

# **Underhill Farm**

**From:** richfon@aol.com <richfon@aol.com>  
**Sent:** Sunday, April 17, 2022 8:07 AM  
**To:** John Tegeder <jtegeder@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>  
**Subject:** Fwd: Underhill Farm Development Application- Opposition

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**From:** [frankfang@optonline.net](mailto:frankfang@optonline.net)  
**To:** [richfon@aol.com](mailto:richfon@aol.com)  
**Sent:** 4/13/2022 8:09:57 PM Eastern Standard Time  
**Subject:** Underhill Farm Development Application- Opposition

RECEIVED  
PLANNING DEPARTMENT

APR 17 2022

Gentlemen:

TOWN OF YORKTOWN

My home is on Cardinal Court. My street intersects Underhill Road approximately 50 feet from Route 118. It is the first street on Underhill from Rt118. But no mention in the Unicorn's presentation is made of my street. Right now to make a left turn toward the Taconic State Parkway is suicidal. Many times I make a right turn, cross Route 118 circle around the front of Town Hall a cross Rt 118 to head toward the Taconic because I am battling the heavy traffic, the Right on Red traffic and the Speed limit of 30mph.

- 1) Traffic: Chairman Fon was correct to question the Unicorn Representatives. It is the most important issue. Speed limit goes from 30mph to 40mph. Other towns Somersault and Chappaqua have lower speed limits entering there town. They are proud of their towns. More units more traffic.
- 2) The density. Unicorn plans to put up 148 unit and Commercial units this is unacceptable for the Town area which is already one of the most densely populated area with 4 condominiums Wood II 48 units, Scenic View approx 50, Yorkridge Apartments 115 rentals, Overlook approx 40 units . Close by Beaver Ridge Low income apartments 200 units. In Addition which adds to daytime population are United Parcel and Caremount Medical Facility. Any further development must be curtailed. Yorktown is a beautifully green town we do not need to be Yonkers of Northern Westchester.
- 3) We need a new Master plan not a Builders' Free for All for a money making project which is The Overlay
- 4) Low Ball numbers. The Unicorn has given numbers that are a low estimate. The figure of 325 persons is unrealistic for the units proposed . 23 Children is also unrealistic. Therefore Tax income of \$1,000,000 is not realistic. The whole project will use more funds for water, police, schools and , traffic management than the Unicorn Represent. No mention was mentioned about Parking Spots for 300+ cars for 148 units.
- 5) There is no concern from the Town or builder of the quality of life for current tax paying residents. Personally, I have spent many hours the past 3 years to contact Town Supervisor, Highway Supervisor, Council Persons except Council person Diana who has never responded, Police Officer in charge of Traffic and Mr. McMillan of New York State Traffic Department. These persons are responsible for our safety and solving the town 's traffic issues, I am very disappointed in the lack of interest to help residents of Yorktown.

I hope the issues I have raised will be carefully studied by the Planning Board.

Respectfully ,  
Louise Fang  
Resident of Cardinal Court  
Yorktown Heights ,NY



**From:** [richfon@aol.com](mailto:richfon@aol.com) <[richfon@aol.com](mailto:richfon@aol.com)>  
**Sent:** Sunday, April 17, 2022 8:07 AM  
**To:** John Tegeder <[jtegeder@yorktownny.org](mailto:jtegeder@yorktownny.org)>; Robyn Steinberg <[rsteinberg@yorktownny.org](mailto:rsteinberg@yorktownny.org)>  
**Subject:** Fwd: Underhill Farm development - alleviating traffic

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**From:** [frankfang@optonline.net](mailto:frankfang@optonline.net)  
**To:** [richfon@aol.com](mailto:richfon@aol.com)  
**Sent:** 4/13/2022 8:48:00 PM Eastern Standard Time  
**Subject:** Underhill Farm development - alleviating traffic

Proposals for easing traffic:

- 1) Make the intersection a 4-way stoplight
- 2) Eliminate right on red
- 3) Crosswalk with stop button
- 4) Divert some traffic out from Glenrock Road
- 5) Possible road from Route 118 across from Downing Drive thru to Glen Rockroad
- 6) Reduce speed limit on Route 118 to 30mph 1/2 mile entering to Underhill at Town Hall with visible bold speed limit signs
- 7) Reduce speed limit from Underhill Rd and French hill to 30 mph. Currently speed limit is 40mph with big sign at Rochambeau Rd

Thank you for your consideration

Louise Fang

# Site Design Consultants

Civil Engineers • Land Planners

April 13, 2022

Ms. Robyn Steinberg, Town Planner  
Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

RECEIVED  
PLANNING DEPARTMENT  
APR 13 2022  
TOWN OF YORKTOWN

Re: Underhill Farm  
370 Underhill Avenue

Dear Robyn:

We are submitting the following items for the above referenced project for discussion at the Planning Board Meeting of April 25, 2022:

- Five copies of the letter to the Yorktown Planning Board re "Application for Site Plan Review for the Underhill Farm Project 370 Underhill Avenue prepared by Mark Blanchard dated April 12, 2022;
- Five copies of the "Application for Referral and Site-Plan Approval Under Town of Yorktown Zoning Code Article XXXI," dated January 11, 2022, submitted by Mark Blanchard;
- Five copies of the Town of Yorktown Resolution adopted by the Town Board of Town of Yorktown – February 22, 2022;
- Five copies of the NYSOPRHP re SEQRA, DEC, dated March 21, 2022 to John Tegeder;
- Five copies of the NYS Division for Historic Preservation, dated April 27, 2021 to Jon Dahlgren, Tim Miller Associates;
- Five copies of the "Letter of Resolution Among New York State Office of Parks, Recreation & Historic Preservation – NYS DEC and Underhill Soundview LLC, regarding the Underhill Soundview Farm 21PR02382;
- Two copies of the Traffic Report prepared by Colliers Engineering and Design.

In addition, we are submitting a digital copy for your use. If you have any questions or need additional information, please contact me. Thank you.

Yours Truly,

  
Joseph C. Riina, P.E.

cc: Underhill Farm  
Collier Engineering and Design  
Blanchard Wilson LLP  
Town Supervisor  
Engineering Department  
Building Department  
Water Department  
Ed Lachterman

JCR / cm / Enc. / sdc 20-20

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

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MARK W. BLANCHARD  
PARTNER



ALAN H. ROTHSCHILD  
OF COUNSEL

KRISTEN K. WILSON  
PARTNER  
*\*Also admitted in CT*

DENNIS E.A. LYNCH  
OF COUNSEL

BLANCHARD & WILSON LLP

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BlanchardWilson.com

RECEIVED  
PLANNING DEPARTMENT

APR 13 2022

TOWN OF YORKTOWN

April 12, 2022

**VIA HAND DELIVERY**

Town of Yorktown Planning Board  
Albert A. Capellini Community & Cultural Center  
1974 Commerce Street  
Yorktown Heights, NY 10598  
Attention: c/o: Mr. John R. Tegeder, R.A., Director of Planning  
Ms. Robyn A. Steinberg, AICP, Town Planner

**Re: Application for Site Plan Review for the Underhill Farm Project**  
**370 Underhill Avenue**

Dear Chairman Fon and members of the Town of Yorktown Planning Board:

This letter and accompanying supporting materials are submitted on behalf of Underhill Soundview LLC ("Applicant"), owner of property located at 370 Underhill Avenue, Yorktown Heights ("Property") and in furtherance of an active application for site plan approval ("Project"). This letter is submitted to address three concerns that arouse at the February 28, 2022 Planning Board ("Board") meeting. The issues are presented and addressed as follows:

**Issue 1:** Who is responsible for the maintenance of the existing emergency access road across the Property to the adjacent Beaver Ridge residential development ("Beaver Ridge"); this includes current maintenance and future maintenance?

**Answer:** By grant of easement recorded at Liber 7602 and page 355, the obligations contained therein having been passed by transfer of title and encumbrances to Beaver Ridge and states that the emergency access road shall be maintained in perpetuity at the sole cost and expense of Beaver Ridge.

**Issue 2:** Provide clarification on the Applicant's proposed adaptive re-use of the Captain Underhill resident that is part of the Project.

**Answer:** The Applicant has put on the public-record its commitment to adaptively re-use the Captain Underhill residence and to incorporate that re-use into the Project. The Applicant is proposing that the building be re-purposed as a restaurant on the first floor and used as an Inn on the second and third floor.

**Issue 3:** The Board has expressed a desire for the Applicant to undertake a “holistic” approach to the study of yet unknown traffic impacts relating to the full build-out of the development potential under the recently adopted Yorktown Heights Planned Design District Overlay Zone (“Overlay Zone”).

**Answer:** The Applicant has presented to the Board preliminary traffic impact analysis data and has identified potential adverse impacts likely caused by the Project as required under the Town Code and the State Environmental Quality Review Act (“SEQRA”). The Board expressed an inclination to expand the analysis relevant to the Project’s impacts, and review what it calls a “holistic” approach to traffic impacts within the Overlay District that are created by unknown and speculative projects. It is worth noting that there are no similar projects currently submitted in the Overlay Zone seeking site-plan approval.

It is respectfully submitted that SEQRA limits the review to traffic impacts directly caused by the project and perhaps, other pending applications adjacent or in close proximity. In this instance, an applicant is not required to review all impacts potentially caused by the myriad density options that are available under a full build-out scenario provided by Overlay Zone at §§ 300-55 A-F. *See, Town of Yorktown Town Code §§ 300-255 A-F (2022)*. To require a stand-alone applicant to conduct a GEIS level review of unknown traffic impacts relating to speculative build-out of an entire Overlay Zone would place an unfair, and unlawful, burden on the applicant. Such a burden is not supported by the requirements of SEQRA and is in contradiction to the expedited review portion of the recently adopted Overlay District legislation. The Applicant is prepared to continue with the review of the impacts reasonably related to the direct impact caused by the Project, as required under SEQRA.

Thank you for your attention to the items set forth above. Should you require additional information, please do not hesitate to contact the undersigned.

Best,



Mark W. Blanchard  
Project Attorney



MARK W. BLANCHARD  
PARTNER

KRISTEN K. WILSON  
PARTNER  
*\*Also admitted in CT*



BLANCHARD & WILSON LLP

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ALAN H. ROTHSCHILD  
OF COUNSEL

DENNIS E.A. LYNCH  
OF COUNSEL

January 11, 2022

**VIA HAND DELIVERY**

Town of Yorktown Town Board  
Town Hall  
363 Underhill Avenue  
Yorktown Heights, New York 10598  
Attention: Town Clerk Diana L. Quast

**Re: Application for Referral and Site- Plan Approval Under Town of Yorktown  
Zoning Code Article XXXI**

To Supervisor Slater and Members of the Town Board:

This letter and supporting materials are submitted on behalf of Underhill Soundview LLC ("Applicant"), owner of property located at 370 Underhill Avenue, Yorktown Heights. This letter and supporting materials are submitted as the formal application under the Town of Yorktown Zoning Code Article XXXI ("Town Code") § 300-251B, allowing for a proposed redevelopment project to be reviewed under the newly adopted planned overly district regulations. The Applicant is requesting that the Town Board approve the project as eligible and authorize the Town of Yorktown Planning Board ("Planning Board") to review the project under the full authority and jurisdiction of the relevant sections of Article XXXI.

**The Project**

The Underhill Farm project located on the campus of the former Soundview Preparatory School ("Project"), is a proposed mixed-use residential/ retail and office project with elements of revitalized green and open space incorporated into the overall design. There will also be improved infrastructure including newly established access for first-responders, fully compliant parking and proposed public access to the restored ice-pond and walking trails. One of the significant elements that bears attention is the Applicant's commitment to preserve the main building, locally significant, and use the structure as a key component to the final design.

Enclosed herein are civil engineering and architectural information, providing the required detailed information for the Town Board's review of this application. The Project is brought forward under the newly adopted economic and revitalization initiatives being undertaken by the Town in the form of newly adopted enabling legislation and specific overlay districts. In this instance, the Project will benefit from the proposed Yorktown Heights Overlay Design District ("Yorktown Heights Overlay"). The proposed districts are written and adopted to further the goals of the Town's comprehensive plan and in so doing, to strengthen the Town's Hamlets by re-invigorating economic corridors through measures such as additional density and walkable features.

The Project consists of the following mixed residential uses: apartment with varying unit size for lease, condominium units and Townhouses for ownership. The Project will also provide public benefit amenities, such as the smart growth practice of allowing access to shared parking on Project property to benefit a senior center on adjacent property, restoration of existing green-space as mentioned above, and introduction of walking trails. Additionally, the Project will house retail spaces and thereby increase economic growth and activity. The Project exceeds open space requirements set forth in the Town's code.

Upon the Town Board's granting of this application, the Project would proceed as an as-of-right application under the Yorktown Heights Overlay, without the need for variances or other relief. As this Project will be the first to implement the opportunities and goals set forth under the newly adopted overlay zoning, it is uniquely positioned to set the standard by which future projects will exemplify.

#### Compliance with Article XXXI

The Project qualifies with all requirements of Article XXXI § 300-251B and is eligible for referral to the Planning Board for review under the newly provisions of the overlay district developments. As required under § 300-251B(1)-(7), the following information demonstrates that the Project is in full compliance with the Town Code:

1. Whether project is consistent with goals of the Comprehensive Plan:
  - The Project is consistent with the general goals of the Town of Yorktown Comprehensive Plan, with particular benefit to Section 4 of the Comprehensive Plan, Economic Development and Hamlet business Centers,
  - Development includes mixed use residential, retail, office, and open space,
  - Preservation and restoration of historic structure & natural features,
  - Improvement of existing traffic conditions discussed in the Comprehensive Plan, with a focus at Underhill Avenue adjacent to the Project site,



- (2) additional Entry / Exits provided at site thus creating further traffic improvements,
  - Providing shared parking with an adjacent development thus reducing the potential for additional impervious services.
2. Whether the project will likely be detrimental to the character of its immediate neighboring properties, or the district and town at large:
- Enhanced accessibility to the site and +3 acres of historic grounds and rehab Cpt. Underhill House and Ice pond will create a park-like setting for all immediate neighboring properties,
  - The Project having proposed a density of 12 units / acre is bordered by similar density, to wit: to the north and south by multi-family housing with densities of 19.8 units / acre to 9.6 units / acre respectively,
  - To the east are commercially zoned properties, which the Project's commercial space will front and to the west are single family lots that are separated by Glenrock Street that this project is not accessing,
  - In order to make the properties more accessible the Project is proposing the improvement of connecting Underhill Avenue sidewalks with Underhill Farm and Beaver Ridge walkways for safe pedestrian access to Kear Street,
  - The Project will provide much improved secondary means of access for first responders to the Beaver Ridge,
  - As mentioned above but still relevant hereto, Preservation and restoration of a locally significant and historic structure, Cpt. Underhill's House,
  - Revival of an abandoned school campus into a vibrant new use,
  - Creation of new and revitalizing of existing green space,
  - Rehabilitate and preservation of the existing ice pond,
  - Project will provide shared parking to the adjacent Beaver Ridge development, specifically, the shared parking will allow for the use of a new senior center located on the Beaver Ridge development,
  - Establish new walking trailing around the perimeter of the ice pond with proposed public access,
  - Improvements to existing traffic condition at Underhill Avenue adjacent to property as studied and reviewed under SEQRA,
  - New landscaping buffer around perimeter of site and new landscaping design throughout the site.
3. Whether the scope of the project will cause operational difficulties that have potential to negatively impact the health, safety and welfare of the public:
- Traffic mitigation improvements will alleviate traffic congestion on Underhill Avenue,
  - The interior roadway and lighting of the Project will not pose an increased tax-burden as the infrastructure will be privately maintained,
  - The Project will demonstrate that the result of the proposed improved access and roadway benefitting the Project site, as well required mitigation on surrounding Town roads, the Project will not have a negative impact on existing infrastructure.

- Proper mitigation measures will be implemented as part of final site-plan approval
4. Whether the town's infrastructure is capable of servicing the project:
    - Both sewer and water utilities have capacity for this project and will not burden Town infrastructure,
    - Proper mitigation measures will be implemented as part of final site-plan approval and SEQRA requirements,
    - Traffic conditions around and inside the property will be improved,
    - The engineering plans will demonstrate enhanced mitigation and treatment of excessive runoff caused by the impervious public roadway known as Glenrock Street,
    - Property will gain 2 new entry / exit points for vehicular traffic
  5. Whether the project will eliminate a blight within the district:
    - Proposed redevelopment and revitalization of approximately 14 acres of under- utilized space,
    - Demolition of a number of dilapidated buildings that are unsafe and structurally compromised.
  6. Whether the project is consistent with the goals and intent of the overlay district:
    - The Project is entirely consistent with the goals and the intent of the overlay district as set forth in § 300-248,
    - Creation of new walkways and improve roadways to better connect this community with the downtown – “Complete Streets Approach”,
    - New construction of multi-family residential buildings containing retail, professional office, and both creation and revitalization of open space,
    - Preservation, improvement and adaptive re-use of historically significant property – more specifically, the Cpt. Underhill House & Ice Pond,
    - The Project shall implement Green Building practices for new construction including: electric vehicular charging stations, geothermal HVAC heat pump systems, solar panels,
    - The Project will result in the creation of a new live / work space community to assist the growth in the downtown
  7. Whether the project is consistent with the requirements of the overlay district and does not exceed the limitations or requirements:
    - The Project will show during the site-plan approval process that it does not exceed the limitations or requirements of the Yorktown Overlay District,
    - The Project will conform with area bulk requirements,
    - The Project will conform within the FAR requirement being less than 0.55,
    - The Project will be constructed within required setbacks
    - The Project will be constructed within required building heights
    - The Project will be constructed with the addition of new off-street parking lots and meeting required parking for site,
    - The design will include the addition of new attractive building facades,
    - The end-product will ensure the removal of incompatible / non-conforming buildings.



8. Whether the project is likely to contribute to economic development of the district and town:
- The Project will contribute an excess of \$1M in additional tax revenues,
  - Culmination of the benefits described above, it is clear that the Project is more likely than not to provide an economic development of the district and the Town,
  - The creation of 11,000 SF of new commercial space,
  - The introduction of 165 new residential units will be spending more locally.

As a reminder to the Town Board, the issues above are subject to the Planning Board's review process and site plan approval. Therefore, any additional information required will be provided and studied throughout the approval process.

#### **Requested Town Board Action**

The Applicant requests that the Town Board approve the Project as eligible to reviewed under Article XXXI and adopt the necessary authorizing resolution that: 1) allows for the Project to be reviewed under the planned overlay zone district requirements; and, 2) refers the Project and the authorization resolution to the Planning Board as per § 300-251C. Once referred, the Applicant shall file all materials required to formally initiate the site-plan approval process.

The Applicant has assembled a full team and stands ready, willing and able to address any concerns or questions the Town Board might have. The Town Board's attention to this matter is greatly appreciated.

Very truly yours,



Mark W. Blanchard

Encls.



**TOWN OF YORKTOWN**  
363 Underhill Avenue, P.O. Box 703  
Yorktown Heights, NY 10598

This is a resolution adopted by the Town Board of the Town of Yorktown at its regular meeting held on Tuesday, February 22, 2022.

WHEREAS, Underhill Soundview LLC (hereinafter the "Applicant") is owner of property located at 370 Underhill Avenue (hereinafter the "property"), Yorktown Heights, formerly Soundview Preparatory School, Beaver Conference Farm, and the Abraham and Edward Underhill Estate; and

WHEREAS, the Applicant has by letter dated January 11, 2022, requested authorization from the Town Board to apply the standards set forth in Article XXXI of the Yorktown Zoning Code in furtherance of a project to construct multi-family residential units and commercial space on the property; and

WHEREAS, the Town Board's consideration of the requested authorization to apply standards pursuant to Article XXXI is based on its intent to promote and encourage economic development, to stimulate growth and provide for revitalization, while utilizing smart-growth techniques capable of creating smarter, less wasteful, and more economically efficient development patterns that engender flexibility in land uses by providing a diverse array of mixed-use residential and commercial parcels; and

WHEREAS, the proposed project which is the basis of this request calls for the construction of 148 residential units of varying size and design distributed among 12 structures, and eleven thousand (11,000) square feet of commercial space in one of the 12 structures and the renovation and restoration and adaptive reuse of the existing historic mansion, accessed by two (2) proposed driveways from Underhill Avenue ("Proposed Project"); and

WHEREAS, applying the standards set forth in Article XXXI affords the project flexibility in the application of the zoning code's bulk requirements with respect to building height, lot frontage, lot coverage, lot area, and minimum floor area, floor area ratio, open space requirements, side yard requirements, front and rear yard requirements, maximum allowable coverage, parking regulations, unit density per acre, and off-street parking and loading spaces; and

WHEREAS, the applicant's request is a required step in obtaining the ability to apply Article XXXI as outlined in Section §300-251B of said Article which sets forth the procedure to request such authorization and the criteria by which the Town Board must consider the request; and



WHEREAS, Section §300-251B requires the Town Board consider the following factors when considering authorizing a project to apply the standards set forth in Article XXXI :

- (a) Whether the project is consistent with the general goals of the Comprehensive Plan;
- (b) Whether the project will likely be detrimental to the character of its immediate neighboring properties, or the district and Town at large;
- (c) Whether the scope of the project will likely cause operational difficulties on the site that have potential to negatively affect the health, safety, and welfare of the public;
- (d) Whether the Town's infrastructure is capable of servicing the project or that the impacts or deficiencies of the infrastructure can be appropriately mitigated;
- (e) Whether the project will eliminate a blight or potential blight within the district;
- (f) Whether the project is consistent with the goals and intent of the overlay district;
- (g) Whether the project is consistent with the requirements of the overlay district and does not exceed the limitations or requirements set forth therein;
- (h) Whether the project is likely to contribute to the economic development of the district and the Town at large.

WHEREAS, the Town Board considered the request at its meeting of January 25, 2022, at which time the applicant presented information in favor of authorizing the use of Article XXXI; and

WHEREAS, the Town Board under Section §300-251B is empowered, in its discretion, to hold a public hearing and determined a public hearing was not necessary as the Board has publicly discussed the adoption of Article XXXI, the inclusion of the project in the boundaries of the district in which the ARTICLE may be applied, and the merits of the project at various meeting throughout 2021, and heard comments from the public, its professional staff, advisory boards, and other interested parties; and

WHEREAS, the Town Board considered all the factors as above enumerated and notes the following :

- a) The Yorktown Comprehensive Plan in Chapter 2, Land Use, recommends the use of overlay zones to protect resources and to help implement various land uses or mixes of land uses, and Chapter 4, Economic Development and Hamlet Business Centers recommends actions that strengthen economic viability of Yorktown and maintain economic strength by addressing trends in the market place and the development industry, and recommends promoting a mix of uses in the hamlets as set forth, inter alia, in Goals 4-B, 4-D, and 4-E and in Policies 4-1 and 4-7; and
- b) The project is located on State Route 118 and Underhill Avenue, main arterial and collector roads, abutting and across a road from

existing multi-family residential developments of similar density, across a road from commercial development and across a road from single family residential development at which the project proposes low-rise town house style units and further that the projects proposes retention of the historic mansion and proposes complementary, historically inspired architecture of all new structures; and

- c) The project proposes a mix of development and open space that includes recreational areas, internal driveways, parking areas, a connection to a neighboring multi-family residential development, and two main driveway connections to Underhill Avenue; and
- d) The Town's professional staff has stated that water and sewer capacity are available to handle the scope of the project, and the applicant has submitted plans and data that indicated that the road infrastructure can be appropriately mitigated to accept the traffic impacts of the project; and
- e) The property contains the main mansion building and several other ancillary buildings, of varying quality and state of function and maintenance, any of which could fall to disrepair without sufficient attention and resources available to be applied to each.
- f) The goals of the Overlay district, Article XXXI, as stated herein seek to promote mixed uses, promote residential development within and near the hamlets, promote economic development, and preserve unique and historic structures, and further that the project is preserving and reusing the historic mansion, creating mixed use with residential dwelling units of varying design and type, creating small scale commercial space, creating open space and recreational amenities available to the public, and creating pedestrian amenities and connections that promote walkability, health, and economic viability; and
- g) The bulk requirements cited in Article XXXI support the project scope and physical characteristics and none have been shown to be exceeded; and
- h) The project will locate 148 units of residential which places consumers within walking distance of the hamlet and further proposes the creation of eleven thousand square feet of additional commercial space, proposes pedestrian connections and recreational amenities that attract users to the local hamlet area; and

WHEREAS, the application was referred to the Westchester County Planning Board under General Municipal Law § 239-m;

WHEREAS, the Westchester County Planning Board responded to the referral, and noted that it was supportive of the Town Board authorizing the application to proceed to the Yorktown Planning Board for consideration under Article XXXI; and

WHEREAS, pursuant to the New York State Environmental Quality Review Act ("S.E.Q.R.A."), this action is considered a Type II action under N.Y.C.R.R. Title 6, section 617.5(c)(33), and (c)(34); and




WHEREAS, based on the entire record before the Town Board, the Town Board finds that the request to apply the standards of the Yorktown Heights Overlay District pursuant to Chapter 300, Article XXXI, Section §300-250 through Section §300-255 of the code of the Town of Yorktown to the Underhill Soundview, LLC property will achieve the Town's objectives of the Comprehensive Plan and the preservation and enhancement of hamlet of Yorktown Heights, promote economic development, pedestrian connections and complete street initiatives, open space, recreation, and high architectural design standards, and other areas economic and social value; now therefore be it

RESOLVED, that the Underhill Soundview LLC request for authorization to apply the standards pursuant to Chapter 300, Article XXXI, Section § 300.250 through Section § 300.255, to the Proposed Project, is granted; and

BE IT FURTHER RESOLVD, that the Proposed Project will require site plan approval by the Planning Board, and must comply with all applicable laws, including but not limited to the S.E.Q.R.A.; and

BE IT FURTHER RESOLVED, that the permission herein granted is subject to and contingent on the site plan being in substantial conformance with the Proposed Project as presented to the Town Board on the instant application.

  
Diana L. Quast, Town Clerk  
Certified Municipal Clerk  
Town of Yorktown

Date: February 23, 2022

To: Richard Fon, Planning Board Chairperson  
John Tegeder, Director of Planning

cc: Matthew J. Slater, Town Attorney  
Mark W. Blanchard, Esq.  
Adam Rodriguez, Town Attorney  
file



**Parks, Recreation,  
and Historic Preservation**

KATHY HOCHUL  
Governor

ERIK KULLESEID  
Commissioner

March 21, 2022

John Tegeder, Director of Planning  
Town of Yorktown  
1974 Commerce Street  
Yorktown Height, NY 10598

Re: SEQRA, DEC  
Soundview-Underhill Farms Development  
Town of Yorktown, Westchester County  
21PR02382

Dear Mr. Tegeder:

It has come to the attention of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP) that the State Environmental Quality Review Act (SEQRA) process for this project has been initiated. To allow for public comment and for potential updates to the alternatives analysis for the National Register eligible Underhill Estate Building District (11918.000175), the OPRHP will review and execute the Letter of Resolution at the completion of the SEQRA review process.

If you have any questions, I can be reached at [nancy.herter@parks.ny.gov](mailto:nancy.herter@parks.ny.gov).

Sincerely,

Nancy Herter  
Director, Technical Preservation Services Bureau

cc. Charles Vandrei, DEC Agency Preservation Officer  
Paul Guillaro, Unicorn Contracting



**Parks, Recreation,  
and Historic Preservation**

**ANDREW M. CUOMO**  
Governor

**ERIK KULLESEID**  
Commissioner

April 27, 2021

Jon Dahlgren  
Vice President / Senior Geologist  
Tim Miller Associates  
10 North Street  
Cold Spring, NY 10516

Re: USACE  
Soundview-Underhill Farms Development  
Town of Yorktown, Westchester County, NY  
21PR02382

Dear Jon Dahlgren:

Thank you for requesting the comments of the New York State Historic Preservation Office (SHPO). We have reviewed the submitted materials in accordance with Section 106 of the National Historic Preservation Act of 1966. These comments are those of the SHPO and relate only to Historic/Cultural resources.

SHPO has reviewed *Phase 1A Literature Search and Sensitivity Assessment & Phase 1B Archaeological Field Reconnaissance Survey, Soundview-Underhill Farm Project, 370 Underhill Avenue, Yorktown Heights, Westchester County, New York* (Hudson Valley Cultural Resource Consultants, February 2021).

Based on the information provided, we have no further archaeological concerns regarding this project. Additional architectural information is still undergoing review. Once all concerns have been addressed, A single, comprehensive effect recommendation will be issued.

If you have any questions, please don't hesitate to contact me.

Sincerely,

Philip A. Perazio, Historic Preservation Program Analyst - Archaeology Unit

Phone: 518-268-2175

e-mail: [philip.perazio@parks.ny.gov](mailto:philip.perazio@parks.ny.gov)

via e-mail only

cc: Paul Guillaro, Unicorn Contracting; Beth Selig, HVCRC; John Tegeder, Town of Yorktown

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**Division for Historic Preservation**

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • [parks.ny.gov](http://parks.ny.gov)



**LETTER OF RESOLUTION AMONG  
NEW YORK STATE OFFICE OF PARKS, RECREATION & HISTORIC  
PRESERVATION  
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
AND  
UNDERHILL SOUNDVIEW LLC**

**REGARDING the UNDERHILL SOUNDVIEW FARM  
21PR02382**

**WHEREAS**, Underhill Soundview LLC (“Applicant”) intends to build “Underhill Soundview Farm” a multi-family and mixed-use project is planned for the property located at 340 Underhill Avenue in the Town of Yorktown Heights, Westchester County, New York, which property is owned by the Applicant and,

**WHEREAS**, the project requires multiple permits from the New York State Department of Environmental Conservation (“NYSDEC”); which include coverage under a General Permit for Stormwater Discharges from Construction Activities (GP-0-12-001), and a Permit for Private, Commercial & Institutional (P/C/I) (GP 0-15-001) and the approval of the Town of Yorktown Heights locality; and

**WHEREAS**, the Department has consulted with the New York State Office of Parks, Recreation, and Historic Preservation (OPRHP) in accordance with Section 14.09 of the New York State Parks Law, 9 NYCRR part 428 and the procedures agreed upon in a 2015 interagency Letter of Resolution for construction activities relating to GP-0-12-001; and

**WHEREAS**, OPRHP has determined that the existing Soundview-Underhill /Floral Villa Estate (“Underhill Estate”), located at 340 Underhill Avenue, in the Town of Yorktown Heights, Westchester County, New York, are eligible for inclusion in the State and National Registers of Historic Places. The Soundview complex is eligible under National Register criterion A for Abraham and Edward B. Underhill’s contributions to the settlement, agricultural, and economic development of Yorktown and Criterion C in the area of architecture as an intact example of a Federal-style farmhouse transformed into a large Italianate-style residence.

**WHEREAS**, the Applicant is proposing to construct a multi-family and mixed use project (Underhill Soundview Farm), and it has been determined that the proposed project will have an Adverse Impact on the Underhill Estate

**WHEREAS**, In a letter dated October 29, 2021, OPRHP has concurred that no prudent or feasible alternatives exist that would lessen or avoid the adverse impacts to the historic resources,

**NOW, THEREFORE**, in accordance with the New York State Parks, Recreation and Historic Preservation Law, NYCDEC, OPRHP, and Applicant agree that the Project may proceed subject to the stipulations set forth below:

**STIPULATIONS**



SIGNATURES (3) FOLLOW:

**Unicorn Contracting**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name

\_\_\_\_\_  
Title

**NYS Office of Parks, Recreation and Historic Preservation**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

Daniel Mackay R. Daniel Mackay  
Deputy Commissioner for Historic Preservation  
, Division for Historic Preservation

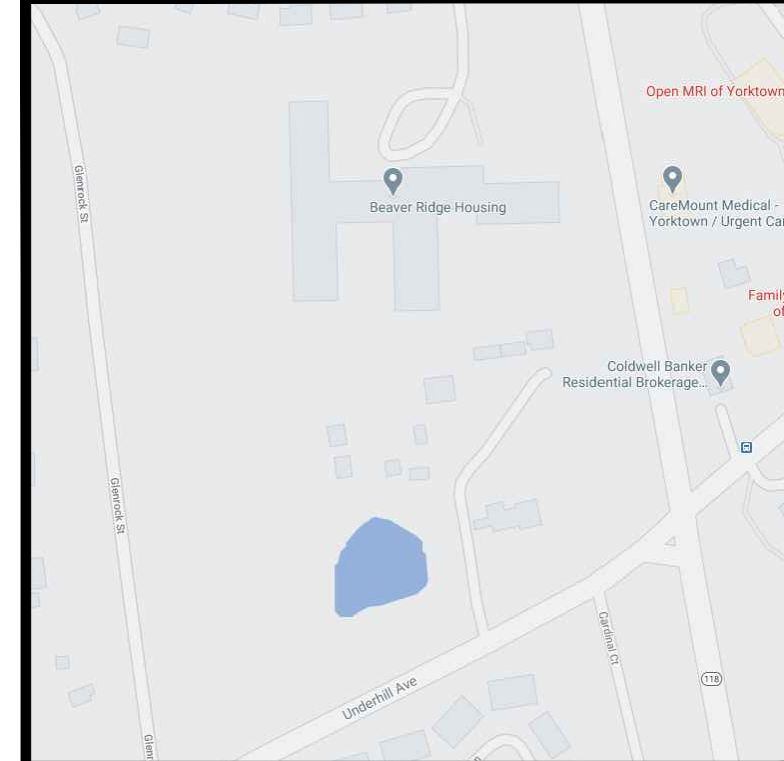
**Exhibit B:**

**New York State Office of Parks, Recreation and Historic Preservation  
Human Remains Discovery Protocol (August 2018)**

If human remains are encountered during construction or archaeological investigations, the New York State Office of Parks, Recreation and Historic Preservation (OPRHP) recommends that the following protocol is implemented:

- Human remains must be treated with the utmost dignity and respect at all times. Should human remains or suspected human remains be encountered, work in the general area of the discovery will stop immediately and the location will be secured and protected from damage and disturbance.
- If skeletal remains are identified and the archaeologist is not able to conclusively determine whether they are human, the remains and any associated materials must be left in place. A qualified forensic anthropologist, bioarchaeologist or physical anthropologist will assess the remains in situ to help determine if they are human.
- No skeletal remains or associated materials will be collected or removed until appropriate consultation has taken place and a plan of action has been developed.
- The OPRHP, the appropriate Indian Nations, the involved state and federal agencies, the coroner, and local law enforcement will be notified immediately. Requirements of the coroner and local law enforcement will be adhered to. A qualified forensic anthropologist, bioarchaeologist or physical anthropologist will assess the remains in situ to help determine if the remains are Native American or non-Native American.
- If human remains are determined to be Native American, they will be left in place and protected from further disturbance until a plan for their avoidance or removal can be generated. Please note that avoidance is the option preferred by the OPRHP and the Indian Nations. The LGPC or the Department will consult OPRHP and the appropriate Indian Nations to develop a plan of action that is consistent with the Native American Graves Protection and Repatriation Act (NAGPRA) guidance. Photographs of Native American human remains and associated funerary objects should not be taken without consulting with OPRHP and the involved Indian Nations.
- If human remains are determined to be non-Native American, the remains will be left in place and protected from further disturbance until a plan for their avoidance or removal can be generated. Please note that avoidance is the option preferred by the OPRHP. Consultation with the OPRHP and other appropriate parties will be required to determine a plan of action.
- To protect human remains from possible damage, the OPRHP recommends that burial information not be released to the public.





LOCATION MAP  
NOT TO SCALE

**SITE DATA:**

OWNER / DEVELOPER: UNICORN CONTRACTING  
10 JULIA LANE  
COLD SPRING, NY, 10516  
370 UNDERHILL AVE  
YORKTOWN, NY, 10596  
PROJECT LOCATION: UNICORN CONTRACTING  
10 JULIA LANE  
COLD SPRING, NY, 10516  
370 UNDERHILL AVE  
YORKTOWN, NY, 10596  
EXISTING TOWN ZONING: R1-40, RESIDENTIAL DESCRIPTION  
PROPOSED USE: PLANNED DEVELOPMENT DISTRICT  
TOWN TAX MAP DATA: SECTION 48.06, BLOCK 1, LOT 30  
SITE AREA: 13.78 ACRES (600,459 SF)  
SEWER FACILITIES: PUBLIC SEWERS  
WATER FACILITIES: PUBLIC WATER FACILITIES

**BULK ZONE REQUIREMENTS:**

ZONING DISTRICT: EXISTING: R1-40 RESIDENTIAL/ PROPOSED: YORKTOWN HEIGHTS PLANNED DESIGN DISTRICT OVERLAY ZONE	
<b>DIMENSIONAL REGULATIONS:</b>	
MINIMUM SIZE OF LOT:	600,459 SF / 13.78 ACRES
FLOOR AREA (WITH PUBLIC SEWERS):	12 UNITS/ACRE 10 UNITS/ACRE 9 UNITS/ACRE
MINIMUM LOT DEPTH:	510 FT.
MINIMUM YARD DIMENSIONS:	
PRINCIPAL BUILDING:	
FRONT YARD SETBACK:	45 FT.
REAR YARD SETBACK:	20 FT.
ONE SIDE YARD SETBACK:	26.9 FT.
COMBINED SIDE YARD SETBACK:	130.2 FT.
MAXIMUM HEIGHT:	
PRINCIPAL BUILDING - FEET:	40 FT MAX
MAXIMUM USABLE FLOOR AREA:	
MAXIMUM % OF LOT TO BE OCCUPIED:	21.0%
BUILDING COVERAGE:	
MAXIMUM ROAD FRONTAGE:	
DISTANCE BETWEEN MAIN WALLS OF BUILDINGS:	32.5 FT.
DISTANCE BETWEEN END WALLS OF BUILDINGS WITH WINDOWS:	28.7 FT.
DISTANCE BETWEEN WALLS IN ANY OTHER CASE:	28.7 FT.
MAXIMUM LENGTH OF ANY BUILDING:	250 FT.
DISTANCE OF PARKING TO PROPERTY LINE:	5 FT.
AT LEAST 400 SQUARE FEET OF USABLE OPEN SPACE IS PROVIDED ON THE SITE FOR EACH DWELLING UNIT FOR PLAY AREA AND OTHER OUTDOOR LIVING USES. THE DEVELOPER SHALL PROVIDE A SUITABLY IMPROVED PLAYGROUND/PLAY AREA. EACH SUCH PLAYGROUND/PLAY AREA SHALL HAVE A MINIMUM AREA OF 1,200 SQUARE FEET AND A MAXIMUM DISTANCE OF 1,000 FEET FROM THE UNITS TO BE SERVED.	65,000 SF
IN ADDITION TO THE ABOVE, THE DEVELOPER SHALL ALSO SET ASIDE 10% OF THE SITE FOR THE PROVISION OF PARK AND/OR RECREATIONAL FACILITIES. IF THE PROVISION OF SUCH FACILITIES IS IMPRACTICAL BECAUSE OF THE PARTICULAR LAYOUT OF THE DEVELOPMENT OR FOR OTHER REASONS, A RECREATION FEE OF \$4,000 PER UNIT SHALL BE SUBMITTED PRIOR TO APPROVAL OF THE APPLICATION.	65,000

\* THE PLANNED DEVELOPMENT DISTRICT ALLOWS FOR UP TO A 60% REDUCTION IN THE REQUIREMENTS OF THE UNDERLYING ZONE.

**F.A.R. CALCULATION BASIS:**

TOTAL LOT AREA:	600,459 SF
ALLOWABLE F.A.R.:	= 0.55
PROVIDED F.A.R.:	
148 DWELLING UNITS:	
APARTMENTS:	99,415 GSF
CONDO FLATS:	54,800 SF
UPHILL TOWNHOUSE:	62,500 SF
DOWNHILL TOWNHOUSE:	65,252 SF
TOTAL:	301,967 SF
TOTAL F.A.R.:	= 301,967 / 600,459 = 0.50 < 0.55
NOT INCLUDED IN F.A.R.:	
EXISTING BUILDING:	7,000 SF

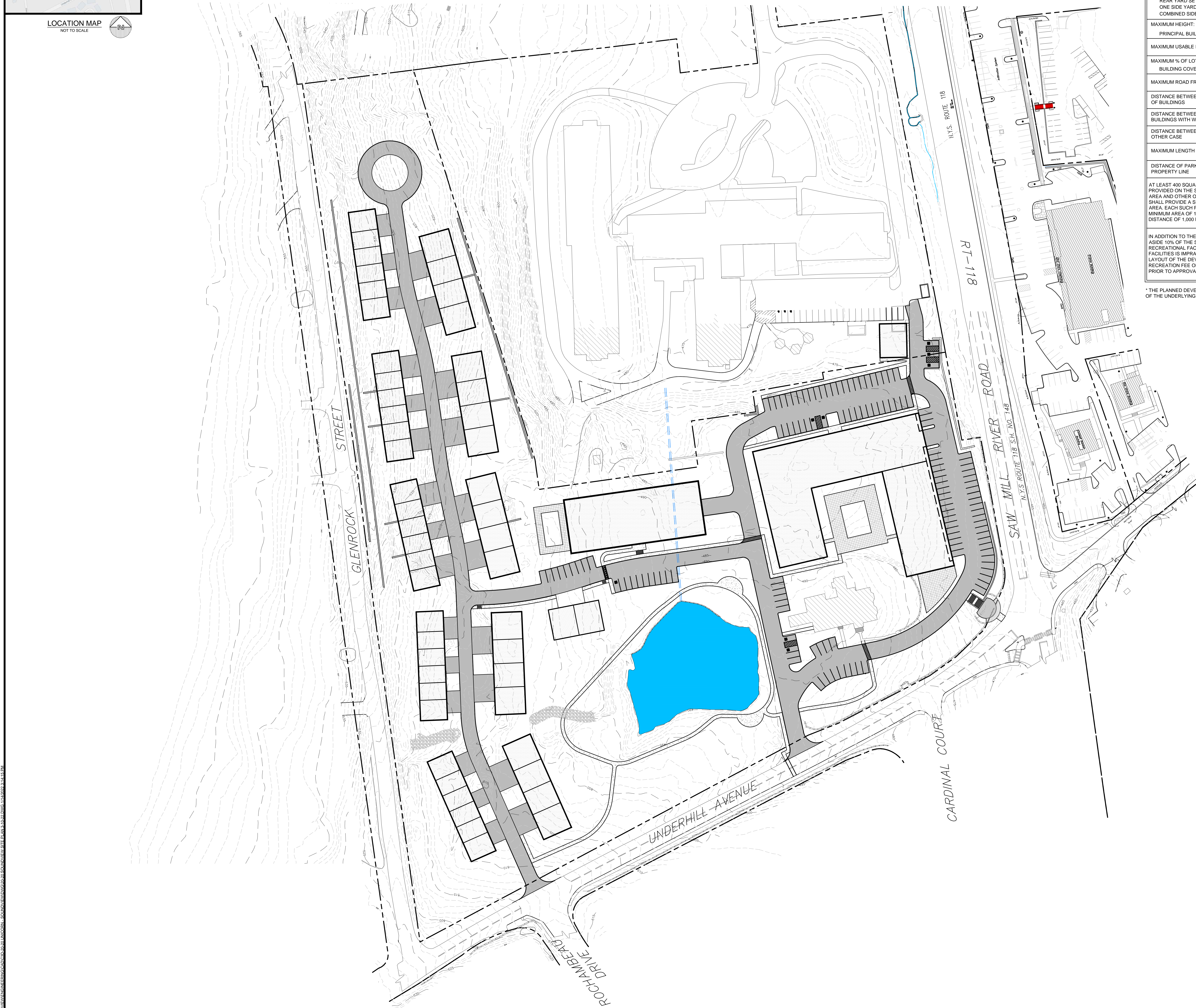
**PARKING SCHEDULE**

APARTMENT/CONDO PARKING:	1.5 SPACES/UNIT: APARTMENT BUILDING @ 64 UNITS = 96, 96 PROVIDED CONDO BUILDING @ 32 UNITS = 48, 51 PROVIDED
TOWNHOUSE PARKING:	2 SPACES/UNIT = 104 PROVIDED
RETAIL PARKING:	APARTMENT BUILDING 11,000 SF @ 4 SPACES/1,000 SF = 44 SPACES, 63 PROVIDED EXISTING BUILDING 8,000 SF @ 4 SPACES/1,000 SF = 32 SPACES, 32 PROVIDED

NOTE: 5 OF THE PARKING SPACES PROVIDED FOR THE APARTMENT BUILDING RETAIL WILL BE SHARED NON-OVERLAPPING USES.

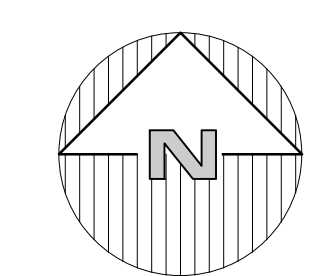
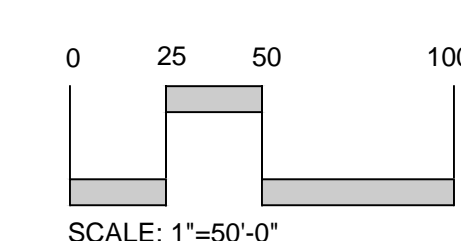
**BUILDING UNITS:**

APARTMENT BUILDING (64 UNITS):	16 - 1 BEDROOM UNITS @ 750 SF 42 - 2 BEDROOM UNITS @ 1,050 SF 6 - 3 BEDROOM UNITS @ 1,280 SF
CONDO BUILDING (32 UNITS):	2 - 1 BEDROOM UNITS @ 1,000 SF 18 - 2 BEDROOM UNITS @ 2,000 SF 12 - 2 BEDROOM UNITS @ 1,400 SF
TOWNHOUSES (62 UNITS):	22 - 4 BEDROOM UNITS @ 2,966 SF 30 - 3 BEDROOM UNITS @ 2,750 SF
TOTAL NUMBER OF DWELLING UNITS:	148



**LEGEND**

--- (dashed line)	PROPERTY LINE / RIGHT OF WAY
--- (dashed line)	PROPOSED ROAD CENTERLINE
--- (dashed line)	PROPOSED CURB
--- (dashed line)	EDGE OF WETLAND
--- (dashed line)	100' WETLAND BUFFER
--- (dashed line)	PROPOSED RETAINING WALLS



NOTE:  
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY BARRY AND WATSON, DATED 06/12/02. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2201 (1) OF THE NEW YORK STATE EDUCATION LAW.

PROJECT # 20-20

**Site Design Consultants**  
Civil Engineers & Land Planners  
251-F Underhill, Yorktown Heights, NY 10596  
(914) 962-4488, Fax: (914) 962-2786  
www.sitedesignconsultants.com

SEAL AND SIGNATURE OF REGISTERED PROFESSIONAL ENGINEER

REVISIONS:

No.	Date	Comments
1.	6/23/20	Issue Schedule, Door, Area
2.	6/23/20	Issue Schedule, Door, Area
3.	7/27/20	Issue Schedule, Door, Area
4.	7/27/20	Issue Schedule, Door, Area
5.	7/27/20	Issue Schedule, Door, Area
6.	7/27/20	Issue Schedule, Door, Area

SCALE: 1" = 50'

DRAWN BY: TK

DATE: 6-23-20

**TITLE SHEET**

PRELIMINARY SITE PLAN  
PREPARED FOR  
**UNDERHILL FARM**  
UNDERHILL AVENUE  
Westchester County, New York  
Town of Yorktown

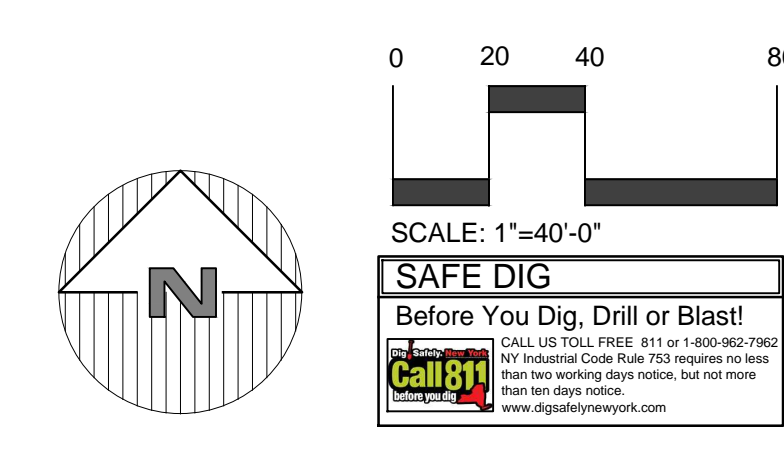




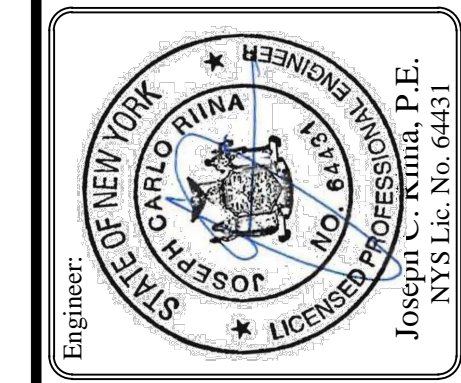
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Revisions	No.	Date	Comments
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208.	6/24/24	6/24/24	Issue for Review
209.	7/1/24	7/1/24	Issue for Review
210.	7/8/24	7/8/24	Issue for Review
211.	7/15/24	7/15/24	Issue for Review
212.	7/22/24	7/22/24	Issue for Review
213.	7/29/24	7/29/24	Issue for Review
214.	8/5/24	8/5/24	Issue for Review
215.	8/12/24	8/12/24	Issue for Review
216.	8/19/24	8/19/24	Issue for Review
217.	8/26/24	8/26/24	Issue for Review
218.	9/2/24	9/2/24	Issue for Review
219.	9/9/24	9/9/24	Issue for Review
220.	9/16/24	9/16/24	Issue for Review
221.	9/23/24	9/23/24	Issue for Review
222.	9/30/24	9/30/24	Issue for Review
223.	10/7/24	10/7/24	Issue for Review
224.	10/14/24	10/14/24	Issue for Review
225.	10/21/24	10/21/24	Issue for Review
226.	10/28/24	10/28/24	Issue for Review
227.	11/4/24	11/4/24	Issue for Review
228.	11/11/24	11/11/24	Issue for Review
229.	11/18/24	11/18/24	Issue for Review
230.	11/25/24		





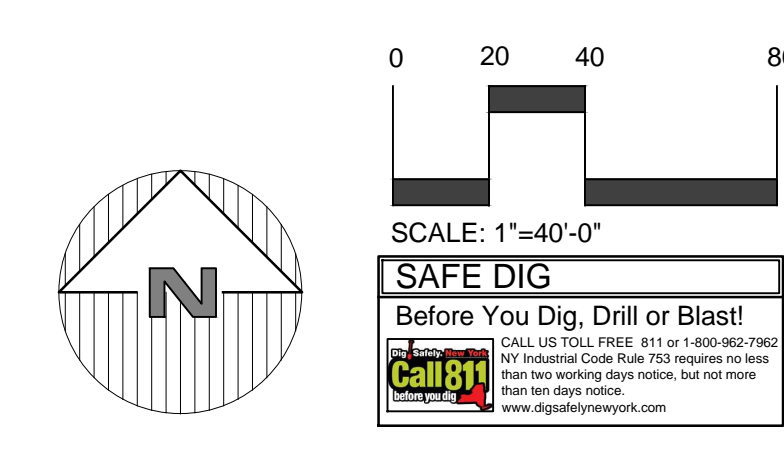
See map recorded in Section No. 10, D.M. 150, within the Westchester County clerk's Office on January 25, 1954 as Map No. 8822.

See map entitled "Subdivision of property prepared for Gilbert Beaver Conference Farm, Inc." filed in the Westchester County clerk's office on November 21, 1979 as Map No. 20102.

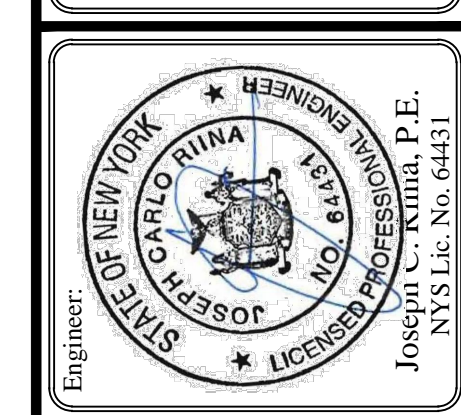
NOTE: THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY BACEY AND WATSON, DATED 06/10/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2203 (1) OF THE NEW YORK STATE EDUCATION LAW.

- LEGEND**
- PROPERTY LINE / RIGHT OF WAY
  - PROPOSED ROAD CENTERLINE
  - PROPOSED CURB
  - EDGE OF WETLAND
  - 100' WETLAND BUFFER
  - PROPOSED RETAINING WALLS



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10596  
 (914) 962-4488, Fax: (914) 962-2786  
 www.sitedesignconsultants.com



Revisions	No.	Date	Comments
1.	6/10/20		Issue for Review
2.	6/10/20		Issue for Review
3.	6/10/20		Issue for Review
4.	6/10/20		Issue for Review
5.	6/10/20		Issue for Review
6.	6/10/20		Issue for Review

Scale	1" = 40'
Drawn by	TK
Date	6-22-20

**EXISTING CONDITIONS**

**PRELIMINARY SITE PLAN**  
 PREPARED FOR  
**UNDERHILL FARM**  
 UNDERHILL AVENUE  
 Westchester County, New York  
 Sheet 2 of 2



**Martinez**  
**Subdivision Lot #2**



# Site Design Consultants

Civil Engineers • Land Planners

April 13, 2022

Richard Fon, Chairman  
Members of the Yorktown Planning Board

c/o Robyn Steinberg, Town Planner  
Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

RECEIVED  
PLANNING DEPARTMENT  
APR 13 2022  
TOWN OF YORKTOWN

Re: Jason Levy (formerly ACM Building Corp. - Anthony Martinez)  
1767 Jacob Road

Dear Chairman Fon and Members of the Yorktown Planning Board:

Enclosed please find our submission to amend the mitigation measures approved at the time of the Anthony Martinez Subdivision Plan at 1767 Jacob Road. The approved plan called for a mix of filling, creation and enhancement of wetlands, buffer enhancement, and conservation easement in order to facilitate the construction of the project. All of this was to be done as part of the overall scope of the project for two residential lots. A majority of the wetland disturbance and related mitigation is necessary for the construction of the access and infrastructure for Lot 1.

The property changed ownership prior to any development and the current owner Jason Levy, is proposing that the Planning Board reconsider the phasing of the mitigation work to be done. The reason being is that Mr. Levy is near completion of his personal residence on Lot 2 which is the front lot. Lot 2 has a minor wetland disturbance and some buffer disturbance. It should be noted that the buffer disturbance is occurring on land that was previously developed and part of a residence which was once on the property. Since the remaining wetland disturbance is related to the development of the rear lot, Mr. Levy would like to separate the disturbances and mitigation proportionally to the work to be performed on each lot.

The enclosed Site Plan depicts a phase line which identifies this proposal. In addition, a table has been provided which compares the original approval to the current approval, and the mitigation related to the development of the individual lots. We are therefore requesting to be placed on the agenda for the next Planning Board meeting so that we can discuss the project in detail with the Planning Board.

We are submitting the following items for the above referenced project for discussion at the Planning Board Meeting of April 25, 2022:

- Five copies of the plan sheets titled "Site Plan Prepared for Jason Levy - Improvement Plan, and Amended Mitigation Plan and Notes," Sheets 1-2 of 2, dated 4-12-22;





Richard Fon, Chairman  
Members of the Yorktown Planning Board  
April 13, 2022  
Page 2 of 2

Jason Levy  
1767 Jacob Road

In addition, we are submitting a digital copy for your use. If you have any questions or need additional information, please contact me. Thank you.

Yours Truly,

  
Joseph C. Riina, P.E.

cc: Town Supervisor  
Engineering Department  
Building Department  
Water Department  
Ed Lachterman  
Jason Levy

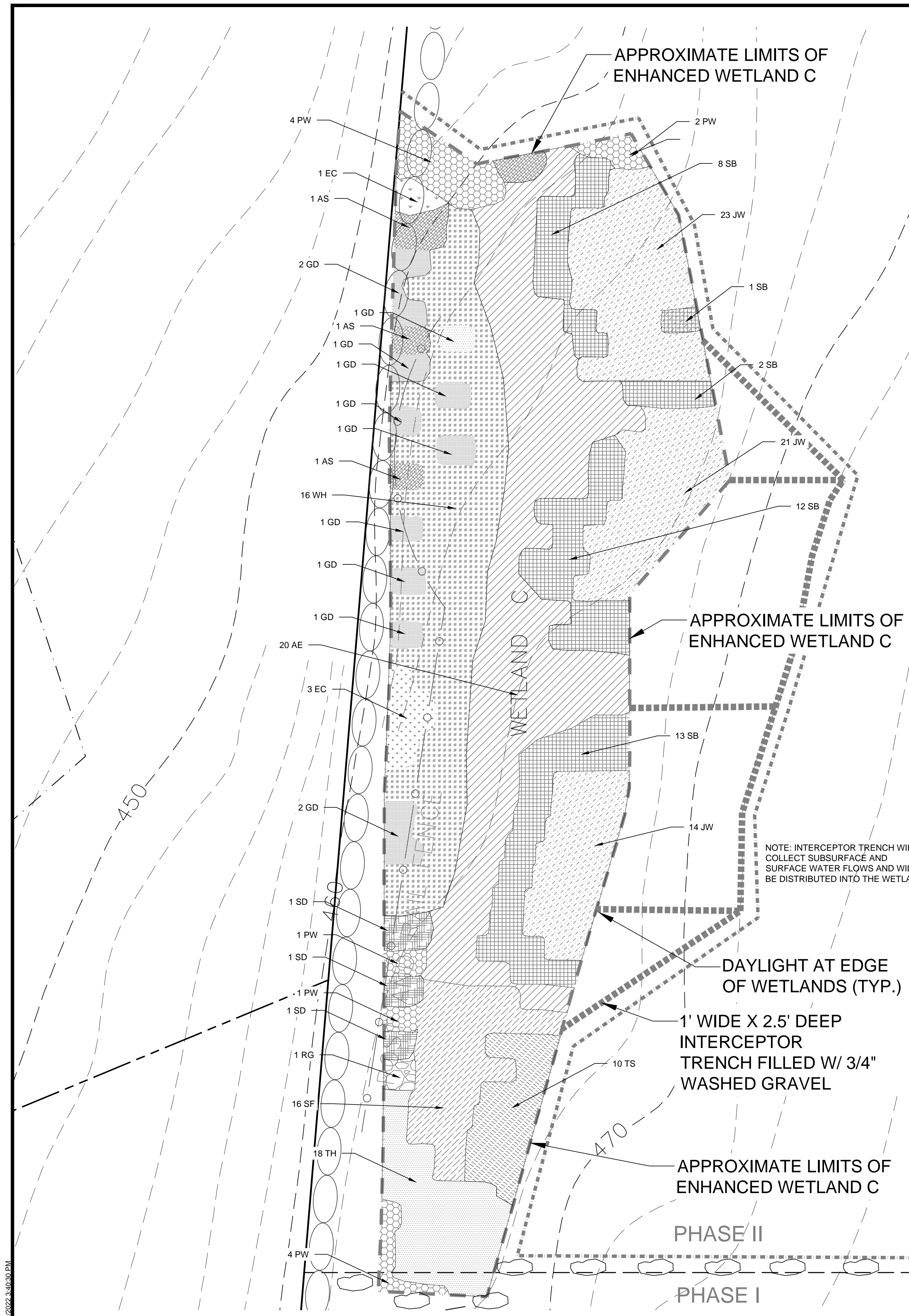
JCR / cm / Enc. / sdc 21-53











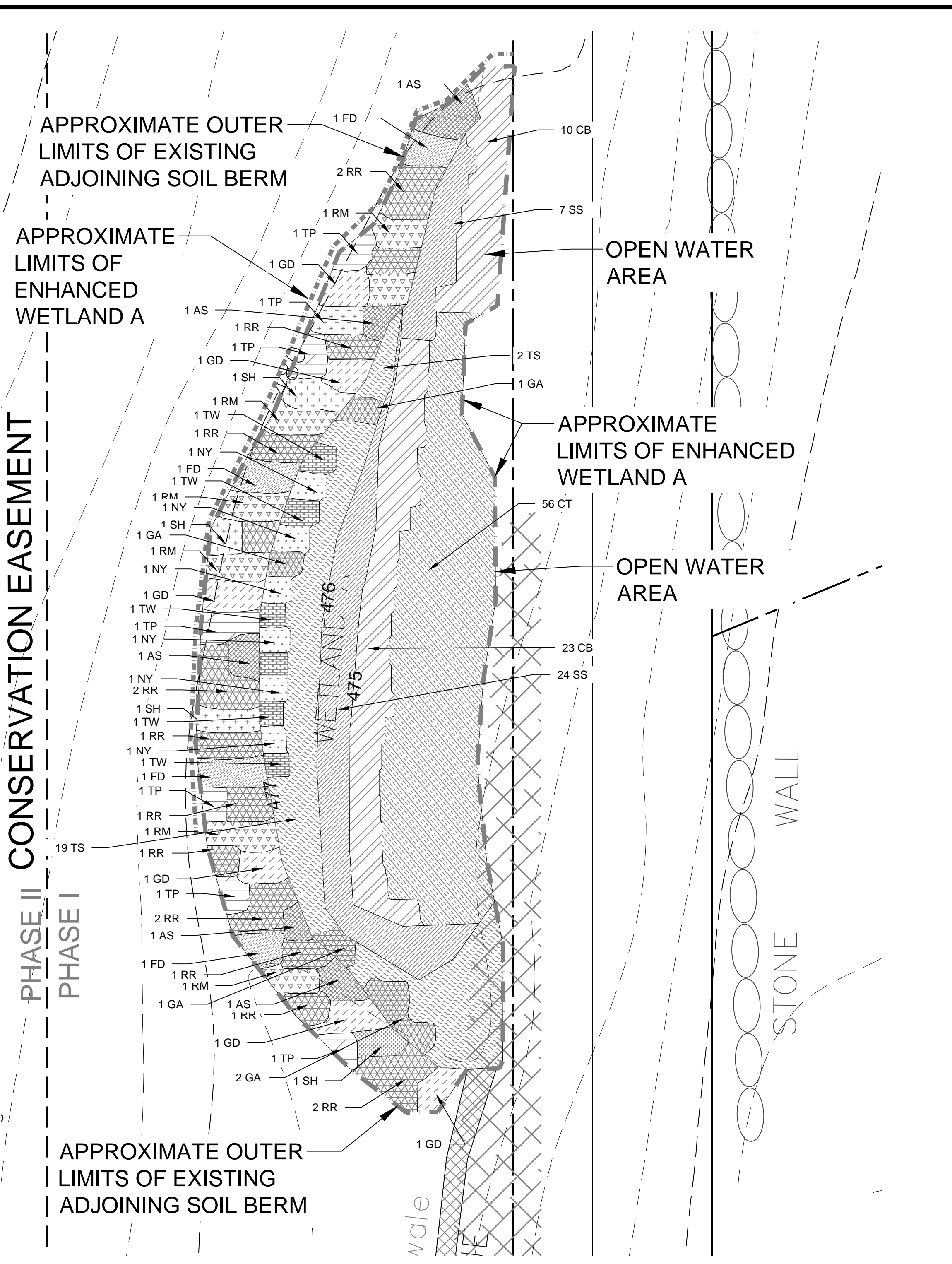
Prior to construction of the wetland, the site was a disturbed area. The wetland area is to be created by the construction of a 1' wide x 2.5' deep interceptor trench filled with 3/4" washed gravel. The trench will collect subsurface and surface water flows and will be distributed into the wetland. The wetland area is to be created by the construction of a 1' wide x 2.5' deep interceptor trench filled with 3/4" washed gravel. The trench will collect subsurface and surface water flows and will be distributed into the wetland. The wetland area is to be created by the construction of a 1' wide x 2.5' deep interceptor trench filled with 3/4" washed gravel. The trench will collect subsurface and surface water flows and will be distributed into the wetland.

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- ENHANCED WETLAND C HERBACEOUS PLANTINGS**
- | SYMBOL | SPECIES  | INDICATOR | GROWTH SETTING  | QUANTITY |
|--------|--|-----------|---|----------|
| JW     | Spotted Touch-Me-Not ( <i>Impatiens capensis</i> ) | FACW      | Full to Partial Shade Along Streams & In Wetlands         | 58       |
| SF     | Sensitive Fern ( <i>Oncoclea sensibilis</i> )      | FACW      | Sun & Partial Sun In Wetlands                             | 16       |
| TH     | Tufted Hairgrass ( <i>Deschampsia cespitosa</i> )  | FACW      | Sun & Partial Sun In Wetlands                             | 18       |
| TS     | Tussock Sedge ( <i>Carex stricta</i> )             | OBL       | Open Sun Lighted or Partial Shade 4 to 10 Inches of Water | 12       |
- ENHANCED WETLAND C TREES & SHRUB PLANTINGS**
- | SYMBOL | SPECIES  | INDICATOR | GROWTH SETTING                             | QUANTITY |
|--------|--|-----------|--|----------|
| AE     | American Elm ( <i>Ulmus americana</i> )            | FACW      | Wetland/Stream Edge in Partial Sun         | 20       |
| AS     | American Sycamore ( <i>Platanus occidentalis</i> ) | FACW      | Wetland/Stream Edge in Partial or Full Sun | 4        |
| EC     | Eastern Cottonwood ( <i>Populus deltoides</i> )    | FAC       | Wetland/Stream Edge in Partial or Full Sun | 5        |
| GD     | Gray Dogwood ( <i>Cornus racemosa</i> )            | FAC       | Open/Partial Sun Along Wetlands            | 12       |
| PW     | Pussy Willow ( <i>Salix discolor</i> )             | FACW      | Open/Partial Sun Within Wetlands           | 12       |
| SB     | Northern Spicebush ( <i>Lindera benzoin</i> )      | FACW      | Forested Wetland Edge Shade or Partial Sun | 36       |
| SD     | Silky Dogwood ( <i>Cornus amomum</i> )             | FACW      | Open/Partial Sun Along Wetlands            | 3        |
| WH     | Witch Hazel ( <i>Hamamelis virginiana</i> )        | FAC       | Open/Partial Sun Upland of Wetlands        | 16       |
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| RM     | Red Maple ( <i>Acer rubrum</i> )                   | FAC       | Wetland/Stream Edge in Partial or Full Sun   | 7        |
| SH     | Shagbark Hickory ( <i>Carya ovata</i> )            | FACU      | Upland of Wetland Edge in Partial Sun        | 5        |
| TP     | Tulip Poplar ( <i>Liriodendron tulipifera</i> )    | FACU      | Upland of Wetland Edge in Full & Partial Sun | 6        |
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| CT     | Cattail (Broadleaf) ( <i>Typha latifolia</i> )         | OBL       | Open Sun Lighted or Partial Shade 12 to 16 Inches of Water | 56       |
| NY     | New York Ironweed ( <i>Vernonia noveboracensis</i> )   | FACW      | Sun & Partial Sun In Wet Meadow Wetlands                   | 6        |
| RR     | Red Raspberry ( <i>Rubus idaeus</i> )                  | FACU      | Sun & Partial Sun On Uplands                               | 16       |
| SS     | Soft-STEM Bulrush ( <i>Schoenoplectus tuberosus</i> )  | OBL       | Open Sun Lighted or Partial Shade 4 to 10 Inches of Water  | 31       |
| TS     | Tussock Sedge ( <i>Carex stricta</i> )                 | OBL       | Open Sun Lighted or Partial Shade 4 to 10 Inches of Water  | 36       |
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www.sitedesignconsultants.com

PROJECT # 21-53

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AMENDED MITIGATION PLANS & NOTES

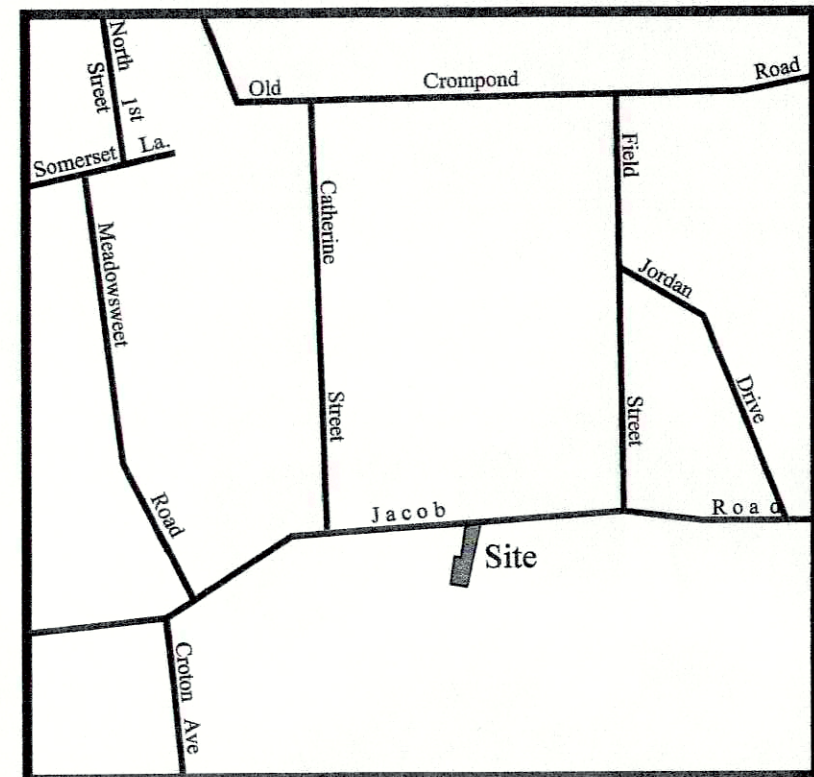
SITE PLAN PREPARED FOR  
**JASON LEVY**  
1767 JACOB ROAD  
Yorktown, NY

SCALE: 1"=10'-0"  
SAFE DIG

Before You Dig, Drill or Blast  
Call 811

Sheet 2 of 2





**DRAWING INDEX:**

SHEET NUMBER	DRAWING TITLE
C-101	SITE PLAN
C-102	EXISTING CONDITIONS PLAN
C-103	EROSION AND SEDIMENT CONTROL PLAN
C-104	GRADING & UTILITY PLAN
C-105	MITIGATION PLAN
C-301	DRIVEWAY AND UTILITY PROFILES
C-401	WATERSHED MAPS
C-501	EROSION AND SEDIMENT CONTROL DETAILS
C-502	SANITARY SEWER AND WATER DETAILS
C-503	DRAINAGE, STORMWATER BASINS, AND DRIVEWAY DETAILS

**SITE DATA:**

OWNER / DEVELOPER: ANTHONY C. MARTINEZ  
 ACM BUILDING CORPORATION  
 9 SOUTHGATE DRIVE  
 CORTLANDT MANOR, NY 10567

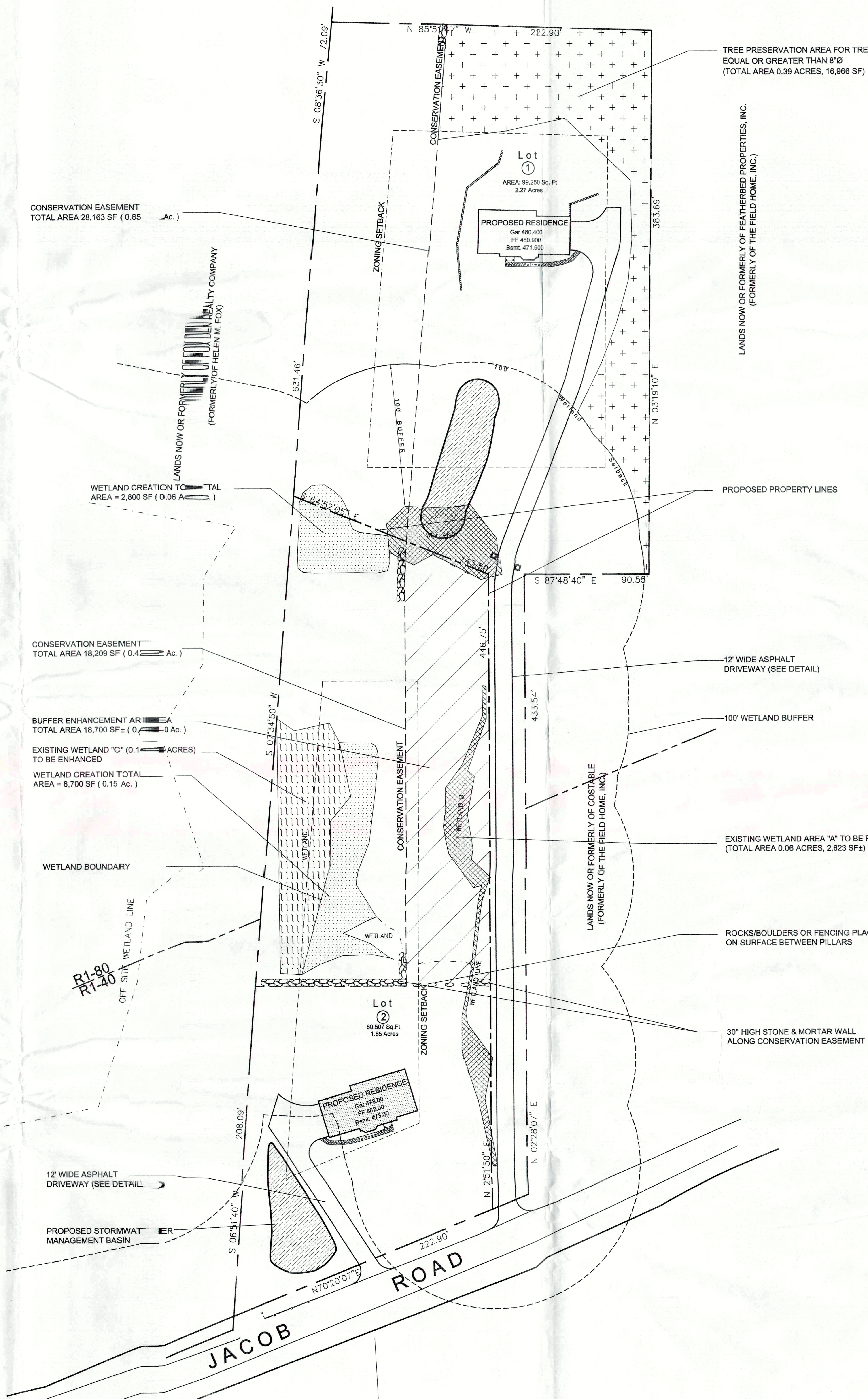
PROJECT LOCATION: TOWN OF YORKTOWN  
 JACOB ROAD

EXISTING TOWN ZONING: R1-40 / R1-80 SINGLE FAMILY RESIDENCE  
 PROPOSED USE: SECTION: 35.16 BLOCK: 1 LOT: 2  
 TOWN TAX MAP DATA: SITE AREA: 4.12 ACRES (178,737 SF.)  
 SEWAGE FACILITIES: PUBLIC SEWERS  
 WATER FACILITIES: PUBLIC WATER FACILITIES  
 DRAINAGE FACILITIES: STORMWATER MANAGEMENT SYSTEM

**ZONING SCHEDULE:**

ZONING DISTRICT:	R1-80 SINGLE FAMILY RESIDENTIAL		R1-40 SINGLE FAMILY RESIDENTIAL	
	REQUIRED	PROVIDED LOT 1	REQUIRED	PROVIDED LOT 2
<b>MINIMUM SIZE OF LOT:</b>				
LOT AREA:	80,000 SF.	99,250 SF.	40,000 SF.	80,507 SF.
LOT WIDTH AT MAIN BLDG. LINE:	200 FT.	235 FT.	150 FT.	172 FT.
LOT DEPTH:	200 FT.	385 FT.	150 FT.	508 FT.
<b>MINIMUM YARD DIMENSIONS:</b>				
PRINCIPAL BUILDING:				
FRONT YARD SETBACK:	75 FT.	220 FT.	50 FT.	83 FT.
REAR YARD SETBACK:	75 FT.	129 FT.	50 FT.	343 FT.
ONE SIDE YARD SETBACK:	30 FT.	55 FT.	20 FT.	49 FT.
COMBINED SIDE YARD SETBACK:	80 FT.	113 FT.	50 FT.	100 FT.
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	75 FT.	NONE	50 FT.	NONE
REAR YARD SETBACK:	10 FT.	NONE	10 FT.	NONE
SIDE YARD SETBACK:	10 FT.	NONE	10 FT.	NONE
<b>MAXIMUM HEIGHT:</b>				
PRINCIPAL BUILDING - FEET:	35 FEET	35 FEET	35 FEET	35 FEET
ACCESSORY BUILDING - FEET:	15 FEET	NONE	15 FEET	15 FEET
<b>MINIMUM USABLE FLOOR AREA OF DWELLING UNIT (SF)</b>	1200 SF	>1200 SF	1000 SF	>1000 SF
<b>MAXIMUM BUILDING COVERAGE:</b>				
ALL BUILDINGS:	10% OF LOT AREA	1.95%	15% OF LOT AREA	2.47%
<b>REQUIRED OFF STREET PARKING SPACES PER DWELLING UNIT:</b>	1 SPACE	4 SPACE	1 SPACE	4 SPACE
<b>REQUIRED OFF STREET PARKING SPACES PER DWELLING UNIT:</b>	1 SPACE	4 SPACE	1 SPACE	4 SPACE
<b>ROAD FRONTAGE - FEET</b>	200 FEET	27 FEET *	150 FEET	165 FEET

\* VARIANCE GRANTED

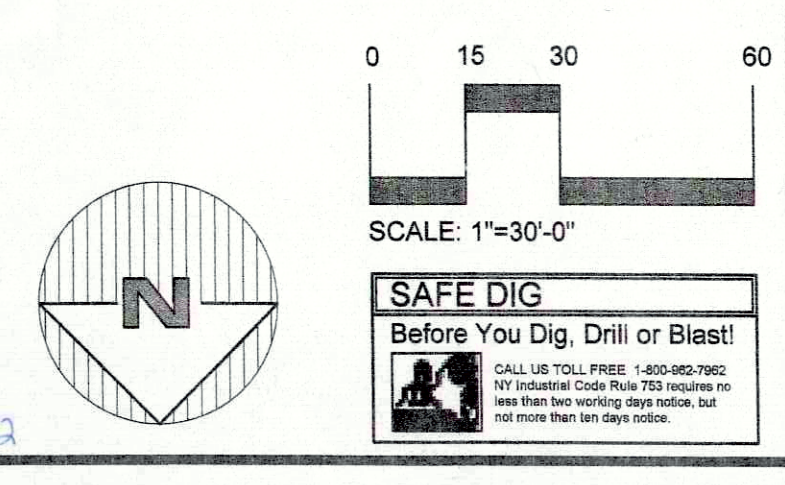


**LEGEND**

	EXISTING GRADING		PROPOSED SANITARY FORCE MAIN
	EXISTING SPOT GRADE		EXISTING SANITARY LINE
	PROPOSED GRADING		PROPOSED SANITARY MANHOLE AND SANITARY LINE
	PROPERTY LINE		PROPOSED SANITARY CLEANOUT
	PROPOSED LOT LINE		EXISTING STONE WALL
	PROPOSED DRIVEWAY CENTERLINE		PROPOSED RETAINING WALLS
	EDGE OF WETLAND		PROPOSED LOT NUMBER
	100' WETLAND BUFFER		PROPOSED BUILDING AND DRIVE
	WATER COURSE		PROPOSED TEMPORARY TREE TRUNK ARMOR OR TEMPORARY TREE PROTECTION FENCE
	EXISTING WATER LINE		
	PROPOSED WATER LINE		
	PROPOSED UTILITY CROSSING		
	EXISTING FIRE HYDRANT		
	PROPOSED FIRE HYDRANT		
	CONSERVATION EASEMENT LINE		
	PROPOSED DRAINAGE LINE		

**NOTE:**  
 1. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 1209 (2) OF THE NEW YORK STATE EDUCATION LAW.  
 2. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY GABRIEL & SENOR P.C., DATED 3/1/04. LAST THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

APPROVED  
 on the 24th day of February 2006  
 Planning Board, Town of Yorktown, NY  
 by Resolution Number 05-23  
 David Klaus, Chairman  
 Date: 02/18/06  
 Resolved by Resolution 05-23, 02-18-06, 09-03-06



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 251-F Underhill Avenue, Yorktown Heights, NY 10598  
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**APPROVED**  
 Joseph C. Martinez, P.E.  
 NYS Lic. No. 04411

Revisions:  
 No. Date Description  
 1 03/08/06 Initial  
 2 03/09/06 W.C.D. Comments  
 3 03/09/06 W.C.D. Comments  
 4 03/10/06 W.C.D. Comments  
 5 03/10/06 W.C.D. Comments

SCALE: 1" = 30'  
 DRAWN BY: JCR  
 DATE: 5/10/06

**SUBDIVISION PLAN**

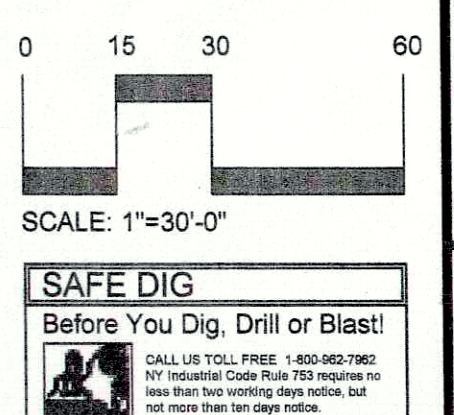
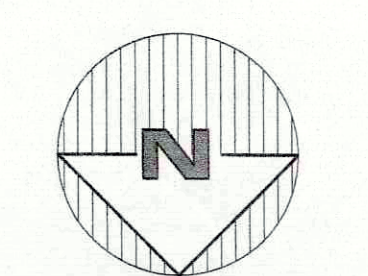
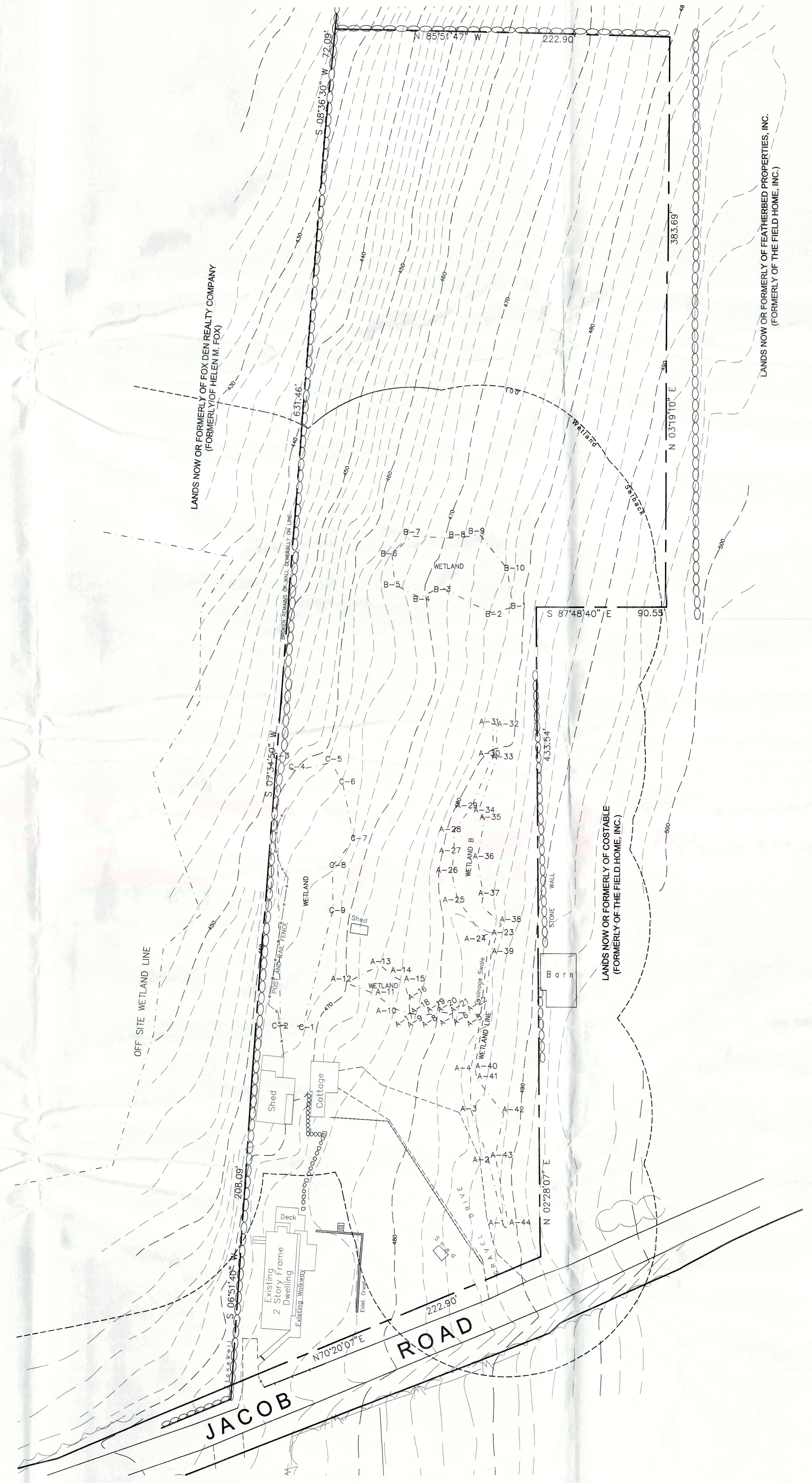
PROPOSED SUBDIVISION PREPARED FOR  
**Anthony C. Martinez**  
 Westchester Co., New York

Town of Yorktown

**C - 101**



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**SAFE DIG**  
 Before You Dig, Drill or Blast!

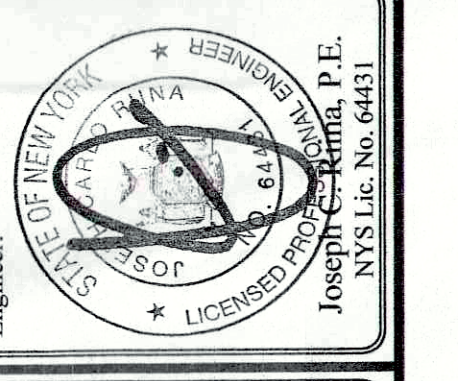
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**Anthony C. Martinez**  
 Westchester Co., New York

**EXISTING  
 CONDITIONS  
 PLAN**

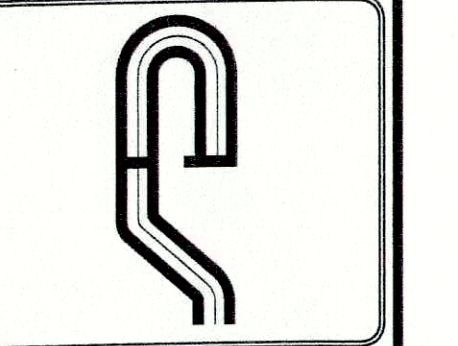
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Revision No.	Date	Comments
1	10/10/08	WALDO COMMENTS
2	10/10/08	WALDO COMMENTS
3	10/10/08	WALDO COMMENTS
4	10/10/08	WALDO COMMENTS

Revision No.	Date	Comments



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**Certification Statement:**  
 All contractors and subcontractors identified in a SWPPP in accordance with Part III.E.1 (SPDES General Permit for Stormwater Runoff from Construction Activity, GP-08-001, May 2008, Page 11 of 40) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP:

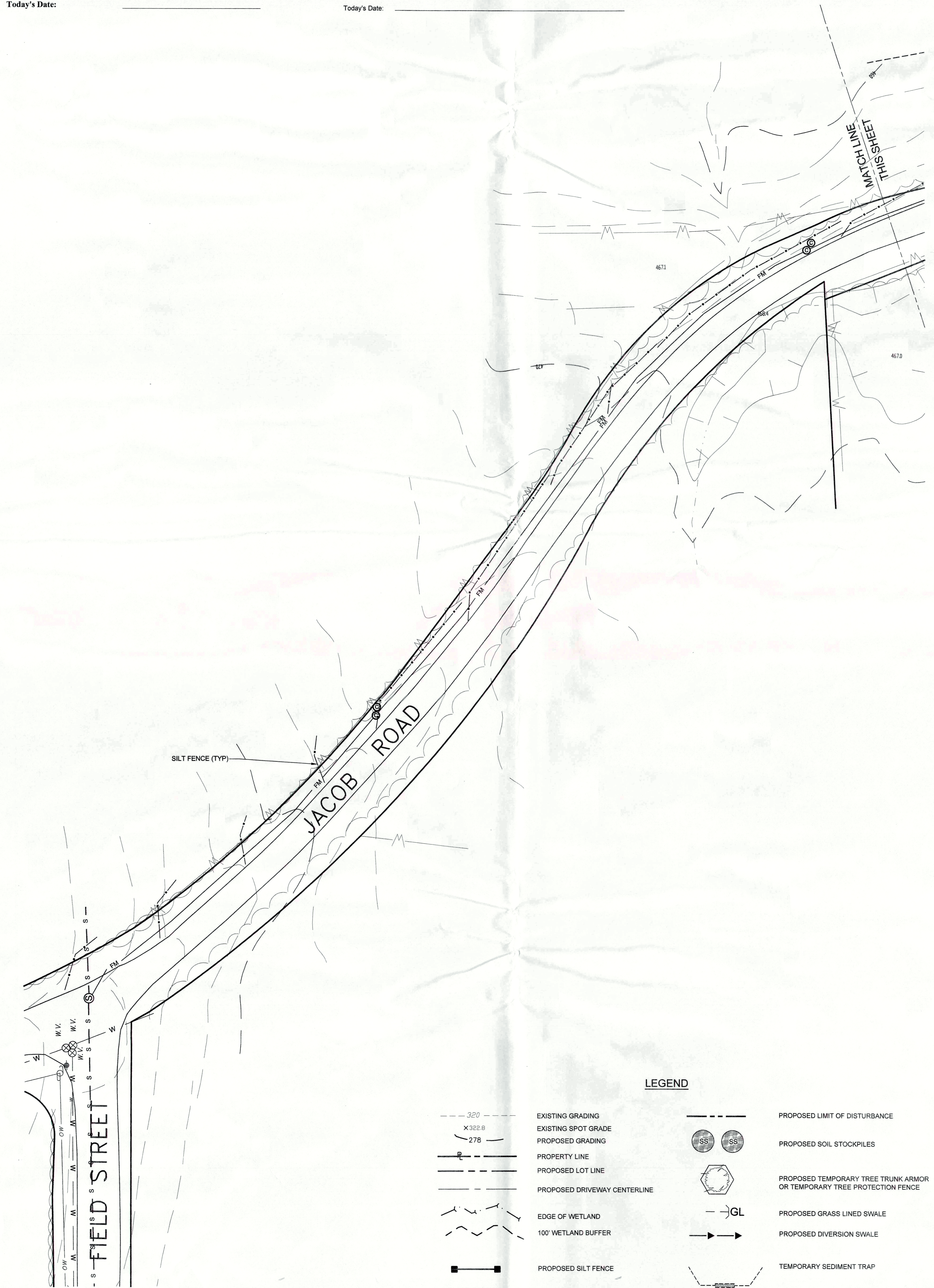
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System (SPDES) general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

**Individual Contractor:**  
 Name and Title (please print): \_\_\_\_\_  
 Signature of Contractor: \_\_\_\_\_  
**Company / Contracting Firm:**  
 Name of Company: \_\_\_\_\_  
 Address of Company: \_\_\_\_\_  
 Telephone Number / Cell Number: \_\_\_\_\_  
**Site Information:**  
 Address of Site: \_\_\_\_\_  
 Today's Date: \_\_\_\_\_

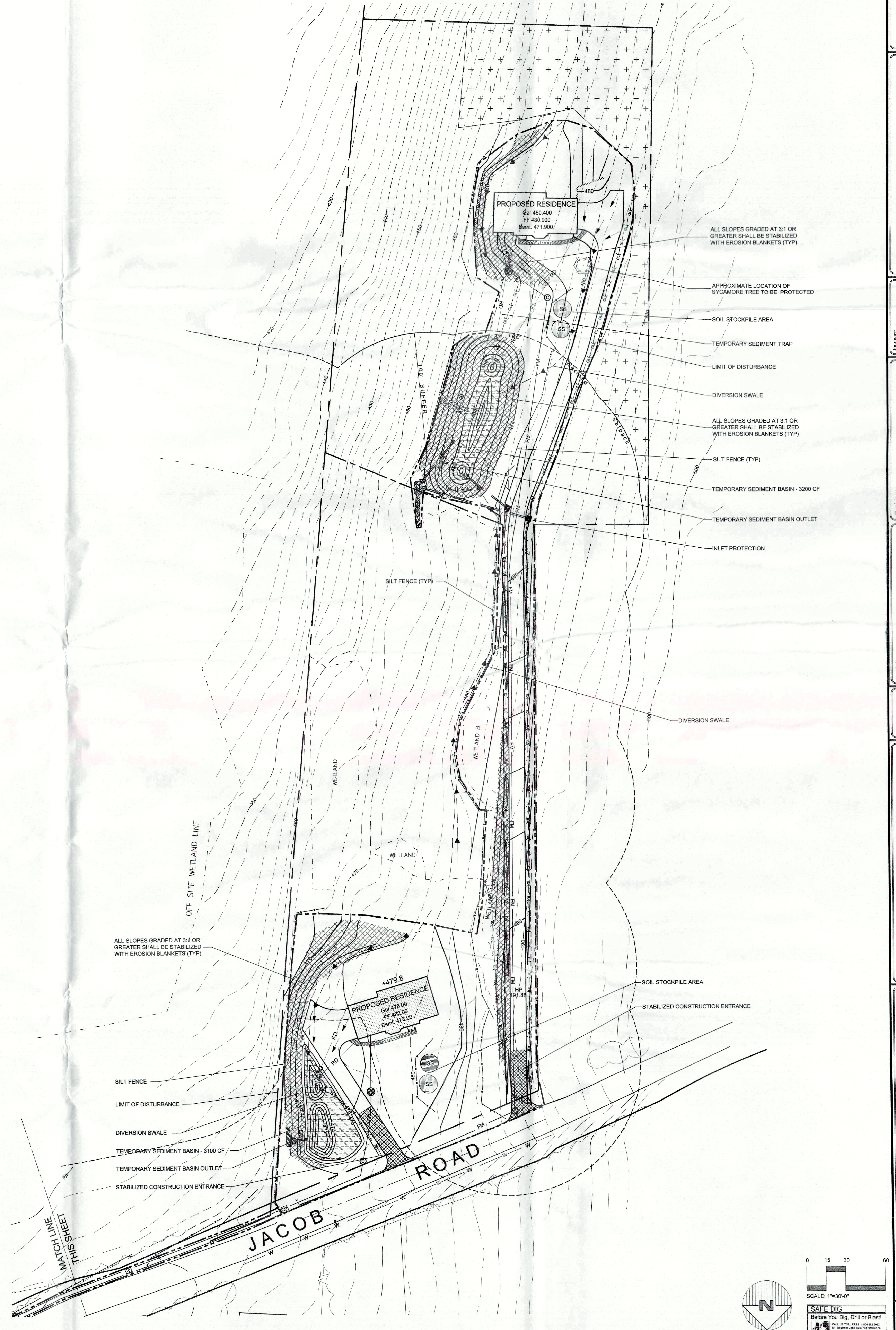
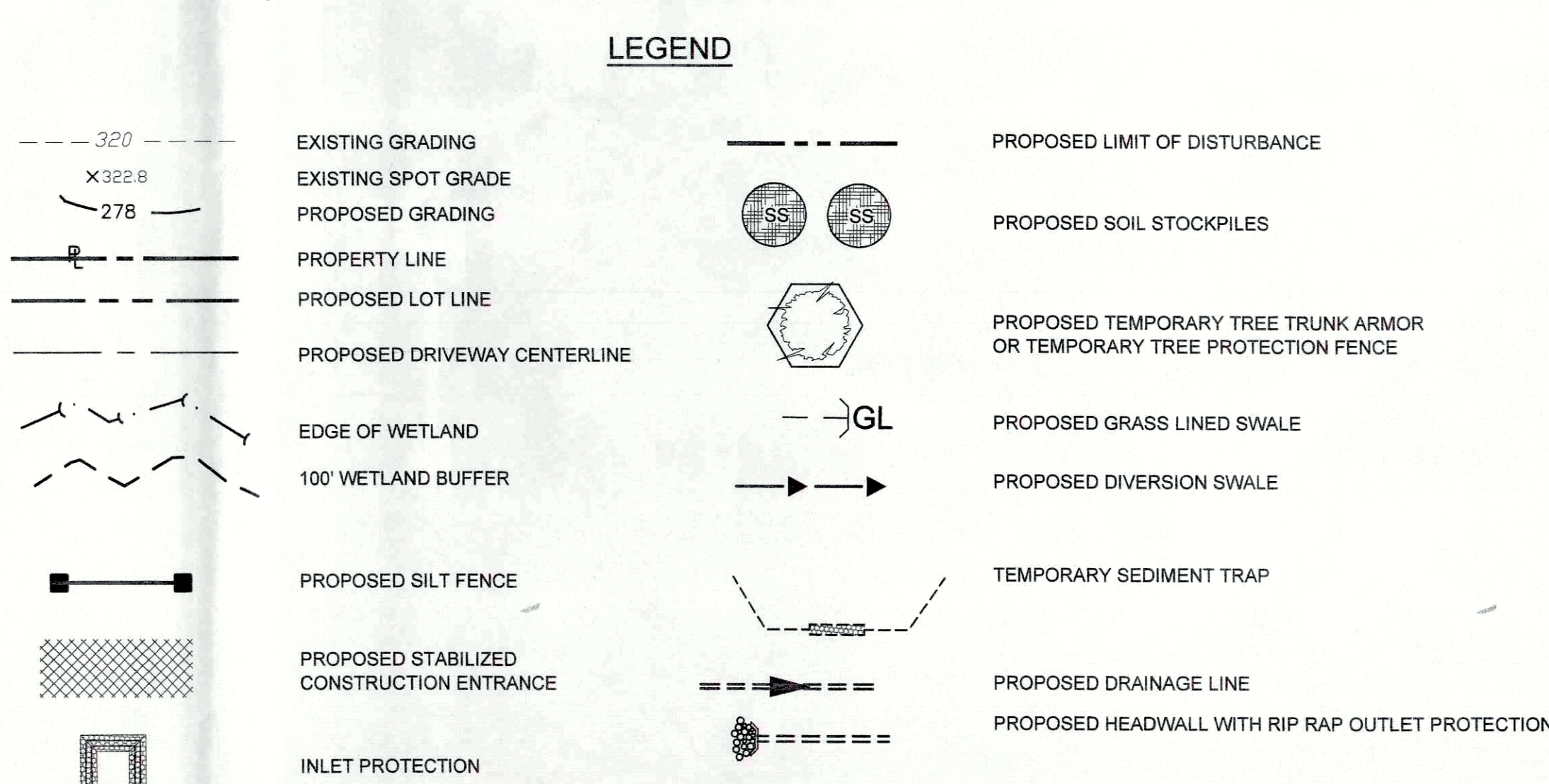
**Contractor Certification:**

Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 (SPDES General Permit for Stormwater Runoff from Construction Activity, GP-08-001, May 1, 2008, Page 10 of 40) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP: I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System (SPDES) general permit for stormwater discharge from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

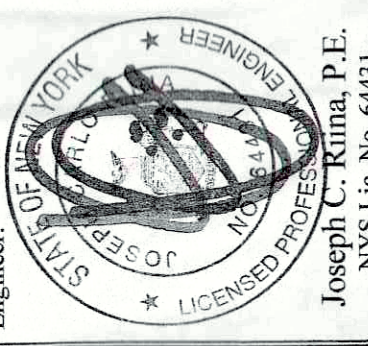
**Individual Contractor:**  
 Name and Title (please print): \_\_\_\_\_  
 Signature of Contractor: \_\_\_\_\_  
**Company / Contracting Firm:**  
 Name of Company: \_\_\_\_\_  
 Address of Company: \_\_\_\_\_  
 Telephone Number / Cell Number: \_\_\_\_\_  
**Site Information:**  
 Address of Site: \_\_\_\_\_  
 Today's Date: \_\_\_\_\_



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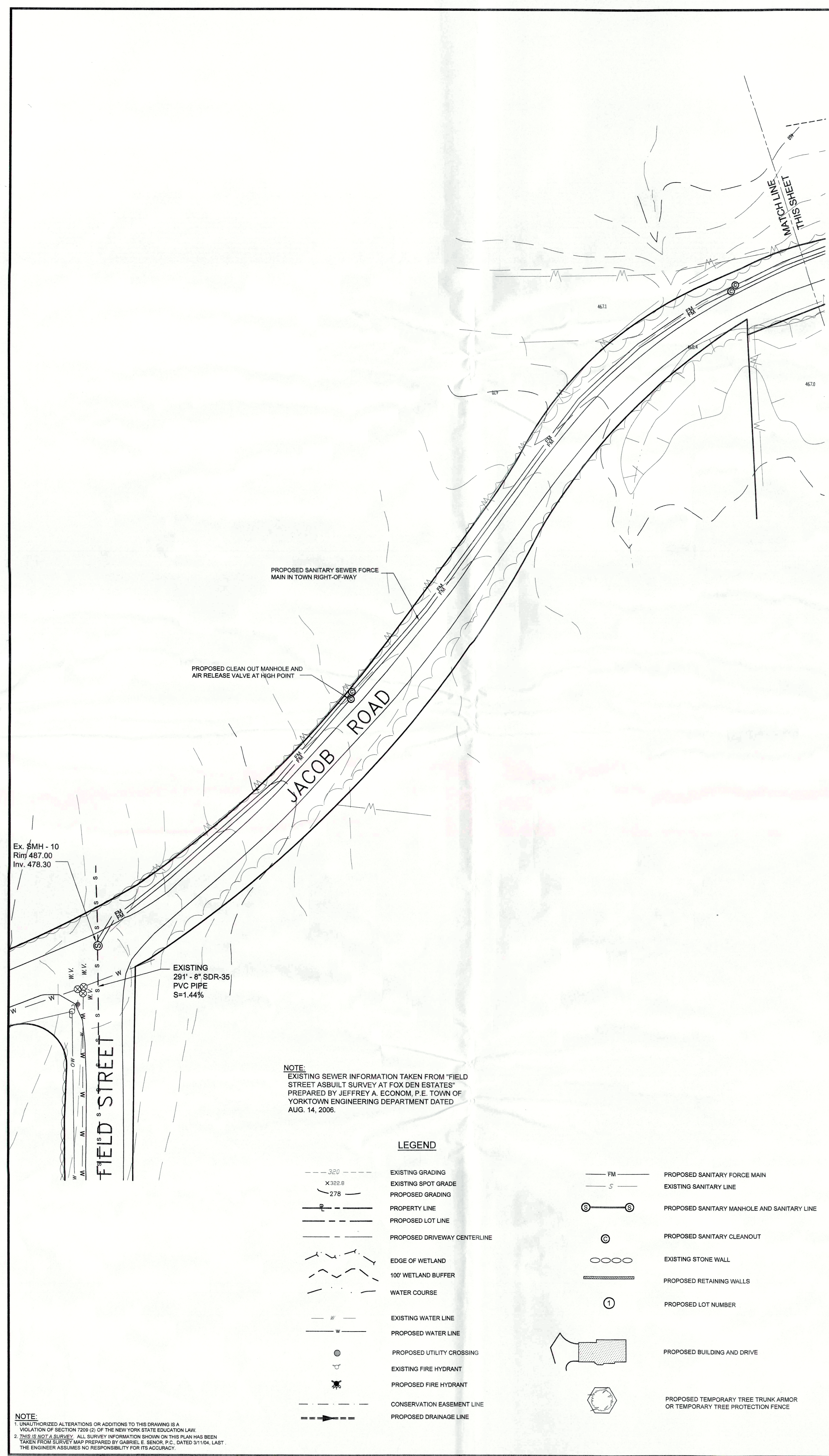
Revisions:	Date:	Comments:
1.	10/01/18	ISSUED FOR PERMIT
2.	10/05/18	NOVA COMMENTS
3.	10/09/18	NOVA COMMENTS
4.	10/27/18	COMPLETED FOR ADMIN.

SCALE:	1" = 20'
DRAWN BY:	JCR
DATE:	5/20/08

**EROSION & SEDIMENT CONTROL PLAN**

PROPOSED SUBDIVISION  
 PREPARED FOR  
**Anthony C. Martinez**  
 Westchester Co., New York

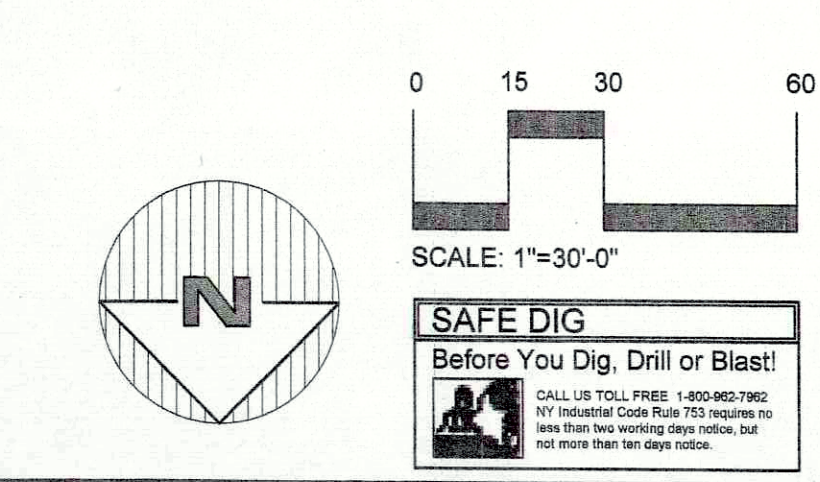
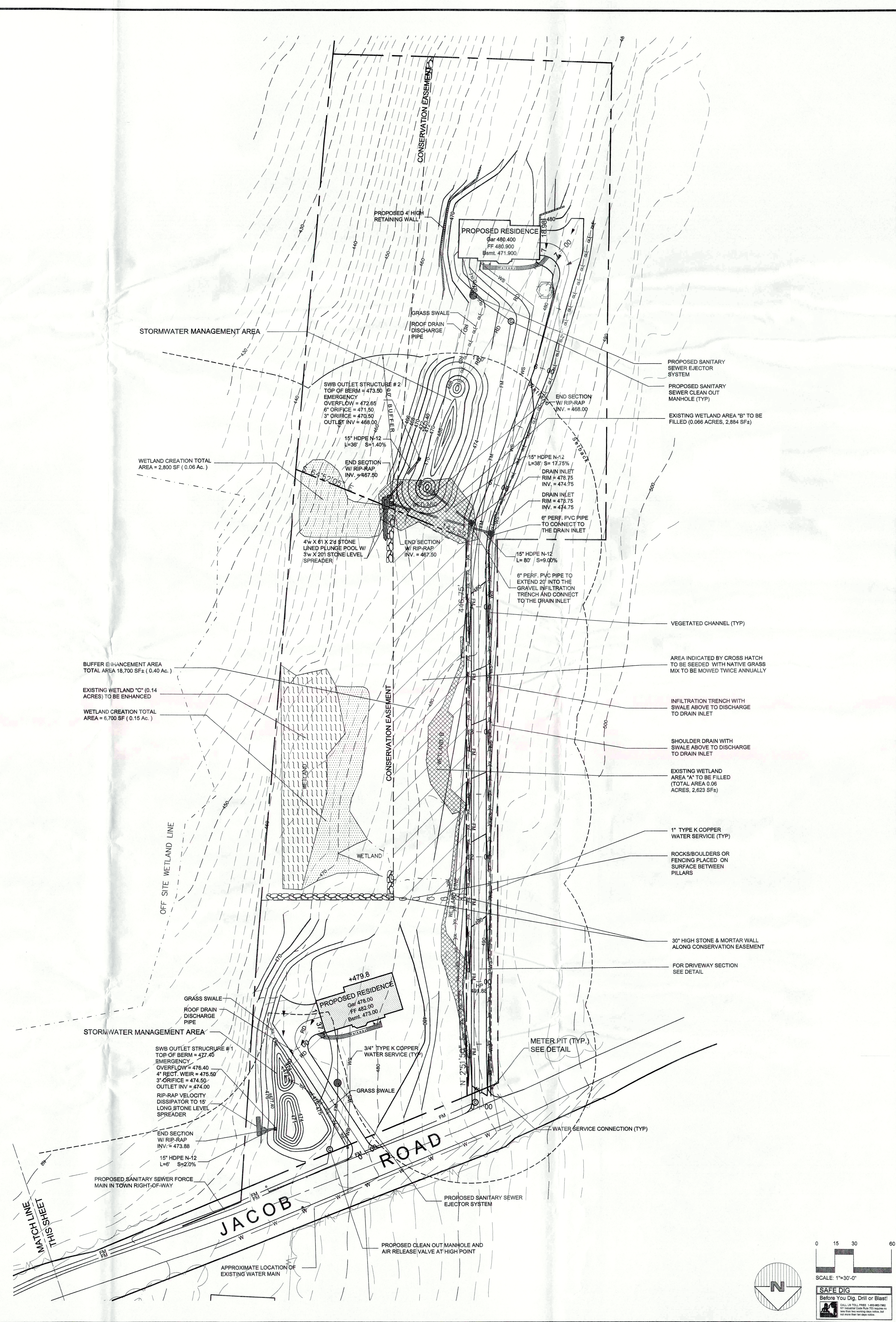




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**LEGEND**

	EXISTING GRADING		PROPOSED SANITARY FORCE MAIN
	EXISTING SPOT GRADE		EXISTING SANITARY LINE
	PROPOSED GRADING		PROPOSED SANITARY MANHOLE AND SANITARY LINE
	PROPERTY LINE		PROPOSED SANITARY CLEANOUT
	PROPOSED LOT LINE		EXISTING STONE WALL
	PROPOSED DRIVEWAY CENTERLINE		PROPOSED RETAINING WALLS
	EDGE OF WETLAND		PROPOSED LOT NUMBER
	100' WETLAND BUFFER		PROPOSED BUILDING AND DRIVE
	WATER COURSE		PROPOSED TEMPORARY TREE TRUNK ARMOR OR TEMPORARY TREE PROTECTION FENCE
	EXISTING WATER LINE		
	PROPOSED WATER LINE		
	PROPOSED UTILITY CROSSING		
	EXISTING FIRE HYDRANT		
	PROPOSED FIRE HYDRANT		
	CONSERVATION EASEMENT LINE		
	PROPOSED DRAINAGE LINE		



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**GRADING & UTILITY PLAN**

PROPOSED SUBDIVISION PREPARED FOR  
**Anthony C. Martinez**  
Westchester Co., New York

C - 104



**WETLAND MITIGATION PLAN NOTES**

Each wetland mitigation area will receive fertilizer and both wetland seed mix applications and plantings of herbaceous and woody vegetation species. Every effort shall be made to ensure that existing vegetation located in close proximity to each creation area is protected from potential damage associated with planned creation activities. These areas will be graded to allow proper blending with surrounding areas and to enhance drainage to ensure the highest levels of wetlands success rates.

An investigation of soils at each creation site shall be completed to characterize soil texture and chemistry. Composite samples shall be obtained from the existing wetland area and the mitigation site using a one or two inch core, advanced to an approximate depth of 18 inches. Transect lines will be established in the field to guide the placement of each core across each area. A sieve analysis and permeability test shall be performed on each soil sample obtained from each wetland creation. In addition, the samples will be analyzed for nitrogen, phosphorus, potassium, pH and alkalinity.

Once selected soils are excavated and stockpiled, arrangements will be made to excavate the limits of the proposed wetland mitigation site grades. Appropriate siltation fencing and hay bale perimeters will be installed in the field around the limits of the mitigation site to offset sedimentation potentials. Every effort shall be made to reduce soil compaction and ensure that soil conditions are adequate for the best growth rates in vegetation. Soils determined to be unsuitable for wetland creations will be removed from the site or reused on-site for other purposes. As necessary, soils with a permeability of 1x10-6 will be imported to the site for use as a supplemental soil material in order to achieve ideal site conditions for seeding and planting. Soils placed within each creation area and the site shall be compacted to a thickness suitable to support selected species of vegetation.

Vegetation within the wetland creation site will be established by means of planting herbaceous root stock produced by qualified nurseries, trees and shrubs, and dispersion of herbaceous (wetland) seed mix. The seed mix will consist of the facultative wet meadow species of vegetation. The planting of herbaceous root stock shall be placed within moist soil conditions and in a direction which is perpendicular to the flow of runoff. Vegetation plantings shall be performed between April and July. Seed application will occur March through June, or August through October. Deer fencing will be installed in order to protect young vegetation and ensure that complete cover of creation sites is achieved.

Plant density for herbaceous plantings will approximate 1 plant per square foot. Trees and shrubs will be spaced 8 to 10 feet on center. Quick release fertilization will be utilized across the mitigation area (10% Nitrogen, 6% available Phosphorus and 4% water soluble Potash) during initial planting and seeding. The amount of fertilizer concentrations shall depend on the existing soil chemistry determined as part of the soil investigation. Subsequently, a slow release fertilizer will be utilized in accordance with the qualified nursery chosen to supply the root stock and seed mix for mitigation. In considering additional fertilization, emphasis shall be placed on evaluating vegetation density and species diversification.

Areas which receive seed mix and/or wetland plantings will be mulched with hay to ensure moist surface conditions as well as to control pests. Efforts shall be made to only use hearty species for planting stock. Each species will be placed within a manually pre-excavated hole with a depth and diameter of approximately 1 1/2 times the root container or plug dimensions. Each planting shall be prepared with fertilizer (including peat moss and compost) to ensure root development after transplanting is complete. Hay shall be placed around each plant and the surrounding area, as necessary.

**WETLANDS MONITORING**

One week after completing planting, seeding and/or planting, periodic monitoring and maintenance will commence. Monitoring shall be performed monthly during the initial growing season (April through September) for the first year after mitigation and then quarterly until 85 percent vegetative cover is achieved. Subsequently, monitoring shall continue semi-annually for a one year period. Monitoring activities shall include soil testing to determine soil chemistry as part of determining whether or not fertilizer is necessary to ensure proper plant growth. As necessary, any areas void of vegetation will be prepared and seeded with a seed mix suitable to blend with existing vegetation. In addition, erosion and sedimentation controls (siltation fencing or hay bales) shall be installed if deemed necessary to reduce erosion and/or sedimentation potentials.

As necessary, each creation site shall initially be saturated with water (by way of a portable water source) at a frequency suitable to ensure the proper level of inundation recommended by recognized practices and as suggested by the nursery chosen to supply required root stock and seed mix.

Routine maintenance shall include photographic documentation to evaluate plant density and survival rates over time. Based on evaluation, a determination shall be made as to whether or not additional seeding and/or plantings will be necessary to increase density and/or diversification.

**FACW WETLAND MEADOW MIX**

1 POUND WILL COVER 7,300 SQ. FT. AT 100 SEEDS PER SQ. FT.

**SEED MIX CONTENTS:** Percent by Number of Seeds - (not by weight)

- 20.0% Elymus virginicus - Virginia Wild Rye
- 19.0% Carex vulpinoidea - Fox Sedge
- 5.5% Verbena hastata - Blue Vervain
- 5.0% Scirpus atrovirens - Green Bulrush
- 5.0% Helopsis helianthoides - Ox-Eye Sunflower
- 5.0% Solidago graminifolia - Grass-Leaved Goldenrod
- 5.0% Juncus effusus - Soft Rush
- 4.0% Glycyrrhiza grandis - American Mannagrass
- 3.0% Eupatorium perfoliatum - Boneset
- 3.0% Carex lurida - Lurid Sedge
- 3.0% Scirpus polyphyllus - Many-Leaved Bulrush
- 2.0% Carex comosa - Cosmos Sedge (Bristly)
- 2.0% Scirpus cyperinus - Woolgrass
- 2.0% Carex lupulina - Hop Sedge
- 2.0% Aster umbellatus - Flat-Top Aster
- 2.0% Vernonia gigantea - Giant Ironweed
- 1.5% Eupatorium fistulosum - Joe Pye Weed
- 1.5% Eupatorium maculatum - Spotted Joe Pye Weed
- 1.5% Veratrum viride - False Hellebore
- 1.0% Bromus altissima - Wild Bromegrass
- 1.0% Geum laciniatum - Rough Avens
- 1.0% Zizia aurea - Golden Alexanders
- 1.0% Helenium autumnale - Sneezewood
- 1.0% Carex scoparia - Blunt Broom Sedge
- 0.5% Ludwigia alternifolia - Seedbox
- 0.5% Cinna arundinacea - Wood Reedgrass
- 0.5% Mimulus ringens - Monkey Flower
- 0.5% Pentstemon sedoides - Ditch Stonecrop
- 0.5% Pycnanthemum tenuifolium - Slender Mountain Mint
- 0.25% Juncus acuminatus - Sharp Fruited Sedge
- 0.25% Sanguisorba canadensis - Canadian Burnet

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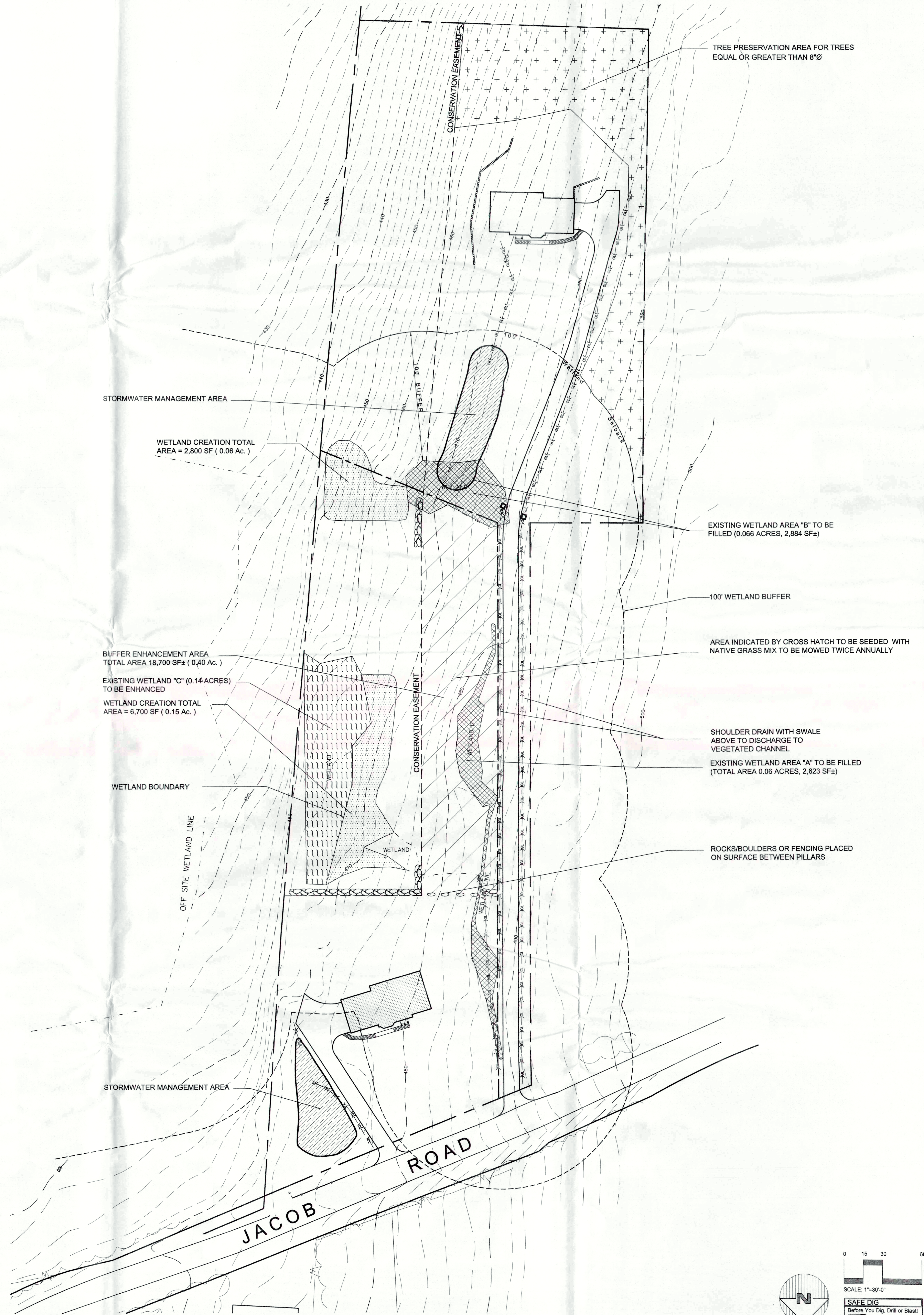
**TYPICAL WETLAND CREATION AREA VEGETATION SPECIES LISTING**

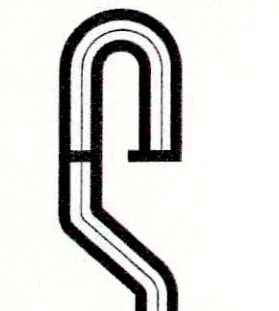
COMMON/SCIENTIFIC NAME	NATIONAL INDICATOR STATUS	CATEGORY AND SITE HABITAT	WILDLIFE BENEFITS	NUMBER OF PLANTINGS
Silky Dogwood / Cornus amomum	Facultative Wetland	Shrub Full Sun/Partial Shade - Forested / Moist Woods	Food Source, Cover & Nesting	20
Red Osier / Cornus sericea	Facultative Wetland	Shrub Partial Sun / Shade - Streambank & Forested	Food Source, Cover & Nesting	40
Sweet Flag / Acorus calamus	Obligate Wetland	Herbaceous Emergent Partial Shade - Wet Meadow	Food Source & Cover	150
Tussock Sedge / Carex stricta	Obligate Wetland	Herbaceous Emergent Full Sun - Wet Meadow	Food Source & Cover	200
Soft Rush / Juncus effusus	Facultative Wetland	Herbaceous Emergent Sun / Partial Shade - Forested / Wet Meadow	Food Source & Spawning Ground	150
Cinnamon Fern / Osmunda cinnamomea	Facultative Wetland	Herbaceous Emergent Full Shade - Forested	Food Source	50
Cattail / Typha latifolia	Obligate Wetland	Herbaceous Emergent Full Sun - Ponds & Streams	Food Source, Cover, Nesting & Spawning	300
Smooth Alder / Alnus serrulata	Obligate Wetland	Shrub Full Sun - Forested & Shrub Swamps	Food Source, Cover, & Nesting	8
Buttonbush / Cephalanthus occidentalis	Obligate Wetland	Shrub Partial / Full Sun - Open Ponds	Food Source & Nesting	50
Marsh Marigold / Caltha palustris	Obligate Wetland	Herbaceous Emergent Partial Shade - Forested & Shrub Swamp	Food Source	120
American Elm / Ulmus americana	Facultative Wetland	Tree Full Shade - Forested	Food Source, Cover & Nesting	8

**TYPICAL WETLAND CREATION AREA PLANTING SCHEDULE**

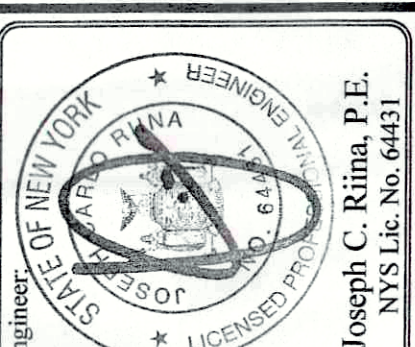
COMMON / SCIENTIFIC NAME	CATEGORY AND SITE HABITAT	SIZE	SPACING	TIME
Silky Dogwood / Cornus amomum	Shrub Full Sun / Partial Shade - Forested / Moist Woods	2-3'	8-10'	April-July
Red Osier / Cornus sericea	Shrub Partial Sun / Shade - Streambank & Forested	2-3'	8-10'	April-July
Sweet Flag / Acorus calamus	Herbaceous Emergent Partial Shade - Wet Meadow	2" plugs	18"	April-July
Tussock Sedge / Carex stricta	Herbaceous Emergent Full Sun - Wet Meadow	2" plugs	18"	April-July
Soft Rush / Juncus effusus	Herbaceous Emergent Sun / Partial Shade - Forested / Wet Meadow	2" plugs	18"	April-July
Cinnamon Fern / Osmunda cinnamomea	Herbaceous Emergent Full Shade - Forested	2" plugs	18"	April-July
Cattail / Typha latifolia	Herbaceous Emergent Full Sun - Ponds & Streams	2" plugs	1 plant / sq. foot	April-July
Smooth Alder / Alnus serrulata	Shrub Full Sun - Forested & Shrub Swamp	2-3'	8-10'	April-July
Buttonbush / Cephalanthus occidentalis	Shrub Partial / Full Sun - Open Ponds	2-3'	8-10'	April-July
Marsh Marigold / Caltha palustris	Herbaceous Emergent Partial Shade - Forested & Shrub Swamp	2" plugs	18"	April-July
American Elm / Ulmus americana	Tree Full Shade - Forested	2-4'	8-10' (on center)	April-July
Wetland Seed Mix	Full Sun - Partial Shade	-----	100 Seeds / sq. feet	March - June or August - October

**NOTE:**  
Wetland flagging was done by Environmental Compliance Services, Inc., Anthony Russo. The flag locations were surveyed by Gabriel E. Senor, P.C. November 30, 2003.





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Professional Engineer  
No. 14100  
State of New York  
Civil Engineering  
Joseph C. Martinez, P.E.  
NY State License No. 14100

SCALE: 1" = 30'

DRAWN BY: JCR

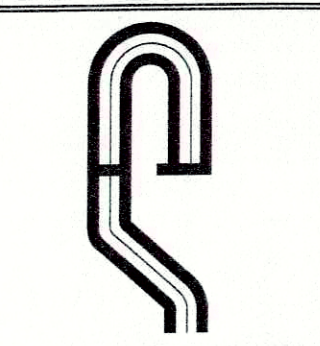
DATE: 5/20/08

**MITIGATION PLAN**

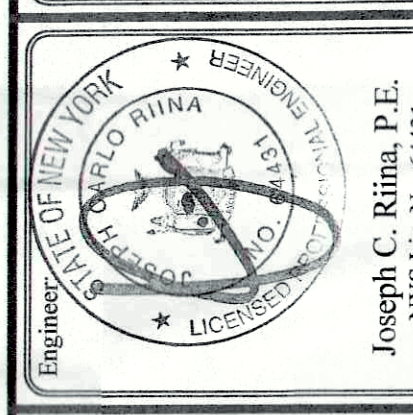
PROPOSED SUBDIVISION  
PREPARED FOR  
**Anthony C. Martinez**  
Westchester Co., New York

**C - 105**





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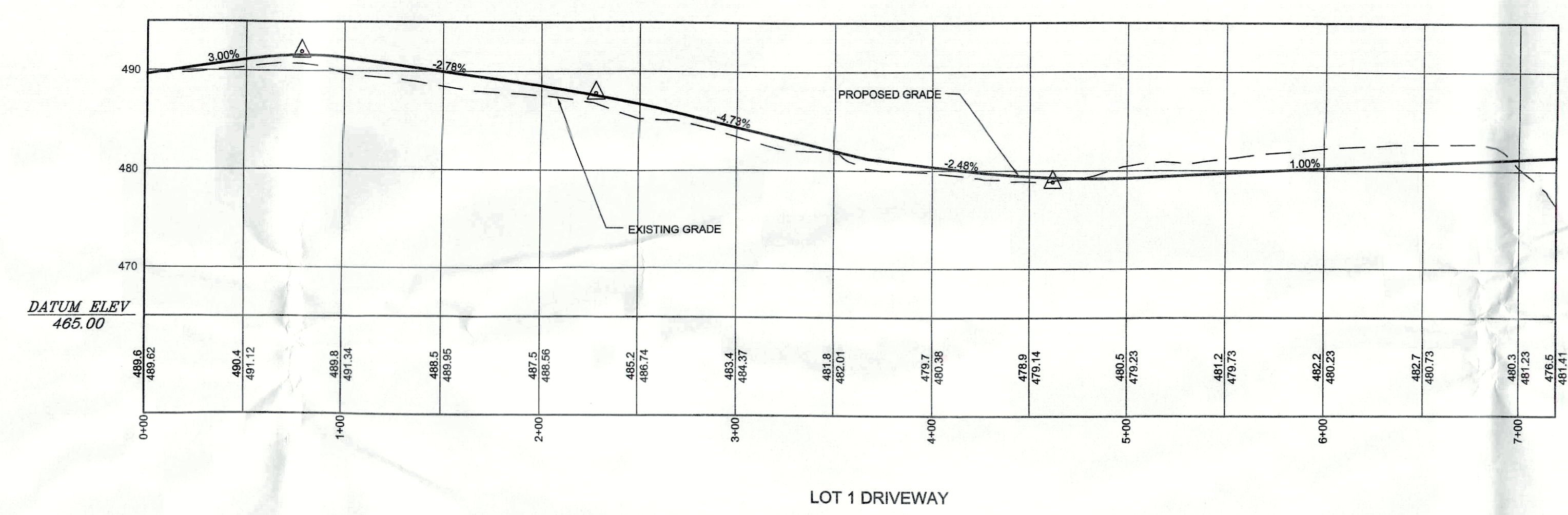


Revisions:	No.	Date	Comments
1.	10/01/08		NOI COMMENTS
2.	10/20/08		NOI COMMENTS
3.	10/27/08		NOI COMMENTS
4.	10/27/08		NOI COMMENTS

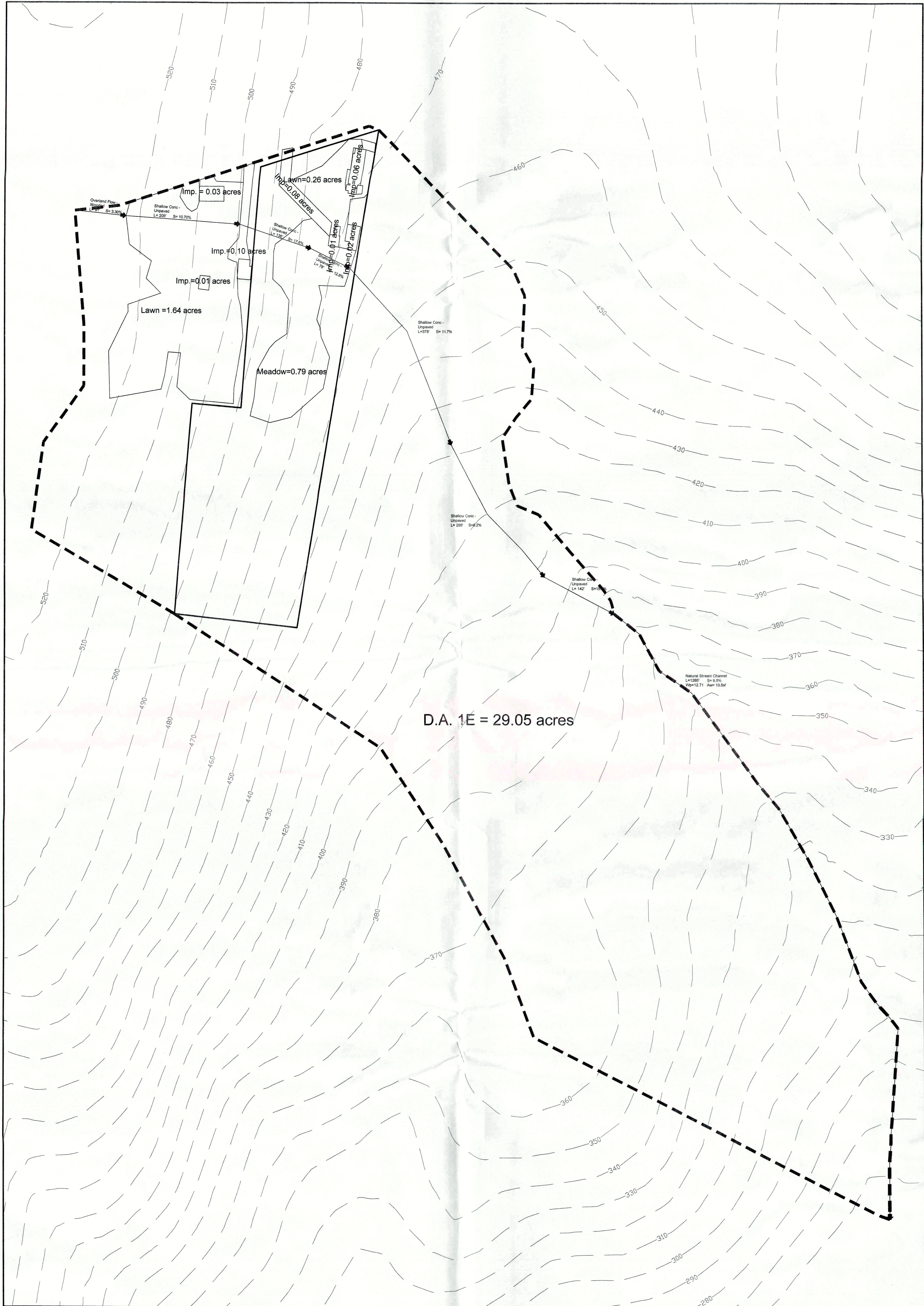
SCALE	DATE	BY	CHK	APP
1" = 30'		JCK		
				5/20/08

# DRIVEWAY AND SANITARY PROFILES

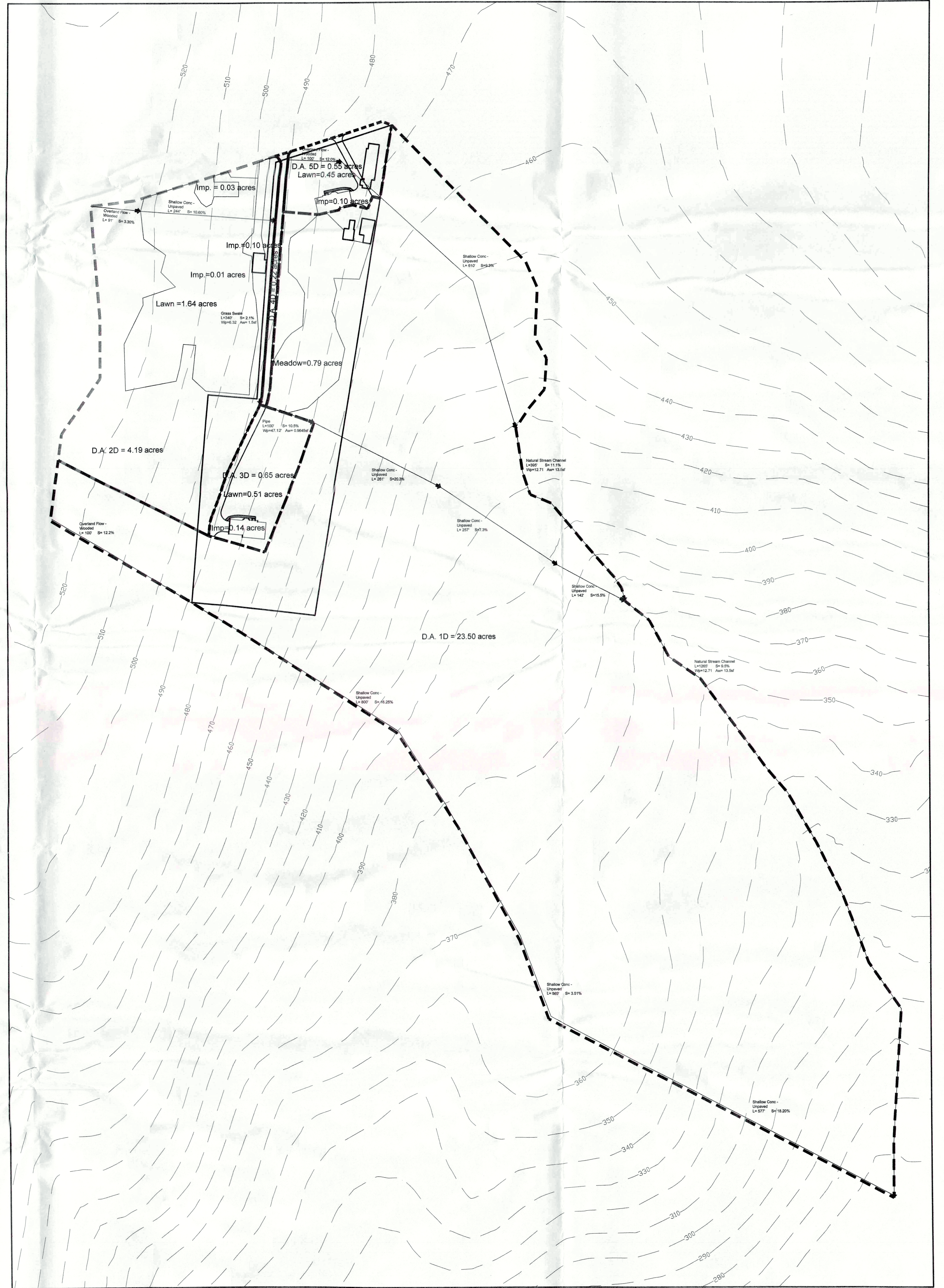
PROPOSED SUBDIVISION  
 PREPARED FOR  
**Anthony C. Martinez**  
 Winchester Co., New York







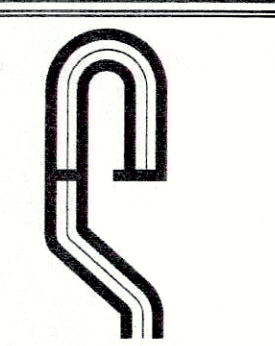
Pre-Development Watershed Areas



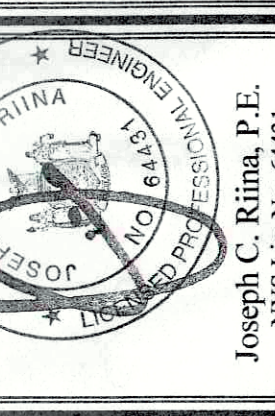
Post Development Watershed Areas

LEGEND

- DRAINAGE BASIN OUTLINE
- TIME OF CONCENTRATION



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Revisions:	No.	Date	Comments:
1	1/24/09		ISSUED FOR PERMITS
2	10/10/10		CONSTRUCTION PLAN

SCALE:	DRAWN BY:	DATE:
1" = 80'	JCK	5/10/08

Town of Yorktown  
 Westchester Co., New York

**DRAINAGE AREA MAPS**

PROPOSED SUBDIVISION  
 PREPARED FOR  
**Anthony C. Martinez**

F:\2008\10-14-08\ACT BUILDING\DWG\10-14-08 OFFSITE TOPOG.DWG, 1/17/2008 3:55:56 PM



**General Erosion Control Notes:**

- 1. Contractor shall be responsible for compliance with all sediment and erosion control practices... (1-10)
- 2. The location and the installation time of the sediment capturing structures shall be as ordered by the Engineer... (11-12)
- 3. All sediment and erosion control measures shall be installed in accordance with the current edition of New York Guidelines For Urban Erosion & Sediment Control... (13-14)
- 4. All sediment and erosion control measures shall be installed in accordance with the current edition of New York Guidelines For Urban Erosion & Sediment Control... (15-16)
- 5. All topsoil shall be placed in a stabilized stockpile for reuse on the site... (17-18)
- 6. Catch basin inlet protection must be installed and operating at all times until turbidity areas and basins have been stabilized... (19-20)
- 7. Exposed slopes with grades greater than 12% may be stabilized by seeding and mulching... (21-22)
- 8. Erosion blankets are to be immediately installed on all disturbed areas that have greater than a 3:1 slope... (23-24)
- 9. When job netting is utilized for channel stabilization, place one half the volume of seed mix prior to laying net... (25-26)
- 10. Areas undergoing earthwork within the basin floor... (27-28)
- 11. Disturbed areas greater than three (3) acres in size, which have not achieved final grade... (29-30)
- 12. Timely maintenance of sediment control structures is the responsibility of the Contractor... (31-32)

**Maintenance of Permanent Control Structures during Construction**

Vegetated channels should be inspected weekly and after each rainfall. Vegetation should be mowed regularly during the period of peak runoff from runoff. Refer to the inspection schedule on this sheet.

**Maintenance of Controls after Construction**

**Maintenance Responsibility:** The Homeowner is responsible for the maintenance of all on-site stormwater management systems. The maintenance shall comply with the standards on this plan. The Highway Department is responsible for maintenance of drainage in the Town Right-Of-Way after construction.

**Vegetative Cover Specifications**

- 1. Site Preparation
  - a. Install erosion control measures.
  - b. Grassy areas to be established promptly before exceeding 50% of the structure's capacity.
- 2. Seed Mixtures for use on soils and cut and fill areas.
 

Mixture	Lbs./acre
AL A Heavy Ryegrass	20
AL B Tall Fescue	20
AL C Creeping Red Fescue	20
AL D Bermudagrass	20
- 3. Seeding
  - a. Proposed seed bed by raking to remove stones, twigs, roots and other foreign material.
  - b. Apply seed uniformly to exposed seedbed or topsoil.
  - c. Stabilize seeded areas in drainage swales.
  - d. Irrigate to fully establish seed layer, but not to dislodge planting soil.

**Maintenance of Temporary Erosion and Sediment Control Structures**

The Town of Yorktown requires that no more than 3 acres of unprotected soil should be exposed at one time. In addition to this restriction, any exposed sediment and sediment control structures shall be maintained in good working order at all times.

	Daily	Weekly	Monthly	After Rainfall	Necessary to maintain	After approval of inspector
Silt Fence	--- --	--- --	--- --	insp	insp	clear/replace
Wheel Cleaner	clean	--- --	--- --	--- --	--- --	replace
Swales	--- --	insp	insp	clean	clean	restore
Sediment Basin	--- --	insp	insp	clean	clear/replace	convert to permanent basin

**Construction Sequence:**

**PHASE I - Driveway and Infrastructure**

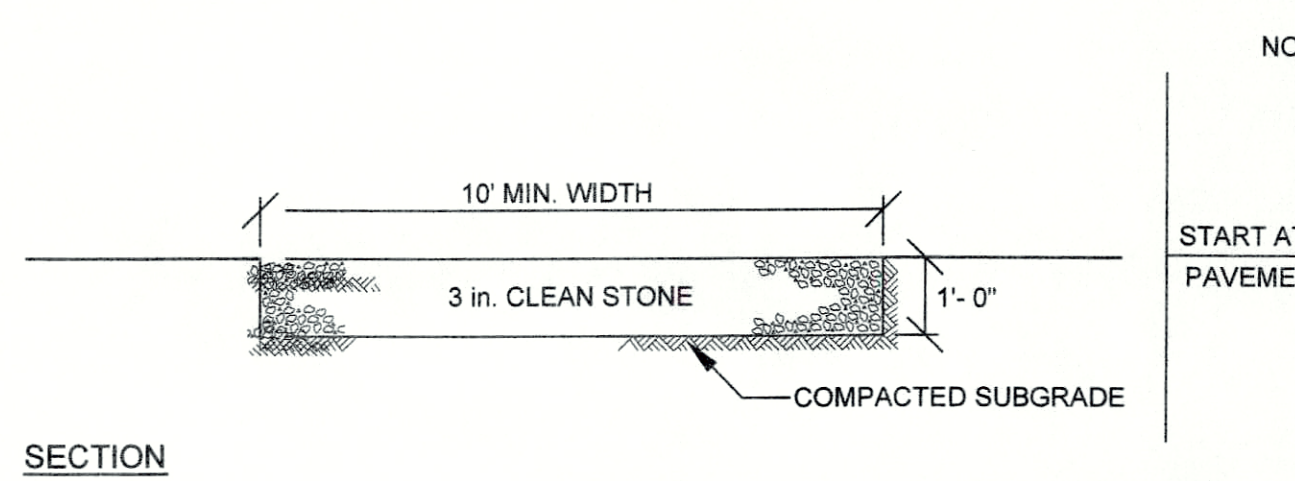
- 1. Use of erosion and sediment control structures and practices are important to maintaining site stability under runoff during daily construction activities. Construction sequence should be staged with erosion and sediment controls, as follows, with all controls in place and implemented prior to respective road, bank, and infrastructure construction.
- 2. Prior to mobilization and prior to the start of any construction activities taking place on site, a pre-construction meeting shall be held between the Town, supervising Engineer, and the Owner/Operator of the project.
- 3. A licensed surveyor must define wetland setbacks, infrastructure locations, limits of disturbance, stormwater basin limits and grades in the field prior to start of any construction.
- 4. Prior to any construction work taking place in the vicinity of any conservation easement, all conservation easement areas as indicated on C-101 shall be cordoned off with orange construction fencing.
- 5. Create an access point to the project at the location of the driveways. Install silt fence along the existing Jacob Road. Timbered trees, wood chips and stumps shall be temporarily stored in the staging area before being removed off site. Wood chips may be used for mulch to stabilize any disturbed slopes. Wood chip mulch shall be applied at a minimum rate of 500 lbs per 1000 of (2" thick).
- 6. Install erosion control measures and orange construction fencing as required for the construction of the driveways, staging area, and stockpile area.
- 7. Clear driveways enough to access stormwater basins. After the driveways are cleared and grubbed and tree remains taken off site, construct temporary sediment basins, as per Erosion Control Plan, C-103. First construct the forbay and stabilize the pipe outlets. Then shape the remainder of the basin and construct the temporary stone filter. Install the outlet structure and outlet pipe. Block the permanent outlet. The basin shall then be stabilized by hydro-mulching/seeding. If additional stabilization is needed erosion blankets may be required. Then install diversion swales and direct to the sediment basins.
- 8. Remove the trees required for the first 50-foot of the driveway of Lot 1. Remove the section of stone wall required to create an entrance. Grade first 50-foot of the driveways and put in the stone entrance stabilization.
- 9. Cut and clear trees within the work area. Timbered trees, wood chips, and stumps shall be temporarily stored in a staging area before being removed off site.
- 10. Rough grade the proposed driveways. Simultaneously construct the swales along the driveway then seed and stabilize with erosion blankets. Where applicable place fill on the up slopes and side edges of the fill site. Fill should be pushed into place using a small track-type tractor with blades. All filled and disturbed areas shall be stabilized and slopes mulched with hay, until final grade is achieved and vegetative cover is fully established. All disturbed areas shall be stabilized within 14 days of initial disturbance with either temporary or permanent vegetative cover. Disturbed areas greater than 3 acres in size, which have achieved final grades, must be seeded and hay mulched within one (1) week of final grade completion.
- 11. Install drain inlets and culverts in the driveway of Lot 1. Install inlet protection as per plan and details. Install all underground utilities in driveway.
- 12. Install base course of Item 4 or processed stone in driveways to width required. Stabilize all the disturbed edges by raking, seeding, and mulching as required. Slopes that are 3:1 or greater, shall be stabilized with erosion blankets.
- 13. Construct the permanent swale along the driveways of both lots. The swale shall be constructed in 50-foot sections. Prior to continuing, each 50-foot section of swale shall be raked, seeded, and stabilized using erosion blankets. In steeper areas, the Contractor may be required to reduce the work length to 25-feet. All remaining work areas will be raked, seeded, and stabilized with mulch unless on slopes of 3:1 or greater where erosion blankets must be used.
- 14. Install asphalt pavement for the driveways.
- 15. After completion of the entire project, the stormwater basins shall be constructed as per the Stormwater Basin Details on Sheet C-503. Refer to the landscape plan by the others for the basin plantings. The designated plantings shall be put in place to avoid damage to the plantings. Final basin grade and arrangements will be made to commence planting and seeding of vegetation. Once vegetation is planted, a three (3) year monitoring program will be implemented with emphasis on achieving 85 percent vegetative growth and abatement of invasive forms of vegetation.
- 16. Once site stabilization has taken place, remove all temporary erosion and sediment controls.

**PHASE II - Home Site Construction**

- 1. Stake out limits of disturbance. Remove trees within the staked limit of disturbance. Prior to commencement of individual lot development, all erosion controls must be put in place. Install construction and erosion control structures as detailed in this plan. Erosion control structures shall be put in place to avoid damage to the plantings. Final basin grade and arrangements will be made to commence planting and seeding of vegetation. Once vegetation is planted, a three (3) year monitoring program will be implemented with emphasis on achieving 85 percent vegetative growth and abatement of invasive forms of vegetation.
- 2. Install inlet protection and clear and grub work area. Strip topsoil and stockpile as per details. Be certain not to place the stockpile outside limit of disturbance, on septic areas or within conservation easement areas.
- 3. Construct sediment traps as required before discharging to completed drainage infrastructure. Begin excavation and grading. Upon completion of rough grading, all slopes greater than 12% shall be stabilized with machine tracking and hay mulch.
- 4. Provide maintenance of sediment controls throughout construction. Upon completion of final grading, installation of vegetative cover and installation of full stabilization vegetative cover, temporary erosion control measures can be removed.

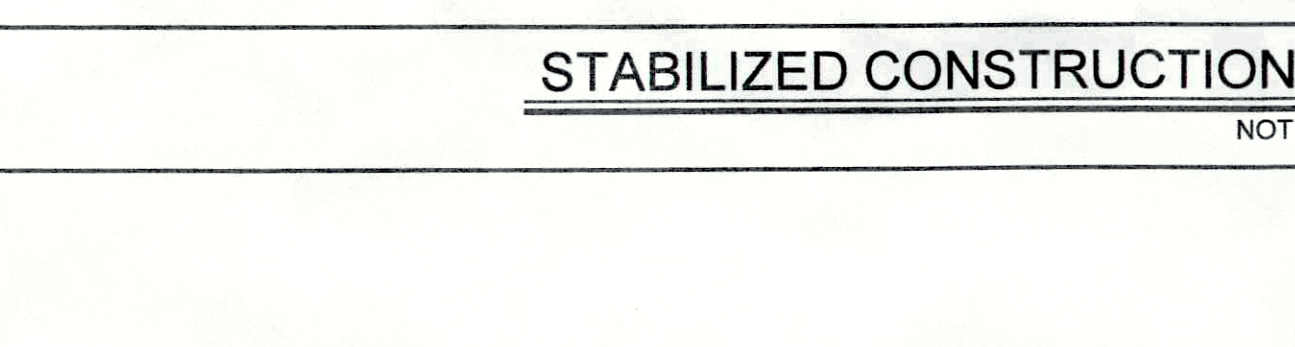
**Note:** This construction sequence shall be followed in conjunction with the approved Erosion and Sediment Control Plan, The Erosion and Sediment Control Notes and Details found on Sheet C-501, and the Stormwater Basin Details found on Sheet C-503 of the Construction Drawings. The individual lots will be constructed in any order, but requires following the above procedure.

**Contact Numbers:**  
During Construction: Anthony Martinez, 9 Southgate Drive, Cortland Manor, NY 10667, Office - 914-737-1998, Cell - 203-223-4899  
After Construction and Dedication: Individual Homeowners and Town Engineer, Town of Yorktown, 383 Underhill Avenue, Yorktown Heights, NY 10598, 914-982-3722



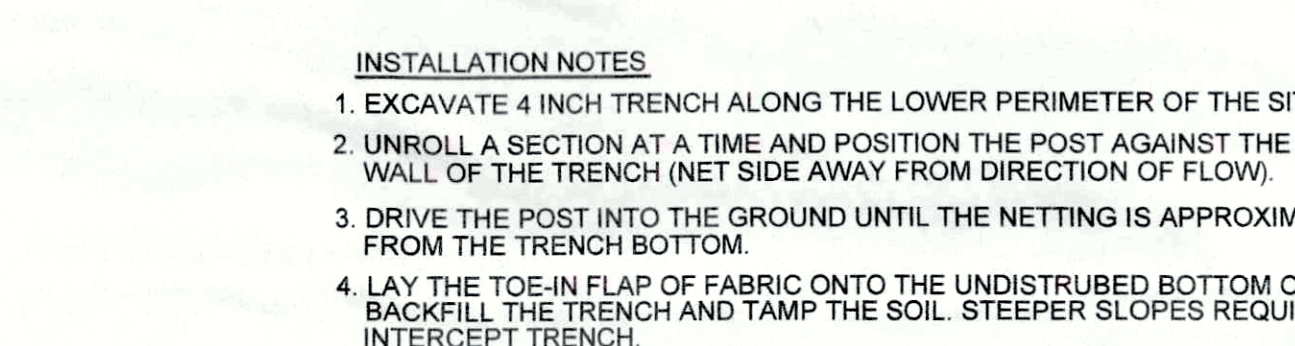
**E-1 STABILIZED CONSTRUCTION ENTRANCE**

**INSTALLATION NOTES:**  
1. STONE SIZE - USE 3" MIN STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.  
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 20 FOOT MINIMUM LENGTH WOULD APPLY).  
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.  
4. WIDTH - 10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.  
5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ABOVE THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 6:1 SLOPES WILL BE PERMITTED.  
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.  
7. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



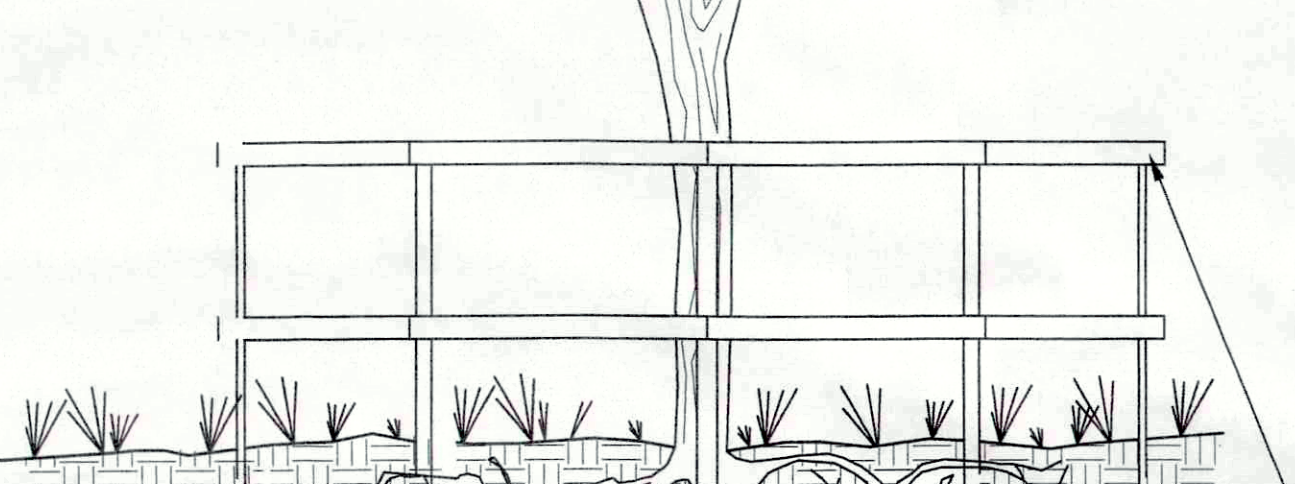
**E-2 TEMPORARY SILT FENCE DETAIL**

**INSTALLATION NOTES:**  
1. EXCAVATE A 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.  
2. UNROLL A SECTION AT A TIME AND POSITION THE POST AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).  
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.  
4. LAY THE TOEIN FLAP OF FABRIC ON THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.  
5. JOIN SECTIONS AS SHOWN ABOVE.



**E-3 TEMPORARY TREE PROTECTION DETAIL**

**Certification Statement:**  
I, the undersigned, as a contractor or subcontractor, identified in a SWPPP in accordance with Part III.E.1 (SPDES General Permits for Stormwater Runoff from Construction Activity, GP-08-001, May 2008, Page 11 of 40) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP.  
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the New York State Pollution Discharge Elimination System (SPDES) general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."  
**Individual Contractor:**  
Name and Title (please print) \_\_\_\_\_  
Signature of Contractor \_\_\_\_\_  
**Company / Contracting Firm:**  
Name of Company \_\_\_\_\_  
Address of Company \_\_\_\_\_  
Telephone Number / Cell Number \_\_\_\_\_  
**Site Information:**  
Address of Site \_\_\_\_\_  
Today's Date: \_\_\_\_\_



**E-4 SOIL STOCKPILE DETAIL**

**INSTALLATION NOTES:**  
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.  
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWMATS, THEN STABILIZED WITH VEGETATION OR COVERED.  
4. SEE DETAIL FOR INSTALLATION OF SILT FENCE.

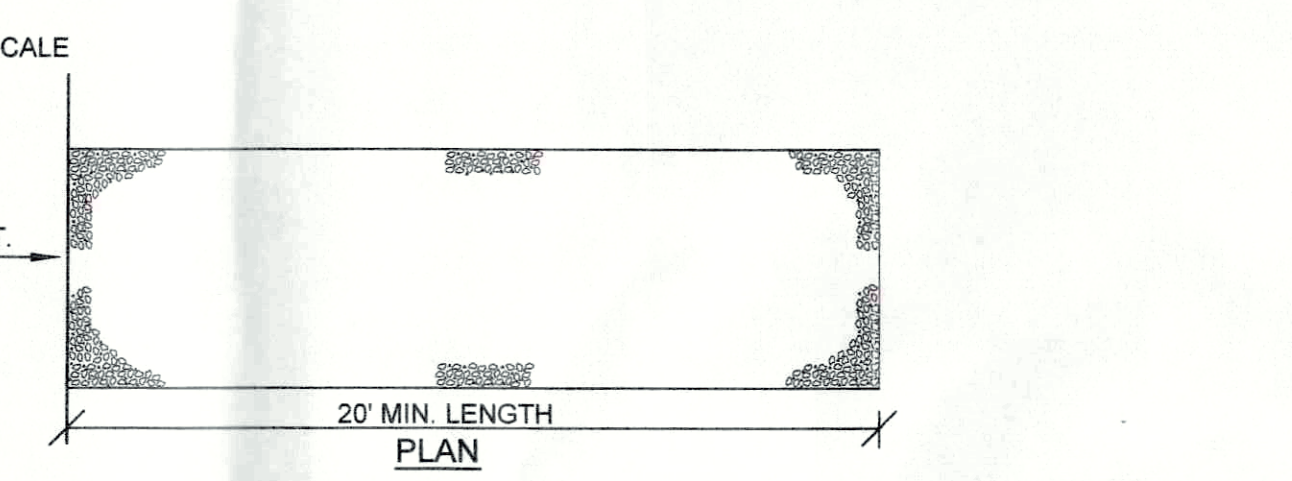


**E-5 EROSION BLANKET AND ANCHOR DETAIL**

**INSTALLATION NOTES:**  
1. EROSION BLANKETS SHALL BE USED TO STABILIZE ALL GRADED AND/OR DISTURBED SLOPES.  
2. ANCHOR PATTERN 2.5 ANCHORS / SY FOR 2.5H 1V x SLOPES < 1H 1V.  
3. U-SHAPED WIRE STAPLES, METAL GEOTEXTILE PINS, TRIANGULAR WOODEN OR PLASTIC STAKES CAN BE USED TO ANCHOR BLANKET TO THE GROUND SURFACE.

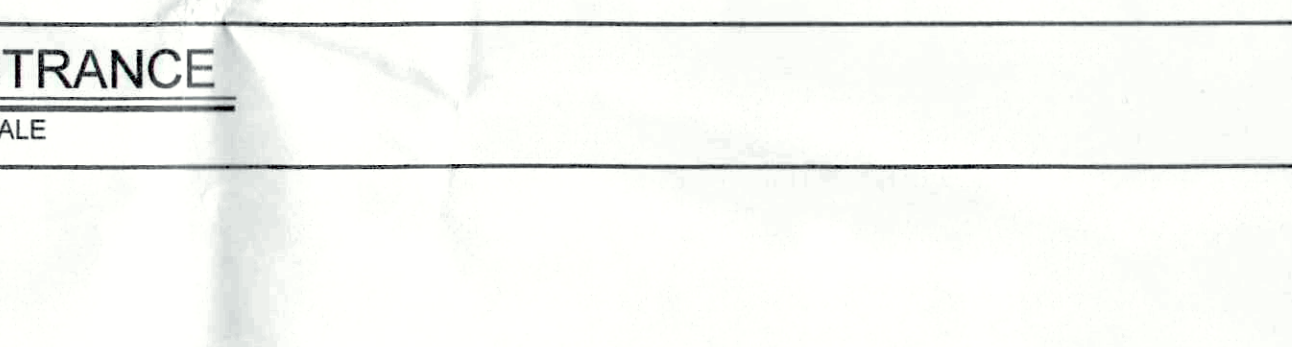
**E-6 TEMPORARY SEDIMENT BASIN OUTLET DETAIL**

**Contractor Certification:**  
Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.E.1 (SPDES General Permits for Stormwater Runoff from Construction Activity, GP-08-001, May 2008, Page 11 of 40) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP. I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollution Discharge Elimination System (SPDES) general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."  
**Individual Contractor:**  
Name and Title (please print) \_\_\_\_\_  
Signature of Contractor \_\_\_\_\_  
**Company / Contracting Firm:**  
Name of Company \_\_\_\_\_  
Address of Company \_\_\_\_\_  
Telephone Number / Cell Number \_\_\_\_\_  
**Site Information:**  
Address of Site \_\_\_\_\_  
Today's Date: \_\_\_\_\_



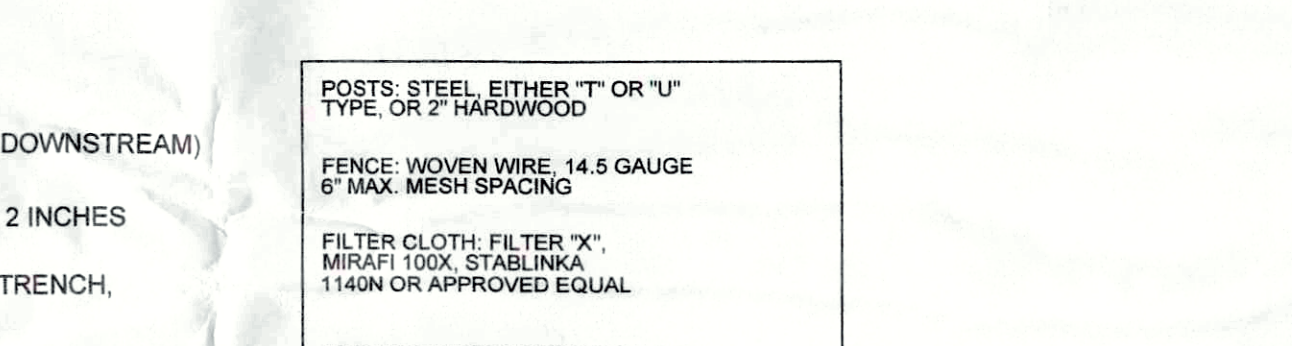
**E-7 TEMPORARY SEDIMENT TRAP**

**CONSTRUCTION SPECIFICATIONS:**  
1. VOLUME OF SEDIMENT STORAGE SHALL BE 300 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE AREA.  
2. MINIMUM CREST WIDTH SHALL BE 4' DRAINAGE AREA.  
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.  
4. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.  
5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.  
6. THE SEDIMENT TRAP SHALL BE REMOVED AND AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.  
7. ALL CULVERTS SHALL BE 1:1 OR FLATTER.



**E-8 INLET PROTECTION**

**INSTALLATION NOTES:**  
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.  
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WOULD IMPAIR, NORMAL FLOW.  
3. FILLS SHALL BE CONSTRUCTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE WATERWAY.  
4. ALL EXISTING REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.  
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR BEST AVAILABLE PRACTICES.  
6. FOR DESIGN VELOCITIES OF LESS THAN 3.5 FT. PER SEC. SEEDING AND MULCHING MAY BE USED FOR THE ESTABLISHMENT OF THE VEGETATION. IT IS RECOMMENDED THAT WHEN CONDITIONS PERMIT, TEMPORARY DIVERSION OR OTHERS MEANS SHOULD BE USED TO PREVENT WATER FROM ENTERING THE WATERWAY DURING THE ESTABLISHMENT OF THE VEGETATION.  
7. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC. THE WATERWAY SHALL BE STABILIZED WITH SOIL, WITH SEEDING PROTECTED BY JUTE MESH OR MULCHING, AND TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

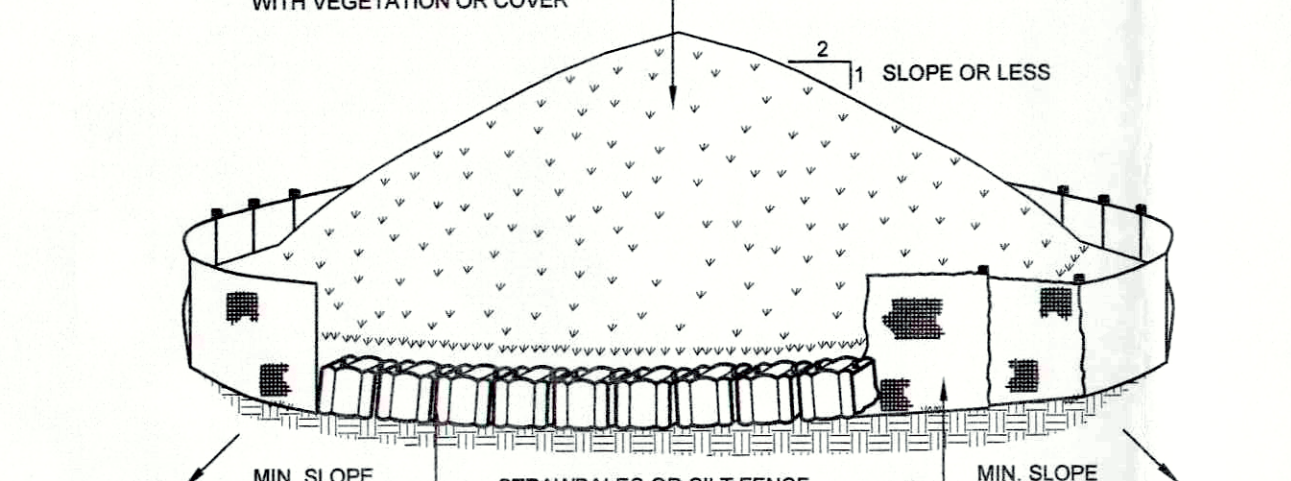


**E-9 DIVERSION SWALE DETAIL**

**INSTALLATION NOTES:**  
1. TEMPORARY SEDIMENT TRAPS SHALL BE INSTALLED AS CONDITIONS WARRANT AND RELOCATED AS NEEDED TO ACCOMMODATE CONSTRUCTION PHASES.  
2. TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED AND THE AREA STABILIZED AND RESTORED TO ITS ORIGINAL DIMENSIONS AND THE AREA STABILIZED AND RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.  
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.  
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.  
5. ALL CULVERTS SHALL BE 1:1 OR FLATTER.

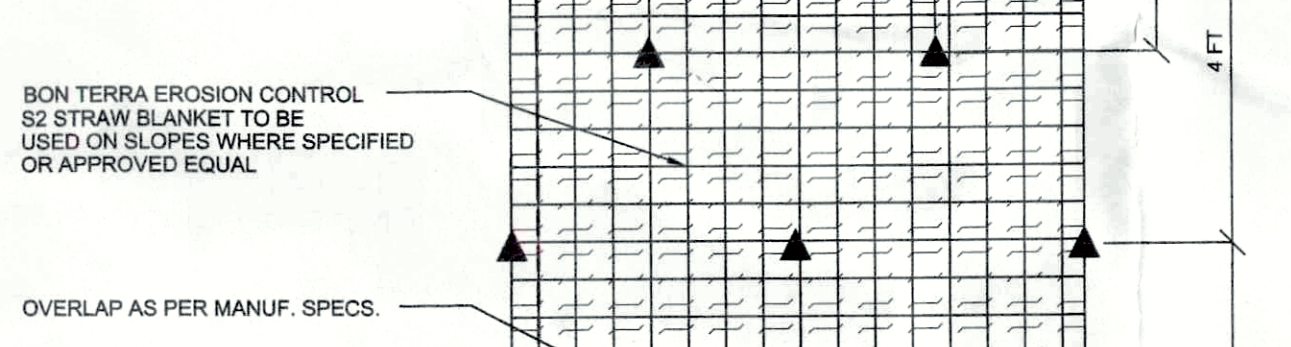


**E-10 FILTERED OUTLET**



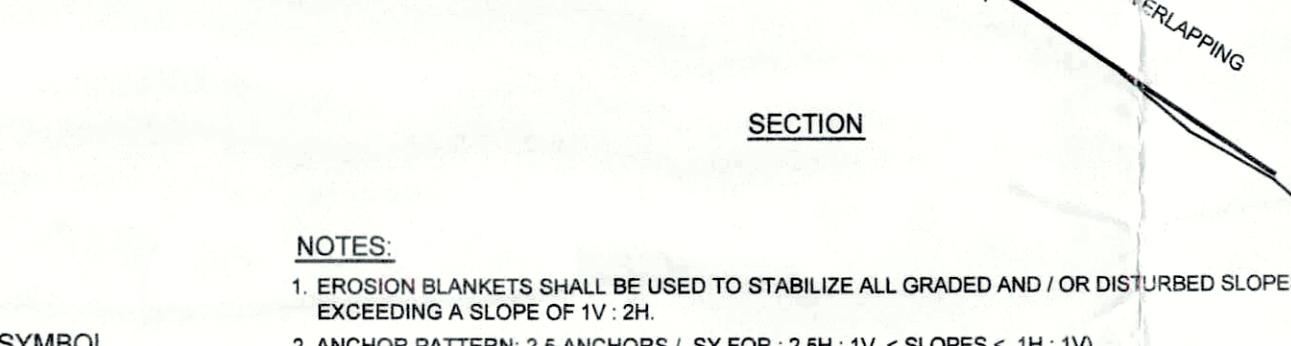
**E-1 STABILIZED CONSTRUCTION ENTRANCE**

**INSTALLATION NOTES:**  
1. STONE SIZE - USE 3" MIN STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.  
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 20 FOOT MINIMUM LENGTH WOULD APPLY).  
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.  
4. WIDTH - 10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.  
5. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ABOVE THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 6:1 SLOPES WILL BE PERMITTED.  
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.  
7. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.  
8. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



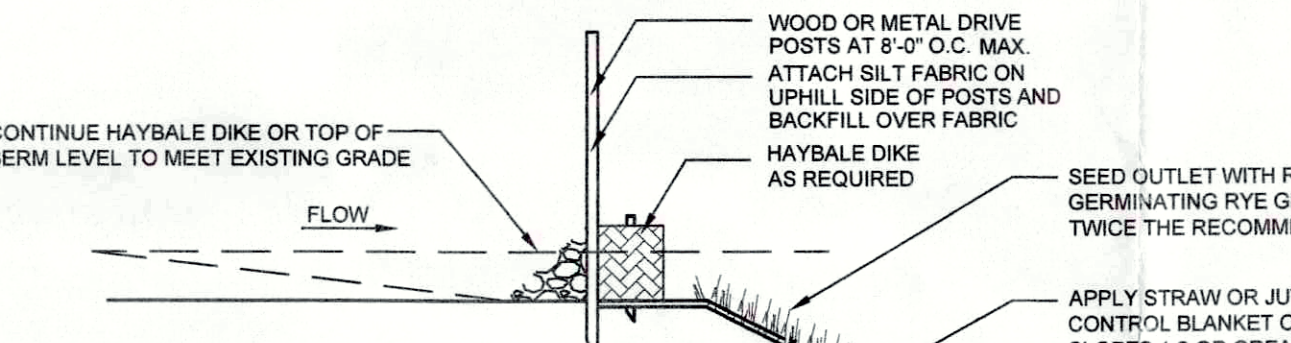
**E-2 TEMPORARY SILT FENCE DETAIL**

**INSTALLATION NOTES:**  
1. EXCAVATE A 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.  
2. UNROLL A SECTION AT A TIME AND POSITION THE POST AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).  
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.  
4. LAY THE TOEIN FLAP OF FABRIC ON THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.  
5. JOIN SECTIONS AS SHOWN ABOVE.



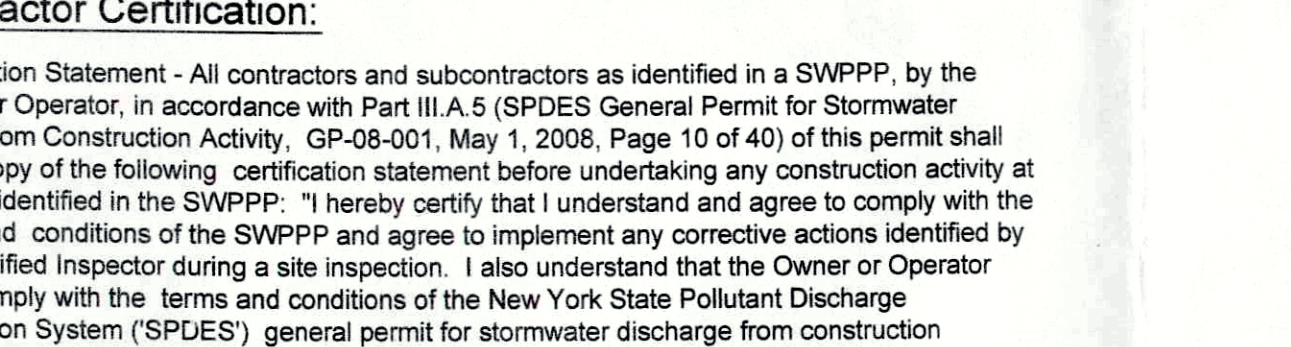
**E-3 TEMPORARY TREE PROTECTION DETAIL**

**Certification Statement:**  
I, the undersigned, as a contractor or subcontractor, identified in a SWPPP in accordance with Part III.E.1 (SPDES General Permits for Stormwater Runoff from Construction Activity, GP-08-001, May 2008, Page 11 of 40) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP.  
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the New York State Pollution Discharge Elimination System (SPDES) general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."  
**Individual Contractor:**  
Name and Title (please print) \_\_\_\_\_  
Signature of Contractor \_\_\_\_\_  
**Company / Contracting Firm:**  
Name of Company \_\_\_\_\_  
Address of Company \_\_\_\_\_  
Telephone Number / Cell Number \_\_\_\_\_  
**Site Information:**  
Address of Site \_\_\_\_\_  
Today's Date: \_\_\_\_\_



**E-4 SOIL STOCKPILE DETAIL**

**INSTALLATION NOTES:**  
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.  
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWMATS, THEN STABILIZED WITH VEGETATION OR COVERED.  
4. SEE DETAIL FOR INSTALLATION OF SILT FENCE.

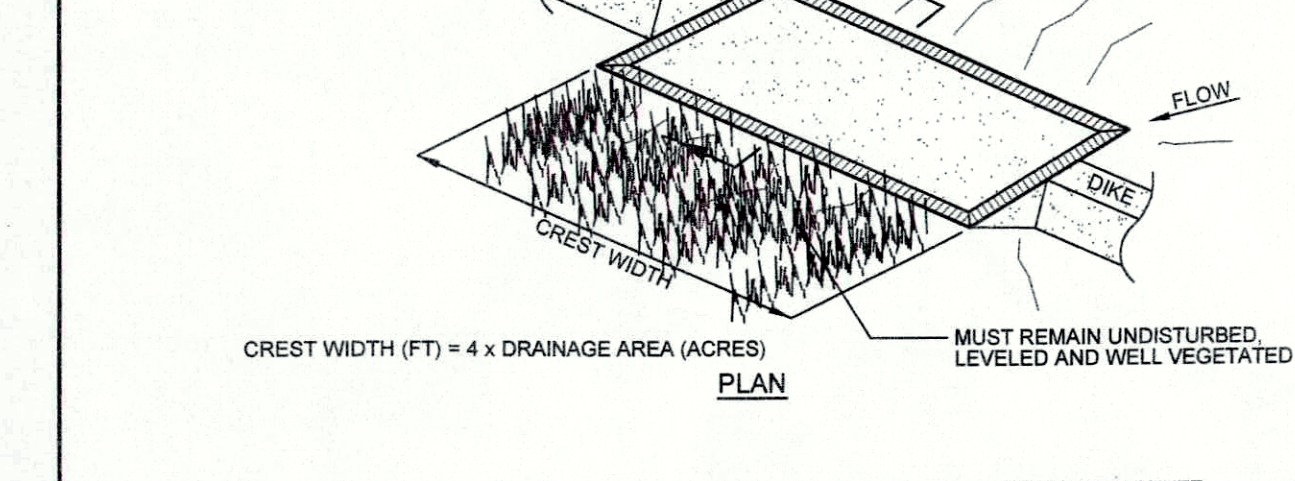


**E-5 EROSION BLANKET AND ANCHOR DETAIL**

**INSTALLATION NOTES:**  
1. EROSION BLANKETS SHALL BE USED TO STABILIZE ALL GRADED AND/OR DISTURBED SLOPES.  
2. ANCHOR PATTERN 2.5 ANCHORS / SY FOR 2.5H 1V x SLOPES < 1H 1V.  
3. U-SHAPED WIRE STAPLES, METAL GEOTEXTILE PINS, TRIANGULAR WOODEN OR PLASTIC STAKES CAN BE USED TO ANCHOR BLANKET TO THE GROUND SURFACE.

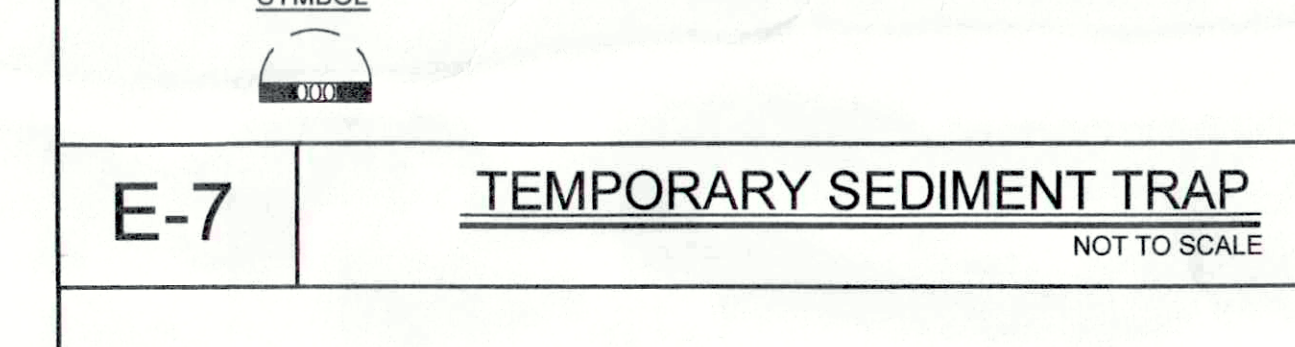
**E-6 TEMPORARY SEDIMENT BASIN OUTLET DETAIL**

**Contractor Certification:**  
Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.E.1 (SPDES General Permits for Stormwater Runoff from Construction Activity, GP-08-001, May 2008, Page 11 of 40) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP. I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollution Discharge Elimination System (SPDES) general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."  
**Individual Contractor:**  
Name and Title (please print) \_\_\_\_\_  
Signature of Contractor \_\_\_\_\_  
**Company / Contracting Firm:**  
Name of Company \_\_\_\_\_  
Address of Company \_\_\_\_\_  
Telephone Number / Cell Number \_\_\_\_\_  
**Site Information:**  
Address of Site \_\_\_\_\_  
Today's Date: \_\_\_\_\_



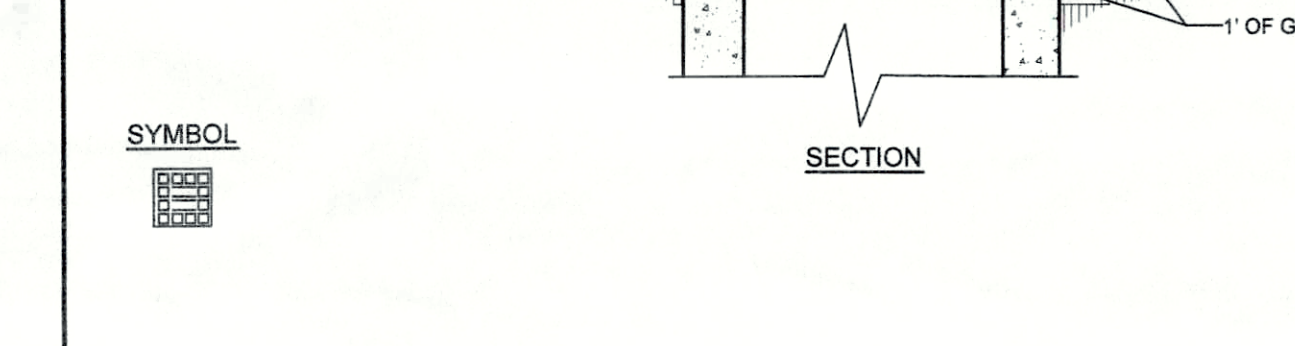
**E-7 TEMPORARY SEDIMENT TRAP**

**CONSTRUCTION SPECIFICATIONS:**  
1. VOLUME OF SEDIMENT STORAGE SHALL BE 300 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE AREA.  
2. MINIMUM CREST WIDTH SHALL BE 4' DRAINAGE AREA.  
3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.  
4. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.  
5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.  
6. THE SEDIMENT TRAP SHALL BE REMOVED AND AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.  
7. ALL CULVERTS SHALL BE 1:1 OR FLATTER.



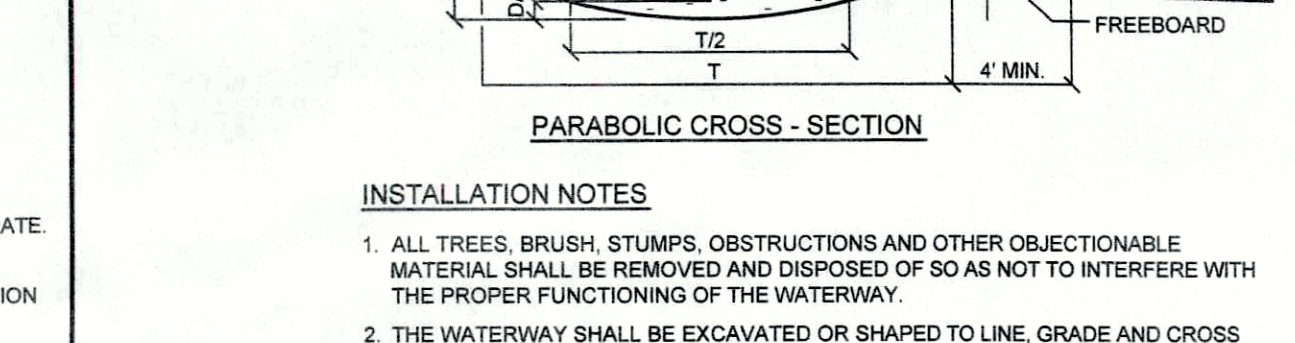
**E-8 INLET PROTECTION**

**INSTALLATION NOTES:**  
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.  
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WOULD IMPAIR, NORMAL FLOW.  
3. FILLS SHALL BE CONSTRUCTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE WATERWAY.  
4. ALL EXISTING REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.  
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR BEST AVAILABLE PRACTICES.  
6. FOR DESIGN VELOCITIES OF LESS THAN 3.5 FT. PER SEC. SEEDING AND MULCHING MAY BE USED FOR THE ESTABLISHMENT OF THE VEGETATION. IT IS RECOMMENDED THAT WHEN CONDITIONS PERMIT, TEMPORARY DIVERSION OR OTHERS MEANS SHOULD BE USED TO PREVENT WATER FROM ENTERING THE WATERWAY DURING THE ESTABLISHMENT OF THE VEGETATION.  
7. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC. THE WATERWAY SHALL BE STABILIZED WITH SOIL, WITH SEEDING PROTECTED BY JUTE MESH OR MULCHING, AND TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.



**E-9 DIVERSION SWALE DETAIL**

**INSTALLATION NOTES:**  
1. TEMPORARY SEDIMENT TRAPS SHALL BE INSTALLED AS CONDITIONS WARRANT AND RELOCATED AS NEEDED TO ACCOMMODATE CONSTRUCTION PHASES.  
2. TEMPORARY SEDIMENT TRAPS SHALL BE REMOVED AND THE AREA STABILIZED AND RESTORED TO ITS ORIGINAL DIMENSIONS AND THE AREA STABILIZED AND RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.  
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.  
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.  
5. ALL CULVERTS SHALL BE 1:1 OR FLATTER.



**E-10 FILTERED OUTLET**

**Site Design Consultants**  
Civil Engineers • Land Planners  
251-F Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.SiteDesignConsultants.com

**PROPOSED SUBDIVISION PREPARED FOR**  
**Anthony C. Martinez**  
Westchester Co., New York  
Town of Yorktown

**EROSION & SEDIMENT CONTROL DETAILS**  
**C - 501**

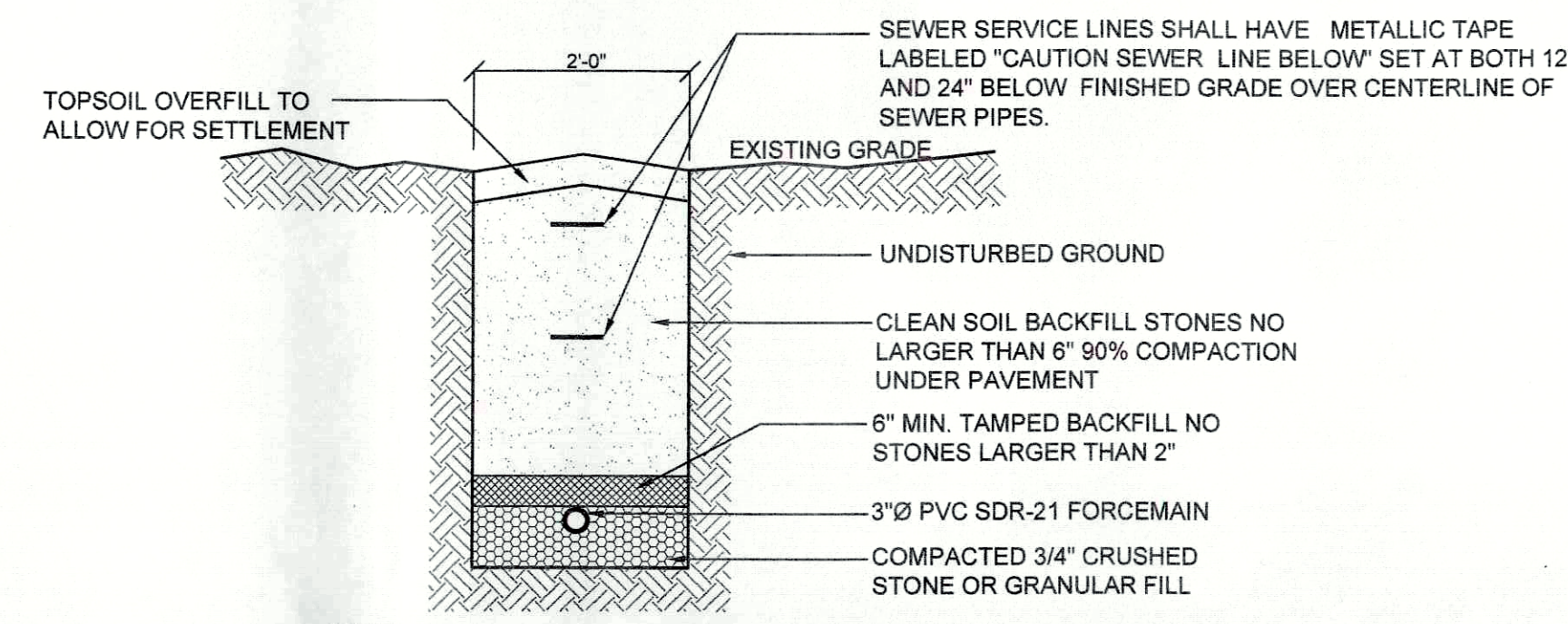


General Construction Notes:

- 1. All construction to be done in accordance with construction specifications and land subdivision regulations of the Town of Yorktown.
- 2. Permanent survey monuments to be located where specified by the Town Engineer.
- 3. Bench marks using U.S.G.S. datum shall be of such elevation that the ground will slope away from it in all directions.
- 4. Location of gas and water valves, electric and telephone poles are to be determined by proper authorities and approved, as to location, by the Town Engineer.
- 5. Each dwelling constructed hereon shall be of such an elevation that the ground will slope away from it in all directions.
- 6. Roof leaders and footing drains shall empty into storm drainage systems. On plots where this is not possible, then said drain shall empty on the surface of the property in question a minimum distance of 20' from the back of curb. Elevation of footing shall be adjusted accordingly to permit proper drainage. Under no circumstances shall the discharge of ground water or storm water, either by gravity or by pumping, be discharged to any sanitary sewer system.
- 7. All existing underground drains encountered during construction of proposed roads are to be connected to proposed drainage improvements. Connections to be approved by the Town Engineer.
- 8. Interceptor drains are to be installed where required by the Town Engineer during road construction.
- 9. Storm drain piping to be high density polyethylene or cast iron as shown on the construction drawings. Minimum cover to be 2'.
- 10. No topsoil shall be removed from the site.
- 11. Street opening permit shall be obtained from the Town of Yorktown D.P.W. required for installations in public roads.
- 12. All structures shall be set one inch below pavement.

General Notes:

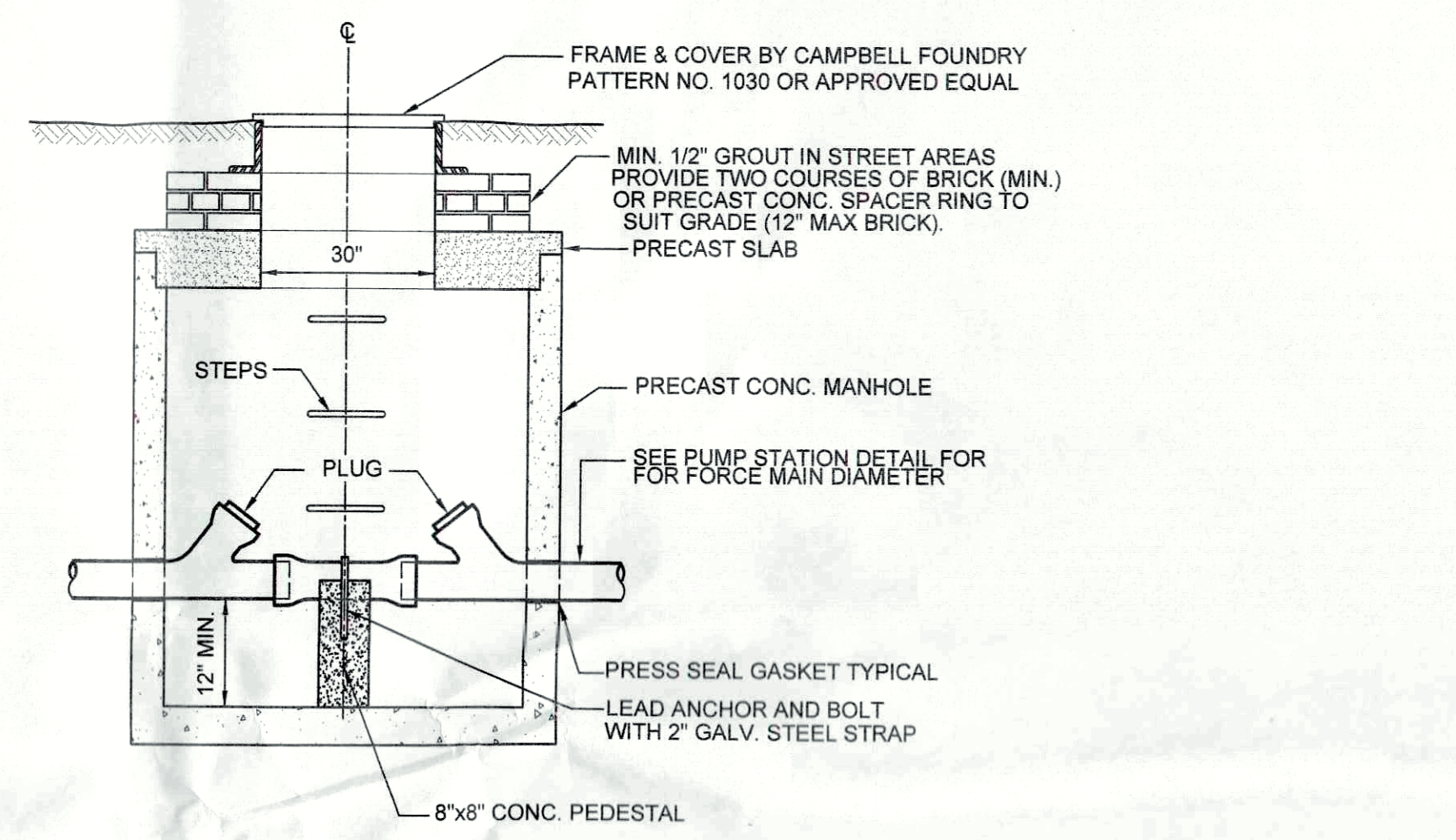
- 1. All work on the project shall be performed in a workman like manner and shall be in accordance with the standards of the industry. The owner will be the sole judge of the acceptability of the work. Materials and work deemed unacceptable will be removed and redone at the sole cost and responsibility of the contractor.
- 2. The contractor shall be responsible to protect his work and will be held responsible for consequential damages due to his activities. The contractor shall be responsible to the owner for acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any work under a separate contract with the contractor.
- 3. It is the contractor's responsibility to properly shore existing utilities & existing improvements if required by construction.
- 4. It shall be the contractor's responsibility to notify the town inspector in advance of his work or as the inspector deems appropriate.
- 5. All conditions, locations and dimensions shall be field verified by the contractor and the owner/engineer notified in writing of any discrepancies prior to the start of work. The owner/engineer will evaluate the situation and modify the plan as necessary.
- 6. The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work under this contract.
- 7. The contractor shall verify all substructures encountered during construction.
- 8. The Town Engineer's office and water district office is to be notified 24 hours before commencing site construction on water main connection.
- 9. It is the contractor's responsibility to call in a "CODE 53" prior to construction of underground utility locations.
- 10. Any proposed electric and/or telephone service lines are to be placed underground.
- 11. The contractor shall be responsible to obtain all necessary permits for any blasting if required.
- 12. All work is to be in accordance with the Town's Code of Practice and Specifications.
- 13. The contractor shall secure & pay for a builders risk policy to cover the period of construction. The engineer & owner shall be named as additional insured. All contractors employed at the site shall be covered by workman's compensation.
- 14. All changes made to the plans shall be approved by the Engineer and any such changes shall be filed as amendments to the original Town Permit.
- 15. All written dimensions on the drawings shall take precedence over any scaled dimensions.
- 16. The Contractor shall take all precautions to minimize disturbance within the control area by installing the sediment erosion control practices required.
- 17. The Engineer whose seal appears hereon has not been retained for supervision of construction, subsequently, he is not responsible for construction practices, procedures, and results therefrom.
- 18. The design engineer disclaims any liability for damage or loss incurred during or after construction.
- 19. The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- 20. Catch Basin steps shall be cast iron Neenah No. R-198-1-D or Campbell Foundry No. 2588-1 or polypropylene coated steel (see specifications) or approved equal.
- 21. Catch Basin covers and structures shall meet or exceed A.S.T.M. and O.S.H.A. Requirements and must be rated for H-20 loading.
- 22. Pre-cast sections to be in accordance with "Pre-cast Reinforced Concrete Manhole Section" A.S.T.M. Designation C-475, latest revision, minimum compressive strength to be 4,000 psi.



- NOTES:
- 1. WHEN FORCE MAIN IS INSTALLED IN FILL SECTION COMPACTED CRUSHED STONE, GRAVEL, OR APPROVED STRUCTURAL FILL TO BE INSTALLED.
  - 2. FORCE MAIN TO BE INSTALLED TO ALL APPLICABLE STANDARDS, AND SHALL BE TESTED TO WITHSTAND 1.5 TIMES THE MAXIMUM WORKING PRESSURE.

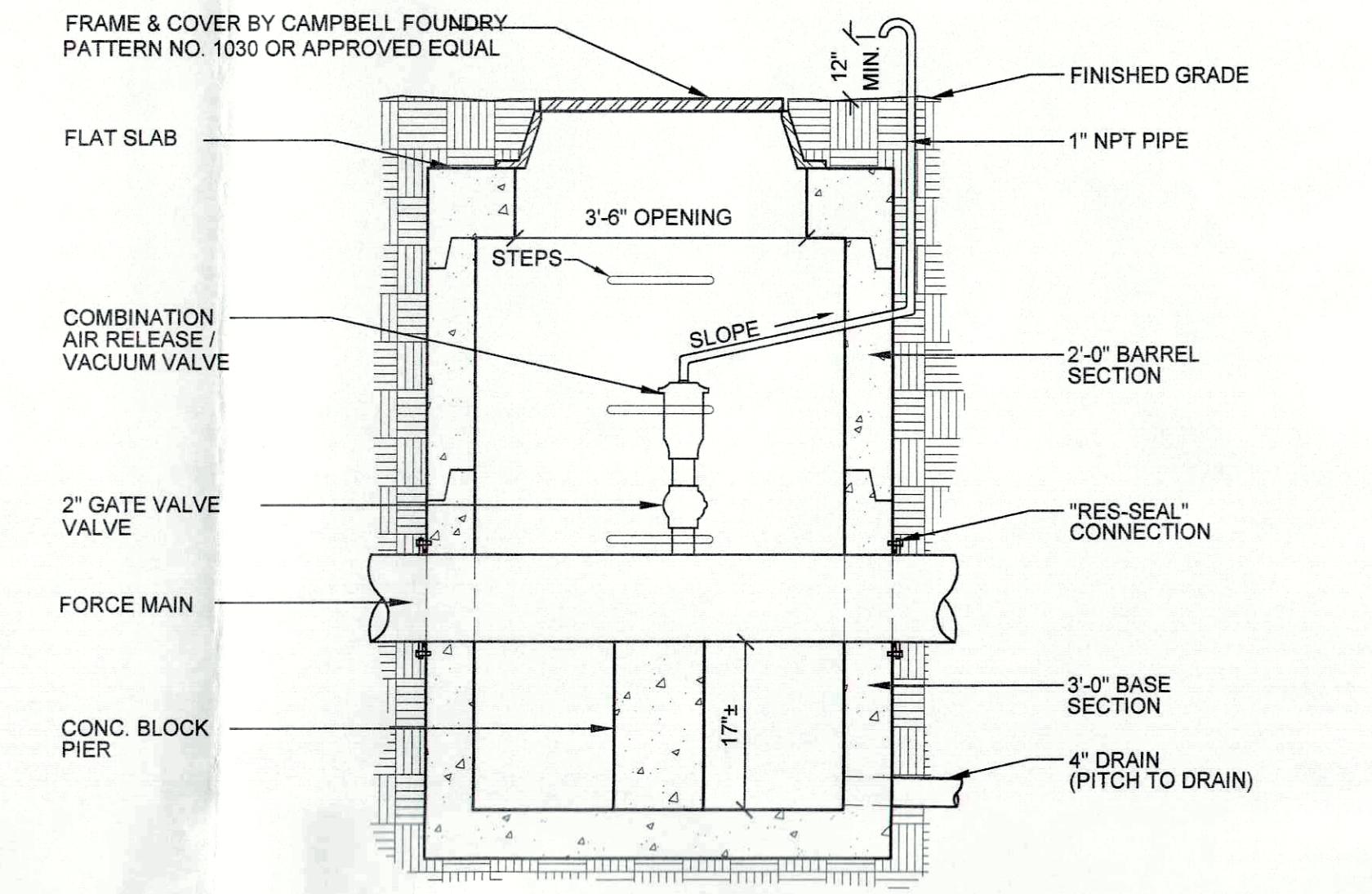
S-1

FORCE MAIN TRENCH DETAIL  
NOT TO SCALE



S-2

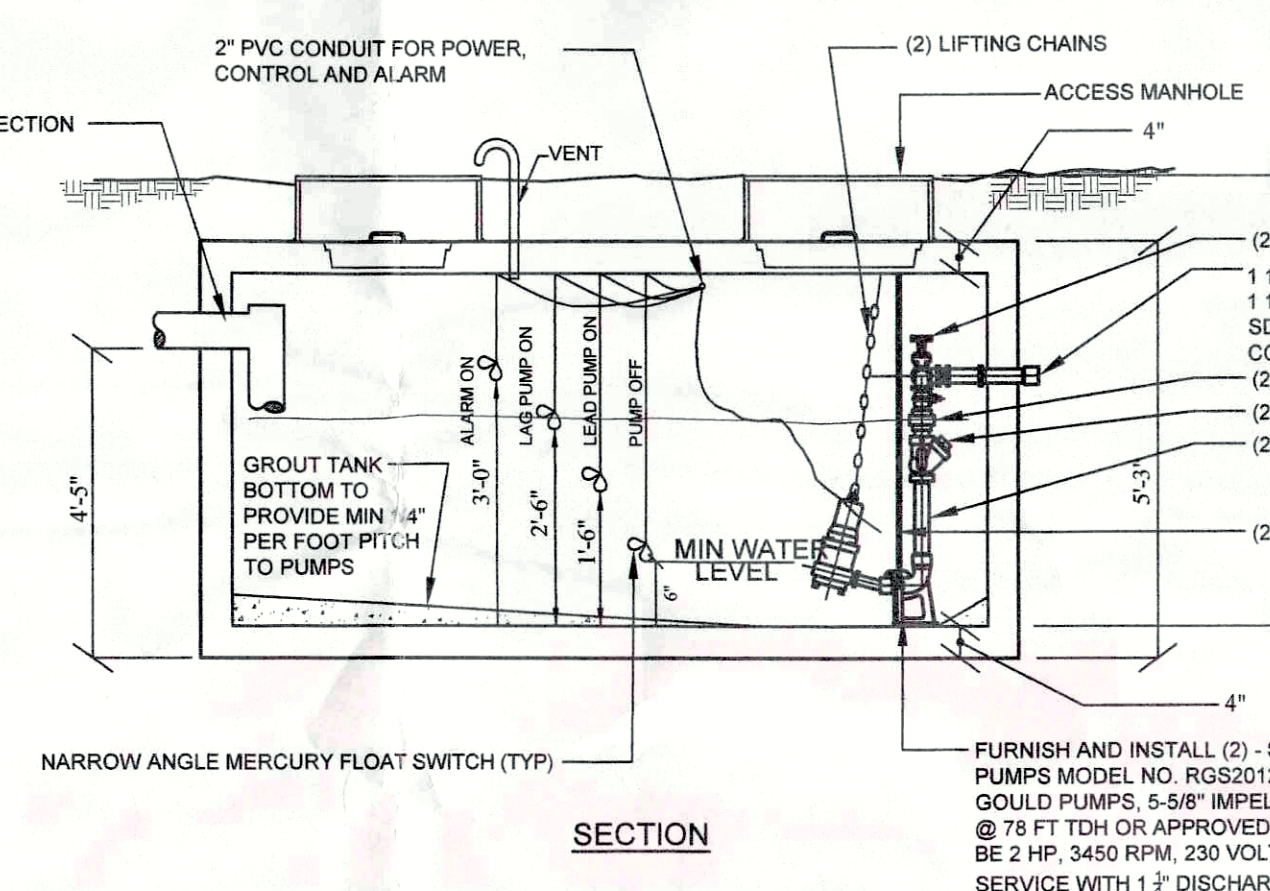
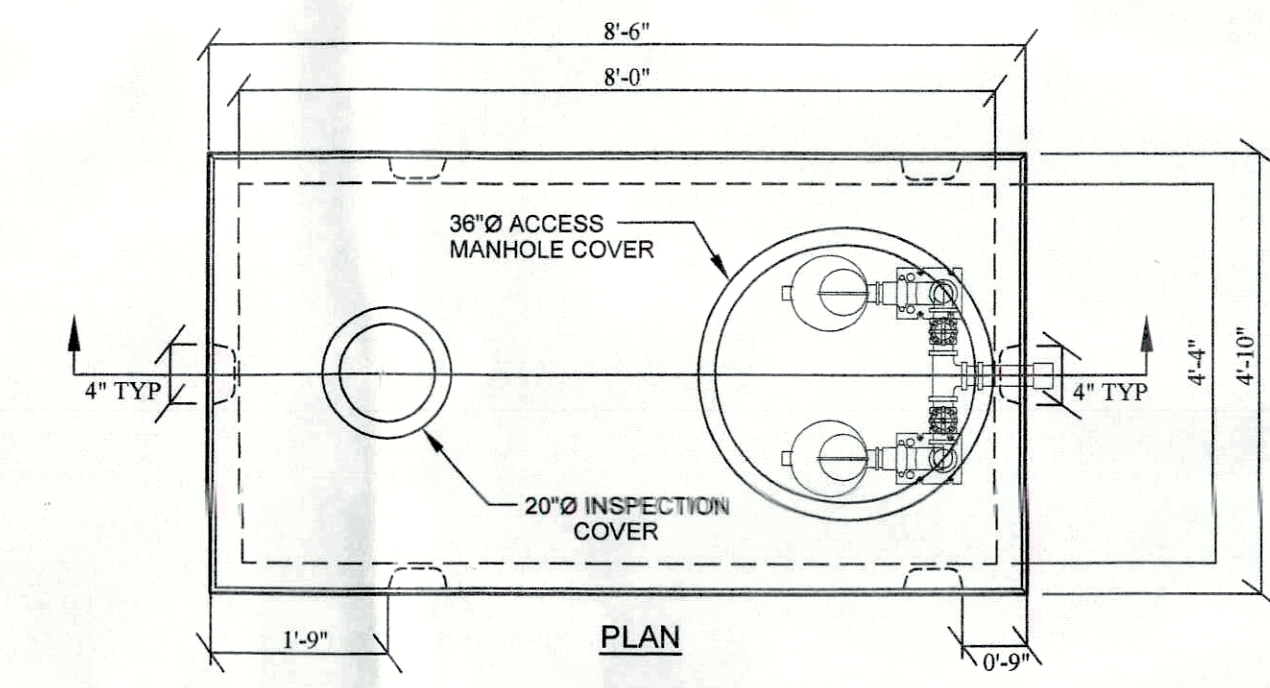
FORCE MAIN CLEAN-OUT DETAIL  
NOT TO SCALE



S-3

AIR RELEASE/ VACUUM VALVE AND PIPE IN MANHOLE  
NOT TO SCALE

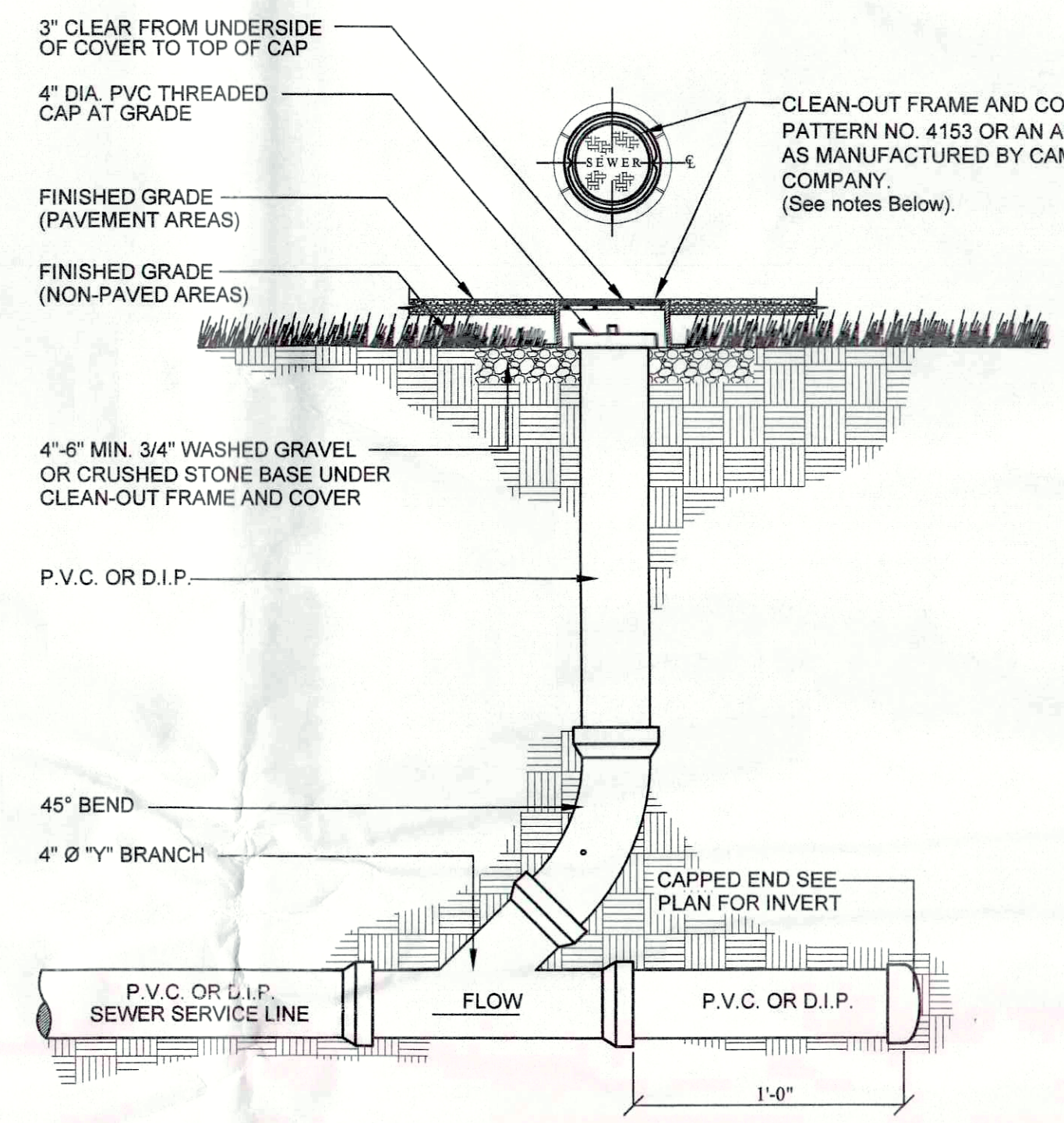
NOTE:  
AIR AND VACUUM VALVES SHALL BE SEAWAIR MAXI AS MANUFACTURED BY FLOMATIC OR APPROVED EQUAL.



- NOTES:
- 1. DUPLEX PUMP CONTROL PANEL SHALL BE PROVIDED AS MANUFACTURED BY HYDRAMATIC OR APPROVED EQUAL.
  - 2. PUMP CONTROLLER SHALL OPERATE PUMPS ON A FOUR FLOAT SYSTEM AND INCLUDE CIRCUIT BREAKERS.
  - 3. ALTERNATING RELAYS, H-O-A SWITCH, SEAL FAL RELAYS/LIGHTS, ALARM BEACON AND HORN FOR HIGH.
  - 4. WATER LEVEL ALARM AND ALL ACCESSORIES NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM.

S-4

PRECAST CONCRETE STORAGE TANK  
NOT TO SCALE



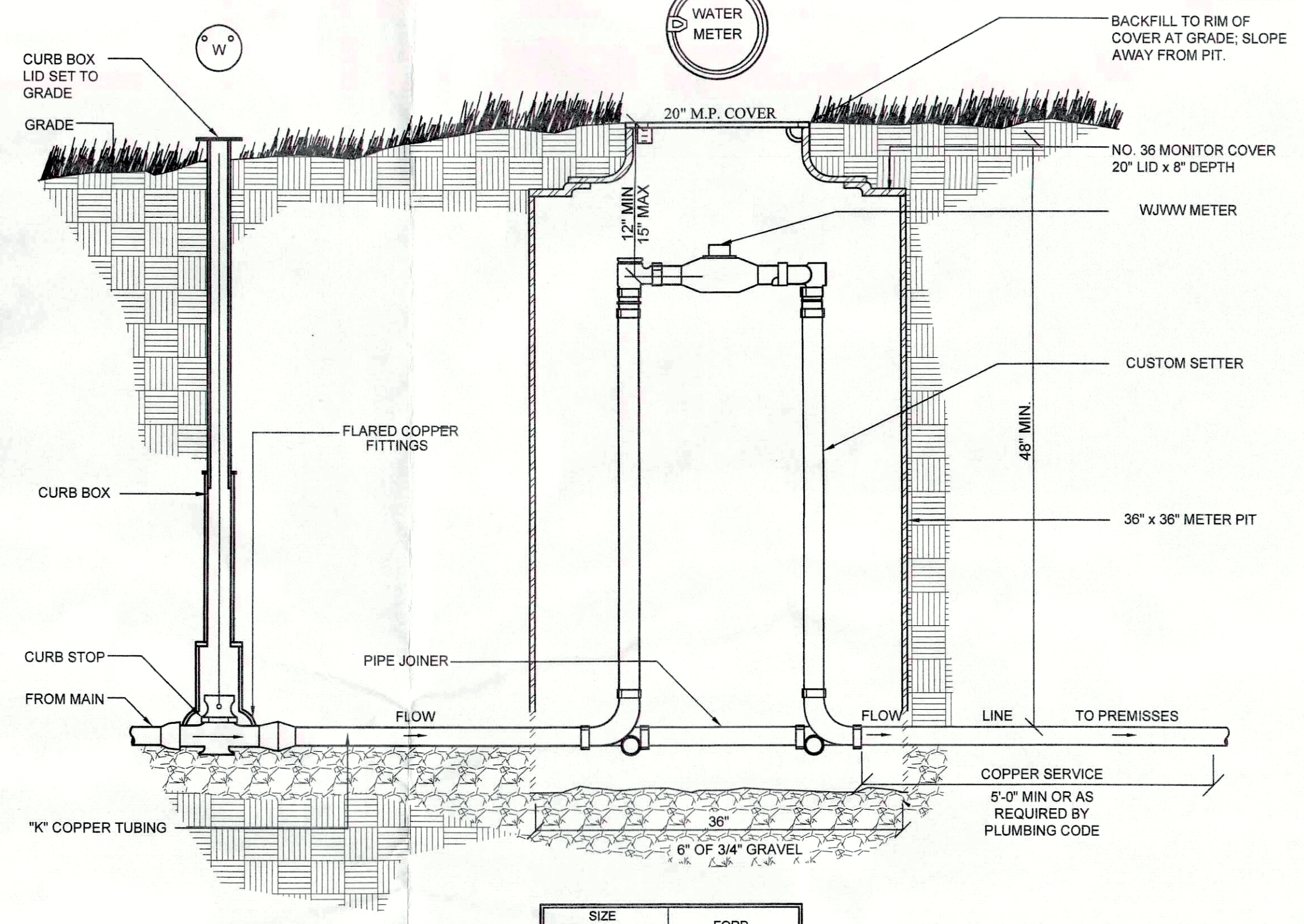
S-5

CLEANOUT ASSEMBLY DETAIL  
NOT TO SCALE

- NOTES:
- 1. ALL CLEAN-OUT FRAMES AND COVERS SHALL BE MADE IN THE U.S.A., HEAVY DUTY, SUITABLE FOR TRAFFIC LOADING WITH A MACHINED MATING SURFACE FOR A TIGHT NON-ROCKING FIT.
  - 2. CLEAN-OUT COVERS SHALL CONTAIN THE WORD "SEWER" CAST IN RAISED LETTERS.
  - 3. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE COVER PATTERN CLEAN AND FREE OF EXCESS PAVEMENT, MORTAR, AND DIRT THAT MAY HINDER REMOVAL OR OBSCURE THE LETTERING UNTIL THE MUNICIPALITY HAS ACCEPTED THE SEWER.

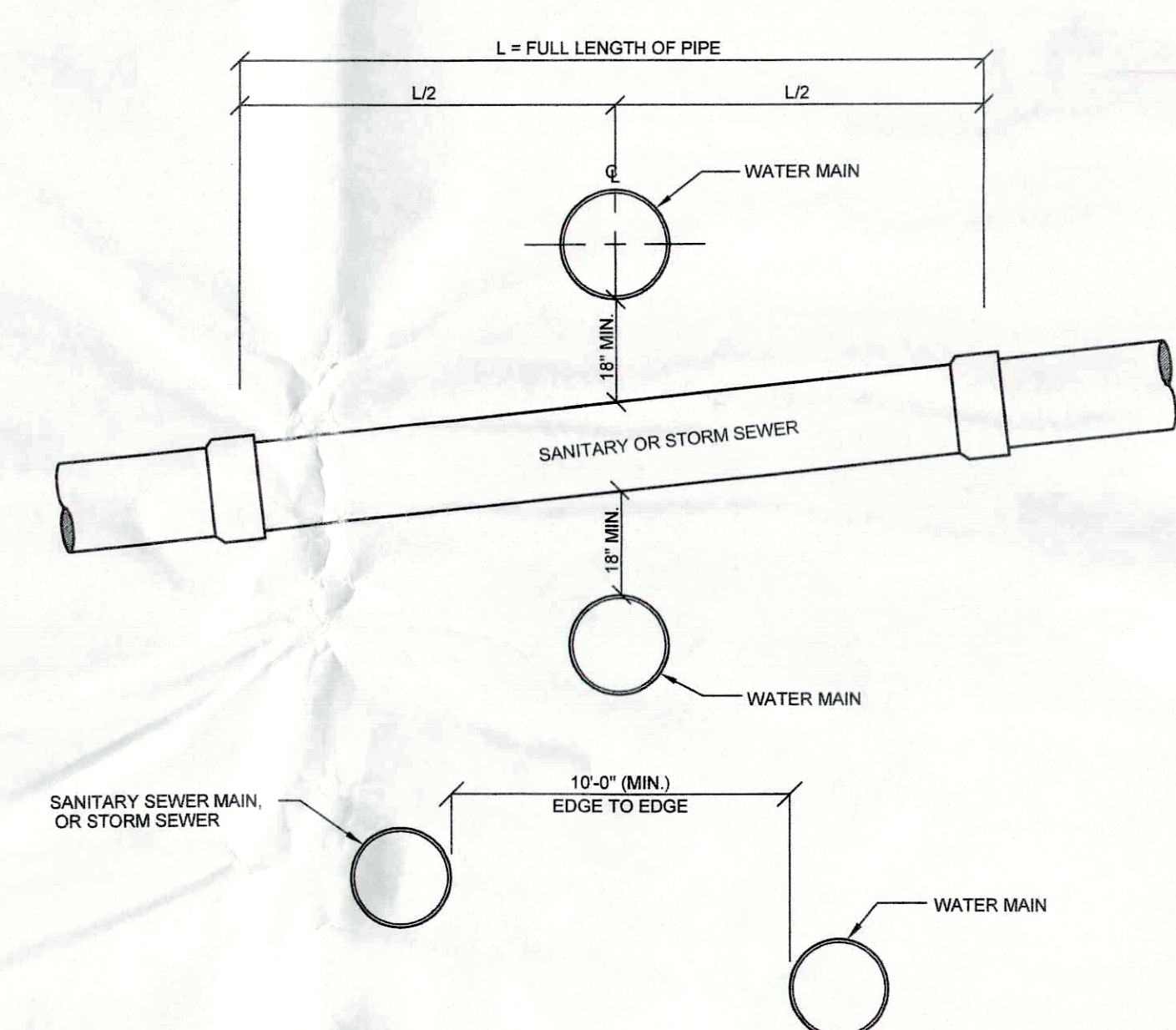
W-1

HOUSE WATER SERVICE CONNECTION DETAIL  
NOT TO SCALE



- GENERAL NOTES:
- 1. CURB STOP AND BOX SHALL BE LOCATED BETWEEN CURB AND SIDEWALK. WHERE THERE ARE NO SIDEWALKS, CURB STOP AND BOX SHALL BE LOCATED BETWEEN CURB AND PROPERTY LINE. WHERE THERE ARE NO CURBS, CURB STOP AND BOX SHALL BE LOCATED BETWEEN EDGE OF PAVEMENT AND PROPERTY LINE.
  - 2. CURB STOP AND BOX SHOULD NOT BE LOCATED IN A PAVED DRIVEWAY OR PARKING AREA.
  - 3. SERVICE LINE SHALL BE OF TYPE K COPPER WHERE SHOWN. SIZE SHALL BE SAME AS METER SIZE.
  - 4. METER PIT SHALL BE LOCATED BETWEEN THE CURB STOP AND BOX AND THE PROPERTY LINE. WHERE THERE ARE NO SIDEWALKS, METER PIT SHALL BE LOCATED BETWEEN THE SIDEWALK AND THE PROPERTY LINE. METER PIT SHALL NOT BE INSTALLED IN DRIVEWAYS, PARKING LOTS OR IN ANY OTHER AREAS WHERE IT COULD BE SUBJECTED TO TRAFFIC LOADING. WHERE A METER PIT MUST BE LOCATED IN A PAVED AREA, WATER WORKS APPROVAL OF THE LOCATION MUST BE OBTAINED AND PROTECTIVE MEASURES SHALL BE TAKEN TO PREVENT PARKING AND TRAVELING OF VEHICLES OVER THE PIT.
  - 5. METER PIT SHALL NOT BE CUT DOWN IN SIZE.
  - 6. METER PIT COVER AND SETTER ARE THE PROPERTY OF THE CUSTOMER, WHO SHALL MAINTAIN SAME IN SATISFACTORY CONDITION AS REQUIRED BY THE WATER WORKS.

- REGULATIONS REGARDING METER ACCESS AND PROTECTION:
- 1. CUSTOMER IS RESPONSIBLE FOR PROTECTION OF METER, AND WILL BE BILLED ALL COSTS RELATING TO DAMAGE OF THE METER CAUSED BY FREEZING, BACKFLOW OF HOT WATER OR OTHER PHYSICAL ABUSE.
  - 2. CUSTOMER IS RESPONSIBLE FOR KEEPING PIT IN A DRY, SAFE AND SANITARY CONDITION, TO GRADE AND ACCESSIBLE AT ALL TIMES TO THE WATER WORKS. NO FENCE OR ENCLOSURE SHALL BE BUILT AROUND METER PIT THAT WOULD IMPEDE ACCESS TO PIT BY WATER WORKS.
  - 3. CUSTOMER SHALL NOT REMOVE OR TAMPER WITH METER NOR SHALL HE REMOVE, DAMAGE OR DEFACE ANY SEALS PLACED ON METERS OR VALVES BY WATER WORKS.
  - 4. THE WATER WORKS MAY TERMINATE SERVICE WHERE COMPLIANCE WITH ACCESS REQUIREMENTS IS NOT OBTAINED OR WHERE TAMPERING WITH THE METER AND/OR SEALS, OR REPEATED DAMAGE TO THE METER FOR ANY REASON HAS OCCURRED.



W-3

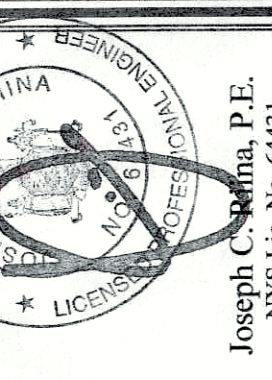
WATERMAIN CROSSING SEPARATION DETAIL  
NOT TO SCALE

- NOTES:
- 1. ANY DEVIATION FROM THE REQUIRED MINIMUM SEPARATIONS SHALL BE SUBJECT TO A REVIEW AND APPROVAL BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH PRIOR TO CONSTRUCTION.
  - 2. WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER OR DRAIN LINES. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET, A WATER MAIN MAY BE LAID CLOSER THAN TEN FEET TO A SEWER IF (1) IT IS LAID IN A SEPARATE TRENCH OR (2) IT IS LAID IN THE SAME TRENCH WITH THE WATER MAIN LOCATED AT ONE SIDE OR A BENCH OF UNDISTURBED EARTH AND IF IN EITHER CASE THE ELEVATION OF THE CROWN OF THE SEWER OR DRAIN IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN.
  - 3. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL SEPARATION, AS STIPULATED ABOVE, THE SEWER OR DRAIN SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO THE STANDARDS FOR THE WATER MAIN AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
  - 4. NORMAL CONDITIONS: WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SEWER OR DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE LOWER PIPE TO THE CROWN OF THE UPPER PIPE.
  - 5. UNUSUAL CONDITIONS: WHEN CONDITIONS PREVENT A VERTICAL SEPARATION OF 18 INCHES, THE SEWER SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO THE WATER MAIN STANDARDS AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
  - 6. WATER MAIN CROSSING OVER SEWERS:  
A. VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.  
B. ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.  
C. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING. NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.  
D. SEWERS MUST BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS AND PRESSURE TESTED.

W-2

METER PIT DETAIL  
NOT TO SCALE

Site Design Consultants  
Civil Engineers & Land Planners  
231-F Lindbergh Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.SiteDesignConsultants.com



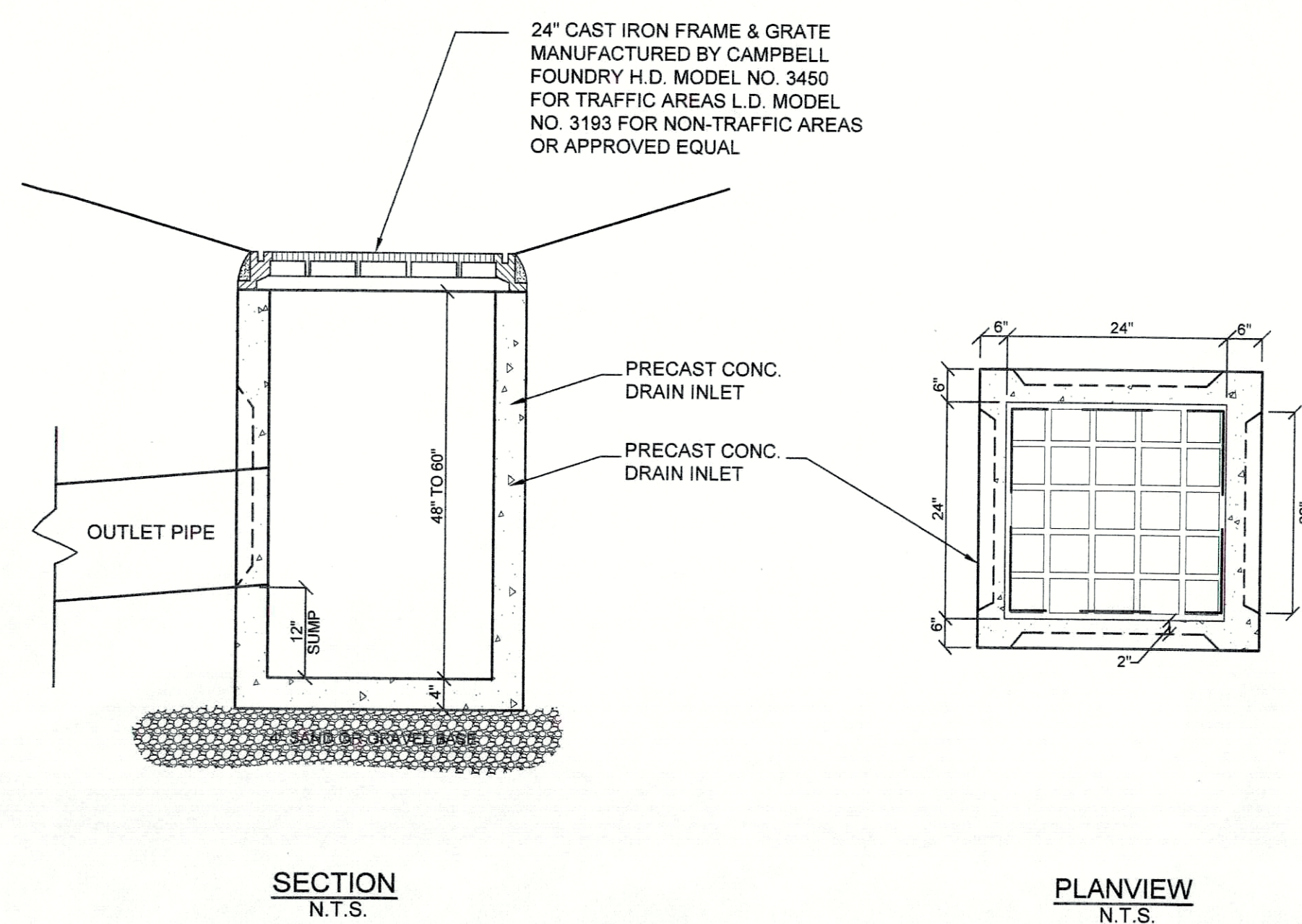
Revision No.	Date	Comments

SCALE	DATE	BY	DATE
1" = 30'	JAN	JCM	5/20/06

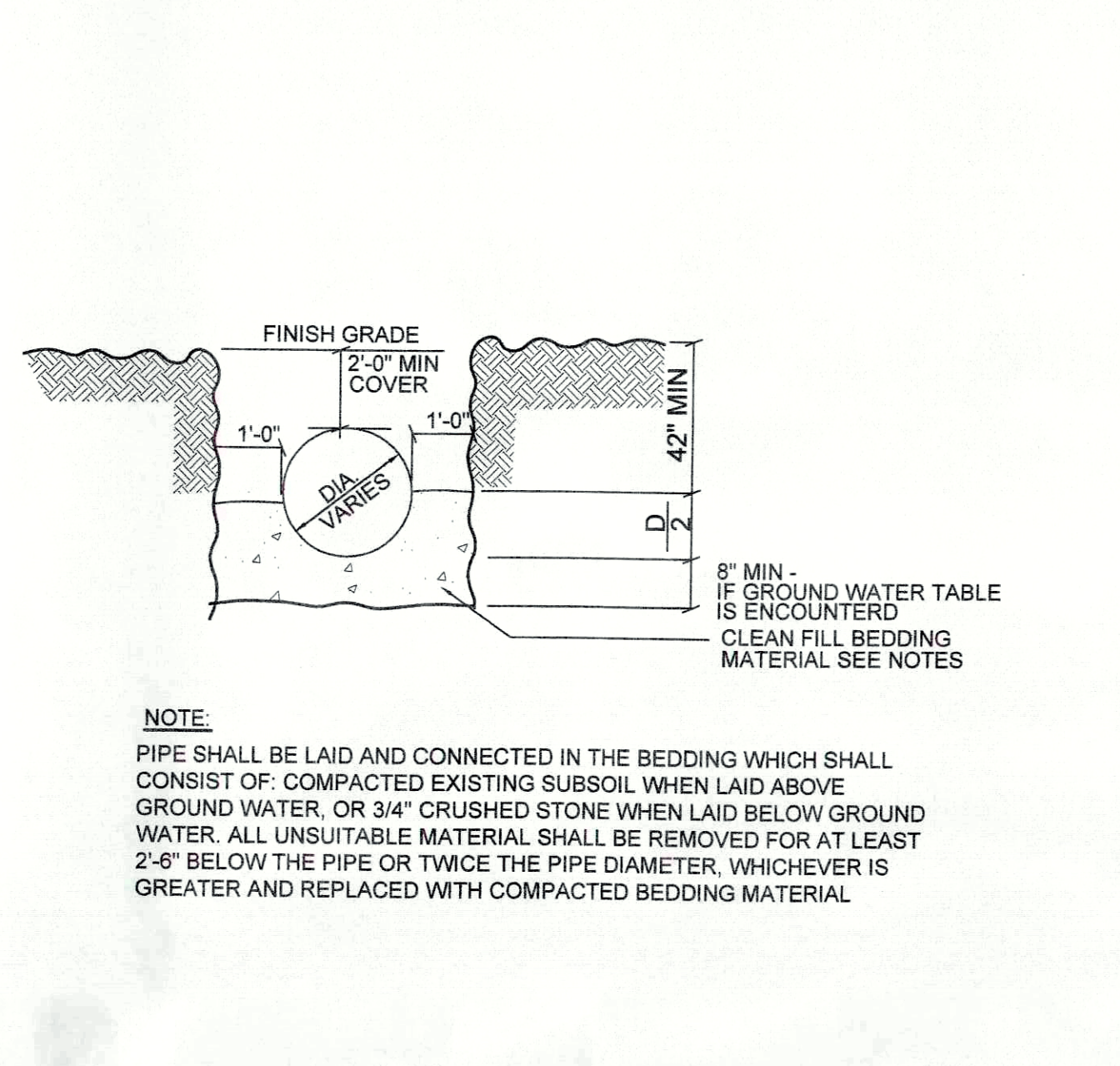
STORMWATER, SEWER, AND WATER DETAILS

PROPOSED SUBDIVISION PREPARED FOR  
**Anthony C. Martinez**  
Westchester Co., New York

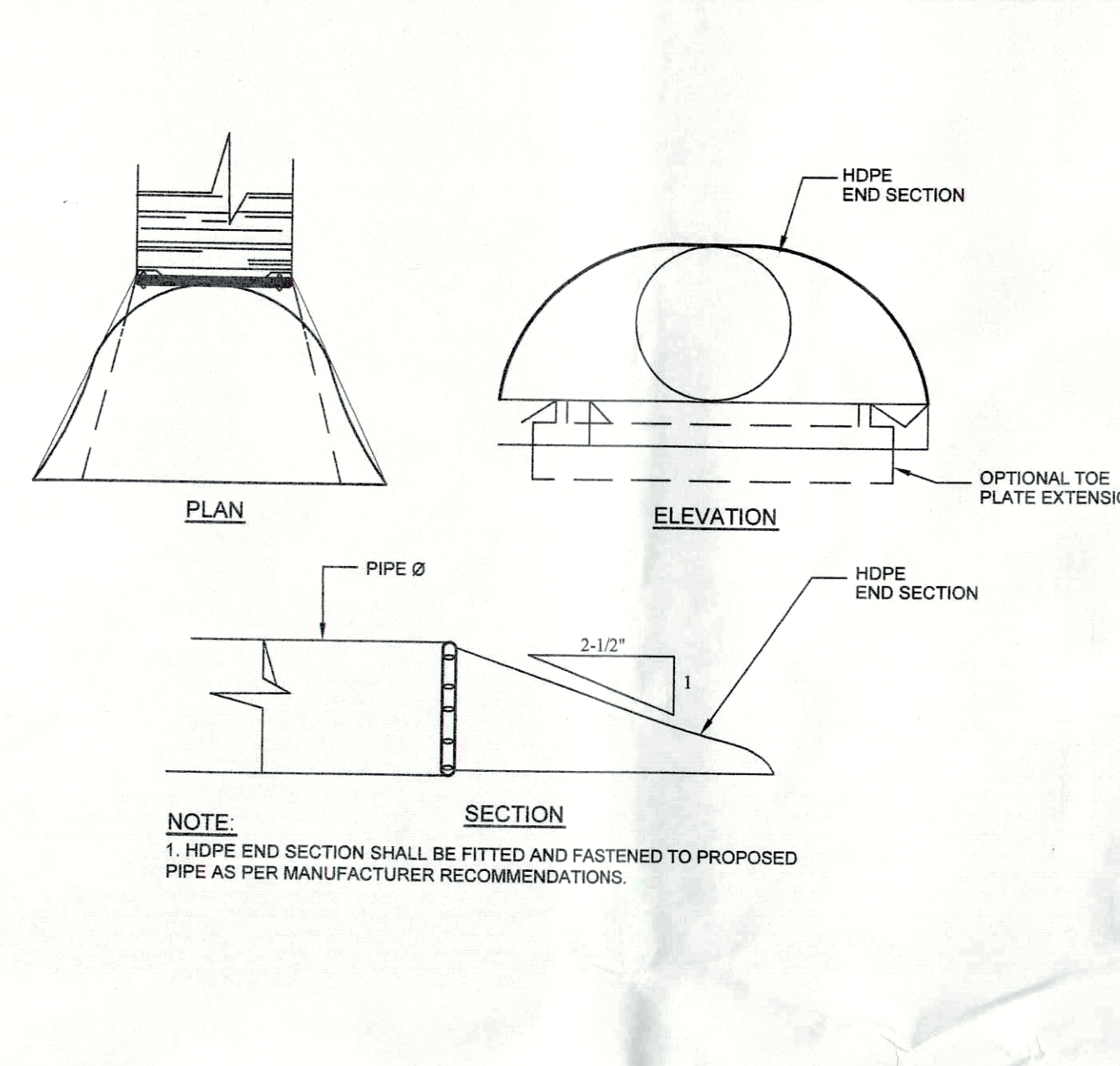




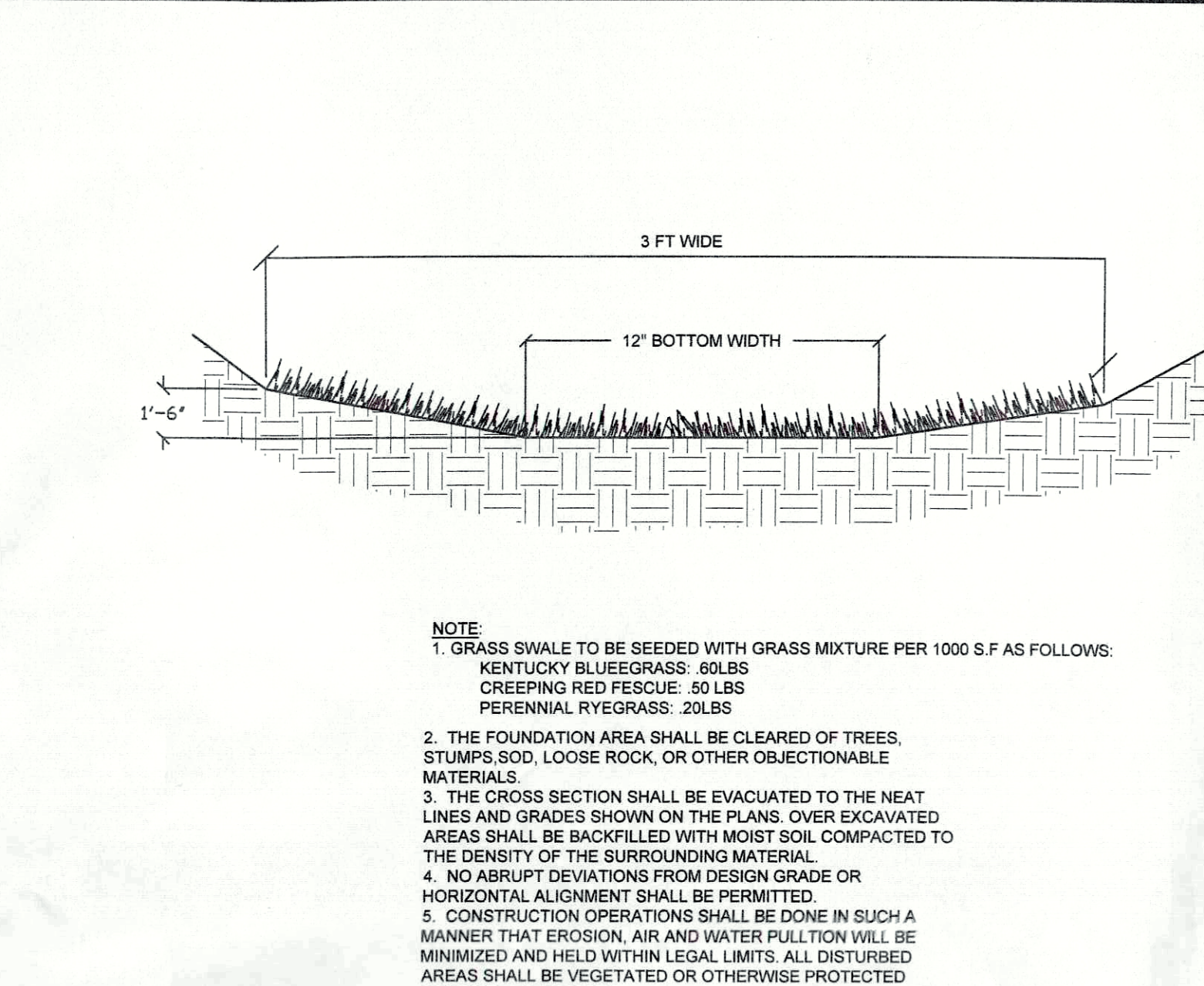
**D-1** PRECAST CONCRETE DRAIN INLET  
NOT TO SCALE



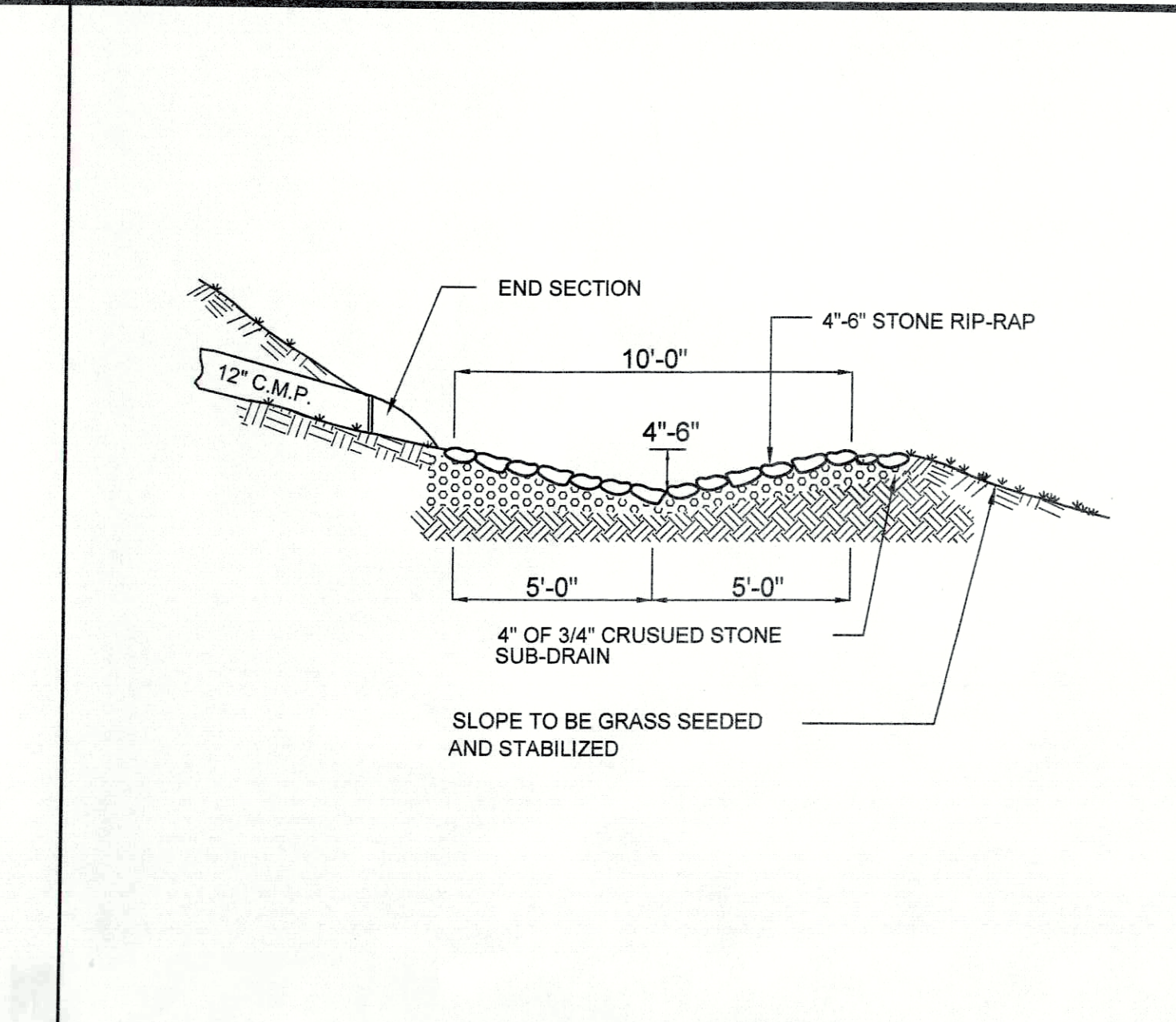
**D-2** STORM PIPE BEDDING DETAIL  
NOT TO SCALE



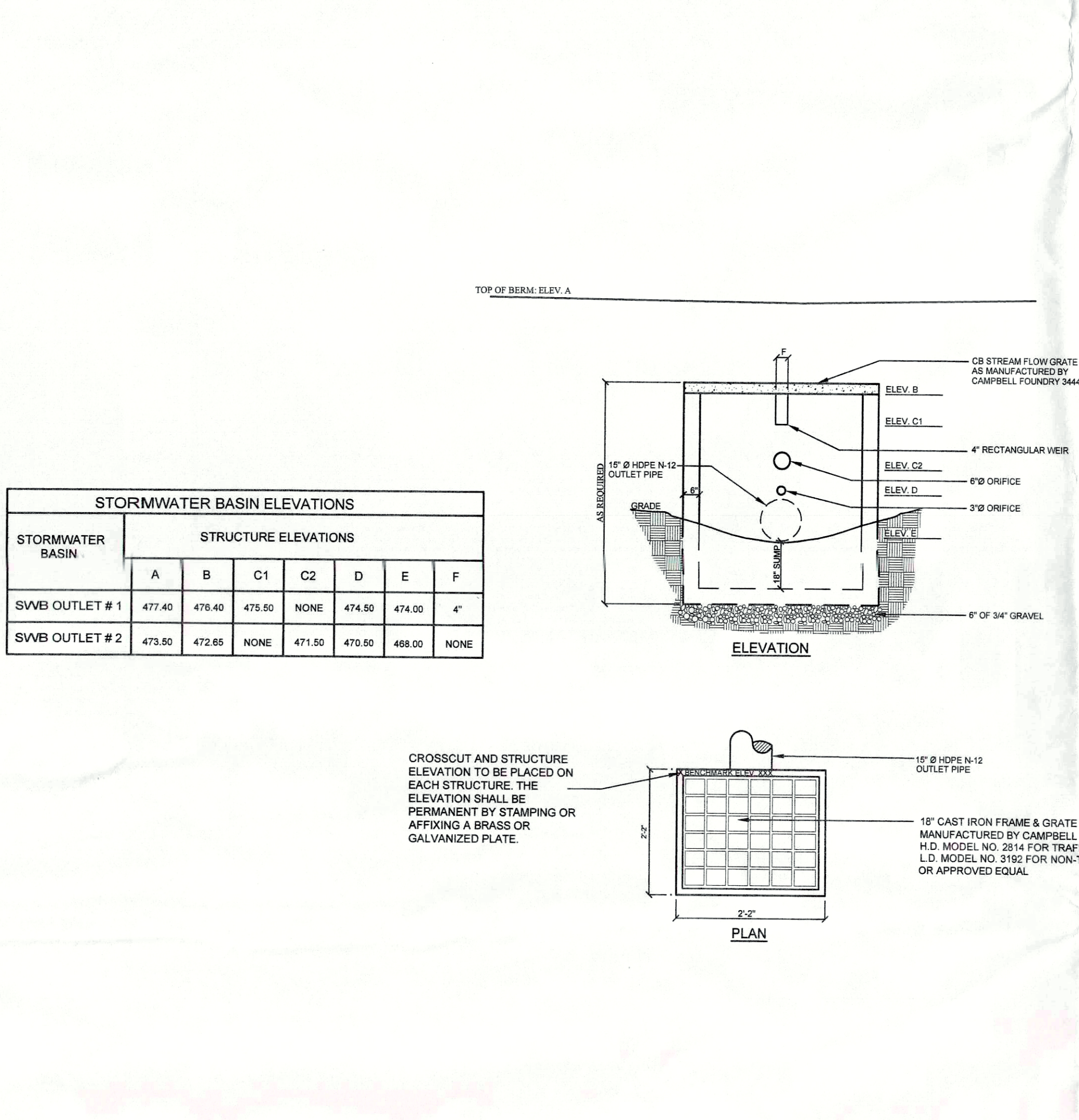
**D-3** END SECTION DETAIL  
NOT TO SCALE



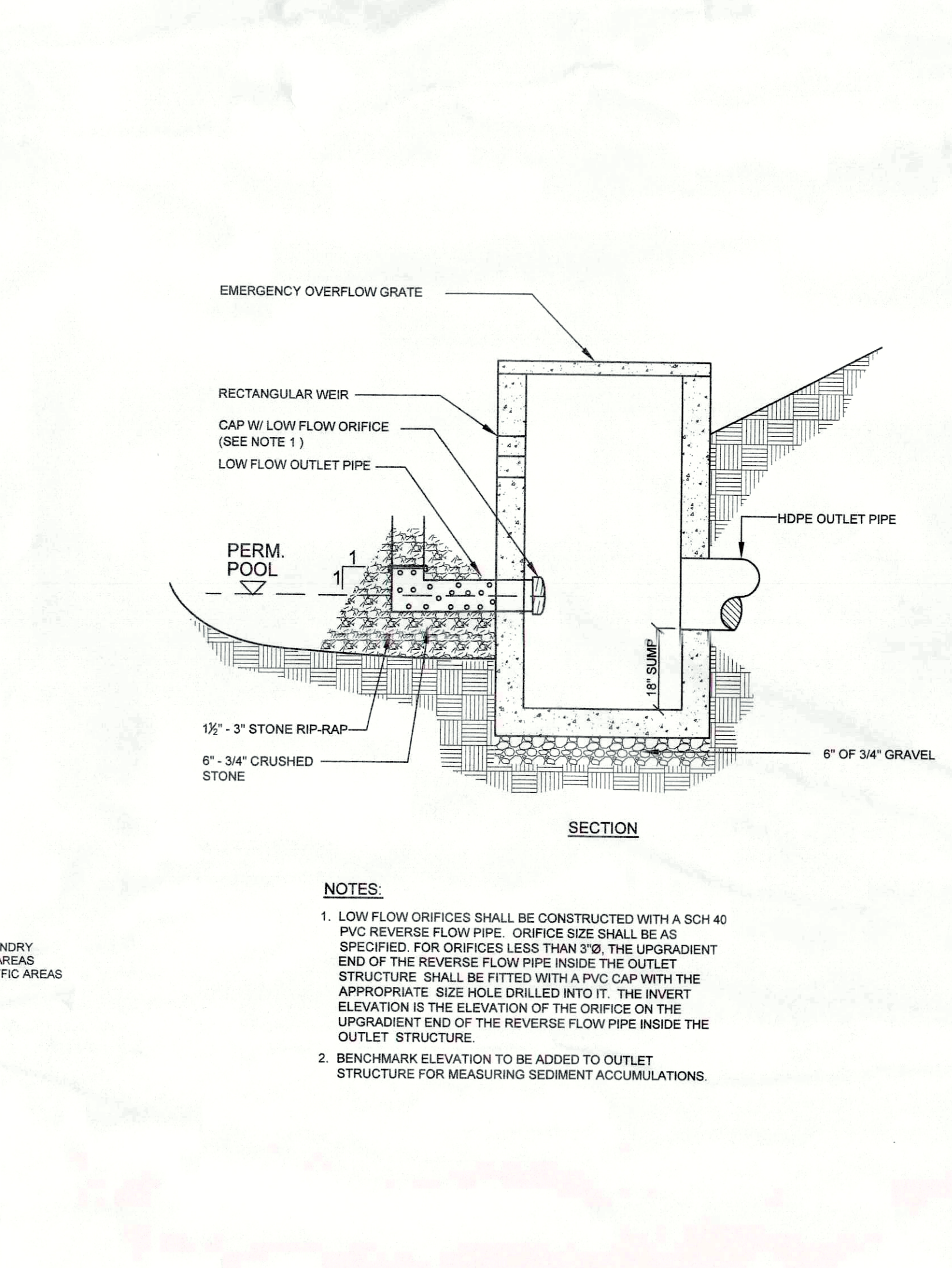
**D-4** GRASS SWALE DETAIL  
NOT TO SCALE



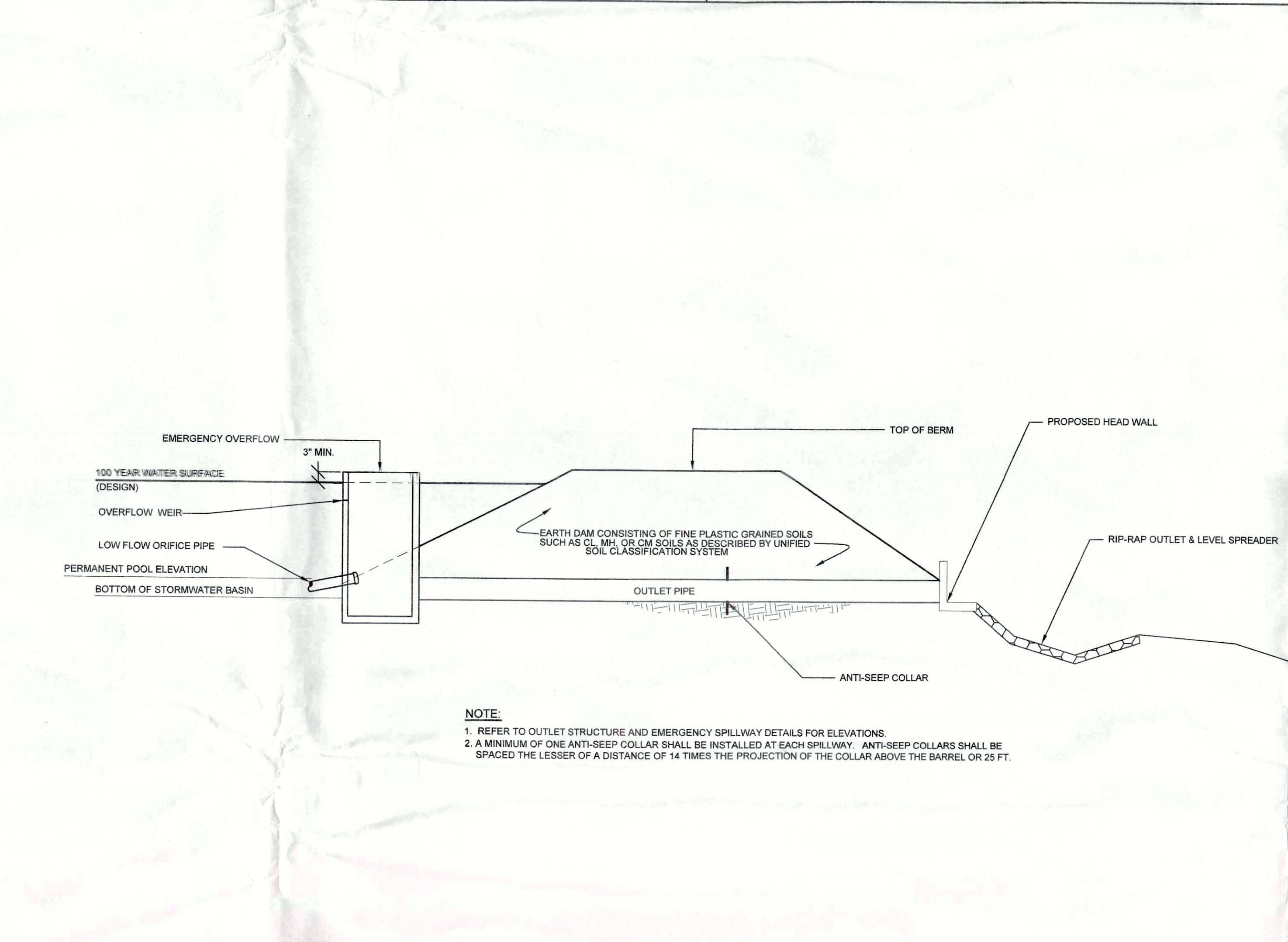
**D-5** STONE RIP RAP LEVEL LIP SPREADER  
NOT TO SCALE



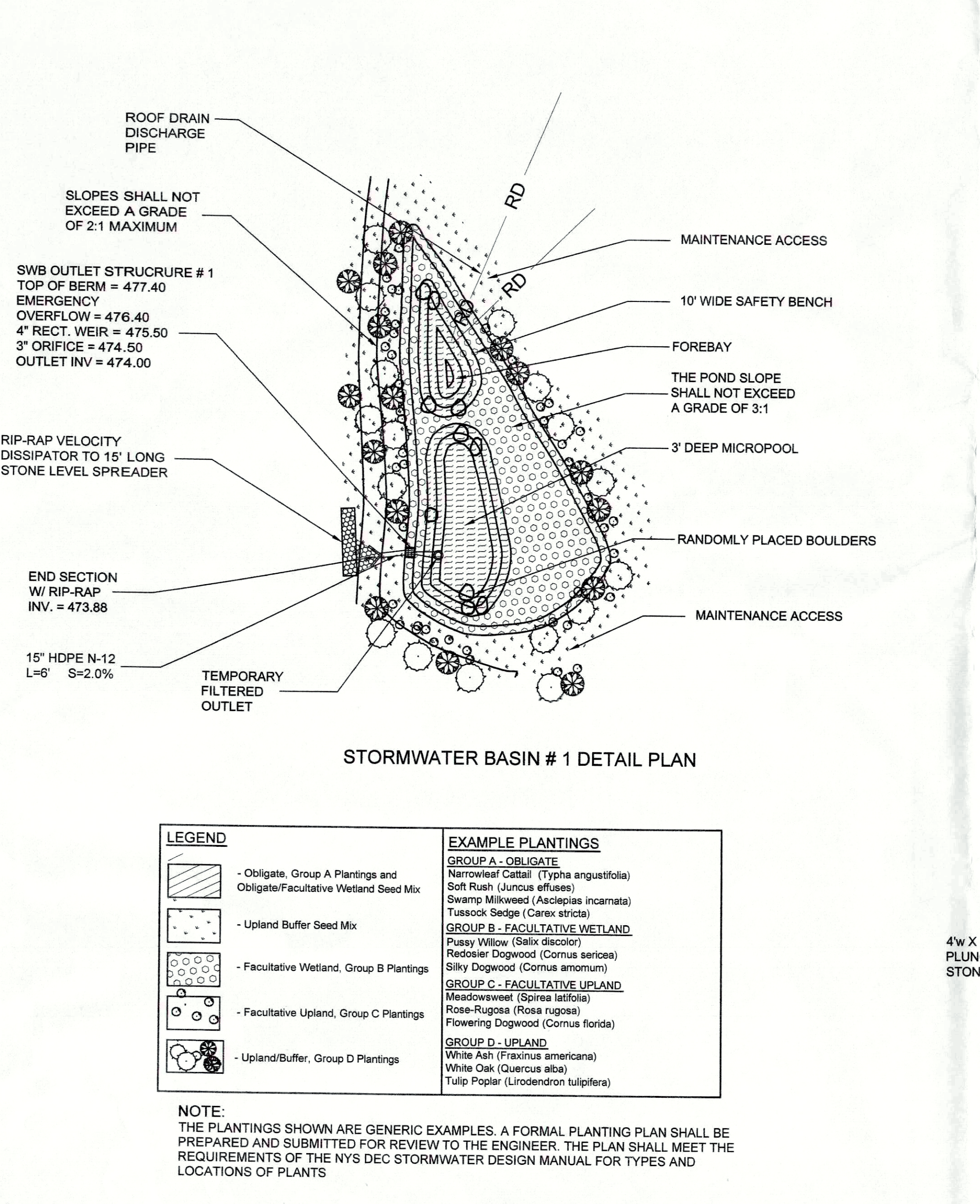
**SW-1** STORMWATER BASIN OUTLET STRUCTURE DETAIL  
NOT TO SCALE



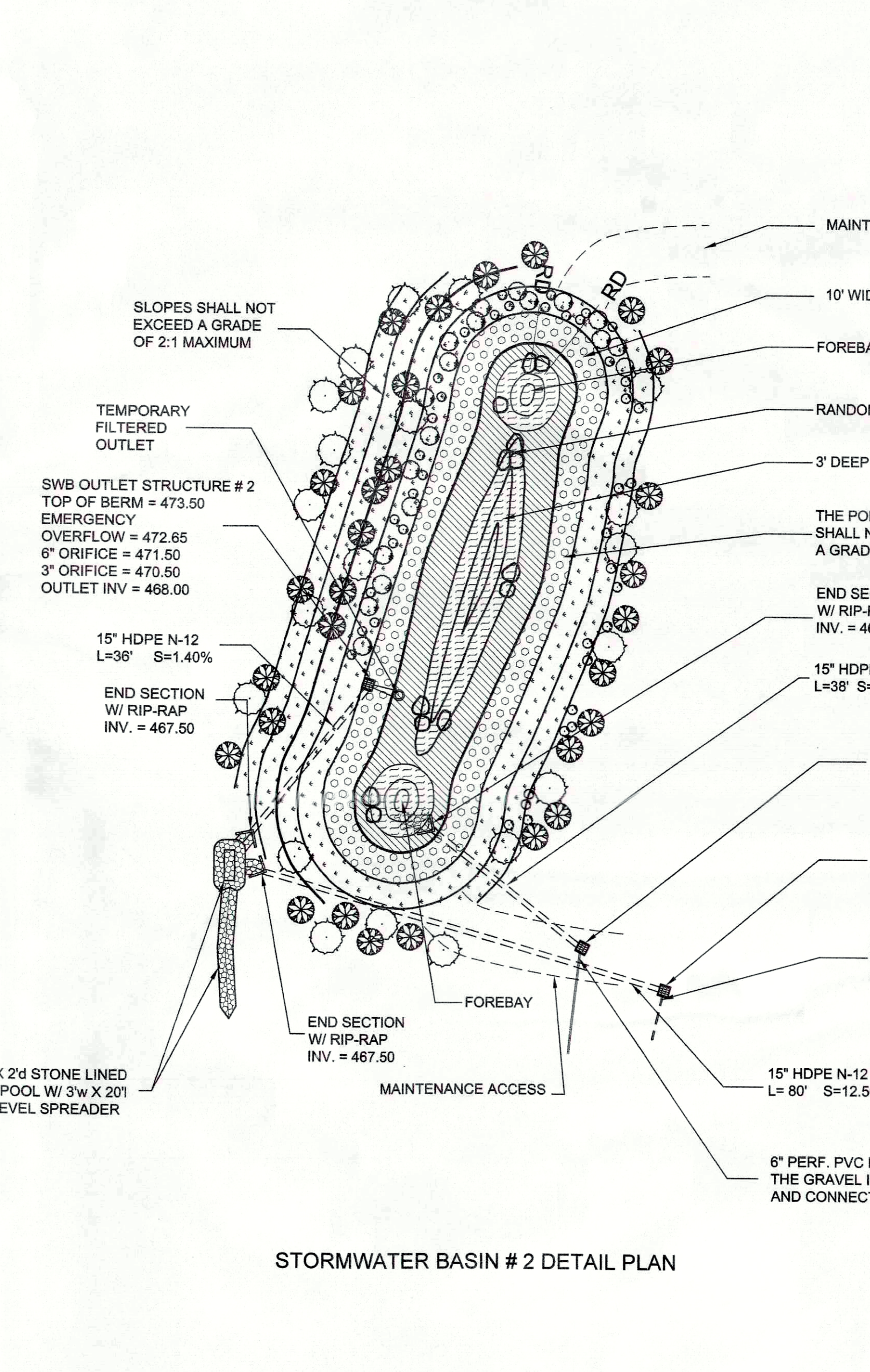
**SW-2** STORMWATER BASIN TYPICAL OUTLET PROFILE DETAIL  
NOT TO SCALE



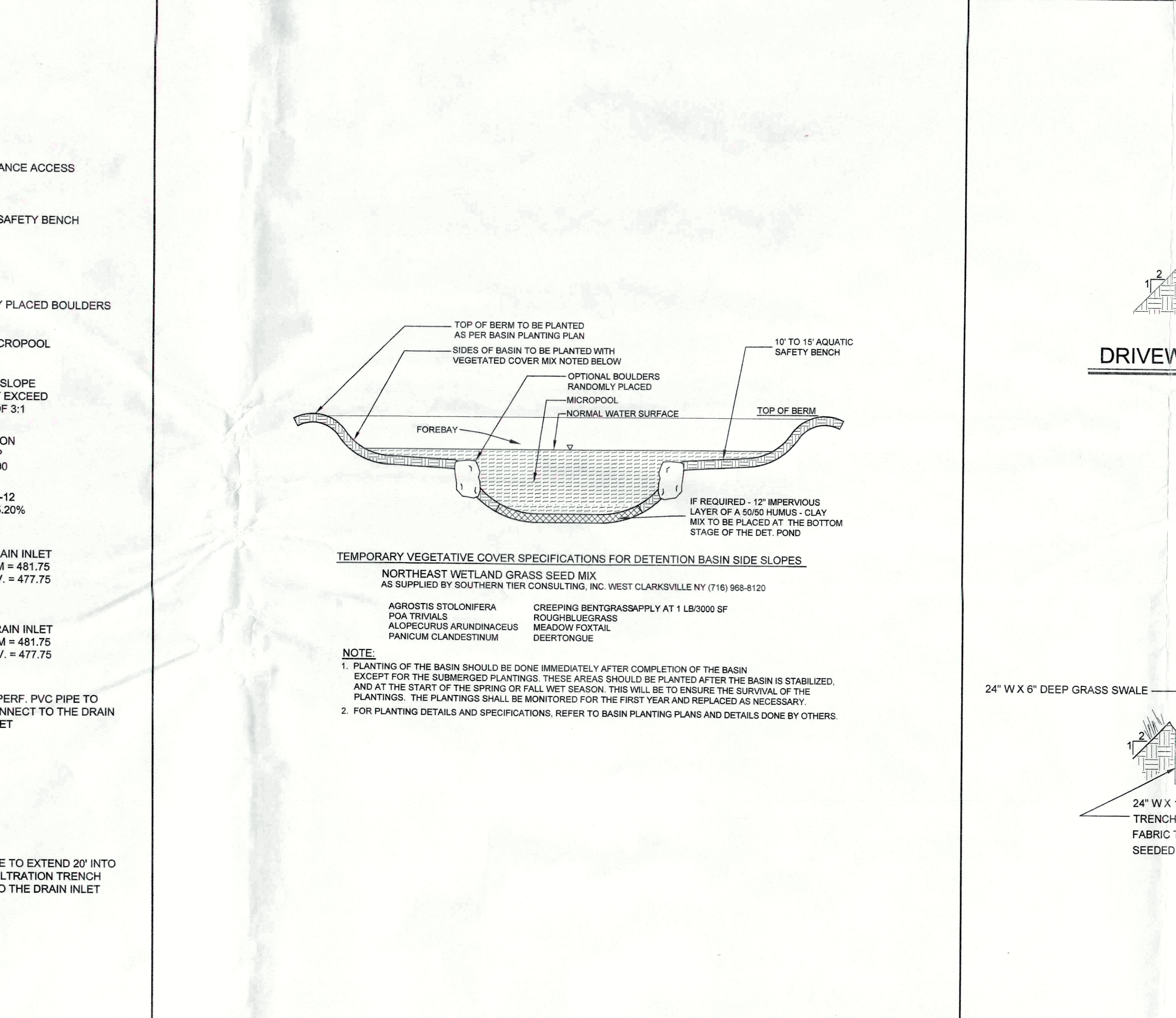
**SW-3** END SECTION W/PLUNGE POOL DETAIL  
NOT TO SCALE



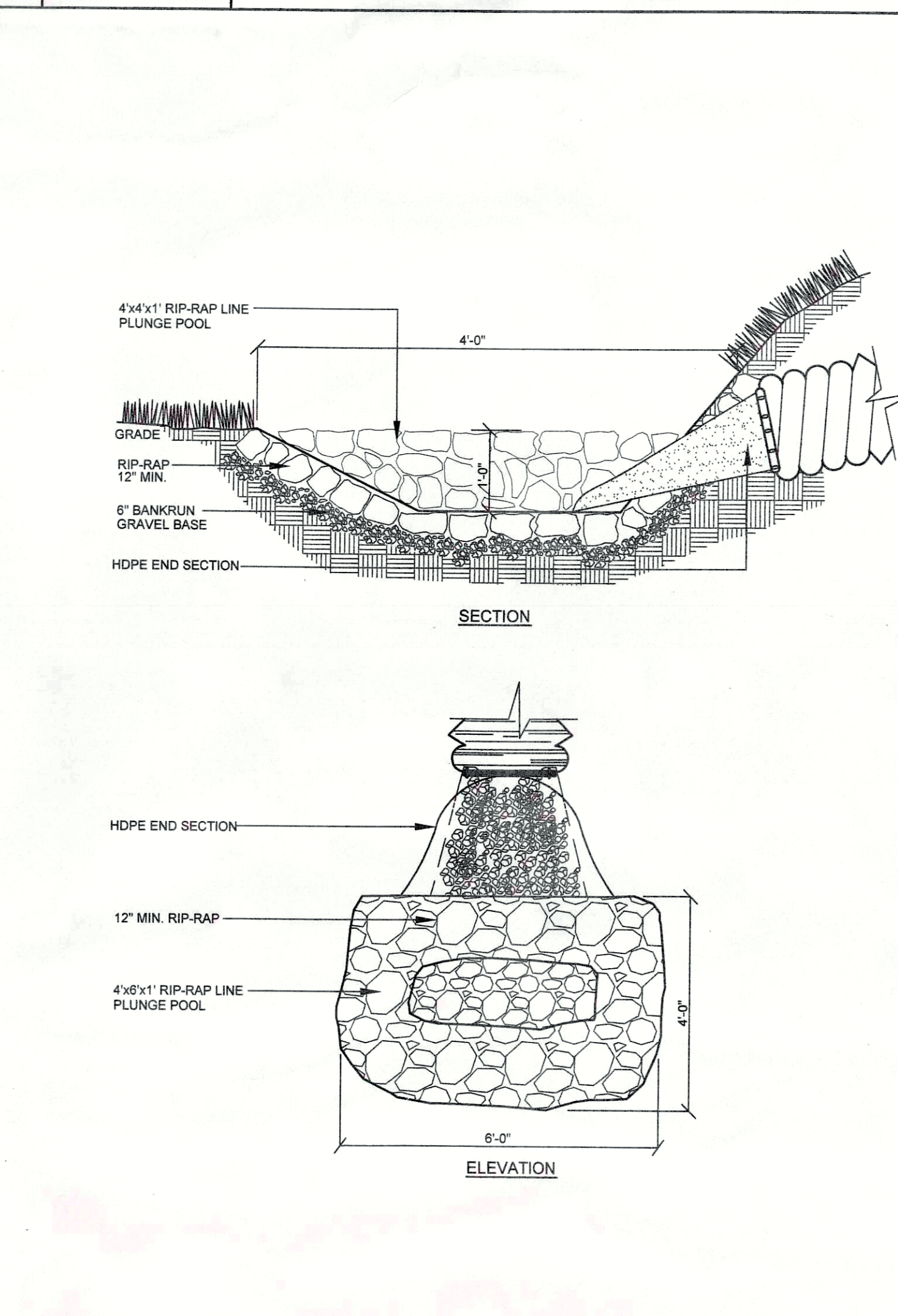
**SW-4** STORMWATER BASIN DETAIL PLAN  
NOT TO SCALE



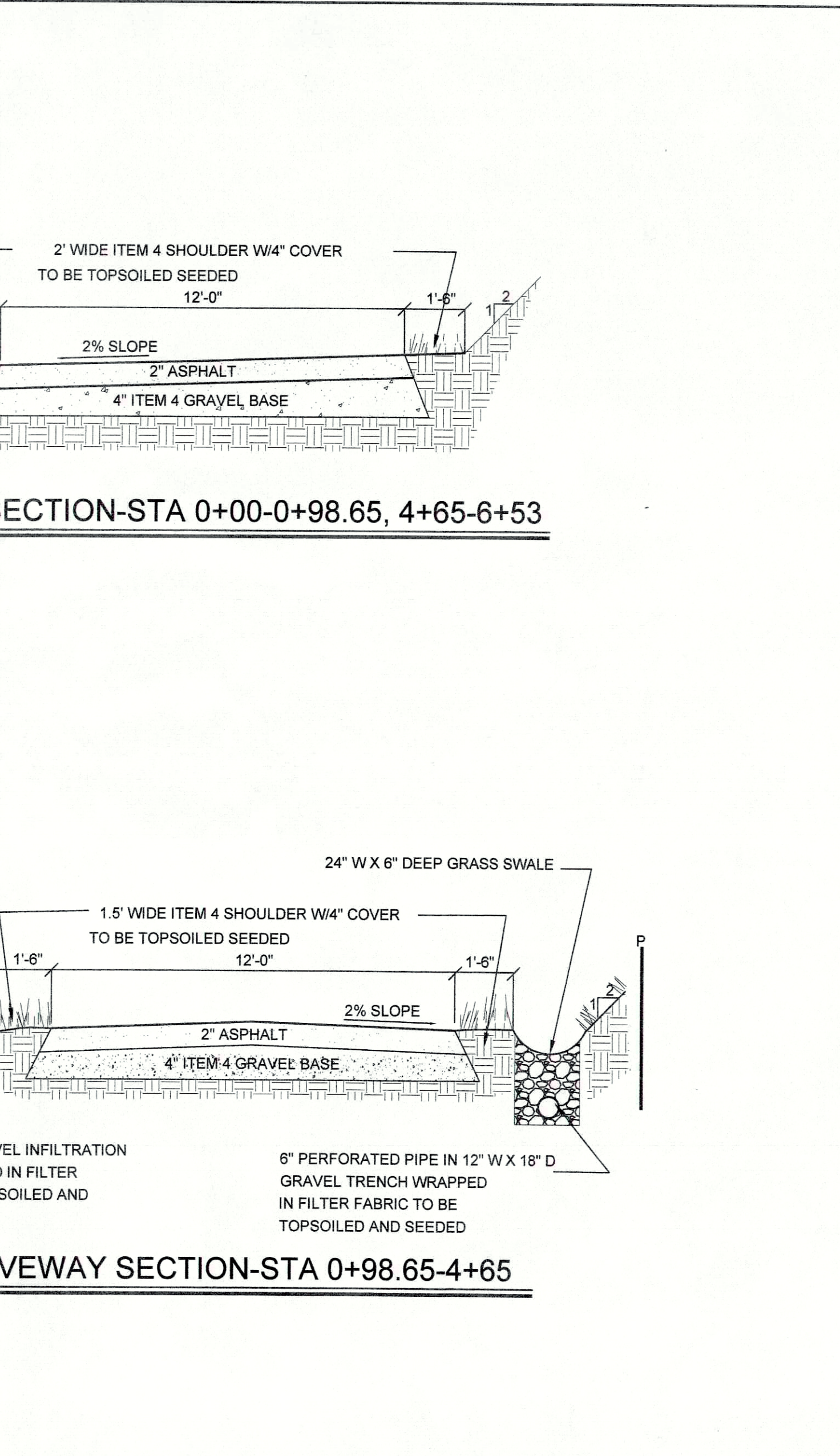
**SW-5** TYPICAL STORMWATER BASIN SECTION  
NOT TO SCALE



**R-1** TYPICAL DRIVEWAY SECTIONS  
NOT TO SCALE



**SW-4** STORMWATER BASIN DETAIL PLAN  
NOT TO SCALE



**R-1** TYPICAL DRIVEWAY SECTIONS  
NOT TO SCALE

Revisions:	No.	Date	Comments
1.			
2.			
3.			
4.			



**Shrub Oak  
International  
School**



April 13, 2022

Mr. Richard Fon, Chairman  
and Members of the Planning Board  
Yorktown Community and Cultural Center (YCCC)  
1974 Commerce Street, Room 222  
Yorktown Heights, New York 10598

RECEIVED  
PLANNING DEPARTMENT  
APR 13 2022  
TOWN OF YORKTOWN

Re: Shrub Oak International School  
3151 Stony Street  
Section 26.05, Block 1, Lot 4

Dear Chairman Fon and Members of the Planning Board:

On behalf of the Shrub Oak International School (School), we are pleased to submit the following evaluation of the site conditions for a secondary driveway connection to Stony Street for use by the School and Granite Knolls Sports & Recreation Complex - Park (Park). The proposed Site Plan as submitted anticipates improvements to be made to the School's internal driveways together with improvements to be made to the Park's northern driveway to allow for a shared emergency access through their respective properties.

As shown on the 2018 Approved Site Plan, Figure 1, secondary access driveways for the School and the Park were provided, with both driveways sharing a single access connection to Stony Street. As requested by the Planning Board, a preliminary driveway profile and grading plan was prepared for these driveways and is shown on Figure 2. Both driveways together will result in a total excavation of 46,700 cubic yards with a net excess of material of approximately 44,700 cubic yards not including additional material to be removed for the construction of the stormwater basins. The preliminary driveway designs are as follows.

School Driveway

Driveway Length	890 ft
Maximum Slope	9.49%
Maximum Depth of Cut	30 ft



We look forward to discussing the secondary driveway options with the Board at the April 25, 2022, work session.

Very truly yours,

DIVNEY TUNG SCHWALBE, LLP

*Gerhard Schwalbe*

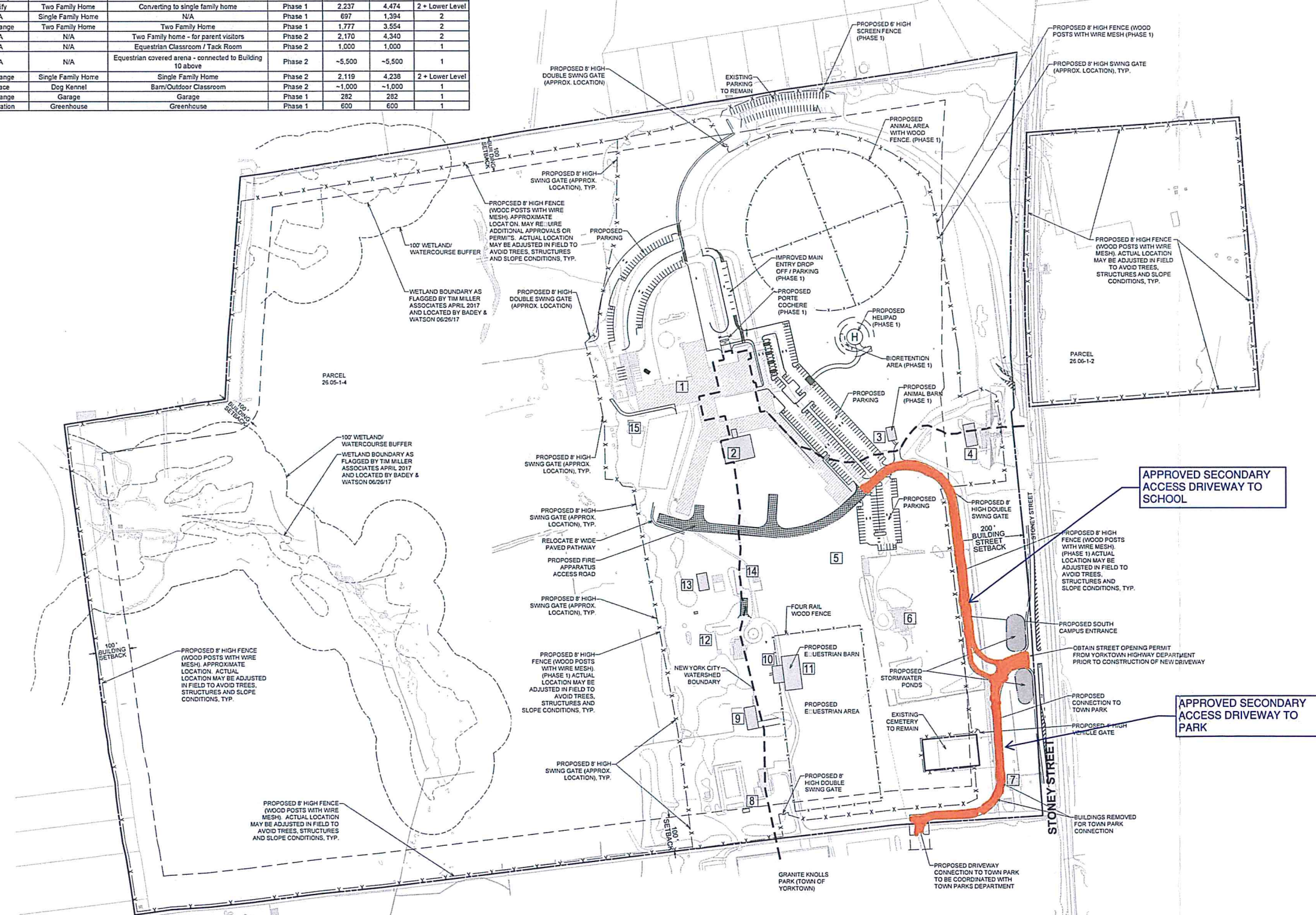
Gerhard M. Schwalbe, PE  
Partner

Enclosures

cc: Brian Koffler  
David Steinmetz, Esq.  
Erik Kaeyer, AIA  
Donna Maiello, PLA  
Carlito Holt, PE



SUMMARY OF EXISTING AND PROPOSED CAMPUS BUILDINGS								
BUILDING KEY	STRUCTURE STATUS	DISPOSITION	EXISTING OR PREVIOUS USE	PROPOSED USE	PROJECT PHASE	STRUCTURE FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	NUMBER OF STORIES
1	Existing	No Change	Unoccupied School	School/Dorms/Offices	Phase 1	84,143	281,405	5 + Lower Level
2	Proposed	N/A	N/A	Indoor Pcd Building - connected to Building 1	Phase 2	4,800	4,800	1
3	Proposed	N/A	N/A	Barn for farm animals	Phase 1	1,000	1,000	1
4	Existing	Replace	House (Unhabitable)	Teardown and rebuild as two family home for parent visitors	Phase 2	2,170	4,340	2
5	Existing	No Change	House	House	Phase 1	953	1,906	2
6	Existing	Modify	Two Family Home	Converting to single family home	Phase 1	2,237	4,474	2 + Lower Level
7	Demolished	N/A	Single Family Home	N/A	Phase 1	697	1,394	2
8	Existing	No Change	Two Family Home	Two Family Home	Phase 1	1,777	3,554	2
9	Proposed	N/A	N/A	Two Family home - for parent visitors	Phase 2	2,170	4,340	2
10	Proposed	N/A	N/A	Equestrian Classroom / Tack Room	Phase 2	1,000	1,000	1
11	Proposed	N/A	N/A	Equestrian covered arena - connected to Building 10 above	Phase 2	-5,500	-5,500	1
12	Existing	No Change	Single Family Home	Single Family Home	Phase 2	2,119	4,238	2 + Lower Level
13	Demolished	Replace	Dog Kennel	Barn/Outdoor Classroom	Phase 2	-1,000	-1,000	1
14	Existing	No Change	Garage	Garage	Phase 1	282	282	1
15	Existing	Restoration	Greenhouse	Greenhouse	Phase 1	600	600	1



## GRANITE KNOLLS SPORTS AND RECREATION COMPLEX

# FIGURE 1

**SHRUB OAK INTERNATIONAL SCHOOL**  
Town of Yorktown, New York

**OWNER / APPLICANT**  
SHRUB OAK INTERNATIONAL SCHOOL  
3151 Stoney Street  
Shrub Oak, NY 10547

**PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT**

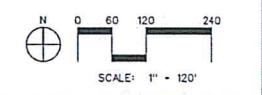
**DIVNEY • TUNG • SCHWABE**  
Intelligent Land Use  
Divney Tung Schwabe, LLP  
One North Broadway  
White Plains, NY 10601  
P: 914 432 0010  
F: 914 423 0017

**ARCHITECT**  
H2M ARCHITECTS + ENGINEERS, D.P.C.  
538 Broad Hollow Road, 4th Floor  
Melville, NY 11747

**ATTORNEY**  
ZARIN & STENMETZ  
81 Main Street, Suite 415  
White Plains, NY 10601

**SURVEYOR**  
BADEY & WATSON SURVEYING & ENGINEERING, P.C.  
3063 Route 9  
Cold Spring, NY 10516

APPROVED  
Resolution Number 18-04  
Date MAY 12, 2018



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WRITTEN DIMENSIONS ON THIS DRAWING SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.  
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NO.	DATE	ISSUE
04/25/18		REVISED PER PLAN AGREEMENTS
04/25/18		REVISED FOR PLANNING BOARD SIGNATURE

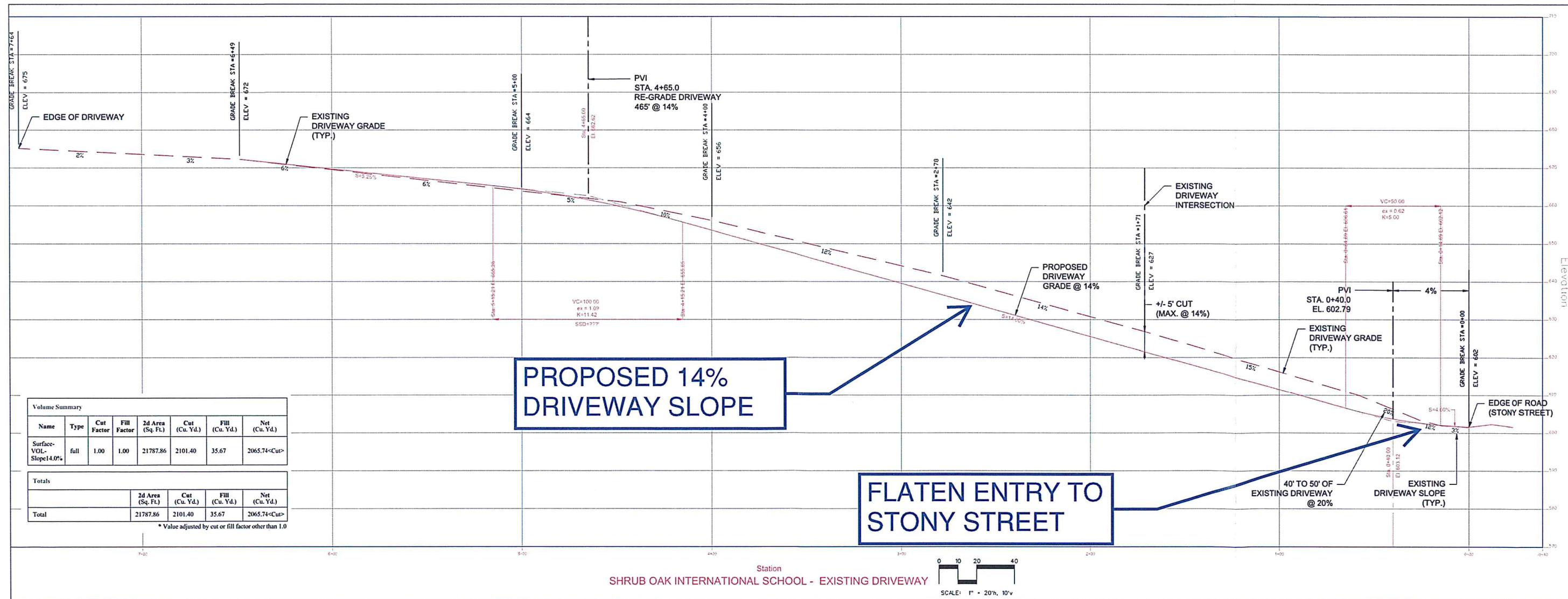
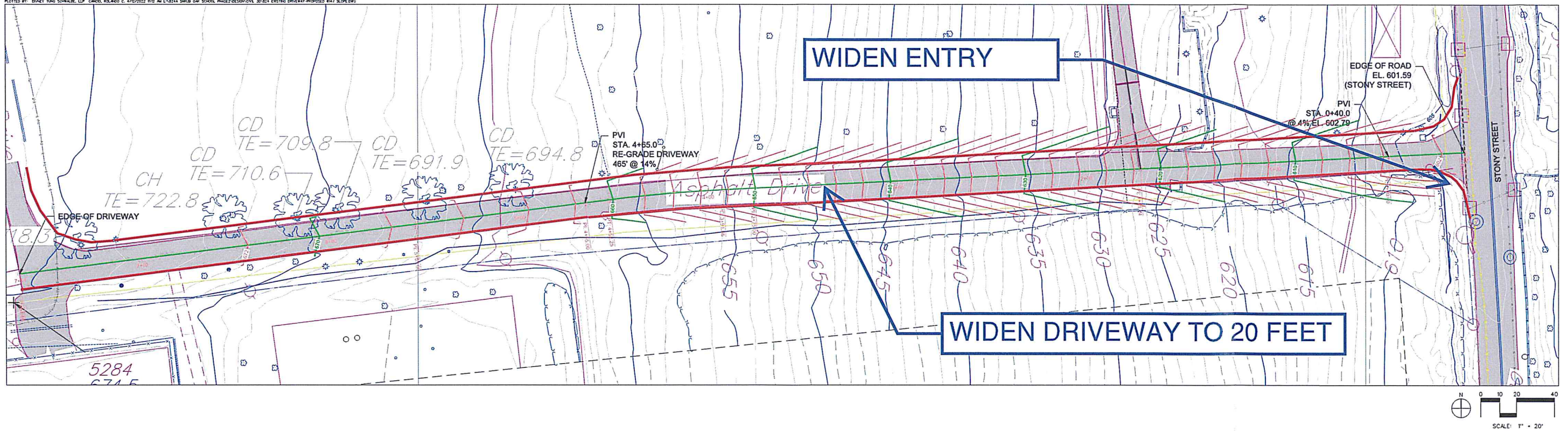
DRAWING TITLE  
**MASTER SITE PLAN**

	DRAWN BY: SBK	DESIGNED BY: CMS
	PROJECT NO: 824	DATE: 04/05/18
	DRAWING NO: <b>SP-0.0</b>	









**FIGURE 3**



# TOWN OF YORKTOWN

## ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

**To:** Planning Department  
**From:** ABACA  
**Date:** April 11, 2022  
**Subject:** Shrub Oak International School – Phasing Plan  
SBL: 26.05-1-4 & 26.06-1-2; 3151 Stony Street

RECEIVED  
PLANNING DEPARTMENT  
APR 11 2022  
TOWN OF YORKTOWN

### Documents Reviewed:

Title:	Date:	Produced By:
DTS Provident Letter Plan Set and Project Phasing Plan Architectural Plans – Natatorium and Barn Structures	03/16/2022 03/16/2022	DTS Provident Design Engineering

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their meeting held on Tuesday, April 5, 2022. Donna Maiello, Landscape Architect; and Erik Kaeyer, Architect were present. The applicant reviewed the overall phasing plan for the approved site plan with the Board.

The ABACA has the following comments:

1. The Board had no concerns with Phase 1 as proposed.
2. The Board appreciates the integration of the solar lighting and additional trees. The Board suggests that the applicant increase the size of the proposed tree plantings to 3.5” minimum.
3. The Board was generally satisfied with the other proposed phases of work which includes additional parking as the facility grows, with some additional site work and structures.
4. The Board requests to review the landscape and lighting plans for the additional parking and site work for future phased improvements.
5. The Board requests that all future proposed structures shown on the master plan be submitted for review and approval.
6. The Board notes the following for the Phase 3 improvements:
  - o **Natatorium** - The applicant explained that the Natatorium is proposed to be located on the west side of the existing building structure. The building materials and color palette were reviewed with the Board. The Board suggests for the applicant to change the stucco color on the side walls that are proposed to be red to match the building brick to a grey or similar color that will complement the anodized aluminum window frames and Kalwall roof.
  - o **Barn** - The Board had no issues with the proposed barn. The applicant explained that the colors and materials were to be determined.

*Christopher Taormina*

Christopher Taormina, RA  
Chairman

/nc

cc: Applicant  
Planning Board







# TOWN OF YORKTOWN

## ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

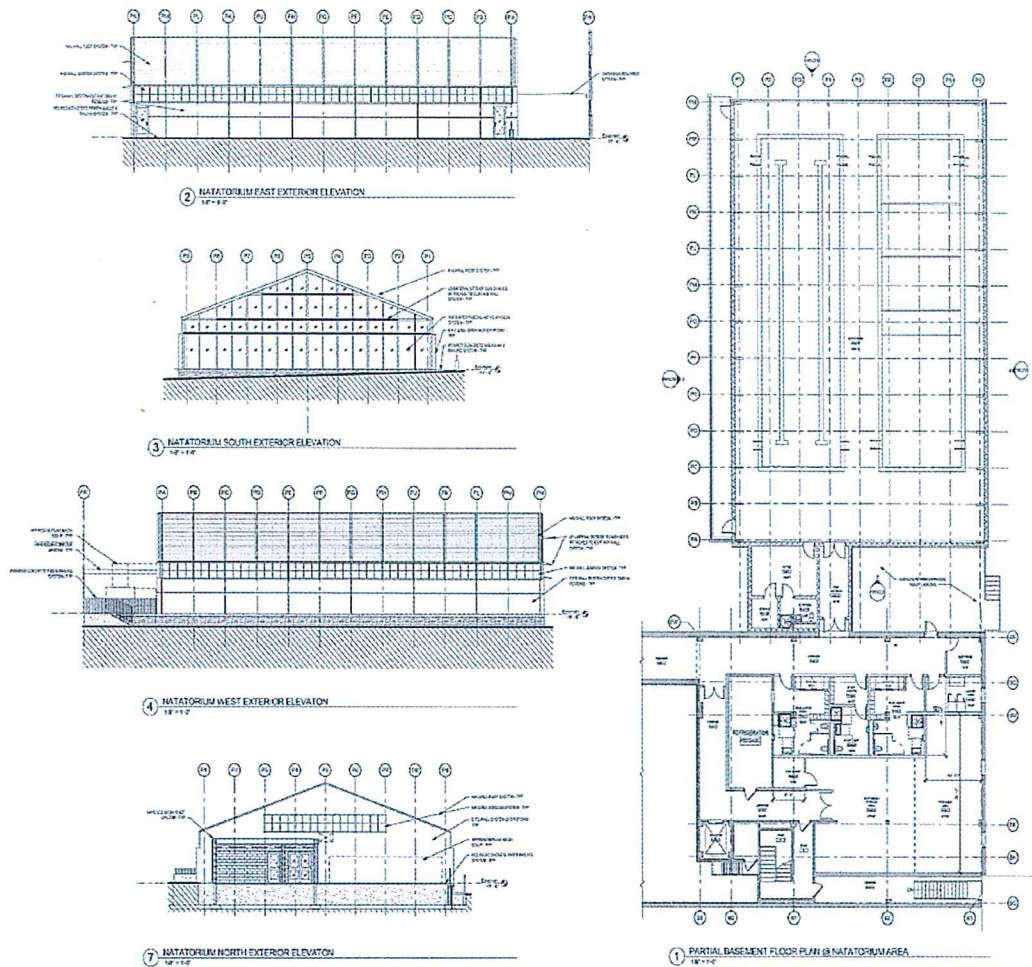
Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Shrub Oak International School

April 11, 2022

Page 3 of 4

### Proposed Natatorium Elevations and Floor Plan





# TOWN OF YORKTOWN

## ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

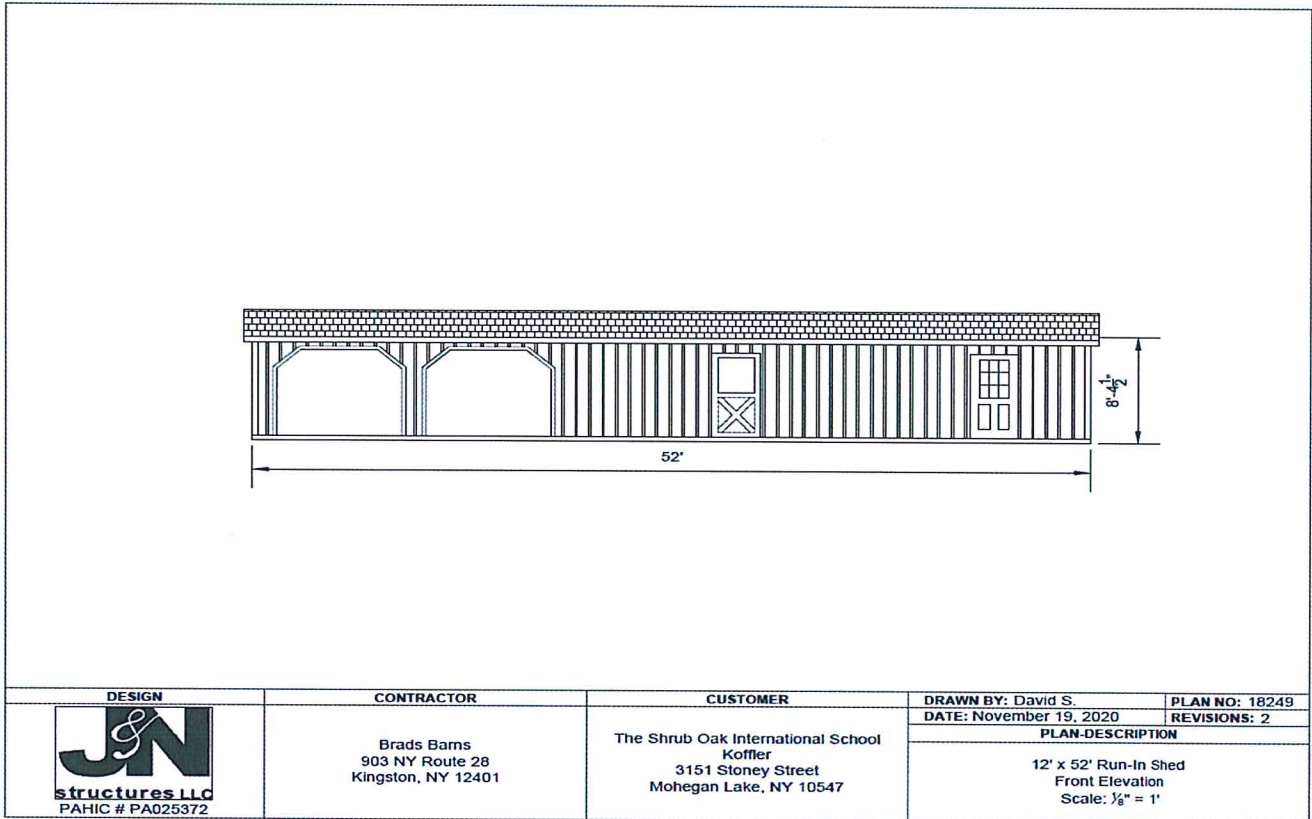
Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Shrub Oak International School

April 11, 2022

Page 4 of 4

### Proposed Barn







**Yorktown Town Hall**  
363 Underhill Avenue, P.O. Box 703  
Yorktown Heights, NY 10598

(914) 962-5722  
[www.yorktownny.org](http://www.yorktownny.org)

March 30, 2022

Gerhard Schwalbe, P.E.  
DTS Provident Design Engineering, LLP  
1 N Broadway, Suite 1407  
White Plains, NY 10601

Subject: Shrub Oak International School  
SBL 26.05-1-4; 3151 Stony Street

Dear Mr. Schwalbe,

At its meeting on March 28, 2022, the Planning Board discussed the subject application and the following was discussed:

1. The Board was comfortable approving details for all phases of the project so that the applicant can construct each phase as needed in the future.
2. The Board must formally discuss the elimination of the second driveway access to the site from Stony Street. It would be helpful for the applicant to submit a grading plan and cut & fill analysis for this driveway.

Once this additional information is submitted, this project will be placed on the next available Planning Board agenda.

Sincerely,

Robyn A. Steinberg, AICP, CPESC  
Town Planner





Town of Yorktown [www.yorktownny.org](http://www.yorktownny.org)

RECEIVED  
PLANNING DEPARTMENT

MAR 25 2022

TOWN OF YORKTOWN

## Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598  
Tel. (914) 962-5722 ext.254 Fax (914) 962-1731

### MEMORANDUM

**Edward Kolisz, Assistant Building Inspector**

Telephone (914) 962 5722 ext. 254

Email: [ekolisz@yorktownny.org](mailto:ekolisz@yorktownny.org)

Office hours: Weekdays 9:00-10:00 a.m., 3:30-5:00 p.m.

To: Planning Board, Town of Yorktown  
From: Edward Kolisz, Assistant Building & Fire Inspector  
Date: March 25, 2022  
Re: **Shrub Oak International School – Phase 2 Site Plan – 26.05-1-4 / 3151 Stony St.**

I have reviewed the current plan for the proposed Phase 2 work at the Shrub Oak International School. At this time I have no concerns with the next phase of the plan. It appears that emergency vehicle access will improve. This memo does not apply to any of the proposed work other than the phase 2 work. Please contact me with any questions or comments.



# **Lakeview Estates**

**Lot #6**



**TOWN OF YORKTOWN - ENGINEERING DEPARTMENT  
MS4 STORMWATER MANAGEMENT PERMIT APPLICATION  
WETLAND PERMIT APPLICATION and/or TREE PERMIT APPLICATION**

Section 24.18  
Block 1  
Lot # 15-6

Job Site Address: 1102 Gambelli Dr  
City/State/Zip: YORKTOWN HEIGHTS  
NY 10598

Approval Authority: TE [ ] PB [  ] TB [  ]  
Application #: J-FWAPP-005-22  
Date Received: 03-08-22  
Date Issued: \_\_\_\_\_  
Date Expires: \_\_\_\_\_  
Fee Paid: \$ 1,500

NOTE: Application, Fee, Short/Long Form EAF, Map/Survey to be submitted to the Engineering

**APPLICANT:**

YOUR NAME: Tessa Jucaite P.E.  
COMPANY: TJ Engineering LLC  
ADDRESS: 117 Mamasco Rd  
Ridgefield, CT ZIP 06877  
PHONE: (203 ) 249-5755  
EMAIL: INFO@TJENGINEERING.US

**OWNER:**

YOUR NAME: Gregg Chappell & Emily Yavitz  
COMPANY: \_\_\_\_\_  
ADDRESS: 70 Hudson Watch Dr.  
Ossining, NY ZIP 10562  
PHONE: (203- ) 644-6971  
EMAIL: gregg1968@gmail.com

**APPROVED PLANS AND PERMIT SHALL BE ON-SITE AT ALL TIMES**

Select One	Type	Approval Authority	Cost
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit (Administrative)	Town Engineer	\$800.00
<input type="checkbox"/>	Wetland/Watercourse/Buffer Area Permit	Town Board/Planning Board	\$1,800.00
<input type="checkbox"/>	Renewal of Wetlands/Watercourse/Buffer Area Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	MS4 Stormwater Management Permit (Administrative)	Town Engineer	\$300.00
<input checked="" type="checkbox"/>	MS4 Stormwater Management Permit	Town Board/Planning Board	\$1,500.00
<input type="checkbox"/>	Renewal of a MS4 Stormwater Management Permit (1 Year)	Town Engineer	\$150.00
<input type="checkbox"/>	Tree Permit	Town Engineer	\$0.00

Application fees are doubled with issuance of a Stop Work Order/Notice of Violation as per Town Code.



**PROPOSED ACTIVITY - If not located in wetland/wetland buffer (skip to 2b)**

**1. Description of wetlands (check all that apply):**

- |                       |                          |                                    |                                     |
|-----------------------|--------------------------|------------------------------------|-------------------------------------|
| a. Lake/pond          | <input type="checkbox"/> | Control area of lake/pond          | <input type="checkbox"/>            |
| b. Stream/River/Brook | <input type="checkbox"/> | Control area of stream/river/brook | <input checked="" type="checkbox"/> |
| c. Wetlands           | <input type="checkbox"/> | Control area of wetlands           | <input checked="" type="checkbox"/> |

**2a. Description of activity in the wetland and/or wetland buffer. Describe the proposed work including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.**

Construction of a dwelling and a patio on the rock outcrop located within the wetlands 100 ft setback area (720 sf house, 760 sf patio areas within the 100' setback)

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**2b. Stormwater/Excavation - Description of proposed activity:**

This project proposes to disturb approximately 25,600 square feet of land. Nonstructural best management practices (BMP's) such as rain garden and pervious pavers are proposed to treat and control stormwater runoff. Excavation for the septic, stormwater management, the dwelling and driveway will be required.

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**3. Tree Removal:**

Amount of trees and/or stumps to be removed: 24  
Sizes; approximate DBH: 6"-14"  
Species of trees to be removed (i.e. Birch, Spruce - if known): Oak, Cedar, Cherry  
Reason for removal: in the way of the proposed development  
Trees marked in field (trees must be marked prior to inspection): Yes:  No:   
Tree removal contractor: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Attach survey/sketch indicating property boundaries, existing structures, driveways, roadways and location of existing trees. Trees must be marked in the field before inspection.

**4. PROPERTY OWNER CONSENT: If another entity (e.g. contractor, consultant) is applying on the owner's behalf, the PROPERTY OWNER is to complete, sign and date this authorization:**

I, Gregg Chappell hereby authorize Tessa Jucaite, P.E. to apply for this Stormwater/Wetland Permit/Tree Permit on my behalf.

Signature:  Date: March 2, 2022

No application will be processed without the above-mentioned, required information.



**GENERAL CONDITIONS**

1. The permittee is responsible for maintaining an active application. If no activity occurs within a six (6) month period, as measured from the date of application, the application will become null and void. Applications fees are non-refundable.
2. The Town of Yorktown reserves the right to modify, suspend or revoke this permit at any time after due notice when:
  - a. Scope of the project is exceeded or a violation of any condition of the permit or provision of the law pertinent regulations are found; or
  - b. Permit was obtained by misrepresentation or failure to disclose relevant facts; or
  - c. Newly discovered information or significant physical changes are discovered.
3. The permittee is responsible for keeping the permit active by requesting renewal from the Approval Authority. Any supplemental information that may be required by the Approval Authority, including forms and fees, must be submitted 30 days prior to the expiration date. The expiration date is one year from the date the bond is paid to the Engineering Department. In accordance with Chapter 178 of the Town Code, Freshwater Wetlands, Section 178-16 -Expiration of a Permit.
4. This permit shall not be construed as conveying to the applicant any right to trespass upon private lands or interfere with the riparian rights of others in order to perform the permitted work or as authorizing the impairment of any right, title or interest in real or personal property held or vested in person not party to this permit.
5. The permittee is responsible for obtaining any other permits, approvals, easements and right-of-way, which may be required.
6. Any modification of this permit granted by the Approval Authority must be in writing and attached hereto.
7. Granting of this permit does not relieve the applicant of the responsibility of obtaining any other permission, consent or approval from the U.S. Army Corps of Engineers, N.Y.C. Department of Environmental Protection, N.Y.S. Department of Environmental Conservation or local government, which may be required.

Tessa Jucaite

\_\_\_\_\_  
PRINT NAME

  
\_\_\_\_\_  
SIGNATURE OF APPLICANT

  
\_\_\_\_\_  
DATE



**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Gregg Chappell & Emily Yavitz			
Name of Action or Project: New Lot development			
Project Location (describe, and attach a location map): 1102 Gambelli Drive, Yorktown Heights, Westchester County NY			
Brief Description of Proposed Action: This project proposes to disturb approximately 25,600 square feet of land. It is proposed to construct a house a driveway, septic system, nonstructural best management practices (BMP's) for stormwater management, etc			
Name of Applicant or Sponsor: Tessa Jucaite P.E.		Telephone: 203-249-5755	
		E-Mail: INFO@TJENGINEERING.US	
Address: 117 MAMANASCO RD			
City/PO: RIDGEFIELD		State: CT	Zip Code: 06877
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 2.3182 acres	
b. Total acreage to be physically disturbed?		_____ 0.5876 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 2.3182 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			







18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Tessy Jewels</u>	Date: <u>03/05/22</u>	
Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

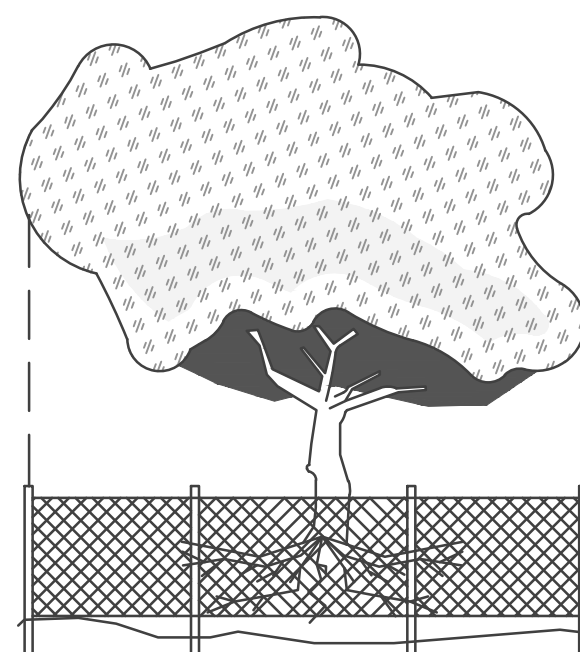
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**RESET**



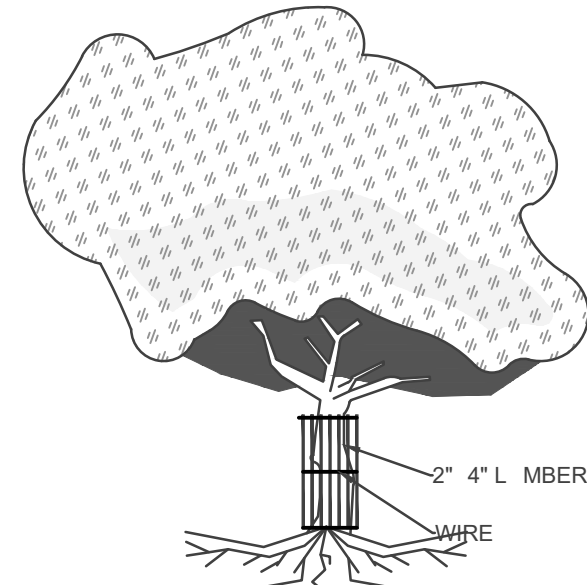






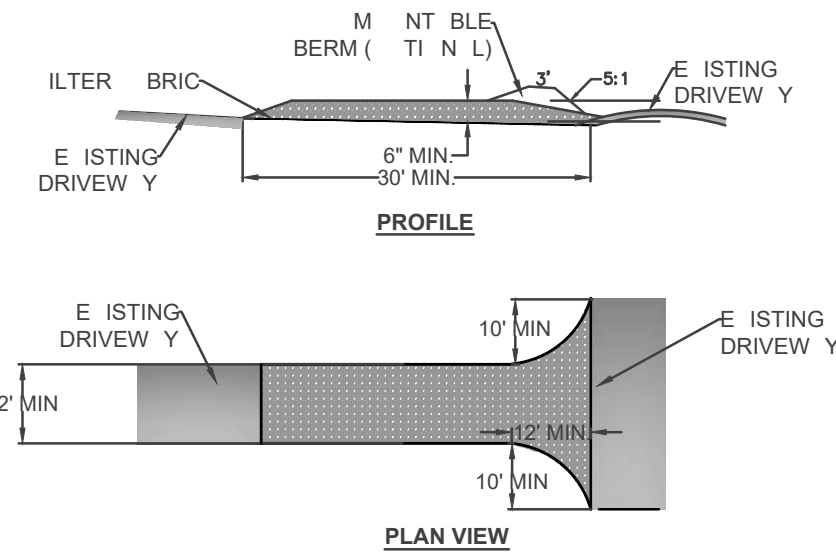
**NOTES:**  
 1. THE FENCE SHALL BE CONSTRUCTED OF 4" X 4" WOOD POSTS AND 4" X 4" WOOD RAILS. THE FENCE SHALL BE 42" HIGH AND SHALL BE SET BACK FROM THE TREE TRUNK BY A MINIMUM OF 24" TO ALLOW FOR THE TREE TO GROW AND BE MAINTAINED.  
 2. THE FENCE SHALL BE SET BACK FROM THE TREE TRUNK BY A MINIMUM OF 24" TO ALLOW FOR THE TREE TO GROW AND BE MAINTAINED.  
 3. THE FENCE SHALL BE SET BACK FROM THE TREE TRUNK BY A MINIMUM OF 24" TO ALLOW FOR THE TREE TO GROW AND BE MAINTAINED.  
 4. THE FENCE SHALL BE SET BACK FROM THE TREE TRUNK BY A MINIMUM OF 24" TO ALLOW FOR THE TREE TO GROW AND BE MAINTAINED.

**TYP. TREE PROTECTION FENCING**  
N.T.S.



**NOTES:**  
 1. THE MBER SHALL BE 2" IN DIAMETER AND SHALL BE WRAPPED AROUND THE TREE TRUNK TO PROTECT IT FROM DAMAGE DURING CONSTRUCTION.  
 2. THE MBER SHALL BE WRAPPED AROUND THE TREE TRUNK TO PROTECT IT FROM DAMAGE DURING CONSTRUCTION.  
 3. THE MBER SHALL BE WRAPPED AROUND THE TREE TRUNK TO PROTECT IT FROM DAMAGE DURING CONSTRUCTION.

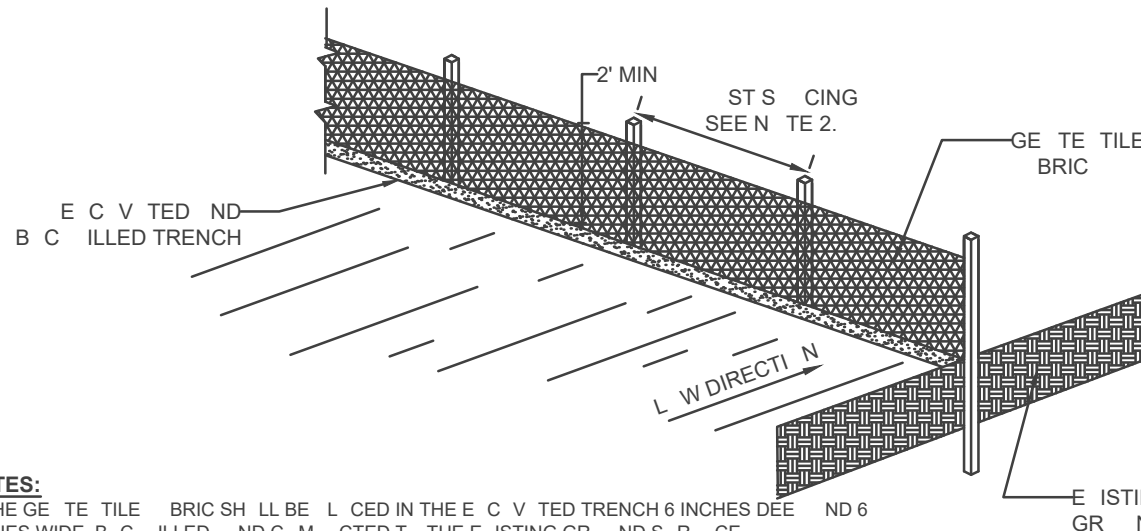
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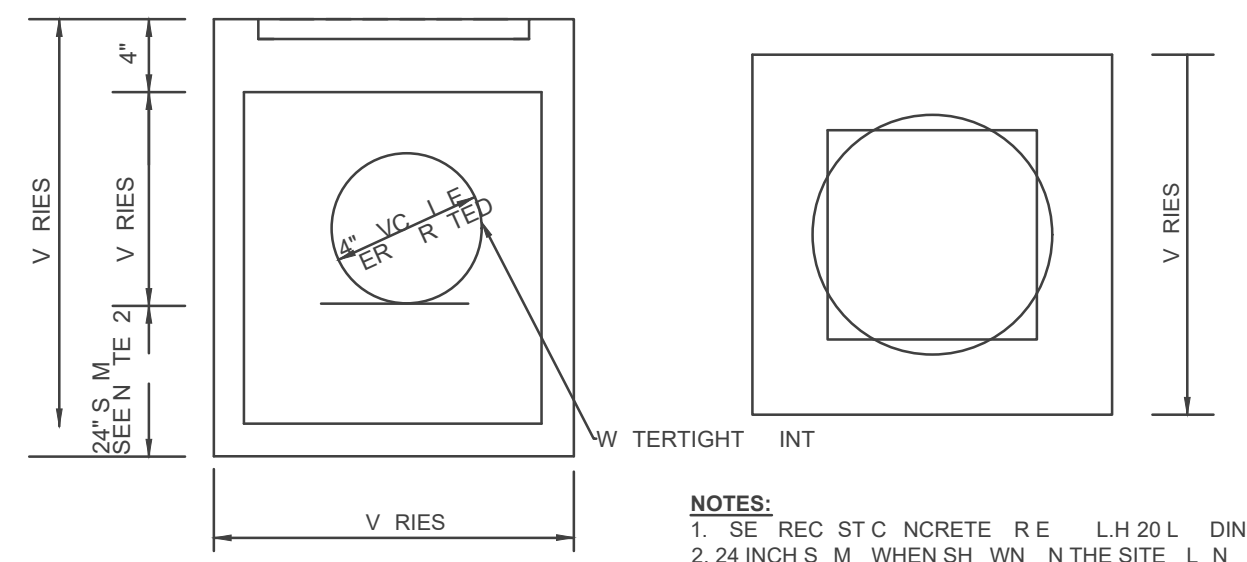
**NOTES:**  
 1. THE BERM SHALL BE 6" HIGH AND 12" WIDE.  
 2. THE FILTER SHALL BE 1/2" THICK AND 12" WIDE.  
 3. THE DRAINAGE SHALL BE 1/2" THICK AND 12" WIDE.  
 4. THE PROTECTION SHALL BE INSTALLED AROUND THE TREE TRUNK TO PROTECT IT FROM DAMAGE DURING CONSTRUCTION.

**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.

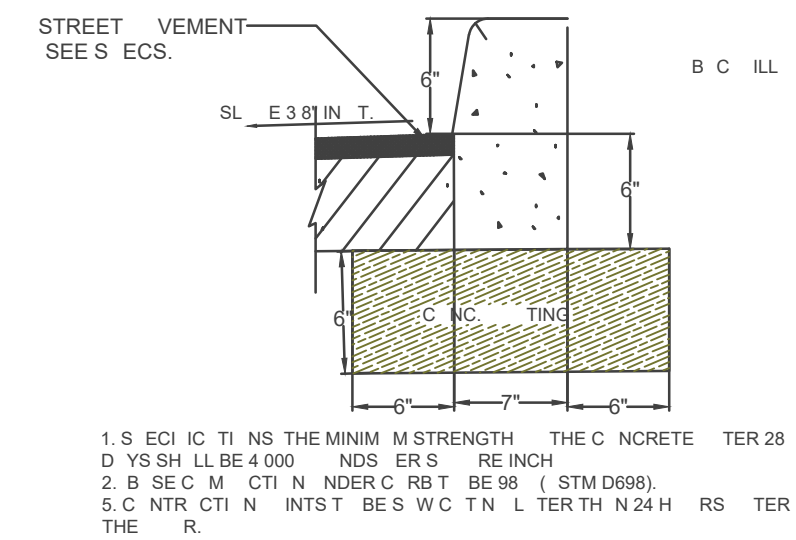
**SILT FENCE**  
N.T.S.



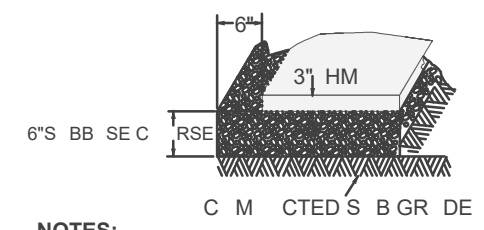
**NOTES:**  
 1. THE SILT FENCE SHALL BE CONSTRUCTED OF 2" X 2" WOOD POSTS AND 2" X 2" WOOD RAILS.  
 2. THE SILT FENCE SHALL BE CONSTRUCTED OF 2" X 2" WOOD POSTS AND 2" X 2" WOOD RAILS.  
 3. THE SILT FENCE SHALL BE CONSTRUCTED OF 2" X 2" WOOD POSTS AND 2" X 2" WOOD RAILS.



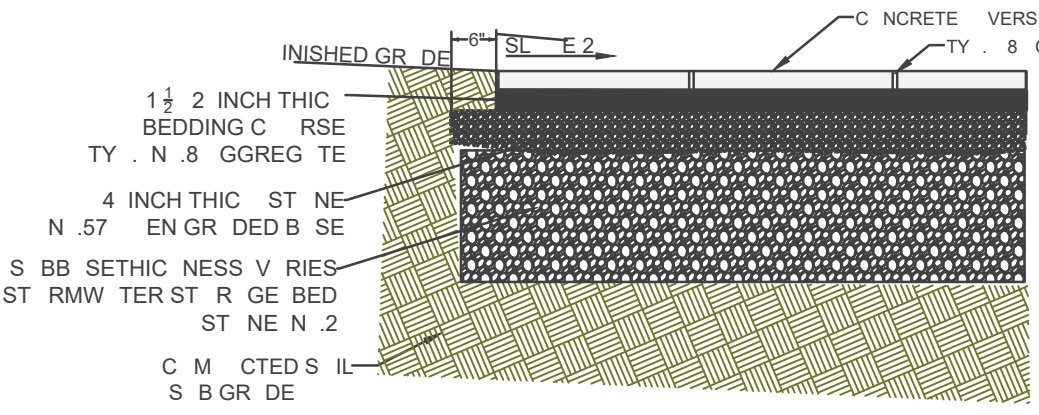
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N.T.S.



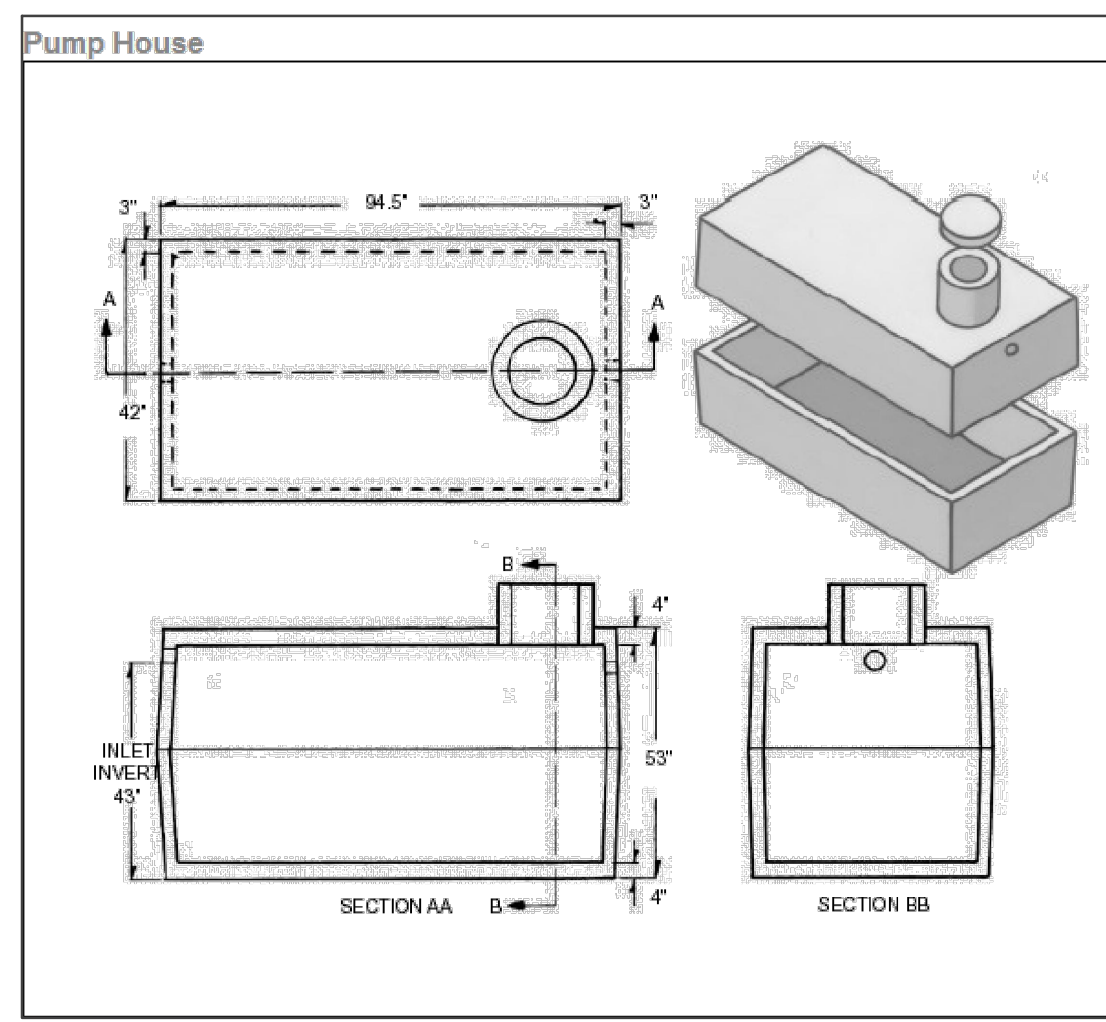
**CURB**  
N.T.S.



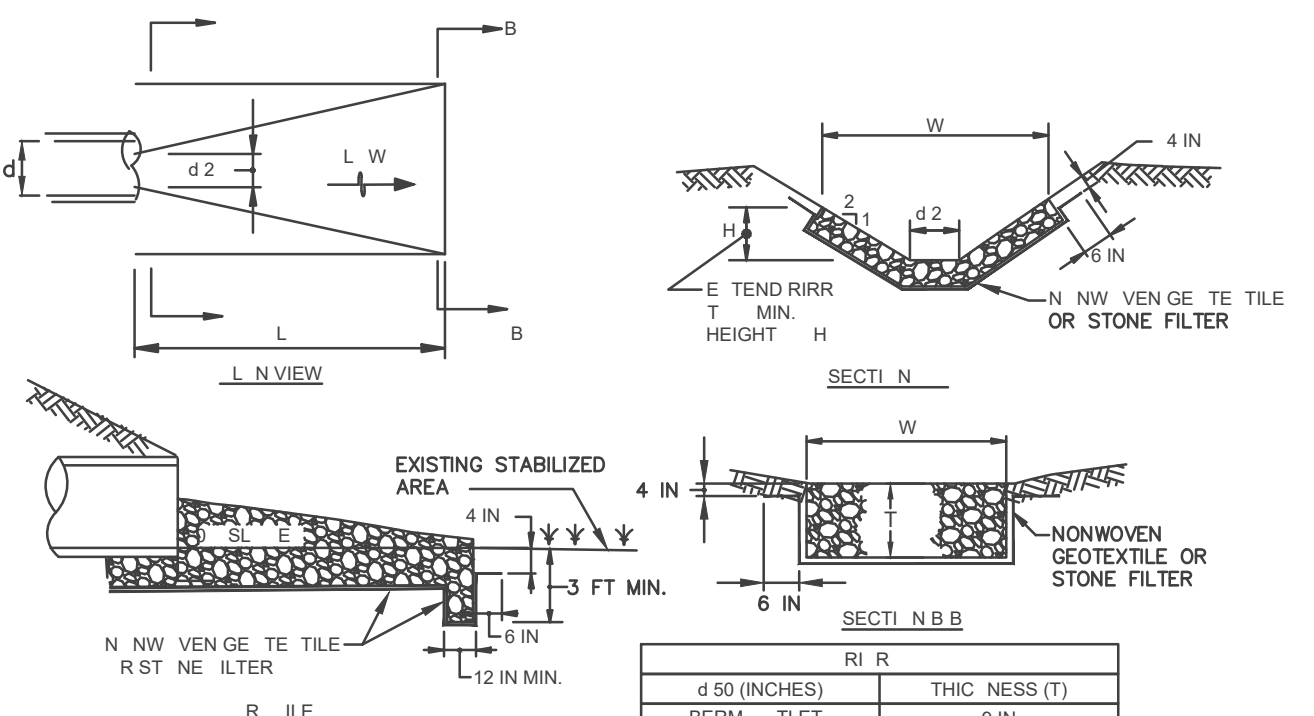
**ASPHALT DRIVEWAY**  
N.T.S.



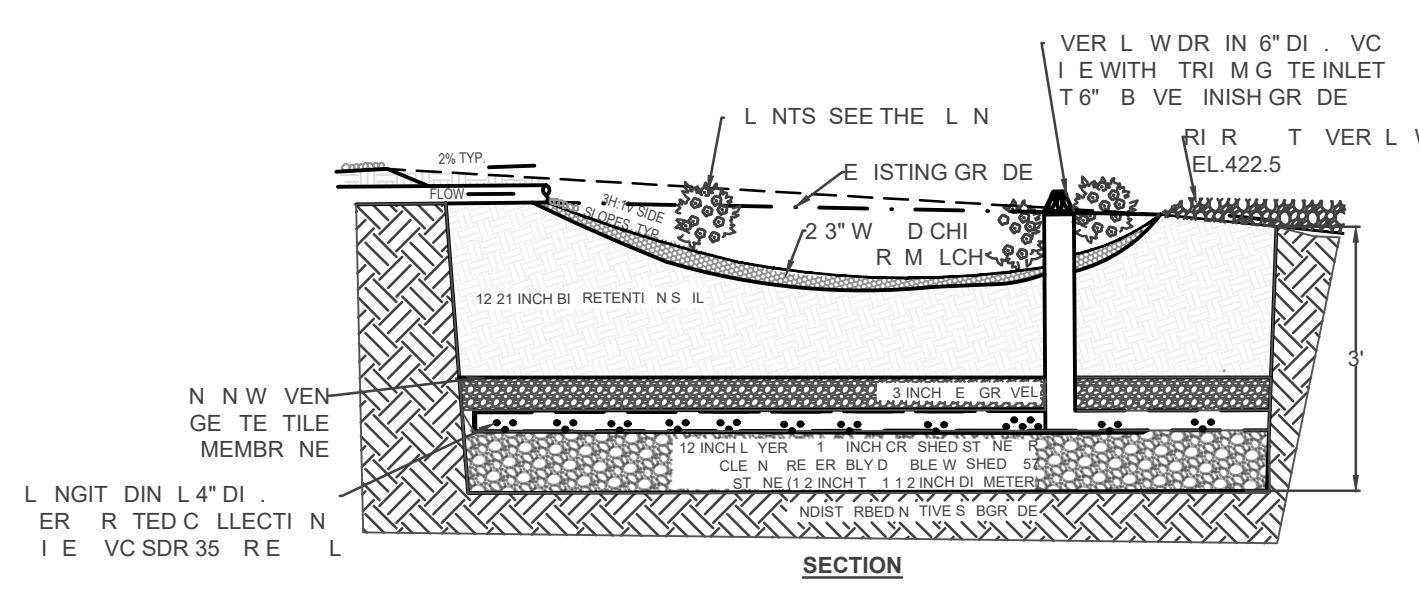
**PERVIOUS PAVERS**  
N.T.S.



**1,500 PRECAST CONCRETE PUMP CHAMBER**  
N.T.S.



**TYPICAL RIPRAP OUTLET PROTECTION**  
N.T.S.



**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.

**General Notes**

**OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT PRACTICES:**

- Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediment at the completion of construction.
- For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
- Any accumulated debris within the catch basins/inlets shall be removed and any repairs as required.
- From the second year on-out, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
- Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
- Accumulated sediments shall be removed at which time they are within 12 inches of the invert of the outlet pipe.
- Any additional maintenance required per the manufacturer's specifications shall also be completed.

**Storm Drainage Piping and Clean-outs:**

- All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
- Clean outs shall be inspected and repaired on an annual basis.
- If system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall be performed.
- Any additional maintenance required per the manufacturer's specifications shall also be completed.

**Infiltration Systems:**

- All infiltrators shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
- For the first year, infiltrators shall be inspected on a quarterly basis.
- Any accumulated debris within the infiltrators shall be removed and any repairs made to the units as required.
- From the second year on-out, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
- Accumulated debris within the units shall be removed and repairs made as required.
- Any additional maintenance required per the manufacturer's specifications shall also be completed.

**Disposal of Debris and Sediment:**

- All debris and sediment removed from the stormwater structures shall be disposed of legally. There shall be no dumping of silt or debris into or in proximity to any inland or tidal wetlands.

**Maintenance Records:**

- The Owner(s) must maintain all records (logs, invoices, reports, data, etc.) and have them readily available for inspection at all times.

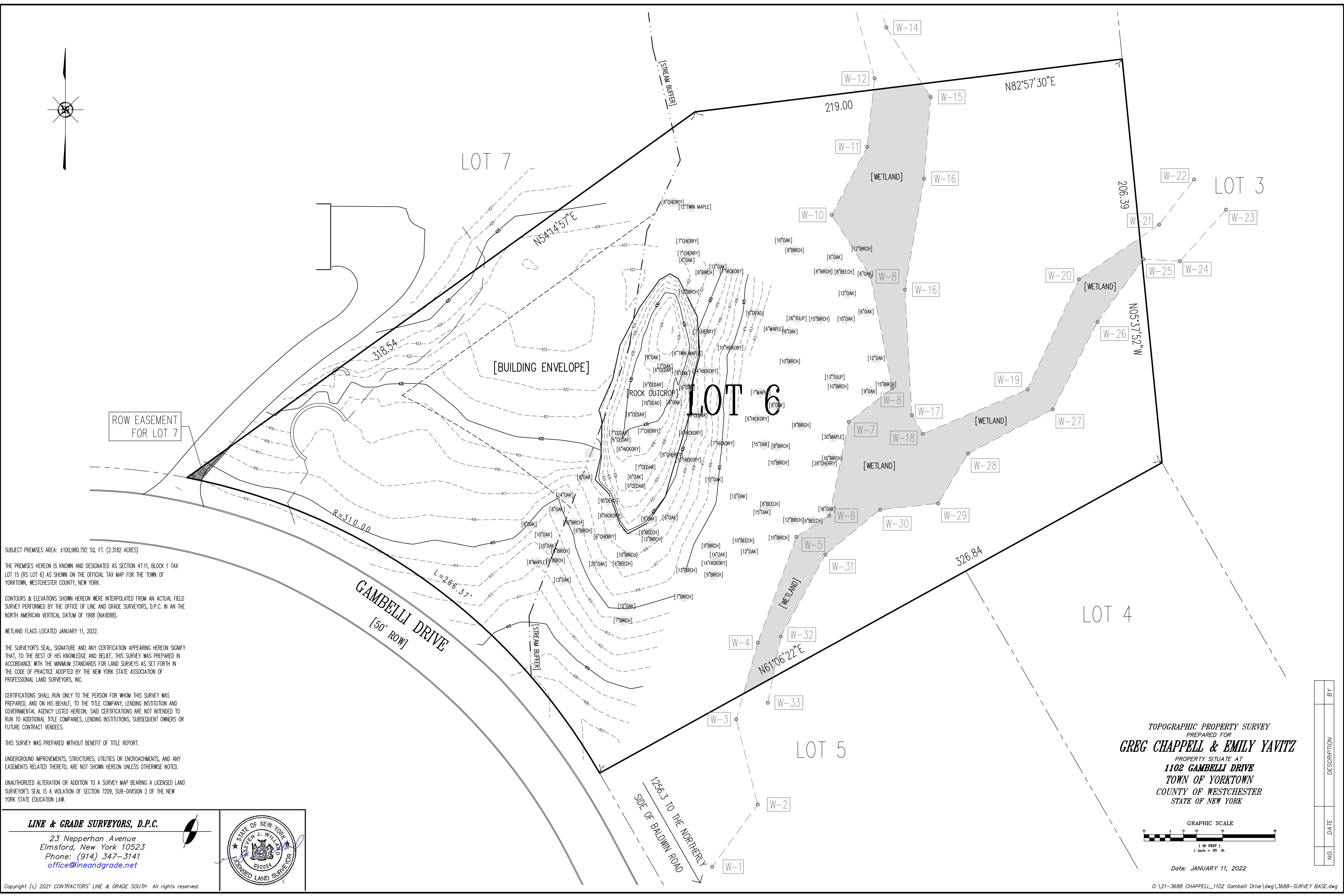
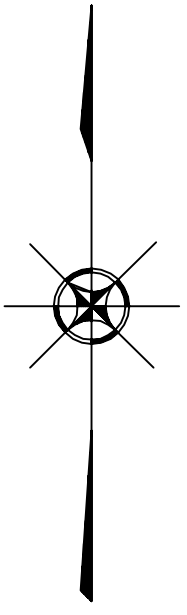
No.	Revision/Issue	Date

**Firm Name and Address**  
**TJ ENGINEERING LLC**  
 117 M M SC RD.  
 RIDGE IELD CT 06877  
 IN T ENGINEERING, S  
 TEL: 203 249 5755

**Project Name and Address**  
**STORMWATER MANAGEMENT AND S&E CONTROL DETAILS**  
 1102 GAMBELLI DRIVE  
 YORKTOWN HEIGHTS, NY 10598  
 WNER GREGG CH ELL EMILY V YIT  
 70 H DS N W TCH DR.  
 SSINING NY 10562

Project	Sheet
Date	02.14.22
Scale	1"=20'





SUBJECT PREMISES AREA: ±100,960.792 SQ. FT. (2.3182 ACRES)

THE PREMISES HEREON IS KNOWN AND DESIGNATED AS SECTION 47.11, BLOCK 1 TAX LOT 15 (RS LOT 6) AS SHOWN ON THE OFFICIAL TAX MAP FOR THE TOWN OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK.

CONTOURS & ELEVATIONS SHOWN HEREON WERE INTERPOLATED FROM AN ACTUAL FIELD SURVEY PERFORMED BY THE OFFICE OF LINE AND GRADE SURVEYORS, D.P.C. IN AN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

WETLAND FLAGS LOCATED JANUARY 11, 2022.

THE SURVEYOR'S SEAL, SIGNATURE AND ANY CERTIFICATION APPEARING HEREON SIGNIFY THAT, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR LAND SURVEYS AS SET FORTH IN THE CODE OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC.

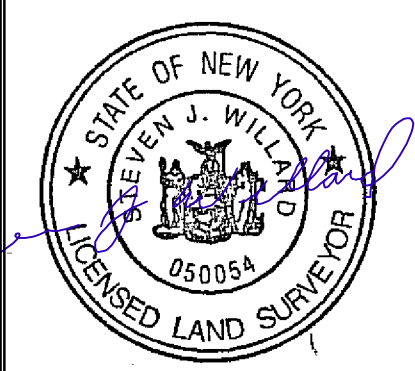
CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THIS SURVEY WAS PREPARED, AND ON HIS BEHALF, TO THE TITLE COMPANY, LENDING INSTITUTION AND GOVERNMENTAL AGENCY LISTED HEREON; SAID CERTIFICATIONS ARE NOT INTENDED TO RUN TO ADDITIONAL TITLE COMPANIES, LENDING INSTITUTIONS, SUBSEQUENT OWNERS OR FUTURE CONTRACT VENDEES.

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT.

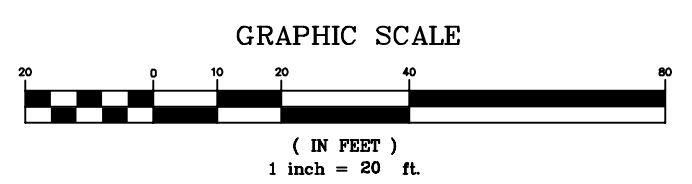
UNDERGROUND IMPROVEMENTS, STRUCTURES, UTILITIES OR ENCROACHMENTS, AND ANY EASEMENTS RELATED THERETO, ARE NOT SHOWN HEREON UNLESS OTHERWISE NOTED.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

**LINE & GRADE SURVEYORS, D.P.C.**  
 23 Nepperhan Avenue  
 Elmsford, New York 10523  
 Phone: (914) 347-3141  
 office@lineandgrade.net



TOPOGRAPHIC PROPERTY SURVEY  
 PREPARED FOR  
**GREG CHAPPELL & EMILY YAVITZ**  
 PROPERTY SITUATE AT  
**1102 GAMBELLI DRIVE**  
 TOWN OF YORKTOWN  
 COUNTY OF WESTCHESTER  
 STATE OF NEW YORK



Date: JANUARY 11, 2022

NO.	DATE	DESCRIPTION	BY







GENERAL CONSTRUCTION NOTES:

- ALL DIMENSIONS GIVEN ARE TO ROUGH OPENINGS AND/OR FRAMING.
THE ARCHITECT DOES NOT HAVE CONSTRUCTION SUPERVISION RESPONSIBILITY AND HERE BY LIMITS THE RESPONSIBILITY TO THE INFORMATION PROVIDED WITHIN.
CONTRACTOR/OWNER AND TRADES TO FILE AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
CONTRACTOR/OWNER TO SCHEDULE AND PAY FOR ALL INSPECTIONS AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO BE ON A INTERCONNECTED HARDWIRED SYSTEM AS PER CODE THROUGHOUT ENTIRE DWELLING.
GARAGES TO HAVE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON ALL WALLS AND CEILING.
MECHANICAL ROOMS TO HAVE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON WALLS AND CEILINGS THAT DO NOT MEET THE REQUIRED CLEARANCES FROM UNPROTECTED COMBUSTIBLE MATERIALS AS INDICATED ON THE EQUIPMENT LABEL AND IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
CONTRACTOR/OWNER TO PROVIDE PROPER VENTILATION FOR DRYERS AS REQUIRED PER MANUFACTURER.
CONTRACTOR/OWNER TO VERIFY ALL MECHANICAL EQUIPMENT AND SPECIFICATIONS FOR PROPER MECHANICAL ROOM DIMENSIONS, LIGHT, HEAT, VENTILATION PER CODE.
ALL PLUMBING & ELECTRICAL WORK TO MEET ALL LOCAL, STATE, AND FEDERAL CODE.
ELECTRICAL AND PLUMBING CONTRACTOR TO VERIFY ALL EXISTING ELECTRICAL AND PLUMBING TO REMAIN IS CODE COMPLIANT.
HABITABLE SPACES IN EXISTING FINISHED BASEMENT TO CONFORM TO SECTION R303 'LIGHT, VENTILATION AND HEATING' IN THE RESIDENTIAL CODE OF NEW YORK STATE.
ALL NEW S.C.F.D. SHALL BE A SOLID WOOD DOOR NOT LESS THAN 1 3/8" IN THICKNESS, OR A SOLID OR HONEYCOMB-CORE STEEL DOOR NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING HINGE OR DOOR CLOSER. S.C.F.D. FRAME SHALL MATCH DOOR SPECIFICATION.
ALL NEW HANDRAILS AND GUARDS TO CONFORM TO SECTION R311.7.8 'HANDRAILS' AND SECTION R312 'GUARDS & WINDOW FALL PROTECTION' OF THE RESIDENTIAL CODE OF NEW YORK STATE.
GENERAL CONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY ARISE.
ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER' WILL BE GIVEN AN ALLOWANCE BY THE CONTRACTOR. CONTRACTORS WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER'.
ALL NEW PLUMBING FIXTURES TO BE SELECTED BY OWNER.
ALL NEW PAINT TO BE SELECTED BY OWNER.
ALL NEW FLOOR & WALL TILE TO BE SELECTED BY OWNER.
ALL NEW INTERIOR DOOR HARDWARE TO BE SELECTED BY OWNER.
UNLESS NOTED OTHERWISE ALL INTERIOR & EXTERIOR FINISH MATERIAL TO BE SELECTED BY OWNER.
ALL SHOWER GLASS TO BE LASER OR ACID ETCHED TEMPERED GLASS.
INSULATION IS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS OR RESENT GRADE I.

STRUCTURAL/FRAMING NOTES:

- ALL POST BEARING CONDITIONS SHALL RECEIVE SOLID BEARING OF THE SAME SIZE OR GREATER DOWN TO THE FOUNDATION WALLS OR BEARING BEAM BELOW. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
ALL POST BEARING CONDITIONS TO RECEIVE ADDITIONAL STUDS FOR TOTAL POST DIMENSION TO EQUAL OR SURPASS SUPPORTED BEAM THICKNESS. IF THIS CONDITION CAN NOT BE MET, VERIFY BEARING PLATE OR OTHER CONNECTION WITH ARCHITECT IN FIELD.
UNLESS OTHERWISE INDICATED ALL EXTERIOR/INTERIOR WINDOWS, EXTERIOR/INTERIOR DOORS & EXTERIOR/INTERIOR OPENINGS SHALL HAVE MINIMUM (3) 2 X 4 HEADER WITH 1/2" PLYWOOD SPACERS BETWEEN AT 2 X 6 WALLS & (2) 2 X 10 HEADER WITH 1/2" PLYWOOD SPACER AT 2 X 4 WALLS. IF THIS CONDITION CAN NOT BE MET, VERIFY WITH ARCHITECT IN FIELD.
ALL NEW PARTITIONS RUNNING PARALLEL TO EXISTING/NEW JOISTS BELOW SHALL RECEIVE DOUBLE JOISTS CENTERED ON NEW PARTITION. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
FOR JOISTS SPANNING 10'-0" OR MORE, INSTALL ONE (1) ROW OF SOLID CROSS BRIDGING @ MID-SPACE. FOR JOISTS SPANNING 20'-0" OR MORE, INSTALL TWO (2) ROWS OF SOLID CROSS BRIDGING @ 1/2 SPAN.
ALL DROPPED SOFFITS ARE TO BE FRAMED W/ 2 X 4 FRAMING @ 16" O.C. UNLESS NOTED OTHERWISE. DROPPED SOFFIT FRAMING TO BE SISTERS TO EXIST. CEILING JOISTS & EXIST. WALL STUDS AND SECURED W/ MIN (4) 10d NAILS.
ALL 'ALIGN' INDICATORS ON PLANS, SECTIONS & ELEVATIONS ARE TO IMPLY THAT BOTH SIDES OF ALL NEW ROUGH FRAMING & FINISHES ARE TO ALIGN WITH BOTH SIDES OF ALL EXIST. ROUGH FRAMING & FINISHES. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH NEW/EXIST. ROUGH FRAMING, MILLWORK, INTERIOR TRIM, TILE AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR LOCATIONS.
ALL FLUSH BEAMS AND JOIST CONNECTIONS TO RECEIVE HEAVY DUTY 'SIMPSON STRONG-TIE' METAL HANGERS. FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS.

GENERAL STUCCO SIDING NOTES:

- SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO, EXTERIOR WALLS.
SUBMIT MANUFACTURER'S PRINTED LITERATURE AND TEST RESULTS INDICATING PRODUCT INFORMATION RELATED TO SPECIFIC REQUIREMENTS.
MASON TO PREPARE (4) 3' X 3' SAMPLE PANELS, ONE ON EACH FACADE, IN APPROVED LOCATIONS FOR ARCHITECT'S APPROVAL. APPROVED SAMPLE WILL BE THE CRITERION FOR THE ENTIRE PROJECT.
STUCCO SHALL BE DELIVERED & STORED IN A DRY, VENTILATED SPACE IN MANUFACTURER'S UNOPENED CONTAINERS PROTECTED FROM MOISTURE &/OR DAMAGE OR AS PER MANUFACTURER RECOMMENDATION.
INSTALLED STUCCO SHALL BE PROTECTED FROM OTHER CONSTRUCTION WORK UNTIL UNFINISHED CONTAINERS ARE REMOVED. ABOUT 14 DAYS BEFORE FINISHING APPLICATION AND DRYING PERIOD OR AS PER MANUFACTURER RECOMMENDATION.
CONTRACTOR TO PREP EXISTING WOOD FRAMED EXTERIOR WALL TO ACCEPT STUCCO PER MANUFACTURER RECOMMENDATION. EXTERIOR WALL SHALL BE FREE OF ROT AND DAMAGE.
CONTRACTOR TO WRAP ENTIRE HOUSE WITH 1-LAYER OF 15# BUILDING FELT PAPER OR FOAM DIRECTLY ONTO EXTERIOR WALL SHEATHING. OVERLAP BUILDING PAPER 6" STARTING FROM THE BOTTOM OF EXTERIOR WALL.
APPLY A THREE COAT PART CEMENTITIOUS STUCCO APPLICATION AS PER MANUFACTURER INSTALLATION RECOMMENDATION:
SCRATCH COAT - APPLY A TROWELED SCRATCH COAT DIRECTLY TO GALVANIZED METAL LATH PER ASTM C1063. USE A METAL RAKE TO CREATE 'SCRATCH LINES'; THICKNESS SHOULD BE APPROX. 3/8" TO 1/2" THICK. COVER METAL LATH 100%.
BROWN COAT - APPLY A TROWELED BROWN COAT AFTER 24 HOURS FLOAT SMOOTH THICKNESS OF 1/4" TO 3/8". ALLOW A 2 WEEK PERIOD (1 WEEK MIN) FOR CURING BEFORE APPLYING FINISH COAT.
FINISH COAT - APPLY A TROWELED FINISH COAT OF ABOUT 1/8" FINISH COAT TO BE 'A-BEX 104-L' OR EQUAL. COLOR TO BE SPECIFIED (0408 / 7-5). TEXTURE TO BE SAND FIN.
INSTALL PERFORATED WEEP SCREED AT THE BOTTOM OF THE WALL AND OVER OPENINGS
STUCCO CONTROL JOINTS TO BE METAL GALVANIZED. STUCCO CONTROL JOINT LOCATIONS MUST BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. INSTALL STUCCO CONTROL JOINTS @ THESE TYPICAL LOCATIONS:
1. OVER THE RIM JOIST AT THE INTERSECTION BETWEEN FLOORS
2. ON TALL WALLS AND LONG RUNS, APPLY VERTICALLY AND HORIZONTALLY. BREAK AREAS INTO AREAS LESS THAN 18'-0"

GENERAL MECHANICAL NOTES:

- EXISTING MECHANICAL EQUIPMENT SHALL REMAIN AS-IS. CONTRACTOR TO SERVICE EXISTING MECHANICAL EQUIPMENT AND CONFIRM EQUIPMENT IS IN GOOD WORKING ORDER. EQUIPMENT REPLACEMENT PARTS AND LABOR WILL BE CONSIDERED AN ADDITIONAL COST.
ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING/NEW MECHANICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
ALL MECHANICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MECHANICAL & ENERGY CONSERVATION CODE AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED.
THE CONTRACTOR AND/OR MECHANICAL SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND ARCHITECT PRIOR TO COMMENCING WORK. MECHANICAL EQUIPMENT, SHAFTS, SOFFITS, DUCTWORK, DIFFUSER, RETURNS, ZONES SPECIFICATIONS AND LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO COMMENCING WORK.
NEW RANGE HOOD MUST BE LESS THAN 400CFMS AND COMPLY WITH SECTION M1503.
HVAC CONTRACTOR TO SEAL DUCTS TO THE 4.0 CFM/100 FT<sup>2</sup> CONDITIONED FLOOR AREA WITH UL 181 PRODUCTS APPROPRIATE FOR THE DUCT MATERIAL TYPE. (TESTING NOT REQUIRED IF ALL DUCTS ARE LOCATED COMPLETELY WITHIN CONDITIONED SPACE.)
HYDRONIC SYSTEMS & REFRIGERANT LINES TO BE INSULATED W/ 3/2" THICK EPDM PIPE INSULATION (APPROX. R-VALUE 2.04)
ALL HVAC PIPES/INSULATION LOCATED OUTDOORS TO HAVE EXTERIOR GRADE INSULATION PROTECTION
HVAC COMPRESSOR AND AIR HANDLERS TO HAVE DRAIN PAN AND EMERGENCY SHUTDOWN

GENERAL METAL FLASHING NOTES:

- THE CONTRACTOR SHALL INSTALL ALL FLASHING REQUIRED TO ENSURE THE WEATHER PROTECTION OF THE BUILDING.
FLASHING MATERIAL TO BE ALUMINUM - B209 ALLOY, ALCAD 3003, TEMPER H-14. COLOR TO BE WHITE.
ALL SIDE WALL FLASHING AT ROOF TO MEET INTERSECTIONS AND AT LEAST 6" UNDER THE ROOFING AND TURN UP AT LEAST 6" AGAINST EXTERIOR WALL SHEATHING.
ALL STEP FLASHING SHALL EXTEND AT LEAST 6" UNDER THE ROOF. JOINT FLASHING AT STEP FLASHING SHALL BE INSTALLED IN A CONTINUOUS SAW CUT AT LEAST 6" ABOVE THE ROOF.
ALL DOOR HEADS TO RECEIVE PRE-FORMED FLASHING AND INSTALLED PER DOOR MANUFACTURER.
ALL WINDOW HEADS TO RECEIVE PRE-FORMED FLASHING AND INSTALLED PER WINDOW MANUFACTURER.
CHIMNEYS TO BE CAP FLASHED THROUGH ALL MASONRY. FLASHING SHALL BE SOLDERED AND EXTENDED UP 1" WITHIN FLUE LININGS.

GENERAL ELECTRICAL NOTES:

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING ELECTRICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE N.E.C., AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED. THE ELECTRICAL SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL ELECTRICAL WORK TO CONFORM TO ANY AND ALL CODES, RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT, WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT FOR ACCEPTANCE.
THE ELECTRICAL SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK.
THE CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH BUILDING SUPERINTENDENT, OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK.
CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR LOCATIONS.
ALL NEW SWITCHES TO BE 'LUTRON DIVA DIMMER & SWITCH' (UNLESS NOTED OTHERWISE). SWITCH COLOR SHALL BE VERIFIED WITH ARCHITECT AND OWNER PRIOR TO PURCHASE. WHEN SITUATIONS EXIST WHERE MULTIPLE SWITCHES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
ALL NEW RECEPTACLES TO BE 'LEVITON DECORA TAMPER RESISTANT' (UNLESS NOTED OTHERWISE). RECEPTACLE COLOR TO BE VERIFIED WITH ARCHITECT AND OWNER PRIOR TO PURCHASE. RECEPTACLE AND AMPERAGE AND TYPE TO BE PER CODE. WHEN SITUATIONS EXIST WHERE MULTIPLE RECEPTACLES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
MOUNTING HEIGHTS OF ALL SWITCHES AND RECEPTACLES SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHALL BE COORDINATED WITH BUILT-IN CABINERY, ETC.
CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO VERIFY ALL TYPES OF CABLES FOR T.V., TELEPHONE, INTERNET, ETC. WITH MANUFACTURER PRIOR TO INSTALLATION.
ALL ELECTRICAL OUTLET IN 'WET' LOCATIONS WILL BE OF THE G.F.I. TYPE.
ALL NEW T.V. AND TELEPHONE LINE TO BE HOME RUN AND WIRED TO THE BASEMENT AREA. OWNER TO BE RESPONSIBLE FOR FINAL HOOK-UP WITH T.V./CABLE COMPANY.
ELECTRICAL CONTRACTOR TO INSTALL 3/2" DIA. IN-WALL CABLE CONDUIT WITH COVER PLATES AT EACH TV LOCATION. CONTRACTOR TO VERIFY LOCATION CONDUIT LENGTH IN FIELD WITH ARCHITECT AND OWNER.
ELECTRICAL CONTRACTOR TO WIRE NEW HYDRO SYSTEM.
ELECTRICAL REQUIRES COMPLIANCE WITH 2020 NEC, UL CERTIFICATE REQUIRED TO SUBSTANTIATE COMPLIANCE

ENERGY CODE COMPLIANCE NOTES

Table with columns for code sections (B, S, CEILING, W, M, B, SL, CR) and their corresponding energy code requirements.

CLIMATE & GEOGRAPHICAL DESIGN CRITERIA:

Table detailing climate and geographical design criteria including ground snow load, wind speed, seismic design category, weathering, frost line depth, termite, decay, winter design temp, ice shield under layment req'd, flood hazards, and zone X.

GENERAL PLUMBING NOTES:

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING PLUMBING SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
ALL PLUMBING WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED. THE PLUMBING SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL PLUMBING WORK TO CONFORM TO ANY AND ALL CODES, RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT, WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT FOR ACCEPTANCE.
THE PLUMBING SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK.
THE CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK.
CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO COORDINATE ALL PLUMBING WORK LOCATIONS WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES.
WHEN SITUATIONS EXIST WHERE PLUMBING IS SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
MOUNTING HEIGHTS OF ALL PLUMBING CONNECTIONS SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
ALL HOT WATER PIPING INCLUDING PIPES W/ > 1/2" NOMINAL DIA. PIPES BETWEEN THE WATER & THE MANIFOLD, SUPPLY & RETURN PIPING IN RECIRCULATING HOT WATER SYSTEMS OTHER THAN DEMAND RECIRCULATING SYSTEMS, TO BE INSULATED W/ 3/2" THICK EPDM PIPE INSULATION (APPROX. R-VALUE 2.04)

WINDOW SCHEDULE

Table listing window specifications including Mark, Manufacturer, Model#, Type, Rough Opening (W x H), U-Factor, Shgcs, Material, and Remarks.

- WINDOWS TO BE MARVIN ELEVATE SERIES, UNLESS NOTED OTHERWISE.
INTERIOR FINISH TO BE FACTORY PRIMED W/ 2-COATS OF FELD PAINT.
HARDWARE TO BE BRONZE.
EXTERIOR FINISH TO BE BRONZE.
GLASS TO BE LOW-E, W/ ARGON, STAINLESS.
ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING WINDOW ORDER.
CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND FRAMING ROUGH-OPENINGS.
WINDOW TRIM SEALANT COLOR TO BE WHITE.
UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL WINDOWS.

EXTERIOR DOOR SCHEDULE

Table listing exterior door specifications including Mark, Manufacturer, Model #, Type, Rough Opening (W x H), Th., U-Factor, Shgcs, H.W. Set, and Remarks.

- WINDOWS TO BE MARVIN-ELEVATE; UNLESS NOTED OTHERWISE.
INTERIOR FINISH TO BE FACTORY PRIMED W/ 2-COATS OF FELD PAINT.
HARDWARE TO BE BRONZE.
EXTERIOR FINISH TO BE BRONZE.
GLASS TO BE LOW-E, W/ ARGON, BLACK.
ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING WINDOW ORDER.
CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND FRAMING ROUGH-OPENINGS.
WINDOW TRIM SEALANT COLOR TO BE WHITE.
UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL WINDOWS.

ISSUES table with columns for Description, Date, and Status.

DRAWING STATUS table with columns for Existing Conditions, Preliminary, Bid Drawings, Contract Drawings, Permit Drawings, Not for Construction, and Construction Drawings.



NEW SINGLE-FAMILY DWELLING FOR: GREGG T. CHAPPELL & EMILY YAVITZ 1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

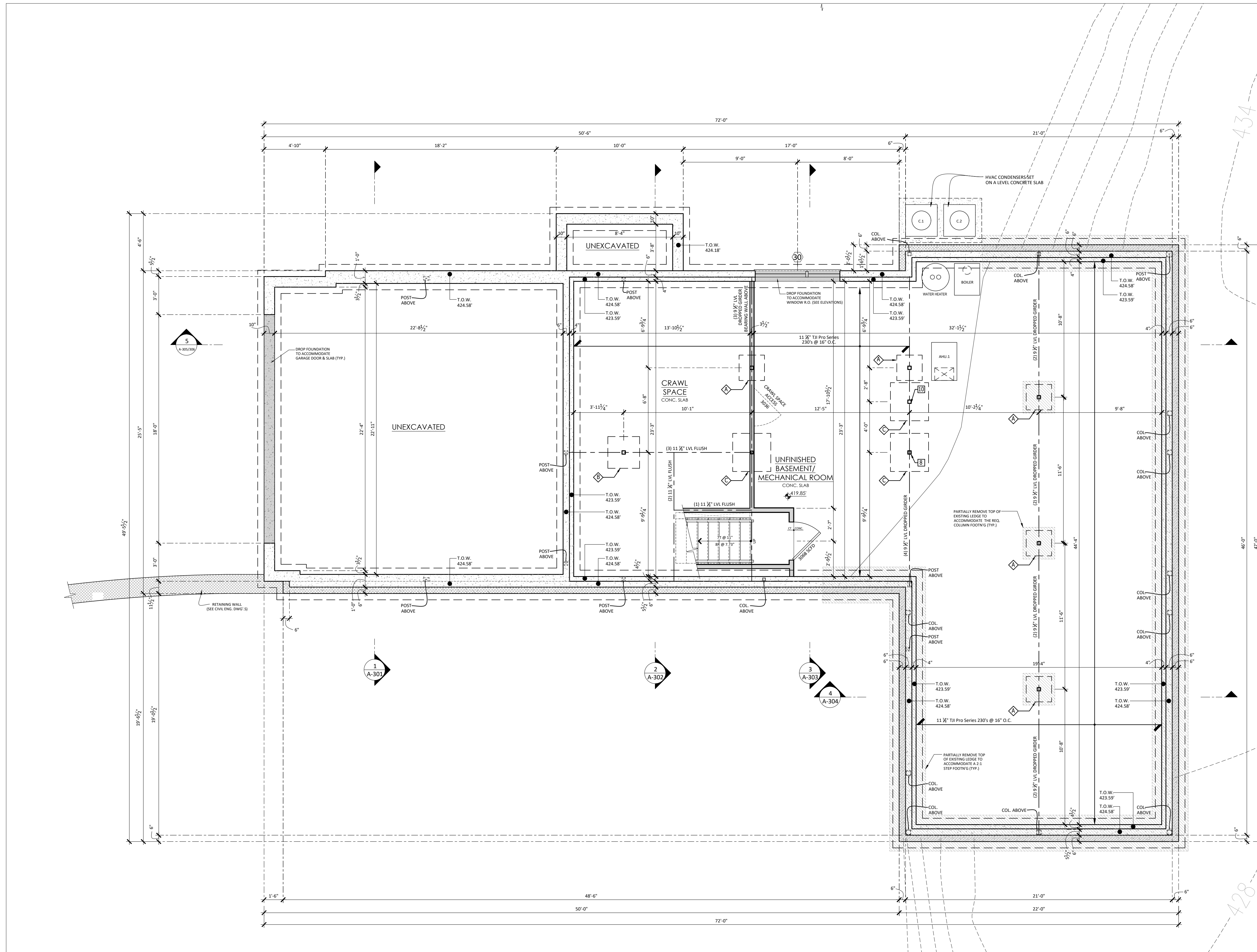
Design Professionals' seal, address, and digital seal information.



Table with columns for Drawn, Checked, Job No, Date, and Sheet.

A-002





### FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

### ISSUES:

SUBMITTED FOR PERMIT	10.15.21
REV. 1: DOB COMMENTS	02.11.22

### DRAWING STATUS:

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

studio  
design + planning

303 Westchester Ave - 4th Floor - New York, NY 10023  
10147 Park Ave - 4th Floor - Manhattan, NY 10028

**1** BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

### POST & COLUMN LEGEND

TAG	MAT'L	SIZE	TAG	MAT'L	SIZE	TAG	MAT'L	SIZE
1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x1/2" HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x3/8" HSS
3	D.F.	6x6	7	STL	5x5x3/8" HSS	11		
4	P.S.L.	4x4	8	STL	4x4x1/2" HSS	12		

### FOOTING KEY

TAG	SIZE
A	24"x24"x12"
B	30"x30"x15"
C	36"x36"x16"

### HANGER KEY

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x3/8" STL ANGLES @ 11 1/2" LONG W/ 1/2" THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL

NEW SINGLE-FAMILY DWELLING FOR:  
**GREGG T. CHAPPELL & EMILY YAVITZ**  
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

BASEMENT PLAN

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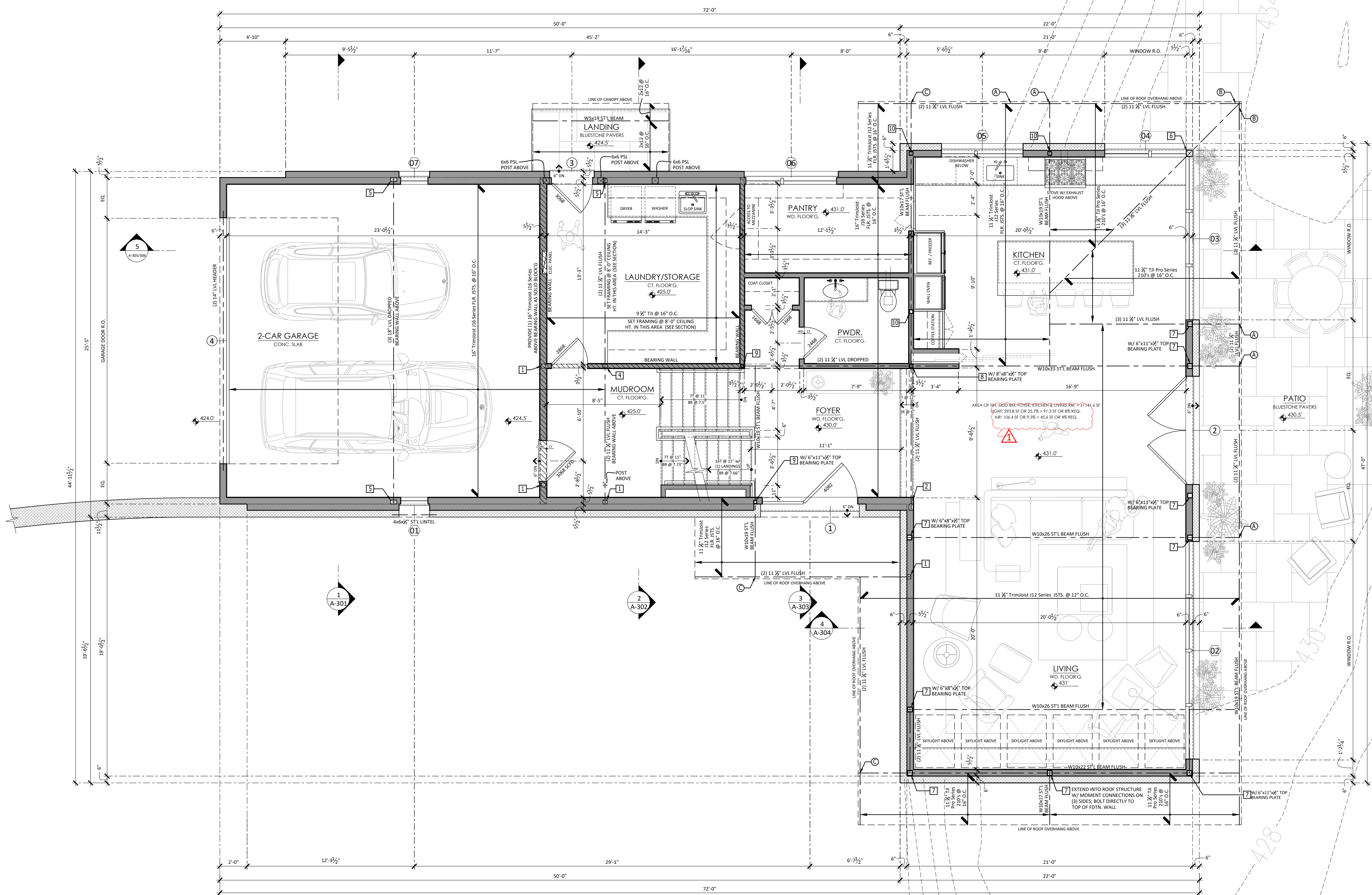
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DRAWN:	JV	N
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JOB NO:	2110	
DATE:	03.08.21	
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**A-101**





**FLOOR PLAN LEGEND**

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	S.C.F.D. SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

**ISSUES:**

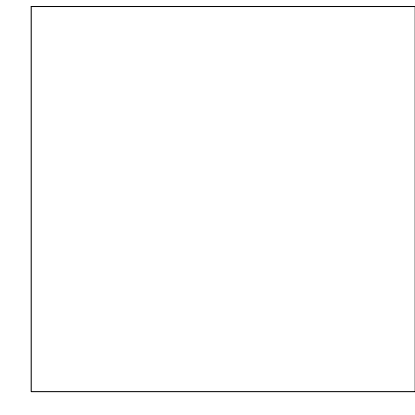
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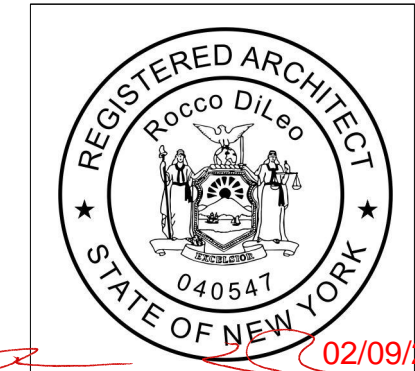
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**NEW SINGLE-FAMILY DWELLING FOR:**  
**GREGG T. CHAPPELL & EMILY YAVITZ**  
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

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**A-102**

**1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**POST & COLUMN LEGEND**

TAG	MAT'L	SIZE	TAG	MAT'L	SIZE	TAG	MAT'L	SIZE
1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x $\frac{1}{2}$ " HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x $\frac{3}{8}$ " HSS
3	D.F.	6x6	7	STL	5x5x $\frac{3}{8}$ " HSS	11		
4	P.S.L.	4x4	8	STL	4x4x $\frac{1}{2}$ " HSS	12		

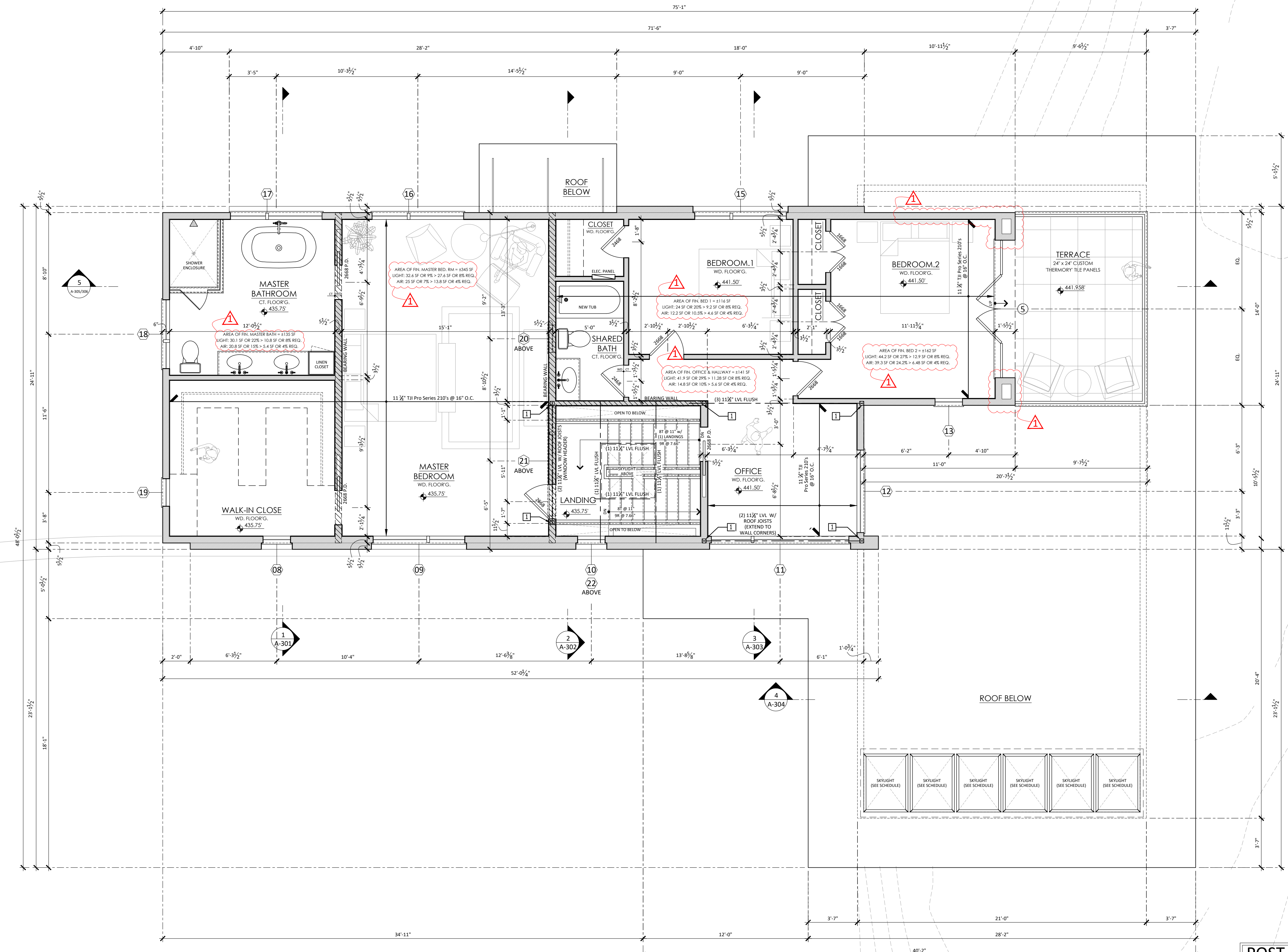
**FOOTING KEY**

TAG	SIZE
A	24"x24"x12"
B	30"x30"x15"
C	36"x36"x16"

**HANGER KEY**

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x $\frac{1}{2}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONG W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL





**1** SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN LEGEND**

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	S.C.F.D. SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

**ISSUES:**

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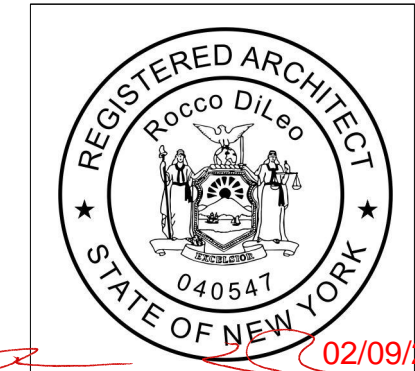
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SECOND FLOOR PLAN

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**A-103**

**POST & COLUMN LEGEND**

TAG	MAT'L	SIZE	TAG	MAT'L	SIZE	TAG	MAT'L	SIZE
1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x $\frac{1}{2}$ " HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x $\frac{3}{8}$ " HSS
3	D.F.	6x6	7	STL	5x5x $\frac{3}{8}$ " HSS	11		
4	P.S.L.	4x4	8	STL	4x4x $\frac{1}{2}$ " HSS	12		

**FOOTING KEY**

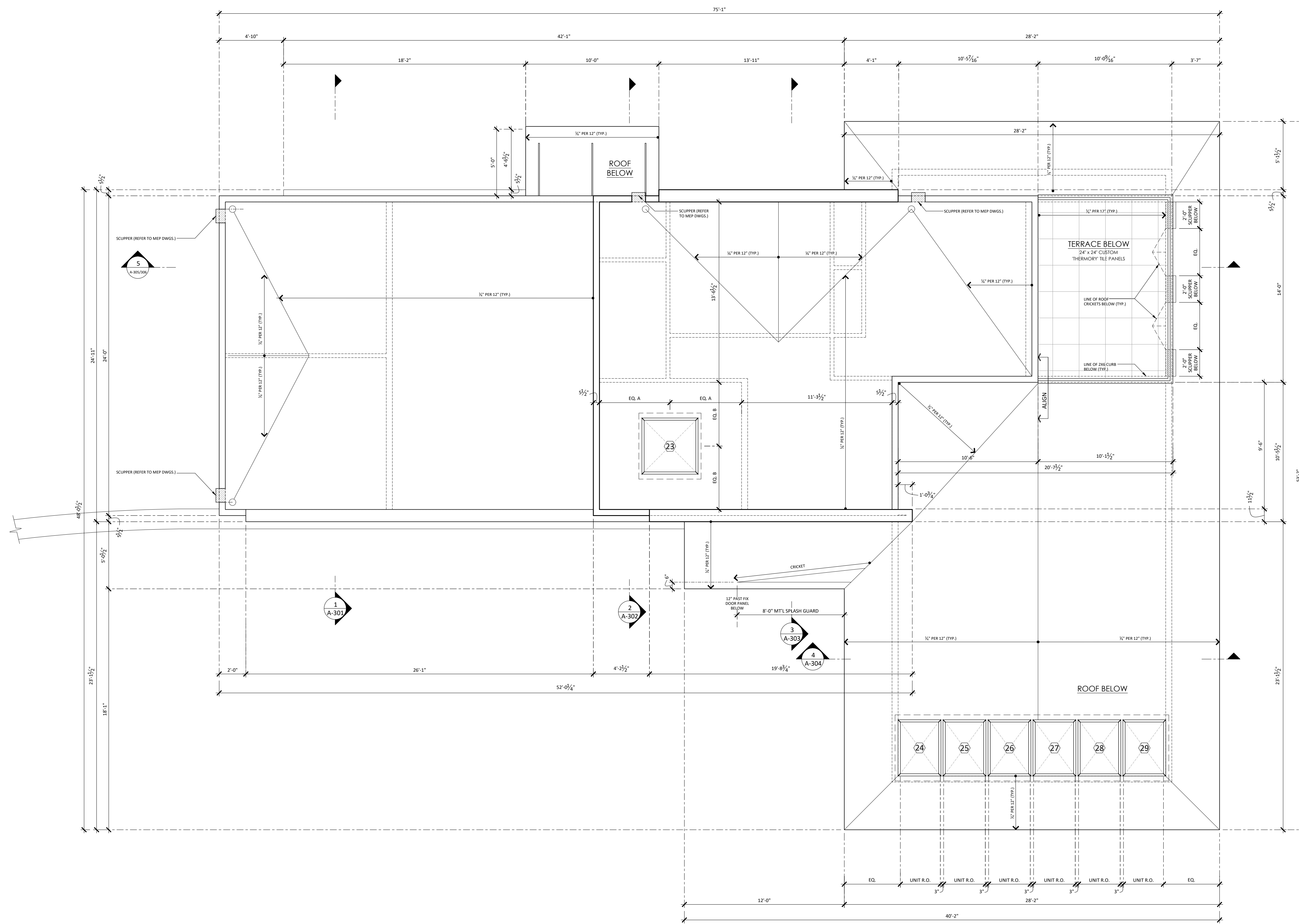
TAG	SIZE
A	24"x24"x12"
B	30"x30"x15"
C	36"x36"x16"

**HANGER KEY**

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x $\frac{1}{2}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONGL W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL

02/09/2022





**1** ROOF PLAN  
A-104 SCALE: 1/4" = 1'-0"

**FLOOR PLAN LEGEND**

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

**ISSUES:**

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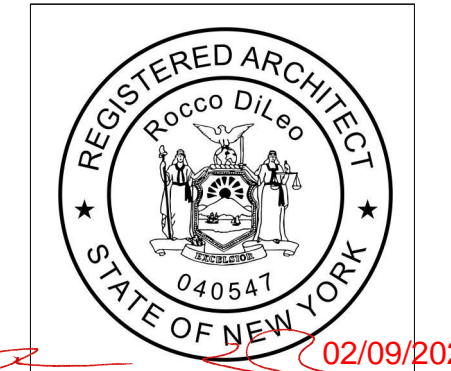
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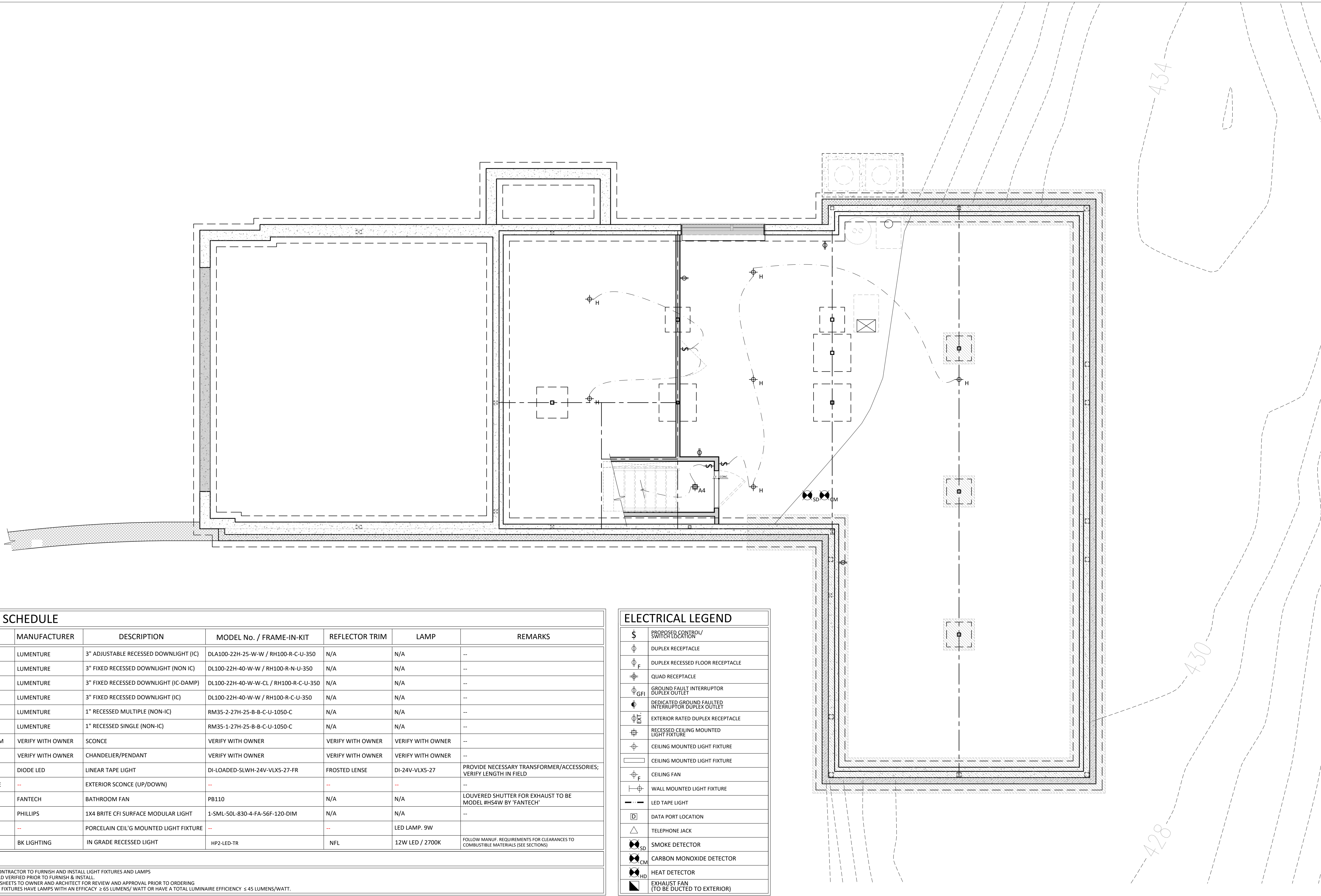


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**A-104**

02/09/2022





LIGHT FIXTURE SCHEDULE							
MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON-IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

ELECTRICAL LEGEND	
	SUPPORTED CONTROL SWITCH
	DUPLEX RECEPTACLE
	DUPLEX RECESSED FLOOR RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT INTERRUPTOR DUPLEX OUTLET
	DEDICATED GROUND FAULTED INTERRUPTOR DUPLEX OUTLET
	EXTERIOR RATED DUPLEX RECEPTACLE
	RECESSED CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING FAN
	WALL MOUNTED LIGHT FIXTURE
	LED TAPE LIGHT
	DATA PORT LOCATION
	TELEPHONE JACK
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

NOTES:  
 1. UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS  
 2. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.  
 3. CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING  
 4. 80% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

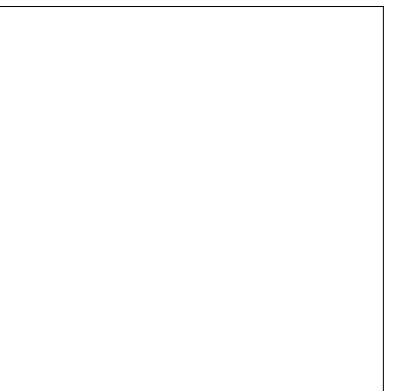
**1** BASEMENT REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1'-0"

ISSUES:	
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BASEMENT RCP

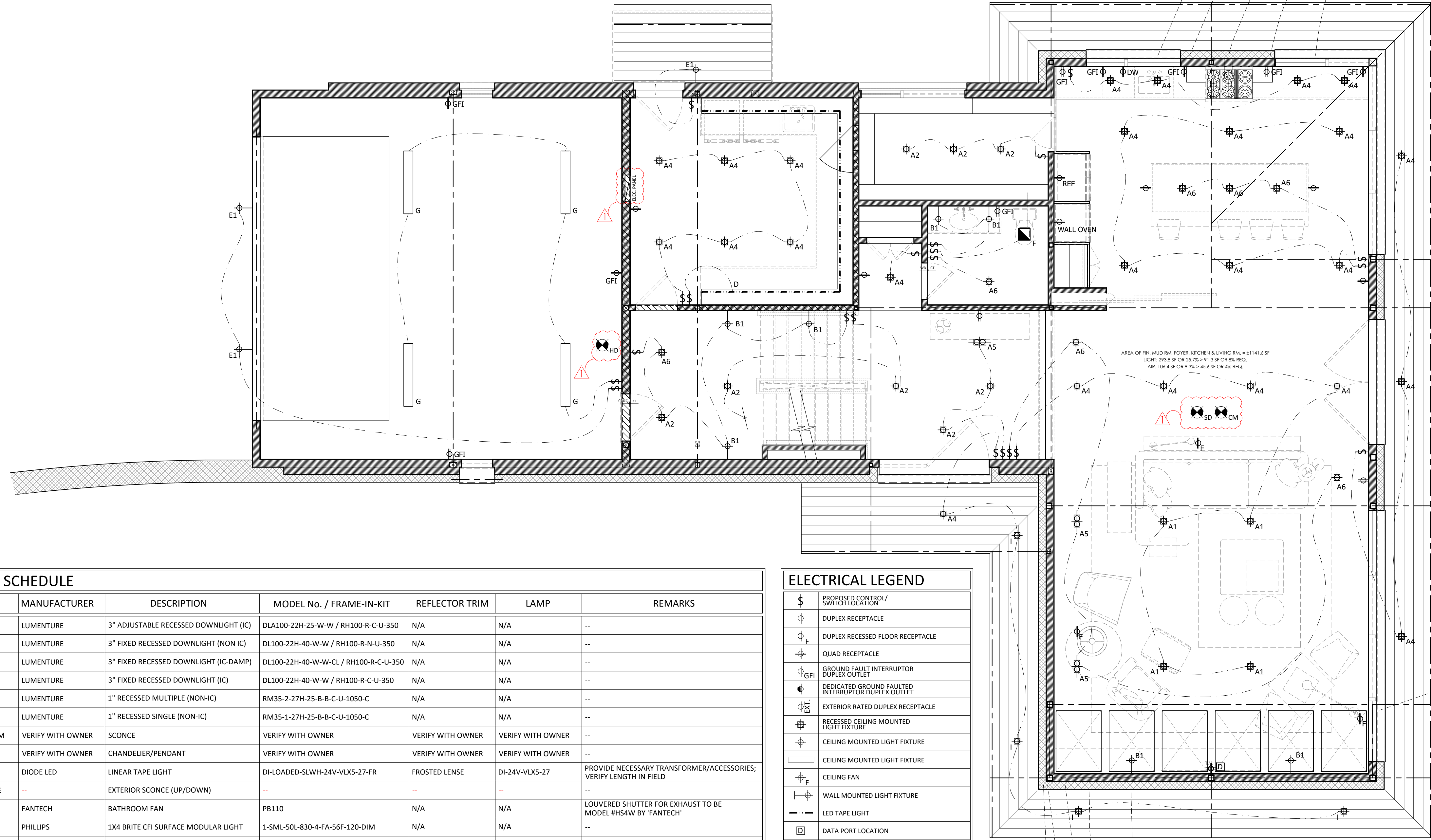
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**A-105**





**LIGHT FIXTURE SCHEDULE**

MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIABLES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIABLES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIABLES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIABLES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

**NOTES:**

- UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.
- CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING
- 50% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

**ELECTRICAL LEGEND**

- Ⓢ SWITCHED CONTROL
- Ⓛ DUPLEX RECEPTACLE
- Ⓛ DUPLEX RECESSED FLOOR RECEPTACLE
- Ⓛ QUAD RECEPTACLE
- Ⓛ GFI GROUND FAULT INTERRUPTOR
- Ⓛ GFI DUPLEX OUTLET
- Ⓛ EXT EXTERIOR RATED DUPLEX RECEPTACLE
- Ⓛ RECESSED CEILING MOUNTED LIGHT FIXTURE
- Ⓛ CEILING MOUNTED LIGHT FIXTURE
- Ⓛ CEILING MOUNTED LIGHT FIXTURE
- Ⓛ CEILING FAN
- Ⓛ WALL MOUNTED LIGHT FIXTURE
- Ⓛ LED TAPE LIGHT
- Ⓛ DATA PORT LOCATION
- Ⓛ TELEPHONE JACK
- Ⓛ SMOKE DETECTOR
- Ⓛ CM CARBON MONOXIDE DETECTOR
- Ⓛ HEAT DETECTOR
- Ⓛ HD EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

**1** FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

**ISSUES:**

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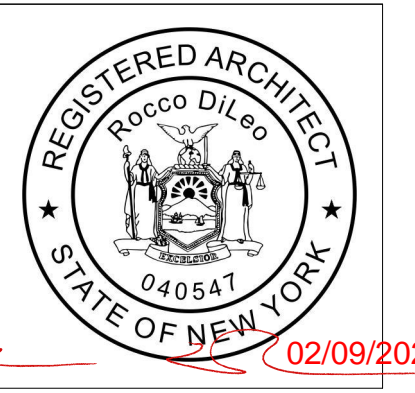
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FIRST FLOOR RCP

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**A-106**

02/09/2022

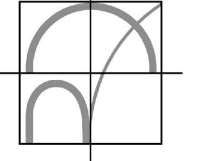
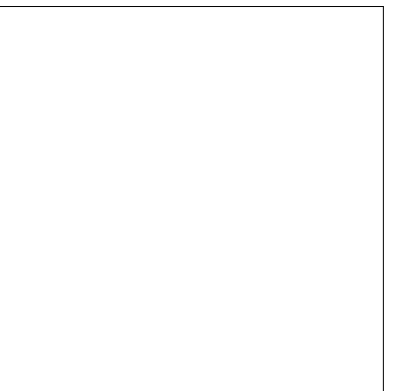


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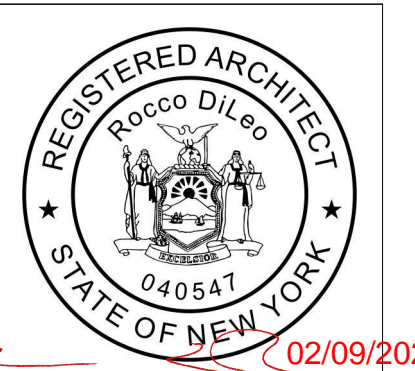
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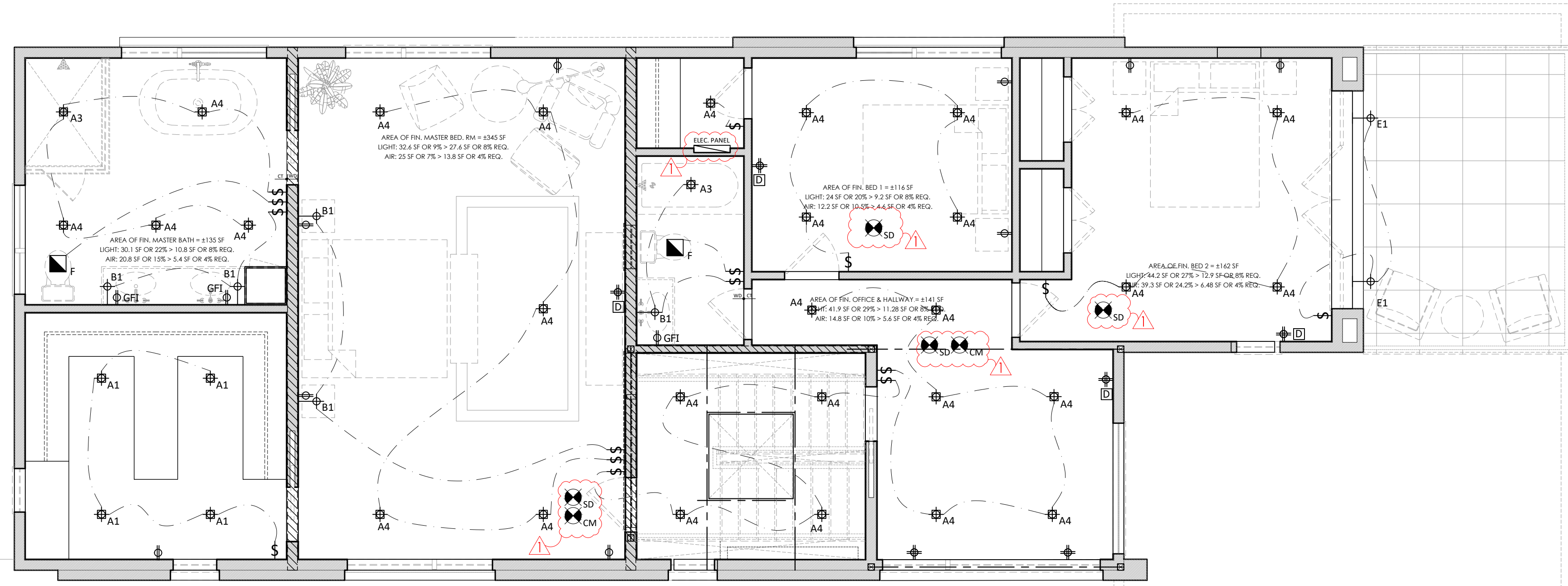
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A-107



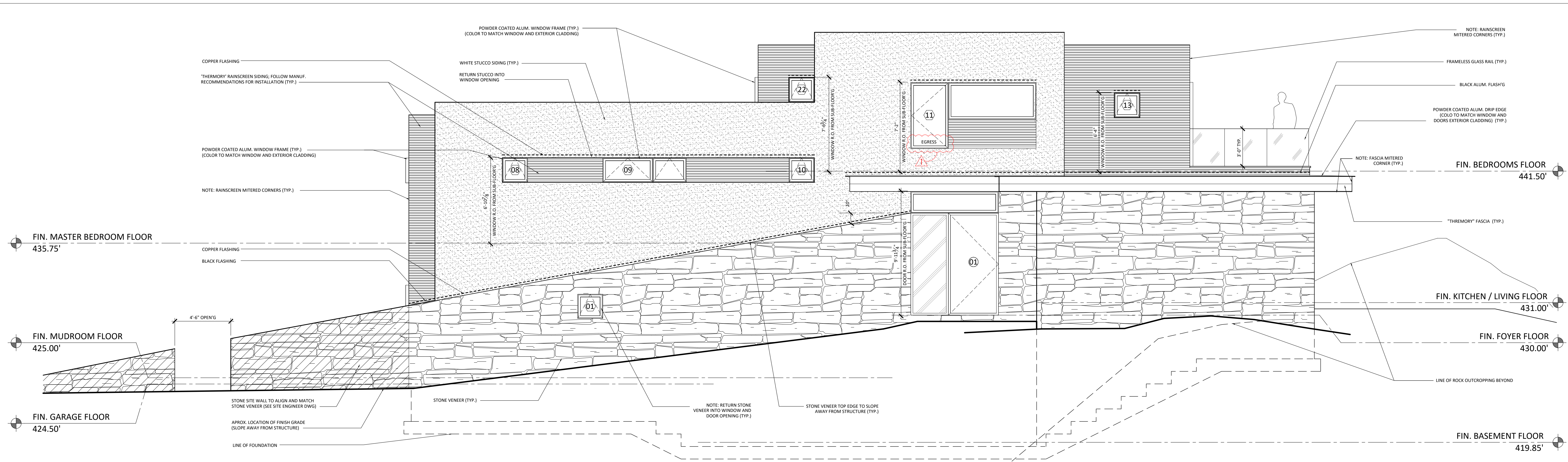
LIGHT FIXTURE SCHEDULE							
MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIABLES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON-IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIABLES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIABLES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIABLES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

- NOTES:**
- UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS
  - ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.
  - CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING
  - 50% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

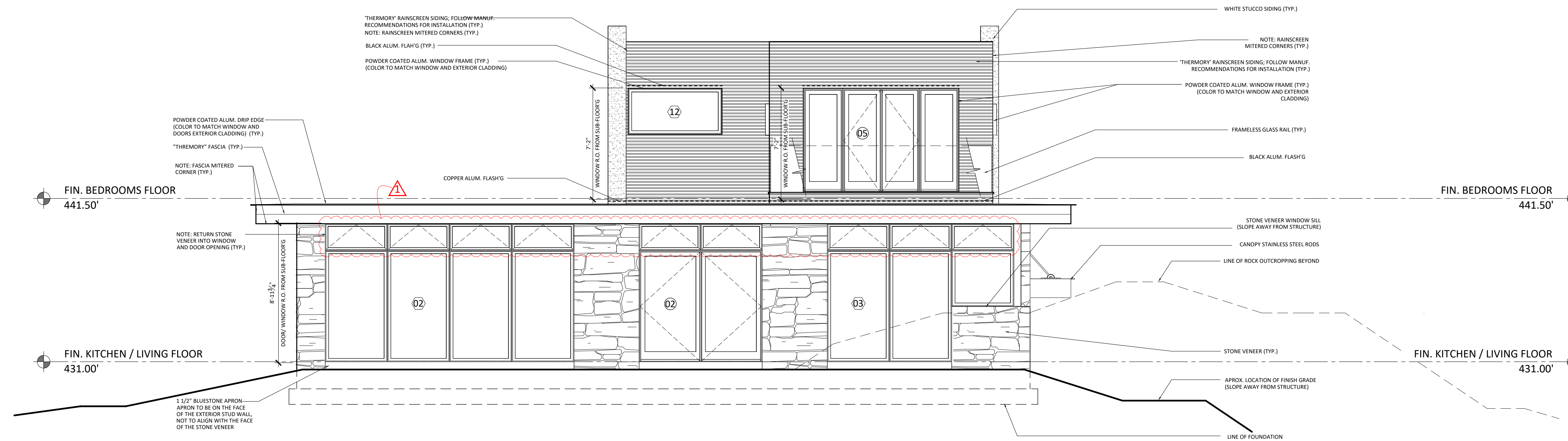
**1** SECOND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
S	PROPOSED CONTROL / SWITCH LOCATION
⊕	DUPLEX RECEPTACLE
⊕ F	DUPLEX RECESSED FLOOR RECEPTACLE
⊕ Q	QUAD RECEPTACLE
⊕ GF	GROUND FAULT INTERRUPTOR DUPLEX OUTLET
⊕ EXT	EXTERIOR RATED DUPLEX RECEPTACLE
⊕ R	RECESSED CEILING MOUNTED LIGHT FIXTURE
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕ F	CEILING FAN
⊕ W	WALL MOUNTED LIGHT FIXTURE
---	LED TAPE LIGHT
⊕ D	DATA PORT LOCATION
⊕ T	TELEPHONE JACK
SD	SMOKE DETECTOR
CM	CARBON MONOXIDE DETECTOR
HD	HEAT DETECTOR
EXH	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)





1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

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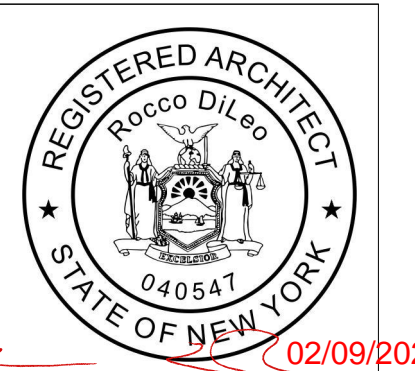
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NEW SINGLE-FAMILY DWELLING FOR:  
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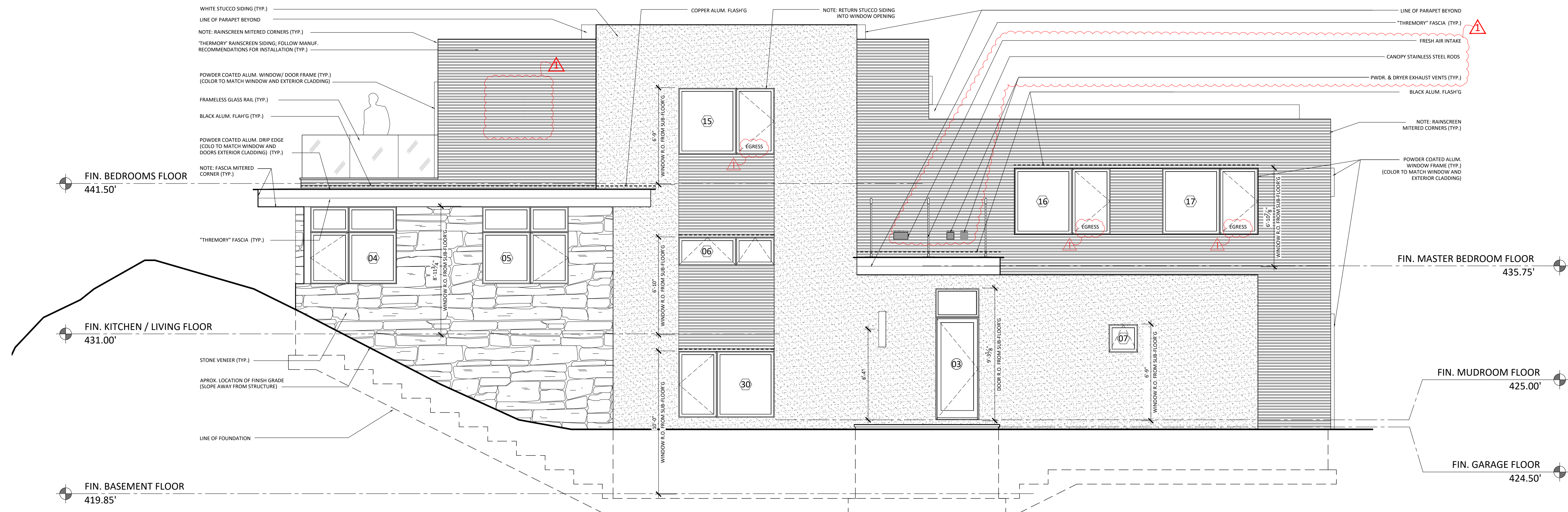


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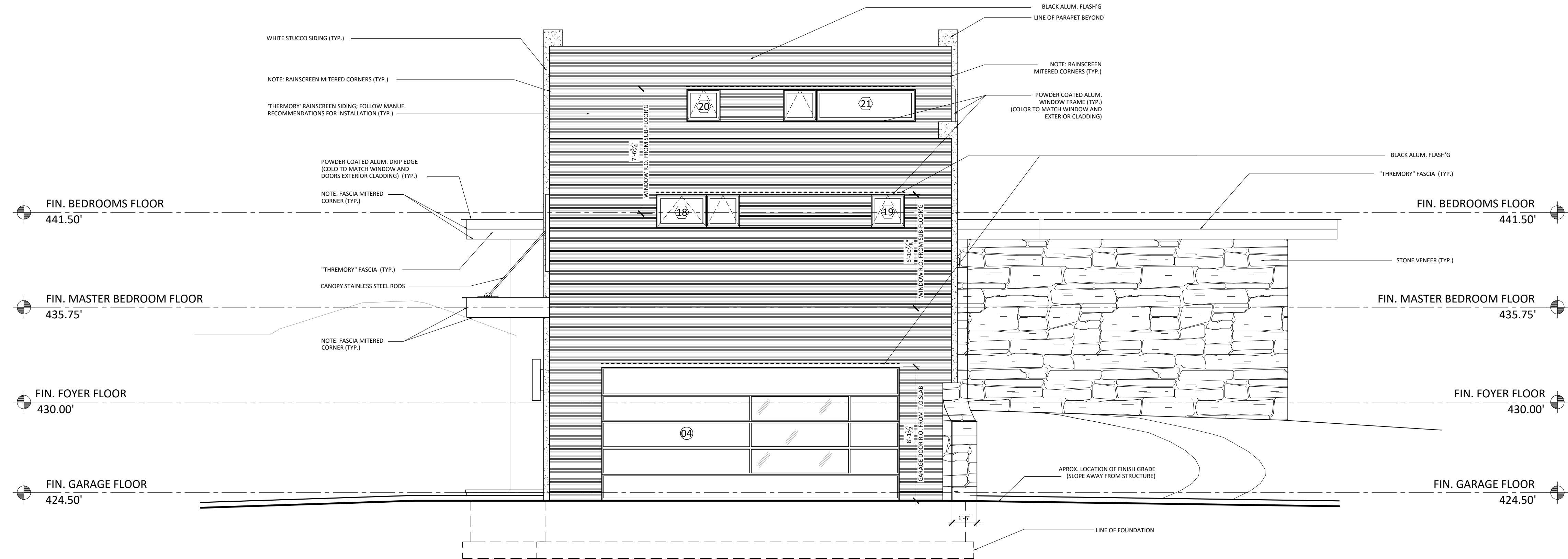
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A-201





1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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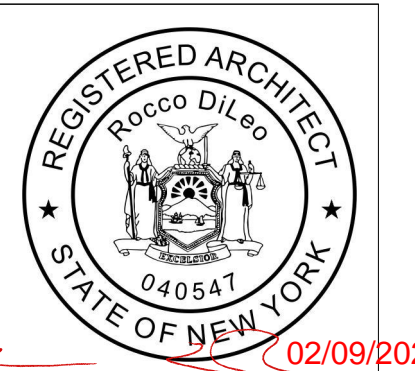
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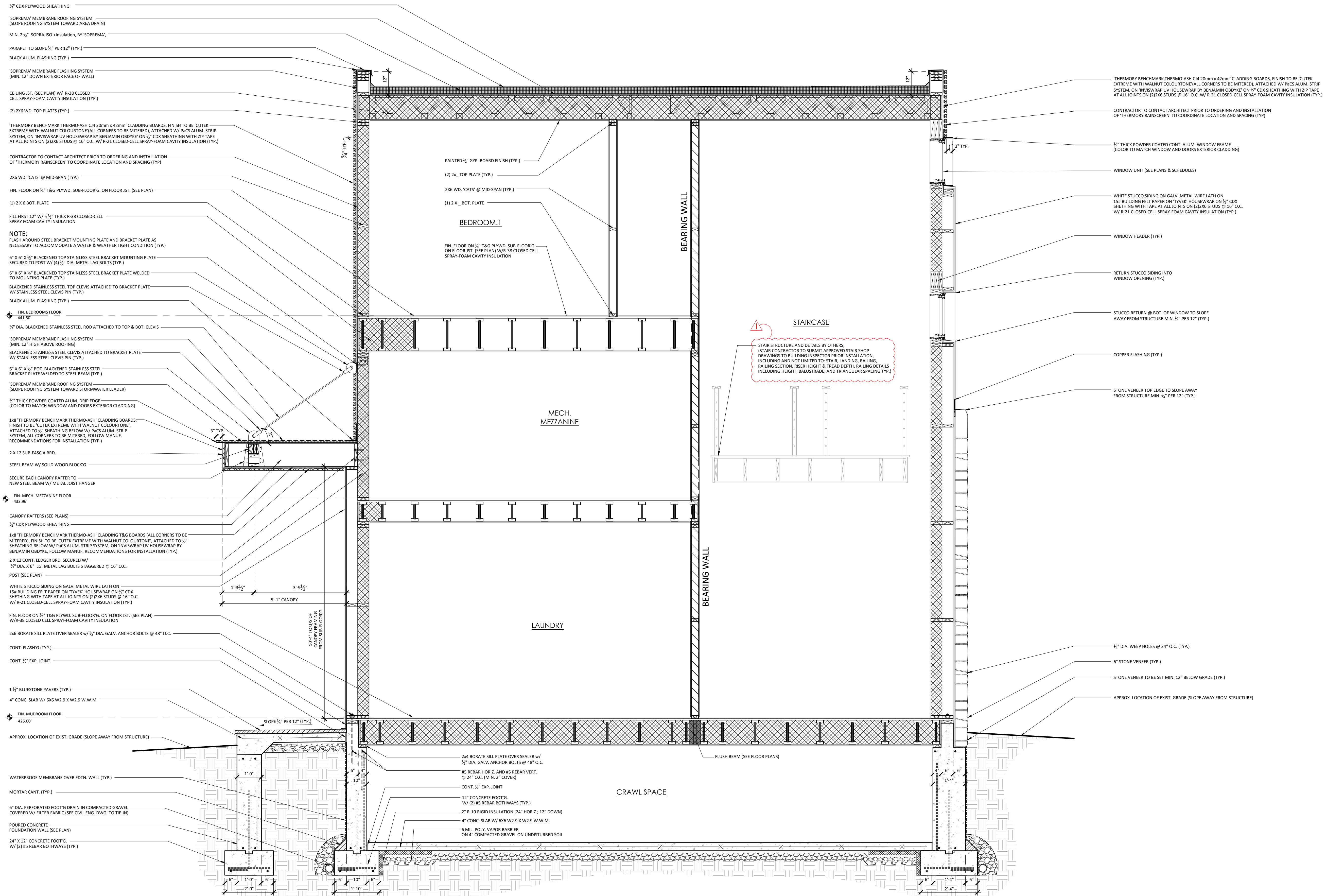
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A-202





1 CROSS-SECTION.2  
A-302 SCALE: 1/2" = 1'-0"

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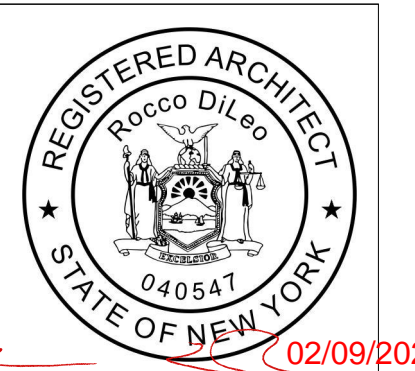
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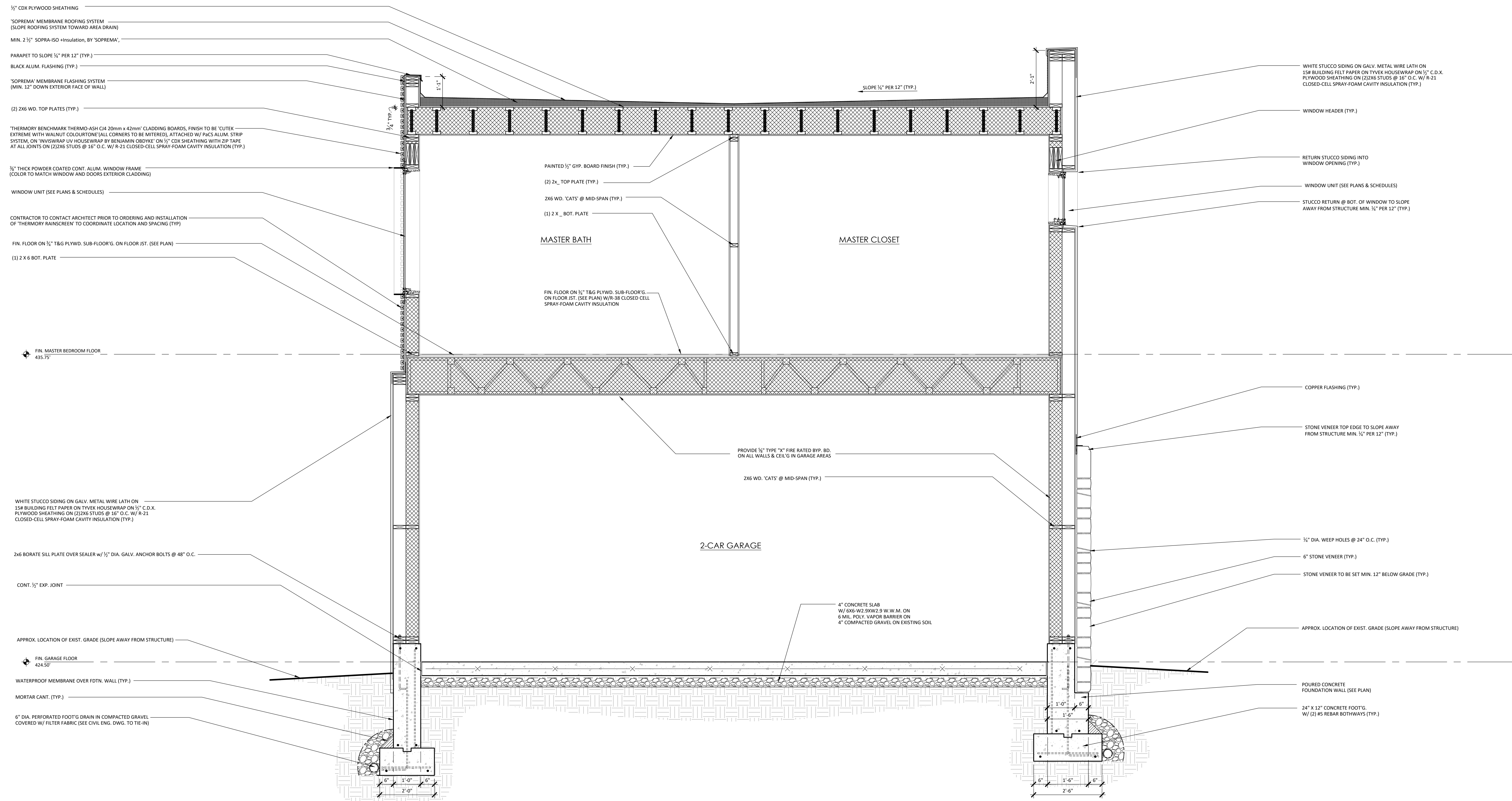


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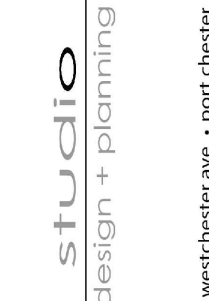




**1**  
A-301 CROSS-SECTION.1  
SCALE: 1/2" = 1'-0"

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A-301

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1/2" CDX PLYWOOD SHEATHING  
 'SOPREMA' MEMBRANE ROOFING SYSTEM  
 (SLOPE ROOFING SYSTEM TOWARD AREA DRAIN)  
 MIN. 2 1/2" SOPRA-ISO INSULATION, BY 'SOPREMA',  
 PARAPET TO SLOPE 1/4" PER 12" (TYP.)  
 BLACK ALUM. FLASHING (TYP.)  
 'SOPREMA' MEMBRANE FLASHING SYSTEM  
 (MIN. 12" DOWN EXTERIOR FACE OF WALL)  
 CEILING JST. (SEE PLANS) W/ R-38 CLOSED  
 CELL SPRAY-FOAM CAVITY INSULATION (TYP.)  
 (2) 2X6 WD. TOP PLATES (TYP.)

FIN. FLOOR ON 3/4" T&G PLYWD. SUB-FLOOR'G. ON FLOOR JST. (SEE PLAN)  
 (1) 2 X 6 BOT. PLATE  
 FILL FIRST 12" W/ 5 1/2" THICK R-38 CLOSED-CELL  
 SPRAY-FOAM CAVITY INSULATION

FIN. BEDROOMS FLOOR  
 441.50'

FIN. FLOOR ON 3/4" T&G PLYWD. SUB-FLOOR'G. ON FLOOR JST. (SEE PLAN)  
 W/R-38 CLOSED-CELL SPRAY-FOAM CAVITY INSULATION  
 2x6 BORATE SILL PLATE OVER SEALER W/ 1/2" DIA. GALV. ANCHOR BOLTS @ 48" O.C.

FIN. KITCHEN / LIVING FLOOR  
 431.00'

WINDOW UNIT (SEE PLANS & SCHEDULES)

APPROX. LOCATION OF EXIST. GRADE (SLOPE AWAY FROM STRUCTURE)

WATERPROOF MEMBRANE OVER FDN. WALL (TYP.)  
 MORTAR CANT. (TYP.)  
 6" DIA. PERFORATED FOOT'G DRAIN IN COMPACTED GRAVEL  
 COVERED W/ FILTER FABRIC (SEE CIVIL ENG. DWG. TO TIE-IN)

FIN. BASEMENT FLOOR  
 419.85'

CONT. 1/2" EXP. JOINT  
 24" X 12" CONCRETE FOOT'G  
 W/ (2) #5 REBAR BOTHWAYS (TYP.)  
 2" R-10 RIGID INSULATION (24" HORIZ., 12" DOWN)  
 4" CONC. SLAB W/ 6X6 W2.9 X W2.9 W.W.M.  
 6 MIL. POLY. VAPOR BARRIER  
 ON 4" COMPACTED GRAVEL ON UNDISTURBED SOIL

WINDOW HEADER (TYP.)  
 RETURN STUCCO SIDING INTO  
 WINDOW OPENING (TYP.)  
 WINDOW UNIT (SEE PLANS & SCHEDULES)

STUCCO RETURN @ BOT. OF WINDOW TO SLOPE  
 AWAY FROM STRUCTURE MIN. 1/4" PER 12" (TYP.)  
 WHITE STUCCO SIDING ON GALV. METAL WIRE LATH ON  
 15# BUILDING FELT PAPER ON TYVEK HOUSEWRAP ON 1/2" C.D.X.  
 PLYWOOD SHEATHING ON (2) 2X6 STUDS @ 16" O.C. W/ R-21  
 CLOSED-CELL SPRAY-FOAM CAVITY INSULATION (TYP.)  
 BLACK ALUM. FLASHING (TYP.)  
 'SOPREMA' MEMBRANE FLASHING SYSTEM  
 (MIN. 12" HIGH ABOVE ROOFING)  
 'SOPREMA' MEMBRANE ROOFING SYSTEM  
 (SLOPE ROOFING SYSTEM TOWARD STORMWATER LEADER)  
 1/2" THICK POWDER COATED ALUM. DRIP EDGE  
 (COLOR TO MATCH WINDOW AND DOORS EXTERIOR CLADDING)  
 1x8 'THERMORY BENCHMARK THERMO-ASH' CLADDING BOARDS.  
 FINISH TO BE 'CUTEK EXTREME WITH WALNUT COLOURTONE',  
 ATTACHED TO 1/2" SHEATHING BELOW W/ PACS ALUM. STRIP  
 SYSTEM. ALL CORNERS TO BE MITERED. FOLLOW MANUF.  
 RECOMMENDATIONS FOR INSTALLATION (TYP.)  
 2 X 12 SUB-FASCIA BRD.

CANOPY RAFTERS (SEE PLANS)  
 1/2" CDX PLYWOOD SHEATHING  
 1x8 'THERMORY BENCHMARK THERMO-ASH' CLADDING T&G BOARDS (ALL CORNERS TO BE  
 MITERED). FINISH TO BE 'CUTEK EXTREME WITH WALNUT COLOURTONE', ATTACHED TO 1/2"  
 SHEATHING BELOW W/ PACS ALUM. STRIP SYSTEM. ON 'TYVEK' W/ HOUSEWRAP BY  
 BENJAMIN OBDYKE, FOLLOW MANUF. RECOMMENDATIONS FOR INSTALLATION (TYP.)

DOOR UNIT (SEE PLANS & SCHEDULES)  
 6" STONE VENEER (TYP.)  
 STONE VENEER TO BE SET MIN. 12" BELOW GRADE (TYP.)  
 APPROX. LOCATION OF EXIST. GRADE (SLOPE AWAY FROM STRUCTURE)  
 FIN. FOYER FLOOR  
 430.00'

2x6 BORATE SILL PLATE OVER SEALER W/ 1/2"  
 DIA. GALV. ANCHOR BOLTS @ 48" O.C.  
 #5 REBAR HORIZ. AND #5 REBAR VERT.  
 @ 24" O.C. (MIN. 2" COVER)

FOUNDED CONCRETE  
 FOUNDATION WALL (SEE PLAN)  
 24" X 12" CONCRETE FOOT'G  
 W/ (2) #5 REBAR BOTHWAYS (TYP.)

**1**  
**A-303** CROSS-SECTION.3  
 SCALE: 1/2" = 1'-0"

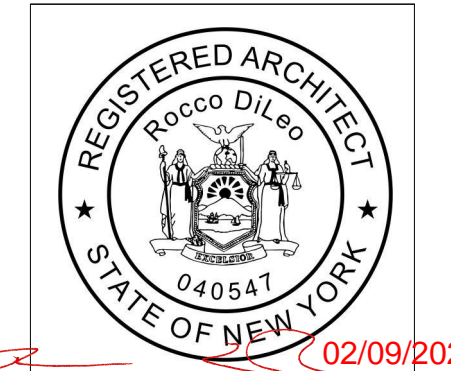
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**A-303**

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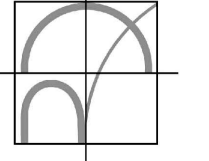
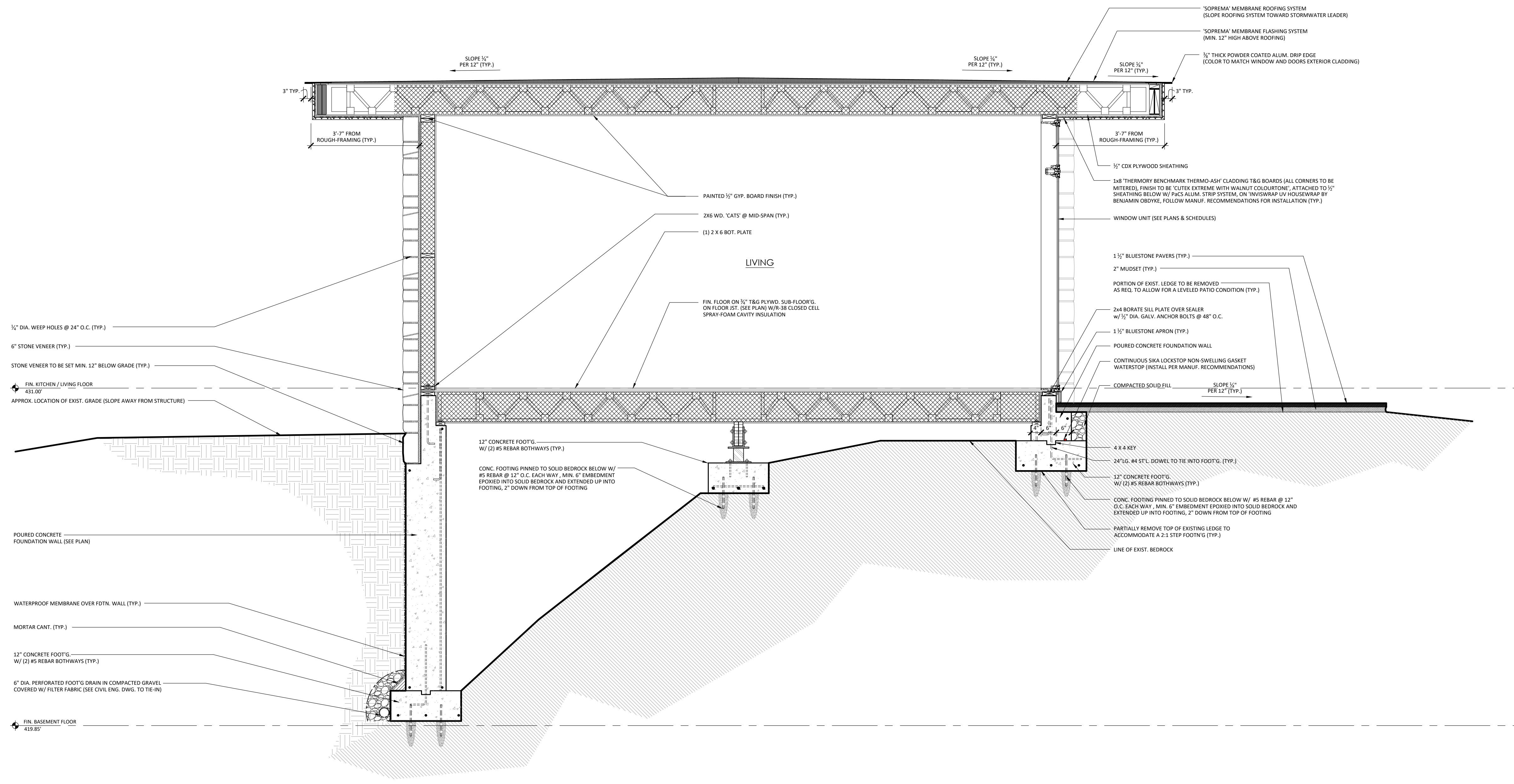


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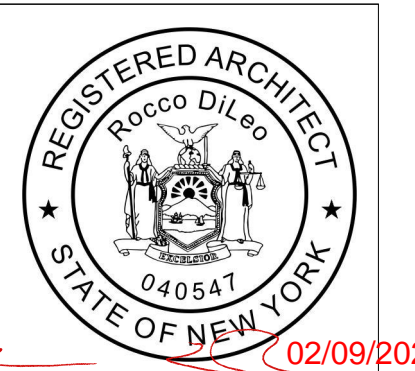



1 CROSS-SECTION.4  
A-304 SCALE: 1/2" = 1'-0"

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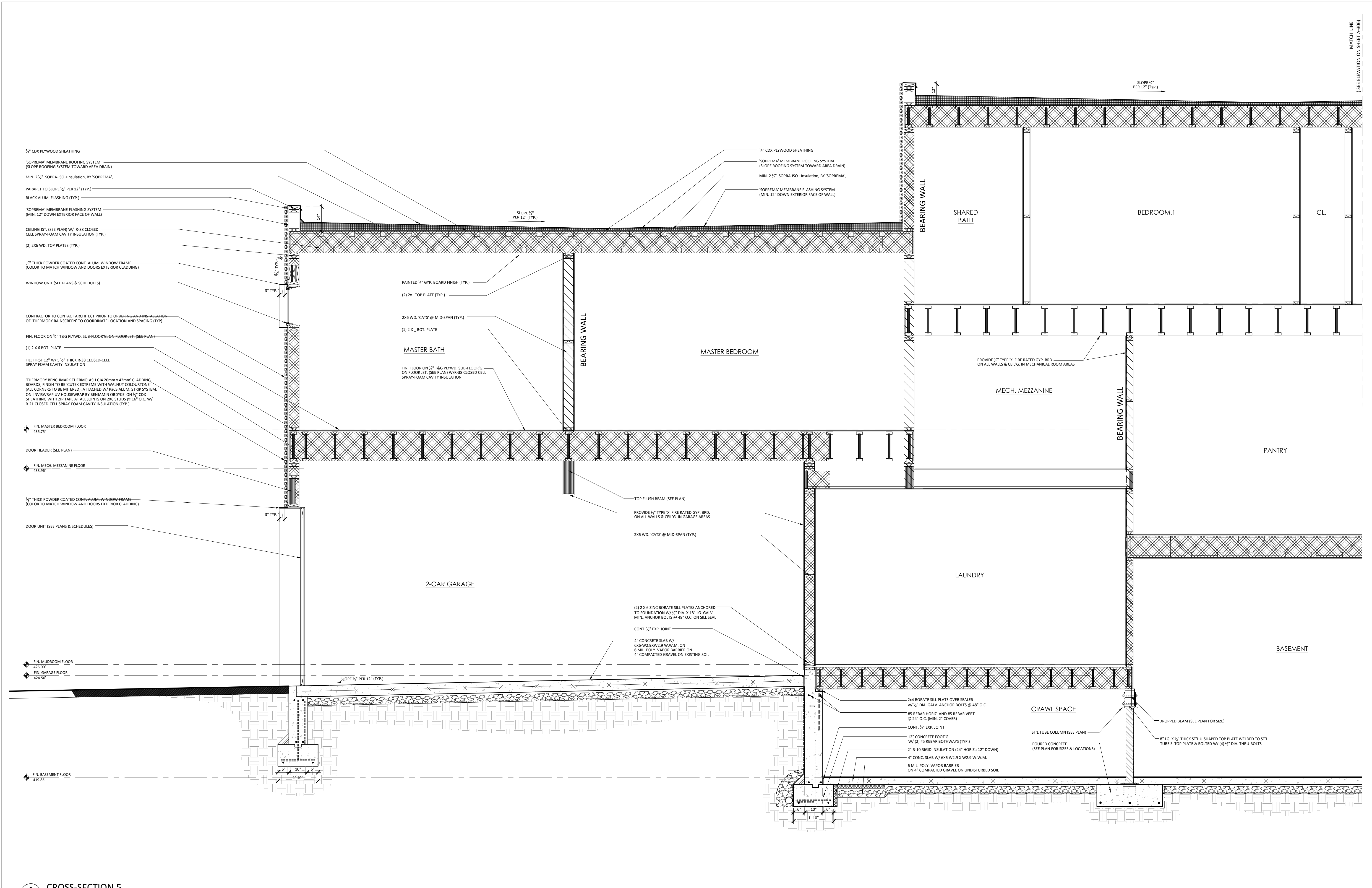
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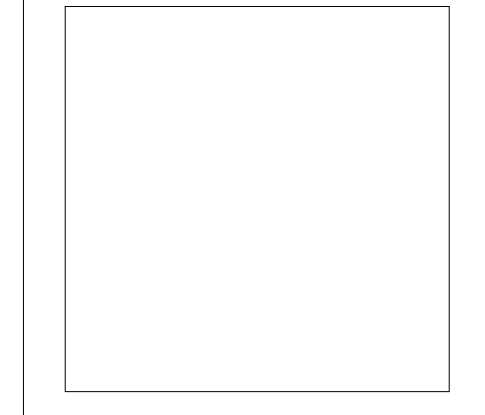
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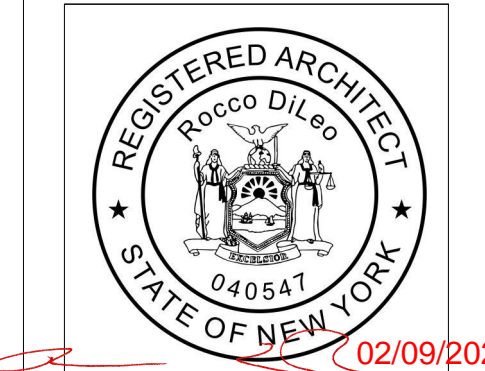


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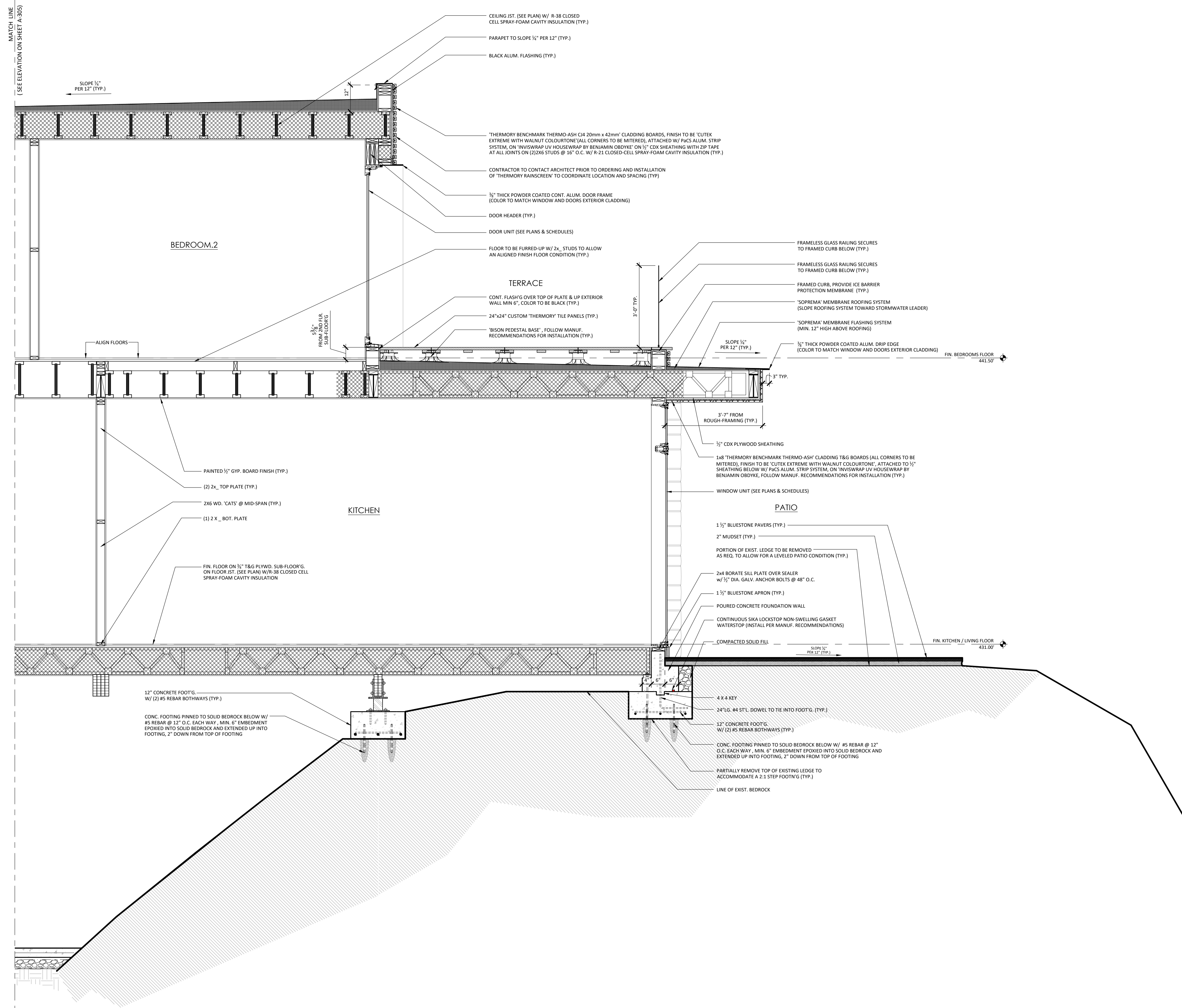


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A-305

**1** CROSS-SECTION.5  
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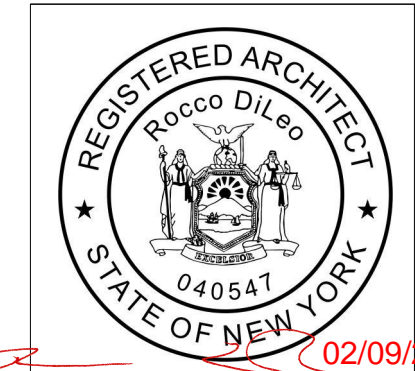
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A-306

**1** CROSS-SECTION.5  
 A-306 SCALE: 1/2" = 1'-0"

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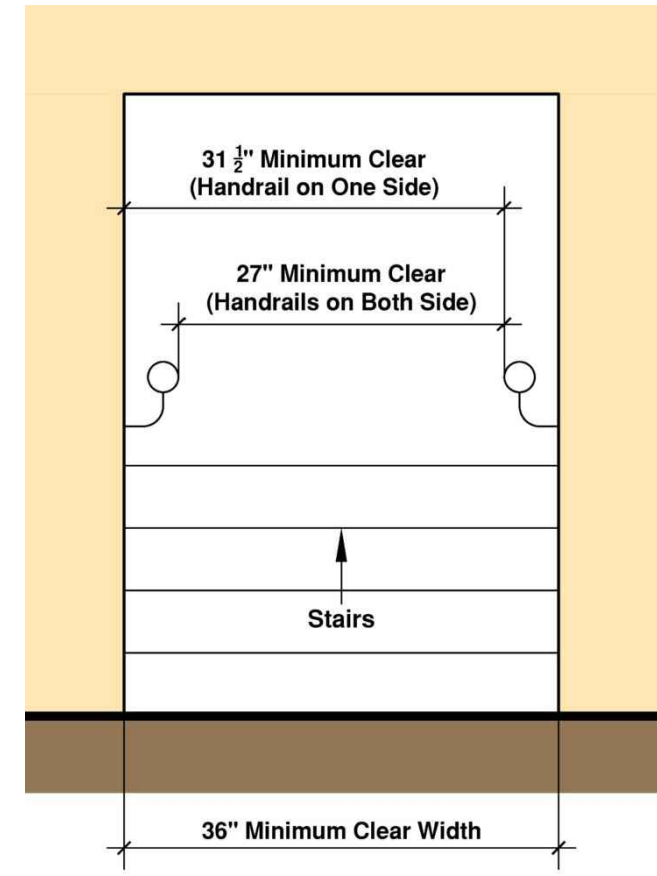
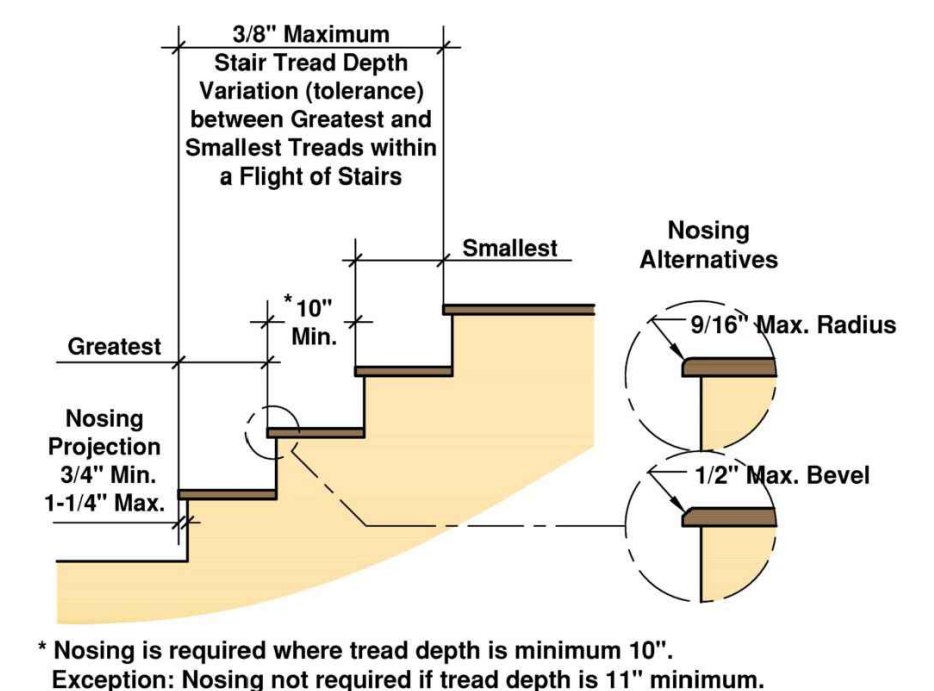
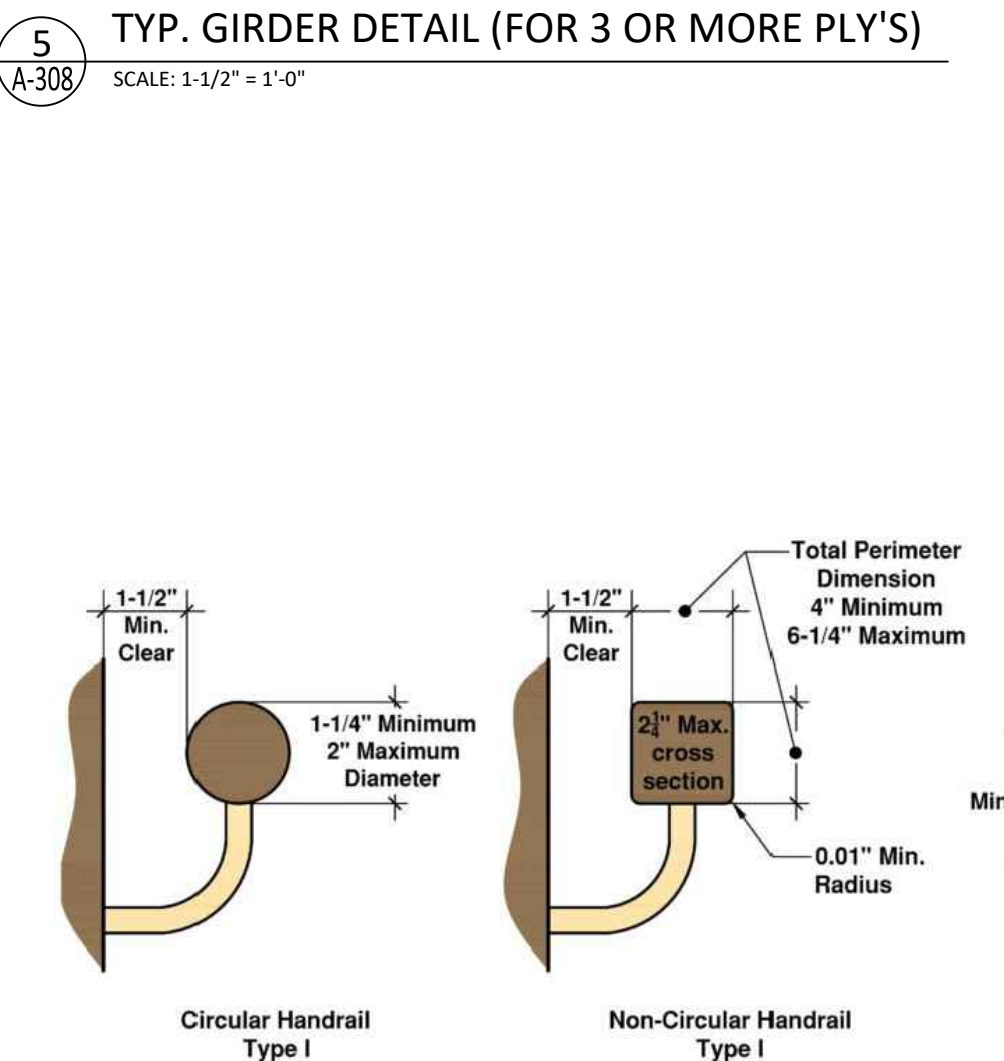
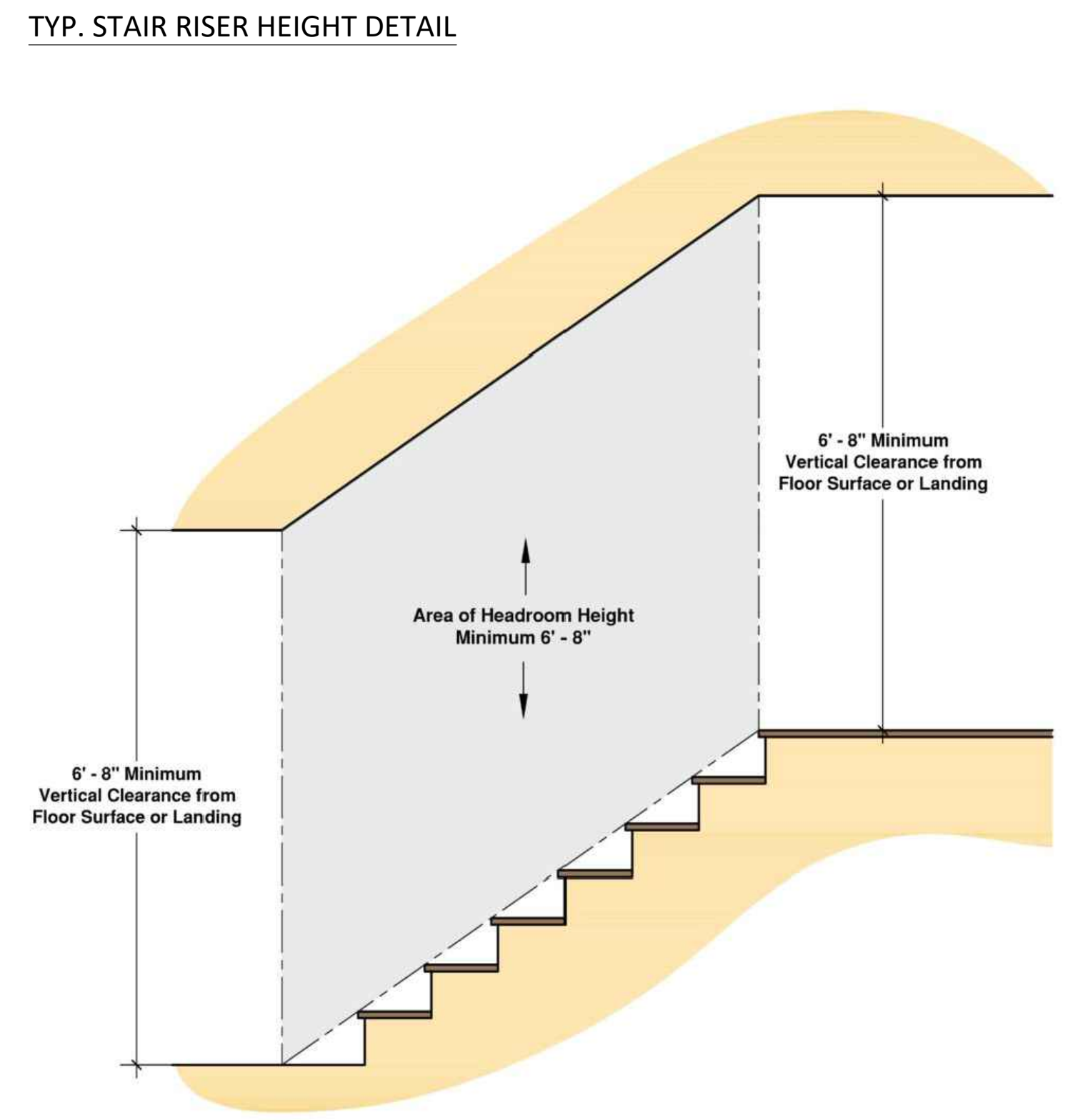
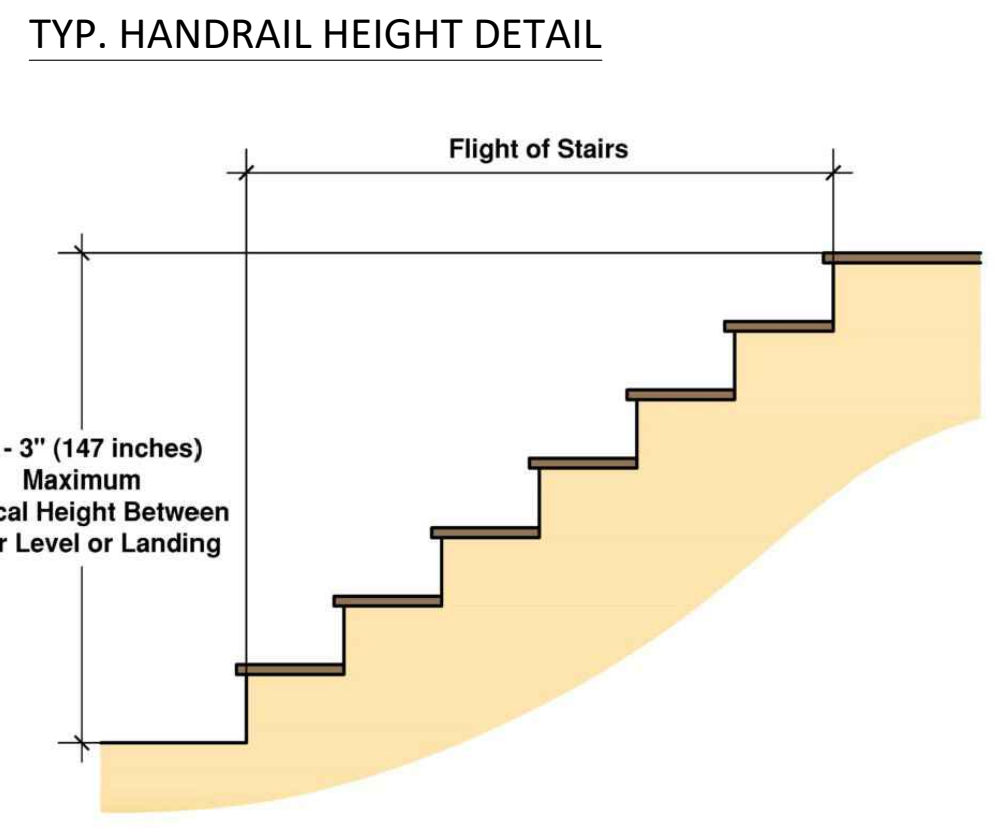
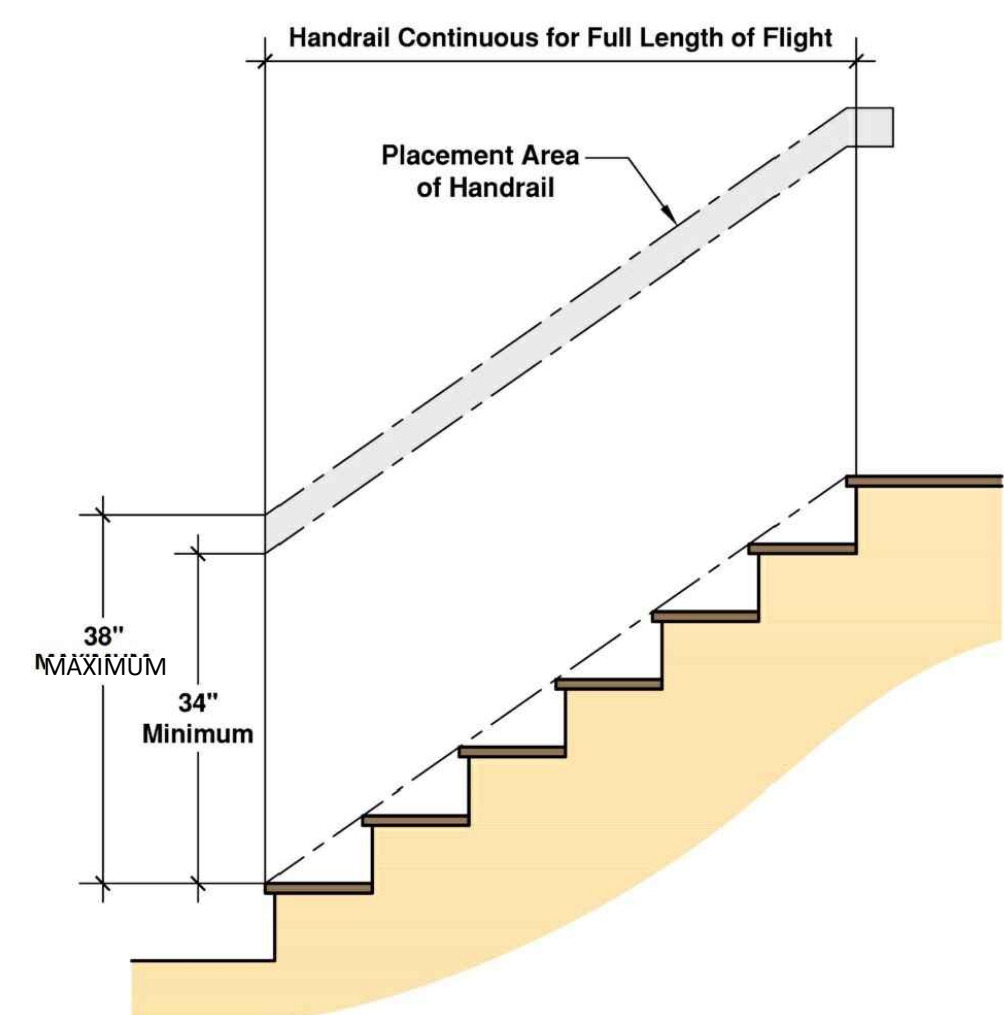
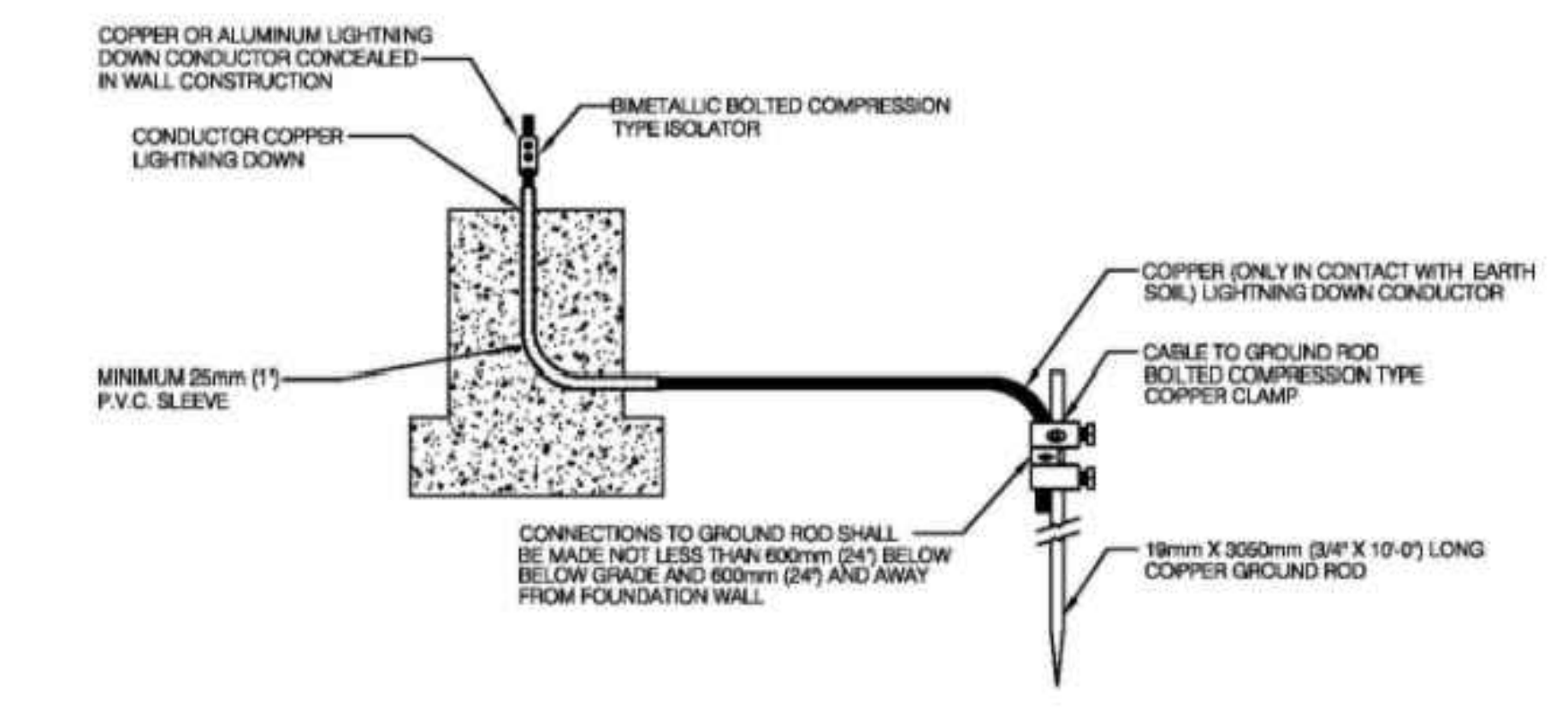
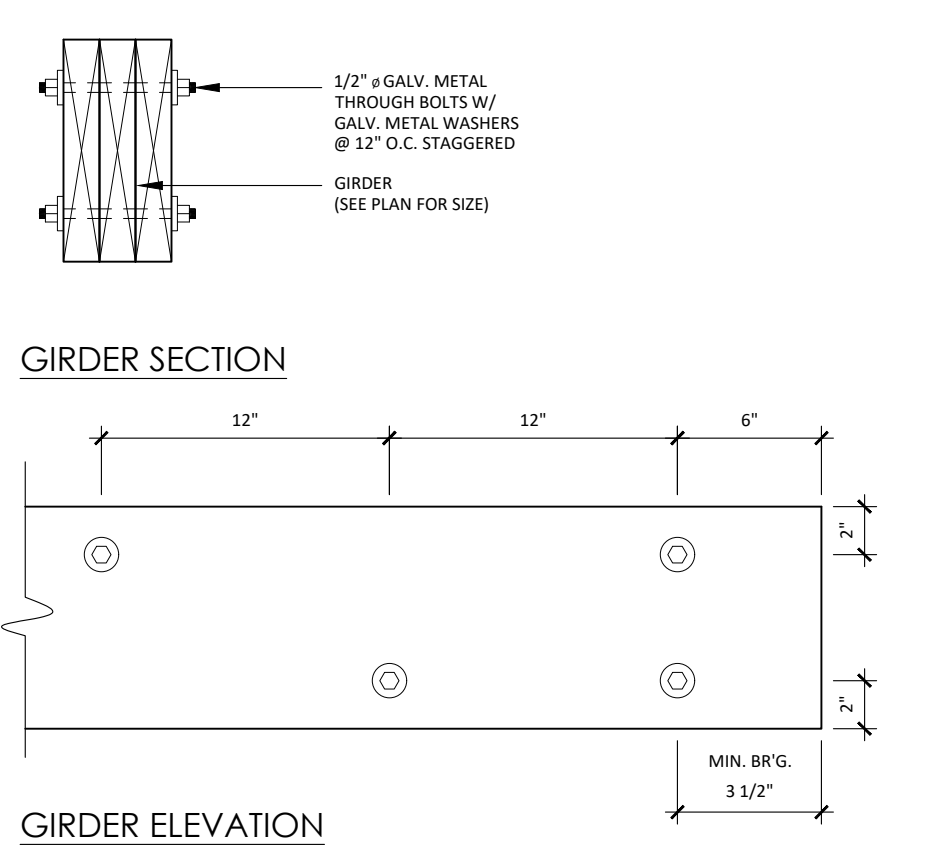
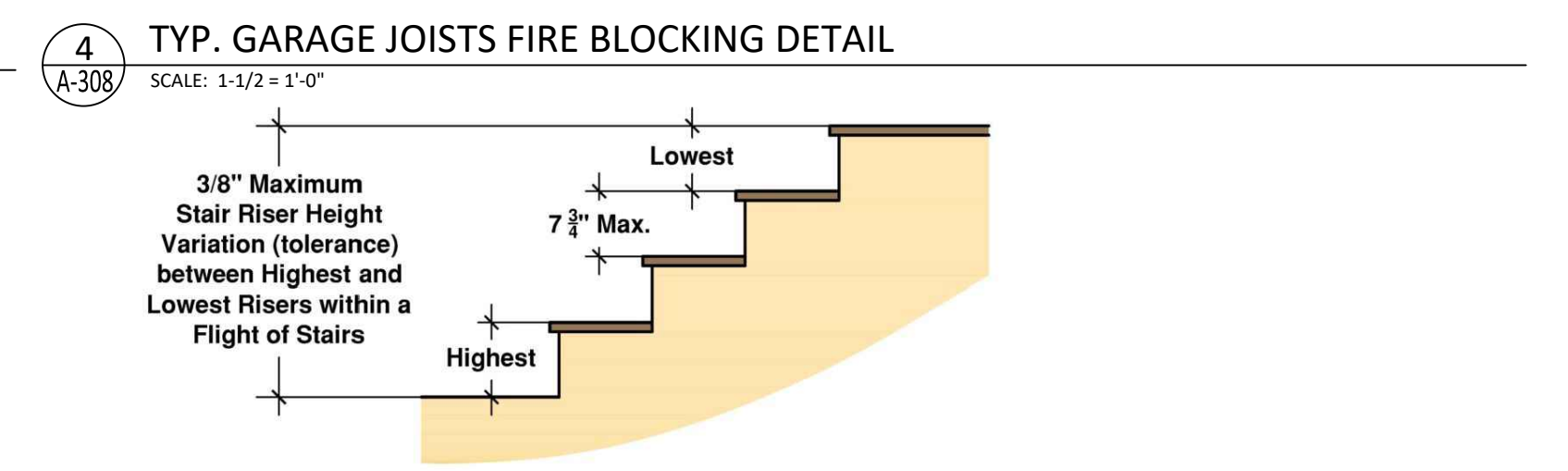
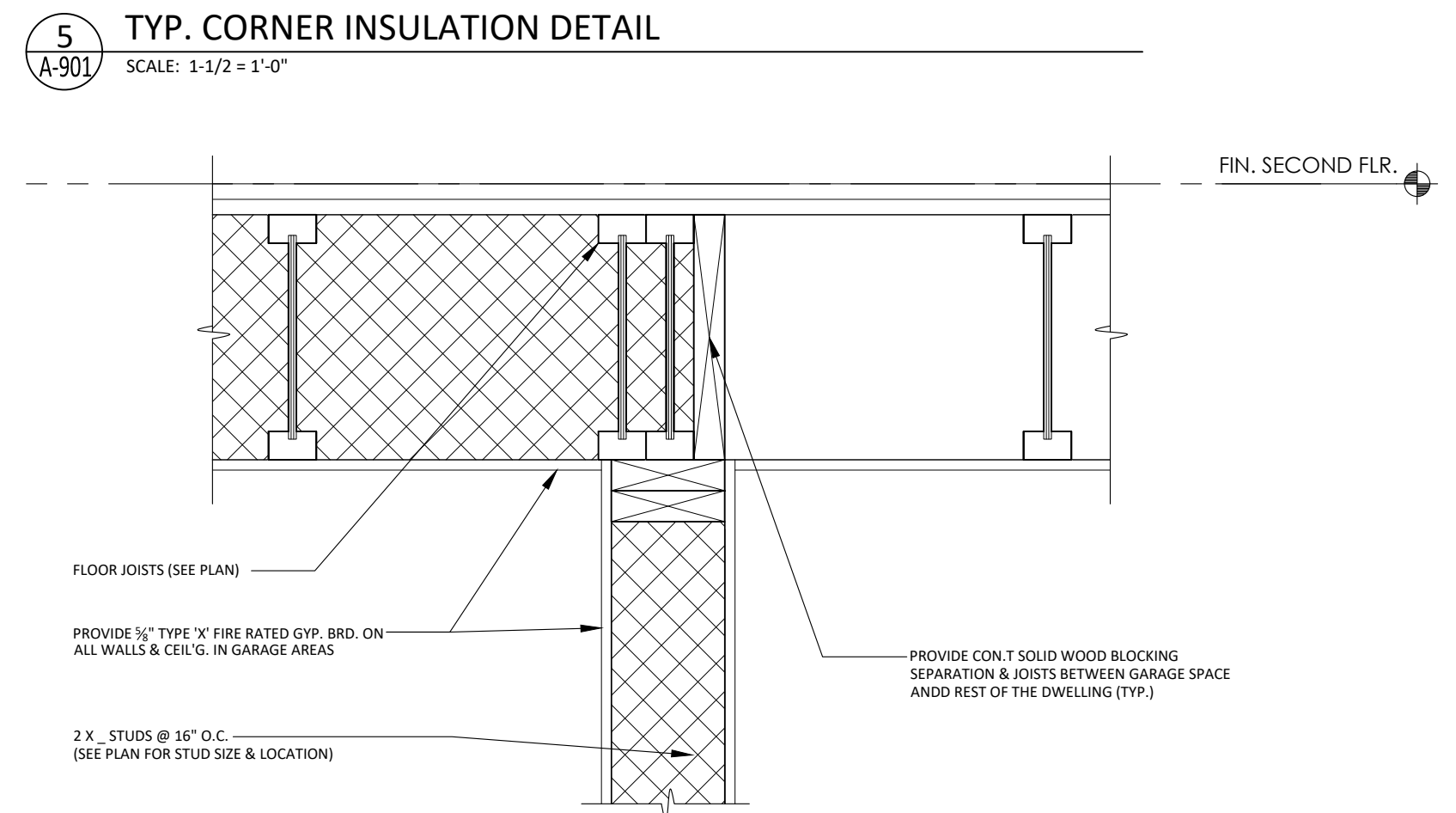
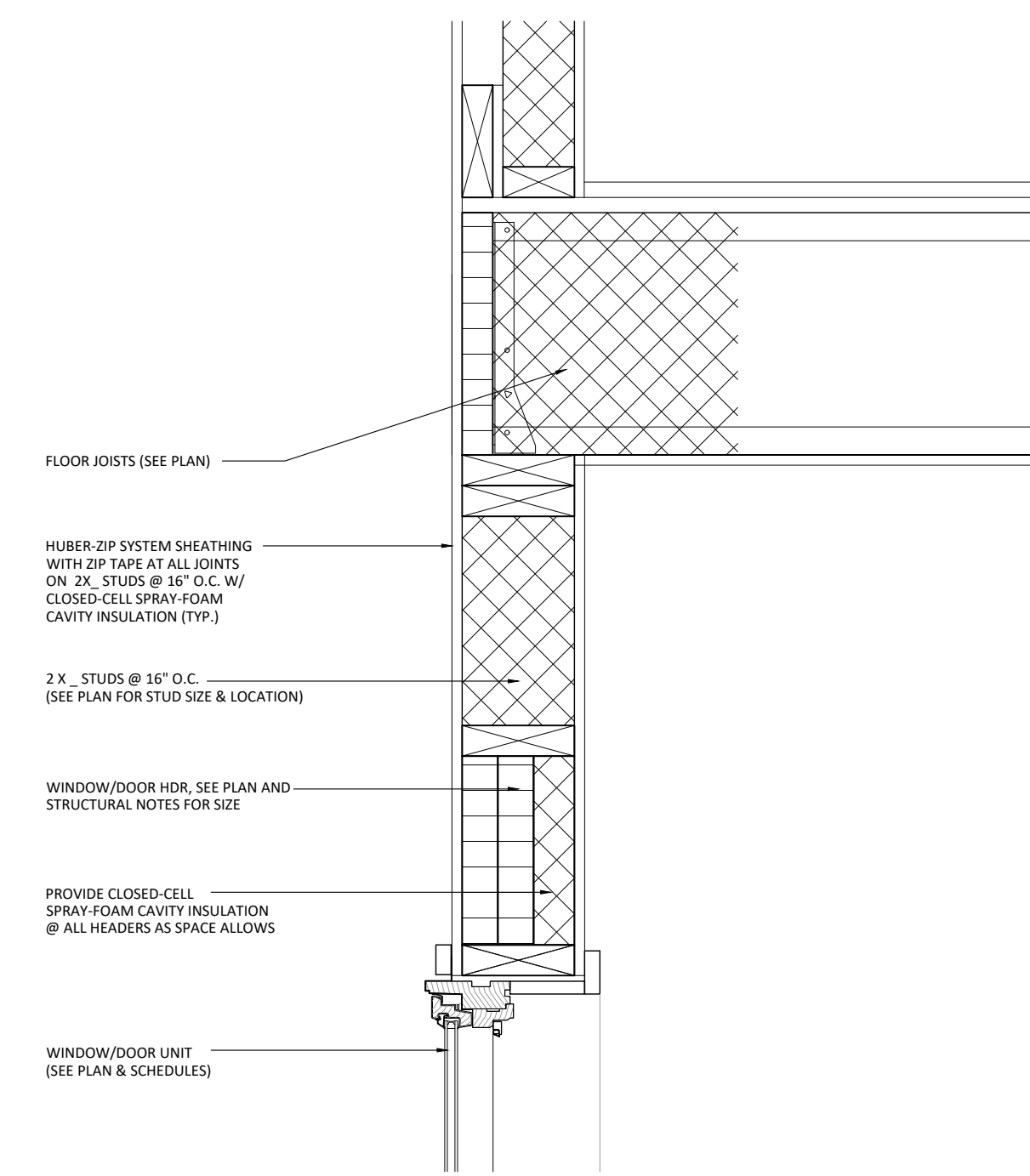
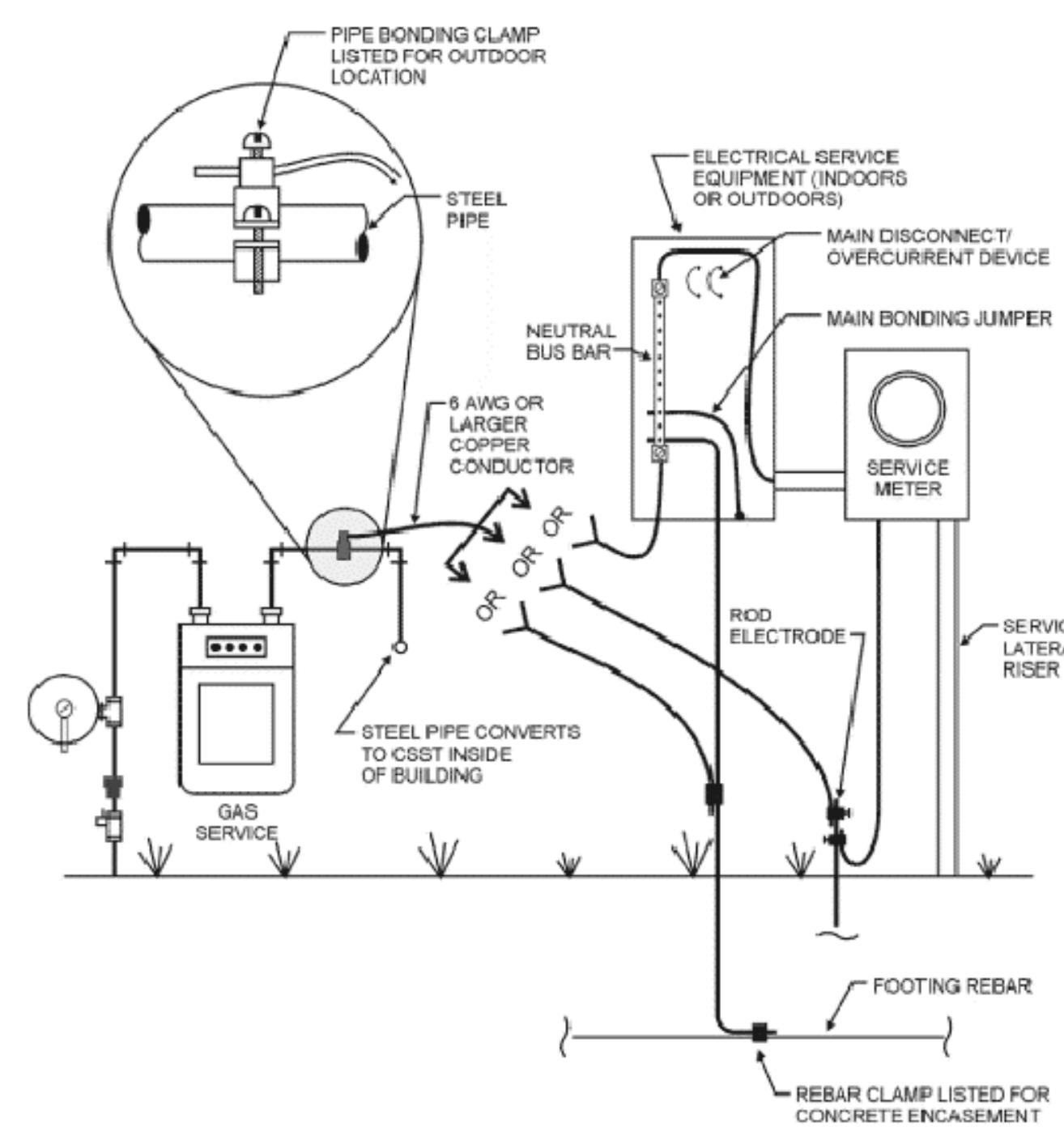
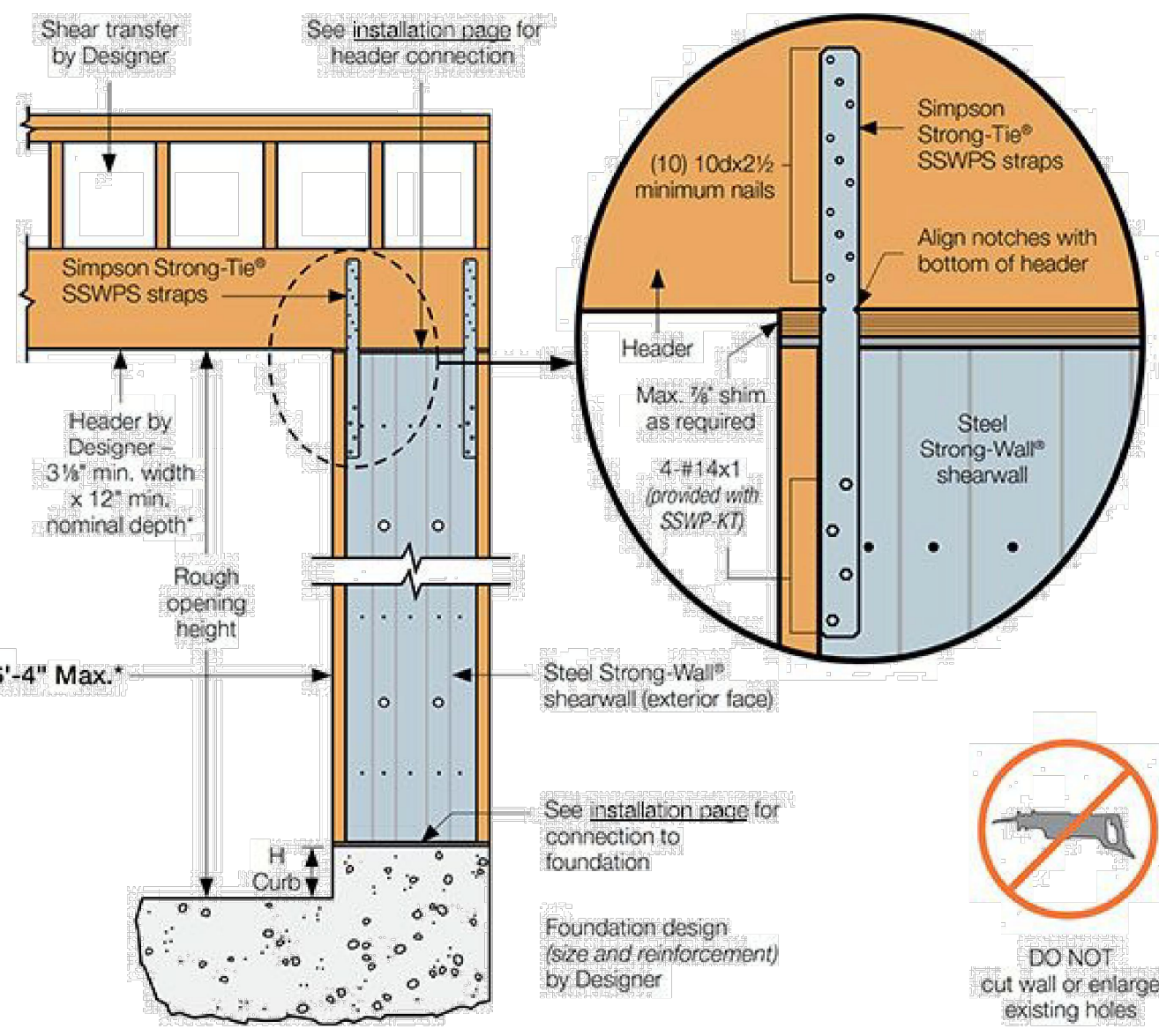




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A-308  
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NEW SINGLE-FAMILY DWELLING FOR:  
 GREGG T. CHAPPELL & EMILY YAVITZ  
 1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598  
 CODE COMPLIANT DETAILS: TYP. STAIR REQUIREMENTS

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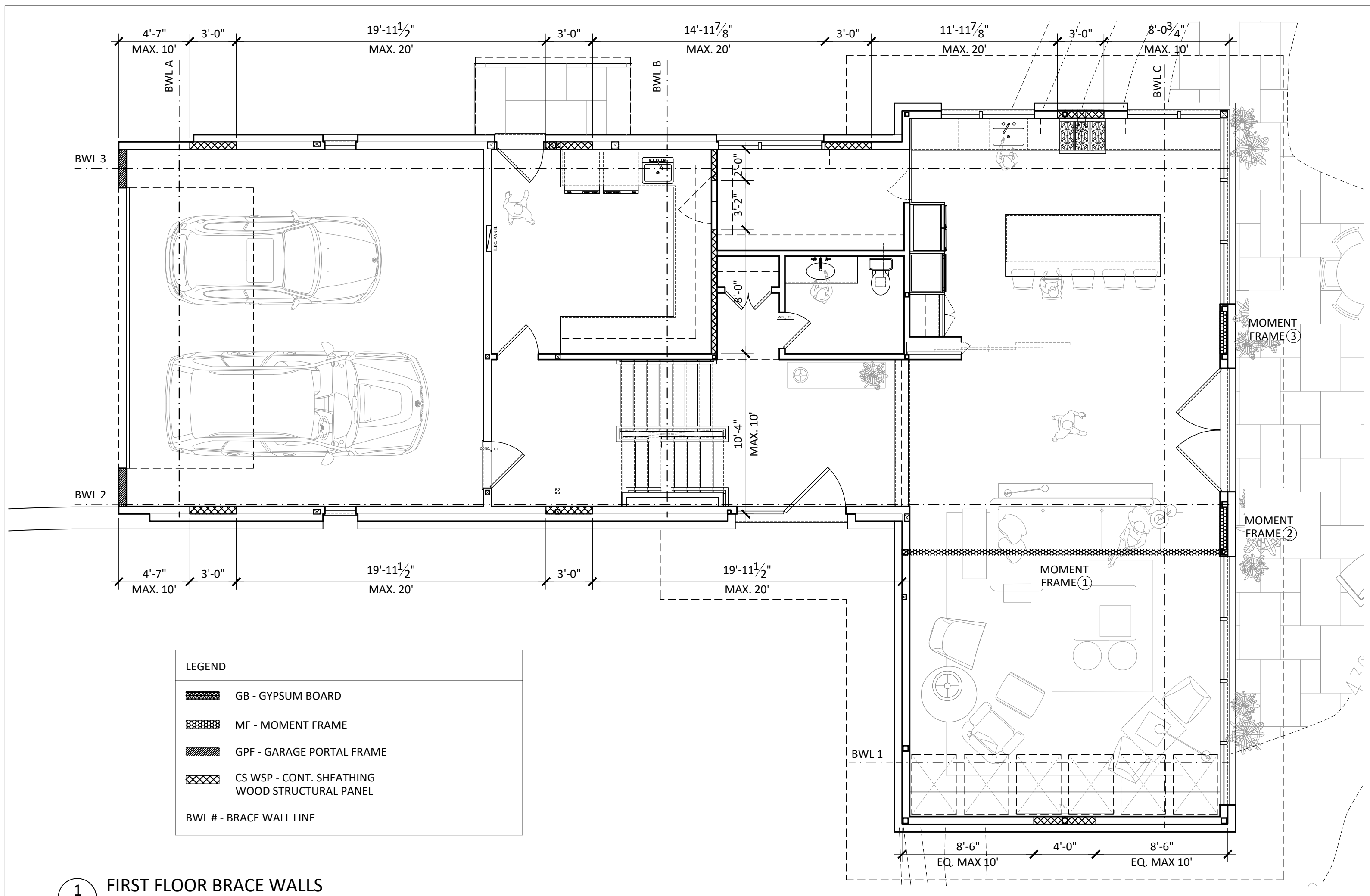


02/09/2022

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JOB NO.:	2110
DATE:	03.08.21
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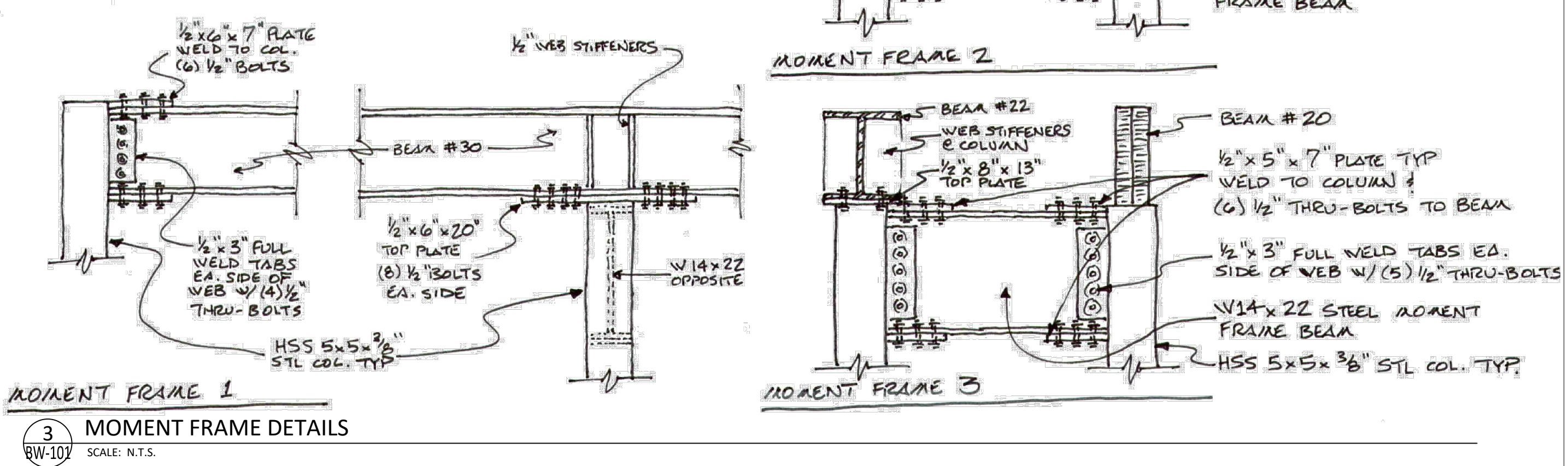
A-308





**WALL BRACE NOTES:**

- ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.
- ENDS OF ALL BRACE WALL PANELS TO HAVE (2) 2x6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DITIZ HOLD-DOWNS.
- ALL INTERIOR BRACE WALLS TO HAVE 1" CONTINUOUS PLYWOOD SHEATHING ON ONE, MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.



**BRACE WALL LINES/PANELS TABLE**

ADDRESS: GAMBELLI DRIVE, YORKTOWN HEIGHTS, NY | ULTIMATE WIND SPEED = 115 MPH

LINE NUMBER	LINE SPACING	BRACING METHOD	MIN. B.W. LENGTH REQ'D	FACTORS (TABLE R602.10.3(II))				ADJUSTED MIN. B.W. LENGTH PROVIDED	B.W. LENGTH PROVIDED	BLOCKING REQUIRED (Y/N)	BLOCKING (Y/N)	
				EXPOSURE	HEIGHT	WALL HEIGHT	* OF B.W. LINES					INTERIOR FINISH
1	17.0'	CS-WSP	3.05'	1.0	.70	.95	1.3	1.0	2.64'	4.0'	Y	Y
2	19.0'	CS-WSP	4.14'	1.0	.85	.95	1.3	1.0	4.35'	6.0'	Y	Y
	19.0'	MF-1	2.07'	-	-	-	-	-	20.25'	SEE DETAIL	SEE DETAIL	SEE DETAIL
3	19.0'	CS-WSP	6.20'	1.0	.85	.95	1.3	1.0	6.51'	12.0'	Y	Y
A	31.8'	GPF	9.27'	-	-	-	-	-	22.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL
B	31.8'	CS-WSP	9.27'	1.0	.85	.95	1.3	1.0	9.73'	10.0'	Y	Y
C	31.8'	MF-2	2.39'	-	-	-	-	-	3.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL
	31.8'	MF-3	2.39'	-	-	-	-	-	3.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL

NOTES: 1. ALL FLOORS - ENDS OF ALL BRACE WALL PANELS TO HAVE MINIMUM (2) 2x6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DITIZ HOLD-DOWN ANCHORS.  
2. FIRST FLOOR - ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

**4 FIRST FLOOR BRACE WALL LINES / PANEL TABLE**  
SCALE: N.T.S.

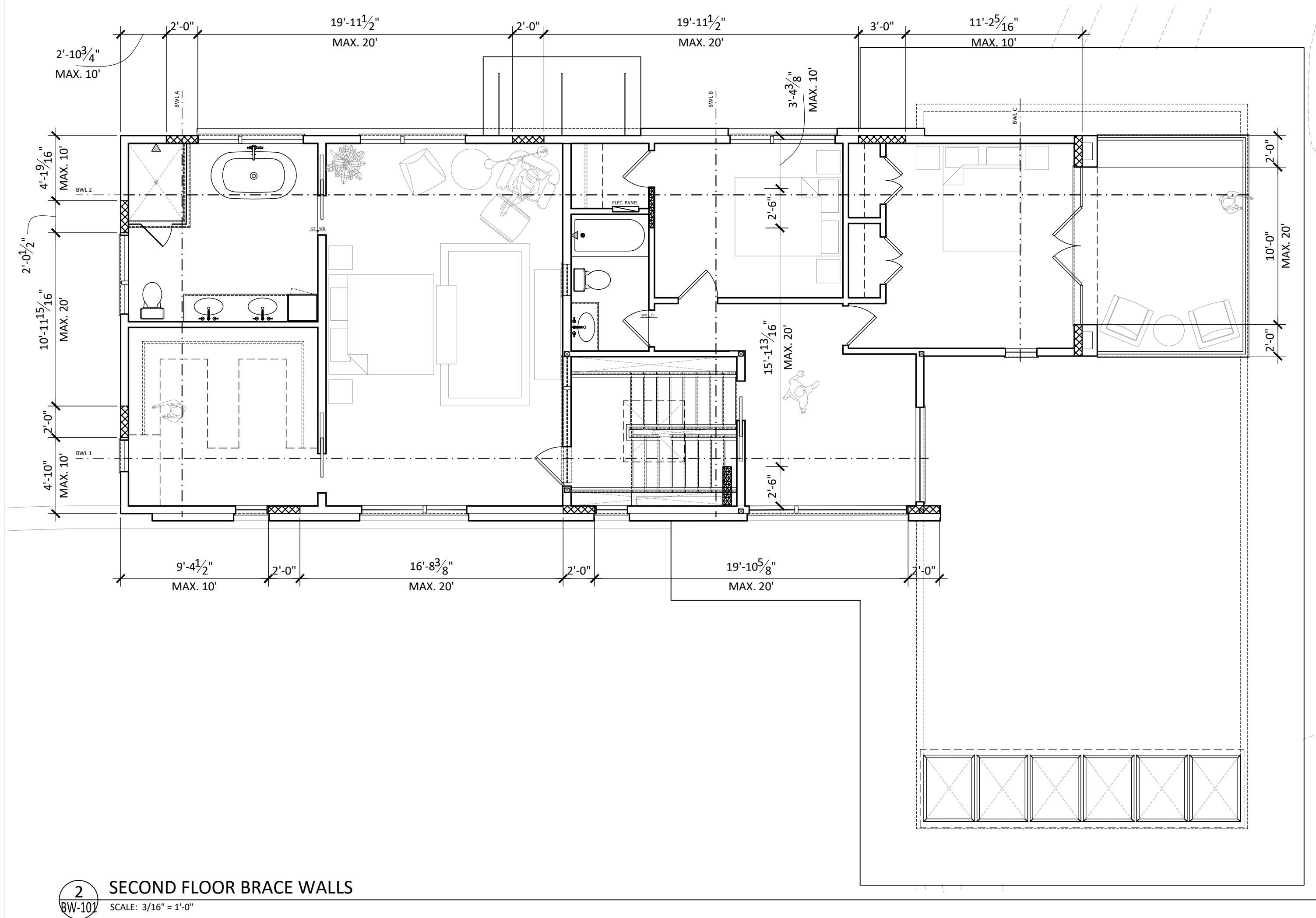
**BRACE WALL LINES/PANELS TABLE**

ADDRESS: GAMBELLI DRIVE, YORKTOWN HEIGHTS, NY | ULTIMATE WIND SPEED = 115 MPH

LINE NUMBER	LINE SPACING	BRACING METHOD	MIN. B.W. LENGTH REQ'D	FACTORS (TABLE R602.10.3(II))				ADJUSTED MIN. B.W. LENGTH PROVIDED	B.W. LENGTH PROVIDED	BLOCKING REQUIRED (Y/N)	BLOCKING (Y/N)	
				EXPOSURE	HEIGHT	WALL HEIGHT	* OF B.W. LINES					INTERIOR FINISH
1	16.0'	CS-WSP	2.9'	1.0	.70	.90	1.0	1.0	1.83'	6.0'	Y	Y
2	16.0'	CS-WSP	2.9'	1.0	.70	.90	1.0	1.0	1.83'	6.0'	Y	Y
A	33.0'	CS-WSP	4.95'	1.0	.70	.90	1.3	1.0	4.05'	4.05'	Y	Y
B	18.5'	GPF	6.05'	1.0	.70	.90	1.3	1.0	4.96'	5.0'	N	Y
C	18.5'	CS-WSP	3.28'	1.0	.70	.90	1.3	1.0	2.68'	4.0'	Y	Y

NOTES: 1. ALL FLOORS - ENDS OF ALL BRACE WALL PANELS TO HAVE MINIMUM (2) 2x6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DITIZ HOLD-DOWN ANCHORS.  
2. FIRST FLOOR - ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

**5 FIRST FLOOR BRACE WALL LINES / PANEL TABLE**  
SCALE: N.T.S.



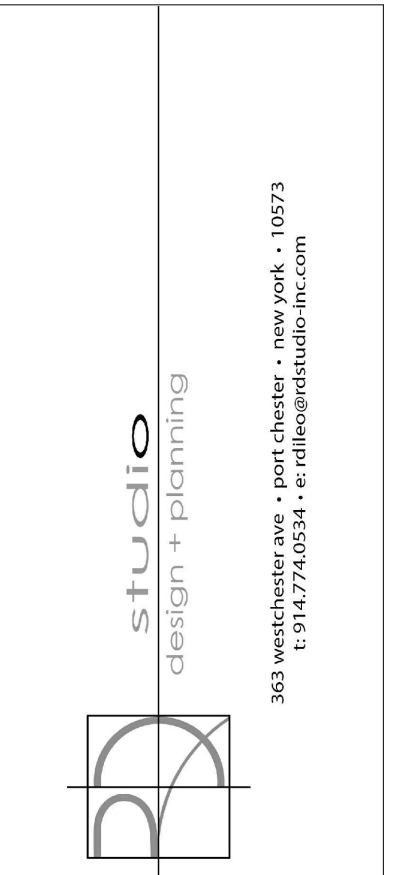
**2 SECOND FLOOR BRACE WALLS**  
SCALE: 3/16" = 1'-0"

**ISSUES:**

SUBMITTED FOR PERMIT	10.15.21
REV. 1. DOB COMMENTS	02.11.22

**DRAWING STATUS:**

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	



NEW SINGLE-FAMILY DWELLING FOR:  
**GREGG T. CHAPPELL & EMILY YAVITZ**  
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598  
BRACE WALLS PLANS

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02/09/2022

**DRAWN:** JV  
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**JOB NO.:** 2110  
**DATE:** 03.08.21  
Sheet

**BW-101**



Diane Dreier Co-Chair  
Phyllis Bock Co-Chair

Matthew Slater  
Town Supervisor

## TOWN OF YORKTOWN CONSERVATION BOARD

---

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

---

### MEMORANDUM

**To:** Planning Board

**From:** Yorktown Conservation Board

**Date:** April 8, 2022

**Re:** Lakeview Estates Lot 6: 1102 Gambelli Drive

---

RECEIVED  
PLANNING DEPARTMENT

APR 11 2022

TOWN OF YORKTOWN

At the April 6, 2022 Conservation Board Meeting the Board reviewed site plans for new construction of a single family house at 1102 Gambelli Drive in Lakeview Estates with the applicant Gregg Chappelle and has the following comments:

The house is sited partially within the wetland buffer and conservation easement. A site visit with the Planning Board is scheduled for 4/23/2020. A memo will be generated after review of the site.

Respectfully submitted:

*Phyllis Bock*

For the Conservation Board



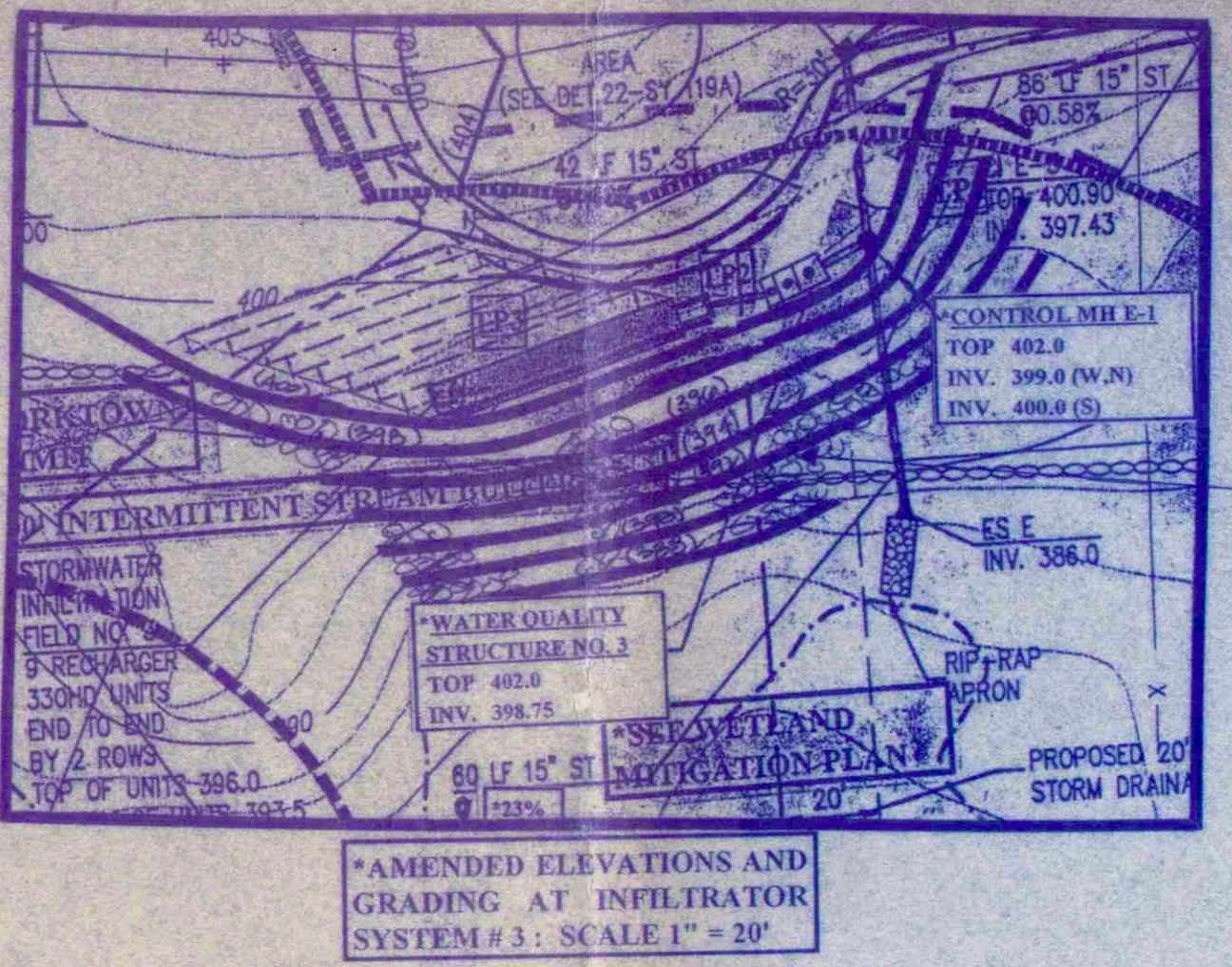
**GRADING PLAN LEGEND**

- PROPERTY LINE
- 100' WETLAND BUFFER LINE
- 25 FOOT TREE CONSERVATION BUFFER
- EDGE OF WETLAND
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING DRAINAGE INLET
- PROPOSED COMBINATION INLET
- EXISTING WING WALL
- PROPOSED WING WALL
- EXISTING END WALL
- PROPOSED END WALL
- PERCOLATION TEST & DESIGNATION
- TEST PIT & DESIGNATION
- PROPOSED WELL LOCATION
- DRY WELL
- EXISTING WATER COURSE
- PROPOSED DITCH OR SWALE
- EXISTING STONE WALL
- PROPOSED RIP-RAP
- EXPOSED BEDROCK
- PROPOSED SEPTIC SYSTEM AREA
- PROPOSED WOODEN GUIDE RAIL

**NOTES:**  
 1. TOPOGRAPHICAL AND ROADWAY CONTOUR INFORMATION OBTAINED FROM PLAN ENTITLED "THE GRADING PLAN LAKEVIEW ESTATES ON BALDWIN ROAD, YORKTOWN, NEW YORK", DATED 06/20/96 PREPARED BY GABRIEL E. SENOR, P.C., CONSULTING ENGINEER, LAND SURVEYORS.

- LEGEND OF AMENDMENTS**
- TEXT NOTATIONS OF AMENDMENTS
  - INTERMITTENT STREAM
  - DEP 100' INTERMITTENT STREAM BUFFER
  - DEP 100' PERENNIAL STREAM BUFFER
  - RECHARGER UNITS
  - TEST PITS
  - AMENDED 100' SETBACK FROM TOWN WETLAND

**ALL NOTES AND ADDITIONS TO THIS PLAN MADE BY SITE DESIGN CONSULTANTS HAVE BEEN INDICATED BY AN ASTERISK AND BY THE SYMBOLS REPRESENTED IN THE LEGEND. NO ALTERATIONS HAVE BEEN MADE TO THE ORIGINAL LAKEVIEW ESTATES SUBDIVISION PLANS DESIGNED BY JOHN MEYER CONSULTING.**



**DESIGN DATA TABLE**

No. of Lots	Area Ac.	Test Pit Description	% Slope SSDS	Perc. Rate	Water Elev.	Imperv. Layer Elev.	Length of Fields	Add. Field for 4th Bt	Bank Run Depth	Curtain Depth	Drain Length	REMARKS
1	3.08	Loom w/Sand	11	20.00	None	None	428'	142'	--	--	210'	--
2	4.30	Loom w/Sand	8.5	30.00	None	None	563'	x	--	7'	210'	Dosing Req'd
3	3.75	Loom w/Sand	12	20.00	None	None	428'	142'	--	7'	175'	--
4	1.87	Loom w/Sand	14.5	15.00	None	None	347'	115'	--	7'	225'	--
5	2.22	Loom w/Sand	8	6.00	-6"	None	225'	75'	--	7'	170'	--
6	2.31	Loom w/Sand	7	20.00	None	-5"	428'	x	2'-3.5'	--	--	--
7	2.05	Loom w/Sand	8	30.00	None	-5"	563'	x	0'-5"	--	--	Dosing Req'd
8	1.73	Loom w/Sand	8	14.29	None	-6"	347'	115'	0'-2"	7'	275'	Dosing Req'd
9	1.88	Loom w/Sand	12	30.00	None	None	563'	187'	--	--	--	Dosing Req'd
10	2.11	Loom w/Sand & Cobbles	10	6.00	None to 7'	None to 7'	225'	75'	3.5'	--	--	--
11	2.27	Loom w/Sand & Cobbles	12	5.00	None	-3.5"	189'	63'	3.5'	--	--	--
12	5.46	Loom w/Sand & Cobbles	13.5	18.75	None	-6"	428'	142'	3'	--	--	Pump Req'd
13	2.75	Loom w/Sand	13	6.00	None	None	225'	75'	--	7'	190'	Pump Req'd
14	2.02	Loom w/Sand & Cobbles	12	2.00	None	None	189'	63'	--	7'	230'	--
15	1.83	Loom w/Sand & Cobbles	10	12.00	None	None	347'	115'	--	--	--	Pump Req'd
16	1.63	Loom w/Sand	7	15.00	-6"	None	347'	115'	2.5'	7'	335'	Pump Req'd
17	1.67	Loom w/Sand	11	30.00	None	None	563'	187'	--	--	--	Dosing Req'd
18	2.11	Loom w/Sand	6	30.00	None	None	563'	x	--	--	--	Dosing Req'd
19	2.08	Loom w/Sand	2	20.00	None	None	428'	142'	--	--	--	--

**APHRODITE ACQUISITIONS, INC.**  
 8 BLUEBERT LANE  
 YORKTOWN, NY 10594

**JOHN MEYER CONSULTING**  
 200 BEDFORD ROAD, ARBONDA, NY 10514  
 JOHN MEYER, P.E., PLS.  
 04703

**GRADING PLAN LAKEVIEW ESTATES**  
 BALDWIN ROAD

**SY-2**

DATE: 11/01/96  
 REVISION: 1  
 1. 11/01/96  
 2. 11/01/96  
 3. 11/01/96  
 4. 11/01/96

SCALE: 1"=40'  
 DATE: 11/01/96  
 PROJECT: 98091  
 DRAWING: SP-EVEN

AC APPROVED: JM  
 SCALE: 1"=40'  
 DATE: 11/01/96  
 PROJECT: 98091  
 DRAWING: SP-EVEN

SY-2



**LEGEND**

LIMIT OF 100' WETLANDS CONTROL BUFFER AND CONSERVATION EASEMENT (TOWN OF YORKTOWN)	---
STREAM LINES	---
BUFFER STRIP	---
SETBACK LINES	---
PROPERTY LINE	---

**AREA SCHEDULE**

ROAD R.O.W.	2,5100
DEDICATED LOT	1,9447
LOTS	47,7215
TOTAL	
EXISTING TOWN ZONING STATUS	80,000 SQUARE FOOT RESIDENTIAL
TOWN TAX AND DATA	SECTION 8.4, PARCEL 28, LOT AS SHOWN
ZONING CHART	R1-80
LOT AREA	80,000 S.F.
FRONT YARD	75.00'
SIDE YARD	30.00'
TWO SIDE YARDS COMBINED	80.00'
REAR YARD	75.00'



I, ELIOT SENOR, THE SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED DEC 23, 1996 AND THAT THIS MAP WAS COMPLETED FEB 13, 1997

*Eliot Senor* DATE 3/23/97  
 ELIOT SENOR, L.S. N.Y.S. LIC. NO. 049822  
 APPROVED FOR FILING IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS.

THE OWNER OF PROPERTY SHOWN HEREON CERTIFIES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ITS FILING.

*Joseph J. Macmillan* DATE 4/7/97  
 OWNER: AFFORDABLE ACQUISITIONS, INC.  
 9 BLUEBERRY LANE  
 PUTNAM VALLEY, NY

WESTCHESTER COUNTY DEPARTMENT OF HEALTH  
 WHITE PLAINS, NEW YORK

APPROVED SUBJECT TO PROVISIONS OF SEPARATE WATER SUPPLY AND SEPARATE SEWAGE DISPOSAL FACILITIES TO SERVE EACH HABITABLE BUILDING HEREAFTER CONSTRUCTED TO BE INSTALLED IN ACCORDANCE WITH IMPROVEMENT PLAN ON FILE WITH THIS DEPARTMENT AND PLANS AND SPECIFICATIONS DULY APPROVED AND FILED IN THIS OFFICE PRIOR TO THE CONSTRUCTION OF SUCH BUILDING.

PROPERTY SHOWN HEREON IS SUBJECT TO REGULATIONS FOR THE PROTECTION FROM CONTAMINATION OF THE PUBLIC WATER SUPPLY OF CITY OF NEW YORK (CROTON WATERSHED) AND ITS SOURCES.

ANY ERASURES, CHANGES, ADDITIONS AND/OR ALTERATIONS OF ANY KIND, EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE ON THIS PLAN AFTER THE DATE OF THIS APPROVAL, SHALL INVALIDATE THIS APPROVAL.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS MAP SHOWING THIS ENDORSEMENT.

RECOMMENDED BY: *John V. DiGiuseppe* DATE 5-9-97  
*James J. DiGiuseppe* P.E. DATE 4/7/97  
 COMMISSIONER OF HEALTH

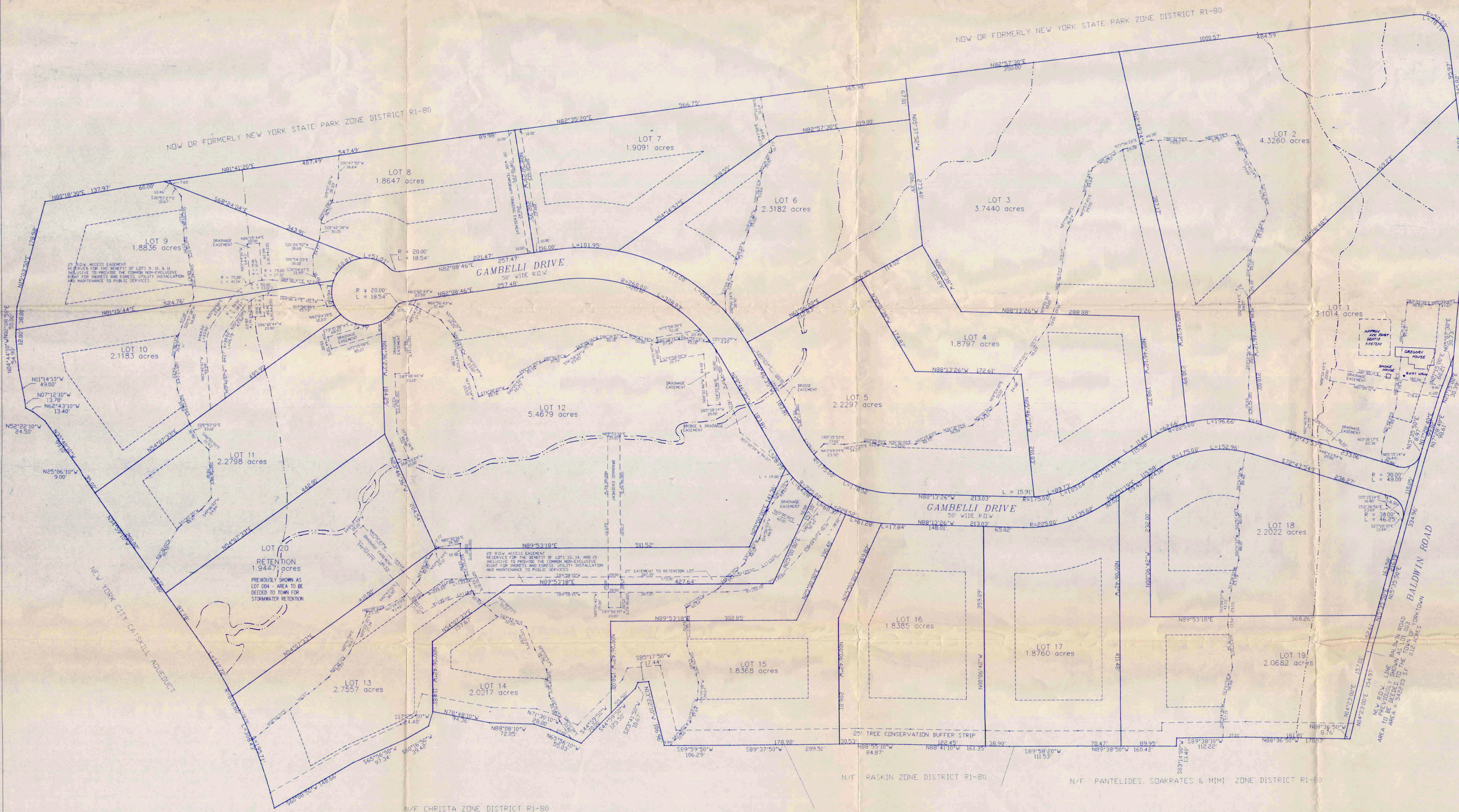
APPROVED BY THE PLANNING BOARD OF THE TOWN OF YORKTOWN.

*[Signature]* DATE 5/12/97  
 CHAIRMAN

*[Signature]* DATE 3/10/97  
 SECRETARY

APPROVED BY PLANNING BOARD RESOLUTION NO. 291  
 DATE 3/10/97

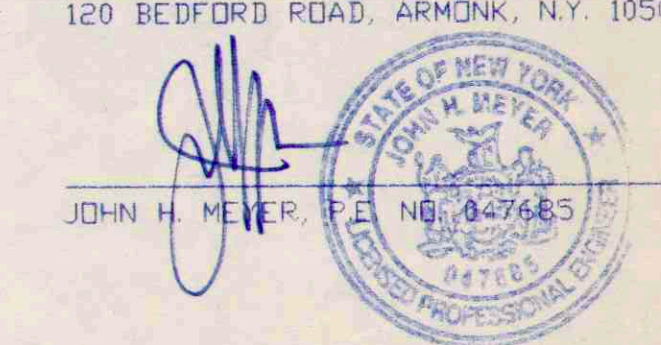
- NOTES:**
- COMMON DRIVEWAY MAINTENANCE AGREEMENT TO LOTS 9, 10 AND 11 LOTS 13, 14 AND 15 ON THIS PLAN IS COVERED BY RESTRICTIONS AS PER FILED DECLARATIONS IN THE OFFICE OF THE CLERK OF THE COUNTY OF WESTCHESTER, DIVISION OF LAND RECORDS.
  - CONSERVATION NOTE: THE NATURAL RESOURCES OF THE AREA WITHIN THE CONSERVATION EASEMENT SHALL REMAIN UNDISTURBED, EXCEPT AS MAY BE REQUIRED FOR CONSERVATION PURPOSES. UPON THE APPROVAL OF THE PLANNING BOARD, CONTOURS THEREOF SHALL NOT BE ALTERED, NO TOPSOIL OR UNDERLYING SOIL SHALL BE EXCAVATED THEREFROM, NOTHING SHALL BE PERMITTED TO OCCUR IN THIS AREA WHICH WOULD CONTRIBUTE TO THE EROSION OF THE LAND AND NO TREES SHALL BE DESTROYED OR REMOVED AND NO OTHER PLANT OR VEGETATION SHALL BE DESTROYED OR REMOVED. THE OWNER OF FEES SHALL MAINTAIN THE RIGHT TO EXCLUSIVE USE OF THE LAND AND IS PERMITTED TO REMOVE DEAD VEGETATION AND TREES AND REPLACE SAME WITH NEW PLANTINGS AND THE DEVELOPER MAINTAINS THE RIGHT TO CONSTRUCT THE IMPROVEMENTS AS DETAILED ON THE IMPROVEMENT DRAWINGS AND WILL DEDICATE SAID IMPROVEMENTS WITHIN THE EASEMENT, TO THE TOWN OF YORKTOWN.
  - FRAME STRUCTURES TO BE REMOVED PRIOR TO HOUSE CONSTRUCTION ON AFFECTED LOTS.
- UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS MAP IS A VIOLATION OF SECTION 1209 SUB-SECTION 2, OF THE NEW YORK STATE EDUCATION LAW



DESIGN DATA TABLE

NO. OF LOTS	AREA AC.	TEST PIT DESCRIPTION	% SAND	% S&G	PERC. RATE	AMER. ELEV.	IMPROV. ELEV.	LENGTH OF FIELDS	ADP. FIELD	MAN. HOLE	CURTAIN ANCH.	REMARKS
1	3.1014	LOAM W/SAND	12	20	ARNE	ARNE	428'	112'	-	-	-	-
2	4.3260	LOAM W/SAND	8.5	30	ARNE	ARNE	543'	112'	-	-	-	20' SAND REED
3	3.7440	LOAM W/SAND	12	20	ARNE	ARNE	428'	112'	-	-	-	20' SAND REED
4	1.8797	LOAM W/SAND	14.5	15	ARNE	ARNE	347'	115'	-	-	-	20' SAND REED
5	2.2297	LOAM W/SAND	8	6	-G	ARNE	225'	75'	-	-	-	20' SAND REED
6	2.3182	LOAM W/SAND	7	20	ARNE	-S	428'	112'	-	-	-	20' SAND REED
7	1.9091	LOAM W/SAND	8	20	ARNE	-S	428'	112'	-	-	-	20' SAND REED
8	1.8647	LOAM W/SAND	8	14.25	ARNE	-G	347'	115'	-	-	-	20' SAND REED
9	1.8836	LOAM W/SAND	12	30	ARNE	ARNE	543'	112'	-	-	-	20' SAND REED
10	2.1183	LOAM W/SAND	10	6	ARNE	ARNE	225'	75'	-	-	-	20' SAND REED

ENGINEERING PLANS OF SUBSURFACE SEWAGE DISPOSAL AREAS, WELLS, DRAINAGE AND RELATED APPURTENANCES BY JOHN MEYER CONSULTING, 120 BEDFORD ROAD, ARMONK, NY 10504



DATE 04/07/97

**GABRIEL E. SENOR, P.C.**  
 CONSULTING ENGINEER & LAND SURVEYOR  
 80 HARTSDALE AVE., HARTSDALE, NEW YORK 10530  
 (914) 422-0070 (914) 422-0097

AMENDED SUBDIVISION MAP  
**LAKEVIEW ESTATES**  
 IN THE  
**TOWN OF YORKTOWN**  
 WESTCHESTER COUNTY, NEW YORK  
 COUNTY SHEET: 10425 BLOCK: 226  
 THIS MAP SUPERCEDES PHASE I - FILED ON MAY 6, 1996 AS MAP NO 25697.

SCALE 1" = 60' DATE JAN 22, 1997

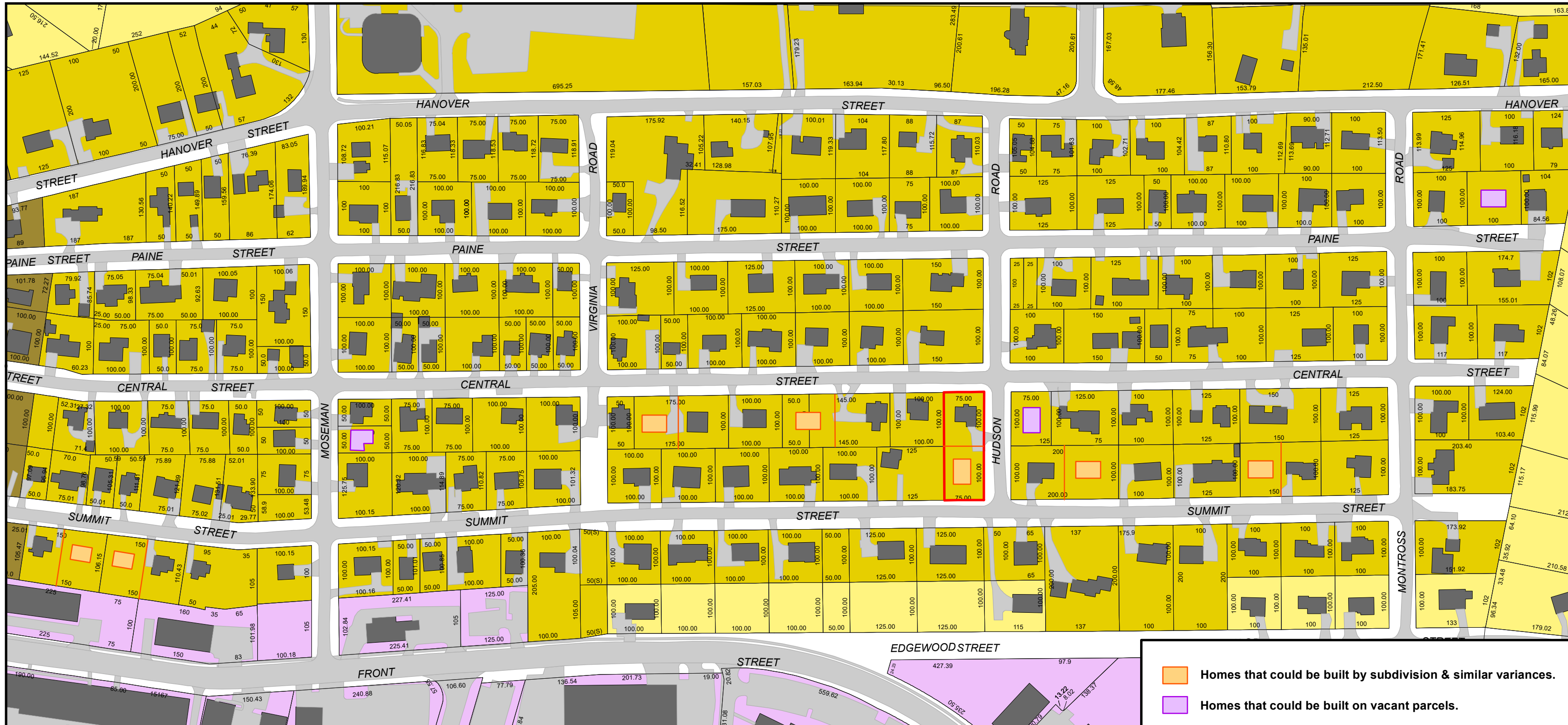
THE FILING OF THIS MAP SHALL CONSTITUTE AN IRREVOCABLE OFFER OF DEDICATION TO THE MUNICIPALITY OF THE R.O.W.'S SHOWN HEREON FOR HIGHWAY PURPOSES AND AN OFFER TO RESERVE EASEMENTS OVER AREAS ENTITLED "TOWN EASEMENT" TO SAID MUNICIPALITY FOR DRAINAGE AND UTILITY PURPOSES, SUBJECTIIONALLY TO THE FORMAL ABANDONMENT OF THE MAP PRIOR TO ITS ACCEPTANCE.

RO# 25926 5/15/97



**ZBA #22/22**  
**Clifford**





**Homes that could be built by subdivision & similar variances.**

**Homes that could be built on vacant parcels.**





Town of Yorktown www.yorktownny.org

RECEIVED KB  
Zoning Board of Appeals Office

MAR 24 2022

TOWN OF YORKTOWN, NY  
2022

**Building Department**

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598  
Tel. (914) 962-5722 ext.233 | Fax (914) 962-1731 | Email: building@yorktownny.org

**Application for a Zoning Variance**

(Please legibly complete all lines on the application)

Office use only

Application #: 22/22 Fee Paid: ✓ \$210 Date: 3/24/22 Received by: KB

A total of **6 copies** of the following are to be submitted to the Legal Assistant:

- Application Form
- Notice of Denial
- A survey map or plot plan showing all existing and proposed buildings and structures
- All data relating to the variance
- \*Please check with the Building Department to determine if you need to fill out an Environmental Assessment Form

Fee of \$210.00

Date: March 24, 2022

All items (1-9) must be completed

1. Premises located on the North side of Summit St.  
(North, South, East, West) (Street, Road, Drive)

near Central

2. Section 48.07 Block 2 Lot 28

3. Date the title of premise was acquired by the applicant \_\_\_\_\_

4. The same premises is now improved with a Single Family home

(Type of Building or Structure)



5. The Variance Requested is as follows: To allow the sub-division  
of an existing single family lot into  
two non-conforming lots, one fronting  
on Central Street and one fronting on  
Summit Street  
\_\_\_\_\_ in a(n) RI-20 zoning district.

6. Telephone Number (Home) \_\_\_\_\_ (Work) \_\_\_\_\_

7. Email GRACELAWJ@aol.com

8. Address of Subject Property: 1625 Central Street  
Yorktown Heights NY

9. Address of Applicant/Owner: Steven Clifford  
c/o Grace & Grace  
360 Underhill Ave  
Yorktown

Steven Clifford  
Name of Applicant (please print)

[Signature]  
Signature of Applicant

3/24/22  
Date

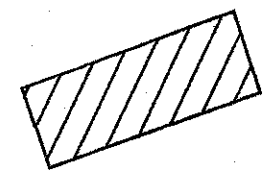
\_\_\_\_\_  
Name of Owner (If not applicant)

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Date

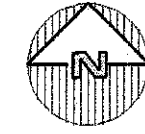
86  
5  
12/1/2022





North

LOCATION MAP  
NOT TO SCALE



**SITE DATA:**

OWNER / DEVELOPER: STEVEN CLIFFORD  
 405 WEBSTER AVENUE  
 NEW ROCHELLE, NY 10801

PROJECT LOCATION: 1625 CENTRAL STREET  
 TOWN OF YORKTOWN

EXISTING TOWN ZONING: R1-10, SINGLE FAMILY HOUSING  
 PROPOSED USE: R1-10, SINGLE FAMILY HOUSING

TOWN TAX MAP DATA: SECTION 48.07, BLOCK 2, LOT 28

SITE AREA: 0.344 ACRES (15000 SF)

SEWAGE FACILITIES: PUBLIC SEWERS

WATER FACILITIES: PUBLIC WATER FACILITIES

**ZONING SCHEDULE:**

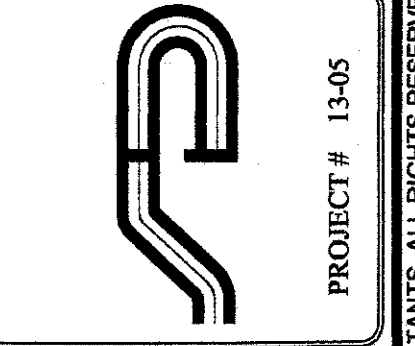
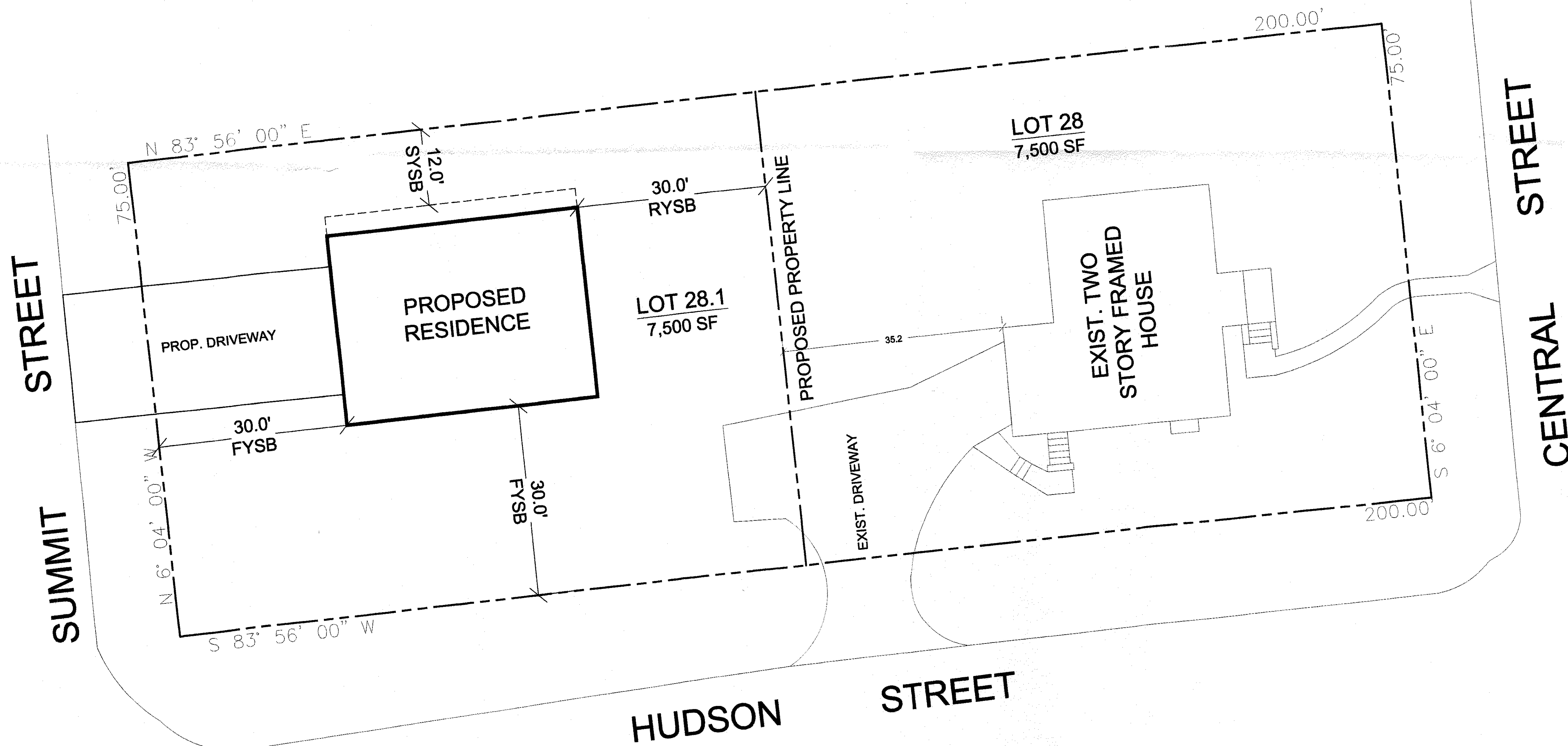
ZONING DISTRICT: R1-10, SINGLE FAMILY RESIDENTIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	20,000 SF.	15,000 SF.	NONE
MINIMUM LOT WIDTH:	80 FT.	200 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 FT.	16.1 FT. (1)	NONE
REAR YARD SETBACK:	30 FT.	35.2 FT.	NONE
ONE SIDE YARD SETBACK:	12 FT.	22.1 FT.	NONE
COMBINED SIDE YARD SETBACK:	24 FT.	22.1 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	25% OF LOT AREA	7.6 % OF LOT AREA	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	3 1/2	3 1/2 MAX	NONE

**ZONING REGULATION NOTES:**

- MULTIFAMILY STRUCTURES IN RB DISTRICT SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS: 30 FEET BOTH SIDE YARDS; 15 FEET SIDE-FRONT YARD; 40 FEET REAR YARD; 35% PRINCIPAL BUILDING COVERAGE; 16% ACCESSORY BUILDING COVERAGE; 2 1/2 STORY; 30 FEET PRINCIPAL BUILDING HEIGHT; 13 FEET SLOPED ROOF ACCESSORY BUILDING HEIGHT; 10 FEET FLAT ROOF ACCESSORY BUILDING HEIGHT; AVERAGE LIVABLE AREA: 700 SQUARE FEET MINIMUM.
- EIGHT FEET IN BLOCK 614, CHATSWORTH AVENUE.
- ABUTTING A RESIDENCE DISTRICT: 15 FEET ON SIDE ABUTTING THE RESIDENCE DISTRICT.
- BUILDING HEIGHT SHALL BE SUBJECT TO THE PROVISIONS OF SECTION 381-34.

**PARKING SCHEDULE**

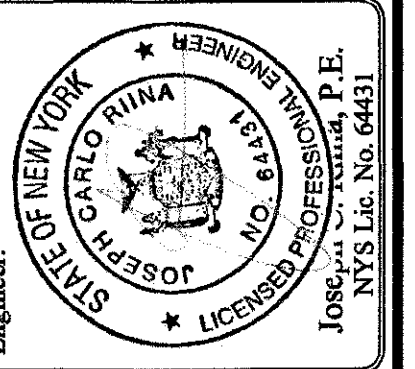
REQUIRED PARKING:	1 SPACE PER DWELLING
PROVIDED PARKING:	1 STANDARD 0 HANDICAP
TOTAL PROVIDED PARKING:	1 SPACE
PARKING VARIANCE REQUIRED:	0 SPACES



PROJECT # 13-05

**Site Design Consultants**

Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com



Revisions:	No.	Date	Comments:

SCALE: 1" = 10'

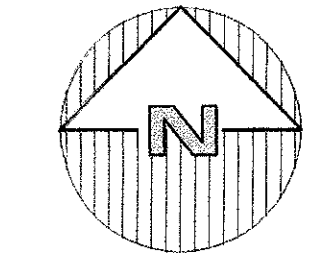
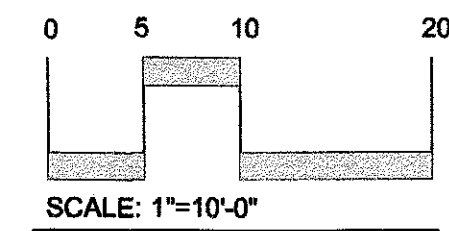
DRAWN BY: WB

DATE: 3-23-22

**SITE PLAN**

SITE PLAN PREPARED FOR  
**STEVEN CLIFFORD**  
 1625 CENTRAL STREET  
 Yorktown, Westchester County, NY

RECEIVED *KB*  
 Zoning Board of Appeals Office  
 MAR 24 2022  
 TOWN OF YORKTOWN, NY



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 or visit our website www.call811.com

NOTE: 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY WILLIAM E. JAMES, P.E., L.S., DATED 03/27/2020. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



# **TB Referral Homeland Towers**



LAW OFFICES OF  
**SNYDER & SNYDER, LLP**

94 WHITE PLAINS ROAD  
TARRYTOWN, NEW YORK 10591

(914) 333-0700

FAX (914) 333-0743

WRITER'S E-MAIL ADDRESS

e-mail to [RGaudioso@Snyderlaw.net](mailto:RGaudioso@Snyderlaw.net)

NEW YORK OFFICE  
445 PARK AVENUE, 9TH FLOOR  
NEW YORK, NEW YORK 10022  
(212) 749-1448  
FAX (212) 932-2693

LESLIE J. SNYDER  
ROBERT D. GAUDIOSO

DAVID L. SNYDER  
(1956-2012)

NEW JERSEY OFFICE  
ONE GATEWAY CENTER, SUITE 2600  
NEWARK, NEW JERSEY 07102  
(973) 824-9772  
FAX (973) 824-9774

REPLY TO:

Tarrytown Office

April 20, 2022

Honorable Supervisor Matthew Slater and  
Members of the Town Board  
Town of Yorktown  
363 Underhill Avenue  
Yorktown Heights, NY 10598

RE: Homeland Towers, LLC  
Hill Boulevard, Jefferson Valley  
Town of Yorktown, NY

Dear Honorable Supervisor Slater and Members of the Town Board:

We are the attorneys for Homeland Towers, LLC ("Homeland Towers") in connection with its proposal to lease a portion of the above captioned property from the Town for a proposed public utility wireless telecommunication facility ("Facility"), including a 130-foot tower and equipment compound designed for the collocation of Town emergency communications equipment and four wireless carriers.

Section 300-59(D)(1) of the Town Code expressly states that "wireless telecommunication facilities shall be located on Town-owned lands or facilities." Such facilities are subject to Town Board lease approval. In this instance, parkland alienation is also required from the New York State legislature.

In furtherance of the foregoing, enclosed please find ten (10) copies of the site plan.

We look forward to discussing this matter with the Town Board at its next available meeting. If you have any questions, please do not hesitate to contact me.

Respectfully submitted,  
SNYDER & SNYDER, LLP

By:   
Robert D. Gaudioso

Enclosures  
RDG/dac  
cc: Adam Rodriguez



# ZONING DRAWINGS

## SITE NUMBER: NY087

### SITE NAME: JEFFERSON VALLEY

HILL BOULEVARD  
TOWN OF YORKTOWN  
WESTCHESTER COUNTY, NY

DATE: MARCH 7, 2022

**SITE DATA:**

**PROPOSED WORK:** PROPOSED EMERGENCY SERVICES AND PUBLIC UTILITY WIRELESS TELECOMMUNICATIONS FACILITY INCLUDING THE INSTALLATION OF A 130' MONOPOLE WITH ANTENNAS AND ASSOCIATED EQUIPMENT WITHIN A PROPOSED FENCED MULTI-CARRIER WIRELESS EQUIPMENT COMPOUND

**SITE ADDRESS:** HILL BOULEVARD  
JEFFERSON VALLEY, NY 10535

**PROPERTY OWNER:** TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598

**TOWER OWNER/APPLICANT:** HOMELAND TOWERS, LLC  
9 HARMONY STREET, 2ND FLOOR  
DANBURY, CT 06810

**LATITUDE:**

**LONGITUDE:**

**LAT/LONG TYPE:** NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

**GROUND ELEVATION:** ± 424.0' AMSL

**TOP OF PROPOSED MONOPOLE:** ± 554.0' AMSL

**JURISDICTION:** TOWN OF YORKTOWN

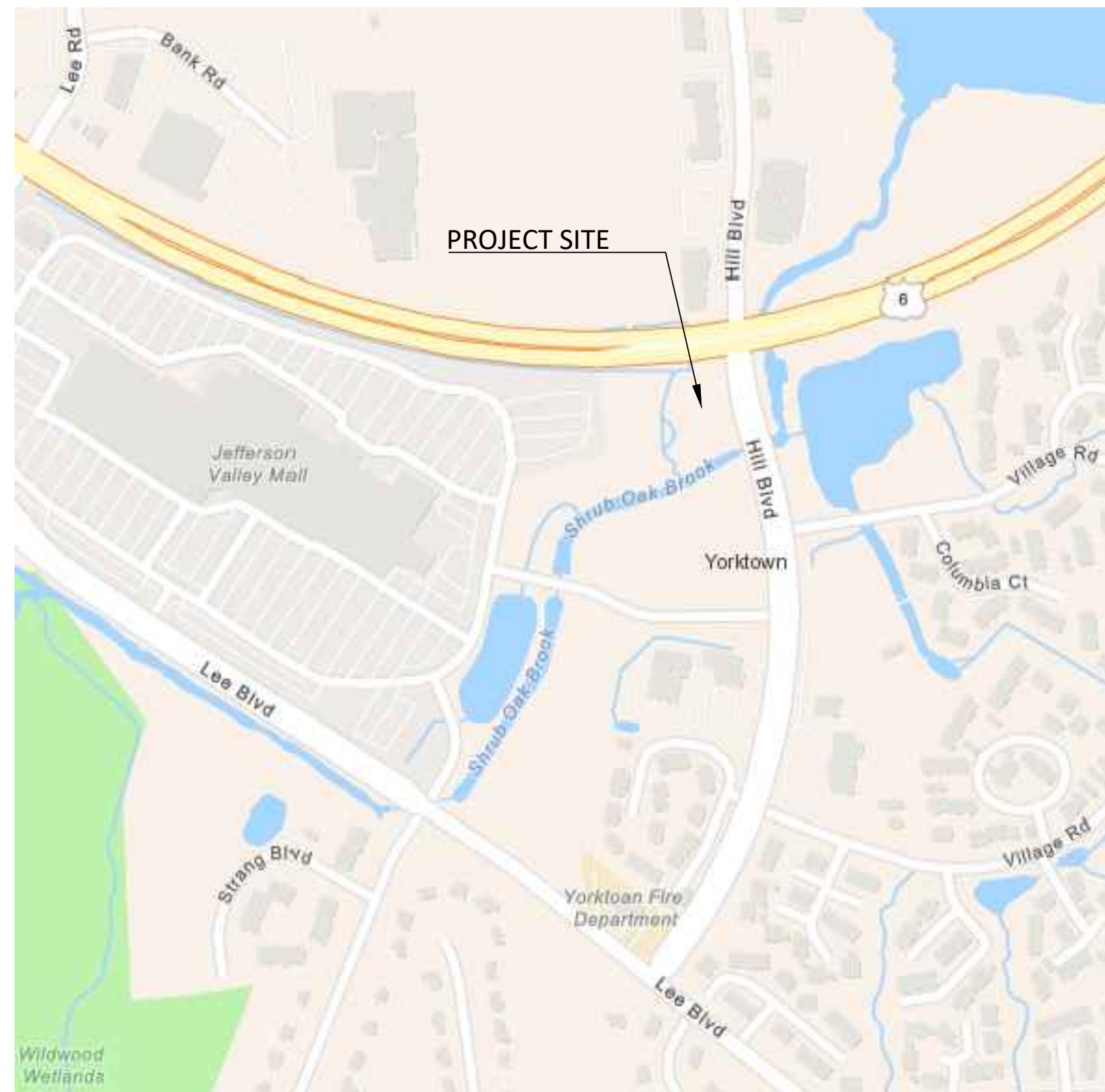
**COUNTY:** WESTCHESTER COUNTY

**TAX PARCEL:** 16.12-1-31

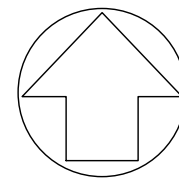
**LOT SIZE:** 51,264.82 (1.18 ACRES)

**ZONING DISTRICT:** O (OFFICES)

**CURRENT USE:** VACANT



LOCATION MAP  
(N.T.S)



### PROJECT CONTACTS:

#### SITE PLANNER & CIVIL ENGINEER



KELLARD SESSIONS CONSULTING  
ENGINEERING & LANDSCAPE  
ARCHITECTURE PLANNING, D.P.C.  
500 MAIN STREET  
ARMONK, N.Y. 10504

WWW.KELSES.COM

P: (914) 273-2323  
F: (914) 273-2329

#### APPLICANT



HOMELAND TOWERS, LLC  
9 HARMONY STREET, 2ND FLOOR  
DANBURY, CT 06810  
P: (203) 297-6345

#### ATTORNEY:

SNYDER & SNYDER, LLP  
94 WHITE PLAINS ROAD,  
TARRYTOWN, NY 10591  
(914) 333-0700

#### SURVEYOR:

NORTHEAST TOWER SURVEYING, INC.  
140 WEST MAPLEMEAD ROAD  
WILLIAMSVILLE, NY 14221  
(716) 548-2894

#### KELLARD SESSIONS CONSULTING DRAWINGS:

ZD-1	COVER SHEET
ZD-2	EXISTING CONDITIONS AND REMOVALS
ZD-3	SITE LAYOUT PLAN
ZD-4	GRADING, UTILITY, AND SEDIMENT & EROSION CONTROL PLAN
ZD-5	TOWER ELEVATION
ZD-6	DETAILS AND NOTES

### GENERAL CONSTRUCTION NOTES:

- ALL SURVEY DATA TAKEN FROM SURVEY ENTITLED "SITE SURVEY 'NY-087 - JEFFERSON VALLEY'" PREPARED BY NORTHEAST TOWER SURVEYING, INC., LAST REVISED MARCH 15, 2022.
- ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
- ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A "CODE 53 EXISTING UTILITY LOCATION" AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. THE CONTRACTOR SHALL NOT PERFORM ANY EXCAVATION UNTIL ALL UTILITIES ARE LOCATED AND MARKED.
- SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN. CONTRACTOR TO VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLIANCE SAFETY CODES AND STANDARDS AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- ALL FILL MATERIAL SHALL BE CLEAN FILL AS PER THE YORKTOWN TOWN CODE WHICH ONLY ALLOWS SOIL, GRAVEL, ROCK OR OTHER NATURAL MATERIAL TO BE DEPOSITED AS FILL. CONSTRUCTION AND DEMOLITION MATERIALS ARE NOT PERMITTED AS FILL.
- THE TOWN OF YORKTOWN PROHIBITS THE REUSE OR USE OF CONCRETE, BRICK, ROCK, GLASS AND ASPHALT OR ANY UNNATURAL MATERIAL TO BE USED AS FILL.
- THE CONTRACTOR SHALL MAINTAIN SAFE AND ADEQUATE VEHICLE AND PEDESTRIAN ACCESS TO ALL PROPERTIES AFFECTED BY THE WORK OF THIS PROJECT AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

**NOT FOR CONSTRUCTION**

### COVER SHEET

## HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK



CONSULTING  
ENGINEERING  
&  
LANDSCAPE  
ARCHITECTURE  
PLANNING, D.P.C.

500 MAIN STREET  
ARMONK, N.Y. 10504

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F: (914) 273-2329

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8.		ZD-1
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REVISIONS

PROJECT I.D.:  
YRHOMELAND800  
DATE:  
MARCH 7, 2022



THE CONTRACTOR SHALL CALL FOR A UTILITY  
MARK-OUT AT LEAST 2 DAYS BUT NO MORE  
THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY  
SITE NUMBER: NY087  
TAX PARCELS: 16.12-1-31



**NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION**

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland A-4 as delineated by MICHAEL NOWICKI on OCTOBER, 2021.

DEC Staff: Sarah Pawliczak 11/29/21 Surveyor/Engineer:  
Date Valid: 11/29/21 Expiration Date: 11/29/26 SEAL



Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary.  
Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

**US ROUTE 6 (SH 1309)  
(WIDTH VARIES)**

APPROXIMATE LOCATION OF PERMANENT DRAINAGE EASEMENT PEOPLE OF THE STATE OF NEW YORK PER MAP 13623 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

30' DRAINAGE EASEMENT PER MAP 14775 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

TOWN OF YORKTOWN TAX PARCEL ID:  
SECTION 16.12 BLOCK 1 LOT 31  
LOT AREA: 1.18 AC.

**LEGEND**

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY LINE
- NEIGHBORING PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING TRANSMISSION LINES
- EXISTING DRAINAGE EASEMENT
- EXISTING WETLAND LINE
- 100 YEAR FLOODPLAIN BOUNDARY

- NOTES:**
- ALL SURVEY DATA TAKEN FROM SURVEY ENTITLED "SITE SURVEY 'NY-087 - JEFFERSON VALLEY'" PREPARED BY NORTHEAST TOWER SURVEYING, INC., LAST REVISED MARCH 15, 2022.
  - HOMELAND TOWERS SITE NY087
  - ON-SITE WETLANDS WERE DELINEATED BY MICHAEL NOWICKI OF ECOLOGICAL SOLUTIONS, LLC. AND CONFIRMED BY SARAH PAWLICZAK OF THE NYSDEC ON OCTOBER 18, 2021. THE ENTIRE PARCEL IS EITHER WETLAND OR IS WITHIN THE 100-FOOT NYSDEC WETLAND ADJACENT AREA.
  - THE WETLAND BOUNDARY WAS CONFIRMED AS ACCURATE BY THE TOWN OF YORKTOWN WETLAND CONSULTANT ON MARCH 2, 2022.
  - THE SUBJECT PROPERTY IS LOCATED WITHIN THE 100-YEAR FEMA FLOODPLAIN ZONE AE WITH A BASE FLOOD ELEVATION OF 424 FEET AS SHOWN ON FEMA FIRM MAP, PANEL 36119C0033F, EFFECTIVE SEPTEMBER 28, 2007.

- GENERAL SITE NOTES:**
- SUBJECT PROPERTY IS KNOWN AS SECTION 16.12, BLOCK 1, LOTS 31 AS SHOWN ON A TAX PARCEL MAP GENERATED BY WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS.
  - ZONING CLASSIFICATION: O, OFFICE DISTRICT
  - APPLICANT: HOMELAND TOWERS, LLC  
9 HARMONY STREET, 2<sup>ND</sup> FLOOR  
DANBURY, CONNECTICUT 06810
  - PROPERTY OWNER: TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598
  - THE PROPOSED USE IS FOR EMERGENCY SERVICE AND PUBLIC UTILITY WIRELESS TELECOMMUNICATIONS. THE SITE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND, THEREFORE, POTABLE WATER SUPPLY AND SANITARY SEWER FACILITIES ARE NOT REQUIRED OR PROPOSED.
  - THE FACILITY SHALL BE VISITED ON AVERAGE, ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY 24 HOURS A DAY, 7 DAYS A WEEK.
  - THE APPLICANT'S EQUIPMENT IS REMOTELY OPERATED AND CONTROLLED AND, AS SUCH, IS NORMALLY UNMANNED. COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEMS CONTINUOUSLY MONITOR AN EXTENSIVE NUMBER OF OPERATIONAL AND SHELTER FUNCTIONS.
  - THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR ANY ASPECT OF THE USE.
  - THE PROPOSED FACILITY IS UNMANNED AND WILL NOT GENERATE SIGNIFICANT NOISE, DUST, FUMES, ODORS OR VIBRATIONS.
  - ANY LIGHTING PROPOSED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL BE CONTROLLED BY A MANUAL TIMER AND NOT SPILL ONTO ADJACENT PROPERTIES.
  - THERE SHALL BE NO TOWER MOUNTED LIGHTING.



**NOT FOR CONSTRUCTION**

**EXISTING CONDITIONS AND REMOVALS  
PLAN**

**HOMELAND TOWER SITE NY087 -  
JEFFERSON VALLEY**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

**KELLARD SESSIONS**

CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C.

500 MAIN STREET  
ARMONK, N.Y. 10504

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F: (914) 273-2329  
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8.		<b>ZD-2</b> <b>ZD-6</b>
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REVISIONS

PROJECT I.D.: YRHOMELAND800  
DATE: MARCH 7, 2022

**Call 811** before you dig  
THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY  
SITE NUMBER: NY087  
TAX PARCELS: 16.12-1-31



**BULK ZONING SUMMARY-OFFICE**

BULK REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (S.F.)	NONE	51,265	51,265
MINIMUM LOT WIDTH AT BUILDING LINE (FEET)	25	198	198
LOT DEPTH (FEET)	NONE	234	234
FRONT YARD (FEET)	15 (NO PARKING) 75 (WITH PARKING) 50 (TO ACCESSORY)	NA	37
SIDE YARD (FEET)	NONE, BUT IF PROVIDED SHALL BE 10 FEET; IF USED AS ONE-WAY VEHICULAR ACCESS, SHALL BE 17 FEET; TWO-WAY VEHICULAR ACCESS, 25 FEET; IF ADJOINS AN R DISTRICT, SHALL BE 50 FEET	NA	NA
REAR YARD (FEET)	30	NA	143
MAXIMUM BUILDING COVERAGE OF ACTUAL LOT AREA (PERCENT)	30	0	0.10

\* INDICATES MEASUREMENT TAKEN FROM MONOPOLE TO PROPERTY LINE.

**US ROUTE 6 (SH 1309)  
(WIDTH VARIES)**

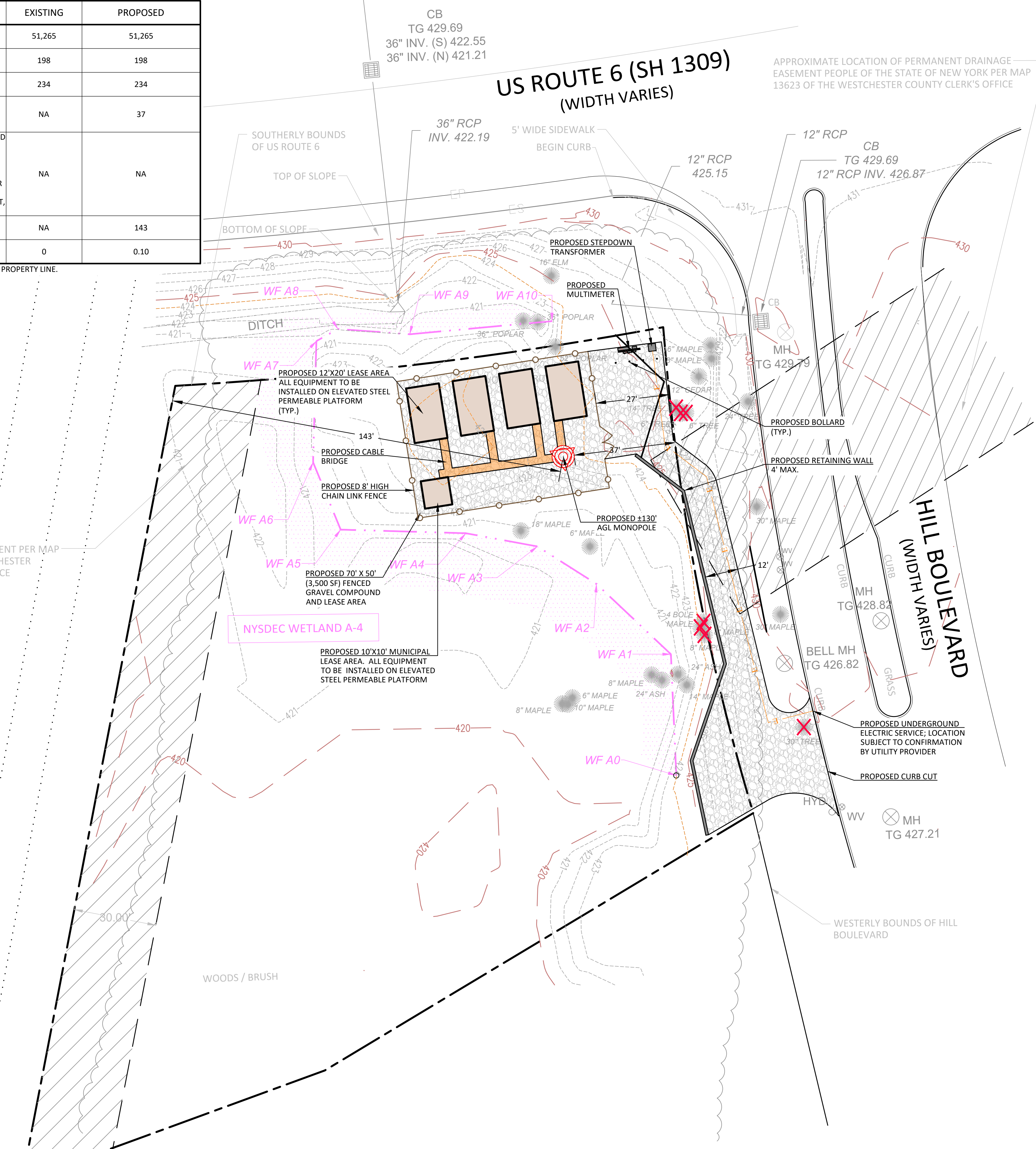
APPROXIMATE LOCATION OF PERMANENT DRAINAGE EASEMENT PEOPLE OF THE STATE OF NEW YORK PER MAP 13623 OF THE WESTCHESTER COUNTY CLERK'S OFFICE

**LEGEND**

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPERTY LINE
- NEIGHBORING PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING TRANSMISSION LINES
- EXISTING DRAINAGE EASEMENT
- EXISTING NYSDEC AND LOCAL WETLAND LINE
- 100 YEAR FLOODPLAIN BOUNDARY
- EXISTING TREE TO BE REMOVED
- PROPOSED RETAINING WALL

- NOTES:**
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9 HARMONY STREET, 2<sup>ND</sup> FLOOR  
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363 UNDERHILL AVE  
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  - THERE SHALL BE NO TOWER MOUNTED LIGHTING.



**NOT FOR CONSTRUCTION**

**SITE LAYOUT PLAN  
HOMELAND TOWER SITE NY087 -  
JEFFERSON VALLEY**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

**KELLARD SESSIONS**  
CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C.  
500 MAIN STREET ARMONK, N.Y. 10504  
P: (914) 273-2323 F: (914) 273-2329 WWW.KELSES.COM

STATE OF NEW YORK  
MATTHEW GORRILL  
REGISTERED PROFESSIONAL ENGINEER  
078902

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**ZD-3**  
**ZD-6**  
PROJECT I.D.: YRHOMELAND800  
DATE: MARCH 7, 2022

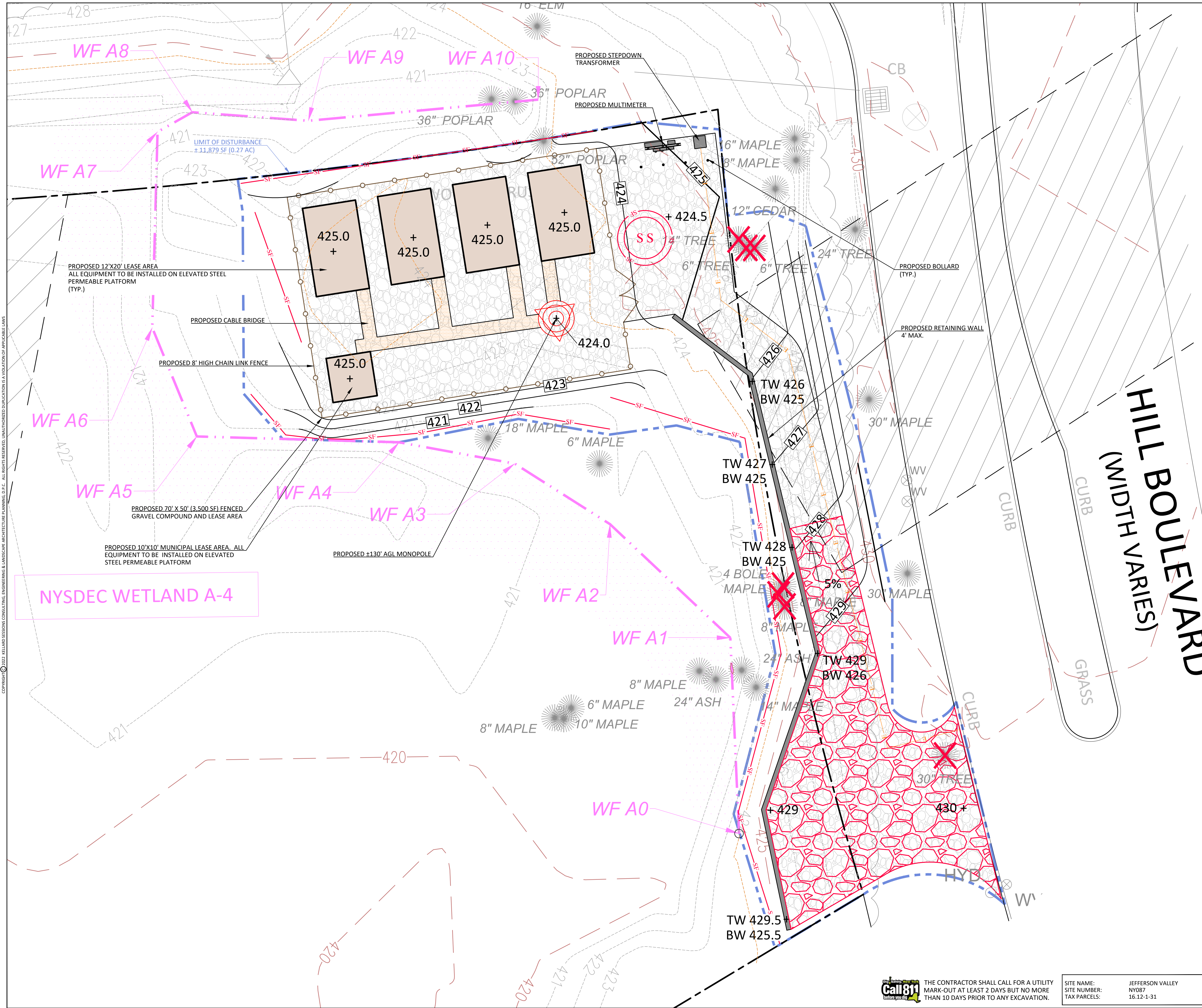
REVISIONS

Call 811 before you dig. THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY  
SITE NUMBER: NY087  
TAX PARCELS: 16.12-1-31

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW





**LEGEND**

	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPERTY LINE
	NEIGHBORING PROPERTY LINE
	EDGE OF PAVEMENT
	EXISTING DRAINAGE EASEMENT
	EXISTING NYSDEC AND LOCAL WETLAND LINE
	100 YEAR FLOODPLAIN BOUNDARY
	EXISTING TREE TO BE REMOVED
	PROPOSED RETAINING WALL
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED LIMIT OF DISTURBANCE: ± 11,879 SF (0.27 AC)
	PROPOSED SILT FENCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED SOIL STOCKPILE

**HILL BOULEVARD**  
(WIDTH VARIES)



**NOT FOR CONSTRUCTION**

**GADING, UTILITY AND SEDIMENT & EROSION CONTROLS PLAN**  
**HOMELAND TOWER SITE NY087 - JEFFERSON VALLEY**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

**KELLARD SESSIONS**

CONSULTING ENGINEERING & LANDSCAPE ARCHITECTURE PLANNING, D.P.C.

500 MAIN STREET ARMONK, N.Y. 10504

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REVISIONS	ZD-4
8. _____	ZD-6
7. _____	PROJECT I.D.:
6. _____	YRHOMELAND800
5. _____	DATE:
4. _____	MARCH 7, 2022
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**Call 811** before you dig. THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

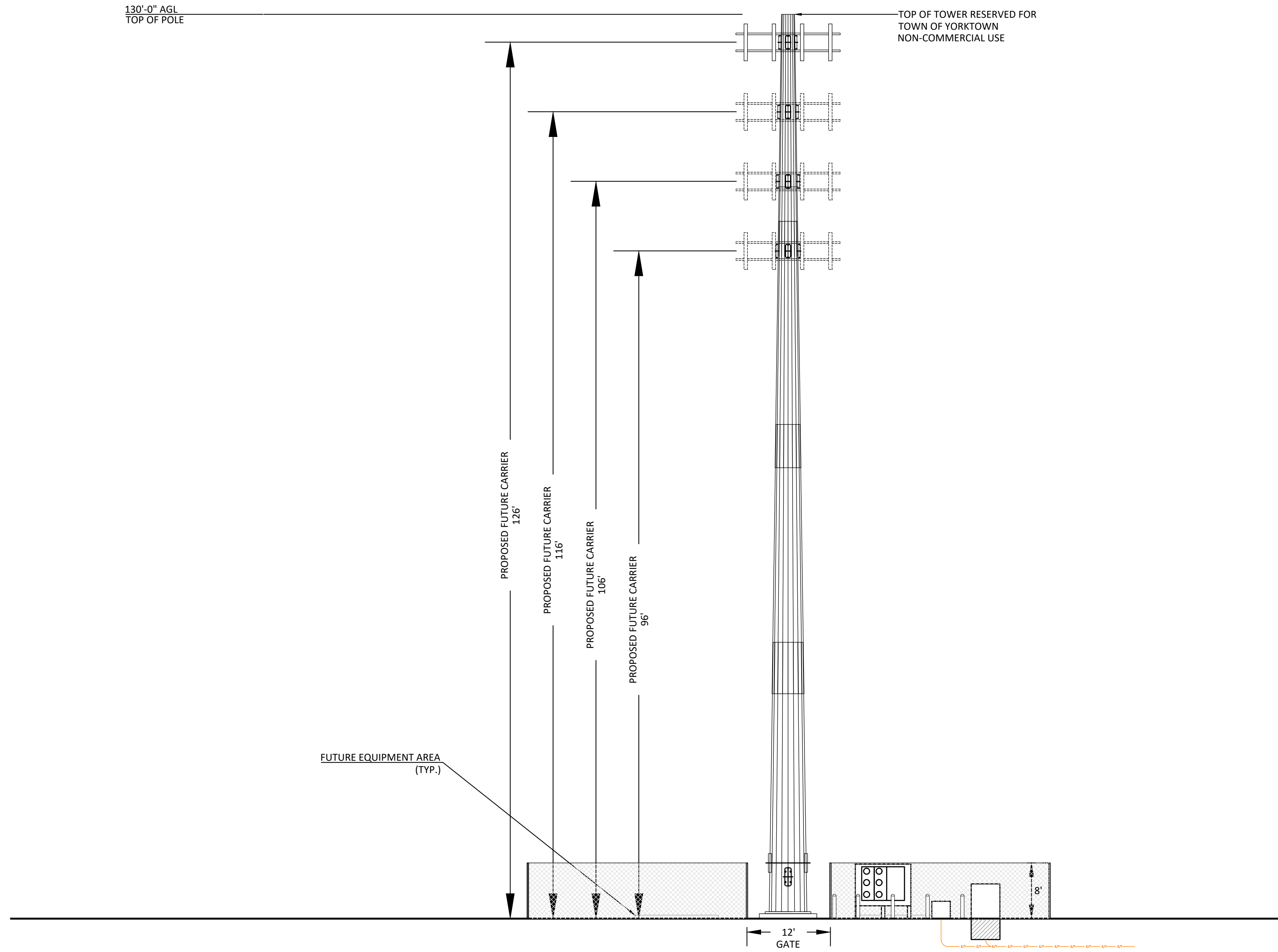
SITE NAME: JEFFERSON VALLEY  
SITE NUMBER: NY087  
TAX PARCELS: 16.12-1-31

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UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW



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NOT FOR CONSTRUCTION

TOWER ELEVATION  
HOMELAND TOWER SITE NY087 -  
JEFFERSON VALLEY

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

**KELLARD SESSIONS**

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REVISIONS	ZD-5 ZD-6
8. _____	PROJECT I.D.:
7. _____	YRHOMELAND800
6. _____	DATE:
5. _____	MARCH 7, 2022
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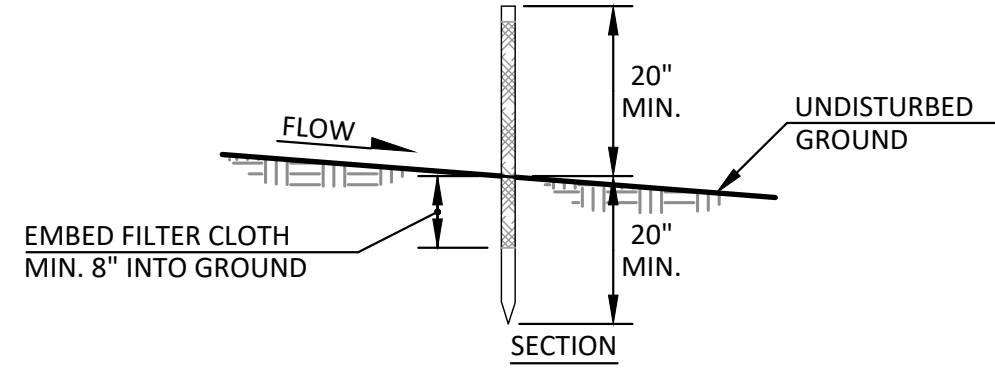
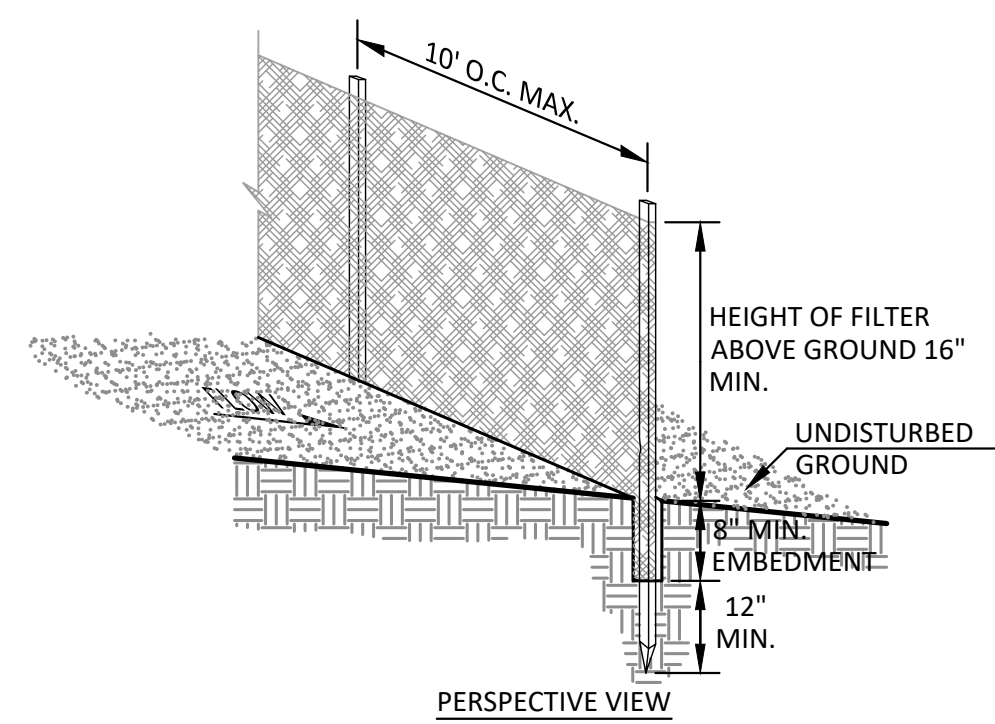
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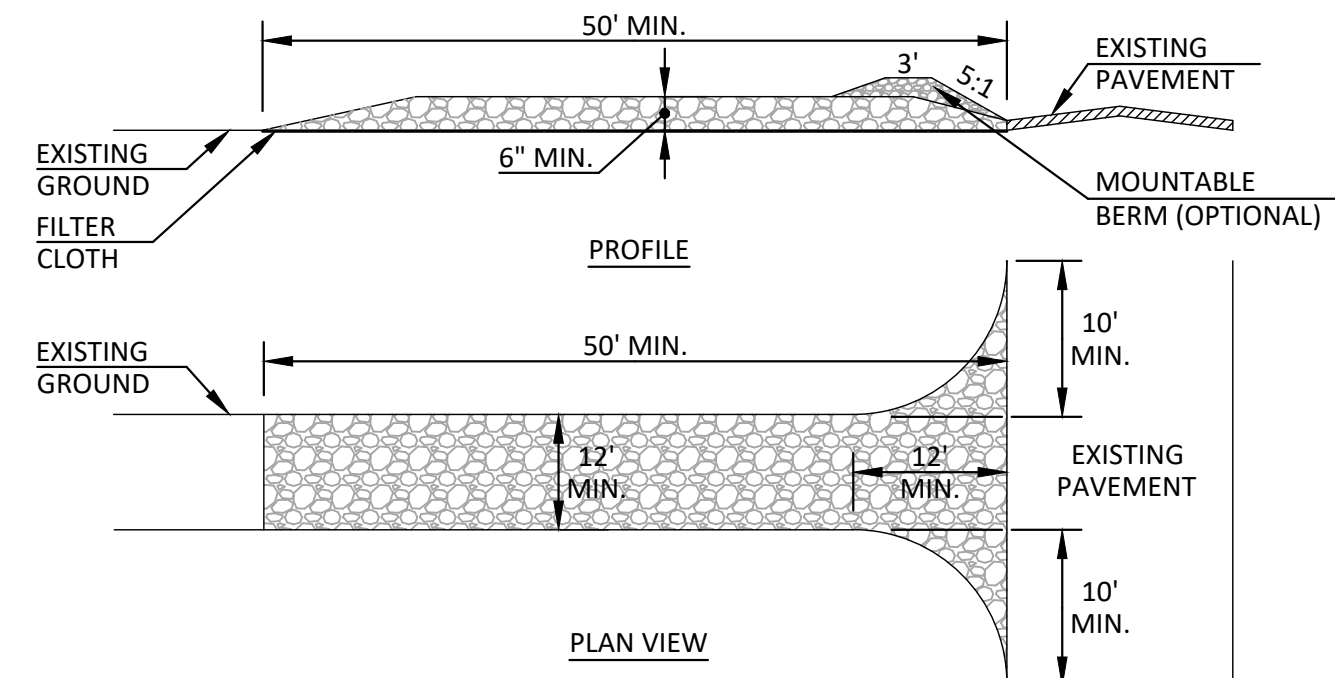
**SILT FENCE DETAIL (N.T.S.)**



**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

**STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)**



**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**EROSION AND SEDIMENT CONTROL PLAN**

ALL PROPOSED SOIL EROSION AND SEDIMENT CONTROL PRACTICES HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING PUBLICATIONS:

- NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION
- TOWN CODE OF YORKTOWN CHAPTER 248 "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL"

THE PRIMARY AIM OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN IS TO REDUCE SOIL EROSION FROM AREAS STRIPPED OF VEGETATION DURING CONSTRUCTION AND TO PREVENT SILT FROM REACHING THE DRAINAGE STRUCTURES, WETLAND SYSTEMS, WATERCOURSES, WATERBODIES AND DOWNSTREAM PROPERTIES. THE SEDIMENT AND EROSION CONTROL PLAN IS AN INTEGRAL COMPONENT OF THE CONSTRUCTION PHASING AND PROJECT SEQUENCING AND WILL BE IMPLEMENTED TO CONTROL SEDIMENT AND RE-ESTABLISH VEGETATION AS SOON AS PRACTICABLE. THE PLAN WILL BE IMPLEMENTED PRIOR TO THE COMMENCEMENT OF ANY EARTHMOVING ACTIVITIES AND WILL BE MAINTAINED THROUGH THE DURATION OF THE PROJECT.

THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL DEVICES INCLUDE THE PLANNED EROSION CONTROL PRACTICES OUTLINED BELOW. MAINTENANCE PROCEDURES FOR EACH EROSION CONTROL PRACTICE ARE ALSO PROVIDED HEREIN. THE OWNER OR OPERATOR MUST ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES IDENTIFIED HEREIN ARE MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES.

**STABILIZED CONSTRUCTION ENTRANCE**

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE PROJECT ENTRANCE AS INDICATED ON THE PLANS. THE PURPOSE OF THE STABILIZED CONSTRUCTION ENTRANCE IS TO PREVENT VEHICLES LEAVING THE SITE FROM TRACKING SEDIMENT, MUD OR ANY OTHER CONSTRUCTION-RELATED MATERIALS FROM THE SITE ONTO OFF SITE ROADS.

**MAINTENANCE/INSPECTION**

STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE IN A MANNER WHICH PREVENTS OR SIGNIFICANTLY REDUCES THE TRACKING OF SEDIMENT/SOIL OFF SITE. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER EACH RAIN EVENT FOR DISPLACEMENT OR LOSS OF AGGREGATE. THE CONTRACTOR SHALL TOP-DRESS THE CONSTRUCTION ENTRANCE WHEN DISPLACEMENT/LOSS OF AGGREGATE OCCURS, OR IF THE AGGREGATE BECOMES CLOGGED OR SILTED TO THE EXTENT THAT THE ENTRANCE CAN NO LONGER PERFORM ITS INTENDED FUNCTION. THE CONTRACTOR SHALL INSPECT THE VICINITY OF THE CONSTRUCTION ENTRANCE SEVERAL TIMES A DAY AND IMMEDIATELY REMOVE ANY SEDIMENT DROPPED OR WASHED ONTO OFF SITE ROADS.

**SILT FENCE**

SILT FENCE (GEOTEXTILE FILTER CLOTH) SHALL BE PLACED IN LOCATIONS DEPICTED ON THE APPROVED PLANS. THE PURPOSE OF THE SILT FENCE IS TO REDUCE THE VELOCITY OF SEDIMENT-LADEN STORMWATER FROM SMALL DRAINAGE AREAS AND TO INTERCEPT THE TRANSPORTED SEDIMENT LOAD. IN GENERAL, SILT FENCE SHALL BE USED AT THE DOWN-GRADIENT PERIMETER OF DISTURBED AREAS, TOE OF SLOPES OR INTERMEDIATELY WITHIN SLOPES WHERE OBVIOUS CHANNEL CONCENTRATION OF STORMWATER IS NOT PRESENT. SILT FENCE SHALL ALWAYS BE INSTALLED PARALLEL TO THE CONTOURS IN ORDER TO PREVENT CONCENTRATED FLOWS FROM DEVELOPING ALONG THE SILT FENCE.

**MAINTENANCE/INSPECTION**

SILT FENCING SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL INCLUDE ENSURING THAT THE FENCE MATERIAL IS TIGHTLY SECURED TO THE WOOD POSTS. IN ADDITION, OVERLAPPING FILTER FABRIC SHALL BE SECURE AND THE FABRIC SHALL BE MAINTAINED A MINIMUM OF SIX (6) INCHES BELOW GRADE. IN THE EVENT THAT ANY "BULGES" DEVELOP IN THE FENCE, THAT SECTION OF FENCE SHALL BE REPLACED IMMEDIATELY WITH A NEW FENCE SECTION. ANY VISIBLE SEDIMENT BUILD-UP AGAINST THE FENCE SHALL BE REMOVED IMMEDIATELY AND DEPOSITED ON-SITE A MINIMUM OF 100 FEET OUTSIDE OF ANY REGULATED WETLAND AREA, WATERCOURSE OR WATERBODY.

**SOIL/MATERIAL STOCKPILING**

ALL SOIL/MATERIAL STRIPPED FROM THE CONSTRUCTION AREA DURING GRUBBING AND GRADING SHALL BE STOCKPILED WITHIN THE VICINITY OF THE LOCATIONS ILLUSTRATED ON THE APPROVED PLANS, OR IN PRACTICAL LOCATIONS ON-SITE.

**MAINTENANCE/INSPECTION**

ALL STOCKPILES SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS FOR SIGNS OF EROSION OR PROBLEMS WITH SEED ESTABLISHMENT. SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY VEGETATING THE STOCKPILE WITH A RAPIDLY-GERMINATING GRASS SEED AND SURROUNDED WITH SILT FENCE. IF THE PROJECT IS ONGOING DURING THE NON-GROWING SEASON, THE STOCKPILES SHALL BE PROTECTED WITH A TARPULIN COVERING THE ENTIRE STOCKPILE.

**GENERAL LAND GRADING**

THE APPLICANT/DEVELOPER OR THEIR REPRESENTATIVES SHALL BE ON-SITE AT ALL TIMES WHEN CONSTRUCTION OR GRADING ACTIVITY TAKES PLACE AND SHALL INSPECT AND DOCUMENT THE EFFECTIVENESS OF ALL SEDIMENT AND EROSION CONTROL PRACTICES.

THE INTENT OF THE EROSION CONTROLS IS TO CONTROL ALL DISTURBED AREAS, SUCH THAT SOILS ARE PROTECTED FROM EROSION BY TEMPORARY METHODS AND, ULTIMATELY BY PERMANENT VEGETATION.

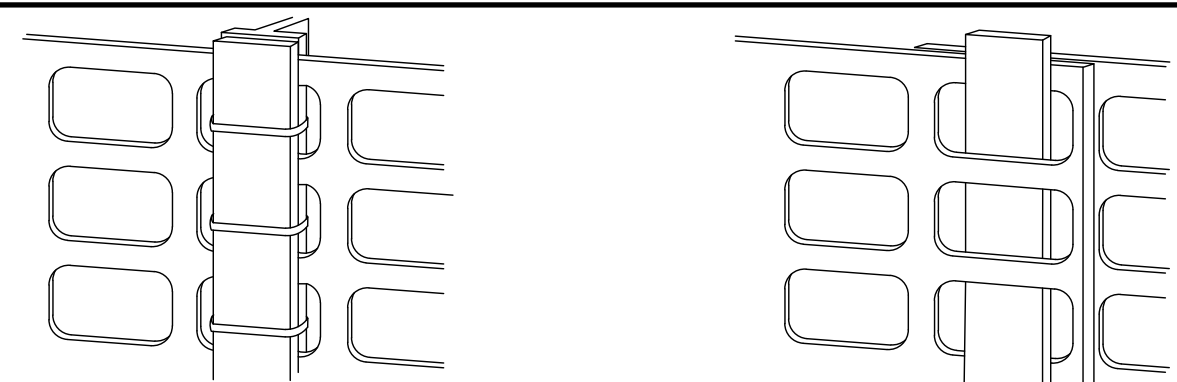
**DUST CONTROL**

WHERE VEGETATIVE OR MULCH COVER IS NOT PRACTICAL IN DISTURBED AREAS OF THE SITE, DUST SHALL BE CONTROLLED BY THE USE OF WATER SPRINKLING. THE SURFACE SHALL BE SPRAYED UNTIL WET. DUST CONTROL SHALL CONTINUE UNTIL SUCH TIME AS THE ENTIRE SITE IS ADEQUATELY STABILIZED WITH PERMANENT VEGETATIVE COVER.

**POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES**

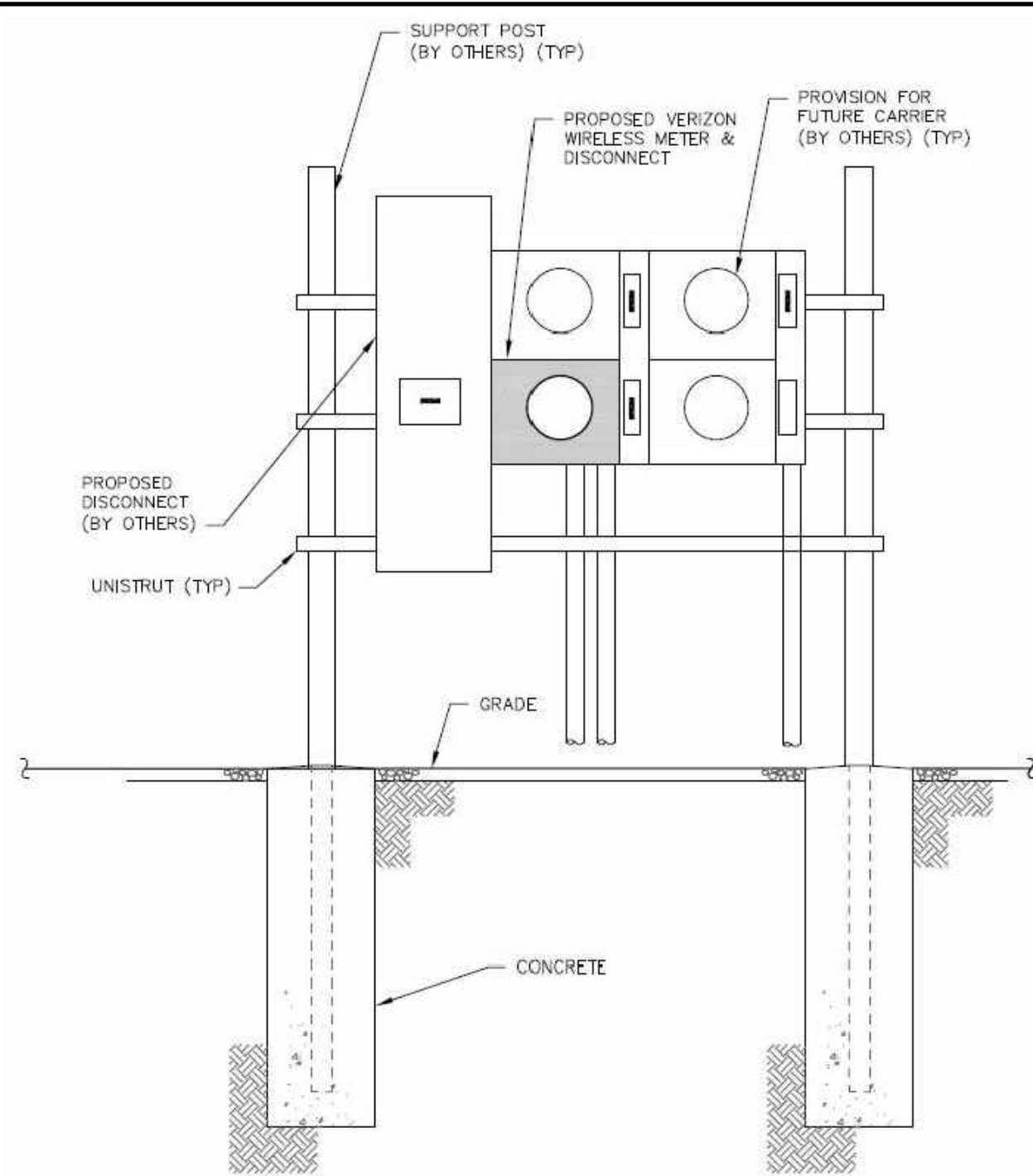
POLLUTION PREVENTION PRACTICES FOR PREVENTING LITTER, CONSTRUCTION CHEMICALS (IF APPLICABLE) AND CONSTRUCTION DEBRIS FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGE INCLUDE DAILY PICKUP OF CONSTRUCTION DEBRIS, INSPECTION, AND PHYSICAL CONTROLS SUCH AS SILT FENCING. INSPECTIONS WILL ALSO BE CONDUCTED TO INSURE THAT DUST CONTROL MEASURES ARE UTILIZED AS NECESSARY. DURING CONSTRUCTION, MAINTENANCE, CONSTRUCTION AND WASTE MATERIALS WILL BE STORED WITHIN SUITABLE AREAS/DUMPSTERS, AS APPROPRIATE, TO MINIMIZE THE EXPOSURE OF THE MATERIALS TO STORMWATER AND SPILL PREVENTION. ALL MAINTENANCE AND CONSTRUCTION WASTE WILL BE DISPOSED OF IN A SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

**CONSTRUCTION FENCE DETAIL (N.T.S.)**

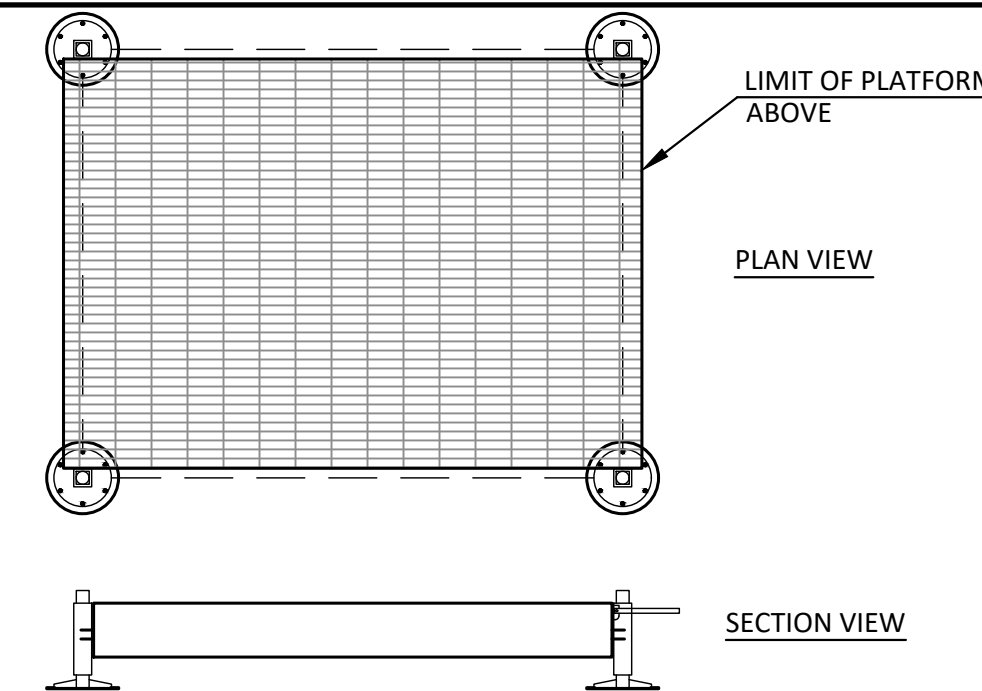


- T-POST SHOULD BE PLACED A MAXIMUM OF 10 FEET APART
  - VERTICAL STRAND OF FENCE SHOULD BE SANDWICHED BETWEEN FLAT SIDE OF T-POST AND 1"x2" WOOD SLAT
  - WIRE TIES OR PLASTIC CABLE TIES CAN THEN BE USED TO SECURE THE SLAT AND FENCE STRAND TO THE T-POST.
- TO CONNECT FENCE SECTIONS, OVERLAP 2 STRAND SECTION FROM EACH END END WEAVE A 1"x2" SLAT THROUGH THE OVERLAPPED STRANDS
  - FENCE SHOULD BE TENSIONED BY HAND ONLY. DO NOT USE MECHANICAL TENSIONERS.

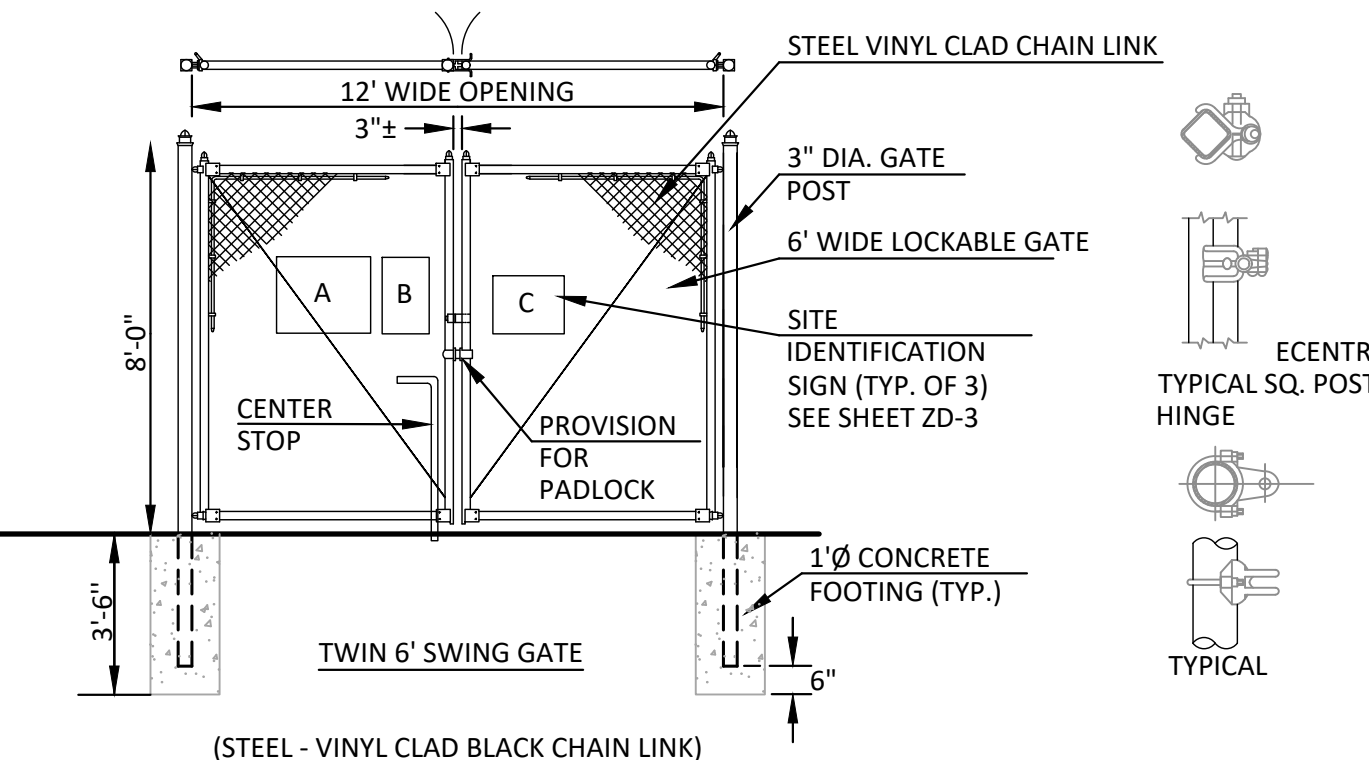
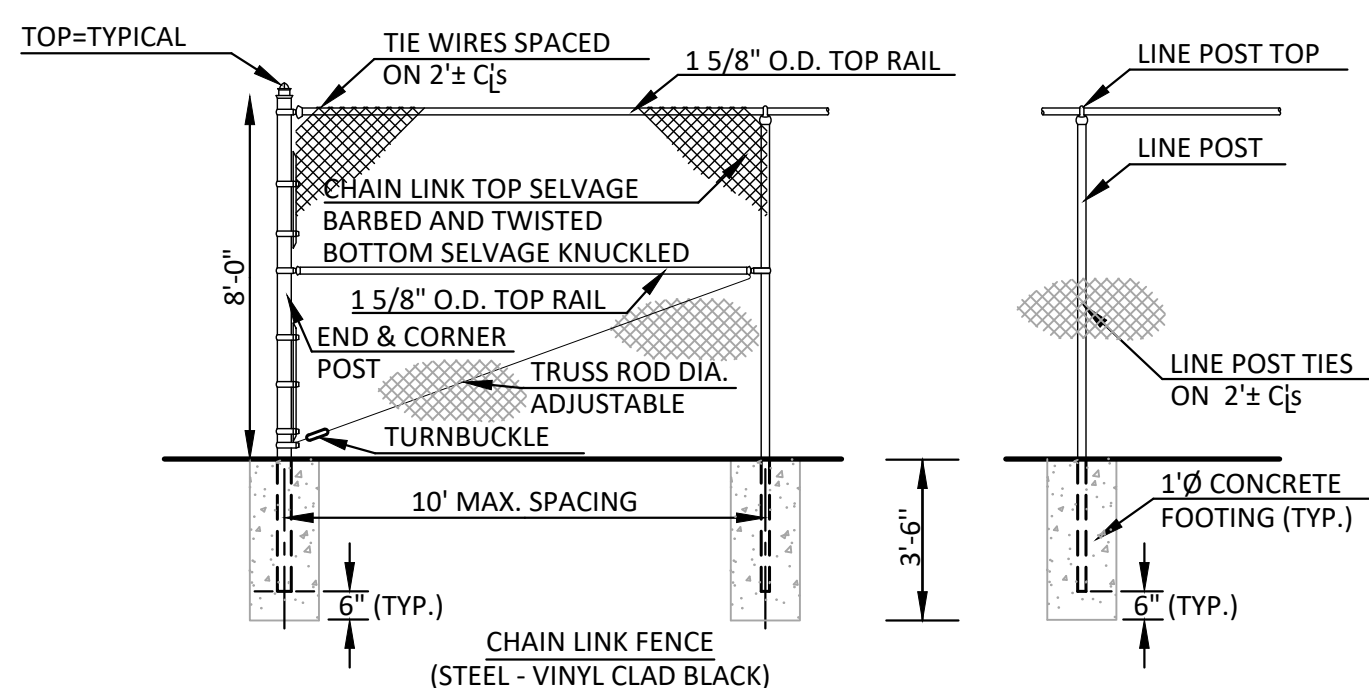
**METER AND DISCONNECT (N.T.S.)**



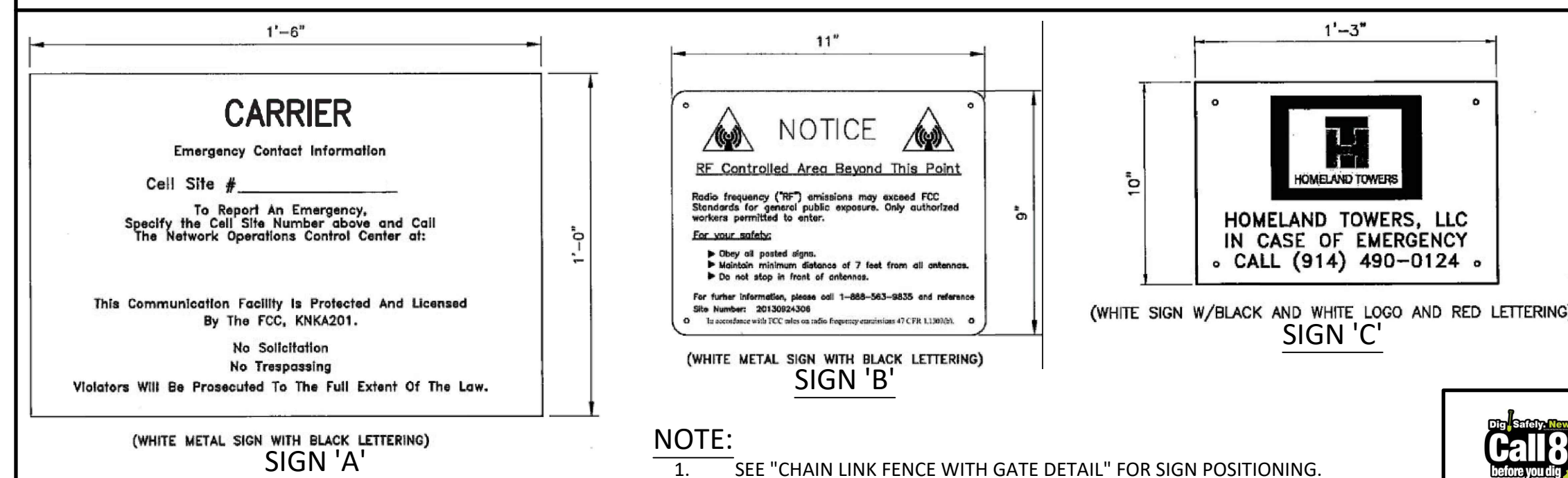
**TYPICAL EQUIPMENT PLATFORM DETAIL (N.T.S.)**



**CHAIN LINK FENCE DETAIL (N.T.S.)**



**CHAIN LINK FENCE GATE SIGNS**



THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: JEFFERSON VALLEY  
SITE NUMBER: NY087  
TAX PARCELS: 16.12-1-31

**NOT FOR CONSTRUCTION**

**LEASE EXHIBIT  
HOMELAND TOWER SITE NY087 -  
JEFFERSON VALLEY**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

**KELLARD SESSIONS**  
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STATE OF NEW YORK  
Matthew J. Kelly  
Professional Engineer  
07892

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3.		YR/HOMELAND800
2.		DATE:
1.		MARCH 7, 2022

REVISIONS





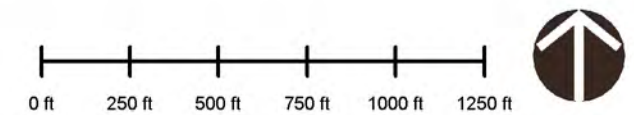
**LEGEND**

**Viewshed**

- Land Cover Viewshed Area (130ft Tower)  
(Includes existing vegetation and structures)
- ↘ Photo Simulation

Note: Viewshed areas are not definitive. Viewshed mapping provides a general understanding of where the proposed project is theoretically visible based on regional topographic, forest and building cover data sources.

The "Land Cover" condition viewshed area includes the screening effect of intervening vegetation and buildings. The location and height of vegetated areas and buildings is based on 2009 Lidar data acquired from NYS GIS Clearinghouse.



**Figure A2**  
**LAND COVER VIEWSHED MAP - 1/2 MILE RADIUS**





Photo 1 - Jefferson Valley Mall  
EXISTING CONDITION

FIGURE 1A





Photo 1 - Jefferson Valley Mall  
SIMULATED CONDITION - 130FT MONOPOLE

FIGURE 1B





Photo 1 - Jefferson Valley Mall  
SIMULATED CONDITION - 130FT LATTICE FRAME ALTERNATIVE





Photo 3 - Village Road near Hill Blvd  
EXISTING CONDITION

FIGURE 2A





Photo 3 - Village Road near Hill Blvd  
SIMULATED CONDITION - 130FT MONOPOLE

FIGURE 2B





Photo 4 - Village Road near Columbia Ct.  
EXISTING CONDITION





Photo 4 - Village Road near Columbia Ct.  
SIMULATED CONDITION - 130FT MONOPOLE





Photo 5 - Village Road near Jefferson Valley Lanes  
EXISTING CONDITION

FIGURE 4A





Photo 5 - Village Road near Jefferson Valley Lanes  
SIMULATED CONDITION - 130FT MONOPOLE





Photo 5 - Village Road near Jefferson Valley Lanes  
SIMULATED CONDITION - 130FT LATTICE FRAME ALTERNATIVE





Photo 6 - Village Road near Jefferson Valley Professional Center  
EXISTING CONDITION





Photo 6 - Village Road near Jefferson Valley Professional Center  
SIMULATED CONDITION - 130FT MONOPOLE





Photo 7 - Route 6 near Hill Blvd.  
EXISTING CONDITION

FIGURE 6A





Photo 7 - Route 6 near Hill Blvd.  
SIMULATED CONDITION - 130FT MONOPOLE

FIGURE 6B





Photo 8 - Hill Blvd. near Lee Blvd.  
EXISTING CONDITION

FIGURE 7A





Photo 8 - Hill Blvd. near Lee Blvd.  
SIMULATED CONDITION - 130FT MONOPOLE



**TB Referral  
Farm Special  
Events Special  
Permit**



A LOCAL LAW to amend Chapter 300 of the Code of the Town of Yorktown entitled "ZONING," Article VII, entitled "Permitted Special Uses"

Be it enacted by the Town Board of the Town of Yorktown as follows:

Section I. Statement of Authority.

This local law is authorized by the New York State Constitution, the provisions of the New York Municipal Home Rule Law, the relevant provisions of the Town Law of the State of New York, the laws of the Town of Yorktown and the general police power vested with the Town of Yorktown to promote the health, safety and welfare of all residents and property owners in the Town.

Section II. Chapter 300 of the Code of the Town of Yorktown entitled "ZONING," Article VII, entitled "Permitted Special Uses," is hereby amended by adding a new section 300-82 entitled "Farmland Special Events" as follows:

- A. "Special Events" shall mean: a social occasion, an event, or an activity which involves the assembly of persons on any farm in Town (as authorized by special permit under § 300-45), with or without an admission or invitation fee, a sponsorship, or a requested donation, and held on a one-time basis, including, but not limited to, weddings, family reunions, parties, fairs, bazaars, outdoor shows, animal shows or exhibitions, and concerts.
- B. Special Events shall be permitted by the Zoning Board of Appeals only as defined in this Chapter, and such uses shall comply with all applicable laws, including the requirements of § 300-45.
- C. Applicants shall submit an area map and parking plan for review by the Zoning Board of Appeals. The Zoning Board of Appeals may require other operational data in its discretion, including maximum number of invitees, days and hours of operation, etc.
- D. Special Event permits shall be issued for three-year periods.

Section III. Severability.

If any clause, sentence, phrase, paragraph or any part of this local law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this local law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this local law would have been adopted had any such provisions been excluded.



Section IV. Repeal

All ordinances, local laws and parts thereof inconsistent with this Local Law are hereby repealed to the extent of such inconsistencies.

Section V. Effective Date.

This local law shall become effective upon filing in the office of the Secretary of State in accordance with the provisions of the Municipal Home Rule Law.