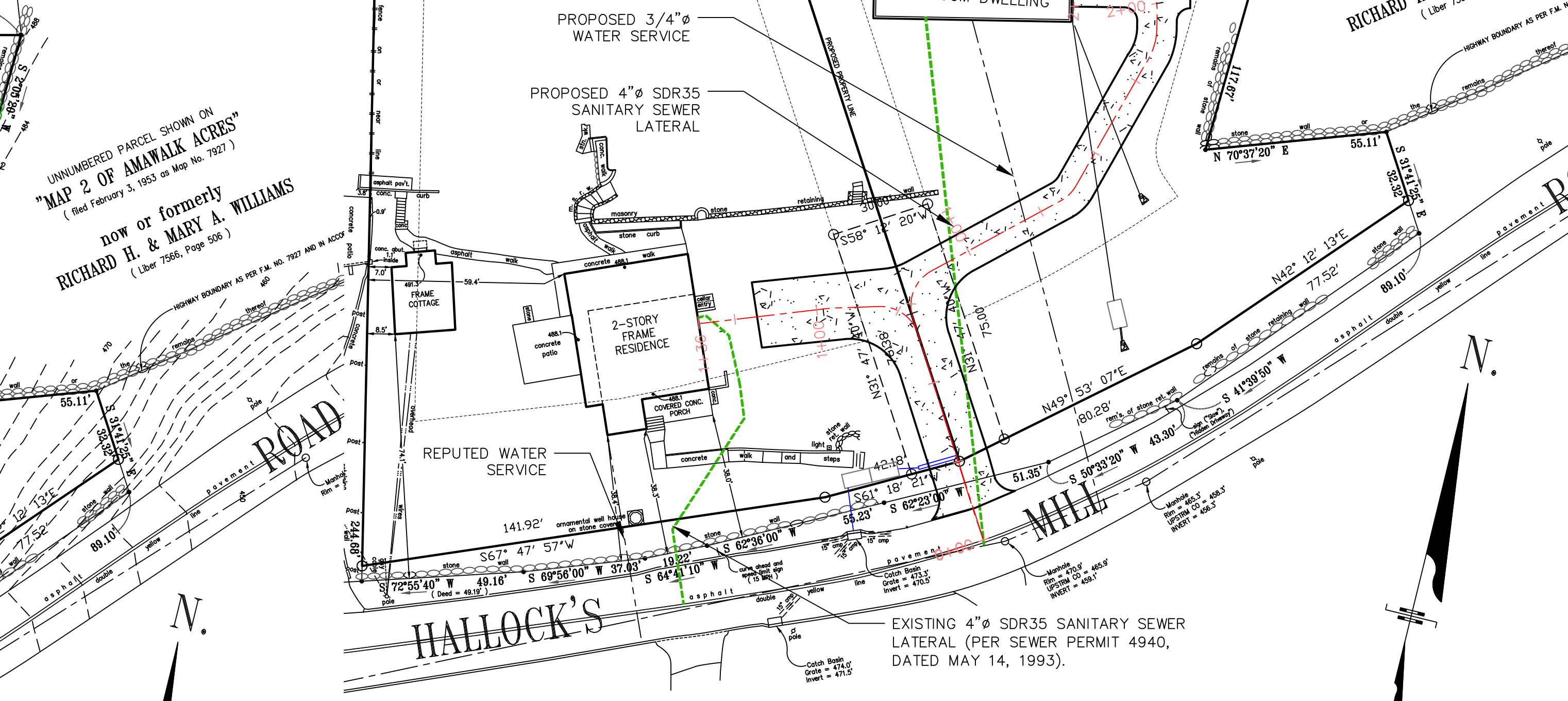
LOT 70
now or formerly
NTHONY & JULIANNA SHALLO
(Control No. 581443101)

LOT 69
now or formerly
JORGE MIGUEL REIS & SUSANA MOUTOSO-REIS
(Control No. 54078366)

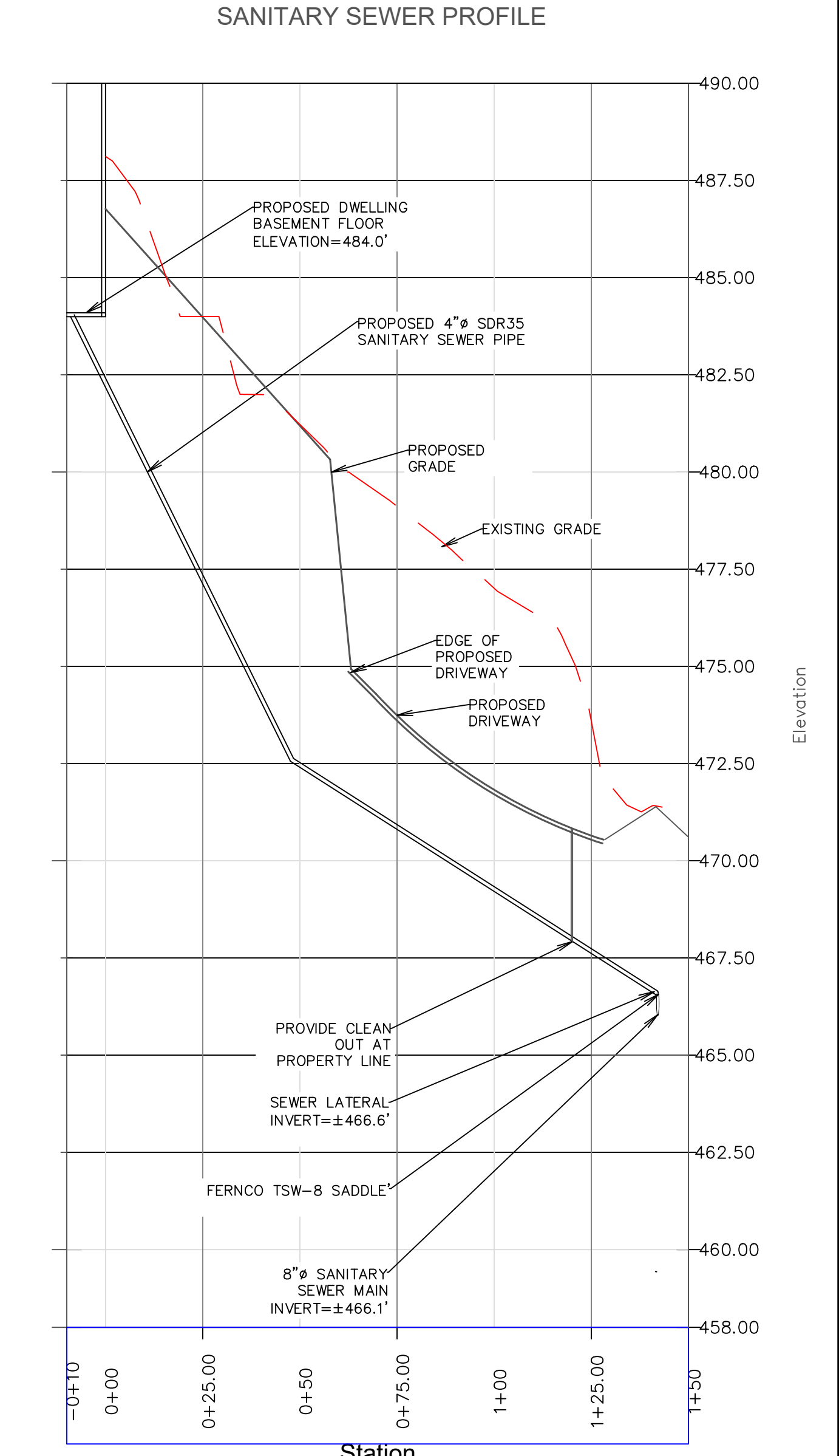
LOT 68
now or formerly
JOHN PATRICK, III & RONDA SAYLOR
(Control No. 503223143)



AS-BUILT/ DEMO PLAN
SCALE 1"=30'



UTILITY PLAN
SCALE 1"=30'



Petroleum Contaminated Soil Remediation (EMERGENCY SPILL CLEANUP PROCEDURE)
IF A SPILL OCCURS-

- Excavate all visibly impacted media and temporarily stockpile it onsite (on and covered with plastic sheeting) in advance of final disposition if required.
- Field screening of the excavation with a properly calibrated Photo-ionization Detector (PID) to verify removal of all contaminated soils.
- Collect a soil sample for laboratory analysis of confirmatory soil as well as a profile sample for the disposal facility.
- Use a Licensed transporter to haul and dispose of PSC.
- Prepare and submit a "Spill Closure Report" to the NYSDEC

Erosion Control Maintenance Plan (During Construction)

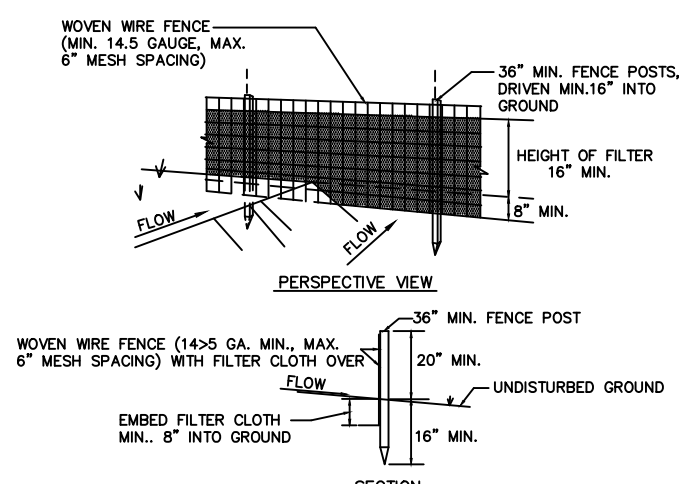
- Silt Fence shall be installed prior to construction activity.
- Any vegetated area that has eroded as a result of runoff shall be filled, fertilized, reseeded and mulched to maintain a vigorous cover.
- Sediment will be removed from behind silt fence when the level of sediment reaches 0.5 feet. Any damaged silt fence shall be replaced.
- All other erosion control devices shall be maintained and repairs made as necessary to insure proper operation of the erosion control device.

SITE WORK CUT/FILL
CUT = ±300 CUBIC YARDS
FILL = ±125 CUBIC YARDS

SITE TOTAL CUT ±175 CUBIC YARDS
MATERIAL TO BE HAULED OFFSITE

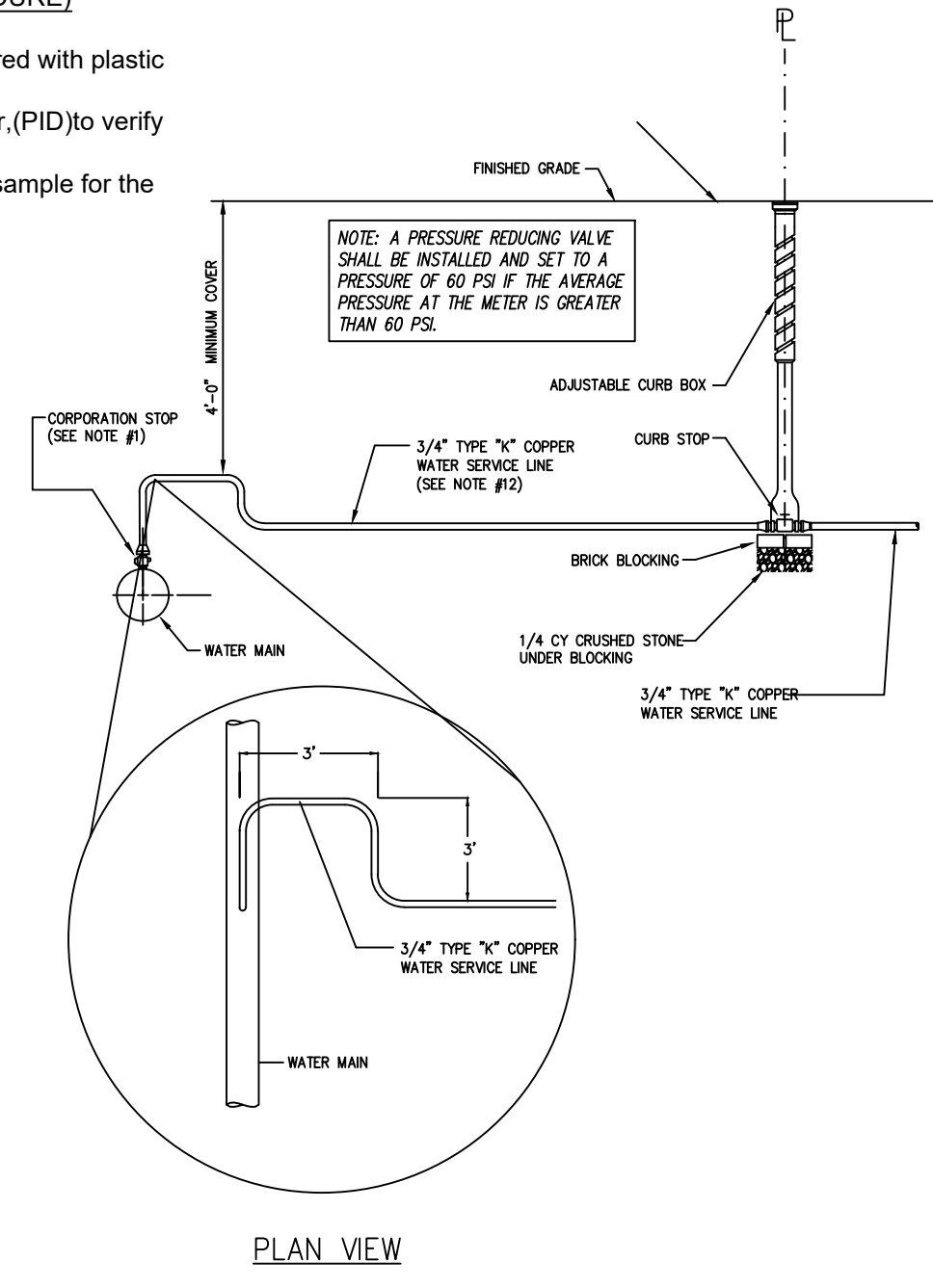
SEEDING & MULCHING NOTES

- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CAN NOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
 - SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND CARTING.
 - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:
- | | |
|---------------------|-----|
| KENTUCKY BLUEGRASS | 40% |
| KENTUCKY RED FESCUE | 40% |
| RYE GRASS | 20% |
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSOTI STANDARDS SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
 - SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
 - SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 - CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR ADJACENT SURFACE WATER ONTO ADJOINING PROPERTIES.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
 - THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOMESTIC/SEWER CONNECTIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE ADDED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.
 - ALL AREAS OF DISTURBANCE IN EXCESS OF 7X SHALL HAVE TEMPORARY SEEDING OF FAST GERMINATION RYE GRASS, 1 TO 1.5 LBS PER 1,000 SQ.FT. APPLIED IF LEFT UNDISTURBED FOR 14 OR MORE DAYS.



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOMEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES
- FILTER CLOTH TO BE FASTENED SECURELY TO WOMEN WIRE FENCE WITH TIE SPACED EVERY 24" AT TOP AND MID SECTION
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE



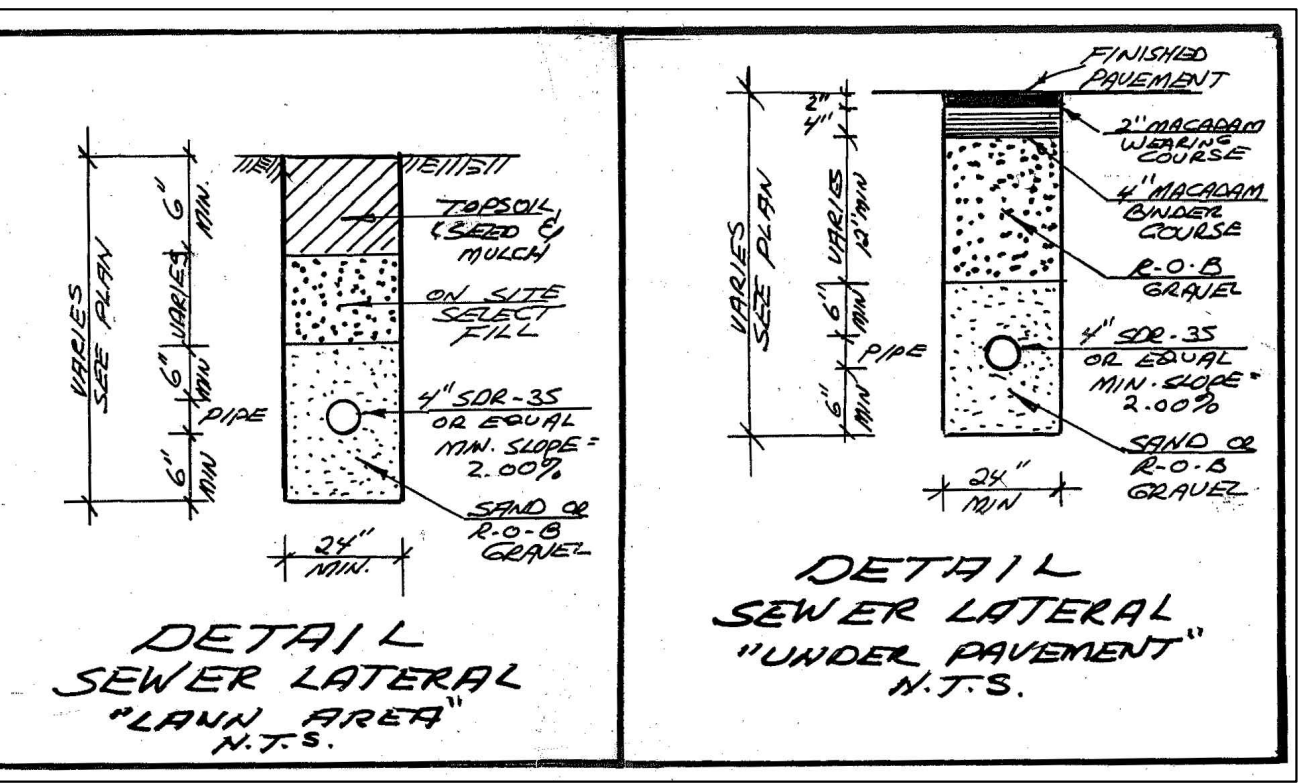
WATER SERVICE DETAIL

ADDITIONAL NOTES FOR WATER DISTRIBUTION SYSTEMS

- ALL SERVICE LINES ARE THE RESPONSIBILITY OF THE HOMEOWNER UP TO THE PROPERTY LINE
- THE WATER COMPANY SHALL BE RESPONSIBLE FOR ALL VALVES AND PIPES WHICH ARE NOT ON THE HOMEOWNER'S PROPERTY.
- WHERE WATER SERVICE TRENCHES CROSS PAVED DRIVEWAYS OR ROADS SHALL BE BACKFILLED WITH COMPACTED ITEM 4, AND THE BLACKTOP RESTORED TO EXISTING.

STORMWATER CONTROL MAINTAINANCE SCHEDULE

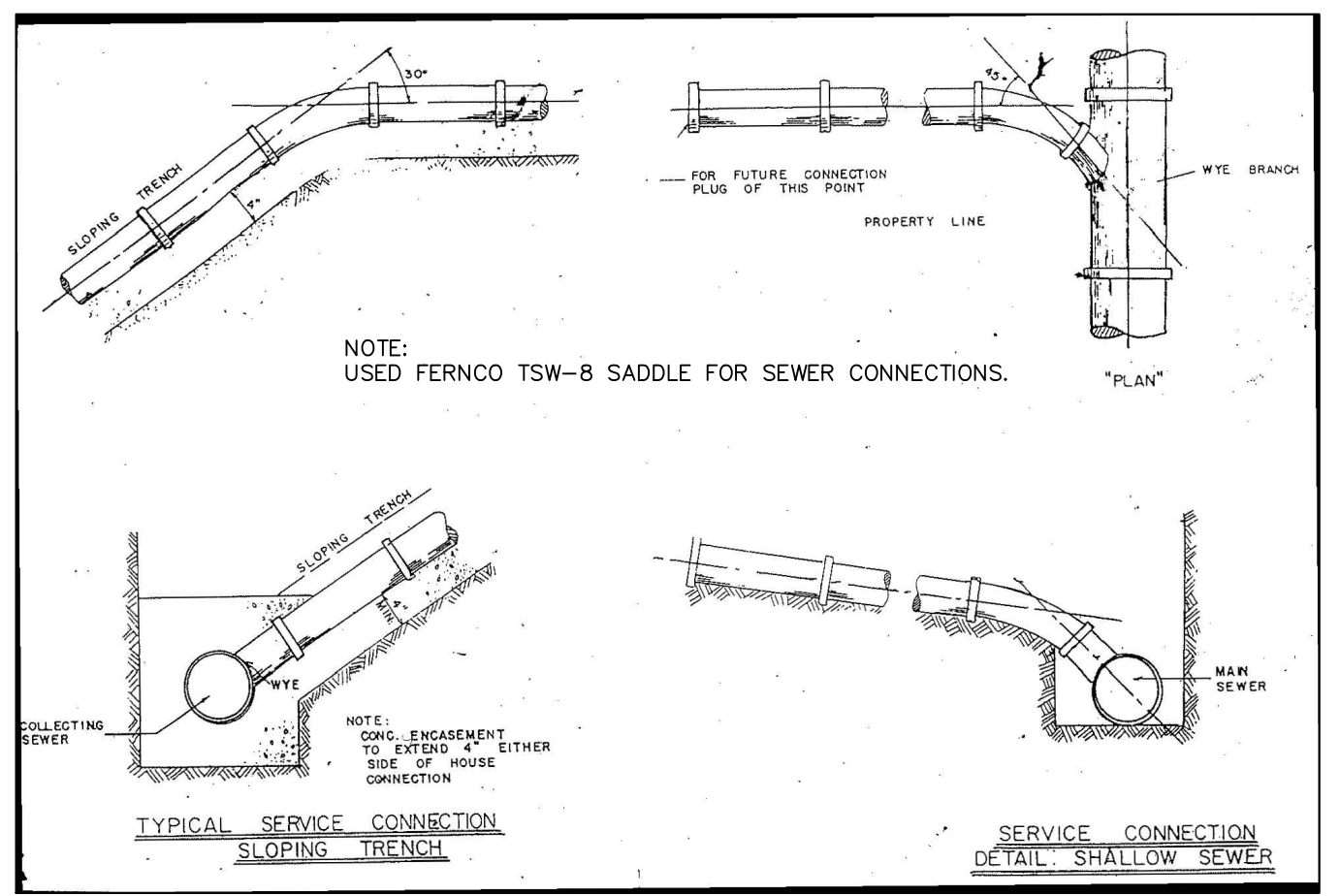
STRUCTURE	INSPECTION	MAINTENANCE REQUIRED	STRUCTURE TYPE
SILT FENCE	WEEKLY	REPAIR, REPLACE	TEMPORARY
STABILIZED CONSTRUCTION ENTRANCE	DAILY	REPLACE	TEMPORARY
CHECK DAM	WEEKLY	REPLACE	TEMPORARY
DUST	DAILY	SPRAYING	---
RIPRAP OUTLET/OVERFLOW	WEEKLY	REPAIR, REPLACE	PERMANENT
VEGETATION ESTABLISHMENT	WEEKLY	WATERING, SEEDING	PERMANENT



DETAIL LATERAL "UNDER PAVEMENT" N.T.S.

GENERAL NOTES:

- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
- ZONING DISTRICT - R-1-20; 1 FAMILY (20,000 SQ.FT)
- TAX MAP PARCEL # 37.10-1-38



REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING MEMO	SKB	12/14/20
2	ENGINEERING REVISIONS	SKB	01/20/21
3	ENGINEERING REVISIONS	SKB	12/06/21
4	ENGINEERING REVISIONS	SKB	02/23/22

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

TYPICAL SILT FENCE DETAIL
NOT TO SCALE

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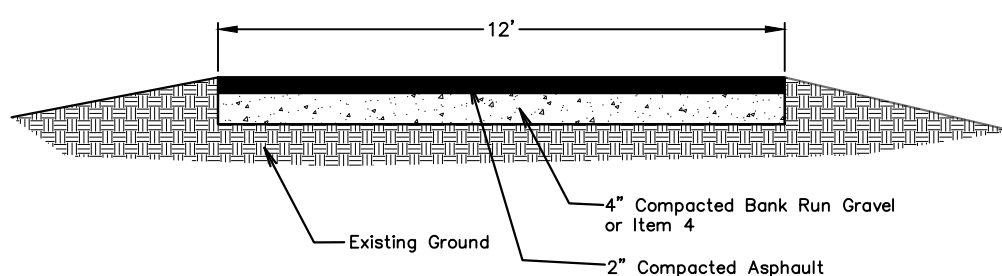


UTILITY PLAN/ EXISTING CONDITIONS
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

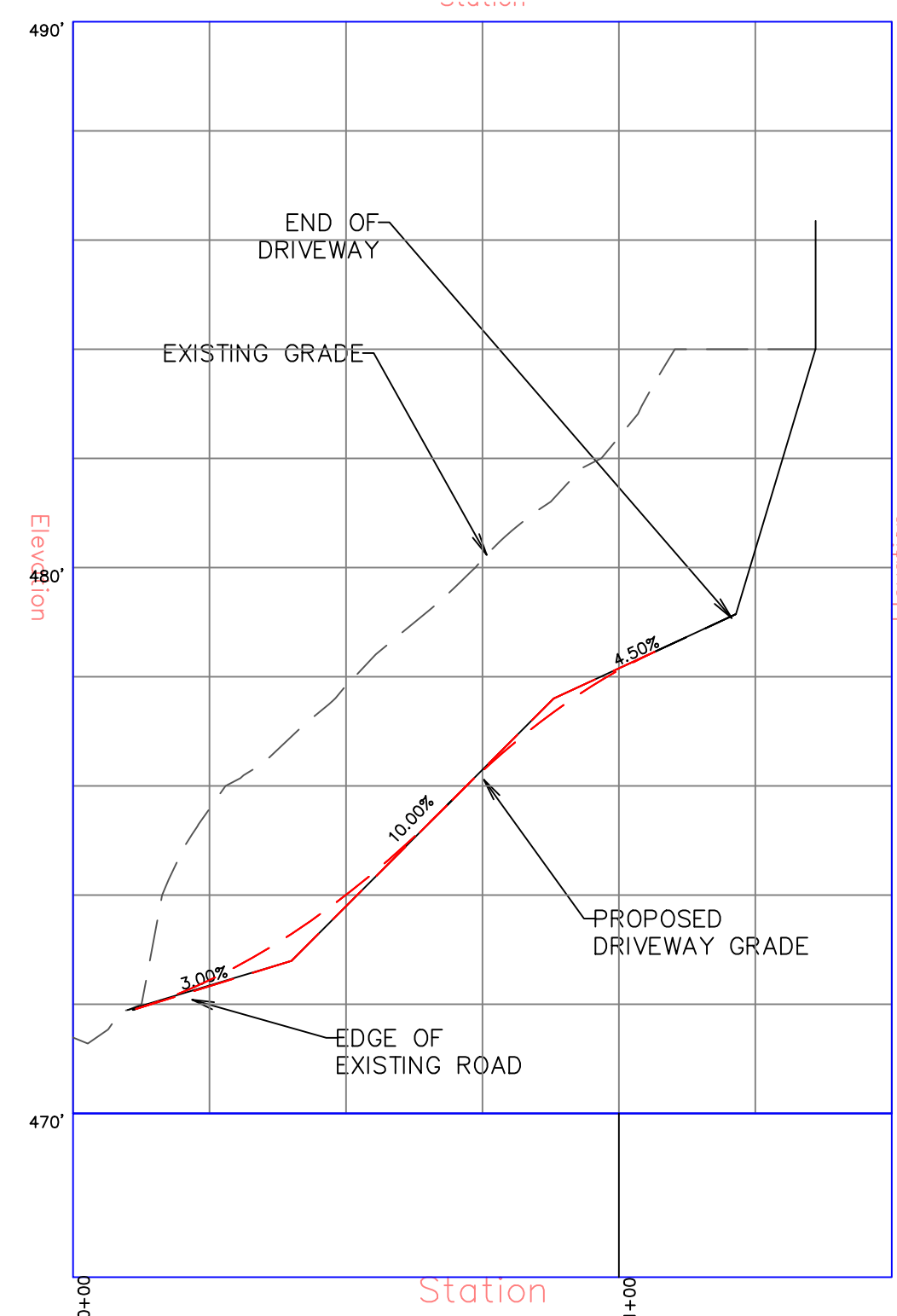
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58 Teller Avenue
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TEL: 845-546-3310
FAX: 845-546-6813

"SUBDIVISION PLAN FOR 379 HALLOCKS MILL ROAD" TOWN OF YORKTOWN WESTCHESTER COUNTY, NY

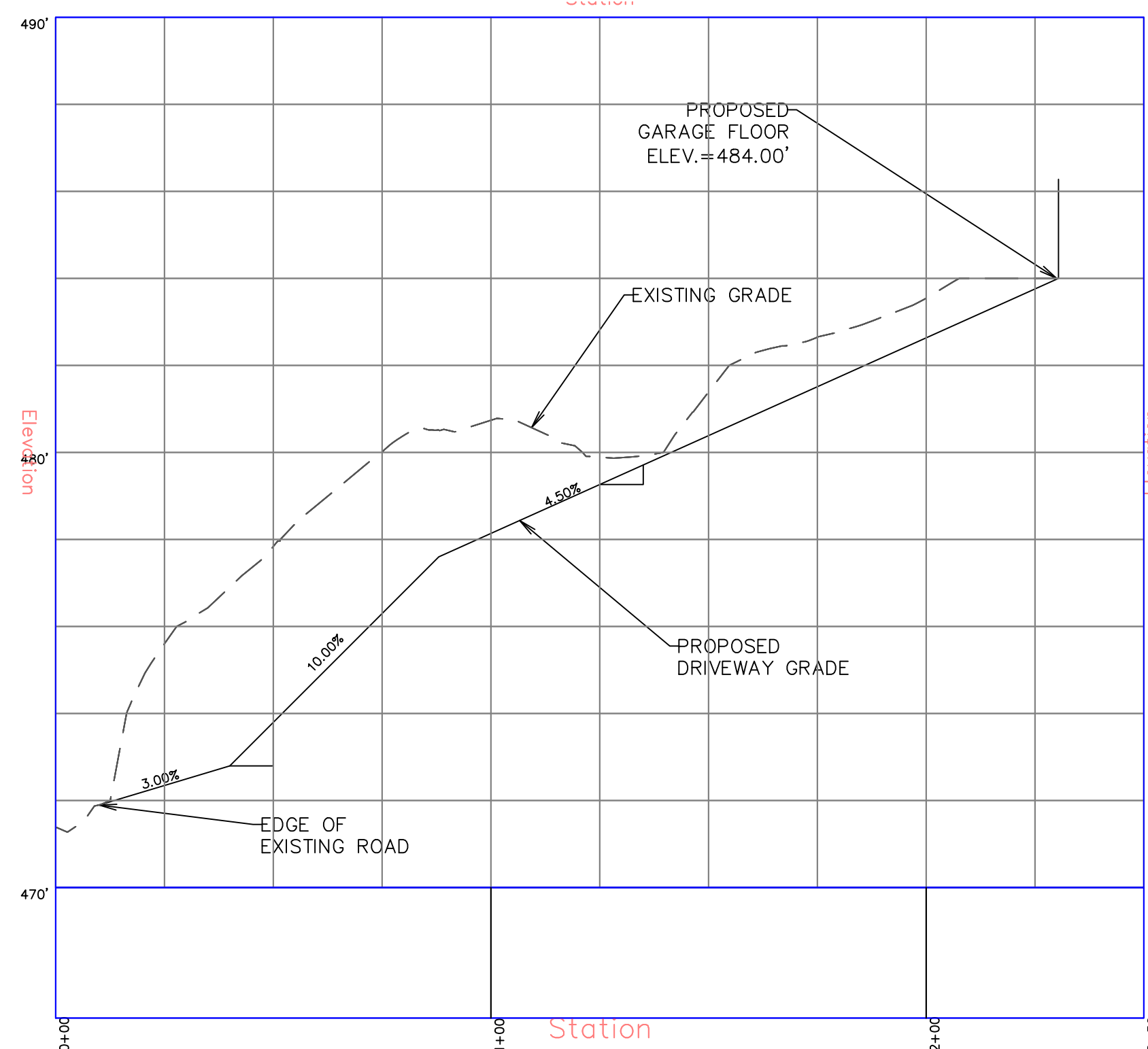
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2 OF 5



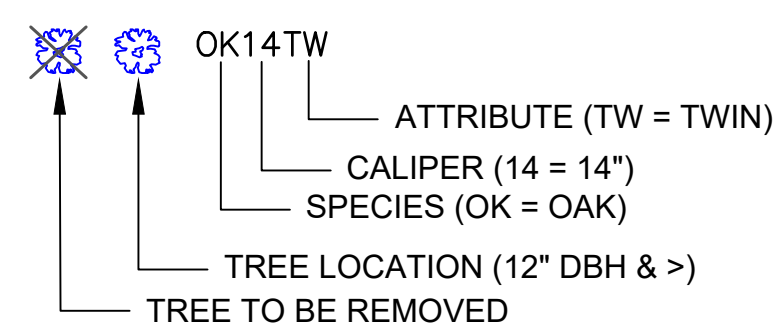
Driveway Cross Section
NTS



DRIVEWAY PROFILES
SCALE 1"=30' HORIZONTAL
1"=3' VERTICAL

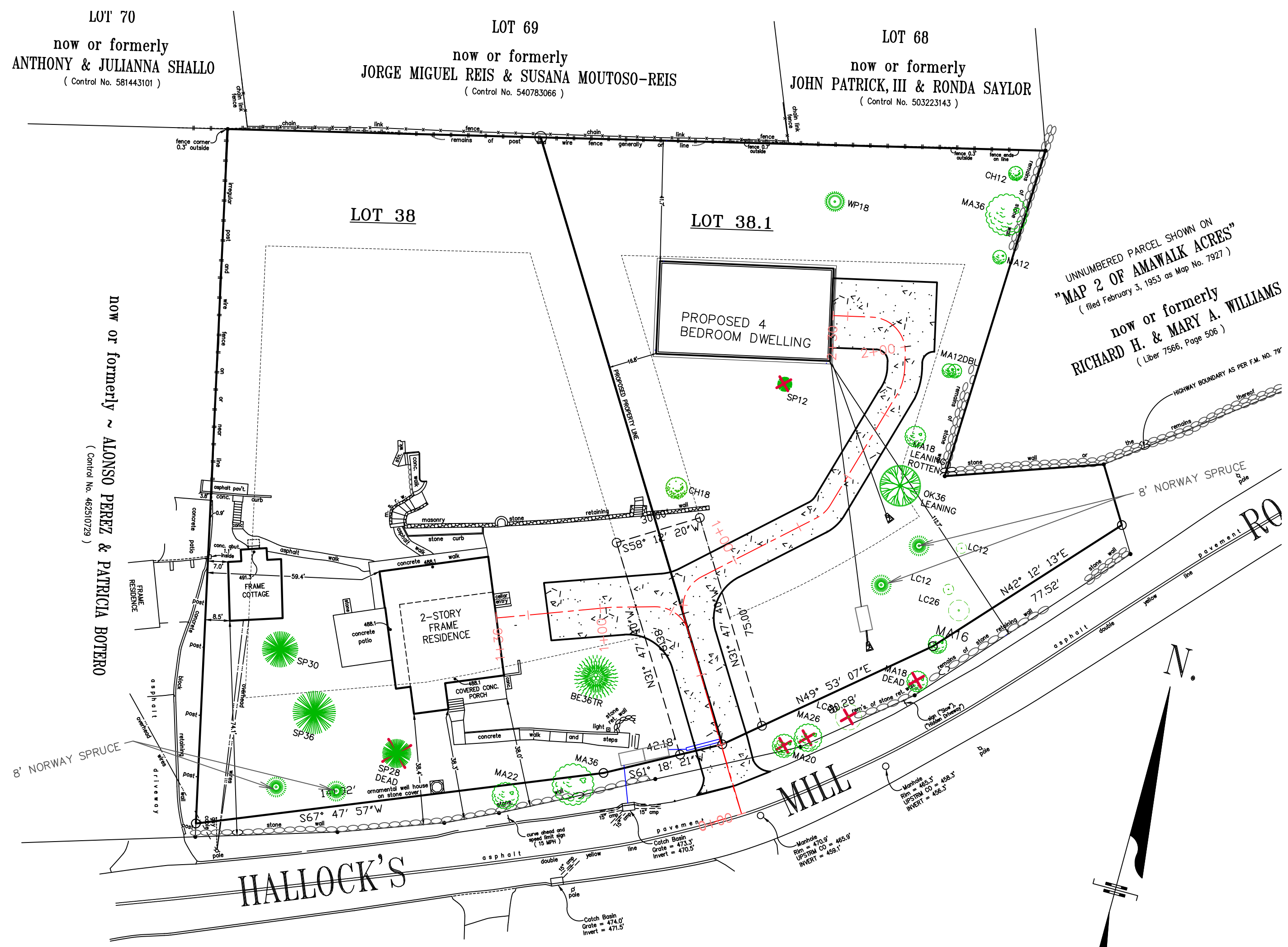


TREE LEGEND



KEY

- SPECIES**
 AL AILANTHUS LC LOCUST
 BE BEECH MA MAPLE
 BI BIRCH OK OAK
 CH CHERRY WP WHITE PINE
 SP NORWAY SPRUCE
- ATTRIBUTES**
 TR TRIPLE
 *TW TWIN
 IV INVASIVE
 *DOUBLE TREES ARE THOSE WHERE THE TRUNK SPLITS AT 4.5' OR HIGHER, TWIN TREES ARE THOSE WHERE IT SPLITS BELOW 4.5'.



TREE MITIGATION PLAN
SCALE 1"=50'

TREE MITIGATION SCHEDULE				
TREE TO BE REMOVED	CONDITION	LOCATION	MITIGATION REQUIRED	MITIGATION PROPOSED
12" SPRUCE	HEALTHY	PROPOSED DWELLING	YES	(4) NORWAY SPRUCE
18" MAPLE	DEAD	SIGHT LINE CLEARING	NO	NONE
30" LOCUST	FAIR	SIGHT LINE CLEARING	YES	TREE BANK FUND PAYMENT
26" MAPLE	FAIR	SIGHT LINE CLEARING	YES	TREE BANK FUND PAYMENT
20" MAPLE	FAR	SIGHT LINE CLEARING	YES	TREE BANK FUND PAYMENT
28" SPRUCE	DEAD	SIDE YARD	NO	NONE

(6) TREES TOTAL TO BE REMOVED

- GENERAL NOTES:**
- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
 - ZONING DISTRICT - R 1-20: 1 FAMILY (20,000 SQ.FT)
 - TAX MAP PARCEL # 37.10-1-38

REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING MEMO	SKB	12/14/20
2	ENGINEERING REVISIONS	SKB	01/20/21
3	ENGINEERING REVISIONS	SKB	12/06/21
4	ENGINEERING REVISIONS	SKB	02/23/22

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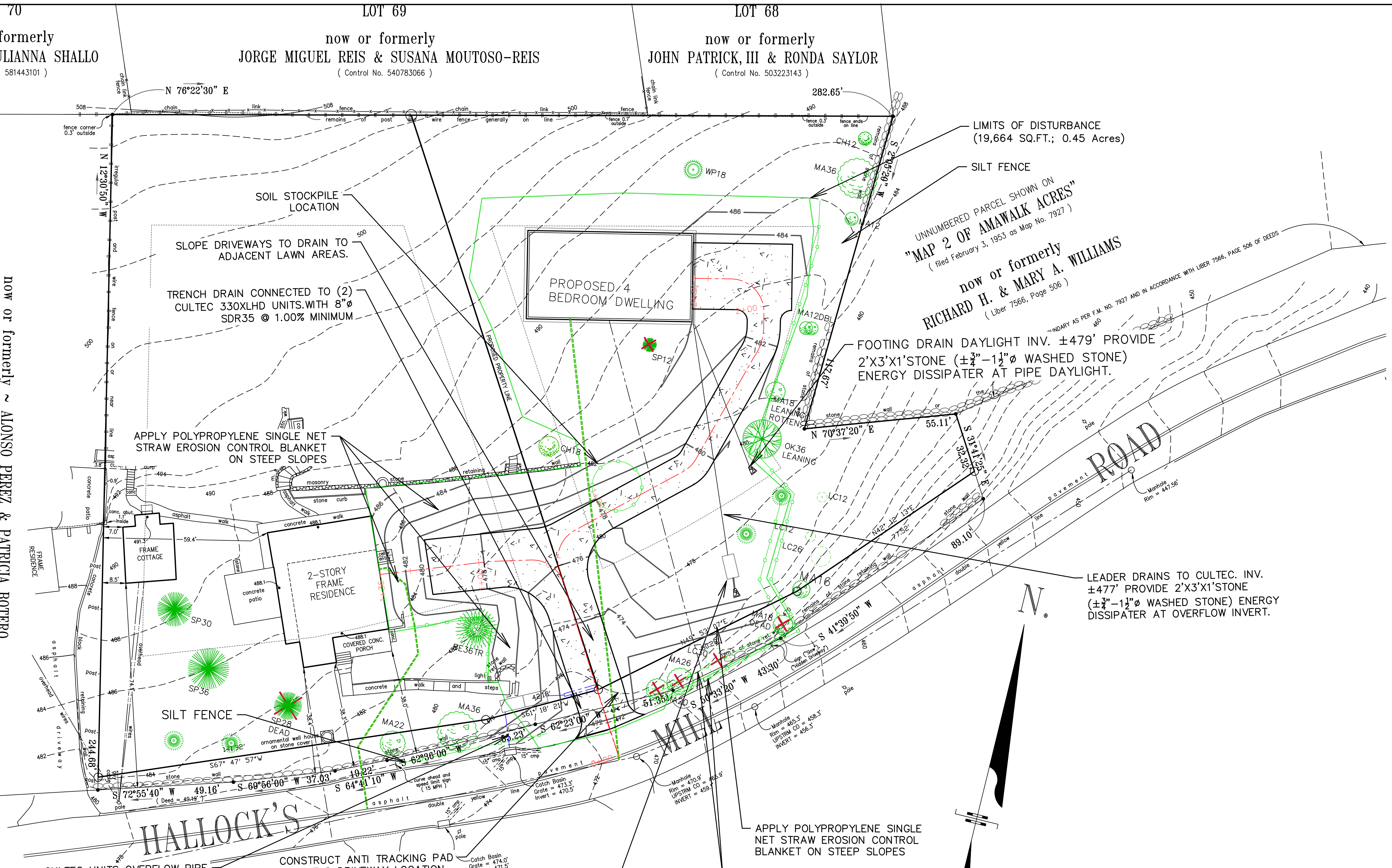


DRIVEWAY PROFILES/ TREE MITIGATION PLAN 379 HALLOCKS MILL ROAD TAX MAP # 37.10-1-38

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Beacon, New York 12508 FAX: 845-546-6613
SBurns@BurnsEngineeringServices.com

"SUBDIVISION PLAN FOR 379 HALLOCKS MILL ROAD" TOWN OF YORKTOWN WESTCHESTER COUNTY, NY

DATE: 08/04/20 SCALE: **SHEET**
DRAWN BY: SKB **3 OF 5**



LIMITS OF DISTURBANCE
(19,664 SQ.FT.; 0.45 Acres)

SILT FENCE

UNNUMBERED PARCEL SHOWN ON
"MAP 2 OF AMAWALK ACRES"
(filed February 3, 1953 as Map No. 7927)

now or formerly
RICHARD H. & MARY A. WILLIAMS
(Liber 7566, Page 506)

FOOTING DRAIN DAYLIGHT INV. ±479' PROVIDE
2'X3'X1'STONE (±3"-1 1/2"Ø WASHED STONE)
ENERGY DISSIPATER AT PIPE DAYLIGHT.

LEADER DRAINS TO CULTEC. INV. ±477' PROVIDE 2'X3'X1'STONE
(±3"-1 1/2"Ø WASHED STONE) ENERGY
DISSIPATER AT OVERFLOW INVERT.

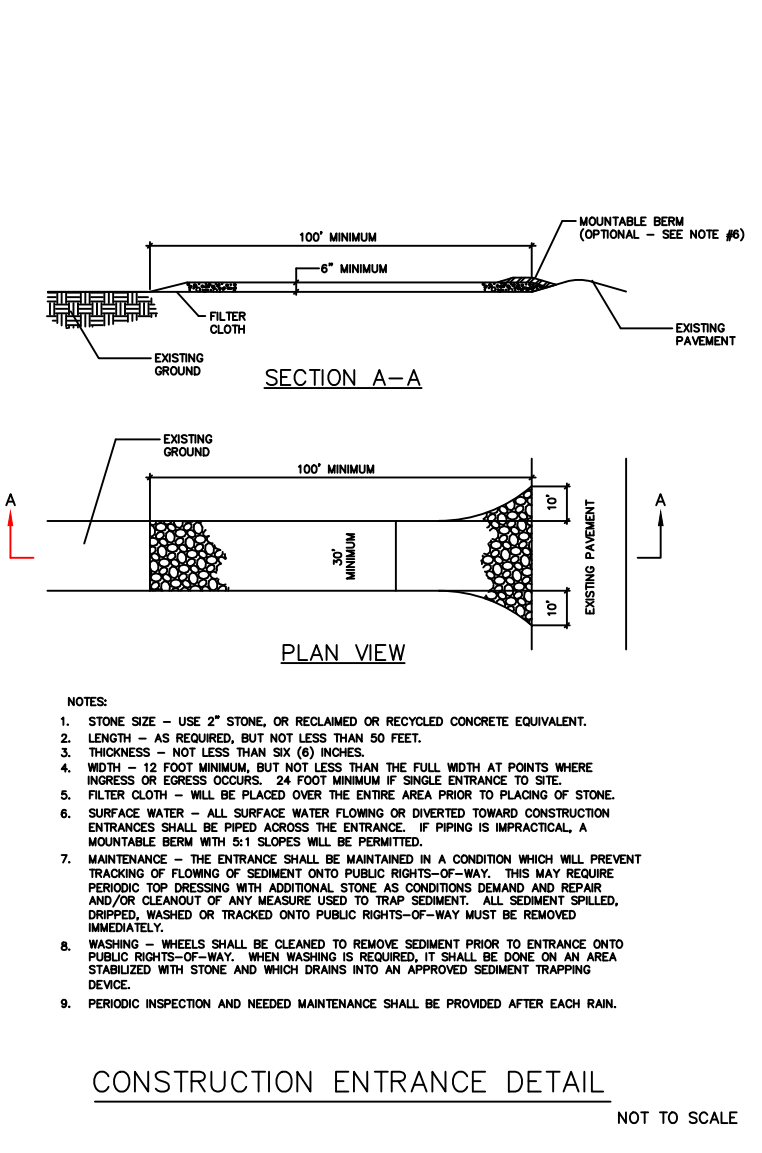
EROSION AND SEDIMENT CONTROL PLAN
SCALE 1"=20'

CULTEC UNITS OVERFLOW PIPE
CONNECTED TO EXISTING TOWN
CATCHBASIN WITH 8"Ø SDR35 @
1.00% MINIMUM

CONSTRUCT ANTI TRACKING PAD
IN LOT 2 DRIVEWAY LOCATION.

CULTEC 330XLHD UNIT FOR LEADER
DRAINS. PROVIDE OVERFLOW TO DAYLIGHT.

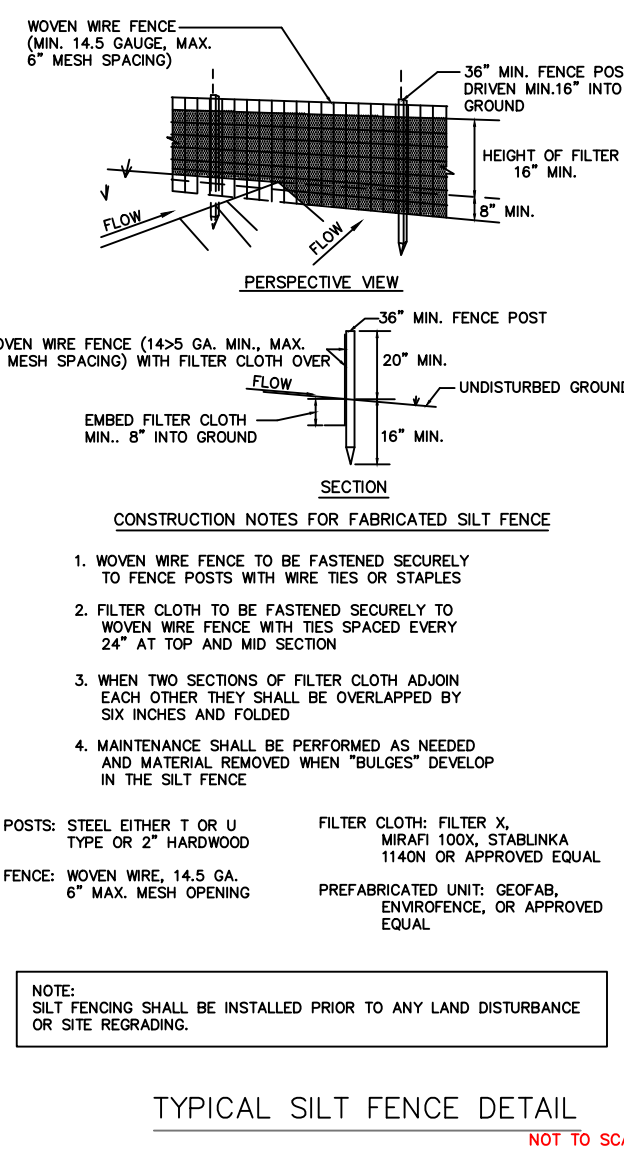
APPLY POLYPROPYLENE SINGLE
NET STRAW EROSION CONTROL
BLANKET ON STEEP SLOPES



CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

- SEEDING & MULCHING NOTES**
- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CANNOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
 - SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND GATHERING.
 - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDING WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:

KENTUCKY BLUEGRASS	40%
GREENING SEED FESCUE	40%
RYE GRASS	20%
 - GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE HYDRO SEEDING SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
 - SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SOON THAT IT FORMS A CONTINUOUS BLANKET.
 - SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 - CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR OVERT SURFACE WATER ONTO ADJOINING PROPERTIES.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
 - THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE REQUIRED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.
 - ALL AREAS OF DISTURBANCE IN EXCESS OF 7% SHALL HAVE TEMPORARY SEEDING OF FAST GERMINATION RYE GRASS, 1 TO 1.5 LBS PER 1,000 SQ.FT. APPLIED IF LEFT UNDISTURBED FOR 14 OR MORE DAYS.



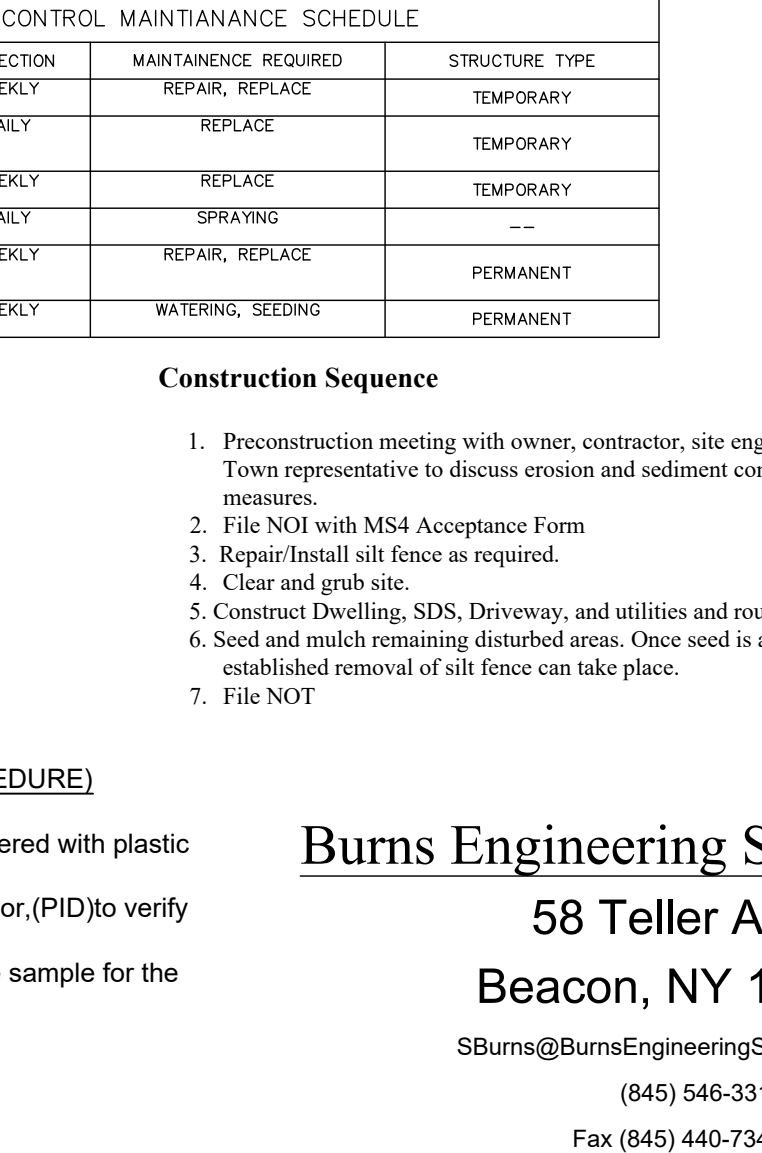
TYPICAL SILT FENCE DETAIL
NOT TO SCALE

SITE WORK CUT/FILL

CUT = ±300 CUBIC YARDS
FILL = ±125 CUBIC YARDS

SITE TOTAL CUT ±175 CUBIC YARDS
MATERIAL TO BE HAULED OFFSITE

- Stormwater Control Maintenance Schedule**
- | STRUCTURE | INSPECTION | MAINTENANCE REQUIRED | STRUCTURE TYPE |
|----------------------------------|------------|----------------------|----------------|
| SILT FENCE | WEEKLY | REPAIR, REPLACE | TEMPORARY |
| STABILIZED CONSTRUCTION ENTRANCE | DAILY | REPLACE | TEMPORARY |
| CHECK DAM | WEEKLY | REPLACE | TEMPORARY |
| DUST | DAILY | SPRAYING | --- |
| RIPRAP OUTLET/OVERFLOW | WEEKLY | REPAIR, REPLACE | PERMANENT |
| VEGETATION ESTABLISHMENT | WEEKLY | WATERING, SEEDING | PERMANENT |
- Construction Sequence**
- Preconstruction meeting with owner, contractor, site engineers, and Town representative to discuss erosion and sediment control measures.
 - File NOI with MS4 Acceptance Form
 - Repair/Install silt fence as required.
 - Clear and grub site.
 - Construct Dwelling, SDS, Driveway, and utilities and rough grade site
 - Seed and mulch remaining disturbed areas. Once seed is at least 80% established removal of silt fence can take place.
 - File NOI
- Erosion Control Maintenance Plan (During Construction)**
- Silt Fence shall be installed prior to construction activity.
 - Any vegetated area that has eroded as a result of runoff shall be filled, fertilized, reseeded and mulched to maintain a vigorous cover.
 - Sediment will be removed from behind silt fence when the level of sediment reaches 0.5 feet. Any damaged silt fence shall be replaced.
 - All other erosion control devices shall be maintained and repairs made as necessary to insure proper operation of the erosion control device.
- Petroleum Contaminated Soil Remediation (EMERGENCY SPILL CLEANUP PROCEDURE)**
- IF A SPILL OCCURS:
- Excavate all visibly impacted media and temporarily stockpile it onsite, (on and covered with plastic sheeting) in advance of final disposition if required.
 - Field screening of the excavation with a properly calibrated Photo-ionization Detector (PID) to verify removal of all contaminated soils.
 - Collect a soil sample for laboratory analysis of confirmatory soil as well as a profile sample for the disposal facility.
 - Use a Licensed transporter to haul and dispose of PSC.
 - Prepare and submit a "Spill Closure Report" to the NYSDEC



PERSPECTIVE VIEW

GENERAL NOTES:

- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
- ZONING DISTRICT - R 1-20; 1 FAMILY (20,000 SQ.FT)
- TAX MAP PARCEL # 37.10-1-38

REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING MEMO	SKB	12/14/20
2	ENGINEERING REVISIONS	SKB	01/20/21
3	ENGINEERING REVISIONS	SKB	12/06/21
4	ENGINEERING REVISIONS	SKB	02/23/22

Burns Engineering Services, P.C.
58 Teller Ave.
Beacon, NY 12508
SBurns@BurnsEngineeringServices.com
(845) 546-3310
Fax (845) 440-7343

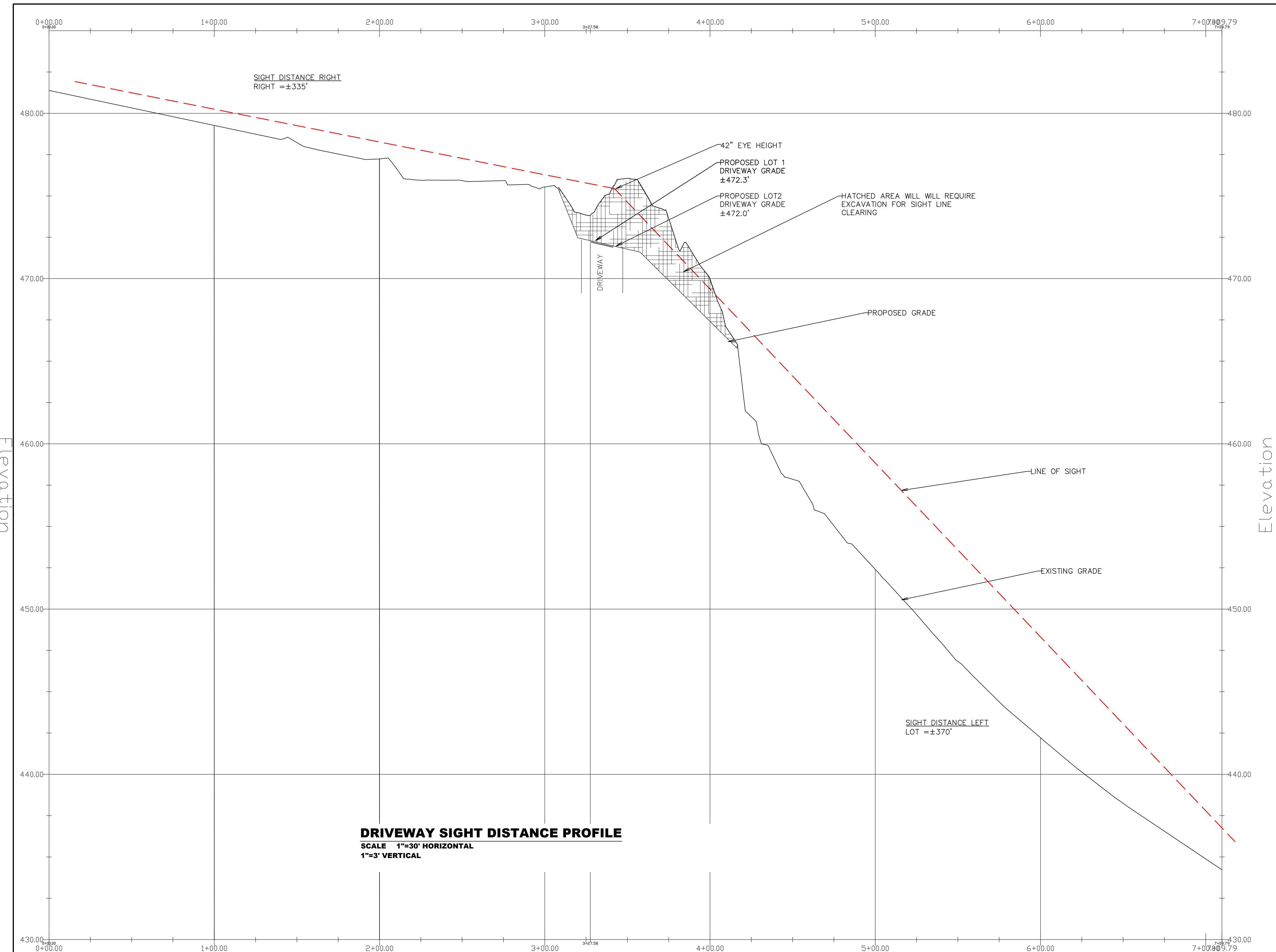


SWPPP
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

Burns Engineering Services, P.C.
58 Teller Avenue
Beacon, New York 12508
TEL: 845-546-3310
FAX: 845-546-6613
SBurns@BurnsEngineeringServices.com

"SUBDIVISION PLAN FOR 379 HALLOCKS MILL ROAD" TOWN OF YORKTOWN WESTCHESTER COUNTY, NY

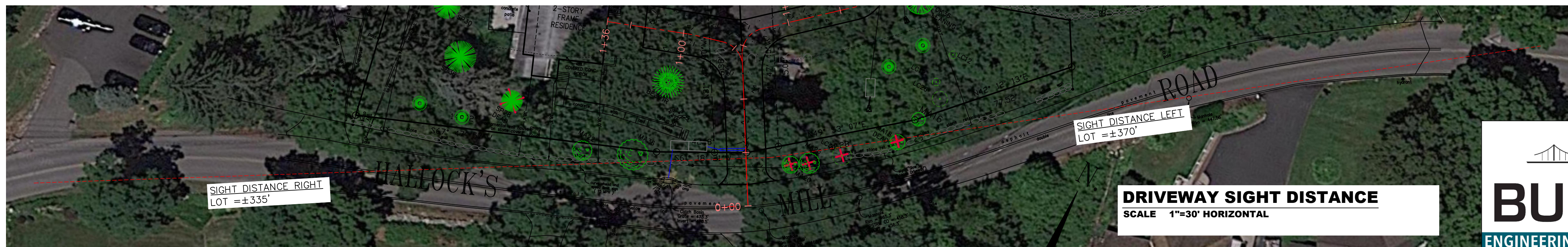
DATE: 08/04/20
SCALE: SHEET
DRAWN BY: SKB
4 OF 5



DRIVEWAY SIGHT DISTANCE PROFILE
 SCALE 1"=30' HORIZONTAL
 1"=3' VERTICAL

Burns Engineering Services, P.C.
 58 Teller Ave.
 Beacon, NY 12508
 SBurns@BurnsEngineeringServices.Com
 (845) 546-3310
 Fax (845) 440-7343

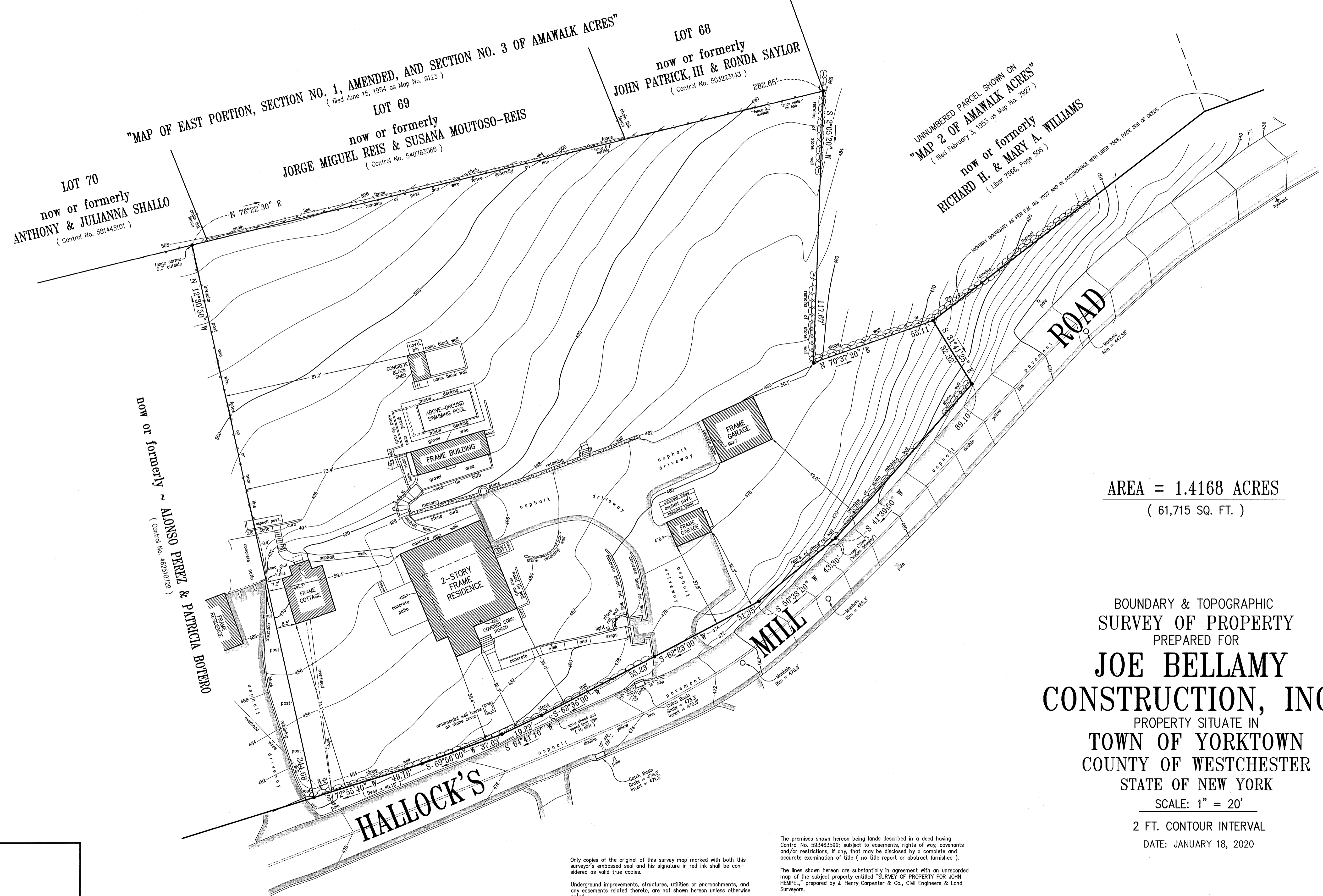
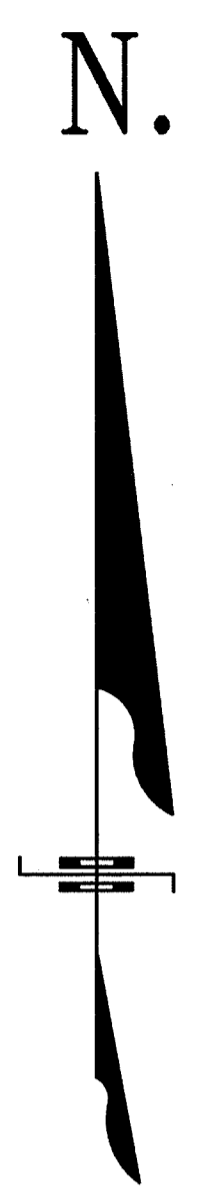
REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING REVISIONS	SKB	12/06/21
2	ENGINEERING REVISIONS	SKB	02/23/22
3			



DRIVEWAY SIGHT DISTANCE
 SCALE 1"=30' HORIZONTAL



SIGHT DISTANCE PROFILE 379 HALLOCKS MILL ROAD TAX MAP # 37.10-1-38	Burns Engineering Services, P.C. 58 Teller Avenue TEL:845-546-3310 Beacon, New York 12508 FAX:845-546-6613 SBurns@BurnsEngineeringServices.com	
	DATE: 04/21/21 DRAWN BY: SKB	SCALE: SHEET 5 OF 5



AREA = 1.4168 ACRES
(61,715 SQ. FT.)

BOUNDARY & TOPOGRAPHIC
SURVEY OF PROPERTY
PREPARED FOR
**JOE BELLAMY
CONSTRUCTION, INC.**
PROPERTY SITUATE IN
**TOWN OF YORKTOWN
COUNTY OF WESTCHESTER
STATE OF NEW YORK**
SCALE: 1" = 20'
2 FT. CONTOUR INTERVAL
DATE: JANUARY 18, 2020

The premises shown hereon may be affected by easements, rights of way, covenants, restrictions and conveyances not specifically referenced or recited in documents furnished to this surveyor and, therefore, not reflected hereon. It is hereby advised that any parties with a current or potential interest in this property obtain proper assurances as to quality of title and access, permitted uses and pertinent environmental factors, if any, affecting this property prior to conveyance.

Alteration of this map by anyone other than the surveyor whose signature and embossed seal appears hereon, including any erasures, notations, additions or changes for building department or "survey inspection/affidavit" purposes, is an unauthorized and unintended use of this surveyor's work. The use of any such altered map, particularly for purposes of obtaining building permits, variances, certificates of occupancy, or for any use related to purchasing property and obtaining title insurance, is at the user's own risk and is not covered under any certification appearing hereon.

Certified, as noted and limited below, only to:
- JOE BELLAMY CONSTRUCTION, INC.

The surveyor's seal, signature and any certification appearing hereon signify that, to the best of his knowledge and belief, this survey was prepared in accordance with the minimum standards for land surveys as set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

Certifications shall run only to the person for whom this survey was prepared, and on his behalf, to the title company, lending institution and governmental agency listed hereon; said certifications are not intended to run to additional title companies, lending institutions, subsequent owners or future contract vendees.

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Prepared by:
Baxter Land Surveying, P.C.
855 Peekskill Hollow Road
Putnam Valley, New York 10579

Phone: (845) 621-8562 / (914) 962-2689

ROBERT E. BAXTER, P.L.S.
N.Y.S. Lic. No. 49434

Only copies of the original of this survey map marked with both this surveyor's embossed seal and his signature in red ink shall be considered as valid true copies.

Underground improvements, structures, utilities or encroachments, and any easements related thereto, are not shown hereon unless otherwise noted.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Sub-Division 2 of the New York State Education Law.

The premises shown hereon being lands described in a deed having Control No. 593463599; subject to easements, rights of way, covenants and/or restrictions, if any, that may be disclosed by a complete and accurate examination of title (no title report or abstract furnished).

The lines shown hereon are substantially in agreement with an unrecorded map of the subject property entitled "SURVEY OF PROPERTY FOR JOHN HEMPEL," prepared by J. Henry Carpenter & Co., Civil Engineers & Land Surveyors.

The topographic information shown hereon is based on an actual field survey, vertical datum is NAVD83, as established on this site by means of Real Time Kinematic GPS techniques, using positional correction data obtained by link to the NYS DOT CORS network.

Burns Engineering Services, P.C.

Stephen K. Burns, P.E..

Engineer's Report- Stormwater Pollution Prevention Plan -
(SWPPP)

for

379 Hallocks Mill Road
Town of Yorktown
Westchester County, New York

58 Teller Ave.
Beacon, NY 12508

(845) 546-3310
Fax: (845) 440-7343

Applicant
Jody Bellamy
2333 Willoway Street
Yorktown Heights, NY 12524



Prepared By:

Stephen K. Burns
58 Teller Ave.
Beacon, NY 12508

Date: August 4, 2020
December 12, 2020
December 2, 2021
February 23, 2022

Background

The subject parcel is a 1.42 acre parcel located on Hallocks Mill Road in the Town of Yorktown; Westchester County; New York. The site is occupied by a single family dwelling with a frame cottage (accessory apartment) along with various other out buildings. It is proposed to subdivide the parcel into two residential lots one with the existing house and frame cottage and the other for an additional single family dwelling connecting to Town Sewage and water facilities is proposed to be constructed on the new site.

Existing conditions

The parcel is located on the north side of Hallocks Mill Hill Road and has an existing house on the parcel along with a frame cottage, pool with pool house, shed, and two garages. The remainder of the site is maintained lawn. The parcel is located in a residential neighborhood with close neighbors but a small wooded area exists offsite on the parcel to the east.

The site is located in the Town of Yorktown which is a designated MS4 by the NYSDEC. The parcels are in the Peekskill Hollow Creek Watershed which drains directly to the Hudson River.

The site is comprised entirely of Paxton Soils per the NRCS Soil Survey.

Proposed Development

The 0.45 acres of the site that will be disturbed as part of this proposal will have the cover changed from the existing condition of mainly impervious areas into lawn and impervious area. The removal of the existing pavement for the driveway along with the garages and outbuildings will remove 7,394 square feet of impervious surfaces from the site.

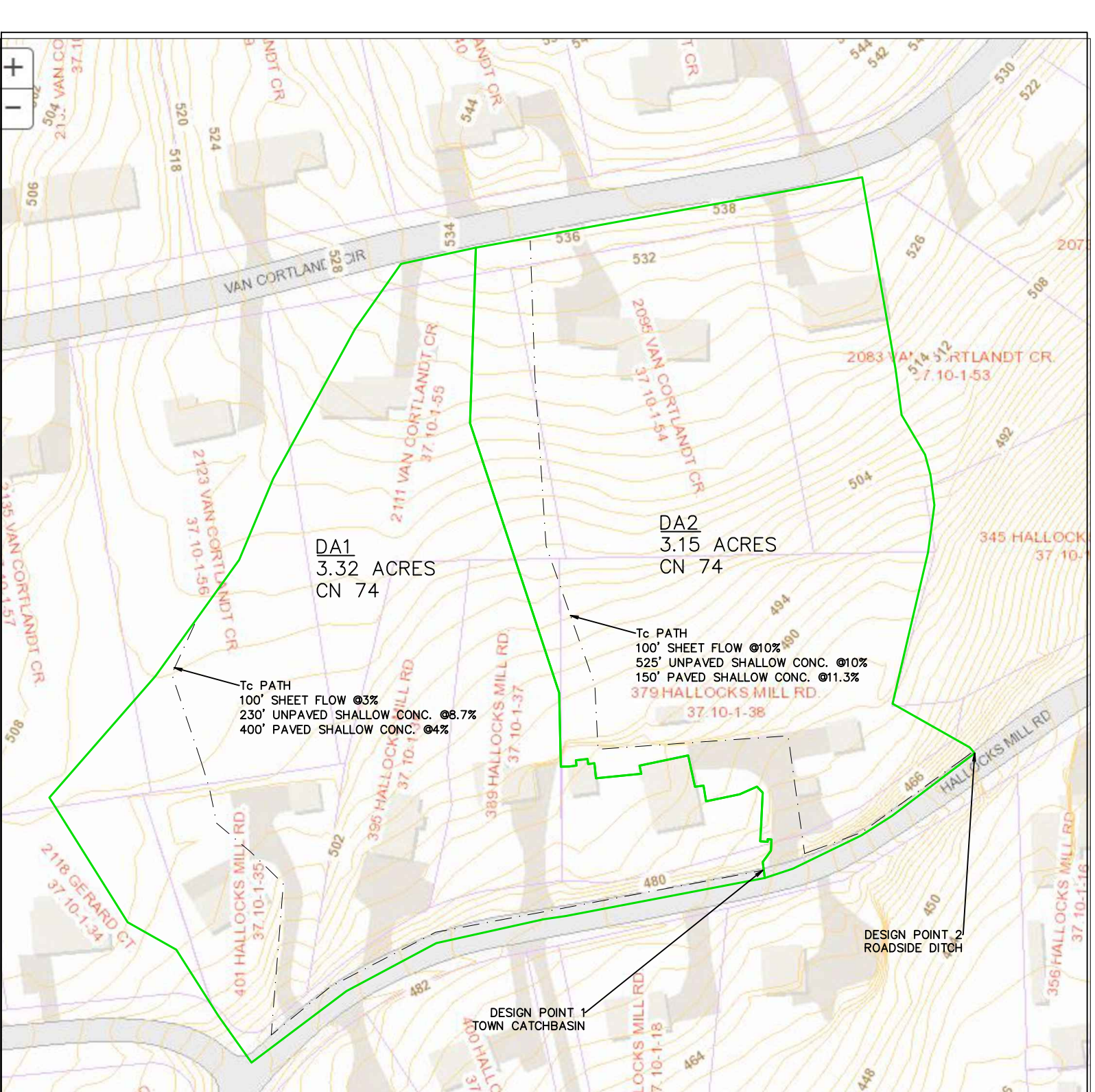
It is proposed to construct a new dwelling, sidewalks and the driveways for the existing and proposed lots and will be constructed within this limit of disturbance decreasing the amount of impervious surfaces onsite from the existing condition. The development will create 6,639 square feet of impervious area which is a reduction of 755 square feet of impervious. Pre Developed and Post Developed Hydrographs have been included with this report and show no change due to the small reduction in impervious area.

The leader drains on the proposed dwelling have been terminated into a infiltration unit with an overflow pipe in the front lawn. The driveway for the existing dwelling will have a trench drain connected to the adjacent catch basin while the

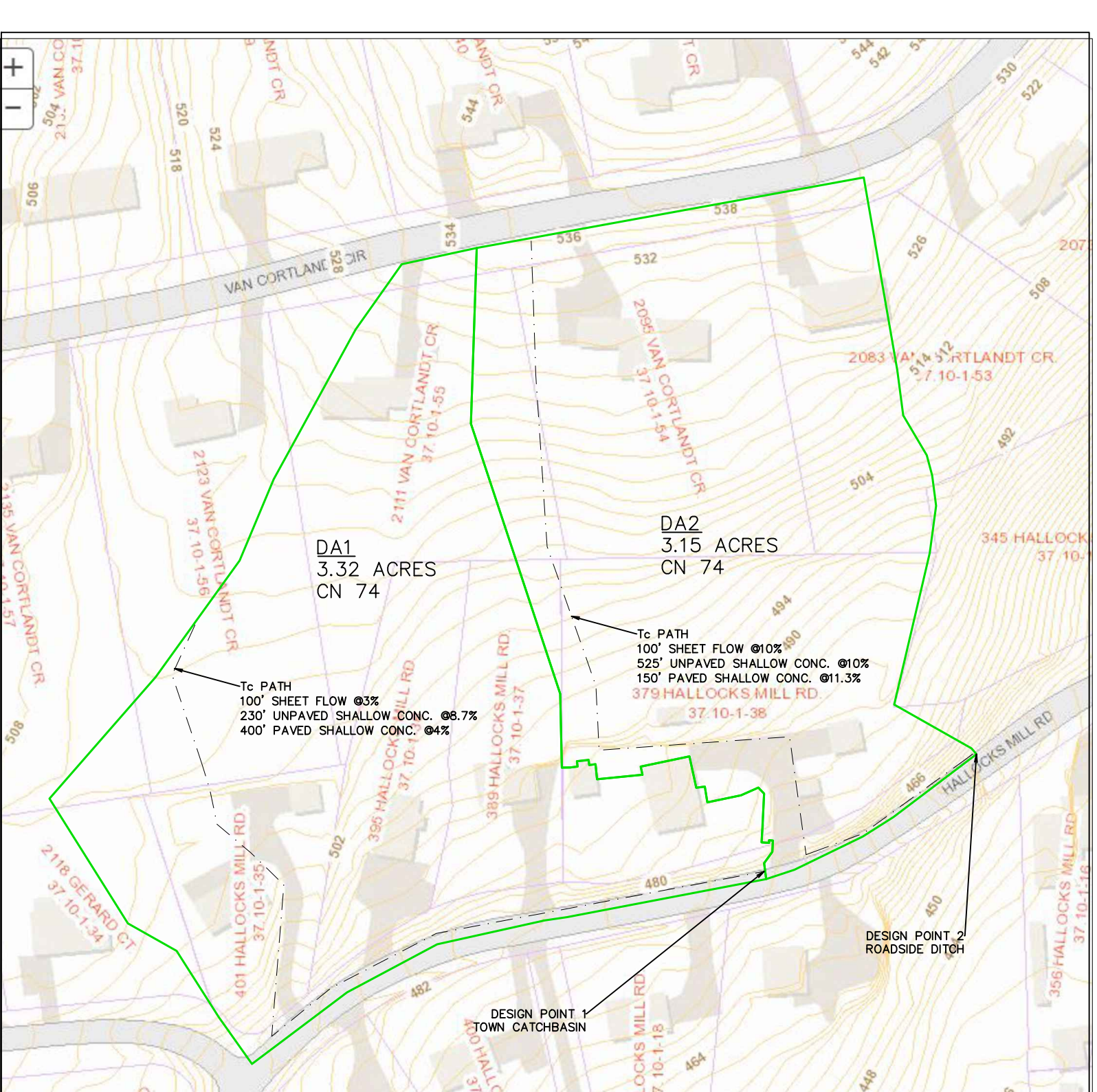
proposed lot 2 driveway will drain onto the lawn area by sloping the pavement to shed runoff.

Conclusion

A boundary and topographical survey, and any environmental concerns in the immediate area have been located on the plans along with Erosion Control, Stormwater Runoff control, and all proposed improvements. The changes in site ground cover along with the reduction of impervious surfaces will change the amount of runoff generated by the site. Reduction in impervious surfaces will reduce runoff from the site without additional mitigation but, to calm runoff from the proposed lot 1 driveway



PRE DRAINAGE AREA MAP
 SCALE 1"=100'



POST DRAINAGE AREA MAP
SCALE 1"=100'

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	3.365	3	729	13,749	-----	-----	-----	DA1 PRE
2	SCS Runoff	3.365	3	729	13,749	-----	-----	-----	DA1 Post
3	SCS Runoff	3.575	3	726	12,230	-----	-----	-----	DA2 PRE
4	SCS Runoff	3.575	3	726	12,230	-----	-----	-----	DA2 POST

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

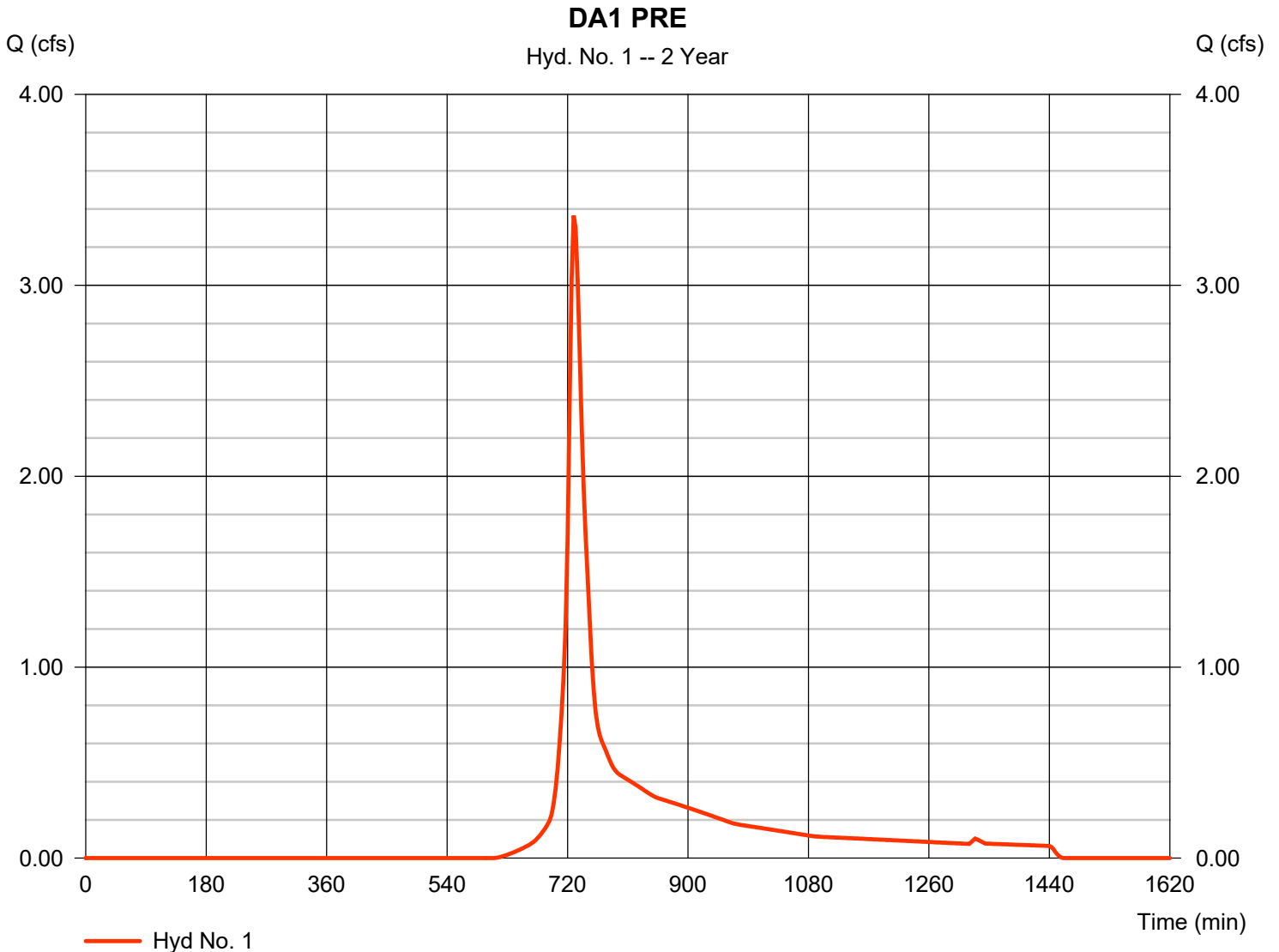
Wednesday, 02 / 23 / 2022

Hyd. No. 1

DA1 PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 3.365 cfs
Storm frequency	= 2 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 13,749 cuft
Drainage area	= 3.320 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 14.80 min
Total precip.	= 3.10 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.370 x 98) + (2.950 x 74)] / 3.320



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 1

DA1 PRE

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.240	0.011	0.011	
Flow length (ft)	= 100.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 3.10	0.00	0.00	
Land slope (%)	= 3.00	0.00	0.00	
Travel Time (min)	= 12.33	+ 0.00	+ 0.00	= 12.33
Shallow Concentrated Flow				
Flow length (ft)	= 230.00	400.00	0.00	
Watercourse slope (%)	= 8.70	4.00	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	=4.76	4.07	0.00	
Travel Time (min)	= 0.81	+ 1.64	+ 0.00	= 2.45
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	{{0}}0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				14.80 min

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

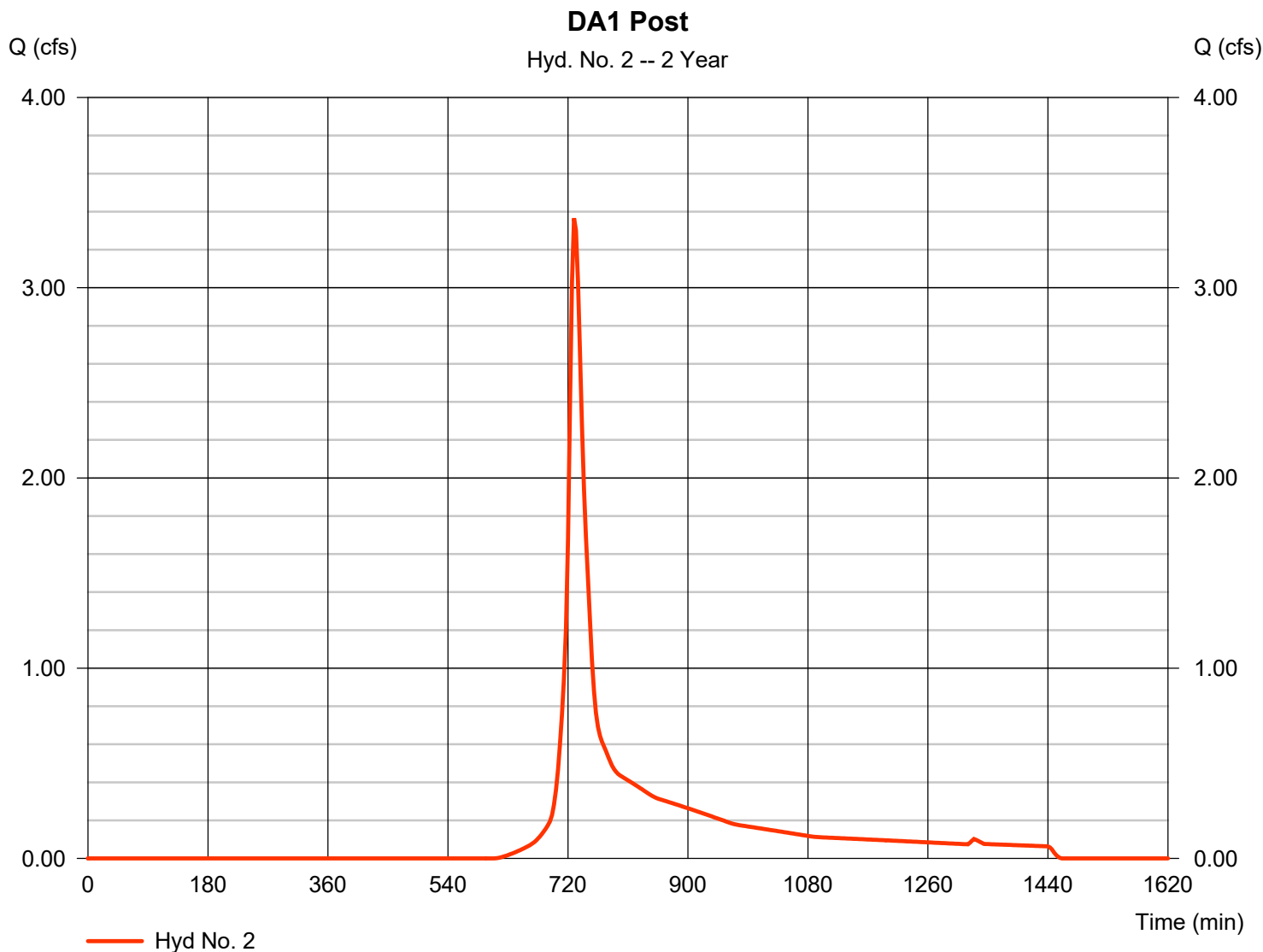
Wednesday, 02 / 23 / 2022

Hyd. No. 2

DA1 Post

Hydrograph type	= SCS Runoff	Peak discharge	= 3.365 cfs
Storm frequency	= 2 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 13,749 cuft
Drainage area	= 3.320 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 14.80 min
Total precip.	= 3.10 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.370 x 98) + (2.950 x 74)] / 3.320



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 2

DA1 Post

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.240	0.011	0.011	
Flow length (ft)	= 100.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 3.10	0.00	0.00	
Land slope (%)	= 3.00	0.00	0.00	
Travel Time (min)	= 12.33	+ 0.00	+ 0.00	= 12.33
Shallow Concentrated Flow				
Flow length (ft)	= 230.00	400.00	0.00	
Watercourse slope (%)	= 8.70	4.00	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	=4.76	4.07	0.00	
Travel Time (min)	= 0.81	+ 1.64	+ 0.00	= 2.45
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	({0})0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				14.80 min

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

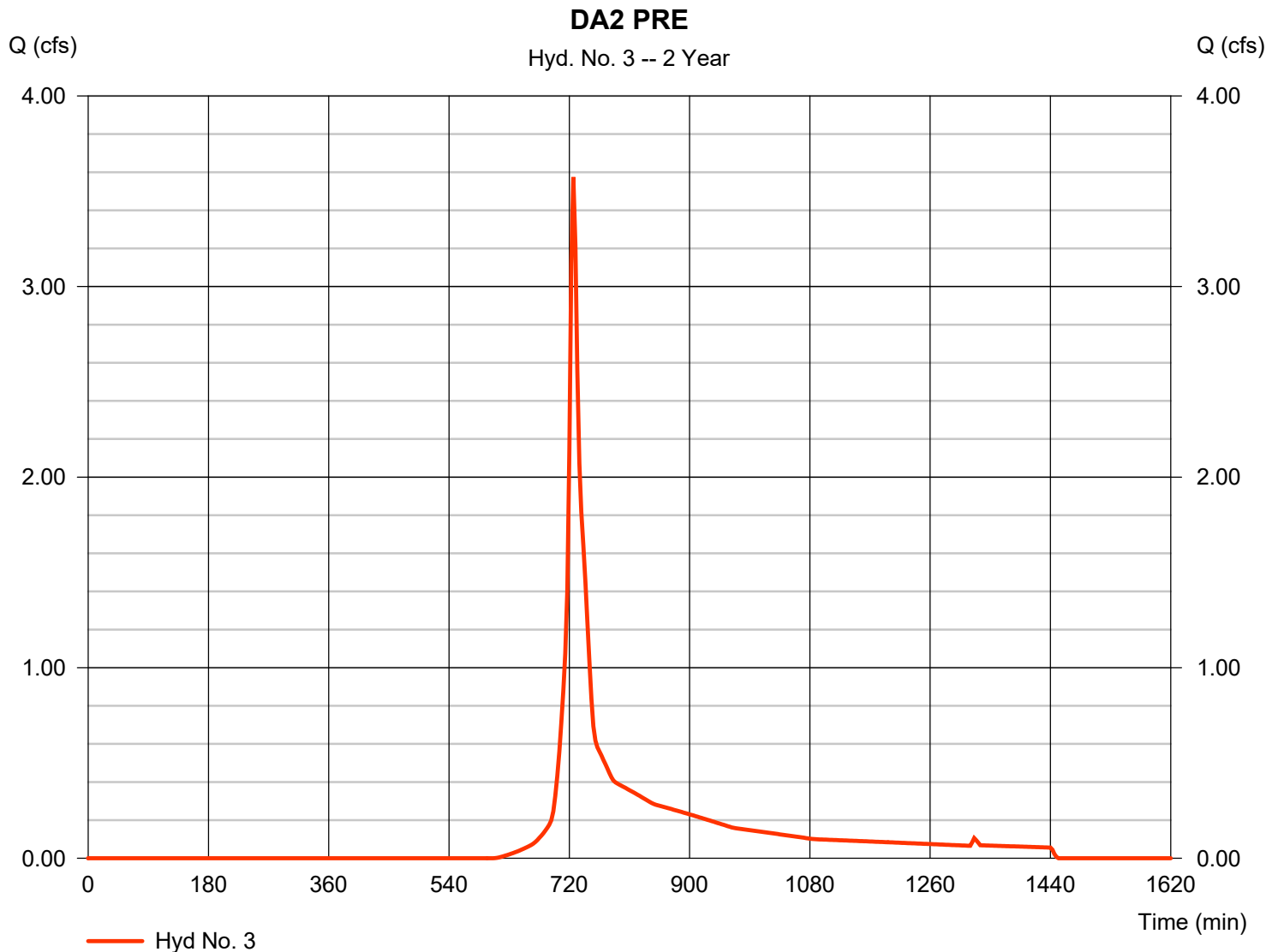
Wednesday, 02 / 23 / 2022

Hyd. No. 3

DA2 PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 3.575 cfs
Storm frequency	= 2 yrs	Time to peak	= 726 min
Time interval	= 3 min	Hyd. volume	= 12,230 cuft
Drainage area	= 3.150 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 9.70 min
Total precip.	= 3.10 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.360 x 98) + (2.790 x 74)] / 3.150



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 3

DA2 PRE

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.240	0.011	0.011	
Flow length (ft)	= 100.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 3.10	0.00	0.00	
Land slope (%)	= 10.00	0.00	0.00	
Travel Time (min)	= 7.62	+ 0.00	+ 0.00	= 7.62
Shallow Concentrated Flow				
Flow length (ft)	= 525.00	150.00	0.00	
Watercourse slope (%)	= 10.00	11.30	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	=5.10	6.83	0.00	
Travel Time (min)	= 1.71	+ 0.37	+ 0.00	= 2.08
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	{{0}}0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				9.70 min

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

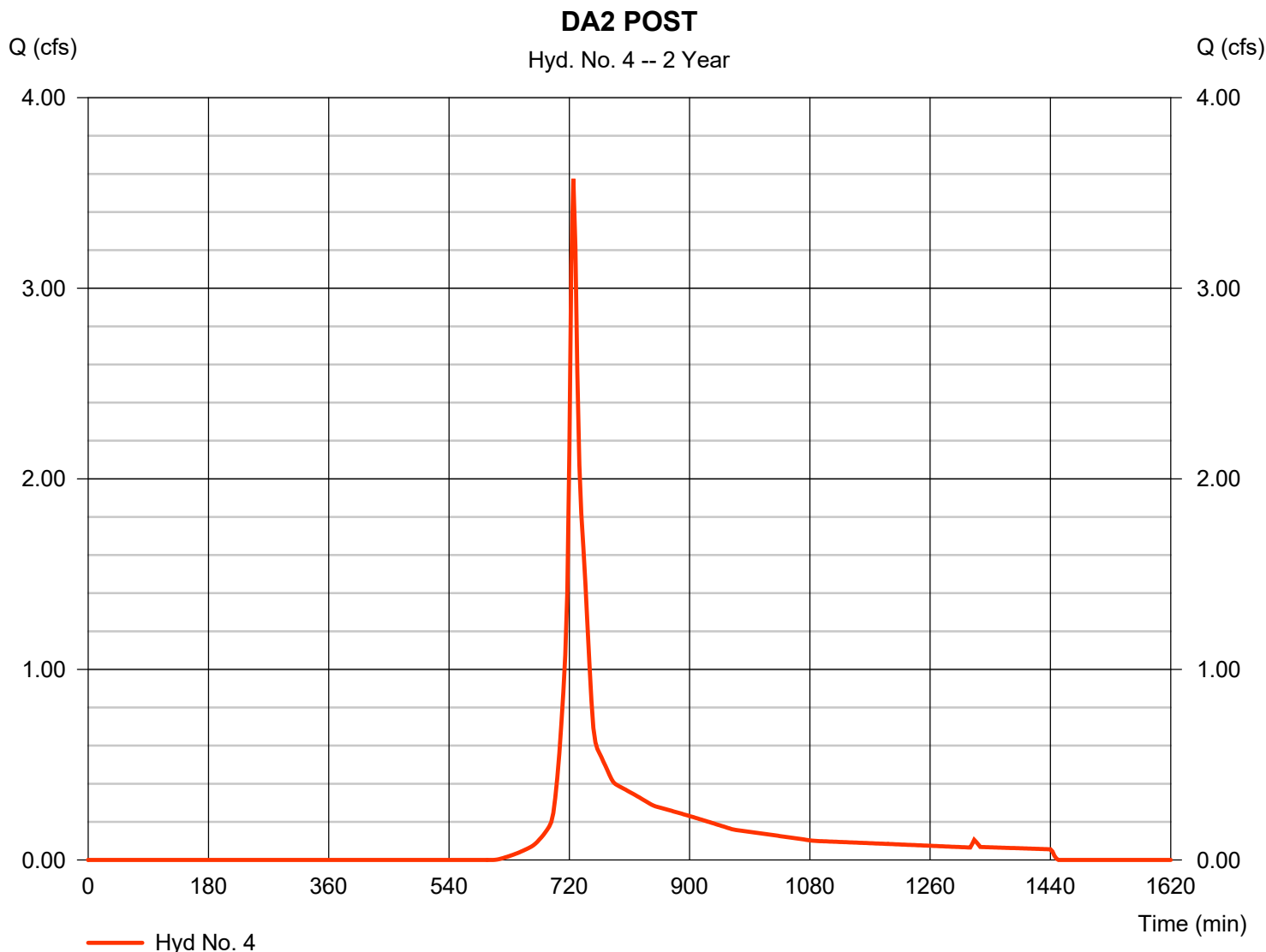
Wednesday, 02 / 23 / 2022

Hyd. No. 4

DA2 POST

Hydrograph type	= SCS Runoff	Peak discharge	= 3.575 cfs
Storm frequency	= 2 yrs	Time to peak	= 726 min
Time interval	= 3 min	Hyd. volume	= 12,230 cuft
Drainage area	= 3.150 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 9.70 min
Total precip.	= 3.10 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.347 x 98) + (2.803 x 74)] / 3.150



TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No. 4

DA2 POST

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
Sheet Flow				
Manning's n-value	= 0.240	0.011	0.011	
Flow length (ft)	= 100.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 3.10	0.00	0.00	
Land slope (%)	= 10.00	0.00	0.00	
Travel Time (min)	= 7.62	+ 0.00	+ 0.00	= 7.62
Shallow Concentrated Flow				
Flow length (ft)	= 525.00	150.00	0.00	
Watercourse slope (%)	= 10.00	11.30	0.00	
Surface description	= Unpaved	Paved	Paved	
Average velocity (ft/s)	=5.10	6.83	0.00	
Travel Time (min)	= 1.71	+ 0.37	+ 0.00	= 2.08
Channel Flow				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	{{0}}0.0	0.0	0.0	
Travel Time (min)	= 0.00	+ 0.00	+ 0.00	= 0.00
Total Travel Time, Tc				9.70 min

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	7.000	3	729	27,623	-----	-----	-----	DA1 PRE
2	SCS Runoff	7.000	3	729	27,623	-----	-----	-----	DA1 Post
3	SCS Runoff	7.381	3	726	24,571	-----	-----	-----	DA2 PRE
4	SCS Runoff	7.381	3	726	24,571	-----	-----	-----	DA2 POST
HYDRO GRAPHS.gpw					Return Period: 10 Year			Wednesday, 02 / 23 / 2022	

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

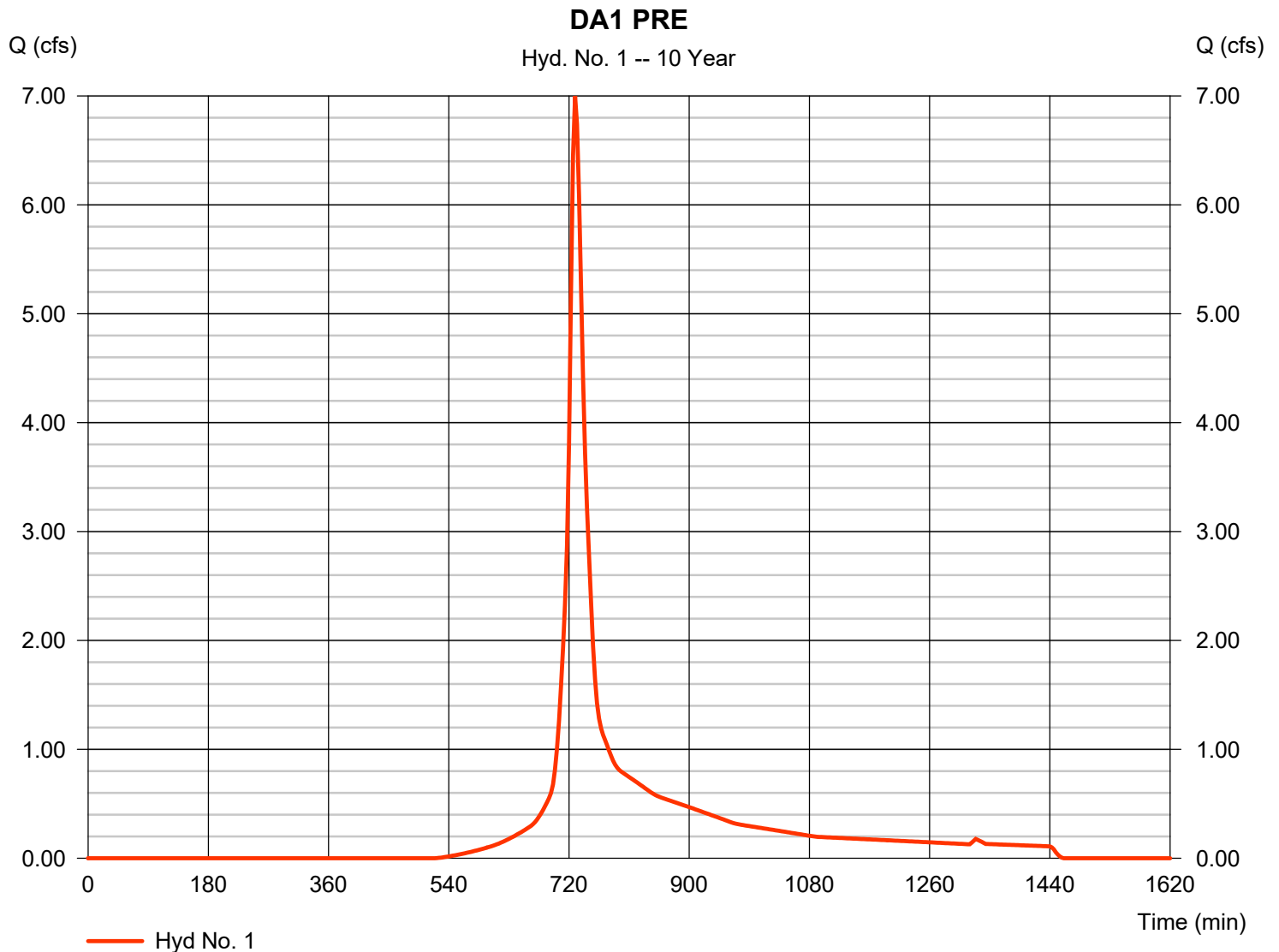
Wednesday, 02 / 23 / 2022

Hyd. No. 1

DA1 PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 7.000 cfs
Storm frequency	= 10 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 27,623 cuft
Drainage area	= 3.320 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 14.80 min
Total precip.	= 4.60 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.370 x 98) + (2.950 x 74)] / 3.320



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

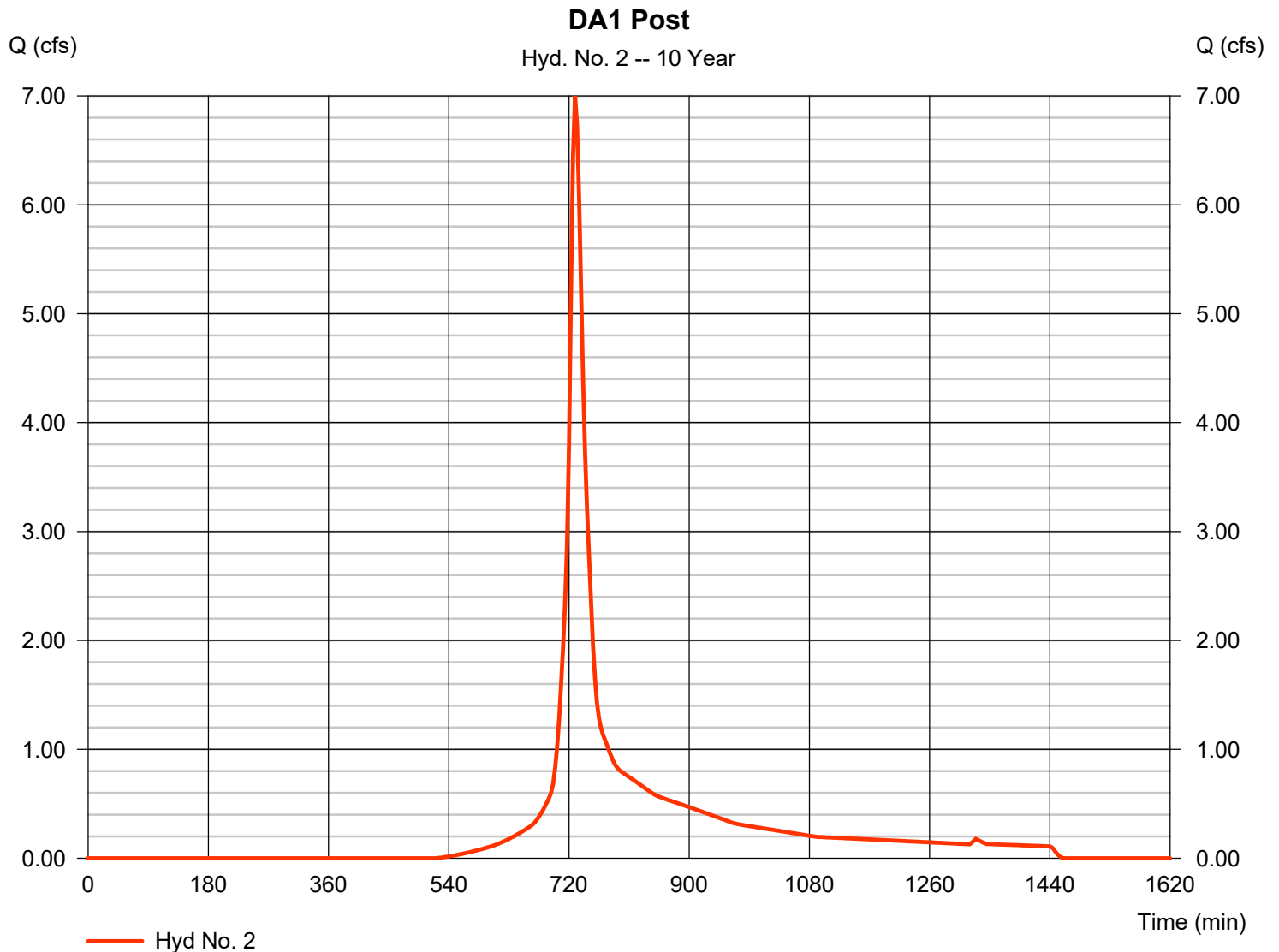
Wednesday, 02 / 23 / 2022

Hyd. No. 2

DA1 Post

Hydrograph type	= SCS Runoff	Peak discharge	= 7.000 cfs
Storm frequency	= 10 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 27,623 cuft
Drainage area	= 3.320 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 14.80 min
Total precip.	= 4.60 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.370 x 98) + (2.950 x 74)] / 3.320



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

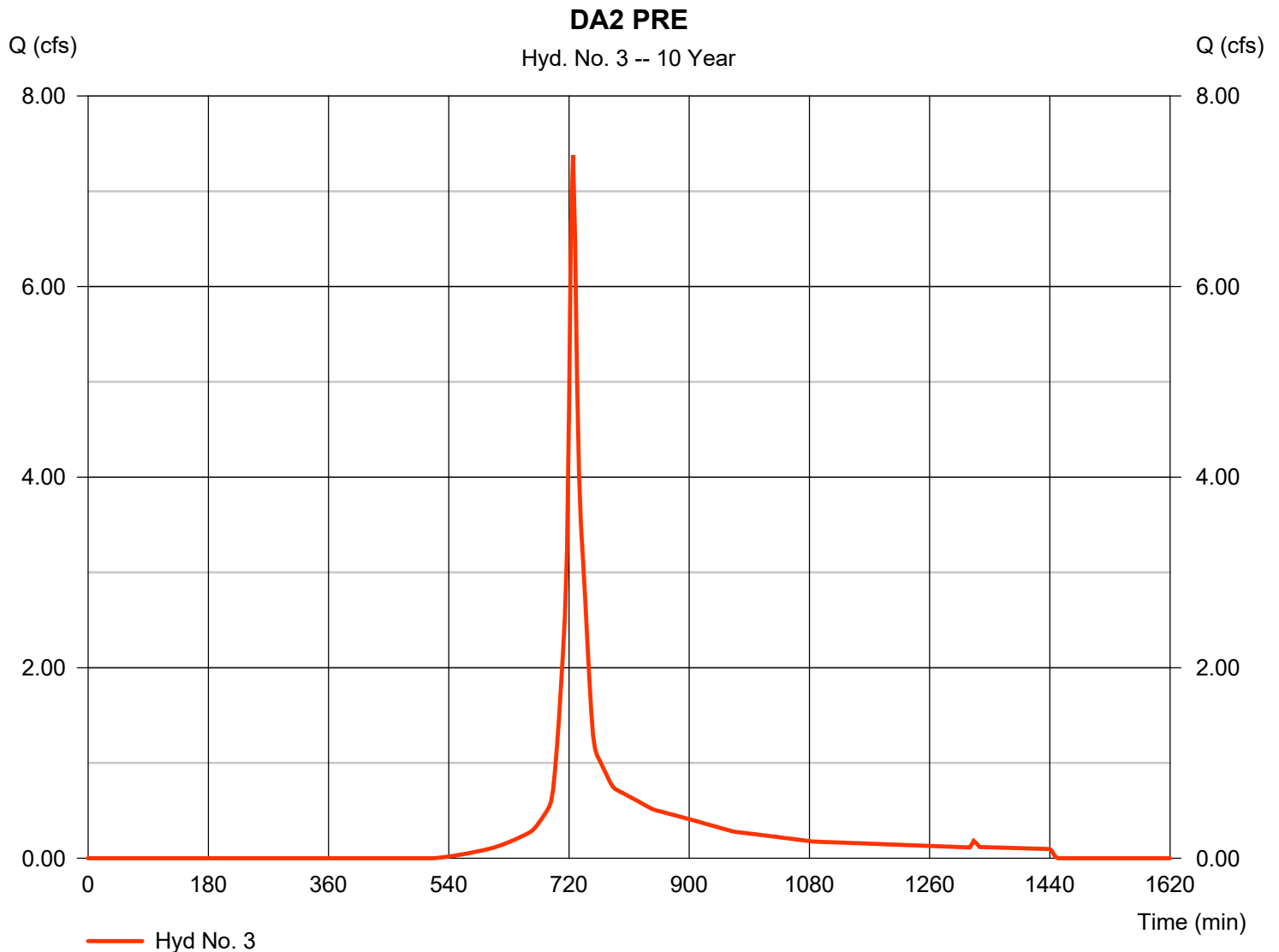
Wednesday, 02 / 23 / 2022

Hyd. No. 3

DA2 PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 7.381 cfs
Storm frequency	= 10 yrs	Time to peak	= 726 min
Time interval	= 3 min	Hyd. volume	= 24,571 cuft
Drainage area	= 3.150 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 9.70 min
Total precip.	= 4.60 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.360 x 98) + (2.790 x 74)] / 3.150



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

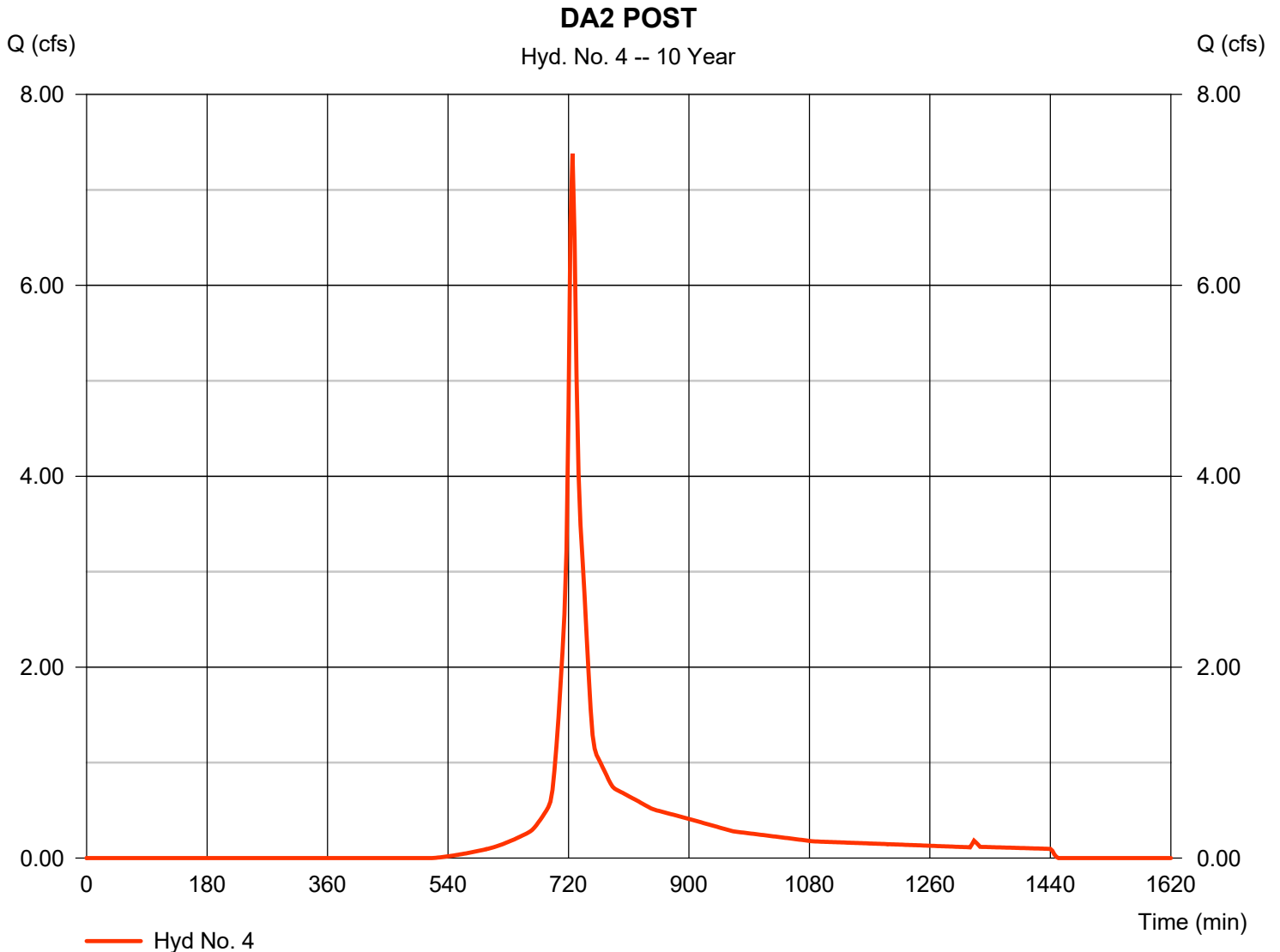
Wednesday, 02 / 23 / 2022

Hyd. No. 4

DA2 POST

Hydrograph type	= SCS Runoff	Peak discharge	= 7.381 cfs
Storm frequency	= 10 yrs	Time to peak	= 726 min
Time interval	= 3 min	Hyd. volume	= 24,571 cuft
Drainage area	= 3.150 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 9.70 min
Total precip.	= 4.60 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.347 x 98) + (2.803 x 74)] / 3.150



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	16.05	3	729	63,564	-----	-----	-----	DA1 PRE
2	SCS Runoff	16.05	3	729	63,564	-----	-----	-----	DA1 Post
3	SCS Runoff	16.82	3	726	56,540	-----	-----	-----	DA2 PRE
4	SCS Runoff	16.82	3	726	56,540	-----	-----	-----	DA2 POST
HYDRO GRAPHS.gpw					Return Period: 100 Year			Wednesday, 02 / 23 / 2022	

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

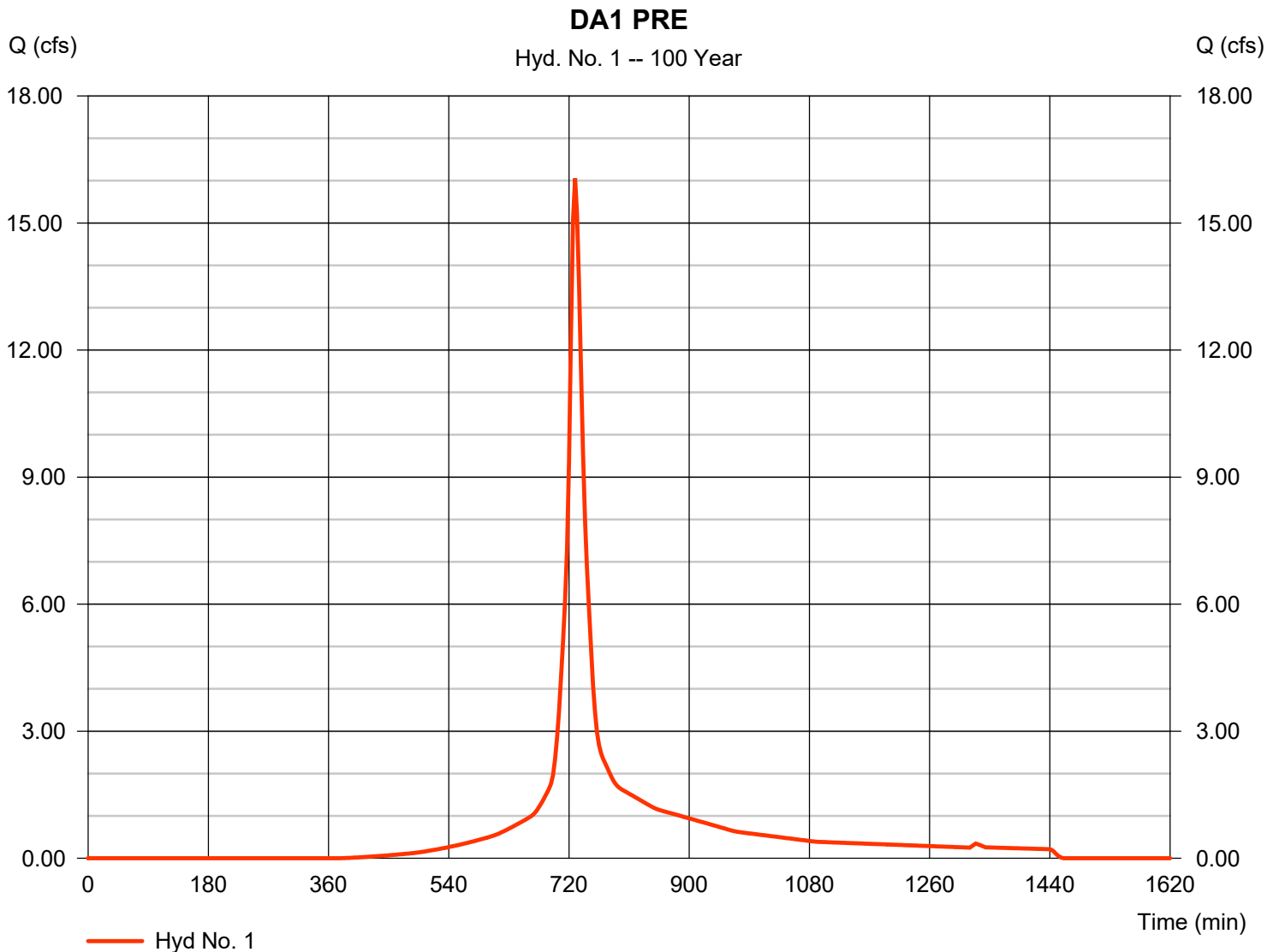
Wednesday, 02 / 23 / 2022

Hyd. No. 1

DA1 PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 16.05 cfs
Storm frequency	= 100 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 63,564 cuft
Drainage area	= 3.320 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 14.80 min
Total precip.	= 8.00 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.370 x 98) + (2.950 x 74)] / 3.320



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

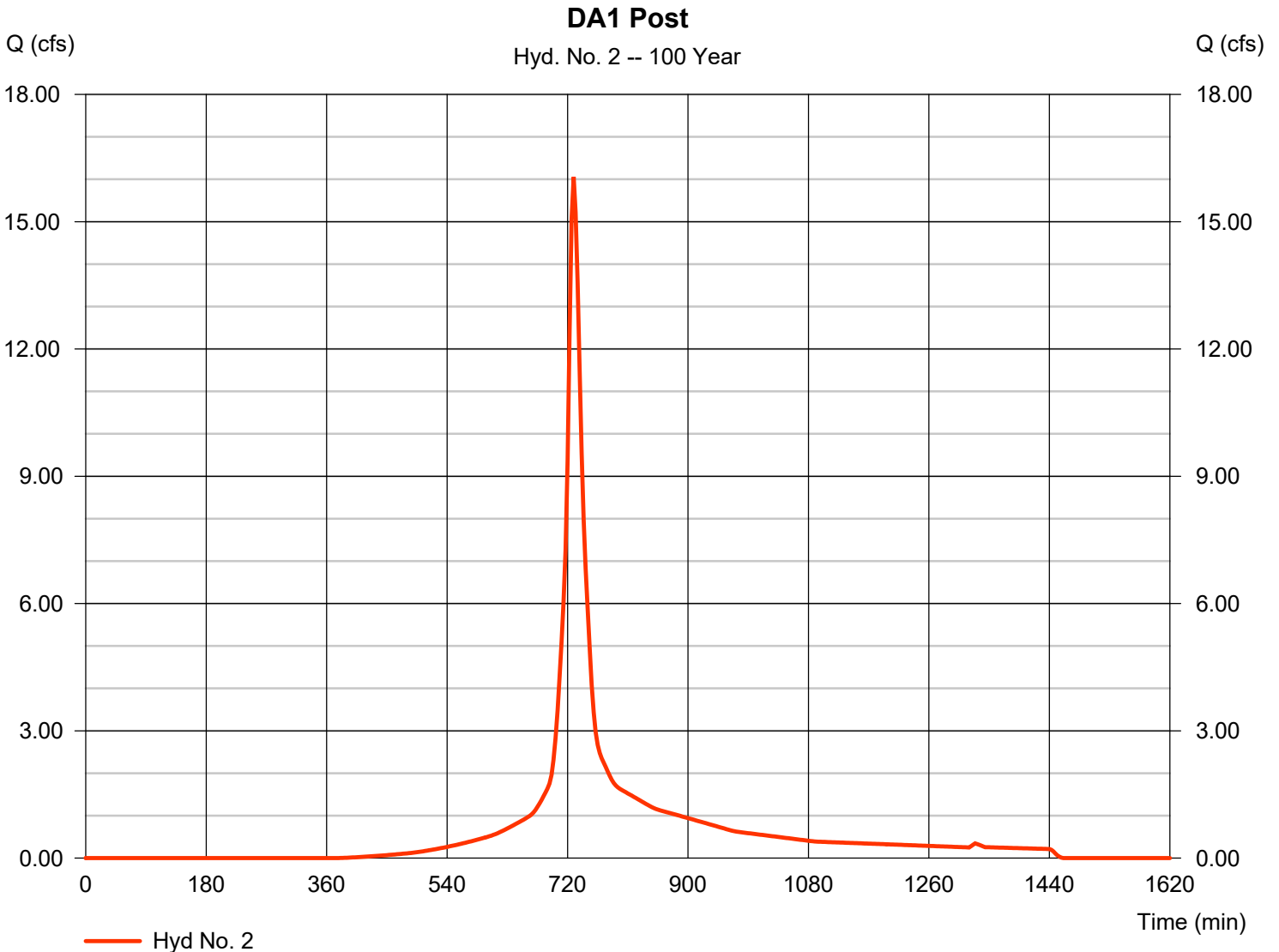
Wednesday, 02 / 23 / 2022

Hyd. No. 2

DA1 Post

Hydrograph type	= SCS Runoff	Peak discharge	= 16.05 cfs
Storm frequency	= 100 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 63,564 cuft
Drainage area	= 3.320 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 14.80 min
Total precip.	= 8.00 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.370 x 98) + (2.950 x 74)] / 3.320



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

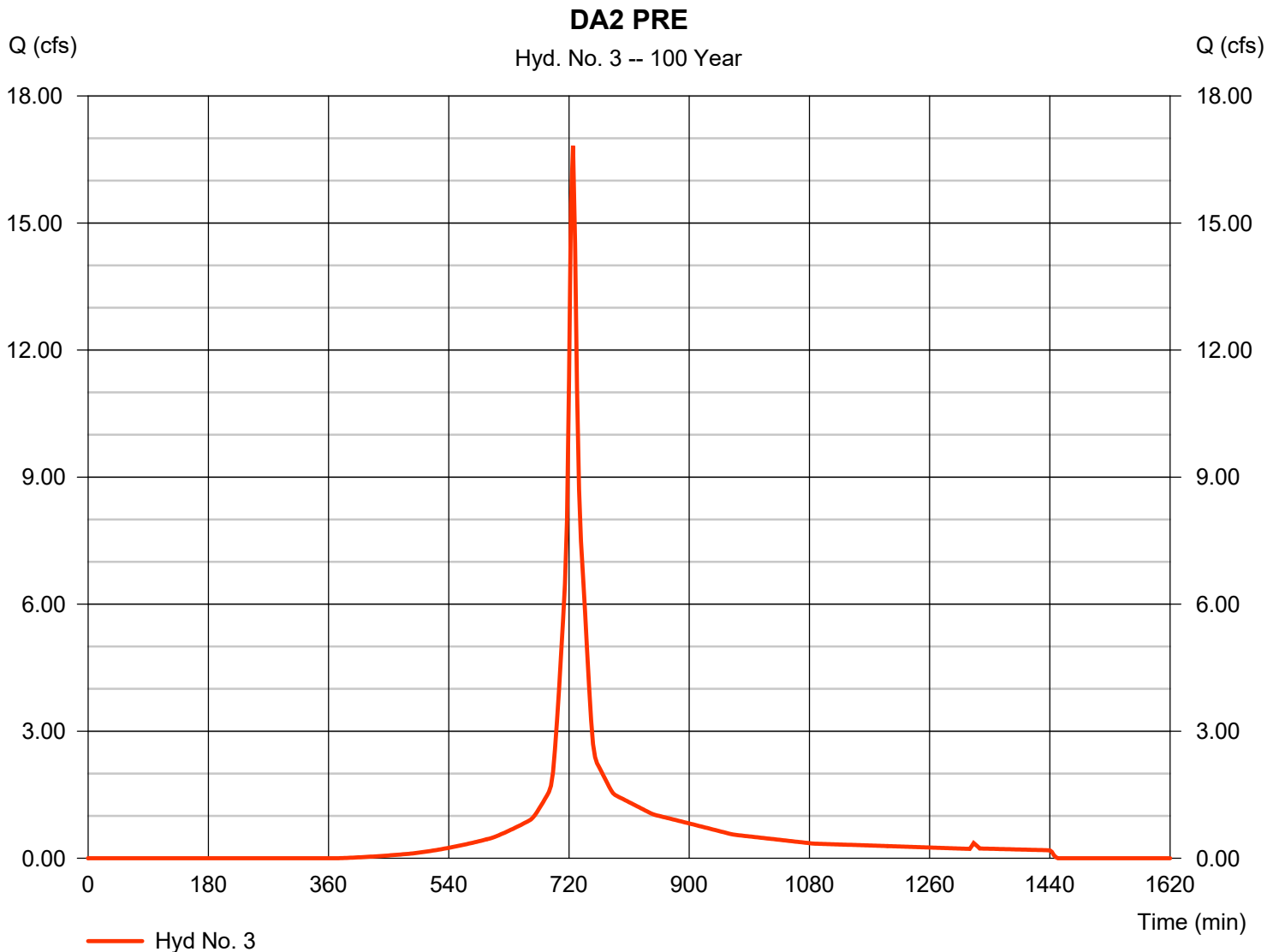
Wednesday, 02 / 23 / 2022

Hyd. No. 3

DA2 PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 16.82 cfs
Storm frequency	= 100 yrs	Time to peak	= 726 min
Time interval	= 3 min	Hyd. volume	= 56,540 cuft
Drainage area	= 3.150 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 9.70 min
Total precip.	= 8.00 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.360 x 98) + (2.790 x 74)] / 3.150



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2021

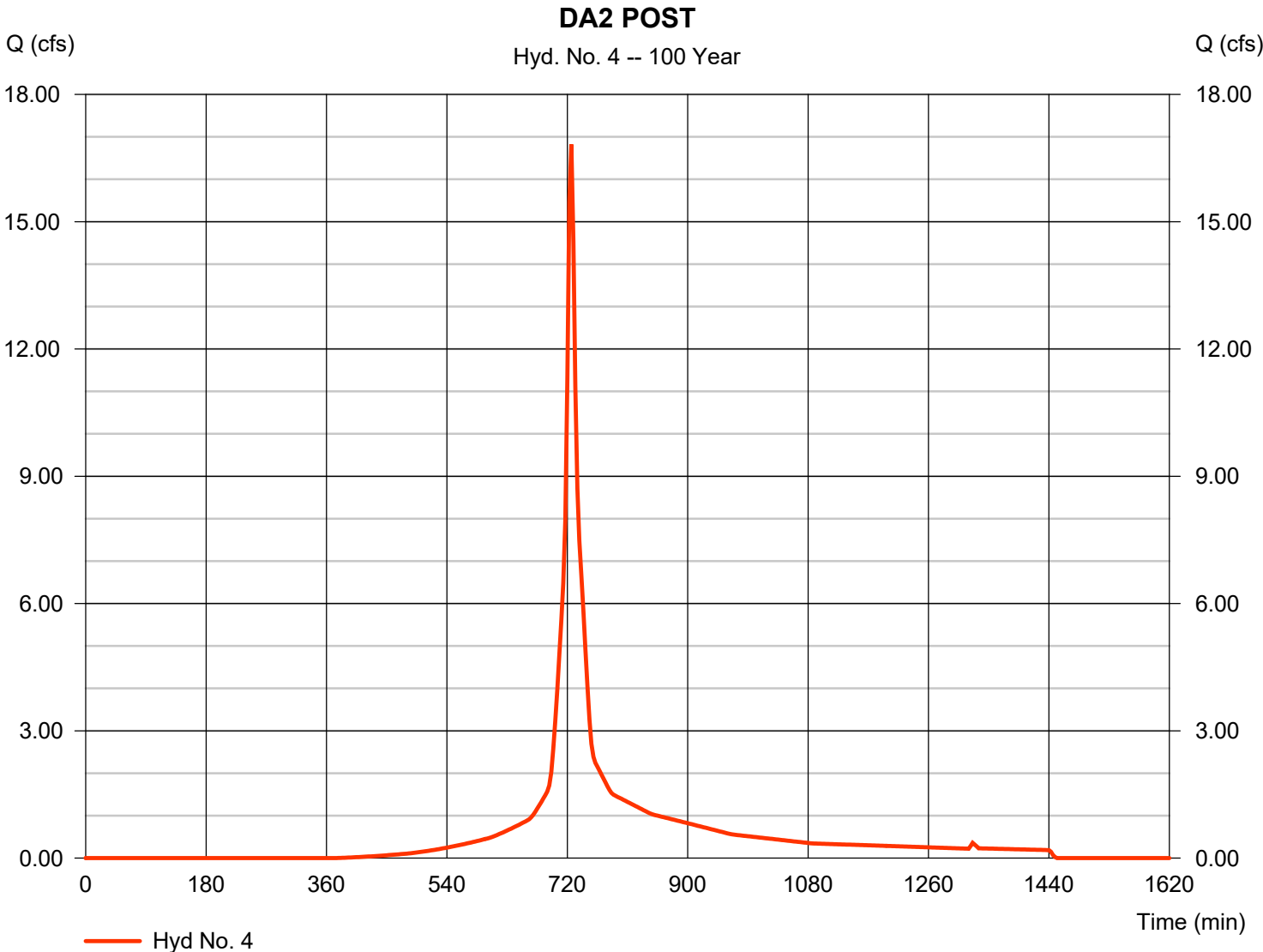
Wednesday, 02 / 23 / 2022

Hyd. No. 4

DA2 POST

Hydrograph type	= SCS Runoff	Peak discharge	= 16.82 cfs
Storm frequency	= 100 yrs	Time to peak	= 726 min
Time interval	= 3 min	Hyd. volume	= 56,540 cuft
Drainage area	= 3.150 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 9.70 min
Total precip.	= 8.00 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.347 x 98) + (2.803 x 74)] / 3.150



Boniello Subdivision



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APR 13 2022

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 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1. 7020316000005672 0605	Richard & Elizabeth Austin 2218 Crompond Road, Yorktown, NY 10598			Handling Charge - if Registered and over \$50,000 in value											
2. 70203160000056720438	Edip & Zybejta Lumi 2226 Crompond Road, Yorktown, NY 10598														
3. 70203160000056720445	Eugene & Donna Antini 2222 Crompond Road, Yorktown, NY 10598								Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	
4. 70203160000056720452	Nathaniel & Jessica Davis 491 Fisher Pond Road, Yorktown, NY 10598														
5. 70203160000056720827	Marc & Susan Schwartz 485 Fisher Pond Road, Yorktown, NY 10598														Special Handling
6. 70203160000056720834	William & Katherine Kallmeyer 2131 Fountain Court, Yorktown, NY 10598														
7. 70203160000056720841	Rodrigo & Ana Maria Rivera 2204 Crompond Road, Yorktown, NY 10598														
8. 70203160000056720858	Iryna Zottola 2206 Crompond Road, Yorktown, NY 10598														

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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. 7020316000056722524	Armend Gjyke Pepshi 2208 Crompond Road, Yorktown, NY 10598													
2. 7020316000056722531	Ereno ADA Trust 2109 Lavoie Court, Yorktown, NY 10598													
3. 7020316000056722548	Diana Stancova 2227 Crompond Road, Yorktown, NY 10598													
4. 7020316000056722555	Mills Family Trust 2219 Crompond Road, Yorktown, NY 10598													
5. 7020316000056722562	Maritza & David Jerome 2211 Crompond Road, Yorktown, NY 10598													
6. 7020316000056722579	William & Helen Moss 2201 Crompond Road, Yorktown, NY 10598													
7.														
8.														

Handling Charge - if Registered and over \$50,000 in value

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Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

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<input type="checkbox"/> Return Receipt (electronic)	\$3.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$3.00
<input type="checkbox"/> Adult Signature Required	\$3.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$3.00

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<input type="checkbox"/> Certified Mail Restricted Delivery	\$3.00
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$3.00

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

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Maritza & David Jerome
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Yorktown, NY 10598

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18
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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage
\$0.52

Total Postage and Fees

William & Helen Moss
2201 Crompond Road,
Yorktown, NY 10598

0079
18
Postmark
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04 12 2011

for Instructions

APR 14 2022

TOWN OF YORKTOWN

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

37.09 - 1 - 67 37.09 - 1 - 70 37.09 - 1 - 71

Section _____ Block _____ Lot _____

Project Name: Boniello Equities Crompond Road Subdivision

Address: 2212, 2214, 2216 & 2220 Crompond Road, Yorktown,

Applicant's Name: Boniello Equities

Address: 165 Waccabuc Road, Goldens Bridge, NY 10526

Phone: (914) 523-5046

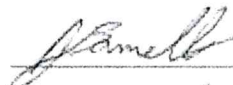
No. Signs Posted: 1

Sign #1 Location: Driveway entrance along Crompond Road

Sign #2 Location: _____

Sign #3 Location: _____

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: 

Land Owner's Signature: 



RECEIVED
PLANNING DEPARTMENT
APR 14 2022
TOWN OF YORKTOWN

Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: April 20, 2022
Subject: Boniello Subdivision– Review of architecture and building materials
37.09-1-67, 70, 71; 2012-2016 Crompond Road

RECEIVED
PLANNING DEPARTMENT

APR 20 2022

TOWN OF YORKTOWN

Drawings Reviewed:

Title:	Date:	Produced By:
Proposed Two-Family Homes (2) - Architectural Elevations and Building Materials Palette	4/15/22	Boniello Development Corp.

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their Board meeting held on Tuesday, April 19, 2022. Jared Boniello was present.

The proposal is to subdivide the existing lots to create two additional two-family homes. The proposed new structures will have a similar look to the existing structures that are built within the subdivision. The homes will vary slightly with respect to the architecture. The building materials are as follows:

Two-Family Home #1

- Cementboard Siding – Louisberg Green color
- Weather Resistant Trim – Dove white color
- Front Door – Chestnut Color
- Asphalt Roof Shingles – Pristine Hearthstone color

Two-Family Home #2

- Cementboard Siding – Winter Orchard color
- Weather Resistant Trim – River Reflections color
- Front Door – Nicolson Green color
- Asphalt Roof Shingles – Weathered Wood color
- Shutters – Clay color

The ABACA feels that the proposed architecture and building materials will tie in nicely with the existing structures. Based on the renderings reviewed and attached, the ABACA has no objections to this proposal.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

Attachments

cc: Applicant

Planning Board

Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)





Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565


ABACA Memo – Boniello Subdivision

Page 2 of 4

April 20, 2022

Rendering & Material Palette – Two-Family Home #1

			
Cementboard Siding: Color: Louisberg Green	Weather-Resistant Trim: Color: Dove White	Front Door: Color: Chestnut	Asphalt Roof Shingles: Color: Pristine Hearthstone



RESIDENCE FOR BONIELLO DEVELOPMENT CORP. Town of Yorktown, N.Y.			FRONT ELEVATION		1
			SCALE: 1/4" = 1'	DATE: 1/1/2022	

Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

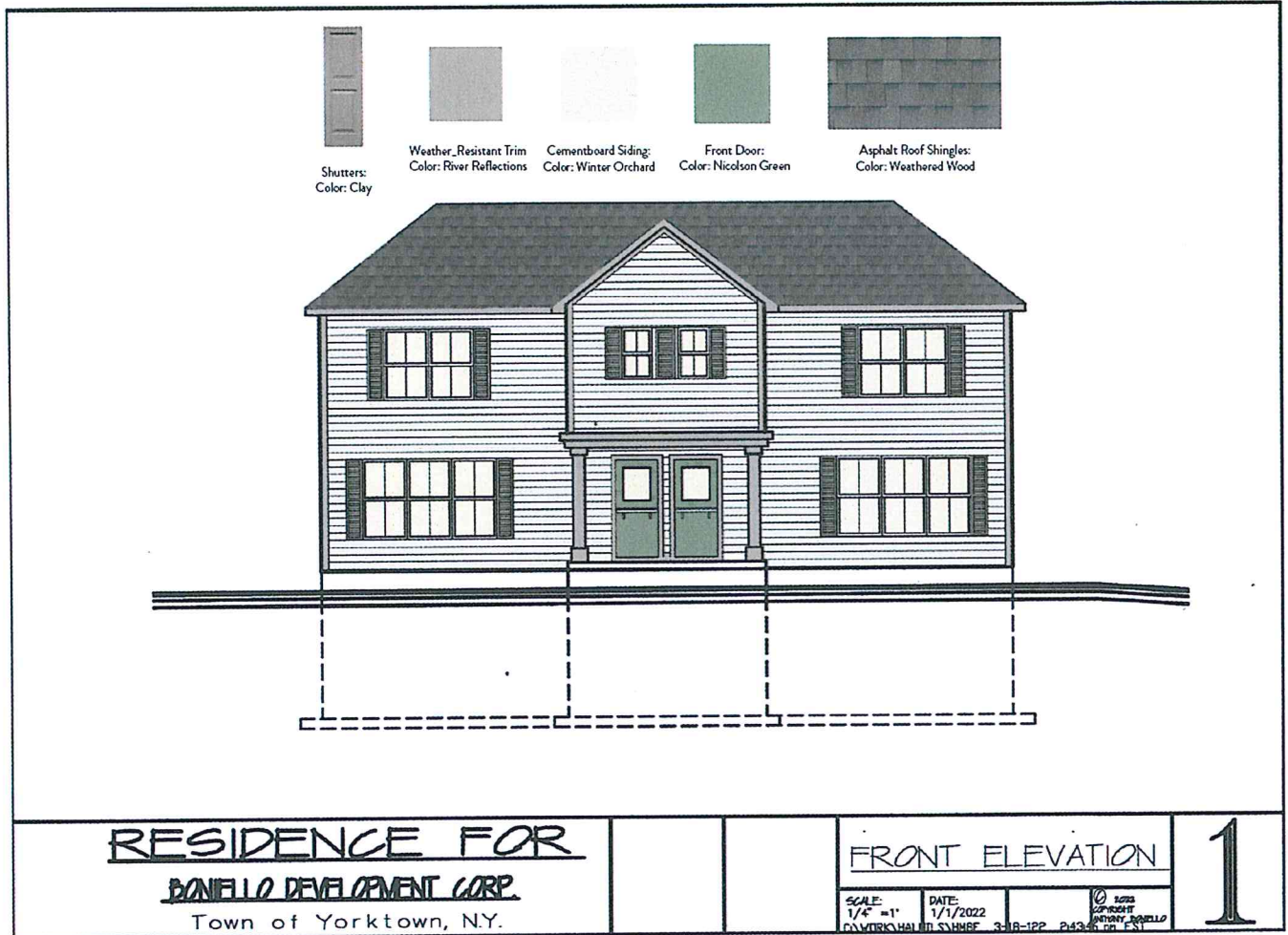
Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Boniello Subdivision

Page 3 of 4

April 20, 2022

Rendering & Material Palette – Two-Family Home #2



Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Boniello Subdivision

Page 4 of 4

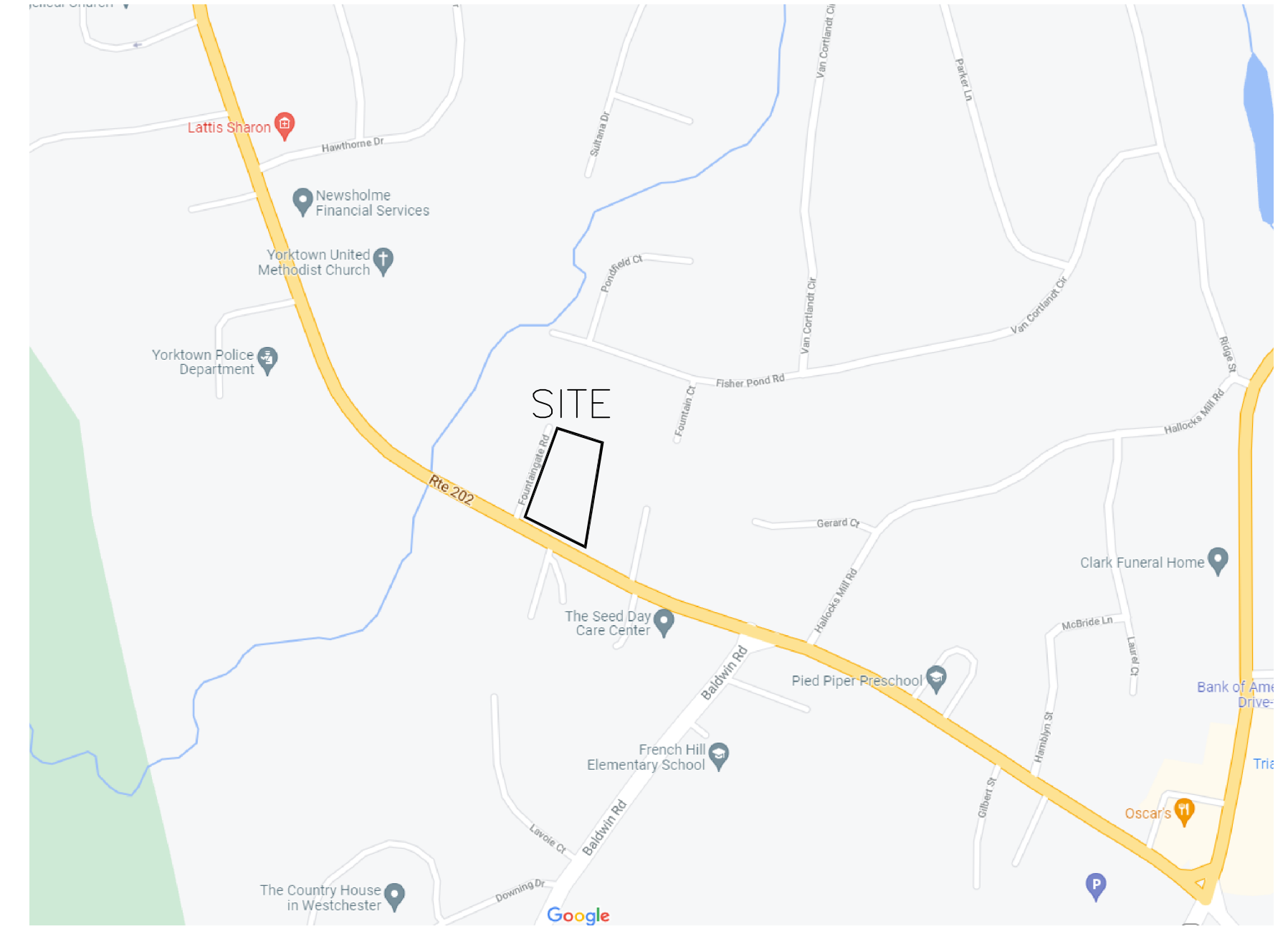
April 20, 2022

Existing Structures Built Within the Subdivision



Unauthorized alteration or addition to this drawing is a violation of §7209(2) of the NYS Education Law.

"SUBDIVISION OF FOUNTAINGATE"
Filed in the W.C.C.O. as map no. 16798 on July 24, 1969



LOCATION MAP
n.t.s.

CROMPOND ROAD SUBDIVISION
BONIELLO DEVELOPMENT CORP - CROMPOND ROAD
YORKTOWN HEIGHTS, N.Y. 10598

SHEET 2021-30-01
SCALE 1"=20'
FILE D:\LAND2K7\BONIELLO HALLOCK'S
DATE 2/11/2022

ANTHONY S. PISARRI, P.E., P.C.
CONSULTING ENGINEER
3 Roslind Drive, Cortlandt Manor, N.Y. 10567

rev 3/7/2022 as per PB request
rev 2/28/2022 as per field trip comments



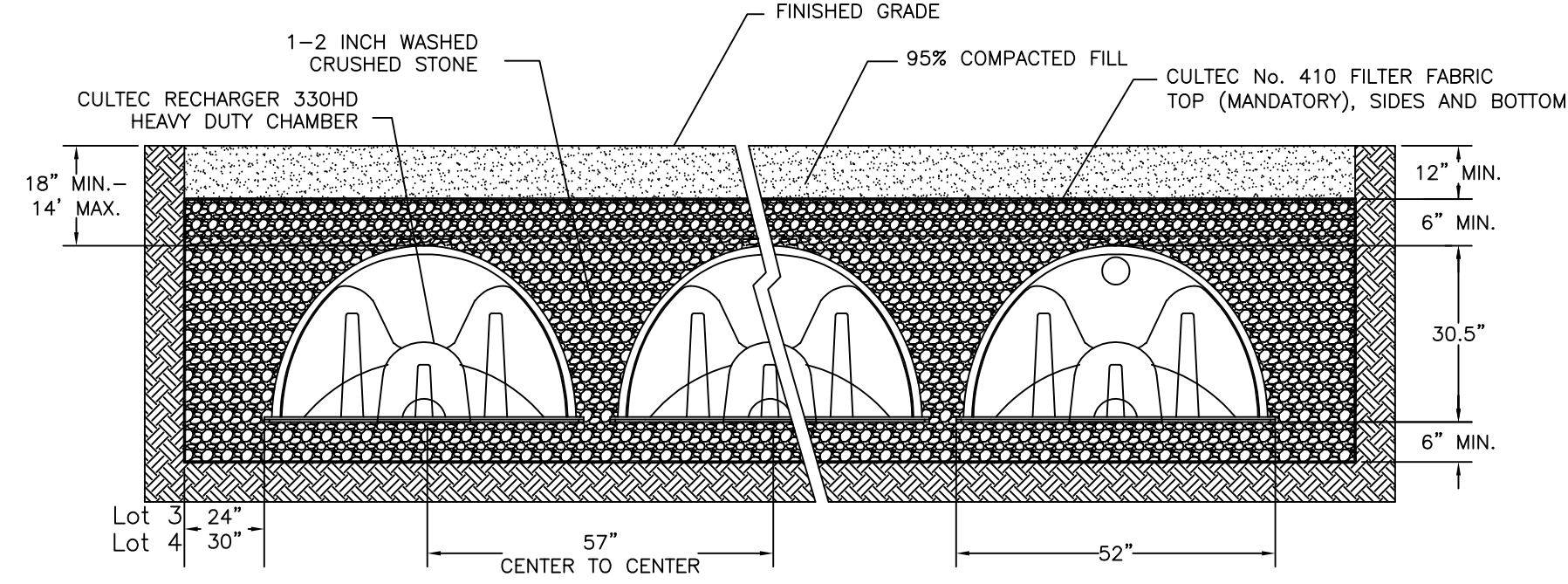
CROMPOND

ROAD



Cultec 330 XLHD Recharger System

CULTEC RECHARGER 330XLHD CHAMBER SYSTEM PAVED TRAFFIC APPLICATION TYPICAL CROSS SECTION DETAIL



GENERAL NOTES
RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD, CT.
ALL RECHARGER 330HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE
WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
ALL RECHARGER 330XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLOR
STRIPES FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.

CULTEC, Inc.
P.O. Box 280
878 Federal Road
Brookfield, CT 06804 USA

PH: (203) 775-4416
PH: (800) 4-CULTEC
FX: (203) 775-1462
www.cultec.com



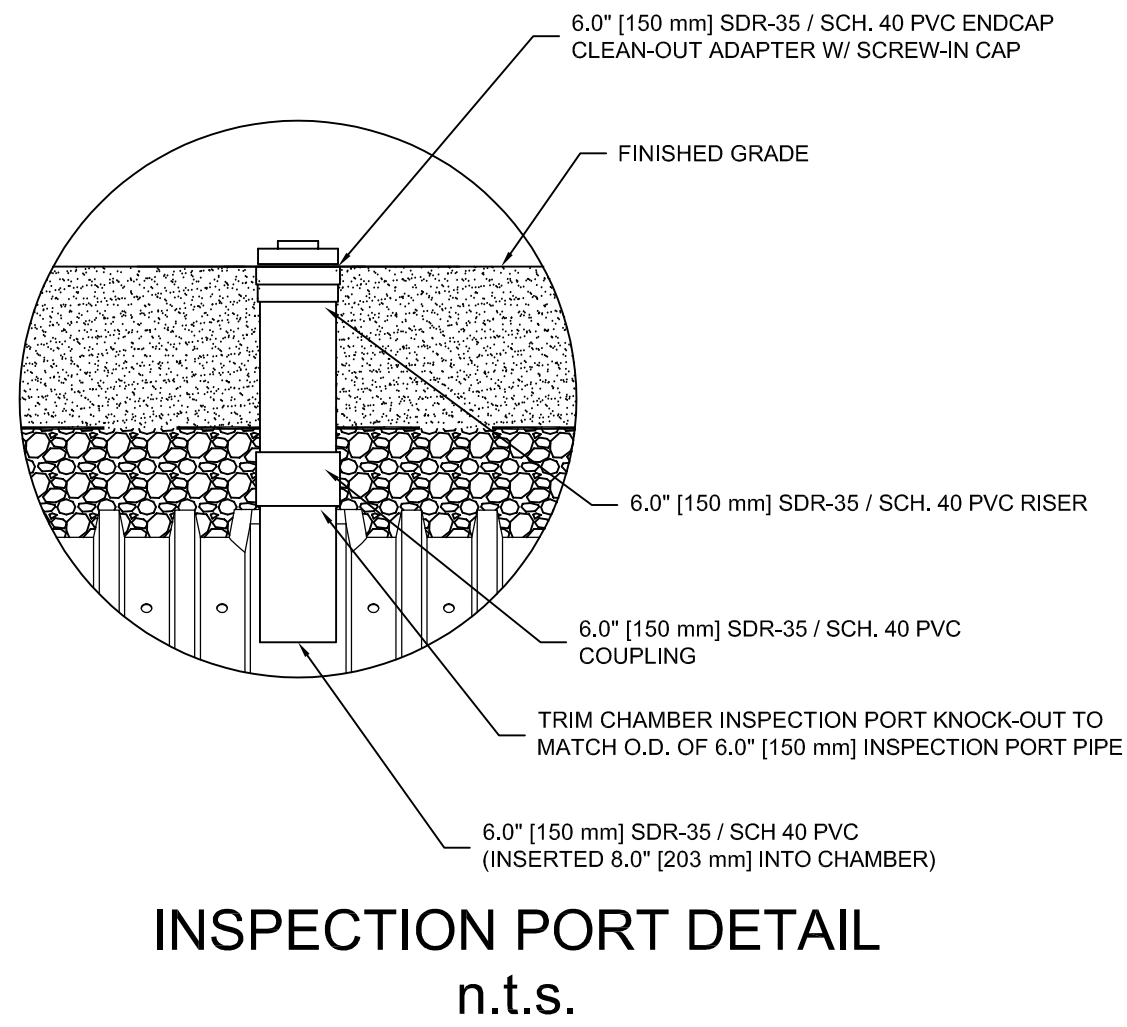
CULTEC Contactor® and Recharger®
Plastic Septic and Stormwater Chambers

Cultec 330 XLHD recharger calculation:

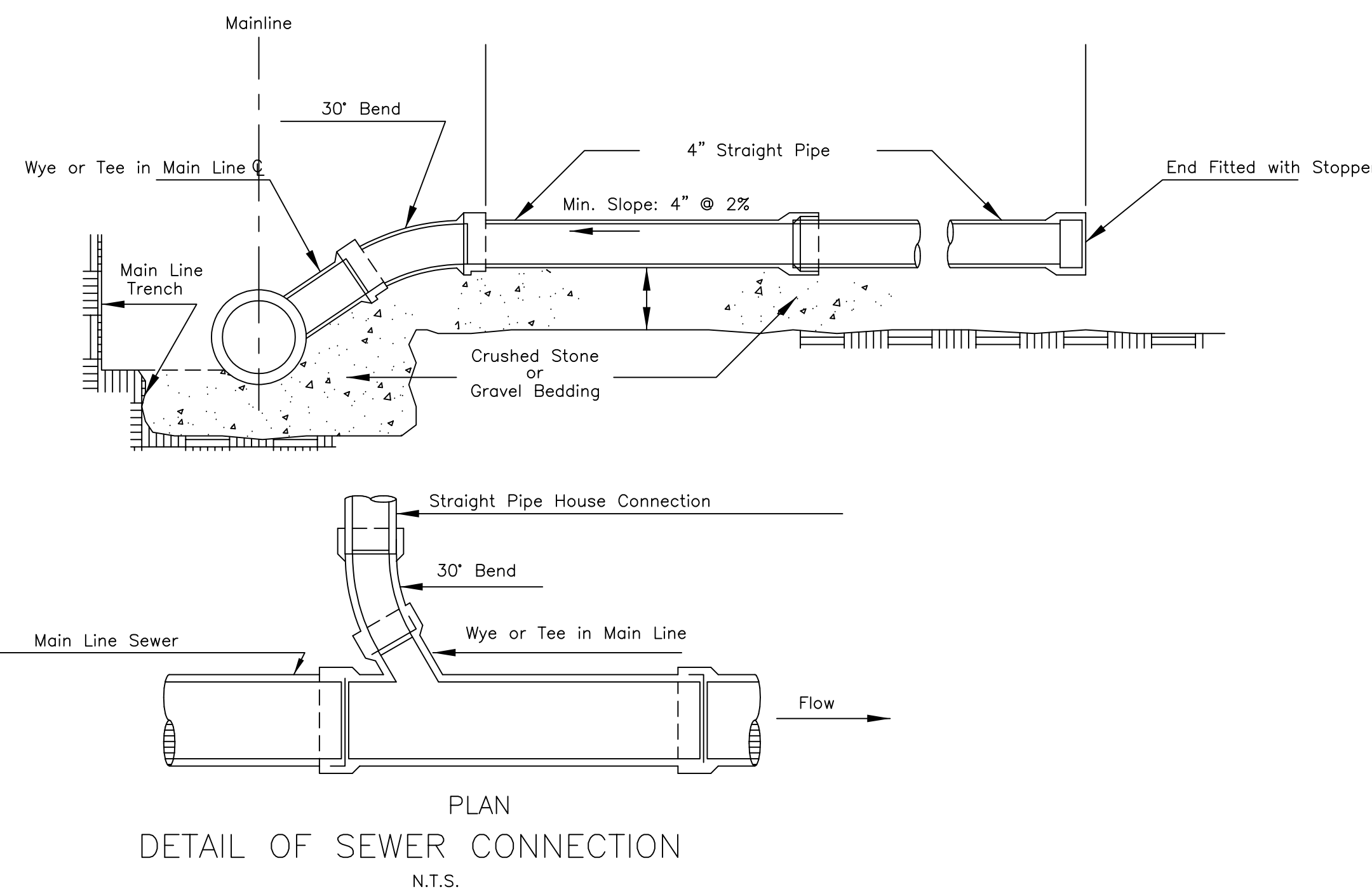
Hallocks Mill Subdivision Lot 3 Yorktown, New York	Unit width Unit spacing installed length in ft height =	52 57 7 30.5	ft ft ft ft
Perc Rate taken Perc hole diameter	8/2/2021 8 inches		
Side area of drop in perc hole =	0.174 s.f.		
Stabilized perc rate Volume of drop =	1 inch in 13 minutes 0.0291 c.f.		
Soil Rate = vol/area/minute =	0.0011 c.f./s./min 1.538 c.f./s./day		
Assume 25% clogging factor	1.154 c.f./s./day	USE THIS PERC RATE	
From Cultec Spec Sheet, Storage capacity / L.F. =	11.16 c.f./l.f.		
Layout: 2 rows of 4 units with 6" extra stone all around			
Bottom area for layout shown = L (ft) x W (ft)	31 x 12.08	374.5 s.f.	
Length x Width of stones =		374.5 s.f.	
Bottom absorption in 24 hours =		432 c.f.	
From Plans, area of new impervious =			
Proposed =	4,227 s.f.		
Existing =	- s.f.		
Net Change =	4,227 s.f.		
Rainfall required =			
Proposed Cn = 98	100 year storm = 9.24 in	9.00 in.	
Existing is "C" soil, good condition, CN=74	Er =	6.05 in.	
Net increase in Er =		2.95 in.	
Increase in runoff =		1,039 c.f.	
Less bottom absorption		432 c.f.	
Net increase in runoff =		607 c.f.	
Length of recharger required = net increase / cultec capacity =		54.4 ft.	
Effective Length of each unit =		7.00 l.f.	
Number of Units required = Length req'd / Eff. Length =		7.77	REQ'D 8 units

Cultec 330 XLHD recharger calculation:

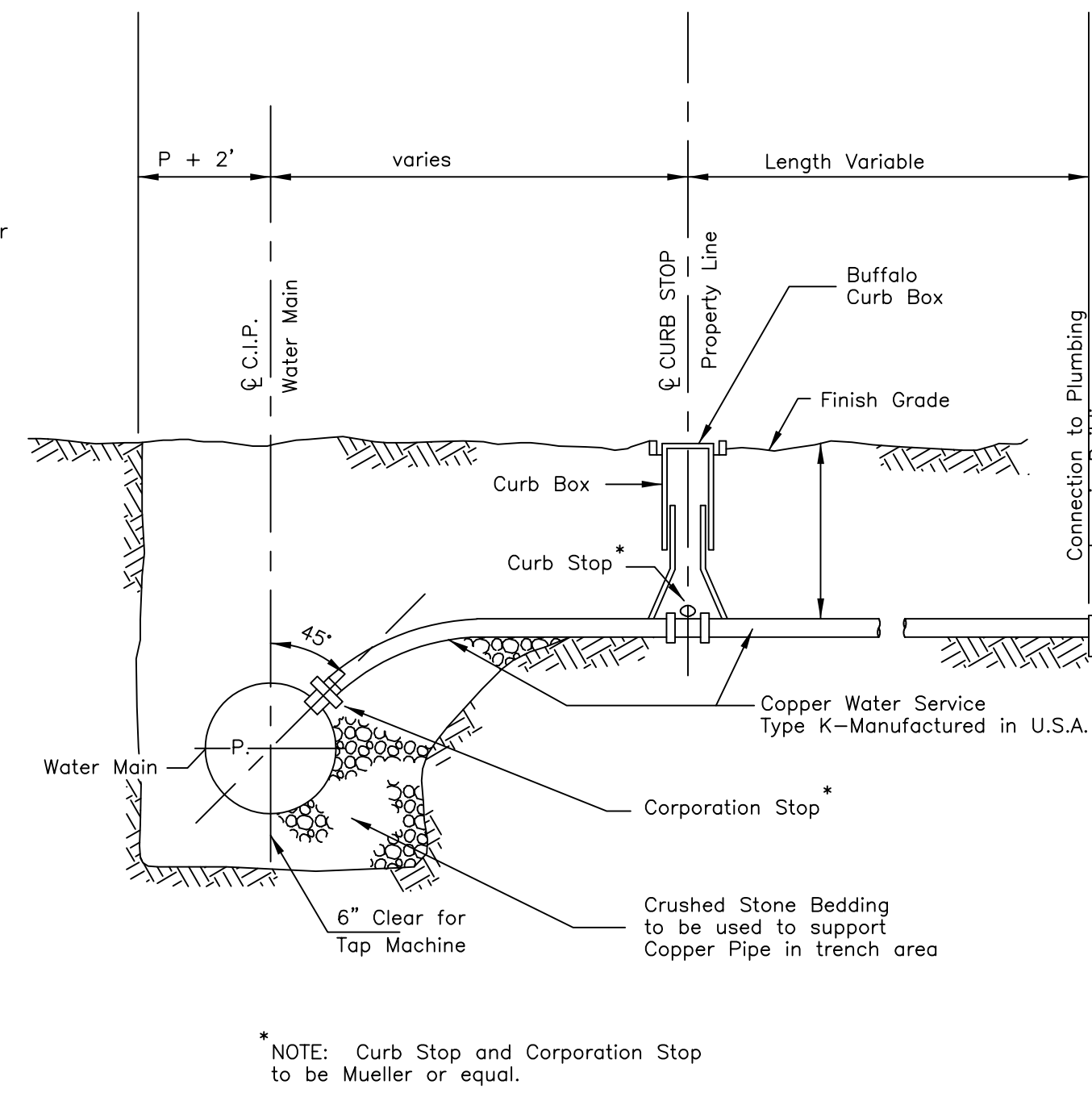
Hallocks Mill Subdivision Lot 4 Yorktown, New York	Unit width Unit spacing installed length in ft height =	52 57 7 30.5	ft ft ft ft
Perc Rate taken Perc hole diameter	8/2/2021 8 inches		
Side area of drop in perc hole =	0.174 s.f.		
Stabilized perc rate Volume of drop =	1 inch in 13 minutes 0.0291 c.f.		
Soil Rate = vol/area/minute =	0.0011 c.f./s./min 1.538 c.f./s./day		
Assume 25% clogging factor	1.154 c.f./s./day	USE THIS PERC RATE	
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Effective Length of each unit =		7.00 l.f.	
Number of Units required = Length req'd / Eff. Length =		7.77	REQ'D 8 units



INSPECTION PORT DETAIL
n.t.s.

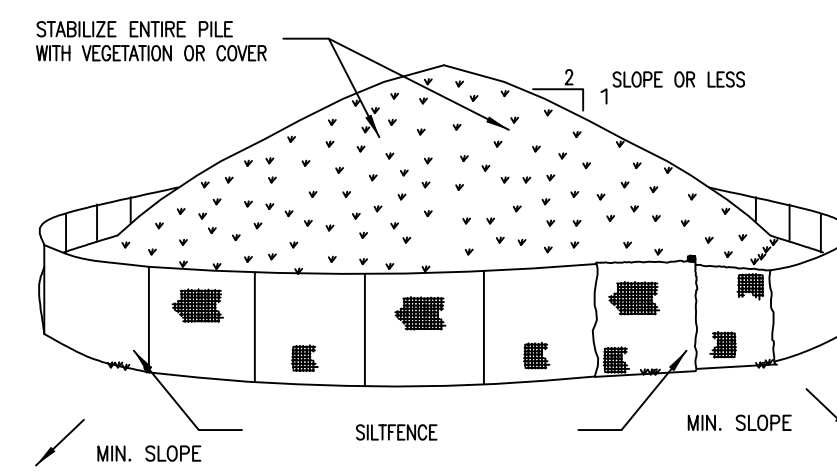


DETAIL OF SEWER CONNECTION
N.T.S.



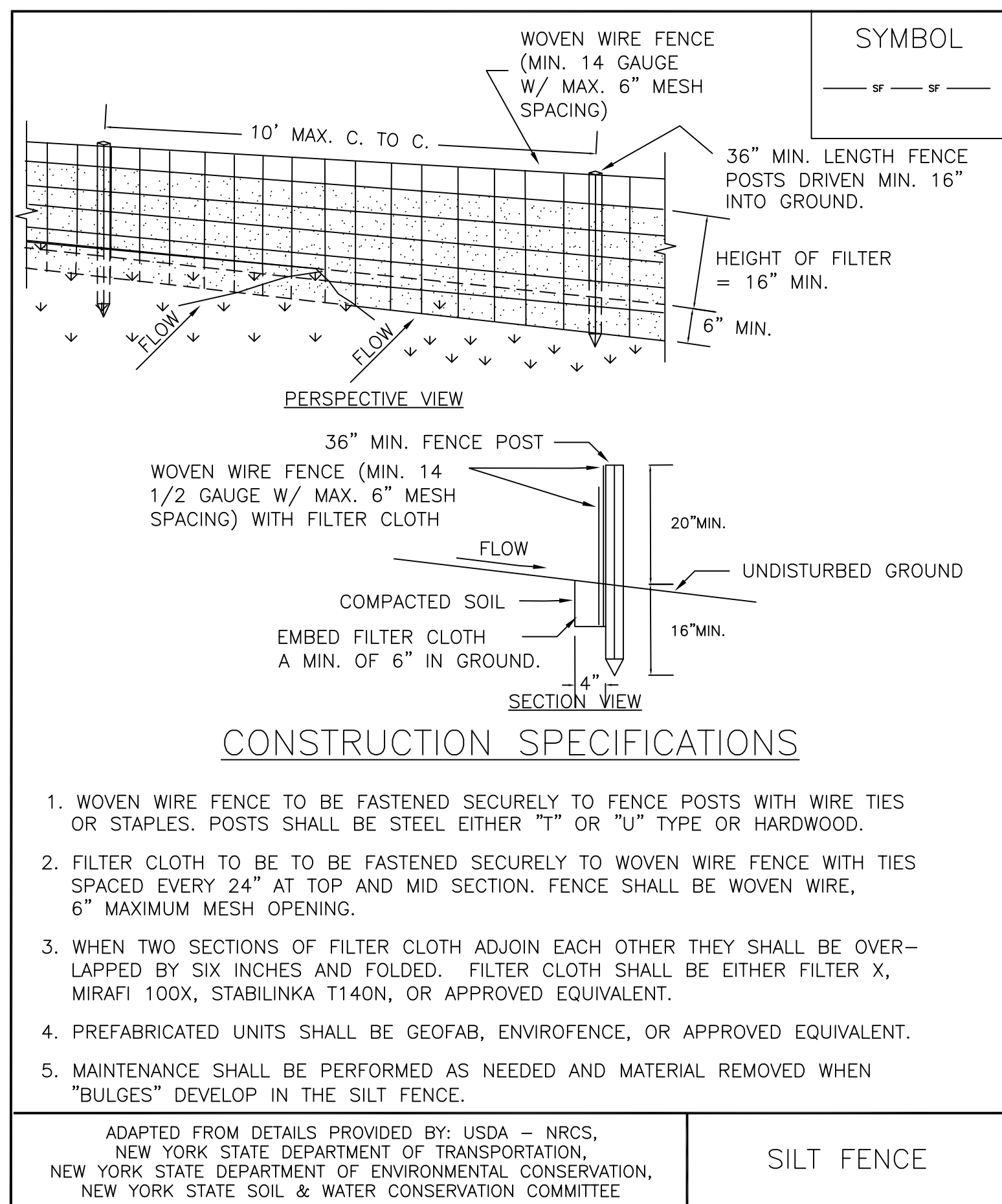
DETAIL OF WATER SERVICE CONNECTION
N.T.S.

Soil Stockpiling



INSTALLATION NOTES

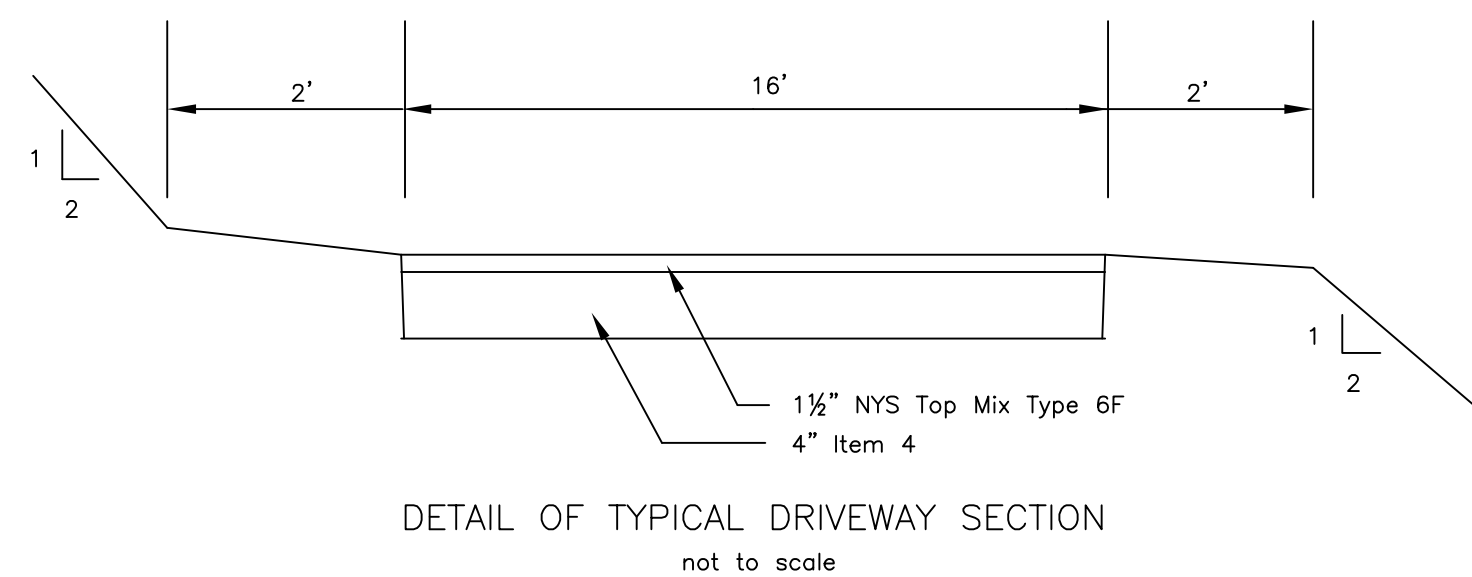
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAMBLES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.



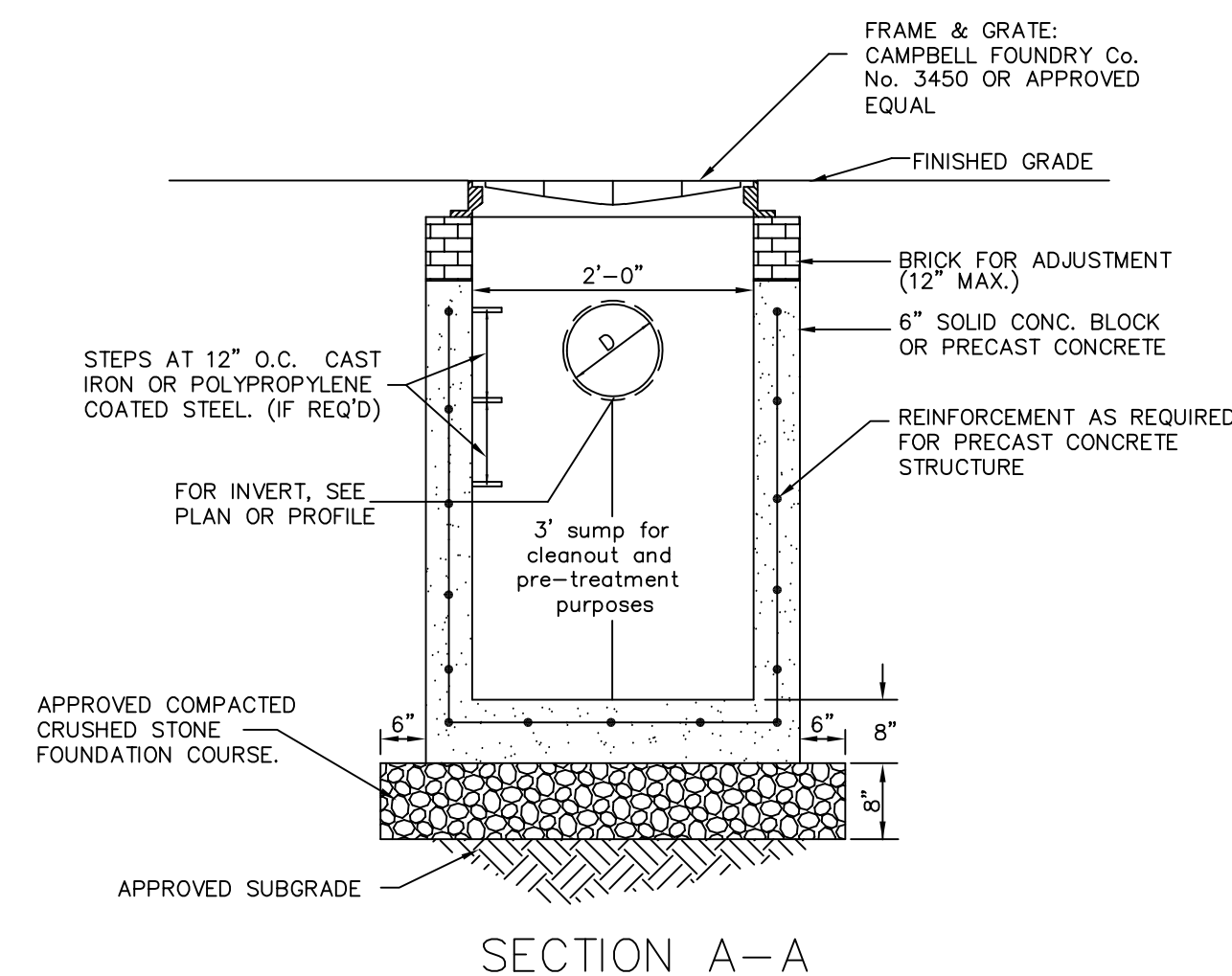
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE



DETAIL OF TYPICAL DRIVEWAY SECTION
not to scale



SECTION A-A

CATCH BASIN DETAIL

rev 3/7/2022 catch basins added trench drain removed
rev 2/11/2022 cultecs recalculated

SHEET 2021-30-02
SCALE AS NOTED
FILE D:\LANDZK7\BONIELLO HALLOCKS
DATE 10/25/2021

DETAIL SHEET FOR
BONIELLO DEVELOPMENT CORP - CROMPOND ROAD
YORKTOWN HEIGHTS, N.Y. 10598

ANTHONY S. PISARRI, P.E., P.C.
CONSULTING ENGINEER
3 Roslind Drive, Cortlandt Manor, N.Y. 10567



Granite Knolls Solar Farm

APR 21 2022

To: Yorktown Planning Board

TOWN OF YORKTOWN

From: Yorktown Tree Conservation Advisory Commission (TCAC)

Date: 21 April 2022

cc: Yorktown Planning Dept. (J. Tegeder, R. Steinberg, N. Calicchia); Engineering Dept. (D. Ciarcia); Conservation Board (K. Hughes); Town Clerk (D. Quast); TCAC members (L. Klein, T. Schmitt, K. Schepart, J. Gussak, J. Verado)

Re: Proposed solar facility at Granite Knolls Park

Dear Chairman Fon and members of the Planning Board:

The TCAC has reviewed the referral materials for the referenced project that were received on 13 April 2022. However, we find that this project is still not in compliance with the requirements of Chapter 270 for the following reason:

- The Engineer has still not provided a proper mitigation plan. The latest proposed mitigation plan consists of planting an additional 27 evergreen trees, for a total of 65 evergreen trees, which all function as screening. This does not qualify as a mitigation plan. Chapter 300-81.4.F.(3)(g) states that "Landscape screening and buffering shall be required." Furthermore, during the PB's work session of 24 January 2022, related to the Foothill Street solar project, the PB's lawyer, James W. Glatthaar, Esq., stated that screening plantings do not qualify as replacement trees because a screening plan is required by the solar law.
- The latest mitigation plan includes 2 10ft x 20ft planter beds at the entrance to the park. This is hardly mitigation for the removal of 65 protected trees.

The TCAC notes that the Engineer's current letter makes no mention of his previous statement regarding a payment to the Tree Bank Fund which the TCAC accepted in our 7 March 2022 memo.

Until a proper mitigation plan is developed and submitted, this proposal should not be allowed to advance further in the Planning Board review process.

Sincerely,

Tree Conservation Advisory Commission
Lawrence W. Klein, P.E., Member
Keith Schepart, ISA, Member
Tom Schmitt, Member
J. Gussak, Member
J. Verado, Member

April 8, 2022

Richard Fon, Chairman of the Planning Board
 Town of Yorktown
 363 Underhill Avenue
 Yorktown, NY 10598

Re: Mitigation Plan for Proposed Granite Knolls Park Solar Project
 HESP Solar, LLC
 Town of Yorktown, Westchester County, New York

Dear Mr. Fon:

The proposed 1.3 MW AC Granite Knolls Park Solar project ("Project") is located on Westchester County Parcel 26.09-1-22, which is a Town of Yorktown Park, consisting of sports field and wooded/grassed areas. The project will involve the proposed removal of 106 trees. As per The Town of Yorktown's Tree Law, a mitigation plan and Tree Permit is required for the Project. The Tree Permit Application is included as Enclosure A of this mitigation plan.

The mitigation measures provided below are based upon the options provided in the Tree Law, as well as items deemed likely to be important to the Town.

Tree Survey:

The tree survey was performed by certified arborist, Bartlett Tree Experts, which included a completed inventory of the 107 trees within the project area of which 96 qualify as protected trees. Trees were not surveyed in the areas outside of the proposed project boundary.

Each tree was tagged and is identified by number and categorized by condition ("dead", "poor", "fair", or "good") on the tree inventory list. Trees that are considered "poor" are falling apart, hazardous, and beyond salvaging. There is a total of 96 protected trees within the surveyed areas. Of these 96 surveyed protected trees, 1 is to remain, 28 are in "poor" condition and 2 are dead, resulting in 65 protected trees being cut and requiring mitigation measures to compensate for the impact of their removal.

See table below for a summary of the trees surveyed on the project property:

Total trees surveyed	107
Total trees to be removed	106
Total trees with a DBH greater than 8" to be removed	95
Less: dead/poor trees to be removed	30
Total protected trees to be removed	65
Average DBH of protected trees	13.32"



Mitigation Plan:

In accordance with the Town's Tree Law, we are proposing mitigation measures outline in section 270-10(D)(4) of the tree ordinance. First, we are proposing planting 65 new evergreen trees. Second, we are proposing two (2) 10'x20' planter beds with landscaping at the beginning of the park's driveway to enhance the visual aesthetics of the park entrance.

See the detailed mitigation plan measures provided below.

New tree plantings:

The Landscaping Plan for the project involves 65 new evergreen trees across selected parts of the property. This includes the front yard along Stoney Street, along the entrance driveway north of the project location, and adjacent to the solar carport canopy system. All the trees planted will be evergreen species in order to provide year-round coverage, including White Fir, White Spruce, Canadian Hemlock and Colorado Spruce. These trees have installed heights ranging from 6 to 8 feet high and mature sizes ranging from 50 to 75 feet.

New Planter Beds:

Two (2) new 10'x20' planter beds will be installed at the park's entrance. The beds will be planted with landscaping to enhance the visual aesthetics of the park entrance.

Planting of pollinator Friendly Seed Mix and Use of Fencing:

In an effort to help maintain the existing ecosystem of the site, we have included a 6-inch gap at the bottom of our fencing. A pollinator friendly seed mix will be spread at the Project site at the completion of construction in an effort to support a diverse ecosystem and habitat for pollinators within the project site.

Proposed Solar Farm Carbon Offset:

The EPA Greenhouse Gas Calculator was utilized to determine the positive environmental impacts that the proposed 1.3 MW AC Project will have. At peak capacity, the Project can save approximately 1,427 Metric Tons of Carbon Dioxide emissions per year. This is equivalent to the Carbon Dioxide sequestered by 1,748 acres of U.S. forests, 310 passenger vehicles driven per year or the offset of residential home electricity generated by 172 homes per year. Over the 25-year lifespan of the Project, the carbon offset will result in an enormously positive environmental impact by its carbon offset alone.

Suggestions from Tree Conservation Advisory Commission, Conservation Board, Planning Board and Public: Any suggestions from the Tree Conservation Advisory Commission, Conservation Board, Planning Board and the Public will be considered for this Project. These suggestions may include additional mitigation opportunities, or any other measures deemed necessary for a complete Mitigation Plan for the Project.

We look forward to your consideration of this Mitigation Plan. It is our goal to cooperate with the Town as much as possible to ensure this Projects construction and completion. The clean, renewable, energy provided by this Project will be a great benefit to the Town and its citizens, allowing for a successful partnership for all involved parties for the life of this Project.



If you should have any questions or require any additional information, please do not hesitate to contact me via phone at (518) 556-3631 or by email at eredding@bergmannpc.com.

Sincerely,

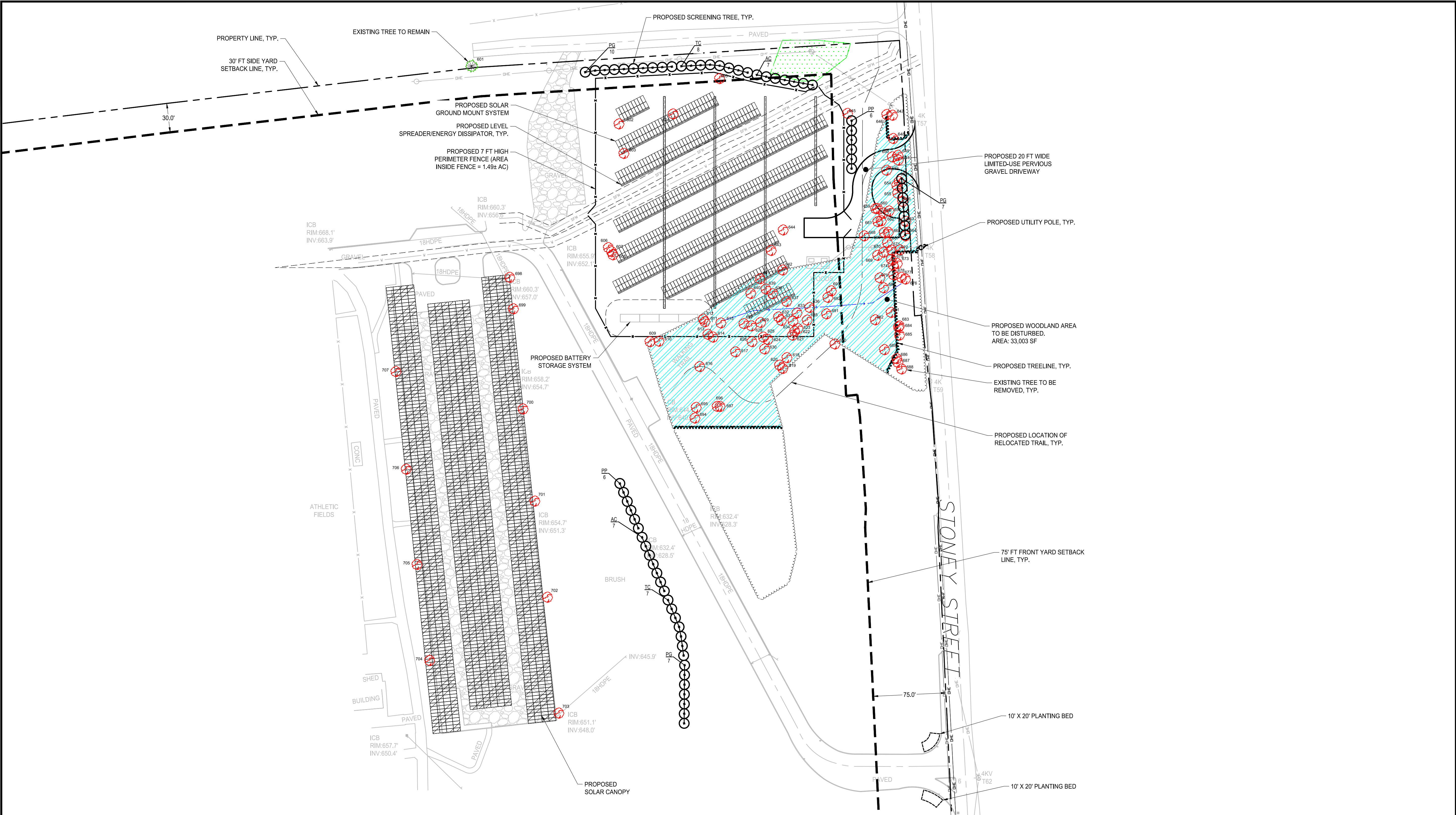
Eric Redding, PE, LEED AP
Discipline Leader, BERGMANN

Enclosures:

Enclosure A: Tree Mitigation Site Plan

Enclosure B: US EPA Greenhouse Gas Equivalency Calculator

Enclosure C: Tree Inventory

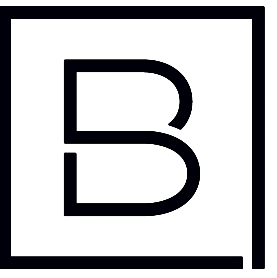
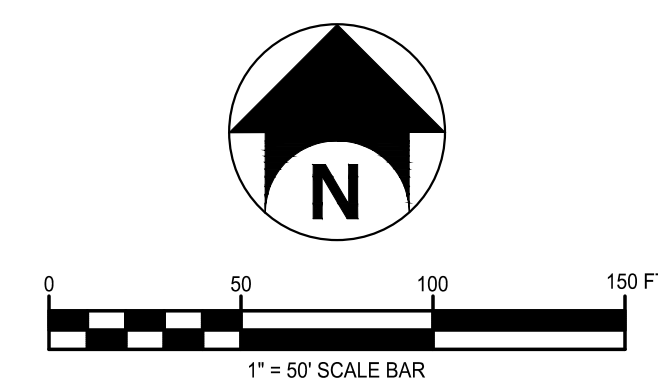


LEGEND

	PROPERTY LINE		EXISTING EDGE OF ASPHALT
	SET BACK LINE		APPROXIMATE EXISTING TREELINE
	STONE WALL		PROTECTED WOODLAND AREA TO BE DISTURBED
	ADJOINER PROPERTY LINE		EXISTING WETLAND (PEM - NON WOTUS)
	ROAD RIGHT-OF-WAY		PROPOSED SOLAR PANEL
	EXISTING ROAD CENTERLINE		EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRE		PROPOSED UTILITY POLE
	EXISTING STREAM CENTERLINE		EXISTING TREE TO BE REMOVED
	PROPOSED FENCE LINE		EXISTING TREE TO REMAIN
	EXISTING FENCE LINE		PROPOSED SCREENING TREE
	PROPOSED OVERHEAD UTILITY LINE		
	PROPOSED UNDERGROUND UTILITY LINE		
	PROPOSED SWALE		
	PROPOSED TREELINE		
	SWALE CENTERLINE		
	EXISTING BUILDING		

TREE MITIGATION DATA TABLE		
TREES TO BE REMOVED	TREES TO REMAIN	PROTECTED WOODLAND AREA DISTURBED (SF)
106	1	33,003

PLANT LIST								
Key	Qty.	Botanical Name	Common Name	Mature Size		Installed Size	Condition	DBH
				Height	Spread			
Evergreen Trees								
AC	14	Abies Concolor	White Fir	50'-75'	20'-30'	6'-7' Ht.	B&B	3"
PG	24	Picea Glauca	White Spruce	40'-60'	10'-20'	8' Ht.	B&B	3"
TC	15	Tsuga Canadensis	Canadian Hemlock	40'-70'	25'-35'	8' Ht.	B&B	3"
PP	12	Picea Pungens	Colorado Spruce	30'-60'	10'-20'	7'-8' Ht.	B&B	3"
TOTAL	65							



BERGMANN
ARCHITECTS ENGINEERS PLANNERS

2 Winners Circle, Suite 102
Albany, NY 12205
www.bergmannpc.com
office: 518.862.0325

HESP SOLAR, LLC

**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

Date Revised	Description
10/27/2021	REVISED PER CLIENT COMMENTS
11/09/2021	REVISED PER CLIENT COMMENTS
01/06/2022	REVISED PER CLIENT COMMENTS
03/01/2022	REVISED PER TOWN COMMENTS
04/08/2022	REVISED PER TOWN COMMENTS

NOT FOR
CONSTRUCTION

Copyright © Bergmann Associates, Architects, Engineers, Landscape Architects & Surveyors, D.P.C.

Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	MDP
Date Issued	Project Number
09/15/2021	15111.00

Sheet Name

**LANDSCAPING/TREE
MITIGATION SITE PLAN**

Drawing Number

C008

GRANITE KNOLLS PARK SOLAR PROJECT TREE INVENTORY

Tree ID	Common Name	Genus	Species	DBH	Stems	Condition Class	
601	Juniper-Eastern Redcedar	Juniperus	virginiana	22	2	Fair	(remain)
602	Crabapple	Malus	sp	13	2	Poor	
603	Cherry	Prunus	sp	28	1	Fair	
604	Ash-Green	Fraxinus	pennsylvanica	8	1	Poor	
605	Honeylocust-Thornless Common	Gleditsia	triacanthos var. inermis	18	1	Good	
606	Crabapple	Malus	sp	9	1	Poor	
607	Crabapple	Malus	sp	11	3	Fair	
608	Crabapple	Malus	sp	8	2	Fair	
609	Locust-Black	Robinia	pseudoacacia	12	1	Fair	
610	Locust-Black	Robinia	pseudoacacia	17	1	Good	
611	Locust-Black	Robinia	pseudoacacia	8	1	Fair	
612	Locust-Black	Robinia	pseudoacacia	16	1	Good	
613	Hickory-Pignut	Carya	glabra	9	1	Good	
614	Maple-Red	Acer	rubrum	7	2	Fair	
615	Maple-Red	Acer	rubrum	8	3	Fair	
616	Tree of Heaven	Ailanthus	altissima	28	1	Poor	
617	Oak-Swamp White	Quercus	bicolor	9	1	Good	
618	Oak-Swamp White	Quercus	bicolor	13	1	Good	
619	Locust-Black	Robinia	pseudoacacia	17	1	Poor	
620	Locust-Black	Robinia	pseudoacacia	17	1	Poor	
621	Locust-Black	Robinia	pseudoacacia	25	1	Fair	
622	Maple-Sugar	Acer	saccharum	9	1	Poor	
623	Maple-Sugar	Acer	saccharum	8	1	Fair	
624	Maple-Sugar	Acer	saccharum	13	1	Good	
625	Maple-Sugar	Acer	saccharum	8	1	Good	
626	Maple-Red	Acer	rubrum	18	3	Poor	
627	Maple-Sugar	Acer	saccharum	12	2	Good	
628	Maple-Sugar	Acer	saccharum	10	1	Fair	
629	Cherry	Prunus	sp	8	1	Fair	
630	Locust-Black	Robinia	pseudoacacia	13	1	Fair	
631	Maple-Sugar	Acer	saccharum	11	1	Good	
632	Maple-Sugar	Acer	saccharum	8	1	Good	
633	Maple-Sugar	Acer	saccharum	12	1	Good	
634	Locust-Black	Robinia	pseudoacacia	11	1	Fair	
635	Locust-Black	Robinia	pseudoacacia	8	1	Poor	
636	Locust-Black	Robinia	pseudoacacia	26	1	Poor	
637	Maple-Sugar	Acer	saccharum	13	1	Good	
638	Maple-Sugar	Acer	saccharum	9	1	Good	
639	Maple-Sugar	Acer	saccharum	9	1	Poor	
640	Maple-Sugar	Acer	saccharum	23	1	Good	
641	Locust-Black	Robinia	pseudoacacia	22	1	Fair	
642	Locust-Black	Robinia	pseudoacacia	14	1	Poor	
643	Ash-Green	Fraxinus	pennsylvanica	11	1	Dead	
644	Crabapple	Malus	sp	32	1	Poor	
645	Locust-Black	Robinia	pseudoacacia	20	1	Good	
646	Locust-Black	Robinia	pseudoacacia	16	1	Poor	
647	Locust-Black	Robinia	pseudoacacia	16	2	Fair	
648	Maple-Sugar	Acer	saccharum	13	1	Good	
649	Maple-Sugar	Acer	saccharum	12	1	Fair	
650	Maple-Sugar	Acer	saccharum	12	1	Good	
651	Maple-Sugar	Acer	saccharum	9	1	Fair	
652	Locust-Black	Robinia	pseudoacacia	13	1	Poor	
653	Locust-Black	Robinia	pseudoacacia	12	1	Poor	
654	Locust-Black	Robinia	pseudoacacia	14	1	Poor	
655	Locust-Black	Robinia	pseudoacacia	11	1	Poor	
656	Maple-Sugar	Acer	saccharum	9	1	Poor	





657	Locust-Black	Robinia	pseudoacacia	13	1	Fair
658	Locust-Black	Robinia	pseudoacacia	14	1	Fair
659	Locust-Black	Robinia	pseudoacacia	15	1	Poor
660	Maple-Sugar	Acer	saccharum	8	1	Fair
661	Maple-Sugar	Acer	saccharum	9	1	Fair
662	Locust-Black	Robinia	pseudoacacia	14	1	Poor
663	Maple-Red	Acer	rubrum	13	1	Poor
664	Maple-Sugar	Acer	saccharum	10	1	Fair
665	Maple-Sugar	Acer	saccharum	11	1	Good
666	Locust-Black	Robinia	pseudoacacia	13	1	Fair
667	Locust-Black	Robinia	pseudoacacia	15	1	Fair
668	Hickory-Pignut	Carya	glabra	9	1	Good
669	Cherry	Prunus	sp	8	1	Fair
670	Maple-Sugar	Acer	saccharum	3	1	Fair
671	Maple-Sugar	Acer	saccharum	10	1	Fair
672	Maple-Sugar	Acer	saccharum	14	1	Fair
673	Locust-Black	Robinia	pseudoacacia	14	1	Fair
674	Locust-Black	Robinia	pseudoacacia	14	1	Fair
675	Locust-Black	Robinia	pseudoacacia	12	1	Poor
676	Maple-Sugar	Acer	saccharum	9	1	Fair
677	Maple-Sugar	Acer	saccharum	8	1	Fair
678	Locust-Black	Robinia	pseudoacacia	21	1	Dead
679	Maple-Sugar	Acer	saccharum	10	1	Fair
680	Maple-Sugar	Acer	saccharum	13	1	Good
681	Maple-Sugar	Acer	saccharum	12	1	Good
682	Maple-Sugar	Acer	saccharum	15	1	Good
683	Maple-Sugar	Acer	saccharum	10	3	Fair
684	Maple-Sugar	Acer	saccharum	14	1	Fair
685	Maple-Sugar	Acer	saccharum	14	1	Fair
686	Locust-Black	Robinia	pseudoacacia	14	1	Fair
687	Maple-Sugar	Acer	saccharum	13	1	Fair
688	Locust-Black	Robinia	pseudoacacia	13	1	Poor
689	Maple-Sugar	Acer	saccharum	13	1	Poor
690	Maple-Red	Acer	rubrum	16	1	Good
691	Locust-Black	Robinia	pseudoacacia	14	1	Fair
692	Maple-Sugar	Acer	saccharum	12	1	Fair
693	Locust-Black	Robinia	pseudoacacia	13	1	Poor
694	Maple-Sugar	Acer	saccharum	18	1	Fair
695	Maple-Norway	Acer	platanoides	18	1	Good
696	Locust-Black	Robinia	pseudoacacia	13	1	Poor
697	Locust-Black	Robinia	pseudoacacia	12	1	Poor
698	Oak-Northern Red	Quercus	rubra	3	1	Fair
699	Oak-Northern Red	Quercus	rubra	3	1	Good
700	Oak-Northern Red	Quercus	rubra	4	1	Good
701	Oak-Northern Red	Quercus	rubra	3	1	Poor
702	Oak-Northern Red	Quercus	rubra	3	1	Fair
703	Oak-Northern Red	Quercus	rubra	3	1	Fair
704	Maple-Sugar	Acer	saccharum	3	1	Fair
705	Oak-Pin	Quercus	palustris	3	1	Fair
706	Oak-Pin	Quercus	palustris	3	1	Fair
707	Oak-Pin	Quercus	palustris	3	1	Poor

Equivalency Results [How are they calculated?](#)





The sum of the greenhouse gas emissions you entered above is of Carbon Dioxide Equivalent. This is equivalent to:





1,427 Metric Tons ▼





Greenhouse gas emissions from

  310 Passenger vehicles driven for one year	-or-	  3,585,353 Miles driven by an average passenger vehicle
--	------	--


CO₂ emissions from


  160,528 gallons of gasoline consumed	-or-	  140,138 gallons of diesel consumed	-or-
--	------	--	------


  1,576,808 Pounds of coal burned	-or-	  18.9 tanker trucks' worth of gasoline	-or-
---	------	---	------


  172 homes' energy use for one year	-or-	  259 homes' electricity use for one year	-or-
--	------	---	------



 **7.9**

 railcars' worth of coal burned

 **3,303**

 barrels of oil consumed

-or-

-or-

 **58,319**


 propane cylinders used for home barbeques


 **0.0004**

 coal-fired power plants in one year

-or-

-or-


 **173,536,581**


 number of smartphones charged

Greenhouse gas emissions avoided by

 **485**

 Tons of waste recycled instead of landfilled

 **69.3**


 Garbage trucks of waste recycled instead of landfilled


-or-

-or-

 **60,702**



 **0.297**





trash bags of waste recycled instead of landfilled

-or-



Wind turbines running for a year

-or-


54,070



Incandescent lamps switched to LEDs

Carbon sequestered by

23,589



tree seedlings grown for 10 years

-or-

1,748



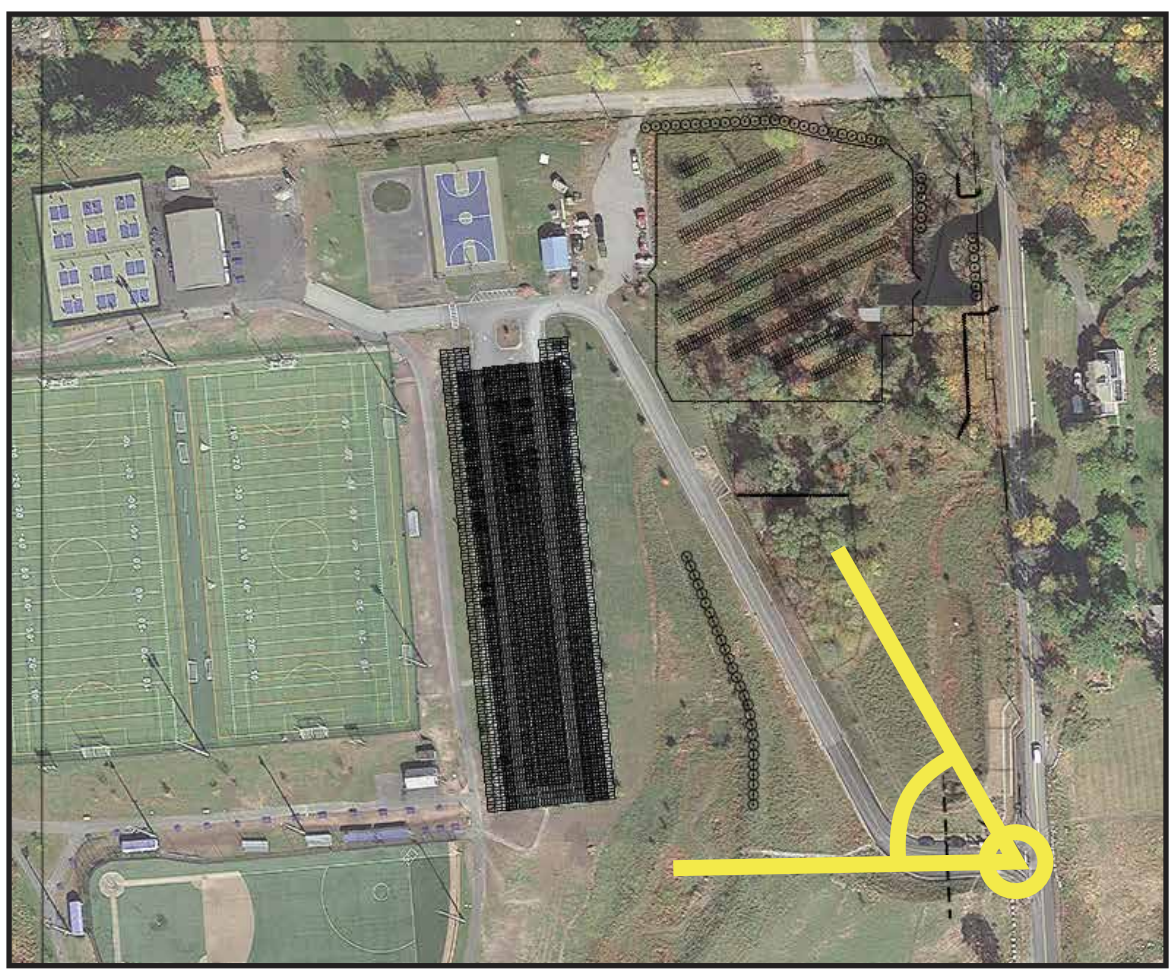
acres of U.S. forests in one year

-or-

9.8

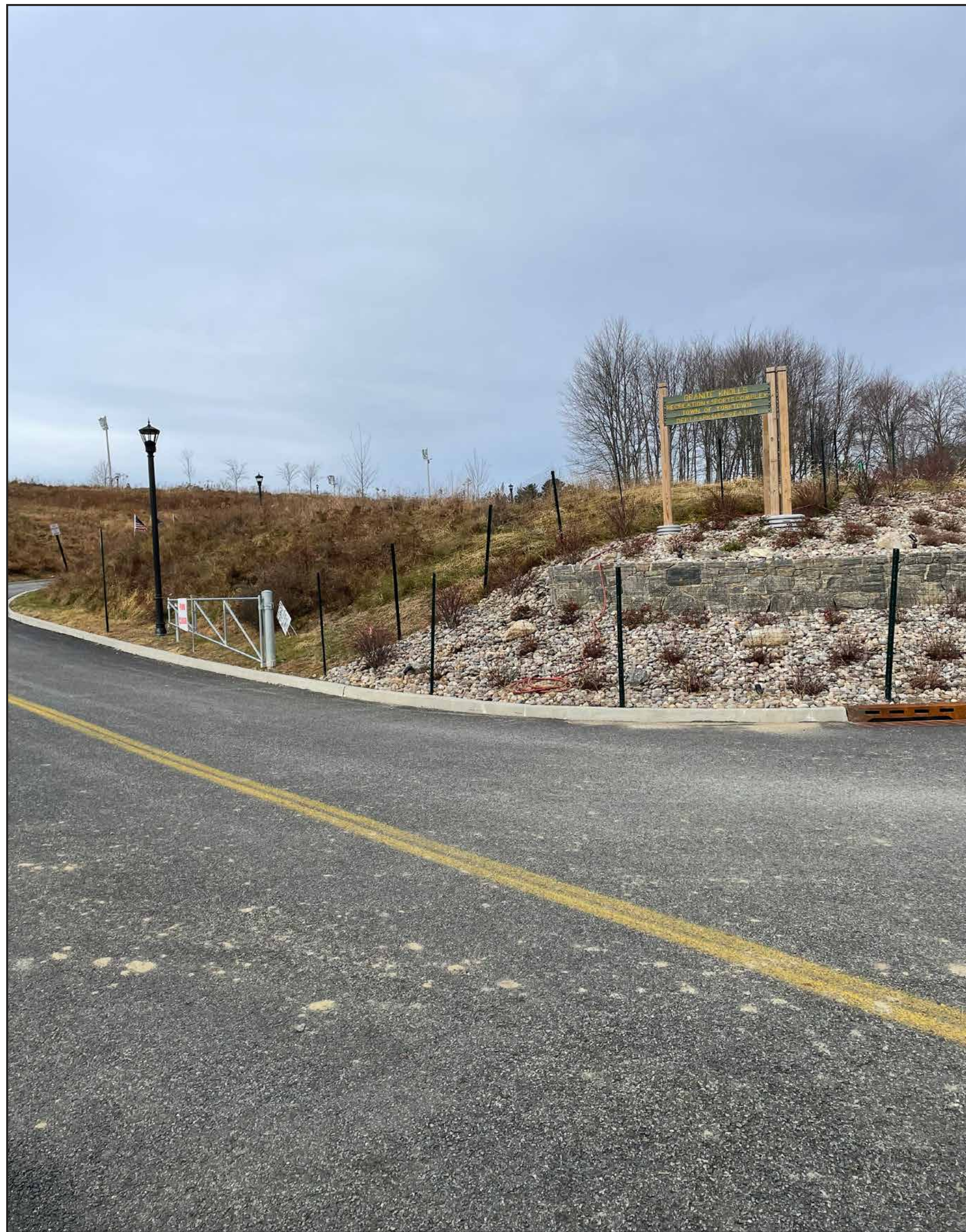


acres of U.S. forests preserved from conversion to cropland in one year

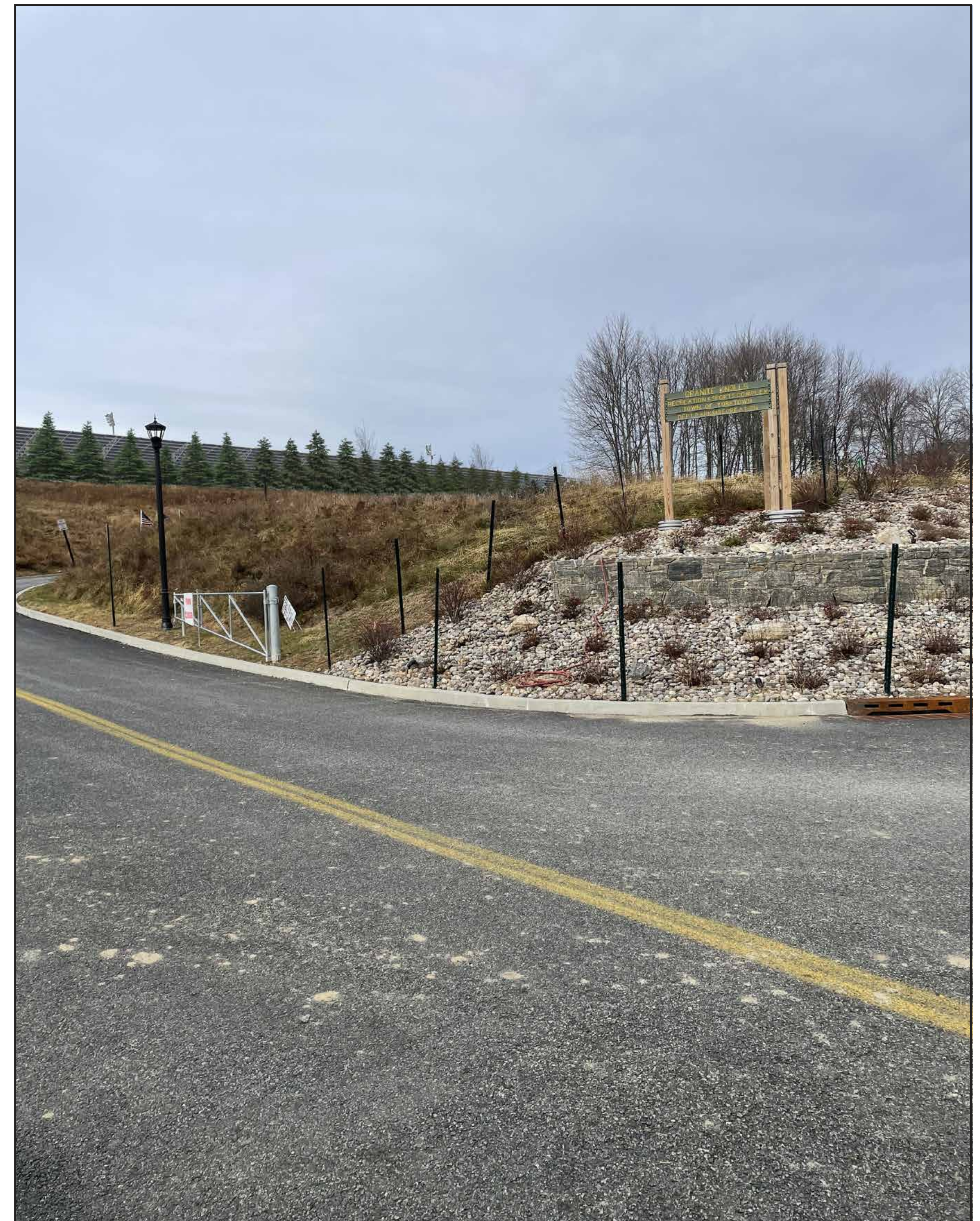


Location 1

Stoney Street, looking north west



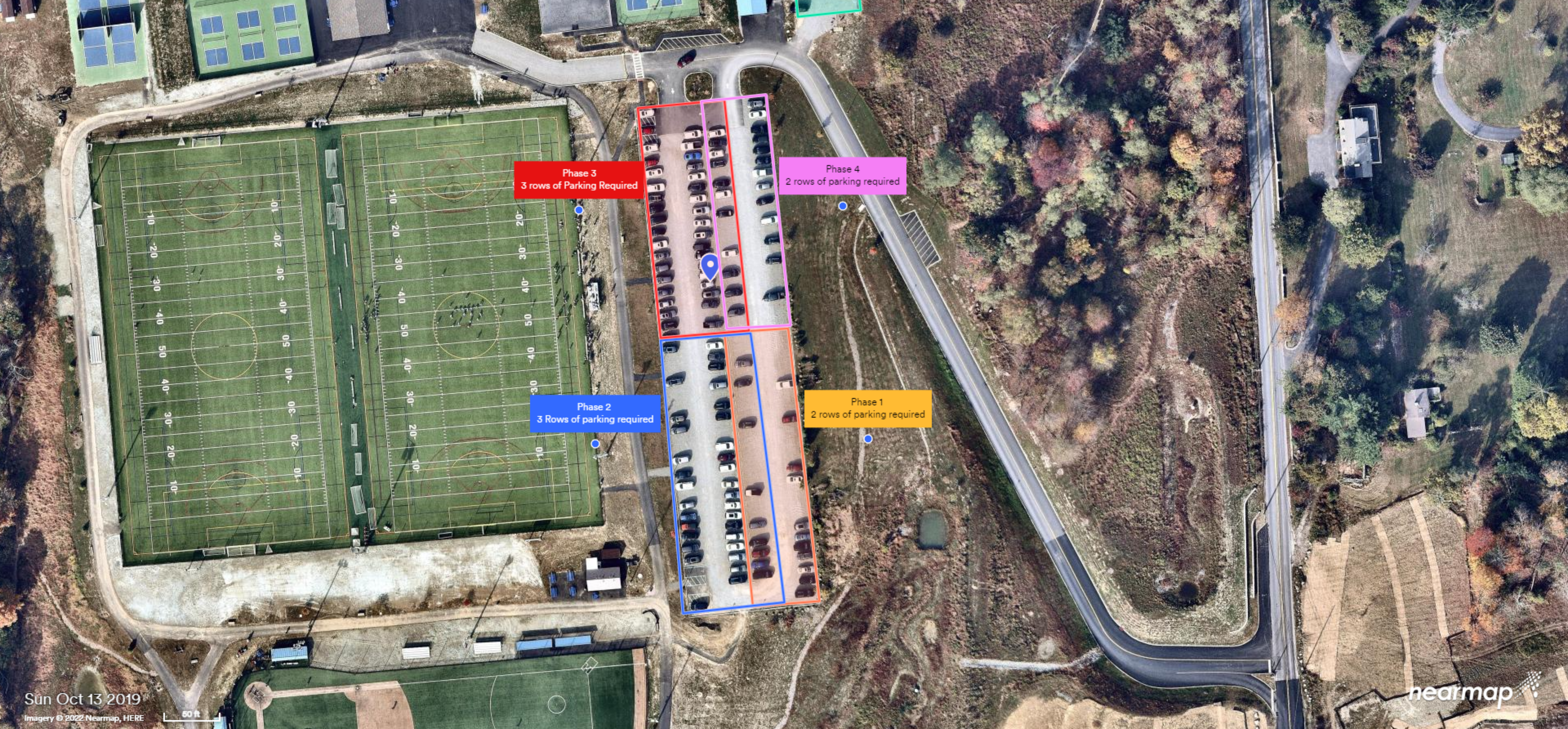
Existing



Proposed

Schedule - Gantt - Yorktown





Phase 3
3 rows of Parking Required

Phase 4
2 rows of parking required

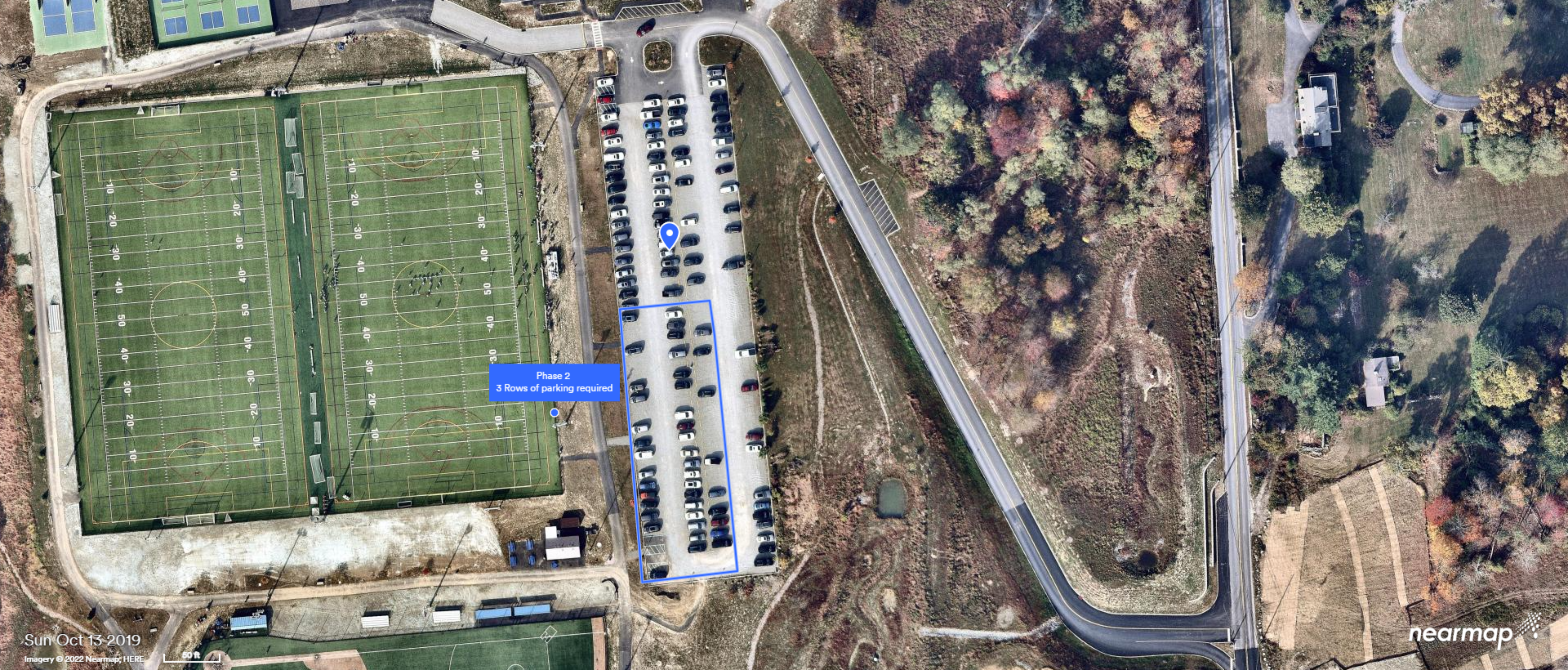
Phase 2
3 Rows of parking required

Phase 1
2 rows of parking required

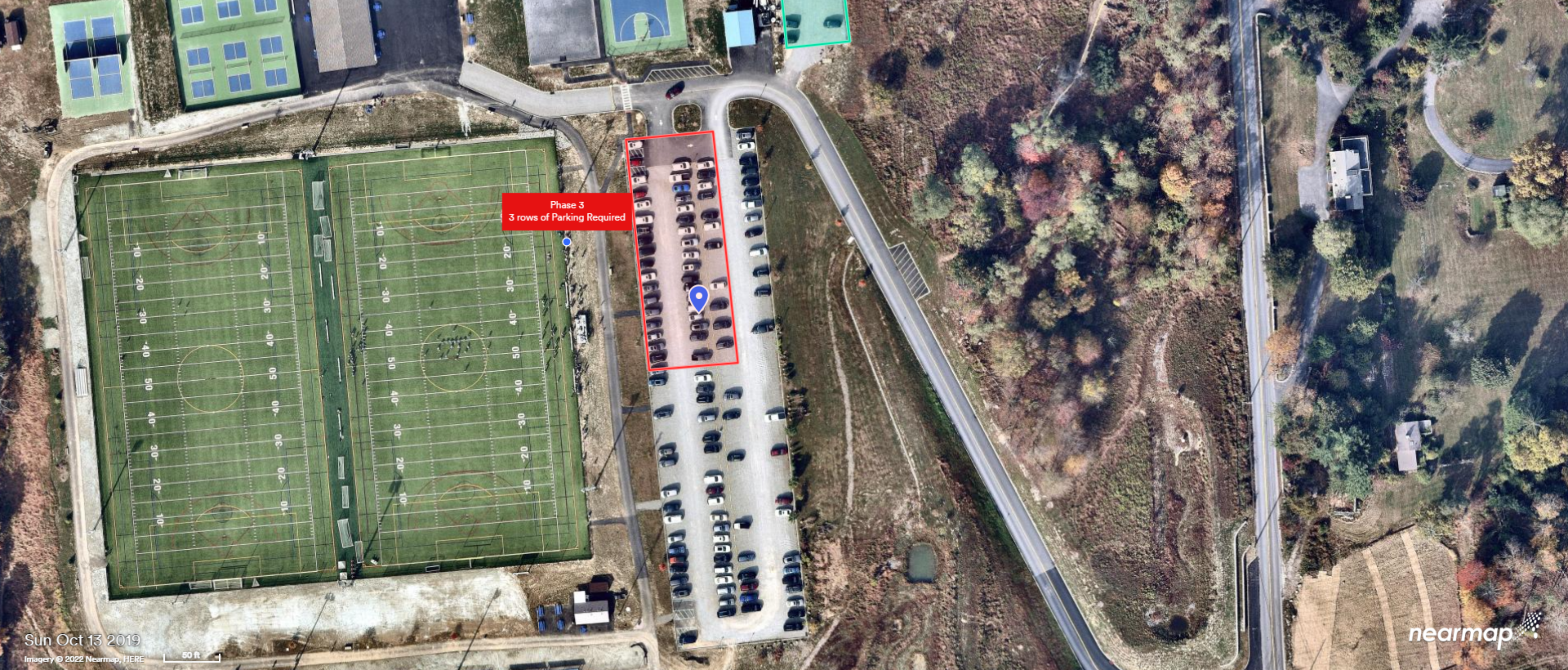


Phase 1
2 rows of parking required

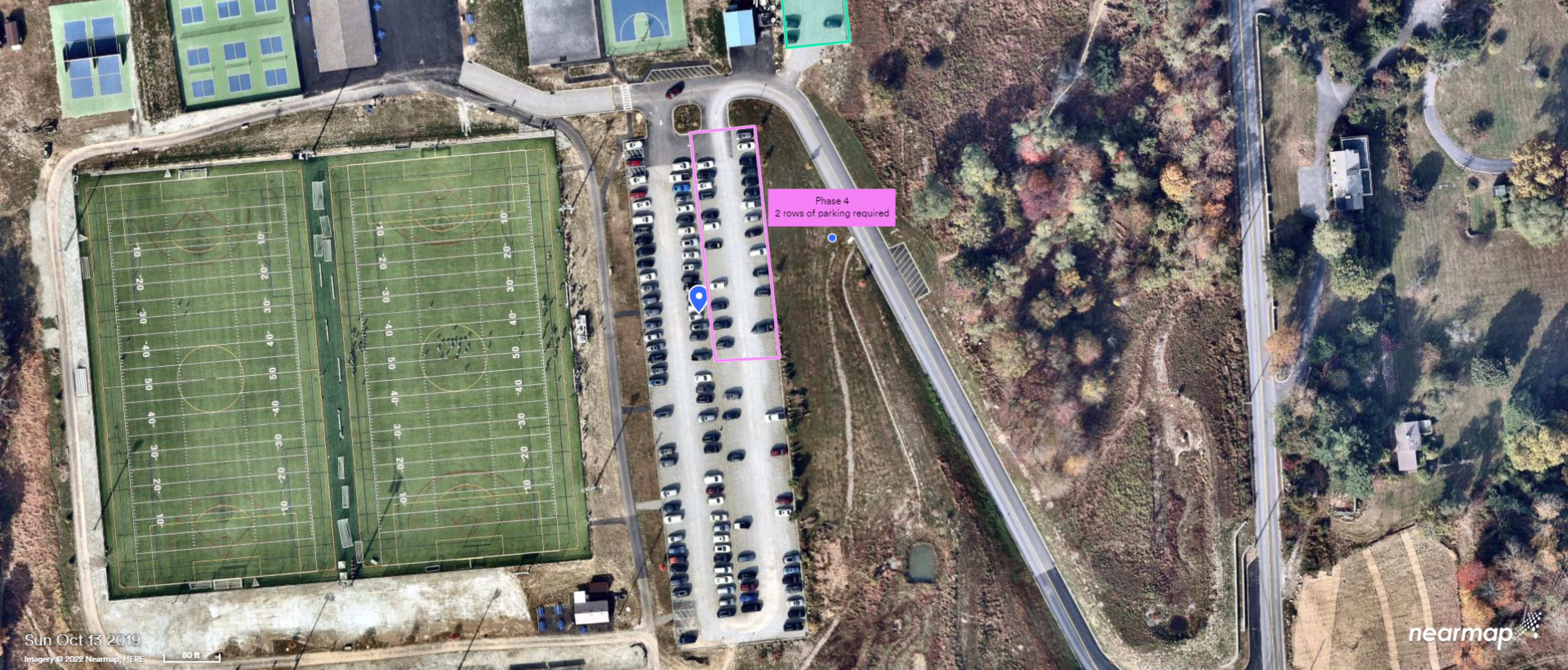




Phase 2
3 Rows of parking required

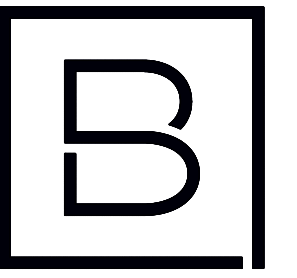


Phase 3
3 rows of Parking Required



Phase 4
2 rows of parking required

PRELIMINARY DEVELOPMENT PLANS FOR PROPOSED GRANITE KNOLLS PARK SOLAR DEVELOPMENT 2975 STONEY STREET MOHEGAN LAKE, NEW YORK



BERGMANN
ARCHITECTS ENGINEERS PLANNERS

2 Winners Circle, Suite 102
Albany, NY 12205
www.bergmannpc.com
office: 518.862.0325

HESP SOLAR, LLC

**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

Date Revised	Description
10/27/2021	REVISED PER CLIENT COMMENTS
11/09/2021	REVISED PER CLIENT COMMENTS
01/06/2022	REVISED PER CLIENT COMMENTS
03/01/2022	REVISED PER TOWN COMMENTS
04/08/2022	REVISED PER TOWN COMMENTS

PROJECT CONTACTS

CIVIL ENGINEER

BERGMANN
2 WINNERS CIRCLE, SUITE 102
ALBANY, NY 12205
CONTACT: ERIC REDDING, PE
PHONE: 518.556.3631

OWNER

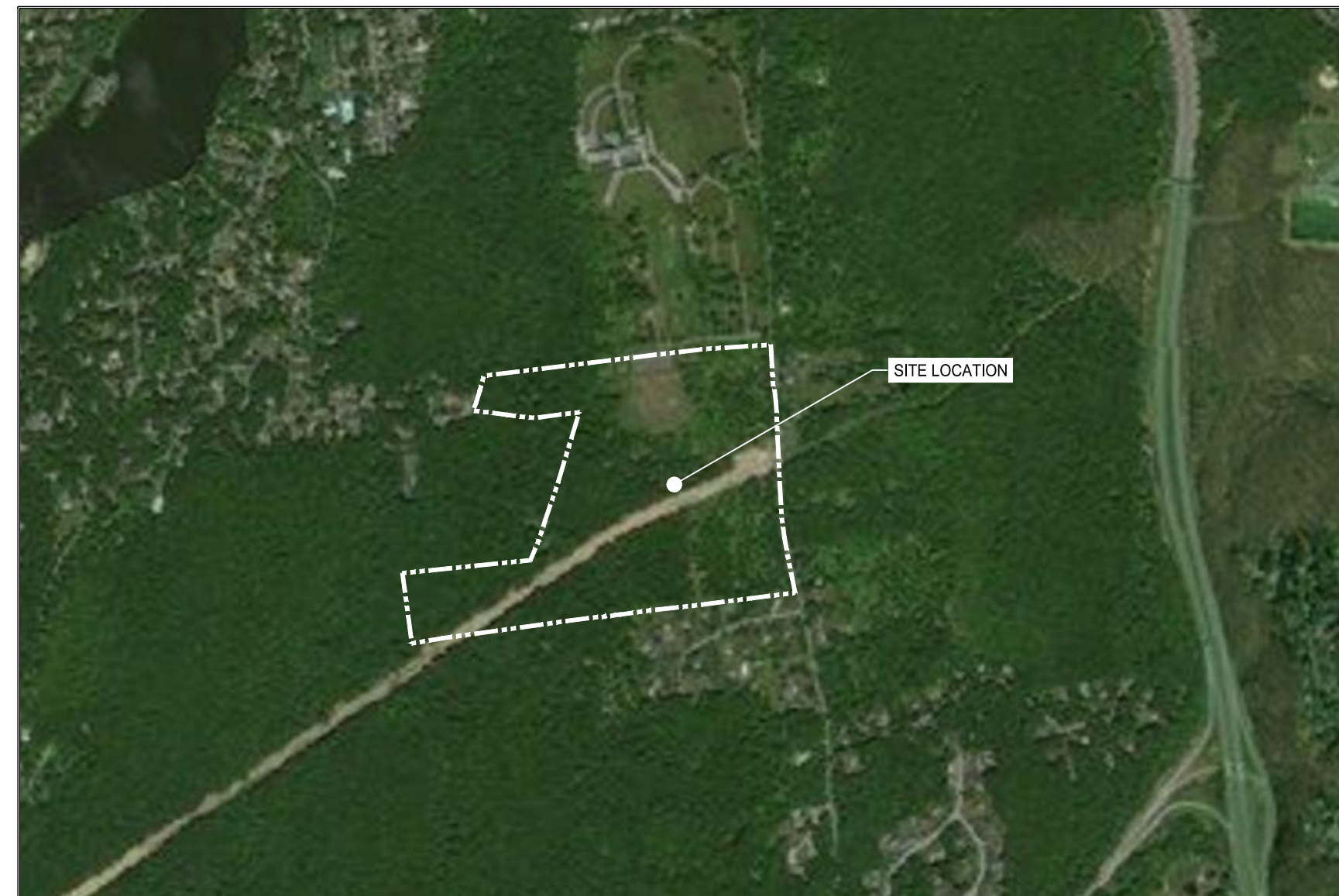
TOWN OF YORKTOWN PARKLAND
2975 STONEY STREET
MOHEGAN LAKE, NY 10547

APPLICANT

HESP SOLAR, LLC
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SUFFERN, NY 10901
CONTACT: SUSAN BRODIE
PHONE: 845.405.0600

ELECTRICAL ENGINEER

BERGMANN
280 EAST BROAD STREET #200
ROCHESTER, NY 14604
CONTACT: KATHLEEN CONNOLLY
PHONE: 585.498.7943



SITE LOCATION MAP
1"=1000'

DRAWING INDEX

DRAWING NO.	DRAWING TITLE	SHEET NO.
C000	COVER	1
C001	GENERAL NOTES	2
C002	AREA PARCEL PLAN	3
C003	EXISTING CONDITIONS PLAN	4
C004	OVERALL SITE PLAN	5
C005	SITE PLAN	6
C006	GRADING PLAN	7
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NOT FOR
CONSTRUCTION

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Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	MDP
Date Issued	Project Number
09/15/2021	14064.11

Sheet Name

COVER

Drawing Number

C000

SEQUENCE OF CONSTRUCTION:

- PRE-CONSTRUCTION MEETING HELD TO INCLUDE PROJECT MANAGER, OPERATOR'S ENGINEER, CONTRACTOR, AND SUB-CONTRACTORS PRIOR TO LAND DISTURBING ACTIVITIES.
- CONSTRUCT CONSTRUCTION ENTRANCE/EXIT AT LOCATIONS DESIGNATED ON PLANS.
- INSTALL PERIMETER SILT FENCE.
- HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- BEGIN CLEARING AND GRUBBING OPERATIONS. CLEARING AND GRUBBING SHALL BE DONE ONLY IN AREAS WHERE EARTHWORK WILL BE PERFORMED AND ONLY IN AREAS WHERE CONSTRUCTION IS PLANNED TO COMMENCE WITHIN 14 DAYS AFTER CLEARING AND GRUBBING.
- CONSTRUCT GRAVEL ROAD TO BE USED DURING CONSTRUCTION
- STRIP TOPSOIL AND STOCKPILE IN A LOCATION ACCEPTABLE TO CONSTRUCTION MANAGER. WHEN STOCKPILE IS COMPLETE, INSTALL PERIMETER SILT FENCE, SEED SURFACE WITH 100% PERENNIAL RYEGRASS MIXTURE AT A RATE OF 2-4 LBS. PER 1000 SF. APPLY 90-100 LBS PER 1000 SF OF MULCH.
- COMMENCE EARTHWORK CUT AND FILLS. THE WORK SHALL BE PROGRESSED TO ALLOW A REASONABLE TRANSFER OF CUT AND FILL EARTH FOR ROUGH GRADING AND EARTH MOVING. THE CONTRACTOR WILL BE GIVEN SOME LATITUDE TO VARY FROM THE FOLLOWING SCHEDULE IN ORDER TO MEET THE FIELD CONDITIONS ENCOUNTERED. CONTRACTOR SHALL REVIEW VARIATIONS TO SWPPP WITH DESIGN ENGINEER AND QUALIFIED PROFESSIONAL PRIOR TO IMPLEMENTATION.
- REMOVE GRAVEL DRIVEWAY USED DURING CONSTRUCTION AND CONSTRUCT THE PROPOSED PERVIOUS GRAVEL DRIVEWAY AFTER CONSTRUCTION ACTIVITIES SUCH AS THE INSTALLATION OF THE PANELS AND PERIMETER FENCE. THE SUB-GRADE MATERIAL WHERE THE DRIVEWAY IS TO BE INSTALLED SHALL BE DECOMPACTED PER NYSDEC'S "DEEP-RIPPING AND DECOMPACTION" MANUAL, DATED APRIL 2008. CONTRACTOR SHALL AVOID FREQUENT HEAVY TRAFFIC ON THE LIMITED USE PERVIOUS GRAVEL.
- AS ROADWAY AND ACCESS DRIVES ARE BROUGHT TO GRADE, THEY WILL BE STABILIZED WITH CRUSHED STONE SUBBASE AT A DEPTH SPECIFIED ON PLANS TO PREVENT EROSION AS SOON AS PRACTICABLE.
- STABILIZE ALL AREAS AS SOON AS PRACTICABLE, IDLE IN EXCESS OF 7 DAYS AND IN WHICH CONSTRUCTION WILL NOT RECOMMENCE WITHIN 14 DAYS.
- INSTALL UTILITIES. TRENCH EXCAVATION/BACKFILL AREAS SHOULD BE STABILIZED PROGRESSIVELY AT THE END OF EACH WORKDAY WITH SEED AND STRAW MULCH AT A RATE OF 100% PERENNIAL RYE GRASS AT 2-4 LBS/1000 SF MULCHED AT 90-100 LBS/1000 SF.
- STABILIZE ALL AREAS IDLE IN EXCESS OF 7 DAYS IN WHICH CONSTRUCTION WILL NOT RECOMMENCE WITHIN 14 DAYS.
- REMOVE TEMPORARY CONSTRUCTION EXITS AND PERIMETER SILT FENCE ONCE SITE HAS ACHIEVED 80% UNIFORM STABILIZATION.

GENERAL NOTES:

- THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
- HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
- THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE. USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
- EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECTS CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED JANUARY 1, 2020 AND ANY SUBSEQUENT APPENDICES.

WASTE/HAZARDOUS MATERIAL PRACTICES:

- WHENEVER POSSIBLE COVERED TRASH CONTAINERS SHOULD BE USED.
- DAILY SITE CLEANUP IS REQUIRED TO REDUCE DEBRIS AND POLLUTANTS IN THE ENVIRONMENT.
- CONTRACTOR SHALL PROVIDE A SAFE STORAGE SPACE FOR ALL PAINTS, STAINS AND SOLVENTS INSIDE A COVERED STORAGE AREA.
- ALL FUELS, OILS, AND GREASE MUST BE KEPT IN CONTAINERS AT ALL TIMES.

EROSION & SEDIMENT CONTROL NOTES:

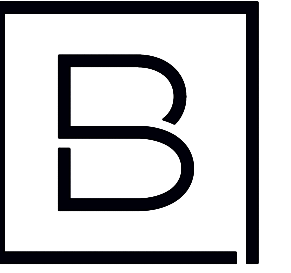
- INSTALL EROSION CONTROL MEASURES AS INDICATED ON THE PLAN PRIOR TO THE START OF ANY EXCAVATION WORK. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, AND THE GOVERNING MUNICIPAL REQUIREMENTS.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER REPLACE TOPSOIL TO A MINIMUM 4" DEPTH WITH TOPSOIL OR AMENDED SOIL. ALL DISTURBED AREAS TO BE SEEDED TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATIVE COVER HAS BEEN ACHIEVED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL OR AMENDED TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.) MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

STORM WATER POLLUTION PREVENTION PLAN NOTES:

- THE CONTRACTOR SHALL PROVIDE A QUALIFIED INSPECTOR TO INSPECT THE PROJECT AT THE END OF EACH WORK WEEK AND PROVIDE A REPORT AT LEAST ONCE PER WEEK.
- EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, WESTCHESTER COUNTY DEPARTMENT OF HEALTH, AND THE TOWN OF YORKTOWN REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES (BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEED AS DIRECTED BY THE CONSTRUCTION MANAGER TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
- IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE 80% UNIFORM VEGETATION HAS BEEN ACHIEVED.
- ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED WHEN THEY HAVE REACHED THE DESIGN LIFE INDICATED IN THE NYS GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL DESIGN MANUAL OR EVERY THREE MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL AND EROSION CONTROL STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.) MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESUME WITHIN FOURTEEN (14) DAYS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPOILS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- DUST SHALL BE CONTROLLED BY WATERING.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- EROSION CONTROL MEASURES SHOULD BE RELOCATED INWARD AS PERIMETER SLOPE CONSTRUCTION PROGRESSES AND RECONSTRUCTED TO THE NYS STANDARDS & SPECIFICATION AT THE END OF EACH DAY.
- PERIMETER AREAS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH PROGRESSIVELY AT MINIMUM AT THE END OF EACH WEEK WITH 100% PERENNIAL RYEGRASS MIX AT A RATE OF 2-4 LBS PER 1000 SF AND MULCH 90-100 LBS PER 1000 SF OF WEED FREE STRAW.
- SLOPE TRACKING SHALL BE IMPLEMENTED ON ALL SLOPE 1 ON 3 OR GREATER AT THE END OF EACH WORK DAY AND PRIOR TO FINAL SLOPE GRADING AND STABILIZATION.

SITE STABILIZATION:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDS BLOWN. A TRACTOR-DRAWN IMPLEMENTS MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ALONG THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- BEFORE SEEDING IS APPLIED THE CONTRACTOR SHALL SPREAD SOIL TO PREVENT PONDING AND CONFIRM THAT SOIL WILL SUSTAIN THE SEED GERMINATION AND ESTABLISHMENT OF VEGETATION.
- GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENEO TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE. COMPACTED SOILS SHOULD BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES, ALONG CONTOUR WHEREVER POSSIBLE, PRIOR TO SEEDING.
- TOPSOIL OR AMENDED SOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A MINIMUM DEPTH OF 6 INCHES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE $\frac{1}{2}$ " TO $\frac{1}{4}$ ". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45° F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.
- LIME, FERTILIZER, SEED, AND MULCH DISTURBED AREAS PER THE EROSION AND SEDIMENT CONTROL PLANS. IN AREAS OF STEEP SLOPES OR OBVIOUS AREAS WHERE POTENTIAL EROSION MAY OCCUR, AN EROSION CONTROL MAT OR FLEXIBLE GROWTH MEDIUM (FGM) SHALL BE USED. FGM SHALL BE APPLIED PER MANUFACTURER SPECIFICATIONS.
- ONCE A SECTION OF THE ALIGNMENT HAS BEEN STABILIZED, NO CONSTRUCTION TRAFFIC SHALL OCCUR TO REMOVE ANY BMP'S UNTIL THE SECTION HAS ACHIEVED 80% PERENNIAL VEGETATIVE COVER. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NONVEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.



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HESP SOLAR, LLC

GRANITE KNOLLS PARK SOLAR PROJECT

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

Date Revised	Description
10/27/2021	REVISED PER CLIENT COMMENTS
11/09/2021	REVISED PER CLIENT COMMENTS
01/06/2022	REVISED PER CLIENT COMMENTS
03/01/2022	REVISED PER TOWN COMMENTS
04/08/2022	REVISED PER TOWN COMMENTS

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Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	MDP
Date Issued	Project Number
09/15/2021	15111.00

Sheet Name

GENERAL NOTES

Drawing Number

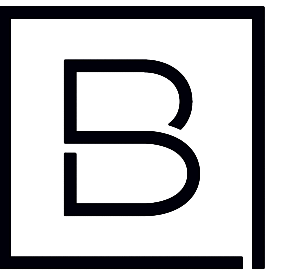
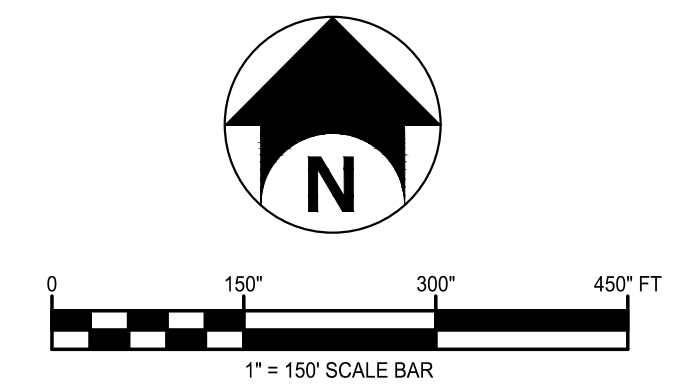
C001



NUMBER	TAX ID	PARCEL OWNER
1	26.13-1-11	JOSEPH II DARONCO
2	26.13-1-12	RICHARD & HERNANDEZ
3	26.13-1-13	MARK & MARY CONNELLY
4	26.13-1-14	JOSEPH & KEARNS
5	26.13-1-15	FRANK & LAUREN FONTANA

NUMBER	TAX ID	PARCEL OWNER
6	26.14-1-5	EMANUEL GUTZMER
7	26.14-1-3	MYRA & HELFAND
8	26.14-1-4	EDWIN & LYDIA CUEVO
9	26.13-1-4	YING & ZHONG CHENYIN LI
10	26.13-1-5	PHILIP & CHERYL MARIANO

NUMBER	TAX ID	PARCEL OWNER
11	26.13-1-6	STALYN & MARMOLEJOS
12	26.13-1-8	RIHCHARD & JABLONSKI
13	26.13-1-7	ROGER & PICCIRILLI
14	26.13-1-3	MYRA & HELFAND
15	26.14-1-2	TOWN OF YORKTOWN PARKLAND



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**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

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ECR	ECR
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AG	MDP
Date Issued	Project Number
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Sheet Name

AREA PARCEL PLAN

Drawing Number

C002

3151 STOMEY ST. LLC
L.9844 P.274
TAX ID# 26.05-1-4

TOWN OF YORKTOWN PARKLAND
TAX ID# 26.09-1-22
AREA = 3,169,425.6± SQ. FT.
OR 72.76± ACRES



NOTES:

- 1) PROPERTY IS LOCATED IN ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF YORKTOWN, COUNTY OF WESTCHESTER, STATE OF NEW YORK, COMMUNITY PANEL NUMBER 36119C0037F, EFFECTIVE DATE SEPTEMBER 28, 2007.
- 2) THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON AN INSTRUMENT LOCATION OF THE ABOVE GROUND FEATURES (MANHOLES, VALVES, HYDRANTS, ETC.) ALONG WITH RECORD UTILITY PLANS AND STAKEOUT IN THE FIELD BY THEIR RESPECTIVE COMPANIES. UNDERGROUND UTILITIES ARE NOT CERTIFIED TO THEIR LOCATION OR COMPLETENESS.
- 3) NO ABSTRACT OF TITLE PROVIDED, PROPERTY IS SUBJECT TO ANY EASEMENTS, ENCUMBRANCES OR RESTRICTIONS THAT AN ABSTRACT OF TITLE WOULD SHOW.
- 4) THE HORIZONTAL DATUM IS REFERENCED TO THE NEW YORK STATE PLANE COORDINATE SYSTEM, EAST ZONE (NAD 83) THROUGH GPS OBSERVATIONS.
- 5) THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) THROUGH GPS OBSERVATIONS.
- 6) THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 7) THERE IS NO EVIDENCE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 8) THERE WERE NO WETLAND DELINEATION MARKERS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 9) THE INSURED PROPERTY AS DESCRIBED IN THE TITLE COMMITMENT IS THE SAME AS THE PROPERTY SHOWN HEREON.
- 10) THE EXISTING TOPOGRAPHY IS BASED ON A MIX OF SURVEY AND LIDAR DATA

REFERENCES:

- 1) THE FOLLOWING DEEDS FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE:
CONTROL #502713410
CONTROL #572913900
- 2) TITLE REPORT BY XXXXXXX, TITLE #XXXXXX DATED XXXX, 2021.

LEGEND

	PROPERTY LINE
	ADJOINER PROPERTY LINE
	STONE WALL
	ROAD CENTERLINE
	OVERHEAD WIRE
	EXISTING FENCE
	STREAM CENTERLINE
	CONTOUR - MAJOR
	CONTOUR - MINOR
	SWALE CENTERLINE
	EDGE OF ASPHALT
	APPROXIMATE EXISTING TREELINE
	EXISTING WETLAND (PEM - NON WOTUS)
	EXISTING GRAVEL ROAD
	UTILITY POLE
	IRON MONUMENT
	FOUND CONCRETE MONUMENT
	EXISTING SIGN
	GUY WIRE

HESP SOLAR, LLC

**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

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10/27/2021	REVISED PER CLIENT COMMENTS
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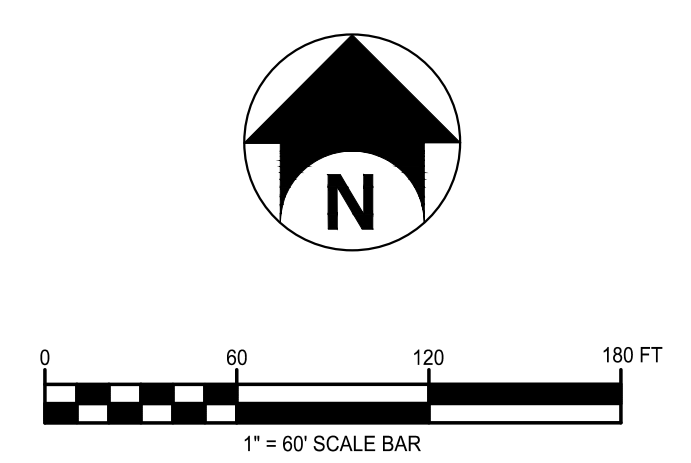
Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	MDP
Date Issued	Project Number
09/15/2021	15111.00

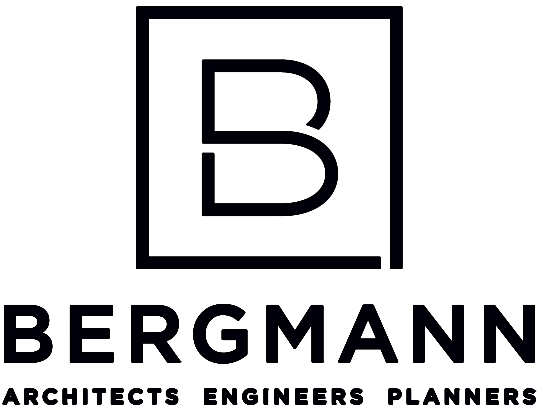
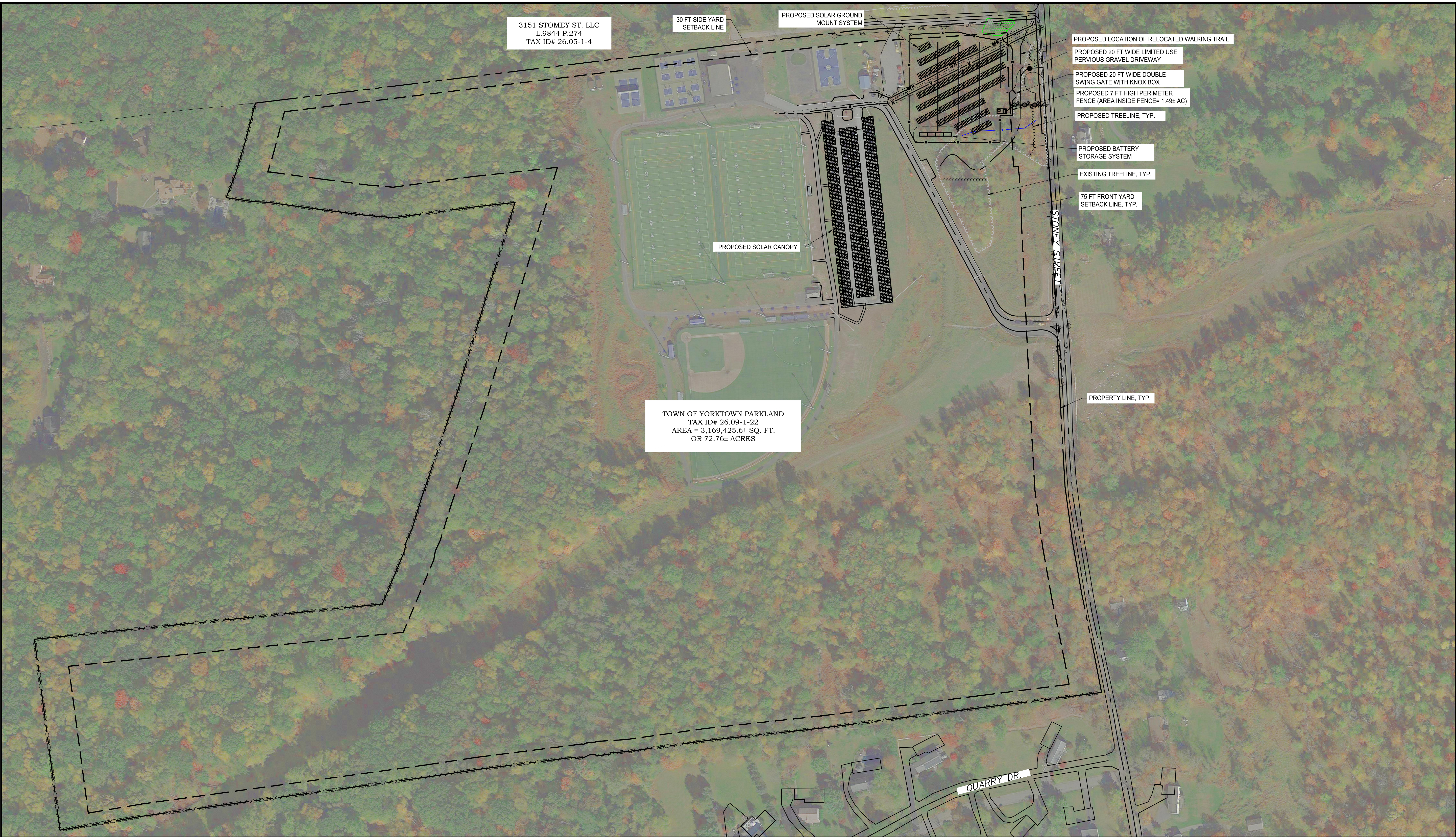
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EXISTING CONDITIONS

Drawing Number

C003





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**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

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Project Manager ECR	Discipline Lead ECR
Designer AG	Reviewer MDP
Date Issued 09/15/2021	Project Number 15111.00

OVERALL SITE PLAN

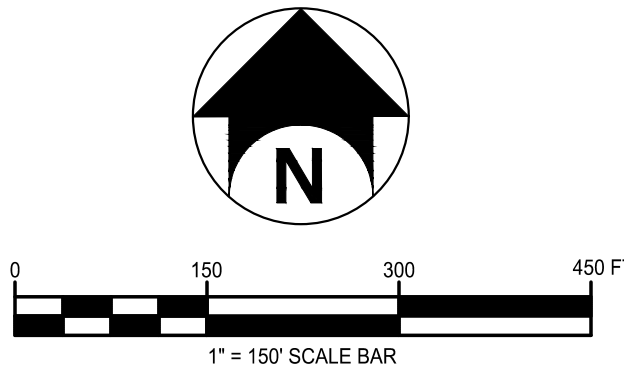
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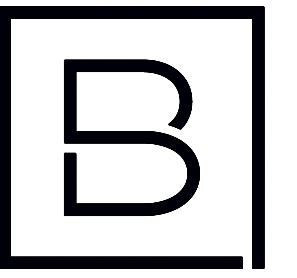
SITE PLAN DATA TABLE		
SITE IS LOCATED IN THE "R1-160" ONE-FAMILY RESIDENTIAL		
PROPOSED USE: SOLAR ENERGY SYSTEM		
PARCEL 26.09-1-22		
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER		
STATE OF NEW YORK		
APPLICANT: HESP SOLAR, LLC 400 RELLA BOULEVARD, SUITE 160 SUFFERN, NY, 10901 INFO@HESPSOLAR.COM	OWNER(S) OF RECORD: TOWN OF YORKTOWN PARKLAND	
PLANS PREPARED BY: BERGMANN 2 WINNERS CIRCLE, SUITE 102 ALBANY, NY 12205 (518) 862-0325		
DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	N/A	3,169,425± SF / 72.76± ACRES
MINIMUM LOT WIDTH	N/A	1,675 ± FT
MIN. SIDE YARD SETBACK	30 FT	48± FT
MIN. FRONT YARD SETBACK	75 FT	82± FT
MIN. REAR YARD SETBACK	75 FT	638± FT

NOTES

- REQUIRED ZONING STANDARDS REFLECT THE MOST STRICT RESIDENTIAL ZONING REQUIREMENTS OF THE TOWN OF YORKTOWN PER SECTION 300 ATTACHMENT 1 APPENDIX A RESIDENCE ZONE STANDARDS.

LEGEND			
	PROPERTY LINE		EXISTING EDGE OF ASPHALT
	SET BACK LINE		APPROXIMATE EXISTING TREELINE
	STONE WALL		EXISTING WETLAND (PEM - NON WOTUS)
	ADJOINER PROPERTY LINE		PROPOSED SOLAR CANOPY
	ROAD RIGHT-OF-WAY		PROPOSED SOLAR PANEL
	EXISTING ROAD CENTERLINE		EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRE		PROPOSED UTILITY POLE
	EXISTING STREAM CENTERLINE		STONE LEVEL SPREADER
	PROPOSED FENCE LINE		
	EXISTING FENCE LINE		
	PROPOSED OVERHEAD UTILITY LINE		
	PROPOSED UNDERGROUND UTILITY LINE		
	PROPOSED SWALE		
	PROPOSED TREELINE		
	SWALE CENTERLINE		
	EXISTING BUILDING		





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HESP SOLAR, LLC

**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

Date Revised	Description
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Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	MDP
Date Issued	Project Number
09/15/2021	15111.00

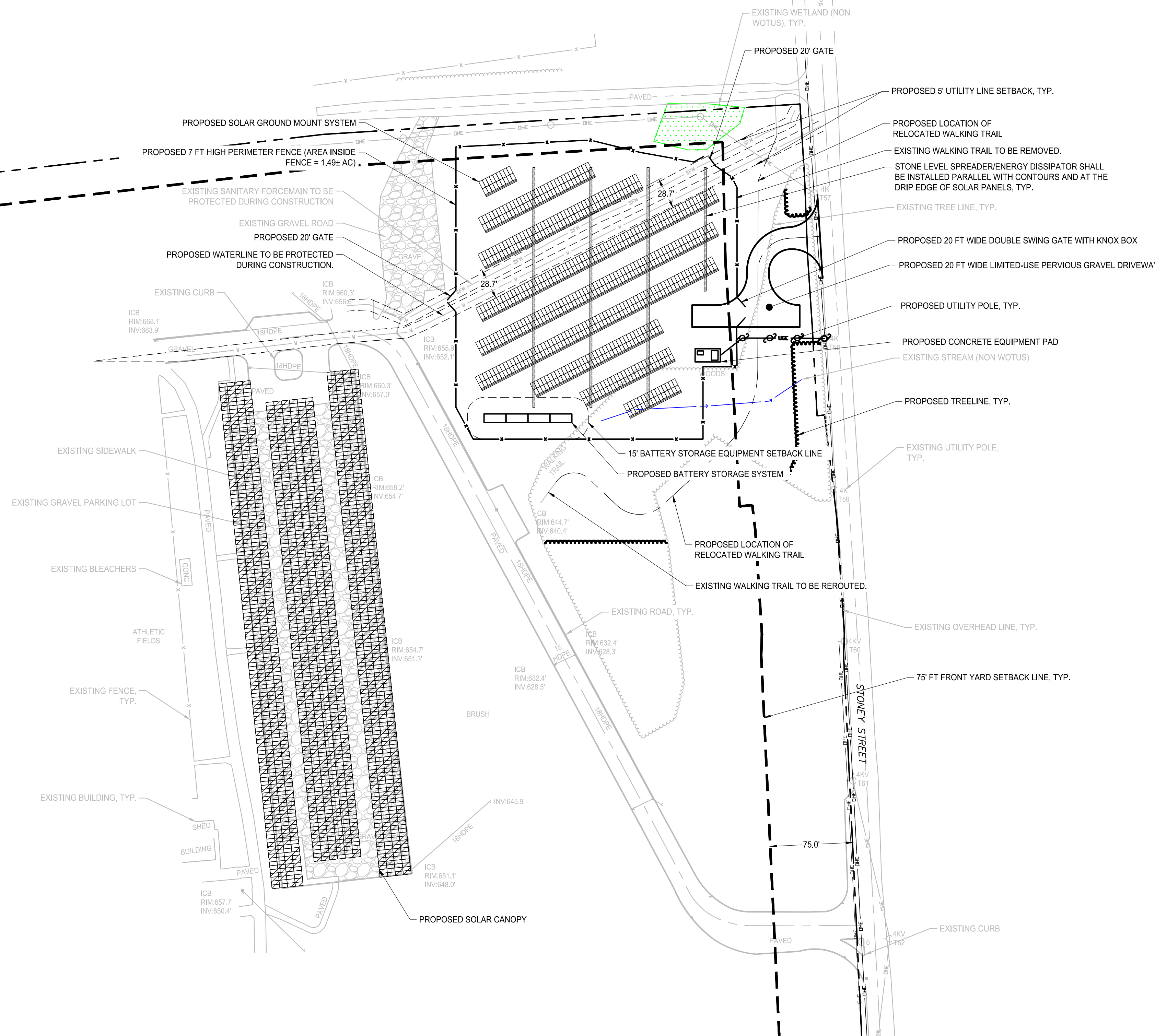
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SITE PLAN

Drawing Number

C005

3151 STOMEY ST. LLC
L 9844 P.274
TAX ID# 26.05-1-4

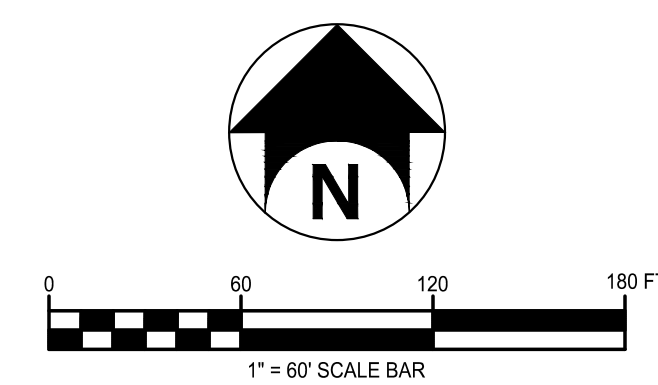


SITE PLAN DATA TABLE		
SITE IS LOCATED IN THE "R1-160" ONE-FAMILY RESIDENTIAL		
PROPOSED USE: SOLAR ENERGY SYSTEM		
PARCEL 26.09-1-22		
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER		
STATE OF NEW YORK		
APPLICANT: HESP SOLAR, LLC 400 RELLA BOULEVARD, SUITE 160 SUFFERN, NY, 10901 INFO@HESPSOLAR.COM	OWNER(S) OF RECORD: TOWN OF YORKTOWN PARKLAND	
PLANS PREPARED BY: BERGMANN 2 WINNERS CIRCLE, SUITE 102 ALBANY, NY 12205 (518) 862-0325		
DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT SIZE	N/A	3,169,425± SF / 72.78± ACRES
MINIMUM LOT WIDTH	N/A	1,675 ± FT
MIN. SIDE YARD SETBACK	30 FT	48± FT
MIN. FRONT YARD SETBACK	75 FT	82± FT
MIN. REAR YARD SETBACK	75 FT	638± FT

- NOTES
- REQUIRED ZONING STANDARDS REFLECT THE MOST STRICT RESIDENTIAL ZONING REQUIREMENTS OF THE TOWN OF YORKTOWN PER SECTION 300 ATTACHMENT 1 APPENDIX A RESIDENCE ZONE STANDARDS.

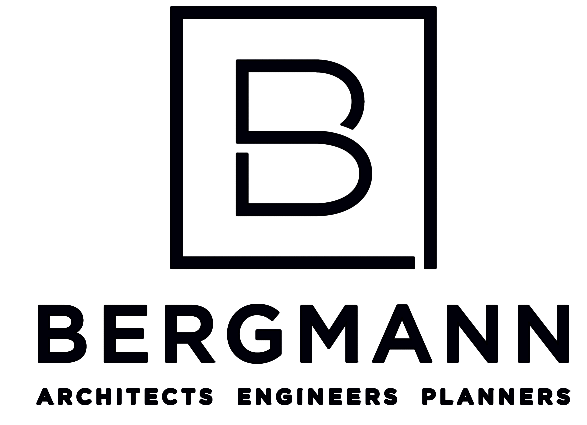
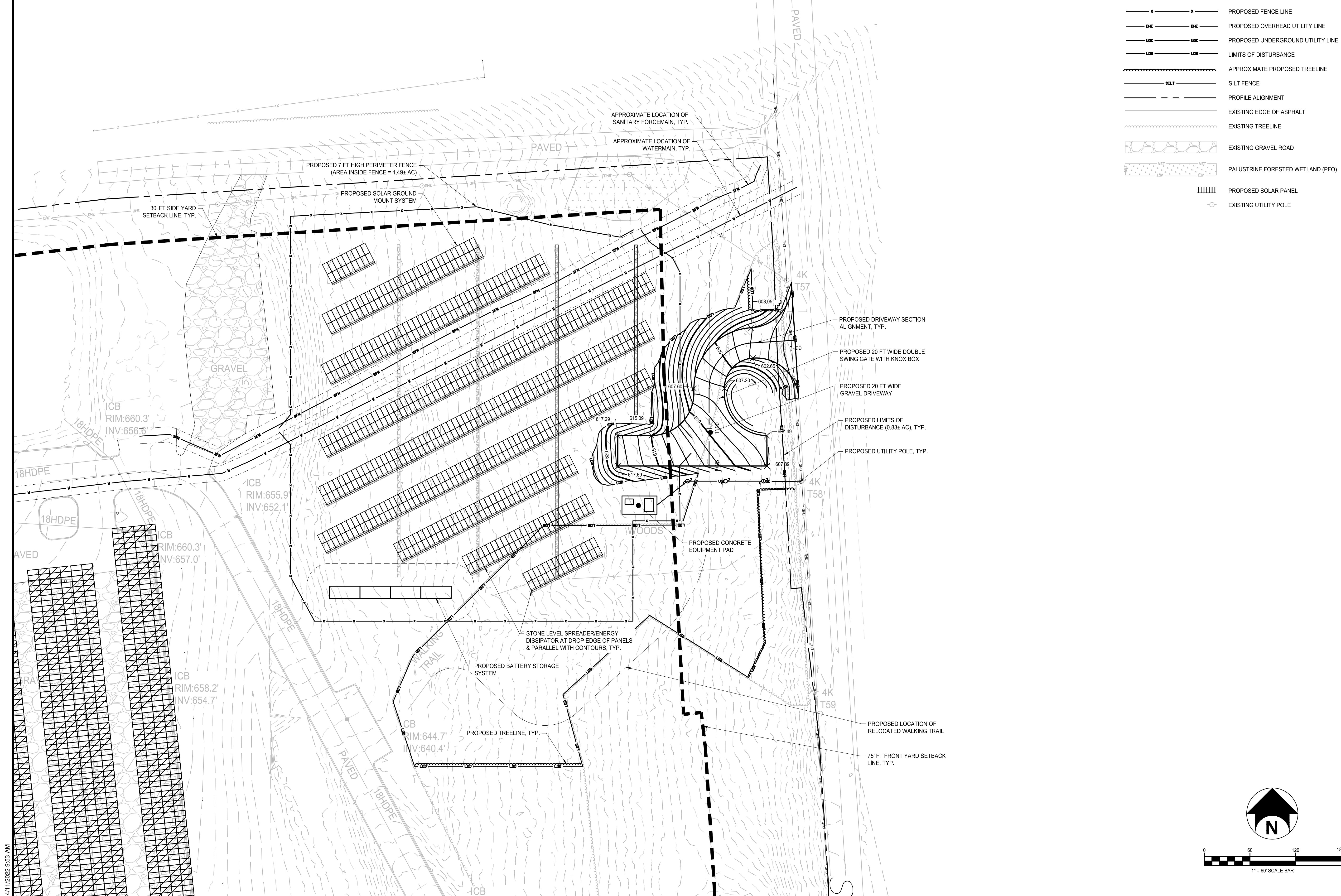
LEGEND

	PROPERTY LINE		EXISTING EDGE OF ASPHALT
	SET BACK LINE		APPROXIMATE EXISTING TREELINE
	STONE WALL		EXISTING GRAVEL ROAD
	ADJOINER PROPERTY LINE		EXISTING WETLAND (PEM - NON WOTUS)
	ROAD RIGHT-OF-WAY		PROPOSED SOLAR PANEL
	EXISTING ROAD CENTERLINE		EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRE		PROPOSED UTILITY POLE
	EXISTING STREAM CENTERLINE		STONE LEVEL SPREADER
	PROPOSED FENCE LINE		
	EXISTING FENCE LINE		
	PROPOSED OVERHEAD UTILITY LINE		
	PROPOSED UNDERGROUND UTILITY LINE		
	PROPOSED SWALE		
	PROPOSED TREELINE		
	SWALE CENTERLINE		
	EXISTING BUILDING		



LEGEND

	PROPERTY LINE
	SET BACK LINE
	WETLAND SET BACK
	STONE WALL
	ADJOINER PROPERTY LINE
	ROAD RIGHT-OF-WAY
	EXISTING ROAD CENTERLINE
	EXISTING OVERHEAD WIRE
	EXISTING STREAM CENTERLINE
	PROPOSED FENCE LINE
	PROPOSED OVERHEAD UTILITY LINE
	PROPOSED UNDERGROUND UTILITY LINE
	LIMITS OF DISTURBANCE
	APPROXIMATE PROPOSED TREELINE
	SILT FENCE
	PROFILE ALIGNMENT
	EXISTING EDGE OF ASPHALT
	EXISTING TREELINE
	EXISTING GRAVEL ROAD
	PALUSTRINE FORESTED WETLAND (PFO)
	PROPOSED SOLAR PANEL
	EXISTING UTILITY POLE



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HESP SOLAR, LLC

**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

Date Revised	Description
10/27/2021	REVISED PER CLIENT COMMENTS
11/09/2021	REVISED PER CLIENT COMMENTS
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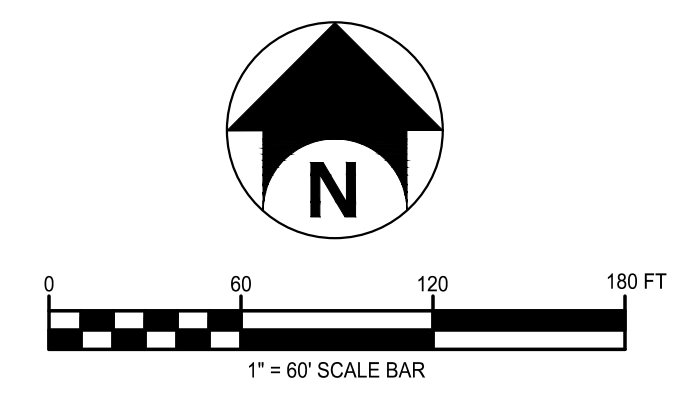
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Designer AG	Reviewer ECR
Date Issued 09/15/2021	Project Number 15111.00

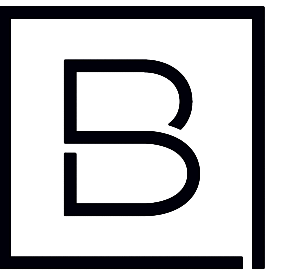
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GRADING PLAN

Drawing Number

C006





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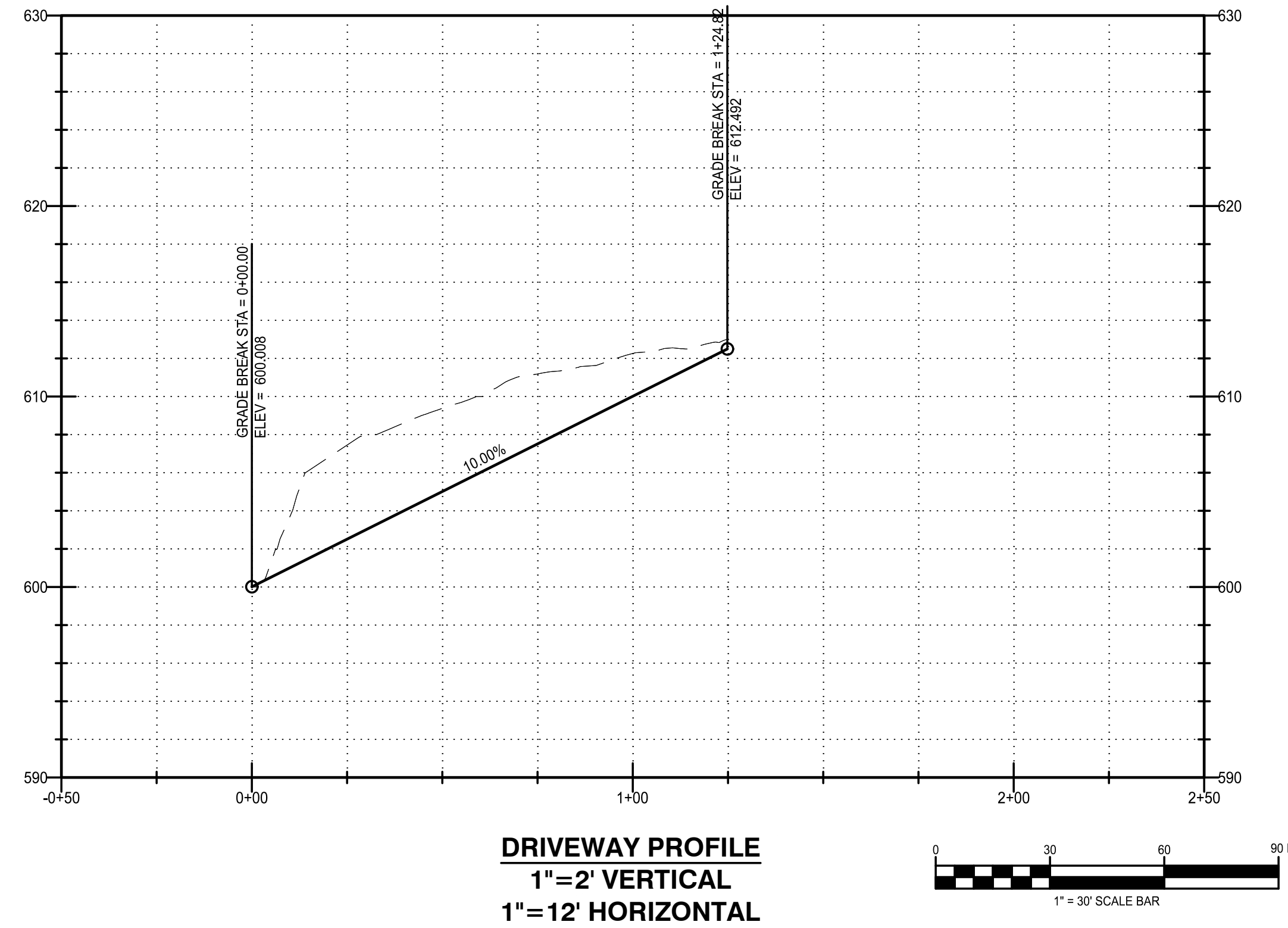
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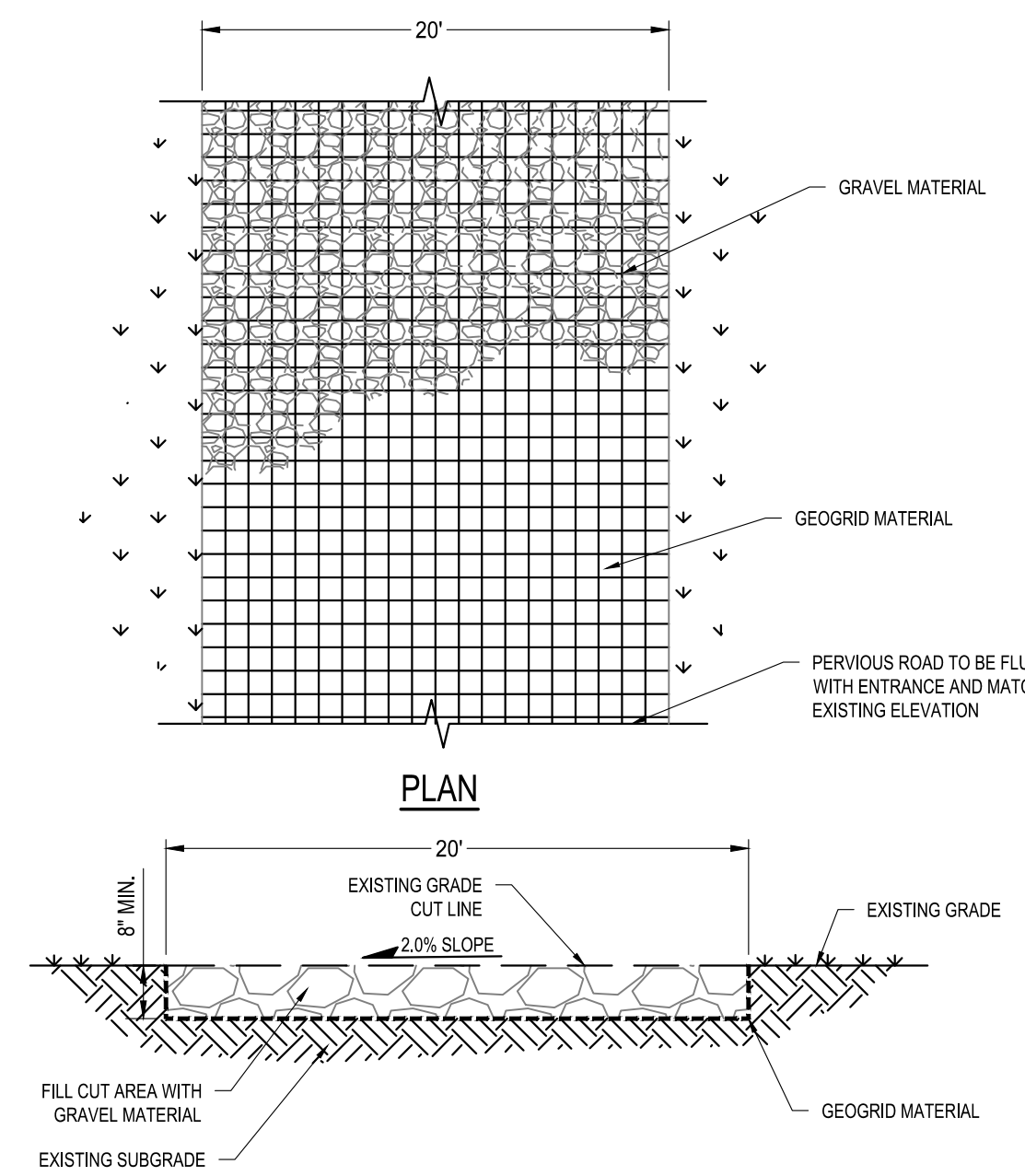
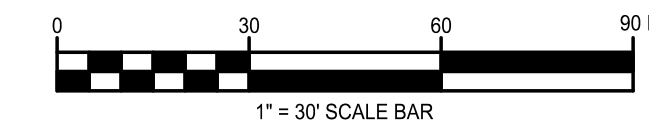
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DRIVEWAY PROFILE
1"=2' VERTICAL
1"=12' HORIZONTAL



LIMITED USE PERVIOUS ACCESS ROAD - 0% TO 10% SLOPES

NO SCALE

GEOGRID MATERIAL NOTES:

1. THE GEOGRID, OR COMPARABLE PRODUCT, IS INTENDED FOR USE IN ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS LOADS.
2. GRAVEL FILL MATERIAL SHALL CONSIST OF 1-1/4" CLEAN, DURABLE, SHARP ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATION OF NYSDOT 703-02, SIZE DESIGNATION 3-4 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF AND SPREAD WITH A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
3. GEOGRID SHALL BE MIRAFI BXG110 OR APPROVED EQUAL. GEOGRID SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
4. IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF SIX INCHES.
5. REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
6. LIMITED USE PERVIOUS ACCESS ROAD SHALL BE DRESSED AS REQUIRED WITH ONLY 1-1/4" CRUSHED STONE MEETING NYSDOT 703-02 SPECIFICATIONS.

BASIS OF DESIGN: TENCATE MIRAFI BXG110 GEOGRIDS, 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA, 800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM

WOVEN GEOTEXTILE MATERIAL NOTES:

1. SPECIFIED GEOTEXTILE WILL ONLY BE UTILIZED IN PLACID SOILS. PLACID SOILS CONSIST OF POORLY DRAINED SOILS COMPOSED OF FINELY TEXTURED PARTICLES AND ARE PRONE TO RUTTING. PLACID SOILS ARE TYPICALLY PRESENT IN LOW-LYING AREAS WITH HYDROLOGIC SOILS GROUP (HSG) OF C OR D OR AS SPECIFIED FROM AN ENVIRONMENTAL SCIENTIST, SOIL SCIENTIST OR GEOTECHNICAL DATA.
2. THE CONCERN OF POTENTIAL REDUCTION OF NATIVE INFILTRATION RATES DUE TO THE GEOTEXTILE MATERIAL WOULD NOT BE A SIGNIFICANT CONCERN IN POORLY DRAINED SOILS WHERE SEGREGATION OF PERVIOUS STONE AND NATIVE MATERIALS IS CRUCIAL FOR LONG TERM OPERATION AND MAINTENANCE.

BASIS OF DESIGN: TENCATE MIRAFI RSI-SERIES WOVEN GEOSYNTHETICS, 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA, 800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM

GENERAL NOTES:

1. USE OF THIS DETAIL CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOWING, EQUIPMENT REPAIR OR MAINTENANCE).
2. LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
3. REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY. FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
4. REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE IN SITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
5. GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOILS AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
6. REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORM WATER DRAINAGE.
7. ROADWAY WIDTH TO BE DETERMINED BY CLIENT.
8. THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 1.5% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
9. LIMITED USE PERVIOUS ACCESS ROAD IS NOT INTENDED TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION, EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY. TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON, OR OFF SITE, MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
10. THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
11. PROJECTS SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINED AREAS. HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE WOVEN GEOTEXTILE MATERIAL AS DETAILED IN FOLLOWING NOTES.
12. THE DRAINAGE DITCH IS OFFERED IN THE DETAIL FOR CIRCUMSTANCES WHEN CONCENTRATED FLOW COULD NOT BE AVOIDED. THE INTENTION OF THE DESIGN IS TO MINIMIZE ALTERATIONS TO HYDROLOGY. HOWEVER WHEN DEALING WITH 5%-15% GRADES NOT PARALLEL TO THE CONTOUR, A ROADSIDE DITCH MAY BE REQUIRED. THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR GRASSED WATERWAYS AND VEGETATED WATERWAYS ARE APPLICABLE FOR SIZING AND STABILIZATION. DIMENSIONS FOR THE GRASSED WATERWAY SPECIFICATION WOULD BE DESIGNED FOR PROJECT SPECIFIC HYDROLOGIC RUNOFF CALCULATIONS, AND A SEPARATE DETAIL FOR THE SPECIFIC GRASSED WATERWAY WOULD BE INCLUDED IN THIS PRACTICE. RUNOFF DISCHARGE WILL BE SUBJECT TO THE OUTLET REQUIREMENTS OF THE REFERENCED STANDARD. INCREASED POST-DEVELOPMENT RUNOFF FROM THE ASSOCIATED ROADSIDE DITCH MAY REQUIRE ADDITIONAL PRACTICES TO ATTENUATE RUNOFF TO PRE-DEVELOPMENT CONDITIONS.
13. IF A ROADSIDE DITCH IS NOT UTILIZED TO CAPTURE RUNOFF FROM THE ACCESS ROAD, THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION (I.E. BUFFER), 20 FEET WIDE AND PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
14. THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USE PERVIOUS ACCESS ROAD IN THEIR SITE ASSESSMENT / HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE- TO POST-DEVELOPMENT CONDITIONS (SEE APPENDIX A OF GP-0-20/01 FOR THE DEFINITION OF ALTER THE HYDROLOGY...), THE DESIGN MUST INCLUDE THE NECESSARY DETENTION/RETENTION PRACTICES TO ATTENUATE THE RATES (10 AND 100 YEAR EVENTS) TO PRE-DEVELOPMENT CONDITIONS.

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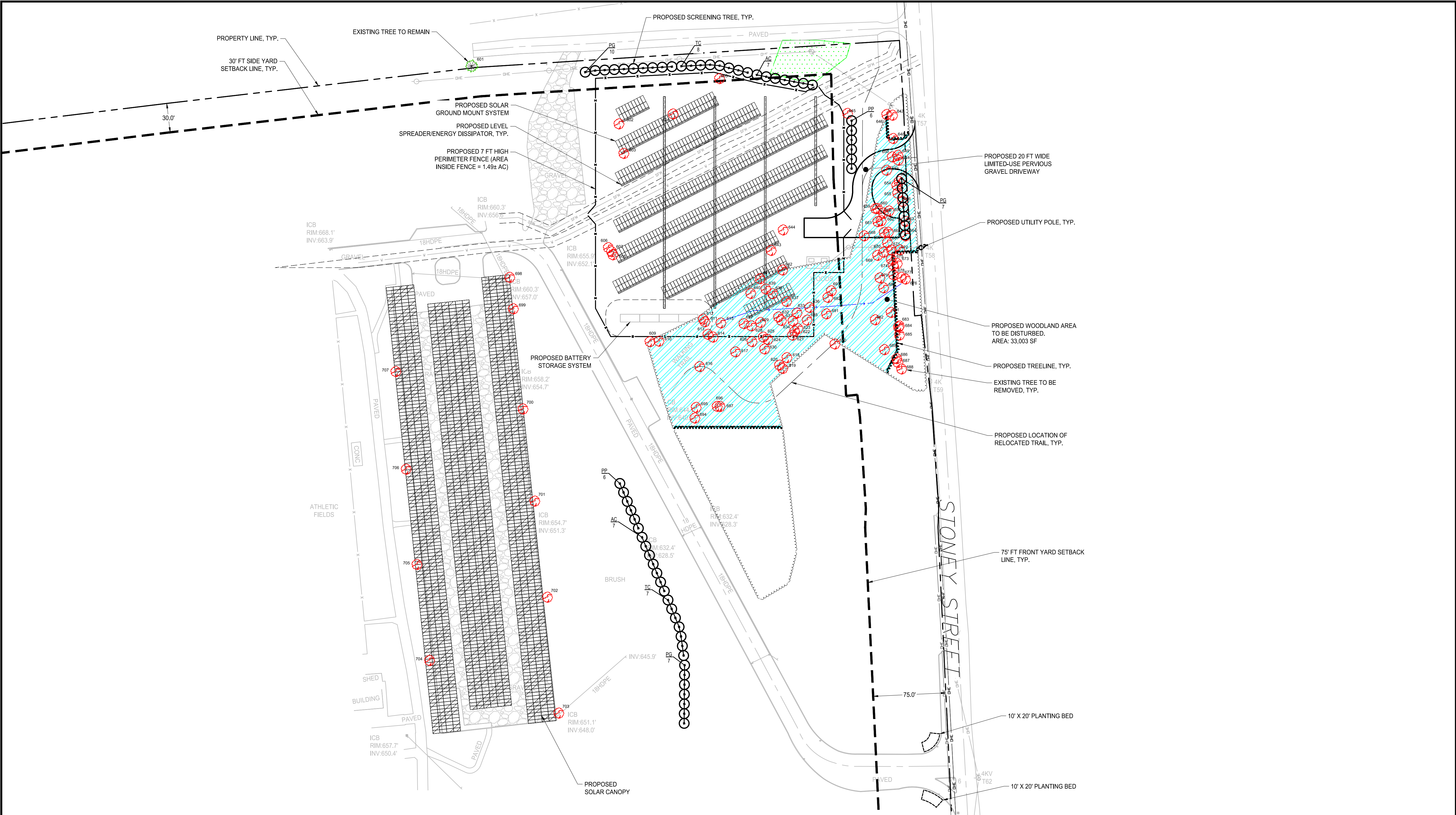
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ECR	ECR
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AG	ECR
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GRADING PLAN DETAILS

Drawing Number

C007



LEGEND

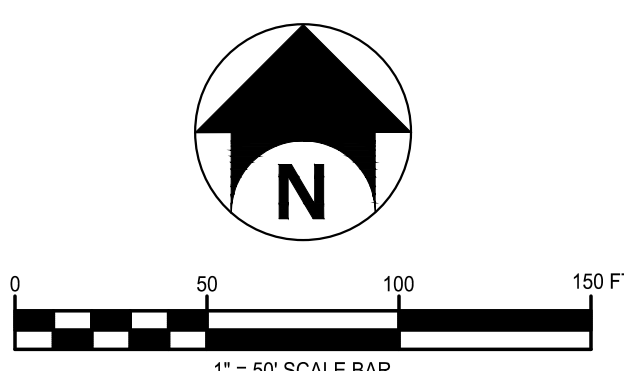
	PROPERTY LINE		EXISTING EDGE OF ASPHALT
	SET BACK LINE		APPROXIMATE EXISTING TREELINE
	STONE WALL		PROTECTED WOODLAND AREA TO BE DISTURBED
	ADJOINER PROPERTY LINE		EXISTING WETLAND (PEM - NON WOTUS)
	ROAD RIGHT-OF-WAY		PROPOSED SOLAR PANEL
	EXISTING ROAD CENTERLINE		EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRE		PROPOSED UTILITY POLE
	EXISTING STREAM CENTERLINE		EXISTING TREE TO BE REMOVED
	PROPOSED FENCE LINE		EXISTING TREE TO REMAIN
	EXISTING FENCE LINE		PROPOSED SCREENING TREE
	PROPOSED OVERHEAD UTILITY LINE		
	PROPOSED UNDERGROUND UTILITY LINE		
	PROPOSED SWALE		
	PROPOSED TREELINE		
	SWALE CENTERLINE		
	EXISTING BUILDING		

TREE MITIGATION DATA TABLE

TREES TO BE REMOVED	TREES TO REMAIN	PROTECTED WOODLAND AREA DISTURBED (SF)
106	1	33,003

PLANT LIST

Key	Qty.	Botanical Name	Common Name	Mature Size		Installed Size	Condition	DBH
				Height	Spread			
Evergreen Trees								
AC	14	Abies Concolor	White Fir	50'-75'	20'-30'	6'-7' Ht.	B&B	3"
PG	24	Picea Glauca	White Spruce	40'-60'	10'-20'	8' Ht.	B&B	3"
TC	15	Tsuga Canadensis	Canadian Hemlock	40'-70'	25'-35'	8' Ht.	B&B	3"
PP	12	Picea Pungens	Colorado Spruce	30'-60'	10'-20'	7'-8' Ht.	B&B	3"
TOTAL	65							



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GRANITE KNOLLS PARK SOLAR PROJECT

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MOHEGAN LAKE, NY 10547

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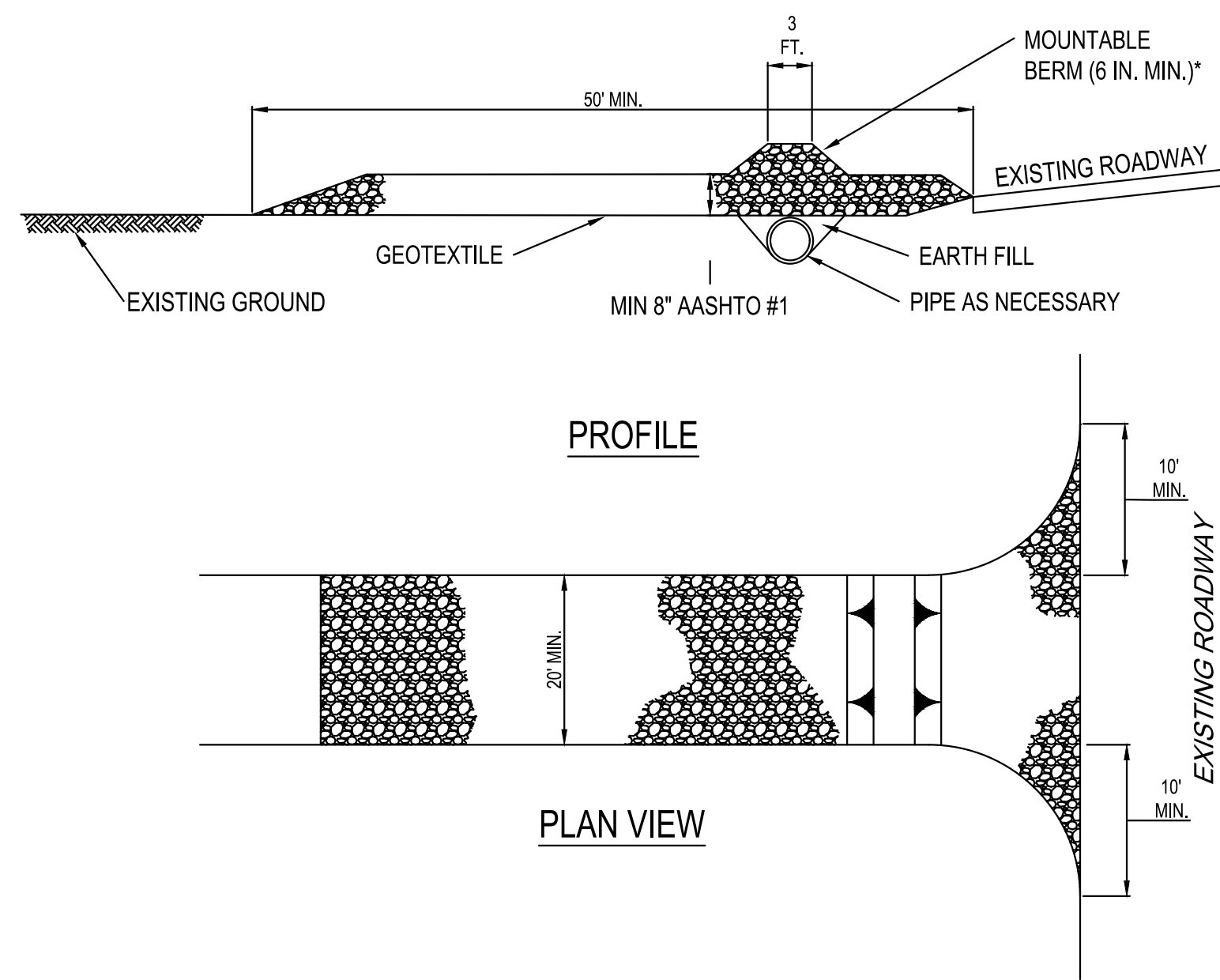
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ECR	ECR
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09/15/2021	15111.00

Sheet Name
LANDSCAPING/TREE MITIGATION SITE PLAN

Drawing Number
C008



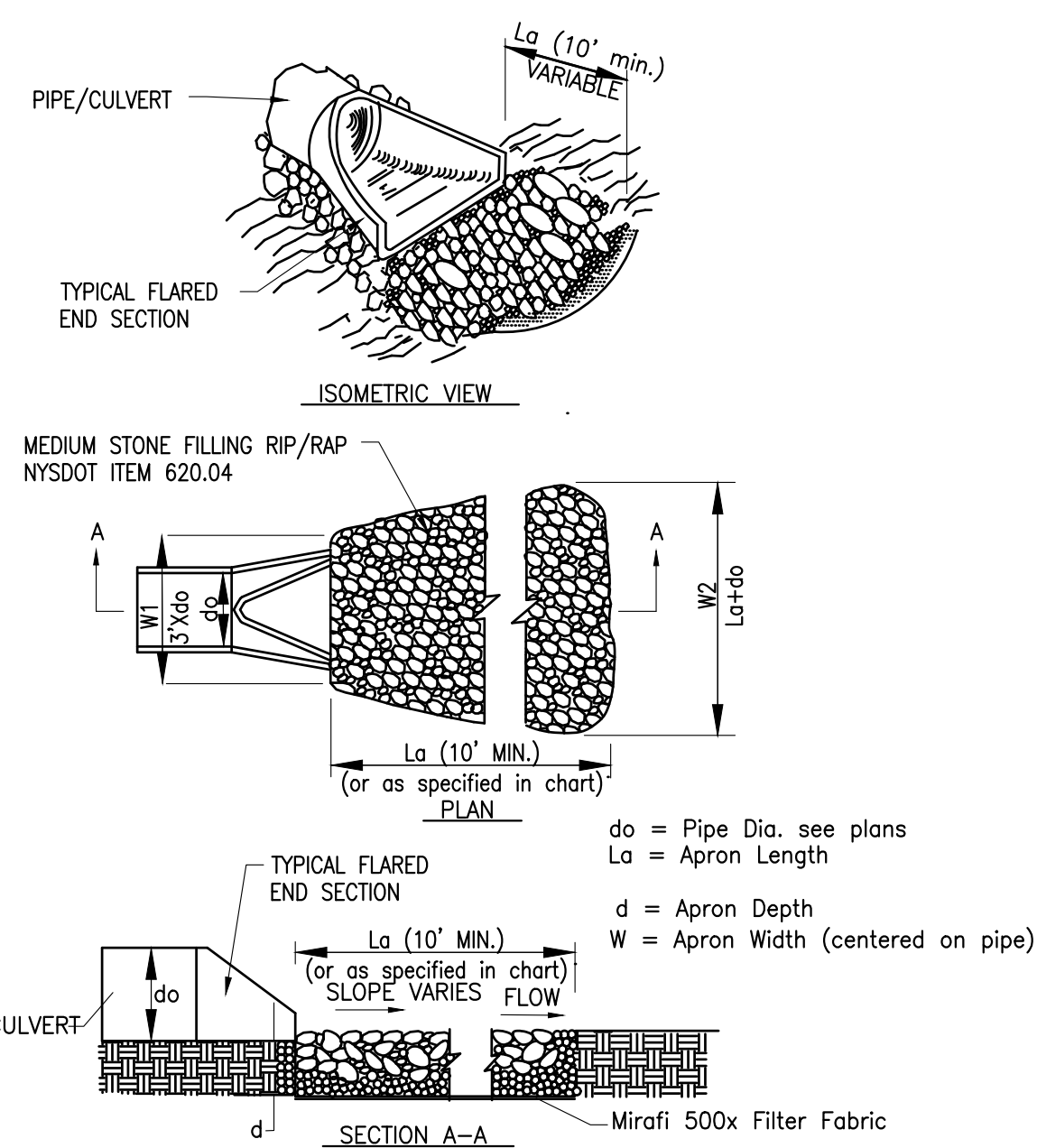
* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



RIP RAP SIZING CHART

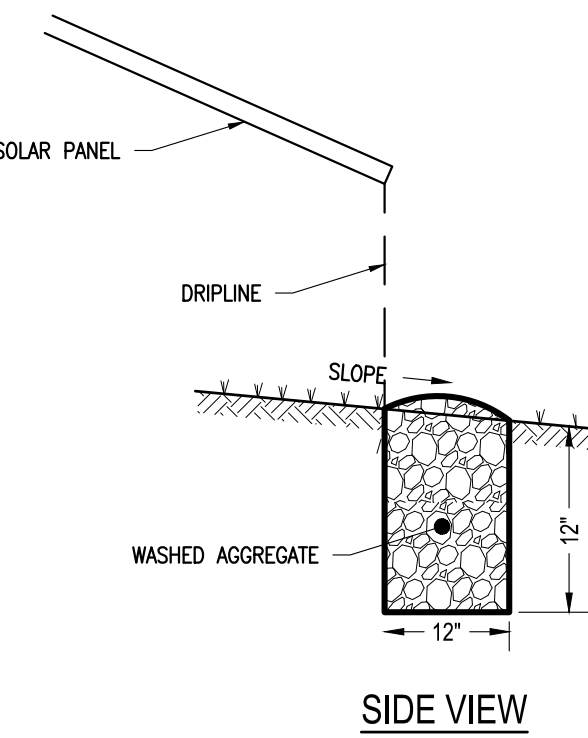
PIPE DIA.	W1-MINIMUM	W2-MINIMUM	La-MINIMUM	D-MINIMUM
12"	3'	15'	14'	13.5'
18"	4.5'	15.5'	14'	13.5'
24"	6'	15'	13'	13.5'

NOTES:

1. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NO LESS THAN 6".
2. INSTALL FILTER MIRAFI 500X OR APPROVED EQUAL FILTER FABRIC BETWEEN RIP-RAP AND SUBGRADE

OUTLET PROTECTION RIP-RAP APRON

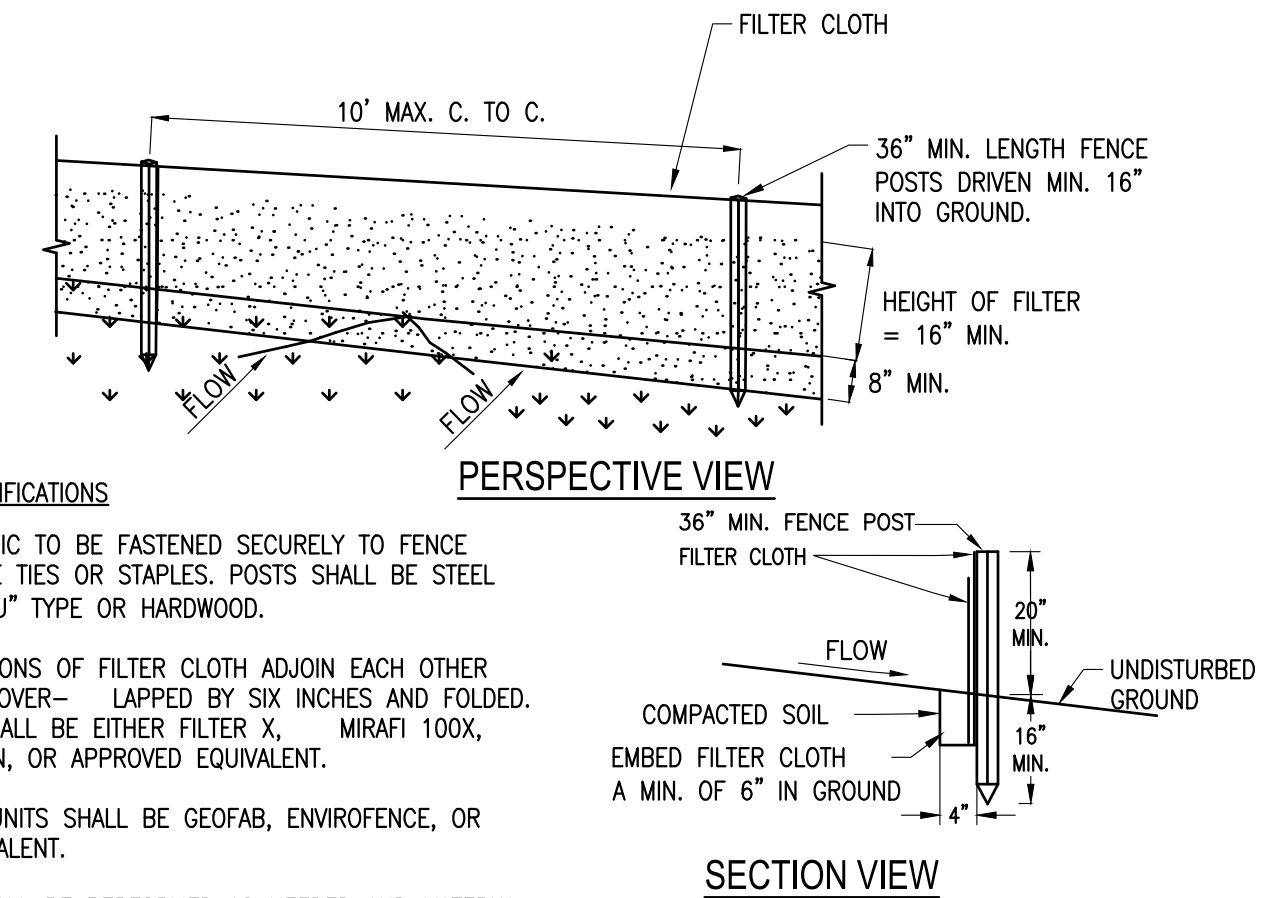
N.T.S.



SIDE VIEW

SOLAR PANEL INSTALLATION WITH LEVEL SPREADERS

N.T.S.



CONSTRUCTION SPECIFICATIONS

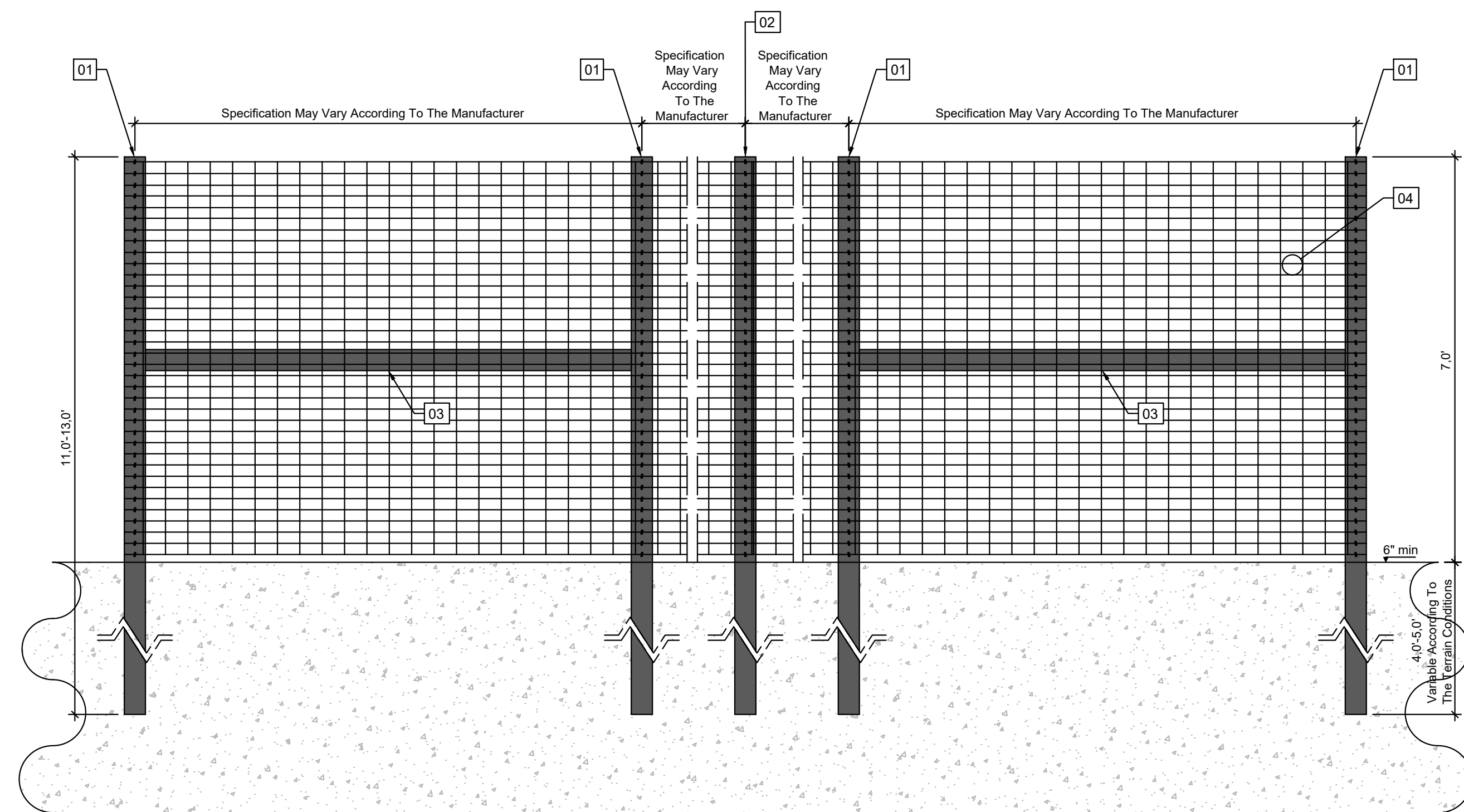
1. SILT FENCE FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA T140N, OR APPROVED EQUIVALENT.
3. PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUIVALENT.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

PERSPECTIVE VIEW

SECTION VIEW

SILT FENCE DETAIL

N.T.S.



FRONT VIEW

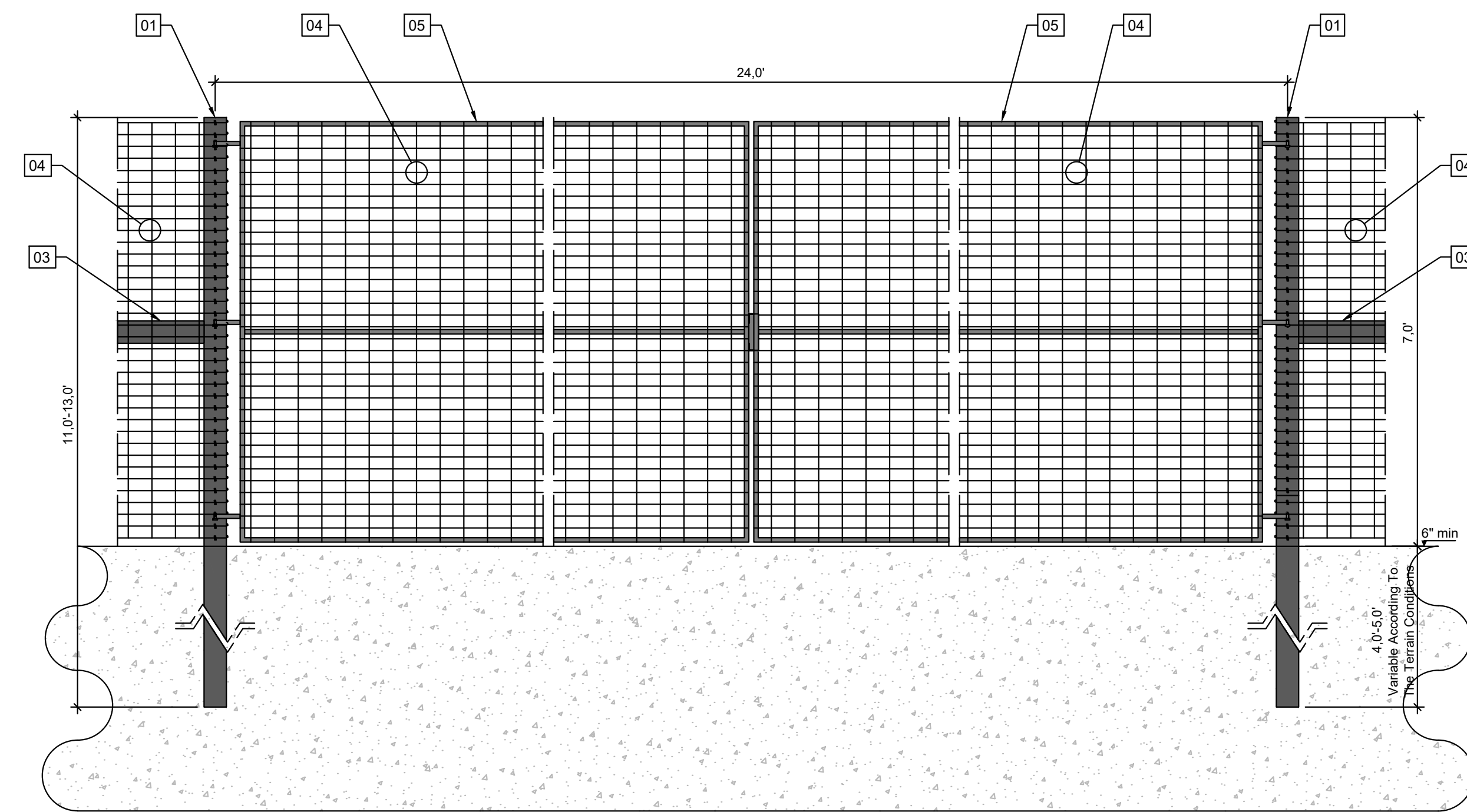
- 01 CORNER POST 5'-6"Ø or 6'-7"Ø WITH BRACING FOR STABILITY
- 02 LINE POST 5'-6"Ø or 6'-7"Ø
- 03 BRACING CORNER POST 5'-6"Ø or 6'-7"Ø
- 04 FIXED-KNOT WOVEN GALVANIZED WIRE, BLACK, 10-12.5 GA.
- 05 ACCESS GATE
- 06 2" x 2" WOOD STAKES
- 07 FIBER ROLL 9" Ø

NOTES:

1. PER TOWN CODE, A SAFETY SIGN SHALL BE ATTACHED TO THE MAIN GATE THAT CONTAINS A HIGH VOLTAGE WARNING AND THE BROOME COUNTY EMERGENCY SERVICES TELEPHONE NUMBER. THIS SIGN SHALL ADHERE TO THE SIGN REQUIREMENTS FOR THE ZONING DISTRICT IN WHICH IT IS LOCATED. A SOLAR ENERGY SYSTEM SHALL NOT BE USED TO DISPLAY PERMANENT OR TEMPORARY ADVERTISING.

PERIMETER FENCE DETAIL

NO SCALE



FRONT VIEW

- 01 CORNER POST 5'-6"Ø or 6'-7"Ø WITH BRACING FOR STABILITY
- 02 LINE POST 5'-6"Ø or 6'-7"Ø
- 03 BRACING CORNER POST 5'-6"Ø or 6'-7"Ø
- 04 FIXED-KNOT WOVEN WIRE
- 05 ACCESS GATE
- 06 2" x 2" WOOD STAKES
- 07 FIBER ROLL 9" Ø

HESP SOLAR, LLC

**GRANITE KNOLLS
PARK SOLAR PROJECT**

2975 STONEY STREET
MOHEGAN LAKE, NY 10547

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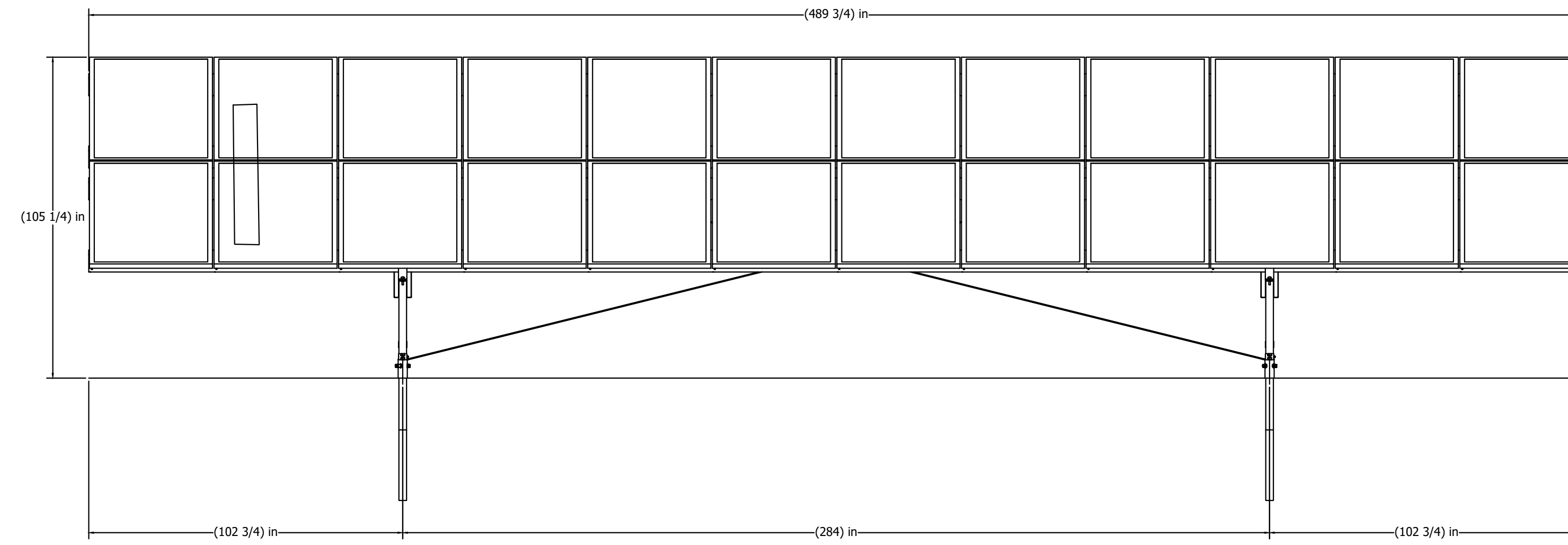
Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
AG	MDP
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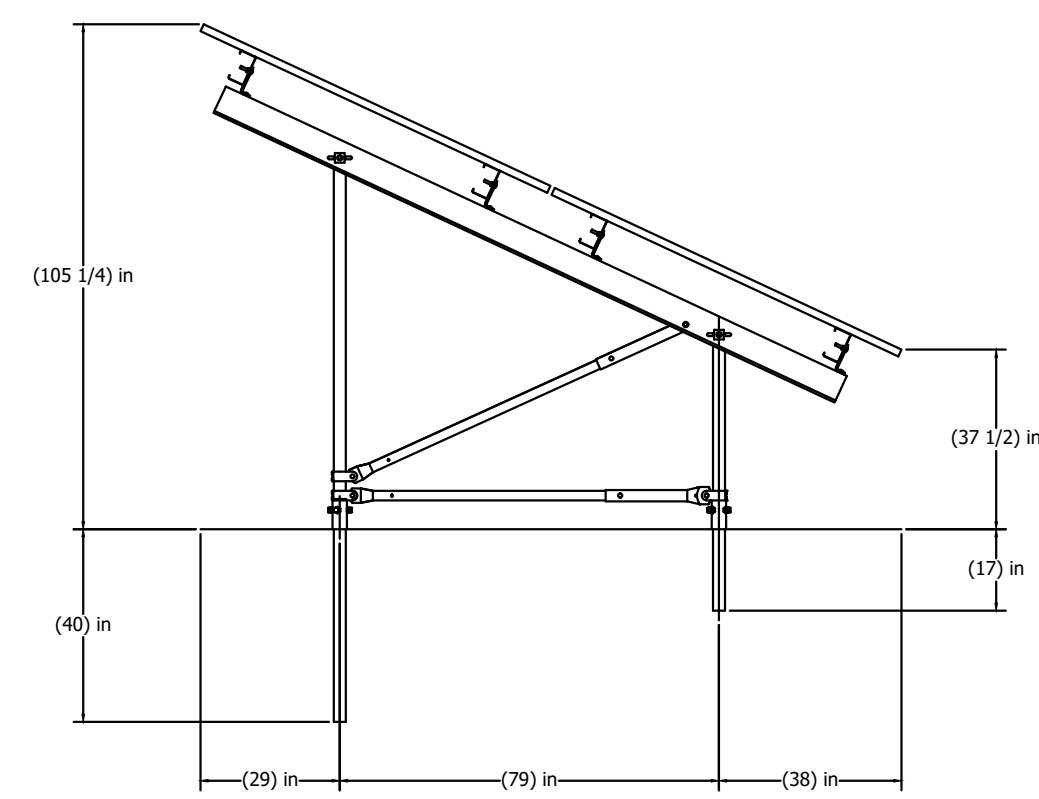
DETAILS I

Drawing Number

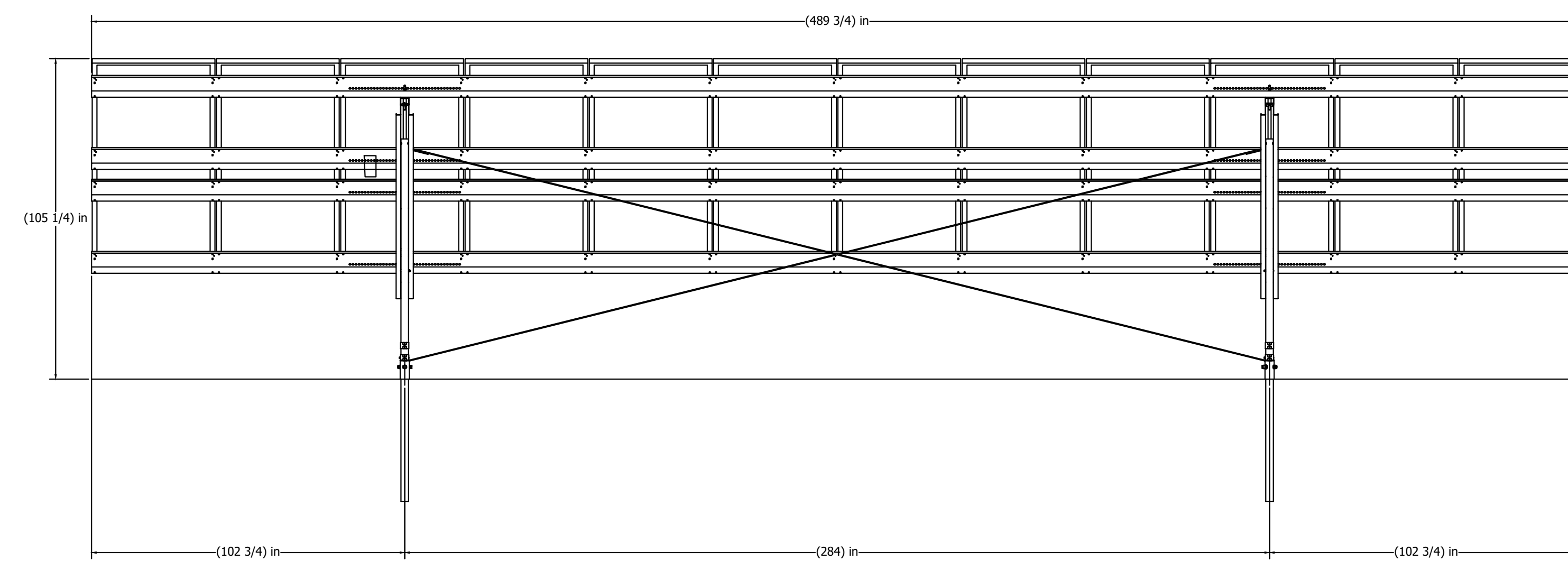
C009



FRONT ELEVATION VIEW



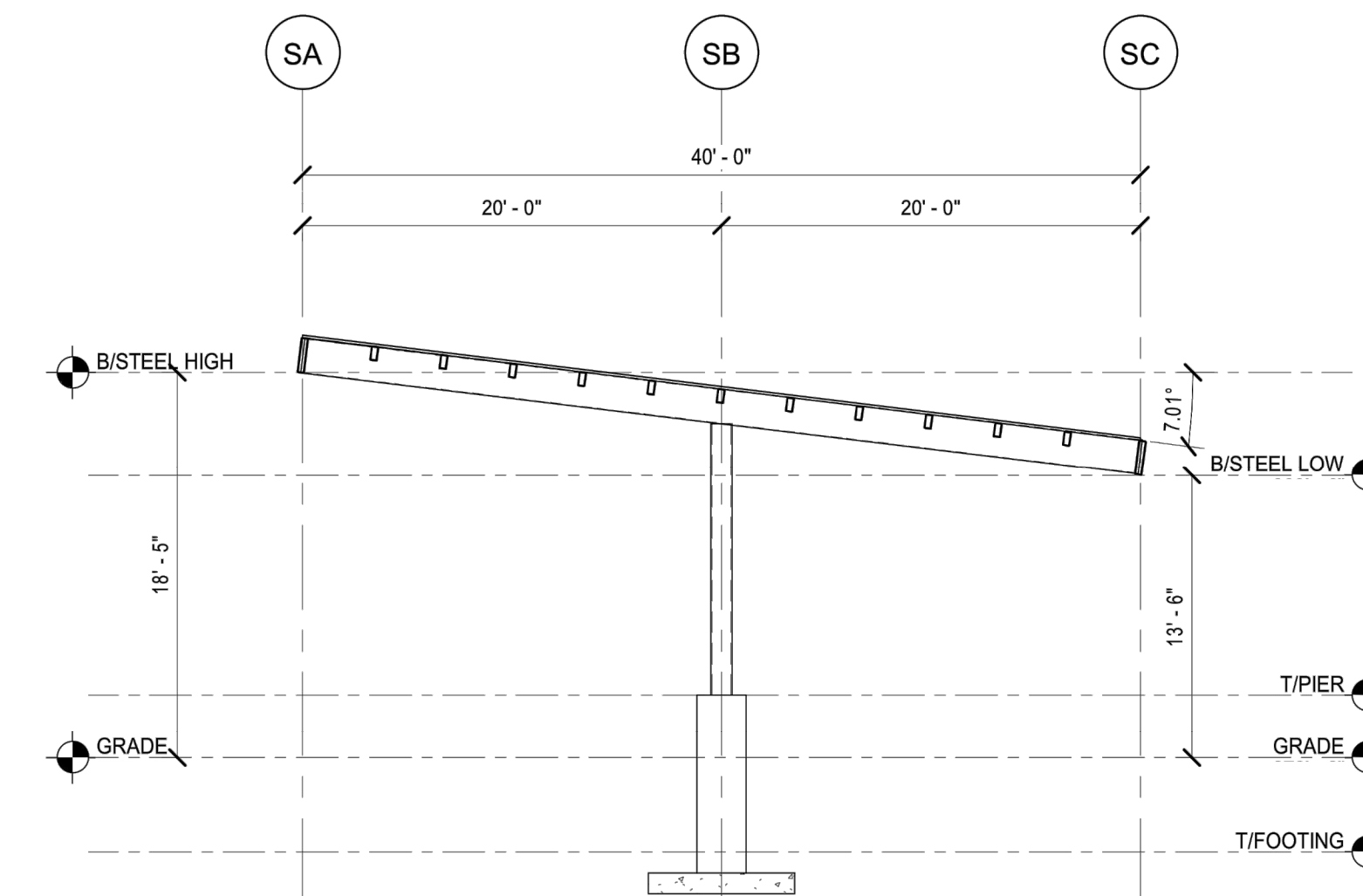
SIDE ELEVATION VIEW



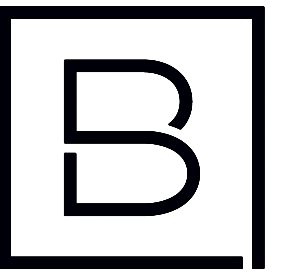
REAR ELEVATION VIEW

- NOTES:
1. TYPICAL INSTALLATION DIMENSIONS MAY BE ADJUSTED TO SUIT FIELD CONDITIONS.
 2. FINAL DESIGN AND ENGINEERING PLANS TO BE PROVIDED BY THE RACKING MANUFACTURER.

SOLAR ARRAY DETAIL
N.T.S.



TYPICAL SOLAR CARPORT CANOPY DETAIL
N.T.S.



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ECR	ECR
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DETAILS II

Drawing Number

C010

UPLAND SEED MIX		
LOW-GROWING WILDFLOWER & GRASS MIX - ERNMX #156		
SEEDING RATE: 20 LB PER ACRE WITH A COVER CROP OF GRAIN RYE AT 30 LB PER ACRE		
SCIENTIFIC NAME	COMMON NAME	% OF MIX
FESTUCA OVINA	SHEEP FESCUE, VARIETY NOT STATED	63.60%
LOLIUM MULTIFLORUM (L. PERENNE VAR. ITALICUM)	ANNUAL RYEGRASS	17%
LINUM PERENNE SSP. LEWISII	PERENNIAL BLUE FLAX	8%
RUDBECKIA HIRTA	BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE	2%
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS, COASTAL PLAIN NC ECOTYPE	2%
CHRYSANTHEMUM LEUCANTHEMUM	OXEYE DAISY	2%
CHRYSANTHEMUM MAXIMUM	SHASTA DAISY	1%
CHAMAECRISTA FASCICULATA (CASSIA F.)	PARTRIDGE PEA, PA ECOTYPE	1%
PAPAVER RHOEAS, SHIRLEY MIX	CORN POPPY/SHIRLEY MIX	1%
ACHILLEA MILLEFOLIUM	COMMON YARROW	0.5%
ASTER OBLONGIFOLIUS (SYMPHYOTRICHUM OBLONGIFOLIUM)	AROMATIC ASTER, PA ECOTYPE	0.5%
EUPATORIUM COELESTINUM (CONOCLINIUM C.)	MISTFLOWER, VA ECOTYPE	0.5%
MONARDA PUNCTATA, COASTAL PLAIN SC ECOTYPE	SPOTTED BEEBALM, COASTAL PLAIN SC ECOTYPE	0.5%
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	0.3%
PYCNANTHEMUM TENUIFOLIUM	SLENDER MOUNTAINMINT	0.1%
COMPANY INFORMATION		
ERNST CONSERVATION SEEDS, INC.		
ADDRESS: 8884 MERCER PIKE, MEADVILLE, PA 16335		
PHONE: (800) 873-3321		
WEB: HTTP://WWW.ERNSTSEED.COM		

*OR APPROVED EQUIVALENT

SOIL AMENDMENT APPLICATION RATE EQUIVALENTS					
SOIL AMENDMENT	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	NOTES	
PERMANENT SEEDING	AGRICULTURAL LIME	6 TONS	240 LB.	2,480 LB.	OR AS PER SOIL TEST: MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
	10-10-20 FERTILIZER	1,000 L.B.	25 LB.	210 LB.	
TEMPORARY SEEDING	AGRICULTURAL LIME	1 TON	40 LB.	410 LB.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES
	10-10-20 FERTILIZER	500 LB.	12.5 LB.	100 LB.	

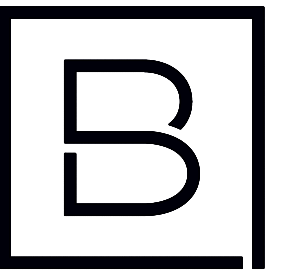
COMPOST STANDARDS	
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

MULCH APPLICATION RATES				
MULCH TYPE	APPLICATION RATE (MIN.)			NOTES
	PER ACRE	PER 1,000 SQ. FT.	PER 1,000 SQ. YD.	
STRAW	3 TONS	140 LB.	1,240 LB.	EITHER WHEAT OR OAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN
HAY	3 TONS	140 LB.	1,240 LB.	TIMOTHY, MIXED CLOVER AND TIMOTHY, OR OTHER NATIVE FORAGE GRASSES
WOOD CELLULOSE	1,500 LB.	35 LB.	310 LB.	DO NOT USE ALONE IN WINTER, DURING HOT AND DRY WEATHER OR ON STEEP SLOPES (> 3:1)
WOOD	1,000 LB. CELLULOSE	25 LB.	210 LB.	WHEN USED OVER STRAW OR HAY
WOOD CHIPS	4 - 6 TONS	185 - 275 LB.	1,650 - 2,500 LB.	MAY PREVENT GERMINATION OF GRASSES AND LEGUMES

NOTES:

- WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE TEMPORARILY STABILIZED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN THE MULCH APPLICATION RATES TABLE. VERY LITTLE BARE GROUND SHOULD BE VISIBLE THROUGH THE MULCH.
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 INCHES MINIMUM. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OF SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- WHEN USED AS A MULCH REPLACEMENT, THE APPLICATION RATE (THICKNESS) OF THE COMPOST SHOULD BE 1/2" TO 3/4". COMPOST SHOULD BE PLACED EVENLY AND SHOULD PROVIDE 100% SOIL COVERAGE. NO SOIL SHOULD BE VISIBLE.
- BLANKETING SHALL BE USED ON ALL SLOPES 3H:1V OR STEEPER OR AS NOTED ON THE PLANS.
- PERMANENT STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF EARTH DISTURBANCE.

SITE STABILIZATION - SEED MIX
N.T.S.



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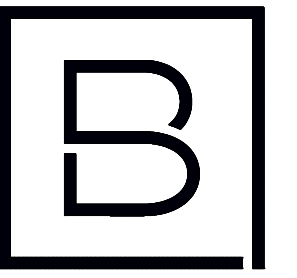
Project Manager	Discipline Lead
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DETAILS III

Drawing Number

C011



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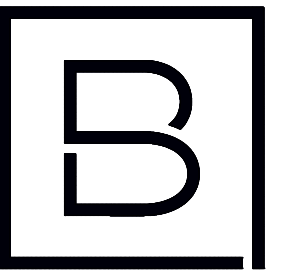
Project Manager	Discipline Lead
ECR	ECR
Designer	Reviewer
KB	ECR
Date Issued	Project Number
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Sheet Name

**LINE OF SITE PROFILE
SITE PLAN**

Drawing Number

LOS



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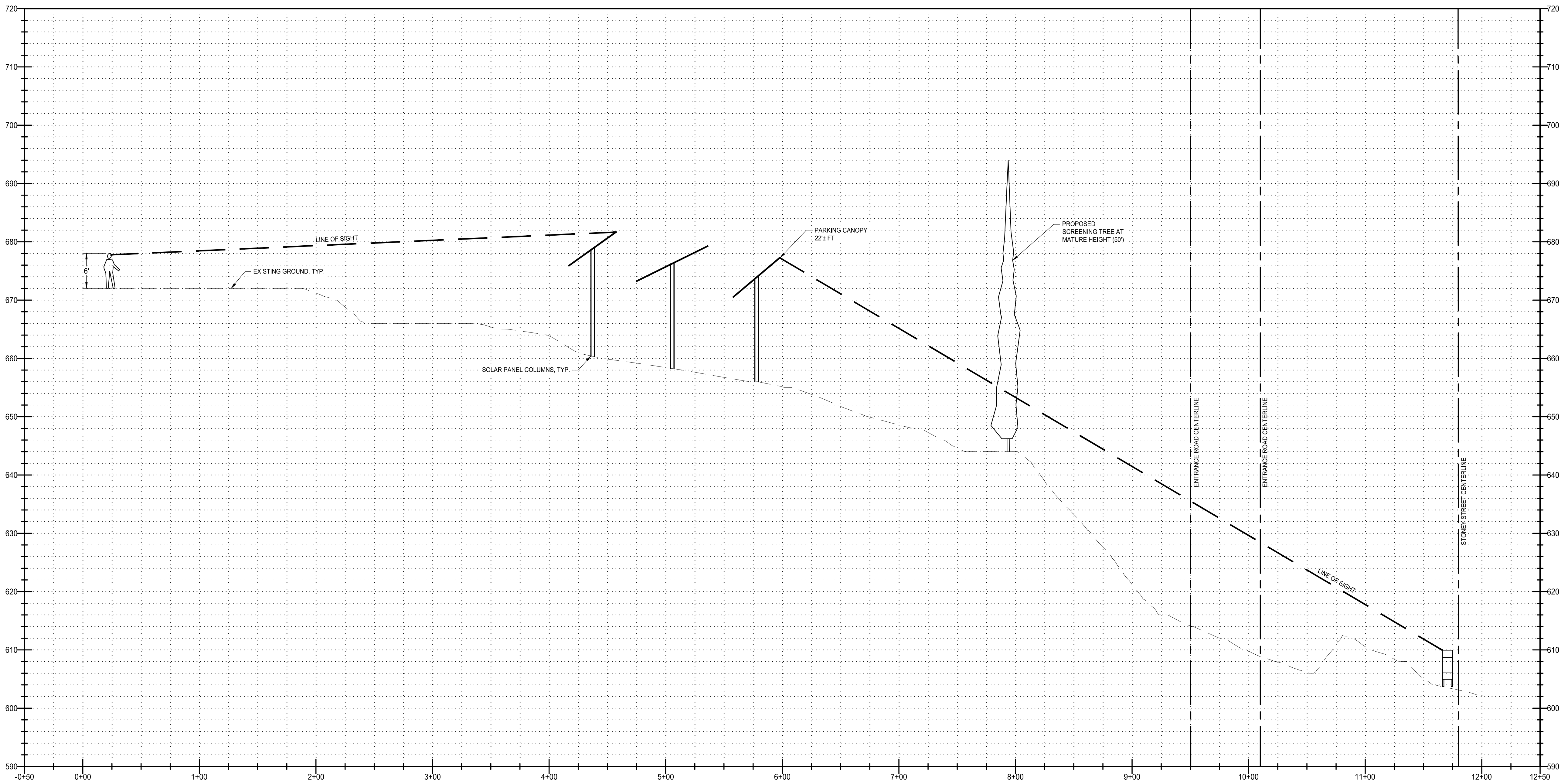
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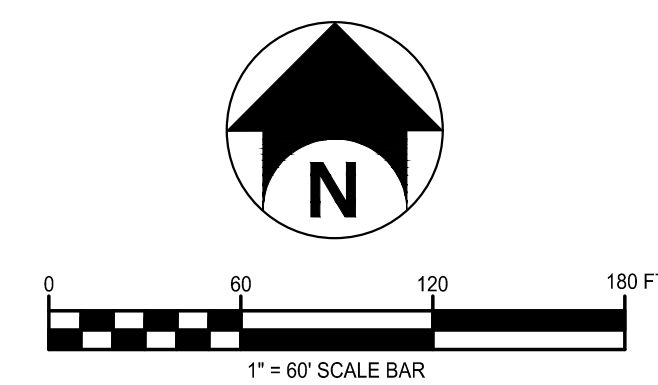
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PROPOSED LINE OF SIGHT PROFILE 2
1" = 10' VERTICAL
1" = 50' HORIZONTAL



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KB	ECR
Date Issued	Project Number
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Sheet Name

LINE OF SITE PROFILE 2

Drawing Number

LOS-2

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

**TOWN OF YORKTOWN
CONSERVATION BOARD**

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Board

From: Conservation Board

Date: March 17, 2022

Re: Granite Knolls Sports Complex Proposed Solar

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PLANNING DEPARTMENT
MAR 21 2022
TOWN OF YORKTOWN

The Conservation Board at its 3/16/2022 meeting discussed Granite Knolls Sports Complex Proposed Solar with Eric Redding of Bergman Associates. The Conservation Board has the following comments:

The Conservation Board would prefer the \$8,480.00 that has been suggested to be put into the Tree Bank, be used as on site mitigation instead. There are areas that landscaping could be added such as shade trees along the entrance road or planting of shrubs defining the entrance. Possibly adding entrance pillars with a proper gate. Throughout the site adding shade trees would help create a park like setting. The building could use foundation planting. This site has plenty of opportunities and a need for beautification.

Respectfully submitted:

Diane Dreier

For the Conservation Board

CC: Town Board
Planning Board
Supervisors Office
Engineering Dept.
Applicant