

## TOWN OF YORKTOWN PLANNING BOARD

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Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

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### PUBLIC MEETING AGENDA YORKTOWN TOWN HALL BOARD ROOM 363 Underhill Avenue, Yorktown Heights, NY 10598

May 23, 2022  
7:00 PM

1. Correspondence
2. Meeting Minutes – May 9, 2022

#### REGULAR SESSION

3. **Shrub Oak International School  
Public Hearing**

*Location:* 26.05-1-4; 3151 Stony Street

*Contact:* DTS Provident Design Engineering

*Description:* Proposed amendments to the approved Phase II site improvements.

4. **Pied Piper Preschool  
Public Hearing**

*Location:* 37.14-2-8; 2090 Crompond Road

*Contact:* Site Design Consultants

*Description:* Proposed modification to a row of parking to accommodate existing play area.

5. **Dorchester Glen Subdivision  
Public Informational Hearing**

*Location:* 15.20-3-6; 1643 Maxwell Drive

*Contact:* Site Design Consultants

*Description:* Proposed 4 lot subdivision on 24.26 acres in the R1-20 zone.

#### WORK SESSION

6. **Lakeview Estates Lot 6  
Discussion Site Plan**

*Location:* 47.11-1-15; 1102 Gambelli Drive

*Contact:* TJ Engineering, LLC

*Description:* Proposed residence on the last subdivision lot in the Lakeview Estates subdivision.

7. **Arrowhead Subdivision Lot 6.4  
Discussion Site Plan**

*Location:* 48.13-1-6.4; 821 Shiqer Gashi Court

*Contact:* Taylor Palmer, Esq., Cuddy & Feder

*Description:* Proposed site plan for lot 6.4 in the Arrowhead Subdivision.

8. **Rob's Poultry Supply Store  
Discussion New Use in Existing Shopping Center**

*Location:* 37.14-1-46; 2023 Crompond Road

*Contact:* Robert Robinson

*Description:* Proposed poultry supply store in existing store front.

**9. 2040 Greenwood Street**

**Discussion Dumpster Enclosure**

*Location:* 37.15-1-38; 2040 Greenwood Street

*Contact:* Rick Cipriani

*Description:* Applicant proposes a fence across the driveway to screen the larger dumpster that is in use instead of constructing the dumpster enclosure shown on the approved site plan.

**10. Burger King**

**Discussion Site Plan**

*Location:* 37.18-2-57; 385 Downing Drive

*Contact:* Michael Grace, Esq.

*Description:* Proposed second ordering line for drive-thru and restriping of parking adjacent to the new drive-thru lane.

**11. Wendy's at Staples Plaza**

**Discussion Site Plan**

*Location:* 27.14-1-45; 3399 Crompond Road

*Contact:* Urstadt Biddle

*Description:* Proposed renovation of the Dunkin Donuts building for a Wendy's Restaurant.

**12. Yorktown Rehab & Nursing Center Solar Projects**

**Discussion Site Plan & Special Use Permits**

*Location:* 35.12-1-3; 2300 Catherine Street

*Contact:* Ecogy New York

*Description:* Proposed installation of a 698 kW DC/467 kW AC solar canopy system over existing parking with a 548 kWh Tier 1 Battery Energy Storage System and installation of a 284 kW DC/260 kW AC ground mounted solar array on a 12.84 acre parcel in the RSP-3 zone with existing skilled nursing facility.

**13. Underhill Farm**

**Discussion Wetland & Fiscal Assessments**

*Location:* 48.06-1-30; 370 Underhill Avenue

*Contact:* Site Design Consultants

*Description:* Proposed mixed use development of 148 residential units, 11,000 SF retail, and recreational amenities. Original main structure to remain and to be used for a mix of uses. Development is proposed on a 13.78 acre parcel in the R1-40 with Planned Design District Overlay Zone authorization from the Town Board.

**Last revised: May 19, 2022**

# **Correspondence**

# In Praise of the Humble Sidewalk

*Nine experts on why accessible sidewalks are the best infrastructure investment communities can make.*



Illustration by Jason Schneider.

**April 27, 2022**

By STEVE WRIGHT

Wide, unobstructed, well-maintained sidewalks with no gaps or dead ends are the best infrastructure communities of all sizes can invest in. From urban to suburban to rural areas, sidewalks provide democratic, inexpensive access to transit, parks, jobs, education, and all aspects of daily living.

Yet many communities — even in denser, urban areas — lack these much-needed networks. Dallas is "[missing more than 2,000 miles of sidewalk](#)," while Denver [went viral last summer](#) when TikTok account [@PedestrianDignity](#) began cataloguing its crumbling, inadequate, or nonexistent walkways. The city launched a [mobility plan](#) in 2018 to address the fact that 10 percent of its streets lack sidewalks, while 30 percent can't support wheelchairs, according to

nonprofit [WalkDenver](#).

The new [bipartisan infrastructure law](#) offers critical opportunities to solve these issues through initiatives like the reformed [Transportation Alternatives Program](#) and the recently launched [Active Transportation Infrastructure Investment Program](#), which will dedicate \$200 million a year in grants to connect walking and biking routes with destinations and other transportation options. As decision makers across the country create plans for federal funding, I spoke to planning and pedestrian experts to learn why the humble sidewalk is one of the best investments a community can make — and what we need to do to make them work for everyone.

## 1. HEALTH BENEFITS AGES 8 TO 80

When it comes to health's "magic pill," [Gil Penalosa](#), founder and chair of the Toronto-based planning non-profit [8 80 Cities](#), points to active transportation.

"The answer is getting around by walking, crutches, wheelchair — I don't care how you move, but you need to move about in ways other than using a car. It's also very crucial to mental health," he says. "The only places where large amounts of people walk at least five days a week are those with the infrastructure to support walking, biking, transit, and mobility for people with disabilities."

Importantly, Penalosa advocates for well-built sidewalks in [suburban towns and rural villages](#), too, not just urban areas. He notes that even areas without much density might still have bus routes that rely on sidewalk connectivity.

"There are studies that show that when [aging residents] lose their driving privileges, it is as traumatic as a cancer diagnosis. Because in so many cities, the car is the only way to be mobile and make a doctor's appointment or grocery run," he says. "In walkable cities with transit, losing a car doesn't mean losing your friends, your stores, your places you've gone all your life."

## 2. LEVEL THE PLAYING FIELD FOR ALL

"Sidewalk connectivity is essential for people with disabilities, but it's also just a great way of leveling the playing field for all marginalized people," says [Heidi Johnson-Wright](#), a renowned inclusive design expert who has been an Americans

with Disabilities Act resource for large urban governments. She's currently co-teaching a groundbreaking universal design course at the University of Miami School of Architecture with me.

She's spent an entire week of the course focusing on sidewalks, complete streets, properly aligned curb ramps, and safe harbor medians to underscore their value — and what's at stake when they aren't properly designed and maintained. A curb ramp fails to function if it constantly floods, for example, and a crosswalk becomes perilous if drainage basins are placed where wheelchair tires can get stuck in them.

"My students now grasp that if one link in the chain is broken, safe mobility fails for all," says Johnson-Wright, who uses a wheelchair for mobility. She laments that cars parked over sidewalks for days are rarely ticketed in her experience. "That unwillingness to ensure safety forces me into streets and into the path of dangerous drivers in a region that consistently leads the nation in pedestrian deaths and serious injuries."



Wide sidewalks and aligned curb ramps help create sidewalk connectivity and safe, pedestrian-friendly streets. Photo courtesy of Steve Wright.

### 3. GREAT BANG FOR OUR BUCK

As producer of [Perils for Pedestrians Television](#), a safe walkability public affairs series that airs in 150 cities across the U.S., John Wetmore says sidewalks provide "clear economic benefits."

"When people walk more, they are healthier, and society will save on health care costs. When people drive less, they spend less on gas and maintenance. If living in a walkable neighborhood lets a family get by with one less car, the savings can be several thousand dollars a year," he says. "However, the biggest benefits from walkable neighborhoods have to do with the quality of life. Walking can play a big role in one's independence, which is fundamental to one's quality of life."

Wetmore cites initiatives like [Safe Routes to School](#), which the [new infrastructure law](#) is expanding, as proof that a broad base of consumers supports safer, well-connected sidewalks. "The city needs to invest in the sidewalks, crosswalks, and other basic infrastructure that will make it not just possible to walk, but *desirable* to walk," he says.

### 4. ELIMINATE GENDER DISPARITIES

According to [Leslie Kern, PhD](#), associate professor of geography and environment and director of women's and gender studies at Mount Allison University, research shows that women take more pedestrian trips daily as part of their commutes and household-serving errands. That means effective sidewalks are of heightened importance to their daily lives.

"Barrier-free, wide, and well-maintained sidewalks are particularly important for women, who still do a higher share of caregiving work," says Leslie Kern, author of [Feminist City: Claiming Space in a Man-Made World](#). "Navigating sidewalks with strollers and small children is difficult if there is not enough space, if there are barriers at curbs or a lack of curb cuts, or if the sidewalk must be shared with cyclists."

Plus, there's the obvious safety component, she adds. In neighborhoods without sidewalks, people are forced to walk in the street, providing no protection from speeding vehicles — or the people operating them.

"Women and people of marginalized genders regularly experience harassment from car drivers," she says. "If sidewalks can create more distance between

pedestrians and drivers, this might either cut down on this form of 'drive-by harassment' or reduce the fear it causes in walkers."



A healthy pedestrian realm allows for enough space to accommodate all ages, physical abilities, and activities. Navigating sidewalks with strollers can be difficult or even dangerous when there isn't enough space. Photo by FatCamera/E+/Getty Images.

## 5. MORE SPACE FOR PEOPLE PLACES

"Often, the pedestrian realm is undersized and relegated to the leftover space within the right-of-way after the traffic engineers have taken all the space they need for vehicular lanes," says Michael Huston, AIA, LEED-AP, owner of [Urban Arts, Inc.](#) and partner of [Civic Plan Studio](#).

To support a healthy, active "pedestrian realm" that people of all ages and physical abilities can enjoy, he says our sidewalks need to be much wider.

"To accommodate the necessary sidewalk clear zone and streetscape furnishings needed to create a comfortable pedestrian environment, a *minimum* of 15 feet is recommended between the street curb and the building," Huston adds. "It is not unusual to have a pedestrian realm that is 20 to 30 feet wide on streets that have intensive pedestrian and outdoor dining use."



## 6. A TOOL OF ENVIRONMENTAL JUSTICE

The founder and president of nonprofit [Strong Towns](#), which focuses on pedestrian-friendly development, believes sidewalks and streets play an important role in environmental justice.

"Sidewalks are often treated as afterthoughts in urban transportation projects," says Charles Marohn, P.E. "This is backwards. The function of an urban street is to serve as a platform for building wealth. On a street, we're attempting to grow the complex ecosystem that produces community wealth."

One big way that can be accomplished is through proper maintenance. Marohn advocates for city plowing of sidewalks, instead of making snow and ice clearance the responsibility of thousands of individual property owners. He says it's equally or even more important than street plowing — which often creates impediments to pedestrians.

"In most of our poorest neighborhoods, the public sector is neglecting their maintenance responsibilities, and this contributes to a vicious cycle of decline," says Marohn, author of [Confessions of a Recovering Engineer](#). "When the streets have more potholes, the parks have more weeds, and the sidewalks have more cracks and gaps than the ones in our affluent neighborhoods, the signal being sent is that decline is going to continue, regardless of what the property owners do."

## 7. A CONNECTOR FOR PEOPLE (AND ROBOTS?)

Amin Gharebaghi, co-founder and CEO of [GeoMate](#), is preparing sidewalks for an increase in traffic. His firm works with multiple cities across North America to analyze key features impacting urban accessibility like curb ramps, slope, width, and surface quality.

"Sidewalks act as a main connector in municipalities, bringing residents closer to their communities and local economies," he says. And it's a critical time to ensure that those connections work at the human level first.

"As cities become increasingly dense and new mobility technologies [like delivery robots] begin to operate on sidewalks, enhancing sidewalk safety and accessibility is becoming more important now than ever," he explains.



In Fairfax, Virginia, delivery robots wait to cross the street. An influx of robots could pose new safety and accessibility challenges. Photo by John M. Chase/iStock Unreleased.

## 8. FIRST AND LAST MILE MVP

"You can build a premium bus stop with shelters and amenities, but if you can't get to it, the transit fails," says David Haight, FAICP, a planner and senior project manager with planning, design, and engineering firm [Atkins](#). "Without accessible sidewalks, transit doesn't work."

Apart from being wide enough to accommodate pedestrians with mobility aids like wheelchairs, accessible sidewalks should include pathways that don't flood, have crosswalks, and help people navigate from bus stops through parking lots to retail. Designers should work to understand and match users' expectations, too.

"People walk in a straight line. They will try to cross — without the protection of a painted crosswalk or 'walk' sign — rather than cross two additional lanes of busy traffic to get to the official crosswalk," he explains. And at four-lane roads, a median should be large enough to serve as a haven for those who can make it only halfway to the other side of the street. Otherwise, people — some with kids, some using assistive mobility devices — are stuck on a tiny piece of ground with huge trucks and speeding cars rushing by them.

## 9. "THE SINGLE MOST CRITICAL PIECE OF INFRASTRUCTURE"

Fabian De La Espriella, AICP, principal of Miami-based [Urbë Studio](#), has nearly two decades of experience in transportation planning — and is a big fan of what sidewalks provide, particularly when it comes to equity.

"Sidewalks are the single most critical piece of infrastructure when it comes to reducing disparities between communities, especially those that are currently underserved, which coincidentally are also suffering from disproportionate pedestrian death rates," says De La Espriella, vice chair of APA Florida's Gold Coast chapter. "This equity approach applies to sidewalks being of vital importance for people with disabilities, no-car households, children, and the elderly. Sidewalks in some communities are key to getting access to transit, food, parks, or schools."

Every planning agency, local jurisdiction, and government official should prioritize safe sidewalks, he says.

"Having safe, healthy streets is part of increasing a city's competitiveness. A key component to achieving this outcome is having safe sidewalks, which increase access and create a higher value place," he says. "It is time that we acknowledge the responsibility of transportation investments in increasing equity in our communities, especially when it comes to sidewalks."

[Steve Wright](#) is a writer, educator, pedestrian mobility activist, and marketer of planning services. He presented on sidewalks — as an element of diversity, equity, inclusion, and accessibility — at APA Florida's conference in 2021 and is speaking about universal design at NPC22. Based in Miami, he blogs daily at [Urban Travel and Accessibility](#).

# **Draft Minutes**

**Shrub Oak  
International School**

RECEIVED  
PLANNING DEPARTMENT  
MAY 17 2022  
TOWN OF YORKTOWN

AFFIDAVIT OF MAILING

STATE OF NEW YORK            )  
  )  
COUNTY OF WESTCHESTER    )

ss:

Being duly sworn, Tracy A. Russo, hereby deposes and says as follows:

- 1. I am not party to this action and am over 18 years of age;
- 2. On May 12<sup>th</sup>, 2022, I served the within Public Notice, via standard mail, addressed to the following people at the last known addresses set forth below:

See attached.

Tracy A. Russo  
Tracy A. Russo

Sworn to and subscribed before me  
this 12<sup>th</sup> day of May 2022

Laura McMahon  
NOTARY PUBLIC

LAURA MCMAHON  
NOTARY PUBLIC, STATE OF NEW YORK  
NO. 01MC6017348  
QUALIFIED IN ROCKLAND COUNTY  
COMMISSION EXPIRES 12/14/2020

**NOTICE TO INTERESTED PARTIES**

TO: \_\_\_\_\_  
\_\_\_\_\_

**PLEASE TAKE NOTICE** that a **Public Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday, May 23, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application by Shrub Oak International School, LLC for an amended site plan as shown on submitted plans titled, "Shrub Oak International School, Application for Site Plan Amendment," prepared by DTS Provident Design Engineering, and dated March 16, 2022, and alternate secondary driveway options, "Shrub Oak International School, Figures 1-3," submitted on April 13, 2022.

The site is located at the address 3151 Stony Street, Mohegan Lake, NY 10547, also known as Section 26.05, Block 1, Lot 4 on the Town of Yorktown Tax Map, and consists of 127.2 acres in the R1-160 zoning district.

ALL PERSONS INTERESTED in the above matter may appear before the Board in person, or virtually if the meeting is held remotely, by agent or attorney and will be heard before any final determination is made.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to [planning@yorktownny.org](mailto:planning@yorktownny.org). Submitted written comments will be given to the Planning Board in advance of the meeting.

The above listed site plan may be viewed on the Town's website: <http://www.yorktownny.org/planning/public-hearings>. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

This notice is being sent to you by first class mail, under '195-39B(2) of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

Shrub Oak International School, LLC  
Name of Applicant 

By: David S. Steinmetz (Zarin & Steinmetz),  
as attorney for the Applicant

May 9, 2022  
Date

26.05-1-12  
GODEL, ALAN & DEENA  
3174 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-24  
VALENTINO, ERIC &  
BISCEGLIA, MORGAN  
3220 LOOKOUT STREET  
MOHEGAN LAKE, NY 10547

26.05-1-57  
BAUER, SHAUN & ANN MARIE  
3205 ROCKY PL.  
MOHEGAN LAKE, NY 10547

16.17-1-46  
TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HGTS., YO 10598

16.17-1-9  
GROSS, NEIL & SANDRA  
3234 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-7  
ARGIRO, ANTHONY (L/E)  
3214 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-10  
COLLMAN-PIERRE, ARLENE  
3192 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-4  
3151 STONEY ST., LLC  
C/O GENERAL COUNSEL  
3151 STONY STREET  
MOHEGAN LAKE, NY 10547

26.05-1-16  
FIRST H.C. OF P.  
1821 EAST MAIN STREET  
PEEKSKILL, NY 10566

26.05-1-49  
TANG, XIAOPING &  
LUO, JING  
3193 ROCKY PLACE  
MOHEGAN LAKE, NY 10547

26.05-1-13  
DEDVUKAJ, NIKOLA  
3166 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-23  
VALENTINO, ERIC &  
BISCEGLIA, MORGAN  
3220 LOOKOUT STREET  
MOHEGAN LAKE, NY 10547

26.05-1-83  
NABBY DAY CAMP INC  
1 NABBY HILL  
MOHEGAN LAKE, NY 10547

26.06-1-1  
TOWN OF YORKTOWN PARKLAND  
TBR 10/19/2011  
363 UNDERHILL AVE.  
YORKTOWN HGTS, NY 10598

26.05-1-5  
EHRENREICH, KIRK &  
MICHELLE  
3228 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-8  
COLLETTI, B & M REV TRUST  
& DEROSA, ROBERT & LISA  
3208 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-11  
MORETTI, PATSY A. LIVING  
TRUST  
3182 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-22  
FIRST H.C. OF P.  
1821 EAST MAIN STREET  
PEEKSKILL, NY 10566

26.05-1-29  
VALENTINO, ERIC &  
BISCEGLIA, MORGAN  
3220 LOOKOUT ST.  
MOHEGAN LAKE, NY 10547

26.05-1-67  
DOMINGUEZ, KEVIN &  
RIJO, LARITZA  
3166 HOLLYWOOD ST.  
MOHEGAN LAKE, NY 10547

26.05-1-14  
MC LOUGHLIN, ANNETTE &  
CAHILL, MARTIN  
3158 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-58  
SCHWARTZ, LOUIS & ELAINE  
225 BROADWAY, STE 2030  
NEW YORK, NY 10007

26.09-1-1  
TRIPALDI, JOHN & JANICE  
3070 DALE ST.  
MOHEGAN LAKE, NY 10547

16.17-1-8  
WEITZMAN IRREVOCABLE  
LIVING TRUST  
3240 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-6  
JOHNSON, ROBERT & NANCY  
3222 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-9  
DWINELL, JOHN & NANCY  
3200 AMELIA DR.  
MOHEGAN LAKE, NY 10547

26.05-1-15  
KIRKHAM, LINDA & WITHERS,  
LYNNE  
3220 BAKER ST.  
MOHEGAN LAKE, NY 10547

26.06-1-2  
3151 STONEY ST. LLC.  
C/O GENERAL COUNSEL  
3151 STONY STREET  
MOHEGAN LAKE, NY 10547

26.05-1-48  
SACCENTE, MICHAEL  
3197 ROCKY PLACE  
MOHEGAN LAKE, NY 10547

26.05-1-1  
NABBY DAY CAMP INC  
1 NABBY HILL  
MOHEGAN LAKE, NY 10547



26.05-1-68

GEDNEY, DAVID & WYNNE  
3165 HOLLYWOOD ST.  
MOHEGAN LAKE, NY 10547

26.05-1-2

NABBY DAY CAMP INC  
1 NABBY HILL  
MOHEGAN LAKE, NY 10547

DUP

26.05-1-3

NABBY DAY CAMP INC  
1 NABBY HILL  
MOHEGAN LAKE, NY 10547

DUP

26.09-1-2

LIBRIZZO, SHARON &  
NAPOLETANO, RENEE  
3058 DALE ST.  
MOHEGAN LAKE, NY 10547

26.09-1-22

TOWN OF YORKTOWN PARKLAND  
TBR 10/19/2011  
(GRANITE KNOLLS)  
363 UNDERHILL AVE.  
YORKTOWN HGTS, NY 10598

26.09-1-3

TYLER, KENNETH E.  
FAMILY TRUST  
3046 DALE ST.  
MOHEGAN LAKE, NY 10547

26.09-1-10

HELMER, JOSEPH &  
DODDS, MARY PAT  
3036 KNOLLWOOD CT.  
MOHEGAN LAKE, NY 10547

26.09-1-6

EKELUND, BRYAN & KENDRA  
1528 SYLVAN RD.  
MOHEGAN LAKE, NY 10547

26.09-1-9

CAVALIERI, ERIC & NICOLE  
3035 KNOLLWOOD CT.  
MOHEGAN LAKE, NY 10547

MAY 17 2022

Sign Notification Certification

TOWN OF YORKTOWN

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 26.05 Block 1 Lot 4

Project Name: Shrub Oak International School, LLC

Address: 3151 Stony Street, Mohegan Lake

Applicant's Name: Tracy A. Russo, Paralegal

Address: Zarin & Steinmetz, 81 Main Street, Ste. 415, White Plains, NY 10601

Phone: (914) 682-7800

No. Signs Posted: 1

Sign #1 Location: 3151 Stony Street, entrance to property.

Sign #2 Location: \_\_\_\_\_

Sign #3 Location: \_\_\_\_\_

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: Tracy A. Russo

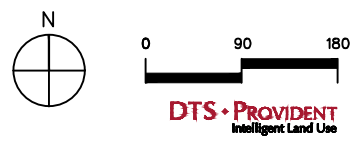
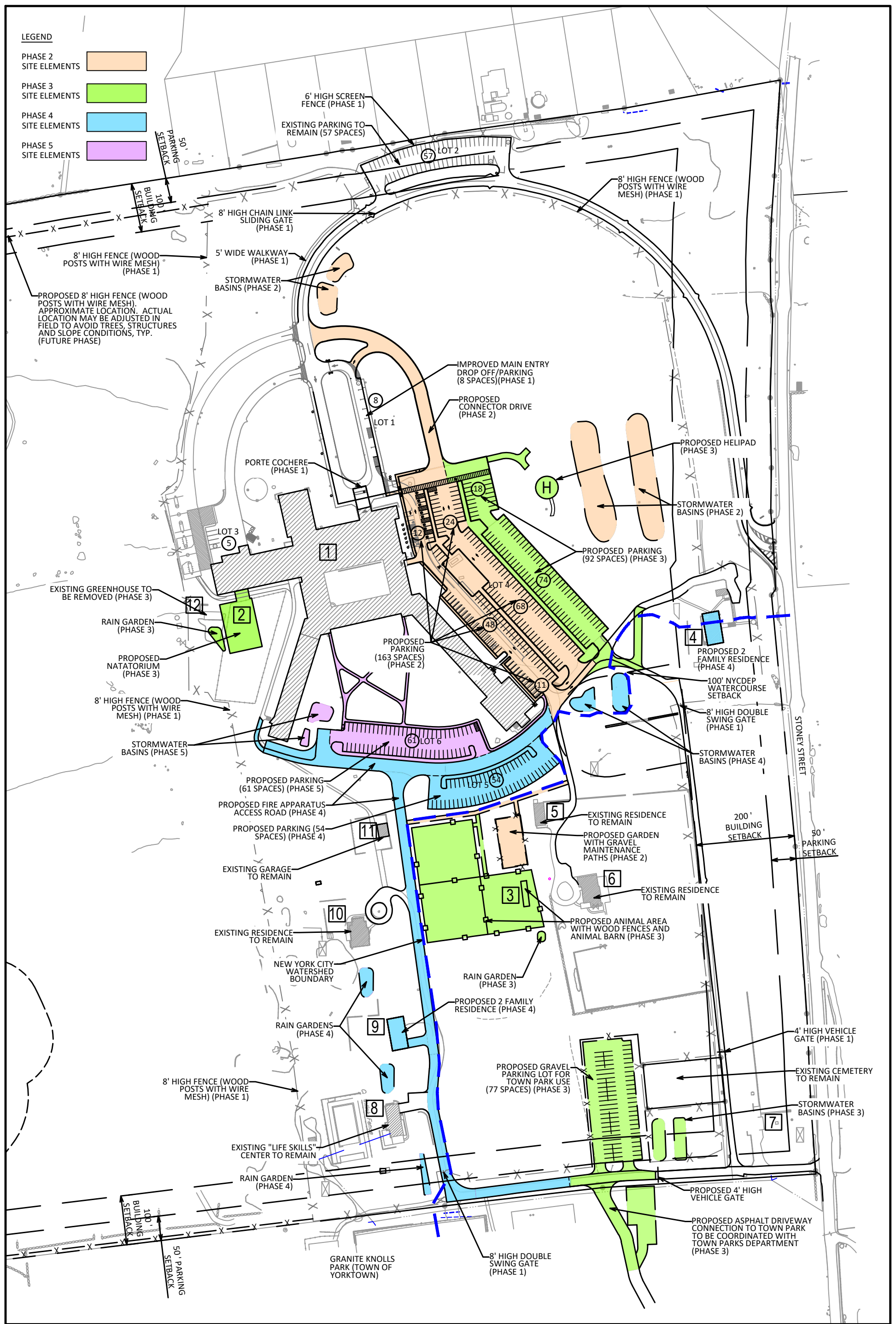
Land Owner's Signature: N/A

# NOTICE

THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
BEFORE THE YORKTOWN  
PLANNING BOARD

FOR MORE INFORMATION CONTACT THE PLANNING DEPT.  
914-962-6565  
[WWW.YORKTOWNNY.ORG](http://WWW.YORKTOWNNY.ORG)

MCCAFFREY SIGNS 914-937-7878



**PROPOSED PROJECT PHASING PLAN**

SHRUB OAK INTERNATIONAL SCHOOL  
TOWN OF YORKTOWN, NY

FIGURE NO. 1  
DATE: 03/16/22

May 19, 2022

RECEIVED  
PLANNING DEPARTMENT

MAY 20 2022

TOWN OF YORKTOWN

Ms. Robyn Steinberg  
Yorktown Community and Cultural Center (YCCC)  
1974 Commerce Street  
Room 222  
Yorktown Heights, NY 10598

Re: Shrub Oak International School  
3151 Stony Street  
Section 26.05, Block 1, Lot 4

Dear Ms. Steinberg,

Please find attached three copies of the Shrub Oak International School Site Plan, last dated May 18, 2022 and a Draft Stormwater Summary Report Dated May 13, 2022, for review by the Town Engineer, Dan Ciarcia, P.E. These plans include some minor changes to the stormwater systems based on the most recent soil tests that were conducted on March 22 and 23, 2022.

The information contained in the Report, supplements the previously completed Phase 1 SWPPP, dated April 20, 2018 and as approved by Michael Quinn, P.E. on May 30, 2018. The Report, once approved and including any revisions, will be inserted into an updated SWPPP for final acceptance by the Town Engineer.

Should you need any additional information please let us know.

Very Truly Yours,  
DTS Provident Design Engineering, LLP

*Gerhard Schwalbe*

Gerhard M. Schwalbe, PE  
Partner

cc: Brian Koffler  
David Steinmetz, Esq.  
Erik Kaeyer, AIA  
Donna Maiello, ASLA, RLA

**Shrub Oak International School  
Stormwater Summary Report – Phase 2**  
3/16/22  
Revised 5/13/2022

**A. Project Description**

1. Project Background

Phase 2 of the proposed Shrub Oak International School redevelopment project encompasses the access driveways, expansion of the parking lots and construction of stormwater management measures, improvements to the central portion of the main building along with updates to existing on-site residences, improvements to the existing garage and restoration of the greenhouse. The stormwater measures required for Phase 2 will be sized accommodate runoff from future development areas.

2. Existing Drainage Conditions

The Shrub Oak International School campus straddles the Peekskill Hollow Brook watershed, ultimately discharging to the Hudson River, and the Hunter Brook Basin watershed, part of the New Croton Reservoir drainage basin. The limit of disturbance for the Phase 2 redevelopment portion of the project is within the Peekskill Hollow Brook watershed. The subsequent phases of the proposed project will also disturb areas within the New Croton Reservoir drainage basin, part of the New York City's Water Supply. Separate SWPPPs will be prepared for the subsequent phases.

The SWPPP Phase 2 applies to proposed redevelopment within the Peekskill Hollow Brook watershed.

The Phase 1 site improvements have been generally completed and were covered under SPDES General Permit No. N7R11D755.

Under existing drainage conditions, approximately half of the developed site drains west towards the on-site wetland/watercourse system. Stormwater runoff is conveyed via a series of existing storm piping daylighting to the hillside and downstream drainage swales.

The other half of the developed site drains to the east to Stoney Street. Stormwater runoff is conveyed via existing storm piping daylighting to the hillside and downstream drainage swales. Within this eastern drainage area of the developed site and beginning approximately 100 feet south of the existing main entry off Stoney Street and continuing south is located within the

New Croton Reservoir drainage basin, part of the New York City Department of Environmental Protection (NYCDEP) watershed. The Phase 2 project is isolated to the northern portion of the eastern drainage area that is part of the Peekskill Hollow Brook watershed.

3. Phase 2 Stormwater Management (SWM) Plan

a. Objectives and Methodology

The SWM plan has been developed and will be implemented so that the quality and quantity of stormwater runoff during construction and after development are not significantly altered from preconstruction conditions. Primary stormwater management objectives are to replicate as close as possible pre-development hydrology, to avoid causing downstream flooding and flood damage, and to employ all means practicable to mitigate increases in pollutant (total suspended solids and total phosphorus) loads that will occur because of the proposed Phase 2 upgrades at the Shrub Oak International School campus.

Post-construction stormwater management practices (SMPs) have been designed to meet the stormwater quality and quantity control requirements of:

- Part III of the New York State Department of Environmental Conservation (NYSDEC) State Pollution Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activity GP-0-20-001 (“General Permit”), effective January 29, 2020, and
- The *New York State Storm Water Management Design Manual* (NYSSMDM), January 2015.

The 24-hour rainfall data value used in the hydrologic analysis and computations is based on the updated isohyetal maps from the Northeast Regional Climate Center (NRCC). Current 24-hour NRCC rainfall precipitation and distribution data were used to compute runoff hydrographs for the 1, 10 and 100-year storm events. The existing and post development runoff rates for the specified storm events were calculated using HydroCAD® Version 10.0 computer software program. HydroCAD® incorporates the methodology used in NRCS TR-20 and TR-55 to compute and route flood hydrographs.

b. Existing Conditions

Under pre-development conditions, two drainage areas (E2-1 and E2-2) were identified on the site. The pre-development drainage areas are shown on Figure D1-A, Pre-Development Drainage Areas in Appendix D1. Runoff from the existing drainage areas drains by way of overland flow. The two drainage areas total 199,070 sf (4.57 ac.). Table 3-1 summarizes the characteristics of each existing drainage area.

<b>Table 3-1 Summary of Existing Drainage Areas</b>				
<b>Area ID</b>	<b>Area (sf/ac.)</b>	<b>Impervious Area (sf/ac.)</b>	<b>CN</b>	<b>Tc (min.)</b>
E2-1	184,018/4.22	13,068/0.30	76	4.8
E2-2	20,038/0.46	0/0.00	74	5.8

c. Proposed/Post-Development Conditions

The proposed Phase 2 redevelopment project total limit of disturbance is estimated at 7.2 acres. The Phase 2 added impervious area is approximately 2.1 acres.

Under post development conditions the same drainage areas (2-1 and 2-2) and design point were identified. Runoff from P2-1 will be collected by the proposed storm drain system and directed to the proposed stormwater management practices (SMPs). The runoff from Drainage Area P2-2 will discharge via overland flow to proposed SMPs in the northwest corner of the site and will not negatively impact the adjacent property. The post development drainage areas are shown on Figure D1-B, Post Development Drainage Areas in Appendix D1. Table 3-2 summarizes the proposed drainage area characteristics.

<b>Table 3-2 Summary of Proposed Drainage Areas</b>				
<b>Area ID</b>	<b>Area (sf/ac.)</b>	<b>Impervious Area (sf/ac.)</b>	<b>CN</b>	<b>Tc (min.)</b>
P2-1	184,018/4.22	96,375/2.21	87	6.0
P2-2	20,038/0.46	9,148/0.21	85	10.3

d. Subsurface Soils Investigation

Subsurface geotechnical investigation and testing was performed by Whitestone Associates Engineering & Geology NY, PLLC (Whitestone - see Appendix D2 for April 14, 2022 report) on March 23, 2022. Subsurface soils profile data was obtained from four (4) test pits (SPP-11 through SPP-14) dug to depths of twelve (12) feet below existing ground surface at proposed SMP locations for DA P2-1. Two (2) test pits (SPP-15 and 16) were dug to depths of nine (9) feet below existing ground surface to obtain subsurface data at proposed SMP locations for DA P2-2.

The data from TPs SPP-11 through SPP-14 in DA P2-1 shows 0.8 to 1.0 foot of topsoil over a layer of residual brown sandy loam with little gravel and trace cobbles/boulders that extends up to 2.5 feet below existing grade. Soil mottling was observed below the residual layer at between 1.6 and 2.5 feet below existing grade. Groundwater was present at 3.7



and 5.0 feet below existing grade at TPs SPP-11 and SPP-12, respectively, and at 7.5 feet below existing grade at TPs SPP-13 and SPP-14. Using methodology as discussed in the report, seasonal high groundwater levels were estimated at between 1.6 and 2.5 feet below existing grade at the four locations. No site-specific soil infiltration testing was performed.

The data from TPs SPP-15 and 16 in DA 2-2 shows 0.8 to 1.2 feet of topsoil over a layer of residual brown sandy loam with little gravel and trace cobbles/boulders that extends up to 2.5 feet below existing grade. Soil mottling was observed below the residual layer at between 1.7 to 2.5 feet below existing grade. Groundwater was observed at 2.5 and 3.2 feet below existing grade for TPs SPP-15 and SPP-16 respectively, with seasonal high groundwater levels estimated at 2.5 and 1.7 feet respectively. No site-specific soil infiltration testing was performed at these locations.

e. Water Quality Volume (WQv)

Using the 90% Rainfall Event (P) value of 1.45 inches for the northwestern part of Westchester County, New York (Figure 4.1 of the NYSSMDM), the target WQv for the Phase 2 development that is required to be captured and reduced/treated is summarized in Table 3.3 below, with calculations provided in Appendix D3.

<b>Area ID</b>	<b>Water Quality Volume (WQv)</b>	
	Acre-ft	Cubic Feet (ft <sup>3</sup> )
P2-1	0.266	11,593
P2-2	0.026	1,100
<b>Total</b>	<b>0.292</b>	<b>12,693</b>

f. Runoff Reduction

Runoff reduction is the reduction of WQv achieved through application of green infrastructure (GI) techniques and/or standard SMPs having runoff reduction volume (RRv) capacity. While Section 3.6 of NYSSMDM ideally requires projects to provide total (100%) reduction of WQv, projects that have site limitations as documented in Section 3d above must meet runoff reduction requirements by providing a targeted, or minimum, RRv for the newly constructed impervious surfaces. The minimum RRv for the Phase 2 development, which is calculated using the formula as described in Section 4.3 of the NYSSMDM, is summarized in Table 3-4 below, with calculations provided in Appendix D3.

<b>Table 3-3</b>		
<b>Minimum Runoff Reduction Volume (RRv) by Drainage Area</b>		
<b>Area ID</b>	<b>(RRv)<sub>min</sub></b>	
	<b>Acre-ft</b>	<b>Cubic Feet (ft<sup>3</sup>)</b>
P2-1	0.066	2,865
P2-2	0.007	315
<b>Total</b>	<b>0.073</b>	<b>3,180</b>

g. GI/SMP Application

Low impact design GI measures (Vegetated Swale) and standard treatment practices (Bioretention Basin) are proposed to address the minimum runoff reduction volume (RRv) requirements for the newly created impervious areas. Table 3-4 summarizes the RRv provided by drainage area.

<b>Table 3-4</b>		
<b>Runoff Reduction Volume (RRv) Provided by Drainage Area</b>		
<b>Area ID</b>	<b>RRv</b>	
	<b>Acre-ft</b>	<b>Cubic Feet (ft<sup>3</sup>)</b>
P2-1	0.754	3,284
P2-2	0.004	164
<b>Total</b>	<b>0.758</b>	<b>3,448</b>

Pocket Ponds are proposed to provide treatment of the remaining WQv for areas P2-1 and P2-2, along with attenuation of the proposed peak rates of runoff to at or below existing conditions for the 1, 10 and 100-year storm events. Accounting for the RRv provided above, Table 3-5 summarizes the remaining WQv for each drainage area, and the WQv provided.

<b>Table 3-5</b>		
<b>Remaining WQv Required and Provided by Drainage Area</b>		
<b>Area/Basin ID</b>	<b>WQv Required</b>	<b>WQv Provided</b>
	<b>Cubic Feet (ft<sup>3</sup>)</b>	<b>Cubic Feet (ft<sup>3</sup>)</b>
P2-1/No. 1	7,698	7,914 <sup>(1)</sup>
P2-2/No. 2	931	1,014 <sup>(2)</sup>
<b>Total</b>	<b>8,629</b>	<b>8,928</b>

(1) WQv provided in the permanent pool below Elevation 641.40.  
(2) WQv provided in the forebay (307 ft<sup>3</sup> below Elevation 664.50) and the main cell permanent pool (707 ft<sup>3</sup> below Elevation 663).

Sizing calculations for the GI measures and SMPs are provided in Appendix D4.

h. SMP and Peak Rate Control Summary

Tables 3-5 and 3-6, SMP Summary Tables, indicates the inflow, outflow, storage volume, water surface elevation, and freeboard of the SMPs in areas P2-1 and P2-2 for the 1-, 10-, and 100-year design storms.

<b>Table 3-5 - SMP Summary Table – Area P2-1</b>					
Design Storm	Peak Inflow (cfs)	Peak Outflow (cfs)	Volume (ft <sup>3</sup> )	Water Surface Elevation (ft.)	Freeboard <sup>(2)</sup> (ft.)
1-Year	3.79	1.29	988 <sup>(1)</sup>	641.60	2.40
10-Year	13.90	8.88	3,830 <sup>(1)</sup>	642.11	1.89
100-Year	28.82	17.27	9,550 <sup>(1)</sup>	642.99	1.01

(1) “Active” storage volume above the permanent pool Elevation of 641.40.  
(2) Height from Water Surface Elevation to Top of Berm Elevation for Pocket Pond No. 1 @ 644.00.

<b>Table 3-6 - SMP Summary Table – Area P2-2</b>					
Design Storm	Peak Inflow (cfs)	Peak Outflow (cfs)	Volume (ft <sup>3</sup> )	Water Surface Elevation (ft.)	Freeboard <sup>(2)</sup> (ft.)
1-Year	0.69	0.28	525 <sup>(1)</sup>	663.61	2.39
10-Year	1.48	0.45	1,371 <sup>(1)</sup>	664.32	1.68
100-Year	2.67	1.92	2,113 <sup>(1)</sup>	664.80	1.20

(1) “Active” storage volume above the permanent pool Elevation of 663.00.  
(2) Height from Water Surface Elevation to Top of Berm Elevation for Pocket Pond No. 2 @ 666.00.

A summary of the pre-development and post-development runoff rates is presented in Table 3-7, Peak Discharge Rate Comparison Table. Based on the implementation of the stormwater management measures, the peak runoff rates under the post-development conditions will be less than the peak runoff rates for the pre-development conditions.

Design Year Storm Event	24-Hour Rainfall (inches)	Peak Runoff Rate(cfs) Area 2-1		Peak Runoff Rate(cfs) Area 2-2	
		Pre-Dev.	Post-Dev.	Pre-Dev.	Post-Dev.
		1	2.75	4.53	<b>1.29</b>
10	5.07	12.80	<b>8.88</b>	1.25	<b>0.45</b>
100	9.19	26.54	<b>17.27</b>	2.68	<b>1.92</b>

The calculations for pre- and post-development drainage conditions are included in Appendices D5 and D6, respectively.

4. Municipal Separate Stormwater Sewer Systems (MS4) & Consultants

The Town of Yorktown is the designated MS4 agency/entity for the Shrub Oak International School campus, including the proposed Phase 2 upgrades project. Their NYSDEC MS4 SPDES Permit Number is NYR20A007.

**B. Construction Program**

1. Duration of Activity

The construction activity for the proposed Phase 2 sitework upgrades is expected to be completed over approximately a 12-month period and will involve the grading and construction of new parking lots, driveways, stormwater management measures, landscaping, and other physical improvements.

2. Construction Refuse Control

All contractors working on the site will provide adequate trash containment services for the construction site at the start of work to maintain a clean, debris-free work area. Typical facilities may be covered containers with openings three inches or smaller or approved equal and will be emptied on a regular basis. Refuse will be removed from site via a solid-waste contractor and be recycled or disposed per Federal, State, and local requirements. Refuse will not be disposed on site.

## **C. Erosion and Sediment Control**

### 1. Temporary Practices

Temporary structures and practices, as described and shown on the Erosion & Sediment Control Plan drawings, will be installed and maintained throughout the duration of the project's construction. As required by the General Permit, structures and practices located in disturbed areas of the site will be inspected by a Qualified Inspector at least once every seven calendar days. Areas of the site that have been finally stabilized will be inspected at least every month until the entire site has been finally stabilized. Following each inspection, the Qualified Inspector is required to document their inspection in a certified inspection report as outlined in the General Permit. Based on the results of the inspections, appropriate revisions to the SWPPP and its implementation will be completed within seven calendar days following the inspection.

### 2. Permanent Structures

Permanent structures and measures implemented and maintained daily to control the project's quantity and/or the quality of the stormwater will require regular inspections and maintenance. These include permanent erosion control practices (soil stabilization), water quality control practices (i.e., Bioretention Basins), and related stormwater flow controlling structures (i.e., catch basins). The project sponsor will be responsible for inspecting and maintaining permanent stormwater management structures and practices.

### 3. Inspection and Maintenance Procedures

A Trained Contractor is required to ensure that the erosion and sediment control practices and pollution prevention measures are being implemented daily within the active work area. As previously described and as required in the General Permit, site observations are to be performed by a Qualified Inspector at least once every seven (7) calendar days when soil disturbance is less than five (5) acres, and twice every seven (7) calendar days when soil disturbance is greater than five (5) acres. A minimum of two (2) full calendar days must separate regular inspections. Proposed site disturbance for Phase 2 will not exceed 5 acres.

Compliance with the General Permit includes, but is not limited to, completing the following activities:

- a. Retaining a copy of the SWPPP including text, appendices, and drawings at the site until the date of final stabilization;
- b. Posting a copy of the NOI and a project description at the construction site for public viewing;

- c. Maintaining the SWPPP current;
- d. Submitting a certified Notice of Termination (NOT) when the site has finally been stabilized and discharges from construction activities have been eliminated;
- e. Maintaining a copy of the SWPPP by the operator for three years following the date of final stabilization.

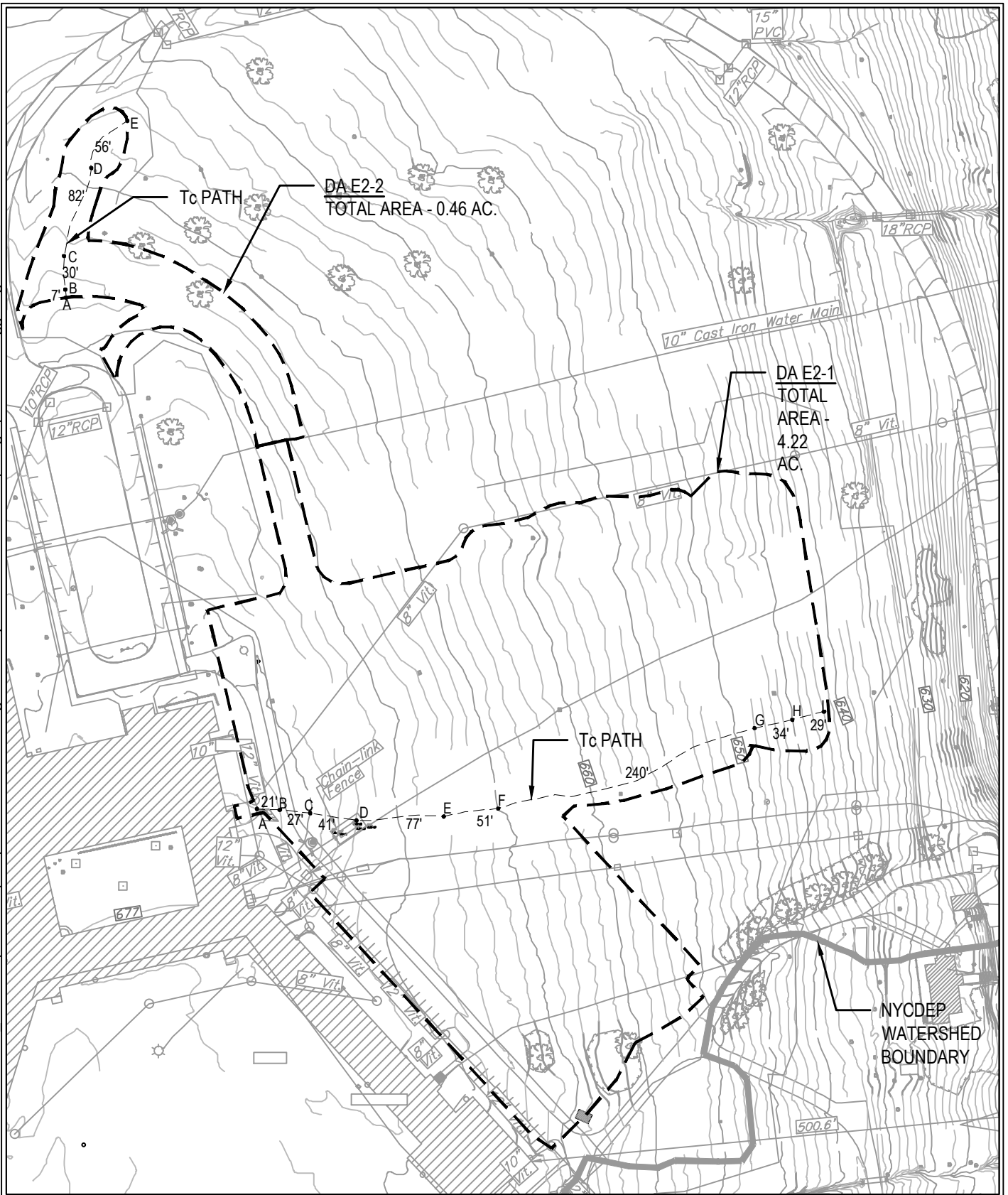
#### **D. Appendices**

1. Phase 2 Drainage Area Maps – Pre- and Post-Development
2. Whitestone Associates Engineering & Geology NY, PLLC Report – Stormwater Management Area Evaluation – April 14, 2022
3. Calculations – Phase 2 Water Quality Volume (WQ<sub>v</sub>), Minimum RR<sub>v</sub> by Drainage Area
4. Sizing Calculations – Bioretention Basin w/RR<sub>v</sub> Capacity, Vegetative Swale, SMP WQ<sub>v</sub> Treatment Provided
5. HydroCAD Report – Pre-Development Conditions
6. HydroCAD Report – Post -Development Conditions

APPENDIX D1

PHASE 2 DRAINAGE AREA MAPS  
PRE- AND POST-DEVELOPMENT

Q:\PROJECTS-DTSP\0824.13 - Shrub Oak Intl School Ph 2 SPA\AutoCAD\SPA\824 SP-21 22 Grading and Utility Plan 40sc - Standard\Design\824 2022 Engg.dwg



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DTS Provident Design Engineering, LLP  
One North Broadway  
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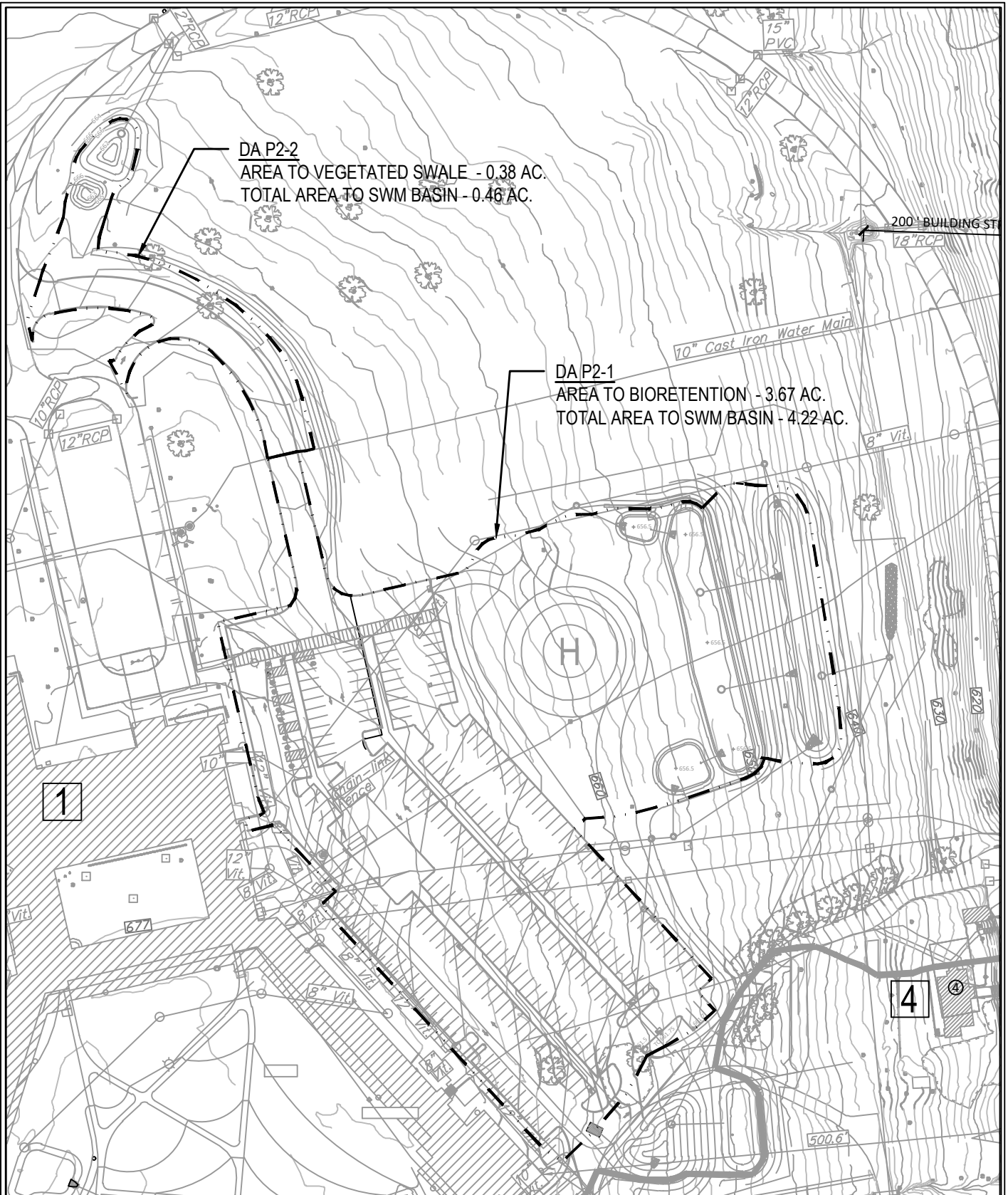
Phase 2 Pre-Development Drainage Areas  
Shrub Oak International School  
Town of Yorktown, NY

Project No. 824.13  
Scale: 1"=120'  
May 2022

Figure No. D1-A



Q:\PROJECTS-DTSP\0824.13 - Shrub Oak Intl School Ph 2 SPA\AutoCAD\SPA\824 SP-21 22 Grading and Utility Plan 40sc - Standard\Design\824 2022 Engg.dwg



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Phase 2 Post-Development Drainage Areas  
Shrub Oak International School  
Town of Yorktown, NY

Project No. 824.13  
Scale: 1"=120'  
May 2022

Figure No. D1-B

April 13, 2022

Mr. Richard Fon, Chairman  
and Members of the Planning Board  
Yorktown Community and Cultural Center (YCCC)  
1974 Commerce Street, Room 222  
Yorktown Heights, New York 10598

RECEIVED  
PLANNING DEPARTMENT  
APR 13 2022  
TOWN OF YORKTOWN

Re: Shrub Oak International School  
3151 Stony Street  
Section 26.05, Block 1, Lot 4

Dear Chairman Fon and Members of the Planning Board:

On behalf of the Shrub Oak International School (School), we are pleased to submit the following evaluation of the site conditions for a secondary driveway connection to Stony Street for use by the School and Granite Knolls Sports & Recreation Complex - Park (Park). The proposed Site Plan as submitted anticipates improvements to be made to the School's internal driveways together with improvements to be made to the Park's northern driveway to allow for a shared emergency access through their respective properties.

As shown on the 2018 Approved Site Plan, Figure 1, secondary access driveways for the School and the Park were provided, with both driveways sharing a single access connection to Stony Street. As requested by the Planning Board, a preliminary driveway profile and grading plan was prepared for these driveways and is shown on Figure 2. Both driveways together will result in a total excavation of 46,700 cubic yards with a net excess of material of approximately 44,700 cubic yards not including additional material to be removed for the construction of the stormwater basins. The preliminary driveway designs are as follows.

School Driveway

Driveway Length	890 ft
Maximum Slope	9.49%
Maximum Depth of Cut	30 ft

We look forward to discussing the secondary driveway options with the Board at the April 25, 2022, work session.

Very truly yours,

DIVNEY TUNG SCHWALBE, LLP

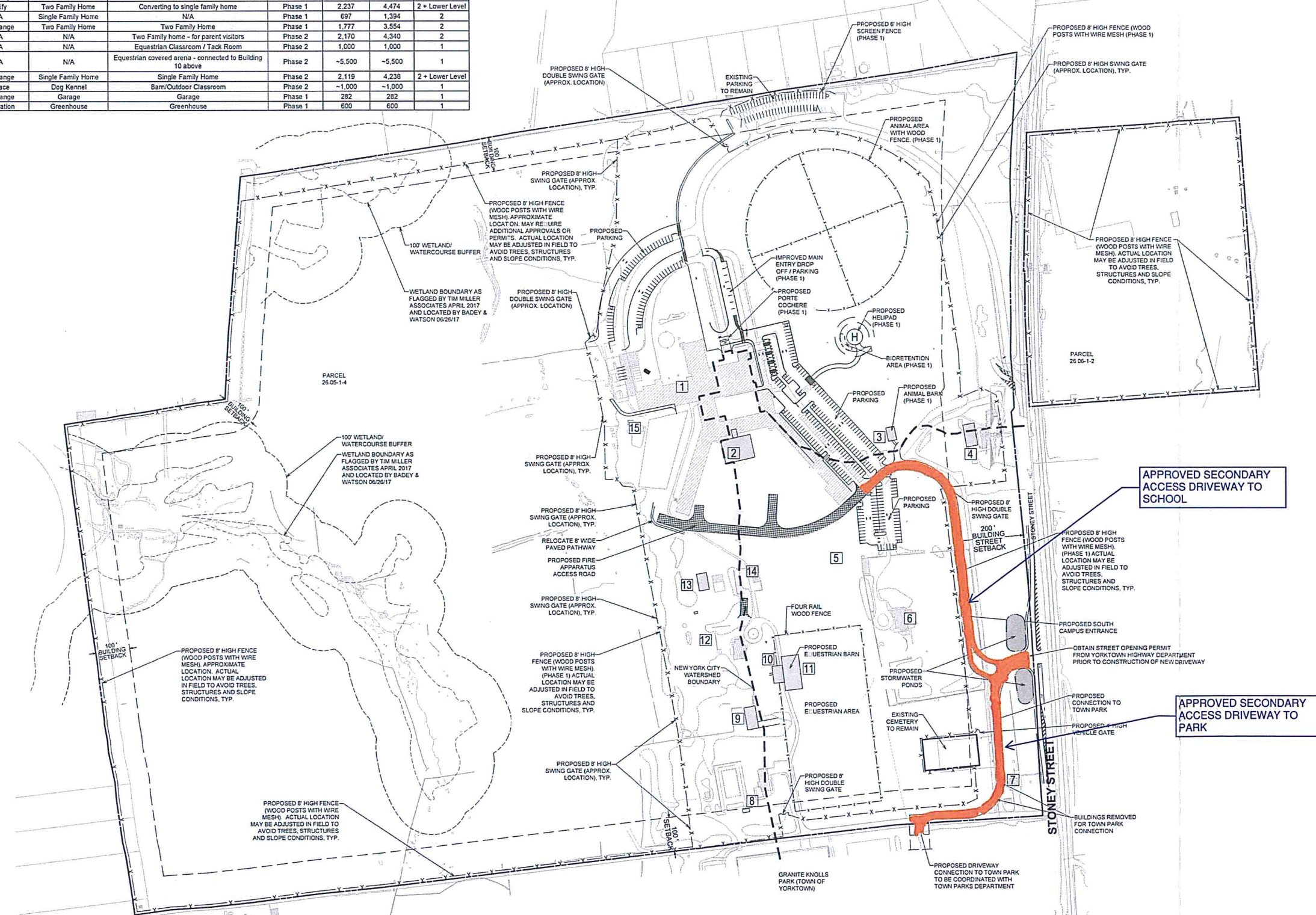
*Gerhard Schwalbe*

Gerhard M. Schwalbe, PE  
Partner

Enclosures

cc: Brian Koffler  
David Steinmetz, Esq.  
Erik Kaeyer, AIA  
Donna Maiello, PLA  
Carlito Holt, PE

SUMMARY OF EXISTING AND PROPOSED CAMPUS BUILDINGS								
BUILDING KEY	STRUCTURE STATUS	DISPOSITION	EXISTING OR PREVIOUS USE	PROPOSED USE	PROJECT PHASE	STRUCTURE FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	NUMBER OF STORIES
1	Existing	No Change	Unoccupied School	School/Dorms/Offices	Phase 1	84,143	281,405	5 + Lower Level
2	Proposed	N/A	N/A	Indoor Pcd Building - connected to Building 1	Phase 2	4,800	4,800	1
3	Proposed	N/A	N/A	Barn for farm animals	Phase 1	1,000	1,000	1
4	Existing	Replace	House (Unhabitable)	Teardown and rebuild as two family home for parent visitors	Phase 2	2,170	4,340	2
5	Existing	No Change	House	House	Phase 1	953	1,906	2
6	Existing	Modify	Two Family Home	Converting to single family home	Phase 1	2,237	4,474	2 + Lower Level
7	Demolished	N/A	Single Family Home	N/A	Phase 1	697	1,394	2
8	Existing	No Change	Two Family Home	Two Family Home	Phase 1	1,777	3,554	2
9	Proposed	N/A	N/A	Two Family home - for parent visitors	Phase 2	2,170	4,340	2
10	Proposed	N/A	N/A	Equestrian Classroom / Tack Room	Phase 2	1,000	1,000	1
11	Proposed	N/A	N/A	Equestrian covered arena - connected to Building 10 above	Phase 2	-5,500	-5,500	1
12	Existing	No Change	Single Family Home	Single Family Home	Phase 2	2,119	4,238	2 + Lower Level
13	Demolished	Replace	Dog Kennel	Barn/Outdoor Classroom	Phase 2	-1,000	-1,000	1
14	Existing	No Change	Garage	Garage	Phase 1	282	282	1
15	Existing	Restoration	Greenhouse	Greenhouse	Phase 1	600	600	1



## GRANITE KNOLLS SPORTS AND RECREATION COMPLEX

# FIGURE 1

**SHRUB OAK INTERNATIONAL SCHOOL**  
Town of Yorktown, New York

**OWNER / APPLICANT**  
SHRUB OAK INTERNATIONAL SCHOOL  
3151 Stony Street  
Shrub Oak, NY 10547

**PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT**

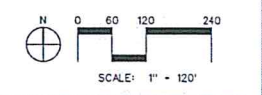
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F: 914 423 0017

**ARCHITECT**  
H2M ARCHITECTS + ENGINEERS, D.P.C.  
538 Broad Hollow Road, 4th Floor  
Melville, NY 11747

**ATTORNEY**  
ZARIN & STENMETZ  
81 Main Street, Suite 415  
White Plains, NY 10601

**SURVEYOR**  
BADEY & WATSON SURVEYING & ENGINEERING, P.C.  
3063 Route 9  
Cold Spring, NY 10516

**APPROVED**  
Resolution Number 18-04  
Date MAY 12, 2018



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WRITTEN DIMENSIONS ON THIS DRAWING SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

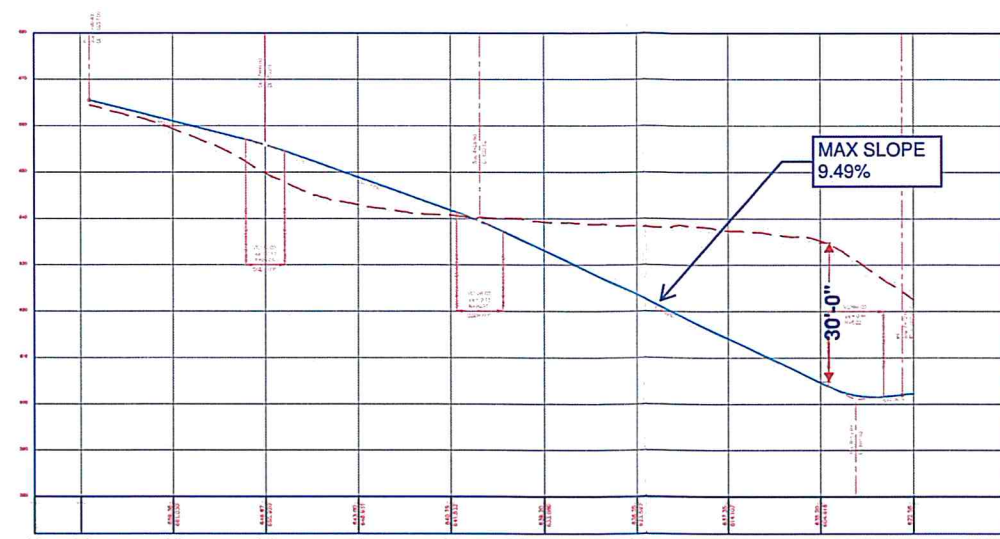
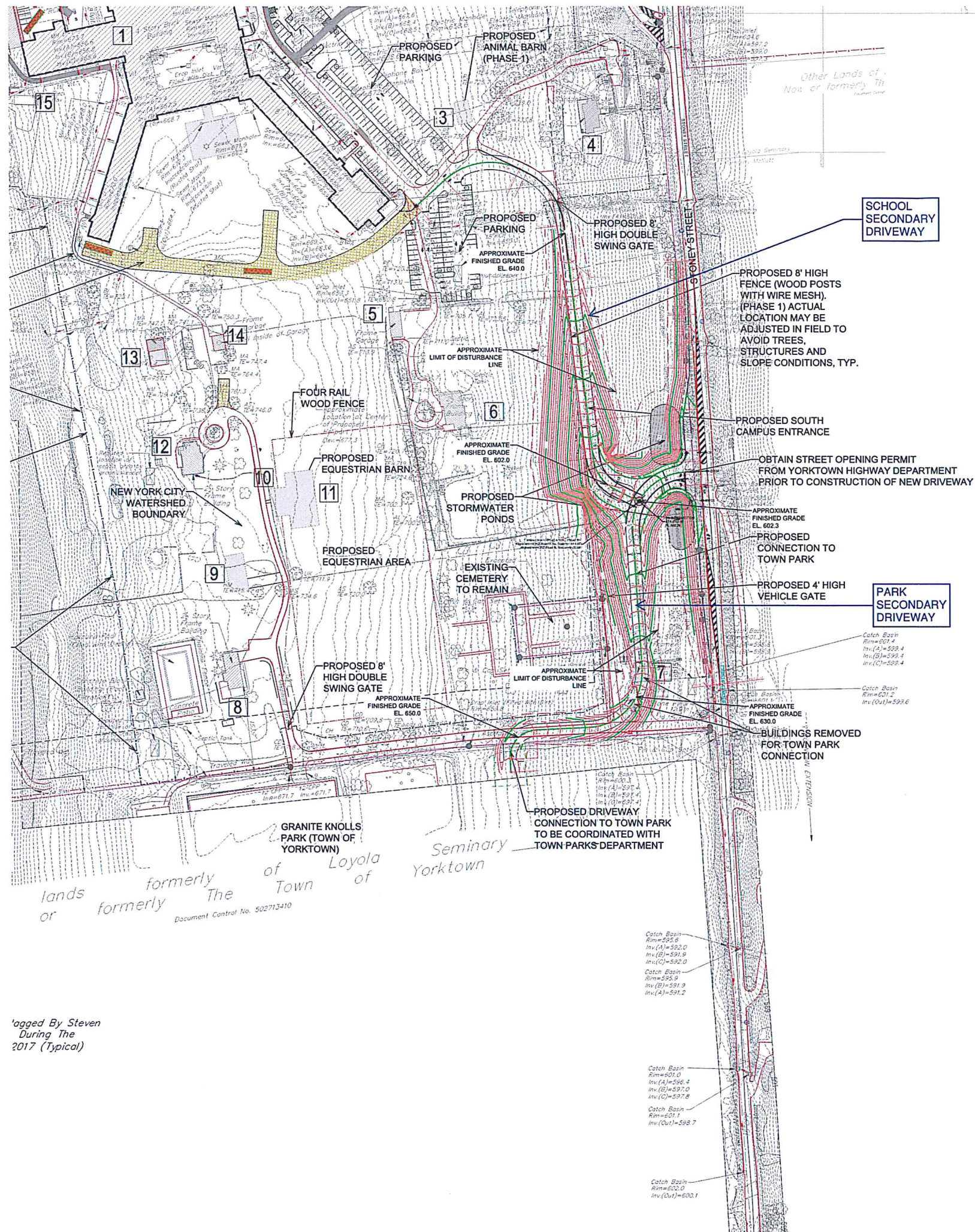
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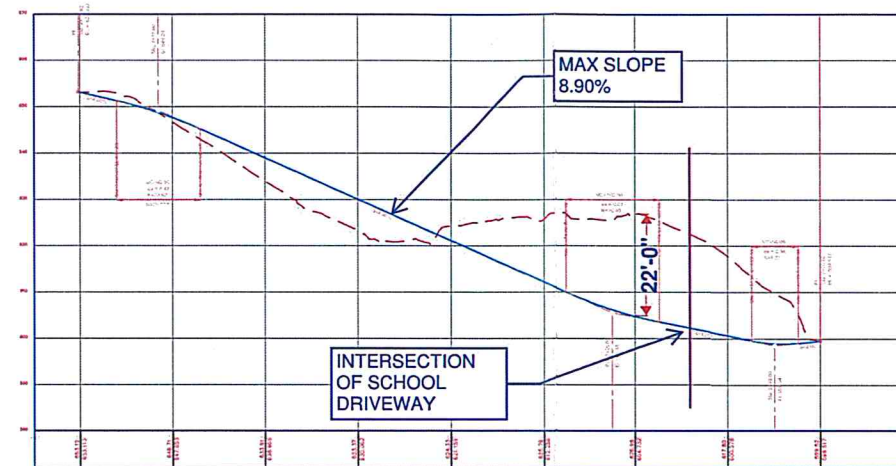
NO.	DATE	ISSUE
04/25/18		REVISED PER PLAN AGREEMENTS
04/25/18		REVISED FOR PLANNING BOARD SIGNATURE

DRAWING TITLE:  
**MASTER SITE PLAN**

	DRAWN BY: SBK	DESIGNED BY: CMS
	PROJECT NO: 824	DATE: 04/05/18
	DRAWING NO: <b>SP-0.0</b>	



VERTICAL PROFILE - SCHOOL DRIVEWAY



VERTICAL PROFILE - PARK DRIVEWAY AND CONNECTION TO STONY STREET

### Cut/Fill Report

Generated: 2022-04-08 10:46:28  
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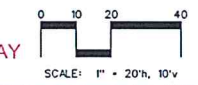
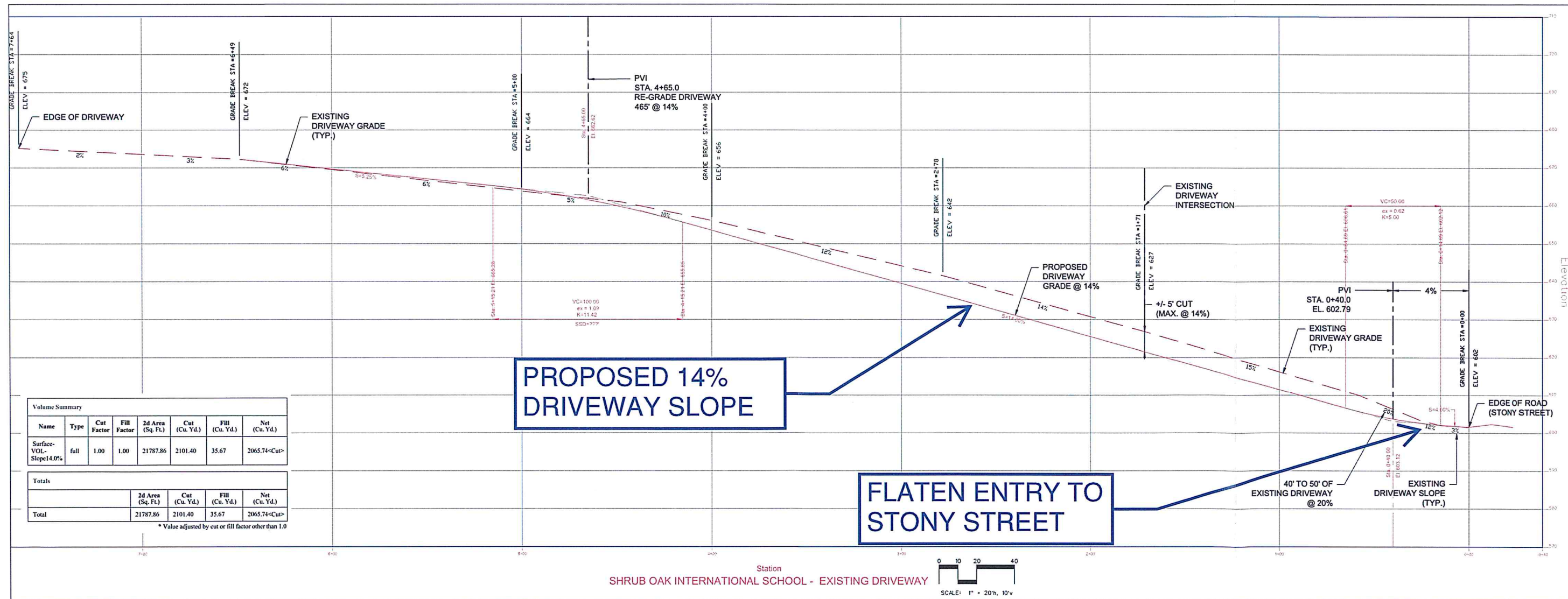
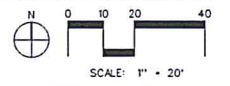
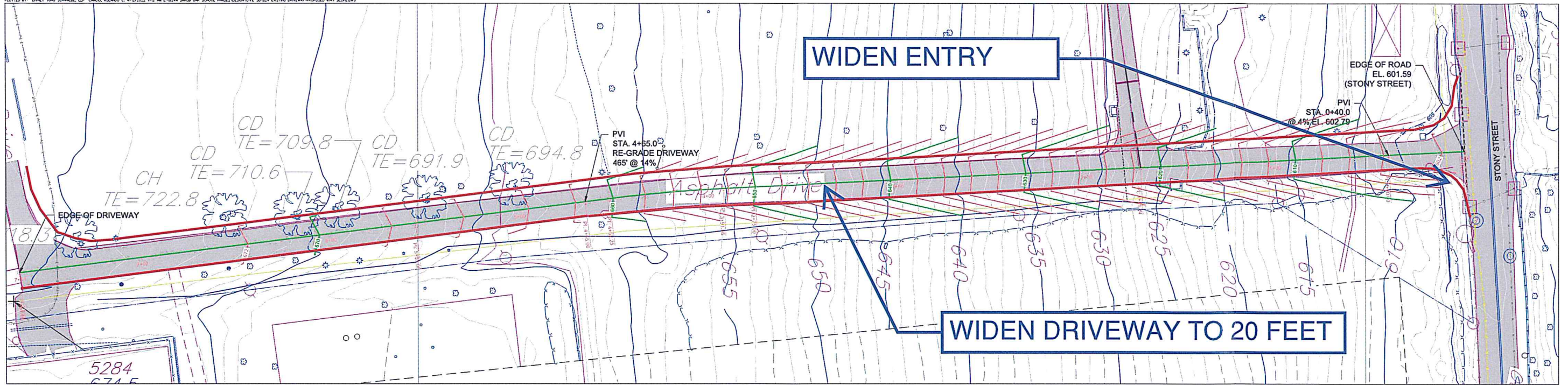
Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
VOL-Surface EGI Vs. Road A+Park Access+Stoney St Widen	full	1.00	1.00	139058.33	46707.03	2009.36	44697.67<Cut>

Totals				
	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total	139058.33	46707.03	2009.36	44697.67<Cut>

\* Value adjusted by cut or fill factor other than 1.0

Logged By Steven During The 2017 (Typical)

## PRELIMINARY DESIGN OF SECONDARY ACCESS DRIVEWAYS



**FIGURE 3**

# SHRUB OAK INTERNATIONAL SCHOOL

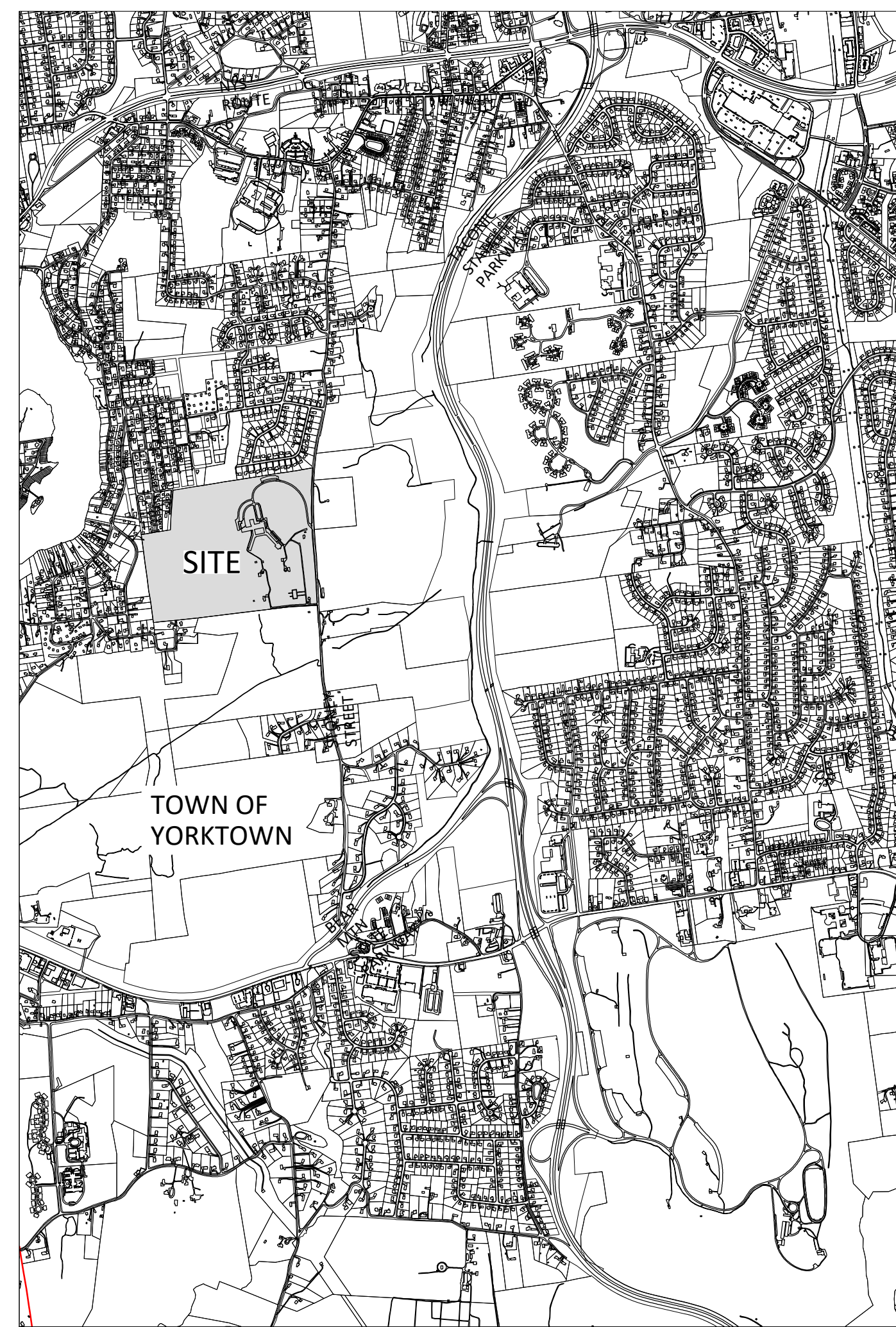
## Town of Yorktown, New York

### APPLICATION FOR SITE PLAN AMENDMENT APPROVAL

#### MARCH 16, 2022

DRAFT FOR REVIEW  
BY TOWN ENGINEER  
05/19/22

#### LOCATION MAP



Site Parcel ID: 26.05-1-4  
Map Source:  
Westchester County GIS

#### ZONING COMPLIANCE ANALYSIS

ZONING COMPLIANCE TABLE					
Address: 3151 Stoney Street, Shrub Oak, NY					
Zoning District: Special Permit for Parochial, Private Elementary & High Schools, Colleges & Seminaries within R1-					
Tax Map Parcel ID: 26.5-1-4 & 26.6-1-2					
Description	Required/				
	Permitted	Existing	Proposed		
Minimum Lot Area (SF)	160,000	sf	5,540,396	sf	5,540,396
Minimum Lot Area (Acres)	32.89	ac	127.2	ac	127.2
Junior High or High School	15	ac			
Dormitory (1000 sf/beds; 300 beds)	6.89	ac			
Single Family House (160,000 sf/house; 3 SF homes)	11.02	ac			
Minimum Lot Width at Main Building Line	200	ft	2,153	ft	2,153
Minimum Lot Depth	200	ft	1,700	ft	1,700
Front Yard (Street) Setback	200	ft	89 (a)	ft	89/200 (b)
Side Yard/Rear Yard Setback	100	ft	50 (a)	ft	50/100 (b)
Parking Setback	50	ft	12 (a)	ft	12/50 (c)
Maximum Building Height					
Main building	35	ft	> 35 (a)	ft	>35/35 (b)
Accessory Building or Structure	15	ft	>15 (a)	ft	>15/15 (b)
Minimum Usable Floor Area of Dwelling Unit	1,200		NA		NA
Maximum Building Coverage	20%		2%		2%
Road Frontage	200	ft	NA		NA
Junior High or High School	400	ft	2,234	ft	2,234
College	500	ft	2,234	ft	2,234
Required Parking Spaces	344 (d)	sp	106	sp	440 (e)
Notes:					
(a) There are existing non-conforming structures on site which are to remain.					
(b) New buildings will meet setback requirements.					
(c) New parking areas will meet setback requirements.					
(d) Per 6/26/17 Approval Resolution, 344 parking spaces are required to serve 300 students.					
(e) Phase 2 = 233 spaces to serve approximately 150 students.					
Source: Town of Yorktown, <a href="http://www.ecode360.com">www.ecode360.com</a> , 3/9/18.					

#### LIST OF DRAWINGS

SITE, CIVIL AND LANDSCAPE DRAWINGS				
NO.	TITLE	DATE	BY	SCALE
	COVER SHEET	3/16/22	DTSP	NA
SP-0.0	MASTER SITE PLAN	3/16/22	DTSP	1"=120'
SP-1.1-1.2	LAYOUT PLAN	3/16/22	DTSP	1"=40'
SP-2.1-2.2	SITE GRADING AND UTILITY PLAN	3/16/22	DTSP	1"=40'
SP-2.3-2.4	SITE GRADING AND UTILITY PLAN - PHASE 2	3/16/22	DTSP	1"=40'
SP-3.1-3.2	LANDSCAPE PLAN	3/16/22	DTSP	1"=40'
SP-4.1	SITE AND UTILITY DETAILS	3/16/22	DTSP	AS NOTED
SP-4.2	SITE AND UTILITY DETAILS	3/16/22	DTSP	AS NOTED
SP-6.1-6.2	SITE LIGHTING PLAN	3/16/22	DTSP	1"=40'
	SURVEY OF PROPERTY (PARCEL 26.5-1-4)	4/9/18	BADEY & WATSON	1"=120'



**OWNER / APPLICANT**  
Shrub Oak International School  
3151 Stoney Street  
Shrub Oak, NY 10547

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SUMMARY OF EXISTING AND PROPOSED CAMPUS BUILDINGS								
BUILDING KEY	STRUCTURE STATUS	PROPOSED ACTION	EXISTING OR PREVIOUS USE	PROPOSED USE	PROJECT PHASE	STRUCTURE FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	NUMBER OF STORIES
1	Existing	Interior Improvements	School	School/Dorms/Offices	Phase 1+	84,143	281,405	5 + Lower Level
2	Proposed	New Construct	N/A	Natorium connected to Building 1	Phase 3	7,300	7,300	1
3	Proposed	New Construct	N/A	Barn for farm animals	Phase 3	630	630	1
4	Existing	Replace	House (Unhabitable)	Tear down/Rebuild as two family home for parent visitors	Phase 4	2,170	4,340	2
5	Existing	No Change	House	House	Phase 1	953	1,906	2
6	Existing	Modify	Two Family Home	Converting to single family home	Phase 1	2,237	4,474	2 + Lower Level
7	Demolished	None	Single Family Home	None	Phase 1	607	1,394	2
8	Existing	Modify	Two Family Home	Life Skills Center	Phase 1	1,777	3,554	2
9	Proposed	New Construct	N/A	Two Family home - for parent visitors	Phase 4	2,170	4,340	2
10	Existing	No Change	Single Family Home	Single Family Home	Phase 2	2,119	4,238	2 + Lower Level
11	Existing	No Change	Garage	Garage	Phase 2	565	565	1
12	Existing	Remove	Greenhouse	None (removed due to relocation of Natatorium)	Phase 3	N/A	N/A	N/A

# SHRUB OAK INTERNATIONAL SCHOOL

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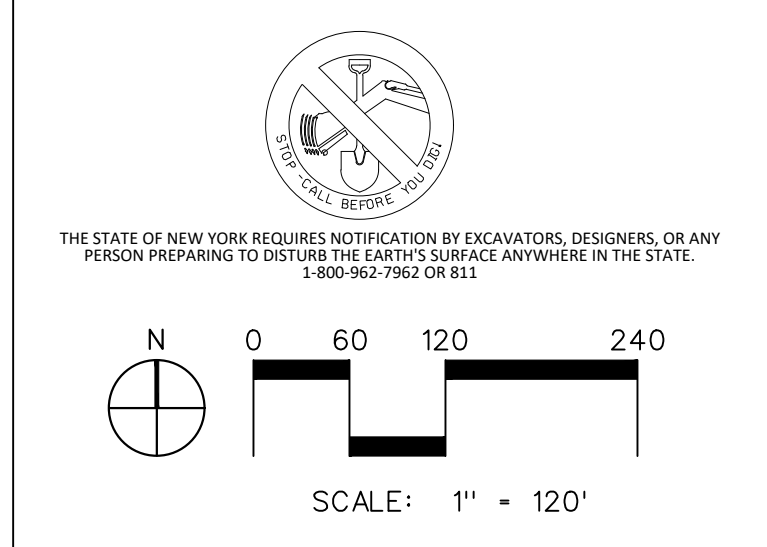
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DRAWING TITLE:  
**MASTER SITE PLAN**

DRAWN BY: DM/MJS CHECKED BY: GMS  
PROJECT NO.: 824 DATE: 03/16/22  
DRAWING NO.:  
**SP-0.1**



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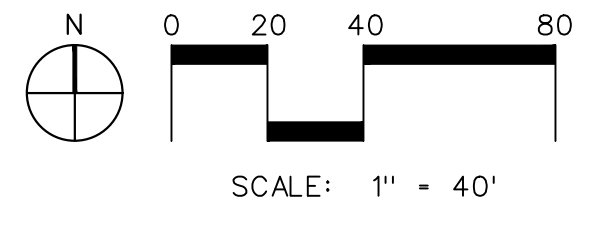
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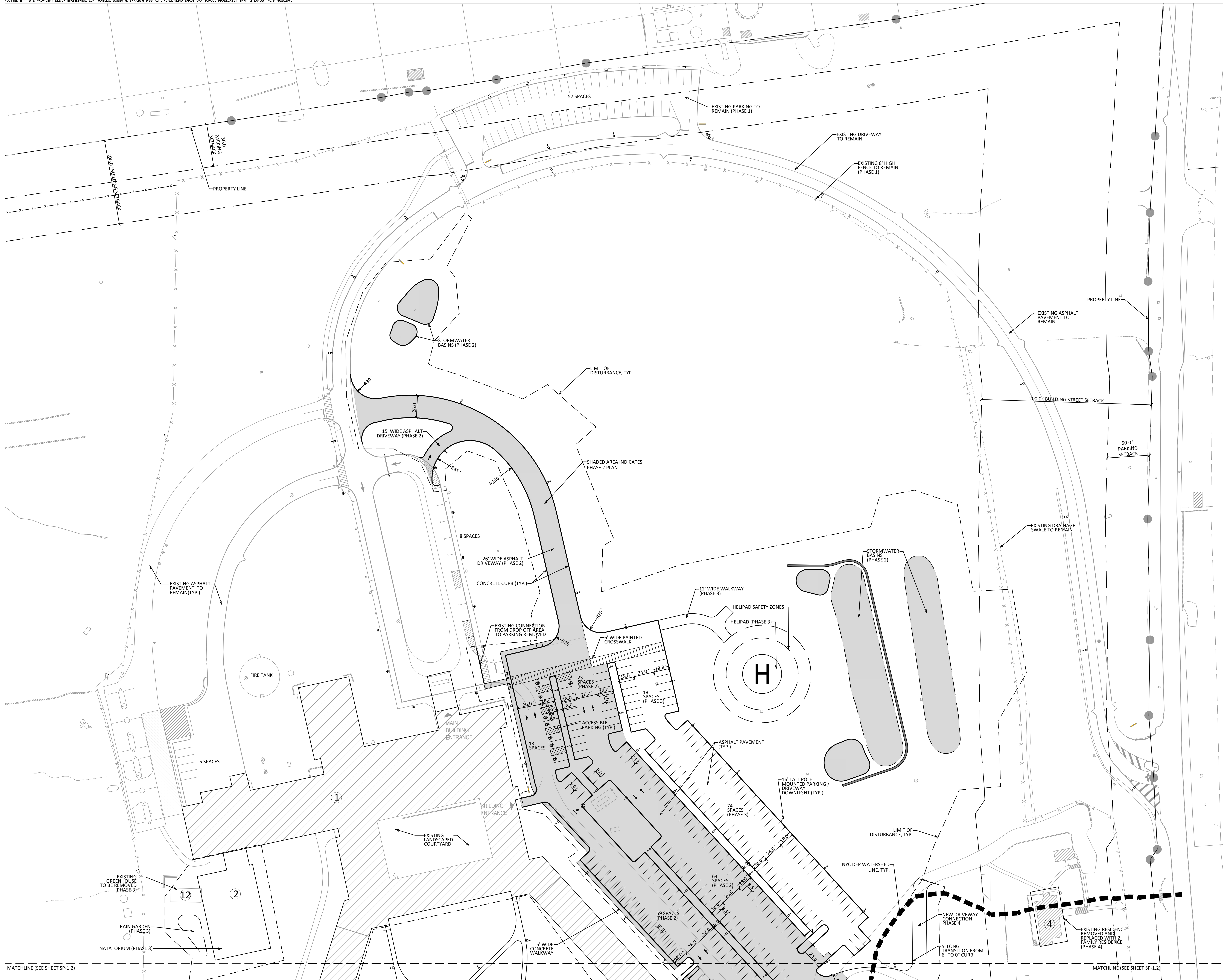
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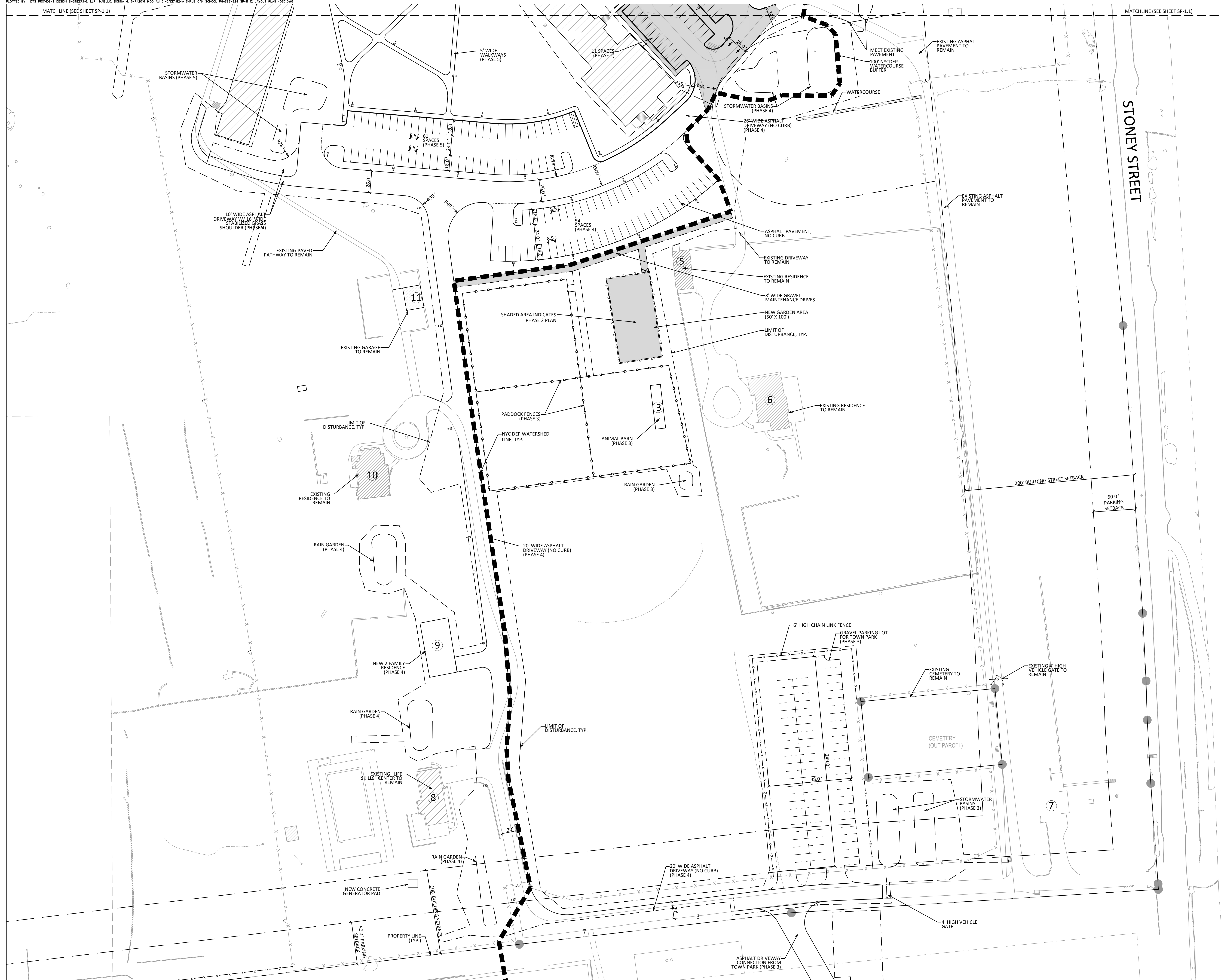
**LAYOUT PLAN**



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# SHRUB OAK INTERNATIONAL SCHOOL

Town of Yorktown, New York

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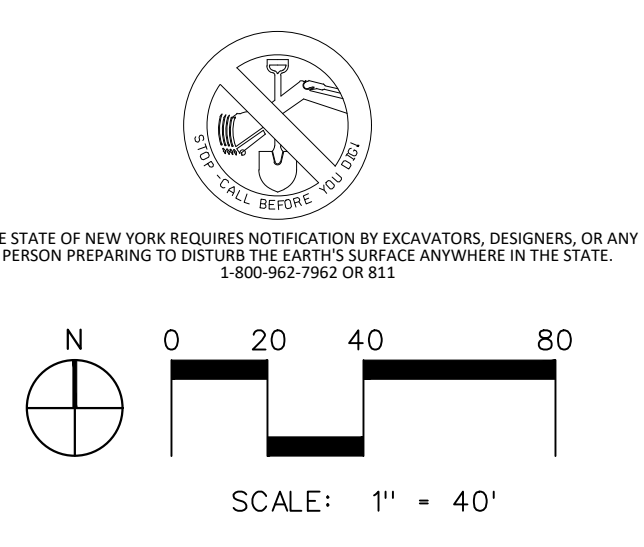
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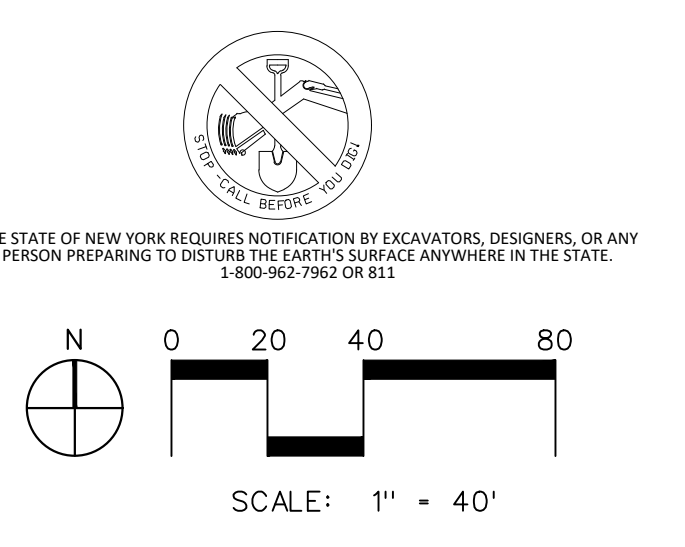
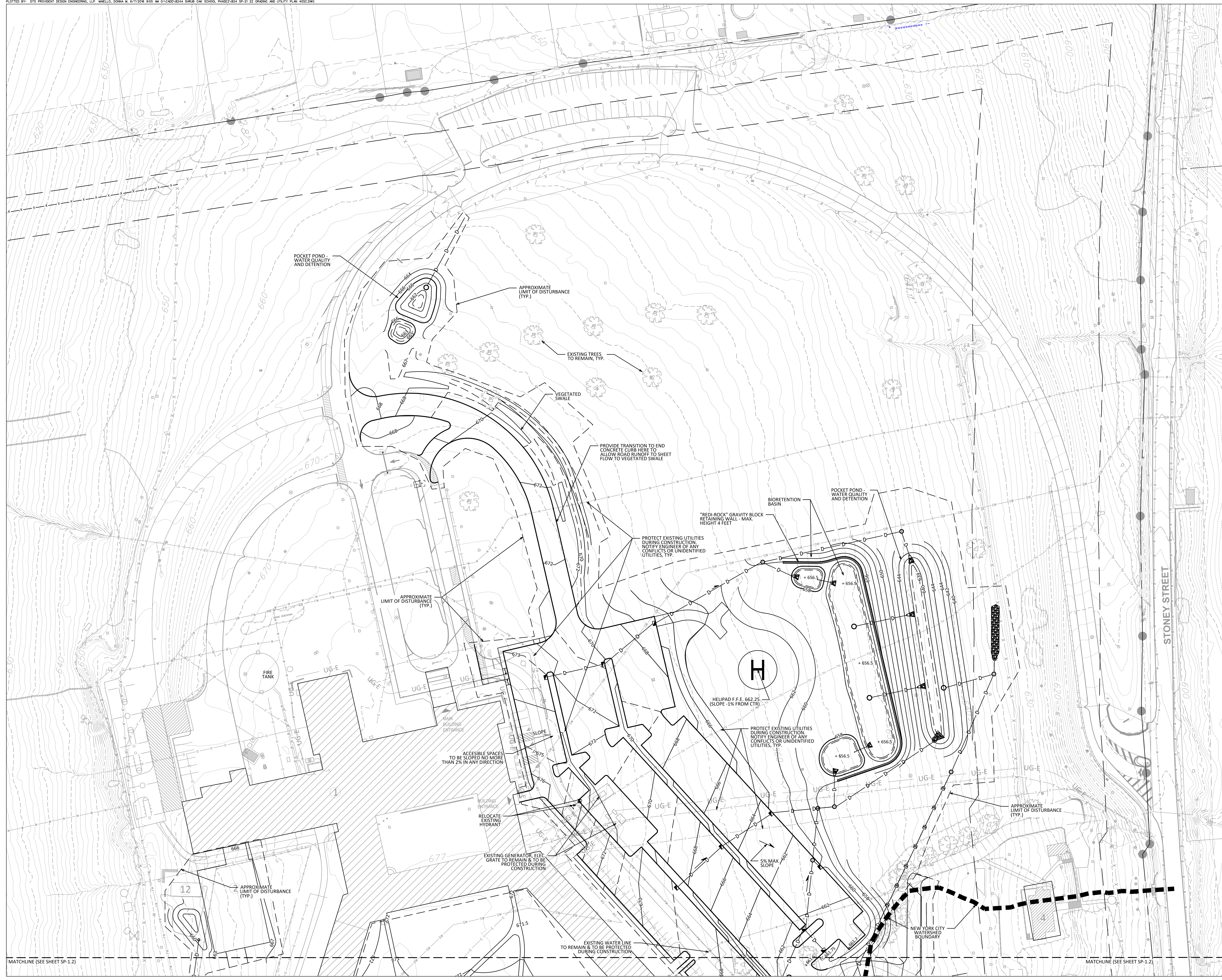
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DRAWING TITLE:

**SITE GRADING AND UTILITY PLAN**

STATE OF NEW YORK  
JULIUS ROSS WATKINS  
Professional Engineer  
No. 084409

DRAWN BY: DM/MJS	CHECKED BY: GMS
PROJECT NO.: 824	DATE: 03/16/22
DRAWING NO.:	

**SP-2.1**



**SHRUB OAK INTERNATIONAL SCHOOL**  
Town of Yorktown, New York

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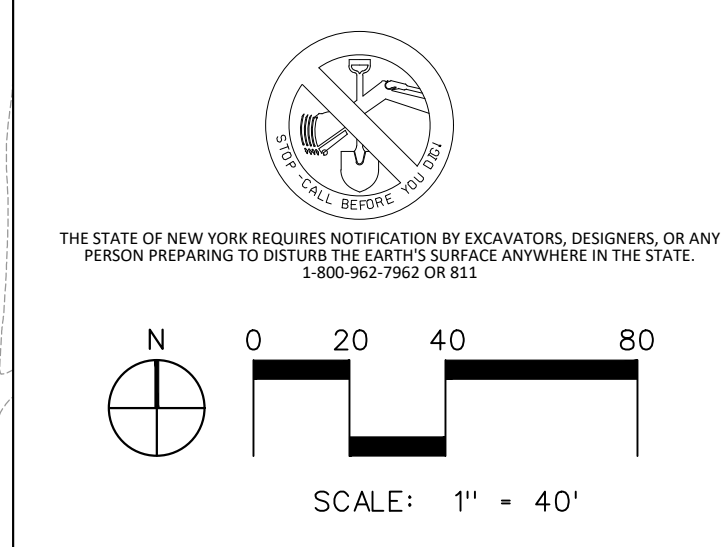
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DRAWING TITLE:  
**SITE GRADING AND UTILITY PLAN**

	DRAWN BY: DM/MJS PROJECT NO.: 824 DRAWING NO.:	CHECKED BY: GMS DATE: 03/16/22
	<b>SP-2.2</b>	

# SHRUB OAK INTERNATIONAL SCHOOL

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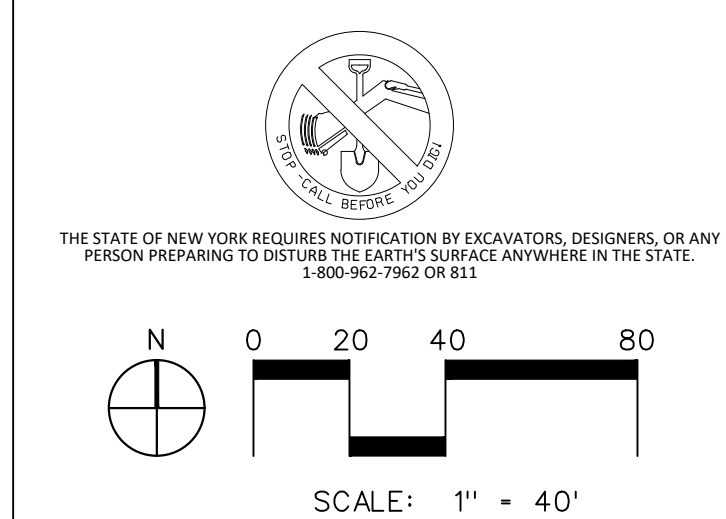
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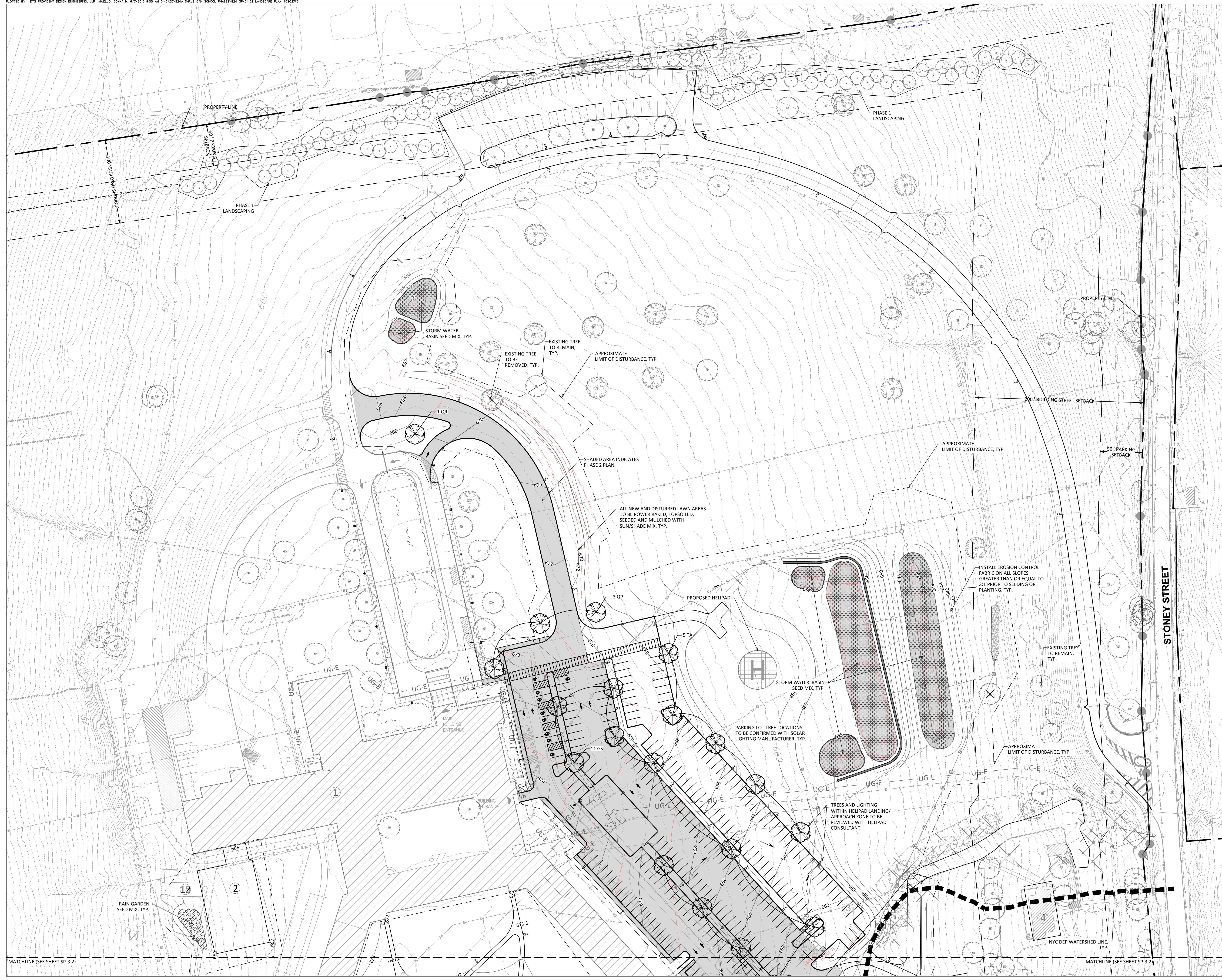
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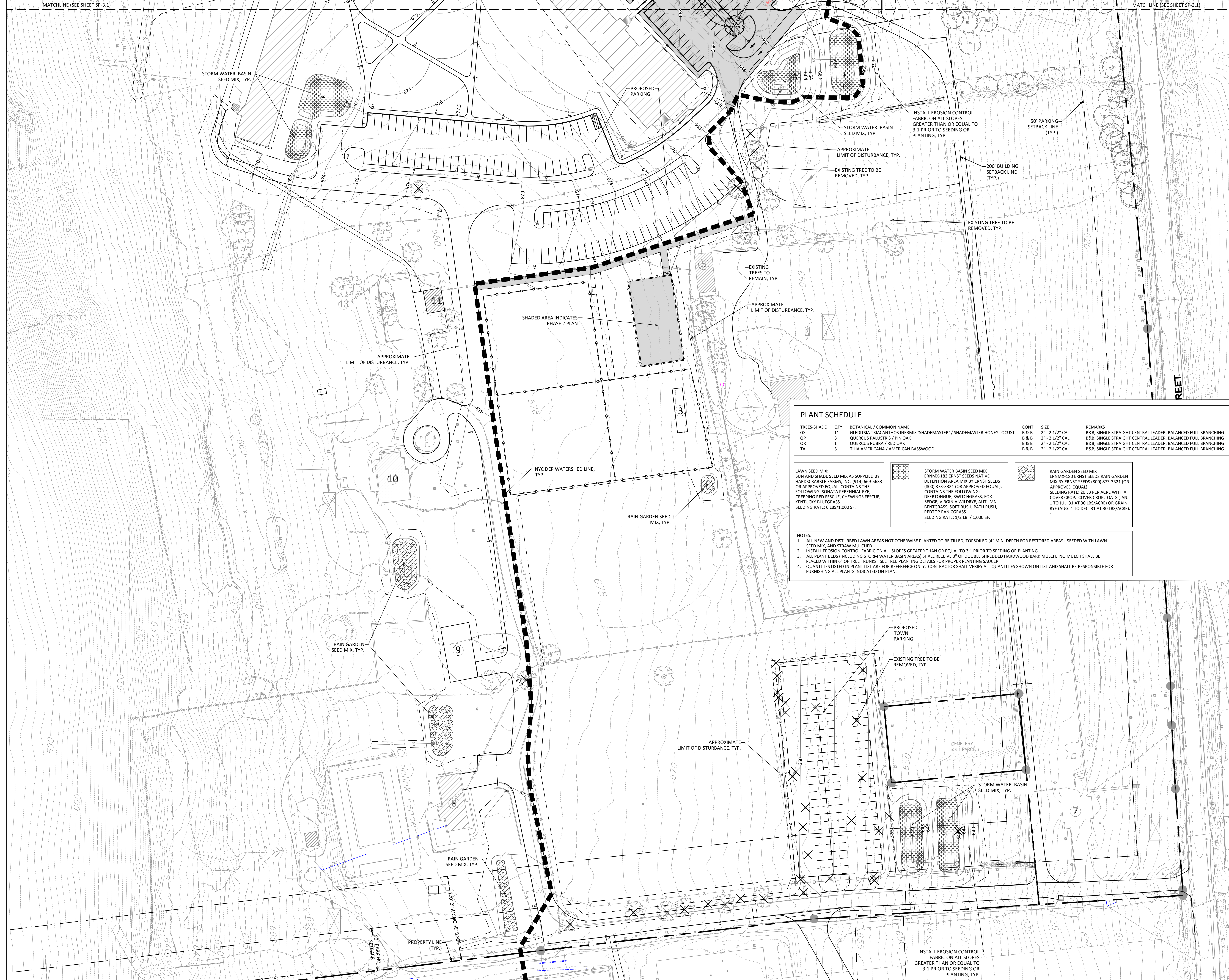
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**05/19/22**

DRAWING TITLE:  
**LANDSCAPE PLAN**

DRAWN BY: DM/MJS	CHECKED BY: GMS
PROJECT NO.: 824	DATE: 03/16/22
DRAWING NO.:	

**SP-3.1**





**SHRUB OAK INTERNATIONAL SCHOOL**  
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**PLANT SCHEDULE**

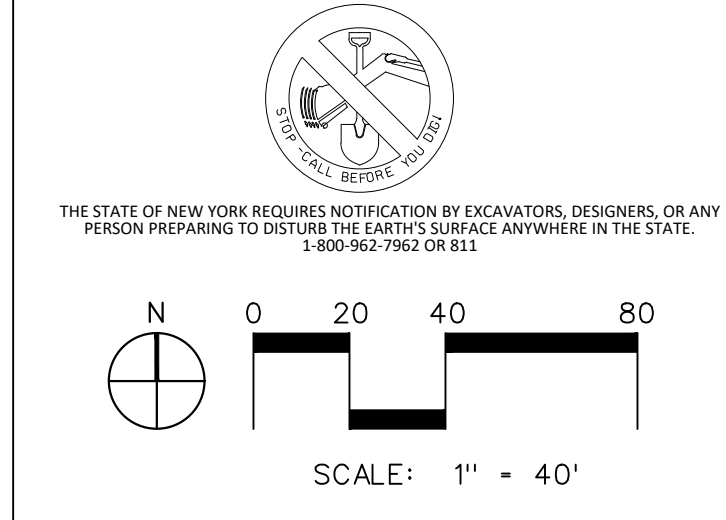
TREES SHADE	QTY	BOTANICAL / COMMON NAME	SHADEMASTER / SHADEMASTER HONEY LOCUST	CONT	SIZE	REMARKS
GS	11	GLEDITSIA TRIACANTHOS INERMIS	SHADEMASTER / SHADEMASTER HONEY LOCUST	B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING
QP	3	QUERCUS PALUSTRIS / PIN OAK		B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING
QR	1	QUERCUS RUBRA / RED OAK		B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING
TA	5	TILIA AMERICANA / AMERICAN BASSWOOD		B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING

**LAWN SEED MIX:**  
SUN AND SHADE SEED MIX AS SUPPLIED BY HARDCORPABLE FARMS, INC. (914) 669-5633 OR APPROVED EQUAL. CONTAINS THE FOLLOWING: SONATA PERENNIAL RYE, CREEPING RED FESCUE, CHEWINGS FESCUE, KENTUCKY BLUEGRASS.  
SEEDING RATE: 6 LBS/1,000 SF.

**STORM WATER BASIN SEED MIX:**  
ERNIX-183 ERNST SEEDS NATIVE DETENTION AREA MIX BY ERNST SEEDS (800) 873-3321 (OR APPROVED EQUAL). CONTAINS THE FOLLOWING: DEERTONGUE, SWITCHGRASS, FOX SEDGE, VIRGINIA WILDRIE, AUTUMN BENTGRASS, SOFT RUSH, PATH RUSH, REDTOP PANICGRASS.  
SEEDING RATE: 1/2 LB. / 1,000 SF.

**RAIN GARDEN SEED MIX:**  
ERNIX-180 ERNST SEEDS RAIN GARDEN MIX BY ERNST SEEDS (800) 873-3321 (OR APPROVED EQUAL).  
SEEDING RATE: 20 LB PER ACRE WITH A COVER CROP: COVER CROP: OATS (JAN. 1 TO JUL. 31 AT 30 LBS/ACRE) OR GRAIN RYE (AUG. 1 TO DEC. 31 AT 30 LBS/ACRE).

- NOTES:**
- ALL NEW AND DISTURBED LAWN AREAS NOT OTHERWISE PLANTED TO BE TILLED, TOPSOILED (4" MIN. DEPTH FOR RESTORED AREAS), SEEDED WITH LAWN SEED MIX, AND STRAW MULCHED.
  - INSTALL EROSION CONTROL FABRIC ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1 PRIOR TO SEEDING OR PLANTING.
  - ALL PLANT BEDS (INCLUDING STORM WATER BASIN AREAS) SHALL RECEIVE 3" OF DOUBLE SHREDDED HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED WITHIN 6" OF TREE TRUNKS. SEE TREE PLANTING DETAILS FOR PROPER PLANTING SAUCER.
  - QUANTITIES LISTED IN PLANT LIST ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL PLANTS INDICATED ON PLAN.



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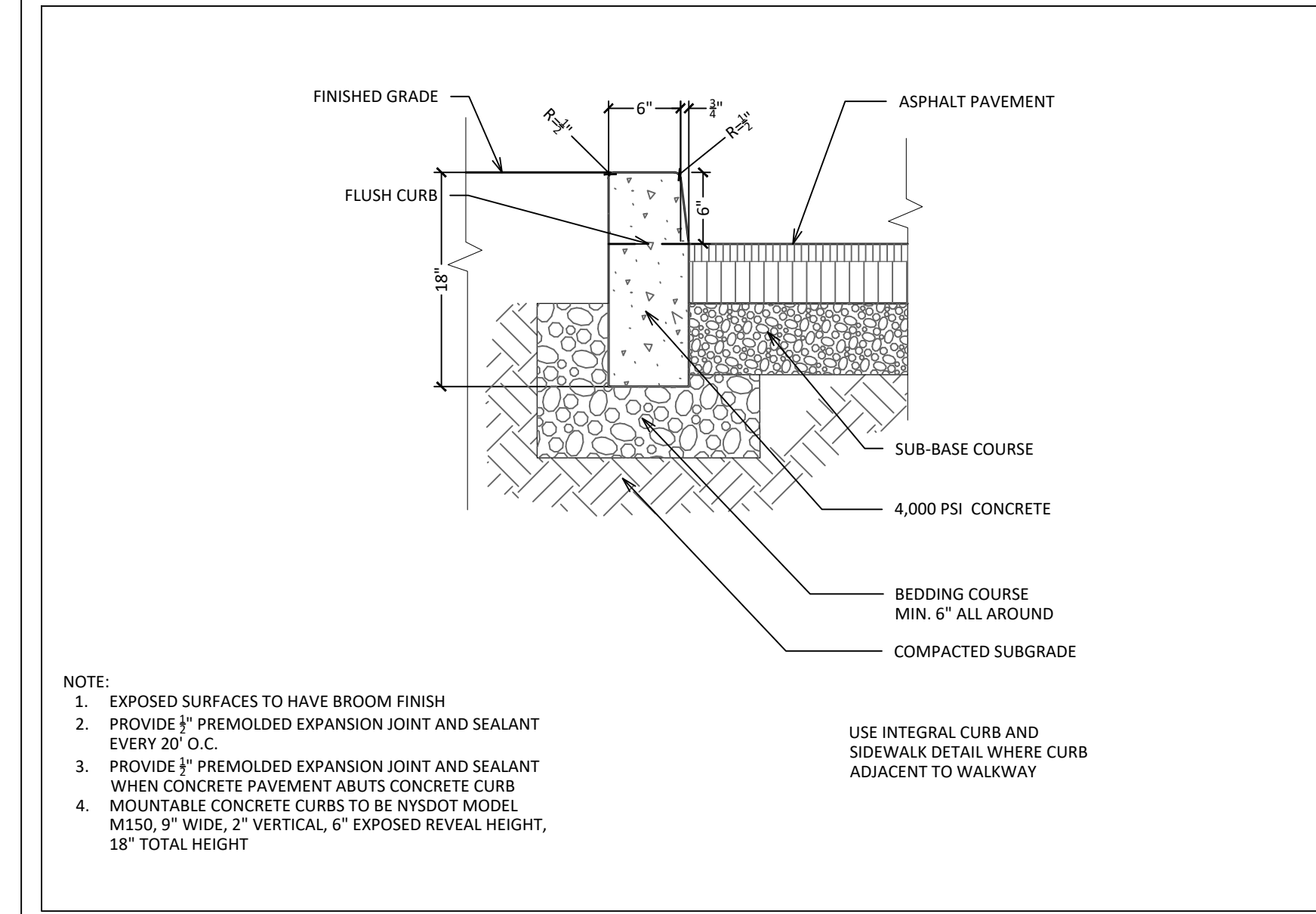
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	03/16/22	PLANNING BOARD SUBMISSION	

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05/19/22

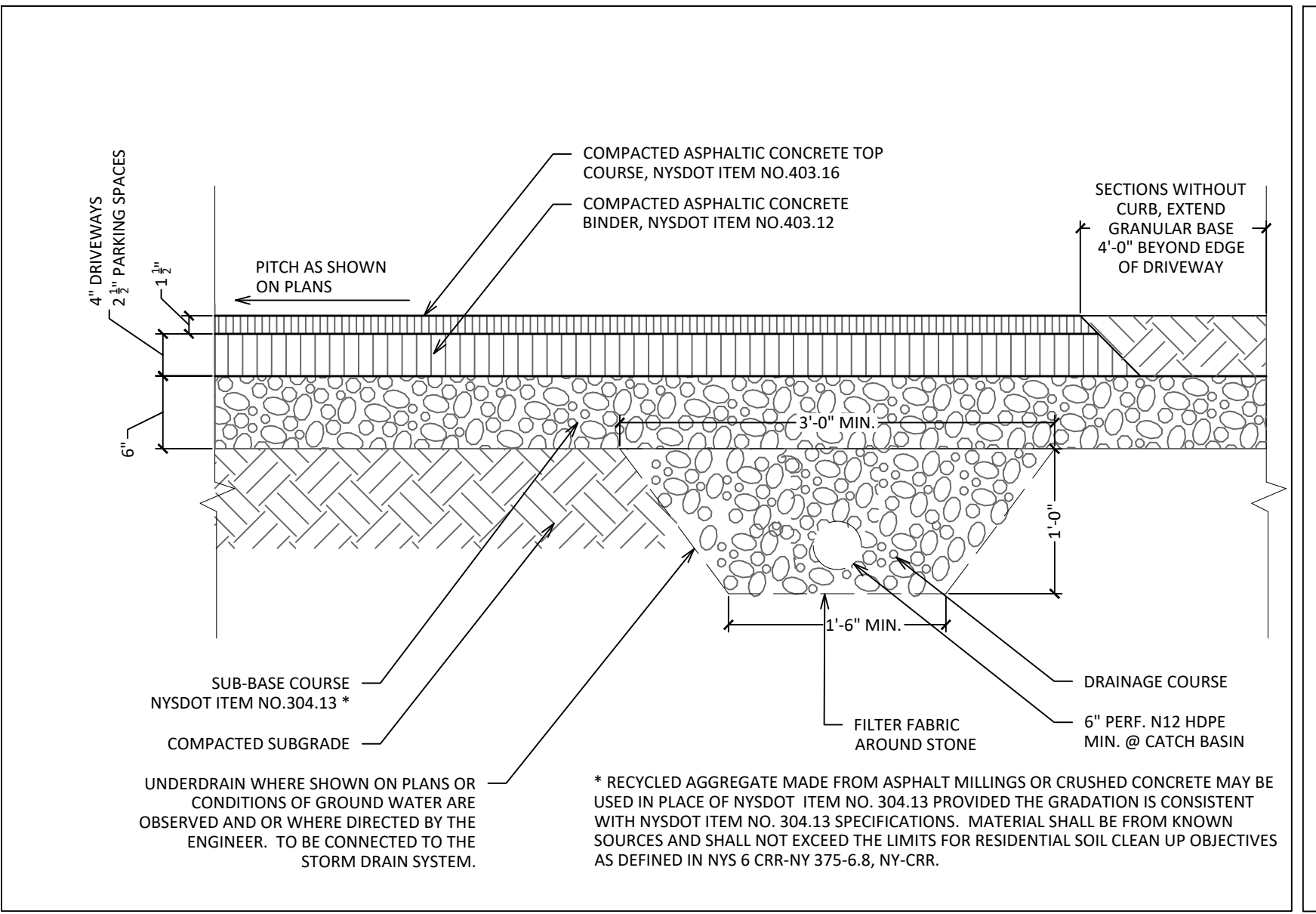
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**LANDSCAPE PLAN**

DRAWN BY: DM/MJS  
PROJECT NO.: 824  
DRAWING NO.: SP-3.2

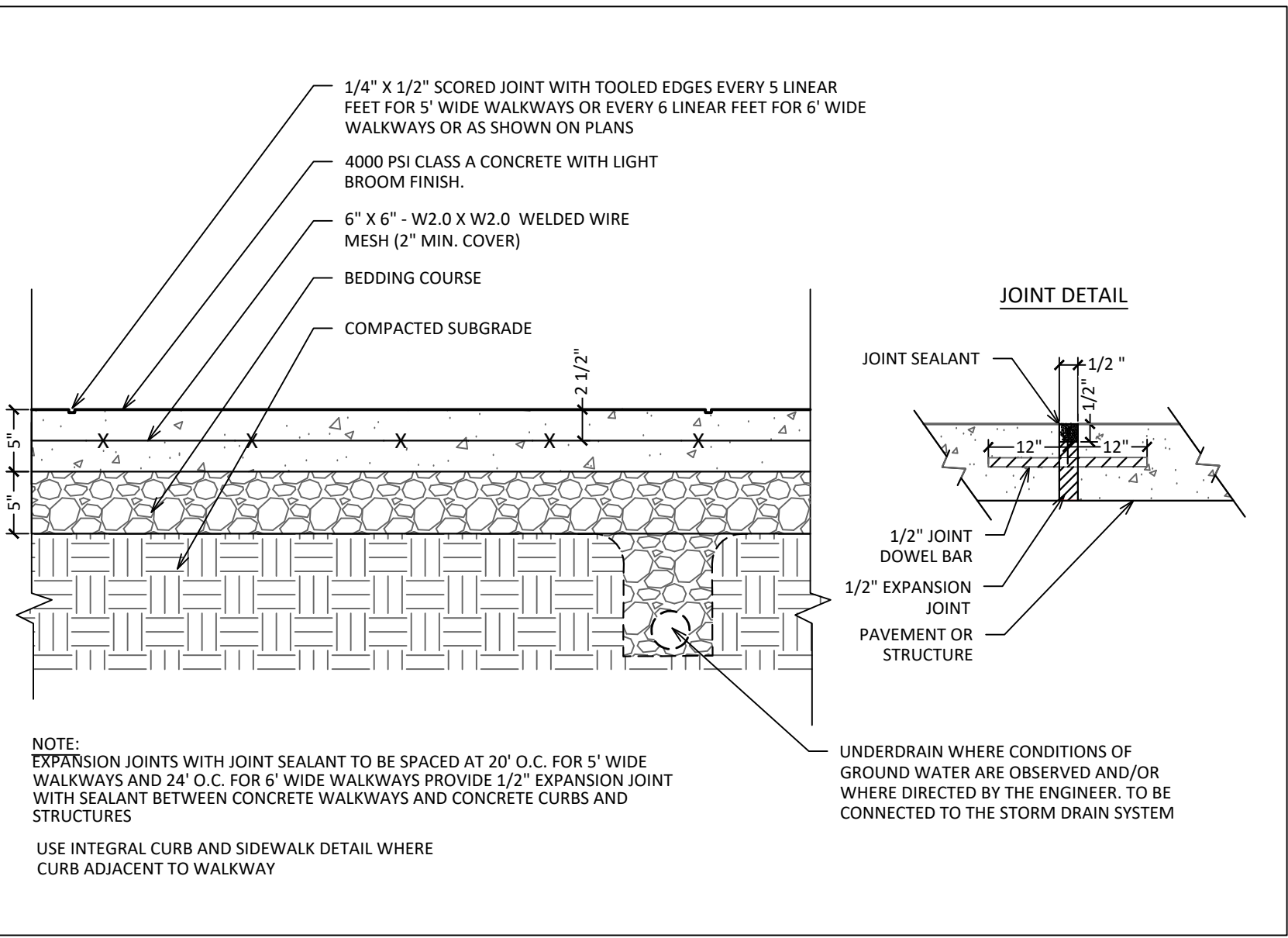
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DATE: 03/16/22



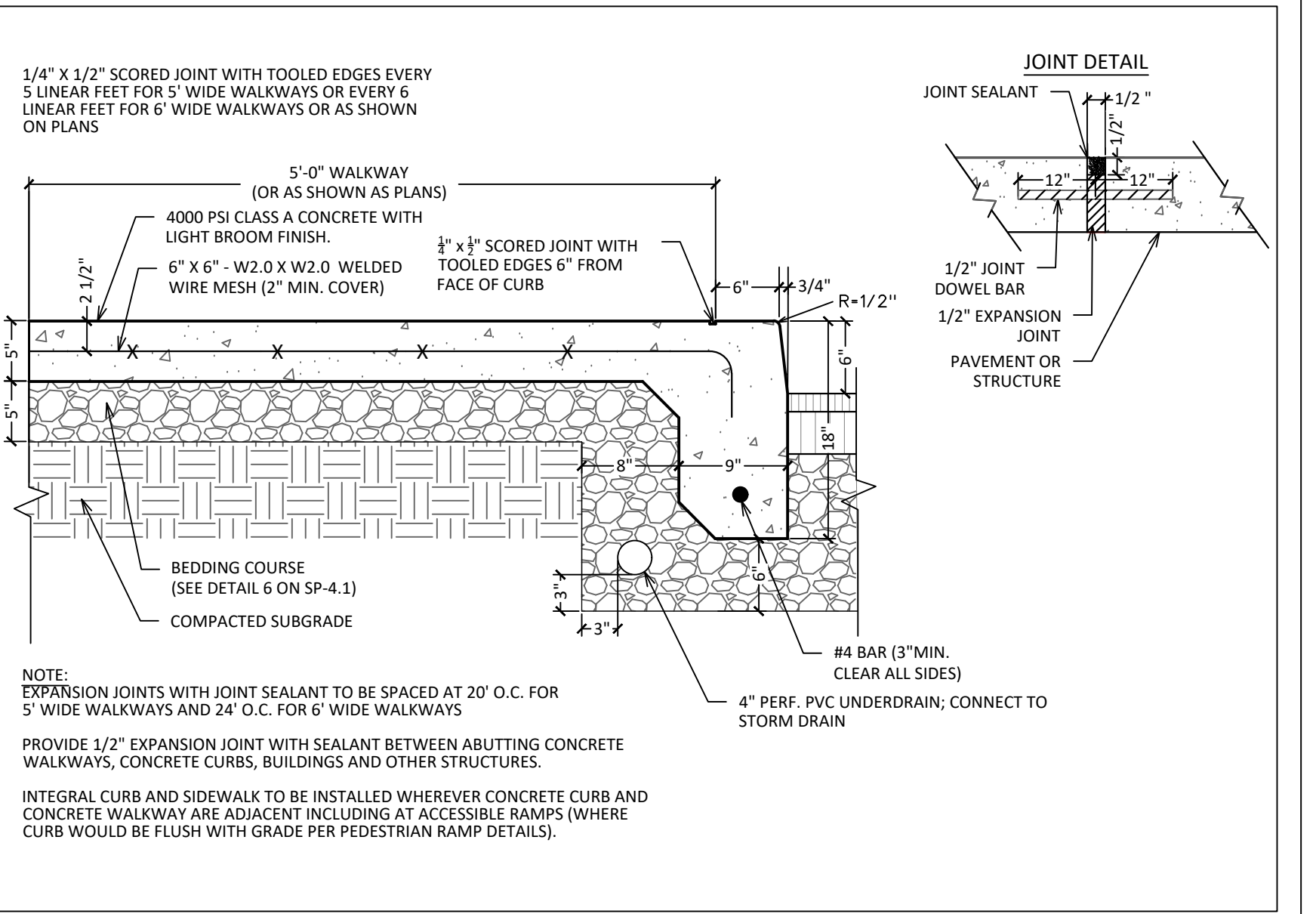
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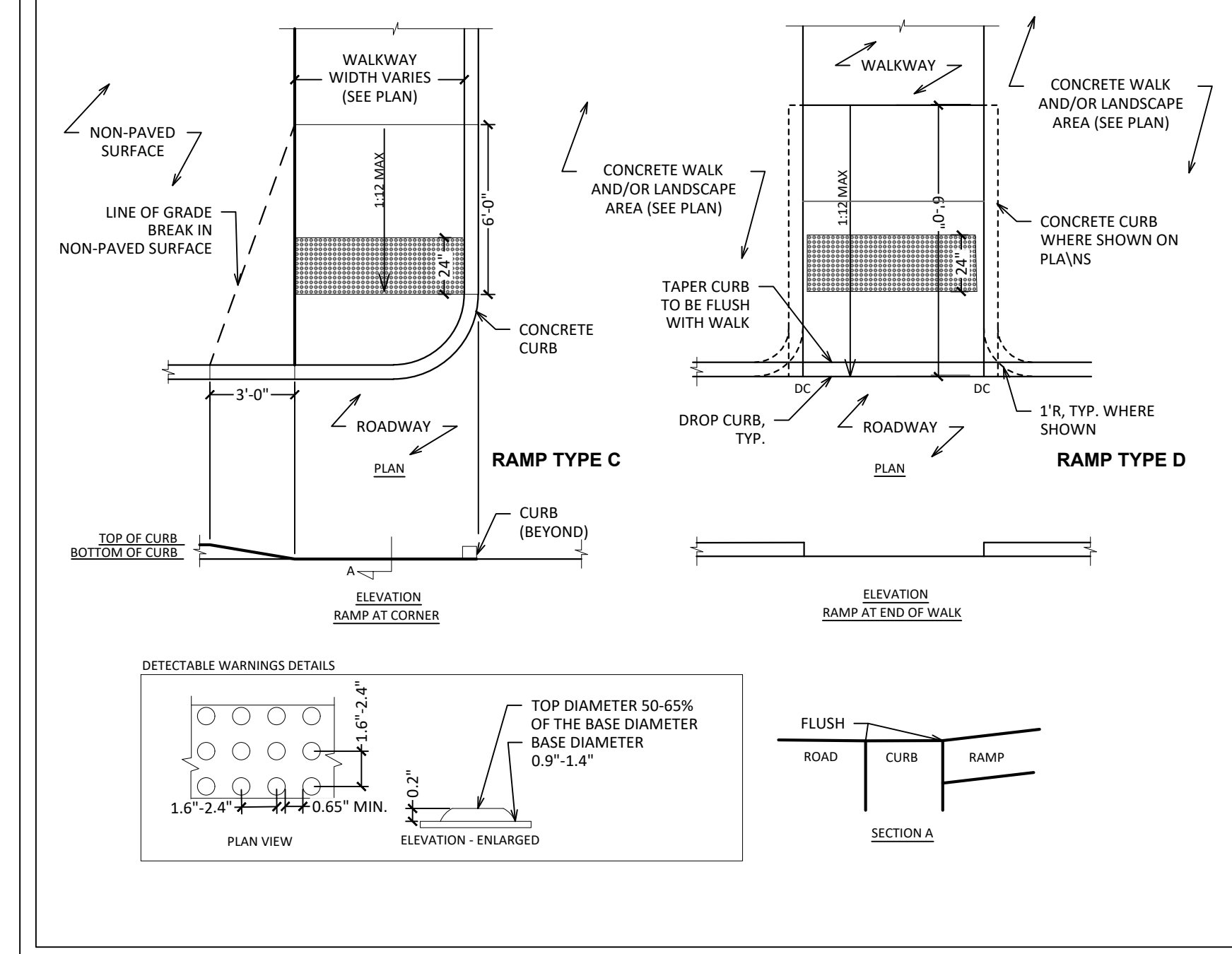
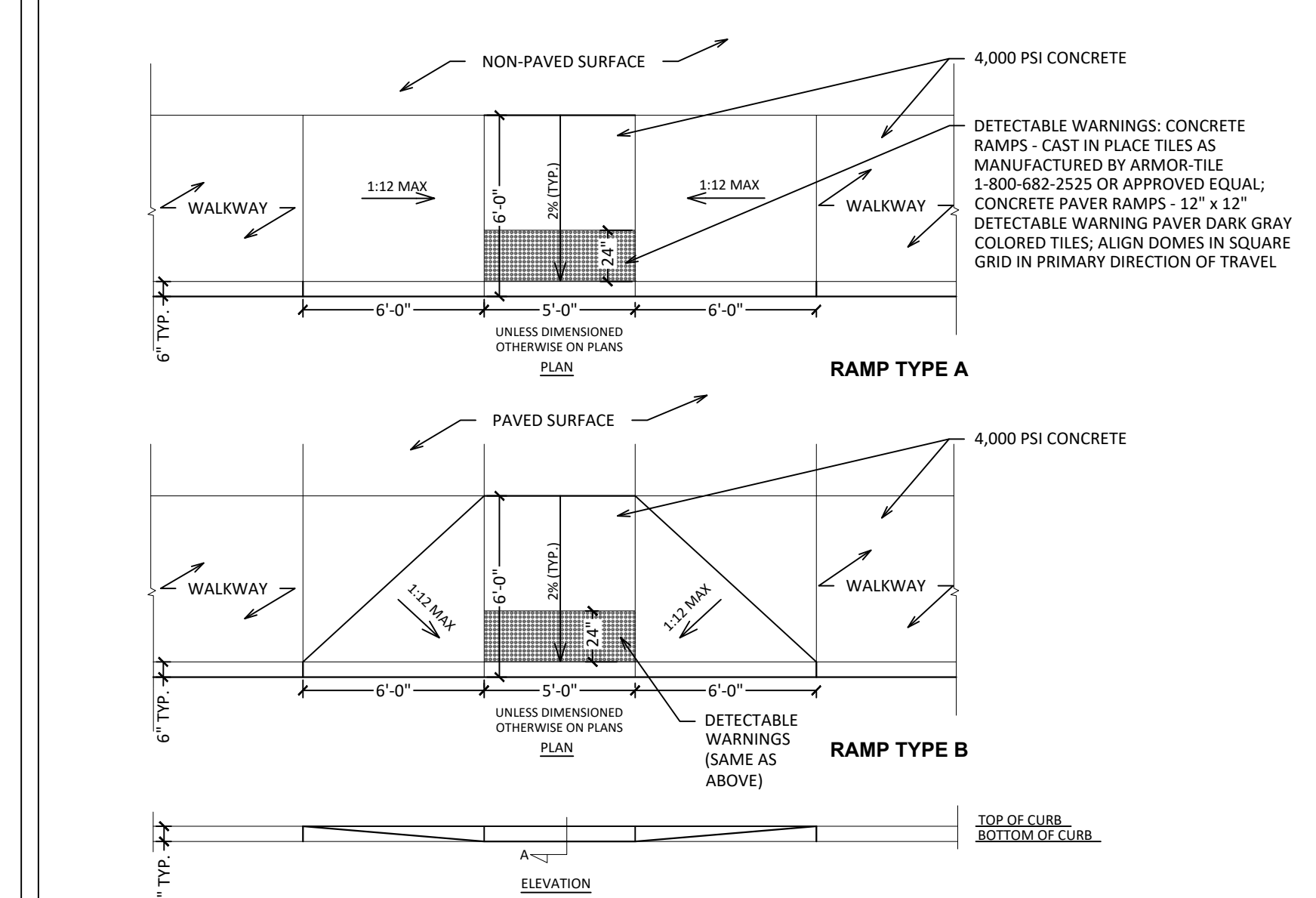
NEW ASPHALT PAVEMENT SCALE: N.T.S. 2



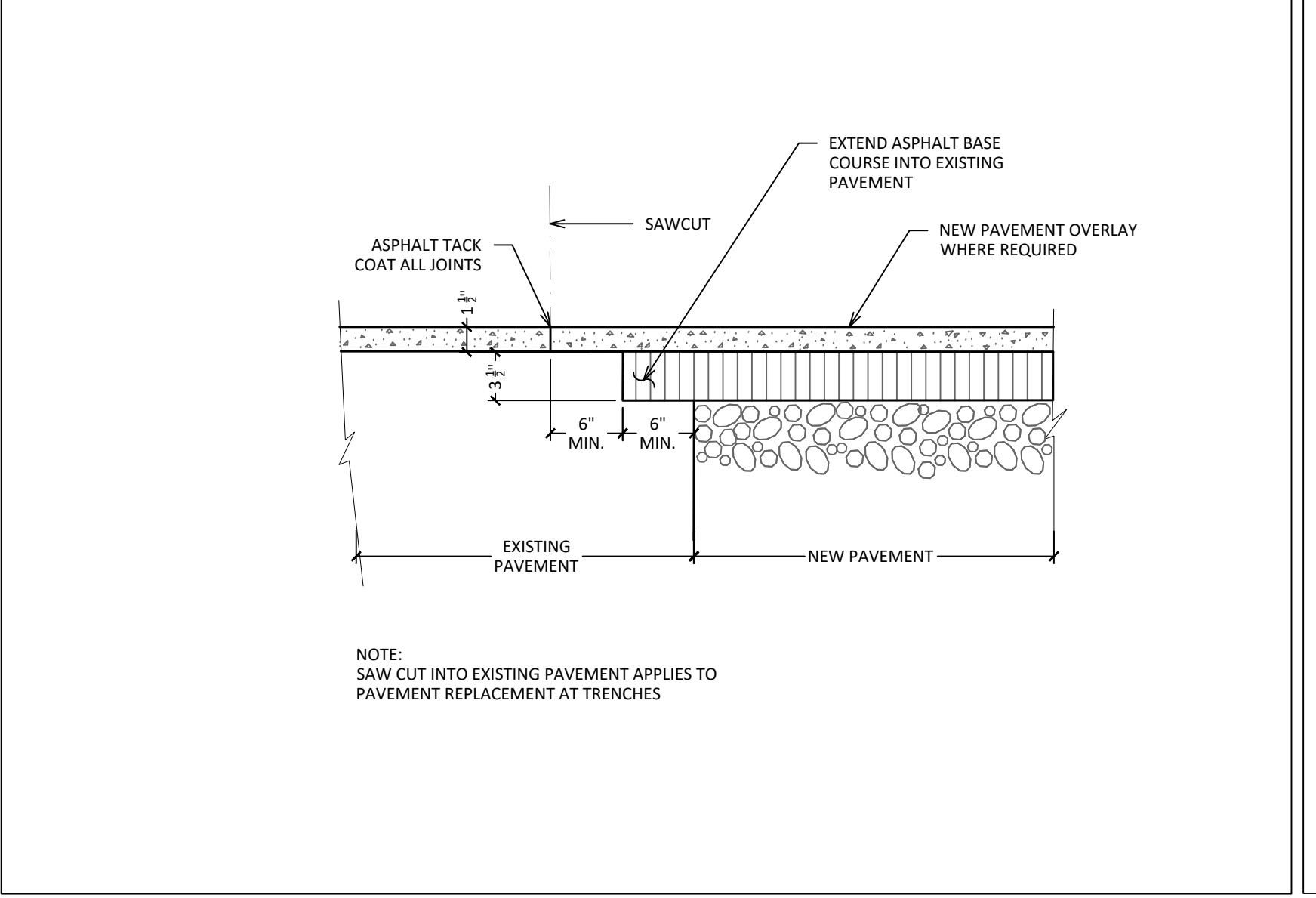
CONCRETE PAVEMENT (SIDEWALK) SCALE: N.T.S. 3



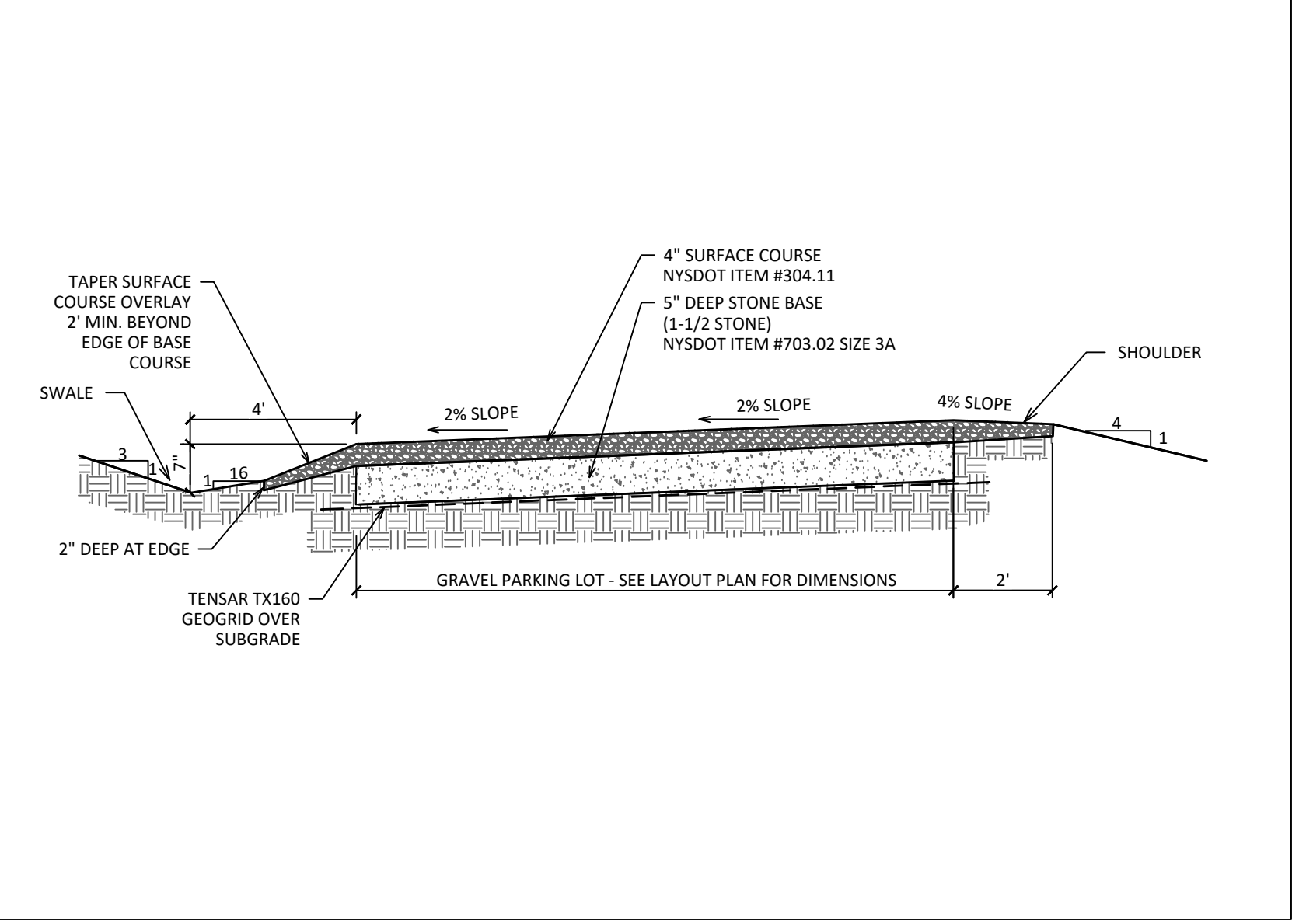
INTEGRAL CURB AND SIDEWALK SCALE: N.T.S. 4



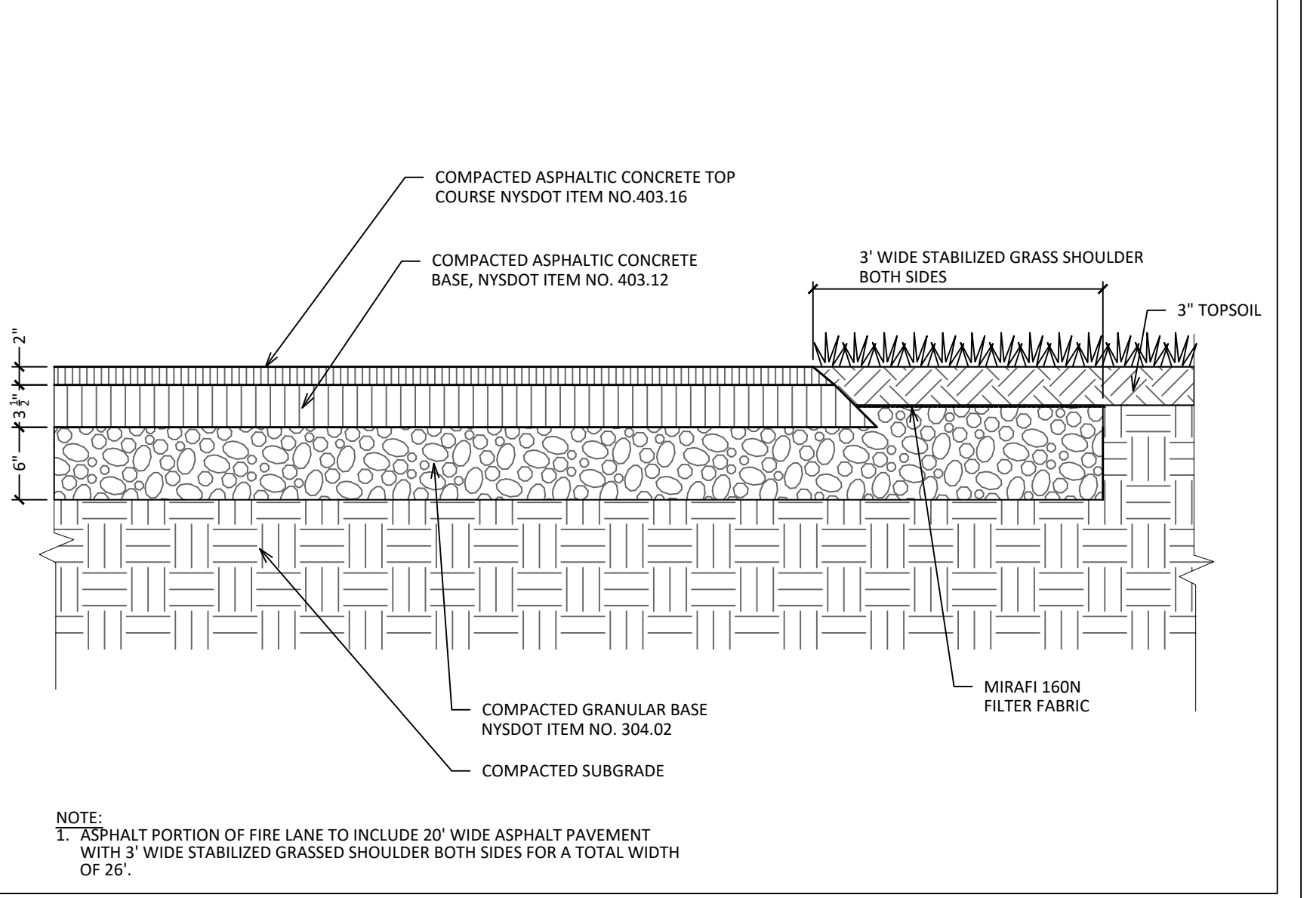
PEDESTRIAN RAMPS SCALE: N.T.S. 9



SAW CUT ASPHALT PAVEMENT SCALE: N.T.S. 6



GRAVEL PARKING LOT SCALE: N.T.S. 7

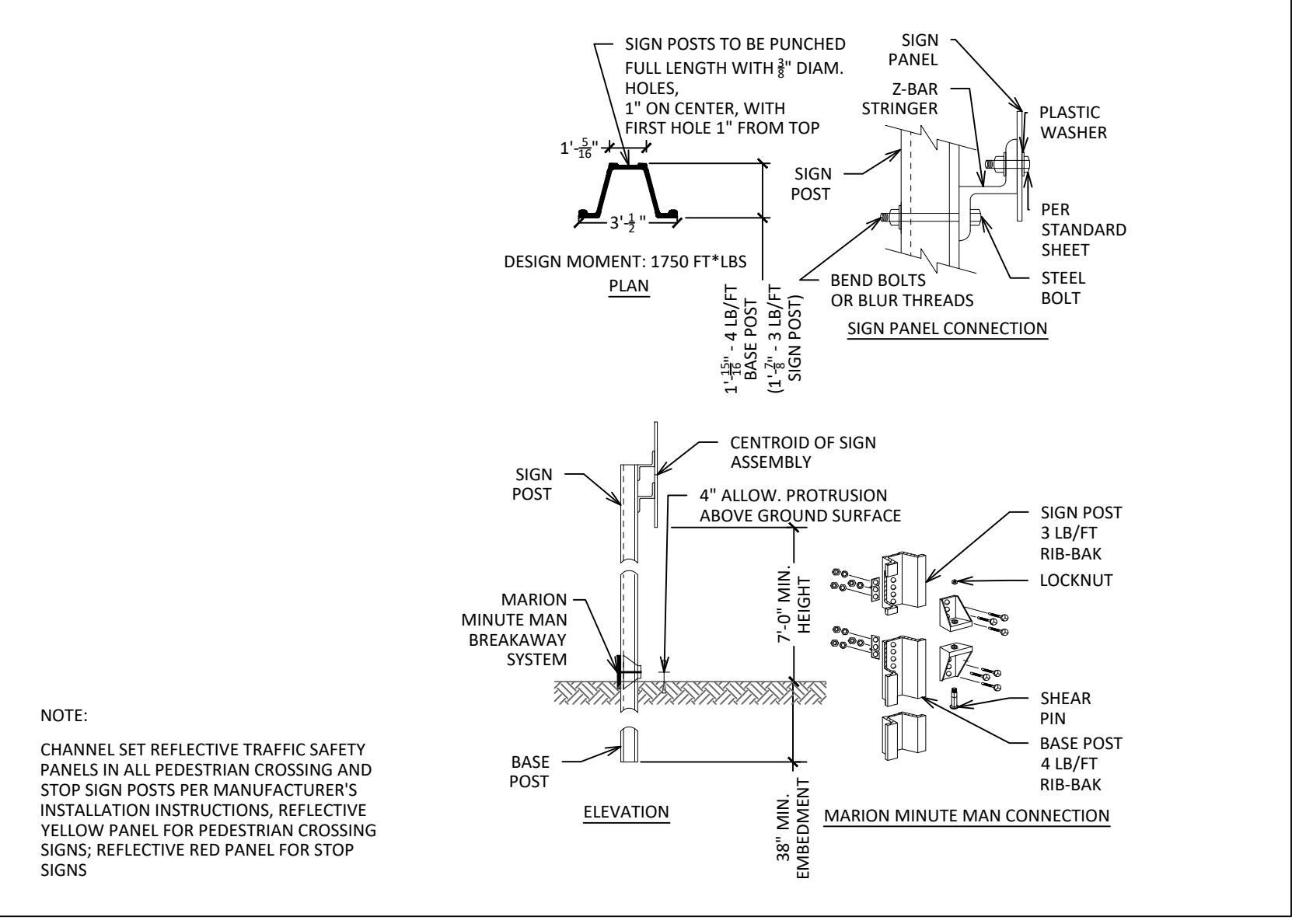


STABILIZED GRASS SHOULDER (FOR FIRE LANE) SCALE: N.T.S. 8

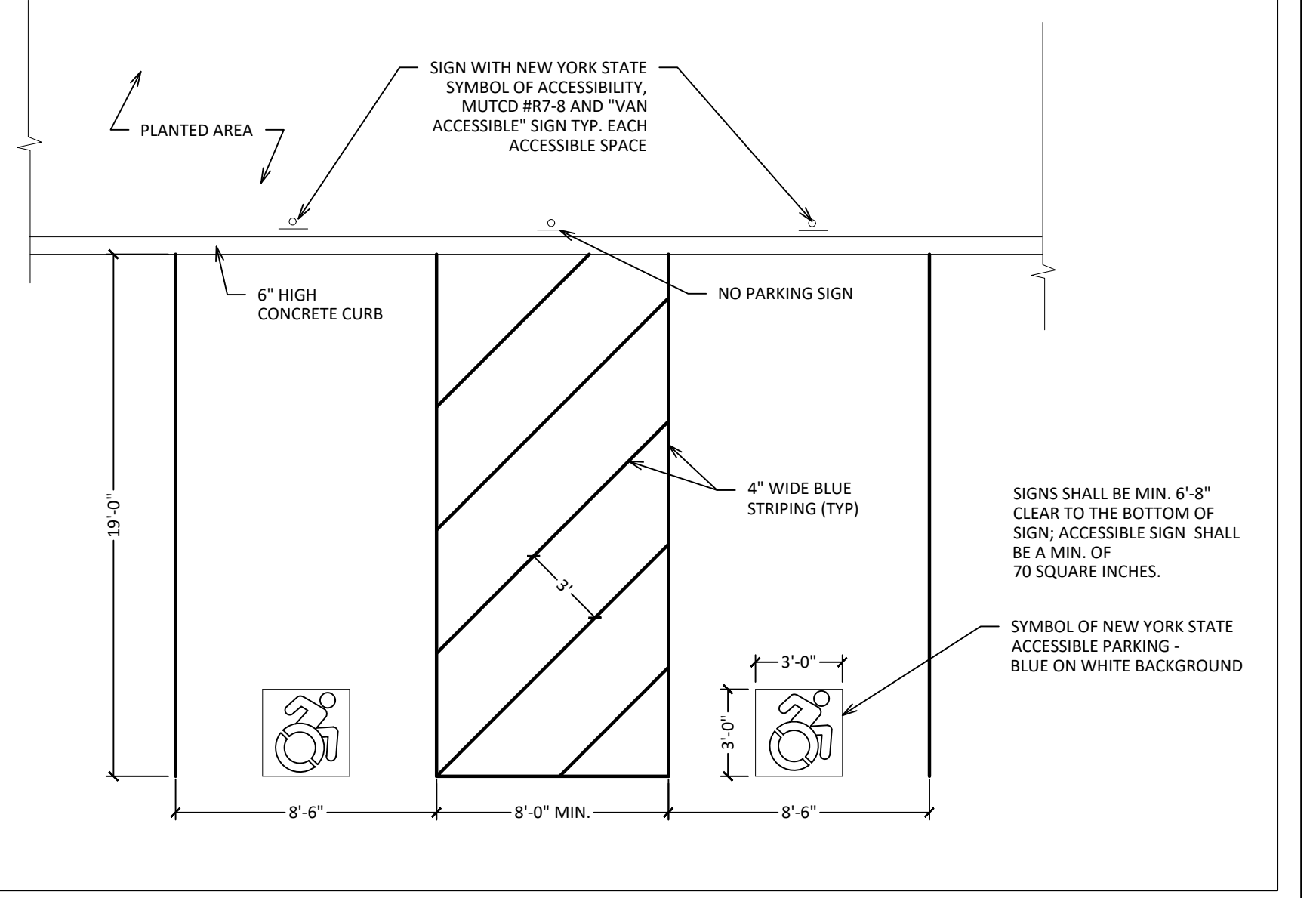
SIGN LEGEND				
NO.	DESCRIPTION	IMAGE	MUTCD NO.	SIZE
1	STOP SIGN		R1-1C	30"x30"
2	DO NOT ENTER		R5-1	30"x30"
3	RESERVED PARKING VAN ACCESSIBLE		R7-8 WITH R-7-8P	12"x18" WITH 12"x6"
4	NO PARKING		R7-1D	12"x18"
5	ONE WAY		R6-1(L)	36"x12"
6	NO LEFT TURN		R3-2	30x30
7	RIGHT TURN ONLY		R4-8	18"x24"
8	KEEP RIGHT		R4-7bR	18"x24"

NOTE:  
CHANNEL SET REFLECTIVE TRAFFIC SAFETY PANELS IN ALL PEDESTRIAN CROSSING AND STOP SIGN POSTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFLECTIVE YELLOW PANEL FOR PEDESTRIAN CROSSING SIGNS; REFLECTIVE RED PANEL FOR STOP SIGNS

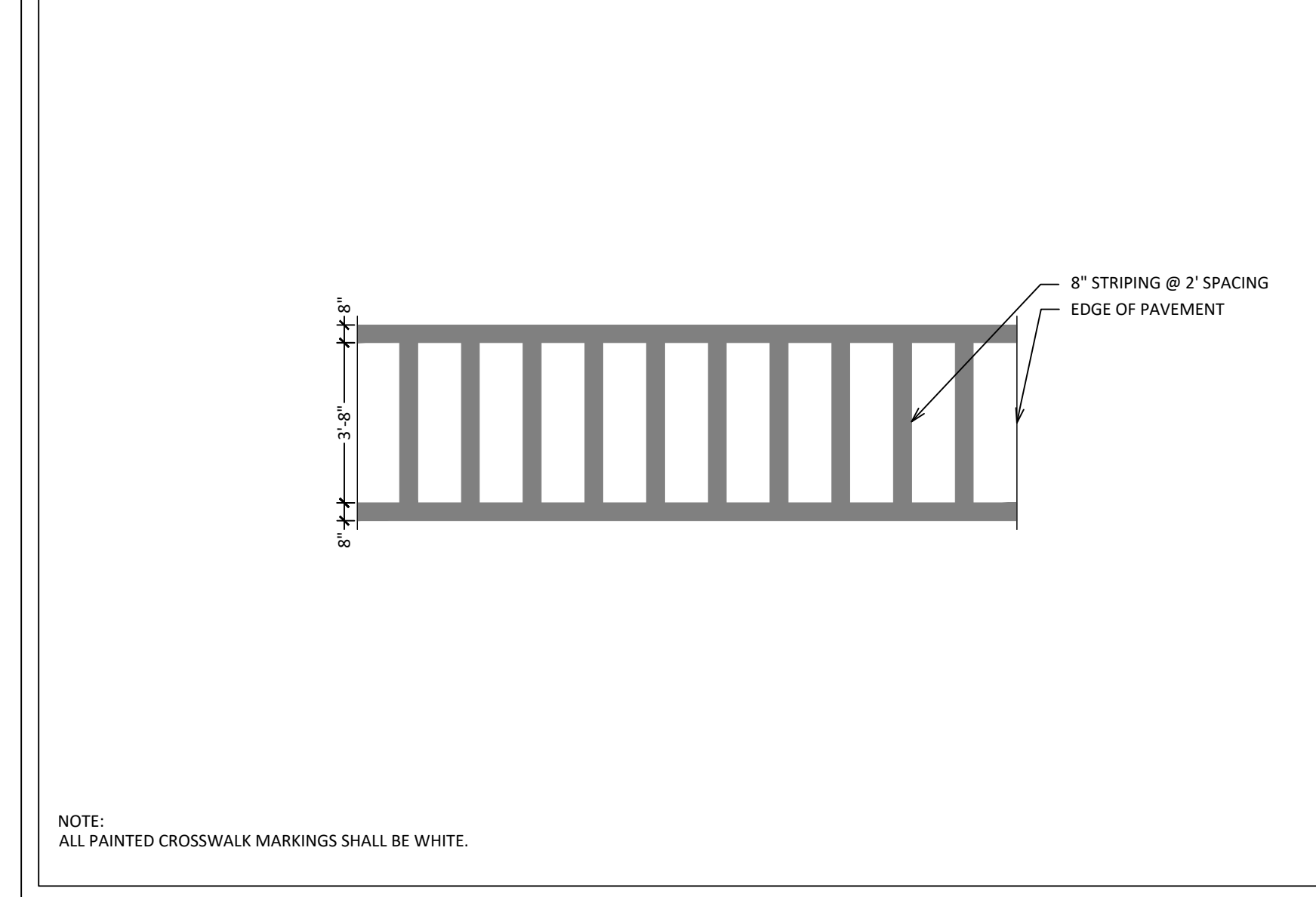
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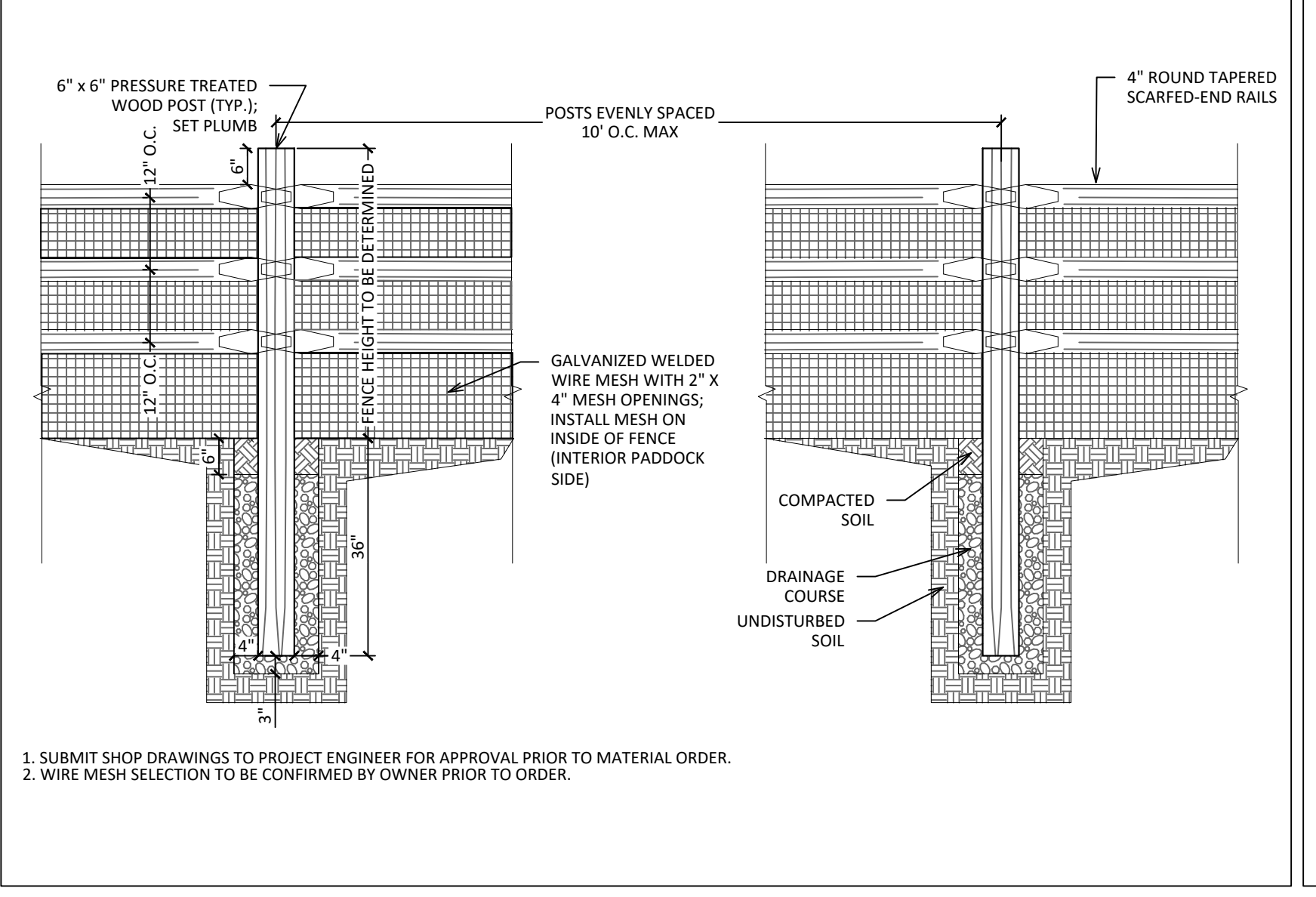
SIGNAGE SCALE: N.T.S. 11



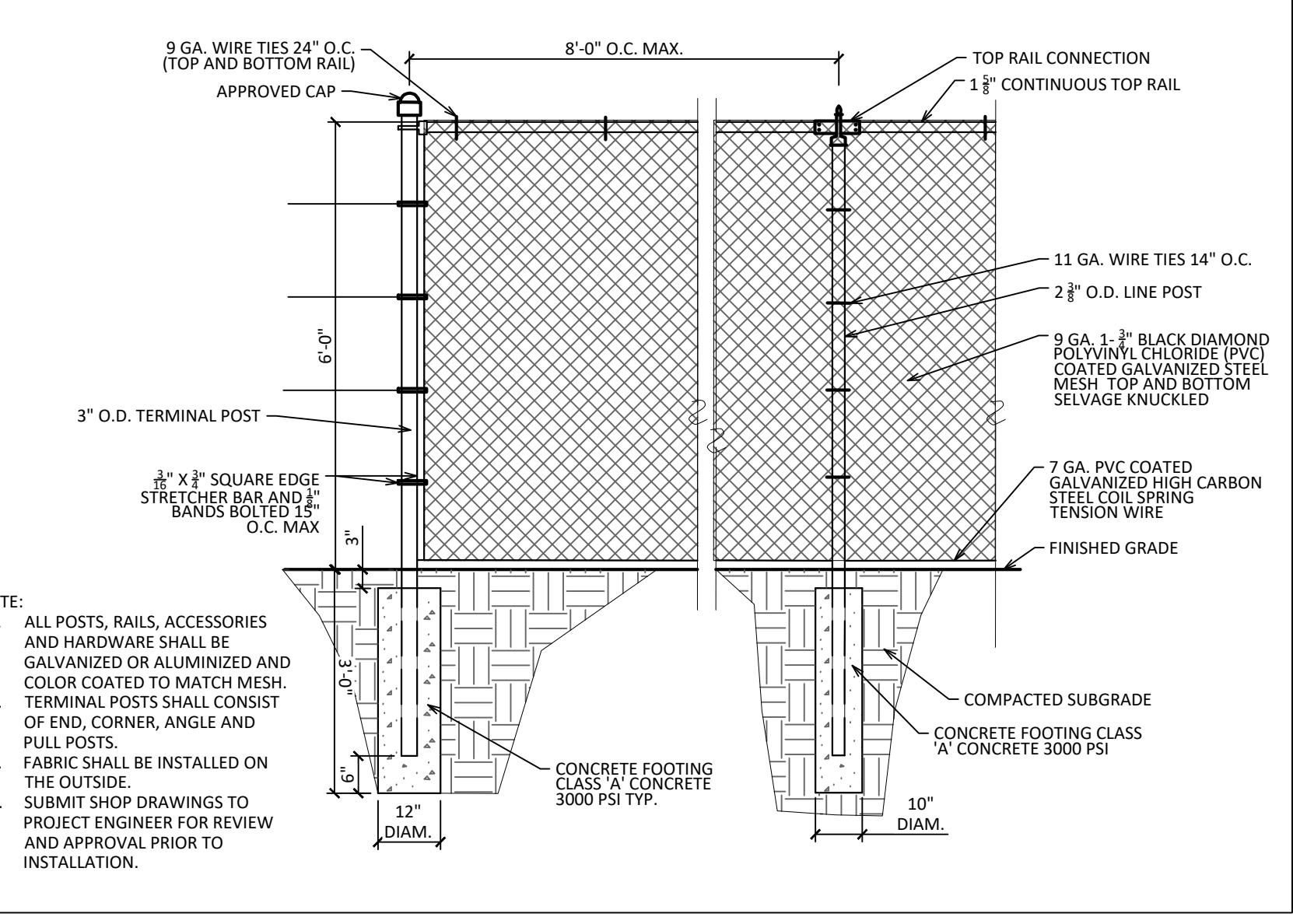
ACCESSIBLE PARKING SCALE: N.T.S. 12



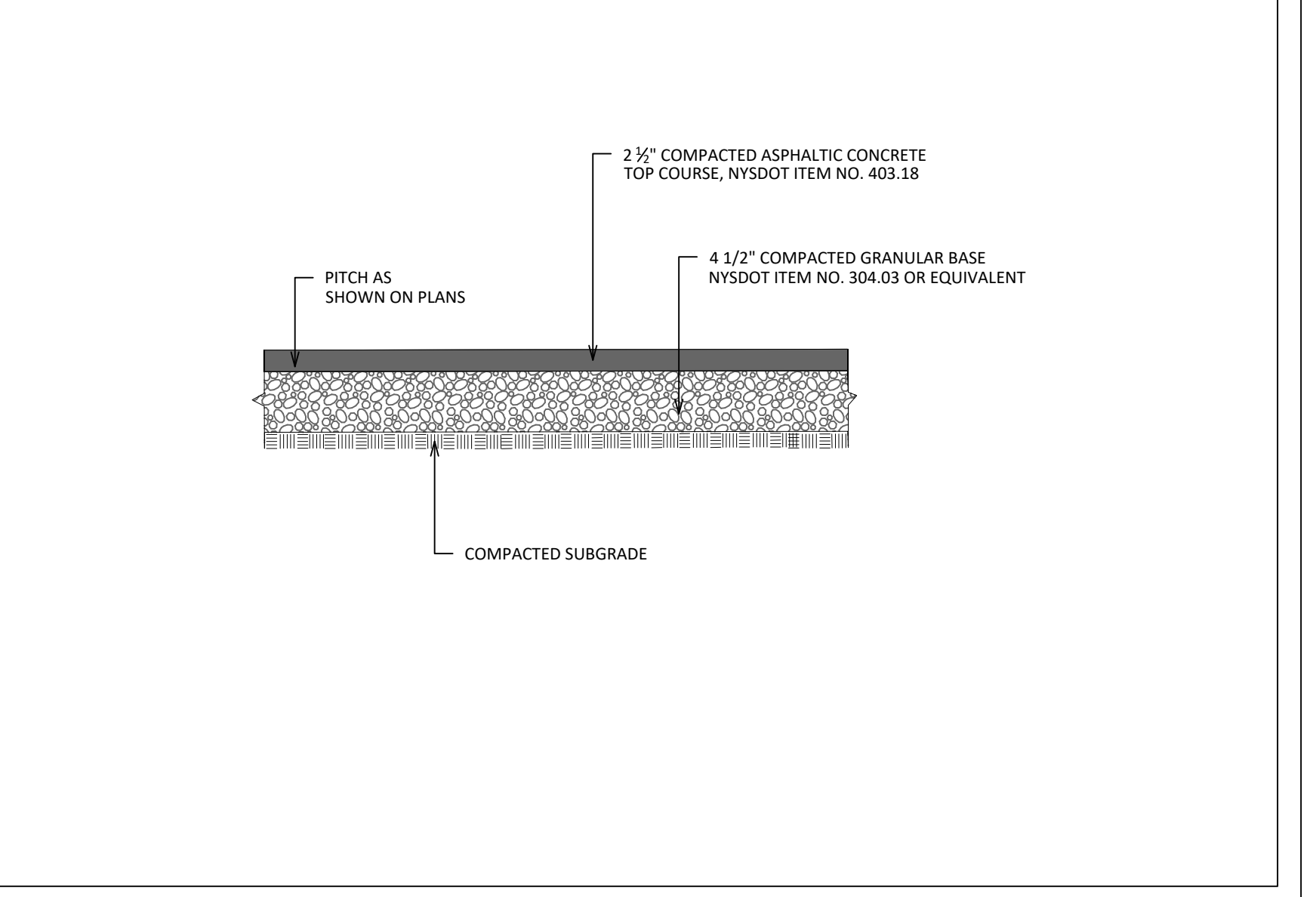
PEDESTRIAN CROSSWALK SCALE: N.T.S. 13



Paddock Fence SCALE: N.T.S. 14



CHAIN LINK FENCE (6' HIGH) SCALE: N.T.S. 15



ASPHALT WALKWAY SCALE: N.T.S. 15

# SHRUB OAK INTERNATIONAL SCHOOL

Town of Yorktown, New York

OWNER / APPLICANT  
SHRUB OAK INTERNATIONAL SCHOOL  
3151 Stoney Street  
Shrub Oak, NY 10547

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT  
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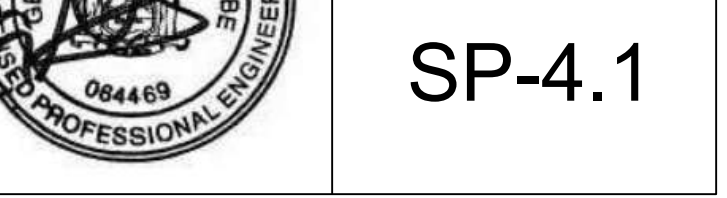
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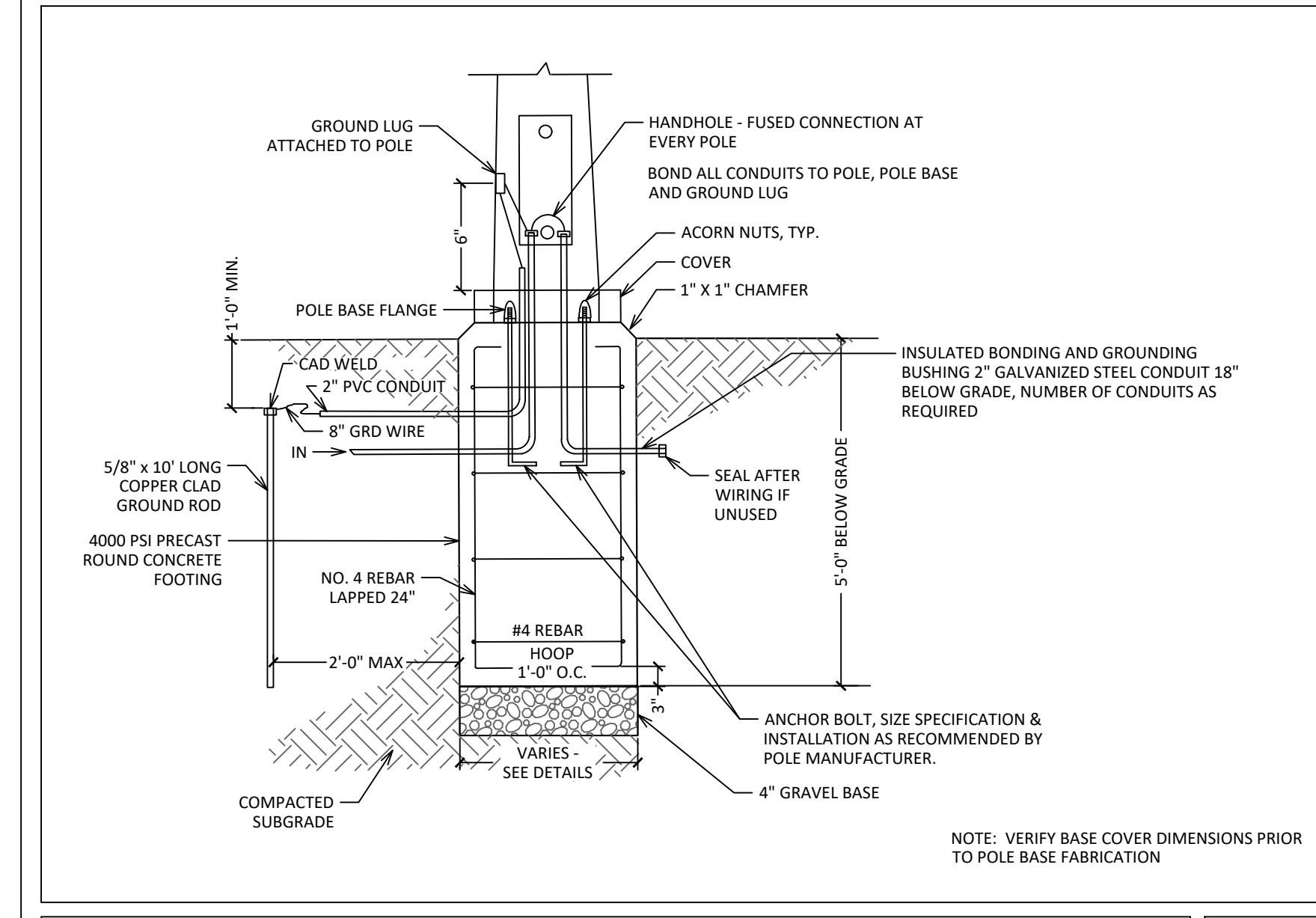
REVISIONS/ISSUANCES	NO.	DATE	ISSUE
03/16/22	PLANNING BOARD SUBMISSION		

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05/19/22

## SITE AND UTILITY DETAILS

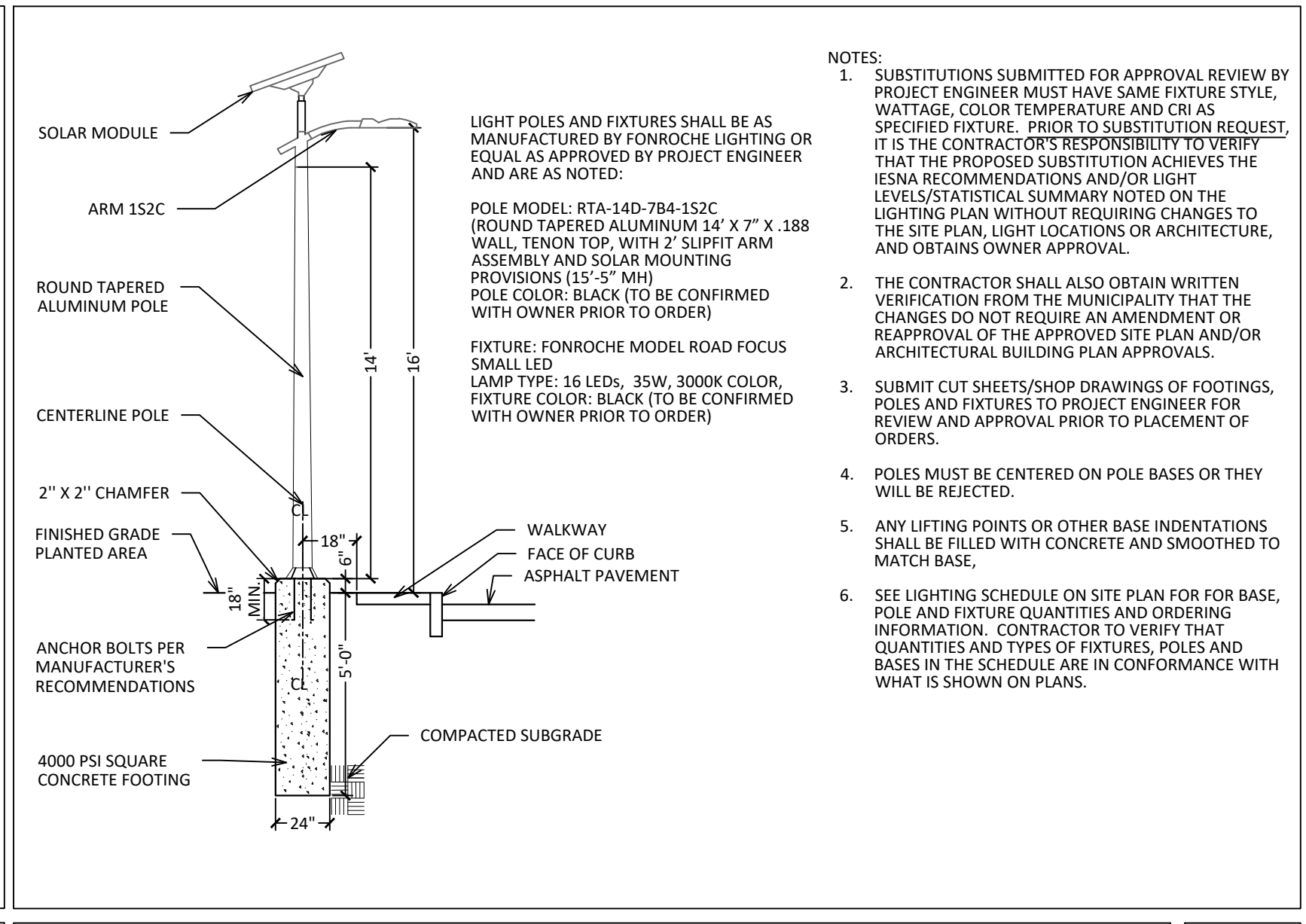
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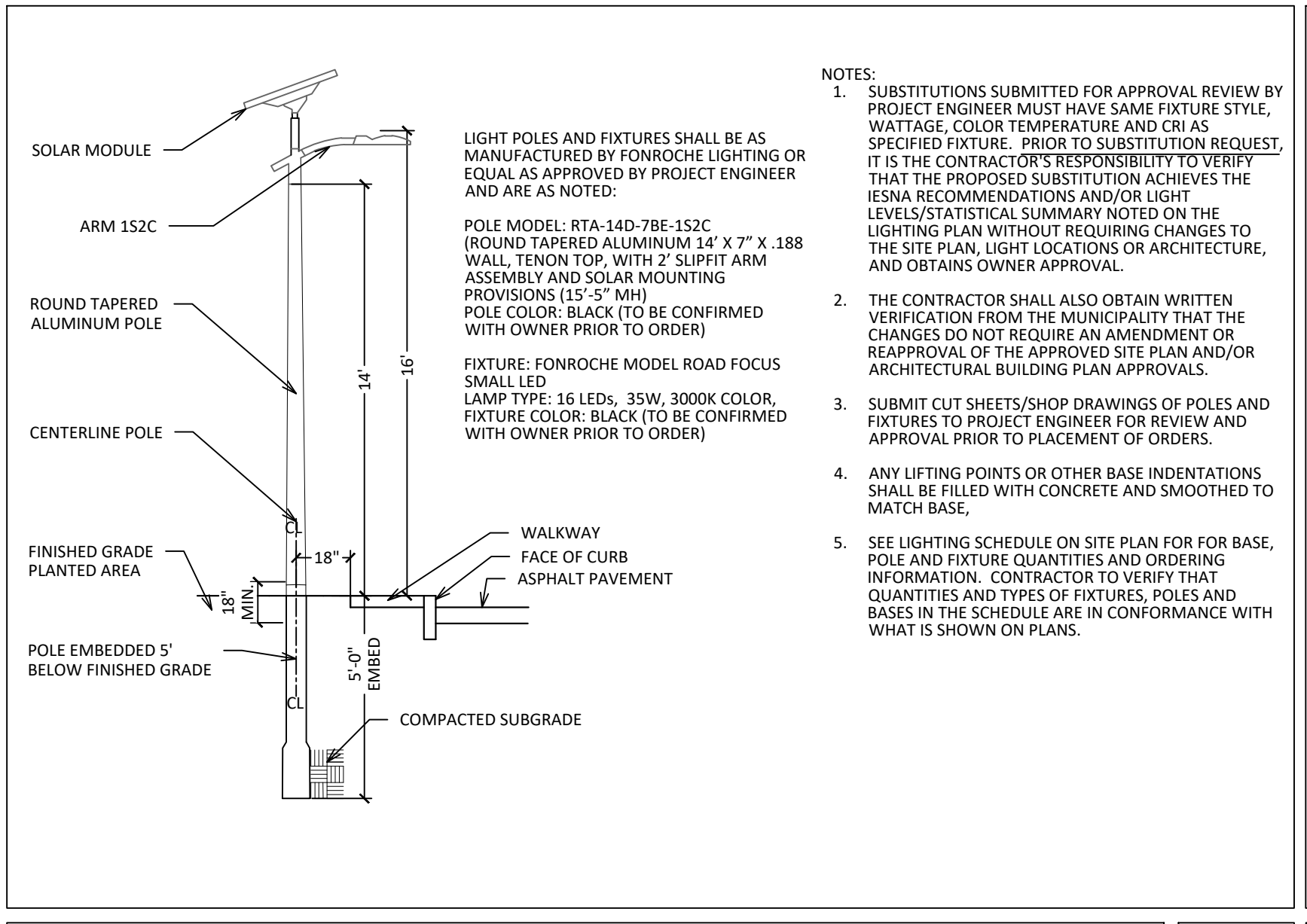
**LIGHT POLE FOUNDATION**  
SCALE: N.T.S.

1



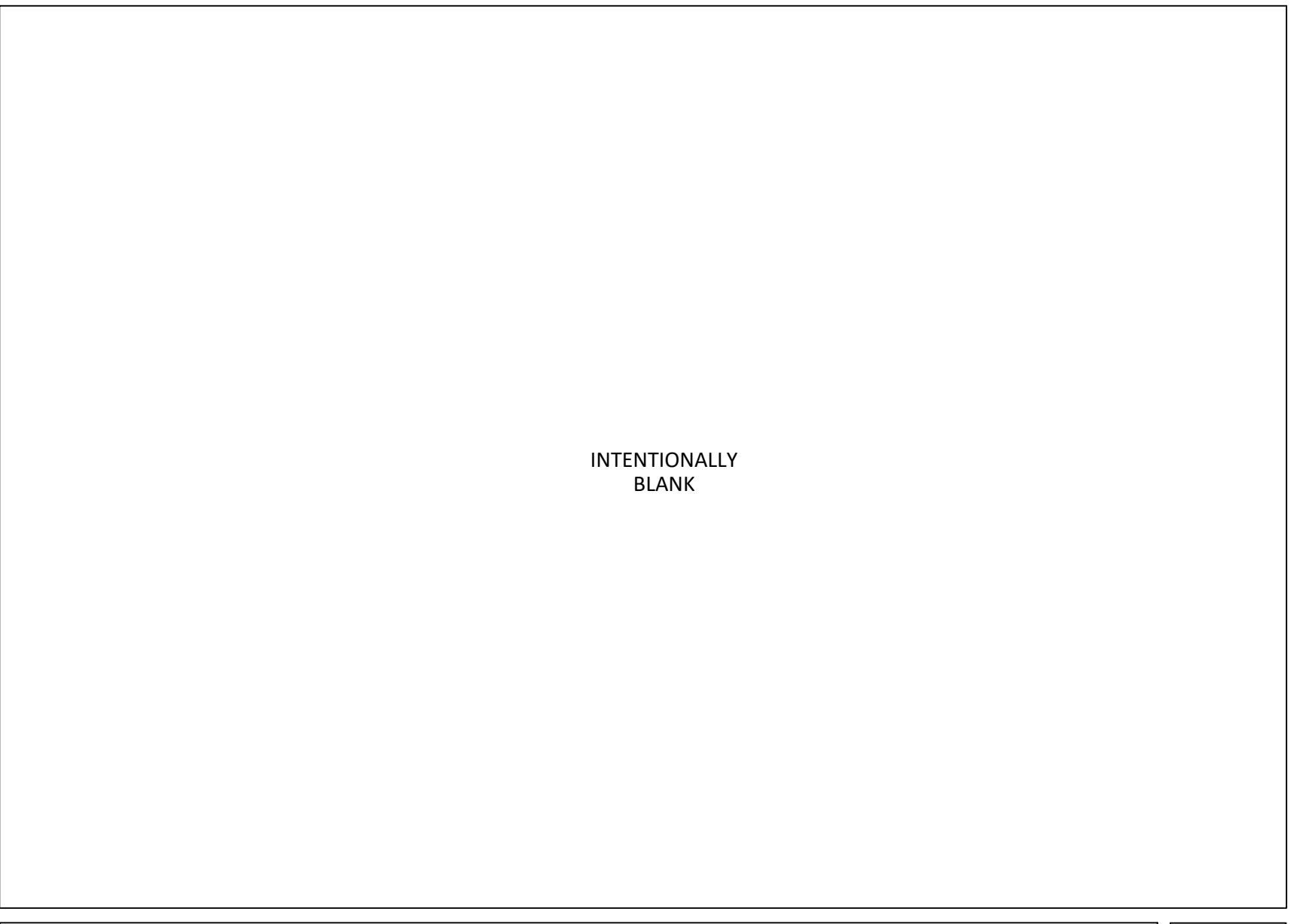
**PARKING LOT AND DRIVEWAY LIGHTING WITH CONCRETE FOOTING**  
SCALE: N.T.S.

5



**PARKING LOT AND DRIVEWAY LIGHTING EMBEDDED IN GROUND**  
SCALE: N.T.S.

6



**INTERNATIONALLY BLANK**

3

**2.1 SOIL MATERIALS (SEE SPECIFICATION 312010 FOR COMPLETE SOIL MATERIAL AND EARTHWORK INFORMATION)**

A. GENERAL: PROVIDE BORROW SOIL MATERIALS WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS.

B. SATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS GM, GP, GM, SM, AND SP ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.

C. UNSATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS SM, GC, CL, ML, CL, MH, OH, AND PT ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS.

1. UNSATISFACTORY SOILS ALSO INCLUDE SATISFACTORY SOILS NOT MAINTAINED WITHIN 2 FEET OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.

2. UNSATISFACTORY MATERIALS ALSO INCLUDE MATERIALS BELOW STRUCTURES AND/OR FOUNDATIONS DETERMINED BY OWNER'S REPRESENTATIVES TO BE UNSATISFACTORY BEARING MATERIALS.

D. SUBBASE COURSE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; MEETING MYSDOT SPECIFICATION FOR NYS DOT ITEM 304.11 SUBBASE COURSE TYPE 1. THE USE OF RECYCLED MATERIAL FROM ANY OFF-SITE SOURCE WILL NOT BE PERMITTED AND RECYCLED MATERIAL FROM ON-SITE DEMOLITION MAY NOT BE USED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.

E. STRUCTURAL FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST 90 PERCENT PASSING A 1 1/2" (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 (0.075-MM) SIEVE.

F. BEDDING COURSE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; EXCEPT WITH 100 PERCENT PASSING A 1/2" (12.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 (2.36-MM) SIEVE.

G. DRAINAGE COURSE: NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL, ASTM D 448, COARSE-AGGREGATE GRADING SIZE 57, WITH 100 PERCENT PASSING A 1 1/4" (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 (2.36-MM) SIEVE.

H. FILTER MATERIAL: NARROWLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, OR CRUSHED STONE AND NATURAL SAND; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 67, WITH 100 PERCENT PASSING A 1" (25-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 4 (4.75-MM) SIEVE.

I. TRAP ROCK: NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE ASTM D 448; COARSE-AGGREGATE GRADING SIZE 1, WITH 100 PERCENT PASSING A 4-INCH (100-MM) SIEVE AND 0 TO 15 PERCENT PASSING A 1 1/2" (37.5-MM) SIEVE.

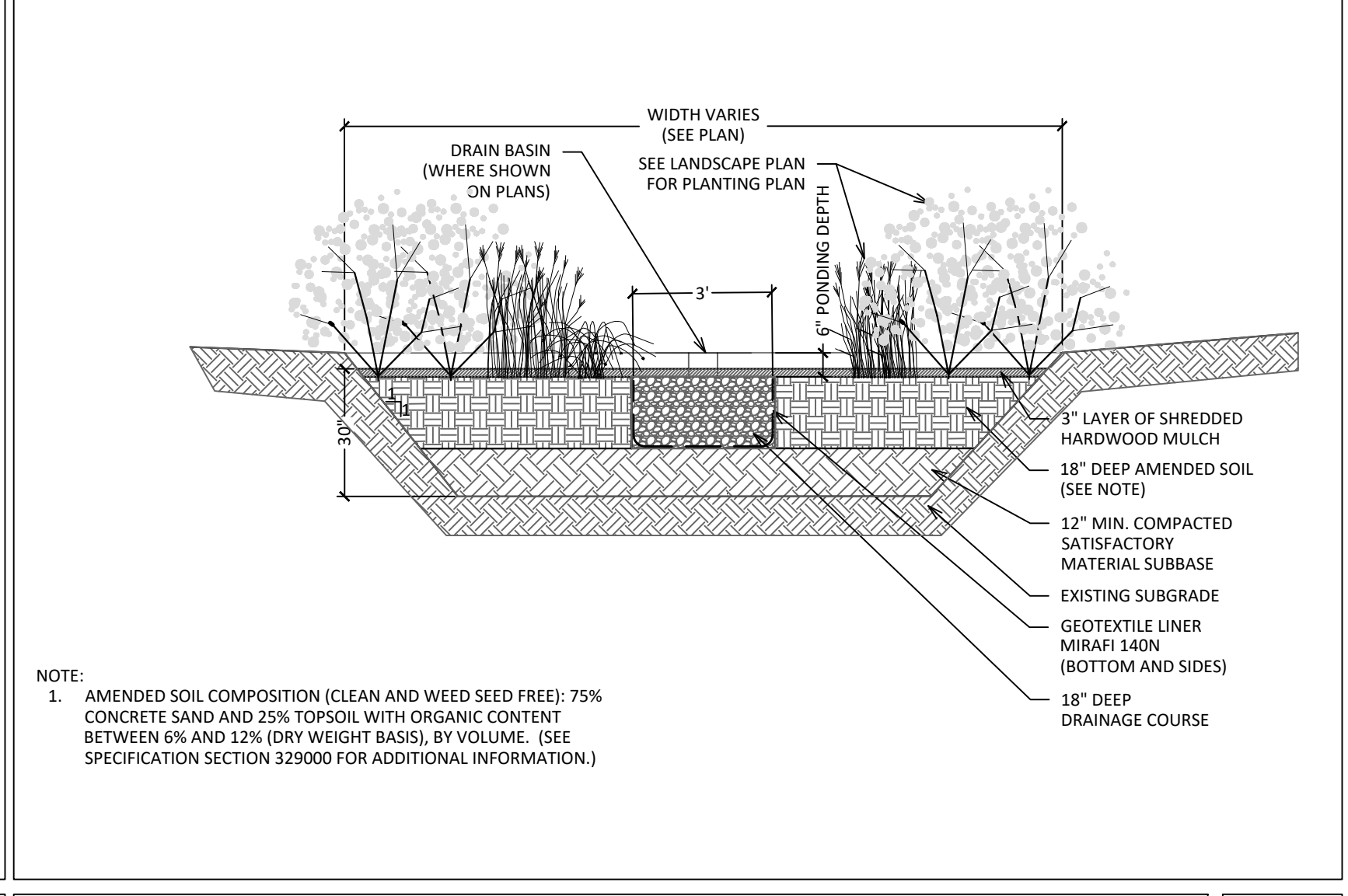
J. SAND: ASTM C 33; FINE AGGREGATE.

K. TOPSOIL: SEE PLANTING MEDIA PREPARATION AND PLACEMENT SPECIFICATION.

L. RECYCLED IMPORT MATERIAL NOT PERMITTED ON-SITE WITHOUT WRITTEN APPROVAL BY TOWN OF CORTLANDT.

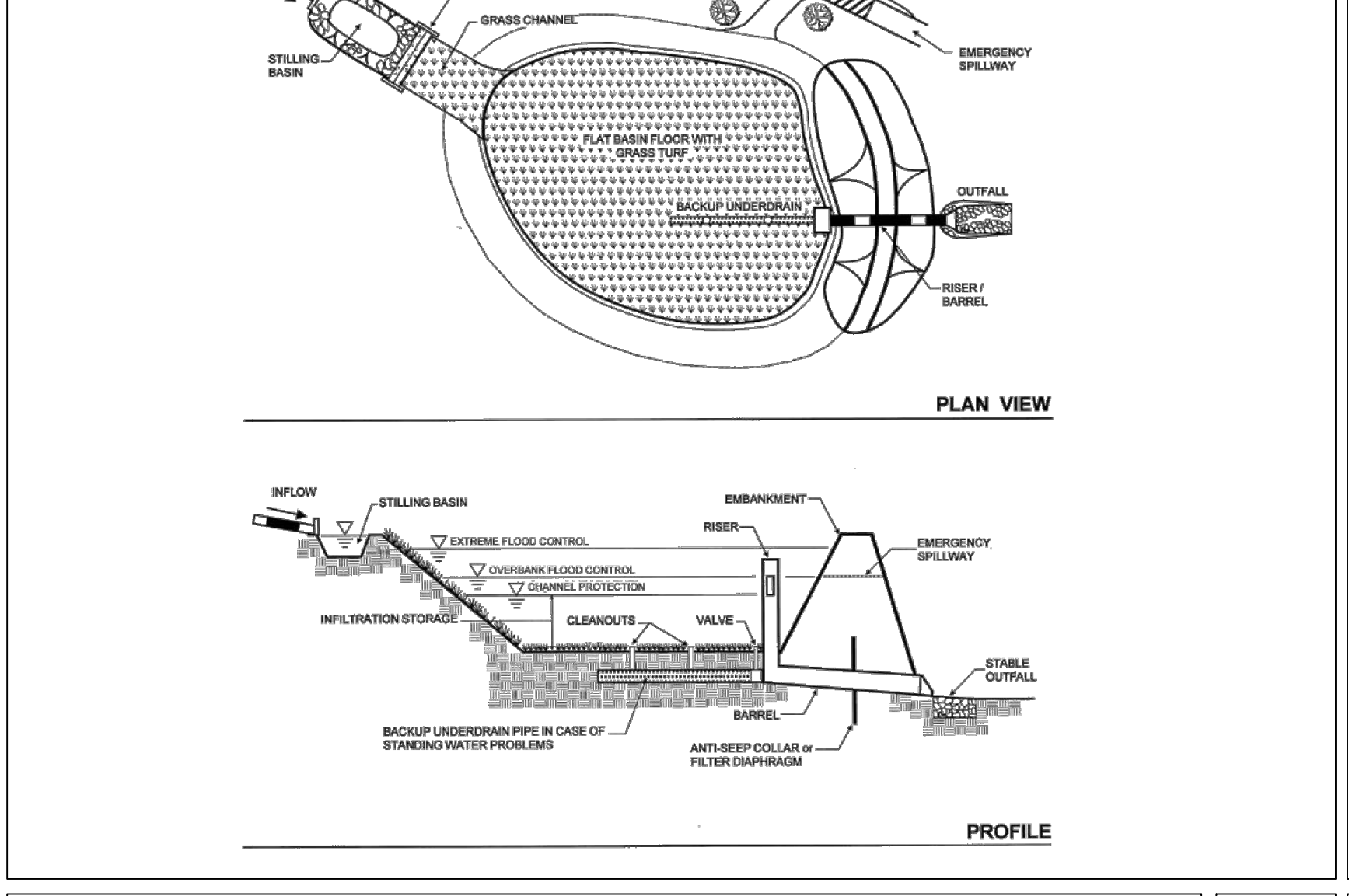
**SOIL MATERIALS**  
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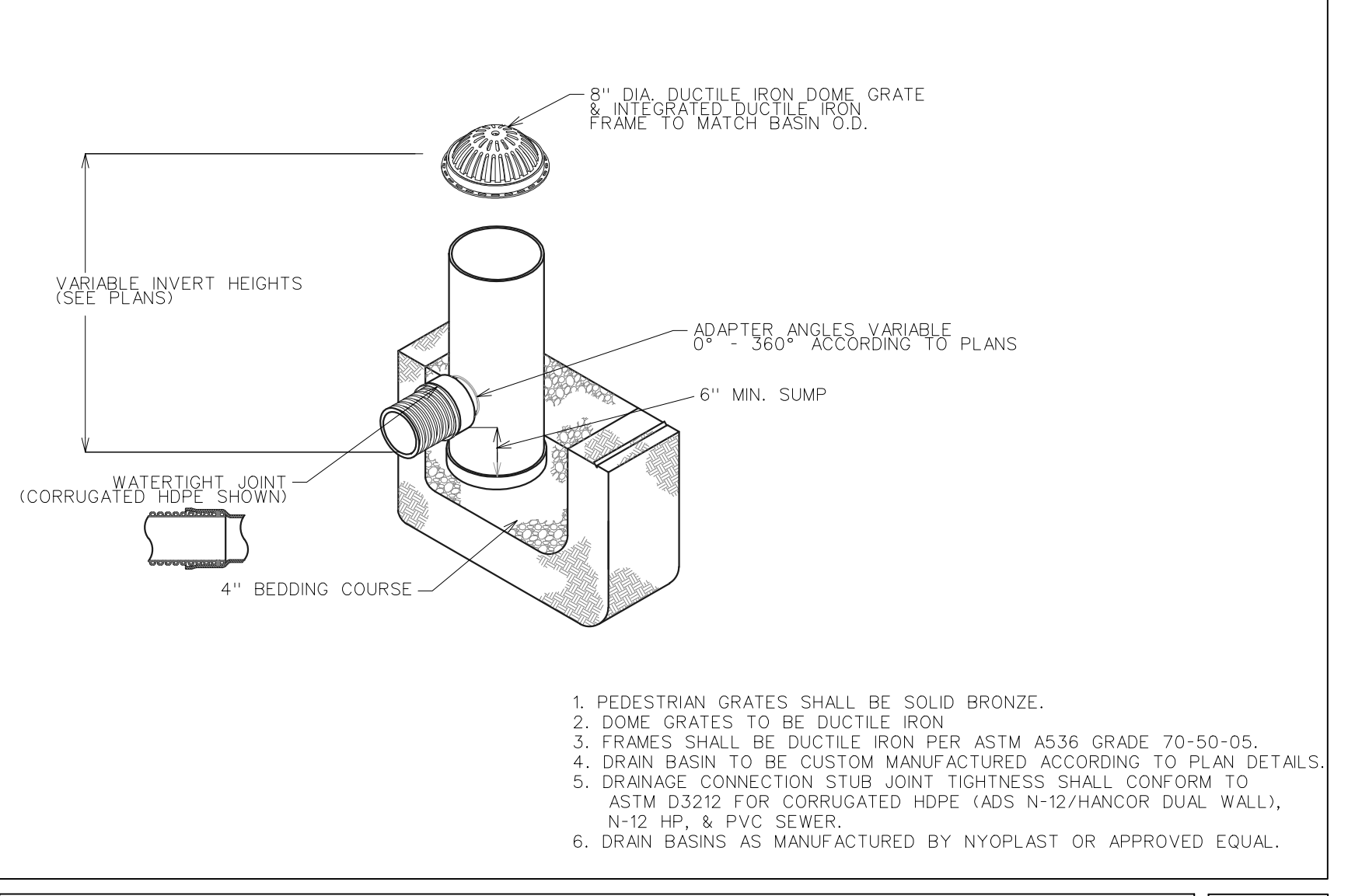
**RAIN GARDEN**  
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5



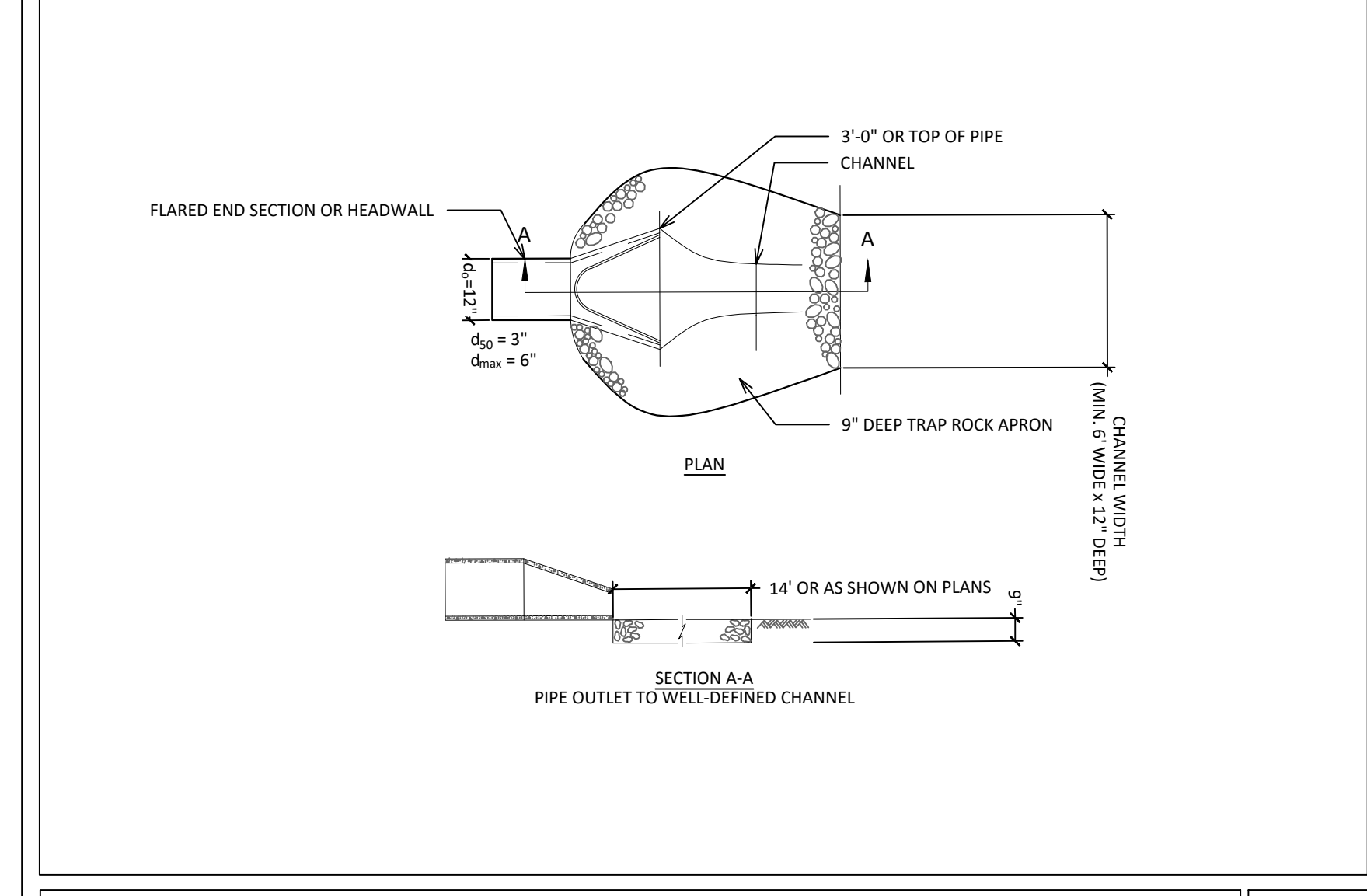
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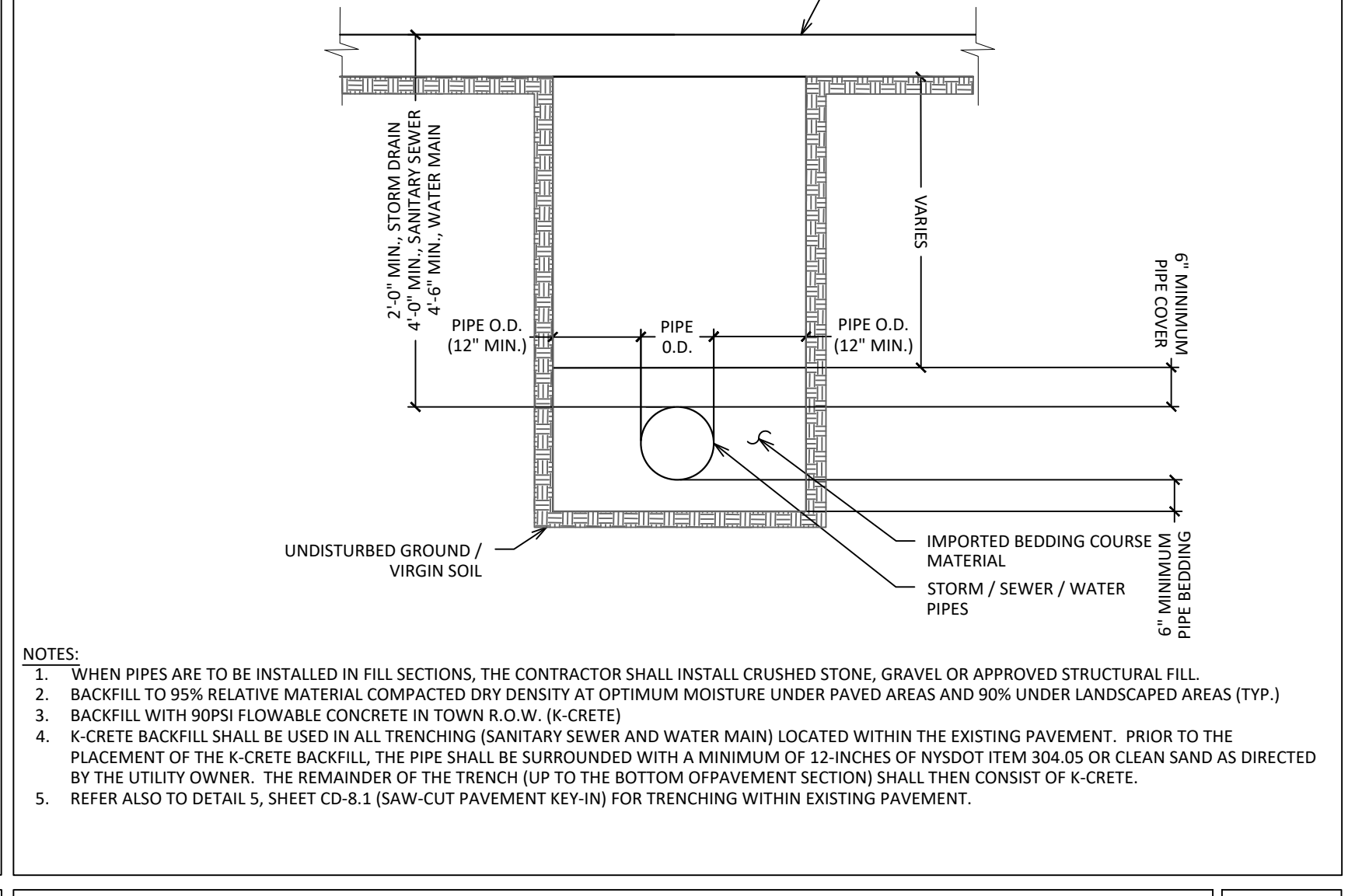
**OUTLET CONTROL STRUCTURE**  
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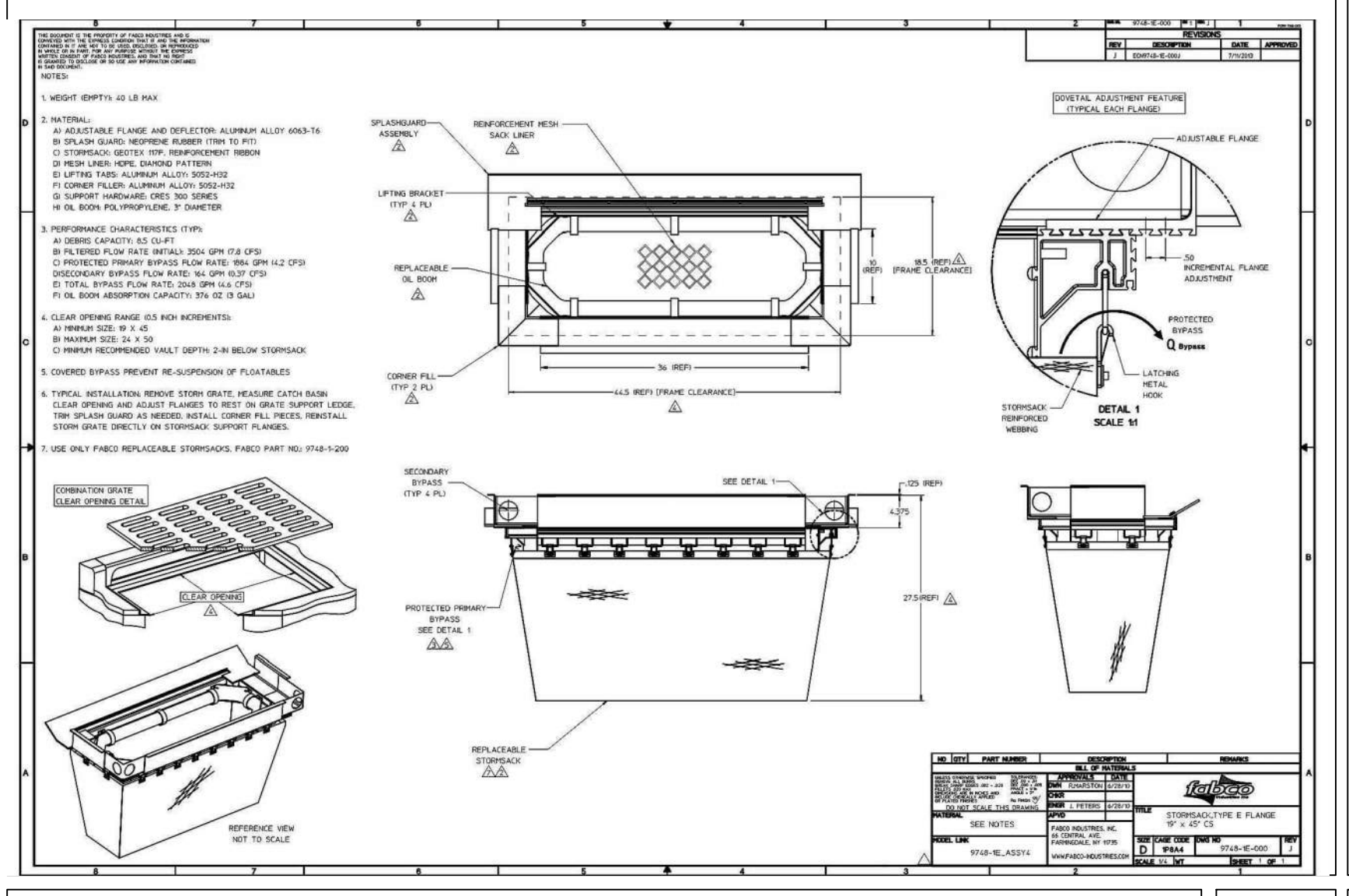
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8



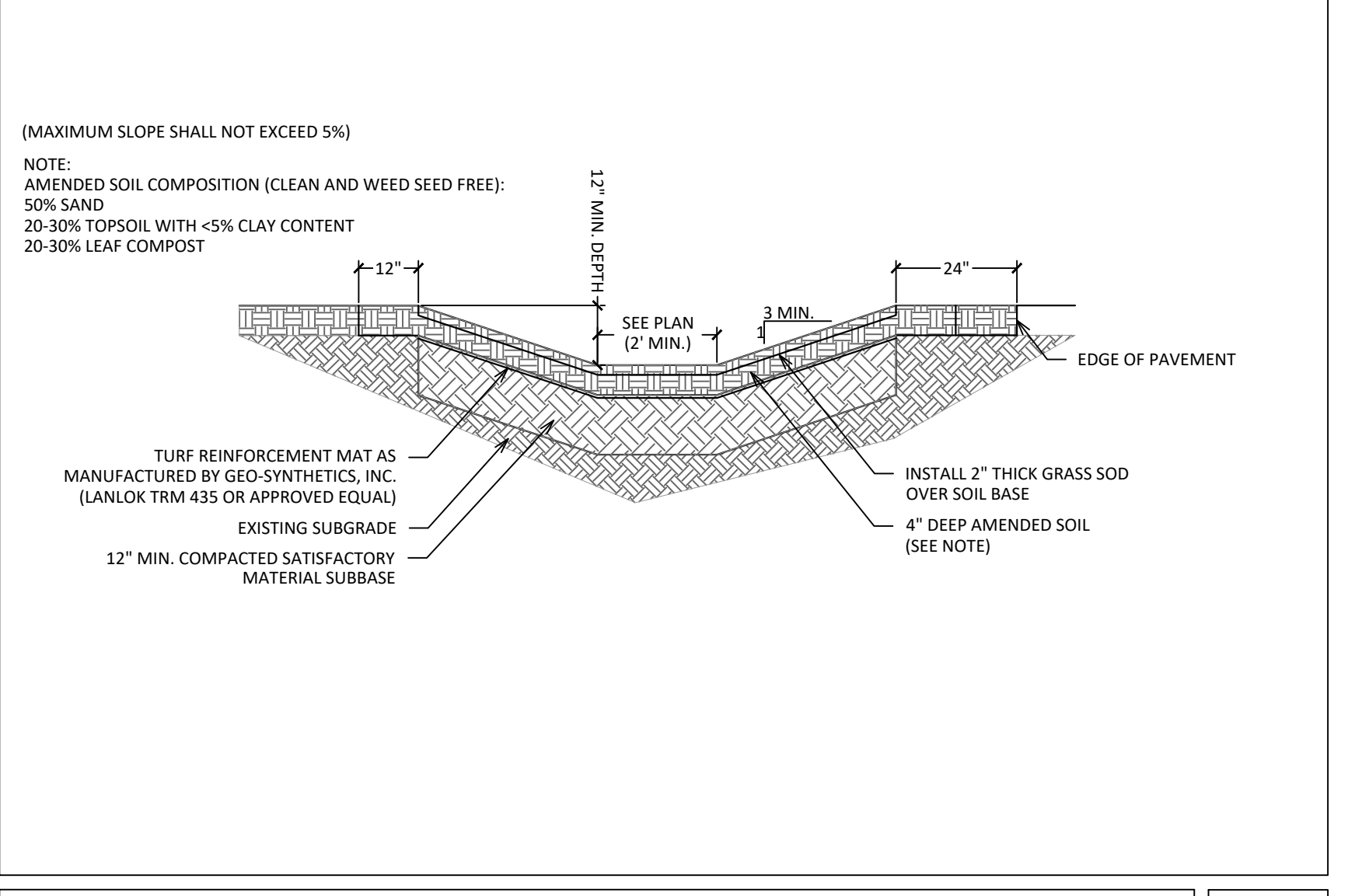
**TRENCH DETAIL (STORM / SEWER / WATER)**  
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9



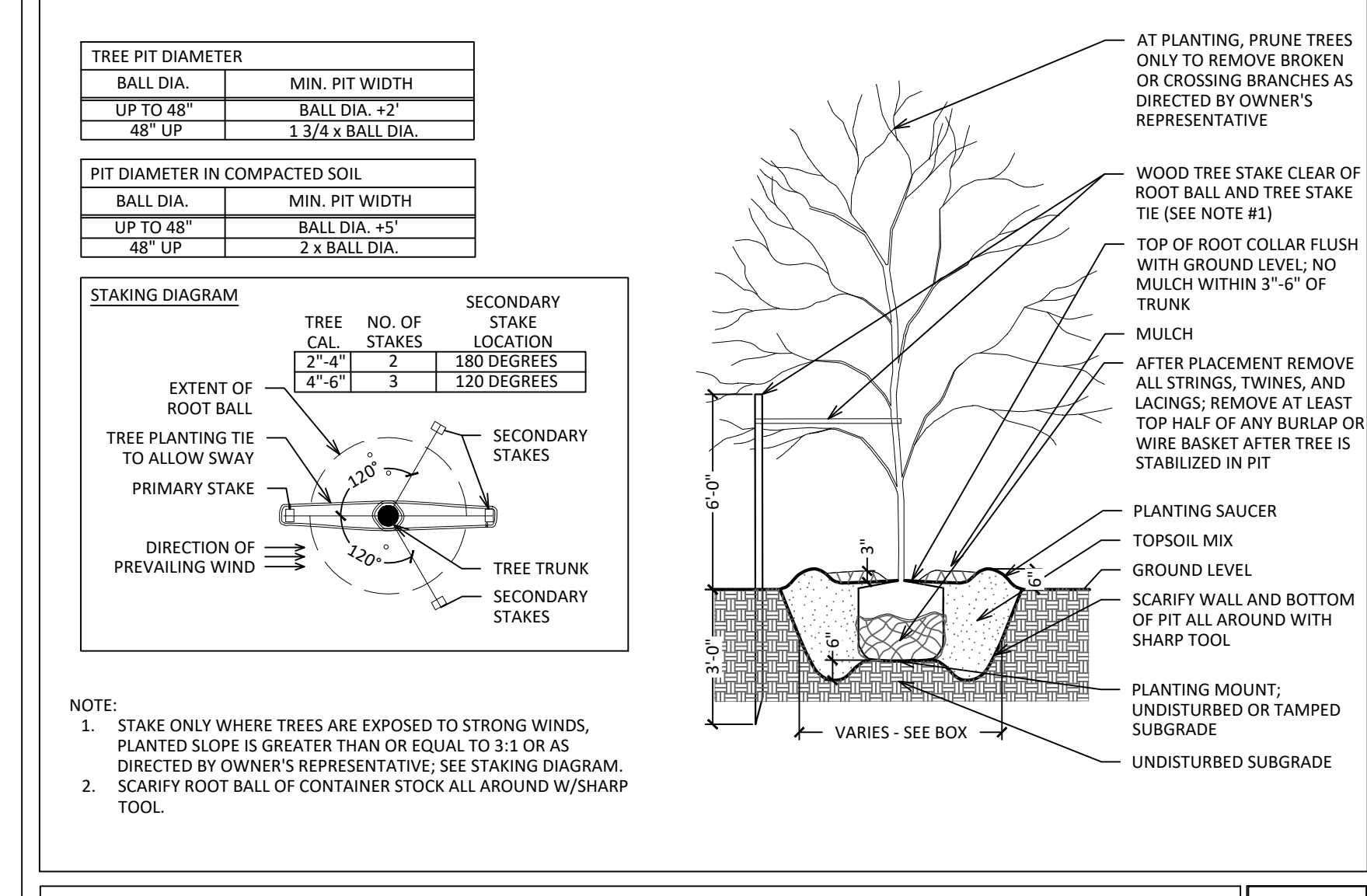
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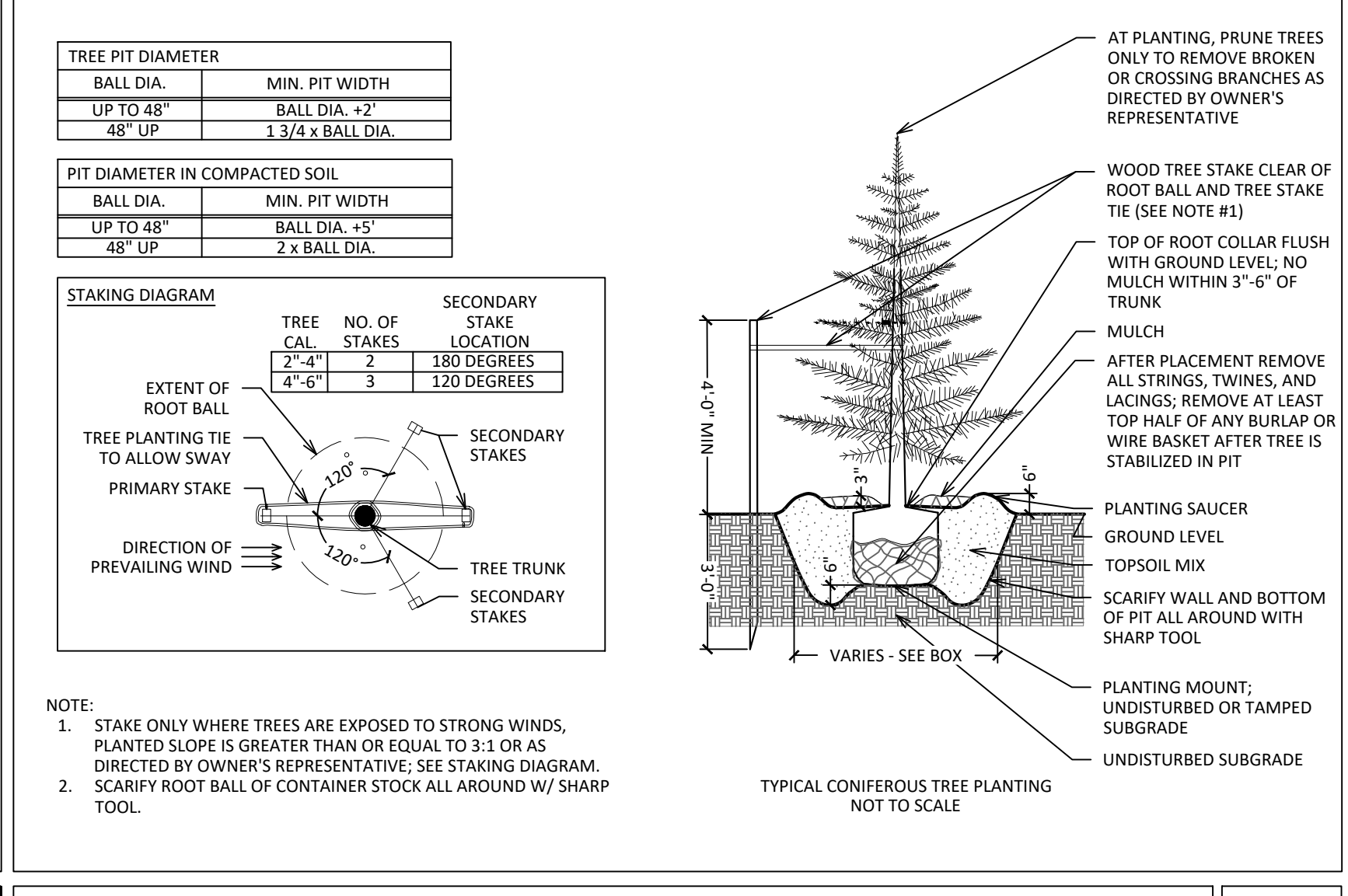
**GRASS SWALE**  
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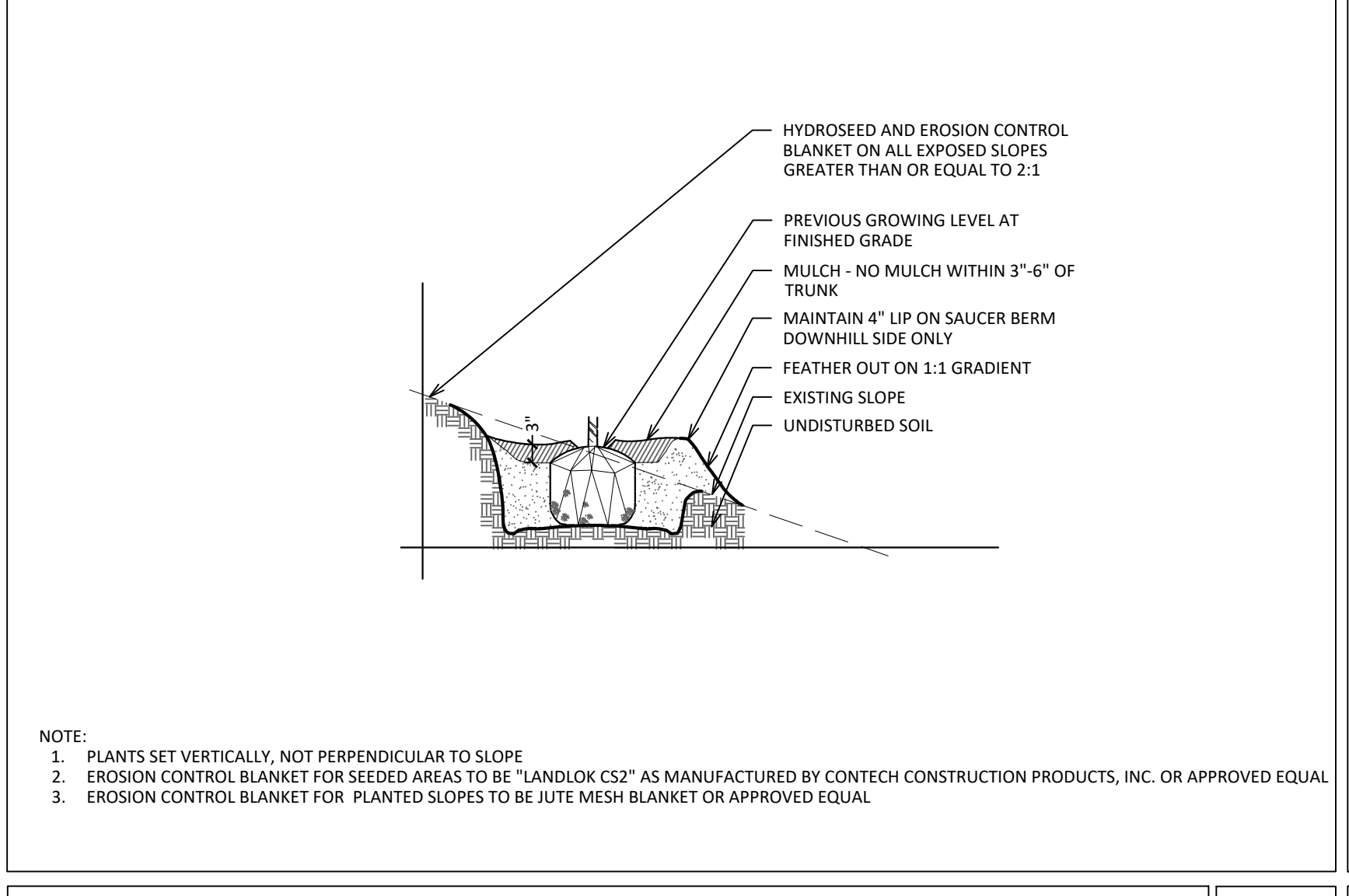
**DECIDUOUS TREE AND SHRUB PLANTING**  
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12



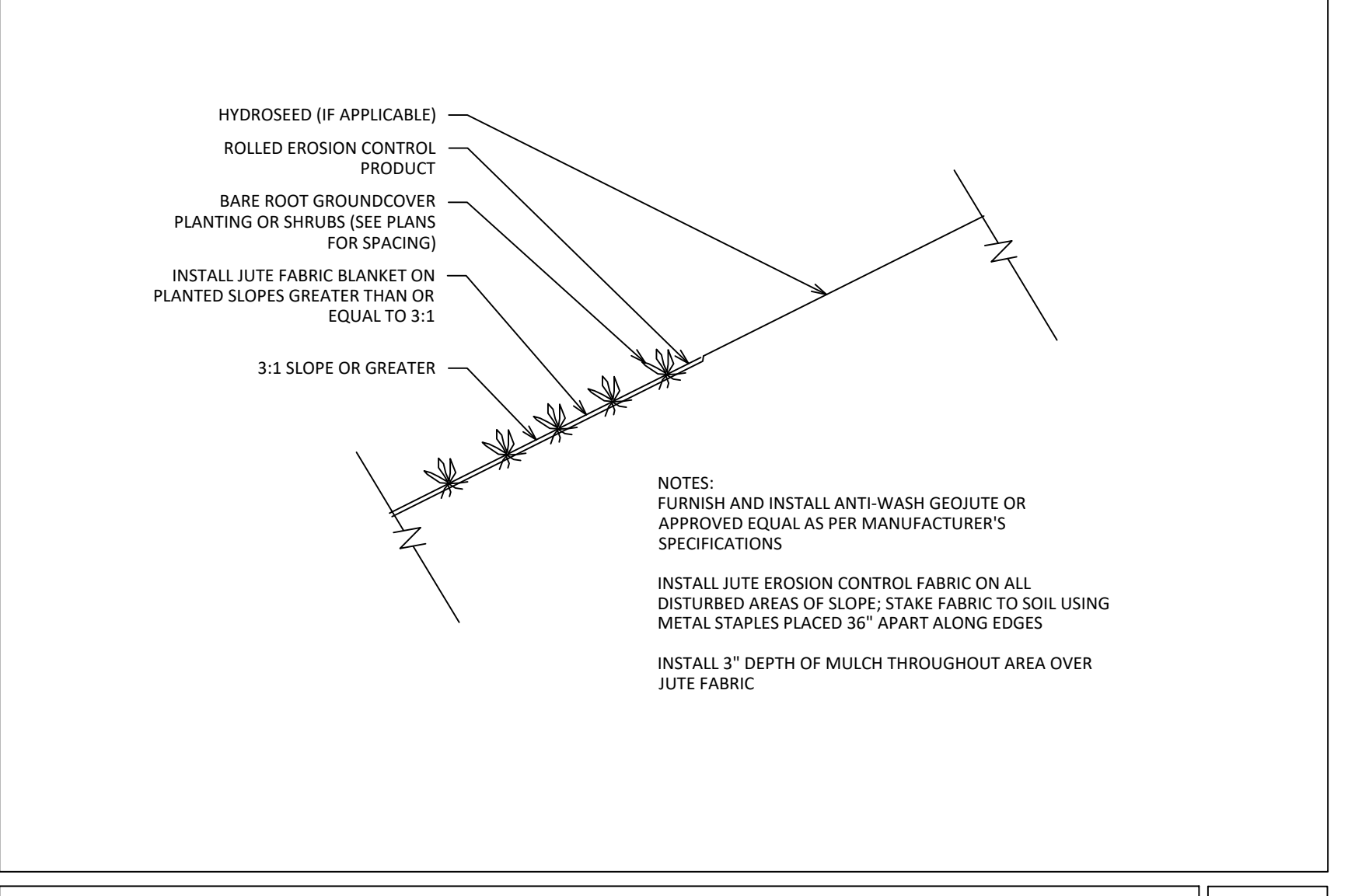
**EVERGREEN TREE PLANTING**  
SCALE: N.T.S.

13



**SLOPE PLANTING**  
SCALE: N.T.S.

14



**SLOPE STABILIZATION**  
SCALE: N.T.S.

15

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Town of Yorktown, New York

**OWNER / APPLICANT**  
SHRUB OAK INTERNATIONAL SCHOOL  
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**SURVEYOR**  
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05/19/22

**SITE AND UTILITY DETAILS**

STATE OF NEW YORK  
JULIUS ROSENBLUTH  
PROFESSIONAL ENGINEER  
008409

DRAWN BY: DM/MJS CHECKED BY: GMS  
PROJECT NO: 824 DATE: 03/16/22  
DRAWING NO: SP-4.2



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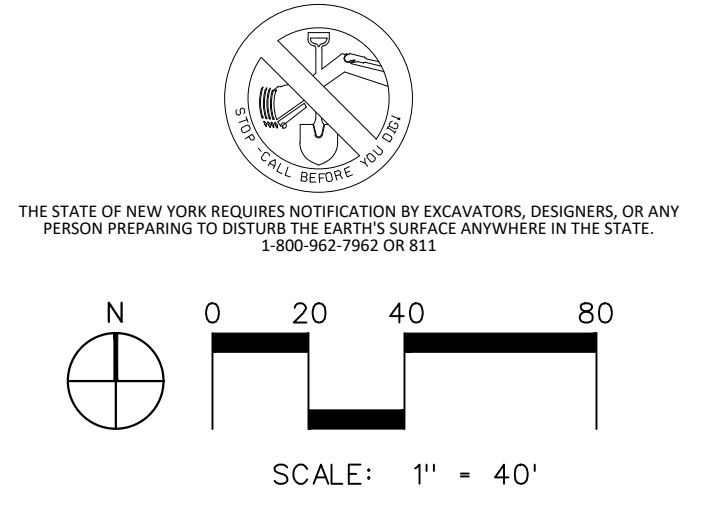
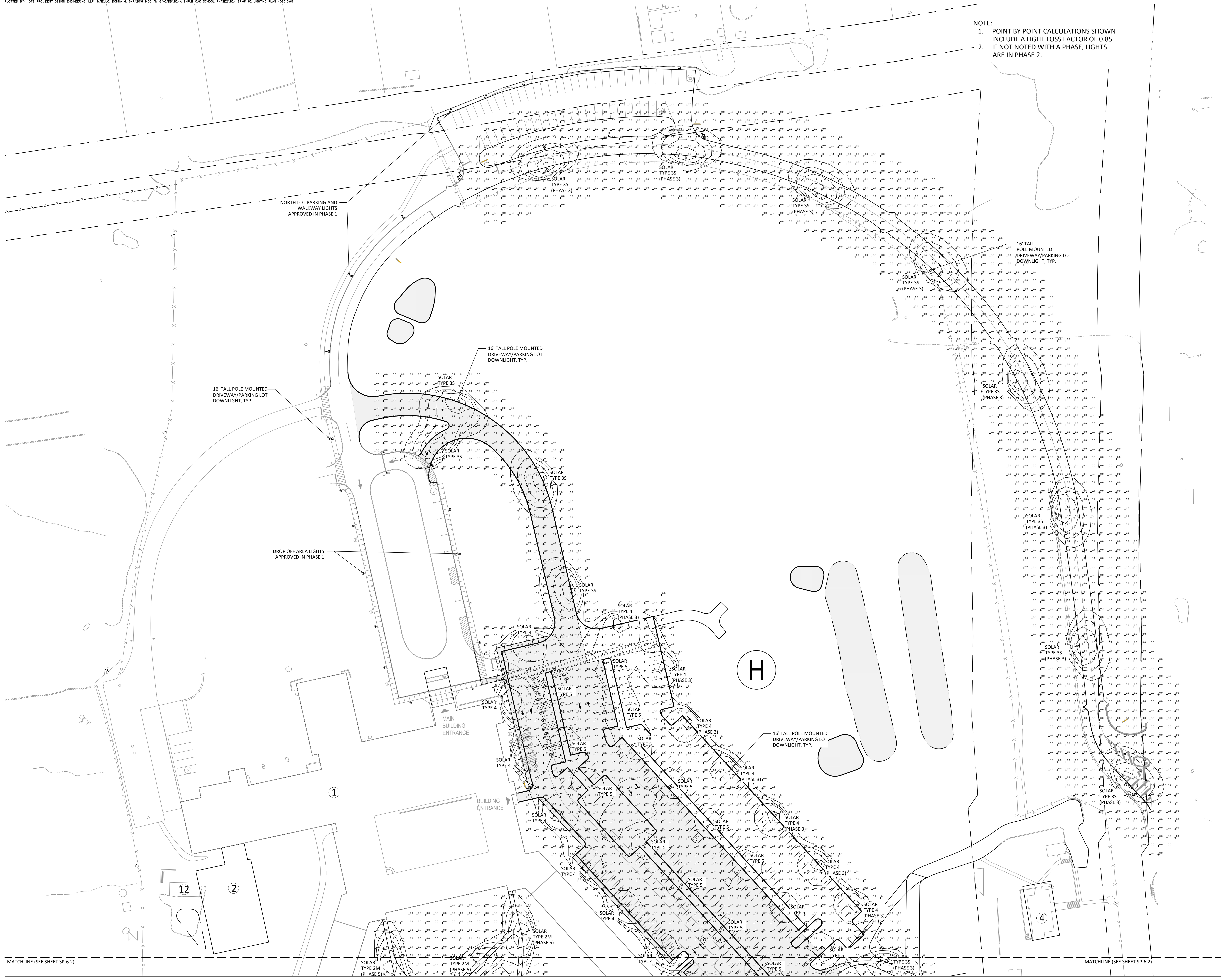
**MEP ENGINEER**

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**SURVEYOR**

BADEY & WATSON SURVEYING & ENGINEERING, P.C.  
3063 Route 9  
Cold Spring, NY 10516

- NOTE:**
1. POINT BY POINT CALCULATIONS SHOWN INCLUDE A LIGHT LOSS FACTOR OF 0.85
  2. IF NOT NOTED WITH A PHASE, LIGHTS ARE IN PHASE 2.



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05/19/22**

DRAWING TITLE:  
**SITE LIGHTING PLAN**

	DRAWN BY: DM/MJS	CHECKED BY: GMS
	PROJECT NO: 824	DATE: 03/16/22
	DRAWING NO: SP-6.1	



STONEY STREET

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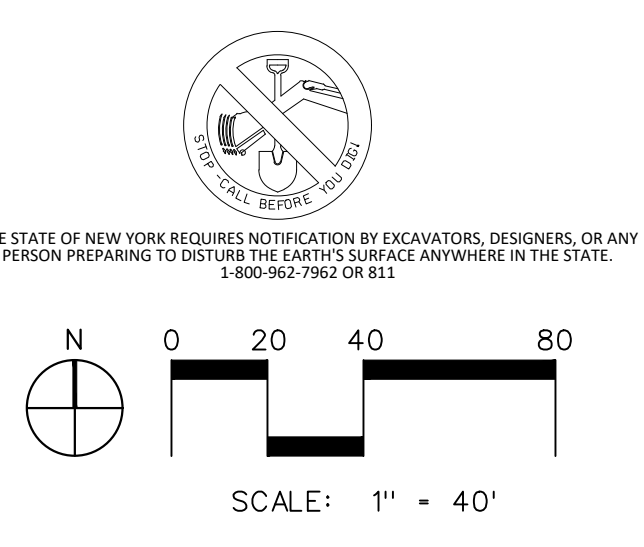
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Cold Spring, NY 10516



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NOT FOR CONSTRUCTION

NO.	DATE	ISSUE
03/16/22		PLANNING BOARD SUBMISSION

**DRAFT FOR REVIEW BY TOWN ENGINEER**  
**05/19/22**

**SITE LIGHTING PLAN**

	DRAWN BY: DM/MJS	CHECKED BY: GMS
	PROJECT NO.: 824	DATE: 03/16/22
	DRAWING NO.: <b>SP-6.2</b>	

- NOTE:**
1. POINT BY POINT CALCULATIONS SHOWN INCLUDE A LIGHT LOSS FACTOR OF 0.85
  2. IF NOT NOTED WITH A PHASE, LIGHTS ARE IN PHASE 2.

NEW YORK STATE INDUSTRIAL CODE 753 REQUIRES EXCAVATORS TO CALL THE DIG SAFELY NEW YORK ORGANIZATION (DIAL 811) AT LEAST 2, BUT NO MORE THAN 10 WORKING DAYS PRIOR TO AN EXCAVATION. NON-MEMBER UTILITIES MUST BE CONTACTED SEPARATELY.

Wetland boundary flags as set by Steven Marino of Vm Miller Associates, Inc. during April 2017, and located by Bailey & Watson on June 26, 2017.

LEGEND table listing symbols for CATCH BASIN, BRUSH, BUSHES, CAST IRON PIPE, CONTOUR LINE, CORRUGATED METAL PIPE, CORRUGATED PLASTIC PIPE, DROP INLET, FIRE HYDRANT, GAS VALVE, GUY, HEDGES, LAMP, MAIL BOX, MANHOLE, POLE, POLYETHYLENE GLYCOL PIPE, WOOD POST, REINFORCED CONCRETE PIPE, RETAINING WALL, SIGN (SMALL), SPOT ELEVATION, STONE WALL, TREE (CONIFER), TREE (DECIDUOUS), TRAILLINE, FERRUGINOUS CLAY PIPE, WATER VALVE, WATER FAUCET/VALVE.

SUBTERNEAN table listing symbols for ELECTRIC LINE (STRIPPED IN FIELD), DRAINAGE LINE (STRIPPED IN FIELD), DRAINAGE LINE (PLATE PROVIDED), SHERMAN LINE (STRIPPED IN FIELD), TELEPHONE LINE (STRIPPED IN FIELD), TELEVISION LINE (STRIPPED IN FIELD), WATER LINE (PLATE PROVIDED), WATER LINE (STRIPPED IN FIELD), GAS LINE (STRIPPED IN FIELD), FIRE LINE (STRIPPED IN FIELD), FIRE LINE (PLATE PROVIDED).

TREE LEGEND table listing symbols for SPECIES (OR - ORN) and TOP ELEVATION OF TREE. Includes a KEY for symbols like AL ALNANTRIS, AN ASPEN, AS ASPEN, BA BASSWOOD, BE BEECH, BR BIRCH, BU BUCKLE BERRY, BU BOX ELDER, BU BLACK BERRY, CA CATALPA, CD CEDAR, CH CHERRY, CI WHITE CEDAR, CO CYPRESS, CP COTTONWOOD, CR CROCKWOOD, FL FLAM, FO FERNBUSH, FD DORVILLEA, GR GRASS, GK GRASS, GR GRASS BANK HICKORY, HC HICKORY, HW HAWTHORN, HW HAWTHORN, HW HORSE CHESTNUT, HO HORSEMAN, HW HICKORY, JP JAPANESE MAPLE, LW LARCH, LG LOCUST, LU LINDEN, ZA PAULOWNIA.

Checked by G.W. Spell checked by BT. Drawn by DAP/MT. On 12-14-16. T.M. : 26.5-1-4 & 26.6-1-2.

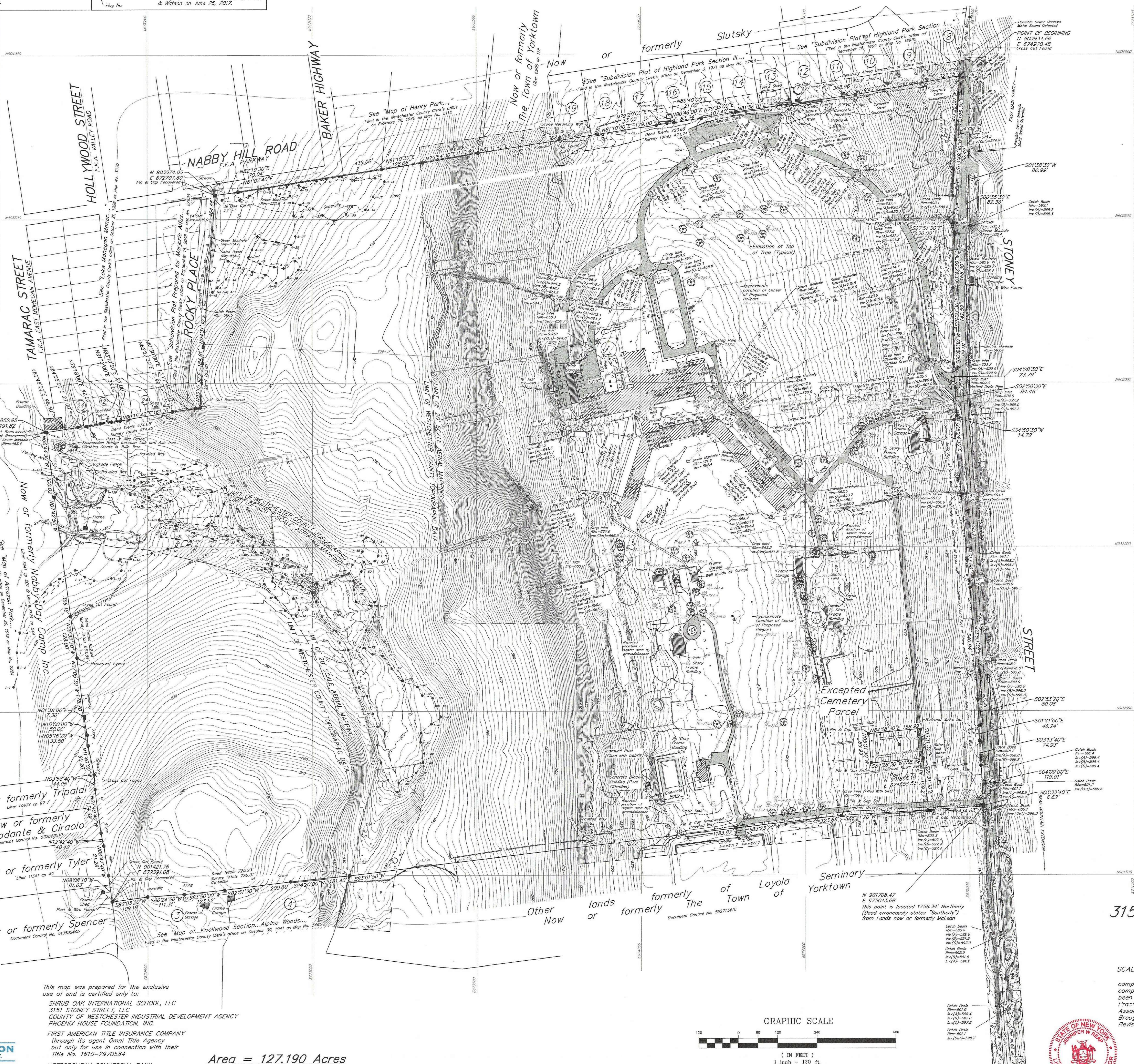
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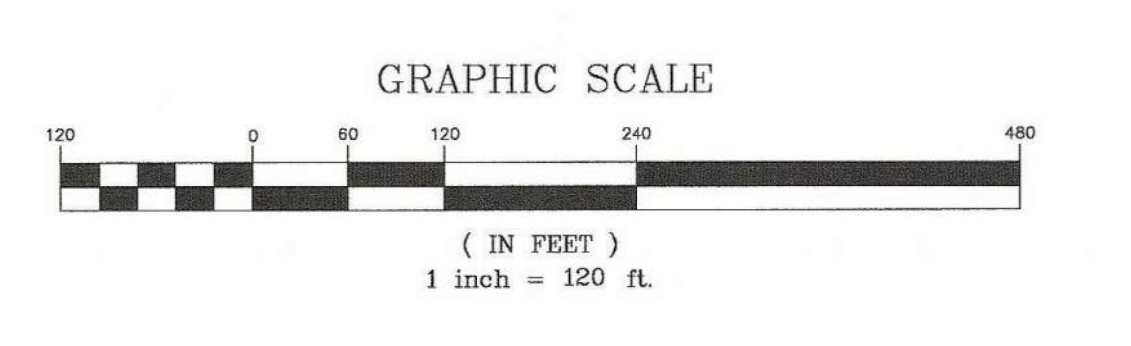
Checked by G.W. Spell checked by BT. Drawn by DAP/MT. On 12-14-16. T.M. : 26.5-1-4 & 26.6-1-2.



Notes section containing 12 numbered points detailing survey methods, data sources, and legal disclaimers. Includes references to 'Map of Henry Park' and 'Subdivision Plat of Highland Park Section III'.

This map was prepared for the exclusive use of and is certified only to: SHRUB OAK INTERNATIONAL SCHOOL, LLC; 3151 STONEY STREET, LLC; COUNTY OF WESTCHESTER INDUSTRIAL DEVELOPMENT AGENCY; PHOENIX HOUSE FOUNDATION, INC.; FIRST AMERICAN TITLE INSURANCE COMPANY through its agent Omni Title Agency but only for use in connection with their Title No. 1610-2970584; METROPOLITAN COMMERCIAL BANK its successors and/or assigns but only ATMA in mortgages to it by 3151 STONEY STREET, LLC.

Area = 127.190 Acres which excludes 0.329 acres in Cemetery Exception



SHEET 1 SURVEY OF PROPERTY PREPARED FOR 3151 STONEY STREET, LLC SITUATE IN THE TOWN OF YORKTOWN WESTCHESTER COUNTY NEW YORK

SCALE 1 in. = 120 ft. DECEMBER 14, 2016 We hereby certify that the survey shown hereon was completed by us on December 14, 2016 and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Brought to date on August 30, 2017. Revised on April 9, 2018. See Note 12.



BADEY & WATSON Surveying & Engineering, P.C. by [Signature] NEW YORK STATE LICENSED LAND SURVEYOR LICENSE No. 50389

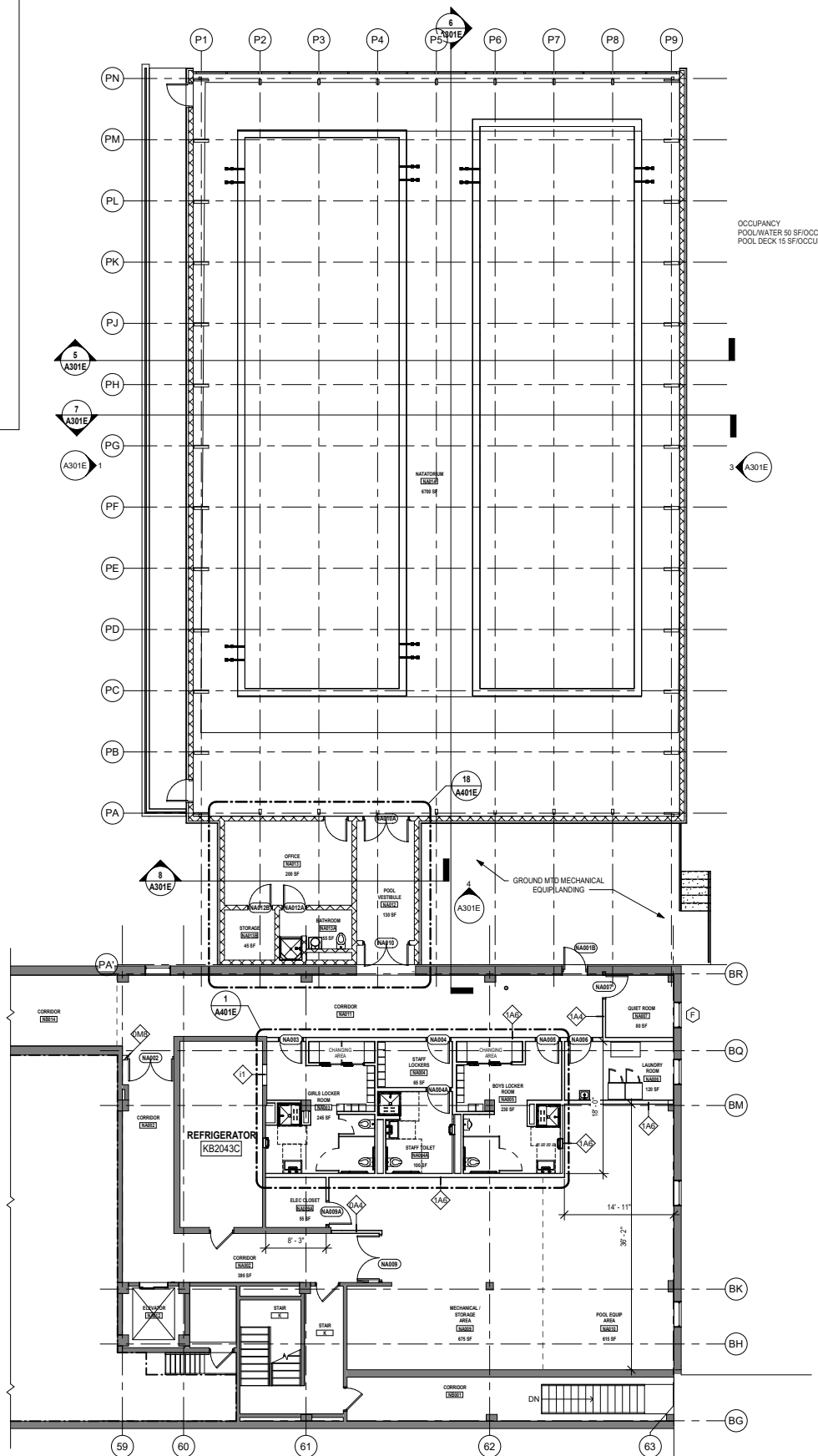
PRINTED MAY 11 2018 BADEY & WATSON Surveying & Engineering, P.C.

SHRUB OAK INTERNATIONAL SCHOOL

3151 STONEY STREET  
SHRUB OAK, NY 10547



- GENERAL PLAN NOTES**
- DENOTES AREA OF NO MAJOR ARCHITECTURAL RENOVATION WORK. SPECIFIC WORK MAY BE SHOWN ELSEWHERE. REFER TO M.E.P. DWGS.
  - DENOTES DOOR NUMBER SEE A802 FOR DOOR SCHEDULE. SEE SPECS. FOR HARDWARE SETS & INFO.
  - RW DENOTES RESCUE WINDOW SEE A303
  - DENOTES EXISTING WALL TO REMAIN (MOST EXISTING WALLS ARE MASONRY)
  - DENOTES 3hr RATED WALL
  - DENOTES WALL TYPE & FIRE RATING, WHERE SHOWN (SEE A001)
  - DENOTES HOLLOW METAL FRAME w/ SIDELITE OR TRANSOM (SEE A303)
  - FINISH SCHEDULE & ABBREVIATION LIST - SEE DWG. A303
  - ALL CORRIDOR WALLS ARE TO HAVE AT LEAST A 1hr FIRE RATING (EVEN IF NOT LABELED)
  - DIMENSIONS SHOWN FOR INTERIOR WALLS ARE: FACE OF STRUCTURE OR FACE OF CMU
  - FACE OF ADJACENT WALL TO EDGE OF DOOR FRAME IS 4" (TYP) U.N.O. (SEE A & B ON A302)
  - MBB, TB4 - DENOTES MARKERBOARD OR TACKBOARD OF SPECIFIED LENGTH (FT)
  - SB - DENOTES "SMART BOARD" FURNISHED BY OWNER, INSTALLED BY G.C.
  - DENOTES EXISTING DOOR TO REMAIN (U.N.O.)
  - DENOTES NEW DOOR, FRAME, & HARDWARE. SEE NOTE 2 (ABOVE)
  - DOOR NUMBER LEGEND  
LOCATION → LEVEL  
E125 → RM #
  - WALL MOUNTED DATA OUTLET - VIF + SEE ELEC. DWGS
  - WALL MOUNTED TELEPHONE - VIF + SEE ELEC. DWGS
  - DENOTES WINDOW TYPE, SEE DWG A303



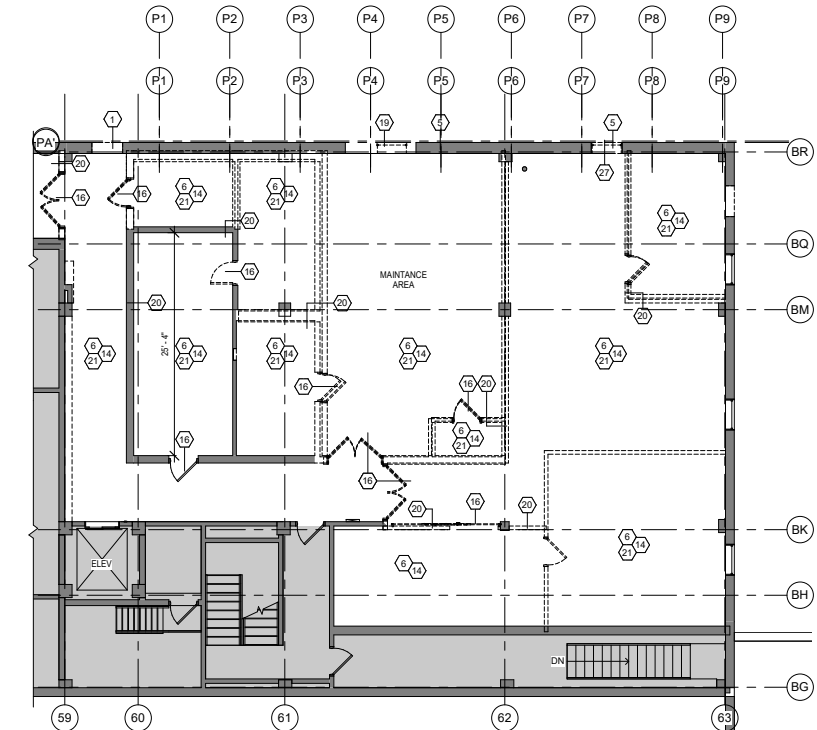
2 PARTIAL BASEMENT FLOOR PLAN @ NATATORIUM AREA  
1/8" = 1'-0"

**DEMOLITION NOTES**

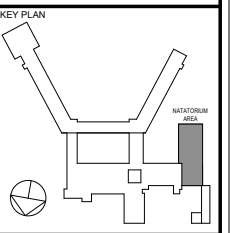
- DENOTES AREA OF NO MAJOR ARCHITECTURAL WORK. SPECIFIC WORK MAY BE SHOWN ELSEWHERE INCLUDING WORK THAT MAY REQUIRE ACCESS, PATCHING & RESTORATION. REFER TO STRUCTURAL & M.E.P. DWGS.
- DENOTES EXISTING CONSTRUCTION TO BE DEMOLISHED (U.N.O.).
  - MOST EXISTING INTERIOR WALLS ARE OF MASONRY CONSTRUCTION w/ CEMENT PLASTER & LATH.
  - MOST EXISTING EXTERIOR WALLS ARE BRICK w/ BLOCK BACKUP & SOME HAVE INNER WYTHE OF BLOCK w/ CEMENT PLASTER & LATH.
- DENOTES EXISTING WALL TO REMAIN
- PRIOR TO ANY DEMOLITION CONTRACTORS ARE REQUIRED TO BE FAMILIAR WITH EXISTING CONDITIONS. SHORING MAY BE NEEDED INCLUDING INSTALLATION OF LINTELS PRIOR TO THE REMOVAL OF ANY BUILDING ELEMENT.
- COORDINATE ALL DEMOLITION w/ M.E.P. REMOVALS. NOTE: ALL WIRING, DEVICES & M.E.P. SYSTEMS NOT BEING REMOVED AS PART OF THE WORK, WHICH RUN THROUGH THE WORK AREA, SHALL BE TESTED, LABELED & PROTECTED FROM DISTURBANCE SO THEY REMAIN OPERATIONAL THROUGHOUT THE PROJECT.
- "ANY PAPER FACE GWS SHOWING SIGNS OF MOLD OR MILDEW TO BE REMOVED"

**NATATORIUM AREA DEMO KEY NOTES**

Key Value	Keynote Text
1	REMOVE & DISPOSE EXIST WINDOWS, FRAMES & ALL ASSOCIATED HARDWARE, INCLUDING RELATED WINDOW SHADES & BLINDS - PREP OPENING FOR INSTALLATION OF NEW WINDOW SYSTEM - COORD WINDOW REMOVAL w/ ASBESTOS ABATEMENT - TYP
2	REMOVE EXIST DOOR AND ALL ASSOCIATED HARDWARE, EXIST JAMB TO REMAIN, PREP FOR NEW DOOR INSTALLATION - COORD w/ NEW CONSTRUCTION
3	REMOVE & DISPOSE EXIST DOOR, FRAME AND ALL ASSOCIATED HARDWARE - COORD, INFILL w/ NEW CONSTRUCTION
4	REMOVE & DISPOSE EXIST WALL HUNG SINK & RELATED HANGERS, WALL HUNG MIRROR, SUPPLY & WASTE LINES - PATCH & MATCH TO EXIST ADJACENT SURFACES - COORD w/ MEP DWGS FOR ALL REQUIRED WORK - TYP
5	CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQ. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW LINTELS IN EXIST MASONRY WALLS AS REQ. - COORD WITH STRUCTURAL & NEW CONSTRUCTION
6	REMOVE & DISPOSE EXIST FLOOR FINISHES & RELATED BASEBOARD TO EXIST CONCRETE SLAB - COORD FLOOR FINISH REMOVAL w/ ASBESTOS ABATEMENT - SELF LEVEL EXIST EXPOSED CONCRETE FLOOR FOR INSTALLATION OF NEW FLOOR FINISHES & RELATED BASEBOARD - TYP
7	REMOVE & DISPOSE EXIST CEILING TILE SYSTEM, INCLUDING BUT NOT LIMITED TO CEILING TILES, MASTIC, LIGHT FIXTURES ETC. TO ALLOW FOR INSTALLATION NEW ACT CEILING SYSTEM & LIGHT FIXTURES - COORD CEILING TILE & MASTIC REMOVAL w/ ASBESTOS ABATEMENT & RELATED ELECTRICAL WORK - TYP
8	REMOVE & DISPOSE EXIST PLUMBING FIXTURES, SUPPLIES, WASTES & RELATED COMPONENTS - COORD REMOVAL w/ MEP DWGS - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
9	REMOVE & DISPOSE EXIST TOILET PARTITIONS & ALL RELATED HARDWARE - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
10	REMOVE & DISPOSE EXIST CMU MASONRY WALL FLOOR TO CEILING - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
11	REMOVE & DISPOSE EXIST TILE FLOOR TO EXIST CONCRETE SLAB - COORD FLOOR FINISH REMOVAL w/ ASBESTOS ABATEMENT - PREP EXIST EXPOSED CONCRETE FLOOR FOR INSTALLATION OF NEW CERAMIC TILE FLOOR - COORD w/ FINISH SCHEDULE FOR RELATED WALL TILES AND ACCESSORIES - TYP
12	REMOVE & DISPOSE EXIST WALLS, FROM FLOOR TO STRUCTURE ABOVE - PATCH & MATCH TO ADJACENT SURFACES
13	REMOVE & DISPOSE ALL EXIST WALL FINISHES - PREP ALL WALLS TO RECEIVE NEW WALL FINISHES, INCLUDING BUT NOT LIMITED TO REMOVAL OF ALL PEELING PAINT, REMOVAL OF WALL COVERINGS, PLASTER REPAIR, ETC.
14	CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQ. PREP FOR NEW DOOR - PROVIDE NEW HEADER IN EXIST WALLS AS REQ. - COORD WITH STRUCTURAL & NEW CONSTRUCTION
15	REMOVE EXISTING DOOR, FRAME, AND ALL ASSOCIATED HARDWARE - PATCH & MATCH TO ADJACENT SURFACES - COORD w/ NEW CONSTRUCTION
16	REMOVE EXIST WINDOW ASSEMBLY & RELATED HARDWARE, INFILL OPENING TO MATCH ADJACENT SURFACES - PREP OPENING TO RECEIVE NEW EXTERIOR LOUVER SYSTEM - TYP
17	REMOVE & DISPOSE EXIST WALL TO STRUCTURE ABOVE - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
18	REMOVE & DISPOSE EXIST CEILING HUNG LIGHT FIXTURES & RELATED HANGERS - PATCH & MATCH TO EXIST ADJACENT SURFACES - COORD w/ MEP DWGS FOR ALL REQUIRED WORK - TYP
19	CLEAN & SCARIFY EXISTING FLOOR & WANSKOT TILES. PREP FLOOR FOR APPLICATION OF NEW FLOOR FINISH. PREP TILE WANSKOT FOR NEW EPOXY PAINT FINISH.
20	REMOVE & DISPOSE EXIST WINDOWS, FRAMES & ALL ASSOCIATED HARDWARE, INCLUDING RELATED WINDOW SHADES & BLINDS - PREP OPENING FOR INSTALLATION OF NEW DOOR SYSTEM - COORD WINDOW REMOVAL w/ ASBESTOS ABATEMENT - TYP



1 PARTIAL BASEMENT - NATATORIUM MAINTENANCE AREA DEMO PLAN  
1/8" = 1'-0"



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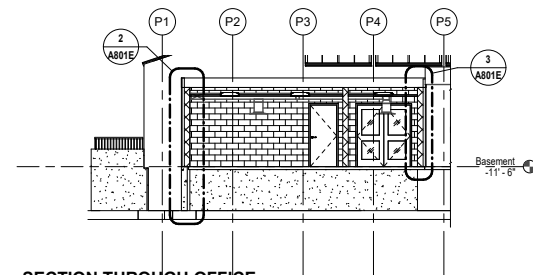
Professional Seal

3 03/09/2022 AQUATICS CENTER SD  
No. Date Issue

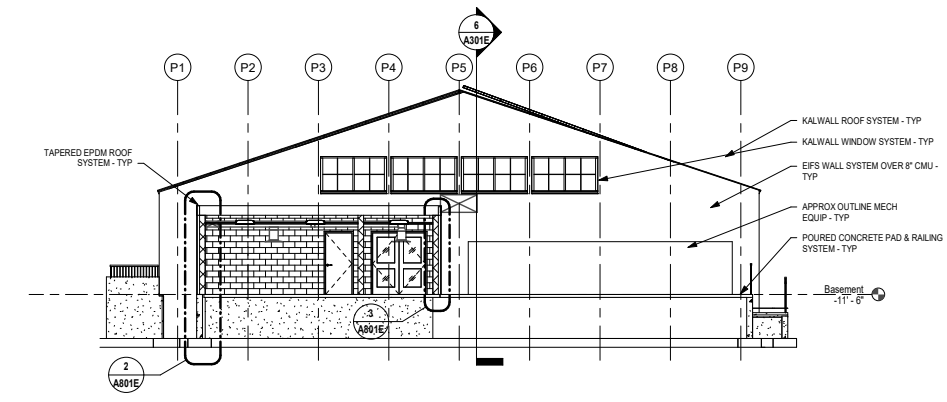
**NATATORIUM PLANS**

Job No. 2020-1037 Date 11/19/2020  
Scale AS NOTED Drawn / Checked Author Checker  
Sheet Number

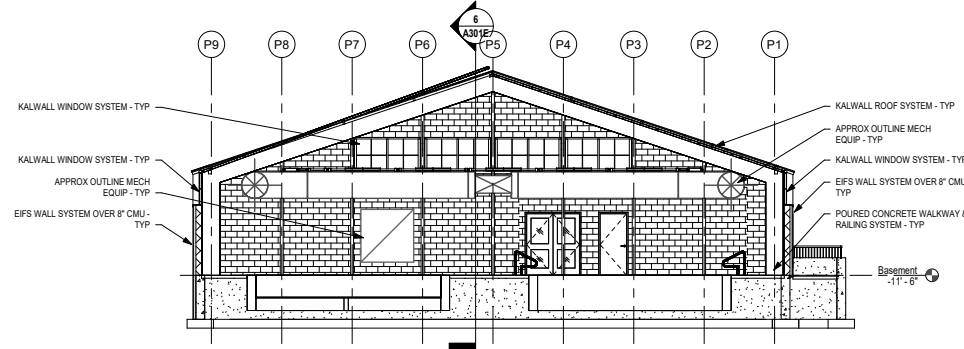
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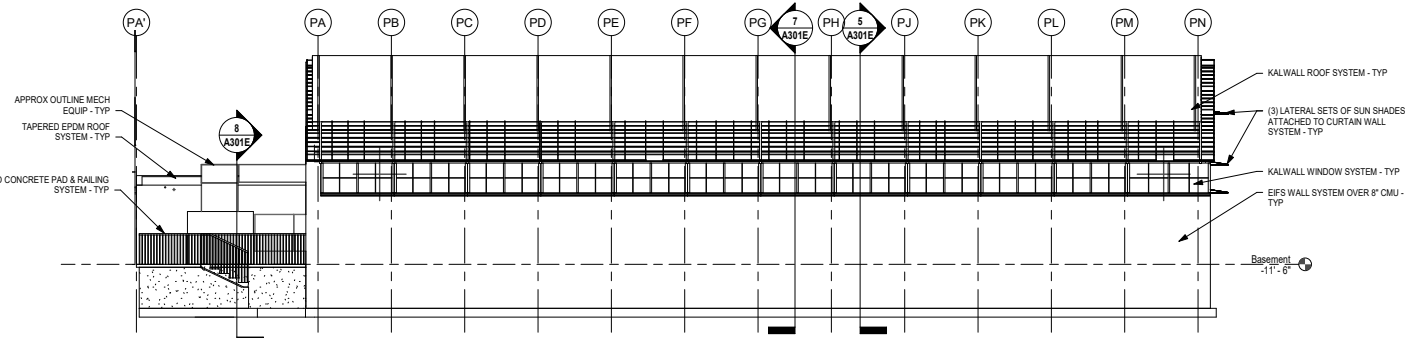
**8** SECTION THROUGH OFFICE & CORRIDOR  
SCALE: 1/8" = 1'-0"



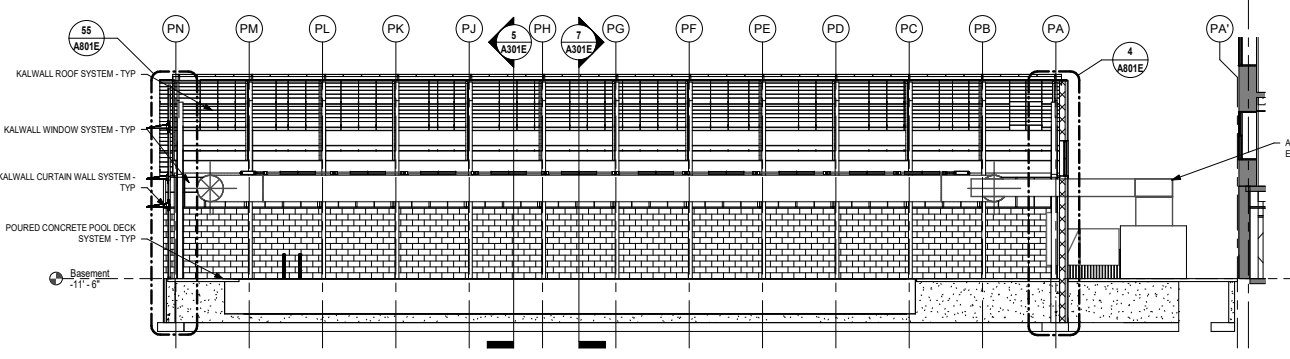
**4** NATATORIUM NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"



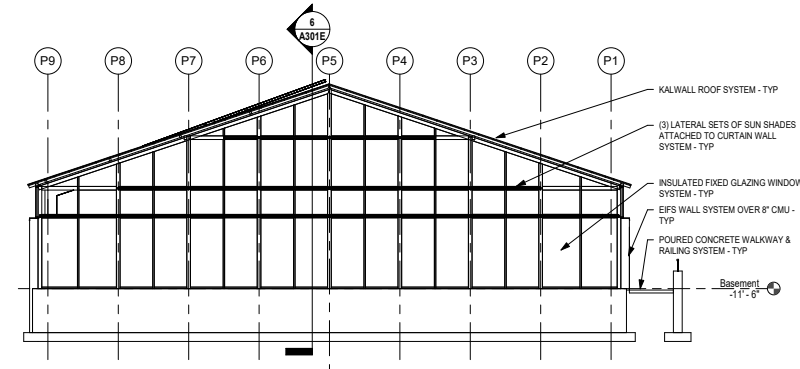
**7** LATERAL SECTION THROUGH NATATORIUM - NORTH  
1/8" = 1'-0"



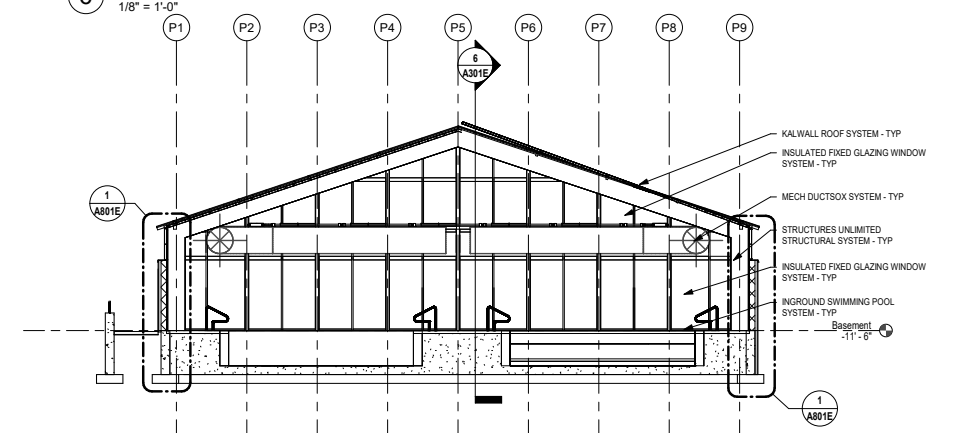
**3** NATATORIUM WEST EXTERIOR ELEVATION  
1/8" = 1'-0"



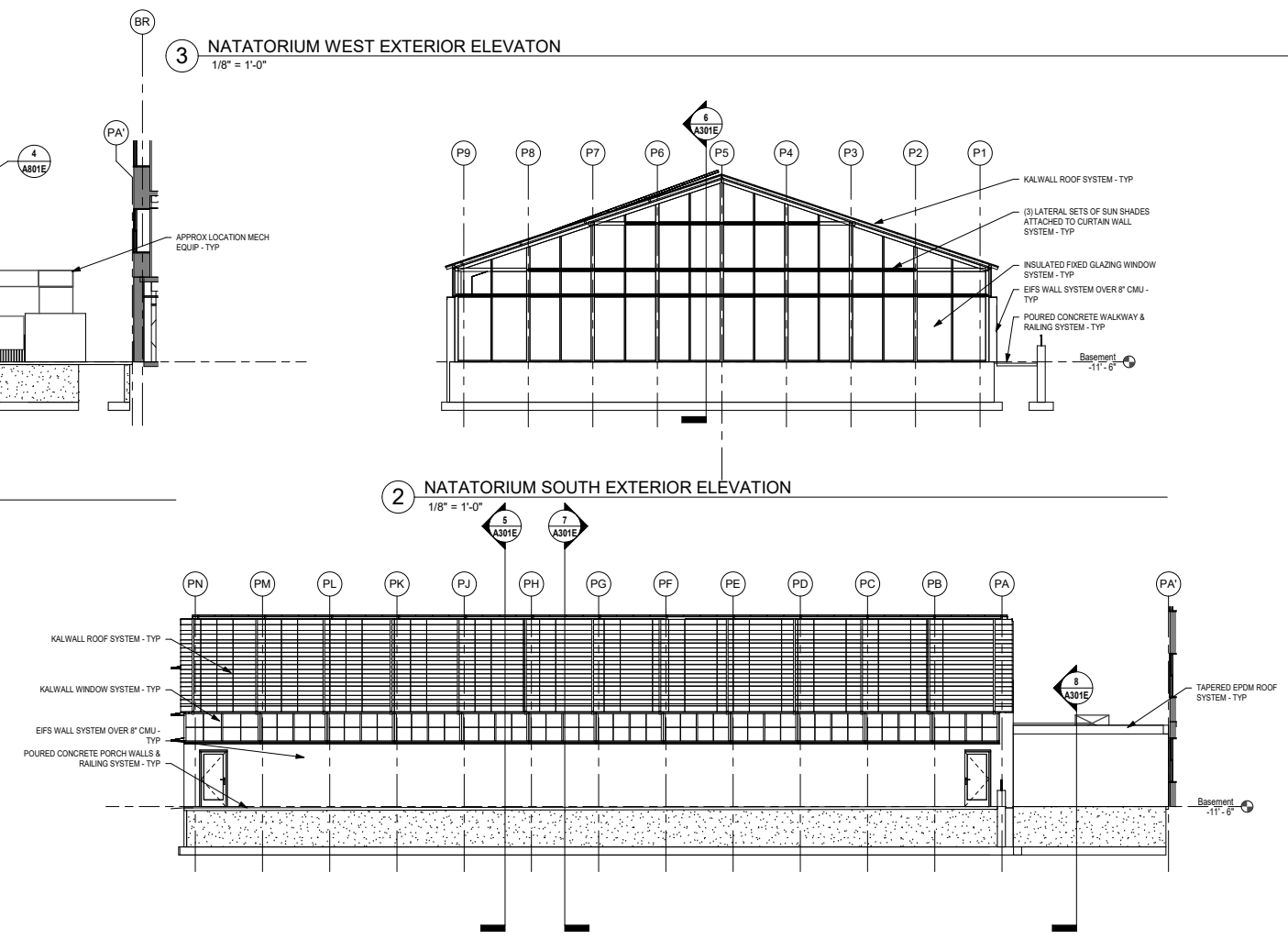
**6** LONGITUDINAL SECTION THROUGH NATATORIUM - WEST  
1/8" = 1'-0"



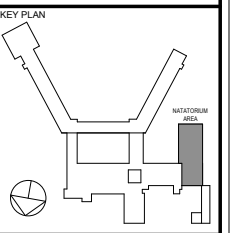
**2** NATATORIUM SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



**5** LATERAL SECTION THROUGH NATATORIUM - SOUTH  
1/8" = 1'-0"



**1** NATATORIUM EAST EXTERIOR ELEVATION  
1/8" = 1'-0"



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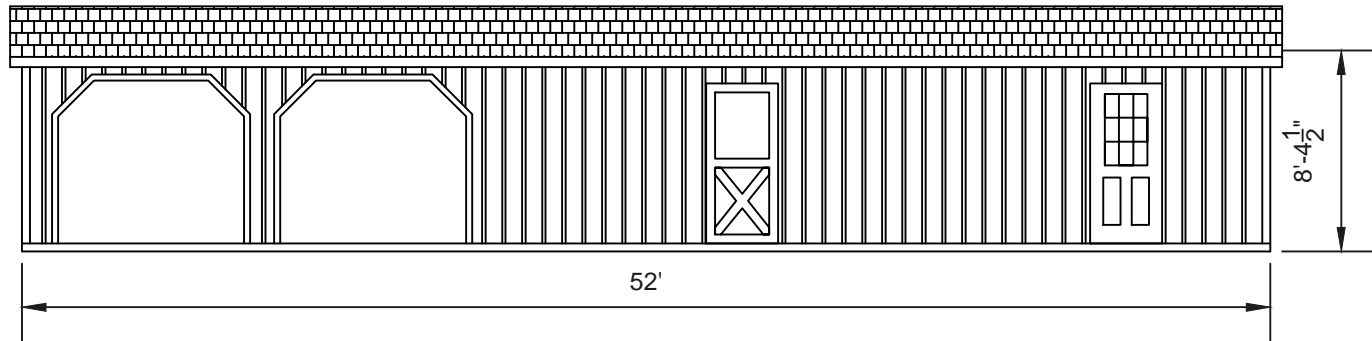
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3	03/09/2022	AQUATICS CENTER SD	
No.	Date	Issue	

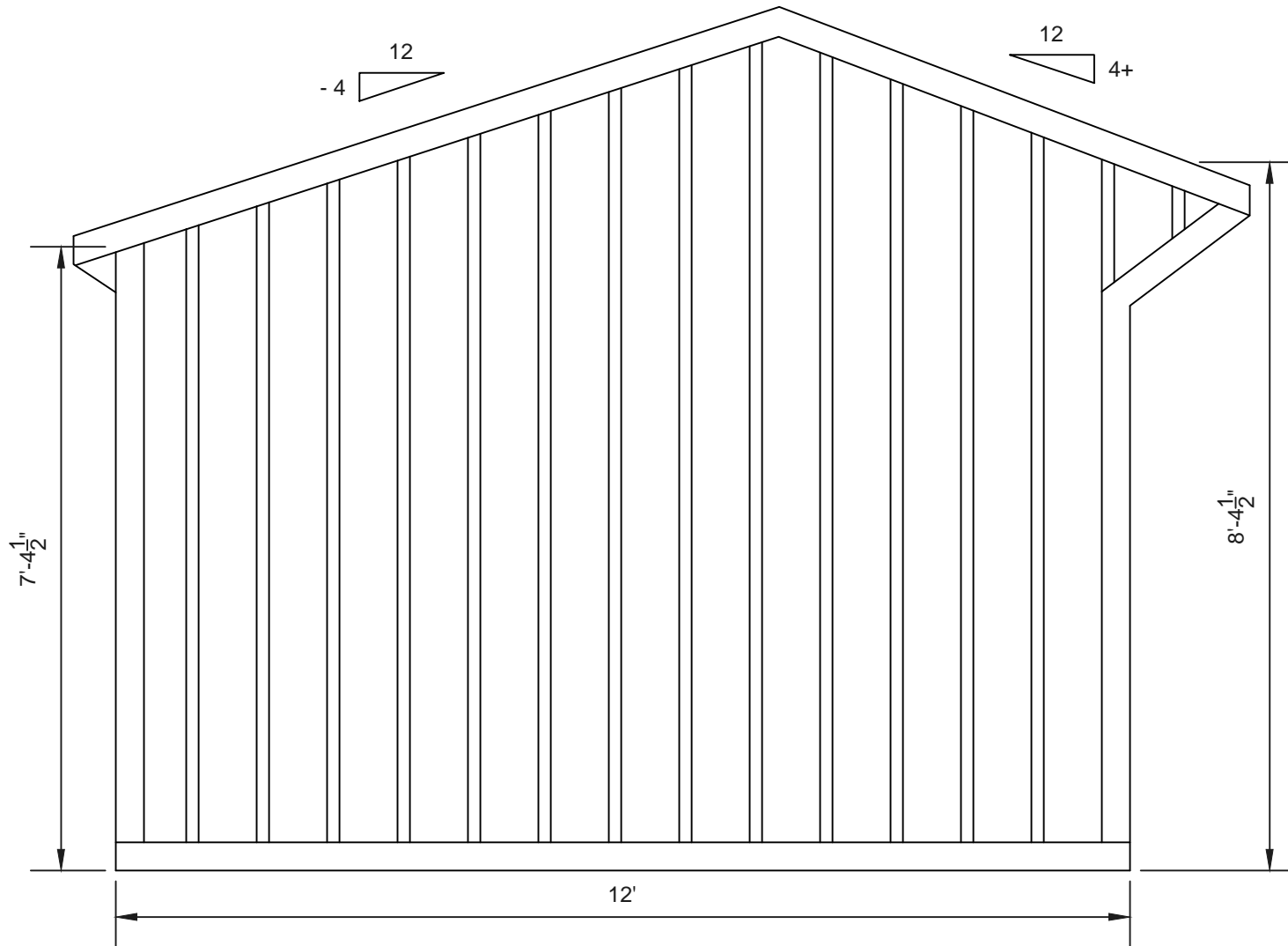
**NATATORIUM  
EXTERIOR  
ELEVATIONS**


Job No.	2020-1037	Date	11/19/2020
Scale	AS NOTED	Drawn / Checked	Author Checker
Sheet Number			

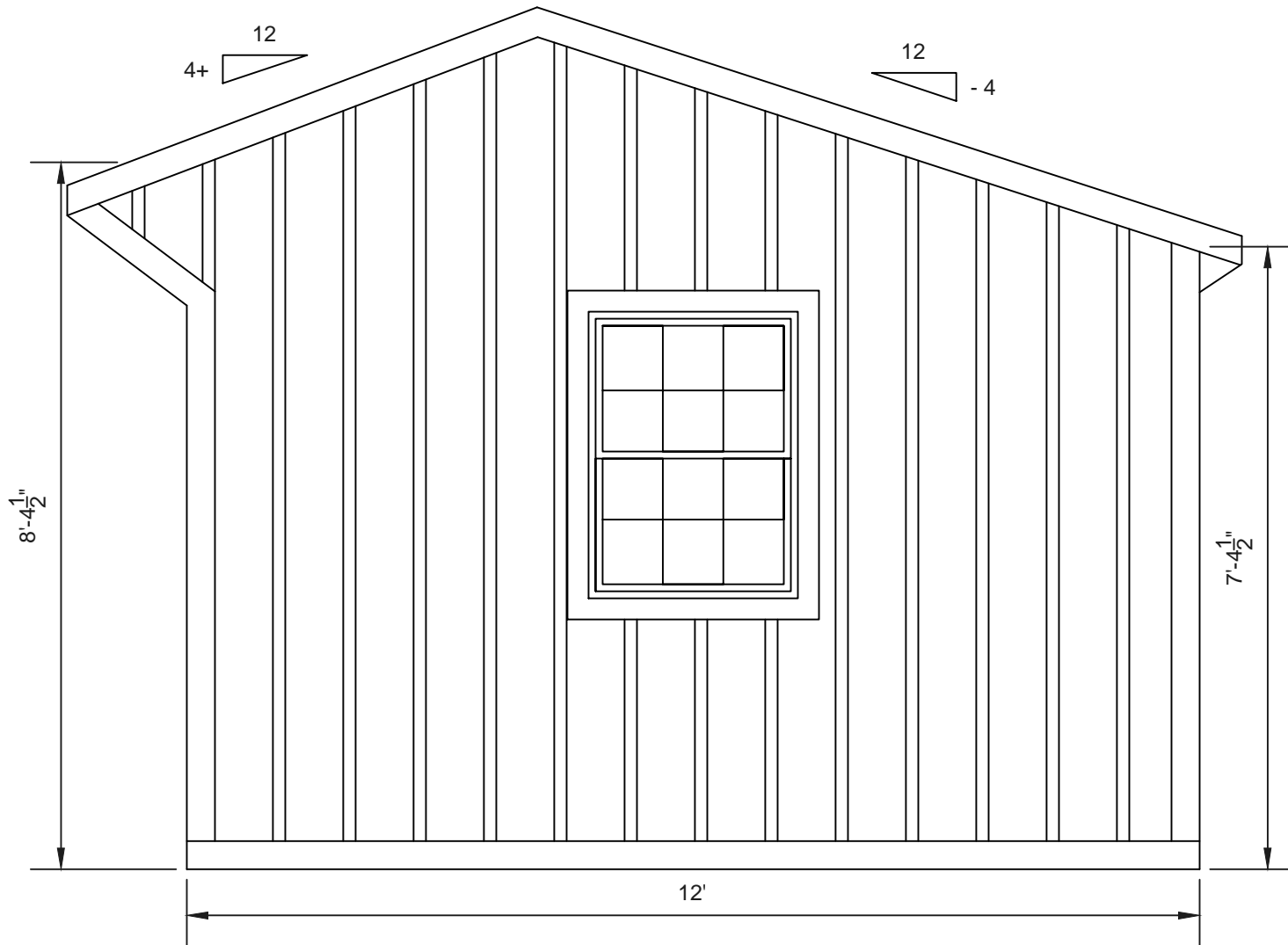
**A301E**




<b>DESIGN</b>	<b>CONTRACTOR</b>	<b>CUSTOMER</b>	<b>DRAWN BY:</b> David S.	<b>PLAN NO:</b> 18249
 <b>structures LLC</b> PAHIC # PA025372	Brads Barns 903 NY Route 28 Kingston, NY 12401	The Shrub Oak International School Koffler 3151 Stoney Street Mohegan Lake, NY 10547	<b>DATE:</b> November 19, 2020	<b>REVISIONS:</b> 2
			<b>PLAN-DESCRIPTION</b>	
			12' x 52' Run-In Shed Front Elevation Scale: 1/8" = 1'	

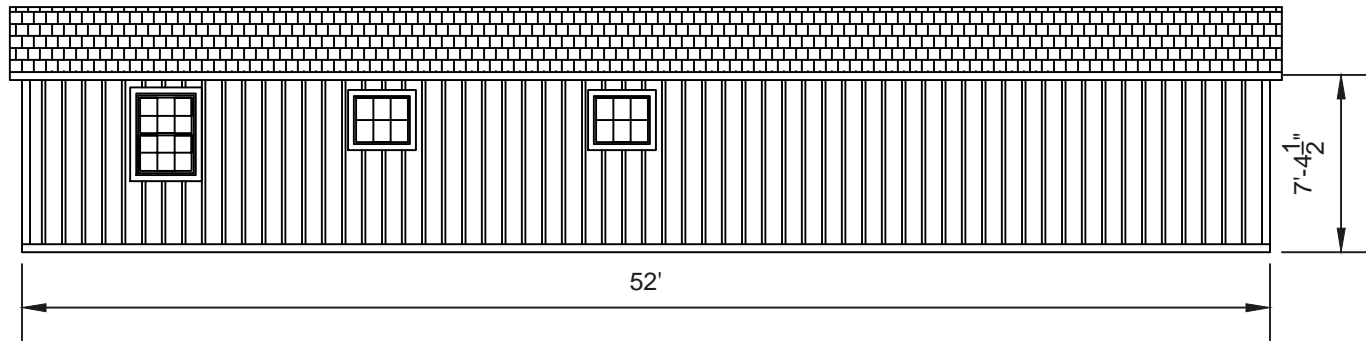



<b>DESIGN</b>	<b>CONTRACTOR</b>	<b>CUSTOMER</b>	<b>DRAWN BY:</b> David S.	<b>PLAN NO:</b> 18249
 <b>structures LLC</b> PAHC # PA025372	Brads Barns 903 NY Route 28 Kingston, NY 12401	The Shrub Oak International School Koffler 3151 Stoney Street Mohegan Lake, NY 10547	<b>DATE:</b> November 19, 2020	<b>REVISIONS:</b> 2
			<b>PLAN-DESCRIPTION</b>	
			12' x 52' Run-In Shed Left Elevation Scale: 1/2" = 1'	

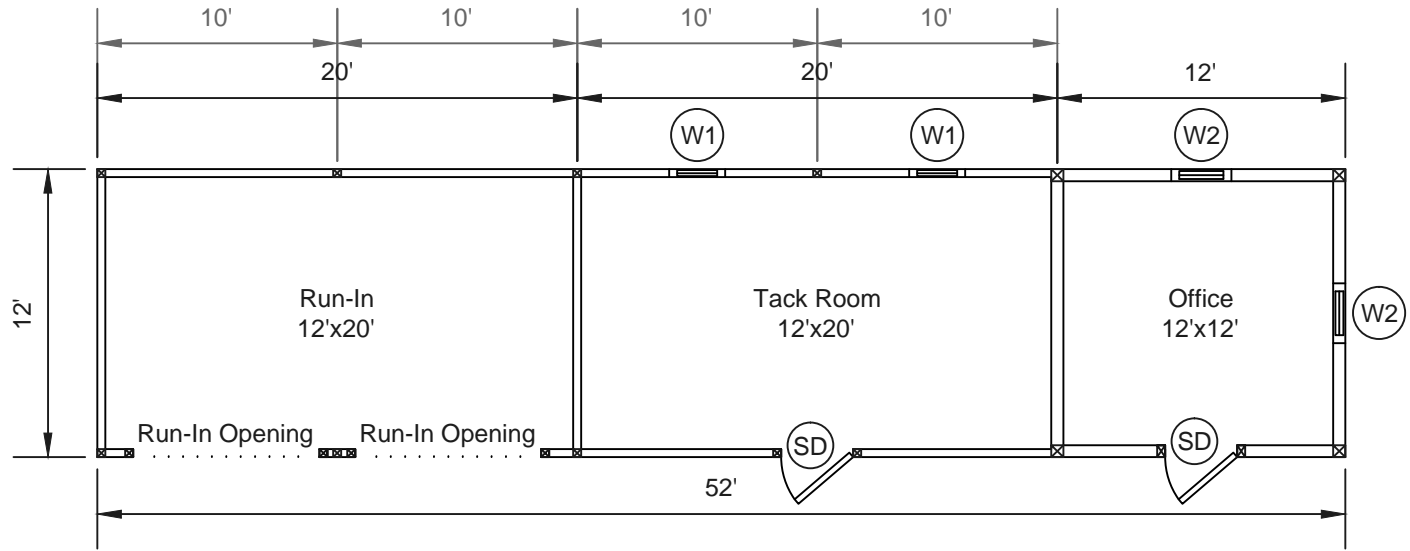


<b>DESIGN</b>	<b>CONTRACTOR</b>	<b>CUSTOMER</b>	<b>DRAWN BY:</b> David S.	<b>PLAN NO:</b> 18249
 <b>structures LLC</b> PAHIC # PA025372	Brads Barns 903 NY Route 28 Kingston, NY 12401	The Shrub Oak International School Koffler 3151 Stoney Street Mohegan Lake, NY 10547	<b>DATE:</b> November 19, 2020	<b>REVISIONS:</b> 2
			<b>PLAN-DESCRIPTION</b>	
			12' x 52' Run-In Shed Right Elevation Scale: 1/2" = 1'	






<b>DESIGN</b>	<b>CONTRACTOR</b>	<b>CUSTOMER</b>	<b>DRAWN BY:</b> David S.	<b>PLAN NO:</b> 18249
 <b>structures LLC</b> PAHIC # PA025372	Brads Barns 903 NY Route 28 Kingston, NY 12401	The Shrub Oak International School Koffler 3151 Stoney Street Mohegan Lake, NY 10547	<b>DATE:</b> November 19, 2020	<b>REVISIONS:</b> 2
			<b>PLAN-DESCRIPTION</b>	
			12' x 52' Run-In Shed Rear Elevation Scale: 1/8" = 1'	



- ⊙ W1 = 28"x24" Slider Window
- ⊙ W2 = 29<sup>3</sup>/<sub>4</sub>"x40<sup>3</sup>/<sub>4</sub>" Double-Hung Window
- ⊙ D1 = 36"x80" Wood Service Door
- ⊙ D2 = 36"x80" Fiberglass Service Door with Window

<b>DESIGN</b>	<b>CONTRACTOR</b>	<b>CUSTOMER</b>	<b>DRAWN BY:</b> David S.	<b>PLAN NO:</b> 18249
 <b>structures LLC</b> PAHIC # PA025372	Brads Barns 903 NY Route 28 Kingston, NY 12401	The Shrub Oak International School Koffler 3151 Stoney Street Mohegan Lake, NY 10547	<b>DATE:</b> November 19, 2020	<b>REVISIONS:</b> 2
			<b>PLAN-DESCRIPTION</b>	
			12' x 52' Run-In Shed Floor Plan Scale: 1/8" = 1'	

# **Pied Piper Preschool**

# Site Design Consultants

Civil Engineers • Land Planners

May 12, 2022

Robyn A. Steinberg, AICP  
Town of Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

RECEIVED  
PLANNING DEPARTMENT  
MAY 12 2022  
TOWN OF YORKTOWN

Re: Pied Piper Preschool  
2090 Crompond Road

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Hearing scheduled for May 23, 2022, and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown map indicating the adjoining;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- One Photo of "Notice" signs; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,

  
Joseph C. Rima, P.E.

/cm /Enc./ sdc 03-51

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251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



## NOTICE TO INTERESTED PARTIES

TO:

**PLEASE TAKE NOTICE** that a **Public Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday, May 23, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application by Pied Piper Preschool for an amended site plan to modify the parking lot as shown on submitted plans titled, "Pied Piper Preschool Site Plan Modification," prepared by Site Design Consultants, March 11, 2016, and last revised May 9, 2022.

The site is located at the address 2090 Crompond Road, Yorktown Heights, NY 10598, also known as Section 37.14, Block 2, Lot 8 on the Town of Yorktown Tax Map, and consists of 0.68 acres in the R1-10 zoning district.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to [planning@yorktownny.org](mailto:planning@yorktownny.org). Submitted written comments will be given to the Planning Board in advance of the meeting.

The above listed site plan may be viewed on the Town's website: <http://www.yorktownny.org/planning/public-hearings>. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

ALL PERSONS INTERESTED in the above matter may appear before the Board in person, or virtually if the meeting is held remotely, by agent or attorney and will be heard before any final determination is made.

This notice is being sent to you by regular mail pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

Pied Piper Preschool  
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants  
By (Name and Title)

May 10, 2022  
Date

37.14-2-7  
ANDROSKO, MICHAEL &  
HOPE I.  
1764 CENTRAL STREET  
YORKTOWN HGTS., NY 10598

37.14-1-71  
HERNANDEZ, LAURIE  
2099 CROMPOND RD.  
YORKTOWN HGTS., NY 10598

~~37.10-1-17~~  
GIORDANO, ANTHONY &  
KATHLEEN  
380 HALLOCKS MILL RD.  
YORKTOWN HGTS., NY 10598

37.14-2-8  
DINEEN-CAREY HOLDINGS, LLC  
2090 CROMPOND RD.  
YORKTOWN HGTS., NY 10598

~~37.14-2-6~~  
HASHANI, GEZIM & DONIKA  
2104 CROMPOND RD.  
YORKTOWN HGTS., NY 10598

37.14-1-70  
FASCE, NICHOLAS & NICOLE  
2095 CROMPOND RD.  
YORKTOWN HGTS., NY 10598

~~37.14-2-1~~  
ZULKOWSKY, JOSEPH &  
MARGARET  
392 HALLOCKS MILL RD.  
YORKTOWN HGTS., NY 10598

~~37.14-2-11~~  
DIEHL, DAVID & BARBARA  
2074 CROMPOND RD.  
YORKTOWN HGTS., NY 10598

37.14-2-9  
YORKTOWN VINEYARD  
COMMUNITY CHURCH  
2084 CROMPOND RD.  
YORKTOWN HGTS., NY 10598

37.14-1-69  
JOHNSON, E &  
DI MEO, CRYSTAL  
982 BEEKMAN RD.  
HOPEWELL JUNCTION, NY 12533

37.14-2-10  
CATALANO, ANTHONY  
IRREVOCABLE TRUST  
2082 HAMBLYN ST.  
YORKTOWN HGTS., NY 10598

~~37.14-1-68~~  
CROMPOND ROAD REALTY, LLC  
328A LEXINGTON AVE.  
MT. KISCO, NY 10549

Name and Address of Sender

**Site Design Consultants**  
**251-F Underhill Avenue**  
**Yorktown Heights, New York 10598**

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Form 3847

Flat Rate Mail

Affix  
(for actual  
Postage)



0000

U.S. POSTAGE PAID  
 YORKTOWN HEIGHTS, NY  
 10598  
 MAY 10 2022  
 AMOUNT  
**\$3.29**  
 R2304M116507-18

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

	Postage	(t	Service)	Charge	Insured Value	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.														
2.														
3.														
4.														
5.														
6.														
7.														
8.														

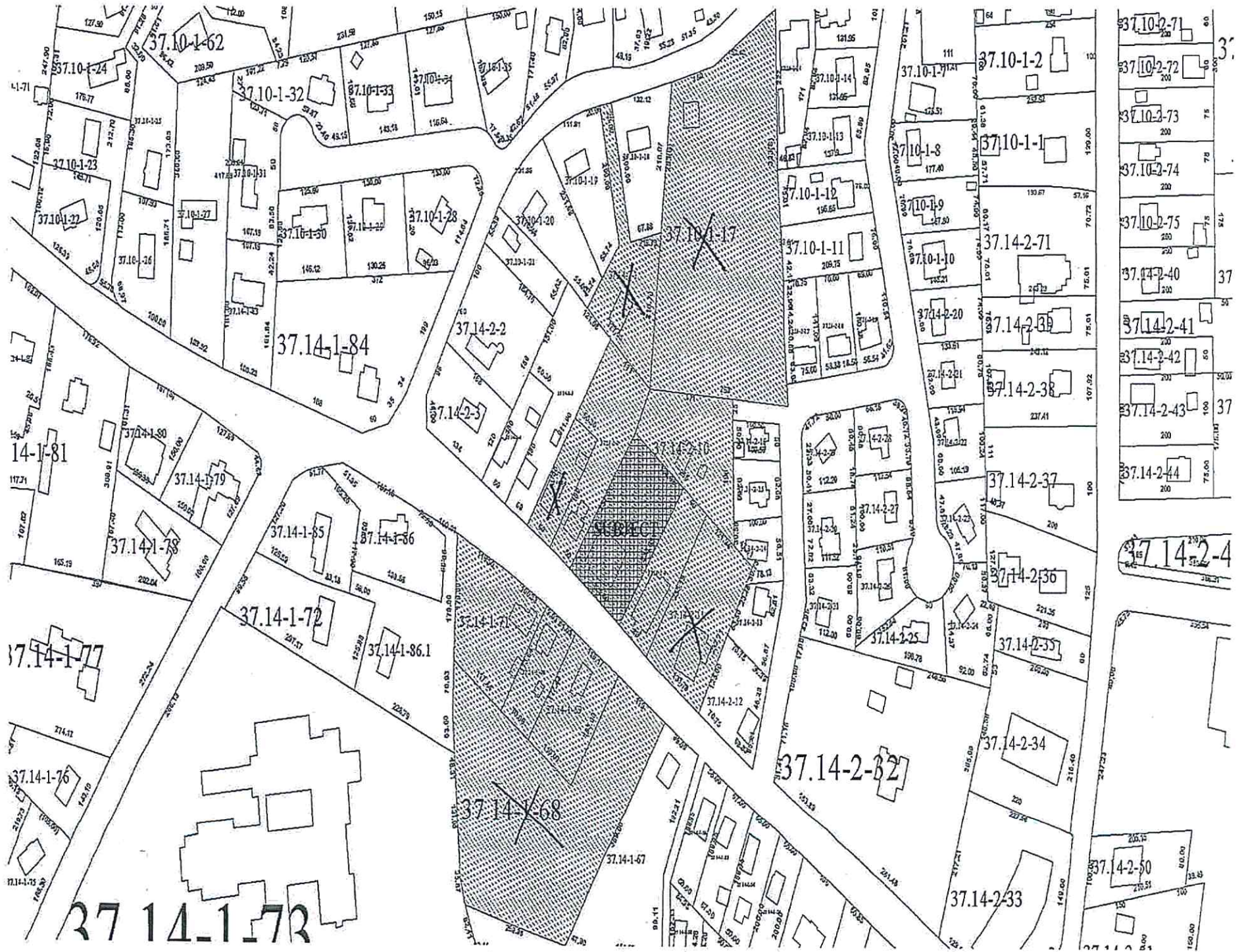


Total Number of Pieces Listed by Sender: \_\_\_\_\_  
 Total Number of Pieces Received at Post Office: \_\_\_\_\_

Postmaster, Per (Name of receiving employee)

Complete in Ink

Privacy Notice: For more information on USPS...



**37.14-1-73**

**37.14-2-4**

37.14-2-50



Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 37.14 Parcel 2 Lot 8

Project Name: Pied Piper Preschool

Address: 2090 Crompond Road, Yorktown Heights, NY 10598

Applicant's Name: Pied Piper Preschool

Address: 2090 Crompond Road, Yorktown Heights, NY 10598

Phone: 914-962-5196

No. Signs Posted: 1

Sign #1 Location: Curbside, in front of Preschool on Crompond Road

Sign #2 Location: \_\_\_\_\_

Sign #3 Location: \_\_\_\_\_

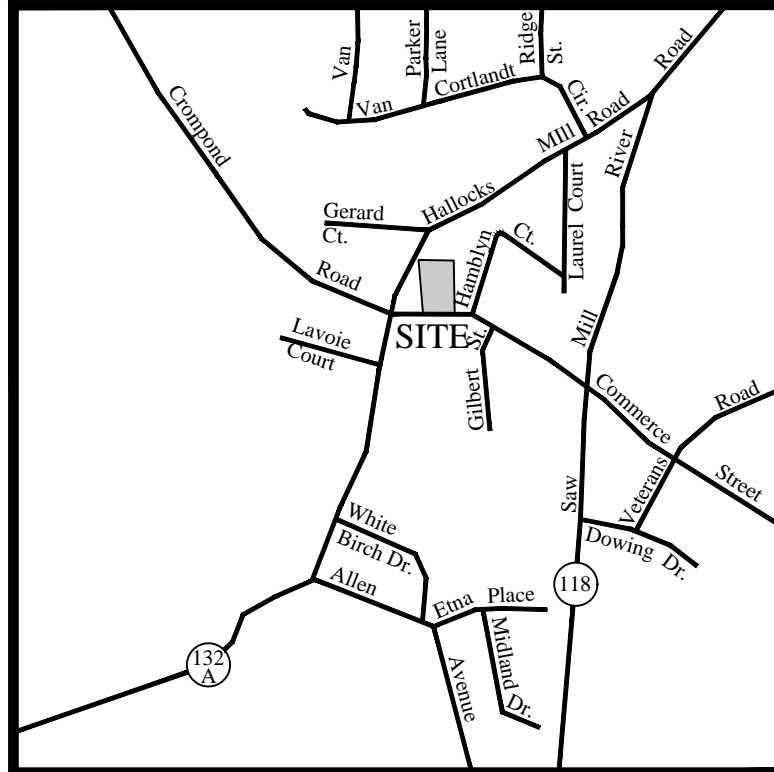
- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: \_\_\_\_\_ 

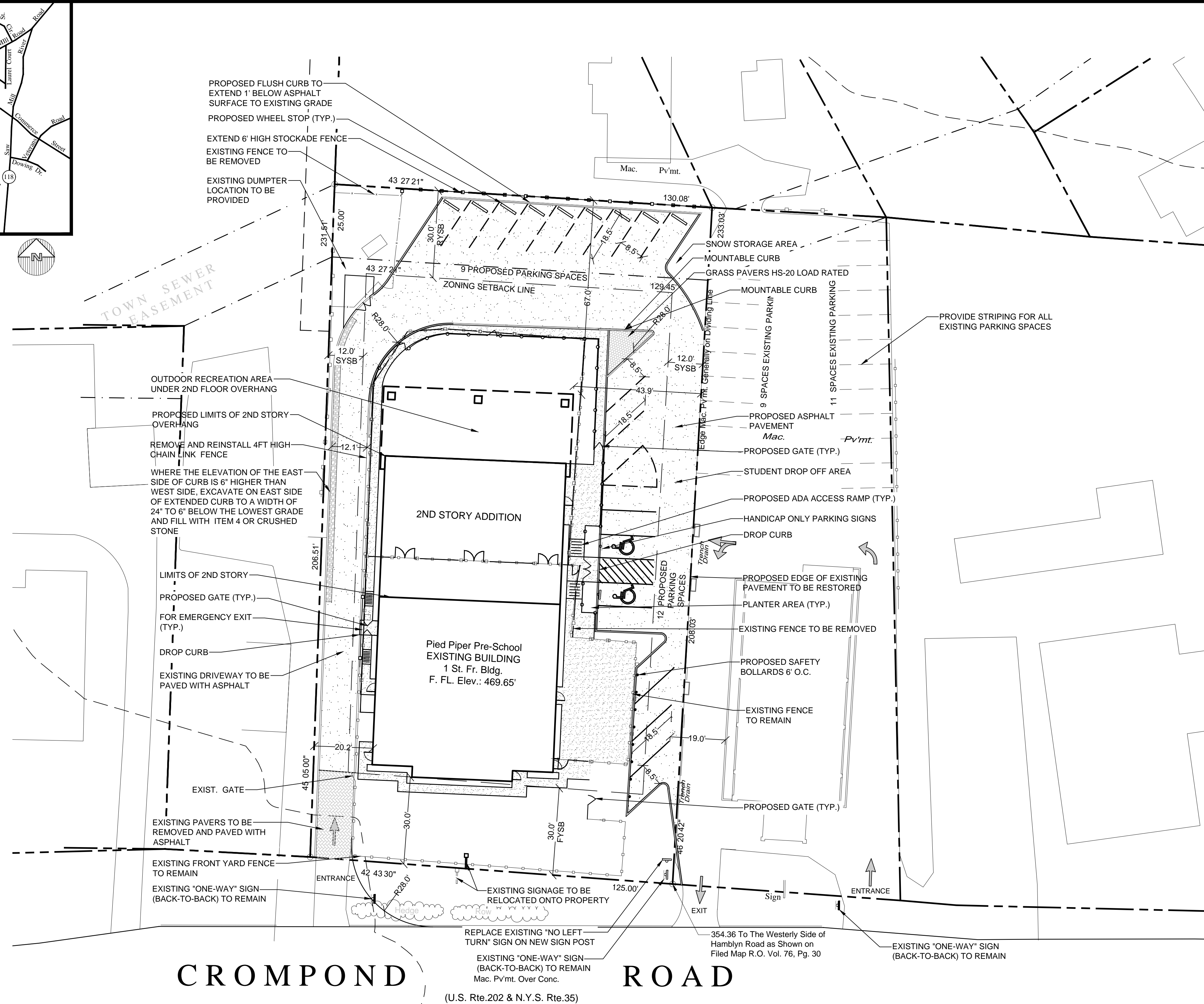
Land Owner's Signature: \_\_\_\_\_



**NOTICE**  
THIS PROPERTY IS THE  
PROPERTY OF THE  
PLANNING BOARD



AREA MAP  
NOT TO SCALE



**CROMPOND ROAD**  
(U.S. Rte.202 & N.Y.S. Rte.35)

**SITE DATA**

EXISTING TOWN ZONING	R1-10 SINGLE FAMILY RESIDENCE
TOWN TAX MAP DATA	SECTION : 37.14 BLOCK : 2 LOT: 8
OWNER / DEVELOPER	KATHLEEN DINEEN PIED PIPER PRESCHOOL 2090 CROMPOND ROAD YORKTOWN HEIGHTS, NY 10598
SITE AREA	0.680 AC. (29,616 SF)
SEWAGE FACILITIES	PUBLIC SEWERS
WATER FACILITIES	PUBLIC WATER SUPPLY
DRAINAGE	SUBSURFACE STORMWATER MANAGEMENT

**ZONING SCHEDULE:**

ZONING DISTRICT:	R1-10, SINGLE FAMILY RESIDENTIAL, RESOLUTION # 04-11		
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	20,000 SF.	29,616 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	125 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 FT.	30 FT.	NONE
REAR YARD SETBACK:	30 FT.	67 FT.	NONE
ONE SIDE YARD SETBACK:	12 FT.	20.2 FT.	NONE
COMBINED SIDE YARD SETBACK:	24 FT.	64.1 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	25% OF LOT AREA	28 % OF LOT AREA	922 SF
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	2 1/2	2 1/2 MAX	NONE

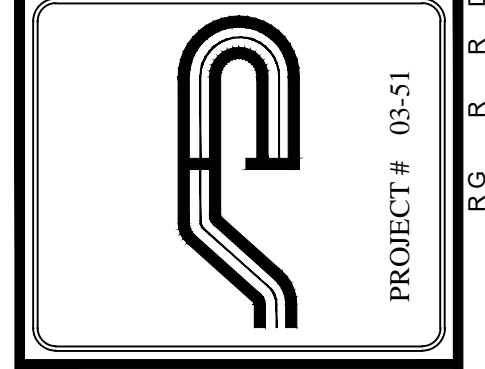
\*SPECIAL USE PERMIT - RESOLUTION 04-11

**PARKING SCHEDULE**

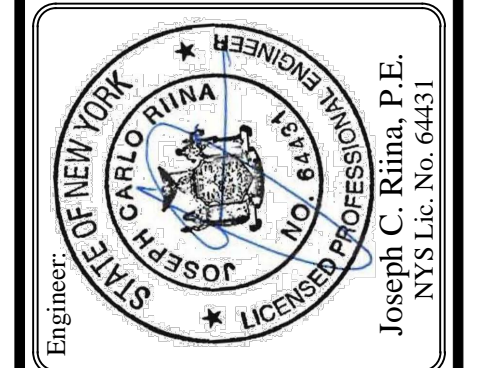
EXISTING/PROPOSED PARKING:	23 SPACES
PIED PIPER SITE	20 SPACES
CHURCH SITE	41 STANDARD
TOTAL	2 HANDICAP
EMPLOYEE SPACES:	10 SPACE
DROP OFF SPACES	31 SPACE

**BUILDING FLOOR AREAS SCHEDULE**

EXISTING ONE STORY BUILDING:	3,730 SF
PROPOSED:	
FIRST FLOOR	3,019 SF
TOTAL	6,749 SF



**Site Design Consultants**  
Civil Engineers • Land Planners  
251-J Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.sitedesignconsultants.com



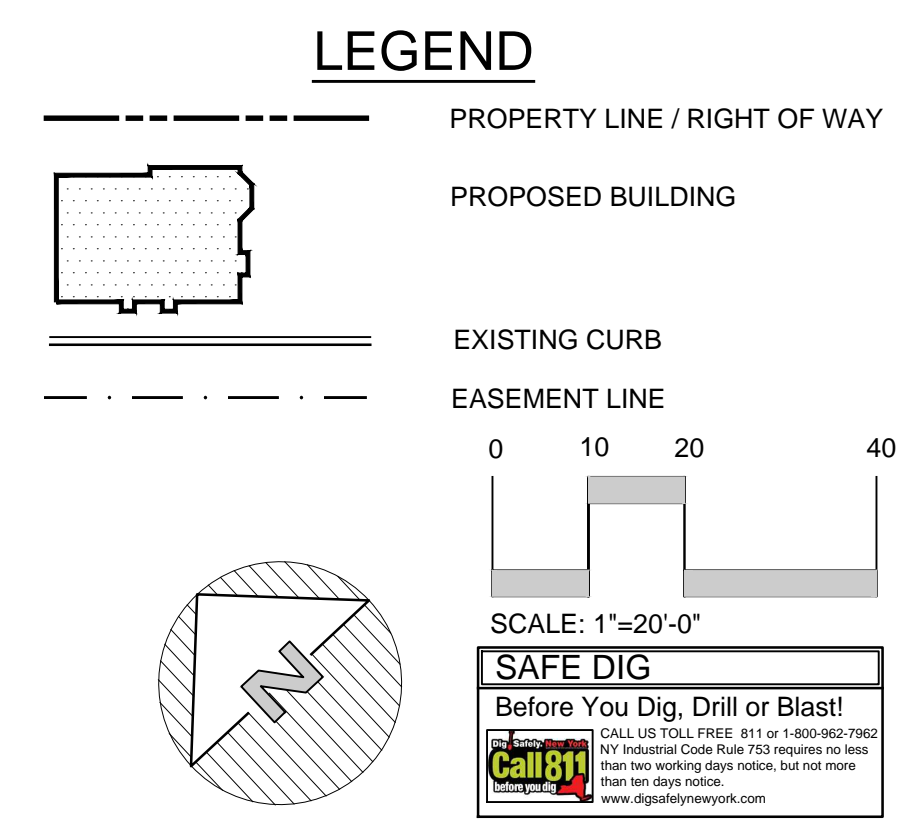
**Revisions:**

No.	Date	Comments
1	11/18/16	Town Comments
2	1/23/17	Town Comments
3	3/15/17	Town Comments
4	6/11/18	Rev. Bldg. Floor
5	6/11/18	Rev. Bldg. Floor
6	6/10/19	Town Comments
7	7/10/19	Town Comments
8	2/28/20	DEP Comments
9	4/26/22	DEP Comments
10	5/09/22	REV. PARKING

SCALE: 1" = 20'  
DRAWN BY: TK  
DATE: 3/11/16

**SITE PLAN MODIFICATION**

SITE PLAN PREPARED FOR  
**PIED PIPER PRESCHOOL**  
2090 CROMPOND ROAD  
Town of Yorktown  
Westchester County, NY



**NOTE:**  
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY J. HENRY CARPENTER AND COMPANY, DATED 09/25/02. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

**PLANNING BOARD  
TOWN OF YORKTOWN**

**RESOLUTION APPROVING  
A MODIFIED PARKING LAYOUT FOR THE  
PIED PIPER PRESCHOOL**

**RESOLUTION NUMBER: #22-00**

**DATE:**

On motion of \_\_\_\_\_, seconded by \_\_\_\_\_, and unanimously voted in favor by Fon, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS the property owned by the applicant is located at 2090 Crompond Road, Yorktown Heights, also known as Section 37.14, Block 2, Lot 8 on the Town of Yorktown Tax Map (hereinafter referred to as “the Property”), Dineen-Carey Holdings, LLC has represented to this Board that they are the lawful owners of the land within said site plan; and

WHEREAS the Planning Board, by Resolution #19-24 dated August 12, 2019, approved a Site Plan, Storm Water Pollution Prevention Plan, and Building Addition for the Pied Piper Preschool; and

WHEREAS on April 27, 2022, the Applicant’s engineer requested a modification to the parking layout shown on the approved site plan to allow for an existing play area to remain on the site; and

WHEREAS the Applicant has submitted as part of their request the following plan:

A drawing, sheet 1 of 11, titled “Pied Piper preschool Site Plan Modification,” prepared by Site Design Consultants, dated March 11, 2016, and last revised May 9, 2022; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

<b>Boards &amp; Agencies</b>	<b>Report Date</b>
Building Inspector	
Fire Inspector	
Town Engineer	

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS having reviewed all current site plans, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing, held in accordance with §195-39(B)(2) of the Yorktown Town Code, on the request to modify the site plan, commencing and closing on May 23, 2022 at Town Hall in Yorktown Heights, New York; and

BE IT NOW RESOLVED that the request of Pied Piper Preschool for the approval of an amended site plan, be approved, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of the full set of site plans for this project; and

BE IT FURTHER RESOLVED all other conditions of Resolution #19-24 still stand in full effect except as modified herein.

# **Dorchester Glen Subdivision**

# Site Design Consultants

Civil Engineers • Land Planners

May 12, 2022

RECEIVED  
PLANNING DEPARTMENT  
MAY 12 2022  
TOWN OF YORKTOWN

Robyn A. Steinberg, AICP  
Town of Yorktown Planning Department  
1974 Commerce Street  
Yorktown Heights, NY 10598

Re: Dorchester Glen Subdivision  
Town of Yorktown

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Informational Hearing scheduled for May 23, 2022, and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- 2 photos of "Notice" signs; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,

  
Joseph C. Riina, P.E.

/cm /Enc./ sdc 00-16

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



## NOTICE TO INTERESTED PARTIES

TO:

**PLEASE TAKE NOTICE** that a **Public Informational Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday, May 23, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of John and Elaine Kincart for approval of a subdivision with submitted plans titled, "Preliminary Subdivision Plan prepared for Dorchester Glen," two sheets, prepared by Site Design Consultants, and dated March 30, 2022.

The applicant has proposed a 5-lot subdivision on 24.3 acres in the R1-20 zone where one home is existing. The site is located at 1643 Maxwell Drive, Yorktown Heights, also known as Section 15.20, Block 3, Lot 6 on the Town of Yorktown Tax Map.

The above listed site plan may be viewed on the Town's website: <http://www.yorktownny.org/planning/public-hearings>. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

ALL PERSONS INTERESTED in the above matter may appear before the Board in person, by agent, or attorney and will be heard before any final determination is made. Comments may also be sent by mail to the Planning Department at 1974 Commerce Street, Room 222, Yorktown Heights, NY 10598 or by email to [planning@yorktownny.org](mailto:planning@yorktownny.org).

This Notice is being sent to you by first class mail, under '195-22A(5) of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

John and Elaine Kincart  
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants  
By (Name and Title)

May 10, 2022  
Date



48.07-3-80  
CICINELLI, FRANK & MARIA  
114 DORCHESTER DR.  
YORKTOWN HGTS., NY 10598

48.08-1-1  
YORKTOWN GRANGE 862  
P.O. BOX 254  
YORKTOWN HGTS., NY 10598

48.07-3-77  
MADDEN, JOHN & LISA  
1640 HANOVER STREET  
YORKTOWN HGTS., NY 10598

48.08-1-3  
TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HGTS, NY 10598

48.11-3-71  
STEWART, TIMOTHY &  
ROSEMARY  
144 DORCHESTER DR.  
YORKTOWN HEIGHTS, NY 10598

48.07-3-86  
D'IPPOLITO, PIERO &  
JOSEPHINE  
128 DORCHESTER DR.  
YORKTOWN HEIGHTS, NY 10598

~~48.07-3-61  
CSASZAR, JOSEPH &  
LORRAINE  
1660 MAXWELL DR.  
YORKTOWN HGTS., NY 10598~~

48.07-3-64  
DI MAGGIO, FRANK &  
CARMELA  
1651 MAXWELL DR.  
YORKTOWN HGTS., NY 10598

48.07-3-83  
DONATELLI, THOMAS &  
EILEEN  
120 DORCHESTER DR.  
YORKTOWN HGTS, NY 10598

48.12-1-18  
✓ TOWN OF YORKTOWN  
363 UNDERHILL AVE.  
✱ YORKTOWN HGTS., NY 10598

48.08-1-2  
RAFFONE, PAUL & ALLISSA  
25 MOSEMAN RD.  
YORKTOWN HGTS., NY 10598-48

48.07-3-62  
LATTIS, RICHARD L &  
SHARON L  
1650 MAXWELL DR.  
YORKTOWN HGTS., NY 10598

48.08-1-4  
KINCART, JOHN & ELAINE  
1643 MAXWELL DR.  
YORKTOWN HGTS, NY 10598

48.11-3-69  
TINGER, DAWN M.  
136 DORCHESTER DRIVE  
YORKTOWN HGTS, NY 10598

48.11-3-63  
BRADY, GERARD & LISA  
1502 HANOVER ST.  
YORKTOWN HGTS., NY 10598

Name and Address of Sender  
**Site Design Consultants**  
251-F Underhill Avenue  
Yorktown Heights, New York 10598

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix  
(for  
Post



6600

U.S. POSTAGE PAID  
10598  
YORKTOWN HEIGHTS, NY  
MAY 10, 22  
AMOUNT  
**\$6.11**  
R2304M116507-18

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

Postage

		Service Fee	Charge	If Registered	Value	Sender if COD	Fee	Fee	Fee	Fee	Fee	Fee	SCRD Fee	SH Fee
1.	Frank & Maria Cicinelli 114 Dorchester Drive Yorktown Heights, NY 10598													
2.	Piero & Josephine D'Ippolito 128 Dorchester Drive Yorktown Heights, NY 10598													
3.	Paul & Allissa Raffone 25 Moseman Road Yorktown Heights, NY 10598													
4.	Yorktown Grange 862 P.O. Box 254 Yorktown Heights, NY 10598													
5.	Richard L. & Sharon L. Lattis 1650 Maxwell Court Yorktown Heights, NY 10598													
6.	John & Lisa Madden 1640 Hanover Street Yorktown Heights, NY 10598													
7.	Frank & Carmela Di Maggio 1651 Maxwell Drive Yorktown Heights, NY 10598													
8.	John & Elaine Kincart 1643 Maxwell Drive Yorktown Heights, NY 10598													



Total Number of Pieces Listed by Sender  
Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

Name and Address of Sender  
**Site Design Consultants**  
**251-F Underhill Avenue**  
**Yorktown Heights, New York 10598**

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix Stamp Here  
 (for additional copies of this receipt).  
 Postmark with Date of Receipt.

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.

Town of Yorktown  
 363 Underhill Avenue  
 Yorktown Heights, NY 10598

Thomas & Eileen Donatelli  
 120 Dorchester Drive  
 Yorktown Heights, NY 10598

Dawn M. Tinger  
 136 Dorchester Drive  
 Yorktown Heights, NY 10598

Timothy & Rosemary Stewart  
 144 Dorchester Drive  
 Yorktown Heights, NY 10598

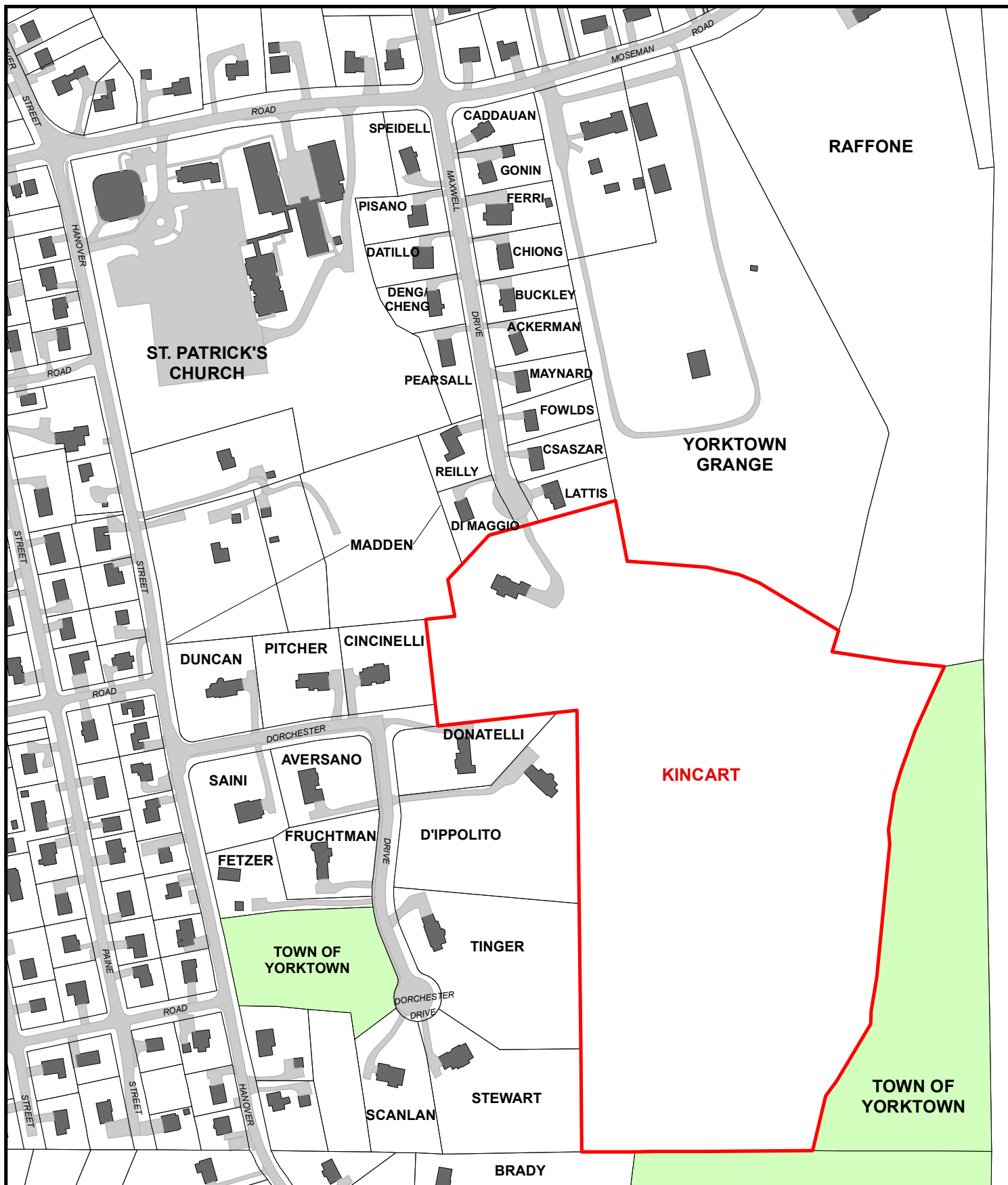
Gerard & Lisa Brady  
 1502 Hanover Street  
 Yorktown Heights, NY 10598

Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee

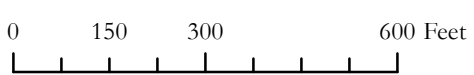


Total Number of Pieces Listed by Sender      Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)



TOWN OF YORKTOWN PLANNING DEPARTMENT  
 Albert A. Capellini Community & Cultural Center  
 1974 Commerce Street, Yorktown Heights, NY 10598  
 (914) 962-6565, www.yorktownny.org/planning



1 inch = 300 feet

TITLE: Dorchester Glen Subdivision  
 DATE: May 20, 2022

FILE: F:\ArcGIS\PROJECTS\Dorchester Glen.mxd  
 BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2018.

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 15.20 Block 3 Lot 6

Project Name: DORCHESTER GLEN

Address: \_\_\_\_\_

Applicant's Name: JOHN + ELAINE KINCART

Address: 1643 MAXWELL DRIVE, YORKTOWN

Phone: 914-384-3385 HETGATS NY 10598

No. Signs Posted: 2

Sign #1 Location: 1643 MAXWELL DRIVE

Sign #2 Location: DORCHESTER DRIVE R.O.W.

Sign #3 Location: \_\_\_\_\_

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: John P. Kincart

Land Owner's Signature: Elaine M. Kincart







# Yorktown Grange P of H #862

05/16/2022

Yorktown Planning Board  
Yorktown Heights, NY 20598

RECEIVED  
PLANNING DEPARTMENT

MAY 17 2022

TOWN OF YORKTOWN

Yorktown Planning Board:

We, the Yorktown Grange P of H #862, address of 99 Moseman Rd, Yorktown Heights, NY 10598 are writing to express some concerns about the proposed subdivision located at 1643 Maxwell Drive, Yorktown Heights, NY 10598.

The Yorktown Grange has been at its current location since 1956 and holds an annual fair which brings in thousands of people to enjoy the rides and venues. We also hold many other community beneficial events throughout the year.

The proposed subdivision will put into very close proximity to the Yorktown Grange property at least one new home and possibly two new homes. A total of 4 new homes are proposed. The current location is wooded and uninhabited except for the one current home. This will put more new people within earshot and view of the Grange. We currently have some minor noise and activity complaints made against us and feel this may increase. We ask that new homes will not be allowed to be closer than 100ft from the property line to help mitigate future encounters. Current specs have a home being built approximately 25ft from the property line which is closer than any current home anywhere on our property line.

Most if not all of our events have a fee attached to attendance. The close proximity of these homes and the removal of many, many trees will produce easy access to our grounds from the new development. We request that a 6ft chain link fence be installed along the entirety of the property line with this new development be required and paid for by the developer.

We also request to have all environmental impact and water runoff surveys and reports sent to us. We feel that excess water and or waste may impact our grounds during and after construction.

Sincerely,

*Mark Franks*

Mark Franks

Master – Yorktown Grange P of H #862

Grange862@gmail.com



Diane Dreier Co-Chair  
Phyllis Bock Co-Chair

Matthew Slater  
Town Supervisor

## TOWN OF YORKTOWN CONSERVATION BOARD

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Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

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### MEMORANDUM

RECEIVED  
PLANNING DEPARTMENT

APR 25 2022

TOWN OF YORKTOWN

**To:** Planning Board  
**From:** Yorktown Conservation Board  
**Date:** April 21, 2022  
**Re:** Dorchester Glen Subdivision: 1643 Maxwell Drive

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At the 4/20/2022 Conservation Board Meeting, the Board met with Joe Riina of Site Designs to discuss a proposed subdivision located at 1643 Maxwell Drive. The Board has the following suggestions:

- Two layouts were presented one which shortens the cul-de-sac and uses flexibility standards and the other a conventional plan. The Conservation Board prefers the flexibility plan and will offer other comments when a fully realized plan is developed.

Respectfully submitted:

*Phyllis Bock*

For the Conservation Board

APR 14 2022

TOWN OF YORKTOWN

To: Yorktown Planning Board

From: Yorktown Tree Conservation Advisory Commission (TCAC)

Date: 13 April 2022

cc: Yorktown Planning Dept. (J. Tegeder, R. Steinberg, N. Calicchia); Engineering Dept. (D. Ciarcia); Conservation Board (K. Hughes); Town Clerk Office (M. Weissleder); TCAC members (L. Klein, T. Schmitt, K. Schepart, J. Gussak, J. Verado)

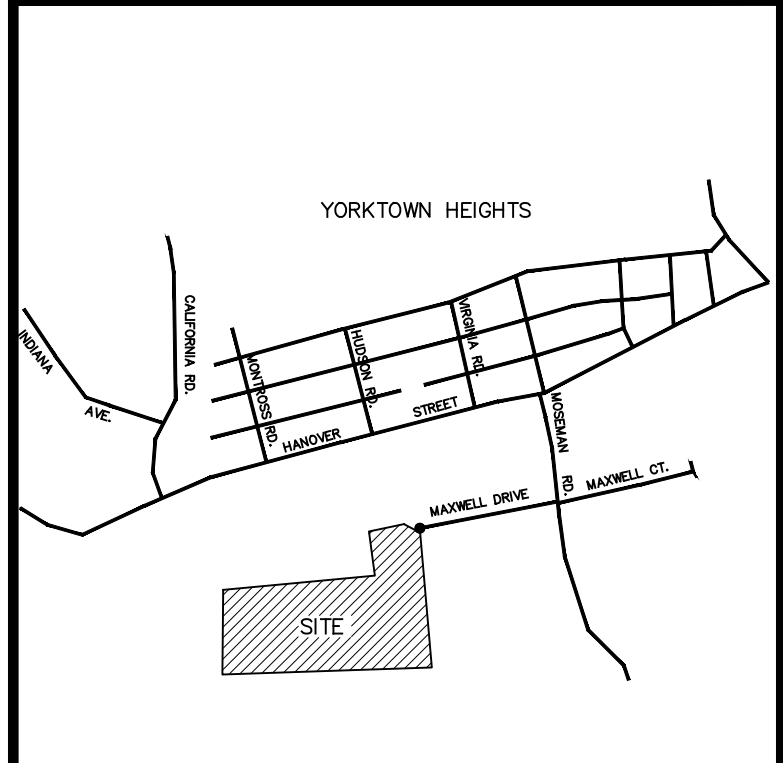
Re: Project at 1643 Maxwell Drive / Dorchester Glen Subdivision

Dear Chairman Fon and members of the Planning Board:

The TCAC has reviewed the referral materials for the referenced project that were received on 12 April 2022. Since this referral is, only, for the purpose requesting an approval to subdivide a property, the TCAC has no objections at this time.

Sincerely,

Tree Conservation Advisory Commission  
Lawrence W. Klein, P.E., Member  
Keith Schepart, ISA, Member  
Tom Schmitt, Member  
Jay Gussak, Member  
Joe Verado, Member



LOCATION MAP  
NOT TO SCALE



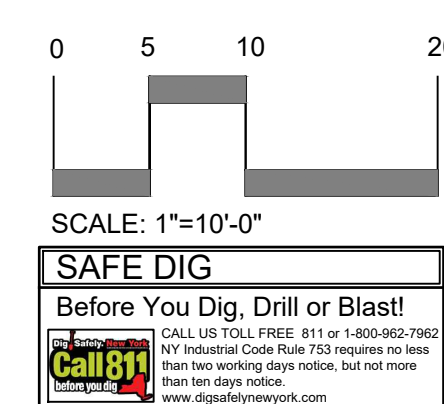
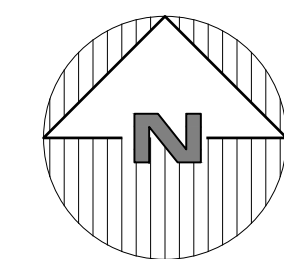
**SITE DATA:**  
 OWNER / DEVELOPER: JOHN AND ELAINE KINCART  
 1643 MAXWELL DRIVE  
 YORKTOWN, NY 10598  
 PROJECT LOCATION: 1643 MAXWELL DRIVE  
 YORKTOWN, NY 10598  
 EXISTING TOWN ZONING: R1-20, SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: FLEXIBILITY STANDARDS  
 TOWN TAX MAP DATA: SECTION 15.20, BLOCK 3, LOT 6  
 SITE AREA: 24.3 ACRES (1,056,959 SF)  
 SEWAGE FACILITIES: PUBLIC SEWER  
 WATER FACILITIES: PUBLIC WATER FACILITIES

**ZONING SCHEDULE:**

LOT AREA	R1-20
LOT WIDTH	20,000 sf
LOT DEPTH	100 ft
FRONT YARD	40 ft
SIDE YARD	15 ft min.
COMBINED (SY)	40 ft
REAR YARD	40 ft
ROAD FRONTAGE	100 ft. (60 ft. cul-de-sac)

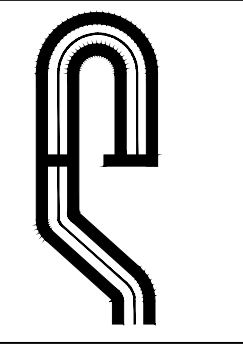
Area = 1,056,959 sq. ft.  
 = 24.3644 acres

WETLANDS DELINEATED BY ANTHONY RUSSO OF ENVIRONMENTAL SERVICES, INC. - APRIL 2007. FLAGS LOCATED BY DONNELLY LAND SURVEYOR, P.C. - MAY 2007.



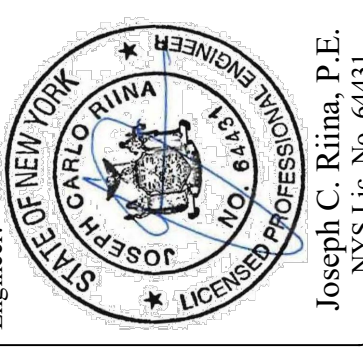
**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XXXXXX, LAST REVISED XXXXXX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



PROJECT # 06-16

**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue, Yorktown Heights, NY 10598  
 (914) 962-4488 - Fax: (914) 962-7386  
 www.sitedesignconsultants.com



Engineer: Joseph C. Rima, P.E.  
 NYS Lic. No. 6451

Revisions:	No.	Date	Comments

SCALE:	1" = 50'
DRAWN BY:	CS
DATE:	3/30/22

**CONVENTIONAL SUBDIVISION PLAN**

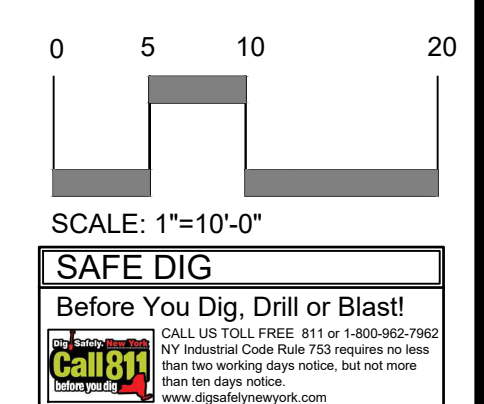
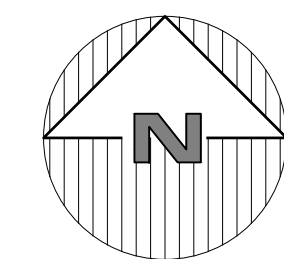
PRELIMINARY SUBDIVISION PLAN  
 PREPARED FOR  
**DORCHESTER GLEN**  
 1643 MAXWELL DRIVE  
 Yorktown, New York  
 Westchester County, New York

Sheet 1 of 2



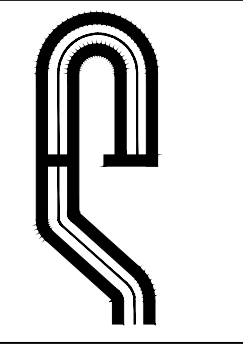

Area = 1,056,959 sq. ft.  
= 24.2644 acres

WETLANDS DELINEATED BY ANTHONY RUSSO OF ENVIRONMENTAL SERVICES, INC. - APRIL 2007. FLAGS LOCATED BY DONNELLY LAND SURVEYOR, P.C. - MAY 2007.



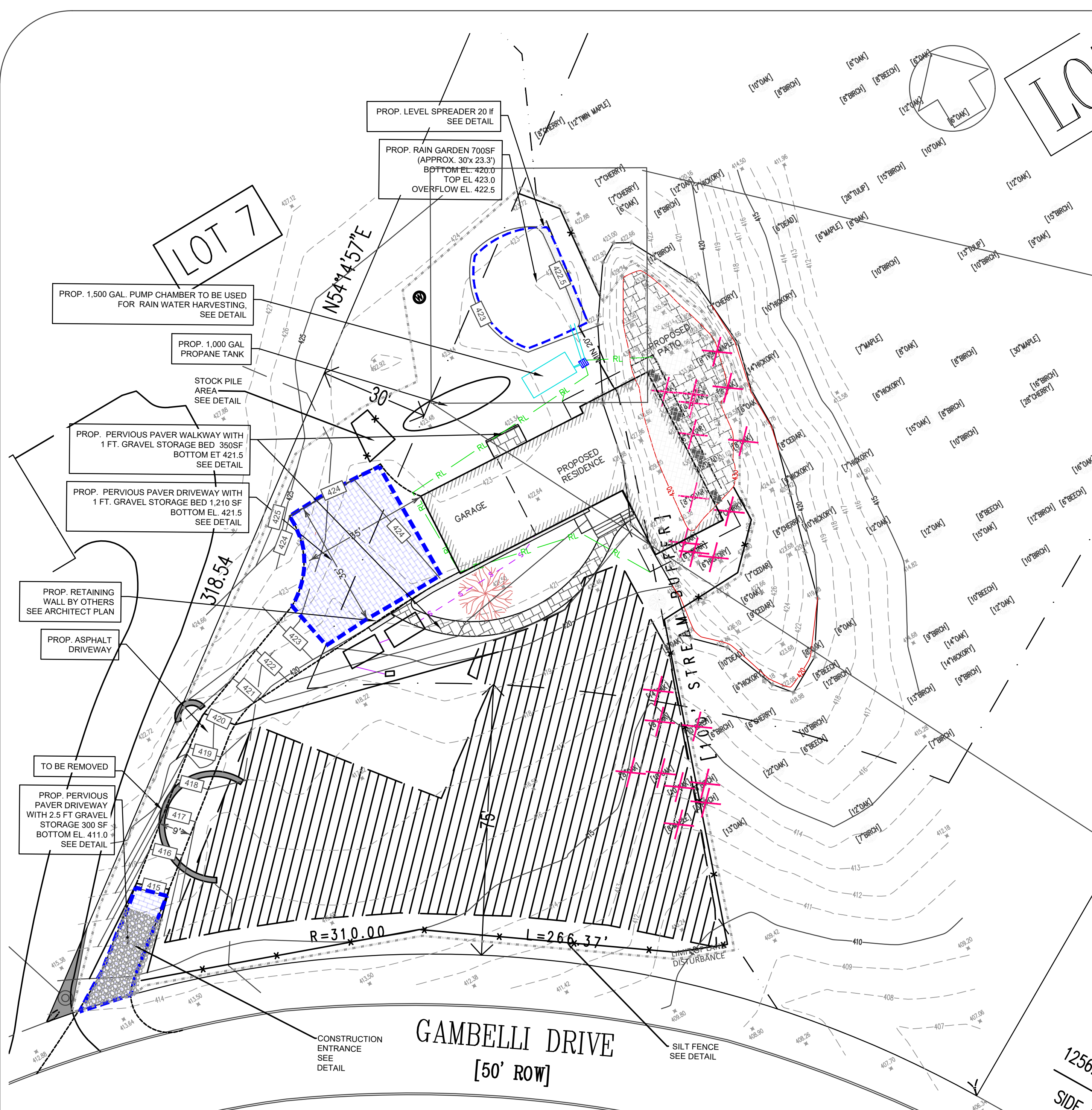
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 <b>Site Design Consultants</b> Civil Engineers • Land Planners 251-F Underhill Avenue, Yorktown Heights, NY 10598 (914) 962-4488 - Fax: (914) 962-7386 www.sitedesignconsultants.com	 Engineer: Joseph C. Rima, P.E. NYS Lic. No. 6451	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>Date</th> <th>Comments</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Date	Comments													SCALE: 1" = 50' DRAWN BY: CS DATE: 3/30/22
No.	Date	Comments																
<h2 style="margin: 0;">FLEXIBILITY SUBDIVISION PLAN</h2>																		
<b>PRELIMINARY SUBDIVISION PLAN</b> PREPARED FOR <h1 style="margin: 0;">DORCHESTER GLEN</h1>		Westchester County, New York 1643 MAXWELL DRIVE Town of Yorktown																
Sheet <b>2</b>	of <b>2</b>	Copyright © 2022 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED.																

**Lakeview Estates**

**Lot 6**

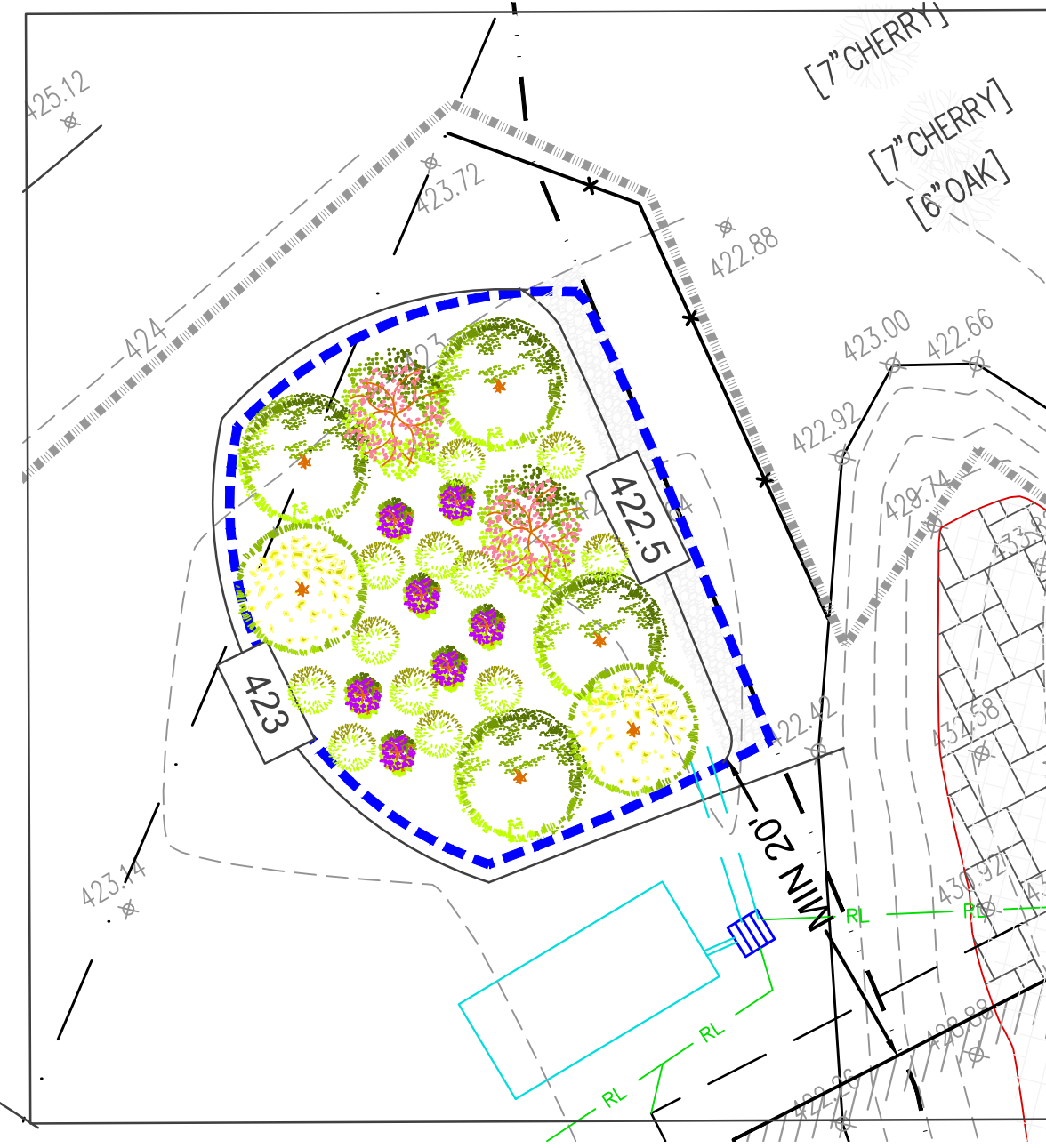


**PLANTS KEY :**

QTY	COMMON NAME	BOTANICAL NAME	SPREAD
<b>10x SHRUBS ANY FROM THE LIST BELOW:</b>			
	BAYBERRY	MYRICA PENNSYLVANICA	6' - 12' HIGH AND SPREAD
	WITCH HAZEL	HAMAMELIS VIRGINIAN	15' - 20' HIGH AND SPREAD
	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	6'-10' HIGH AND SPREAD
	BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS	8'-10' HIGH AND SPREAD
<b>OR 92x HERBACEOUS PLANTS FROM THE LIST:</b>			
	JOE PYE WEED	EUPATORIUM PURPUREUM	3' - 4' HIGH AND SPREAD
	TUSSOCK SEDGE	CAREX STRICTA	1' - 3' HIGH AND SPREAD
	SWITCHGRASS	PANICUM VIRGATUM	3' - 4' HIGH AND SPREAD
	BONESET	EUPATORIUM PERFOLIATUM	2' - 4' HIGH AND SPREAD



**LOCATION MAP**  
SCALE 1"=1,000'



- PLANT INSTALLATION**
- AFTER PLACING THE SOIL MIX AND APPROVAL, TREES, SHRUBS AND HERBS SHALL BE PLANTED. PLANTING SHALL BE CONDUCTED BETWEEN MAY 1 AND JUNE 15 OR SEPTEMBER 15 AND NOVEMBER 1. ROOT STOCK OF THE PLANT MATERIAL SHOULD BE KEPT MOST DURING TRANSPORT, FROM THE SOURCE TO THE JOB SITE AND UNTIL PLANTED.
  - BIORETENTION FACILITIES SHOULD BE PLANTED IN ACCORDANCE WITH THE PLANTING PLAN AND PLANT SCHEDULE ON THE PLANS WHICH PROVIDES SPECIFIC SPACING REQUIREMENTS.
  - ALL PLANTING PITS SHALL BE DUG BY HAND AND EXCAVATED TO 1-1/2 TIMES THE WIDTH OF THE ROOT MASS.
  - THE PLANTING PIT SHALL BE DEEP ENOUGH TO ALLOW THE FIRST LATERAL ROOT OF THE ROOT MASS TO BE FLUSH WITH THE EXISTING GRADE. REMOVE ALL NON-ORGANIC DEBRIS FROM THE PIT AND TAMP LOOSE SOIL IN THE BOTTOM OF THE PIT BY HAND.
  - REMOVE THE PLANT FROM ITS CONTAINER EITHER BY CUTTING OR INVERTING THE CONTAINER. DO NOT HANDLE THE PLANT BY THE BRANCHES, LEAVES, TRUNK OR STEM. PLACE THE PLANT STRAIGHT IN THE CENTER OF THE PLANTING PIT, CARRYING THE PLANT BY THE ROOT MASS. NEVER LIFT OR CARRY A PLANT BY THE TRUNK OR BRANCHES.
  - BACKFILL PLANTING PIT WITH EXISTING SOIL AND HAND TAMP AS PIT IS BEING BACKFILLED TO COMPLETELY FILL ALL VOIDS AND AIR POCKETS. DO NOT OVER COMPACT SOIL. MAKE SURE PLANT REMAINS STRAIGHT DURING BACKFILLING/TAMPING PROCEDURE. DO NOT COVER THE TOP OF THE ROOT MASS WITH SOIL.
  - AN 18-INCH DIAMETER AREA OF COMMERCIALY-AVAILABLE, PREFERABLY WELL-AIRED (8 TO 12 MONTHS), SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND EACH PLANT 2-3 INCHES THICK. MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE STEM OF THE PLANT.
  - WATER PLANT THOROUGHLY IMMEDIATELY AFTER PLANTING. THE BIORETENTION SOIL SPECIFICATION PROVIDES ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DEFEATS, OR AT A MINIMUM, IMPEDES THIS GOAL.

**General Notes**

- PROPERTY SURVEY AND EXISTING UTILITIES SHOWN HEREIN WAS TAKEN FROM THE MAP ENTITLED "TOPOGRAPHIC PROPERTY SURVEY PREPARED FOR GREGG CHAPPELL & EMILY YAVITZ PROPERTY SITUATED AT 1102 GAMBELLI DRIVE, TOWN OF YORKTOWN, WESTCHESTER COUNTY NEW YORK. MAP PREPARED BY LINE AND GRADE SURVEYORS, D.P.C., 23 NEPPERHAN AVE, ELMSFORD, NY, 10523. MADE BY STEVEN J. WILLARD NYS PLS# 050054.
- TOTAL LAND DISTURBANCE 25,600 S.F.
- PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962.
- THE PARTY RESPONSIBLE FOR THE LAND DEVELOPMENT OR REDEVELOPMENT ACTIVITY, OR HIS OR HER REPRESENTATIVE, SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF TREATMENT AND CONTROL (AND RELATED APPURTENANCES) WHICH ARE INSTALLED OR USED BY THE APPLICANT OR DEVELOPER TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF TOWN OF YORKTOWN CODE.
- ROAD OPENING AND USE STANDARDS: NO PERSON, FIRM OR CORPORATION, IMPROVEMENT DISTRICT OR MUNICIPALITY SHALL CONSTRUCT ANY WORKS IN OR UPON ANY TOWN ROAD OR CONSTRUCT ANY OVERHEAD, SURFACE OR UNDERGROUND CROSSING THEREOF OR CONSTRUCT, MAINTAIN, ALTER OR REPAIR ANY DRAINAGE, SEWER OR WATER PIPE, CONDUIT OR OTHER STRUCTURE THEREUPON OR THEREUNDER WITHOUT FIRST OBTAINING A WRITTEN PERMIT THEREFOR FROM THE SUPERINTENDENT OF HIGHWAYS.
- INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT".
- THE OWNER OR CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING FOR HIS ENGINEER TO ISSUE A CONSTRUCTION COMPLIANCE CERTIFICATION:
  - START OF CONSTRUCTION
  - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES
  - COMPLETION OF ROUGH GRADING
  - INSTALLATION OF STORMWATER MANAGEMENT FACILITIES
  - BIORETENTION SOIL CERTIFICATION, SOIL TESTING, ETC.

- SITE PREPARATION:**
- KEEP THE SITE CLEAR OF DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. SECURE MATERIAL AND DEBRIS SO AS TO NOT CAUSE HAZARD OR NUISANCE.
  - BRING DISTURBED AREAS TO FINISHED CONDITION AS SOON AS POSSIBLE AFTER INITIAL DISRUPTION. PROTECT SLOPES INITIALLY WITH MULCH UNTIL PLANTINGS TAKE HOLD.
  - TREES NOT DESIGNATED ON THESE PLANS TO BE REMOVED SHALL NOT BE REMOVED.
  - ALL AREAS DISTURBED, NOT OTHERWISE CALLED OUT IN THESE PLANS FOR A SPECIFIC TREATMENT SHALL BE TREATED WITH 4" OF TOPSOIL AND SEED.
  - EXISTING OVERLAND FLOW PATHS FROM THE NEIGHBORING PROPERTY TO BE MAINTAINED.

- PHASING OF MAJOR ACTIVITIES:**
- INSTALLING SILT FENCE, CONSTRUCTION ACCESS, OTHER SAE CONTROLS.
  - CLEARING AND GRUBBING THE SITE.
  - EXCAVATION AND GRADING THE SITE.
  - INSTALLATION OF STRUCTURES, UTILITIES, STORMWATER MANAGEMENT SYSTEM. THE SYSTEM MUST BE PROTECTED FROM OVER COMPACTION AND MUST NOT BE CONNECTED UNTIL CONSTRUCTION, INCLUDING CURBS, ROAD CONSTRUCTION AND TREE PLANTINGS, ARE COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
  - PLANTING TREES, LANDSCAPING.
  - REMOVING TEMPORARY EROSION CONTROL METHODS WHEN CONTRIBUTING DRAINAGE AREAS ARE STABLE.

No.	Revision/Issue	Date

**Firm Name and Address**

**TJ ENGINEERING LLC**

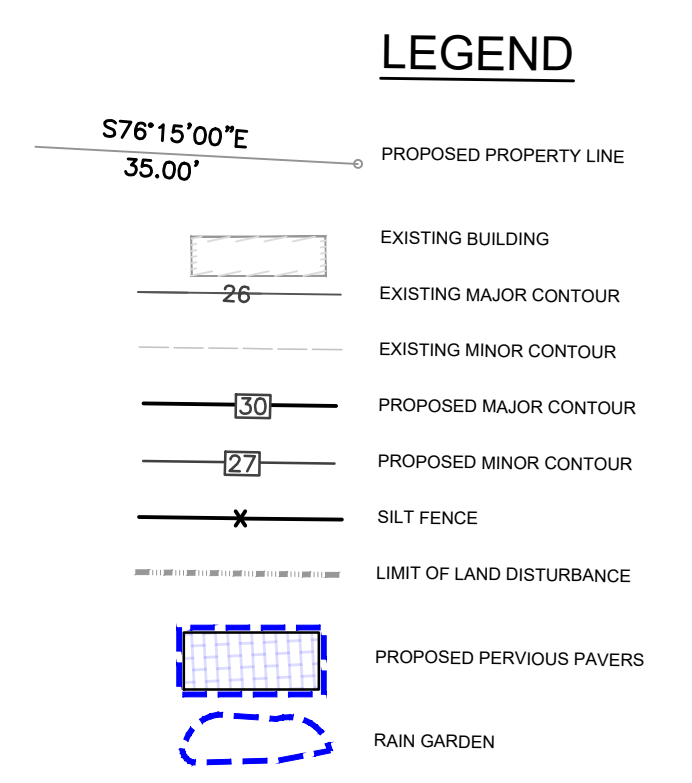
117 MAMANASCO RD.  
 RIDGEFIELD, CT 06877  
 INFO@TJENGINEERING.US  
 TEL.# 203-249-5755

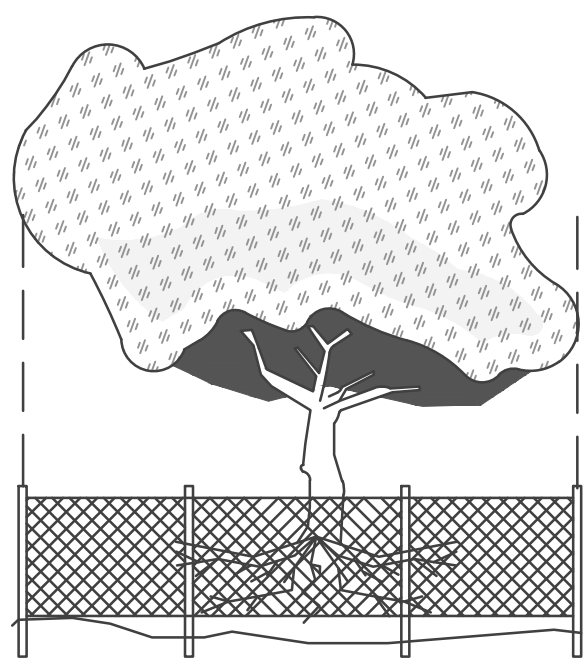
**Project Name and Address**

**STORMWATER MANAGEMENT AND S&E CONTROLS PLAN**  
 1102 GAMBELLI DRIVE  
 YORKTOWN HEIGHTS, NY 10598

OWNER: GREGG CHAPPELL & EMILY YAVITZ  
 70 HUDSON WATCH DR.  
 OSSINING, NY 10562

Project	Sheet
Date 02.14.22	1 of 2
Scale 1"=20'	

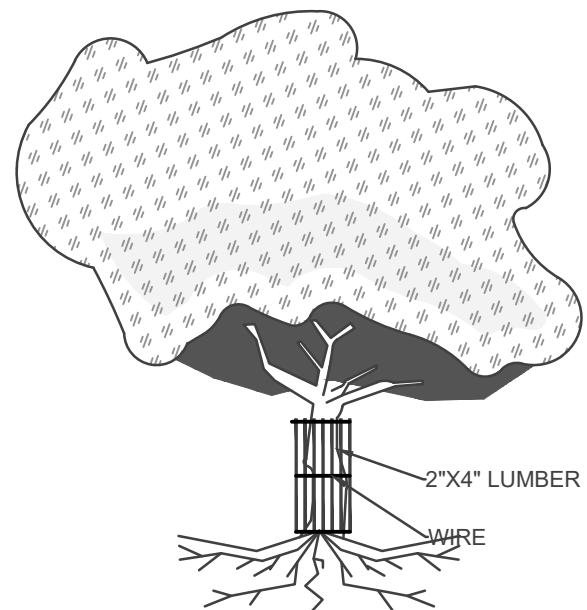




**NOTES:**  
 ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING OR OTHER SIMILAR FENCING AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF TEN FOOT (10') INTERVALS BY APPROVED METHODS SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THE FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL AND SHALL HAVE A TREE PROTECTION SIGN AFFIXED TO THE FENCE EVERY TWENTY (20) FEET IN SUCH A MANNER TO BE CLEARLY VISIBLE TO THE WORKERS ON-SITE.

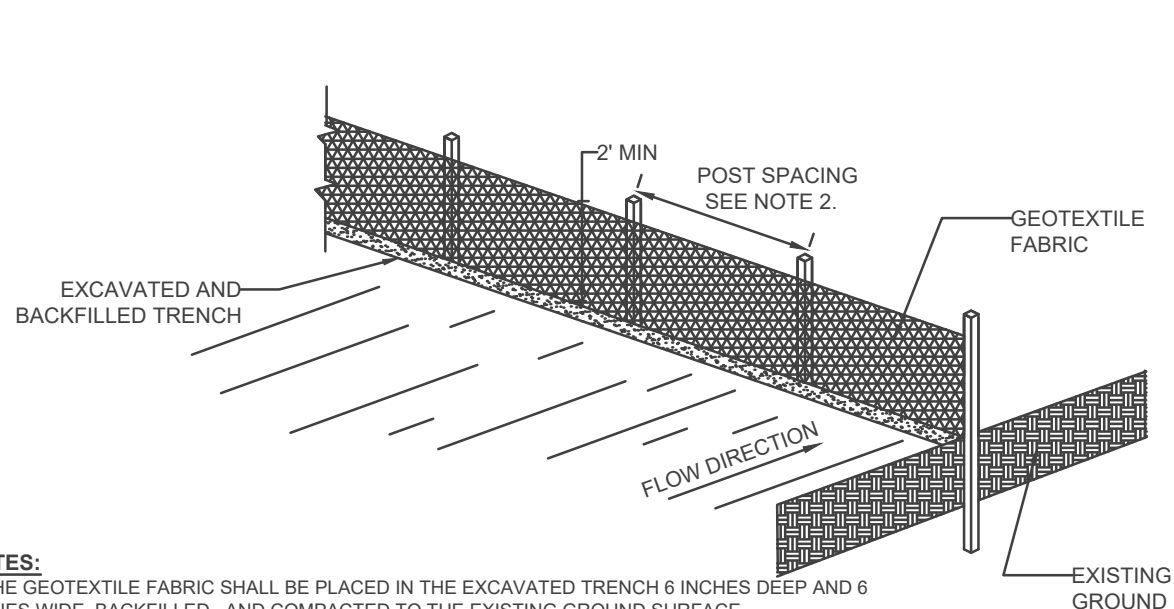
**PRIOR TO CONSTRUCTION:**  
 THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE A PROTECTIVE FENCING WHICH ENCLOSES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREES TO PROTECT THEM FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

**TYP. TREE PROTECTION FENCING**  
 N.T.S.



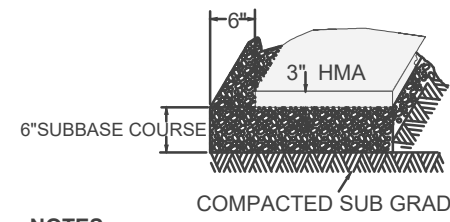
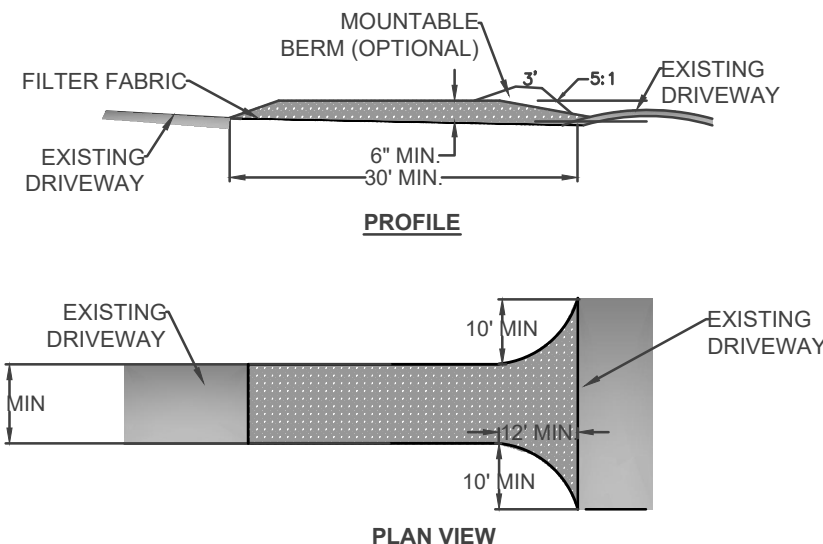
**NOTES:**  
 IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE TREE MAY BE IN DANGER OF BEING DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR SHALL PROTECT THE TREE WITH 2"x4" LUMBER ENCIRCLED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE TRUNK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

**TYP. TREE BARK PROTECTION**  
 N.T.S.



**NOTES:**  
 1. THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH 8 INCHES DEEP AND 6 INCHES WIDE, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.  
 2. WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/2" X 1-1/2" AIR OR KILN DRIED OF HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.5 POUNDS PER LINEAL FOOT AND 5 FEET LONG, AND 3 FEET FOR NON-WOVEN FABRIC.  
 3. THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UP-SLOPE SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UP-SIDE.  
 4. THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYL CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.

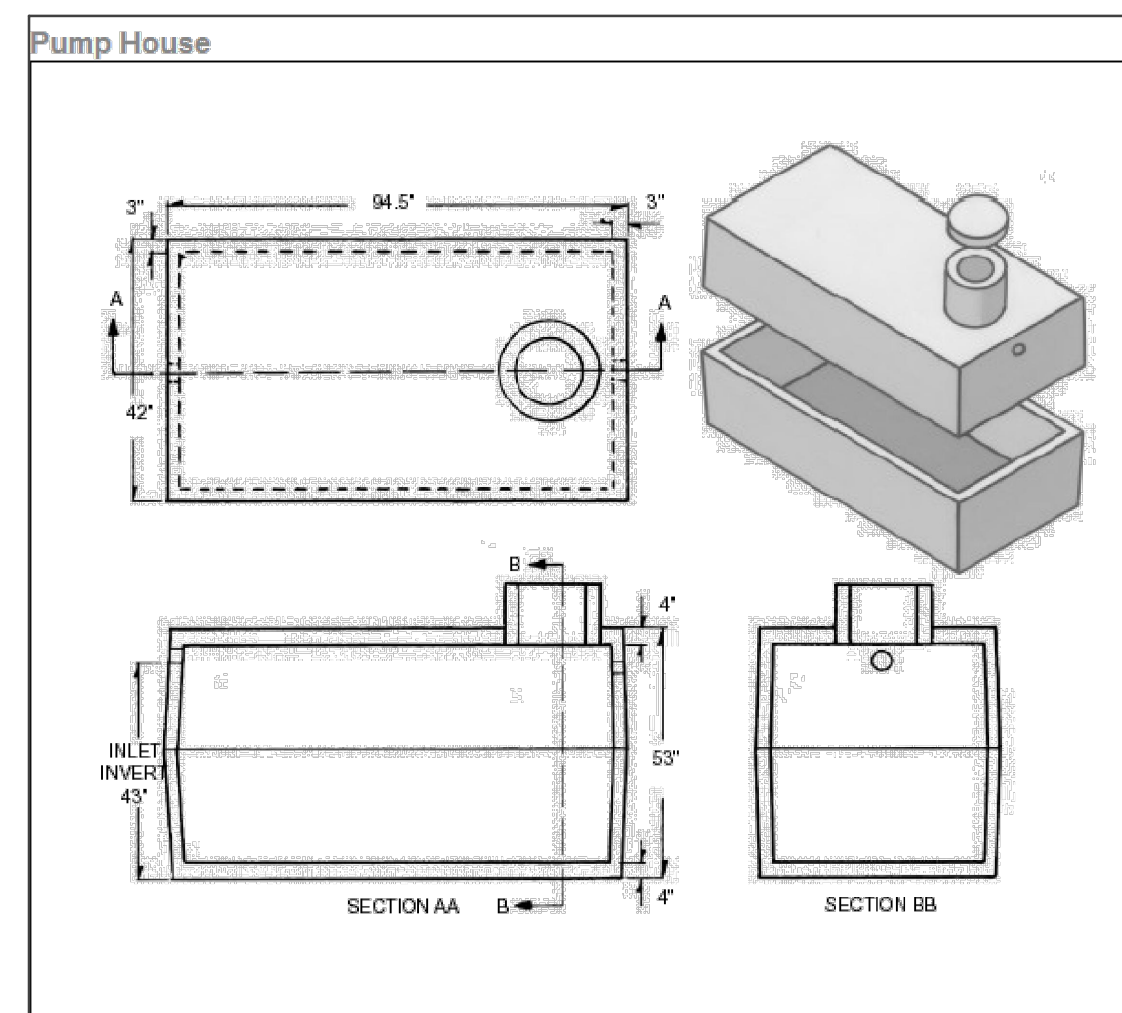
**SILT FENCE**  
 N.T.S.



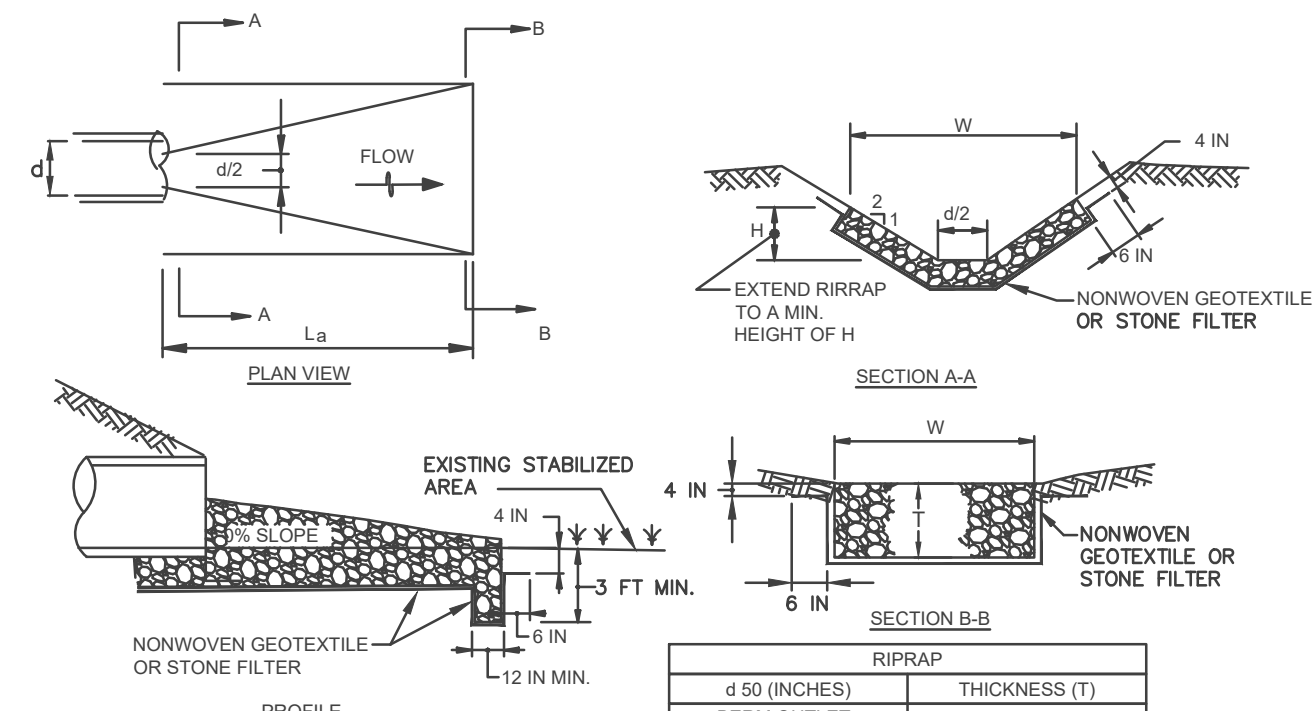
**NOTES:**  
 1. HMA - HOT MIX ASPHALT.  
 2. FOR RESURFACING EXISTING DRIVEWAY: TRUING/LEVELING COURSE AS NECESSARY. HMA - 1/2 INCH.  
 3. OR RESIDENTIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 10' FROM THE OUTSIDE EDGE OF TRAVEL LANE OR 2' BEHIND ANY SIDEWALK.

**ASPHALT DRIVEWAY**  
 N.T.S.

**STABILIZED CONSTRUCTION ENTRANCE**  
 N.T.S.



**1,500 PRECAST CONCRETE PUMP CHAMBER**  
 N.T.S.

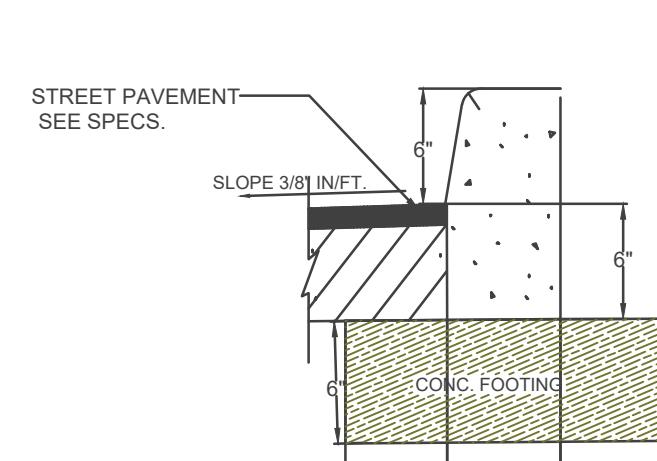


**CONSTRUCTION SPECIFICATIONS**

RIPRAP	THICKNESS (T)
6 INCHES	9 IN
8 INCHES	14 IN

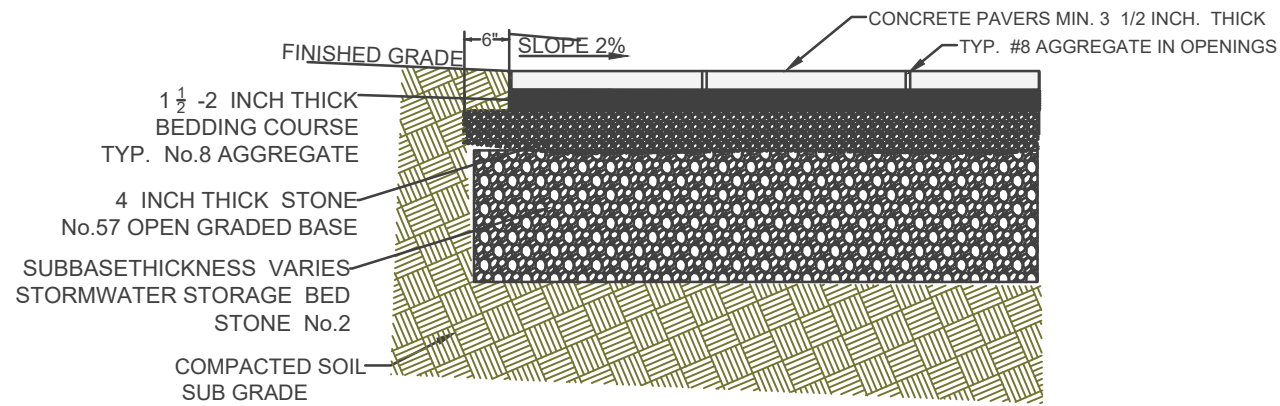
- $d_{95} \geq 3 N$ ;  $L_a = 4FT$ .
- USE NONWOVEN GEOTEXTILE, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/2 TO 1/4 INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
- CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLOADED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

**TYPICAL RIPRAP OUTLET PROTECTION**  
 N.T.S.



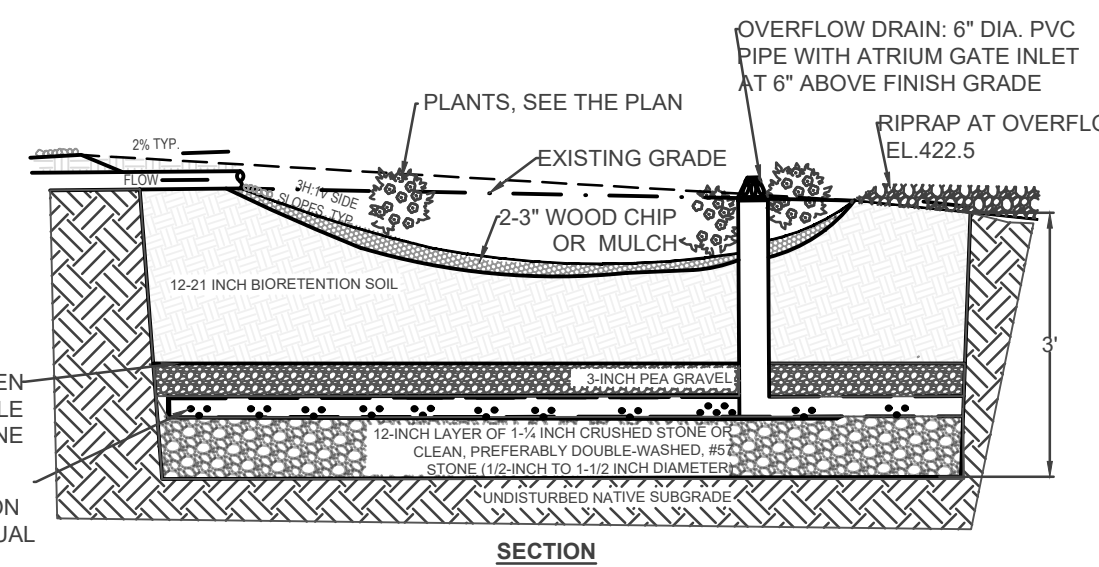
**NOTES:**  
 1. SPECIFICATIONS: THE MINIMUM STRENGTH OF THE CONCRETE AFTER 28 DAYS SHALL BE 4,000 POUNDS PER SQUARE INCH.  
 2. BASE COMPACTION UNDER CURB TO BE 98% (ASTM D698).  
 3. CONTRACTION JOINTS TO BE SAW CUT NO LATER THAN 24 HOURS AFTER THE POUR.

**CURB**  
 N.T.S.



**STORAGE BED DRAIN TIME:**  
 THE APPROXIMATE DRAIN TIME FOR THE MAXIMUM DESIGN STORM RUNOFF VOLUME BELOW THE TOP OF THE SURFACE COURSE IS 24 HR.  
 • IF THE ACTUAL DRAIN TIME IS SIGNIFICANTLY DIFFERENT FROM THE DESIGN DRAIN TIME, THE COMPONENTS AND GROUNDWATER LEVELS MUST BE EVALUATED AND APPROPRIATE MEASURES TAKEN TO RETURN THE PERVIOUS PAVING SYSTEM TO MINIMUM AND MAXIMUM DRAIN TIME REQUIREMENTS.  
 • IF THE SYSTEM FAILS TO DRAIN THE MAXIMUM DESIGN STORM VOLUME WITHIN 72 HOURS, CORRECTIVE ACTION MUST BE TAKEN.

**PERVIOUS PAVERS**  
 N.T.S.



**GENERAL NOTES**  
 1. THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND THE INSTALLATION OF THE VARIOUS COMPONENTS OF THE BIORETENTION SYSTEM (SOIL MIXTURE, PEA STONE LAYER).  
 2. A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER THE CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED INTO THE BIORETENTION SYSTEM.

**TESTING THE BIORETENTION SOIL MIX PRIOR TO PLACEMENT**  
 1. THE BIORETENTION SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE AN OBSTACLE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE BIORETENTION SOIL SHALL BE FREE OF NOXIOUS WEEDS. THE BIORETENTION SOIL MIX SHALL BE TESTED PRIOR TO PLACEMENT ACCORDING TO THE MANUFACTURER'S MANUAL SPECIFICATIONS, INCLUDING SOIL TEXTURAL ANALYSIS AND PHOSPHOROUS INDEX OR TOTAL PHOSPHOROUS TEST).

**MONITORING THE BIORETENTION SYSTEM AFTER CONSTRUCTION**  
 1. FOLLOWING CONSTRUCTION, THE BIORETENTION SYSTEM SHALL BE MONITORED TO VERIFY THAT THE SYSTEM WAS CONSTRUCTED AND FUNCTIONS AS DESIGNED. THE POST-CONSTRUCTION MONITORING SHALL CONSIST OF VISUAL OBSERVATION OF THE BIORETENTION SYSTEM AFTER A STORM EVENT THAT RESULTS IN AT LEAST 5 INCHES OF PONDING IN THE BIORETENTION AREA. IF THE DRAWDOWN TIME INDICATES A FLOW RATE OF LESS THAN 5 INCHES PER HOUR, THE BIORETENTION SOIL SHOULD BE REMOVED AND REPLACED.

**STABILIZED CONSTRUCTION ENTRANCE**  
 N.T.S.

**General Notes**

**OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT PRACTICES:**

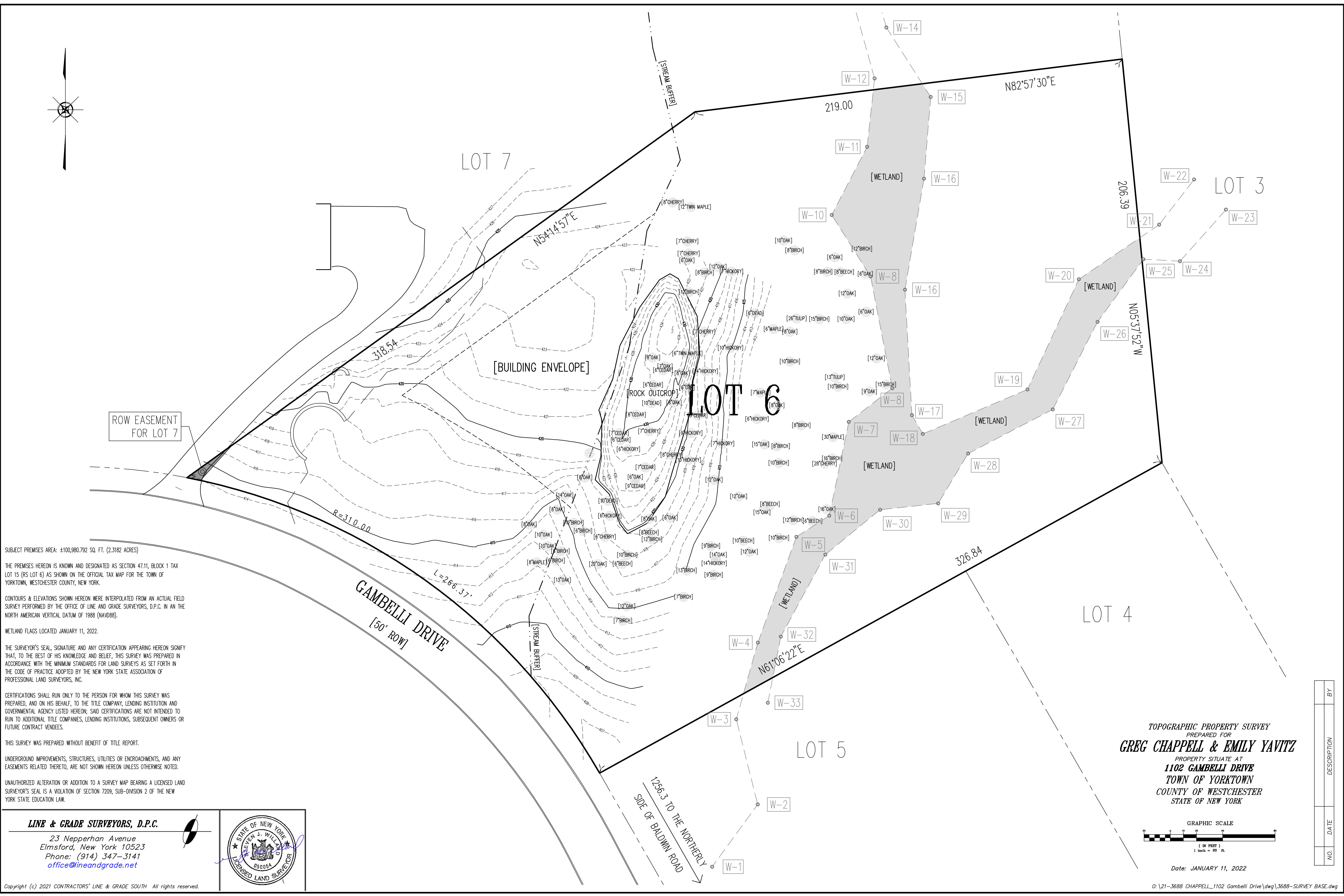
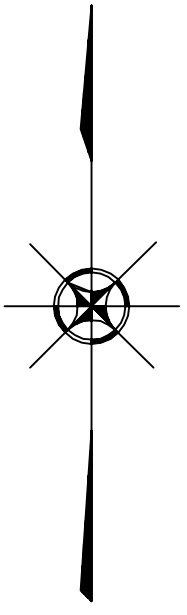
- Catch Basins & Drainage Inlets:**
  - Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediment at the completion of construction.
  - For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
  - Any accumulated debris within the catch basins/inlets shall be removed and any repairs as required.
  - From the second year on-out, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
  - Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
  - Accumulated sediments shall be removed at which time they are within 12 inches of the invert of the outlet pipe.
  - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Storm Drainage Piping and Clean-outs:**
  - All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
  - Clean outs shall be inspected and repaired on an annual basis.
  - If system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall be performed.
  - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Infiltration Systems:**
  - All infiltrators shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
  - For the first year, infiltrators shall be inspected on a quarterly basis.
  - Any accumulated debris within the infiltrators shall be removed and any repairs made to the units as required.
  - From the second year on-out, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
  - Accumulated debris within the units shall be removed and repairs made as required.
  - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Disposal of Debris and Sediment:**
  - All debris and sediment removed from the stormwater structures shall be disposed of legally. There shall be no dumping of silt or debris into or in proximity to any inland or tidal wetlands.
- Maintenance Records:**
  - The Owner(s) must maintain all records (logs, invoices, reports, data, etc.) and have them readily available for inspection at all times.

No.	Revision/Issue	Date

**Firm Name and Address**  
**TJ ENGINEERING LLC**  
 117 MAMANASCO RD.  
 RIDGEFIELD, CT 06877  
 INFO@TJENGINEERING.US  
 TEL: # 203-249-5755

**Project Name and Address**  
**STORMWATER MANAGEMENT AND S&E CONTROL DETAILS**  
 1102 GAMBELLI DRIVE  
 YORKTOWN HEIGHTS, NY 10598  
 OWNER: GREGG CHAPPELL & EMILY YAVITZ  
 70 HUDSON WATCH DR.  
 OSSINING, NY 10562

Project	Sheet
Date 02.14.22	2 of 2
Scale 1"=20'	



SUBJECT PREMISES AREA: ±100,980.792 SQ. FT. (2.3182 ACRES)

THE PREMISES HEREON IS KNOWN AND DESIGNATED AS SECTION 47.11, BLOCK 1 TAX LOT 15 (RS LOT 6) AS SHOWN ON THE OFFICIAL TAX MAP FOR THE TOWN OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK.

CONTOURS & ELEVATIONS SHOWN HEREON WERE INTERPOLATED FROM AN ACTUAL FIELD SURVEY PERFORMED BY THE OFFICE OF LINE AND GRADE SURVEYORS, D.P.C. IN AN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

WETLAND FLAGS LOCATED JANUARY 11, 2022.

THE SURVEYOR'S SEAL, SIGNATURE AND ANY CERTIFICATION APPEARING HEREON SIGNIFY THAT, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR LAND SURVEYS AS SET FORTH IN THE CODE OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC.

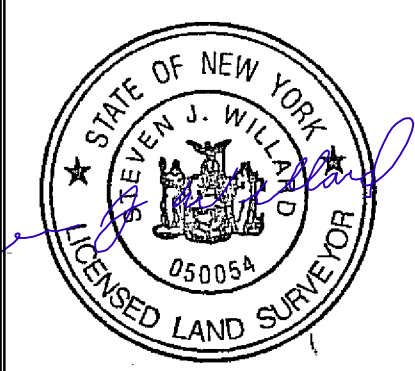
CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THIS SURVEY WAS PREPARED, AND ON HIS BEHALF, TO THE TITLE COMPANY, LENDING INSTITUTION AND GOVERNMENTAL AGENCY LISTED HEREON; SAID CERTIFICATIONS ARE NOT INTENDED TO RUN TO ADDITIONAL TITLE COMPANIES, LENDING INSTITUTIONS, SUBSEQUENT OWNERS OR FUTURE CONTRACT VENDEES.

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT.

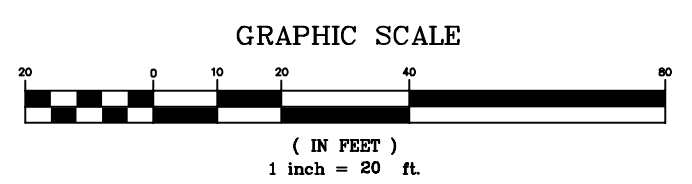
UNDERGROUND IMPROVEMENTS, STRUCTURES, UTILITIES OR ENCROACHMENTS, AND ANY EASEMENTS RELATED THERETO, ARE NOT SHOWN HEREON UNLESS OTHERWISE NOTED.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

**LINE & GRADE SURVEYORS, D.P.C.**  
 23 Nepperhan Avenue  
 Elmsford, New York 10523  
 Phone: (914) 347-3141  
 office@lineandgrade.net



TOPOGRAPHIC PROPERTY SURVEY  
 PREPARED FOR  
**GREG CHAPPELL & EMILY YAVITZ**  
 PROPERTY SITUATE AT  
**1102 GAMBELLI DRIVE**  
 TOWN OF YORKTOWN  
 COUNTY OF WESTCHESTER  
 STATE OF NEW YORK

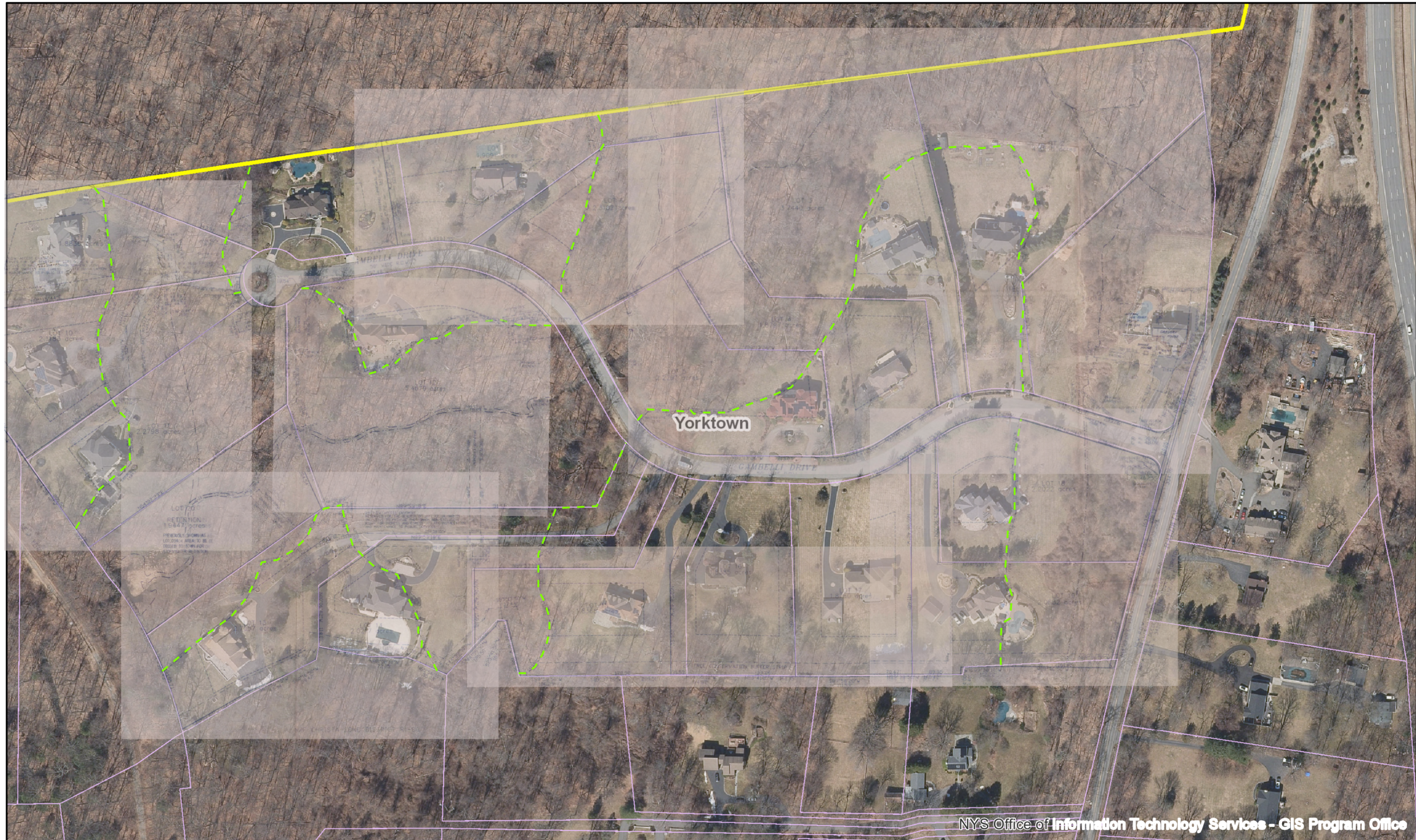


Date: JANUARY 11, 2022

NO.	DATE	DESCRIPTION	BY



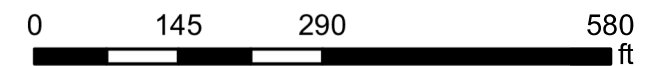
# P/O MOHANSIC GOLF COURSE. ID: 36.19-1-1 (Yorktown )



April 29, 2022

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

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**Westchester County GIS**

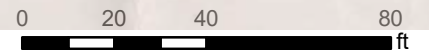
**GIS** GEOGRAPHIC INFORMATION SYSTEMS  
<http://giswww.westchestergov.com>  
Michaelian Office Building  
148 Martine Avenue Rm 214  
White Plains, New York 10601

# 1019 GAMBELLI DR.. ID: 47.12-1-15 (Yorktown )



April 29, 2022

1:500



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GIS Geographic Information System  
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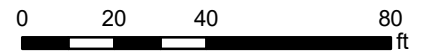
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1:500



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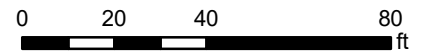
# 1140 GAMBELLI DR.. ID: 47.11-1-20 (Yorktown )



April 29, 2022

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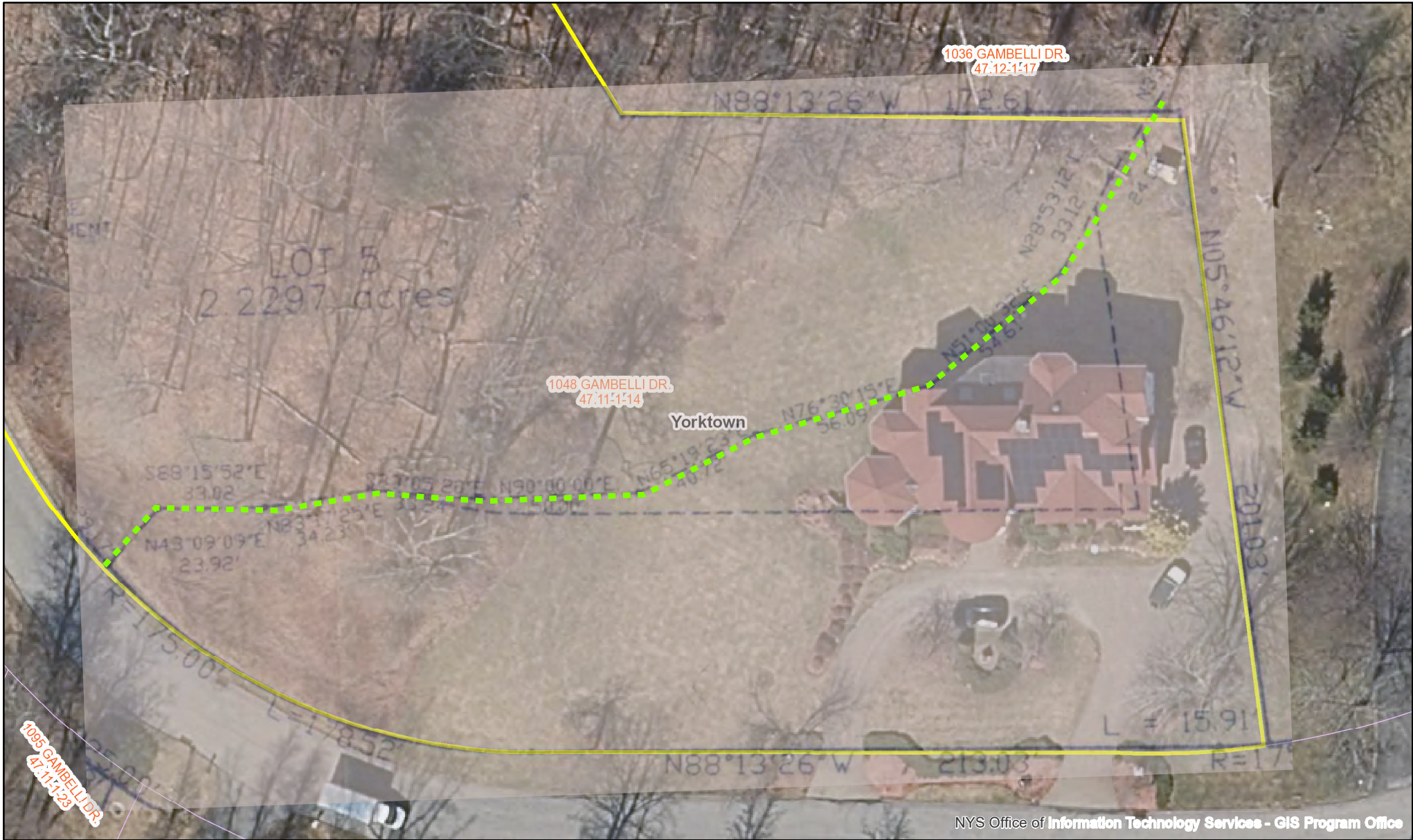
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**GIS** Geographic Information System  
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Michaelian Office Building  
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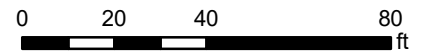
# 1048 GAMBELLI DR.. ID: 47.11-1-14 (Yorktown )



April 29, 2022

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1:500



**Westchester County GIS**

GIS COOPERATIVE ENVIRONMENTAL SYSTEMS  
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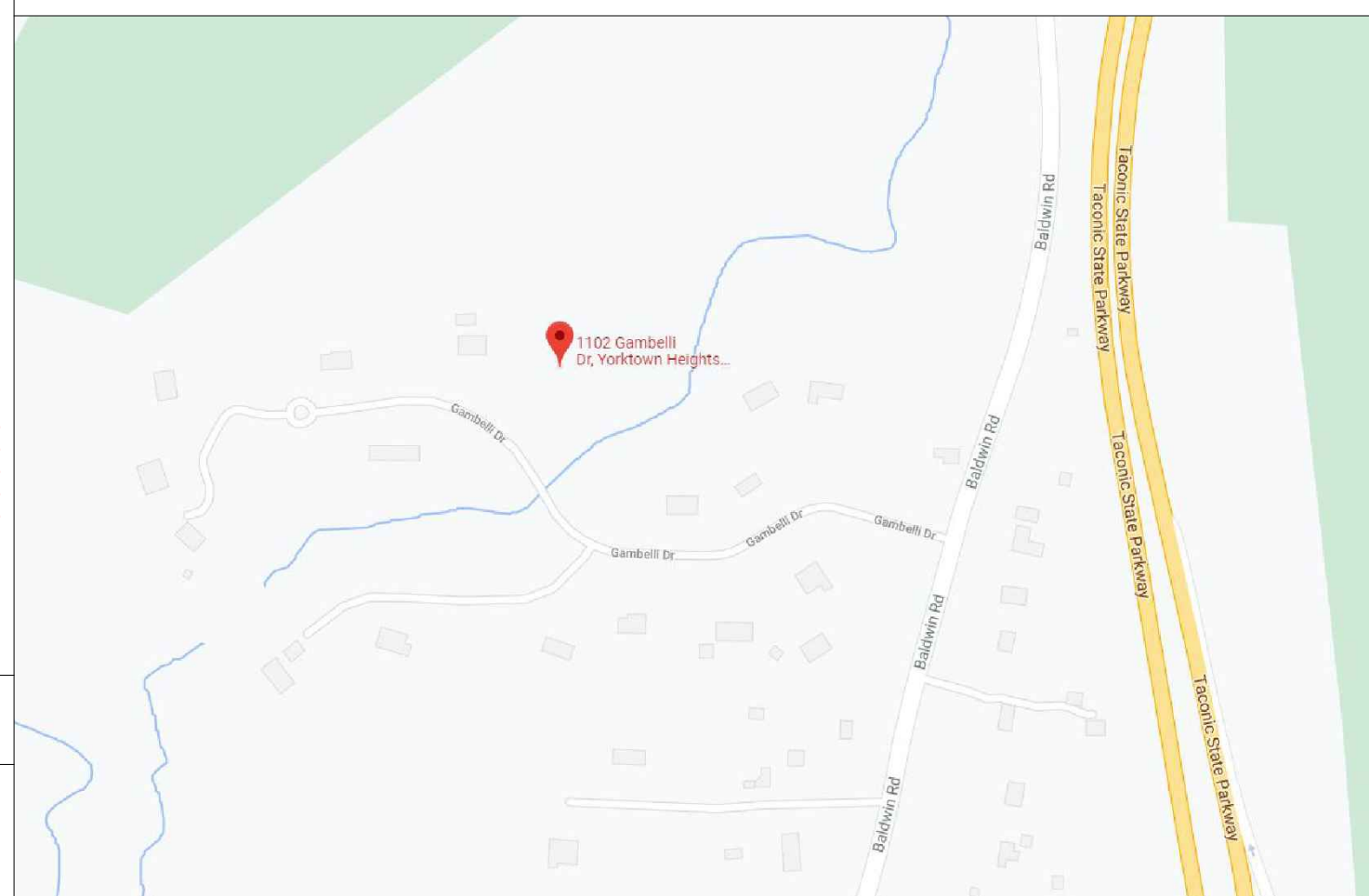
# NEW SINGLE-FAMILY DWELLING

FOR:

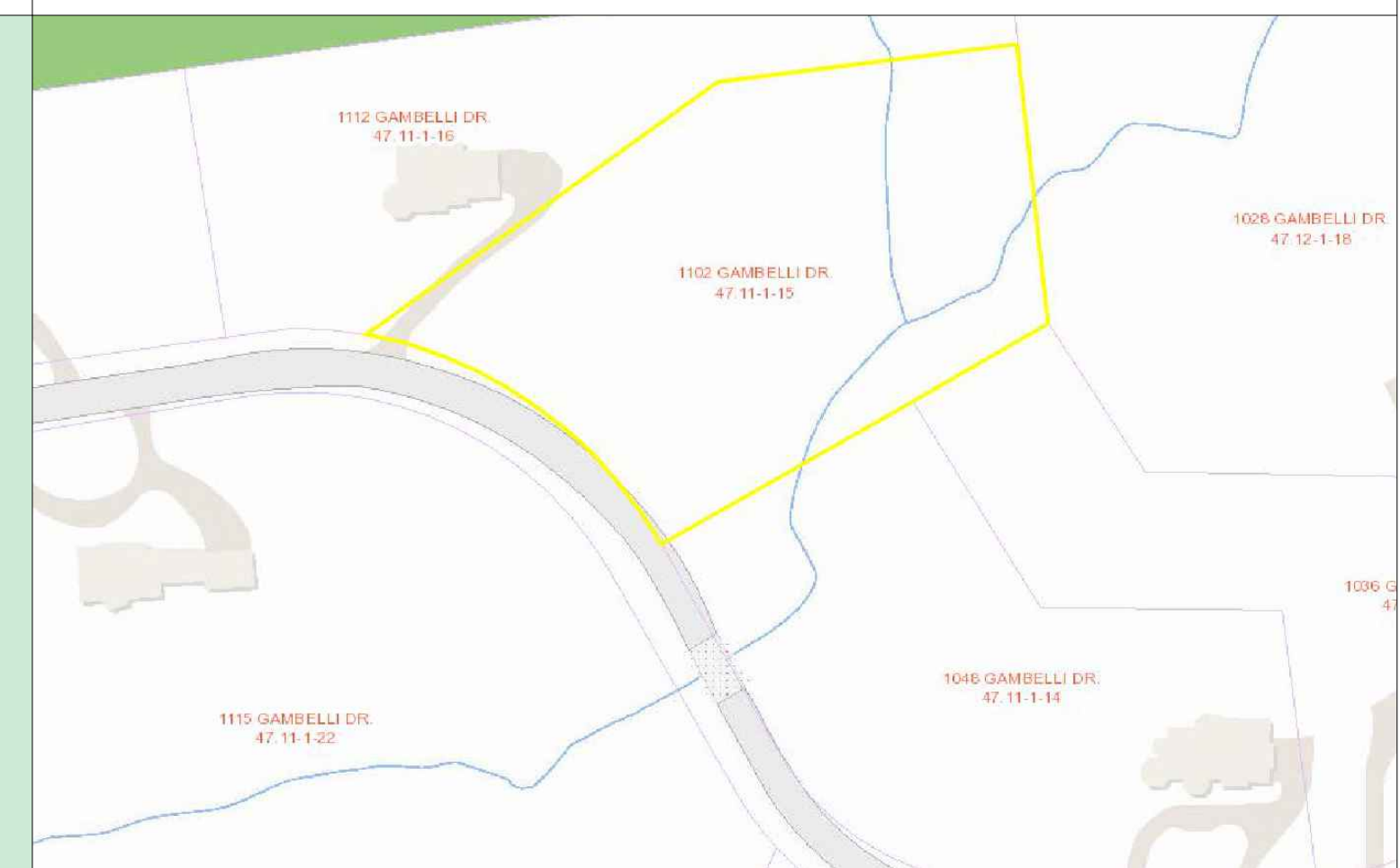
## GREGG T. CHAPPELL & EMILY YAVITZ 1102 GAMBELLI DRIVE, YORKTOWN HEIGHTS, NY 10598

ZONE: R1-80 SECTION: 47.11 BLOCK:1 LOT:15

LOCATION MAP: NTS



TAX MAP: NTS



ISSUES:	
SUBMITTED FOR PERMIT	10.15.21
REV.1: D08 COMMENTS	02.11.22

DRAWING STATUS:	
EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

### GENERAL CONDITIONS:

- THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
- CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECT. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS WILL BE CONSIDERED.
- ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, FHA FRAMING STANDARDS, OSHA CODES, FHMU AND UTILITY CODES, AND BEST TRADE PRACTICES.
- ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE PLANS, SPECIFICATIONS, AND/OR DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BE RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
- CONTRACTORS ARE TO FILE INSURANCE CERTIFICATE AND OBTAIN ALL PERMITS, SCHEDULE ALL REQUIRED INSPECTIONS WITH NOTIFICATION TO INSPECTORS AND ARCHITECT, OBTAIN ALL CODE APPROVALS AND PERMITS, AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK SHALL START PRIOR TO OBTAINING PERMITS.
- GENERAL CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC LIABILITY INSURANCE, WORKMAN'S COMPENSATION, AUTO INSURANCE, GENERAL LIABILITY AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES AND AS OWNER REQUIRES.
- THE ARCHITECT HAS INDICATED AND ESTIMATED CERTAIN CONDITIONS, EITHER NOT SHOWN OR NOT CONSIDERED RELIABLE ON OLDER DRAWINGS FURNISHED TO ARCHITECT BY OWNER, OR NOT MEASURABLE DUE TO TOTAL ABSENCE OF ANY DRAWINGS, OR TOO INACCESSIBLE TO ACCESSIBLE TO VERIFY IN THE FIELD PRIOR TO PREPARING DRAWINGS. THE ARCHITECT THEREFORE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DRAWINGS FOR BIDDING SCOPE ONLY, AND WILL FURNISH MORE DETAILED INFORMATION LATER WHEN AREAS ARE ACTUALLY ACCESSIBLE AND MEASURABLE, BY THE CONTRACTOR. ANY WORK THAT MUST BE DONE ADDITIONALLY IN AREAS WHERE INFORMATION OR INDICATIONS WHERE WORK IS LAID OUT, SHALL BE BILLED TO THE OWNER AS AN EXTRA CHARGE, SUBJECT TO THE ARCHITECT'S APPROVAL OF AN ITEMIZED COST BREAKDOWN.
- CONTRACTORS SHALL COORDINATE ALL WORK PROCEDURES AND WORKING HOURS WITH LOCAL AUTHORITIES, NEIGHBORHOOD ASSOCIATIONS, AND ANY OTHER GOVERNING AUTHORITIES.
- ALL INDICATED SURVEY MATERIAL IS FOR GENERAL REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF ANY OF THE INDICATED MATERIAL.
- CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITH AND ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE EXPENSE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION DEBRIS, RUBBISH AND OFF SITE DISPOSAL IN A RESPONSIBLE MANNER.
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY.
- CONTRACTOR SHALL LAY OUT WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS TO ALL PARTIES.
- BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK.
- CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER BEING AUTHORIZED TO PROCEED. THE SUBSTITUTIONS PERMITTED WITHOUT APPROVAL OF THE ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY CONTRACTOR'S FAILURE TO ORDER MATERIAL PROMPTLY.
- CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE APPROVED SHORING AND BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AT HIS SOLE EXPENSE.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. THE GENERAL CONTRACTOR IS TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALL SUBCONTRACTOR'S WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INTERIOR MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT NO COST TO OWNER.
- SUBSTITUTIONS OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE MADE ONLY UPON APPROVAL OF THE ARCHITECT OR OWNER AS NOTED ON THE DRAWINGS OR IN THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT HIS SUBSTITUTION FOR APPROVAL BEFORE RELEASING ANY ORDER FOR FABRICATION AND/OR SHIPMENTS. THE ARCHITECT RESERVES THE RIGHT TO DISAPPROVE SUCH SUBSTITUTION, PROVIDED IN HIS SOLE OPINION, THE ITEM OFFERED IS NOT EQUAL OF THE ITEM SPECIFIED. WHEN A CONTRACTOR PURPOSES TO USE AN ITEM OTHER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WHICH REQUIRES ANY REDESIGN OF THE STRUCTURE, PARTITIONS, PIPING, WIRING OR OF ANY OTHER PART OF THE MECHANICAL, ELECTRICAL, OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN, AND ALL NEW DRAWINGS AND DETAILING REQUIRED THEREFOR SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PREPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES OF MAJOR TYPE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.
- UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
  - COMPLETE SWEEPING OF ALL AREAS, AND REMOVAL OF ALL RUBBISH AND DEBRIS, EXCEPT THAT CAUSED BY OWNER OR OTHER DOWNSIDE WORK.
  - REMOVAL OF ALL LABELS FROM GLASS, FIXTURES, AND EQUIPMENT, ETC. AND SPRAY CLEANING OF ALL GLASS /MIRRORS.
  - REMOVAL OF STAINS, AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC.
  - PROFESSIONAL INTERIOR AND EXTERIOR FINAL CLEANING OF THE ENTIRE STRUCTURE.
  - RESTORATION OF PROPERTY BY RETURNING SHRUBS TO ORIGINAL LOCATIONS, FILLING OF ALL RUTS, RAKE TOPSOIL, PLANT GRASS SEED ON DAMAGED LAWN AREAS AND REPAIRS TO DAMAGED BLACKTOP.
- UNLESS OTHERWISE NOTED, MATERIALS SHALL BE PREPARED, INSTALLED, FITTED, AND ADJUSTED IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS, DETAILS, AND RECOMMENDATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE PROJECT.
- GENERAL CONTRACTORS TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ARISE DURING CONSTRUCTION.
- GENERAL CONTRACTORS SHALL COORDINATE WITH THE VARIOUS TRADES INVOLVED IN THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT AND NOT DAMAGE TREES, PLANTINGS OR SHRUBS WHERE CONSTRUCTION WORK IS REQUIRED AT THE EXISTING EXTERIOR OF THE BUILDING.
- THE ENTIRE WORK AREA SHALL BE DELIVERED TO THE OWNER IN PROPER WORKING CONDITIONS.

### MATERIAL LEGEND

	Earth
	Concrete
	Concrete Block
	Brick
	Marble
	Plywood
	Metal
	Wood Finish
	Wood Rough
	Insulation
	Rigid Insulation
	Glazing/Mirror
	Gravel

### ABBREVIATION LEGEND

ACoust	ACOUSTICAL	LAM	LAMINATE
ADJ	ADJUSTABLE	L.F.	LINEAR FEET
AF	ABOVE FINISHED FLOOR	L.G./L.H	LENGTH
AL/ALUM	ALUMINUM	LAV	LAVATORY
ACT	ACOUSTICAL CEILING TILE	MFR	MATERIAL MANUFACTURER
ARCH	ARCHITECTURAL ARCHITECT	M.O.	MASONRY OPENING
AHU	AIR-HANDLER UNIT	MIL	METAL
BLDG	BUILDING	MEL	MELT
BK	BLOCK	NEW	NEW
BS	BUILDING STANDARD	N/A	NOT APPLICABLE
CHR	CHAR RAIL	N.I.C.	NOT IN CONTRACT
CJ	CONTROL JOINT	NSF	NET SQUARE FOOTAGE
CL	CENTER LINE	NTS	NOT TO SCALE
CLG	CEILING	O.A.	OVER ALL
CLR	CLEAR	O.C.	ON CENTER
CMU	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
CRM	CROWN MOULD	O.F.	OVERFLOW
COL	COLUMN	O.H.	OPPOSITE HAND
COHC	CONCRETE	PART	PARTITION
CONSTR	CONSTRUCTION	P.L.	PROPERTY LINE
CONTR	CONTRACTOR/CONTRACT	PLAM	PLASTIC LAMINATE
CONF	CONTINUOUS	PLBG	PLUMBING
CPT	CARPET	PLYWD	PLYWOOD
CT	CERAMIC TILE	P.M.U.	PRE-CAST MASONRY UNIT
DF	DRINKING FOUNTAIN	PNE	PANEL
DIA	DIAMETER	POL	POISHED
DIAG	DIAGONAL	PROJ	PROJECT/PROJECTION
DIM	DIMENSION	PROJ	PROJECT/PROJECTION
DN	DOWN	PRNTD	PRINTED
D	DEPTH	P.T.	PRESSURE TREATED
DR	DOOR	QTY	QUANTITY
DS	DOWN SPOUT	R	RELOCATED
DT/DET	DETAIL	RB	RUBBER BASE
ELEC	ELECTRICAL	R/RAD	REFLECTED CEILING PLAH RADII
EL/ELEV	ELEVATION/ ELEVATOR	RCP	RECEPTACLE
EMER	EMERGENCY	R.O.	ROUGH OPENING
ENT	ENTRANCE	R.S.F.	RENEWABLE SQUARE FOOTAGE
EP	EPOXY	R.T.U.	ROOF TOP UNIT
EQ	EQUAL	S.C.	SOLID CORE
ETR	EXISTING TO REMAIN	SCHED.	SCHEDULE
EWC	ELECTRIC WATER COOLER	SECT	SECTION
EX/EXIST	EXISTING	S.F.	SQUARE FOOT/ SQUARE FOOTAGE
EXP. JT.	EXPANSION JOINT	S.H.	SHIM
EXT	EXTERIOR	S.P.C./S	SPECIFY/ SPECIFIED
FA	FIRE ALARM	SQ	SQUARE
FEC	FIRE EXTINGUISHER CABINET	S.S.	STAINLESS STEEL
FD	FLOOR DRAIN	STD	STANDARD
FIXT	FIXTURE	STL	STEEL
FLUR	FLOOR FINISH	SUSP	SUSPENDED
FUR	FURRED/ FURRING	TEL	TELEPHONE
FWC	FABRIC WALL COVERING	TEMP	TEMPERED
FRP	FIBERGLASS REIN. PLASTIC	THRESHHOLD	THRESHHOLD
GCT	GLAZED CERAMIC TILE	T.O.	TOP OF
GL	GLASS/ GLAZED	T.O.S./TOP	TOP OF STEEL/SLAB
GRD	GROUND	T.O.W.	TOP OF WALL
GSP	GROSS SQUARE FOOTAGE	TYP	TYPICAL
GYP	GYPSPUM	TME	TO MATCH EXISTING
GWB	GYPSPUM WALL BOARD	UC	UNDERCUT
H.C.	HOLLOW CORE	U.L.A.	U.L. APPROVED
HD	HEAD	U.O.A.	UNLESS OTHERWISE NOTED
HDW	HARDWARE	U.S.F.	USABLE SQUARE FOOTAGE
HDWD	HARDWOOD	US	UNDERSIDE
H.I.D.	HIGH INTENSITY DISCHARGE	V.I.F.	VERIFY IN FIELD
H.M.	HOLLOW METAL	VOL	VOLUME
H/HT	HEIGHT	VCT	VINYL COMPOSITION TILE
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	VCT	VINYL TILE
I.D.	INSIDE DIAMETER	V.V.C.	VINYL WALL COVERING
IN	INCH	W/	WITH
INCAND	INCANDESCENT	W/O	WITHOUT
INSLA	INSULATION	WC	WATER CLOSET
J.C.	JANITOR CLOSET	WD	WOOD
JBOX	JUNCTION BOX	WH	WATER HEATER
		W.P.	WORKING POINT
		WT	WEIGHT

### PROJECT DESCRIPTION

NEW 2,700 SF 2 1/2 STORY SINGLE-FAMILY DWELLING

### CODE SUMMARY

ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF YORKTOWN CODES & ORDINANCES

NEW YORK STATE APPLICABLE BUILDING CODES:  
BUILDING 2020 BUILDING CODE OF NEW YORK STATE  
2020 RESIDENTIAL CODE OF NEW YORK STATE  
2020 NYS UNIFORM CODE SUPPLEMENT  
EXISTING BUILDING 2020 EXISTING BUILDING CODE OF NEW YORK STATE  
FIRE 2020 FIRE CODE OF NEW YORK STATE  
PLUMBING 2020 PLUMBING CODE OF NEW YORK STATE  
MECHANICAL 2020 MECHANICAL CODE OF NEW YORK STATE  
FUEL GAS 2020 FUEL GAS CODE OF NEW YORK STATE  
ENERGY 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE  
PROPERTY MAINTENANCE 2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE  
ELECTRICAL 2017 NATIONAL ELECTRICAL CODE  
ANSI/ICC A117.1

USE AND OCCUPANCY CLASSIFICATIONS:  
SINGLE-FAMILY RESIDENCE: R-3 (BIC: 310.5)

CONSTRUCTION TYPE:  
TYPE VB (BIC: TABLE 601)

### PROJECT DIRECTORY

OWNER/CLIENT	ARCHITECT	BUILDING DEPARTMENT
GREGG CHAPPELL & EMILY YAVITZ 70 HUDSON WATCH DRIVE OSSINGNY, NY 10562 T: 914.649.4131 E: GCHAPPELL@SCHIMMELT.COM	RDC310 3160 RdStudio, inc 363 WESTCHESTER AVENUE ROCKY HILL, CT 06157 T: 914.774.0534 E: RD@RDCSTUDIO-INC.COM	TOWN/VILLAGE OF YORKTOWN, NY BUILDING DEPARTMENT 363 UNDERHILL AVE. YORKTOWN HEIGHTS, NEW YORK, 10598 T: 914.962.5722

### DRAWING LIST

A-001	GENERAL CONDITIONS, CODE SUMMARY, SITE PLAN
A-002	GENERAL CONSTRUCTION NOTES, SCHEDULES
A-101	BASEMENT PLAN
A-102	FIRST FLOOR PLAN
A-103	SECOND FLOOR PLAN
A-105	ROOF PLAN
A-106	BASEMENT RCP
A-107	FIRST FLOOR RCP
A-108	SECOND FLOOR RCP
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-301	CROSS-SECTIONS
A-302	CROSS-SECTIONS
A-303	CROSS-SECTIONS
A-304	CROSS-SECTIONS
A-305	CROSS-SECTIONS
A-306	CROSS-SECTIONS
A-307	CODE COMPLIANCE DETAILS: TYP. STAR REQUIREMENT DETAILS
A-308	CODE COMPLIANT FRAMING NOTCHING DETAILS
BW-101	BRACE WALL PLANS & DETAILS

### STRUCTURAL DESIGN CRITERIA

MIN. SOIL BEARING CAPACITY:  
CONCRETE FOOTINGS: 3,000 PSF  
CONCRETE SLABS ON GRADE/COMPACTED FILL: 3,000 PSI

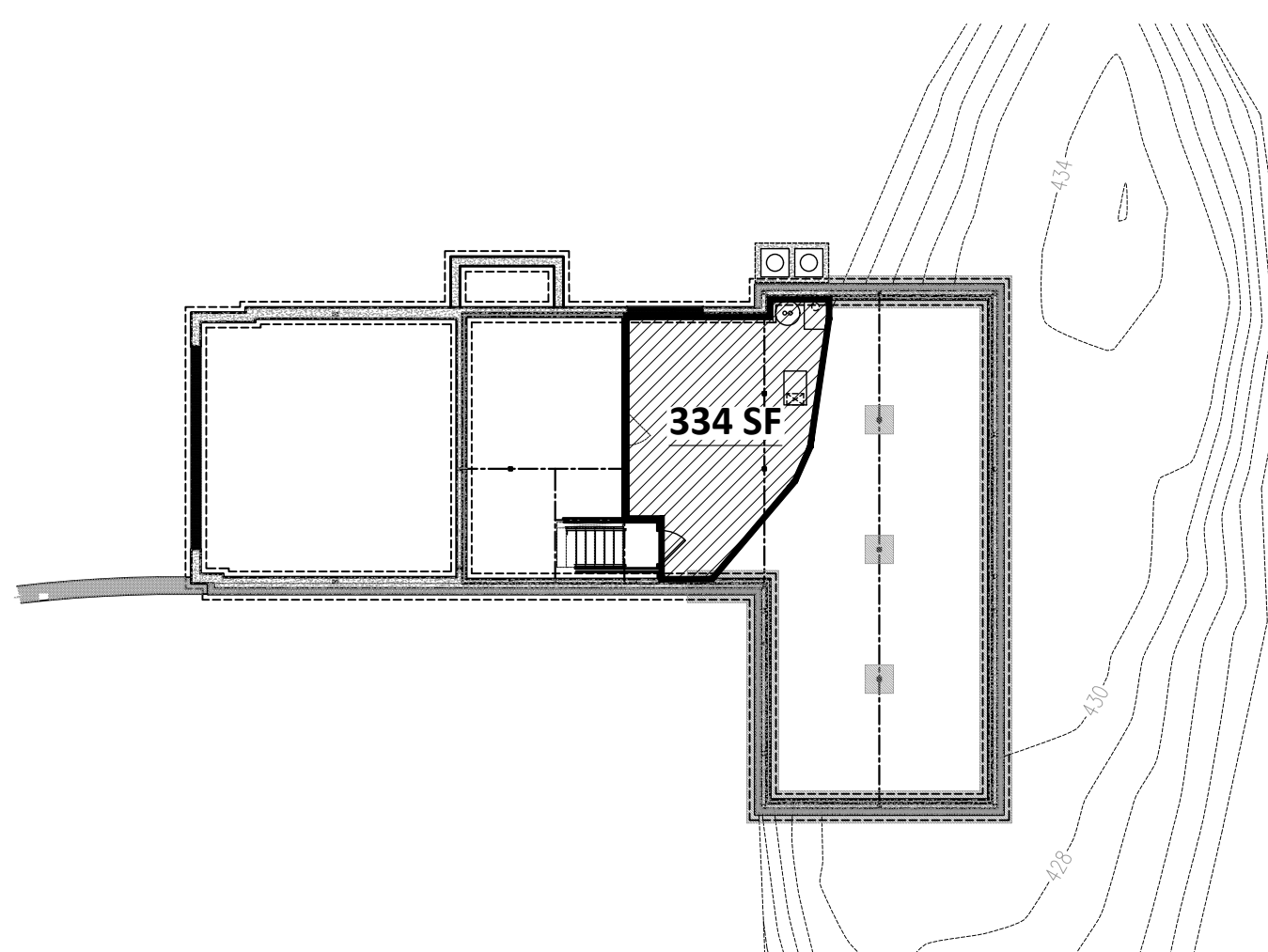
DEFLECTION LIMITS (IRC: 1604.3):  
L/360

LIVE LOADS (IRC: TABLE 1607.1):  
FIRST FLOOR 40PSF  
SECOND FLOOR 40PSF  
ROOF 20PSF  
DECK 40PSF

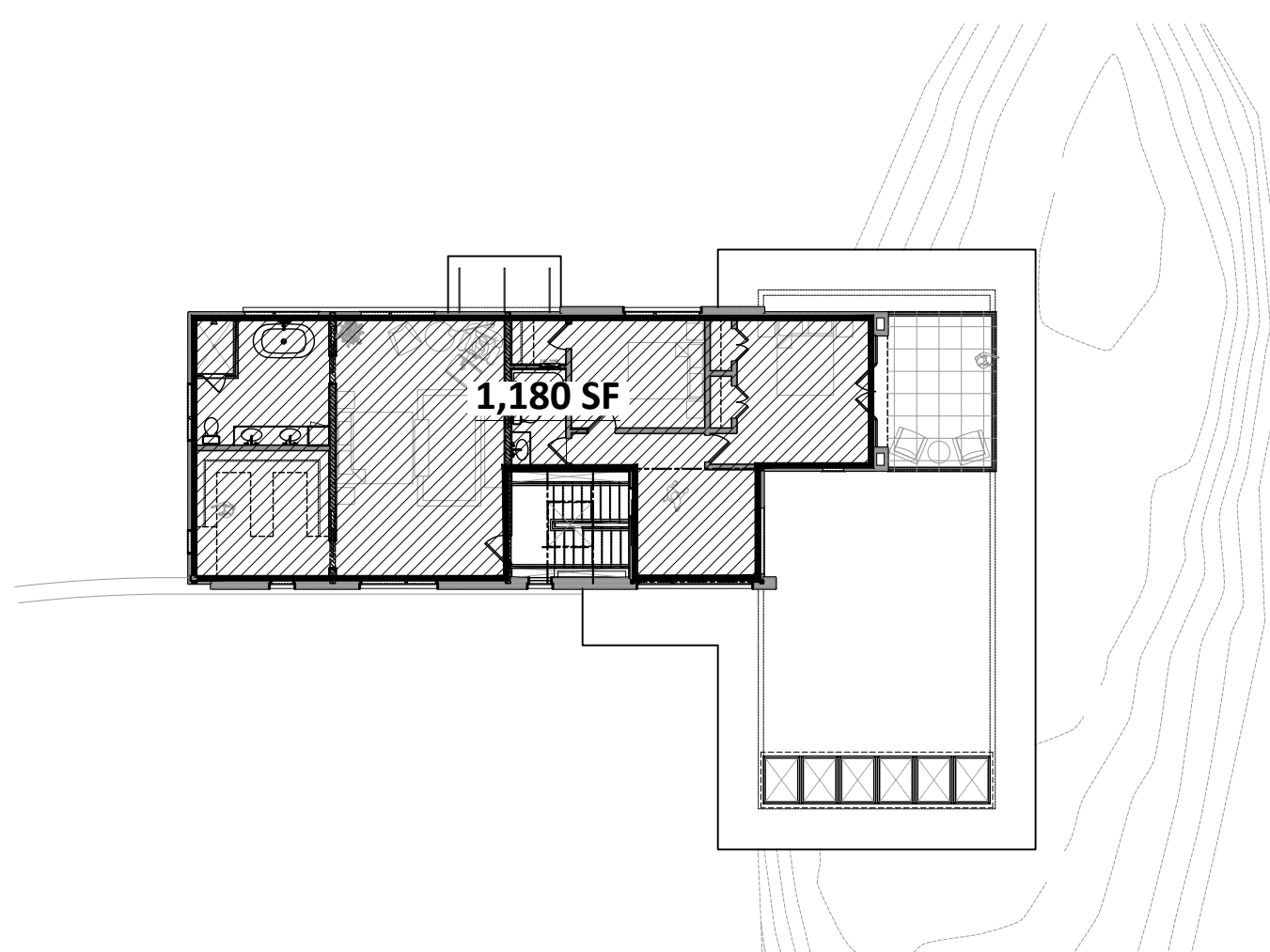
STRUCTURAL STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS UNLESS NOTED OTHERWISE:  
STRUCTURAL STEEL - ASTM A992 GRADE 50 U.N.  
STEEL PLATES - ASTM A36 U.N. // HIGH STRENGTH BOLTS ASTM A325, GALVANIZED  
NUTS - ASTM A563 GALVANIZED // WELDING ELECTRODES - AWS CLASS E70

### UNFINISHED SPACE

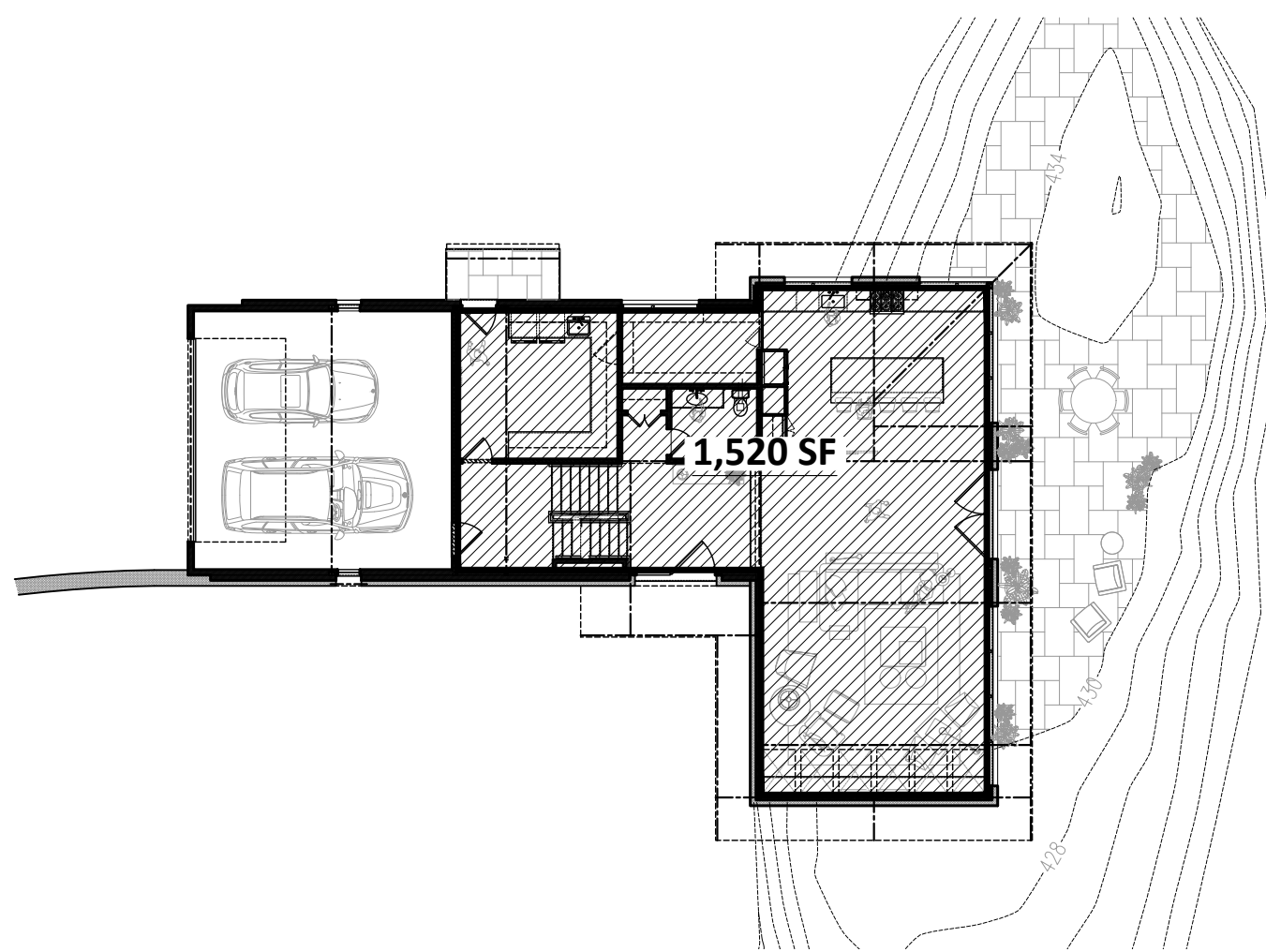
BASEMENT	334 SQ. FT.
TOTAL	334 SQ. FT.



BASEMENT



FIRST FLOOR



SECOND FLOOR

1 FLOOR AREA SQUARE FOOTAGE PER FLOOR  
SCALE: 1/16" = 1'-0"

NEW SINGLE-FAMILY DWELLING FOR:  
GREGG T. CHAPPELL & EMILY YAVITZ  
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598  
GENERAL CONDITIONS; CODE SUMMARY; SITE PLAN

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02/09/2022  
DRAWN: JV  
CHECKED: RD  
JOB NO: 2110  
DATE: 03.08.21  
Sheet

A-001

**GENERAL CONSTRUCTION NOTES:**

- ALL DIMENSIONS GIVEN ARE TO ROUGH OPENINGS AND/OR FRAMING.
- THE ARCHITECT DOES NOT HAVE CONSTRUCTION SUPERVISION RESPONSIBILITY AND HERE BY LIMITS THE RESPONSIBILITY TO THE INFORMATION PROVIDED WITHIN.
- CONTRACTOR/OWNER AND TRADES TO FILE AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
- CONTRACTOR/OWNER TO SCHEDULE AND PAY FOR ALL INSPECTIONS AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO BE ON A INTERCONNECTED HARDWIRED SYSTEM AS PER CODE THROUGHOUT ENTIRE DWELLING.
- GARAGES TO HAVE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON ALL WALLS AND CEILING.
- MECHANICAL ROOMS TO HAVE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON WALLS AND CEILINGS THAT DO NOT MEET THE REQUIRED CLEARANCES FROM UNPROTECTED COMBUSTIBLE MATERIALS AS INDICATED ON THE EQUIPMENT LABEL AND IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- CONTRACTOR/OWNER TO PROVIDE PROPER VENTILATION FOR DRYERS AS REQUIRED PER MANUFACTURER.
- CONTRACTOR/OWNER TO VERIFY ALL MECHANICAL EQUIPMENT AND SPECIFICATIONS FOR PROPER MECHANICAL ROOM DIMENSIONS, LIGHT, HEAT, VENTILATION PER CODE.
- ALL PLUMBING & ELECTRICAL WORK TO MEET ALL LOCAL, STATE, AND FEDERAL CODE.
- ELECTRICAL AND PLUMBING CONTRACTOR TO VERIFY ALL EXISTING ELECTRICAL AND PLUMBING TO REMAIN IS CODE COMPLIANT.
- HABITABLE SPACES IN EXISTING FINISHED BASEMENT TO CONFORM TO SECTION R303 'LIGHT, VENTILATION AND HEATING' IN THE RESIDENTIAL CODE OF NEW YORK STATE.
- ALL NEW S.C.F.D. SHALL BE A SOLID WOOD DOOR NOT LESS THAN 1 3/8" IN THICKNESS, OR A SOLID OR HONEYCOMB-CORE STEEL DOOR NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING HINGE OR DOOR CLOSER. S.C.F.D. FRAME SHALL MATCH DOOR SPECIFICATION.
- ALL NEW HANDRAILS AND GUARDS TO CONFORM TO SECTION R311.7.8 'HANDRAILS' AND SECTION R312 'GUARDS & WINDOW FALL PROTECTION' OF THE RESIDENTIAL CODE OF NEW YORK STATE.
- GENERAL CONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY ARISE.
- ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER' WILL BE GIVEN AN ALLOWANCE BY THE CONTRACTOR. CONTRACTORS WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER'.
- ALL NEW PLUMBING FIXTURES TO BE SELECTED BY OWNER.
- ALL NEW PAINT TO BE SELECTED BY OWNER.
- ALL NEW FLOOR & WALL TILE TO BE SELECTED BY OWNER.
- ALL NEW INTERIOR DOOR HARDWARE TO BE SELECTED BY OWNER.
- UNLESS NOTED OTHERWISE ALL INTERIOR & EXTERIOR FINISH MATERIAL TO BE SELECTED BY OWNER.
- ALL SHOWER GLASS TO BE LASER OR ACID ETCHED TEMPERED GLASS.
- INSULATION IS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS OR RESENT GRADE I.

**GENERAL ELECTRICAL NOTES:**

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING ELECTRICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE N.E.C., AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. WHETHER OR NOT SPECIFICALLY STATED. THE ELECTRICAL SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL ELECTRICAL WORK TO CONFORM TO ANY AND ALL CODES, RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT. WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT FOR ACCEPTANCE.
- THE ELECTRICAL SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK.
- THE CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH BUILDING SUPERINTENDENT, OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR LOCATIONS
- ALL NEW SWITCHES TO BE 'LUTRON DIVA DIMMER & SWITCH' (UNLESS NOTED OTHERWISE). SWITCH COLOR SHALL BE VERIFIED WITH ARCHITECT AND OWNER PRIOR TO PURCHASE. WHEN SITUATIONS EXIST WHERE MULTIPLE SWITCHES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- ALL NEW RECEPTACLES TO BE 'LEVITON DECORA TAMPER RESISTANT' (UNLESS NOTED OTHERWISE). RECEPTACLE COLOR TO BE VERIFIED WITH ARCHITECT AND OWNER PRIOR TO PURCHASE. RECEPTACLE AND AMPERAGE AND TYPE TO BE PER CODE. WHEN SITUATIONS EXIST WHERE MULTIPLE RECEPTACLES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- MOUNTING HEIGHTS OF ALL SWITCHES AND RECEPTACLES SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHALL BE COORDINATED WITH BUILT-IN CABINERY, ETC.
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO VERIFY ALL TYPES OF CABLES FOR T.V., TELEPHONE, INTERNET, ETC. WITH MANUFACTURER PRIOR TO INSTALLATION.
- ALL ELECTRICAL OUTLET IN 'WET' LOCATIONS WILL BE OF THE G.F.I. TYPE.
- ALL NEW T.V. AND TELEPHONE LINE TO BE HOME RUN AND WIRED TO THE BASEMENT AREA. OWNER TO BE RESPONSIBLE FOR FINAL HOOK-UP WITH T.V./CABLE COMPANY.
- ELECTRICAL CONTRACTOR TO INSTALL 3/4" DIA. IN-WALL CABLE CONDUIT WITH COVER PLATES AT EACH TV LOCATION. CONTRACTOR TO VERIFY LOCATION CONDUIT LENGTH IN FIELD WITH ARCHITECT AND OWNER
- ELECTRICAL CONTRACTOR TO WIRE NEW HYDRO SYSTEM.
- ELECTRICAL REQUIRES COMPLIANCE WITH 2020 NEC, UL CERTIFICATE REQUIRED TO SUBSTANTIATE COMPLIANCE

**GENERAL PLUMBING NOTES:**

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING PLUMBING SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL PLUMBING WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. WHETHER OR NOT SPECIFICALLY STATED. THE PLUMBING SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL PLUMBING WORK TO CONFORM TO ANY AND ALL CODES, RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT. WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT FOR ACCEPTANCE.
- THE PLUMBING SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK.
- THE CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO COORDINATE ALL PLUMBING WORK LOCATIONS WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES.
- WHEN SITUATIONS EXIST WHERE PLUMBING IS SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- MOUNTING HEIGHTS OF ALL PLUMBING CONNECTIONS SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
- ALL HOT WATER PIPING INCLUDING PIPES W/ > 1/2" NOMINAL DIA. PIPES BETWEEN THE WATER & THE MANIFOLD, SUPPLY & RETURN PIPING IN RECIRCULATING HOT WATER SYSTEMS OTHER THAN DEMAND RECIRCULATING SYSTEMS, TO BE INSULATED W/ 1/2" THICK EPDM PIPE INSULATION (APPROX. R-VALUE 2.04)

**STRUCTURAL/FRAMING NOTES:**

- ALL POST BEARING CONDITIONS SHALL RECEIVE SOLID BEARING OF THE SAME SIZE OR GREATER DOWN TO THE FOUNDATION WALLS OR BEARING BEAM BELOW. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- ALL POST BEARING CONDITIONS TO RECEIVE ADDITIONAL STUDS FOR TOTAL POST DIMENSION TO EQUAL OR SURPASS SUPPORTED BEAM THICKNESS. IF THIS CONDITION CAN NOT BE MET, VERIFY REQUIRED PLATE OR OTHER CONNECTION WITH ARCHITECT IN FIELD.
- UNLESS OTHERWISE INDICATED ALL EXTERIOR/INTERIOR WINDOWS, EXTERIOR/INTERIOR DOORS & EXTERIOR/INTERIOR OPENINGS SHALL HAVE MINIMUM (3) 2 X 10 HEADER WITH 1/2" PLYWOOD SPACERS BETWEEN AT 2 X 6 WALLS & (2) 2 X 10 HEADER WITH 1/2" PLYWOOD SPACER AT 2 X 4 WALLS. IF THIS CONDITION CAN NOT BE MET, VERIFY WITH ARCHITECT IN FIELD.
- ALL NEW PARTITIONS RUNNING PARALLEL TO EXISTING/NEW JOISTS BELOW SHALL RECEIVE DOUBLE JOISTS CENTERED ON NEW PARTITION. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- FOR JOISTS SPANNING 10'-0" OR MORE, INSTALL ONE (1) ROW OF SOLID CROSS BRIDGING @ MID-SPACE. FOR JOISTS SPANNING 20'-0" OR MORE, INSTALL TWO (2) ROWS OF SOLID CROSS BRIDGING @ 1/2 SPAN.
- ALL DROPPED SOFFITS ARE TO BE FRAMED W/ 2 X 4 FRAMING @ 16" O.C. UNLESS NOTED OTHERWISE. DROPPED SOFFIT FRAMING TO BE SISTERS TO EXIST. CEILING JOISTS & EXIST. WALL STUDS AND SECURED W/ MIN (4) 10d NAILS.
- ALL 'ALIGN' INDICATORS ON PLANS, SECTIONS & ELEVATIONS ARE TO IMPLY THAT BOTH SIDES OF ALL NEW ROUGH FRAMING & FINISHES ARE TO ALIGN WITH BOTH SIDES OF ALL EXIST. ROUGH FRAMING & FINISHES. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH NEW/EXIST. ROUGH FRAMING, MILLWORK, INTERIOR TRIM, TILE AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR LOCATIONS
- ALL FLUSH BEAMS AND JOIST CONNECTIONS TO RECEIVE HEAVY DUTY 'SIMPSON STRONG-TIE' METAL HANGERS. FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS.

**GENERAL MECHANICAL NOTES:**

- EXISTING MECHANICAL EQUIPMENT SHALL REMAIN AS-IS. CONTRACTOR TO SERVICE EXISTING MECHANICAL EQUIPMENT AND CONFIRM EQUIPMENT IS IN GOOD WORKING ORDER. EQUIPMENT REPLACEMENT PARTS AND LABOR WILL BE CONSIDERED AN ADDITIONAL COST.
- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING/NEW MECHANICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL MECHANICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE MECHANICAL & ENERGY CONSERVATION CODE AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED.
- THE CONTRACTOR AND/OR MECHANICAL SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND ARCHITECT PRIOR TO COMMENCING WORK. MECHANICAL EQUIPMENT, SHAFTS, SOFFITS, DUCTWORK, DIFFUSERS, RETURNS, ZONES SPECIFICATIONS AND LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO COMMENCING WORK.
- NEW RANGE HOOD MUST BE LESS THAN 400CFMS AND COMPLY WITH SECTION M1503.
- HVAC CONTRACTOR TO SEAL DUCTS TO 0.4 CFM/100 FT² CONDITIONED FLOOR AREA WITH UL 181 PRODUCTS APPROPRIATE FOR THE DUCT MATERIAL TYPE. (TESTING NOT REQUIRED IF ALL DUCTS ARE LOCATED COMPLETELY WITHIN CONDITIONED SPACE.)
- HYDRONIC SYSTEMS & REFRIGERANT LINES TO BE INSULATED W/ 1/2" THICK EPDM PIPE INSULATION (APPROX. R-VALUE 2.04)
- ALL HVAC PIPES/INSULATION LOCATED OUTDOORS TO HAVE EXTERIOR GRADE INSULATION PROTECTION
- HVAC COMPRESSOR AND AIR HANDLERS TO HAVE DRAIN PAN AND EMERGENCY SHUTDOWN

**GENERAL STUCCO SIDING NOTES:**

- SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO, EXTERIOR WALLS.
- SUBMIT MANUFACTURER'S PRINTED LITERATURE AND TEST RESULTS INDICATING PRODUCT INFORMATION RELATED TO SPECIFIC REQUIREMENTS.
  - MASON TO PREPARE (4) 3' X 3' SAMPLE PANELS, ONE ON EACH FACADE, IN APPROVED LOCATIONS FOR ARCHITECT'S APPROVAL. APPROVED SAMPLE WILL BE THE CRITERION FOR THE ENTIRE PROJECT.
  - STUCCO SHALL BE DELIVERED & STORED IN A DRY, VENTILATED SPACE IN MANUFACTURER'S UNOPENED CONTAINERS PROTECTED FROM MOISTURE &/OR DAMAGE OR AS PER MANUFACTURER RECOMMENDATION.
  - INSTALLED STUCCO SHALL BE PROTECTED FROM OTHER CONSTRUCTION WORK UNTIL UNOPENED CONTAINERS ARE OPENED. ABOUT 24 HOURS BEFORE FINISHING APPLICATION AND DRYING PERIOD OR AS PER MANUFACTURER RECOMMENDATION.
  - CONTRACTOR TO PREP EXISTING WOOD FRAMED EXTERIOR WALL TO ACCEPT STUCCO PER MANUFACTURER RECOMMENDATION. EXTERIOR WALL SHALL BE FREE OF ROT AND DAMAGE.
  - CONTRACTOR TO WRAP ENTIRE HOUSE WITH 1-LAYER OF 15# BUILDING FELT PAPER OR FOIL DIRECTLY ON TO EXTERIOR WALL SHEATHING. OVERLAP BUILDING PAPER 6" STARTING FROM THE BOTTOM OF EXTERIOR WALL.
  - APPLY A THREE COAT PART CEMENTITIOUS STUCCO APPLICATION AS PER MANUFACTURER INSTALLATION RECOMMENDATION:  
**SCRATCH COAT** - APPLY A TROWELED SCRATCH COAT DIRECTLY TO GALVANIZED METAL LATH PER ASTM C1063. USE A METAL RAKE TO CREATE 'SCRATCH LINES'; THICKNESS SHOULD BE APPROX. 3/8" TO 1/2" THICK. COVER METAL LATH 100%  
**BROWN COAT** - APPLY A TROWELED BROWN COAT AFTER 24 HOURS FLOAT SMOOTH THICKNESS OF 1/4" TO 3/8". ALLOW A 2 WEEK PERIOD (1 WEEK MIN) FOR CURING BEFORE APPLYING FINISH COAT.  
**FINISH COAT** - APPLY A TROWELED FINISH COAT OF ABOUT 1/8". FINISH COAT TO BE 'A-BEX 104-L' OR EQUAL. COLOR TO BE 'SWANSHALL 0408 1/3'. TEXTURE TO BE 'SAND FIN'.
  - INSTALL PERFORATED WEEP SCREED AT THE BOTTOM OF THE WALL AND OVER OPENINGS
  - STUCCO CONTROL JOINTS TO BE METAL GALVANIZED. STUCCO CONTROL JOINT LOCATIONS MUST BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. INSTALL STUCCO CONTROL JOINTS @ THESE TYPICAL LOCATIONS:  
 9.1. OVER THE RIM JOIST AT THE INTERSECTION BETWEEN FLOORS  
 9.2. ON THE INTERSECTION OF DISSIMILAR MATERIALS  
 9.3. ON TALL WALLS AND LONG RUNS, APPLY VERTICALLY AND HORIZONTALLY. BREAK AREAS INTO AREAS LESS THAN 18'-0".

**GENERAL METAL FLASHING NOTES:**

- THE CONTRACTOR SHALL INSTALL ALL FLASHING REQUIRED TO ENSURE THE WEATHER THERMAL ENVELOPE-INSULATION AND PENETRATION CRITERIA
- FLASHING MATERIAL TO BE ALUMINUM - B209 ALLOY, ALCAD 3003, TEMPER H-14. COLOR TO BE WHITE
- ALL SIDE WALL FLASHING AT ROOF TO WALL INTERSECTIONS AND AT LEAST 6" UNDER THE ROOFING AND TURN UP AT LEAST 6" AGAINST EXTERIOR WALL SHEATHING.
- ALL STEP FLASHING SHALL EXTEND AT LEAST 6" UNDER THE ROOF. JOINT FLASING AT STEP FLASHING SHALL BE INSTALLED IN A CONTINUOUS SAW CUT COUNT AT LEAST 6" ABOVE THE ROOF
- DOOR HEADS TO RECEIVE PRE-FORMED FLASHING AND INSTALLED PER DOOR MANUFACTURER
- ALL WINDOW HEADS TO RECEIVE PRE-FORMED FLASHING AND INSTALLED PER WINDOW MANUFACTURER
- CHIMNEYS TO BE CAP FLASHED THROUGH ALL MASONRY. FLASHING SHALL BE SOLDERED AND EXTENDED UP 1" WITHIN FLUE LININGS.

**ENERGY CODE COMPLIANCE - CLIMATE ZONE 4 NYS\_WESTCHESTER**

TABLE N1102.1.2 (R402.1.2) FROM 2020 NYSRC BUILDING THERMAL ENVELOPE-INSULATION AND PENETRATION CRITERIA		GENERAL ENERGY NOTES:	
SUB-SYSTEM	U-VALUE		
FENESTRATION	Uf = 0.32	1. TO THE BEST OF THE ARCHITECT KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH NYSRC 2020 TABLE N1102.1.2 (R402.1.2) BUILDING THERMAL ENVELOPE-INSULATION AND PENETRATION CRITERIA	
SKYLIGHT	Uf = 0.55	2. THE GC SHALL INSTALL & TEST ALL MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS TO MEET THE REQUIREMENTS OF THE 2020 NYS ENERGY CONSERVATION CODE.	
GLAZED FENESTRATION	SHGC = 0.40	3. WHERE SECTION R402.1.2 REQUIRES R-38 INSULATION IN THE CEILING, INSTALLING R-30 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES	
CEILING R-VALUE	49	4. WHERE SECTION R402.1.2 REQUIRES R-49 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5	
WOOD FRAME WALL R-VALUE	20 or 13+R-5 CONT. INSULATION	5. WHERE SECTION R402.1.2 REQUIRES INSULATION R-VALUES GREATER THAN R-30 IN THE CEILING AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION R-VALUE FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. INSULATION SHALL EXTEND OVER THE TOP OF THE WALL PLATE TO THE OUTER EDGE OF SUCH PLATE AND SHALL NOT BE COMPRESSED. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.2 SHALL BE LIMITED TO 500 SQUARE FEET (46 M2) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5	
MASS WALL R-VALUE	8/13	6. INSULATION VALUES SHOWN IN THE CHART ABOVE ARE MINIMUM VALUES REQUIRED BY CODE AND MAY NOT REFLECT THE INSULATION VALUES CALLED OUT IN THE CONSTRUCTION DOCUMENTS. WHEN TWO DIFFERENT INSULATION VALUES ARE CALLED OUT, CONTRACTORS ARE HEREBY DIRECTED TO INSTALL THE INSULATION WITH GREATER R-VALUE PER ASSEMBLY.	
FLOOR R-VALUE	19	7. FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, A Baffle SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE BAFFLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.	
BASEMENT WALL R-VALUE	10/13	8. R-21 INSULATION SHALL BE INSTALLED IN ALL 2X6 EXTERIOR WALLS.	
SLAB R-VALUE & DEPTH	10, 2 ft	9. REFER TO NYSRC 2020, CHAPTER 4 FOR FURTHER REQUIREMENTS.	
CRAWL SPACE WALL R-VALUE	10/13		

**CLIMATE & GEOGRAPHICAL DESIGN CRITERIA:**

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDER LAYMENT REQ'D.	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 lbs psf.	115 SPECIFIC WIND REGION	C	SEVERE	3'-6"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES	ZONE X

**WINDOW SCHEDULE**

MARK	MANUFACTURER	MODEL#	WINDOW TYPE	ROUGH OPENING W. x H.	U-FACTOR	SHGC	FRAME MATERIAL	REMARKS
02	MARVIN-ELEVATE'	CUSTOM	PICTURE WINDOW ASSEMBLY	16'-0" x 9'-0" (SEE ELEVATIONS)	0.26	0.34	--	(2) MULLED 4'-0"x7'-0" PICTURE WINDOWS (1) ELCPA4943 W/ 4'-0"x2'-0" CUSTOM AWNING WINDOWS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
03	MARVIN-ELEVATE'	CUSTOM	PICTURE WINDOW ASSEMBLY	SEE ELEVATIONS	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
04	MARVIN-ELEVATE'	CUSTOM	PICTURE/CASEMENT WINDOW ASSEMBLY	6'-0" x 5'-7" (SEE ELEVATIONS)	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
05	MARVIN-ELEVATE'	CUSTOM	PICTURE/CASEMENT WINDOW ASSEMBLY	6'-0" x 5'-7" (SEE ELEVATIONS)	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
06	MARVIN-ELEVATE'	ELAWN2523 / ELAWN4123	(2) MULLED AWNING UNITS	6'-9" x 1'-11 3/8"	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
07	MARVIN-ELEVATE'	ELAWN2523	AWNING	2'-1" x 1'-11 3/8"	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
08	MARVIN-ELEVATE'	ELAWN2523	AWNING	2'-1" x 1'-11 3/8"	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
09	MARVIN-ELEVATE'	ELAWN2523 / ELAWN4123	(2) MULLED AWNING UNITS	6'-9" x 1'-11 3/8"	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
10	MARVIN-ELEVATE'	ELAWN2523	AWNING	2'-1" x 1'-11 3/8"	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
11	MARVIN-ELEVATE'	ELCA3763 / 7' x 3' CUSTOM PICTURE	(2) MULLED UNITS	SEE ELEVATIONS	0.26	0.34	--	MULLED ELCA3763 (EGRESS) & 7'x3' CUSTOM PICTURE UNIT
12	MARVIN-ELEVATE'	ELCAP7335	CASEMENT PICTURE	6'-1" x 35 3/8"	0.26	0.34	--	MULLED ELCA3763 (EGRESS) & 7'x3' CUSTOM PICTURE UNIT
13	MARVIN-ELEVATE'	ELAWN2523	AWNING	2'-1" x 1'-11 3/8"	0.26	0.34	--	MULLED ELCA3343 & ELCPA4143 UNITS W/ CUSTOM 2'-0" HT. TRANSOMS ABOVE EACH; TEMPERED (SEE ELEVATIONS)
14				NOT USED				
15	MARVIN-ELEVATE'	ELCAP4955 / ELCA3355	(2) MULLED UNITS	6'-8" x 4'-7 3/8" (SEE ELEVATIONS)	0.26	0.34	--	ELCA3355 (EGRESS)
16	MARVIN-ELEVATE'	ELCAP4955 / ELCA3355	(2) MULLED UNITS	6'-8" x 4'-7 3/8" (SEE ELEVATIONS)	0.26	0.34	--	ELCA3355 (EGRESS)
17	MARVIN-ELEVATE'	ELCAP4955 / ELCA3355	(2) MULLED UNITS	6'-8" x 4'-7 3/8" (SEE ELEVATIONS)	0.26	0.34	--	ELCA3355 (EGRESS), TEMPERED
18	MARVIN-ELEVATE'	ELAWN3723 / ELAWN2523	(2) MULLED AWNING UNITS	5'-1" x 1'-11 3/8"	0.26	0.34	--	ELCA3355 (EGRESS), TEMPERED
19	MARVIN-ELEVATE'	ELAWN2523	AWNING	2'-1" x 1'-11 3/8"	0.26	0.34	--	ELCA3355 (EGRESS), TEMPERED
20	MARVIN-ELEVATE'	ELAWN2523	AWNING	2'-1" x 1'-11 3/8"	0.26	0.34	--	ELCA3355 (EGRESS), TEMPERED
21	MARVIN-ELEVATE'	ELAWN2523 / ELCAP7323	(2) MULLED UNITS	8'-0" x 3'-11 3/8" (SEE ELEVATIONS)	0.26	0.34	--	ELCA3355 (EGRESS), TEMPERED
22	MARVIN-ELEVATE'	ELAWN2523	AWNING	2'-1" x 1'-11 3/8"	0.26	0.34	--	ELCA3355 (EGRESS), TEMPERED
23	VELUX	FCM 3446	FIXED SKYLIGHT	3'-2 3/8" x 4'-2 3/8"	0.48	0.27	--	ELCA3355 (EGRESS), TEMPERED
24	VELUX	FCM 3446	FIXED SKYLIGHT	3'-2 3/8" x 4'-2 3/8"	0.48	0.27	--	ELCA3355 (EGRESS), TEMPERED
25	VELUX	FCM 3446	FIXED SKYLIGHT	3'-2 3/8" x 4'-2 3/8"	0.48	0.27	--	ELCA3355 (EGRESS), TEMPERED
26	VELUX	FCM 3446	FIXED SKYLIGHT	3'-2 3/8" x 4'-2 3/8"	0.48	0.27	--	ELCA3355 (EGRESS), TEMPERED
27	VELUX	FCM 3446	FIXED SKYLIGHT	3'-2 3/8" x 4'-2 3/8"	0.48	0.27	--	ELCA3355 (EGRESS), TEMPERED
28	VELUX	FCM 3446	FIXED SKYLIGHT	3'-2 3/8" x 4'-2 3/8"	0.48	0.27	--	ELCA3355 (EGRESS), TEMPERED
29	VELUX	FCM 4646	FIXED SKYLIGHT	4'-2 3/8" x 4'-2 3/8"	0.48	0.27	--	ELCA3355 (EGRESS), TEMPERED
30	MARVIN-ELEVATE'	ELCAP4955 / ELCA3355	(2) MULLED UNITS	6'-8" x 4'-7 3/8" (SEE ELEVATIONS)	0.26	0.34	--	ELCA3355 (EGRESS), TEMPERED

- NOTES:
- WINDOWS TO BE MARVIN ELEVATE SERIES, UNLESS NOTED OTHERWISE
  - INTERIOR FINISH TO BE FACTORY PRIMED W/ 2-COATS OF FELD PAINT.
  - HARDWARE TO BE TRADITIONAL FOLDING WHITE HARDWARE
  - EXTERIOR FINISH TO BE BRONZE
  - GLASS TO BE LOW-E2, W/ ARGON BLACK
  - ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING WINDOW ORDER
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND FRAMING ROUGH-OPENINGS
  - WINDOW TRIM SEALANT COLOR TO BE WHITE
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL WINDOWS

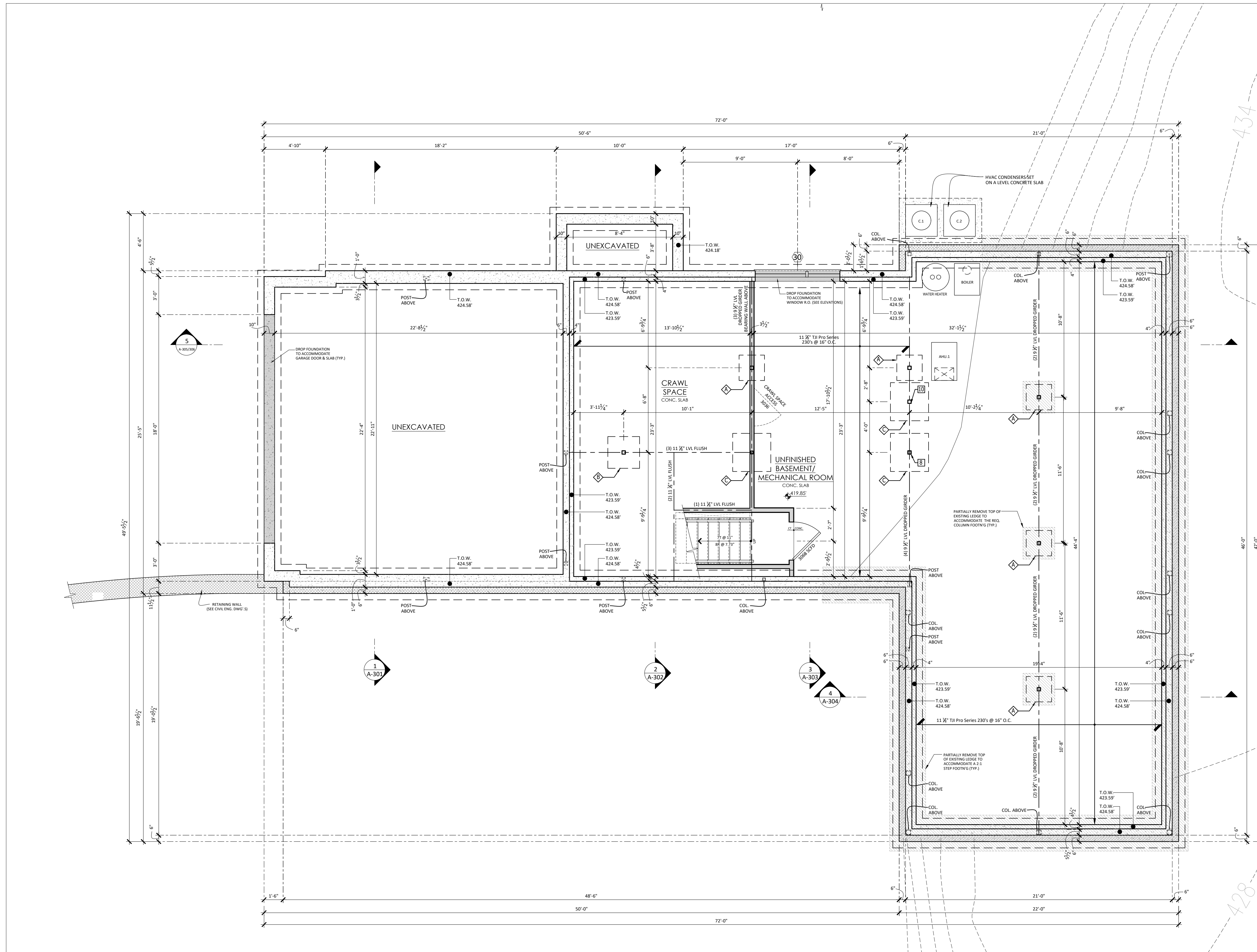
**EXTERIOR DOOR SCHEDULE**

MARK	MANUFACTURER	MODEL #	DOOR TYPE	ROUGH OPENING W. x H.	TH.	U-FACTOR	SHGC	H.W. SET	REMARKS
02	MARVIN-ELEVATE'	CUSTOM	INSWING FRENCH HINGED	7'-1 1/8" x 7'-2 1/2"	--	0.26	0.34	--	8'-0" x 7'-0" CUSTOM SIZE INSWING DOOR (TEMPERED) W/ 4'-0" x 2'-0" CUSTOM AWNING WINDOWS ABOVE EACH PANEL
03	MARVIN-ELEVATE'	CUSTOM	INSWING FRENCH HINGED W/ CUSTOM TRANSOM ABOVE	3'-2 3/8" x 9'-2 3/8"	--	0.26	0.34	--	ELFDP3070 INSWING DOOR (TEMPERED) W/ 3'-0" x 2'-0" CUSTOM TRANSOM ABOVE.
04	T.B.D.	CUSTOM	OVERHEAD GARAGE DOOR	18'-0" x 8'-0"	--	TBD	TBD	--	
05	MARVIN-ELEVATE'	ELFD2668 O / ELFPD068 XX / ELFD2668 O	INSWING FRENCH HINGED W/ FIXED SIDE LIGHTS	10'-0" x 6'-10 1/2" (SEE ELEVATIONS)	--	0.26	0.34	--	(TEMPERED)

- NOTES:
- WINDOWS TO BE MARVIN-ELEVATE; UNLESS NOTED OTHERWISE
  - INTERIOR FINISH TO BE FACTORY PRIMED W/ 2-COATS OF FELD PAINT.
  - HARDWARE TO BE MILLENIUM LOCK, ADJUSTABLE HINGES
  - EXTERIOR FINISH TO BE BRONZE
  - GLASS TO BE LOW-E2, W/ ARGON BLACK
  - ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING WINDOW ORDER
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND FRAMING ROUGH-OPENINGS
  - WINDOW TRIM SEALANT COLOR TO BE WHITE
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL WINDOWS

ISSUES:

SUBMITTED FOR PERMIT	10.15.21
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**FLOOR PLAN LEGEND**

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

**ISSUES:**

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**DRAWING STATUS:**

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

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**NEW SINGLE-FAMILY DWELLING FOR:**  
**GREGG T. CHAPPELL & EMILY YAVITZ**  
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

**BASEMENT PLAN**

**1** BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

**POST & COLUMN LEGEND**

TAG	MAT'L	SIZE	TAG	MAT'L	SIZE	TAG	MAT'L	SIZE
1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x1/2" HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x3/8" HSS
3	D.F.	6x6	7	STL	5x5x3/8" HSS	11		
4	P.S.L.	4x4	8	STL	4x4x1/2" HSS	12		

**FOOTING KEY**

TAG	SIZE
A	24"x24"x12"
B	30"x30"x15"
C	36"x36"x16"

**HANGER KEY**

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x3/8" STL ANGLES @ 11 1/2" LONGL W/ 1/2" THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL

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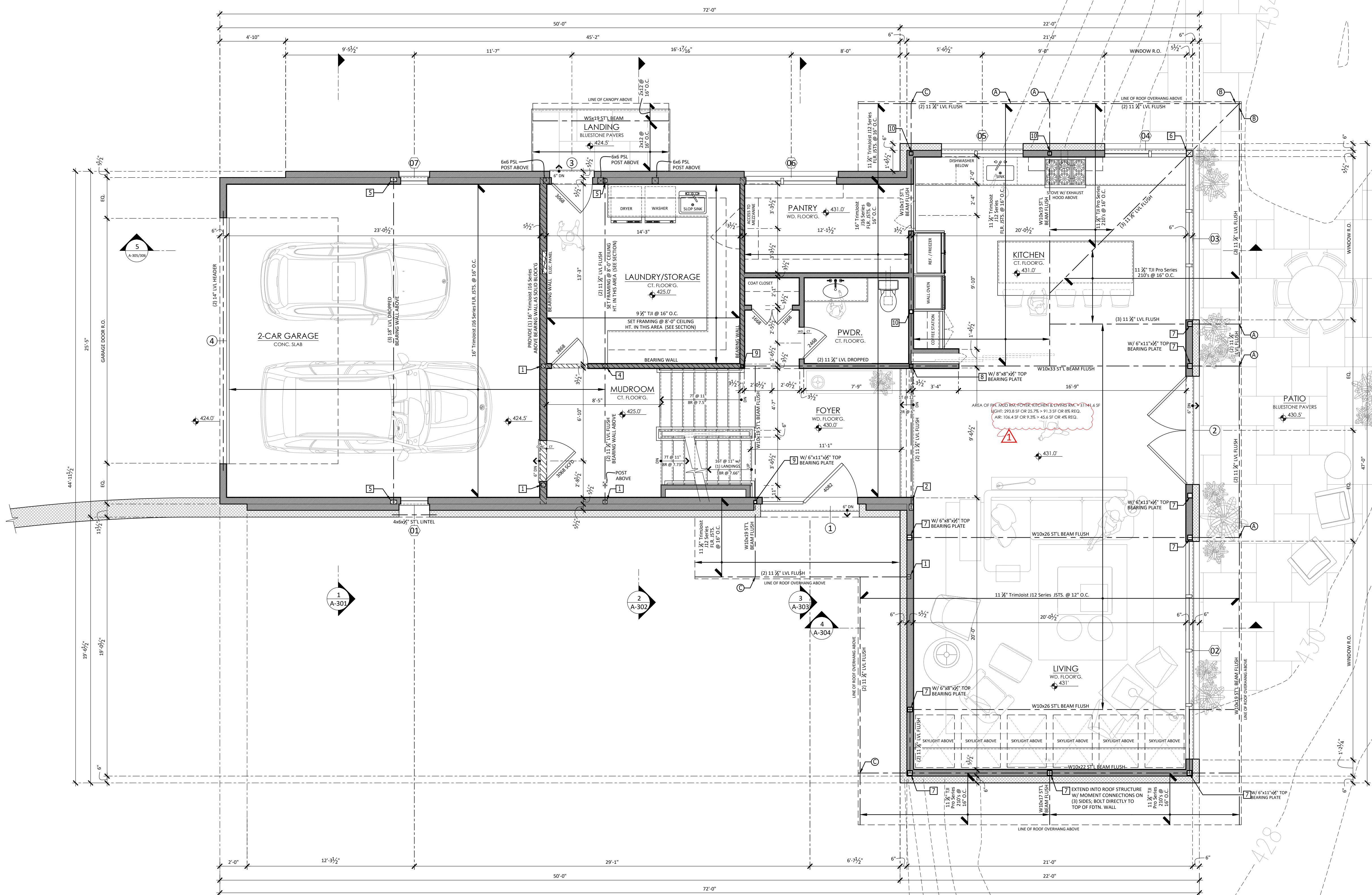


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DATE: 03.08.21

**A-101**

02/09/2022





**1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN LEGEND**

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	S.C.F.D. SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

**ISSUES:**

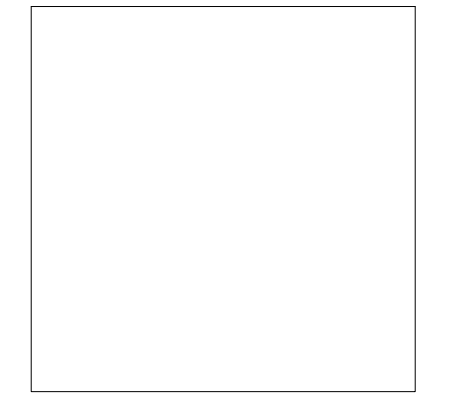
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EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
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CONSTRUCTION DRAWINGS	

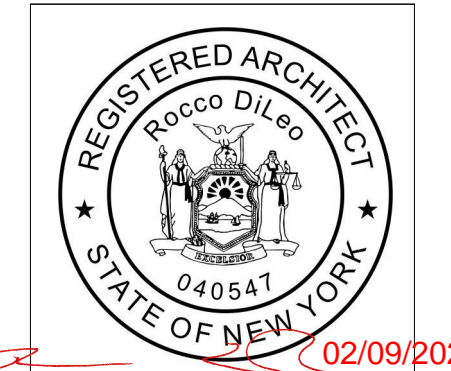
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**NEW SINGLE-FAMILY DWELLING FOR:**  
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**A-102**

**POST & COLUMN LEGEND**

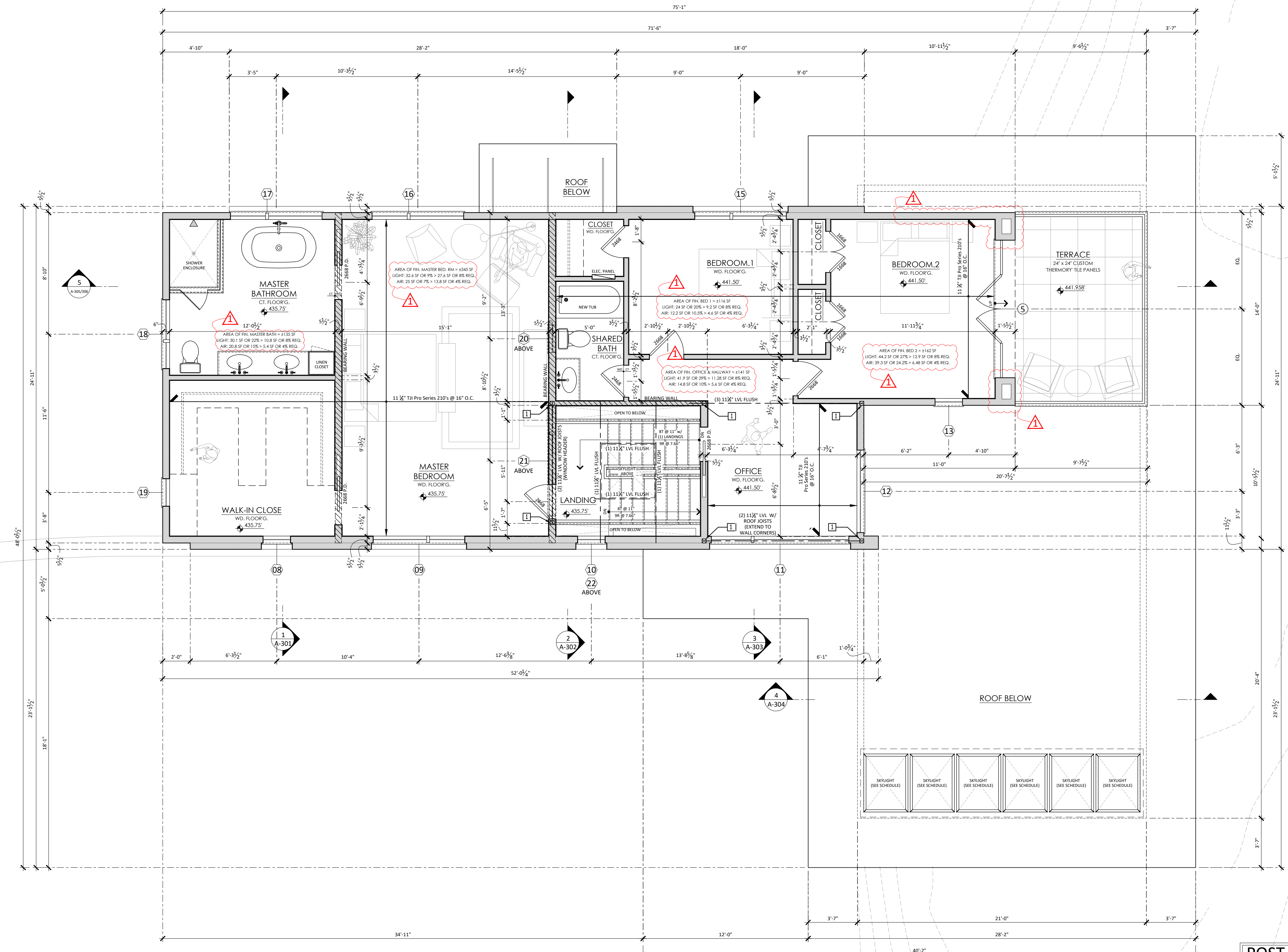
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1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x $\frac{1}{2}$ " HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x $\frac{3}{8}$ " HSS
3	D.F.	6x6	7	STL	5x5x $\frac{3}{8}$ " HSS	11		
4	P.S.L.	4x4	8	STL	4x4x $\frac{1}{2}$ " HSS	12		

**FOOTING KEY**

TAG	SIZE	TAG	DESCRIPTION
A	24"x24"x12"	A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	30"x30"x15"	B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	36"x36"x16"	C	(2) 4x4x $\frac{3}{8}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONG W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL

**HANGER KEY**

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x $\frac{3}{8}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONG W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL



**1** SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN LEGEND**

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	S.C.F.D. SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

**ISSUES:**

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**DRAWING STATUS:**

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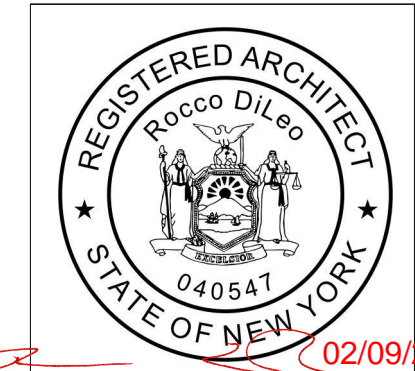
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SECOND FLOOR PLAN

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**A-103**

**POST & COLUMN LEGEND**

TAG	MAT'L	SIZE	TAG	MAT'L	SIZE	TAG	MAT'L	SIZE
1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x $\frac{1}{2}$ " HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x $\frac{3}{8}$ " HSS
3	D.F.	6x6	7	STL	5x5x $\frac{3}{8}$ " HSS	11		
4	P.S.L.	4x4	8	STL	4x4x $\frac{1}{2}$ " HSS	12		

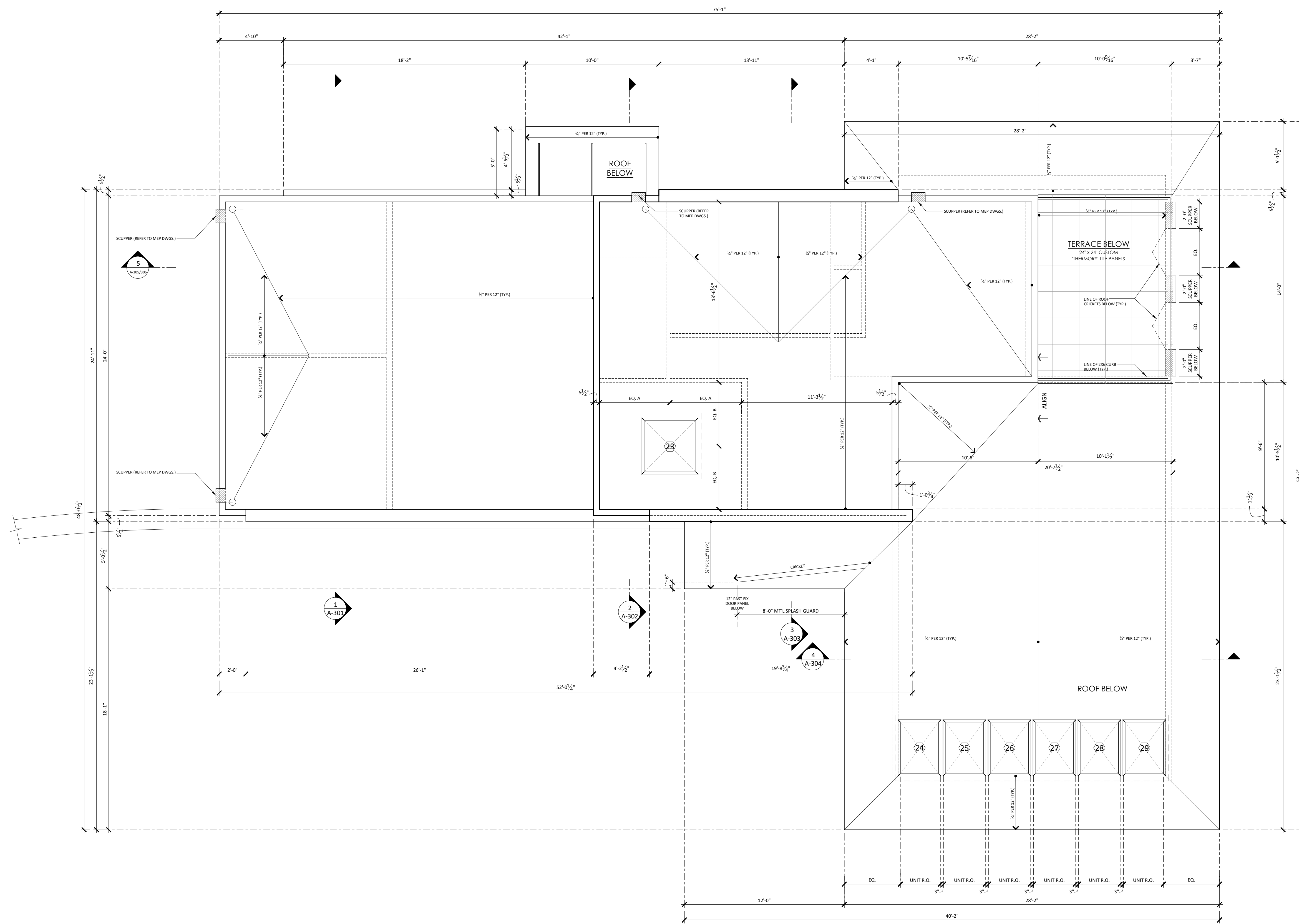
**FOOTING KEY**

TAG	SIZE
A	24"x24"x12"
B	30"x30"x15"
C	36"x36"x16"

**HANGER KEY**

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x $\frac{1}{2}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONGL W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL

02/09/2022



**1** ROOF PLAN  
 A-104 SCALE: 1/4" = 1'-0"

**FLOOR PLAN LEGEND**

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

**ISSUES:**

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**DRAWING STATUS:**

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
HOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

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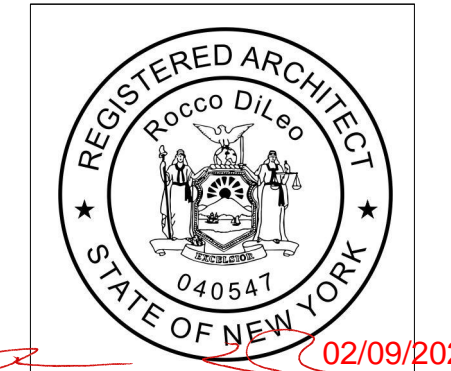
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SECOND FLOOR PLAN

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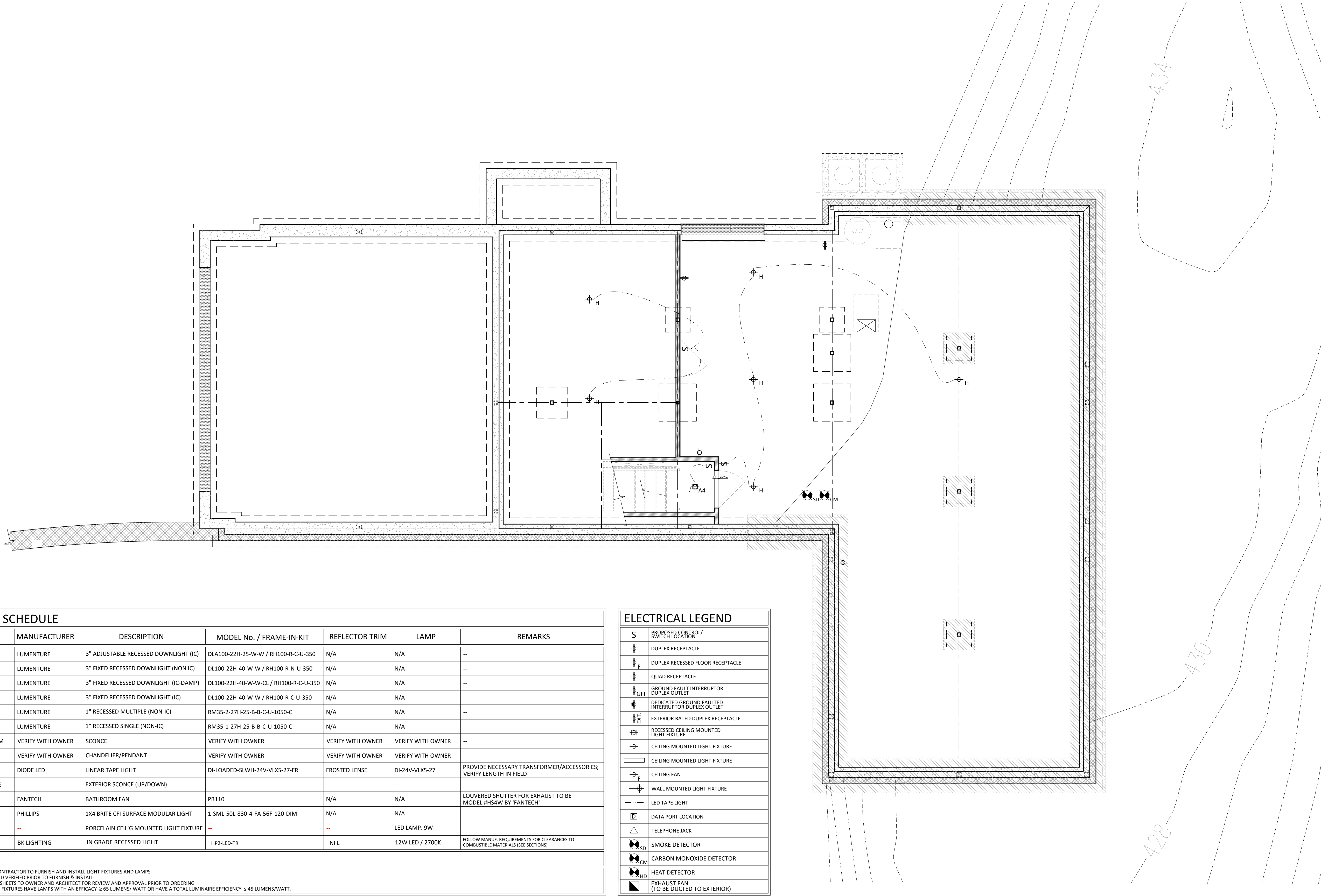


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**A-104**



LIGHT FIXTURE SCHEDULE							
MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON-IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

ELECTRICAL LEGEND	
	SUPPORTED CONTROL SWITCH
	DUPLEX RECEPTACLE
	DUPLEX RECESSED FLOOR RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT INTERRUPTOR DUPLEX OUTLET
	DEDICATED GROUND FAULTED INTERRUPTOR DUPLEX OUTLET
	EXTERIOR RATED DUPLEX RECEPTACLE
	RECESSED CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING FAN
	WALL MOUNTED LIGHT FIXTURE
	LED TAPE LIGHT
	DATA PORT LOCATION
	TELEPHONE JACK
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

NOTES:  
 1. UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS  
 2. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.  
 3. CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING  
 4. 80% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

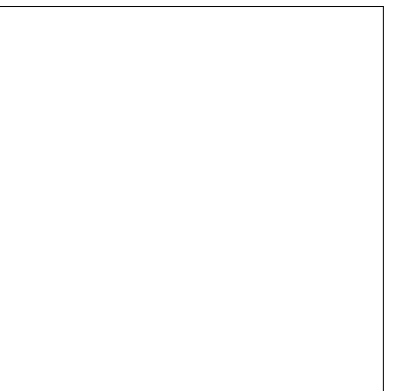
**1** BASEMENT REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1'-0"

ISSUES:	
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REV.1: DOB COMMENTS	02.11.22

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**GREGG T. CHAPPELL & EMILY YAVITZ**  
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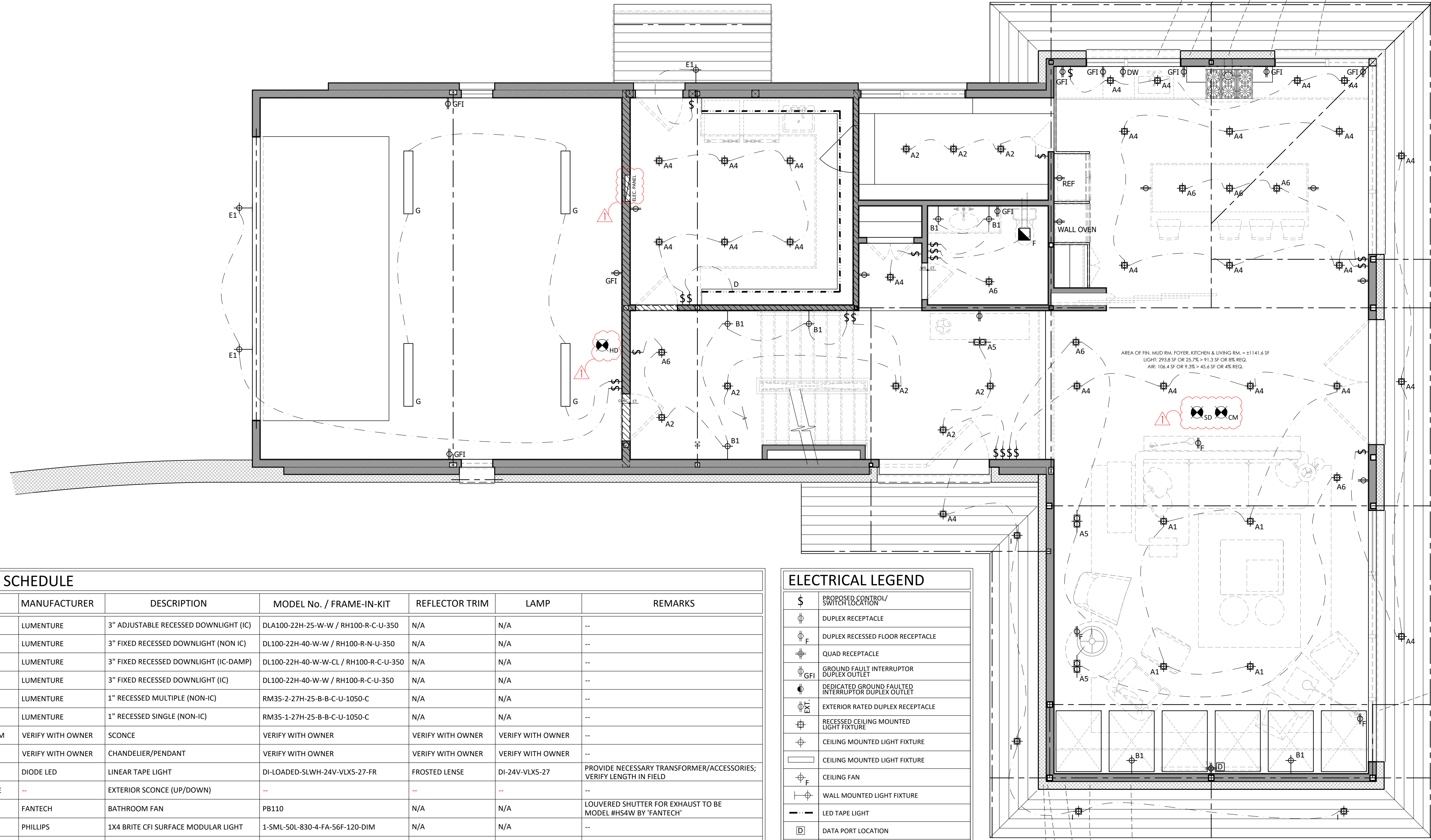
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**A-105**



LIGHT FIXTURE SCHEDULE							
MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIABLES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIABLES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIABLES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIABLES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

**NOTES:**

- UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.
- CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING
- 50% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

ELECTRICAL LEGEND	
	SUPPORTED CONTROL SWITCH
	DUPLEX RECEPTACLE
	DUPLEX RECESSED FLOOR RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT INTERRUPTER DUPLEX OUTLET
	DEDICATED GROUND FAULTED INTERRUPTER DUPLEX OUTLET
	EXTERIOR RATED DUPLEX RECEPTACLE
	RECESSED CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING FAN
	WALL MOUNTED LIGHT FIXTURE
	LED TAPE LIGHT
	DATA PORT LOCATION
	TELEPHONE JACK
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

**1** FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

ISSUES:	
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**GREGG T. CHAPPELL & EMILY YAVITZ**  
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FIRST FLOOR RCP

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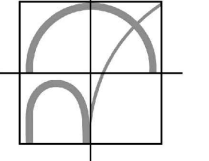
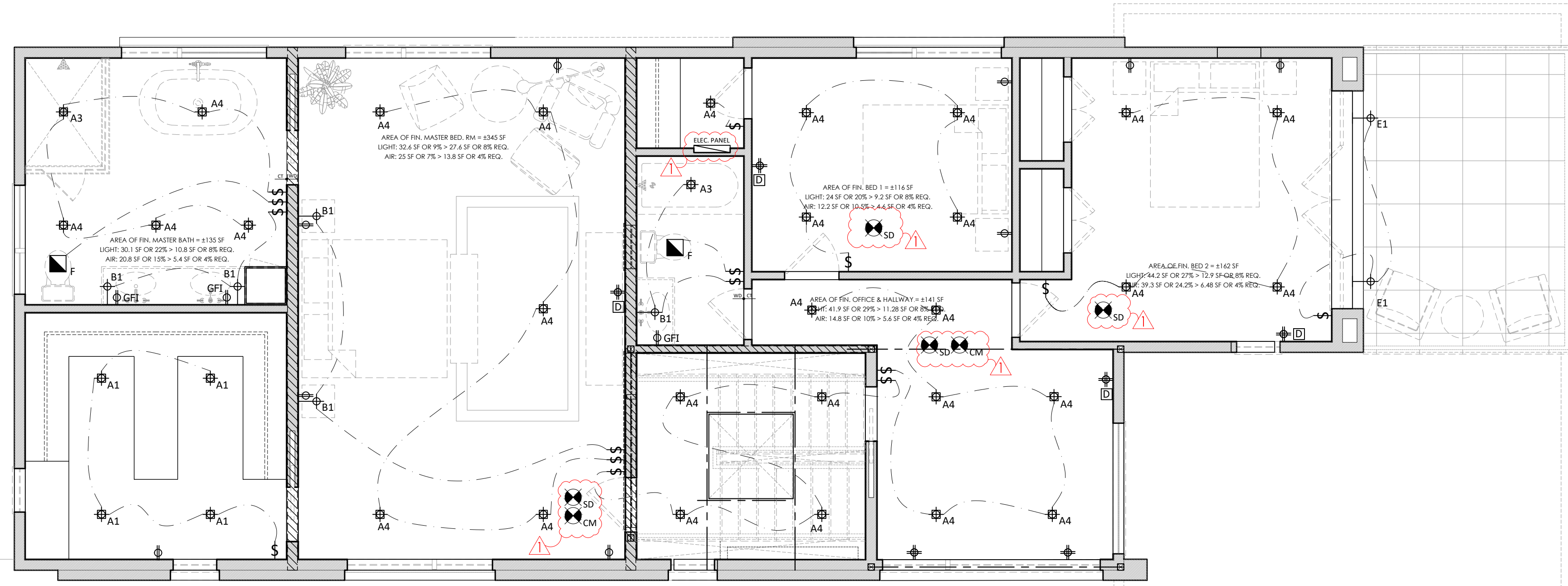
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**LIGHT FIXTURE SCHEDULE**

MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIABLES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON-IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIABLES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIABLES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIABLES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

- NOTES:**
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  - ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.
  - CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING
  - 50% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

**ELECTRICAL LEGEND**

S	PROPOSED CONTROL / SWITCH LOCATION
⊕	DUPLEX RECEPTACLE
⊕ F	DUPLEX RECESSED FLOOR RECEPTACLE
⊕ Q	QUAD RECEPTACLE
⊕ GF	GROUND FAULT INTERRUPTOR / DUPLEX OUTLET
⊕ EXT	EXTERIOR RATED DUPLEX RECEPTACLE
⊕	RECESSED CEILING MOUNTED LIGHT FIXTURE
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕ F	CEILING FAN
⊕	WALL MOUNTED LIGHT FIXTURE
—	LED TAPE LIGHT
D	DATA PORT LOCATION
⊕	TELEPHONE JACK
SD	SMOKE DETECTOR
CM	CARBON MONOXIDE DETECTOR
HD	HEAT DETECTOR
HD	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

**1**  
A-107 SECOND FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

NEW SINGLE-FAMILY DWELLING FOR:  
**GREGG T. CHAPPELL & EMILY YAVITZ**  
 1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598  
 SECOND FLOOR RCP

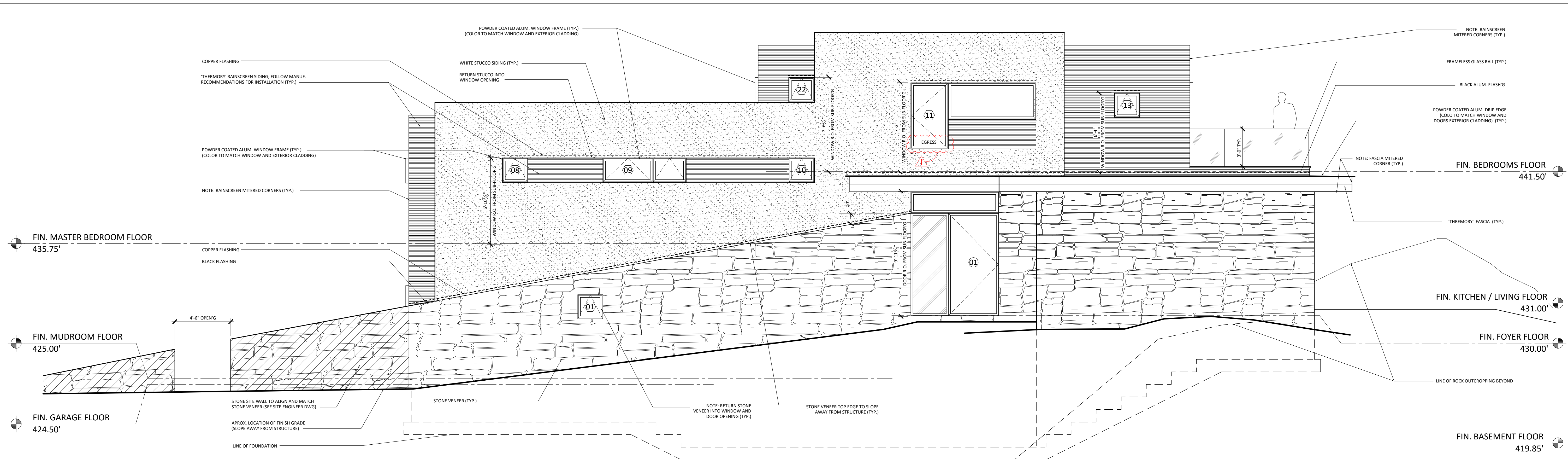
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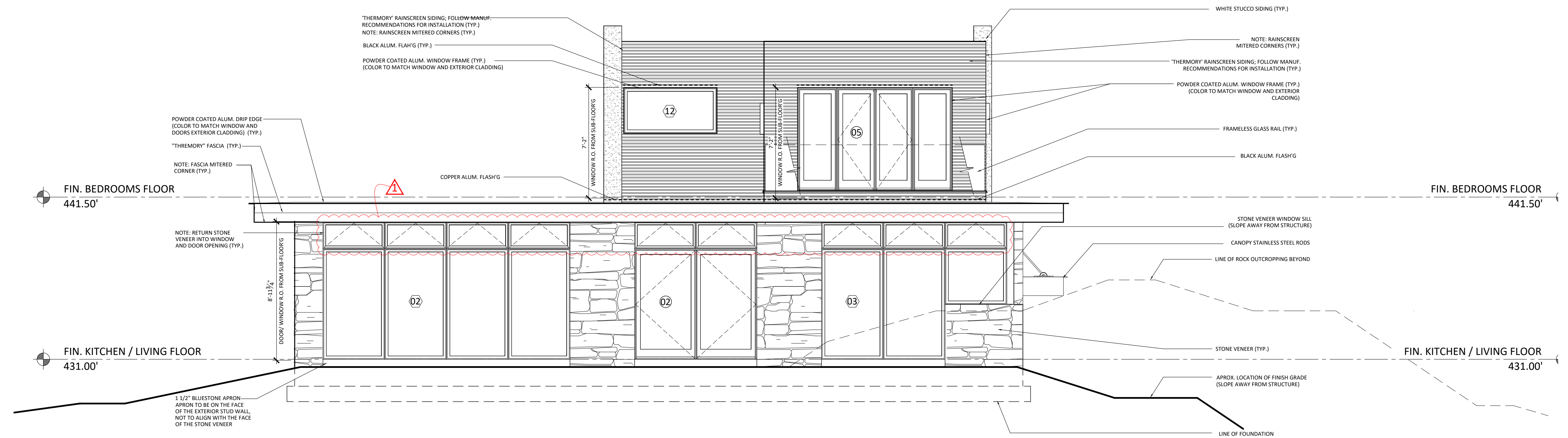
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A-107

02/09/2022



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

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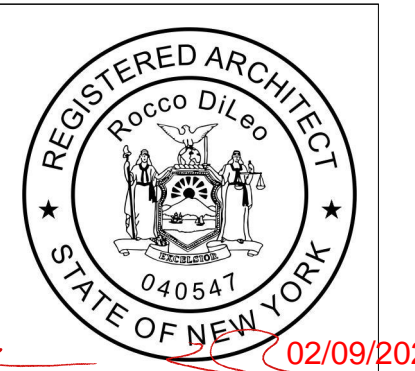
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1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

EXTERIOR ELEVATIONS

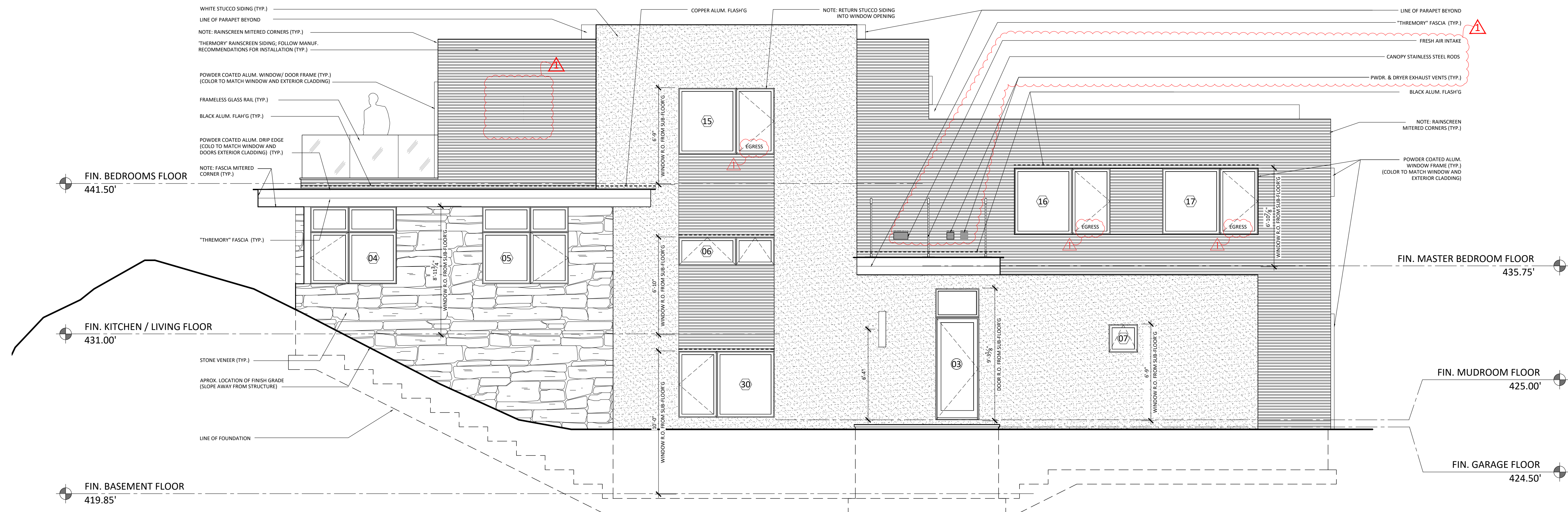
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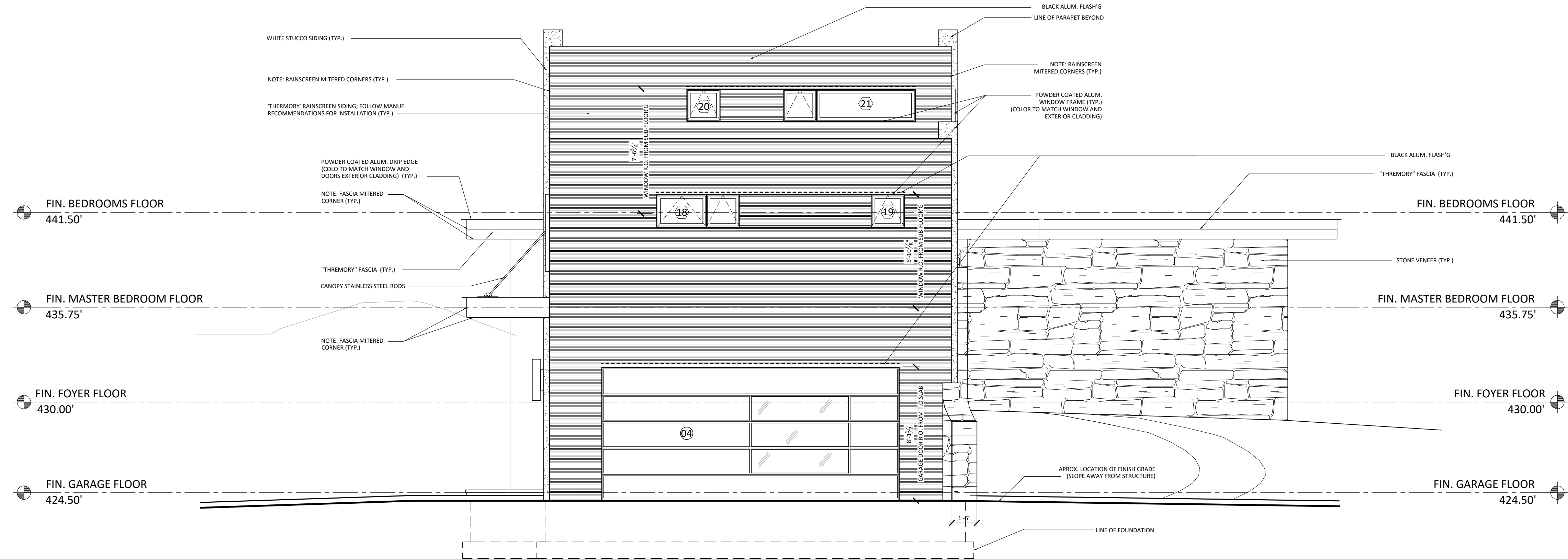
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A-201



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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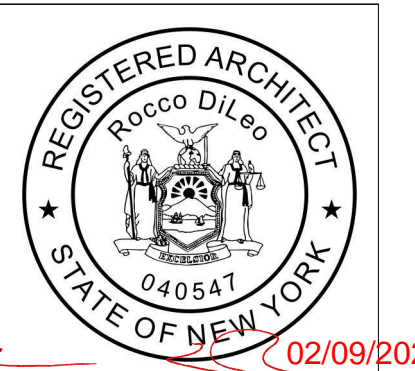
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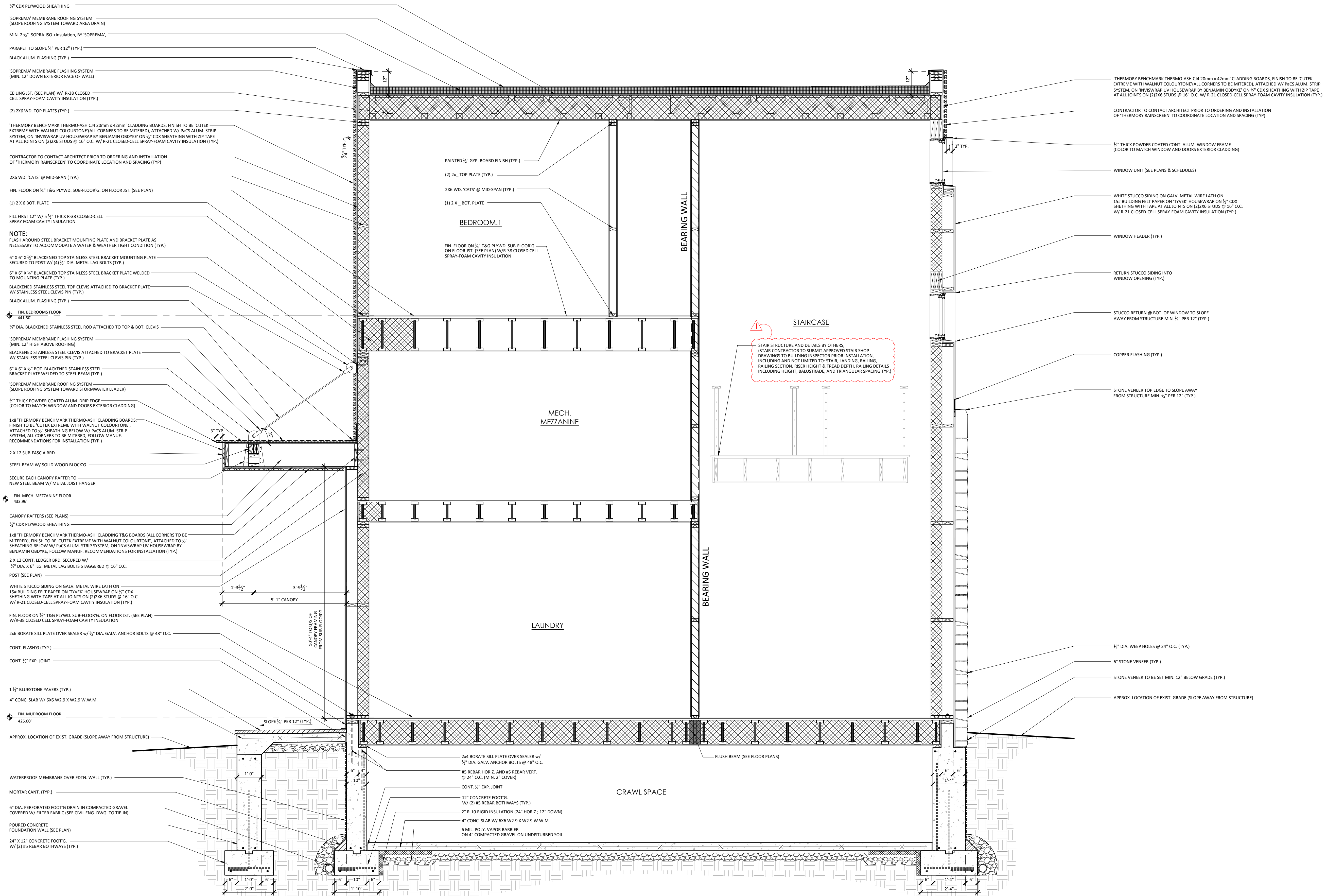
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A-202





1 CROSS-SECTION.2  
A-302 SCALE: 1/2" = 1'-0"

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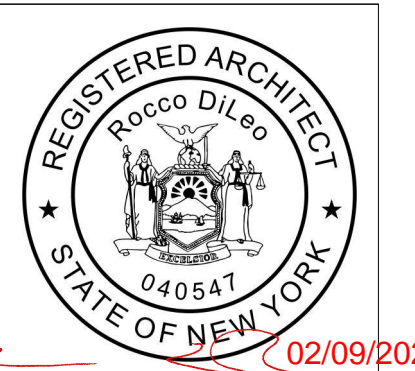
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CROSS-SECTIONS

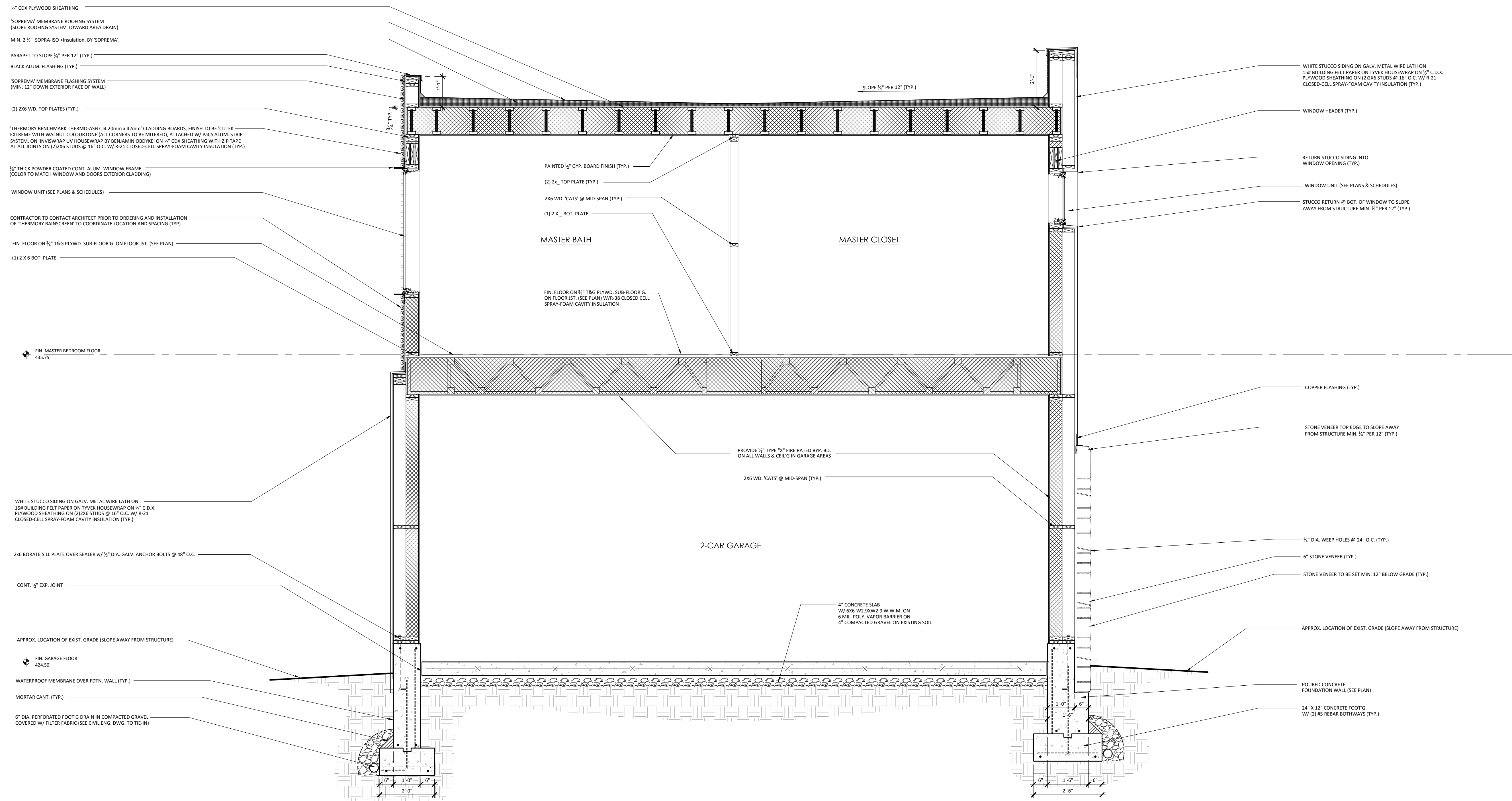
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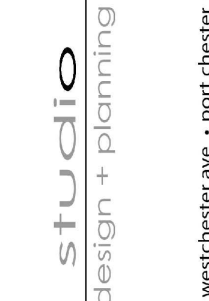
A-302



**1**  
A-301  
**CROSS-SECTION.1**  
SCALE: 1/2" = 1'-0"

ISSUES:	
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 1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598  
**CROSS-SECTIONS**

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A-301

02/09/2022

1/2" CDX PLYWOOD SHEATHING  
 'SOPREMA' MEMBRANE ROOFING SYSTEM  
 (SLOPE ROOFING SYSTEM TOWARD AREA DRAIN)  
 MIN. 2 1/2" SOPRA-ISO INSULATION, BY 'SOPREMA',  
 PARAPET TO SLOPE 1/4" PER 12" (TYP.)  
 BLACK ALUM. FLASHING (TYP.)  
 'SOPREMA' MEMBRANE FLASHING SYSTEM  
 (MIN. 12" DOWN EXTERIOR FACE OF WALL)  
 CEILING JST. (SEE PLANS) W/ R-38 CLOSED  
 CELL SPRAY-FOAM CAVITY INSULATION (TYP.)  
 (2) 2X6 WD. TOP PLATES (TYP.)

FIN. FLOOR ON 3/4" T&G PLYWD. SUB-FLOOR'G. ON FLOOR JST. (SEE PLAN)  
 (1) 2 X 6 BOT. PLATE  
 FILL FIRST 12" W/ 5 1/2" THICK R-38 CLOSED-CELL  
 SPRAY-FOAM CAVITY INSULATION

FIN. BEDROOMS FLOOR  
 441.50'

FIN. FLOOR ON 3/4" T&G PLYWD. SUB-FLOOR'G. ON FLOOR JST. (SEE PLAN)  
 W/R-38 CLOSED-CELL SPRAY-FOAM CAVITY INSULATION  
 2x6 BORATE SILL PLATE OVER SEALER W/ 1/2" DIA. GALV. ANCHOR BOLTS @ 48" O.C.

FIN. KITCHEN / LIVING FLOOR  
 431.00'

WINDOW UNIT (SEE PLANS & SCHEDULES)

APPROX. LOCATION OF EXIST. GRADE (SLOPE AWAY FROM STRUCTURE)

WATERPROOF MEMBRANE OVER FOTN. WALL (TYP.)  
 MORTAR CANT. (TYP.)  
 6" DIA. PERFORATED FOOT'G DRAIN IN COMPACTED GRAVEL  
 COVERED W/ FILTER FABRIC (SEE CIVIL ENG. DWG. TO TIE-IN)

FIN. BASEMENT FLOOR  
 419.85'

PAINTED 1/2" GYP. BOARD FINISH (TYP.)  
 (2) 2x\_ TOP PLATE (TYP.)  
 2X6 WD. 'CATS' @ MID-SPAN (TYP.)  
 (1) 2 X\_ BOT. PLATE  
**BEDROOM.1**  
 FIN. FLOOR ON 3/4" T&G PLYWD. SUB-FLOOR'G.  
 ON FLOOR JST. (SEE PLAN) W/R-38 CLOSED CELL  
 SPRAY-FOAM CAVITY INSULATION

**OFFICE**

**PANTRY**

**FOYER**

**BASEMENT**

CONT. 1/2" EXP. JOINT  
 24" X 12" CONCRETE FOOT'G  
 W/ (2) #5 REBAR BOTHWAYS (TYP.)  
 2" R-10 RIGID INSULATION (24" HORIZ., 12" DOWN)  
 4" CONC. SLAB W/ 6X6 W2.9 X W2.9 W.W.M.  
 6 MIL. POLY. VAPOR BARRIER  
 ON 4" COMPACTED GRAVEL ON UNDISTURBED SOIL

2x6 BORATE SILL PLATE OVER SEALER W/ 1/2"  
 DIA. GALV. ANCHOR BOLTS @ 48" O.C.  
 #5 REBAR HORIZ. AND #5 REBAR VERT.  
 @ 24" O.C. (MIN. 2" COVER)

FOUNDED CONCRETE  
 FOUNDATION WALL (SEE PLAN)  
 24" X 12" CONCRETE FOOT'G  
 W/ (2) #5 REBAR BOTHWAYS (TYP.)

WINDOW HEADER (TYP.)  
 RETURN STUCCO SIDING INTO  
 WINDOW OPENING (TYP.)  
 WINDOW UNIT (SEE PLANS & SCHEDULES)

STUCCO RETURN @ BOT. OF WINDOW TO SLOPE  
 AWAY FROM STRUCTURE MIN. 1/4" PER 12" (TYP.)  
 WHITE STUCCO SIDING ON GALV. METAL WIRE LATH ON  
 15# BUILDING FELT PAPER ON TYVEK HOUSEWRAP ON 1/2" C.D.X.  
 PLYWOOD SHEATHING ON (2) 2X6 STUDS @ 16" O.C. W/ R-21  
 CLOSED-CELL SPRAY-FOAM CAVITY INSULATION (TYP.)  
 BLACK ALUM. FLASHING (TYP.)  
 'SOPREMA' MEMBRANE FLASHING SYSTEM  
 (MIN. 12" HIGH ABOVE ROOFING)  
 'SOPREMA' MEMBRANE ROOFING SYSTEM  
 (SLOPE ROOFING SYSTEM TOWARD STORMWATER LEADER)  
 1/2" THICK POWDER COATED ALUM. DRIP EDGE  
 (COLOR TO MATCH WINDOW AND DOORS EXTERIOR CLADDING)  
 1x8 'THERMORY BENCHMARK THERMO-ASH' CLADDING BOARDS.  
 FINISH TO BE 'CUTEK EXTREME WITH WALNUT COLOURTONE',  
 ATTACHED TO 1/2" SHEATHING BELOW W/ P&S ALUM. STRIP  
 SYSTEM. ALL CORNERS TO BE MITERED. FOLLOW MANUF.  
 RECOMMENDATIONS FOR INSTALLATION (TYP.)  
 2 X 12 SUB-FASCIA BRD.

CANOPY RAFTERS (SEE PLANS)  
 1/2" CDX PLYWOOD SHEATHING  
 1x8 'THERMORY BENCHMARK THERMO-ASH' CLADDING T&G BOARDS (ALL CORNERS TO BE  
 MITERED). FINISH TO BE 'CUTEK EXTREME WITH WALNUT COLOURTONE', ATTACHED TO 1/2"  
 SHEATHING BELOW W/ P&S ALUM. STRIP SYSTEM. ON 'THERMO-ASH' HOUSEWRAP BY  
 BENJAMIN OBDYKE, FOLLOW MANUF. RECOMMENDATIONS FOR INSTALLATION (TYP.)

DOOR UNIT (SEE PLANS & SCHEDULES)  
 6" STONE VENEER (TYP.)  
 STONE VENEER TO BE SET MIN. 12" BELOW GRADE (TYP.)  
 APPROX. LOCATION OF EXIST. GRADE (SLOPE AWAY FROM STRUCTURE)

FIN. FOYER FLOOR  
 430.00'

**1**  
**A-303** CROSS-SECTION.3  
 SCALE: 1/2" = 1'-0"

ISSUES:

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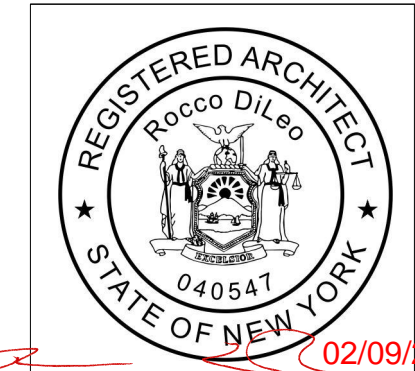
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NEW SINGLE-FAMILY DWELLING FOR:  
**GREGG T. CHAPPELL & EMILY YAVITZ**  
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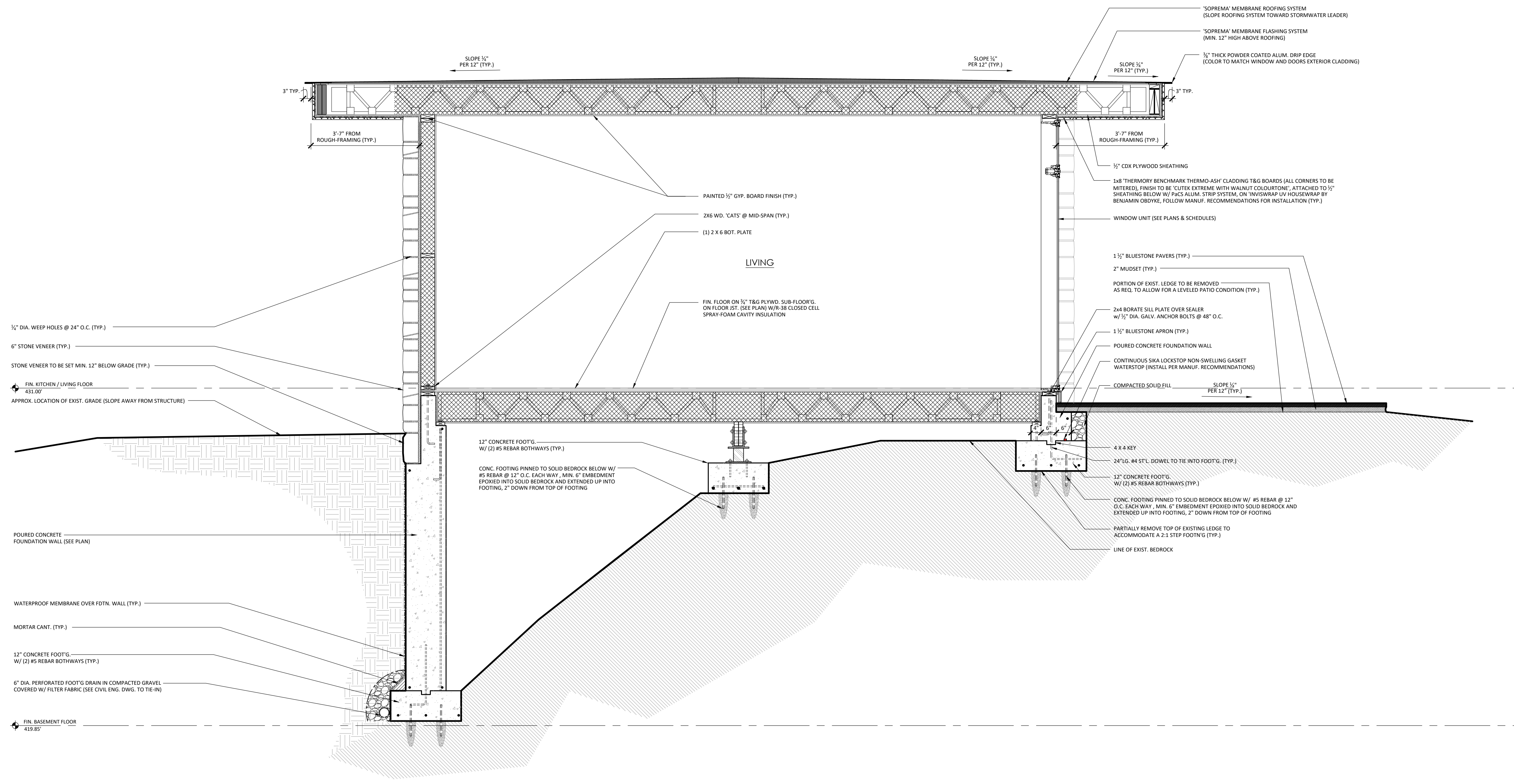
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**A-303**

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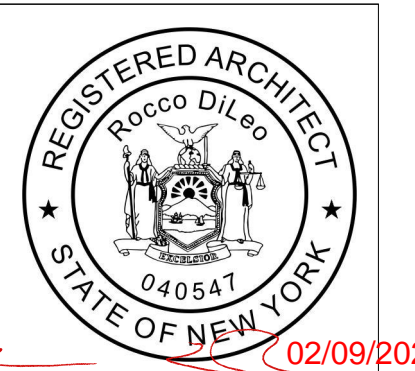
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**1** CROSS-SECTION.4  
A-304 SCALE: 1/2" = 1'-0"

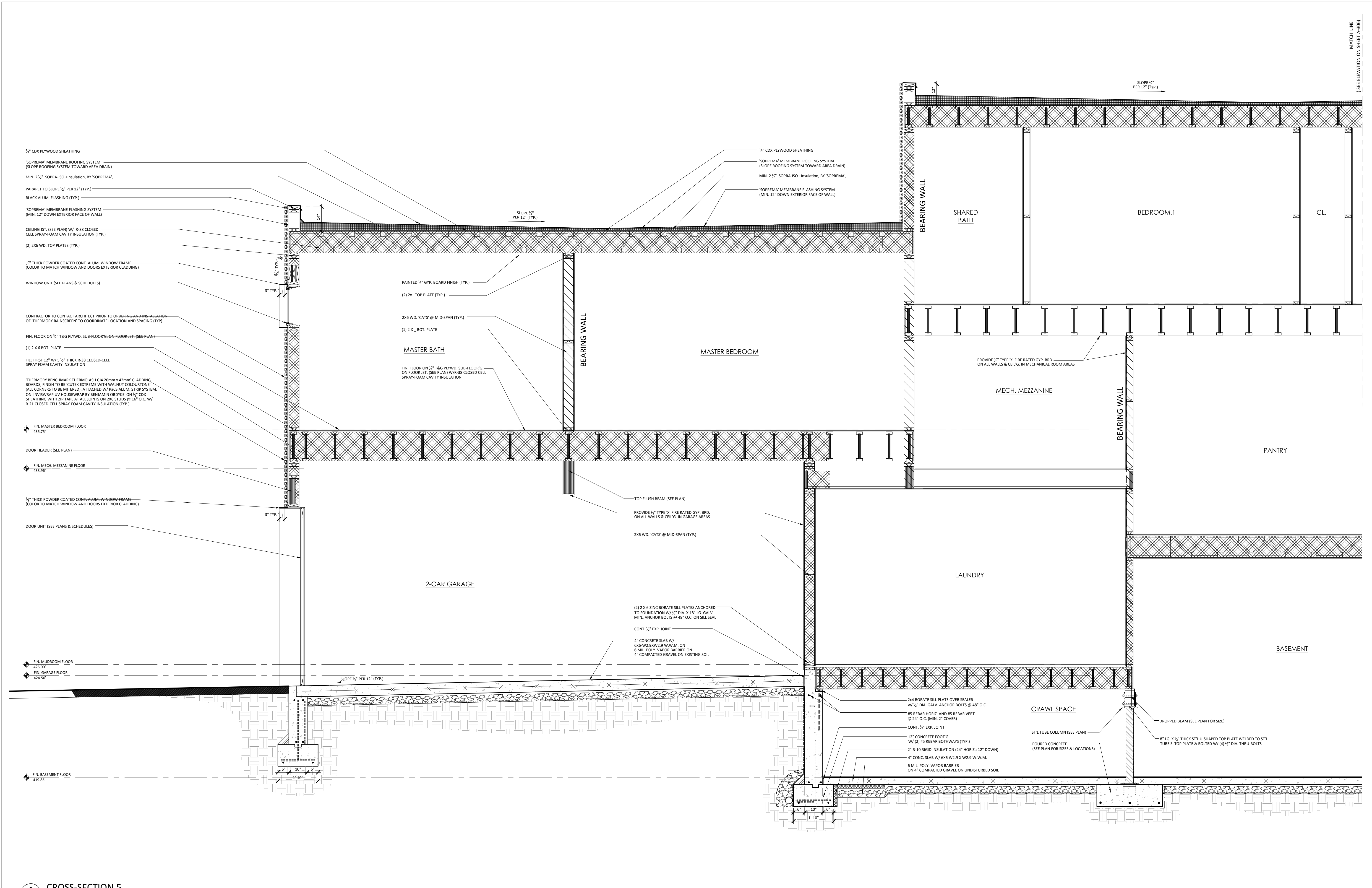
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A-304



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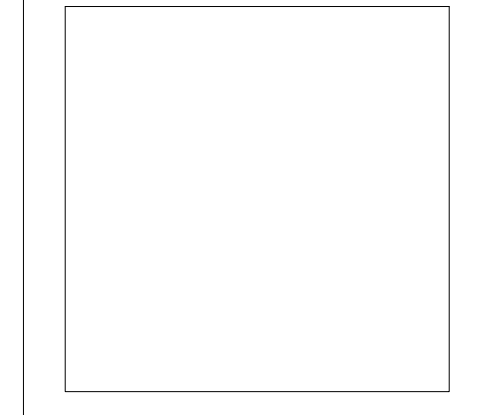
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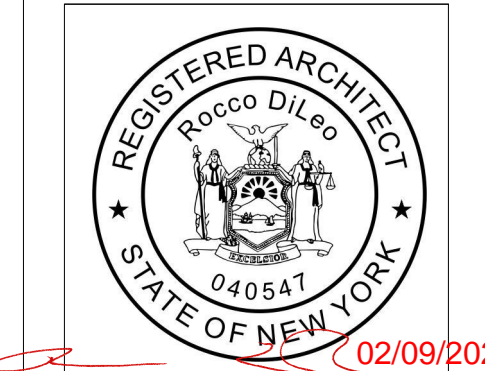
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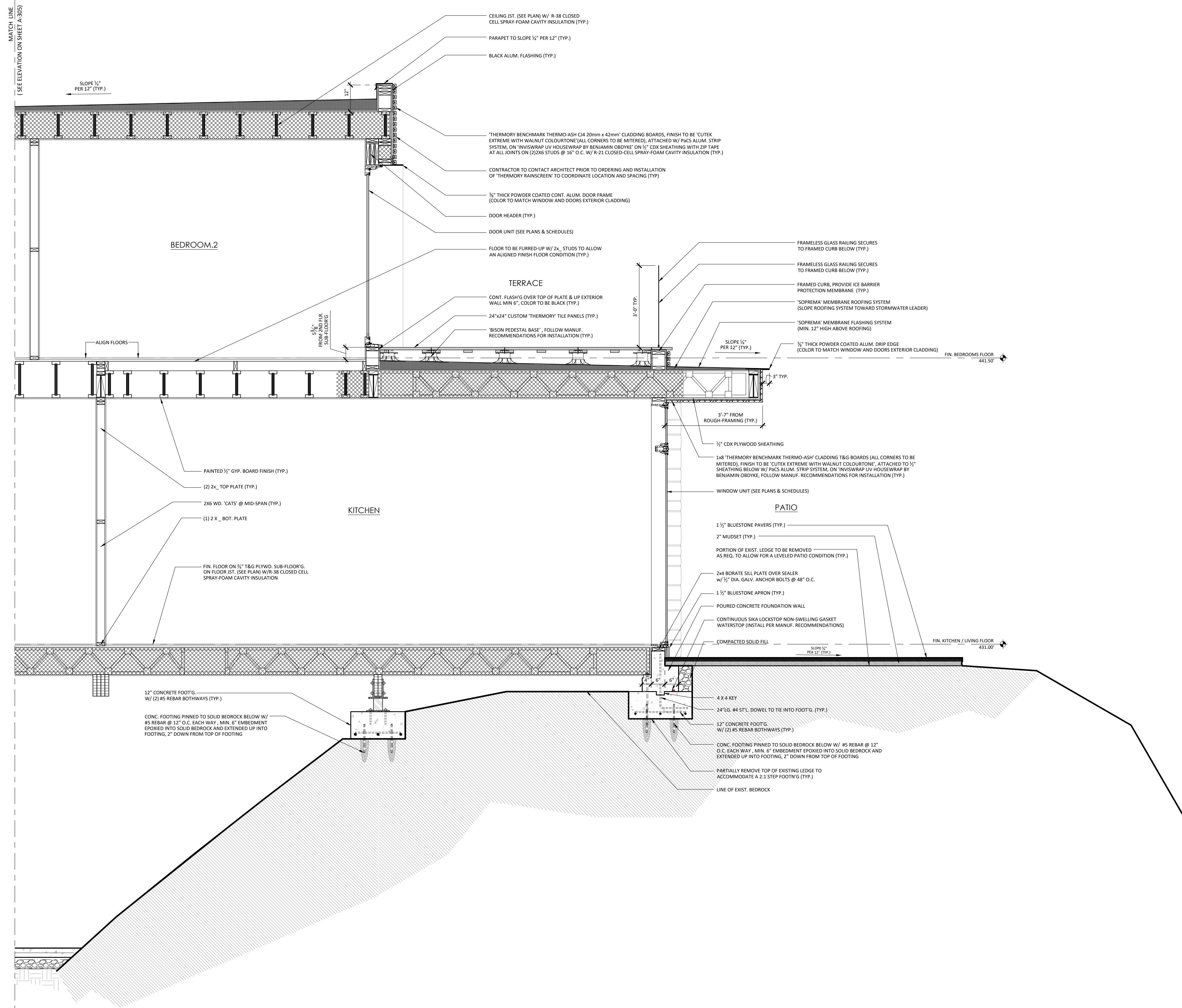
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A-305

**1** CROSS-SECTION.5  
 SCALE: 1/2" = 1'-0"



1 CROSS-SECTION.5  
A-306 SCALE: 1/2" = 1'-0"

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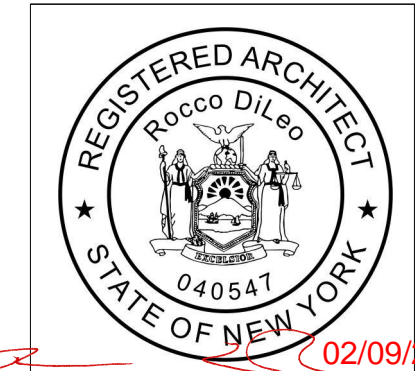
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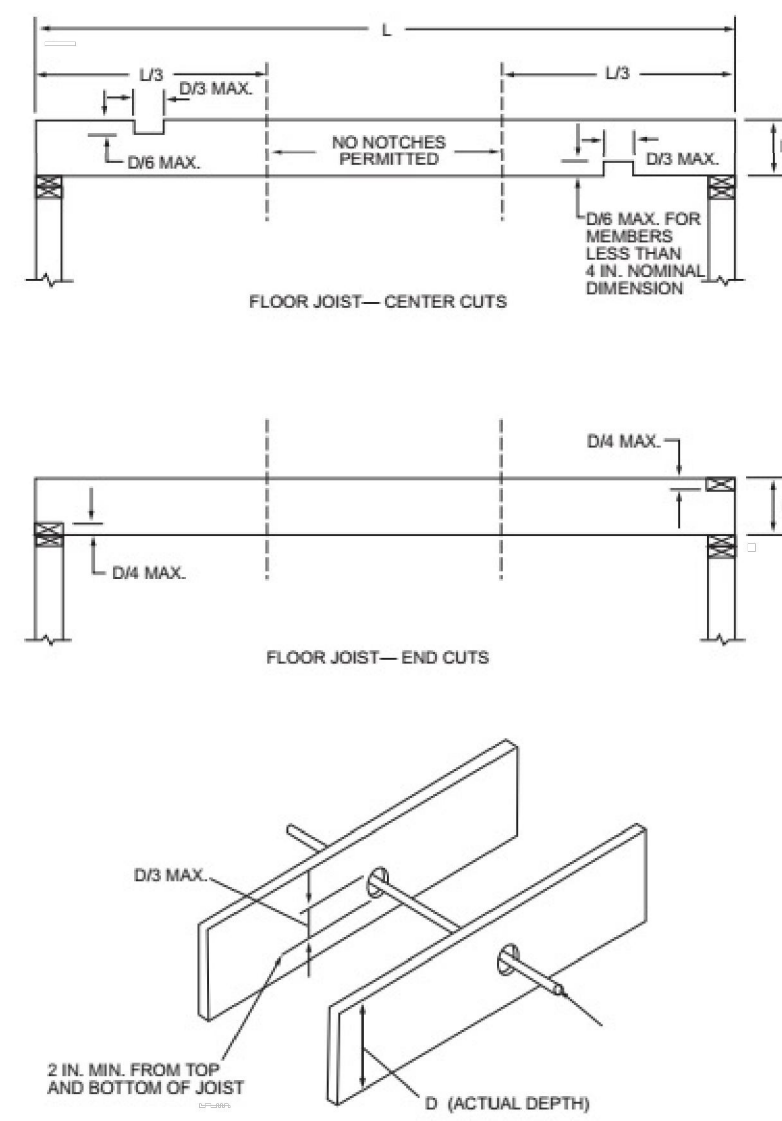


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A-306

## R502.8 Cutting, Drilling and Notching

Structural floor members shall not be cut, bored or notched in excess of the limitations specified in this section. See Figure R502.8.



For SI: 1 inch = 25.4 mm.

FIGURE R502.8  
CUTTING, NOTCHING AND DRILLING

### R502.8.1 Sawn Lumber

Notches in solid lumber joists, rafters and beams shall not exceed one-sixth of the depth of the member, shall not be longer than one-third of the depth of the member and shall not be located in the middle one-third of the span. Notches at the ends of the member shall not exceed one-fourth the depth of the member. The tension side of members 4 inches (102 mm) or greater in nominal thickness shall not be notched except at the ends of the members. The diameter of holes bored or cut into members shall not exceed one-third the depth of the member. Holes shall not be closer than 2 inches (51 mm) to the top or bottom of the member, or to any other hole located in the member. Where the member is notched, the hole shall not be closer than 2 inches (51 mm) to the notch.

### R502.8.2 Engineered Wood Products

Cuts, notches and holes bored in trusses, structural composite lumber, structural glue-laminated members, cross-laminated timber members or I-joists are prohibited except where permitted by the manufacturer's recommendations or where the effects of such alterations are specifically considered in the design of the member by a registered design professional.

## 1 R502.8 CUTTING, DRILLING & NOTCHING

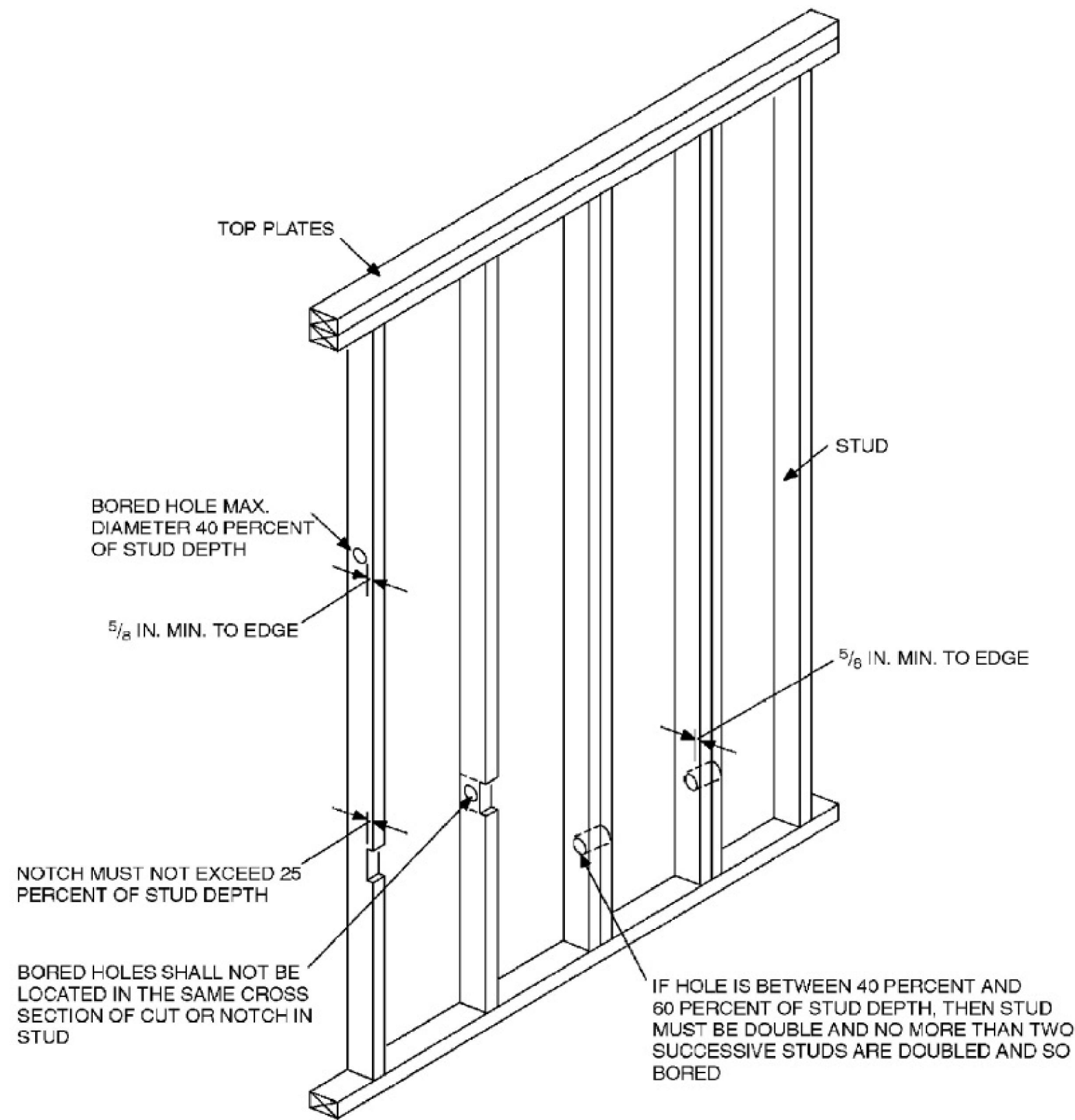
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## R602.6 Drilling and Notching of Studs

Drilling and notching of studs shall be in accordance with the following:

- Notching. Any stud in an exterior wall or bearing partition shall be permitted to be cut or notched to a depth not exceeding 25 percent of its width. Studs in nonbearing partitions shall be permitted to be notched to a depth not to exceed 40 percent of a single stud width.
- Drilling. Any stud shall be permitted to be bored or drilled, provided that the diameter of the resulting hole is not more than 60 percent of the stud width, the edge of the hole is not more than 5/8 inch (16 mm) to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior walls or bearing partitions drilled over 40 percent and up to 60 percent shall be doubled with not more than two successive doubled studs bored. See Figures R602.6(1) and R602.6(2).

**Exception:** Use of approved stud shoes is permitted where they are installed in accordance with the manufacturer's recommendations.



For SI: 1 inch = 25.4 mm.

Note: Condition for exterior and bearing walls.

FIGURE R602.6(1)

NOTCHING AND BORED HOLE LIMITATIONS FOR EXTERIOR WALLS AND BEARING WALLS

## 3 R602.6 DRILLING & NOTCHING OF STUDS

SCALE: N.T.S.

### R802.7.1.2 Ceiling Joist Taper Cut

Taper cuts at the ends of the ceiling joist shall not exceed one-fourth the depth of the member in accordance with Figure R802.7.1.2.

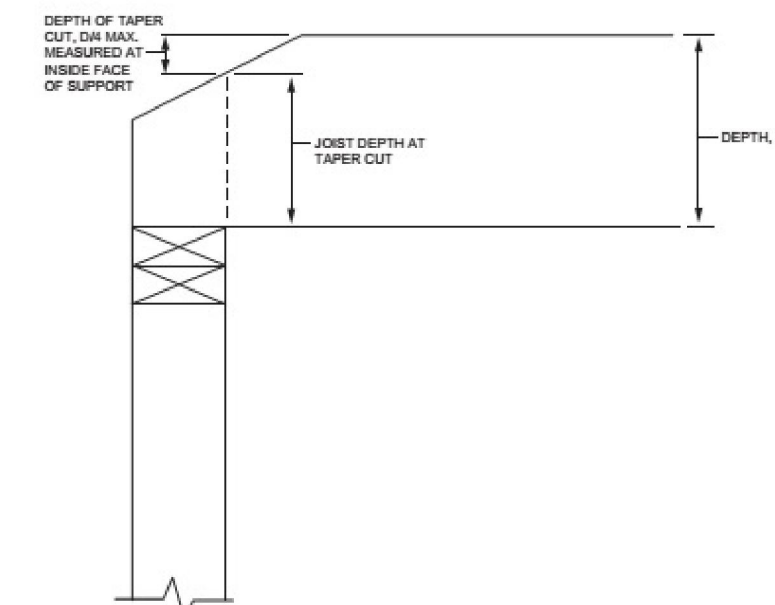
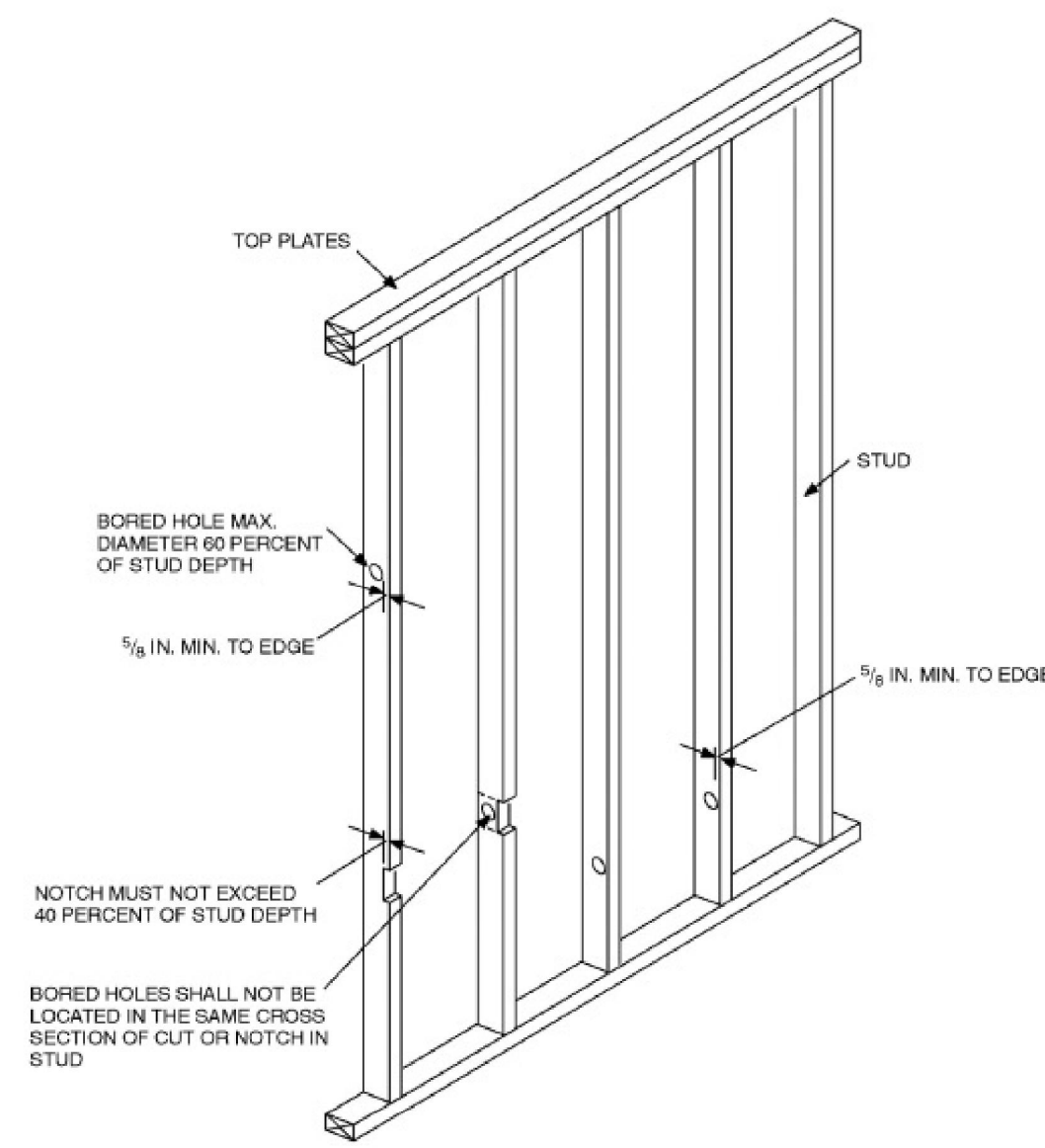


FIGURE R802.7.1.2

CEILING JOIST TAPER CUT

### R802.7.2 Engineered Wood Products

Cuts, notches and holes bored in trusses, structural composite lumber, structural glue-laminated members, cross-laminated timber members or I-joists are prohibited except where permitted by the manufacturer's recommendations or where the effects of such alterations are specifically considered in the design of the member by a registered design professional.



For SI: 1 inch = 25.4 mm.

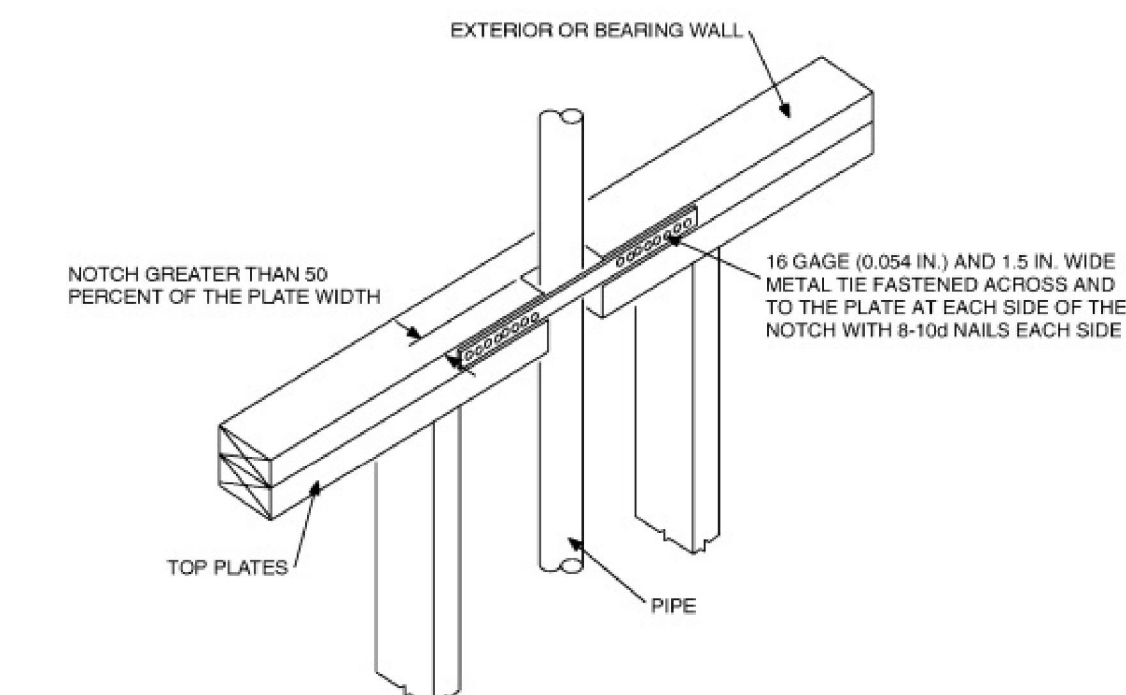
FIGURE R602.6(2)

NOTCHING AND BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS

### R602.6.1 Drilling and Notching of Top Plate

Where piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling or notching of the top plate by more than 50 percent of its width, a galvanized metal tie not less than 0.054 inch thick (1.37 mm) (16 ga) and 1 1/2 inches (38 mm) wide shall be fastened across and to the plate at each side of the opening with not less than eight 10d (0.148 inch diameter) nails having a minimum length of 1 1/2 inches (38 mm) at each side or equivalent. The metal tie must extend not less than 6 inches past the opening. See Figure R602.6.1.

**Exception:** Where the entire side of the wall with the notch or cut is covered by wood structural panel sheathing.



For SI: 1 inch = 25.4 mm.

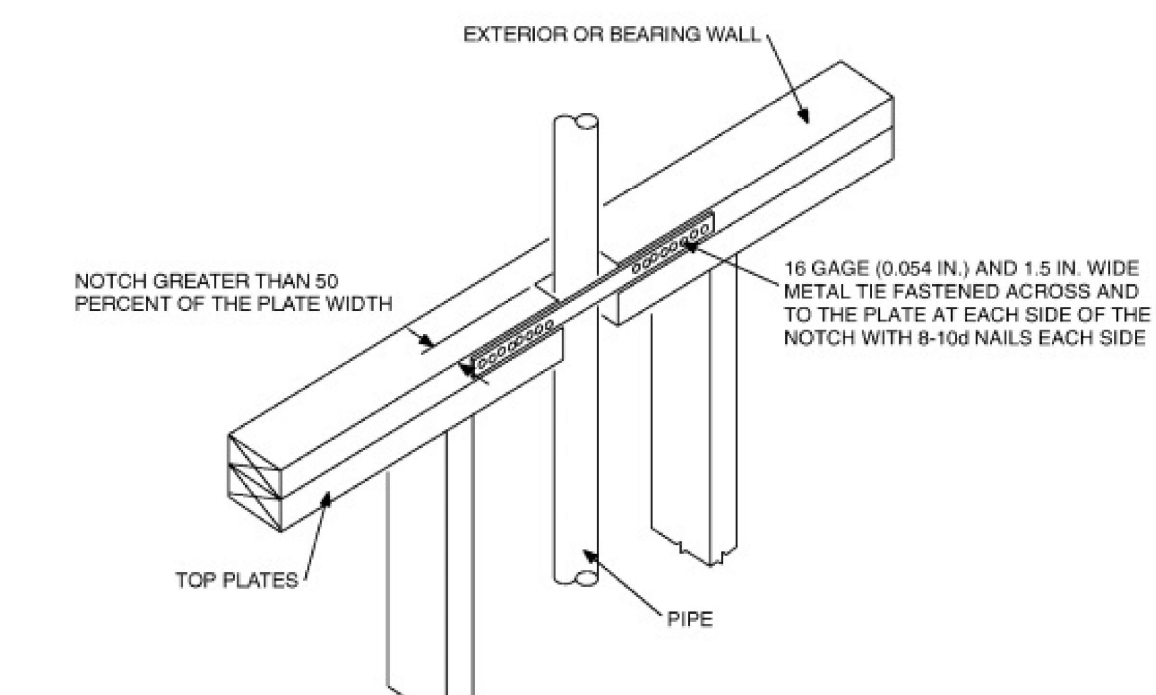
FIGURE R602.6.1

TOP PLATE FRAMING TO ACCOMMODATE PIPING

## R602.6.1 Drilling and Notching of Top Plate

Where piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling or notching of the top plate by more than 50 percent of its width, a galvanized metal tie not less than 0.054 inch thick (1.37 mm) (16 ga) and 1 1/2 inches (38 mm) wide shall be fastened across and to the plate at each side of the opening with not less than eight 10d (0.148 inch diameter) nails having a minimum length of 1 1/2 inches (38 mm) at each side or equivalent. The metal tie must extend not less than 6 inches past the opening. See Figure R602.6.1.

**Exception:** Where the entire side of the wall with the notch or cut is covered by wood structural panel sheathing.



For SI: 1 inch = 25.4 mm.

FIGURE R602.6.1

TOP PLATE FRAMING TO ACCOMMODATE PIPING

## 4 R602.6.1 DRILLING & NOTCHING OF TOP PLATE

SCALE: N.T.S.

## R802.7 Cutting, Drilling and Notching

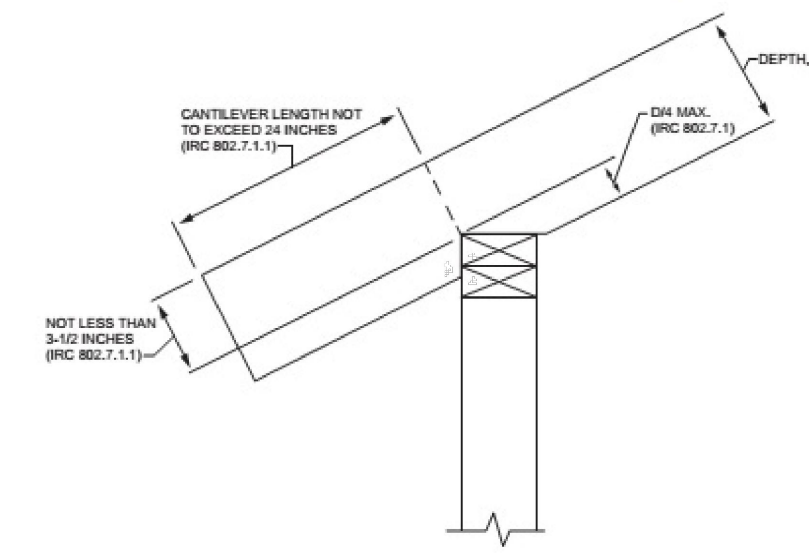
Structural roof members shall not be cut, bored or notched in excess of the limitations specified in this section.

### R802.7.1 Sawn Lumber

Cuts, notches and holes in solid lumber joists, rafters, blocking and beams shall comply with the provisions of Section R502.8.1 except that cantilevered portions of rafters shall be permitted in accordance with Section R802.7.1.1.

#### R802.7.1.1 Cantilevered Portions of Rafters

Notches on cantilevered portions of rafters are permitted provided the dimension of the remaining portion of the rafter is not less than 3 1/2 inches (89 mm) and the length of the cantilever does not exceed 24 inches (610 mm) in accordance with Figure R802.7.1.1.



For SI: 1 inch = 25.4 mm.

FIGURE R802.7.1.1

RAFTER NOTCH

## 2 R802.7 CUTTING, DRILLING & NOTCHING

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NEW SINGLE-FAMILY DWELLING FOR:  
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TYP. CODE COMPLIANT FRAMING NOTCHING DETAILS

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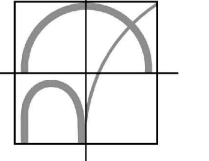
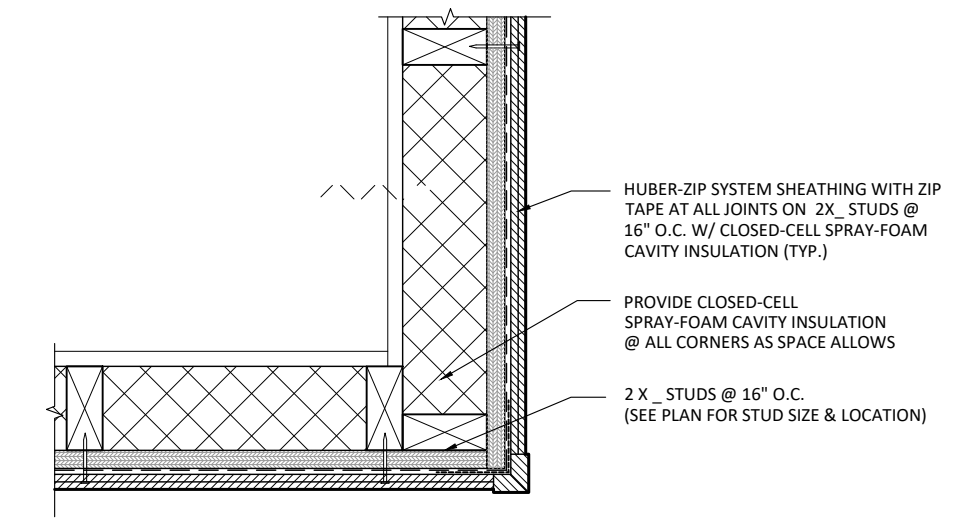
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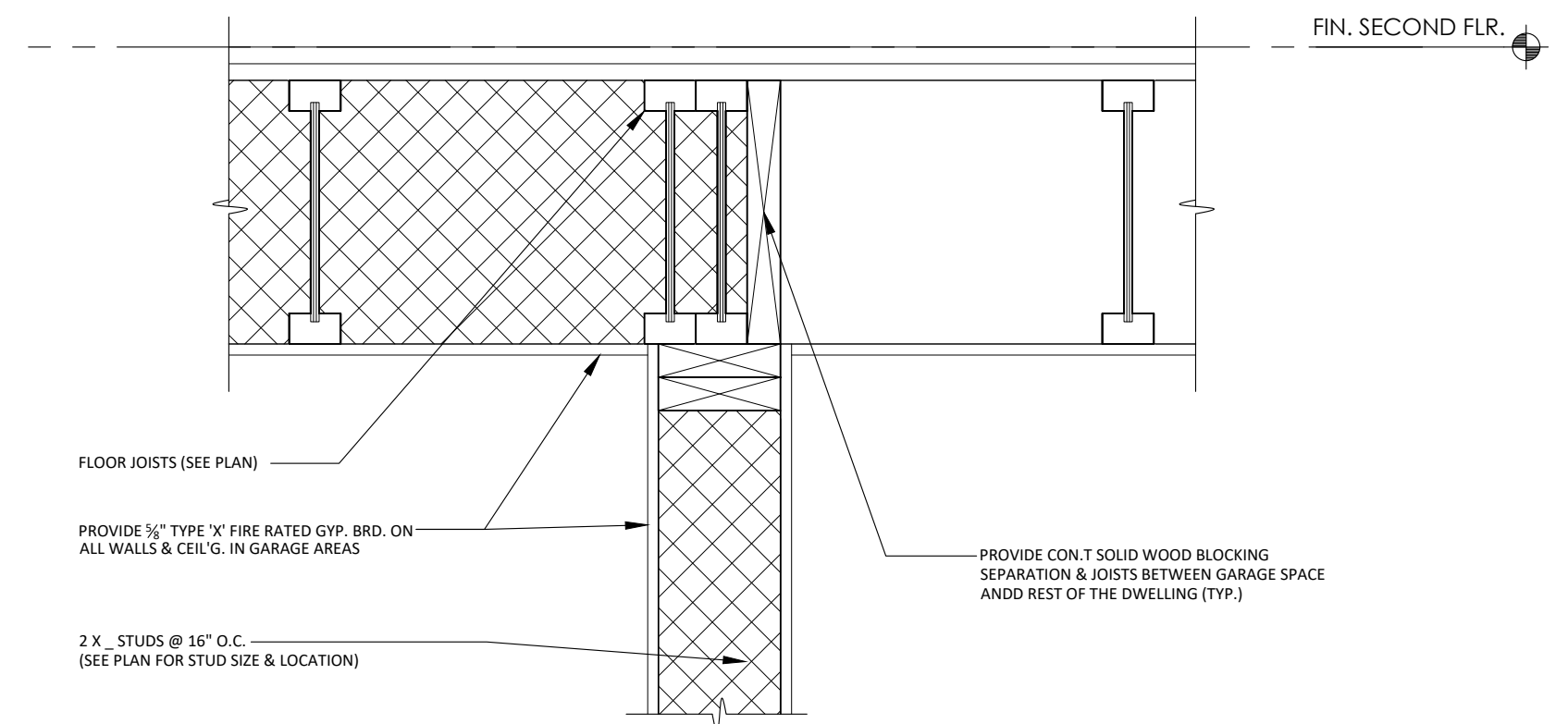
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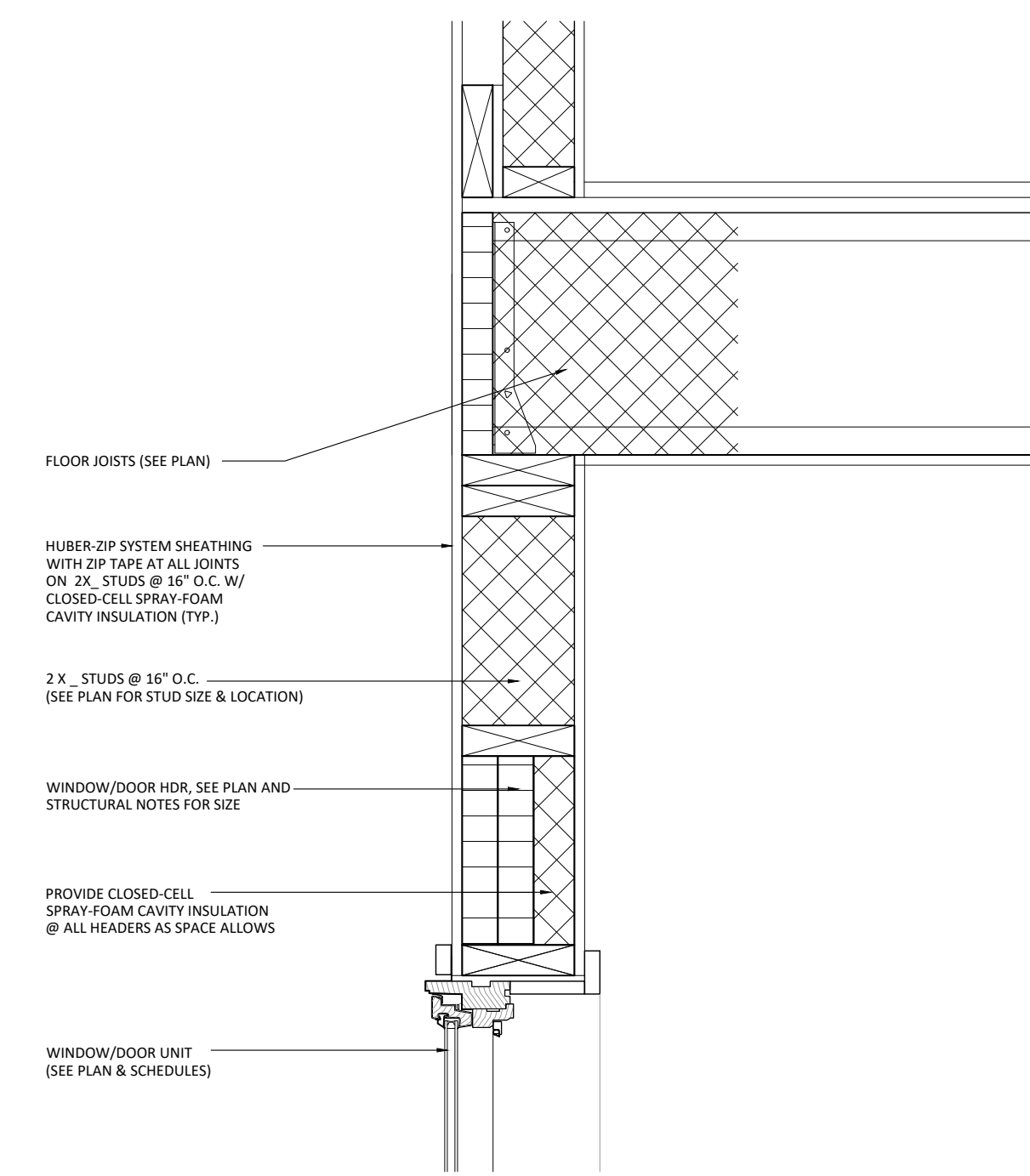
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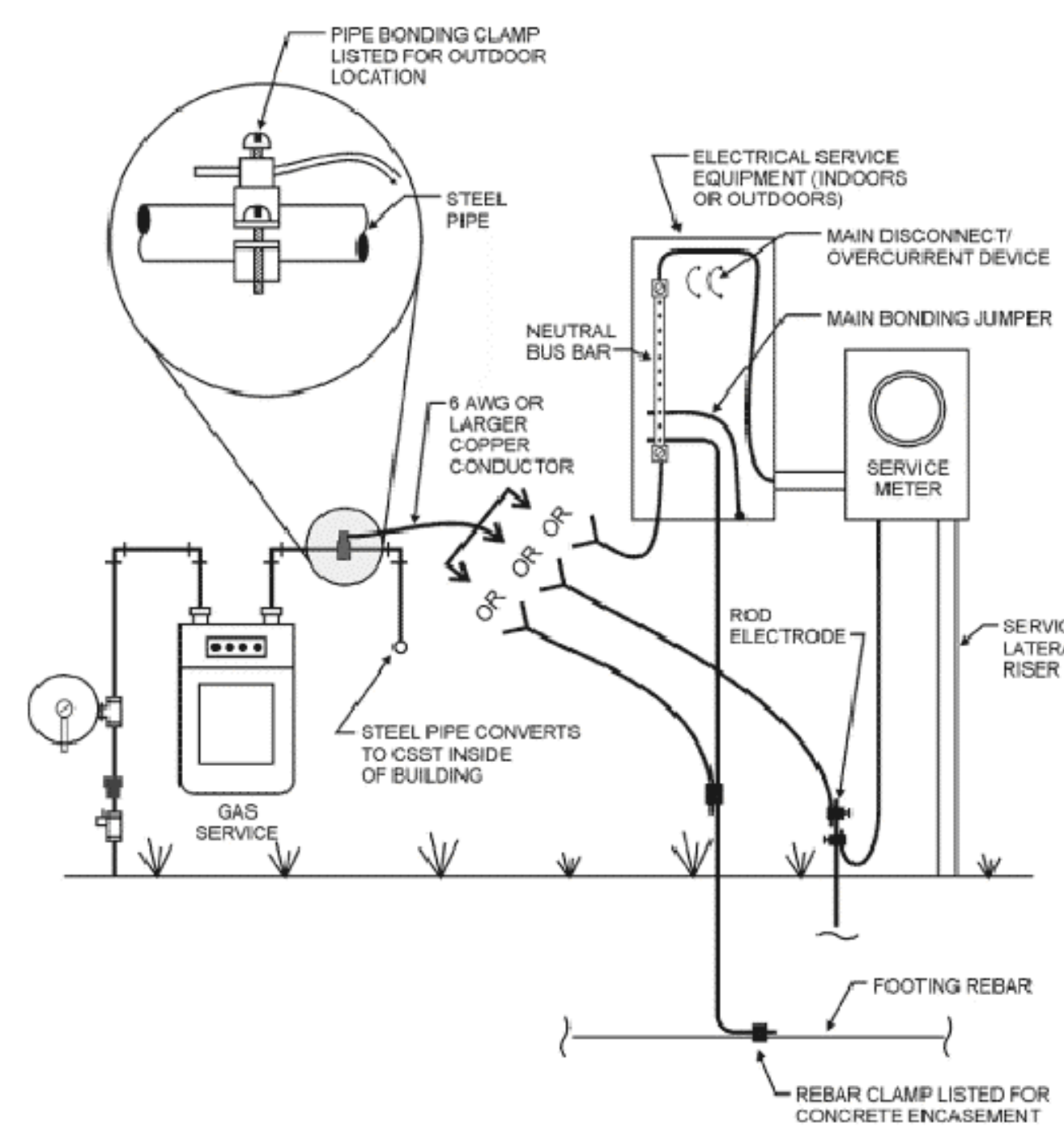
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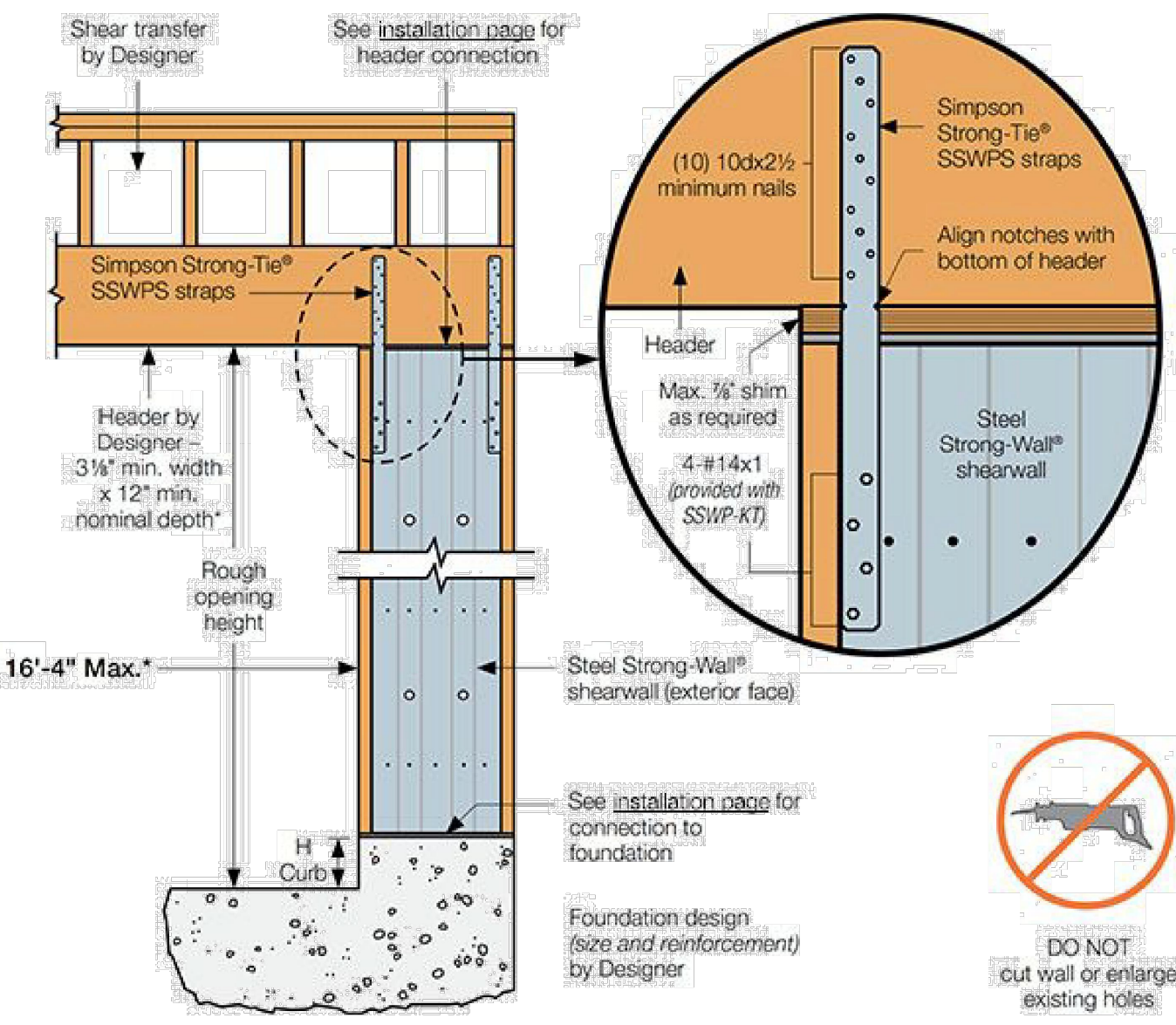
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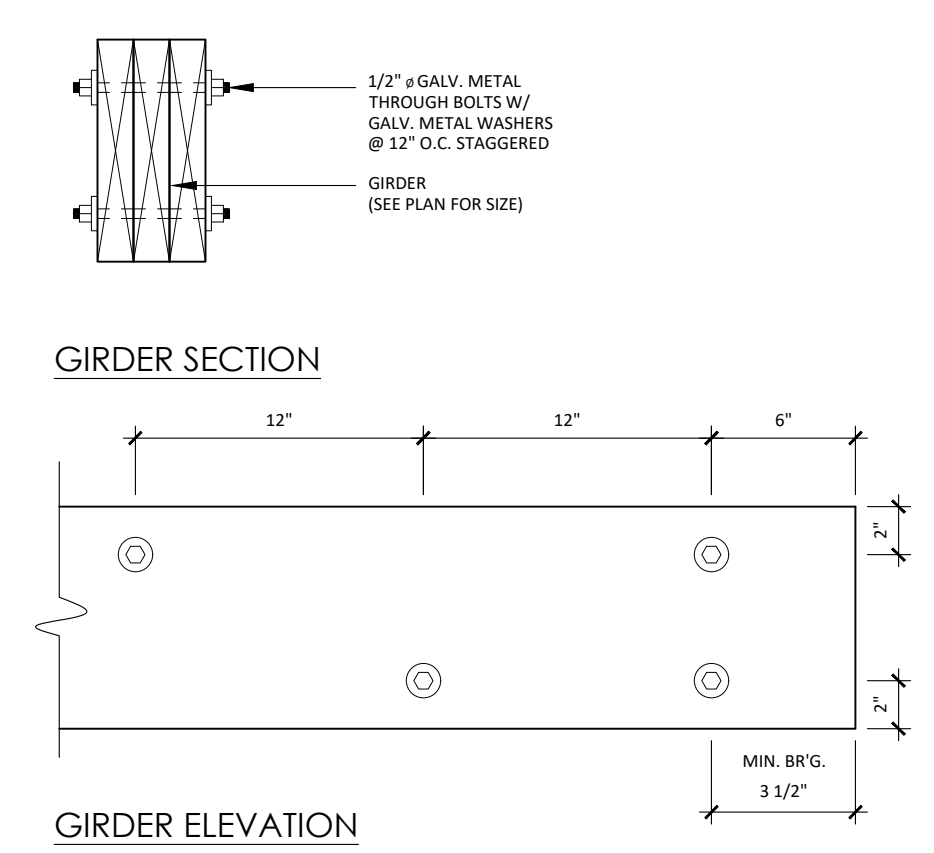
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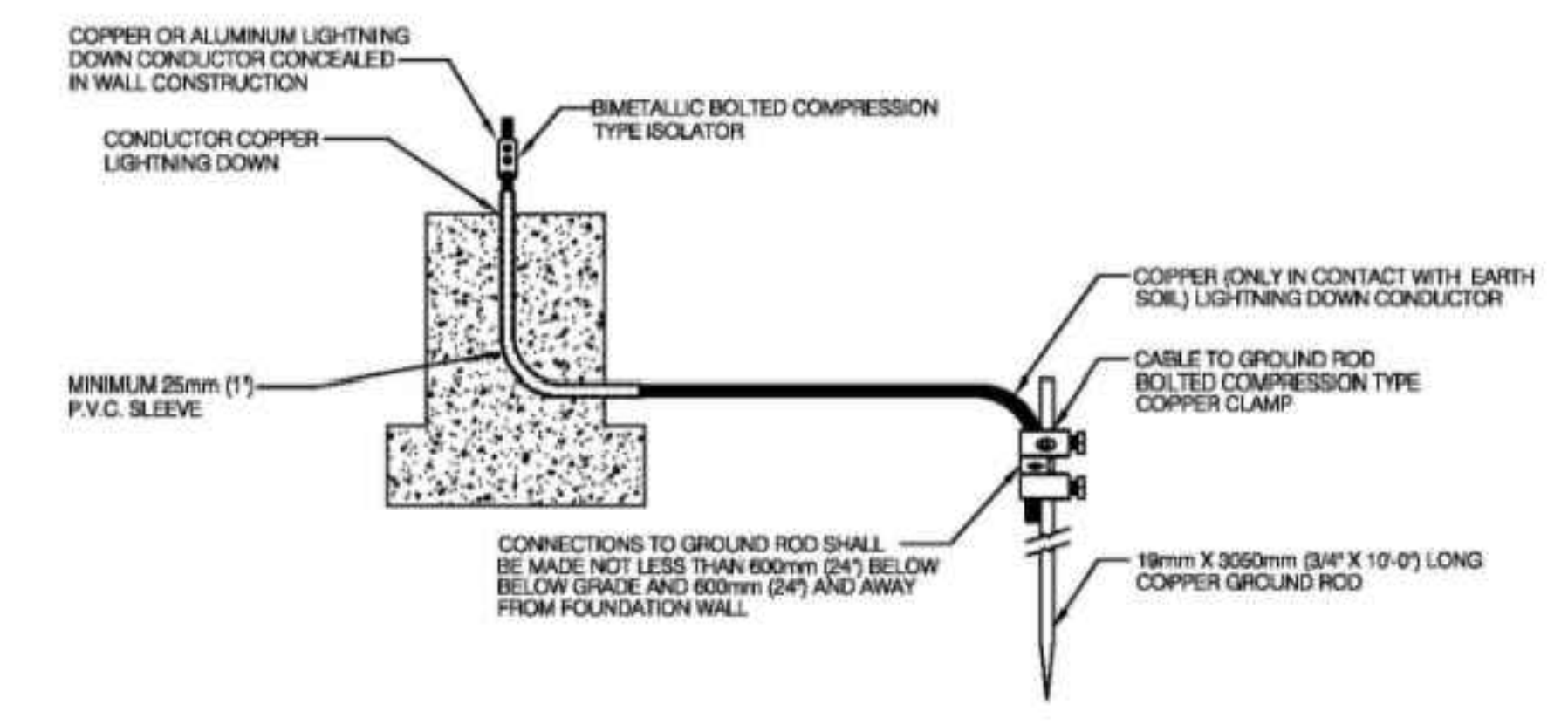
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SCALE: N.T.S.



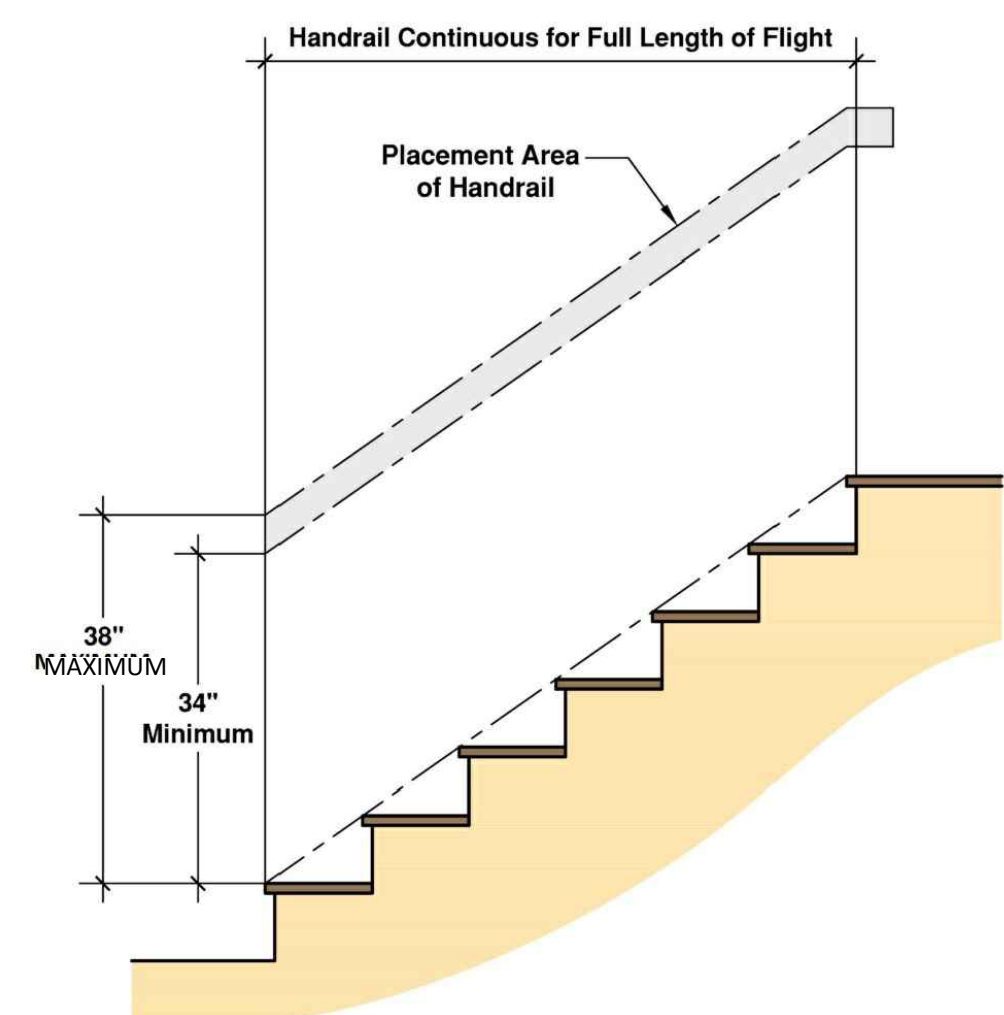
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SCALE: N.T.S.



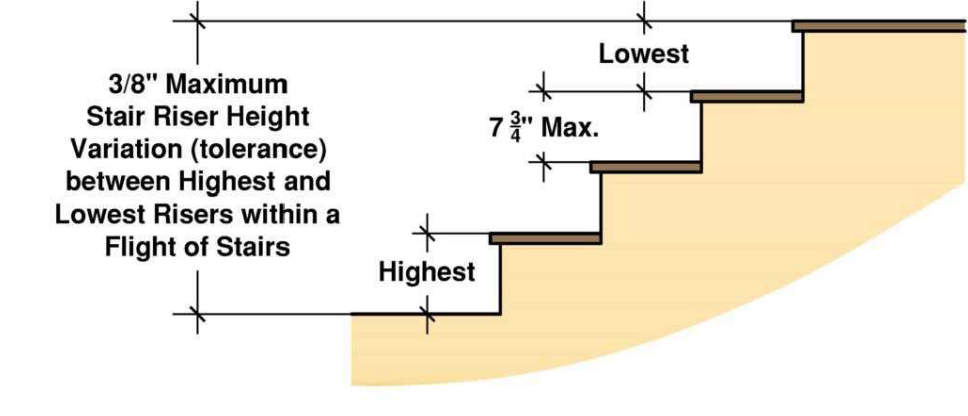
**5** TYP. GIRDER DETAIL (FOR 3 OR MORE PLY'S)  
SCALE: 1-1/2" = 1'-0"



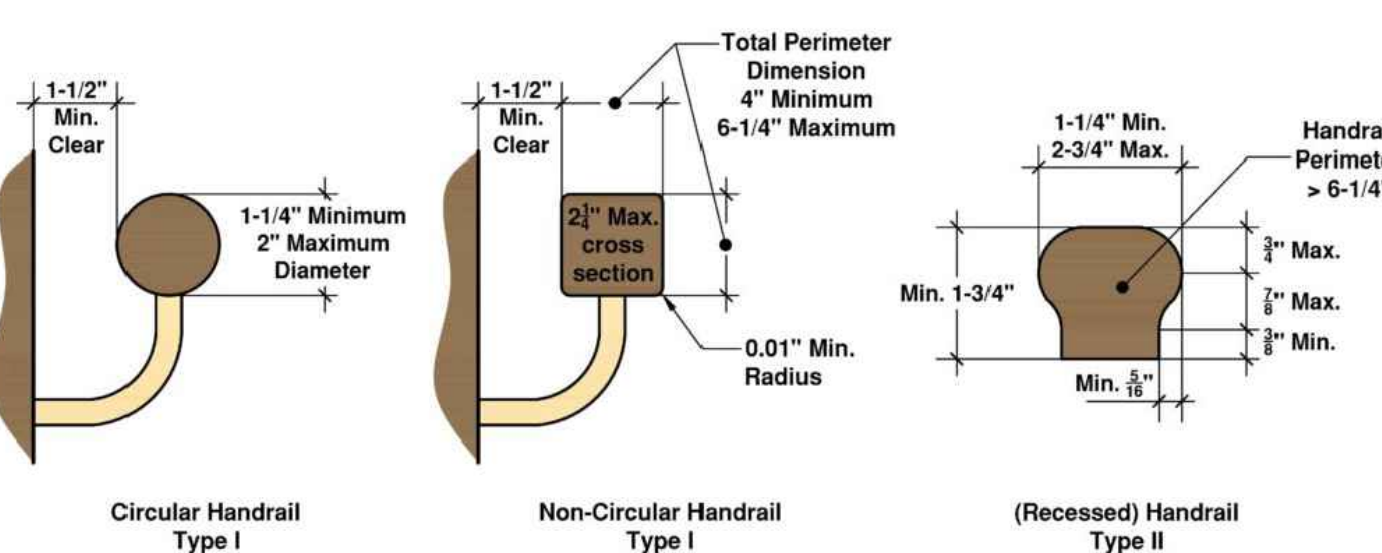
**6** TYP. BONDING/GROUNDING DETAIL TO FOUNDATION  
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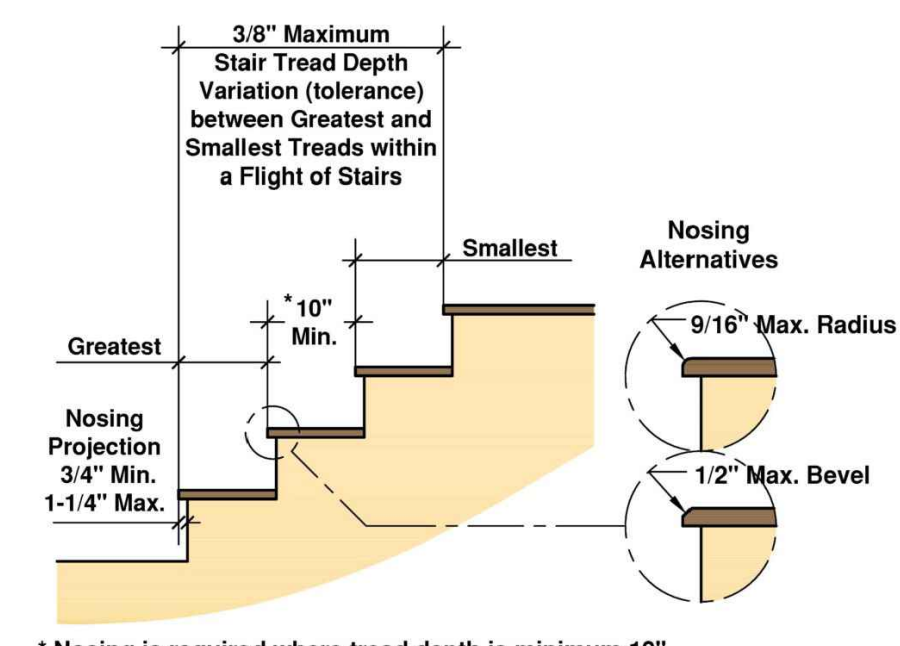
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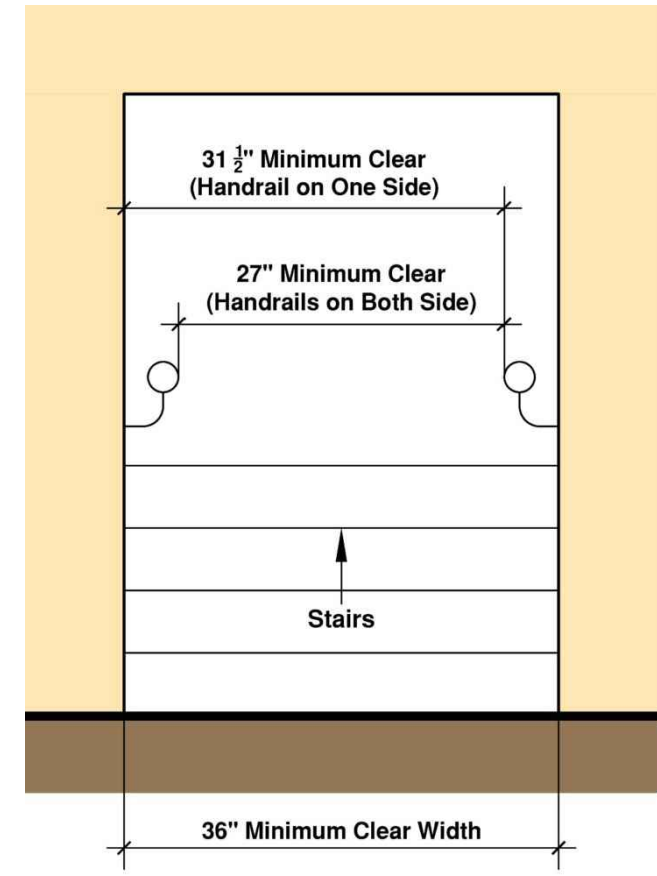
TYP. STAIR RISER HEIGHT DETAIL



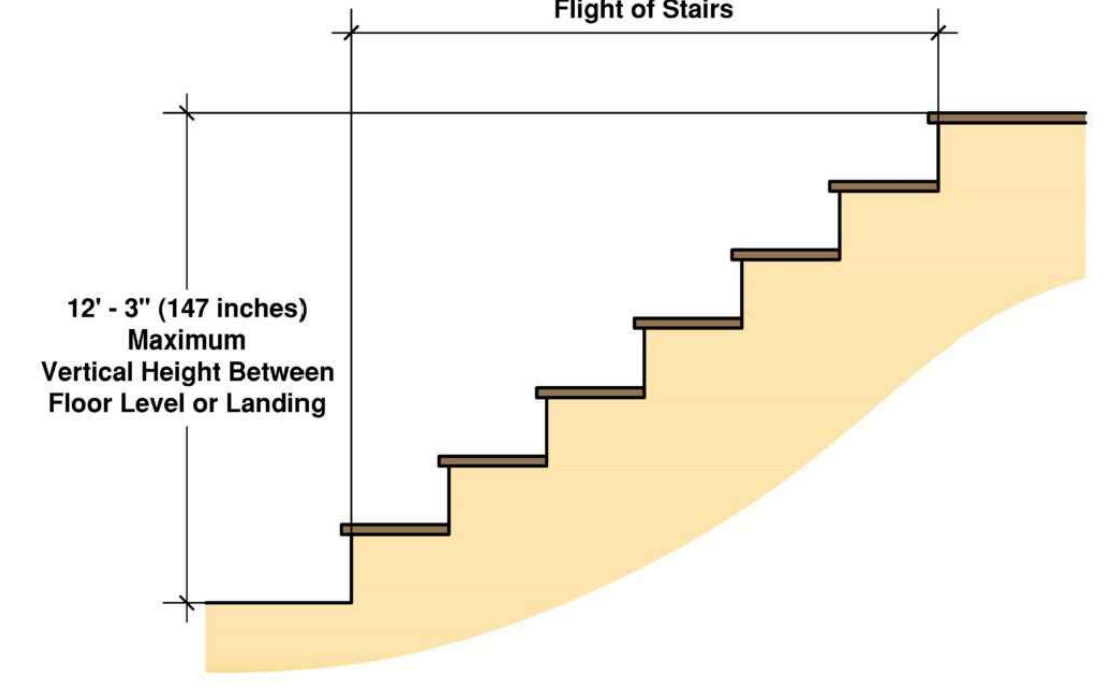
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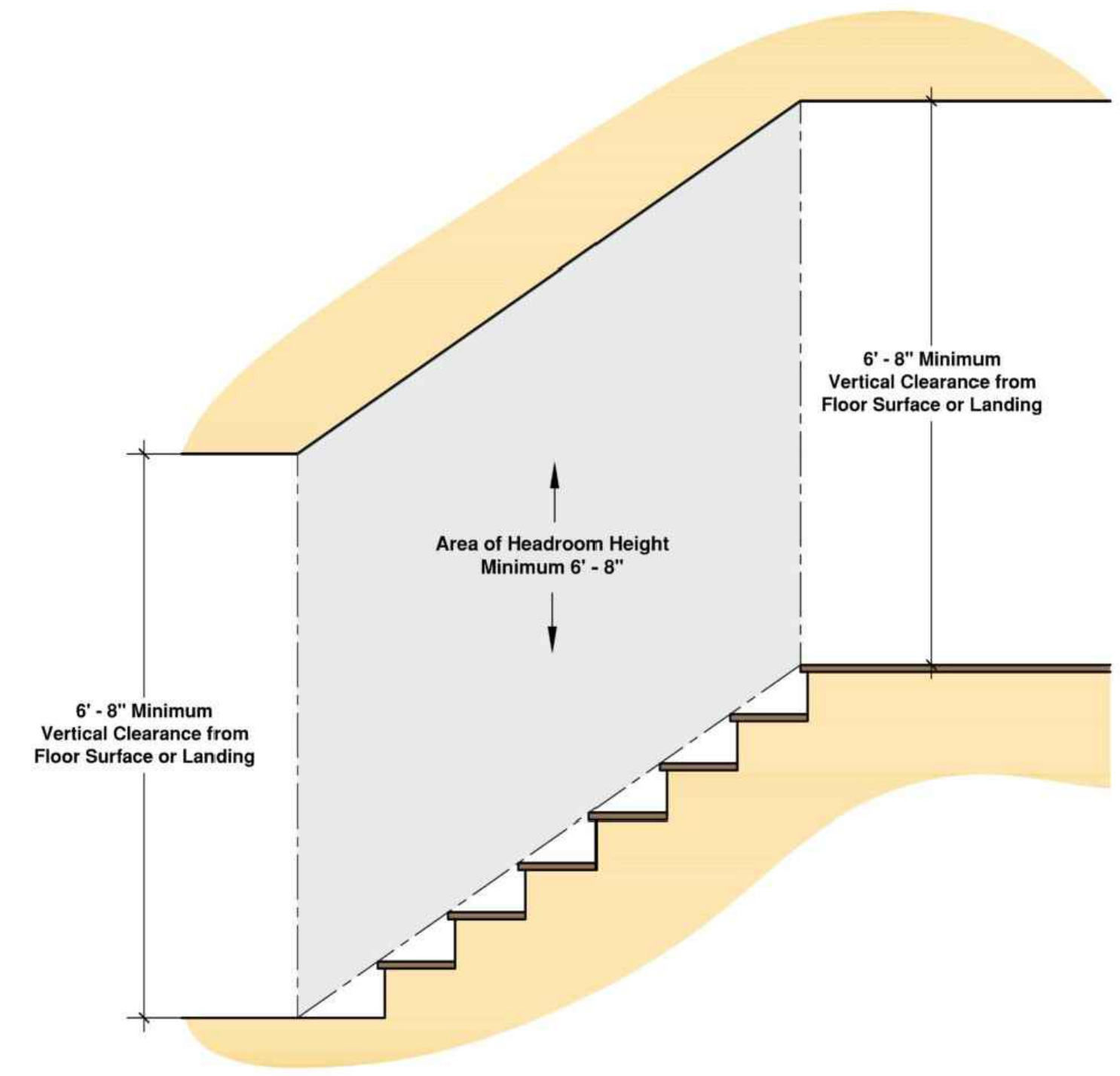
TYP. STAIR TREAD DEPTH DETAIL



TYP. STAIR WIDTH DETAIL



TYP. VERTICAL RISE FOR STAIRS DETAIL



TYP. HEADROOM FOR STAIR DETAIL

**7** TYP. DETAILS FOR INTERIOR STAIRCASE CODE COMPLIANCE REQUIREMENTS  
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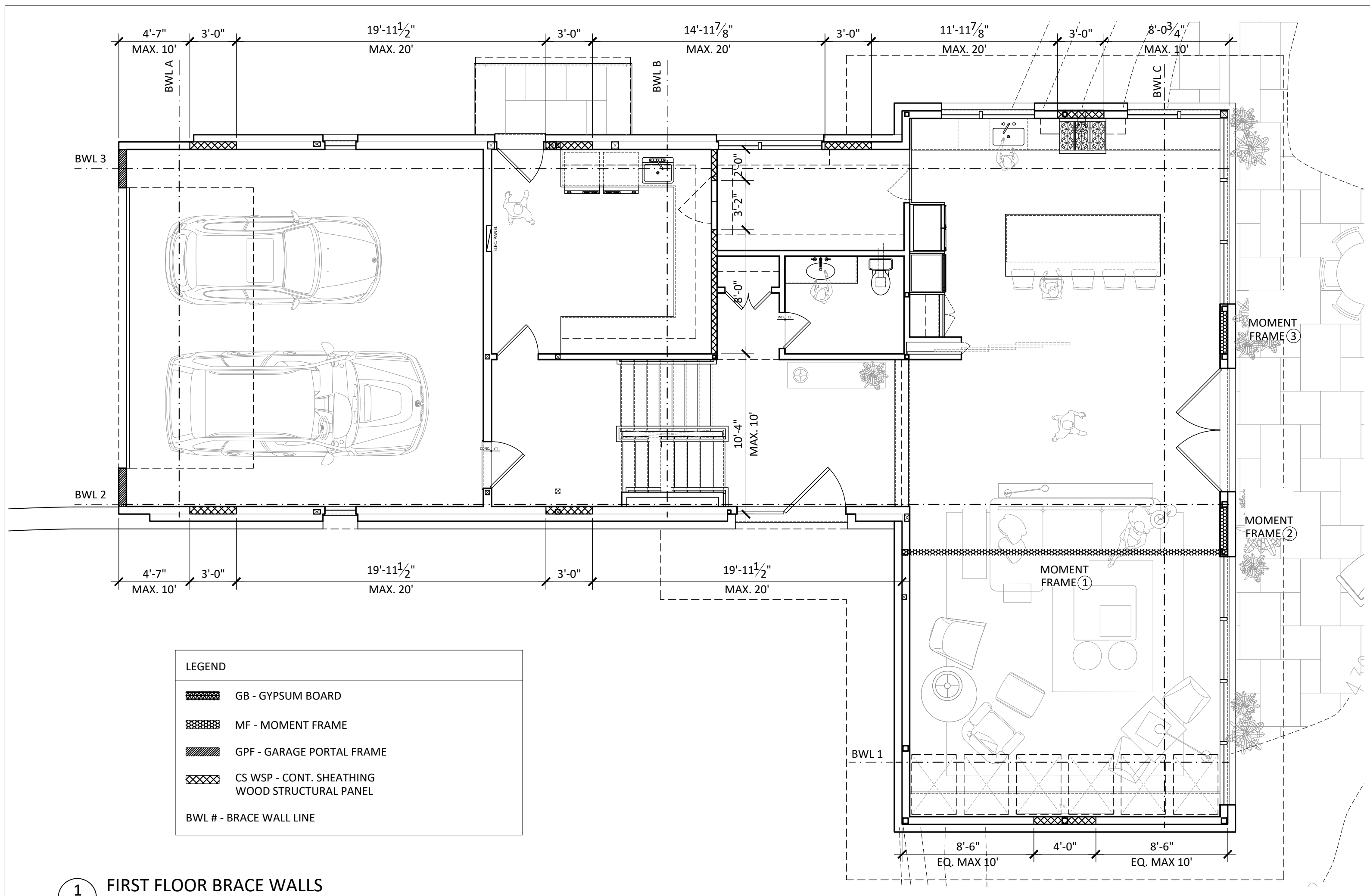


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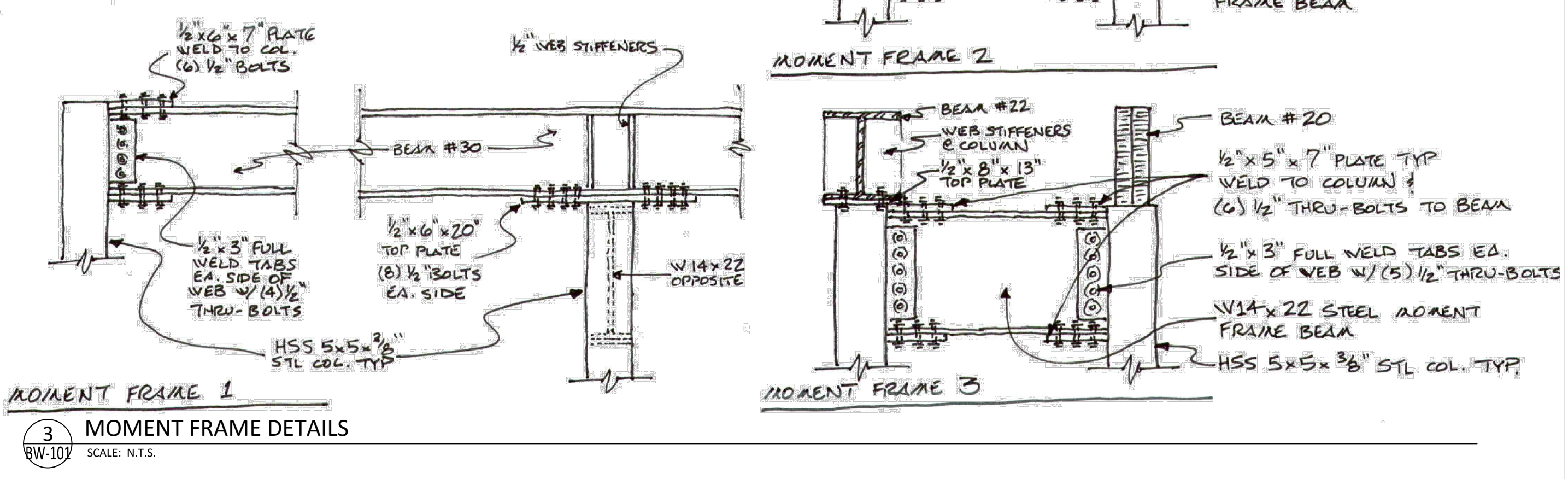
A-308





**WALL BRACE NOTES:**

- ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.
- ENDS OF ALL BRACE WALL PANELS TO HAVE (2) 2x6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DIT12 HOLD-DOWNS.
- ALL INTERIOR BRACE WALLS TO HAVE 1" CONTINUOUS PLYWOOD SHEATHING ON ONE, MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.



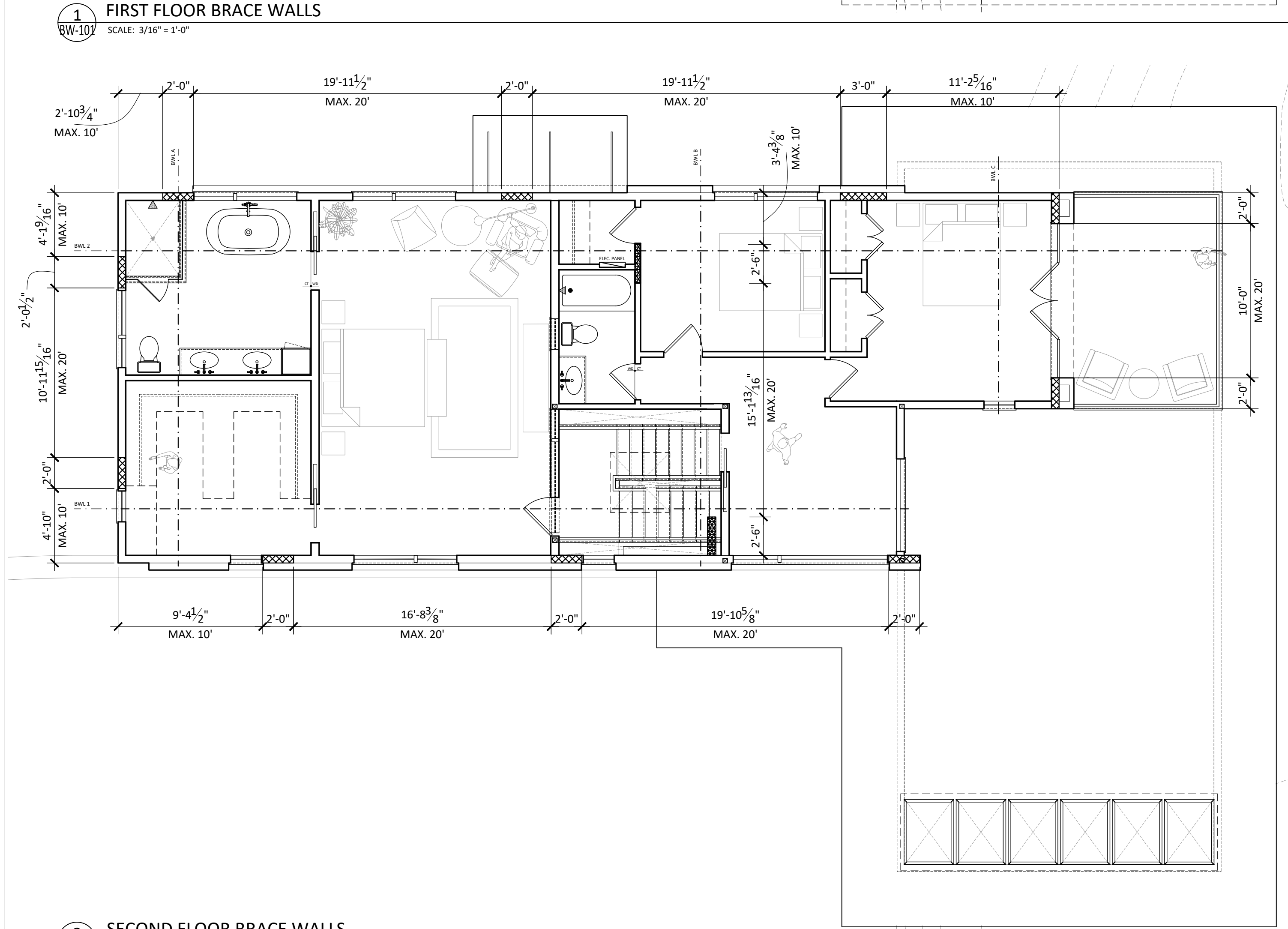
**BRACE WALL LINES/PANELS TABLE**

ADDRESS: GAMBELLI DRIVE, YORKTOWN HEIGHTS, NY | ULTIMATE WIND SPEED = 115 MPH

LINE NUMBER	LINE SPACING	BRACING METHOD	MIN. B.W. LENGTH REQ'D	FACTORS (TABLE R602.10.3(1))				ADJUSTED MIN. B.W. LENGTH PROVIDED	B.W. LENGTH PROVIDED	BLOCKING REQUIRED (Y/N)	BLOCKING (Y/N)	
				EXPOSURE	HEIGHT	WALL HEIGHT	* OF B.W. LINES					
1	17.0'	CS-WSP	3.05'	1.0	.70	.95	1.3	1.0	2.64'	4.0'	Y	Y
2	19.0'	CS-WSP	4.14'	1.0	.85	.95	1.3	1.0	4.35'	6.0'	Y	Y
	19.0'	MF-1	2.07'	-	-	-	-	-	20.25'	SEE DETAIL	SEE DETAIL	SEE DETAIL
3	19.0'	CS-WSP	6.20'	1.0	.85	.95	1.3	1.0	6.51'	12.0'	Y	Y
A	31.8'	GPF	9.27'	-	-	-	-	-	22.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL
B	31.8'	CS-WSP	9.27'	1.0	.85	.95	1.3	1.0	9.73'	10.0'	Y	Y
C	31.8'	MF-2	2.39'	-	-	-	-	-	3.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL
	31.8'	MF-3	2.39'	-	-	-	-	-	3.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL

NOTES: 1. ALL FLOORS - ENDS OF ALL BRACE WALL PANELS TO HAVE MINIMUM (2) 2x6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DIT12 HOLD-DOWN ANCHORS.  
2. FIRST FLOOR - ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

**4 FIRST FLOOR BRACE WALL LINES / PANEL TABLE**  
SCALE: N.T.S.



**BRACE WALL LINES/PANELS TABLE**

ADDRESS: GAMBELLI DRIVE, YORKTOWN HEIGHTS, NY | ULTIMATE WIND SPEED = 115 MPH

LINE NUMBER	LINE SPACING	BRACING METHOD	MIN. B.W. LENGTH REQ'D	FACTORS (TABLE R602.10.3(1))				ADJUSTED MIN. B.W. LENGTH PROVIDED	B.W. LENGTH PROVIDED	BLOCKING REQUIRED (Y/N)	BLOCKING (Y/N)	
				EXPOSURE	HEIGHT	WALL HEIGHT	* OF B.W. LINES					
1	16.0'	CS-WSP	2.9'	1.0	.70	.90	1.0	1.83'	6.0'	Y	Y	
2	16.0'	CS-WSP	2.9'	1.0	.70	.90	1.0	1.83'	6.0'	Y	Y	
A	33.0'	CS-WSP	4.95'	1.0	.70	.90	1.3	1.0	4.05'	4.05'	Y	Y
B	18.5'	GPF	6.05'	1.0	.70	.90	1.3	1.0	4.96'	5.0'	N	Y
C	18.5'	CS-WSP	3.28'	1.0	.70	.90	1.3	1.0	2.68'	4.0'	Y	Y

NOTES: 1. ALL FLOORS - ENDS OF ALL BRACE WALL PANELS TO HAVE MINIMUM (2) 2x6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DIT12 HOLD-DOWN ANCHORS.  
2. FIRST FLOOR - ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

**5 FIRST FLOOR BRACE WALL LINES / PANEL TABLE**  
SCALE: N.T.S.

**1 FIRST FLOOR BRACE WALLS**  
SCALE: 3/16" = 1'-0"

**2 SECOND FLOOR BRACE WALLS**  
SCALE: 3/16" = 1'-0"

**ISSUES:**

SUBMITTED FOR PERMIT	10.15.21
REV. 1.1 - DOB COMMENTS	02.11.22

**DRAWING STATUS:**

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

studio  
design + planning

363 westchester ave. - pent. chelsea - new york - 10017  
646.742.0254 • c@dtpstudio.com

NEW SINGLE-FAMILY DWELLING FOR:  
**GREGG T. CHAPPELL & EMILY YAVITZ**  
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

BRACE WALLS PLANS

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02/09/2022

DRAWN: JV  
CHECKED: RD  
JOB NO: 2110  
DATE: 03.08.21  
Sheet

**BW-101**

**Arrowhead  
Subdivision Lot 6.4**



445 Hamilton Avenue, 14th Floor  
White Plains, New York 10601  
T 914 761 1300  
F 914 761 5372  
cuddyfeder.com

Taylor M. Palmer, Esq.  
[tpalmer@cuddyfeder.com](mailto:tpalmer@cuddyfeder.com)

May 11, 2022

**VIA E-MAIL**  
**AND FEDERAL EXPRESS**

Chairman Richard Fon  
and Members of the Planning Board  
Town of Yorktown  
Yorktown Community & Cultural Center  
1974 Commerce Street, Room 222  
Yorktown Heights, New York 10598

Re: SHG Lot LLC – Application for Site Plan Approval for a Single-Family Residence  
in the Approved Arrowhead Residential Subdivision  
Premises: 821 Shiqer Gashi Court, Yorktown Heights, New York 10562  
Tax Parcel ID: (Section 48.13, Block 1, Lot 6.4)

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Dear Chairman Fon and Members of the Planning Board:

On behalf of SHG Lot LLC (the “Applicant”), we respectfully submit this letter and the referenced enclosures in support of an Application for Site Plan Approval (the “Application”) proposing to develop a single-family residence to be located on Lot 6.4 of the residential subdivision commonly known as the Arrowhead Subdivision.

**BACKGROUND – ARROWHEAD SUBDIVISION APPROVAL AND EXISTING IMPROVEMENTS:**

The Premises is located off of Shiqer Gashi Court, southwest of Underhill Avenue and the Premises is classified in the R1-200 Residence Zoning District. The property was formerly known as 809 Underhill Avenue, and was previously identified as Tax Map No. 48.13-1-6 (the “Original Property”). The property was formally subdivided into seven (7) total lots, two (2) of which were deeded to the Town of Yorktown as is more fully shown on the approved subdivision plat entitled “Subdivision Plat of Property Known as Arrowhead Subdivision at Underhill Avenue” (the “Arrowhead Subdivision”), which was filed in the Office of the Clerk of the County of Westchester on March 14, 2016 as Filed Map No. 28948 (the “Filed Map”). See **Exhibit C**.

The seven (7) lots formed from the Original Property as shown on the Filed Map are now identified as:

1. Tax Map No. 48.13-1-6.1 (“**Lot 6.1**”);
2. Tax Map No. 48.13-1-6.2 (“**Lot 6.2**”);



May 11, 2022

Page 2

3. Tax Map No.48.13-1-6.3 (“**Lot 6.3**”);
4. Tax Map No.48.13-1-6.4 (“**Lot 6.4**”);
5. Tax Map No.48.13-1-6.99 (“**Lot 6.99**”);
6. Tax Map No.48.13-1-6.5 (“**Lot 6.5**”); and
7. Tax Map No. 48.13-1-6.6 (“**Lot 6.6**”) formerly known as 48.13-1-11.5.

For ease of review, enclosed as **Exhibit C** is a copy of the Filed Map (consisting of 2 sheets) and a marked-up image from the Westchester County Tax Parcel Viewer that shows the above-referenced lots, and in particular Lots 6.5 and 6.6 (the “Town Lots”), which were previously deeded to the Town of Yorktown for use as parkland. Specifically, Lots 6.5 and 6.6. were deeded to the Town of Yorktown by 708 Underhill Avenue Corp., and both deeds were recorded on April 26, 2016 in Westchester County Clerk’s office as Control Nos. 530663339 and 543043111, respectively.

As this Board may be aware, Lot 6.2 (801 Shiqer Gashi Court) is presently improved by a single-family residence that was approved by the Town of Yorktown Planning Board when it granted Site Plan approval pursuant to Resolution No. 16-07. *See Exhibit D.* While site development plan approval is not typically required for the development of a single-family residence, Resolution No. 07-23, dated October 15, 2007, required that site plan approval for the development of each lot within the Arrowhead Subdivision. *See Exhibit E.* Accordingly, the Applicant hereby respectfully submits this Application for Site Plan Approval as required by Resolution No. 07-23 in order to develop a single-family residence on Lot 6.4.

#### **APPLICATION FOR SITE PLAN APPROVAL FOR A SINGLE-FAMILY RESIDENCE ON LOT 6.4:**

As is more fully shown in the enclosed architectural drawings prepared by the Applicant’s architect, Linda J. Zwart, the Applicant is proposing to construct a 3,203 sq. ft. house, including a two (2)-car garage. Pursuant to our discussions with Town Staff,<sup>1</sup> in October 2020 the Applicant’s engineering consultant, DTS Provident, previously submitted the proposed site plan and architectural drawings, engineering drawings and associated stormwater pollution and prevention plan (“SWPPP”) materials to the Town Engineer. *See Exhibit F.* During this

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<sup>1</sup> Note: The Applicant was advised that a pre-preliminary application was not required for this application for site plan review for a proposed residence.



May 11, 2022  
Page 3

engineering review and the Director of Planning confirmed that Resolution No. 07-23, prior to issuance of a Building Permit, an Application for Site Plan review is required.

For the benefit of the Board, it should also be noted that the Arrowhead Subdivision also received SWPPP approval from the New York City Department of Environmental Protection (“NYCDEP”).<sup>2</sup> Additionally, under separate cover, pursuant to our discussions with the Town Attorney and the NYCDEP, as is more fully detailed in the enclosed letter from the NYCDEP dated April 4, 2022, the NYCDEP conditionally approved the extension of the Applicant’s March 25, 2009 SWPPP Approval.<sup>3</sup> See **Exhibit G** – DEP Conditional Extension Approval and Associated Correspondence.<sup>4</sup>

**CONCLUSION & LIST OF ENCLOSURES:**

In support of this submission, enclosed please find enclosed five (5) sets of the instant letter with the following materials:<sup>5</sup>

- Exhibit A** Completed Site Plan Application Form.
- Exhibit B** Short Environmental Assessment Form.
- Exhibit C** Filed Map and a marked-up image from the Westchester County Tax Parcel Viewer that shows the above-referenced lots, in particular Lots 6.5 and 6.6 dated August 27, 2007, last revised February 25, 2008.
- Exhibit D** Town of Yorktown Planning Board Resolution # 16-07 dated April 11, 2016 Approving Site Plan for Lot 48.13-1-6.2 within the Arrowhead Subdivision.

---

<sup>2</sup> A copy of the March 25, 2009 NYCDEP SPPP Approval is attached to this letter as **Exhibit G**. A copy of the nearly 300-page Stormwater Pollution and Prevention Plan that the NYCDEP approved in its SPPP Approval is also available for review upon request.

<sup>3</sup> Note: Under separate cover, pursuant to the DEP’s conditional extension, the Applicant submitted a Declaration of Covenants and Restrictions (“DCRs”) that were supposed to have been applied to the properties that comprised the Arrowhead Subdivision property before the lots were deeded (including those deeded to the Town).

<sup>4</sup> Note: The proposed DCR Agreement was included in the Declarant’s March 17, 2022 submission to the Town Board, and is included again in the DEP Conditional SWPPP Extension, a copy of which is enclosed.

<sup>5</sup> Note: The Town Planner confirmed that an application fee and review escrow is not required for this review.



May 11, 2022

Page 4

**Exhibit E** Town of Yorktown Planning Board Resolution # 07-23 Approving Subdivision Titled Arrowhead Subdivision.

**Exhibit F** DTS Provident Design Engineering, LLP Correspondences dated October 26, 2020 and November 9, 2020.

**Exhibit G** Correspondence from NYCDEP dated April 4, 2022 Conditionally Approving the March 9, 2009 SWPPP Approval and Correspondence from NYCDEP Approving the Proposed DCR Agreement.

In further support of this Application, we respectfully submit five (5) copies of the Stormwater Pollution Prevention Plan Amendment prepared by Provident Design Engineering, dated June/October 2020 along with three (3) full-size sets and three (3) 11" x 17" sets of the plans entitled "Site Plan" prepared by Provident Design Engineering, dated November 9, 2020, last revised May 10, 2022 and numbered and titled as follows:

- Sheet 1 of 3 Site Plan
- Sheet 2 of 3 Erosion & Sediment Control Plan
- Sheet 3 of 3 Site Details

And three (3) full-size sets and three (3) 11" x 17" sets of the plans entitled "OWTS Plan" prepared by Provident Design Engineering, dated May 5, 2020, last revised October 14, 2021 and numbered and titled as follows:

- SD-101 OWTS Plan
- SD-102 OWTS Profile & Section
- SD103 OWTS Details

And three (3) full-size sets and three (3) 11" x 17" sets of Linda J. Zwart, Architect's Civil Drawings, dated July 30, 2022, last revised May 10, 2022 and numbered and titled as follows:

- Sheet 1 of 8 General Notes and Elevation
- Sheet 2 of 8 Elevations
- Sheet 3 of 8 Foundation Plan
- Sheet 4 of 8 First Floor Plan and schedules
- Sheet 5 of 8 Second floor Plan & Wall Sections
- Sheet 6 of 8 Framing Plans



May 11, 2022

Page 5

- Sheet 7 of 8 Electrical and Plumbing Plans
- Sheet 8 of 8 General Notes

The Applicant looks forward to appearing before the Planning Board on May 23, 2022. In the meantime, should the Planning Board or Town Staff have any questions or comments with regard to the foregoing, please do not hesitate to contact me.

Thank you in advance for your time and consideration in this matter.

Very truly yours,

A handwritten signature in black ink, appearing to read "Taylor M. Palmer". The signature is fluid and cursive, with a long horizontal stroke at the end.

Taylor M. Palmer

Enclosures

cc: Adam Rodriguez, Esq., Town Attorney  
John A. Tegeder, R.A., Director of Planning  
Esat Gashi

# EXHIBIT A



# TOWN OF YORKTOWN PLANNING BOARD

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

## APPLICATION FOR SITE PLAN APPROVAL

Date April 29, 2022

1. Name of Project: SHG Lot LLC - Application for Site Plan Approval - Single-Family Residence

2. Tax Map Designation (Section, Block, Lot) Section 48.13, Block 1, Lot 6.4

3. Zone: R1-200 Total Acreage: 5.3916

4. Is a statement of easements relating to property attached? Yes  None exist

5. Project narrative (brief description of proposed development):

Application for Site Plan Application for a Single-Family Residence at 821 Shiqer Gashi Court in the approved Arrowhead Residential Subdivision.

6. Contact Person - CHOOSE ONLY ONE:

Applicant  
Attorney

Owner  
Engineer

Architect  
Surveyor

Wetland Scientist  
Landscape Architect

7. Applicant

Name Esat Gashi  
Firm SHG Lot LLC  
Address 345 Kear Street, Yorktown, NY 10598  
Phone 914-709-7981  
Fax \_\_\_\_\_  
Email esatgashi@aol.com

8. Owner of Record

Name Esat Gashi  
Firm SHG Lot LLC  
Address 345 Kear Street, Yorktown, NY 10598  
Phone 914-709-7981  
Fax \_\_\_\_\_  
Email esatgashi@aol.com

**9. Attorney**

Name Taylor M. Palmer, Esq.  
Firm Cuddy & Feder LLP  
Address 445 Hamilton Avenue, 14th Floor, White Plains, NY 10601  
Phone 914-761-1300  
Fax 914-761-5372  
Email tpalmer@cuddyfeder.com

**10. Engineer**

Name Ralph P. Peragine, P.E.  
Firm DTS Provident Design Engineering, LLP  
Address One North Broadway, White Plains, NY 10601  
Phone 914-761-1300  
Fax \_\_\_\_\_  
Email rperagine@dtsprovident.com  
Lic. No. 064262

**11. Surveyor**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

**12. Architect**

Name Linda J. Zwart, Architect, P.C.  
Firm \_\_\_\_\_  
Address 31 Meadowood Road, Montgomery, NY 12549  
Phone 845-361-2969  
Fax \_\_\_\_\_  
Email lzwartarcgitect@gmail.com  
Lic. No. \_\_\_\_\_

**13. Wetland Scientist/Specialist**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_

**14. Landscape Architect**

Name \_\_\_\_\_  
Firm \_\_\_\_\_  
Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_  
Email \_\_\_\_\_  
Lic. No. \_\_\_\_\_

15. Is this project within 500 feet of the Town line?  Yes  No  
16. Is this project within 500 feet of the Putnam County line?  Yes  No  
17. Is this project within the Sustainable Development Study Area?  Yes  No

**18. Is this project within 500 feet of:**

- The right-of-way of any existing or proposed state or county road?  Yes  No  
The boundary of an existing or proposed state or county park or any state or county recreation area?  Yes  No  
The boundary of state or county-owned land on which a public building/institution is located?  Yes  No  
An existing or proposed county drainage line?  Yes  No  
The boundary of a farm located in an agricultural district?  Yes  No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination.  Yes  No

**20. This project requires the following permits or approvals from the Town of Yorktown:**

- Wetland Permit
- Stormwater Permit
- Tree Permit
- Planning Board special permit: \_\_\_\_\_
- Town Board variance or approval: Approval of DEP DCR Extension
- Zoning Board of Appeals variance or special permit: \_\_\_\_\_

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health(septic and well)
- NYC DEP(existing approval)
- NYS DEC
- Other: See Enclosed Project Narrative.

22. This parcel is in the following districts:

School District Yorktown Central Water District n/a - well  
 Fire District Yorktown Heights FD. Sewer District n/a - septic

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

-----

**Applicant**

**Owner of Record**

SHG Lot LLC by Esat Gashi  
NAME (PLEASE PRINT)

SHG Lot LLC by Esat Gashi  
NAME (PLEASE PRINT)

Esat Gashi  
SIGNATURE

Esat Gashi  
SIGNATURE

5/10/2022  
DATE

5/10/2022  
DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

**REFER TO AFFIDAVITS ON THE FOLLOWING PAGES**

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

\_\_\_\_\_, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this \_\_\_\_\_ date of \_\_\_\_\_, 20 \_\_

\_\_\_\_\_  
Notary Public

\*\*\*\*\*

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

Esat Gashi, being duly sworn, deposes and says that he resides at 345 Kear Street, Yorktown, NY 10598 in the County of Westchester and State of New York. That he is the Managing Member of SHG Lot LLC the corporation which is owner in fee of the property described in the foregoing application for Site Plan Approval for 821 Shiqer Gashi Court and that the statements contained therein are true to the best of his knowledge and belief.

Esat Gashi

Sworn before me this 10 date of May, 20 22

Tahir Gashi  
Notary Public

TAHIR GASHI  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01GA6422945  
Qualified in Westchester County  
Commission Expires October 04, 2025

# **EXHIBIT B**

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

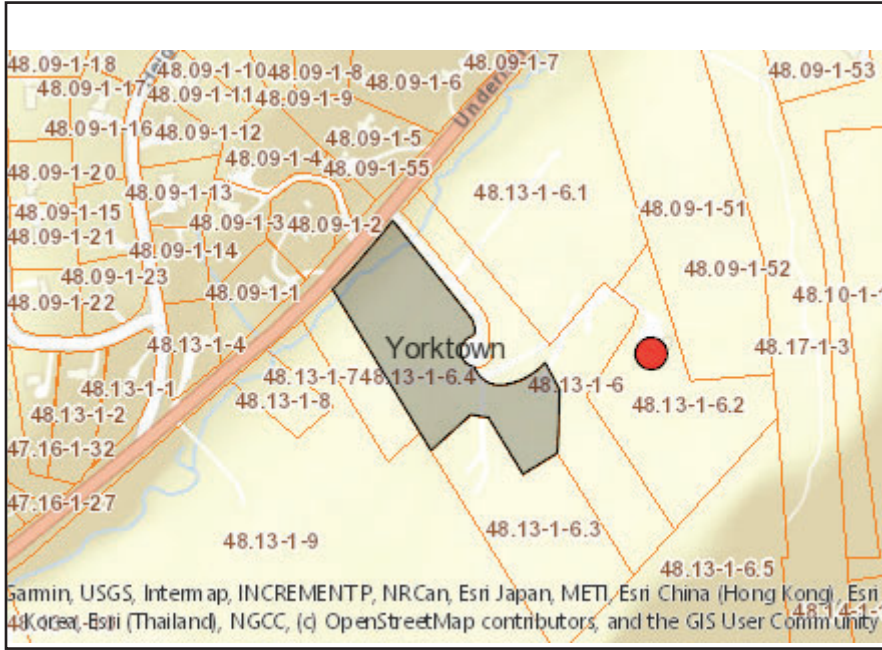
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: SHG Lot LLC - Application for Site Plan Approval - Single-Family Residence			
Project Location (describe, and attach a location map): 831 Shiqer Gashi Court, Yorktown, NY 10562 (Section 48.13, Block1, Lot 6.4)			
Brief Description of Proposed Action: Application for Site Plan Approval for a Single-Family Residence in the previously approved Arrowhead Residential Subdivision.			
Name of Applicant or Sponsor: SHG Lot LLC		Telephone: 917-709-7981 E-Mail: esatgashi@aol.com	
Address: 801 Shiqer Gashi Court			
City/PO: Yorktown Heights		State: New York	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Department - Building Permit Stormwater Management Permit - Engineering Department			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		5.392+/- acres	
b. Total acreage to be physically disturbed?		.795+/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		5.392+/- acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input checked="" type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ The single-family residence will be serviced by an on-site well. _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ The single-family residence will be serviced by an on-site wastewater treatment system. _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	







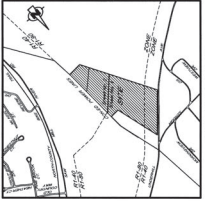
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

# EXHIBIT C

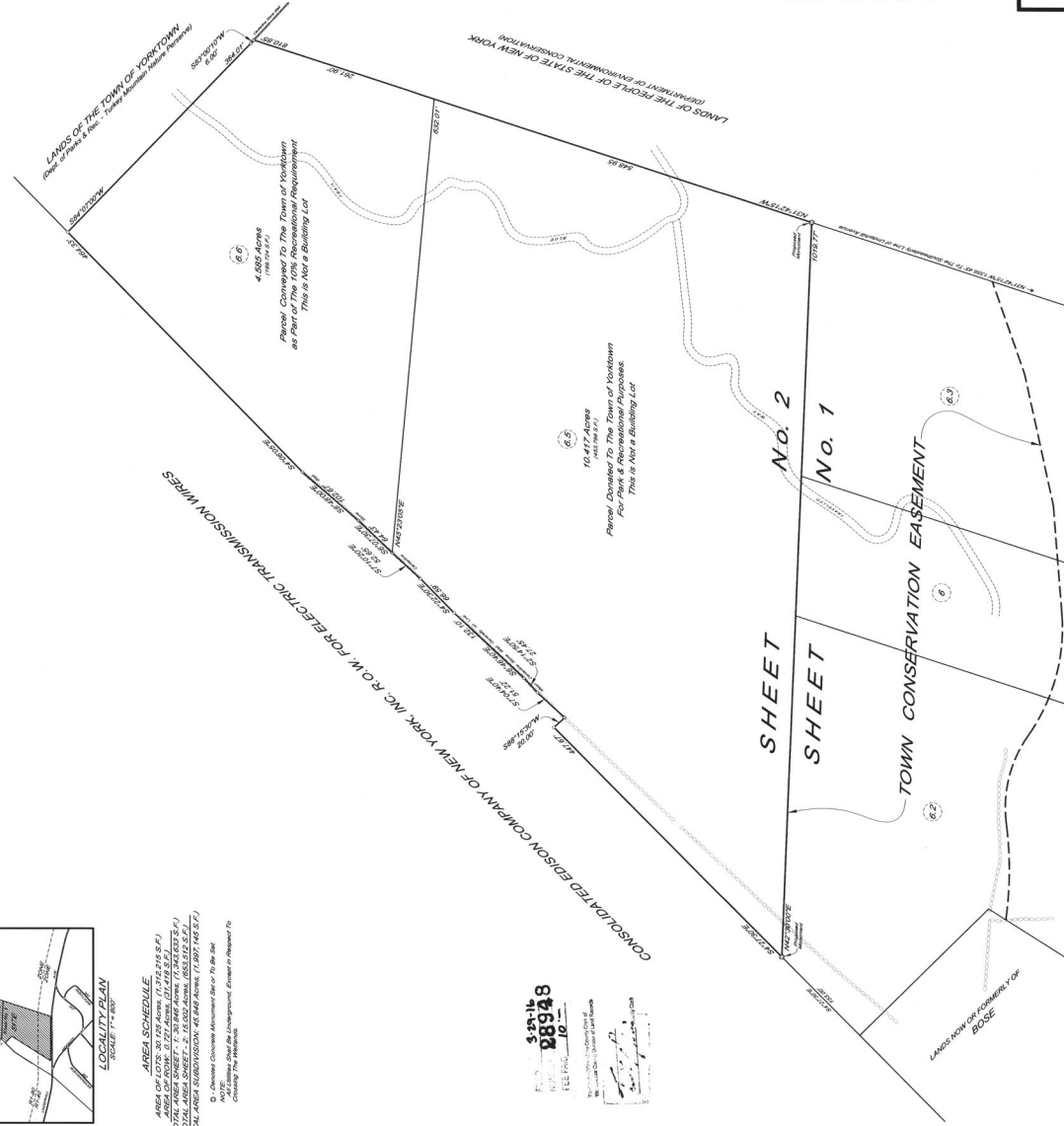




**AREA SCHEDULE**  
 AREA OF LOTS: 36.124 Acres (15,174.215 S.F.)  
 AREA OF R.O.W.: 0.771 Acres (33,478.5 S.F.)  
 TOTAL AREA SHEET 1: 36.895 Acres (15,912.715 S.F.)  
 TOTAL AREA SHEET 2: 15.032 Acres (653,512.5 S.F.)  
 TOTAL AREA SUBDIVISION: 51.927 Acres (2,244,728 S.F.)

© The Owners Consent Acquisition Date of 10/18/04.  
 Conveyed to the Publicly Organized, Created or Repealed To  
 Convey the Publicly Organized, Created or Repealed To

**\$ 28948**  
 FEE  
 TOTAL FEE: \$ 28948  
 FEE PAID: 10



**TOWN TAX MAP DATA:** Section 4612, Block 1, Lot 6

**TOWN ZONING DATA:** R1-60 & R1-40 Residential

**TOTAL SIZE AREA:** 51.927 Acres (2,244,728 S.F.)

**TOWN OF YORKTOWN PLANNING BOARD**  
 APPROVED: 1/15/10  
 DATE: 1/15/10  
 BY: [Signature]

**WESTCHESTER COUNTY DEPARTMENT OF HEALTH**  
 APPROVED: 1/15/10  
 DATE: 1/15/10  
 BY: [Signature]

**GRAPHIC SCALE**  
 1" = 40 FT.

**SUBDIVISION PLAT - SHEET No. 2**  
 OF PROPERTY KNOWN AS  
**ARROWHEAD SUBDIVISION**  
 AT UNDERHILL AVENUE  
 LOCATED IN  
 TOWN OF YORKTOWN, WESTCHESTER COUNTY, N.Y.

**J. HENRY CARPENTER & CO.**  
 1070 SAW HILL RIVER ROAD  
 YORKTOWN HEIGHTS, N.Y.

Scale: 1" = 40'  
 Date: Aug. 27, 2007  
 Surveyed: 10/18/04  
 Platted: 8/27/07



**REVISION SCHEDULE**

DATE	DESCRIPTION
10/18/04	Original Survey
1/15/10	Final Platting

THE OWNERS OF PROPERTY SHOWN HEREBY CERTIFY THAT THE LINES AND AREAS SHOWN ON THIS MAP WERE SURVEYED AND PLATTED IN ACCORDANCE WITH THE PROVISIONS OF THE EASEMENT ACT OF 1908 AND THE EASEMENT ACT OF 1928.

WE, J. HENRY CARPENTER & CO., THE SURVEYORS WHO MADE THIS MAP, HEREBY CERTIFY THAT THE LINES AND AREAS SHOWN ON THIS MAP WERE SURVEYED AND PLATTED IN ACCORDANCE WITH THE PROVISIONS OF THE EASEMENT ACT OF 1908 AND THE EASEMENT ACT OF 1928.

**Exhibit C - Tax Parcel Viewer of Arrowhead Subdivision & Lots Created**



# EXHIBIT D

THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of Yorktown Planning Board Resolution:

**PLANNING BOARD  
TOWN OF YORKTOWN**

**RESOLUTION ~~R~~ APPROVING  
SITE PLAN LOT 48.13-1-6.2 WITHIN THE  
ARROWHEAD SUBDIVISION**

**DATE OF RESOLUTION: APRIL 11, 2016**

HEREBY signed by the secretary of the Planning Board:

  
\_\_\_\_\_

Darlene Rivera, Asst. Secretary

  
\_\_\_\_\_

Date



**PLANNING BOARD  
TOWN OF YORKTOWN**

**RESOLUTION APPROVING  
SITE PLAN LOT 48.13-1-6.2 WITHIN THE  
ARROWHEAD SUBDIVISION**

**RESOLUTION NUMBER: #16-07**

**DATE: APRIL 11, 2016**

On the motion of Darlene Rivera, seconded by John Flynn, and unanimously voted in favor by Fon, Flynn, Rivera, and Kincart the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations adopted February 13, 1969 and as last revised July 1, 1999, a formal application for the approval of a site plan titled "Arrowhead Subdivision," Section 48.13 Block 1 Lot 6.2, prepared by Escaladas Associates and last revised May 22, 2015, was submitted to the Planning Board; and

WHEREAS the applicant was required by, Resolution #07-23 dated October 15, 2007, to submit for site plan approval for each lot within the Arrowhead Subdivision; and

BE IT THEREFORE NOW RESOLVED the site plan for Lot 6.2 titled "Proposed Residence for Esat Gashi," prepared by Escaladas Associates, dated May 22, 2015, is hereby approved provided that the western side yard setback be a minimum 10 feet as shown on said plan; and

BE IT FURTHER RESOLVED the Planning Board has no objection to the granting of a building permit on Lot 6.2 of the Arrowhead Subdivision.

PLANNING BOARD  
TOWN OF YORKTOWN

RESOLUTION ~~NO~~ APPROVING  
SITE PLAN LOT 48.13-1-6.2 WITHIN THE  
ARROWHEAD SUBDIVISION

DATE: APRIL 11, 2016

SIGNED BY: \_\_\_\_\_

*R. Fon*

Richard Fon, Chairman

ROLL CALL: \_\_\_\_\_

AYES: \_\_\_\_\_

*R. Fon*

Richard Fon, Chairman

*Darlene Rivera*  
Darlene Rivera

*John Kincart*  
John Kincart

*John Flynn*  
John Flynn

NAYS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ABSTAIN: \_\_\_\_\_

# **EXHIBIT E**

THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of Yorktown Planning Board Resolution:

**PLANNING BOARD  
TOWN OF YORKTOWN**

**RESOLUTION APPROVING  
SUBDIVISION TITLED  
ARROWHEAD SUBDIVISION**

DATE OF RESOLUTION: October 15, 2007

HEREBY signed by the secretary of the Planning Board:

  
\_\_\_\_\_  
Robin Steiniger, Secretary

  
\_\_\_\_\_  
Date

**TOWN OF YORKTOWN  
PLANNING BOARD**

**RESOLUTION APPROVING  
SUBDIVISION TITLED  
ARROWHEAD SUBDIVISION**

**RESOLUTION NUMBER: 07-23**

**DATE: October 15, 2007**

Upon motion by Robin Steiniger, seconded by Daniela Crispi, and unanimously voted in favor by Klaus, Steiniger, and Crispi, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations adopted February 13, 1969 and as last revised July 1, 1999, a formal application for the approval of a subdivision plat entitled "Arrowhead Subdivision," Section 48.13 Block 1 Lot 6, prepared by J. Henry Carpenter & Co., consisting of two sheets, dated August 27, 2007, was submitted to the Planning Board on October 9, 2007, by the applicant Christopher O'Keefe of 708 Underhill Avenue Corp., the applicant, and the applicant has represented to this board that they are the lawful owners of the land within said subdivision; and

WHEREAS an application fee of \$2,430.00 covering 5 lots on 45.85 acres in the R1-200 zone has been received by this board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on October 15, 2007.
3. A negative declaration has been adopted on October 15, 2007 on the basis of a Full EAF dated August 1, 2007.

WHEREAS the Planning Board was authorized by Town Board Resolution dated August 1, 2006 to apply flexibility standards pursuant to Chapter 300, Article V, Section §300-22, in order to promote development that is sensitive to the land by means of modifying the application of the zoning code's bulk requirements with respect to yard setbacks, building height, lot frontage, lot coverage, lot area, and minimum floor area; and

WHEREAS said Town Board resolution granted the Planning Board permission to eliminate the requirement that building lots 6.2, 6.3, and 6.4 have frontage on a public street and to allow frontage on a private road or drive; and

WHEREAS said Town Board resolution granted the Planning Board permission to reduce the width of the private road or private drive from the required 24 feet to 22 feet or less in order to minimize disturbance to the forested slope; and

WHEREAS said Town Board resolution granted the Planning Board permission to allow a variance from the requirements of Chapter 255, Section §255-9, to minimize land disturbance by means of increasing the allowable grade for private drives from a maximum of 10% to a maximum of 14%; and

WHEREAS the Planning Board has reviewed the recreation needs created by the subject subdivision as well as the present and anticipated future needs of the surrounding area as analyzed and planned for in the Town's Recreation Plan adopted in 1978; and

WHEREAS the open space available within the subject subdivision is environmentally sensitive and suitable for passive recreation; and

WHEREAS the Parks and Recreation Commission has chosen to accept 4.6 acres passive recreational area to add to the adjacent Turkey Mountain Town Park and this donation of land satisfies the recreation requirement for the subdivision; and

WHEREAS the applicant has volunteered to donate 10.417 acres to be dedicated to the Town to add to Turkey Mountain Town Park; and

WHEREAS the applicant has submitted to this board as part of this application the following maps and documents:

1. A cover sheet, Sheet C-1, titled "Arrowhead Subdivision Cover Sheet," prepared by TRC Engineers, Inc., dated November 3, 2006, and last revised July 11, 2007;
2. A map, Sheet C-100, titled "Arrowhead Subdivision Overall Site Plan," prepared by TRC Engineers, Inc., dated November 3, 2006, and last revised July 11, 2007;
3. A map, Sheet C-101, titled "Arrowhead Subdivision Site Plan," prepared by TRC Engineers, Inc., dated September 14, 2006, and last revised July 11, 2007;
4. A map, Sheet C-201, titled "Arrowhead Subdivision Grading Plan," prepared by TRC Engineers, Inc., dated September 14, 2006, and last revised July 11, 2007;
5. A map, Sheet C-301, titled "Arrowhead Subdivision Erosion Plan," prepared by TRC Engineers, Inc., dated October 27, 2006, and last revised July 11, 2007;

6. A map, Sheet C-401, titled "Arrowhead Subdivision Profile/Section," prepared by TRC Engineers, Inc., dated November 3, 2006, and last revised July 11, 2007;
7. A map, Sheet C-402, titled "Arrowhead Subdivision Pond Details," prepared by TRC Engineers, Inc., dated July 11, 2007;
8. A drawing, Sheet C-501, titled "Arrowhead Subdivision Details (Sheet 1)," prepared by TRC Engineers, Inc., dated November 3, 2006, and last revised July 11, 2007;
9. A drawing, Sheet C-502, titled "Arrowhead Subdivision Details (Sheet 2)," prepared by TRC Engineers, Inc., dated November 3, 2006, and last revised July 11, 2007;
10. A drawing, Sheet C-503, titled "Arrowhead Subdivision Details (Sheet 3)," prepared by TRC Engineers, Inc., dated July 11, 2007;
11. A biodiversity study, titled "Arrowhead Subdivision March 2007," prepared by Site Design Associates, Inc., received March 21, 2007;
12. A Stormwater Pollution Prevention Plan for Arrowhead Subdivision, prepared by TRC Engineers, Inc., dated November 2006, last revised July 2007, and received August 1, 2007;

WHEREAS the Planning Board has referred this proposal to the following agencies and has received input from same:

<b>Boards and Agencies</b>	<b>Report Date</b>
Advisory Committee on Open Space Conservation Board	06/10/05 04/23/04, 01/07/05, 01/19/05, 06/15/05, 08/25/05, 09/08/05, 12/08/05, 01/05/06, 09/21/06, 11/16/06, 07/19/06
Fire Marshal	08/12/05
Highway Superintendent	
Parks & Recreation Commission	03/31/06
Planning Department	04/19/04, 07/16/04, 11/17/04, 01/03/05*, 09/12/05
Town Engineer	04/19/04*, 07/16/04*, 11/17/04*, 01/03/05*, 09/12/05*, 01/06/06, 09/22/06, 11/19/06, 12/14/06, 02/12/07
Town Wetland Consultant	07/16/04, 10/13/06, 11/27/06, 02/07/07, 04/07/07, 04/14/07
Yorktown Land Trust	08/08/05

NYC DEP	02/07/07, 02/26/07
NYS OPRHP	02/07/07
Westchester County DPW	02/28/06
Westchester County Health Dept	10/14/05
Westchester County Planning Dept	02/15/07

\*Same memo as Planning Department.

WHEREAS the proper endorsement of the County Health Office has not been obtained; and

WHEREAS the requirements of this Board's Land Development Regulations have been met except as noted below; and

WHEREAS a Public Informational Hearing was held in accordance with §195-22A(5) of the Yorktown Town Code on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on August 15, 2005 and September 12, 2005; and

WHEREAS a Public Hearing was held in accordance with §195-22E of the Yorktown Town Code on the said subdivision application at the Town Hall in Yorktown Heights, New York on February 12, 2007, and continued on March 12, 2007, May 7, 2007, August 13, 2007 and October 15, 2007; and

RESOLVED with permission by the Town Board Resolution dated August 1, 2006, the Planning Board has varied as shown on said site plans listed herein the following bulk regulations:

1. Frontage on lots 6.2, 6.3, and 6.4;
2. The width of the private road or drive as shown on the improvement plan;
3. The maximum allowable grade for private drives from 10% to 14%;
4. Side yard setback on lots 6, 6.2, and 6.4;
5. Rear yard setback on lots 6, 6.1, and 6.3.

RESOLVED the Applicant shall create a Declaration describing the responsibilities of the Home Owner's for the private road, access easement to Tax Parcel 48.09-1-51, *a/k/a* 695 Underhill Avenue, and maintenance of the private stormwater system;

RESOLVED the Declaration shall also include a formula to transfer ownership of the access easement to Tax Parcel 48.09-1-51, *a/k/a* 695 Underhill Avenue, should this property be developed;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding



the status of erosion control measures to the approval authority via the Environmental Inspector throughout construction; and

BE IT THEREFORE NOW RESOLVED that the application of 708 Underhill Avenue Corp. for the approval of a subdivision plat entitled "Arrowhead Subdivision," prepared by J. Henry Carpenter & Co., dated August 27, 2007, be approved subject to the following modifications and conditions and that the Chairman and Secretary of this board be and hereby are authorized to endorse this board's approval on said plat upon compliance by the applicant with such modification and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved.

Modify said plat to show the following:

1. Add a note to the plat stating, "This subdivision was approved in accordance with Chapter 300, Section §300-22: Clustering & Flexibility Standards of the Town of Yorktown Town Code as granted by Town Board Resolution dated August 1, 2006."
2. Add a note to the plat stating, "All utilities shall be underground, except in respect to crossing the wetlands."

Modify Improvement Plans to show the following:

1. Add a note to the improvement plan stating, "This subdivision was approved in accordance with Chapter 300, Section §300-22: Clustering & Flexibility Standards of the Town of Yorktown Town Code as granted by Town Board Resolution dated August 1, 2006."
2. A note stating the maintenance of the Stormwater Plan will be the responsibility of the Home Owner's as described in the declaration.
3. Add a note to the improvement plan stating, "All utilities shall be underground, except in respect to crossing the wetlands."

BE IT FURTHER RESOLVED that said plat map shall not be endorsed by the Planning Board until:

- A) The deeds, offer of dedication, and certificate of title when required, insured by an approved titled company of any and all land reserved in fee to the town for recreational purposes and the dedication of open space have been tendered to the town.
- B) The following additional requirements or conditions are met:

1. Submission of the Conservation Easement language and a maintenance agreement, including a metes & bounds schedule, in final form acceptable to the Planning Board and Town Attorney.
2. Submission of the Declaration language, including a metes & bounds schedule for the private road and a stormwater maintenance plan, in final form acceptable to the Planning Board, Town Engineer, and Town Attorney.
3. Submission of cross driveway easement language for lots 6, 6.1, 6.2, and 6.3.
4. The Applicant shall submit for review and approval by the Planning Board a restoration plan to stop usage of the old farm trail from Turkey Mountain Town Park down towards the proposed lots.
5. Submission of a statement signed by the Town's Tax Collector that all taxes due on this parcel have been paid.
6. Submission of fees to the Planning Department as per town requirements in the form of separate checks made payable to the Town of Yorktown:
 

ABACA	\$600.00
General Development	\$2,880.00
7. Submission of fees and security to the Engineering Department per the Town Engineer's requirements:
  - Erosion Control Bond
  - Performance Bond
  - Inspection Fee

Fees to be determined after Planning Board approval and complete final set of drawings are submitted to the Town Engineer.
8. Provide monuments at all points of curvature and points of tangency as directed by the Town Engineer at right-of-way/property line, for all lots.
9. Applicant must submit final plats and as-builts in AutoCAD R-14 readable format to the Engineering Department.

BE IT FURTHER RESOLVED The Applicant shall submit to the Planning Board a site plan for each residential lot for review of conformance with the improvement plan prior to the issuance of a building permit.

BE IT FURTHER RESOLVED that upon submission of a building permit for each lot of this subdivision, the owner shall submit a site plan or plot plan, to ABACA, at a minimum scale of 1" = 20' showing the following:

- a. The location of the proposed house.
- b. The proposed finished floor elevation of the first floor, garage, and basement.
- c. The proposed grade at the garage entrance.
- d. The percentage slope of the proposed driveway.
- e. All existing and proposed topographic contour lines. All contour lines must extend a minimum of 10'-0" beyond the property line.
- f. The line of all delineated wetland, wetland buffers, easements, etc.
- g. A line indicating the limit of the area which will be disturbed by construction.
- h. Any other pertinent information as shown on the subdivision and improvement plan.

BE IT FURTHER RESOLVED that no tree cutting on individual lots shall be permitted unless and until each lot has been reviewed by the ABACA.

BE IT FURTHER RESOLVED that upon application for a building permit for lots in this subdivision, the building inspector shall review the proposed building elevations to determine the requisite grading. Should the building inspector determine that the requisite grading exceeds by plus or minus two (2) feet the elevations the Planning Board approved on the final construction plans, the applicant shall apply to the Planning Board for approval of the proposed building plan. The Planning Board shall review such application to determine whether the proposed excavation is limited to the greatest extent practicable and does not create adverse environmental or aesthetic impacts. The board shall approve or deny the proposed additional grading by resolution.

BE IT FURTHER RESOLVED that no building permit for individual lots which require driveways in excess of fourteen (14) percent shall be issued by the Building Department unless approval by the Town Board.

BE IT FURTHER RESOLVED that no certificates of occupancy be issued for any lot unless and until the Environmental Officer has reported that all required erosion control measures are in place and functioning properly on entire site.

BE IT FURTHER RESOLVED that no certificate of occupancy will be issued unless the lot bounds are staked out and possession survey of premises is filed with the Building Inspector containing legend that stakes have been set as shown thereon.

BE IT FURTHER RESOLVED that the application for Wetland and Excavation Permit #WP/E-089-05 be approved subject to the requirements and conditions contained therein; and

BE IT FURTHER RESOLVED that upon consideration by the board the following requirements of these regulations be waived:

1. Sidewalks
2. Street trees

BE IT FURTHER RESOLVED that upon due consideration by the board no other requirements of these regulations be modified; and

BE IT FURTHER RESOLVED that the approved plat shall be recorded and filed in the County Clerk's office within 60 days from the signature on the plat, otherwise said approval shall become null and void.

**PLANNING BOARD  
TOWN OF YORKTOWN**

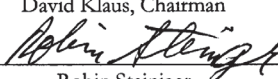
**RESOLUTION APPROVING  
SUBDIVISION TITLED  
ARROWHEAD SUBDIVISION**

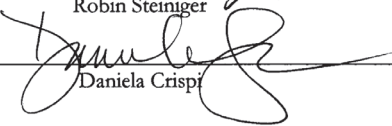
DATE OF RESOLUTION: October 15, 2007

SIGNED BY:   
David Klaus, Chairman

ROLL CALL:

AYES:   
David Klaus, Chairman

  
Robin Steiniger

  
Daniela Crisp

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

# **EXHIBIT F**



7 Skyline Drive, Hawthorne, NY 10532  
Tel: (914) 592-4040 www.pderesults.com

October 26, 2020

Michael Quinn, P.E.  
Town Engineer  
Yorktown Town Hall  
363 Underhill Avenue  
Yorktown Heights, NY 10598

RE: Stormwater Management Permit  
SHG Lot LLC, 831 Shiqer Gashi Ct., Yorktown Heights, NY  
Section/Block/Lot: 48.13/1/6.4

Dear Mike:

We are pleased to submit two (2) sets of the following information in support of application for Stormwater Management Permit for the property located at 831 Shiqer Gashi Ct., Yorktown Heights, NY, Section/Block/Lot: 48.13/1/6.4 in the Town of Yorktown, Westchester County.

- 1) Stormwater Management Permit Application and Application Fee in the amount of \$ 1,500, submitted previously.
- 2) Stormwater Pollution Prevention Plan Amendment.
- 3) Architectural drawings prepared by Linda J Zwart, Architect, P.C.
- 4) Site drawings as per the following List of Drawings prepared by Provident Design Engineering.

Dwg. No.	Title	Date
C-101	Site Plan	10/23/2020
C-201	Erosion Control Plan	10/23/2020
C-301	Details	10/23/2020

It would be greatly appreciated if you would review and process this material in the usual manner. If you should need any additional information, please do not hesitate to contact us.

Very truly yours,

**Provident Design Engineering, PLLC**

Ralph P. Peragine, PE  
Senior Project Manager

Encs.

Cc: Esat Gashi

Q:\PROJECTS-19\19-025 Gashi Lot 4\Permits\Lot 6-4 Applications\Town\TownSubmission 10-26-20.docx

November 9, 2020

Michael Quinn, P.E.  
Town Engineer  
Yorktown Town Hall  
363 Underhill Avenue  
Yorktown Heights, NY 10598

RE: Stormwater Management Permit #T-FSWPPP-041-20  
SHG Lot LLC, 831 Shiqer Gashi Ct., Yorktown Heights, NY  
Section/Block/Lot: 48.13/1/6.4

Dear Mike:

We are received your memorandum dated August 21, 2020 in response to the submission for a Stormwater Management Permit for the property located at 831 Shiqer Gashi Ct., Yorktown Heights, NY, Section/Block/Lot: 48.13/1/6.4 in the Town of Yorktown, Westchester County. We have addressed your comment on an item by item basis below.

1. At this time, we have only received a set of architectural plans for the new house construction, must provide a site plan to show the siting of the new residence.  
Response: The following documentation has been previously submitted to your office:
  - a. Stormwater Management Permit Application and Application Fee.
  - b. Stormwater Pollution Prevention Plan (SWPPP) Amendment.
  - c. Architectural drawings prepared by Linda J Zwart, Architect, P.C.
  - d. Two (2) sets of Revised Site Plans prepared by Provident Design Engineering are attached.

Dwg. No.	Title	Rev.	Date
C-101	Site Plan	1	11/9/2020
C-201	Erosion Control Plan	1	11/9/2020
C-301	Details		10/23/2020

2. This project is part of the Arrowhead Subdivision approval that was granted approximately 12 years ago. The Approval Authority will be the Planning Board and this project will need to address all conditions of the subdivision & site plan approval previously granted. Applicant should contact the Planning Department for further direction and confirm the process to obtain a new site plan approval that will include the changes to floor elevation and footprint of the new residence.



Response:

- Drawing C-201 Grading Plan prepared by TRC Engineers, Inc. indicates that a first-floor elevation of 606. The elevation datum for that set of drawings was based on NGVD 29. The elevation datum for the current survey is based NAVD 88. There is a one (1) foot difference between the NGVD 29 and NAVD 88 datums. The finished floor elevation as based on the orthometric height conversion is 605.0. We have attached the conversion between the two datums for your reference (Appendix A). The orthometric height conversion was performed using the application on the NOA website [https://www.ngs.noaa.gov/cgi-bin/VERTCON/vert\\_con.prl](https://www.ngs.noaa.gov/cgi-bin/VERTCON/vert_con.prl) and the longitude and latitude of the site. Therefore, the proposed floor elevation of 603.00 as shown on Drawing C-201 is within two feet of the approved finished floor elevation.
  - The building footprint from the approved subdivision plans has been added to the site plans.
3. An Environmental Assessment Form was provided however, it must be completed by a licensed professional. Response to Question #2 is not correct, indicate Planning Board site plan approval is required. We also believe NYCDEP re-approval of the SWPPP will be required due to the time that has elapsed. Note: Must list all other permits or approvals required, please contact our office if further guidance is needed.

Response:

- Page 43 of NYSDE Short Environmental Assessment Form (SEAF) Workbook Environmental Assessment Form Guidance Documents states that it is the responsibility of the Applicant/Project Sponsor to sign the EAF. The licensed professional is neither the applicant nor the project sponsor. We can confirm that PDE assisted the applicant in the preparation of the Short EAF. The amended Short EAF is attached as Appendix B.
  - Planning Board approval has been added to Question #2.
  - The NYC DEP has advised that a SWPPP renewal request will be required. A copy of the SWPPP renewal request letter have been attached as Appendix C.
  - A list of required permits and approvals has been attached as an Appendix to the amended EAF.
4. Will this project be done under the stormwater pollution prevention plan (SWPPP) previously prepared or will a new SWPPP be submitted? The engineering plans and SWPPP must be prepared by the same licensed professional. We note that the prior SWPPP included the construction of a detention basin close to Underhill Avenue. The Town has previously requested records of inspection and maintenance tasks that have been done, please provide. The development of this lot will cause impacts to the detention pond and the infrastructure must be maintained.

Response:

- The original engineering plans and SWPPP were prepared by TRC Engineers, Inc. We are not aware of any code provision that requires that the new plans be prepared by the same licensed professional that prepared the original engineering plans and SWPPP.
- PDE has prepared and submitted a Stormwater Pollution Prevention Plan (SWPPP) Amendment that addresses the development of this parcel.

- Inspection and maintenance of the detention pond and infrastructure is the responsibility of the owner/operator. We have referred your request for maintenance records to the owner for resolution.

5. The new site plan will be developed with private water well and a subsurface sewage disposal system (SSDS). Provide a copy of the Westchester County approvals/renewals if they have been obtained.

Response:

- A copy of the approved WCDOH Construction Approval Application dated 10/16/2020 has been attached as Appendix D.

6. Must provide a Grading & Utility Plan and a Soil Erosion & Sediment Control Plan for review. Also provide an updated Tree Removal Plan.

Response:

- Grading, utility and sediment and erosion control measures have been shown on Drawing C-201 Erosion Control Plan dated 10/23/2020.
- The development has been sited such that it is generally within the limits of clearing that was performed during the construction of the subdivision thereby limiting and/or eliminating the need for tree removals. The Applicant will retain the services of a certified arborist to identify the size and species of existing trees within the proposed clearing limits. A list of the trees to be removed within the development limits/limits of clearing of the proposed structure will be provided by the certified arborist/applicant. The following exemptions will apply as designated in the Town Code.
  - §270-5 B. Removal of invasive species as designated by the Lower Hudson Partnership for Regional Invasive Species Management in Species Index Tiers 1 through 4.
  - §270-5 D. Removal of trees within 10 feet of any component of an existing or approved septic system as required by the Westchester County Health Department, or within 10 feet of a subsurface sewer structure.

7. No information was provided on discharge of roof drains and footing drains, please provide. If surface discharges will be utilized, must be a minimum of 10-feet from all property lines and may not cause an adverse impact on adjoining properties or the Town right-of-way.

Response:

- The discharge location(s) of roof drains and footing drains have been identified on the plans.

8. No information was provided on what will happen to the excavated soils. Provide a soil management plan or we would accept the following note added to plan "All excavated material shall be removed from the site unless a new grading plan is submitted and approved by the Town Engineer." Applicant will be required to furnish a copy of the manifest for soil material that is trucked off-site.

Michael Quinn, P.E.

November 9, 2020

Page 4

Response:

- The following note has been added to Drawing C-101: "All excavated material shall be removed from the site unless a new grading plan is submitted and approved by the Town Engineer. Applicant will be required to furnish a copy of the manifest for soil material that is trucked off-site."

9. Be advised this property is located within the NYC watershed and the proposed land disturbance exceeds 5,000 square feet, therefore, a Notice of Intent (NOI) must be filed with the NYSDEC prior to any work starting on this project.

Response:

- A draft copy of the Notice of Intent (NOI) is attached to the Stormwater Pollution Prevention Plan (SWPPP) Amendment for review and acceptance by the Town. Upon acceptance the Town, the NOI will be field with the DEC.

If you have any additional questions or need additional information, please do not hesitate to contact us.

Very truly yours,

**Provident Design Engineering, PLLC**



Ralph P. Peragine, PE  
Senior Project Manager

Encs./FedEx

Cc: Esat Gashi

Q:\PROJECTS-19\19-025 Gashi Lot 4\Ltr\MikeQuinn 11-06-20.docx



7 Skyline Drive, Hawthorne, NY 10532  
Tel: (914) 592-4040 [www.pderesults.com](http://www.pderesults.com)

## **Appendix A**

### Orthometric Height Conversion

Questions concerning the VERTCON process may be mailed to [NGS](#)

---

Latitude: 41.2575

Longitude: 073.7960

NGVD 29 height: 606.0 ft

Datum shift(NAVD 88 minus NGVD 29): -0.974 feet

Converted to NAVD 88 height: 605.026 feet

---



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## **Appendix B**

Amended Short EAF

**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>				
Name of Action or Project: SHG Lot LLC - Application for Site Plan Approval - Single-Family Residence				
Project Location (describe, and attach a location map): 831 Shiqer Gashi Court, Yorktown, NY 10562 (Section 48.13, Block1, Lot 6.4)				
Brief Description of Proposed Action: Application for Site Plan Approval for a Single-Family Residence in the previously approved Arrowhead Residential Subdivision.				
Name of Applicant or Sponsor: SHG Lot LLC		Telephone: 917-709-7981		
		E-Mail: esatgashi@aol.com		
Address: 801 Shiqer Gashi Court				
City/PO: Yorktown Heights		State: New York	Zip Code: 10598	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<b>NO</b>	<b>YES</b>
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Building Department - Building Permit Stormwater Management Permit - Engineering Department			<b>NO</b>	<b>YES</b>
			<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 5.392+/- acres		
b. Total acreage to be physically disturbed?		_____ .795+/- acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 5.392+/- acres		
4. Check all land uses that occur on, adjoining and near the proposed action.				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland				





18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>Esat Gashi</u>	Date: <u>11/06/2020</u>	
Signature: <u>Esat Gashi</u>		

RESET

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

RESET

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT**

**RESET**

**LIST OF PERMITS AND/OR APPROVAL REQUIRED**

Stormwater Management Permit #T-FSWPPP-041-20

SHG Lot LLC

831 Shiqer Gashi Ct.

Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

<b>Agency</b>	<b>Permit and/or Approval Required</b>
Town of Yorktown	
➤ Planning Board	➤ Site Plan Approval
➤ Building Department	➤ Building Permit
➤ Engineering Department	➤ MS4 Stormwater Management Permit Application, Wetland Permit Application and/or Tree Permit Application
Westchester County Department of Health Bureau of Environmental Quality 25 Moore Avenue Mount Kisco, NY 10549	➤ Construction Approval Application WCDH File # Y2020-07 dated 10/16/2020
New York State Department of Environmental Conservation Division of Water 625 Broadway, 4 <sup>th</sup> Floor Albany, NY 12233	➤ Notice of Intent



7 Skyline Drive, Hawthorne, NY 10532  
Tel: (914) 592-4040 [www.pderesults.com](http://www.pderesults.com)

## Appendix C

NYCDEP SWPPP Renewal Request Letter



7 Skyline Drive, Hawthorne, NY 10532  
Tel: (914) 592-4040 www.pderesults.com

November 5, 2020

Mariyam Zachariah  
Associate Project Manager  
NYC Environmental Protection  
Bureau of Water Supply, Regulatory & Engineering Programs  
Direct: 914-749-5357  
Email: mzachariah@dep.nyc.gov

RE: NYC DEP Arrowhead Subdivision SWPPP Renewal Request  
Arrowhead Subdivision, Yorktown (T), NY

Dear Mariyam:

Provident Design Engineering, PLLC (PDE) is hereby requesting a renewal of the approved Stormwater Pollution Prevention Plan for the Arrowhead Subdivision last revised March 2009 and prepared by TRC Engineers, Inc. If you have any questions or require additional information, please do not hesitate to contact our office.

Very truly yours,

**Provident Design Engineering, PLLC**

A handwritten signature in black ink, appearing to read 'Ralph P. Peragine'.

Ralph P. Peragine, PE  
Senior Project Manager

*(Email distribution only - hard copy(s) provided upon request)*

cc: M. Quinn - [mquinn@yorktownny.org](mailto:mquinn@yorktownny.org)  
E.Gashi - [esatgashi@aol.com](mailto:esatgashi@aol.com)

Q:\PROJECTS-19\19-025 Gashi Lot 4\Ltr\NYC DEP SWPPP RenewalRequest.docx



7 Skyline Drive, Hawthorne, NY 10532  
Tel: (914) 592-4040 [www.pderesults.com](http://www.pderesults.com)

## **Appendix D**

WCDOH Construction Approval Application dated 10/16/2020

CONSTRUCTION APPROVAL APPLICATION

WCDH File # Y2020-07 Municipality: Yorktown Fee Amount: \$ 500.00

On-site Wastewater Treatment System  Private Water Supply  Residential  Commercial  
Watershed Basin Name: New Croton Reservoir If NYCDEP Watershed:  Joint Review  Delegated Review

Is property in a Water District: Y  N  Name: \_\_\_\_\_ Is property in a Sewer District: Y  N  Name: \_\_\_\_\_

Property Information:

Property Name New Residence

Property Address 831 Shiqer Gashi Ct. Zip Code 10598

TMD: Section 48.13 Block 1 Lot 6.4 R.S. Lot \_\_\_\_\_ Lot Area 5.392 Acres

Realty Subdivision: Arrowhead Subdivision Map # 28948 Date Filed 3-29-16

Owner Last Name: SHG, LLC c/o Gashi Owner First Name: Esat

St. #: \_\_\_\_\_ St. Address: 345 Kear St State: NY Zip Code: 10598

Owner Phone #: ( 917 ) 709-7981 Owner E-mail Address: esatgashi@aol.com

Building Type: Residential # of Bedrooms: 5 Total Habitable Space: 3,547 Sq. Ft.

On-site Wastewater Treatment System (OWTS) Information:

Design Flow: 1000 gpd Soil Percolation Rate: 12 min./in

Slope of OWTS Area: 12 % Septic Tank Size: 1,500 Gallons (Gal.)

Absorption Trench(es): Length: 10 @ 63 ft. = 630 Lin. Ft. Trench Width: 2 Ft. Area: 1,260 Sq. Ft.

Absorption Pit(s): # Pits \_\_\_\_\_ Diameter: \_\_\_\_\_ Ft. Depth: \_\_\_\_\_ Ft. Area: \_\_\_\_\_ Sq. Ft.

Other (circle or specify): Tri-Galleys 4X4 Galleys Flow Diffusers Name: \_\_\_\_\_

# Trenches \_\_\_\_\_ Length: \_\_\_\_\_ Lin. Ft. Trench Width: \_\_\_\_\_ Ft. Sidewall Area: \_\_\_\_\_ Sq.Ft./Lin Ft.

Other Requirements:

Pump System: Pump Chamber: Size: \_\_\_\_\_ Gal. Dose \_\_\_\_\_ Gal. Overflow Tank: Size: \_\_\_\_\_ Gal.

Curtain Drain: Depth: \_\_\_\_\_ Ft. Width: \_\_\_\_\_ Ft. R.O.B. Sand and Gravel Fill Section: Depth: \_\_\_\_\_ Ft.

Separate Sewage Contractor (SSC): Name: To be Determined WCDH SSC License # \_\_\_\_\_  
*LICENSED CONTRACTOR ONLY*

Water Supply System Information:

Private Water Supply  Public Water Supply Name: \_\_\_\_\_

Well Driller Name: To be Determined NYSDEC Reg # \_\_\_\_\_  
*REGISTERED WELL DRILLER ONLY*

Address: \_\_\_\_\_ Phone: ( ) \_\_\_\_\_

Other Requirements/Conditions:

I represent that I am wholly and completely responsible for the design and location of the proposed system(s): 1] that the on-site wastewater treatment system above described will be constructed as shown on the approved plan or approved amendments thereto and in accordance with the standards, rules and regulations of the Westchester County Department of Health; that on completion thereof, a "Certificate of Construction Compliance" satisfactory to the Commissioner of Health will be submitted to the Department and a written guarantee will be furnished the owner, his successors, heirs or assigns, by the builder that said builder will place in good operating condition any part of said OWTS which fails to operate for a period of two (2) years immediately following the date of the issuance of the approval of the Certificate of Construction Compliance of the OWTS or any repairs thereto; 2] that the drilled well described above will be located as shown on the approved plan and that said well will be installed in accordance with the standards, rules and regulations of the Westchester County Department of Health.

Date: 8/2/20 Signed: \_\_\_\_\_ P.E./R.A. Seal \_\_\_\_\_

APPROVED FOR CONSTRUCTION

This approval expires one (1) year from the date issued unless construction of the building has been undertaken and is revocable for cause or may be amended or modified when considered necessary by the Commissioner of Health. Any change or alteration of construction requires a new permit.

Date: 10/16/2020 Approved By: \_\_\_\_\_



# EXHIBIT G





April 4, 2022

Taylor M. Palmer, Esq., Partner  
Cuddy & Feder, LLP  
445 Hamilton Avenue, 14th Floor  
White Plains, New York 10601

Re: Arrowhead Subdivision - **SWPPP**  
(T) Yorktown; Underhill Avenue  
New Croton Reservoir Drainage Basin  
DEP Log #2005-CNC-0114-SP.1

**Rohit T. Aggarwala**  
Commissioner

**Paul V. Rush, P.E.**  
Deputy Commissioner  
Bureau of Water Supply  
[prush@dep.nyc.gov](mailto:prush@dep.nyc.gov)

465 Columbus Avenue  
Valhalla, NY 10595

Dear Mr. Palmer:

This letter is in reference to the March 25, 2009 Stormwater Pollution Prevention Plan (“SWPPP”) approval issued by the New York City Department of Environmental Protection (“DEP”) for the above-referenced regulated activity, which is annexed to this letter as Exhibit A. The SWPPP, as previously extended, expired on March 25, 2019. *See*, May 11 2016 SWPPP Extension Letter, annexed to this letter as Exhibit B.

DEP has received a November 5, 2020 letter from Provident Design Engineering requesting further extension of the SWPPP approval and further requesting that the DEP accept a declaration of covenants and restrictions in lieu of a deed correction for the property (Lot 6.2) acquired by Mr. Esat Gashi. DEP has received a proposed declaration of covenants and restrictions (“Declaration”), which is annexed to this letter as Exhibit C.

DEP will grant an extension of the SWPPP approval in accordance with Section 18-39(b)(6) of the Watershed Regulations upon your compliance with the following:

- (i) The Declaration is finalized and signed by all three present property owners of the seven (7) parcels that are subject to the SWPPP, and
- (ii) The Declaration is thereafter recorded in the public records against each of the seven (7) parcels, and
- (iii) Proof of recording against each of the 7 parcels is thereafter provided to DEP.to
- (iv) Upon DEP’s receipt of the Declaration’s proof of recording in the public records against each of the 7 parcels, DEP will then respond in writing that the SWPPP is extended.

Unless and until all conditions above are complied with, the SWPPP will remain expired.

If you have any questions, please do not hesitate to contact me at (914) 749-5301 or [mgiannetta@dep.nyc.gov](mailto:mgiannetta@dep.nyc.gov).

Sincerely,

*Matthew Giannetta*

Matthew Giannetta, CPSWQ  
Chief  
Regulatory & Engineering Programs Division

xc:     Ralph Peragine, P.E., DTS Provident  
          Town of Yorktown Building Department  
          Natalie Browne, NYSDEC Region 3  
          Rachel Ramirez-Guest, NYC Law Department  
          Casey McCormack, DEP Bureau of Legal Affairs  
          Jean Marc Roche, DEP  
          Jason Coppola, P.E., DEP  
          Mariyam Zachariah, DEP



**DEPARTMENT OF  
ENVIRONMENTAL  
PROTECTION**

465 Columbus Avenue  
Valhalla, New York  
10595-1336

**Steven W. Lawitts  
Acting Commissioner**

Tel. (718) 595-6565  
Fax (718) 595-3557

**Bureau of Water Supply**

**Paul V. Rush, P.E.  
Deputy Commissioner**

Tel (914) 742-2001  
Fax (914) 741-0348

## Attachment A

March 25, 2009

Mr. Thomas D. Holmes.  
TRC Engineers, Inc.  
7 Skyline Drive,  
Hawthorne, NY 10532

Re: Arrowhead Subdivision  
809 Underhill Ave  
Yorktown, New York  
New Croton Reservoir Basin  
DEP Log #2005-CNC-0114

Dear Mr. Holmes:

This letter is to inform you that your application to engage in the above referenced regulated activity pursuant to the "Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources" (Regulations) was approved on March 25, 2009.

The Department reserves the right to modify, suspend or revoke this approval based on the grounds set forth in Section 18-26 of the Regulations. The activity proposed in your application only applies to the terms of this approval and is subject to the Regulations cited above. Failure to comply with the conditions of the approval may be the cause for suspension of this approval and initiation of an enforcement action. Should modification, suspension or revocation of an approval be necessary, the Department will notify the regulated party, via certified mail or personal service prior to modifying, suspending or revoking the approval. The notice will state the alleged facts or conduct which appear to warrant the intended action and explain the procedures to be followed.

The Regulations provide that an applicant may appeal the imposition of a substantial condition in an approval by filing a petition, in writing, with NYCDEP and with the New York City Office of Administrative Trials and Hearings (OATH) within thirty days of the date this determination was mailed.

NYCDEP may inspect and monitor the erosion control practices at the project site during construction. Therefore, a pre-construction meeting must be held at least two days prior to the start of any work. The owner, design professional,



[www.nyc.gov/e](http://www.nyc.gov/e)

**DIAL 311** Government Information  
and Services for NYC

contractor and NYCDEP personnel must attend. Please contact Mariyam Zachariah at (914) 742-2014 to schedule this pre-construction meeting.

Sincerely,



Mary P. Galasso  
Supervisor  
Engineering Review

xc:

Chris O'Keefe (w/letter only)  
(T) Yorktown Planning Board (w/enclosures)  
Roger Sokol, NYSDOH (w/letter only)  
Ken Kosinski, P.E., NYSDEC (w/letter only)

Stormwater Review Committee:

Sharon Robinson, P.E., (T) Yorktown (w/letter only)  
Natasha Court, P.E., WCDOH (w/letter only)  
Pat Ferracane, NYSDEC (w/letter& Plans only)

# STORMWATER POLLUTION PREVENTION PLAN DETERMINATION



## New York City Department of Environmental Protection

Pursuant to the authority granted under:

Article 11 of the New York State Public Health Law;  
Rules and Regulations For The Protection From Contamination, Degradation and  
Pollution Of The New York City Water Supply and Its Sources, 15 RCNY Chapter 18,  
10 NYCRR Part 128.

New York City Department of Environmental Protection (Department) makes the following determination with respect to the Stormwater Pollution Prevention Plan described below:

**Name of Project:** Arrowhead Subdivision

**Location:** 809 Underhill Avenue  
Tax Map Parcel Number # 48.13-1-6  
(T) Yorktown  
Westchester County, New York

**Owner:** Chris. O'Keefe

**Address:** 708 Underhill Avenue Corp.  
36 Farrington Road  
Croton on Hudson, NY 10520

**Drainage Basin:** New Croton Reservoir

### General Description:

The subject project is a 45.8-acre parcel located on the southerly side of Underhill Avenue in the Town of Yorktown. The project proposes a minor subdivision, creating five (5) residential lots, and a sixth lot, of approximately 15 acres to be dedicated to the Town of Yorktown as open space. In the proposed configuration the stormwater runoff from existing drainage area A-4, which includes the runoff from the majority of the disturbed site, will be treated in two extended detention ponds in series. In addition to this, a bioretention area, to collect the runoff from a portion of the private road and upstream diversion swales to collect and treat the runoff from the individual lots are also provided. The Stormwater Pollution Prevention Plan shall be implemented in accordance with the drawings titled "Arrowhead Subdivision Erosion Control and Phasing Plan" located at 809 Underhill Avenue, Town of Yorktown, Westchester County, NY dated March 6, 2009, prepared by TRC Engineers, Inc. (see appendix A).

### Site Inspections:

Deep Hole inspection in the proposed stormwater management basin- 8/17/06 & 5/30/07

# STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

( **XX** ) Approved

( ) Denied

## Conditions of Approval:

- The regulated activity must be conducted in compliance with the plans as approved, listed in Appendix A, all applicable accepted standards, and all applicable laws, rules and regulations. Any alteration of the plans must be approved by NYCDEP prior to construction.
- The applicant is required to submit as-built drawings for all stormwater management and water quality facilities.
- Alteration or modification of any activity in a manner which would require an amended SPPP pursuant to Part III C of the New York State Department of Environmental Conservation General Permit No. GP-93-06 shall require NYCDEP review and approval.
- All erosion and sediment controls must be properly installed and maintained until the site has been stabilized and the risk of erosion eliminated. Final stabilization is defined in the General Permit as “all soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 70% cover for the area has been established or equivalent stabilization measures (such as the use of mulches or geotextiles) have been employed.”
- The applicant must schedule a pre-construction conference prior to the start of construction. Present at the meeting should be the applicant, the engineer, the contractor, and NYCDEP staff.
- The applicant must notify NYCDEP at least forty-eight (48) hours prior to the commencement of construction activity so that inspections can be scheduled by NYCDEP.
- This approval shall expire and thereafter be null and void unless construction is completed within five (5) years of the date of issuance or within any extended period of time approved by NYCDEP upon good cause shown.
- In the event that the material submitted is inaccurate or misleading, this approval is not valid and construction of this project is in violation of NYCDEP Regulations
- Failure to comply with any of the conditions of this approval is a violation of this approval and the Rules and Regulations For The Protection From Contamination, Degradation and Pollution Of The New York City Water Supply and Its Sources.
- The stormwater management facilities must be maintained in accordance with the maintenance schedule included in the SPPP and approved by NYCDEP.

## STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

1: This approval and all conditions of the approval are binding on the owner of the property where the facility is to be located. Any references to the "applicant" in this approval or in any conditions of this approval shall be deemed to refer to the owner of such property.

2: If the applicant sells or otherwise transfers title to the **new owner** before all construction planned for the property is complete and the site is stabilized, the applicant shall require the new owner ("Buyer") to comply with the stormwater pollution prevention plan ("SPPP") approved by the New York City Department of Environmental Protection on **March 25, 2009** including, but not limited to, all provisions relating to erosion and sediment control during construction and to maintenance of the stormwater management facilities once construction is complete. In particular, the applicant shall provide the Buyer with a copy of the SPPP and shall cause the following real covenants and restrictions to be recorded with the deed for **Arrowhead Subdivision (Tax Map Parcel Number # 48.13-1-6)** with the following provisions:

- (1) Buyer hereby acknowledges, covenants, warrants, and represents that he/she shall install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the SPPP, such SPPP being attached hereto as Exhibit 1.
- (2) Buyer's installation and maintenance of the erosion control and stormwater management facilities shall be for the benefit of the consumers of the New York City drinking water supply system as well as for the owners of **Arrowhead Subdivision (Tax Map Parcel Number # 48.13-1-6)**.
- (3) Buyer's obligation to install and maintain any and all erosion controls and stormwater management facilities on the premises in accordance with the attached SPPP shall be perpetual, shall run with the land, and shall be binding on Buyer's heirs, successors, and assigns.
- (4) Buyer hereby covenants, warrants and represents that any lease, mortgage, subdivision, or other transfer of **Arrowhead Subdivision**, or any interest therein, shall be subject to the restrictive covenants contained herein pertaining to the installation and maintenance of erosion control and stormwater management facilities, and any deed, mortgage, or other instrument of conveyance shall specifically refer to the attached SPPP and shall specifically state that the interest thereby conveyed is subject to covenants and restrictions contained herein.

3: Prior to conveying title to **the new Owner**, the applicant shall submit to the New York City Department of Environmental Protection a proposed deed containing the aforementioned real covenants and restrictions.

# STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

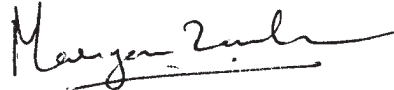
**Date:** March 25, 2009

Determination made by:



Mary P. Galasso  
Supervisor  
Stormwater Programs, EOH

Recommended for approval by:



Mariyam Zachariah  
Associate Project Manager  
Stormwater Programs, EOH

This determination letter must be maintained by the applicant and be readily available for inspection at the construction site.



# STORMWATER POLLUTION PREVENTION PLAN DETERMINATION

## APPENDIX A

1. Report: "Stormwater Pollution Prevention Plan for Arrowhead Subdivision", originally dated November 2006, and last revised March, 2009.
2. "Arrowhead Subdivision, Cover Sheet", Drawing C-1, originally dated November 3, 2006 and last revised January 23, 2009.
3. "Arrowhead Subdivision, Overall Site Plan", Drawing C-100, originally dated November 3, 2006 and last revised March 27, 2008.
4. "Arrowhead Subdivision, Site Plan", Drawing C-101, originally dated November 6, 2006 and last revised March 27, 2008.
5. "Arrowhead Subdivision, Grading & Utility Plan", Drawing C-201, originally dated November 6, 2006 and last revised March 18, 2009.
6. "Arrowhead Subdivision, Partial Grading Plan", Drawing C-202, originally dated January 23, 2009 and last revised March 18, 2009.
7. "Arrowhead Subdivision, Slope Map", Drawing C-203, dated March 27, 2008.
8. "Arrowhead Subdivision, Erosion Control & Phasing Plan (Phase 1)", Drawing C-301, originally dated March 6, 2009 and last revised March 23, 2009.
9. "Arrowhead Subdivision, Erosion Control & Phasing Plan (Phase 2)", Drawing C-302, originally dated March 6, 2009 and last revised March 23, 2009.
10. "Arrowhead Subdivision, Erosion Control & Phasing Plan (Phase 3)", Drawing C-303, originally dated March 6, 2009 and last revised March 23, 2009.
11. Arrowhead Subdivision, Profile/Section", Drawing C-401, originally dated November 3, 2006 and last revised March 27, 2008.
12. Arrowhead Subdivision, Pond Details", Drawing C-402, originally dated March 27, 2008 and last revised March 18, 2009.
13. Arrowhead Subdivision, Culvert Details", Drawing C-403, dated January 23, 2009.
14. Arrowhead Subdivision, Storm Profiles", Drawing C-404, originally dated January 23, 2009 and last revised March 18, 2009.
15. Arrowhead Subdivision, Details (sheet 1)", Drawing C-501, originally dated November 3, 2006 and last revised March 18, 2009.

## **STORMWATER POLLUTION PREVENTION PLAN DETERMINATION**

16. Arrowhead Subdivision, Details (sheet 2)", Drawing C-502, originally dated November 3, 2006 and last revised March 18, 2009.
17. Arrowhead Subdivision, Details (sheet 3)", Drawing C-503, originally dated March 27, 2008 and last revised March 20, 2009.

## Attachment B



May 11, 2016

Mr. Christopher O'Keefe, President  
708 Underhill Avenue Corporation  
36 Farrington Road  
Croton on Hudson, NY 10520

Emily Lloyd  
Commissioner

Paul V. Rush, P.E.  
Deputy Commissioner  
Bureau of Water Supply  
prush@dep.nyc.gov

Re: Arrowhead Subdivision (SWPPP)  
Underhill Avenue, Yorktown Heights NY,  
New Croton Reservoir Drainage Basin  
Tax map # 48.13-1-6  
DEP Log #2005-CNC-0114-SP.1

Dear Mr. O'Keefe:

The New York City Department of Environmental Protection (DEP) received your May 9, 2016 letter requesting a second extension of the Stormwater Pollution Prevention Plan (SWPPP) Approval Determination issued by DEP on March 25, 2009. In accordance with Section 18-39 (b) (5) of the *Rules and Regulations for the Protection from Contamination, Degradation, and Pollution of the New York City Water Supply and Its Sources* (Watershed Regulations), DEP grants an extension of the SWPPP Approval Determination subject to the conditions noted in the original determination. The renewed Arrowhead Subdivision SWPPP Determination will expire on March 25, 2019. Please note that no further extensions will be granted until all temporary stormwater practices have been converted to permanent stormwater practices and plans for erosion and sediment control during construction of individual lots are deemed acceptable by DEP.

If you have any questions, please do not hesitate to call me at (914) 773-4440 or email me at [mgalasso@dep.nyc.gov](mailto:mgalasso@dep.nyc.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read 'Mary P. Galasso'.

Mary P. Galasso  
Supervisor  
Stormwater Programs EOH

C: (T) Yorktown Planning - [planning@southeast-ny.gov](mailto:planning@southeast-ny.gov)  
(T) Yorktown Engineering - [engineering@yorktownny.org](mailto:engineering@yorktownny.org)

# Attachment C

## STORM POLLUTION PREVENTION PLAN DECLARATION

**Made By**

**Town of Yorktown**

**Esat Gashi**

**And**

**Navin Bijmath and Bibi Bijmath**

Dated: February \_\_, 2022

**Record and Return to:**

Cuddy & Feder LLP  
445 Hamilton Avenue, 14<sup>th</sup> Floor  
White Plains, New York 10601  
Attention: Taylor M. Palmer, Esq.

## STORM POLLUTION PREVENTION PLAN DECLARATION

This Stormwater Pollution Prevent Plan Declaration (the “**Declaration**”) is made this \_\_\_\_ day of February 2022 by the Town of Yorktown, a municipal corporation having an office located at 363 Underhill Avenue, Yorktown Heights, New York 10598, Esat Gashi, an individual having an address located at 801 Shiqer Gashi Court, Yorktown Heights, New York 10598; and Navin Bijmath and Bibi Bijmath, individuals having an address located at 80 Longvue Terrace, Yonkers, New York 10710 (collectively the “**Declarants**”).

### WITNESSETH:

**WHEREAS**, the premises known as 809 Underhill Avenue, Yorktown New York, with a Tax Map No. 48.13-1-6 located in the Town of Yorktown, County of Westchester and State of New York (the “**Premises**”) was acquired by 708 Underhill Ave Corp. (“**708 Underhill**”), by that certain deed dated November 12, 2004, and recorded March 1, 2005, as Control No. 443290898 in the Office of the Clerk of the County of Westchester;

**WHEREAS**, 708 Underhill subdivided the Premises into seven (7) Lots (each referred to herein at times individually as a “**Lot**” and collectively as the “**Lots**”) in accordance with that certain Subdivision Plat, entitled: “Subdivision Plat of Property Know as Arrowhead Subdivision at Underhill Avenue” (the “**Arrowhead Subdivision**”), last revised June 12, 2008 and filed March 29, 2016 as Map No. 28948 in the Office of the Clerk of the County of Westchester (the “**Filed Map**”);

**WHEREAS**, reference to the Filed Map shows the Premises subdivided into areas designated as:

- a. Tax Map No. 48.13-1-6.1 (“**Lot 6.1**”);

- b. Tax Map No.48.13-1-6.2 (“**Lot 6.2**”);
- c. Tax Map No.48.13-1-6.3 (“**Lot 6.3**”);
- d. Tax Map No.48.13-1-6.4 (“**Lot 6.4**”);
- e. Tax Map No.48.13-1-6.99 (“**Lot 6.99**”);
- f. Tax Map No.48.13-1-6.5 (“**Lot 6.5**”); and
- g. Tax Map No. 48.13-1-6.6 (“**Lot 6.6**”) formerly known as 48.13-1-11.5.

**WHEREAS**, Lot 6.5 was acquired by the Town of Yorktown by that certain deed, dated March 29, 2016, from 708 Underhill Avenue Corp., and recorded on April 26, 2016 as Control No. 530663339 in the Office of the Clerk of the County of Westchester;

**WHEREAS**, Lot 6.6 was acquired by the Town of Yorktown by that certain deed, dated March 29, 2016, from 708 Underhill Avenue Corp., and recorded on April 26, 2016, as Control No. 543043111 in the Office of the Clerk of the County of Westchester;

**WHEREAS**, Lot 6.2 was acquired by Esat Gashi by that certain deed, dated March 30, 2016, from 708 Underhill Ave. Corp., and recorded April 5, 2016, as Control No. 560883303 in the Office of the Clerk of the County of Westchester;

**WHEREAS**, Lots 6.1, 6.3, 6.4 and 6.99 were acquired by 809 Underhill, LLC by referee’s deed, dated March 20, 2017 and recorded April 14, 2017 as Control No. 570413168 in the Office of the Clerk of the County of Westchester; who then in turn deeded Lots 6.1, 6.3, 6.4 and 6.99 to SHG Lot, LLC by deed dated February 20, 2018, and recorded March 1, 2018 as Control No. 580503117 in the Office of the Clerk of the County of Westchester; who then in turn deeded Lots 6.1, 6.3, 6.4 and 6.99 to Navin Bijmath and Bibi Bijmath by deed dated December 9, 2020, and recorded December 22, 2020 as Control No. 603434042 in the Office of the Clerk of the County of Westchester;

**WHEREAS**, the DEP pursuant to its authority under the New York City Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources (“**Watershed Regulations**”) made a determination on March 25, 2009 (the “**DEP Approval**”), which approved that certain Stormwater Pollution Prevention Plan (the “**SPPP**”), last revised March 2009, in accordance with the Watershed Regulations subject to the terms and conditions therein;

**WHEREAS**, the SPPP provided for certain covenants and restrictions covering all of the Lots which are now collectively owned by the Declarants;

**WHEREAS**, the Declarants desire to record this Declaration in order to comply with the DEP Approval and the requirements of the SPPP and to place certain covenants and restrictions on the Lots; and

**NOW, THEREFORE**, Declarants do hereby declare and establish that the Lots, as shown on the Filed Map, shall be conveyed and shall hereinafter forever be held subject to requirements of the SPPP as more particularly set forth below.

1. **PERMANENT SPPP COVENANTS AND RESTRICTIONS TO BURDEN THE LOTS.** The Declarants hereby establish the following covenants and restrictions to burden the Lots as follows:

- a. The Declarants hereby acknowledge, covenant, warrant and represent that the Declarants, their successors and/or assigns, shall install and maintain any and all erosion controls and stormwater management facilities on the Lots in accordance with the SPPP, such SPPP being attached hereto as **Schedule 1.**
- b. The installation and maintenance of the erosion control and stormwater management facilities by the Declarants, their successors and/or assigns, shall

be for the benefit of the customers of the New York City drinking water supply system as well as for the current and future owners of the Lots.

- c. The obligation of the Declarants, their successors and or assigns, to install and maintain any and all erosion controls and stormwater management facilities on the Lots in accordance with the attached SPPP shall be perpetual, shall run with the land, and shall be binding on the current and future owners of the Lots, along with their heirs, successors and assigns.
- d. The Declarants hereby covenant, warrant and represent that any lease, mortgage, subdivision or other transfer of the Arrowhead Subdivision, or any interest therein, shall be subject to the restrictive covenants contained herein pertaining to the installation and maintenance of erosion control and stormwater management facilities, and any deed, mortgage, or other instrument of conveyance shall specifically refer to the attached SPPP and shall specifically state that the interest is subject to the covenants and restrictions contained herein.

2. **MISCELLANEOUS:**

- A. Should any term or provision of this Declaration be declared to be void, invalid, illegal or unenforceable, for any reason, by the adjudication of any court or other tribunal having jurisdiction over the subject matter hereof, such judgment shall in no way affect the other provisions hereof which are hereby declared to be severable and which shall remain in full force and effect.



- B. The singular number as used herein shall be read as the plural number, and vice versa, and the neuter gender shall be read as the masculine or feminine gender, and vice versa, in order to give full effect to the terms and provisions hereof.
- C. This Declaration may be amended or modified upon the written consent of the Declarants or all of the owners of the Lots, provided that, (i) no amendment or modification shall permit any action to be taken nor permit anything to be done to impair or interfere with the easements and restrictions contained herein which have been put in place to ensure the proper flow of storm water drainage in accordance with the requirements and intent of the SPPP, and (ii) no amendment or modification shall in any way limit the perpetual duration of the easements and restrictions set forth in this Declaration.
- D. This Declaration shall be governed by and construed in accordance with the laws of the State of New York.
- E. This Declaration is intended to be and shall be recorded in the Westchester County Clerk's Office and shall run with the land and be binding upon the Declarants and their successors and/or assigns and inure to the benefit of the owner of each of the Lots in Declarants' project, and/or any part thereof, and each and every of his heirs, executors, administrators, successors and assigns, in perpetuity. Nothing contained herein shall impair the ability of Declarants or any of their successors and/or assigns to sell the Parcels or the Lots, or any part thereof, and upon any such sale and the acceptance of the deed thereof, such purchaser shall be bound by the terms, conditions, and obligations of this Declaration.

- F. The captions used herein are for reference purposes only and shall not be construed to limit the applicability of any of the provisions of this Declaration.
- G. Declarants represent and warrant that the execution and delivery of this Declaration has been approved in accordance with the requirements of Declarants' operating agreement and that the undersigned signatory has been authorized to execute and deliver this Declaration on behalf of the Declarants.

[NO FURTHER TEXT ON THIS PAGE]

*Signature page to Declaration*

IN WITNESS WHEREOF, the Declarants have duly executed this Declaration as of the date hereinabove first written.

TOWN OF YORKTOWN

By: \_\_\_\_\_  
Name:  
Title:

STATE OF NEW YORK            )  
  ): ss:  
COUNTY OF \_\_\_\_\_ )

On the \_\_\_\_ day of February in the year 2022 before me, the undersigned, a Notary Public in and for said State, personally appeared \_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Esat Gashi

STATE OF NEW YORK            )  
  ) : ss:  
COUNTY OF \_\_\_\_\_ )

On the \_\_\_\_ day of February in the year 2022 before me, the undersigned, a Notary Public in and for said State, personally appeared Esat Gashi, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Navin Bijnath

\_\_\_\_\_  
Bibi Bijnath

STATE OF NEW YORK                    )  
  ): ss:  
COUNTY OF \_\_\_\_\_                    )

On the \_\_\_\_ day of February in the year 2022 before me, the undersigned, a Notary Public in and for said State, personally appeared Navin Bijnath, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

\_\_\_\_\_  
Notary Public

STATE OF NEW YORK                    )  
  ): ss:  
COUNTY OF \_\_\_\_\_                    )

On the \_\_\_\_ day of February in the year 2022 before me, the undersigned, a Notary Public in and for said State, personally appeared Bibi Bijnath, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

\_\_\_\_\_  
Notary Public



**SCHEDULE 1**

SPPP

## Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC  
821 Shiqer Gashi Ct.  
Yorktown Heights, NY  
Section/Block/Lot: 48.13/1/6.4

### Project Description and Scope

This document presents the Storm Water Pollution Prevention Plan (SWPPP) Amendment for the property located at 821 Shiqer Gashi Ct., Yorktown Heights, NY, Section/Block/Lot: 48.13/1/6.4 in the Town of Yorktown, Westchester County. The SWPPP Amendment has been prepared in accordance with the requirements of the New York State Department of Environmental Conservation (NYSDEC) State Pollution Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activity GP-0-20-001 (General Permit), effective January 29, 2020.

The SWPPP Amendment has also been prepared in accordance with Chapter 248, “Stormwater Management and Erosion and Sediment Control” of the Town of Yorktown Municipal Code. The Town of Yorktown is a regulated, traditional land use control MS4 (Municipal Separate Storm Sewer System) entity, as defined in the General Permit, and is responsible for review and approval of the SWPPP.

The Project involves the construction of a single-family residence with access driveway and utility infrastructure (i.e. water supply well and onsite wastewater treatment system (OWTS); propane gas, electric/telephone/cable services) on Lot 6.4, a 5.392-acre parcel that is part of the approved Arrowhead Subdivision. The lot and subdivision are situated within the New York City East of Hudson (EOH) Watershed, and as such, Appendix D of the General Permit requires construction activities that involve the disturbance of more than 5,000 square feet (sf) but less than one (1) acre or more of total land area to obtain coverage. As shown on Drawing C-201.00, the Project proposes a total land disturbance of 34,620± sf (0.795 ac.) which will occur within the upland portions of Lot 6.4, outside of the delineated wetlands and wetlands buffer areas.

### Soils

There are two (2) different types of soils present within the Project work area. Table 1 below lists the soil types and summarizes the characteristics of each. See attached Natural Resource Conservation Service (NRCS) Web Soil Survey Report in Appendix A for details.

<b>Table 1 – Soils Characteristics</b>					
Map Unit	Soil Names	Depth to Water Table	Depth to Bedrock	Hydrologic Group	Erosion Hazard
CsD	Chatfield-Charlton Complex, 15% to 35% slopes (Chatfield soil properties)	More than 80” throughout the year	20” to 40”	B	Severe



Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC

821 Shiqer Gashi Ct., Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

<b>Table 1 – Soils Characteristics</b>					
Map Unit	Soil Names	Depth to Water Table	Depth to Bedrock	Hydrologic Group	Erosion Hazard
PnD	Paxton fine sandy loam, 15% to 25% slopes	18” to 37”	20” to 39” to densic material	C	Moderate

**Floodplain**

The site is not located within a 100-yr. floodplain.

**Impaired Waterbodies**

Stormwater runoff associated with the proposed construction activities will not result in the discharge of a pollutant of concern to either an impaired water identified on the NYSDEC's 303(d) list of impaired waters or a total maximum daily load (TMDL) designated watershed.

**Stormwater Management**

A stormwater management system was previously submitted and approved for the Arrowhead Subdivision by the NYCDEP. Lot 6.4 is part of the approved subdivision and the proposed development of the lot was accounted for in the stormwater management system design. In addition, since the proposed Project disturbance does not exceed one (1) acre, the construction activities require the preparation of a SWPPP that only includes erosion and sediment controls per Appendix B, Table 1 of the General Permit.

**Erosion & Sediment Control**

During construction, the potential for soil erosion and sedimentation will be controlled using temporary soil erosion and sediment control (E&SC) devices and measures. These devices and measures, as depicted in the Project E&SC plan, notes and details, shall be installed and maintained in accordance with the *New York State Standards and Specifications for Erosion and Sediment Control* (“Blue Book”) dated November 2016.

The E&SC measures that will be applied to the Project site during construction are as follows:

- Install and maintain E&SC devices and perform construction in accordance with the construction sequence and design notes;
- Retain existing vegetation where feasible and minimize the amount of land disturbance at any one time;
- Trap sediment on-site prior to discharge from the site. Except where otherwise specified, sediment shall be removed from sediment barriers or traps whenever their design capacity has been reduced by 50%;
- Provide temporary stabilization as needed/required, and permanently stabilize disturbed areas that will not require further earthwork operations within the required periods specified in the Blue Book and the General Permit, and;

## Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC

821 Shiqer Gashi Ct., Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

- Prior to final seeding, landscaping, and mulching, implement soil restoration to all disturbed and compacted areas that will remain unpaved, vegetated and/or landscaped in the post-construction condition in accordance with the requirements in Table 4.6 in the Blue Book.

### Site Pollution Prevention Measures

Based on the standard and specifications in the Blue Book, the contractor(s) shall implement the following measures to control non-sediment based pollutants associated with construction activities; to prevent the generation of pollutants due to improper handling, storage, and spills, and; to prevent the movement of toxic substances from the site into surface waters:

- The contractor(s) shall make sure that construction vehicle/equipment staging and maintenance areas as shown on the drawings are located away from all drainage ways. Parking areas shall be graded so the runoff from these areas is collected, contained and treated prior to discharge from the site.
- The contractor(s) shall provide sanitary facilities for on-site personnel. The contractor(s) shall retain a licensed sanitary waste management contractor, as required by local and state regulations, to collect and properly dispose of all sanitary waste from on-site portable units.
- If applicable and/or necessary, the contractor(s) shall provide refueling equipment with secondary containment and other required environmental controls and locate such equipment at least 100 feet from all wetlands, streams and other surface waters.
- The contractor(s) shall follow all local, state and federal regulations for the storage, handling, application, usage, and disposal of pesticides, fertilizers, and petroleum products.
- The contractor(s) shall store, cover, and isolate construction materials, including topsoil and chemicals, to prevent runoff of pollutants and contamination of groundwater and surface waters.
- The contractor(s) shall develop and implement a spill prevention and control plan to address the handling of construction fuels, lubricants and other hazardous materials. The plan shall include NYSDEC's spill reporting and initial notification requirements.
- The contractor(s) shall distribute to, and/or conspicuously post informational material for all construction personnel regarding proper handling, spill response, spill kit location, and emergency actions to be taken.
- The contractor(s) shall provide adequate measures for the handling, transporting and disposal of solid waste solid waste materials generated during the demolition and construction phases/stages of the Project including woody debris, stumps, and other construction waste. All such measures shall be in accordance with applicable federal, state and local regulations and requirements.

### Inspection Schedule

The Town of Yorktown Stormwater Management Officer may require such inspections as necessary to determine compliance with Chapter 248 and may either approve that portion of the work completed or notify the applicant wherein the work fails to comply with the requirements of this chapter and the stormwater pollution prevention plan (SWPPP), as approved. To obtain inspections, the applicant shall notify the Town of Yorktown enforcement official at least 48 hours before any of the following

Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC

821 Shiqer Gashi Ct., Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

as required by the Stormwater Management Officer:

- a) Start of construction;
- b) Installation of sediment and erosion control measures;
- c) Completion of site clearing;
- d) Completion of rough grading;
- e) Completion of final grading;
- f) Close of the construction season;
- g) Completion of final landscaping, and;
- h) Successful establishment of landscaping in public areas.

**Summary and Conclusion**

Based on the information presented in this report, the implementation of the proposed Storm Water Pollutant Prevention Plan for the Project will meet the compliance objectives of the General Permit and Chapter 248 of the Town of Yorktown Municipal Code.

Respectfully submitted,

Provident Design Engineering, PLLC



Ralph P. Peragine, P.E.  
Senior Project Manager



Under New York State Education Law Article 145 (Engineering), Section 7209 (2), it is a violation of this law for any person, unless acting under the direction of a Licensed Professional Engineer, to alter this document.

Q:\PROJECTS-19\19-025 Gashi Lot 4\Permits\Lot 6-4 Applications\Lot 6-4 SWPPP.docx

**SWPPP Drawings**

- C-201 Erosion & Sediment Control Plan
- C-301 Site Details

**Appendices**

- Appendix A - Natural Resource Conservation Service (NRCS) Web Soil Survey Report
- Appendix B – Certification Statement (signed by Builder/Contractor)
- Appendix C – Draft Paper Notice of Intent (NOI)

Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC

821 Shiqer Gashi Ct., Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

**APPENDIX A**

**NATURAL RESOURCE CONSERVATION SERVICE (NRCS)**

**WEB SOIL SURVEY REPORT**



United States  
Department of  
Agriculture

**NRCS**

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for **Westchester County, New York**



# Preface

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Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

The U.S. Department of Agriculture (USDA) prohibits discrimination in all its programs and activities on the basis of race, color, national origin, age, disability, and where applicable, sex, marital status, familial status, parental status, religion, sexual orientation, genetic information, political beliefs, reprisal, or because all or a part of an individual's income is derived from any public assistance program. (Not all prohibited bases apply to all programs.) Persons with disabilities who require

alternative means for communication of program information (Braille, large print, audiotape, etc.) should contact USDA's TARGET Center at (202) 720-2600 (voice and TDD). To file a complaint of discrimination, write to USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD). USDA is an equal opportunity provider and employer.

# Contents

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<b>Preface</b> .....	2
<b>How Soil Surveys Are Made</b> .....	5
<b>Soil Map</b> .....	8
Soil Map.....	9
Legend.....	10
Map Unit Legend.....	11
Map Unit Descriptions.....	11
Westchester County, New York.....	14
CrC—Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky.....	14
CsD—Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky.....	16
CuD—Chatfield-Hollis-Rock outcrop complex, 15 to 35 percent slopes.....	18
HrF—Hollis-Rock outcrop complex, 35 to 60 percent slopes.....	21
PnB—Paxton fine sandy loam, 3 to 8 percent slopes.....	23
PnC—Paxton fine sandy loam, 8 to 15 percent slopes.....	25
PnD—Paxton fine sandy loam, 15 to 25 percent slopes.....	26
PoC—Paxton fine sandy loam, 8 to 15 percent slopes, very stony.....	28
PoD—Paxton fine sandy loam, 15 to 25 percent slopes, very stony.....	29
WdB—Woodbridge loam, 3 to 8 percent slopes.....	31
WdC—Woodbridge loam, 8 to 15 percent slopes.....	32
<b>References</b> .....	35



# How Soil Surveys Are Made

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Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

## Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

## Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

# Soil Map

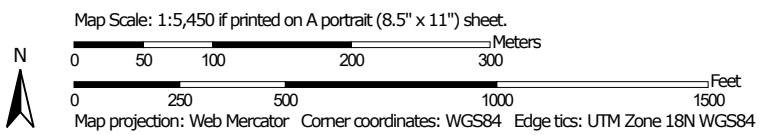
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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

# Custom Soil Resource Report Soil Map



Soil Map may not be valid at this scale.



### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)

**Soils**

 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

**Special Point Features**

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Westchester County, New York  
 Survey Area Data: Version 15, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 16, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CrC	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	13.8	8.6%
CsD	Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky	42.9	26.6%
CuD	Chatfield-Hollis-Rock outcrop complex, 15 to 35 percent slopes	0.0	0.0%
HrF	Hollis-Rock outcrop complex, 35 to 60 percent slopes	13.3	8.3%
PnB	Paxton fine sandy loam, 3 to 8 percent slopes	8.9	5.5%
PnC	Paxton fine sandy loam, 8 to 15 percent slopes	7.0	4.4%
PnD	Paxton fine sandy loam, 15 to 25 percent slopes	48.4	30.0%
PoC	Paxton fine sandy loam, 8 to 15 percent slopes, very stony	7.0	4.3%
PoD	Paxton fine sandy loam, 15 to 25 percent slopes, very stony	1.2	0.7%
WdB	Woodbridge loam, 3 to 8 percent slopes	14.8	9.2%
WdC	Woodbridge loam, 8 to 15 percent slopes	3.8	2.4%
<b>Totals for Area of Interest</b>		<b>161.2</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

## Custom Soil Resource Report

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion



## Custom Soil Resource Report

of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Westchester County, New York

### CrC—Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky

#### Map Unit Setting

*National map unit symbol:* 2w698  
*Elevation:* 0 to 1,550 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 140 to 240 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Charlton, very stony, and similar soils:* 50 percent  
*Chatfield, very stony, and similar soils:* 30 percent  
*Minor components:* 20 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Charlton, Very Stony

##### Setting

*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Backslope, shoulder, summit  
*Landform position (three-dimensional):* Crest, side slope, nose slope  
*Down-slope shape:* Linear, convex  
*Across-slope shape:* Convex  
*Parent material:* Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

##### Typical profile

*Oe - 0 to 2 inches:* moderately decomposed plant material  
*A - 2 to 4 inches:* fine sandy loam  
*Bw - 4 to 27 inches:* gravelly fine sandy loam  
*C - 27 to 65 inches:* gravelly fine sandy loam

##### Properties and qualities

*Slope:* 3 to 15 percent  
*Percent of area covered with surface fragments:* 1.6 percent  
*Depth to restrictive feature:* More than 80 inches  
*Natural drainage class:* Well drained  
*Runoff class:* Low  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately low to high  
(0.14 to 14.17 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water storage in profile:* Moderate (about 8.7 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 6s  
*Hydrologic Soil Group:* B  
*Hydric soil rating:* No

## Description of Chatfield, Very Stony

### Setting

*Landform:* Hills, ridges

*Landform position (two-dimensional):* Backslope, summit, shoulder

*Landform position (three-dimensional):* Crest, side slope, nose slope

*Down-slope shape:* Convex

*Across-slope shape:* Linear, convex

*Parent material:* Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

### Typical profile

*O<sub>i</sub> - 0 to 1 inches:* slightly decomposed plant material

*A - 1 to 2 inches:* fine sandy loam

*B<sub>w</sub> - 2 to 30 inches:* gravelly fine sandy loam

*2R - 30 to 40 inches:* bedrock

### Properties and qualities

*Slope:* 3 to 15 percent

*Percent of area covered with surface fragments:* 1.6 percent

*Depth to restrictive feature:* 20 to 41 inches to lithic bedrock

*Natural drainage class:* Well drained

*Runoff class:* High

*Capacity of the most limiting layer to transmit water (K<sub>sat</sub>):* Very low (0.00 to 0.00 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)

*Available water storage in profile:* Low (about 4.3 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 6s

*Hydrologic Soil Group:* B

*Hydric soil rating:* No

## Minor Components

### Hollis, very stony

*Percent of map unit:* 5 percent

*Landform:* Ridges, hills

*Landform position (two-dimensional):* Backslope, shoulder, summit

*Landform position (three-dimensional):* Crest, side slope, nose slope

*Down-slope shape:* Convex

*Across-slope shape:* Linear, convex

*Hydric soil rating:* No

### Leicester, very stony

*Percent of map unit:* 5 percent

*Landform:* Depressions, drainageways

*Down-slope shape:* Linear

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

### Sutton, very stony

*Percent of map unit:* 5 percent

## Custom Soil Resource Report

*Landform:* Hills, ground moraines  
*Landform position (two-dimensional):* Footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### **Rock outcrop**

*Percent of map unit:* 5 percent  
*Hydric soil rating:* No

## **CsD—Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky**

### **Map Unit Setting**

*National map unit symbol:* 2w69k  
*Elevation:* 0 to 1,290 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 140 to 240 days  
*Farmland classification:* Not prime farmland

### **Map Unit Composition**

*Chatfield, very stony, and similar soils:* 45 percent  
*Charlton, very stony, and similar soils:* 35 percent  
*Minor components:* 20 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Chatfield, Very Stony**

#### **Setting**

*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Summit, shoulder, backslope  
*Landform position (three-dimensional):* Crest, side slope, nose slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear, convex  
*Parent material:* Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

#### **Typical profile**

*O<sub>i</sub> - 0 to 1 inches:* slightly decomposed plant material  
*A - 1 to 2 inches:* fine sandy loam  
*B<sub>w</sub> - 2 to 30 inches:* gravelly fine sandy loam  
*2R - 30 to 40 inches:* bedrock

#### **Properties and qualities**

*Slope:* 15 to 35 percent  
*Percent of area covered with surface fragments:* 1.6 percent  
*Depth to restrictive feature:* 20 to 41 inches to lithic bedrock  
*Natural drainage class:* Well drained  
*Runoff class:* High

## Custom Soil Resource Report

*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)

*Available water storage in profile:* Low (about 4.3 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 7s

*Hydrologic Soil Group:* B

*Hydric soil rating:* No

### Description of Charlton, Very Stony

#### Setting

*Landform:* Hills, ridges

*Landform position (two-dimensional):* Backslope

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Linear, convex

*Across-slope shape:* Convex

*Parent material:* Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

#### Typical profile

*Oe - 0 to 2 inches:* moderately decomposed plant material

*A - 2 to 4 inches:* fine sandy loam

*Bw - 4 to 27 inches:* gravelly fine sandy loam

*C - 27 to 65 inches:* gravelly fine sandy loam

#### Properties and qualities

*Slope:* 15 to 35 percent

*Percent of area covered with surface fragments:* 1.6 percent

*Depth to restrictive feature:* More than 80 inches

*Natural drainage class:* Well drained

*Runoff class:* Medium

*Capacity of the most limiting layer to transmit water (Ksat):* Moderately low to high (0.14 to 14.17 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)

*Available water storage in profile:* Moderate (about 8.7 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 7s

*Hydrologic Soil Group:* B

*Hydric soil rating:* No

### Minor Components

#### Leicester, very stony

*Percent of map unit:* 6 percent

*Landform:* Depressions, drainageways, hills, ground moraines

*Landform position (two-dimensional):* Toeslope, footslope

## Custom Soil Resource Report

*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Linear, concave  
*Across-slope shape:* Concave  
*Hydric soil rating:* Yes

### **Rock outcrop**

*Percent of map unit:* 5 percent  
*Landform:* Hills, ridges  
*Hydric soil rating:* No

### **Hollis, very stony**

*Percent of map unit:* 5 percent  
*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Backslope, shoulder, summit  
*Landform position (three-dimensional):* Crest, side slope, nose slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex, linear  
*Hydric soil rating:* No

### **Sutton, very stony**

*Percent of map unit:* 4 percent  
*Landform:* Ground moraines, hills  
*Landform position (two-dimensional):* Footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

## **CuD—Chatfield-Hollis-Rock outcrop complex, 15 to 35 percent slopes**

### **Map Unit Setting**

*National map unit symbol:* 2w69h  
*Elevation:* 0 to 1,540 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 140 to 240 days  
*Farmland classification:* Not prime farmland

### **Map Unit Composition**

*Chatfield, extremely stony, and similar soils:* 35 percent  
*Hollis, extremely stony, and similar soils:* 30 percent  
*Rock outcrop:* 20 percent  
*Minor components:* 15 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Chatfield, Extremely Stony**

#### **Setting**

*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Summit, shoulder, backslope

## Custom Soil Resource Report

*Landform position (three-dimensional):* Crest, side slope, nose slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex, linear  
*Parent material:* Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

### Typical profile

*O<sub>i</sub> - 0 to 1 inches:* slightly decomposed plant material  
*A - 1 to 2 inches:* fine sandy loam  
*B<sub>w</sub> - 2 to 30 inches:* gravelly fine sandy loam  
*2R - 30 to 40 inches:* bedrock

### Properties and qualities

*Slope:* 15 to 35 percent  
*Percent of area covered with surface fragments:* 9.0 percent  
*Depth to restrictive feature:* 20 to 41 inches to lithic bedrock  
*Natural drainage class:* Well drained  
*Runoff class:* High  
*Capacity of the most limiting layer to transmit water (K<sub>sat</sub>):* Very low (0.00 to 0.00 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water storage in profile:* Low (about 4.3 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 7s  
*Hydrologic Soil Group:* B  
*Hydric soil rating:* No

## Description of Hollis, Extremely Stony

### Setting

*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Backslope, shoulder, summit  
*Landform position (three-dimensional):* Side slope, nose slope, crest  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear, convex  
*Parent material:* Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

### Typical profile

*O<sub>i</sub> - 0 to 2 inches:* slightly decomposed plant material  
*A - 2 to 7 inches:* gravelly fine sandy loam  
*B<sub>w</sub> - 7 to 16 inches:* gravelly fine sandy loam  
*2R - 16 to 26 inches:* bedrock

### Properties and qualities

*Slope:* 15 to 35 percent  
*Percent of area covered with surface fragments:* 9.0 percent  
*Depth to restrictive feature:* 8 to 23 inches to lithic bedrock  
*Natural drainage class:* Somewhat excessively drained  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (K<sub>sat</sub>):* Very low (0.00 to 0.00 in/hr)

## Custom Soil Resource Report

*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water storage in profile:* Very low (about 2.7 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 7s  
*Hydrologic Soil Group:* D  
*Hydric soil rating:* No

### Description of Rock Outcrop

#### Setting

*Landform:* Hills, ridges  
*Parent material:* Igneous and metamorphic rock

#### Typical profile

*R - 0 to 79 inches:* bedrock

#### Properties and qualities

*Slope:* 15 to 35 percent  
*Depth to restrictive feature:* 0 inches to lithic bedrock  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)  
*Available water storage in profile:* Very low (about 0.0 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 8  
*Hydrologic Soil Group:* D  
*Hydric soil rating:* No

### Minor Components

#### Charlton, extremely stony

*Percent of map unit:* 7 percent  
*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Linear, convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

#### Leicester, extremely stony

*Percent of map unit:* 4 percent  
*Landform:* Depressions, drainageways, hills, ground moraines  
*Landform position (two-dimensional):* Toeslope, footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Linear, concave  
*Across-slope shape:* Concave  
*Hydric soil rating:* Yes

#### Sutton, extremely stony

*Percent of map unit:* 2 percent  
*Landform:* Hills, ground moraines



## Custom Soil Resource Report

*Landform position (two-dimensional):* Footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### **Paxton, extremely stony**

*Percent of map unit:* 2 percent  
*Landform:* Drumlins, hills, ground moraines  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Convex, linear  
*Across-slope shape:* Linear, convex  
*Hydric soil rating:* No

## **HrF—Hollis-Rock outcrop complex, 35 to 60 percent slopes**

### **Map Unit Setting**

*National map unit symbol:* 2w69q  
*Elevation:* 0 to 1,540 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 145 to 240 days  
*Farmland classification:* Not prime farmland

### **Map Unit Composition**

*Hollis, very stony, and similar soils:* 60 percent  
*Rock outcrop:* 20 percent  
*Minor components:* 20 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Hollis, Very Stony**

#### **Setting**

*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Shoulder, summit, backslope  
*Landform position (three-dimensional):* Nose slope, crest, side slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear, convex  
*Parent material:* Coarse-loamy melt-out till derived from granite, gneiss, and/or schist

#### **Typical profile**

*O<sub>i</sub> - 0 to 2 inches:* slightly decomposed plant material  
*A - 2 to 7 inches:* gravelly fine sandy loam  
*B<sub>w</sub> - 7 to 16 inches:* gravelly fine sandy loam  
*2R - 16 to 26 inches:* bedrock

## Custom Soil Resource Report

### Properties and qualities

*Slope:* 35 to 60 percent  
*Percent of area covered with surface fragments:* 1.6 percent  
*Depth to restrictive feature:* 8 to 23 inches to lithic bedrock  
*Natural drainage class:* Somewhat excessively drained  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water storage in profile:* Very low (about 2.7 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 7s  
*Hydrologic Soil Group:* D  
*Hydric soil rating:* No

### Description of Rock Outcrop

#### Setting

*Landform:* Hills, ridges  
*Parent material:* Igneous and metamorphic rock

#### Typical profile

*R - 0 to 79 inches:* bedrock

### Properties and qualities

*Slope:* 35 to 60 percent  
*Depth to restrictive feature:* 0 inches to lithic bedrock  
*Runoff class:* Very high  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)  
*Available water storage in profile:* Very low (about 0.0 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 8  
*Hydrologic Soil Group:* D  
*Hydric soil rating:* No

### Minor Components

#### Chatfield, very stony

*Percent of map unit:* 10 percent  
*Landform:* Hills, ridges  
*Landform position (two-dimensional):* Backslope, shoulder, summit  
*Landform position (three-dimensional):* Crest, side slope, nose slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear, convex  
*Hydric soil rating:* No

#### Charlton, very stony

*Percent of map unit:* 5 percent  
*Landform:* Ridges, hills

## Custom Soil Resource Report

*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Linear, convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

### **Leicester, very stony**

*Percent of map unit:* 4 percent  
*Landform:* Depressions, drainageways, hills, ground moraines  
*Landform position (two-dimensional):* Toeslope, footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Linear, concave  
*Across-slope shape:* Concave  
*Hydric soil rating:* Yes

### **Sutton, very stony**

*Percent of map unit:* 1 percent  
*Landform:* Ground moraines, hills  
*Landform position (two-dimensional):* Footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

## **PnB—Paxton fine sandy loam, 3 to 8 percent slopes**

### **Map Unit Setting**

*National map unit symbol:* 2t2qp  
*Elevation:* 0 to 1,570 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 140 to 240 days  
*Farmland classification:* All areas are prime farmland

### **Map Unit Composition**

*Paxton and similar soils:* 80 percent  
*Minor components:* 20 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Paxton**

#### **Setting**

*Landform:* Drumlins, ground moraines, hills  
*Landform position (two-dimensional):* Backslope, summit, shoulder  
*Landform position (three-dimensional):* Side slope, crest, nose slope  
*Down-slope shape:* Linear, convex  
*Across-slope shape:* Convex  
*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

## Custom Soil Resource Report

### Typical profile

*Ap - 0 to 8 inches:* fine sandy loam  
*Bw1 - 8 to 15 inches:* fine sandy loam  
*Bw2 - 15 to 26 inches:* fine sandy loam  
*Cd - 26 to 65 inches:* gravelly fine sandy loam

### Properties and qualities

*Slope:* 3 to 8 percent  
*Depth to restrictive feature:* 18 to 39 inches to densic material  
*Natural drainage class:* Well drained  
*Runoff class:* Medium  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)  
*Depth to water table:* About 18 to 37 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water storage in profile:* Low (about 3.1 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 2s  
*Hydrologic Soil Group:* C  
*Hydric soil rating:* No

### Minor Components

#### Woodbridge

*Percent of map unit:* 9 percent  
*Landform:* Hills, drumlins, ground moraines  
*Landform position (two-dimensional):* Backslope, footslope, summit  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

#### Ridgebury

*Percent of map unit:* 6 percent  
*Landform:* Depressions, drainageways, hills, ground moraines  
*Landform position (two-dimensional):* Toeslope, backslope, footslope  
*Landform position (three-dimensional):* Base slope, head slope, dip  
*Down-slope shape:* Concave  
*Across-slope shape:* Concave  
*Hydric soil rating:* Yes

#### Charlton

*Percent of map unit:* 5 percent  
*Landform:* Hills  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

## **PnC—Paxton fine sandy loam, 8 to 15 percent slopes**

### **Map Unit Setting**

*National map unit symbol:* 2w66y

*Elevation:* 0 to 1,320 feet

*Mean annual precipitation:* 36 to 71 inches

*Mean annual air temperature:* 39 to 55 degrees F

*Frost-free period:* 140 to 240 days

*Farmland classification:* Farmland of statewide importance

### **Map Unit Composition**

*Paxton and similar soils:* 85 percent

*Minor components:* 15 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Paxton**

#### **Setting**

*Landform:* Drumlins, hills, ground moraines

*Landform position (two-dimensional):* Backslope

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Linear, convex

*Across-slope shape:* Convex

*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

#### **Typical profile**

*Ap - 0 to 8 inches:* fine sandy loam

*Bw1 - 8 to 15 inches:* fine sandy loam

*Bw2 - 15 to 26 inches:* fine sandy loam

*Cd - 26 to 65 inches:* gravelly fine sandy loam

#### **Properties and qualities**

*Slope:* 8 to 15 percent

*Depth to restrictive feature:* 20 to 39 inches to densic material

*Natural drainage class:* Well drained

*Runoff class:* Medium

*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)

*Depth to water table:* About 18 to 37 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)

*Available water storage in profile:* Low (about 4.1 inches)

#### **Interpretive groups**

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 3e

*Hydrologic Soil Group:* C

*Hydric soil rating:* No

## Minor Components

### Charlton

*Percent of map unit:* 7 percent  
*Landform:* Hills  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

### Woodbridge

*Percent of map unit:* 6 percent  
*Landform:* Drumlins, hills, ground moraines  
*Landform position (two-dimensional):* Backslope, footslope, summit  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### Ridgebury

*Percent of map unit:* 2 percent  
*Landform:* Hills, ground moraines, depressions, drainageways, drumlins  
*Landform position (two-dimensional):* Toeslope, footslope  
*Landform position (three-dimensional):* Base slope, head slope  
*Down-slope shape:* Concave, linear  
*Across-slope shape:* Concave, linear  
*Hydric soil rating:* Yes

## PnD—Paxton fine sandy loam, 15 to 25 percent slopes

### Map Unit Setting

*National map unit symbol:* 2w67j  
*Elevation:* 0 to 1,450 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 140 to 240 days  
*Farmland classification:* Not prime farmland

### Map Unit Composition

*Paxton and similar soils:* 85 percent  
*Minor components:* 15 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Paxton

#### Setting

*Landform:* Drumlins, hills, ground moraines  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope

## Custom Soil Resource Report

*Down-slope shape:* Linear, convex

*Across-slope shape:* Convex

*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

### Typical profile

*Ap - 0 to 8 inches:* fine sandy loam

*Bw1 - 8 to 15 inches:* fine sandy loam

*Bw2 - 15 to 26 inches:* fine sandy loam

*Cd - 26 to 65 inches:* gravelly fine sandy loam

### Properties and qualities

*Slope:* 15 to 25 percent

*Depth to restrictive feature:* 20 to 39 inches to densic material

*Natural drainage class:* Well drained

*Runoff class:* High

*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)

*Depth to water table:* About 18 to 37 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)

*Available water storage in profile:* Low (about 4.1 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 4e

*Hydrologic Soil Group:* C

*Hydric soil rating:* No

### Minor Components

#### Charlton

*Percent of map unit:* 8 percent

*Landform:* Hills

*Landform position (two-dimensional):* Backslope

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Convex

*Across-slope shape:* Convex

*Hydric soil rating:* No

#### Woodbridge

*Percent of map unit:* 6 percent

*Landform:* Drumlins, hills, ground moraines

*Landform position (two-dimensional):* Backslope

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Concave

*Across-slope shape:* Linear

*Hydric soil rating:* No

#### Ridgebury

*Percent of map unit:* 1 percent

*Landform:* Drumlins, drainageways, hills, ground moraines, depressions

*Landform position (two-dimensional):* Toeslope, footslope

*Landform position (three-dimensional):* Base slope, head slope

*Down-slope shape:* Concave, linear

*Across-slope shape:* Concave, linear

*Hydric soil rating:* Yes

## **PoC—Paxton fine sandy loam, 8 to 15 percent slopes, very stony**

### **Map Unit Setting**

*National map unit symbol:* 2w677

*Elevation:* 0 to 1,330 feet

*Mean annual precipitation:* 36 to 71 inches

*Mean annual air temperature:* 39 to 55 degrees F

*Frost-free period:* 140 to 240 days

*Farmland classification:* Not prime farmland

### **Map Unit Composition**

*Paxton, very stony, and similar soils:* 85 percent

*Minor components:* 15 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Paxton, Very Stony**

#### **Setting**

*Landform:* Drumlins, hills, ground moraines

*Landform position (two-dimensional):* Backslope

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Linear, convex

*Across-slope shape:* Convex, linear

*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

#### **Typical profile**

*Oe - 0 to 2 inches:* moderately decomposed plant material

*A - 2 to 10 inches:* fine sandy loam

*Bw1 - 10 to 17 inches:* fine sandy loam

*Bw2 - 17 to 28 inches:* fine sandy loam

*Cd - 28 to 67 inches:* gravelly fine sandy loam

#### **Properties and qualities**

*Slope:* 8 to 15 percent

*Percent of area covered with surface fragments:* 1.6 percent

*Depth to restrictive feature:* 20 to 43 inches to densic material

*Natural drainage class:* Well drained

*Runoff class:* Medium

*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)

*Depth to water table:* About 18 to 37 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)

*Available water storage in profile:* Low (about 4.7 inches)

#### **Interpretive groups**

*Land capability classification (irrigated):* None specified



## Custom Soil Resource Report

*Land capability classification (nonirrigated): 6s*  
*Hydrologic Soil Group: C*  
*Hydric soil rating: No*

### Minor Components

#### **Woodbridge, very stony**

*Percent of map unit: 8 percent*  
*Landform: Ground moraines, drumlins, hills*  
*Landform position (two-dimensional): Backslope, footslope*  
*Landform position (three-dimensional): Side slope*  
*Down-slope shape: Concave*  
*Across-slope shape: Linear*  
*Hydric soil rating: No*

#### **Charlton, very stony**

*Percent of map unit: 5 percent*  
*Landform: Hills*  
*Landform position (two-dimensional): Backslope*  
*Landform position (three-dimensional): Side slope*  
*Down-slope shape: Convex*  
*Across-slope shape: Convex*  
*Hydric soil rating: No*

#### **Ridgebury, very stony**

*Percent of map unit: 2 percent*  
*Landform: Drainageways, hills, ground moraines, depressions, drumlins*  
*Landform position (two-dimensional): Toeslope, footslope*  
*Landform position (three-dimensional): Base slope, head slope*  
*Down-slope shape: Concave*  
*Across-slope shape: Concave*  
*Hydric soil rating: Yes*

### **PoD—Paxton fine sandy loam, 15 to 25 percent slopes, very stony**

#### **Map Unit Setting**

*National map unit symbol: 2w67h*  
*Elevation: 0 to 1,400 feet*  
*Mean annual precipitation: 36 to 71 inches*  
*Mean annual air temperature: 39 to 55 degrees F*  
*Frost-free period: 140 to 240 days*  
*Farmland classification: Not prime farmland*

#### **Map Unit Composition**

*Paxton, very stony, and similar soils: 90 percent*  
*Minor components: 10 percent*  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

## Description of Paxton, Very Stony

### Setting

*Landform:* Drumlins, hills, ground moraines  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Linear, convex  
*Across-slope shape:* Convex, linear  
*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

### Typical profile

*Oe - 0 to 2 inches:* moderately decomposed plant material  
*A - 2 to 10 inches:* fine sandy loam  
*Bw1 - 10 to 17 inches:* fine sandy loam  
*Bw2 - 17 to 28 inches:* fine sandy loam  
*Cd - 28 to 67 inches:* gravelly fine sandy loam

### Properties and qualities

*Slope:* 15 to 25 percent  
*Percent of area covered with surface fragments:* 1.6 percent  
*Depth to restrictive feature:* 20 to 43 inches to densic material  
*Natural drainage class:* Well drained  
*Runoff class:* High  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)  
*Depth to water table:* About 18 to 37 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water storage in profile:* Low (about 4.7 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 6s  
*Hydrologic Soil Group:* C  
*Hydric soil rating:* No

## Minor Components

### Woodbridge, very stony

*Percent of map unit:* 5 percent  
*Landform:* Hills, ground moraines, drumlins  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### Charlton, very stony

*Percent of map unit:* 4 percent  
*Landform:* Hills  
*Landform position (two-dimensional):* Backslope  
*Landform position (three-dimensional):* Side slope  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex

## Custom Soil Resource Report

*Hydric soil rating:* No

### **Ridgebury, very stony**

*Percent of map unit:* 1 percent

*Landform:* Drainageways, hills, ground moraines, depressions, drumlins

*Landform position (two-dimensional):* Toeslope, footslope

*Landform position (three-dimensional):* Base slope, head slope

*Down-slope shape:* Concave

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

## **WdB—Woodbridge loam, 3 to 8 percent slopes**

### **Map Unit Setting**

*National map unit symbol:* 2w688

*Elevation:* 0 to 1,280 feet

*Mean annual precipitation:* 36 to 71 inches

*Mean annual air temperature:* 39 to 55 degrees F

*Frost-free period:* 145 to 240 days

*Farmland classification:* All areas are prime farmland

### **Map Unit Composition**

*Woodbridge, loam, and similar soils:* 85 percent

*Minor components:* 15 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Woodbridge, Loam**

#### **Setting**

*Landform:* Drumlins, hills, ground moraines

*Landform position (two-dimensional):* Summit, backslope, footslope

*Landform position (three-dimensional):* Side slope, crest

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

#### **Typical profile**

*Ap - 0 to 6 inches:* loam

*Bw1 - 6 to 18 inches:* gravelly loam

*Bw2 - 18 to 29 inches:* gravelly loam

*Cd - 29 to 65 inches:* gravelly loam

#### **Properties and qualities**

*Slope:* 3 to 8 percent

*Depth to restrictive feature:* 20 to 39 inches to densic material

*Natural drainage class:* Moderately well drained

*Runoff class:* Very high

*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)

*Depth to water table:* About 18 to 30 inches

## Custom Soil Resource Report

*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)  
*Available water storage in profile:* Low (about 4.7 inches)

### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 2w  
*Hydrologic Soil Group:* C/D  
*Hydric soil rating:* No

### Minor Components

#### Ridgebury

*Percent of map unit:* 7 percent  
*Landform:* Hills, ground moraines, depressions, drumlins, drainageways  
*Landform position (two-dimensional):* Toeslope, footslope  
*Landform position (three-dimensional):* Head slope, base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Concave  
*Hydric soil rating:* Yes

#### Paxton

*Percent of map unit:* 7 percent  
*Landform:* Ground moraines, drumlins, hills  
*Landform position (two-dimensional):* Summit, shoulder, backslope  
*Landform position (three-dimensional):* Crest, side slope  
*Down-slope shape:* Linear, convex  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

#### Sutton

*Percent of map unit:* 1 percent  
*Landform:* Hills, ground moraines  
*Landform position (two-dimensional):* Footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

## WdC—Woodbridge loam, 8 to 15 percent slopes

### Map Unit Setting

*National map unit symbol:* 2w68p  
*Elevation:* 10 to 1,000 feet  
*Mean annual precipitation:* 36 to 71 inches  
*Mean annual air temperature:* 39 to 55 degrees F  
*Frost-free period:* 145 to 240 days  
*Farmland classification:* Farmland of statewide importance

### Map Unit Composition

*Woodbridge, loam, and similar soils:* 82 percent

*Minor components:* 18 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Woodbridge, Loam

#### Setting

*Landform:* Drumlins, hills, ground moraines

*Landform position (two-dimensional):* Footslope, backslope

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Parent material:* Coarse-loamy lodgment till derived from gneiss, granite, and/or schist

#### Typical profile

*Ap - 0 to 6 inches:* loam

*Bw1 - 6 to 18 inches:* gravelly loam

*Bw2 - 18 to 29 inches:* gravelly loam

*Cd - 29 to 65 inches:* gravelly loam

#### Properties and qualities

*Slope:* 8 to 15 percent

*Depth to restrictive feature:* 20 to 39 inches to densic material

*Natural drainage class:* Moderately well drained

*Runoff class:* Very high

*Capacity of the most limiting layer to transmit water (Ksat):* Very low to moderately low (0.00 to 0.14 in/hr)

*Depth to water table:* About 18 to 30 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline (0.0 to 1.9 mmhos/cm)

*Available water storage in profile:* Low (about 4.7 inches)

#### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 3e

*Hydrologic Soil Group:* C/D

*Hydric soil rating:* No

### Minor Components

#### Paxton

*Percent of map unit:* 8 percent

*Landform:* Drumlins, hills, ground moraines

*Landform position (two-dimensional):* Backslope

*Landform position (three-dimensional):* Side slope

*Down-slope shape:* Linear, convex

*Across-slope shape:* Convex

*Hydric soil rating:* No

#### Ridgebury

*Percent of map unit:* 7 percent

*Landform:* Ground moraines, depressions, drumlins, drainageways, hills

*Landform position (two-dimensional):* Toeslope, footslope

## Custom Soil Resource Report

*Landform position (three-dimensional):* Base slope, head slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Concave  
*Hydric soil rating:* Yes

### **Sutton**

*Percent of map unit:* 2 percent  
*Landform:* Hills, ground moraines  
*Landform position (two-dimensional):* Footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### **Urban land**

*Percent of map unit:* 1 percent  
*Hydric soil rating:* Unranked

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- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>

## Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2\\_054242](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242)

United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2\\_053624](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624)

United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. [http://www.nrcs.usda.gov/Internet/FSE\\_DOCUMENTS/nrcs142p2\\_052290.pdf](http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf)



Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC

821 Shiqer Gashi Ct., Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

**APPENDIX B**

**CERTIFICATION STATEMENT (SIGNED BY BUILDER/CONTRACTOR)**

Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC

821 Shiqer Gashi Ct., Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

**Certification Statement**

Please complete and sign this document (with Erosion Control Plan) and attach to BLUEPRINTS and SITE PLAN prior to any earth disturbance. These documents, along with the approved SWPPP, must be kept on site and be available for review as requested by any agent of the NYSDEC. **This form will not exempt a landowner from filing a Notice of Intent (NOI).**

“I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspectors during a site inspection. I also understand that the owner or operator must comply with the term and conditions of the most current version of the New York State Pollutant Discharge Elimination System (SPDES) general permit for stormwater discharges from construction activities and that is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for known violations.”

---

---

Builder/Contractor (print)

Signature

---

Address

---

Stormwater Pollution Prevention Plan Amendment

SHG Lot LLC

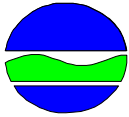
821 Shiqer Gashi Ct., Yorktown Heights, NY

Section/Block/Lot: 48.13/1/6.4

APPENDIX C

**DRAFT PAPER NOTICE OF INTENT (NOI)**

# NOTICE OF INTENT



**New York State Department of Environmental Conservation  
Division of Water  
625 Broadway, 4th Floor  
Albany, New York 12233-3505**

**NYR**   
(For DEC use only)

**Stormwater Discharges Associated with Construction Activity Under State Pollutant Discharge Elimination System (SPDES) General Permit # GP-0-20-001**  
All sections must be completed unless otherwise noted. Failure to complete all items may result in this form being returned to you, thereby delaying your coverage under this General Permit. Applicants must read and understand the conditions of the permit and prepare a Stormwater Pollution Prevention Plan prior to submitting this NOI. Applicants are responsible for identifying and obtaining other DEC permits that may be required.

**- IMPORTANT -**  
**RETURN THIS FORM TO THE ADDRESS ABOVE**  
**OWNER/OPERATOR MUST SIGN FORM**

### Owner/Operator Information

Owner/Operator (Company Name/Private Owner Name/Municipality Name)

Owner/Operator Contact Person Last Name (NOT CONSULTANT)

Owner/Operator Contact Person First Name

Owner/Operator Mailing Address

City

State  Zip  -

Phone (Owner/Operator)  -  -  Fax (Owner/Operator)  -  -

Email (Owner/Operator)

FED TAX ID  -  (not required for individuals)



3. Select the predominant land use for both pre and post development conditions.  
**SELECT ONLY ONE CHOICE FOR EACH**

**Pre-Development  
Existing Land Use**

- FOREST
- PASTURE/OPEN LAND
- CULTIVATED LAND
- SINGLE FAMILY HOME
- SINGLE FAMILY SUBDIVISION
- TOWN HOME RESIDENTIAL
- MULTIFAMILY RESIDENTIAL
- INSTITUTIONAL/SCHOOL
- INDUSTRIAL
- COMMERCIAL
- ROAD/HIGHWAY
- RECREATIONAL/SPORTS FIELD
- BIKE PATH/TRAIL
- LINEAR UTILITY
- PARKING LOT
- OTHER

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**Post-Development  
Future Land Use**

- SINGLE FAMILY HOME
- SINGLE FAMILY SUBDIVISION
- TOWN HOME RESIDENTIAL
- MULTIFAMILY RESIDENTIAL
- INSTITUTIONAL/SCHOOL
- INDUSTRIAL
- COMMERCIAL
- MUNICIPAL
- ROAD/HIGHWAY
- RECREATIONAL/SPORTS FIELD
- BIKE PATH/TRAIL
- LINEAR UTILITY (water, sewer, gas, etc.)
- PARKING LOT
- CLEARING/GRADING ONLY
- DEMOLITION, NO REDEVELOPMENT
- WELL DRILLING ACTIVITY \*(Oil, Gas, etc.)
- OTHER

Number of Lots

--	--	--

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**\*Note:** for gas well drilling, non-high volume hydraulic fractured wells only

4. In accordance with the larger common plan of development or sale, enter the total project site area; the total area to be disturbed; existing impervious area to be disturbed (for redevelopment activities); and the future impervious area constructed within the disturbed area. (Round to the nearest tenth of an acre.)

Total Site Area	Total Area To Be Disturbed	Existing Impervious Area To Be Disturbed	Future Impervious Area Within Disturbed Area																																																																																				
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5. Do you plan to disturb more than 5 acres of soil at any one time?       Yes     No

6. Indicate the percentage of each Hydrologic Soil Group(HSG) at the site.

A	B	C	D
<table border="1" style="width: 30px; height: 25px;"></table> %	<table border="1" style="width: 30px; height: 25px;"></table> %	<table border="1" style="width: 30px; height: 25px;"></table> %	<table border="1" style="width: 30px; height: 25px;"></table> %

7. Is this a phased project?       Yes     No

8. Enter the planned start and end dates of the disturbance activities.

Start Date	/	/	-	End Date	/	/
<table border="1" style="width: 30px; height: 25px;"></table>	<table border="1" style="width: 30px; height: 25px;"></table>	<table border="1" style="width: 30px; height: 25px;"></table>	<table border="1" style="width: 30px; height: 25px;"></table>	<table border="1" style="width: 30px; height: 25px;"></table>	<table border="1" style="width: 30px; height: 25px;"></table>	<table border="1" style="width: 30px; height: 25px;"></table>



15. Does the site runoff enter a separate storm sewer system (including roadside drains, swales, ditches, culverts, etc)?  Yes  No  Unknown

16. What is the name of the municipality/entity that owns the separate storm sewer system?

Two rows of empty grid boxes for text entry.

17. Does any runoff from the site enter a sewer classified as a Combined Sewer?  Yes  No  Unknown

18. Will future use of this site be an agricultural property as defined by the NYS Agriculture and Markets Law?  Yes  No

19. Is this property owned by a state authority, state agency, federal government or local government?  Yes  No

20. Is this a remediation project being done under a Department approved work plan? (i.e. CERCLA, RCRA, Voluntary Cleanup Agreement, etc.)  Yes  No

21. Has the required Erosion and Sediment Control component of the SWPPP been developed in conformance with the current NYS Standards and Specifications for Erosion and Sediment Control (aka Blue Book)?  Yes  No

22. Does this construction activity require the development of a SWPPP that includes the post-construction stormwater management practice component (i.e. Runoff Reduction, Water Quality and Quantity Control practices/techniques)?  Yes  No  
**If No, skip questions 23 and 27-39.**

23. Has the post-construction stormwater management practice component of the SWPPP been developed in conformance with the current NYS Stormwater Management Design Manual?  Yes  No







**Post-construction Stormwater Management Practice (SMP) Requirements**

**Important: Completion of Questions 27-39 is not required if response to Question 22 is No.**

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

- Preservation of Undisturbed Areas
- Preservation of Buffers
- Reduction of Clearing and Grading
- Locating Development in Less Sensitive Areas
- Roadway Reduction
- Sidewalk Reduction
- Driveway Reduction
- Cul-de-sac Reduction
- Building Footprint Reduction
- Parking Reduction

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6("Soil Restoration") of the Design Manual (2010 version).

- All disturbed areas will be restored in accordance with the Soil Restoration requirements in Table 5.3 of the Design Manual (see page 5-22).
- Compacted areas were considered as impervious cover when calculating the **WQv Required**, and the compacted areas were assigned a post-construction Hydrologic Soil Group (HSG) designation that is one level less permeable than existing conditions for the hydrology analysis.

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout).

**Total WQv Required**

.  acre-feet

29. Identify the RR techniques (Area Reduction), RR techniques (Volume Reduction) and Standard SMPs with RRv Capacity in Table 1 (See Page 9) that were used to reduce the Total WQv Required (#28).

Also, provide in Table 1 the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

**Note:** Redevelopment projects shall use Tables 1 and 2 to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

Table 1 - Runoff Reduction (RR) Techniques and Standard Stormwater Management Practices (SMPs)

<u>RR Techniques (Area Reduction)</u>	<u>Total Contributing Area (acres)</u>		<u>Total Contributing Impervious Area(acres)</u>	
<input type="radio"/> Conservation of Natural Areas (RR-1) ...	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="radio"/> Sheetflow to Riparian Buffers/Filters Strips (RR-2) .....	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="radio"/> Tree Planting/Tree Pit (RR-3) .....	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="radio"/> Disconnection of Rooftop Runoff (RR-4) ..	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<u>RR Techniques (Volume Reduction)</u>				
<input type="radio"/> Vegetated Swale (RR-5) .....				
<input type="radio"/> Rain Garden (RR-6) .....				
<input type="radio"/> Stormwater Planter (RR-7) .....				
<input type="radio"/> Rain Barrel/Cistern (RR-8) .....				
<input type="radio"/> Porous Pavement (RR-9) .....				
<input type="radio"/> Green Roof (RR-10) .....				
<u>Standard SMPs with RRv Capacity</u>				
<input type="radio"/> Infiltration Trench (I-1) .....				
<input type="radio"/> Infiltration Basin (I-2) .....				
<input type="radio"/> Dry Well (I-3) .....				
<input type="radio"/> Underground Infiltration System (I-4) .....				
<input type="radio"/> Bioretention (F-5) .....				
<input type="radio"/> Dry Swale (O-1) .....				
<u>Standard SMPs</u>				
<input type="radio"/> Micropool Extended Detention (P-1) .....				
<input type="radio"/> Wet Pond (P-2) .....				
<input type="radio"/> Wet Extended Detention (P-3) .....				
<input type="radio"/> Multiple Pond System (P-4) .....				
<input type="radio"/> Pocket Pond (P-5) .....				
<input type="radio"/> Surface Sand Filter (F-1) .....				
<input type="radio"/> Underground Sand Filter (F-2) .....				
<input type="radio"/> Perimeter Sand Filter (F-3) .....				
<input type="radio"/> Organic Filter (F-4) .....				
<input type="radio"/> Shallow Wetland (W-1) .....				
<input type="radio"/> Extended Detention Wetland (W-2) .....				
<input type="radio"/> Pond/Wetland System (W-3) .....				
<input type="radio"/> Pocket Wetland (W-4) .....				
<input type="radio"/> Wet Swale (O-2) .....				



33. Identify the Standard SMPs in Table 1 and, if applicable, the Alternative SMPs in Table 2 that were used to treat the remaining total WQv(=Total WQv Required in 28 - Total RRv Provided in 30).

Also, provide in Table 1 and 2 the total impervious area that contributes runoff to each practice selected.

**Note:** Use Tables 1 and 2 to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRv Capacity identified in question 29.

WQv Provided  
[ ][ ][ ] . [ ][ ][ ] acre-feet

**Note:** For the standard SMPs with RRv capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - RRv provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRv provided (#30) and the WQv provided (#33a). [ ][ ][ ] . [ ][ ][ ]

35. Is the sum of the RRv provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)?  Yes  No

If Yes, go to question 36.

If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

36. Provide the total Channel Protection Storage Volume (CPv) required and provided or select waiver (36a), if applicable.

CPv Required  
[ ][ ][ ] . [ ][ ][ ] acre-feet

CPv Provided  
[ ][ ][ ] . [ ][ ][ ] acre-feet

36a. The need to provide channel protection has been waived because:

- Site discharges directly to tidal waters or a fifth order or larger stream.
- Reduction of the total CPv is achieved on site through runoff reduction techniques or infiltration systems.

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (37a), if applicable.

Total Overbank Flood Control Criteria (Qp)

Pre-Development  
[ ][ ][ ] . [ ][ ][ ] CFS

Post-development  
[ ][ ][ ] . [ ][ ][ ] CFS

Total Extreme Flood Control Criteria (Qf)

Pre-Development  
[ ][ ][ ] . [ ][ ][ ] CFS

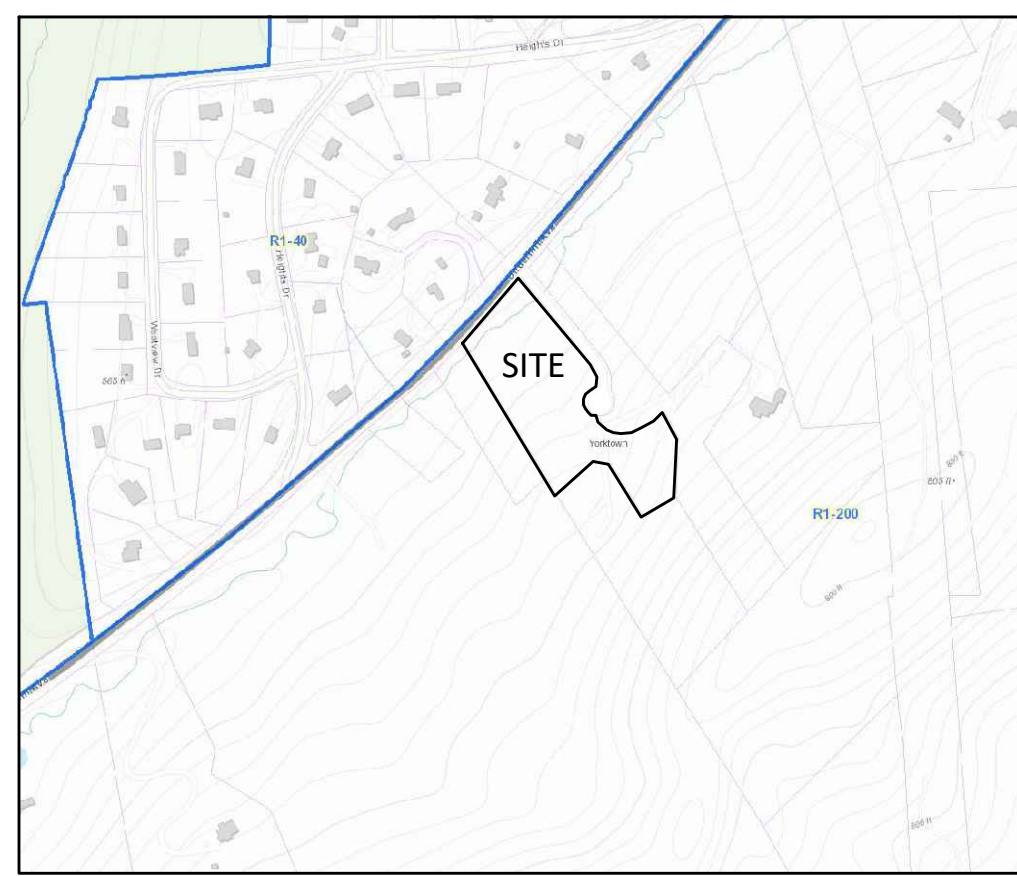
Post-development  
[ ][ ][ ] . [ ][ ][ ] CFS



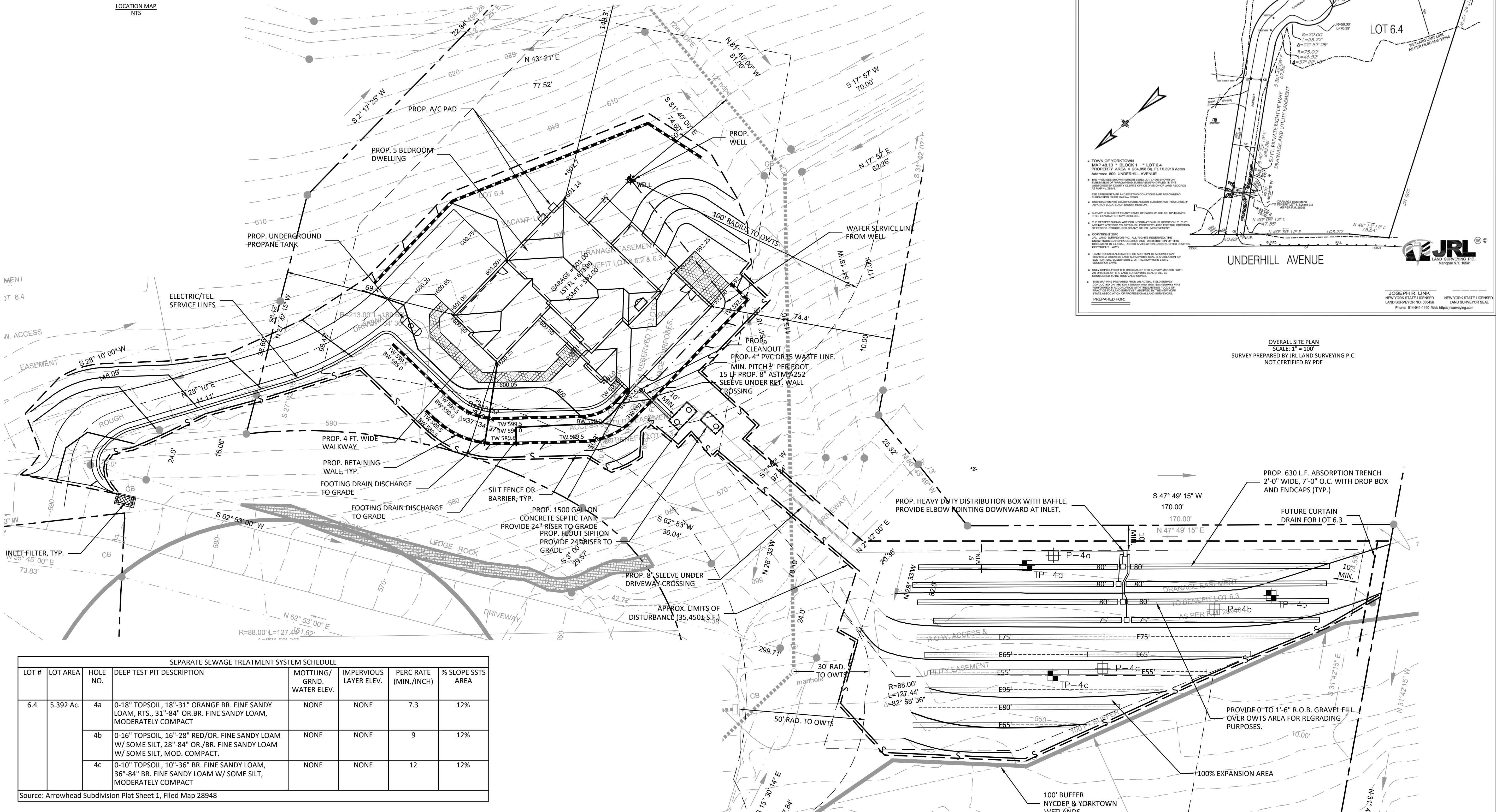
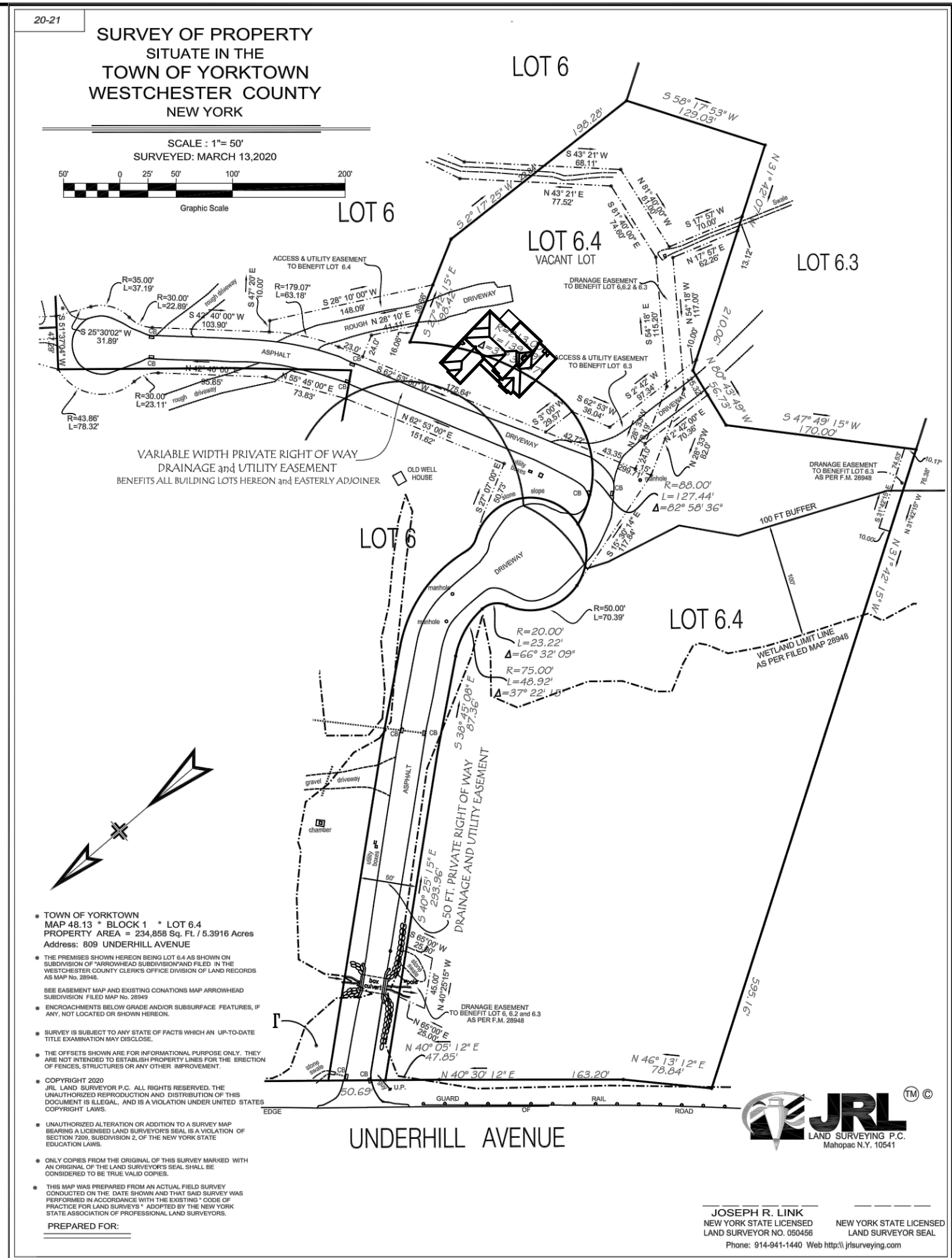








LOCATION MAP  
NTS



NO.	REVISION	DATE
1	WCDOH REVIEW MEMO DATED 8/10/2020	9/10/2020
2	SUBMITTED FOR RECERTIFICATION	10/14/2021

Architect  
Linda J. Zwart, Architect, P.C.  
31 Meadowood Rd  
Montgomery, NY 12549  
Office: 845-361-2969  
Cell: 845-800-0798

Owner/Developer  
SHG Lots LLC  
345 Kear Street  
Yorktown, NY 10598  
Tel: 917-709-7981  
Contact Person: Esat Gahsi

Provident  
design engineering  
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532  
TEL: (914) 592-4040 WWW.PDERESULTS.COM  
UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.  
© PROVIDENT DESIGN ENGINEERING, PLLC

821 SHIQR GASHI COURT  
SECTION 48.13; BLOCK 1; LOT 6.4  
TOWN OF YORKTOWN, NY  
ARROWHEAD SUBDIVISION  
FILED MAP NO. 28948

TITLE:  
**OWTS PLAN**

Scale: 1" = 20'  
Date: 08/05/2020  
Drawn By: JIM  
Checked By: RPP  
Project No.: 19-025  
Sheet No.: 1 of 3  
Dwg. No.: SD-101

SEPARATE SEWAGE TREATMENT SYSTEM SCHEDULE							
LOT #	LOT AREA	HOLE NO.	DEEP TEST PIT DESCRIPTION	MOTTLING/GRND. WATER ELEV.	IMPERVIOUS LAYER ELEV.	PERC RATE (MIN./INCH)	% SLOPE SSTS AREA
6.4	5.392 Ac.	4a	0-18" TOPSOIL, 18"-31" ORANGE BR. FINE SANDY LOAM, RTS. 31"-84" OR BR. FINE SANDY LOAM, MODERATELY COMPACT	NONE	NONE	7.3	12%
		4b	0-16" TOPSOIL, 16"-28" RED/OR. FINE SANDY LOAM W/ SOME SILT, 28"-84" OR BR. FINE SANDY LOAM W/ SOME SILT, MOD. COMPACT.	NONE	NONE	9	12%
		4c	0-10" TOPSOIL, 10"-36" BR. FINE SANDY LOAM, 36"-84" BR. FINE SANDY LOAM W/ SOME SILT, MODERATELY COMPACT	NONE	NONE	12	12%

Source: Arrowhead Subdivision Plat Sheet 1, Filed Map 28948

OWTS Data Table											
Percolation Rate, Min/inch	Application Rate	No. of Bedrooms	Flow Rate (gpd)	Groundwater/ Mottling Elev.	Impervious Layer Elev.	Field Length Required (ft)	Field Length Provided (ft)	Septic Tank Volume (gal)	Area of Disturbance	Slope of SSTS Area	Curtain Drain
7.3 to 12	0.80	5	1000	None	None	625	630	1,500	35,450	12%	Not Required

Reserve area = 100%

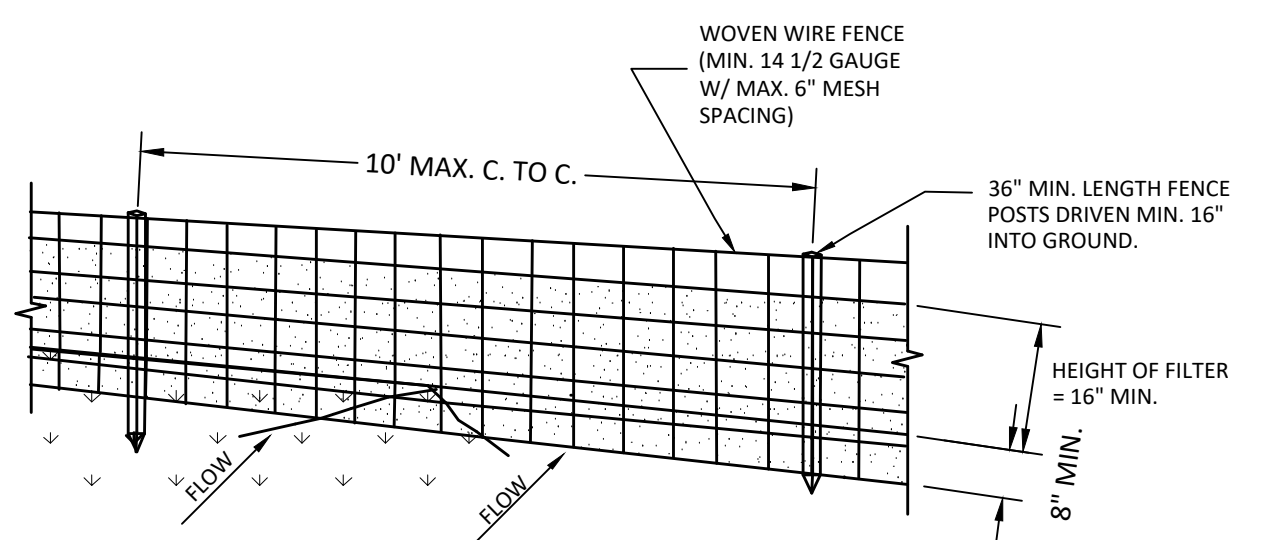
G:\PROJECTS\19-025 Gashi Lot 4\AutoCAD\Lot 6.4\SD-101 OWTS Plan.dwg



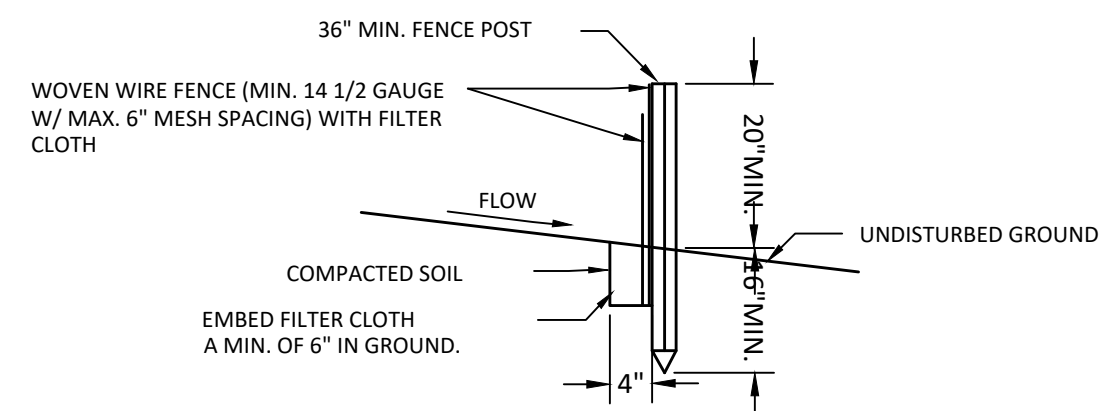








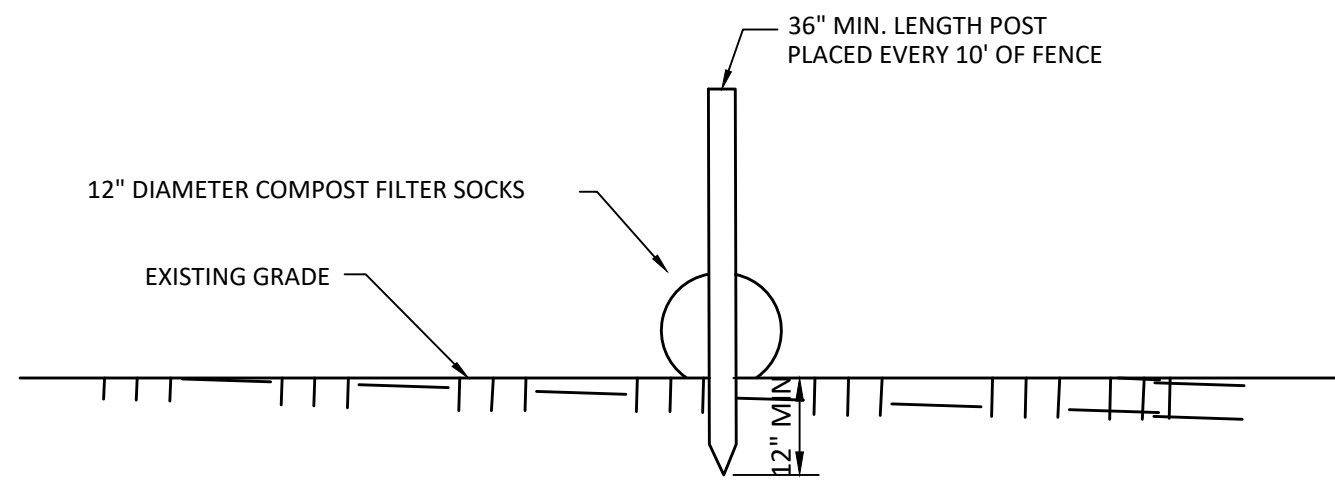
PERSPECTIVE VIEW



SECTION VIEW

CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

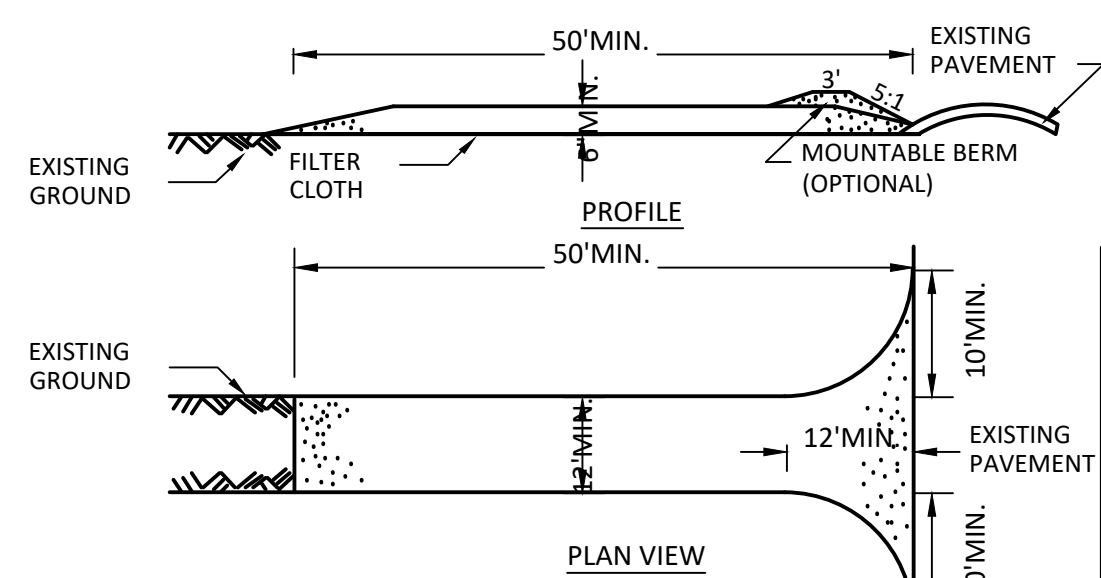


INSTALLATION NOTES:

1. LAND SURFACE SHOULD BE PREPARED BY MOWING GRASS OR MAKING SOIL OR PAVED SURFACES SMOOTH.
2. COMPOST FILTER SOCKS SHALL BE PLACED PERPENDICULAR TO STORM WATER FLOW, ACROSS THE SLOPE, SWALE, DITCH OR CHANNEL.
3. COMPOST FILTER SOCKS SHALL BE PLACED ON CONTOURS.
4. ON SOIL AND VEGETATED SURFACES, UNDER SHEET FLOW CONDITIONS, COMPOST FILTER SOCKS SHALL BE STAKED ON 10-FOOT CENTERS. UNDER CONCENTRATED FLOW CONDITIONS COMPOSITE FILTER SOCKS SHALL BE STAKED ON 5-FOOT CENTERS.
5. STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE COMPOST FILTER SOCK AND INSTALLED A MINIMUM OF 8 INCHES AND A MAXIMUM OF 12 INCHES INTO THE EXISTING SOIL, LEAVING A MINIMUM STAKE HEIGHT OF 2 INCHES ABOVE OF THE COMPOST FILTER SOCK.
6. CARE SHALL BE TAKEN TO ENSURE THAT THE STAKES DO NOT PENETRATE THE LANDFILL LINER.
7. STAKES SHALL BE 2 INCHES BY 2 INCHES HARDWOOD STAKES.
8. EDGES OF THE COMPOST FILTER SOCKS SHALL BE TURNED UPSLOPE TO PREVENT FLOW AROUND THE ENDS OF THE COMPOST FILTER SOCKS.

REMOVAL NOTES:

1. UPON REMOVAL OF THE COMPOST FILTER SOCK, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT ACCUMULATION PRIOR TO THE REMOVAL OF THE COMPOST FILTER SOCK. THE COMPOST FILTER SOCKS SHALL BE REMOVED IN THEIR ENTIRETY.
2. THE DISTURBED AREA SHALL BE SEEDED FERTILIZED AND MULCHED TO ENSURE THE VEGETATIVE COVER IS FULLY RESTORED.
3. MONITOR THE VEGETATIVE RESTORATION AREA UNTIL EXPOSED AREAS ARE FULLY STABILIZED WITH VEGETATIVE COVER.
4. THE COMPOST MATERIAL MAY BE SPREAD OVER THE LANDSCAPE OR INCORPORATED INTO THE SOIL AT THE END OF THE PROJECT, THEREBY INCREASING SOIL QUALITY AND REDUCING WASTE.
5. THE SOCK MESH SHALL BE PROPERLY DISPOSED.



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SOIL RESTORATION STANDARDS

THE OBJECTIVE IS TO DE-COMPACT THE SOILS IN THOSE AREAS WHICH WERE SUBJECT TO THE USE OF HEAVY EQUIPMENT TO RESTORE THE ORIGINAL PROPERTIES AND POROSITY OF THE SOIL, PROVIDING FOR REDUCTION OF RUNOFF AND A SUSTAINABLE GROWTH MEDIUM FOR VEGETATION. WHILE ALSO CONSIDERED AS A GREEN INFRASTRUCTURE TECHNIQUE, THIS MEASURE IS GENERALLY APPLIED DURING THE FINAL CLEANUP, SITE RESTORATION, AND LANDSCAPING PHASE OF THE PROJECT.

ALL DISTURBED AND COMPACTED AREAS THAT WILL BE UNPAVED, VEGETATED AND/OR LANDSCAPED IN THE POST-CONSTRUCTION CONDITION SHALL BE RESTORED IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS IN TABLE 5.3 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, OR TABLE 4.6 IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (SEE BELOW), LATEST EDITIONS. SOIL RESTORATION WITHIN AREAS OF SATURATED SOILS SUCH AS WETLANDS SHALL NOT BE EMPLOYED, AS IT HAS THE POTENTIAL TO CREATE A SIGNIFICANT SUSPENSION OF SOILS.

FULL SOIL RESTORATION WILL BE ACCOMPLISHED DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS WILL BE RETURNED TO ROUGH GRADE AND THE FOLLOWING STEPS WILL BE IMPLEMENTED:

1. THREE (3) INCHES OF COMPOST WILL BE APPLIED OVER THE SUBSOIL. THE COMPOST SHALL BE WELL DECOMPOSED (MATURED AT LEAST 3 MONTHS), WEED-FREE, ORGANIC MATTER. IT SHALL BE AEROBICALLY COMPOSTED, POSSESS NO OBJECTIONABLE ODORS, AND CONTAIN LESS THAN 1%, BY DRY WEIGHT, OF MAN-MADE FOREIGN MATTER. THE PHYSICAL PARAMETERS OF THE COMPOST SHALL MEET THE STANDARDS LISTED IN TABLE 5.2 - COMPOST STANDARDS TABLE IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, EXCEPT FOR "PARTICLE SIZE", 100% WILL PASS THE 1/2" SIEVE.
2. THE COMPOST LAYER WILL BE TILLED INTO THE SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, TO MIX AND CIRCULATE AIR AND COMPOST INTO SUBSOILS. TILLING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE. THE USE OF FERTILIZERS WILL BE MINIMIZED, UTILIZED ONLY WITHIN EXISTING COMMERCIAL AND/OR RESIDENTIAL LAWN AREAS, AND SHALL BE APPLIED IN ACCORDANCE WITH WESTCHESTER COUNTY LAW (SEE "APPLICATION OF FERTILIZERS", THIS SHEET).
3. ROCK-PICKING WILL BE PERFORMED UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE HAVE BEEN CLEARED.
4. TOPSOIL WILL BE APPLIED TO A MINIMUM DEPTH OF 6 INCHES. TOPSOIL SHALL BE PROVIDED FROM STOCKPILES CREATED DURING TOPSOIL SEGREGATION OPERATIONS, OR IMPORTED FROM OFFSITE SOURCES AS REQUIRED.
5. VEGETATE AREAS AS REQUIRED BY THE LANDSCAPING PLAN. USE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN THE SOIL STRUCTURE.
6. AT THE END OF THE PROJECT, THE ENVIRONMENTAL INSPECTOR SHOULD BE ABLE TO PUSH A 3/8 INCH METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.

TABLE 4.6 SOIL RESTORATION REQUIREMENTS

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES	
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES	
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING	
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HSG A&B APPLY 6 INCHES OF TOPSOIL	HSG C&D AERATE* AND APPLY 6 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES.
AREAS OF CUT OR FILL	HSG A&B AERATE* AND APPLY 6 INCHES OF TOPSOIL	HSG C&D APPLY FULL SOIL RESTORATION**	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)		
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA.	
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.		

\* AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER.

\*\* PER "DEEP RIPPING AND DE-COMPACTION, DEC 2008".

VEGETATION REQUIREMENTS:

1) SITE PREPARATION

- A. INSTALL NEEDED WATER AND EROSION CONTROL MEASURES AND BRING AREA TO BE SEED TO DESIRED GRADES USING A MINIMUM OF 4 IN. TOPSOIL.
- B. PREPARE SEEDBED BY LOOSENING SOIL TO A DEPTH OF 4-6 INCHES.
- C. LIME TO A PH OF 6.5
- D. FERTILIZE AS PER SOIL TEST OR, IF FERTILIZER MUST BE APPLIED BEFORE SOIL TEST RESULTS ARE RECEIVED, APPLY 850 POUNDS OF 5-10-10 OR EQUIVALENT PER ACRE (20 LBS/1,000 SQ. FT.)
- E. INCORPORATE LIME AND FERTILIZER IN TOP 2-4 INCHES OF TOPSOIL.
- F. SMOOTH. REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS, AND FOREIGN MATTER FROM THE SURFACE. FIRM THE SEEDBED.

2) PLANTING—SUNNY LOCATION.

UPON COMPLETING SOIL DE-COMPACTION, USE A CULTIPACKER TYPE SEEDER IF POSSIBLE. SEED TO A DEPTH OF 1/8 TO 1/4 INCH. IF SEED IS TO BE BROADCAST, CULTIPACK OR ROLL AFTER SEEDING. HYDROSEEDED, LIME AND FERTILIZER MAY BE APPLIED THROUGH THE SEEDER AND ROLLING IS NOT PRACTICAL. SEED USING THE FOLLOWING MIX AND RATES:

SPECIES (% BY WEIGHT)	LBS/1,000SQ. FT	LBS./ACRE
65% KENTUCKY BLUEGRASS BLEND	2.0-2.6	85-114
20% PERENNIAL RYEGRASS	0.6-0.8	25-35
15% FINE FESCUE	0.4-0.6	19-26
TOTAL	3.0-4.0	130-175
OR,		
100% TALL FESCUE, TURF-TYPE, FINE LEAF	3.4-4.6	150-200

3) WHEN USING THE CULTIPACKER OR BROADCAST SEED METHOD, MULCH USING SMALL GRAIN STRAW, APPLIED AT A RATE OF 2 TONS PER ACRE; AND ANCHOR WITH A NETTING OR TACKIFIER. HYDROSEED APPLICATIONS SHOULD INCLUDE MULCH, FERTILIZER AND SEED.

COMMON WHITE CLOVER CAN BE ADDED TO MIXTURES AT THE RATE OF 1-2 LBS/ACRE TO HELP MAINTAIN GREEN COLOR DURING THE DRY SUMMER PERIOD, HOWEVER, THEY WILL NOT WITHSTAND HEAVY TRAFFIC. FERTILIZING—FIRST YEAR, (SPRING SEEDLINGS) THREE TO FOUR WEEKS AFTER GERMINATION APPLY 1 POUND NITROGEN/1,000 SQUARE FEET USING A COMPLETE FERTILIZER WITH A 2-1-1 OR 4-1-3 RATIO OR AS RECOMMENDED BY SOIL TEST RESULTS. FOR SUMMER AND EARLY FALL SEEDINGS, APPLY AS ABOVE UNLESS AIR TEMPERATURES ARE ABOVE 85°F FOR EXTENDED PERIOD. WAIT UNTIL HEAT WAVE IS OVER TO FERTILIZE. FOR LATE FALL/ WINTER SEEDINGS, FERTILIZE IN SPRING. RESTRICT USE—NEW SEEDLINGS SHOULD BE PROTECTED FROM USE FOR ONE FULL YEAR TO ALLOW DEVELOPMENT OF A DENSE SOD WITH GOOD ROOT STRUCTURE.

SILT FENCE NOT TO SCALE

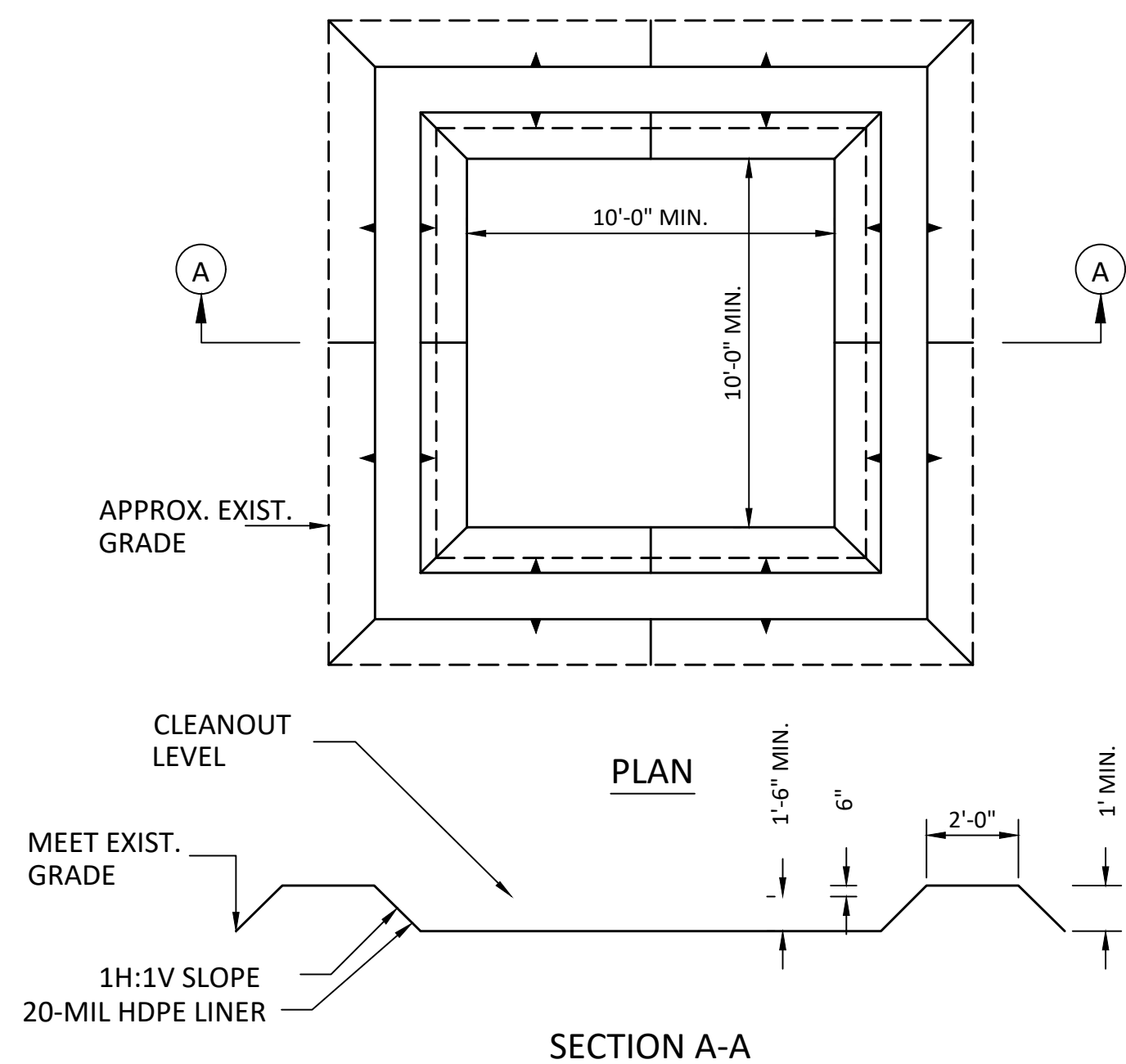
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COMPOST FILTER SOCK NOT TO SCALE

2

STABILIZED CONSTRUCTION ACCESS NOT TO SCALE

3

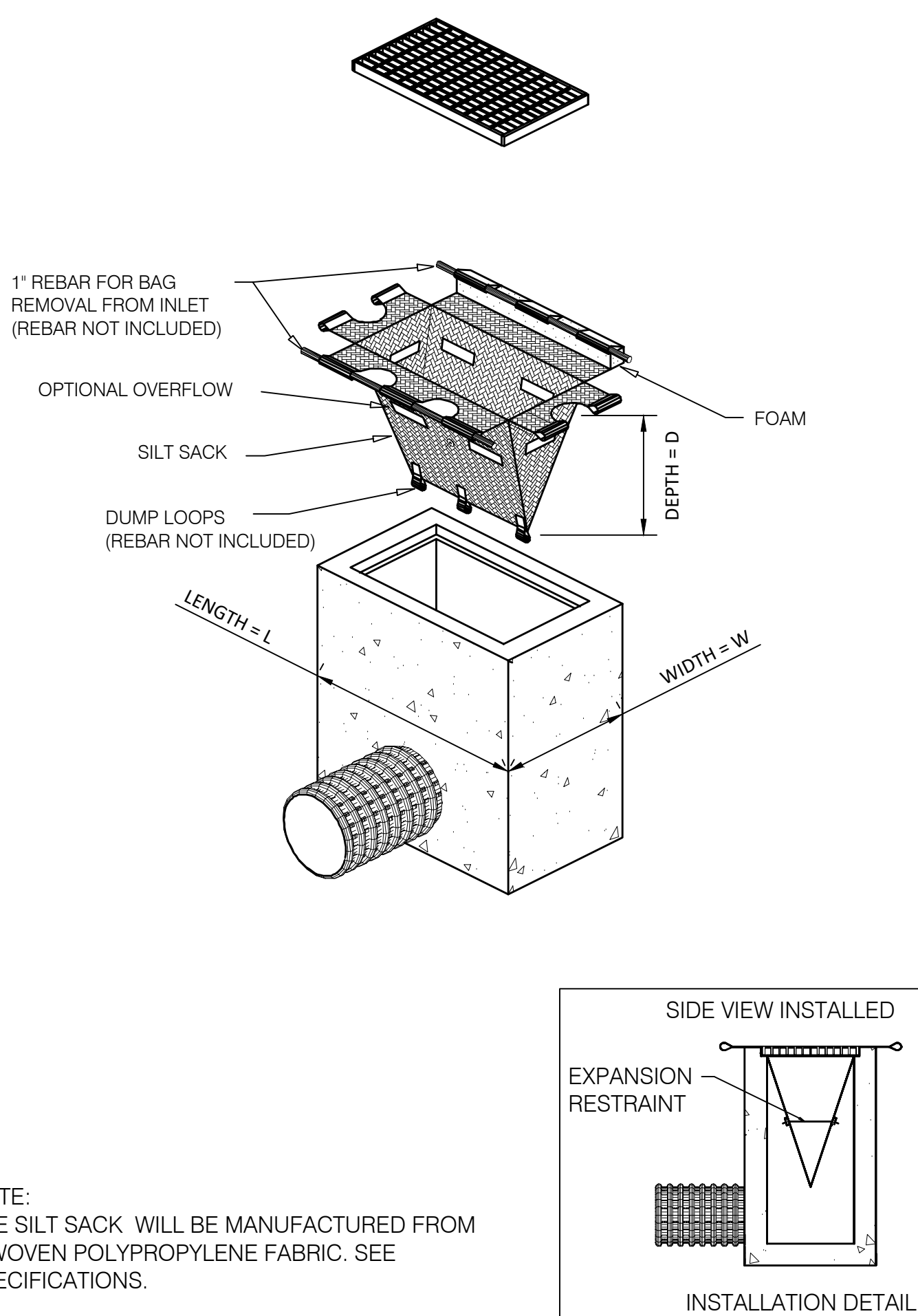


NOTE:

1. DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE READY-MIX TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS THAT HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORM WATER THAT WILL BE DISCHARGED FROM THE SITE OR IN LOCATIONS WHERE WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE CURED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES ARE FOLLOWED.
2. THE CONTRACTOR MAY USE AN ABOVE GROUND STEEL WASHOUT CONTAINER AS AN ALTERNATIVE TO THE CONCRETE WASTE WASHOUT TRAP. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL.

CONCRETE WASTE WASHOUT AREA NOT TO SCALE

4



NOTE:

THE SILT SACK WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC. SEE SPECIFICATIONS.

CATCH BASIN SILT SACK NOT TO SCALE

5

CONCRETE WASTE WASHOUT AREA NOT TO SCALE

4

CATCH BASIN SILT SACK NOT TO SCALE

5

NO.	REVISION	DATE
1	REVISED TITLE BLOCK	5/10/2022

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821 SHIQR GASHI COURT  
SECTION 48.13; BLOCK 1; LOT 6.4  
TOWN OF YORKTOWN, NY  
ARROWHEAD SUBDIVISION  
FILED MAP NO. 28948

TITLE: SITE DETAILS

Scale: NTS  
Date: 10/23/2020  
Drawn By: BMH  
Checked By: RPP  
Project No.: 19-025  
Sheet No.: 3 of 3  
Dwg. No.: C-301.00



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- TYPICAL HEADER HEIGHT SHALL BE 6'-10" UNLESS OTHERWISE NOTED.
- FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.
- ALL PICTORIAL GRADES SHOWN ARE APPROXIMATE AND BUILDER IS TO COORDINATE FINAL GRADING W/ SITE PLAN & ELEVATIONS SHOWN HERE.
- DESIGN INTENTIONS ARE ILLUSTRATED BY ELEVATIONS AND ARE TO BE FOLLOWED.
- GRADES HAVE BEEN ESTABLISHED BY PROVIDENT DESIGN ENGINEERING. SEE SITE PLAN.
- GRADES:
 

GRADE AT GARAGE	601.00
GARAGE FLOOR	601.00
BASEMENT FLOOR	593.00
FIRST FLOOR	603.00
SECOND FLOOR	613.00
AVERAGE GRADE	598.3

**GENERAL NOTES**

- DO NOT SCALE DIMENSIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS). SEE 'BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA' FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE 2020 RCNYS AND THE 2020 ECCCNYS.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN. AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE 2020 RCNYS.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADS INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
  - IF ALTERED
  - IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED
  - IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT/OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE IDENTIFIED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- THE BUILDER MUST VERIFY THAT THIS DWELLING IS NOT LOCATED IN FLOODWAY AS DEPICTED IN THE LATEST TOWN F.I.R.M. MAP.
- BUILDER SHALL FILE SEPARATE PLANS FOR WASTE WATER DISPOSAL AND DOMESTIC WATER SUPPLY.
- BUILDER SHALL FILE SEPARATELY PLOT PLAN INDICATED FRONT, SIDE AND REAR YARD DIMENSIONS, ELEVATIONS AT DRIVEWAY, GARAGE AND FINISHED FIRST FLOOR.
- ALL EXTERIOR WALLS AND COMMON TO UNHEATED SPACES SHALL BE 2X6 STUDS @ 16" O.C.
- ALL INTERIOR WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- PER 2020 RCNYS, STAIR TREAD MINIMUM WIDTH SHALL BE 9", PLUS 1-1/8" NOSING FOR A CLOSED STAIRWAY. MAXIMUM RISER HEIGHT SHALL BE 8-1/4". TOLERANCE ON TREAD AND RISER SHALL NOT EXCEED 1/8". MINIMUM HEADROOM OVER ANY PORTION OF THE FIXED STAIRWAY SHALL NOT BE LESS THAN 6'-8". ALL STAIRS SHALL HAVE CONTINUOUS RAILINGS 2'-10" TO 3'-2" ABOVE NOSING. ALL PORCHES, BALCONIES OR RAISED FLOOR AREAS GREATER THAN 30" ABOVE FLOOR SHALL HAVE GUARD RAILS NOT LESS THAN 36" HIGH. GUARDS SHALL NOT ALLOW A SPHERE GREATER THAN 4" PASS THRU INTERMEDIATE RAILS.
- HEATING DUCT DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE HEATING CONTRACTOR. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY EITHER ROUGH-IN TEST OR POST-CONSTRUCTION TEST PER 2020 ECCCNYS R403.3 UNLESS ALL DUCTS ARE WITHIN BUILDING THERMAL ENVELOPE.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR. COOKING EXHAUST HOOD TO COMPLY WITH 2020 RCNYS M1503
- UTILITY ROOM SHALL BE VENTED TO EXTERIOR TO PROVIDED SUFFICIENT COMBUSTION AIR PRESCRIBED BY HEATING UNIT MANUFACTURER.
- ATTIC SHALL BE VENTED USING EITHER EAWE, SOFFIT OR RIDGE VENTS.
- SMOKE DETECTORS SHALL BE INSTALLED BEFORE WIRING ELECTRICAL SWITCHES.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 2020 RCNYS & NFPA 70.
- ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RCNYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.
- PROVIDE AT LEAST ONE PROGRAMMABLE THERMOSTAT.
- 110V SMOKE DETECTOR WITH BATTERY BACKUP (INTERCONNECTED TO ALL OTHER SMOKE DETECTORS) SHALL BE INSTALLED IN EACH EXISTING BEDROOM AND IMMEDIATELY OUTSIDE OF THE SLEEPING AREA. HARD WIRE A CARBON MONOXIDE DETECTOR SHALL ALSO BE INSTALLED OUTSIDE OF SLEEPING AREA.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N5 CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RCNYS FOR TERMITES PROTECTION (R318) BY REQUIRING PRESSURE PERSERVATIVELY TREATED WOOD AS PRESCRIBED IN SECTION R318.1 AND FOR PROTECTION AGAINST DECAY (R317).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH 2020 RCNYS. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
- TESTING SHALL BE PERFORMED TO VERIFY ACCEPTABLE AIR LEAKAGE RATE PER 2020 ECCCNYS R402.4.1.2. AIR LEAKAGE SHALL NOT EXCEED 3 AIR CHANGES PER HOUR.
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEMS IS REQUIRED. DESIGN SHALL BE ESTABLISHED BY 2020 RCNYS M1505 AND PROVIDED BY HVAC CONTRACTOR.
- FIREPLACE SHALL BE PROVIDED WITH TEMPERED GLASS DOORS.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYGRR 64.5b

**FLOOR LOAD SCHEDULE**

<b>DEAD LOAD</b>	
FLYWOOD	1.5
CEILING	2.5
WOOD FRAMING	2.0
LIGHTING, PIPING & MISC.	2.0
	10.0
<b>LIVE LOAD</b>	
ALL AREAS EXCEPT SLEEPING SLEEPING AREAS	40.0
	30.0
<b>DESIGN LOAD</b>	
ALL AREAS EXCEPT SLEEPING SLEEPING AREAS	50.0 PSF
	40.0 PSF

**ATTIC FLOOR SCHEDULE**

<b>DEAD LOAD</b>	
FLYWOOD	1.5
CEILING	2.5
WOOD FRAMING	2.0
LIGHTING, PIPING & MISC.	2.0
	10.0
<b>LIVE LOAD</b>	
STORAGE	20.0
<b>DESIGN LOAD</b>	
	30.0 PSF

**ROOF LOAD SCHEDULE**

<b>DEAD LOAD</b>	
ROOFING	2.5
INSULATION	1.0
FLYWOOD	1.0
WOOD FRAMING	1.5
CEILING	2.5
LIGHTING, PIPING & MISC.	1.5
<b>LIVE LOAD</b>	
SNOW LOADING	10.0
	30.0
<b>DESIGN LOAD</b>	
	40.0 PSF

**SQUARE FOOTAGE**

FIRST FLOOR AREA	2480 SF
SECOND FLOOR AREA	1100 SF
TOTAL	3580 SF

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



**LINDA J. ZWART**  
ARCHITECT

31 MEADOWOOD ROAD  
MONTGOMERY, NY 12541  
845-361-2461

LICENSED: NEW YORK STATE

S/B/L 48.13/1/6.4  
821 SHIQR GASHI

NEW RESIDENCE FOR:  
**GASHI**  
TOWN OF YORKTOWN  
COUNTY OF WESTCHESTER, NY

**GENERAL NOTES & ELEVATIONS**

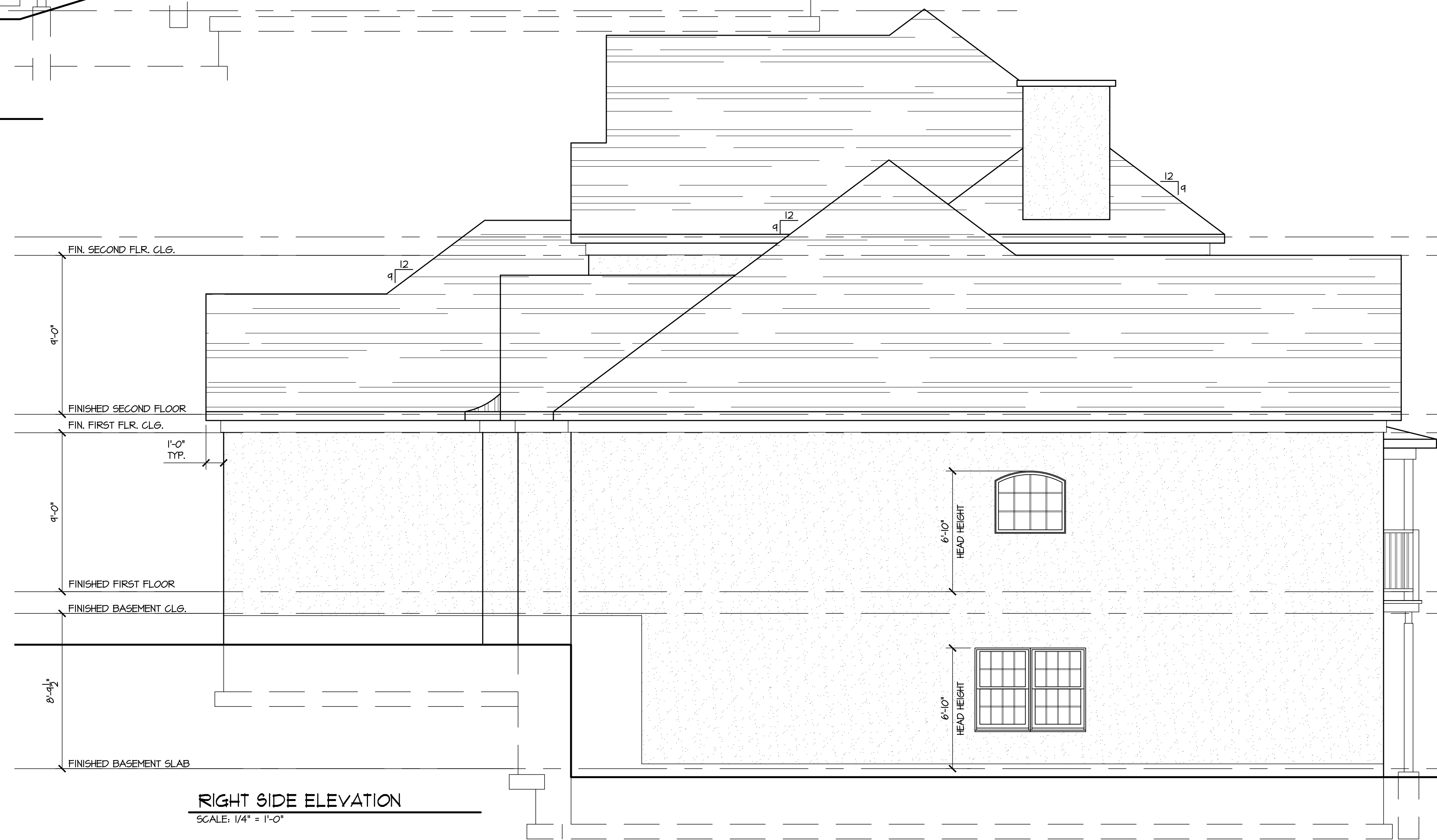
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JOB# 1820

1 OF 8





**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

**ZONING ANALYSIS**

TAX DESIGNATION 5-B-L	SECTION 48.12, BLOCK 1, LOT 6.4	
PROJECT DESCRIPTION	SINGLE FAMILY RESIDENCE	
SITE ZONING	RI-200	
<b>ITEM</b>	<b>REQUIRED/ALLOWED</b>	<b>PROPOSED</b>
LOT AREA (S.F.)	200,000 S.F.	234,858 S.F.
LOT AREA (AC.)	4.59 AC.	5.3916 AC.
FRONTAGE AT STREET LINE	200 FT	NOTE 1
MAX BLDG COVERAGE	10%	1.62%
MIN. REQUIRED YARD AREAS		3,808
FRONT YARD	75'	
REAR YARD	75'	
TOTAL OF TWO SIDE YARDS	23'	NOTE 2
SIDE YARDS	60'	NOTE 2
MIN. USABLE FLOOR AREA	1,200 SF	
MAX HEIGHT MAIN BLDG	35'	NOTE 4
PARKING REQUIRED	5	5 - NOTE 3
<p>NOTES</p> <p>1. TOWN OF YORKTOWN TOWN BOARD, ON AUGUST 1, 2006, GRANTED FLEXIBILITY FROM LOT FRONTAGE.</p> <p>2. TOWN OF YORKTOWN TOWN BOARD, ON AUGUST 1, 2006, GRANTED FLEXIBILITY FROM SETBACK REQUIREMENTS.</p> <p>3. PARKING SPACES PROVIDED AS FOLLOWS: (a) 2 SPACES IN GARAGE (b) 3 SPACES IN 30' x 30' DRIVEWAY/PARKING AREA</p> <p>4. BUILDING HEIGHT = MEAN LEVEL OF ROOF HEIGHT BETWEEN EAVES AND HIGHEST POINT OF ROOF AND AVERAGE LEVEL OF FINISHED GRADE AROUND EXTERIOR WALL OF BUILDING</p>		

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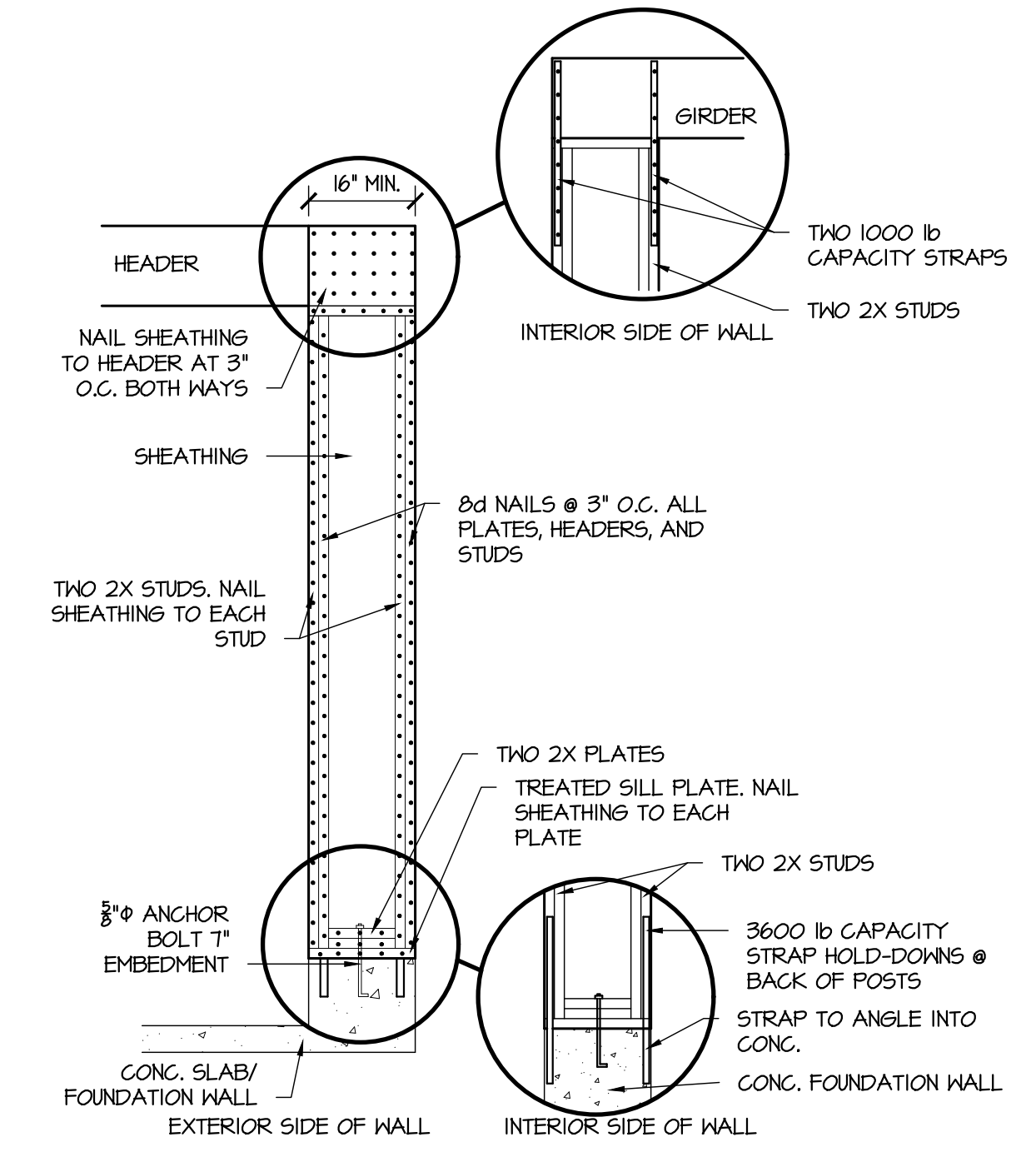
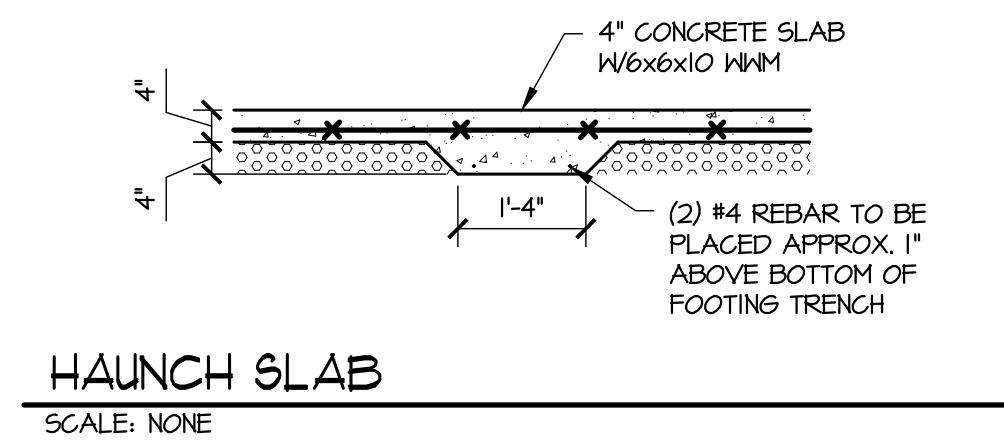
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYGRR 64.50

**FOUNDATION NOTES**

- 4" CONCRETE SLAB WITH 6X6X10/10 W/M ON 6 MIL POLY VAPOR BARRIER
- ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED
- 8" POURED CONCRETE WALLS ON 10"x20" FOOTINGS
- DOUBLE JOISTS UNDER PARALLEL WALLS ABOVE
- BASEMENT IS UNHEATED
- FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.

**FOUNDATION LEGEND**

- INTERIOR COLUMN: 3" Ø STEEL COLUMN WITH COLUMN CAP/BEAM SADDLE ON 24" x 24" x 12" CONCRETE FOOTING. FOOTING SIZE TYPICAL UNLESS OTHERWISE NOTED.
- INTERIOR COLUMN: (4)2x4 BUILT UP COLUMN WITH COLUMN CAP/BEAM SADDLE ON 24" x 24" x 12" CONCRETE FOOTING. FOOTING SIZE TYPICAL UNLESS OTHERWISE NOTED.
- INTERIOR COLUMNS SHALL BE (4)2x4 BUILT UP COLUMN WITHIN STUD WALL



DETAILS ABOVE BASED ON APA STURD-I-FRAME BRACING PANEL FOR MORE INFORMATION ON THIS SYSTEM SEE WWW.APAWOOD.ORG

SITE BUILT SHEAR WALLS DESCRIBED ABOVE MAY BE SUBSTITUTED WITH SIMPSON STRONG-WALL GARAGE PORTAL SYSTEM, LEVEL SHEAR BRACE WALL OR EQUAL. THE MANUFACTURED SHEAR WALL PANELS ARE MADE IN STANDARD HEIGHTS AND SHOULD BE COORDINATED WITH FINISHED FOUNDATION STEM WALL HEIGHT FOR PROPER GARAGE DOOR OPENING

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**BUILDING ENVELOPE THERMAL COMPONENT CRITERIA**

BUILDING COMPONENT	MIN. R-VALUE	REMARKS
CEILING	R-30	INCLUDING ALL TRAY CEILING AREAS
ALL WALLS	R-21	
WALL AROUND GARAGE	R-21	
WALL AROUND STAIR	R-15	
FLOOR OVER UNHEATED SPACE OR OUTSIDE AIR	R-30	

\*COMPLIANCE WITH THE 2020 NYS ENERGY CONSERVATION CODE HAS BEEN ESTABLISHED THROUGH USE OF THE APPROVED RESCHECK SOFTWARE. COMPLIANCE REPORT SHALL BE SUBMITTED WITH CONSTRUCTION DOCUMENTS. I, LINDA ZWART, CONFIRM TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS COMPLY WITH THE ENERGY CODE. MINIMUM REQUIREMENTS ARE LISTED ABOVE, IT IS RECOMMENDED BY THE ARCHITECT THAT INSULATION BE MAXIMIZED WHERE EVER POSSIBLE DURING CONSTRUCTION. ALL DUCTS LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED. R-8 FOR ALL SUPPLY DUCTS, R-4 FOR ALL RETURN DUCTS

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30	115	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	NO	YES	REFER TO FIRM MAP	1000	PER JURISDICTION

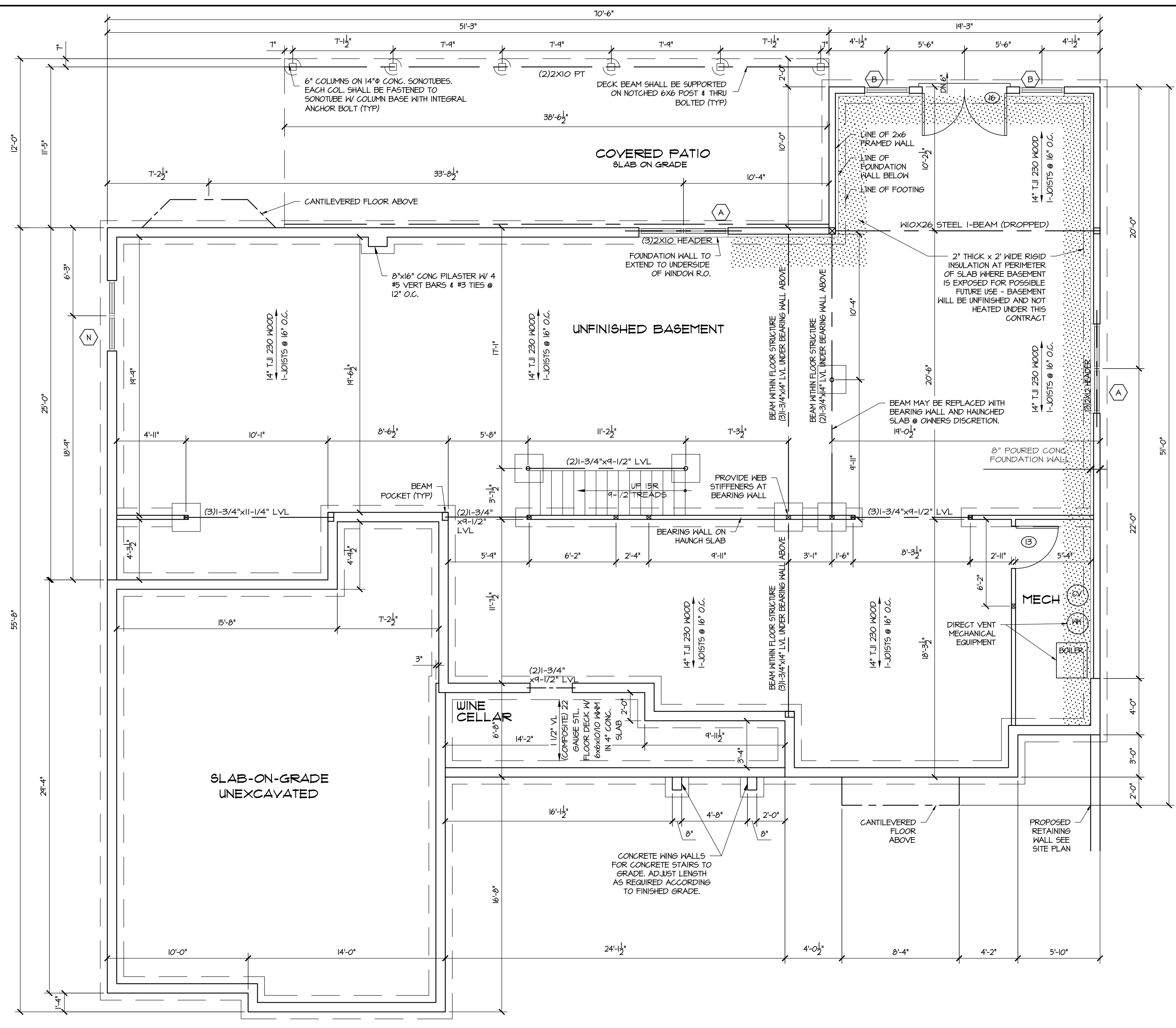
**MANUAL J DESIGN CRITERIA**

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
501	42	PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	68	78	PER JURISDICTION
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COINCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	72	PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	

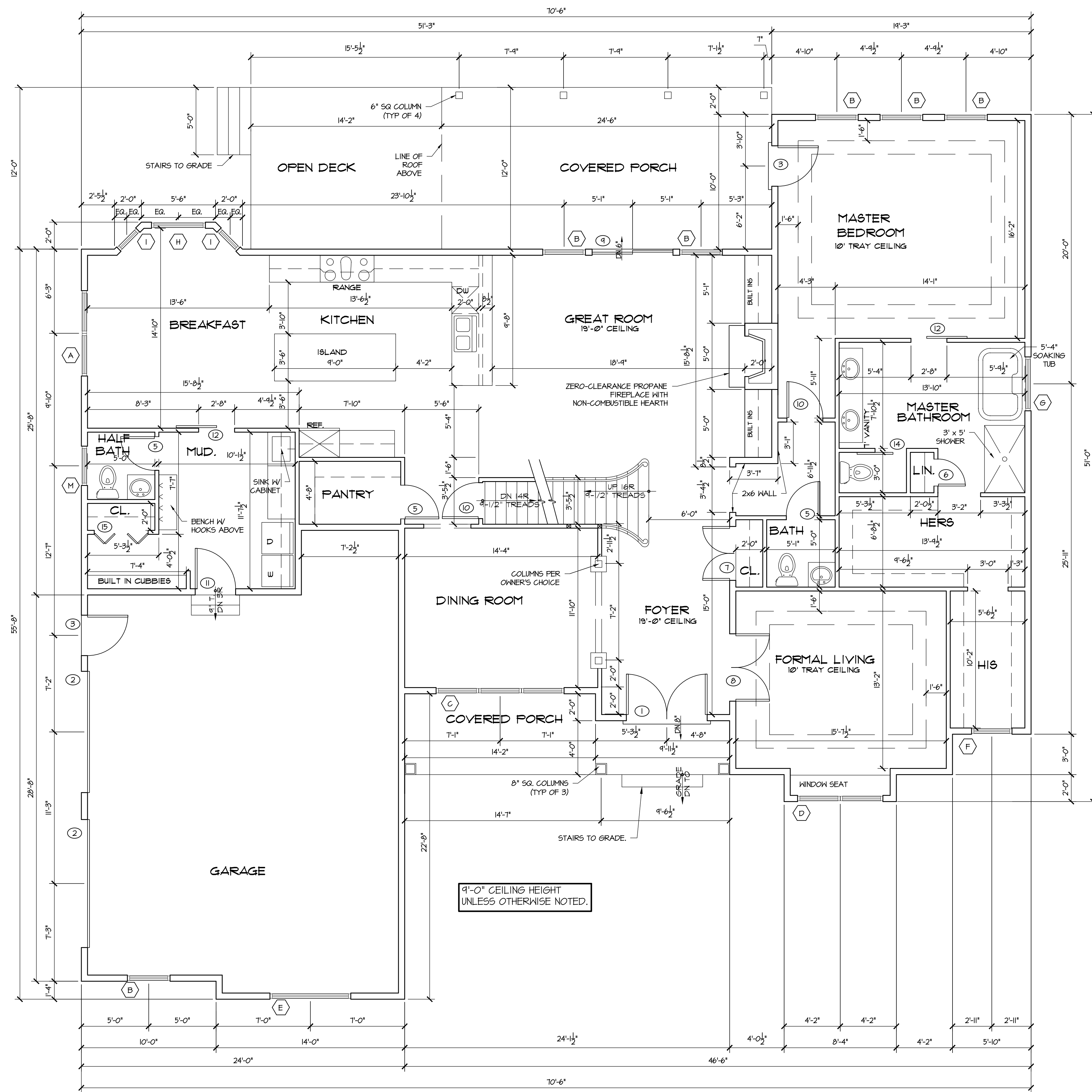
**FOUNDATION PLAN**

DATE: 30 JULY 2020  
REV: 10 MAY 2022  
JOB# 1820

3 OF 8



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



FRENCH STYLE EXTERIOR (GLASS) DOORS SHALL HAVE LOW-E GLASS WITH MIN. U-VALUE OF 0.3 OR BETTER TO MEET ENERGY CODE COMPLIANCE. DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL HAVE MIN. U-VALUE OF 0.4 OR BETTER TO MEET ENERGY CODE COMPLIANCE.

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**DOOR SCHEDULE**

MARK	DESCRIPTION
1	6'-0" EXTERIOR DOUBLE DOORS
2	9' WIDE X 8' HIGH OVERHEAD GARAGE DOOR
3	3'-0" EXTERIOR DOOR
4	2'-10" INTERIOR BARN STYLE SLIDING DOOR (2'-6" OPENING)
5	2'-6" INTERIOR DOOR
6	2'-0" INTERIOR DOOR
7	4'-0" WIDE DOUBLE DOORS
8	5'-0" INTERIOR DOUBLE DOORS
9	6'-0" WIDE EXTERIOR GLIDING DOORS
10	2'-8" INTERIOR DOOR
11	3'-0" FIRE DOOR
12	3'-0" INTERIOR BARN STYLE SLIDING DOOR (2'-8" OPENING)
13	3'-0" INTERIOR DOOR
14	2'-6" INTERIOR BARN STYLE SLIDING DOOR (2'-4" OPENING)
15	4'-0" BIFOLD DOORS
16	6'-0" EXTERIOR FRENCH STYLE DOUBLE DOORS

**WINDOW SCHEDULE**

MARK	DESCRIPTION	SIZE/MODEL
A	(2) DOUBLE HUNG	2-TW3046
B	DOUBLE HUNG	TW3046
C	(3) DOUBLE HUNG	3-TW3052
D	(2) DOUBLE HUNG	2-TW3052
E	ARCHED TOP WINDOW	AFFW605
F	DOUBLE HUNG	TW2646
G	ARCHED TOP WINDOW (TEMPERED GLASS REQUIRED)	AFC23
H	PICTURE WINDOW	DHP31042
I	DOUBLE HUNG	TW2042
J	PICTURE WINDOW	P5045
K	PICTURE WINDOW	P6045
L	ARCHED TOP WINDOW	AFFW604
M	DOUBLE HUNG	TW21046
N	GLIDING	G54

WINDOWS ARE TYPICAL OF ANDERSEN WINDOWS, WITH LOW-E GLAZING (U-VALUE OF 0.30 OR BETTER) TO MEET ENERGY CODE COMPLIANCE.

**LIGHT & VENT SCHEDULE**

ROOM		REQUIRED		PROVIDED	
		LIGHT (SF)	VENT (SF)	LIGHT (SF)	VENT (SF)
MASTER BEDROOM	(322 SF)	25.76	12.88	30.93	33.06
GREAT ROOM	(331 SF)	26.96	13.48	103.6	26.02
BREAKFAST	(181 SF)	14.96	7.48	46.7	17.9
DINING ROOM	(170 SF)	13.6	6.8	36.09	19.56
FORMAL LIVING	(220 SF)	17.6	8.8	24.06	13.04
BEDROOM #1	(145 SF)	11.6	5.8	20.62	11.3
BEDROOM #2	(166 SF)	13.28	6.64	30.93	16.95
BEDROOM #3	(146 SF)	11.68	5.84	20.62	11.3
PLAYROOM	(158 SF)	12.64	6.32	20.62	11.3

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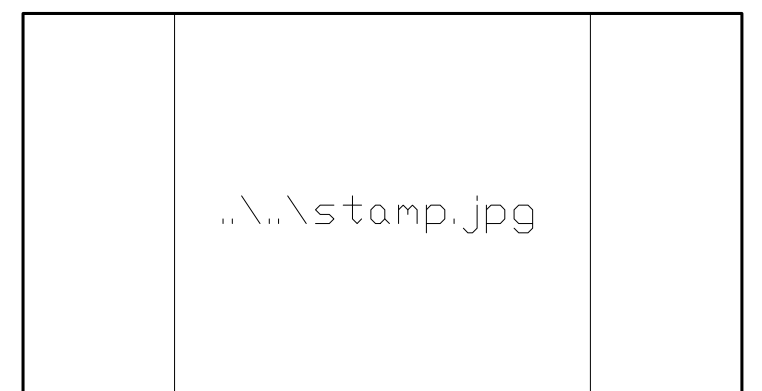
**PLAN NOTES**

- HEADERS SHALL BE (2)2x10 UNLESS OTHERWISE NOTED. WINDOW HEAD HEIGHT SHALL BE 6'-10".
- CEILING HEIGHT SHALL BE 9'-0" UNLESS OTHERWISE NOTED.
- FRONT PORCH IS SHOWN WITHOUT GUARD RAILINGS. PORCH FLOOR TO FINISHED GRADE SHALL BE NO GREATER THAN 30".

**GARAGE NOTES**

- 5/8" TYPE 'X' GWB THROUGHOUT GARAGE & 1/2" TYPE 'X' GWB ON OPPOSITE SIDE OF COMMON WALL.
- SELF CLOSING TYPE 'X' FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.
- MINIMUM 2" PITCH IN GARAGE FLOOR TOWARD GARAGE DOORS.

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**LINDA J. ZWART**  
ARCHITECT

31 MEADOWOOD ROAD  
MONTGOMERY, NY 12544  
845-361-2969

LICENSED: NEW YORK STATE

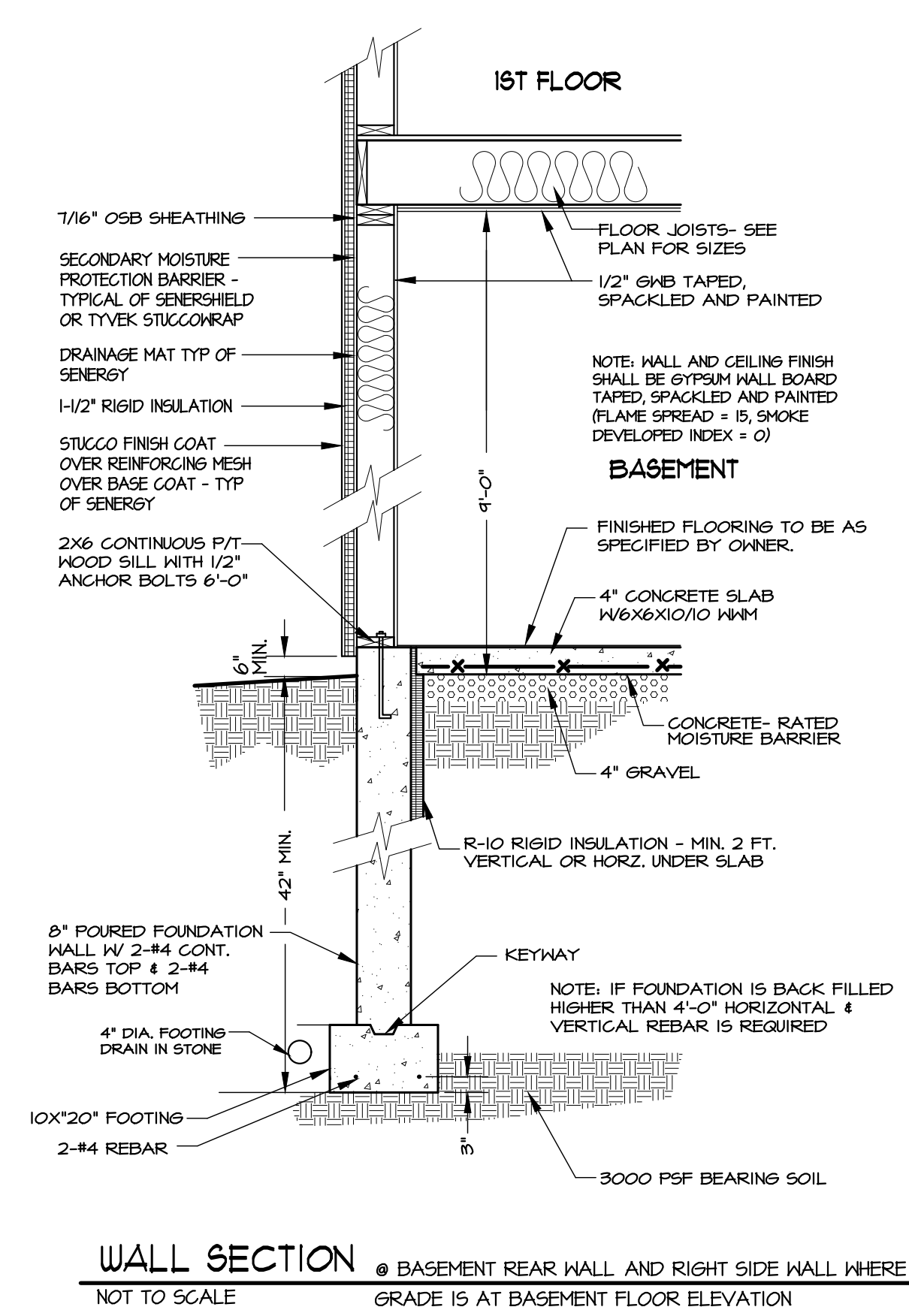
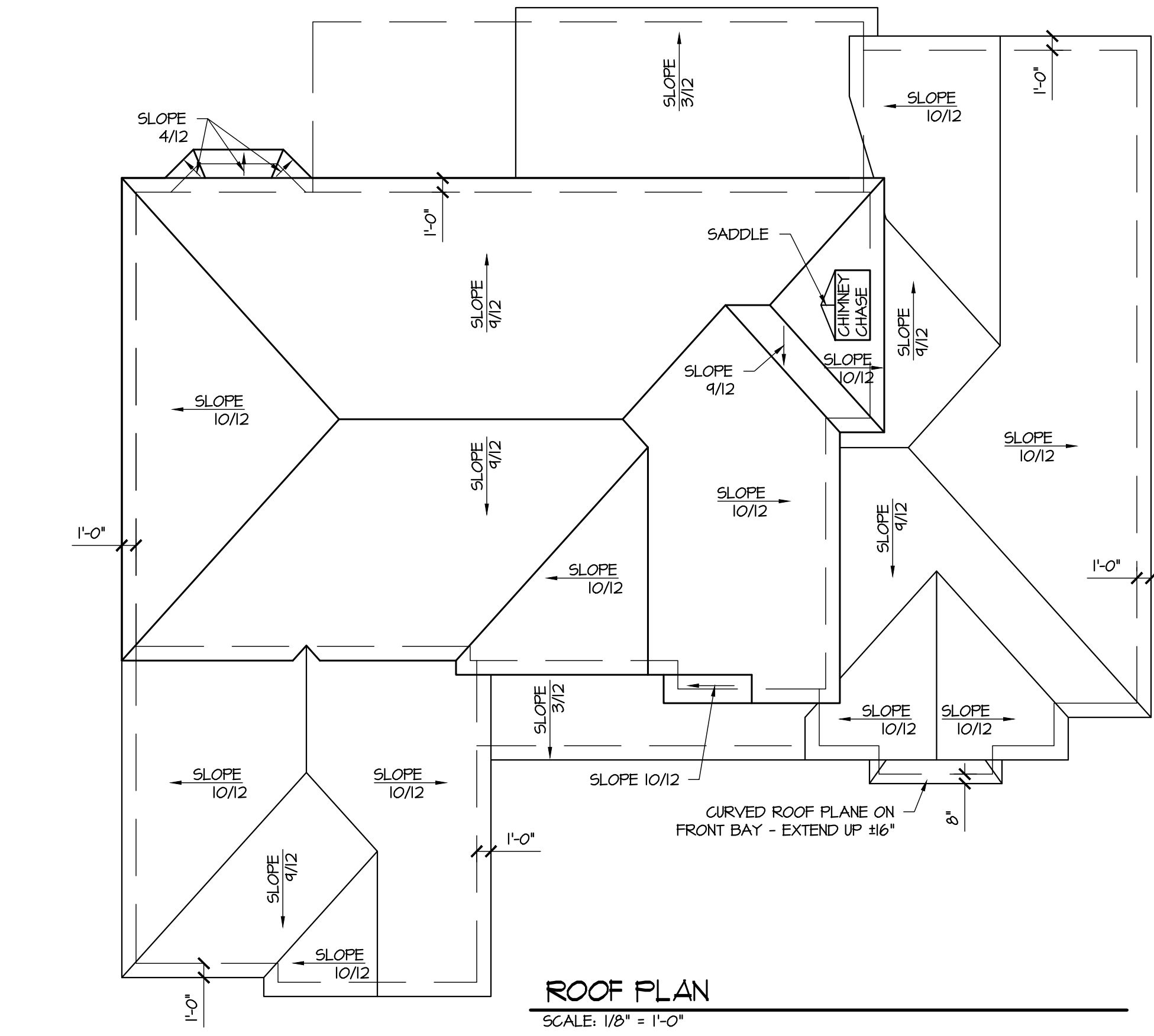
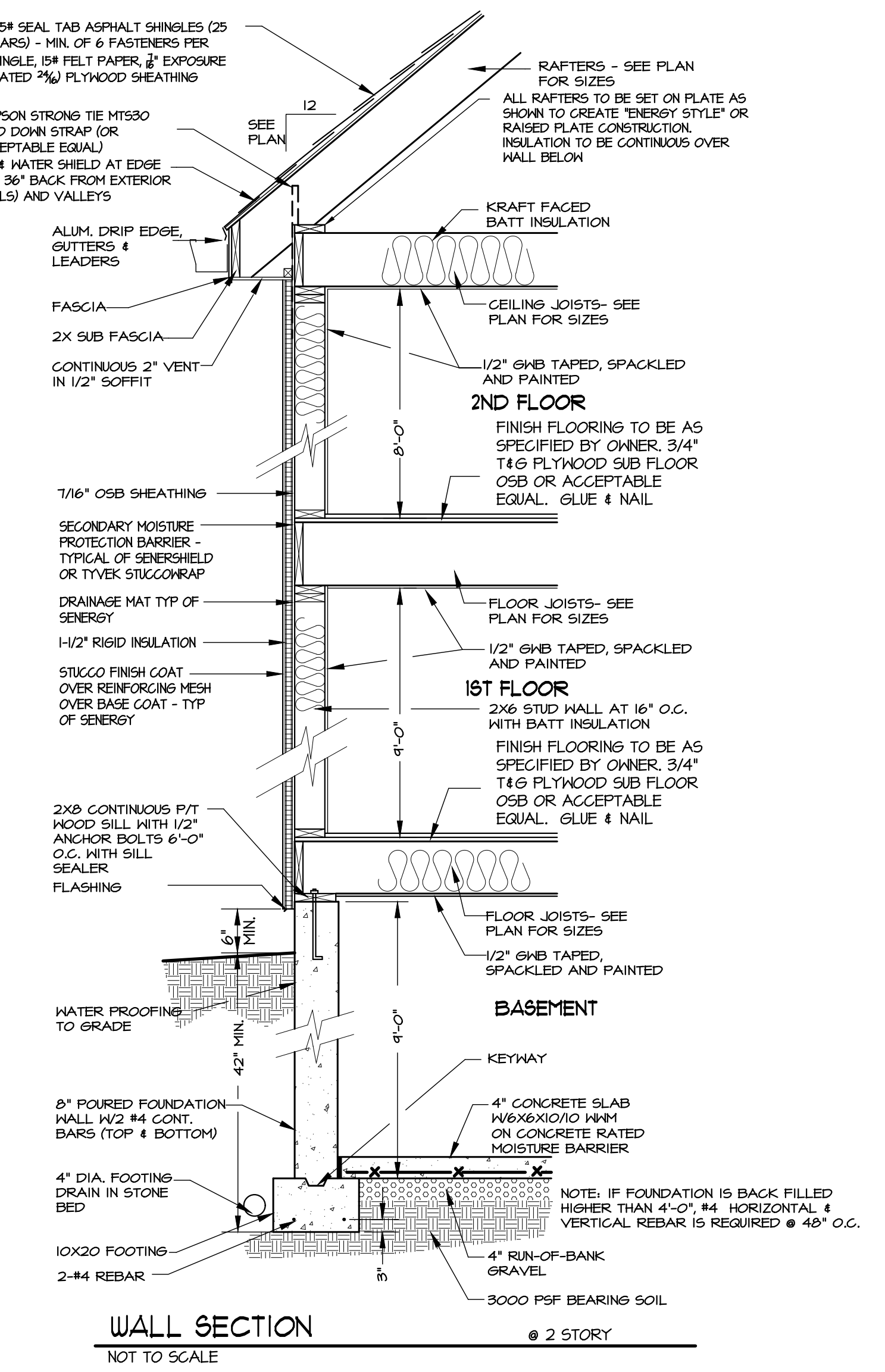
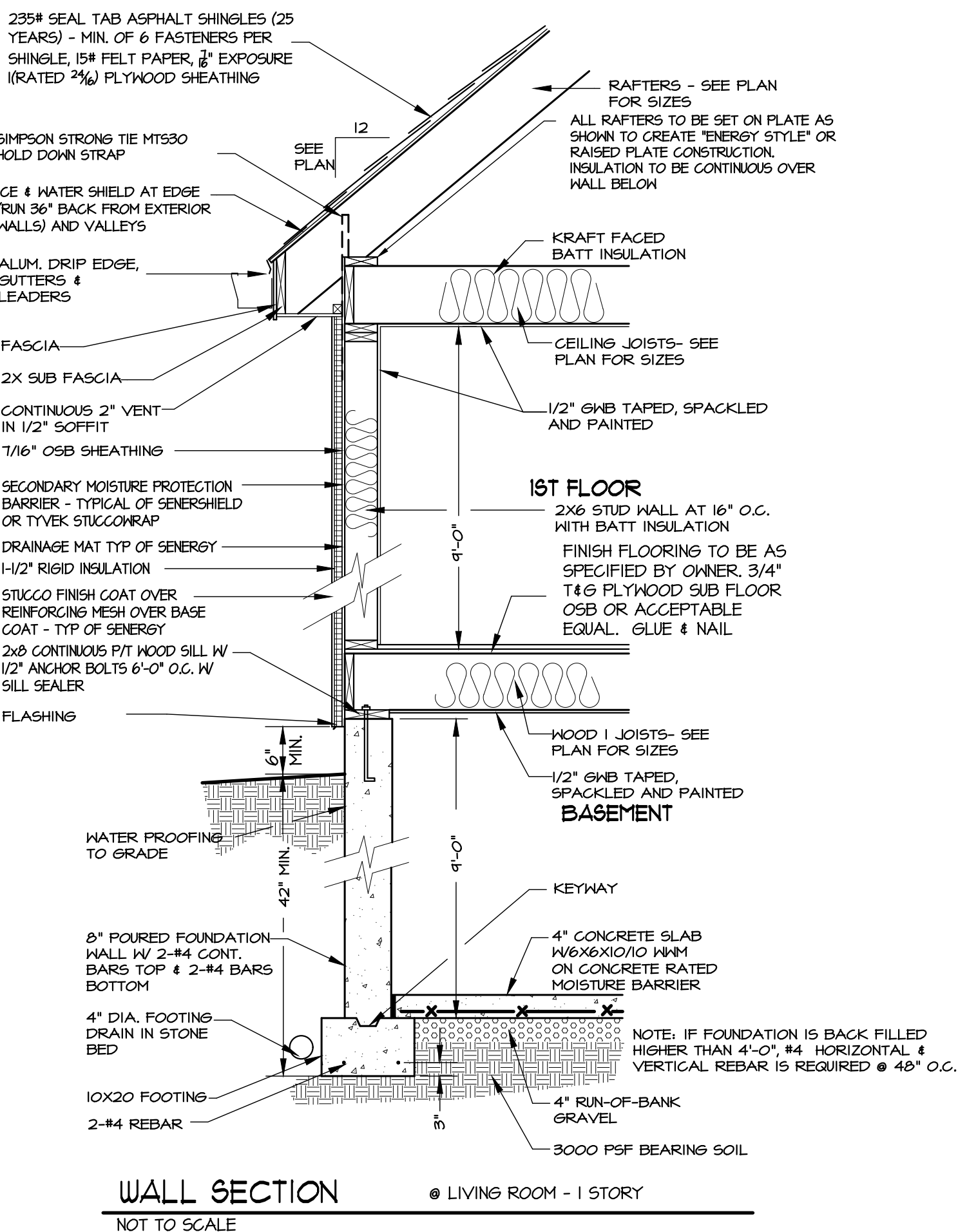
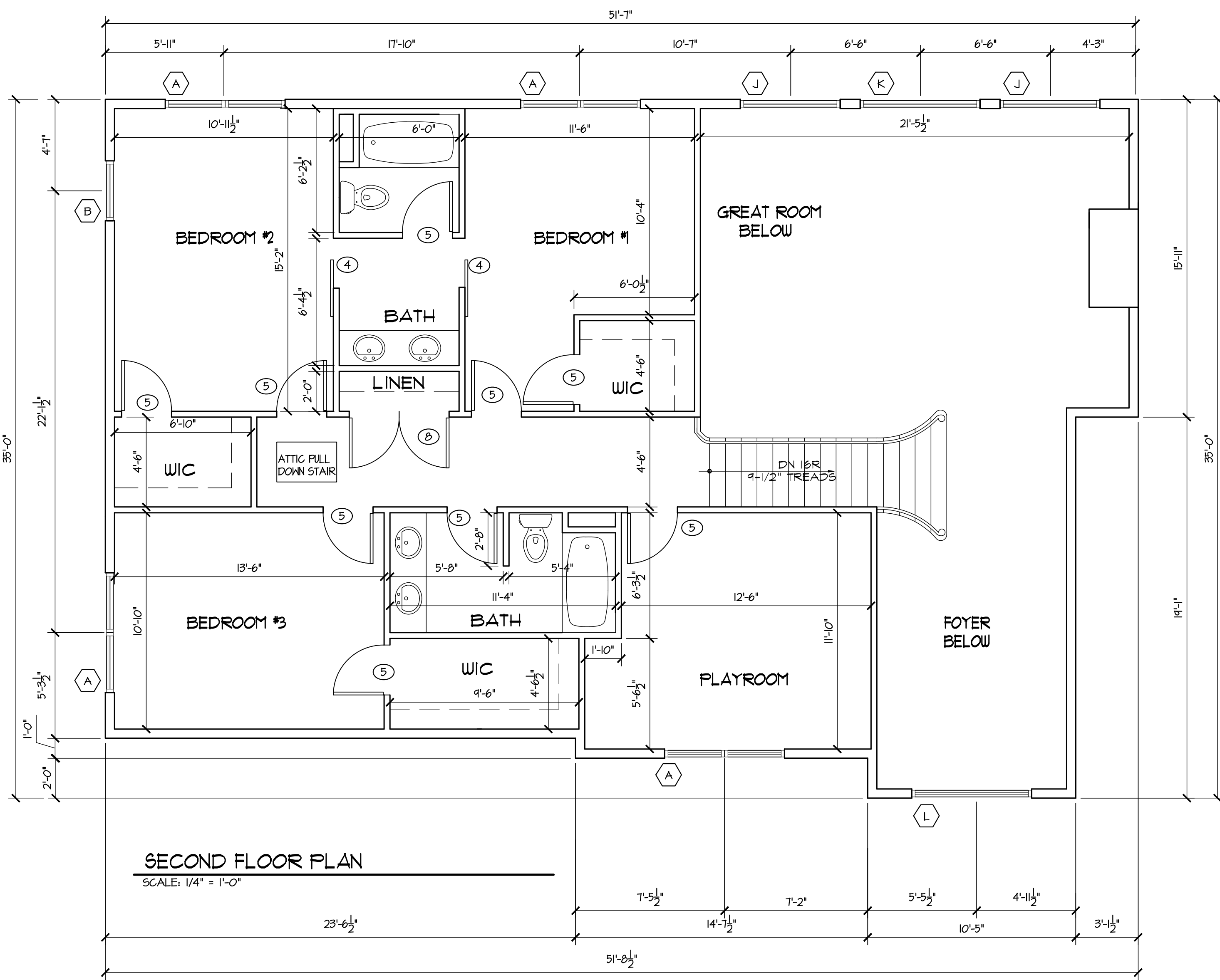
S/B/L 48.13/1/6.4  
821 SHIQR GASHI

NEW RESIDENCE FOR:  
**GASHI**  
TOWN OF YORKTOWN  
COUNTY OF WESTCHESTER, NY

**FIRST FLOOR PLAN & SCHEDULES**

DATE: 30 JULY 2020  
REV: 10 MAY 2022  
JOB# 1820

4 OF 8



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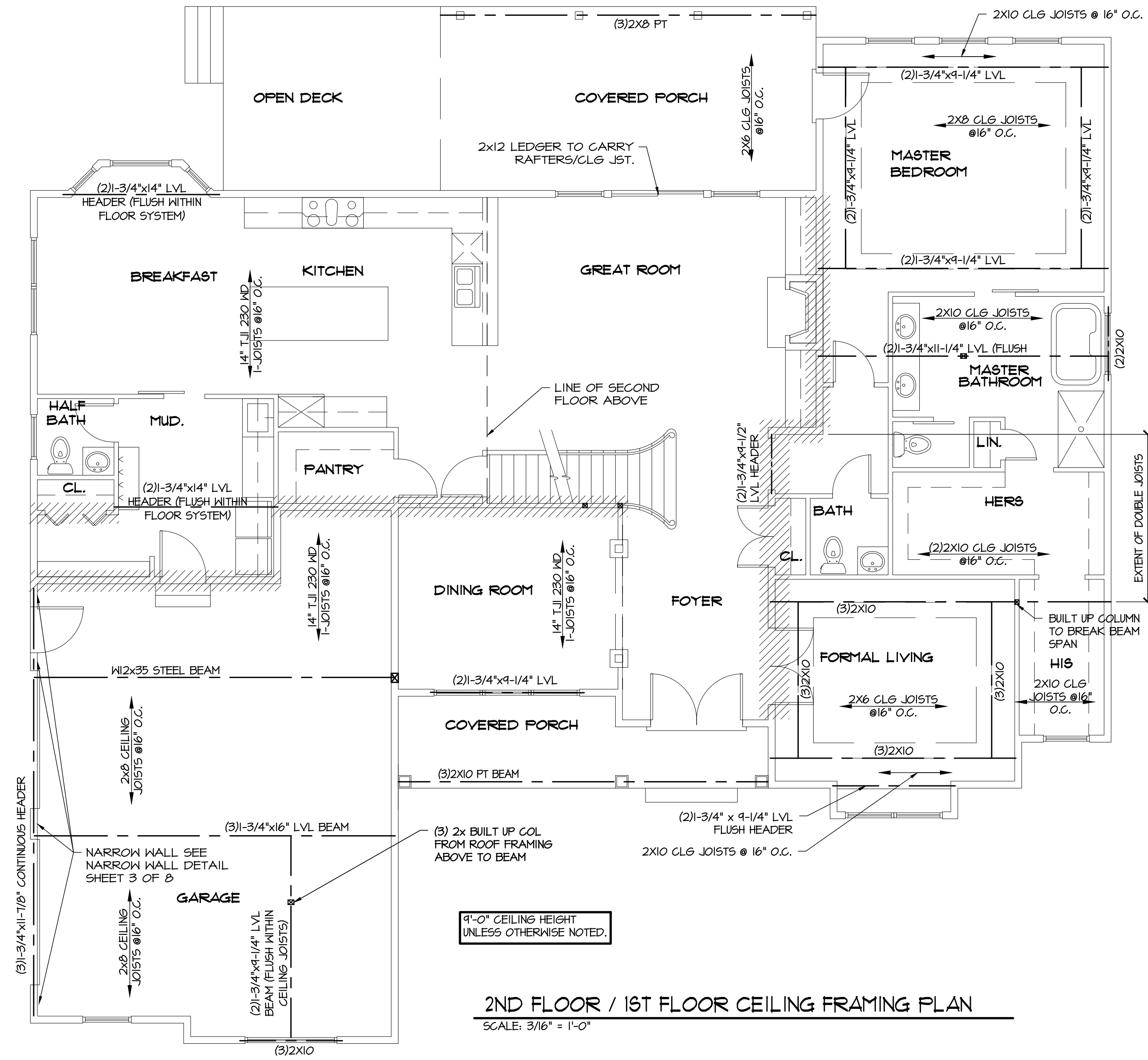
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S/B/L 48.13/1/6.4  
821 SHIQR GASHI  
NEW RESIDENCE FOR:  
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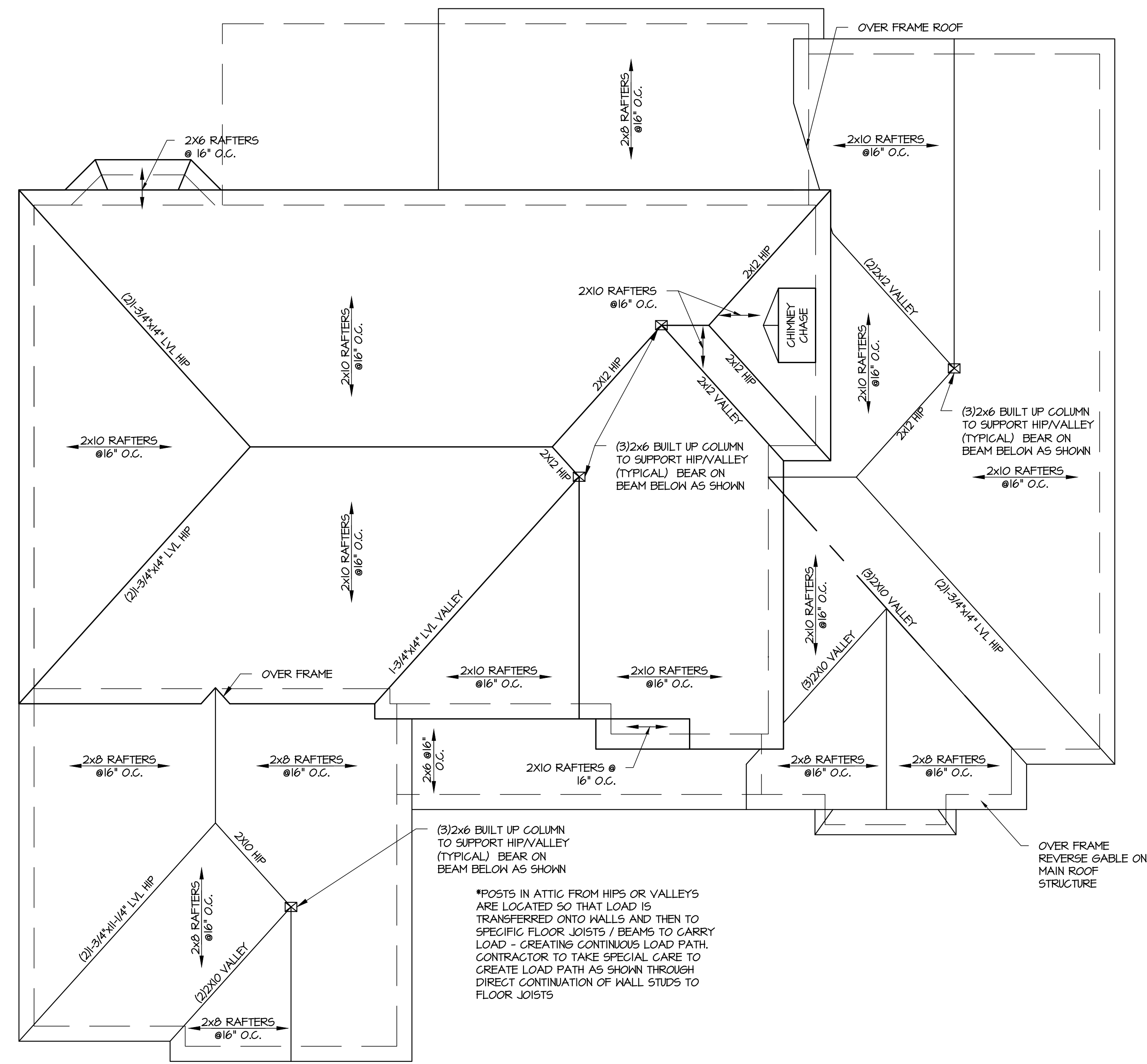
**SECOND FLOOR PLAN & WALL SECTIONS**

DATE: 30 JULY 2020  
REV: 10 MAY 2022  
JOB# 1820

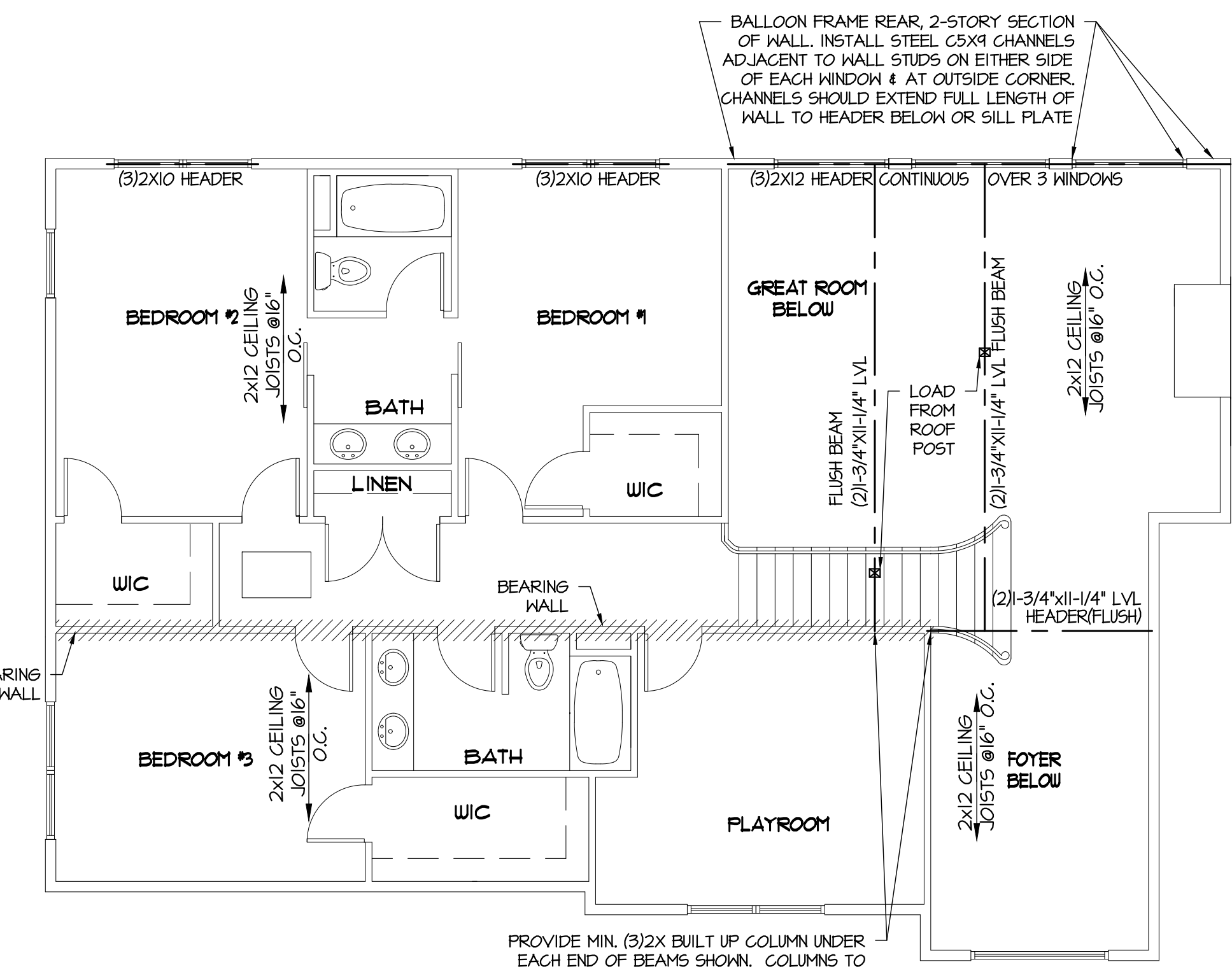
5 OF 8



**2ND FLOOR / 1ST FLOOR CEILING FRAMING PLAN**  
SCALE: 3/16" = 1'-0"



**ROOF FRAMING PLAN**  
SCALE: 3/16" = 1'-0"



**CEILING FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

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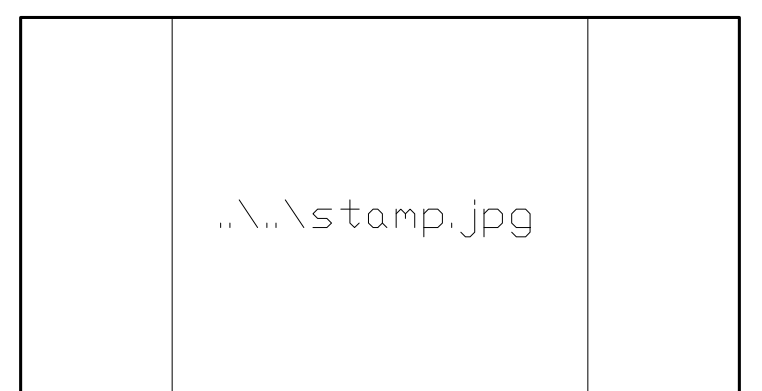
**FRAMING NOTES**

- FRAMING PLAN FOR ILLUSTRATIVE PURPOSES & MEMBER SIZING ONLY. NOT ALL MEMBERS OR COMPONENTS SHOWN.
- HEADERS SHALL BE (2)2X10, UNLESS OTHERWISE NOTED
- ALL STRUCTURAL CALCULATIONS REQUIRING LVL MEMBERS ARE BASED ON TRUSS JOIST MICROLAM 1.1E LVL
- ALL BUILT-UP COLUMN SUPPORTING STRUCTURAL BEAMS SHALL RUN CONTINUOUS FROM ROOF/CEILING TO ESTABLISH A CONTINUOUS LOAD PATH TO FOUNDATION
- ALL RIDGES, HIP RIDGES, AND VALLEYS SHALL BE 2X12 UNLESS OTHERWISE NOTED
- PROVIDE SQUASH BLOCKING AT LOCATIONS OF POINT LOADS.
- ALL BUILT UP COLUMNS SHALL BE MINIMUM (4)2x UNLESS OTHERWISE NOTED.

**FRAMING PLAN LEGEND**

- ////// BEARING WALL
- > SLOPED CEILING

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S/B/L 48.13/1/6.4  
821 SHIQR GASHI  
NEW RESIDENCE FOR:  
**GASHI**  
TOWN OF YORKTOWN  
COUNTY OF WESTCHESTER, NY

**FRAMING PLANS**

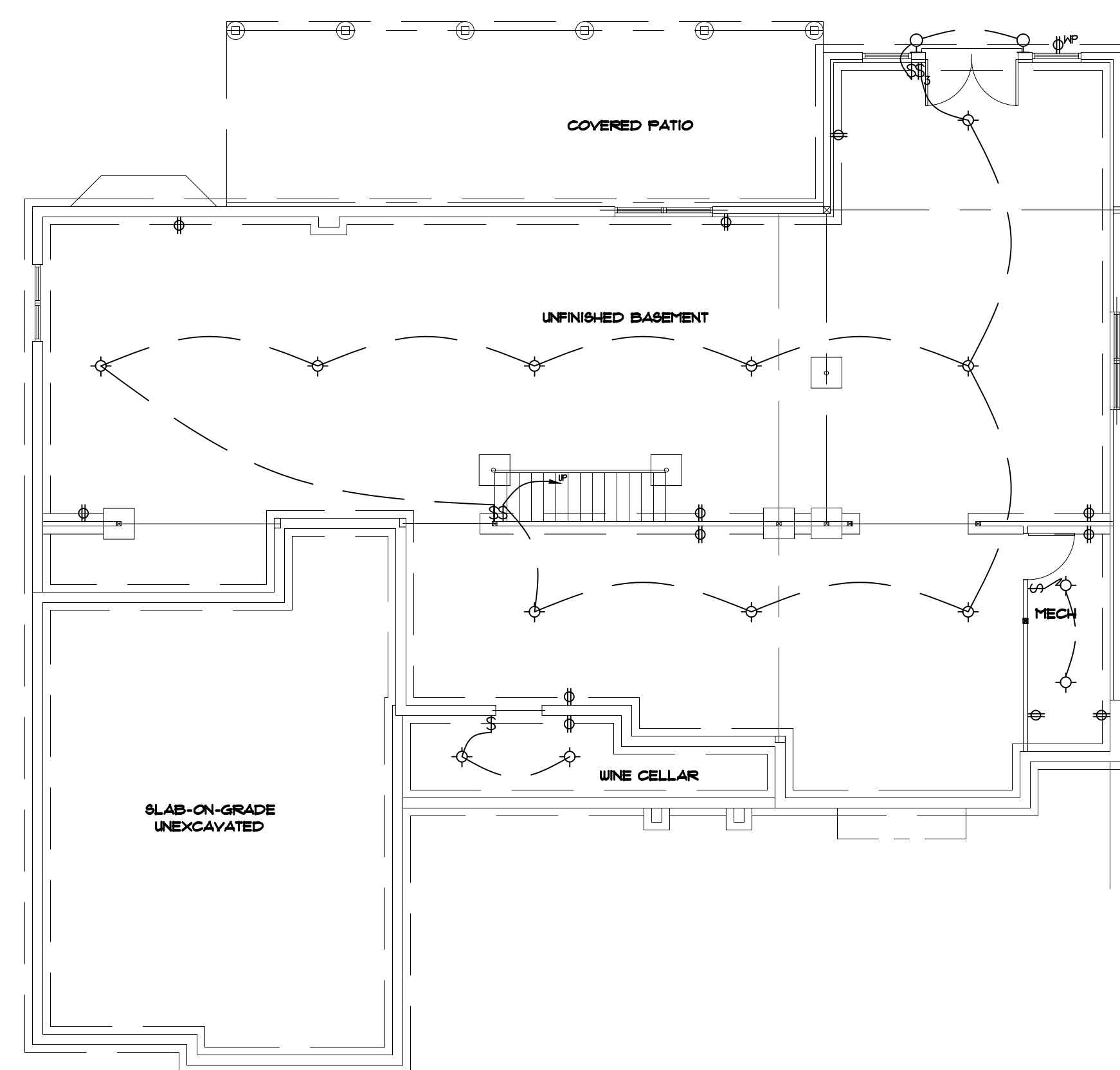
DATE: 30 JULY 2020  
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**ELECTRICAL NOTES**

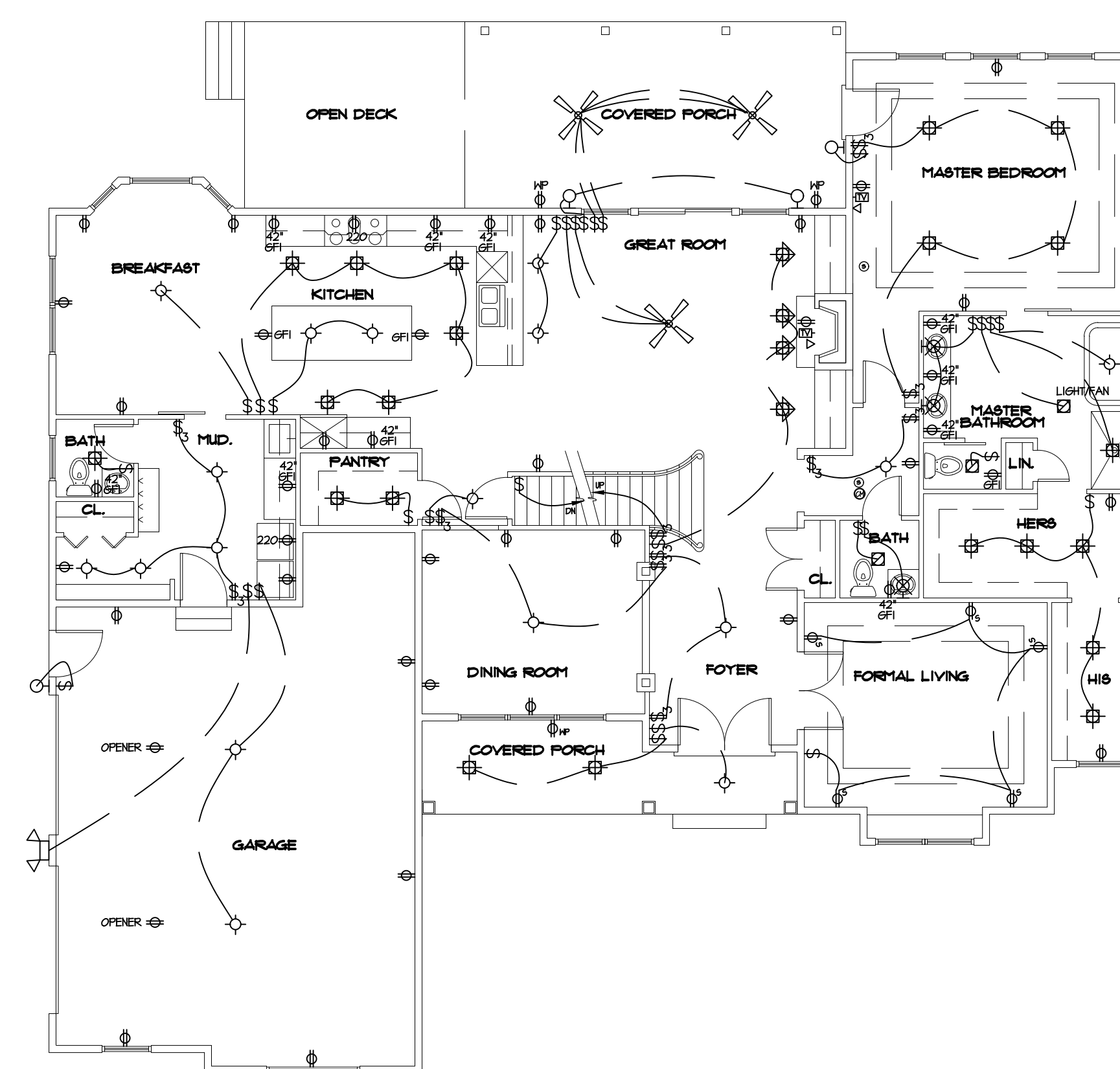
1. 110V SMOKE DETECTORS WITH BATTERY BACKUP SHALL BE INSTALLED IN RESIDENCE IN EACH BEDROOM, IN CORRIDOR IN VICINITY OF BEDROOMS. SEE FLOOR PLANS FOR SMOKE DETECTOR LOCATIONS. THERE SHALL BE A CARBON MONOXIDE DETECTOR INSTALLED ON EACH FLOOR.
2. LIGHTING FIXTURE AND ELECTRICAL RECEPTACLE REQUIREMENTS PER OWNERS REQUEST SHOWN. EXACT LOCATION TO BE FIELD VERIFIED.
3. 15- AND 20- AMPERE RECEPTACLES IN WET LOCATIONS: WHERE INSTALLED IN A WET LOCATION, 15- AND 20- AMPERE, 125- AND 250- VOLT RECEPTACLES SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG IS INSERTED. AN OUTLET BOX HOOD INSTALLED FOR THIS PURPOSE SHALL BE LISTED AND IDENTIFIED AS "EXTRA-DUTY." 15- AND 20- AMPERE, 125- AND 250- VOLT NON-LOCKING RECEPTACLES INSTALLED IN WET LOCATIONS SHALL BE LISTED WEATHER-RESISTANT TYPE.
4. LOCATIONS OF ARC-FAULT CIRCUIT INTERRUPTERS: ARC-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.
5. 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES THAT ARE LOCATED WITHIN 6 FEET OF THE OUTSIDE EDGE OF A SINK, BATH OR SHOWER SHALL HAVE GFCI PROTECTION FOR PERSONNEL. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS.
6. 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN LAUNDRY AREAS SHALL HAVE GFCI PROTECTION FOR PERSONNEL.
7. KITCHEN AND DISHWASHER BRANCH CIRCUIT, GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS IN A DIWELLING UNIT LOCATION.
8. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AFCI.
9. NOT LESS THAN 15% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

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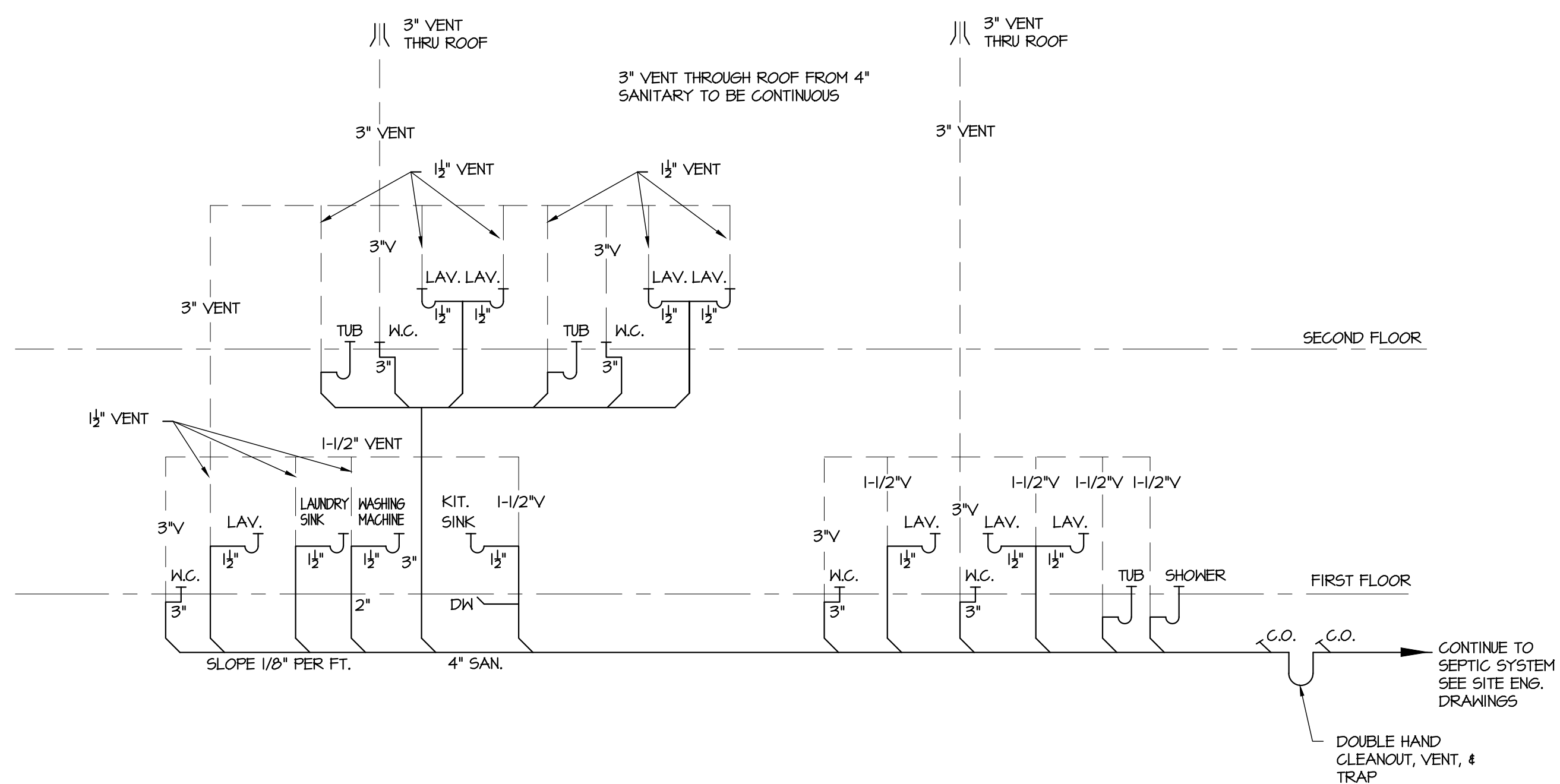
**BASEMENT ELECTRICAL PLAN**

SCALE: 1/8" = 1'-0"



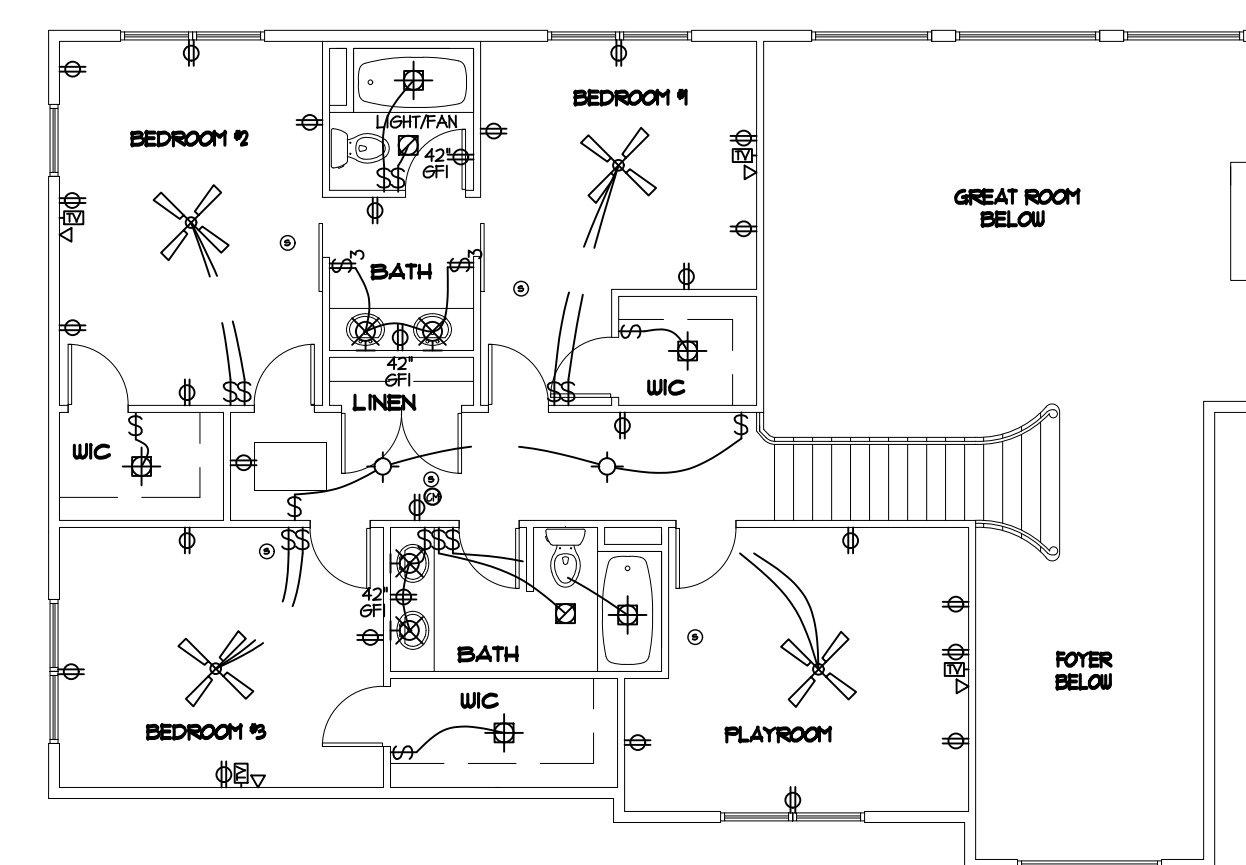
**FIRST FLOOR ELECTRICAL PLAN**

SCALE: 1/8" = 1'-0"



**SANITARY RISER SCHEMATIC**

SCALE: NONE



**SECOND FLOOR ELECTRICAL PLAN**

SCALE: 1/8" = 1'-0"

**ELECTRICAL LEGEND**

- ⊕ RECESSED FIXTURE
- ⊕ DIRECTIONAL RECESSED FIXTURE
- WALL MOUNTED
- SURFACE MOUNTED
- ⊠ RECESSED EXHAUST FAN/LIGHT VENTED TO THE EXTERIOR
- ⊗ CEILING FAN WITH LIGHT
- ⊕ DUPLEX OUTLET
- ⊕ ONE RECEPTACLE OF EACH DUPLEX RECEPTACLE IS OPERATED BY SWITCH
- ⊕ TELEVISION OUTLET
- GFI GROUND FAULT INTERRUPTER
- ⊕ WATER PROOF
- ⊕ THREE WAY SWITCH
- ⊕ SINGLE POLE SWITCH
- ⊕ TELEPHONE
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR



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 821 SHIQUER GASHI  
 NEW RESIDENCE FOR:  
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 TOWN OF YORKTOWN  
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**ELECTRICAL AND PLUMBING PLANS**

DATE: 30 JULY 2020  
 REV: 10 MAY 2022  
 JOB# 1820

SITE WORK

- 1. SITE WORK INCLUDES ALL DEMOLITION, SITE CLEARING, EXCAVATION, FILLING, GRADING, DRAINAGE, AND RELATED ITEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
2. BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTH WORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND OWNER SHALL BE NOTIFIED IMMEDIATELY.

FOUNDATIONS

- 1. FOOTINGS MAY NOT BE POURED NEAR AGAINST SIDES OF EXCAVATIONS. CONCRETE FORMS SHALL BE USED FOR ALL FOOTINGS.
2. BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
3. MINIMUM SOIL BEARING CAPACITY SHALL BE 3000 PSF. IF BEARING CAPACITY IS LESS THAN 3000 PSF ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH CONSTRUCTION OF FOUNDATION.
4. USE SILL SEALER BETWEEN WOOD AND CONCRETE
5. ALL COPPER PIPES PENETRATING CONCRETE SLAB SHALL BE PROTECTED BY "AMORFLEX" PIPE INSULATION OR EQUIVALENT.
6. MASON CONTRACTOR SHALL INSTALL ALL SLEEVES FOR WATER AND SEWER LINES PRIOR TO POURING WALLS.
7. INSTALL ANCHOR BOLTS WITHIN 8" OF CORNERS & WITHIN 12" OF END OF EACH PIECE AT MAXIMUM SPACINGS OF 6'-0" O.C. TOP OF BOLTS TO BE 3/4" ABOVE TOP OF WALL & 3" FROM OUTSIDE EDGE OF WALL. ANCHOR BOLT TO BE MINIMUM OF 1/2" DIAMETER & EXTEND 7" INTO CONCRETE.
8. EXCAVATION CONTRACTOR SHALL APPLY ASPHALT BASED WATERPROOFING BEGINNING 8" BELOW FINAL GRADE LINE, AND EXTEND TO LOWEST VERTICAL POINT OF FOOTING.
9. FOUNDATION WALL SHALL EXTEND ABOVE FINISHED GRADE A MINIMUM OF 4" (8" PREFERABLE).

BACKFILL

- 1. BACKFILL SHALL BE PLACED IN 6" MAXIMUM LIFTS AND COMPACTED TO A MINIMUM DENSITY OF 95% (UNDER SLABS ON GRADE) AND 98% ELSEWHERE) OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO STANDARD T99.
2. BACKFILL SHALL CONSIST OF NON-EXPANSIVE FREE DRAINING, PREDOMINANTLY GRANULAR MATERIAL, FREE OF DEBRIS AND ORGANIC MATERIAL.
3. BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT RETAINING WALLS UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING FLYWOOD SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETE AND FULLY NAILED AND ANCHORED.
4. LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FROM THE FOUNDATION. IF PHYSICAL BARRIERS PROHIBIT REQUIRED FALL, DRAINS OR SHALES SHALL BE PROVIDED.

FOOTINGS

- 1. FOOTINGS ARE SIZED FOR A MINIMUM TOTAL SOIL BEARING PRESSURE OF 3000 PSF, EXCEPT AS SHOWN OTHERWISE ON DRAWINGS.
2. FOOTINGS SHALL BE PLACED AT A MINIMUM DEPTH OF 42" BELOW FROST LINE.
3. FOOTINGS SHALL BE FOUND ON FIRM, UNDISTURBED, NATIVE, FREE DRAINING SOILS. CONDITIONS FOUND TO BE OTHERWISE SHALL BE REPORTED TO OWNER, BUILDING OFFICIAL, AND ARCHITECT.
4. BOTTOM SURFACE OF FOOTINGS SHALL NOT SLOPE MORE THAN 1" VERTICAL TO 10" HORIZONTAL.
5. NO EXCAVATION SHALL BE MADE LOWER AND CLOSER TO TO ANY FOOTING THAN 1" VERTICAL TO 3" HORIZONTAL.
6. ALL GROUND OVER WHICH FOOTINGS AND SLABS ON GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL. FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND.
7. ALL FOOTING DRAINS SHALL RUN TO DAYLIGHT OR INTO A SEEPAGE PIT AT A MINIMUM PITCH OF 1/8" PER FOOT. NOT TOWARD A WELL, OR WASTE WATER DISPOSAL SYSTEM.
8. STEP FOOTINGS 12" VERTICALLY AND 36" HORIZONTALLY PER STEP.

CONCRETE

- 1. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), "RECOMMENDED PRACTICE FOR CONCRETE FORM WORK" (ACI 341), "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE" (ACI 304).
A. CONCRETE SHALL HAVE MIN. 28 DAY FIELD CURED COMPRESSIVE STRENGTH OF:
- 2500 PSI (FC-2500) FOR BASEMENT WALLS, FOUNDATION, BASEMENT & INTERIOR SLABS
- 3000 PSI (FC-3000) FOR ALL CONCRETE WORK EXPOSED TO WEATHER INCLUDING EXTERIOR, FOUNDATION OR BASEMENT WALLS
- 3500 PSI (FC-3500) FOR PORCHES, EXTERIOR STEPS & GARAGE FLOOR SLABS
B. USE AIR ENTRAINING ADMIXTURE IN ALL CONCRETE, PROVIDING NOT LESS THAN 4% & NO MORE THAN 8% ENTRAINED AIR FOR CONCRETE EXPOSED TO FREEZING AND THAWING AND FROM 2% TO 4% FOR OTHER CONCRETE.
C. MATERIALS FOR CONCRETE:
- PORTLAND CEMENT ASTM C150 TYPE AS REQUIRED
- AGGREGATES - ASTM C33
- WATER-POTABLE, CLEAN, FREE OF OILS, ACIDS, ALKALI, AND ORGANIC MATTER
- AIR ENTRAINING ADMIXTURE - ASTM C260
- WATER REDUCING ADMIXTURE - ASTM C444 TYPE A
D. FORM MATERIALS:
- EXPOSED CONCRETE SURFACES - PANEL TYPE TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH FINISH. USE LARGEST PRACTICAL SIZES TO MINIMIZE FORM JOINTS.
- UNEXPOSED CONCRETE SURFACES - SUITABLE MATERIAL DRESSED ON AT LEAST TWO EDGES, AND ONE SIDE FOR TIGHT FIT.
2. CONCRETE SHALL BE OF "READY MIXED CONCRETE" AND SHALL CONFORM TO ASTM C144, MIX DESIGN ALTERNATE #2. AT TIME OF PLACEMENT, CONCRETE SHALL HAVE A SLUMP OF 4 INCH MAXIMUM (PER ASTM C143).
3. CONCRETE WHEN PLACED SHALL HAVE A TEMPERATURE BETWEEN 50°F AND 70°F. TEMPERATURE OF CONCRETE DURING MIXING OR TRANSPORTATION SHALL NEVER BE LOWER THAN 40°F NOR HIGHER THAN 90°F.
4. CONCRETE SHALL BE CONVEYED AND DEPOSITED IN ACCORDANCE WITH RECOMMENDATIONS OF ACI 304.
5. MEMBRANE CURING COMPOUND ON ALL HORIZONTAL SURFACES: CURING COMPOUND SHALL CONFORM TO ASTM C691 AND SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
6. EXCEPT WHERE DETAILED ON STRUCTURAL DRAWINGS, REINFORCEMENT SHALL NOT BE DISPLACED OR CUT TO PROVIDE CLEARANCE FOR PENETRATIONS, INSERTS OR EMBEDMENTS.
7. DESIGN FABRICATION, INSTALLATION, AND REMOVAL OF CONCRETE FORM WORK IS SOLELY THE RESPONSIBILITY OF BUILDER.
8. FORMWORK AROUND CONCRETE MUST REMAIN IN PLACE UNTIL THE CONCRETE IS SELF-SUPPORTING. FOLLOW ACI 341 FOR STANDARDS WHICH STATE THAT FOOTINGS AND FOUNDATION WALL FORMWORK SHALL NOT BE STRIPPED FOR A MIN. OF 12 HOURS.
9. CONCRETE PLACEMENT COMPLY WITH ACI 304, PLACING CONCRETE, AND ACI 304.2R, PLACING CONCRETE BY PUMPING METHOD

MASONRY

- 1. MASONRY UNITS
A. ALL HOLLOW CONCRETE UNITS SHALL BE AT LEAST 1-5/8"X1-5/8"X15-5/8" AND SHALL PROVIDE MINIMUM UNOBSTRUCTED VERTICAL OPENING OF 3-1/2" WHEN LAID UP IN RUNNING BOND, UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
B. MOISTURE CONTENT OF HOLLOW CONCRETE UNITS PER ASTM C40 AT TIME OF LAYING SHALL NOT EXCEED 50% OF TOTAL ABSORPTION CAPACITY.
C. ALL CONCRETE BLOCK SHALL BE TYPE N LOAD BEARING MASONRY UNITS AND ALL MORTAR SHALL BE TYPE "M" HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
2. PROPER UNITS SHALL BE USED TO PROVIDE FOR ALL WINDOWS, DOORS, BOND BEAMS, LINTELS, PILASTERS, ETC. WITH A MINIMUM OF CUTTING.
3. LAY MASONRY IN RUNNING BONDS EXCEPT AS DESIGNATED OTHERWISE ON DRAWINGS, PROVIDE MASONRY BONDS AT ALL CORNERS AND INTERSECTIONS.
4. GROUT ALL CELLS CONTAINING REINFORCEMENT, BOLTS OR INDICATED AS GROUTED.
5. MASONRY SHALL BE LAID UP AND GROUTED IN LIFTS NOT EXCEEDING 4' VERTICAL. GROUT POURS SHALL BE STOPPED 1-1/2" BELOW THE TOP OF UPPER MOST UNIT. EACH BOND BEAM SHALL BE GROUTED WITH LIFT BELOW.
6. ALL BEAMS AND LINTELS SHALL BE GROUTED SUCH THAT HORIZONTAL GROUT TRAVEL IS LIMITED TO 2".
7. MASONRY SHALL NOT BE LAID UP OR GROUTED WHEN AMBIENT TEMPERATURE IS BELOW 40°F OR ABOVE 90°F. MASONRY SHALL BE PROTECTED FROM FREEZING TEMPERATURES FOR AT LEAST 14 DAYS AFTER LAYING, WHEN AMBIENT TEMPERATURES EXCEED 90°F UNITS THAT HAVE PREVIOUSLY BEEN LAID UP SHALL BE GIVEN A VERY FINE, LIGHT FOG SPRAY OF WATER EVERY 4 HOURS UNTIL 48 HOURS HAVE ELAPSED SINCE LAYING UP.
8. MILD STEEL REINFORCEMENTS FOR CONCRETE AND MASONRY CONSTRUCTION SHALL BE MANUFACTURED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 308) AND "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 318R, ACI 308-46) AND SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A618, GRADE 40 TIES, STRIPPED AND HOOPS SHALL CONFORM TO ASTM A618, GRADE 40. REINFORCING FABRIC SHALL CONFORM TO ASTM A618, IN AS LONG LENGTHS AS PRACTICABLE. REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON DRAWINGS.

Table with 3 columns: BAR SIZE, LENGTH IN CONCRETE, LENGTH IN MASONRY. Rows include F3, F4, F5, F6.

HELDED WIRE FABRICS SHALL BE TAPPED ONE GRID WIDTH PLUS 2". REINFORCEMENT SHALL BE COLD BENT. REINFORCEMENT SHALL NOT BE HELDED.

LUMBER

- 1. ALL LOAD BEARING DIMENSION LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OF AN APPROVED INSPECTION AGENCY. ALL JOISTS, GIRDERS, INTERIOR AND EXTERIOR STUD HALLS SHALL BE SPF OR BETTER.
2. ALL 2" LUMBER SHALL BE SEASONED TO 15% MAXIMUM MOISTURE CONTENT.
3. ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED PER ANPA C1-C4, C9, C15, C18, C22-C24, C28, P1-F3.
4. GLUE-LAMINATED MEMBERS SHALL BE DOUGLAS FIR-LARCH OR EQUAL, CONFORMING WITH THE AITC 308.2 AND PS-76-75 FABRICATED WITH MET-USE ADHESIVE.
5. ALL PLYWOOD SHALL BE IDENTIFIED BY GRADE MARK OF AN APPROVED INSPECTION AGENCY AND SHALL BE STANDARD EXPOSURE I, D-GRADE, APA RATED UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
6. LIGHT TIMBER DECKING SHALL BE CONSTRUCTED WITH 2" TONGUE AND GROOVE PLANK COMMERCIAL DECKING GRADE MARKED BY AN APPROVED INSPECTION AGENCY. DECKING SHALL BE LAID IN ACCORDANCE WITH SECTION 2511 (E.3) IBC.
7. ALL LUMBER SHALL HAVE A MIN. FD AND E AS FOLLOWS:
TYP. LUMBER - USE EQUIVALENT OR BETTER
BEAMS, GIRDERS, TRIMMERS (SPF #1)
JOISTS, RAFTERS, HEADERS (SPF #1)
STUDS (SPF #2)
8. WOOD JOISTS SHALL HAVE THE APA-BNS FRI TRADEMARK. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS, DETAILS, AND SPECIFICATIONS - NO EXCEPTIONS. WOOD JOISTS SHALL BE USED IN CONJUNCTION WITH PARTNER MATERIALS SUCH AS A/R RIM BOLTS, SQUASH BLOCKS, ETC.
9. LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS ARE TO BE 2.0E WITH A BASE FDI-2850. EXCEPT FOR CUTTING TO LENGTH, LVL BEAMS ARE NOT TO BE CUT, DRILLED, OR NOTCHED EXCEPT AS NOTED IN MANUFACTURER'S LITERATURE. LIGHT TIMBER SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS AND DETAILS IN INSTALLATION. CONNECTIONS PER MANUFACTURER.
10. TRUSSES SHALL BE DESIGNED ACCORDING TO STANDARD ENGINEERING PRACTICE. TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY LICENSED ENGINEER AND PROVIDED BY TRUSS MANUFACTURER TO COMPLY WITH THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE.

FRAMING

- 1. ALL STUD HALLS SHOWN ON DRAWINGS SHALL HAVE 2X4 STUDS INTERIOR, 2X6 EXTERIOR, PLACED 16" O.C. EXCEPT WHERE SHOWN.
2. TOP PLATES SHALL BE DOUBLED ON ALL STUD HALLS. END JOINTS IN TOP PLATES SHALL BE OFFSET MIN. 24". STUDS SHALL HAVE FULL BEARING ON 2X OR LARGER PLATE OR SILL, HAVING GREATER THAN OR EQUAL TO WIDTH OF STUDS. BEAMS, GIRDERS, AND JOISTS BEARING ON WALLS OR OTHER CONCENTRATED LOADS SHALL NOT BE NOTCHED. JOISTS, EXCEPT AS ABOVE, MAY BE NOTCHED NO DEEPER THAN 1/4 THE DEPTH, AT TOP EDGE ONLY, PROVIDED SUCH NOTCH IS LOCATED WITHIN 1/8 TO 1/4 OF SPAN FROM FACE OF SUPPORT. SAWCUTS FOR NOTCHES SHALL NOT EXCEED DEPTH OF NOTCH. HOLES IN JOISTS, BEAMS AND GIRDERS SHALL NOT BE LARGER IN DIAMETER THAN 1/10 THE DEPTH OF THE MEMBER AND SHALL BE LOCATED WITHIN CENTER HALF OF THE SPAN. ALL HOLES SHALL BE CENTERED WITHIN DEPTH OF MEMBER. HOLES AND NOTCHES IN STUDS SHALL BE LOCATED WITHIN 1/3 OF HEIGHT FROM EITHER TOP OR BOTTOM BUT NO CLOSER THAN 8" FROM ANY HOLES & NOTCHES IN STUDS SHALL NOT EXCEED 1" IN DIAMETER OR DEPTH. STUDS IN EXTERIOR WALLS SHALL NOT BE NOTCHED.
3. INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP.
4. ALL RAFTERS SHALL BE NOTCHED FOR FULL BEARING AT ALL SUPPORTS. THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL HAVE MINIMUM BEARING 1 1/2" ON WOOD OR 3" ON CONCRETE OR MASONRY.
5. ALL JOISTS SHALL HAVE MINIMUM 2" BEARING AT WOOD SUPPORTS. LAPPING JOISTS SHALL HAVE 6" LAPS CENTERED OVER INTERIOR SUPPORTS. ALL SUPPORTS ON CONCRETE OR MASONRY SHALL NOT BE LESS THAN 3".
6. LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE WITH ANCHOR BOLTS.
7. PROVIDE SOLID WOOD BLOCKING BELOW ALL HEADERS, BEAMS LINTELS, ETC. PROVIDE 3/8" DIA. LAG BOLTS 2" O.C. AT ALL DECK LEDGES OF ADEQUATE LENGTHS TO EMBED 3" MIN. INTO STRUCTURAL FRAMING.
9. IF CONVENTIONAL ROOF FRAMING IS USED, 2X4 COLLAR TIES WILL BE PROVIDED 4'-0" O.C.
10. A DOUBLE JOIST SHALL BE PROVIDED ABOVE EACH COLUMN AND BELOW ALL PARTITIONS PARALLEL TO FLOOR.
11. PROVIDE CROSS BRACING BETWEEN ALL JOISTS IN SPANS EXCEEDING 8'.
12. ALL HEADERS SHALL BE (2) 2X12 WITH MINIMUM 2 JACK STUDS EACH SIDE UNLESS OTHERWISE SPECIFIED ON DRAWINGS. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS ARE PERMANENTLY CONNECTED TOGETHER.
14. FRAMING CONTRACTOR SHALL INSTALL BLOCKING FOR RAILINGS, CABINETS, LADDERS FOR INSULATION AT INTERSECTING WALLS, STRONGBACKS IN CEILINGS OF GARBE AND HIP ROOFS, AND SHIM BETWEEN STAIR STRINGERS.
15. INSTALL FIRE STOPPING BETWEEN FLOOR JOISTS AT 10' INTERVALS AND IN WALLS AT 8' INTERVALS.
16. DRILLING & NOTCHING REQUIREMENTS SHALL FOLLOW SPECIFICATIONS LAID OUT IN THE RESIDENTIAL CODE OF NYS.

- STRUCTURAL FLOOR MEMBERS (SECTION R502.8.1) - NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER, NOT LONGER THAN 1/3 OF THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4" OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIA. OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2" TO THE NOTCH.
- WALLS (SECTION R602.2) - ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NONLOAD BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NOT GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 3/4" TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. EXCEPTION - 1. A STUD MAY BE BORED TO A DIA. NOT EXCEEDING 60% OF ITS WIDTH PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN 2 SUCCESSIVE STUDS ARE BORED. 2. APPROVED STUD SHOES MAY BE USED WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
DRILLING AND NOTCHING WALL TOP PLATES - WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE OF NOT LESS THAN 0.0254" (16 GA) AND 1 1/2" WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN (8) 16d NAILS AT EACH SIDE OR EQUIVALENT.

FASTENING SCHEDULE table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING AND LOCATION. Includes rows for Roof, Wall, and Hall.

Table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING OF FASTENERS. Includes rows for Toe nail, Face nail, and various wall and ceiling elements.

For 1/2" 1x4-2x4s, 1 foot=24inches, 1 mile per hour = 0.447 m/s, 1 gal = 0.264 m3.
1. Nails are smooth crown, flat or deformed unless otherwise specified. Nails used for framing and sheathing connection shall have minimum average bending plate strength as shown. 10d for each diameter of 0.027" (50d common nail, 10d for stud diameter larger than 0.042" but not larger than 0.077" and 10d for studs.
2. 16d or 18d nails shall be applied vertically.
3. Nails shall be applied at not more than 8" o.c. at all supports where spans are 48" or greater.
4. Spacing of fasteners not included in this table shall be based on Table R602.2(2)
5. For wood structural panel roof sheathing attached to joists and framing and to intermediate supports with 40° of roof edges and ridge, nails shall be spaced at 4' o.c. where the ultimate design wind speed is less than 150 mph and shall be spaced 4' o.c. where the ultimate design wind speed is 150 mph or greater but less than 160 mph.
6. Gypsum sheathing shall conform to ASTM C836 and shall be installed in accordance with its label. Reinforced sheathing shall conform to ASTM C208.
7. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking of all floor penetrations only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor penetrations shall be perpendicular to the framing members and shall be provided except as required by other provisions of this code. Floor penetrations shall be supported by framing members and shall be provided.
8. Where nails are fastened to an adjacent parallel framing joist in accordance with this schedule, provide two nails on one side of the rafter and one nail from the ceiling joist to top plate in accordance with this schedule. The top nail on the opposite side of the rafter shall not be required.
9. R602-1 is a Roof Sheathing Nailing Schedule meeting the specifications in ASTM F1669.

FRAMING CONNECTIONS

- 1. ANCHOR ALL STUDS AT DOOR OPENINGS, ENDS AND CORNERS OF WALLS WHICH ARE SHEATHED WITH PLYWOOD AND OR GYPSUM BOARD TO BOTTOM PLATE WITH 2 GIMPSION A-35 FRAMING ANCHORS.
2. ALL MANUFACTURED CONNECTION HARDWARE SHALL BE INSTALLED AND FULL NAILED IN CONFORMANCE TO MANUFACTURER'S INSTRUCTIONS AND APPLICABLE IBCO APPROVALS.
3. ALL STEEL CONNECTION ASSEMBLIES DETAILED ON DRAWINGS SHALL BE FABRICATED FROM ASTM A36 STEEL IN CONFORMANCE WITH APPLICABLE REQUIREMENTS OF THE "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" HOLDING SHALL CONFORM TO AHS D11.
4. INSTALL LAG SCREWS IN DRILLED LEAD HOLES WITH A DIAMETER EQUAL TO 3/4 OF THE SHANK DIA. (LAG SCREWS SHALL NOT BE HAMMERED IN) MAX OR SOAP LAG SCREWS. PROVIDE WASHERS UNDER HEADS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED.
5. BOLT HOLES SHALL BE DRILLED 1/16" LARGER THAN BOLT DIAMETER. PROVIDE WASHERS UNDER ALL BOLT HEADS AND NUTS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED. IN NO CASE SHALL MISALIGNMENT BE ALLOWED. BOLTS SHALL BE 3/8T BOLTS. NUTS SHALL BE TIGHTENED SHAG.

WINDOWS AND DOORS

- 1. EXTERIOR DOORS TO BE FOAM CORE INSULATED DOORS, UNLESS OTHERWISE NOTED.
2. FRAMING CONTRACTOR SHALL INSTALL FIELD MADE FLASHING UNDER DOORS AND SHALL CAULK SILLS AND FLANGES WHEN INSTALLING.
3. ALL WINDOWS AND DOORS CAN BE ADJUSTED TO ACCOMMODATE TRIM.
4. ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
5. INSTALL FIELD BENT DRIP EDGE ABOVE ALL DOORS AND WINDOWS. CAULK BETWEEN ALL CHANNELS AND ADJUST DOOR AND WINDOW FRAMES.
6. ALL SOURCES OF AIR LEAKAGE AROUND WINDOWS AND DOORS MUST BE CAULKED, GASKETED, OR WEATHERSTRIPPED.

SHEATHING

- 1. ALL PLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINTS OVER 2" BLOCKING OR FLATE. NAIL TOP OF PANELS TO TOP OF FLOOR JOIST AND NAIL TO ANCHOR AND SILL PLATE. APPLY GYPSUM BOARD SO THAT END JOINTS OF ADJACENT COURSES DO NOT OCCUR OVER THE SAME STUD.
2. PLYWOOD SUB-FLOOR AND ROOF SHEATHING: INSTALL WITH FACE GRAIN AT RIGHT ANGLES TO SUPPORTS, CONTINUOUS OVER TWO (2) OR MORE SPANS. ALLOW MINIMUM SPACE 1/8" BETWEEN UNDERLAYMENT SHALL BE INSTALLED IN ACCORDANCE WITH CODE AND AS RECOMMENDED BY MANUFACTURER. ROSIN COATED.
5/16" TO 1/2" 6d COMMON (8d FOR ROOF) OR 1-1/2" RINGS SHANK NAILS 6" O.C. @ EDGES AND 8" O.C. EACH WAY IN FIELD
5/8" TO 3/4" 8d COMMON OR 1-1/2" RINGS SHANK NAILS 6" O.C. @ EDGES & 8" O.C. EACH WAY IN FIELD
4. BUILDING FELT -
A. COVER SURFACES BEHIND SIDING, SHINGLES, AND WHERE INDICATED ON DRAWINGS WITH ASPHALT SATURATED, NON-PERFORATED, FELT WITHOUT KRINKLES OR BUCKLES. LAP HORIZONTAL JOINTS 3", 6" AT VERTICAL JOISTS AND CARRY INTO OPENINGS, UP WALLS 12" AND DOWN SIDES 6" MINIMUM. LOCATE END LAPS AT LEAST 18" FROM INTERNAL AND EXTERNAL CORNERS.
B. ALL ROOFS WITH ASPHALT SHINGLES AND SLOPES BETWEEN 2/12 AND 4/12 SHALL HAVE DOUBLE UNDERLAYMENT APPLICATION.

INSULATION

- 1. MINIMUM INSULATION LEVELS ARE DESCRIBED IN THE "BUILDING ENVELOPE THERMAL COMPONENT CRITERIA CHART". THIS CHART HAS BEEN SPECIFICALLY DESIGNED FOR THIS PROJECT IN A SPECIFIC CLIMATE, BASED ON ONE OF THE ACCEPTABLE APPROACHES DESCRIBED IN THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
2. COLD WALLS: PORTION OF BUILDING BETWEEN LIVING SPACE AND UNHEATED GARAGE, STORAGE ROOM AND PORTION OF WALL ABOVE CEILING OF AN ADJACENT SECTION OF A SPLIT-LEVEL DWELLING TO BE INSULATED SAME AS ROOF, WALLS, OR FLOOR OF DWELLINGS.
3. VAPOR BARRIERS: EITHER "A", "B", OR "C", "D" IS MANDATORY.
A. ALL WALLS AND CEILING TO BE PAPER-BACKED ONE SIDE INSULATION
B. FOIL-BACKED GYPSUM BOARD ON THE INSIDE SURFACE OF EXTERIOR WALLS WITHOUT FOIL-BACKED INSULATION
C. POLYETHYLENE APPLIED ACROSS THE INSIDE OF STUDS WITHOUT FOIL-BACKED INSULATION
D. IN GRANULAR SPACES PROVIDE 6 MIL BACK POLYETHYLENE SHEETS OR "MOISTOP" OVER ENTIRE GROUND AREA AND UP THE EXTERIOR FOUNDATION WALLS TO THE MUDSILLS, WALL INSULATION (IF SHOWN ON DRAWINGS) TO BE APPLIED OVER THE POLYETHYLENE VAPOR BARRIER. PROVIDE 12" MIN. LAPS BETWEEN TWO SECTION OF VAPOR BARRIER AND TAPE TIGHT
4. FIRE HAZARDS: WHEN PLASTIC FOAMS ARE USED IN ANY INTERIOR APPLICATIONS A FIRE BARRIER MUST BE APPLIED OVER THE UNPROTECTED FOAM SURFACE. COVERINGS USED FOR PROTECTION SHOULD BE CHOSEN FOR THEIR FIRE PROTECTION OF THE FOAM, I.E. GYPSUM WALLBOARD
5. FRAMING MEMBERS: IT MAY BECOME NECESSARY TO INCREASE DEPTH OF FRAMING MEMBERS TO ACCOMMODATE THICKER INSULATION MATERIALS THAN SHOWN ON DRAWINGS

GYPSUM DRYWALL

- 1. GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF ANSI A917 FOR THE "APPLICATION AND FINISHING OF WALLBOARD" JOINT COMPOUND SYSTEM MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S PRINTED DIRECTIONS, TO BE INVISIBLE AFTER FINISHED, INCLUDING ALL METAL CORNER BEADS AND TRIM.
2. GYPSUM WALLBOARD ON STUD WALLS: COOLER NAILS AT 7" O.C. ALL STUDS, PLATES AND BLOCKING, USE 5d NAILS WITH 1/2" WALLBOARD AND 6d NAILS WITH 5/8" WALLBOARD. SCREWS SHALL BE TYPE N OR S AND SHALL PENETRATE THE WOOD NOT LESS THAN 3/4".
3. GARAGE AND UTILITY ROOMS TO HAVE 3/4" TYPE X FIRE RATED GYPSUM BOARD THROUGHOUT AND 1/2" TYPE X FIRE RATED GYPSUM BOARD ON CEILING OF COMMON HALL. FOR GARAGE CEILING BENEATH HABITABLE ROOM GYPSUM WALLBOARD SHALL BE INSTALLED PERPENDICULAR TO FRAMING AND FASTENED AT MINIMUM 6" O.C. BY 6d COATED NAILS.
4. TUB AND SHOWER ENCLOSURES TO HAVE 1/2" WATER RESISTANT GYPSUM BOARD.
5. GYPSUM WALLBOARD UTILIZED AS BACKER BOARD FOR ADHESIVE APPLICATION OF CERAMIC TILE SHALL BE PERMITTED ON CEILINGS WHERE FRAMING SPACING IS 12" O.C. FOR 1/2" WALLBOARD OR 16" O.C. FOR 3/4" THICK GWB. ALL CUT OR EXPOSED EDGES SHALL BE SEALED BY MANUFACTURER'S RECOMMENDATIONS.

GLAZING

- 1. TEMPERED GLASS SHALL COMPLY WITH FEDERAL STANDARDS 16 CFR 1201.
2. TUB AND SHOWER ENCLOSURES TO HAVE EITHER A SHOWER CURTAIN OR SAFETY GLAZED GLASS.

VENTILATION

- 1. ALL BATHROOMS SHALL BE VENTED DIRECTLY TO THE EXTERIOR WITH A MINIMUM OF 50 CFM INTERMITTENT MECHANICAL VENTILATION FAN.
2. THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF FLOOR JOIST AND EARTH SHALL BE VENTILATED WITH A MINIMUM NET AREA OF ONE SQUARE FOOT FOR EACH 150 SF OF UNDER-FLOOR AREA.
3. ATTIC VENTILATION SHALL BE PROVIDED AT A RATE OF 1 SF TO 150 SF OF THE TOTAL AREA TO BE VENTILATED.
4. AT EAVE VENTS, A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER BNYGRR 64.50

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS

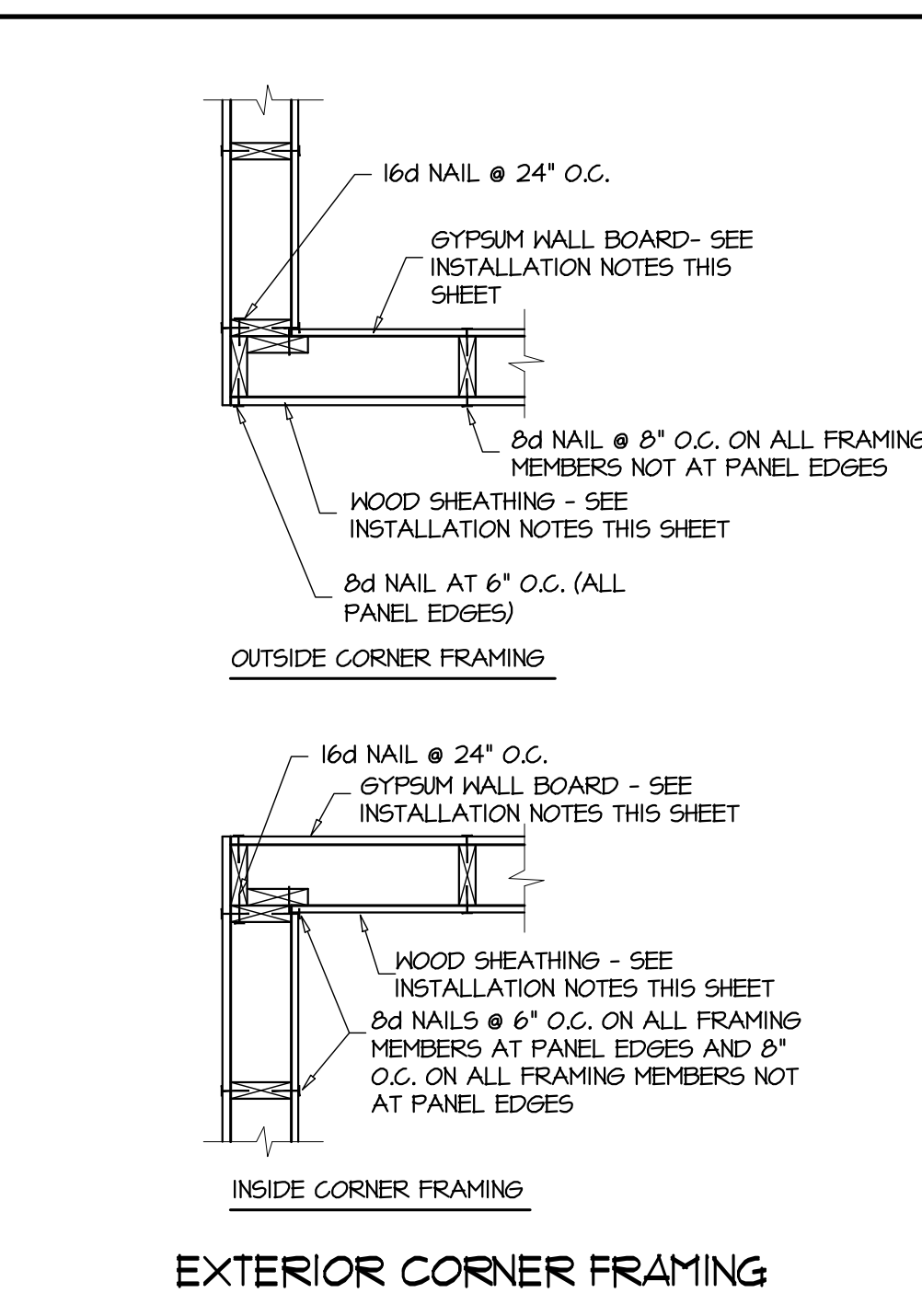


LINDA J. ZWART ARCHITECT
31 MEADOWOOD ROAD MONTGOMERY, NY 12541 845-361-2461
LICENSED - NEW YORK STATE

S/B/L 48.13/1/6.4
821 SHIQR GASHI
NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN COUNTY OF WESTCHESTER, NY

GENERAL NOTES

DATE: 30 JULY 2020
REV: 10 MAY 2022
JOB# 1820
8 OF 8



# **Rob's Poultry Supply Store**



Rob's Poultry Supply Store—2023 Crompond Road

The business is relocating from 2120 Crompond Road, Cortlandt, about ten minutes away.

The use section of the lease says:

...retail sale of eggs, day old poultry (chicks, ducklings, goslings, turkey poults, guinea keets, quail and pheasants) as well as all supplies pertaining to back yard farming, feed, shavings, hay, waterers, feeders, chick starter supplies, brooders, and dried feed...

For the most recent years, sales by product were:

Feed-\$240,000 (40%)

Eggs - \$162,000 (35%)

Supplies- \$42,000 (15%)

Chicks - \$24,000 (10%)

Attached is the proposed store layout, and the architects plan of the base store.

EF

5/4/2022

2025 Crompond Road  
Suite 01

DAVID A. TETRO  
ARCHITECT P.C.  
AIA - LEED A.P. - NCARB  
302 Lewis Avenue  
Yorktown Heights

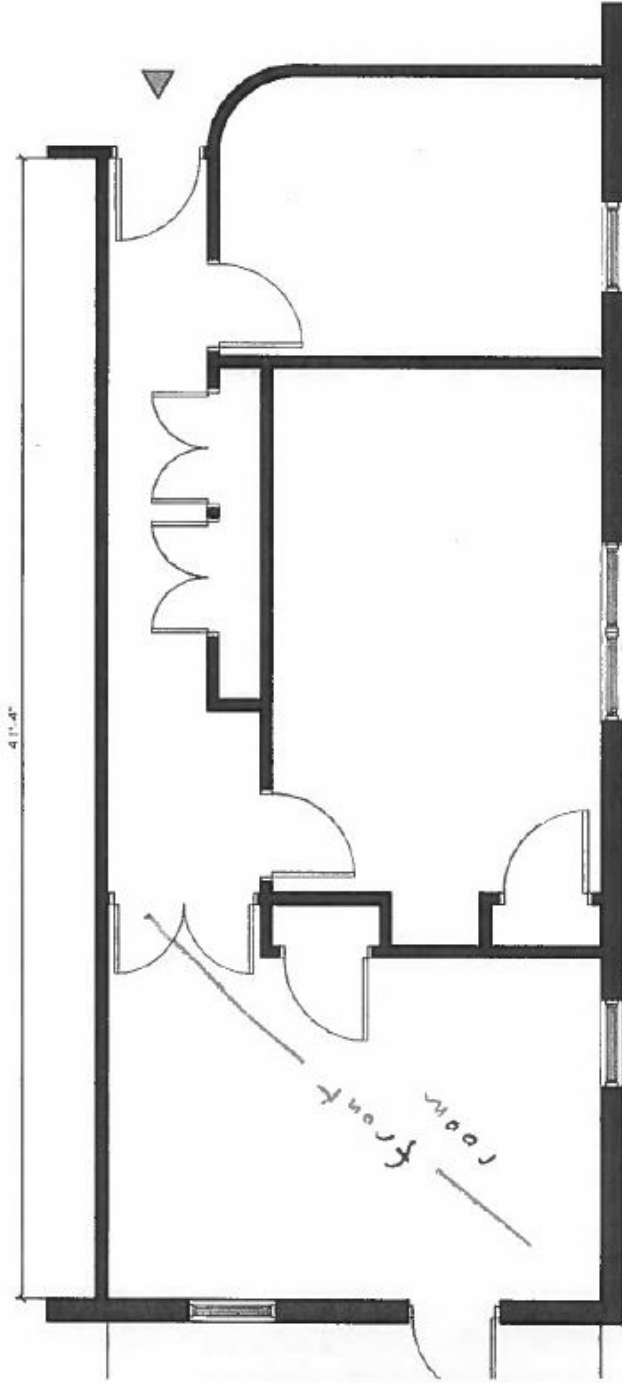


PART 1st Floor

A.01

17.27

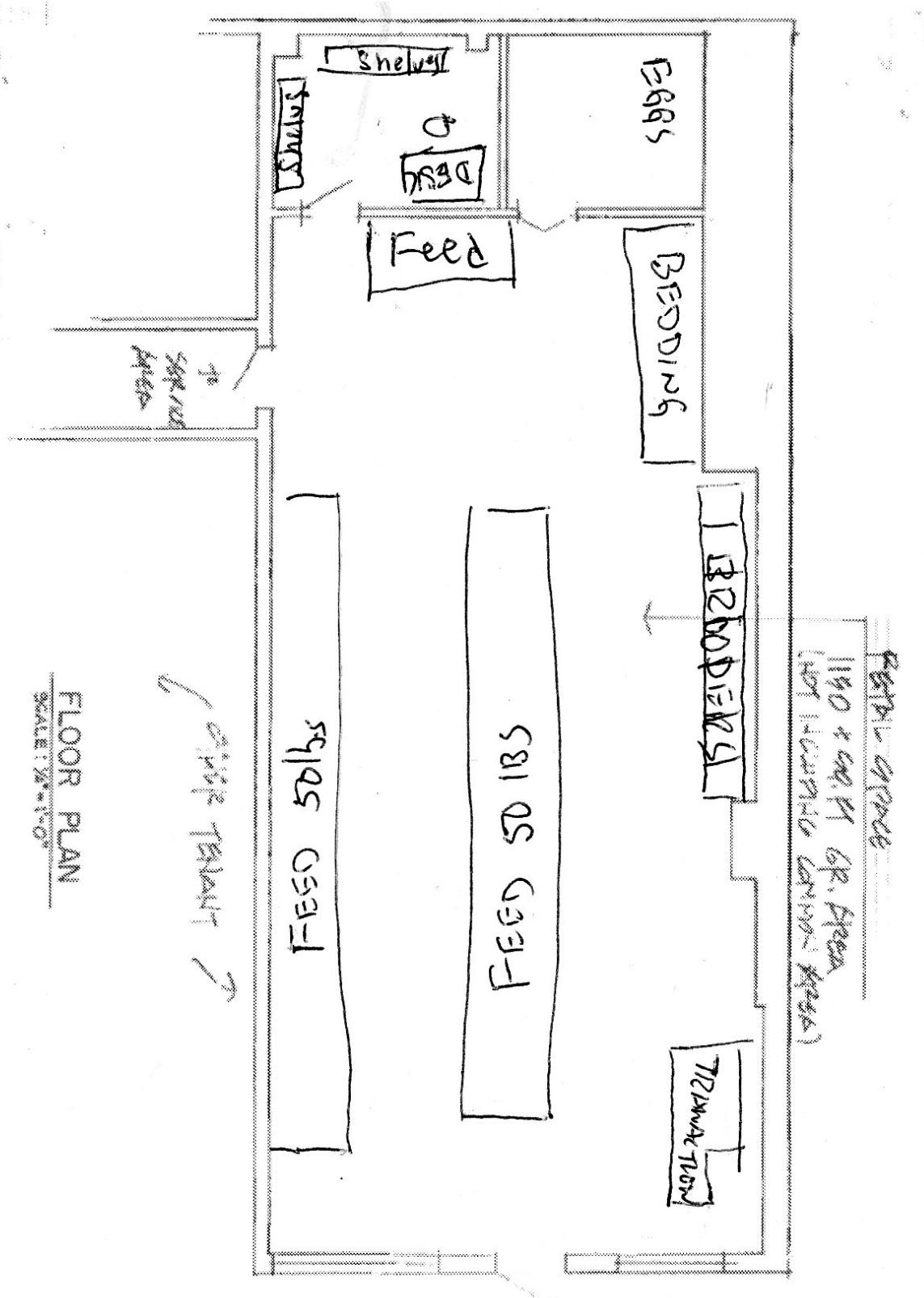
05.08.17



AREA:  
790 SQ. FT.  
(BOMA STANDARD)

PART FIRST FLOOR PLAN  
1/4" = 1'-0"

Do not scale drawings. Each Contractor shall be responsible for a  
014 David A. Tetro, Architect P.C., No part of this document or design may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed  
ission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for legal action and/or compensation to the Architect.



FLOOR PLAN  
SCALE: 1/8" = 1'-0"

✓ CHECK TRUNK

drawing No.	project	date	revision	drawing title FLOOR LAYOUT 20 20 CROMFORD RD DORSET HEIGHT, NY
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**MFR** Michael Rino  
Architect and Planners

— THIS AGREEMENT made this 28<sup>th</sup> day of April, 2022, BETWEEN

**ACME REALTY LLC**  
P.O. Box 207, Scarsdale, New York 10583

as Landlord

and

**ROB'S POULTRY PALACE AND SUPPLIES, LLC**  
2023 Crompond Road, Yorktown Heights, New York 10598

as Tenant

↳ **WITNESSETH:** The Landlord hereby leases to Tenant and Tenant hereby rents from Landlord in the building known as 2023 Crompond Rd, Yorktown Heights, New York, the commercial store front unit known as the "2023", Said premises shall be used for a commercial operation including the retail sale of eggs, day old poultry, (chicks, ducklings, goslings, turkey poults, guinea keets, quail, and pheasants) as well as all supplies pertaining to back yard farming, feed, shavings, hay, waterers, feeders, chick starter supplies, brooders, and dried feed for the animals upon the conditions and covenants herein. Only as permitted by and subject to zoning regulations and approvals.

**1<sup>st</sup> RENT:** Tenant shall pay the annual rent on the first of every month with said rent to be paid in equal monthly payments during the term of aforesaid. Annual Rent in the amount of \$28,800.00 payable in monthly installments of \$2,400.00 per month. Said rent is for a period of one year at which time rent will be adjusted and increased by 2.5% over the previous gross rent. Rent shall be waived for the first three months, following the effective date of the execution of this lease.

**2<sup>nd</sup> TERM:** Said lease will be for the term of 5 Years to commence on the 1<sup>st</sup> May, 2022 and to end on the 30 April, 2027. If Tenant is in full compliance with the terms and conditions herein, the Tenant may elect the option of extending the lease for an additional five years under the same terms and conditions with annual increases in rent continuing.

**3<sup>rd</sup> GOOD CARE:** Tenant shall take good care of the premises and fixtures, make good any injury or breakage done by Tenant or Tenant's agents, employees or visitors, and shall quit and surrender said premises, at the end of said term, in as good condition as the reasonable use thereof will permit; shall not make any additions, alterations or improvements in said premises, or permit any additional lock or fastening on any door, without the written consent of Landlord; and all alterations, partitions, additions, additions, or improvements, which may be made by either of the parties hereto upon the premises, shall be the property of Landlord, and shall remain upon and be surrendered with the premises, as a part thereof, at the termination of this lease, without disturbance, molestation or injury.

**4<sup>th</sup> COMPLIANCE:** Tenant shall promptly execute and comply with all statues, ordinances, rules, orders, regulations and requirements of the Federal, State and Town Government and of any and all their Departments and Bureaus applicable to said premises, for the correction, prevention, and abatement of nuisances or other grievances, in, upon, or connected with said premises during said term; and shall also promptly comply with and execute all rules, orders and regulations of the New York Board of Fire Underwriters for the prevention of fires at Tenant's own cost and expense.

**5<sup>th</sup> NO ASSIGNMENT:** Tenant, successors, heirs, executors or administrators shall not assign this agreement, or underlet or underlease the premises, or any part thereof, without Landlord's prior consent in writing, which consent shall not be unreasonably withheld; or occupy, or permit or suffer the same to be occupied for any business or purpose deemed disreputable or extra-hazardous on account of fire, under the penalty of damages and forfeiture, and in the event of a breach thereof, the term herein shall immediately cease and determine at the option of Landlord as if it were the expiration of the original term.

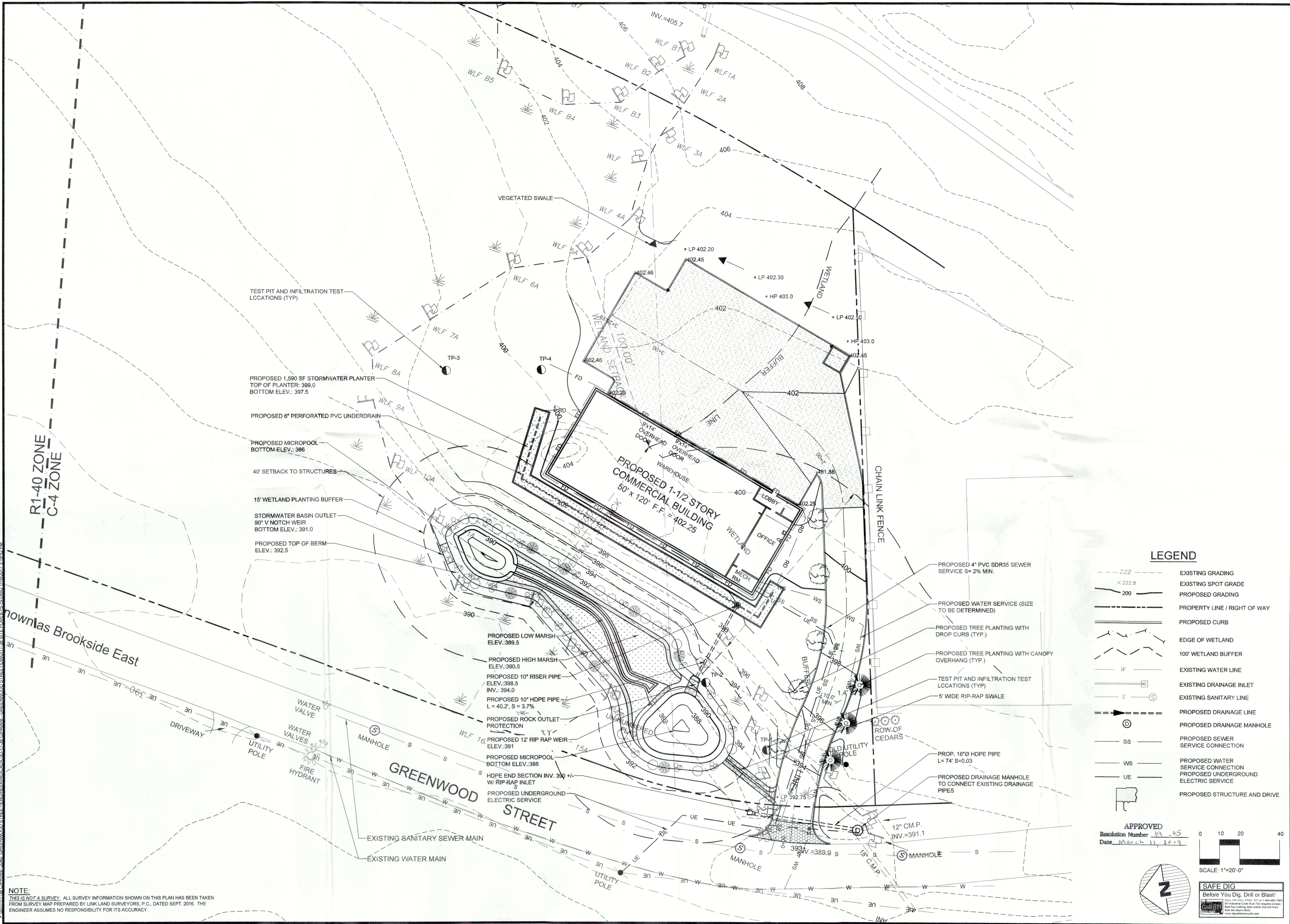
Job's Poultr



Fresh Eggs

# **2040 Greenwood Street**





R1-40 ZONE  
C-4 ZONE

known as Brookside East

NOTE:  
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY LINK LAND SURVEYORS, P.C., DATED SEPT. 2016. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

TEST PIT AND INFILTRATION TEST LOCATIONS (TYP)

PROPOSED 1,590 SF STORMWATER PLANTER  
TOP OF PLANTER: 399.0  
BOTTOM ELEV.: 397.5

PROPOSED 6" PERFORATED PVC UNDERDRAIN

PROPOSED MICROPOOL  
BOTTOM ELEV.: 386

40' SETBACK TO STRUCTURES

15' WETLAND PLANTING BUFFER

STORMWATER BASIN OUTLET  
90° V NOTCH WEIR  
BOTTOM ELEV.: 391.0

PROPOSED TOP OF BERM  
ELEV.: 392.5

PROPOSED LOW MARSH  
ELEV.: 389.5

PROPOSED HIGH MARSH  
ELEV.: 390.5

PROPOSED 10" RISER PIPE  
ELEV.: 398.5  
INV.: 394.0

PROPOSED 10" HDPE PIPE  
L = 40.2', S = 3.7%

PROPOSED ROCK OUTLET PROTECTION

PROPOSED 12" RIP RAP WEIR  
ELEV.: 391

PROPOSED MICROPOOL  
BOTTOM ELEV.: 386

HDPE END SECTION INV. 390 +/-  
W/ RIP RAP INLET

PROPOSED UNDERGROUND ELECTRIC SERVICE

PROPOSED 1-1/2 STORY COMMERCIAL BUILDING  
50' x 120' F.F. = 402.25

PROPOSED 4" PVC SDR35 SEWER SERVICE S= 2% MIN.

PROPOSED WATER SERVICE (SIZE TO BE DETERMINED)

PROPOSED TREE PLANTING WITH DROP CURB (TYP.)

PROPOSED TREE PLANTING WITH CANOPY OVERHANG (TYP.)

TEST PIT AND INFILTRATION TEST LOCATIONS (TYP)

5' WIDE RIP-RAP SWALE

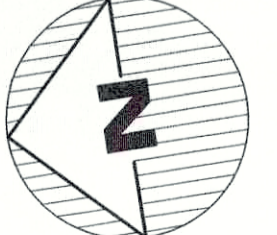
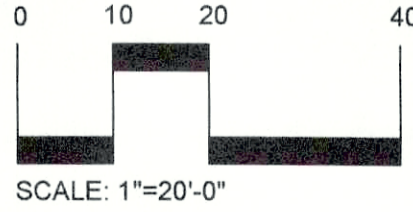
PROP. 18" HDPE PIPE  
L= 74' S=0.03

PROPOSED DRAINAGE MANHOLE TO CONNECT EXISTING DRAINAGE PIPES

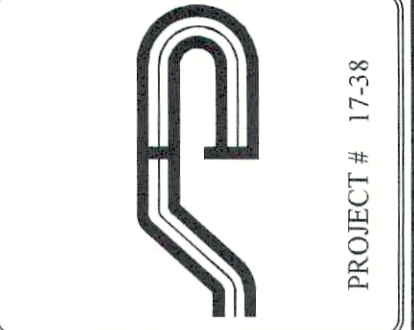
LEGEND

- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- --- PROPERTY LINE / RIGHT OF WAY
- --- PROPOSED CURB
- --- EDGE OF WETLAND
- --- 100' WETLAND BUFFER
- W --- EXISTING WATER LINE
- --- EXISTING DRAINAGE INLET
- S --- EXISTING SANITARY LINE
- --- PROPOSED DRAINAGE LINE
- --- PROPOSED DRAINAGE MANHOLE
- SS --- PROPOSED SEWER SERVICE CONNECTION
- WS --- PROPOSED WATER SERVICE CONNECTION
- UE --- PROPOSED UNDERGROUND ELECTRIC SERVICE
- --- PROPOSED STRUCTURE AND DRIVE

APPROVED  
Resolution Number 19-05  
Date March 11, 2019



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Revisions:	No.	Date	Comments:
	1	11/8/17	ADD DETAILS
	2	12/18/18	ADD PLAN
	3	12/18/18	ADD PLAN
	4	5/31/18	Soil Test Log
	5	9/25/18	DEP. Comments
	6	12/5/18	Town Comments
	7	1/9/19	Town Comments
	8	7/15/19	DEP. Comments
	9	8/15/19	DEP. Comments
	10	1/01/20	DEP. Comments

SCALE: 1" = 20'  
DRAWN BY: MD  
DATE: 10-16-17

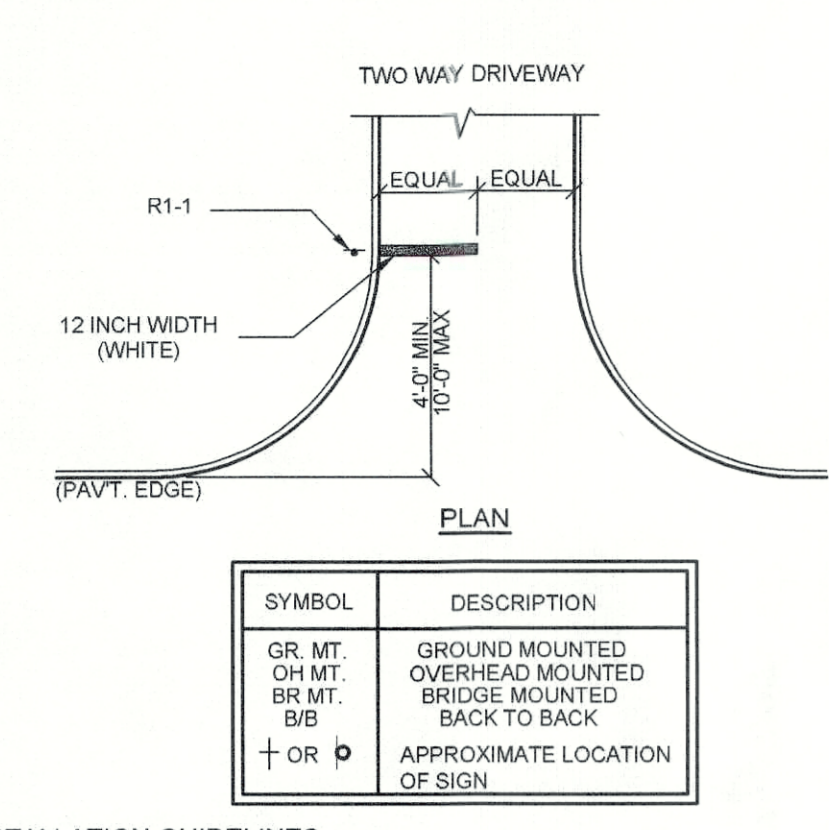
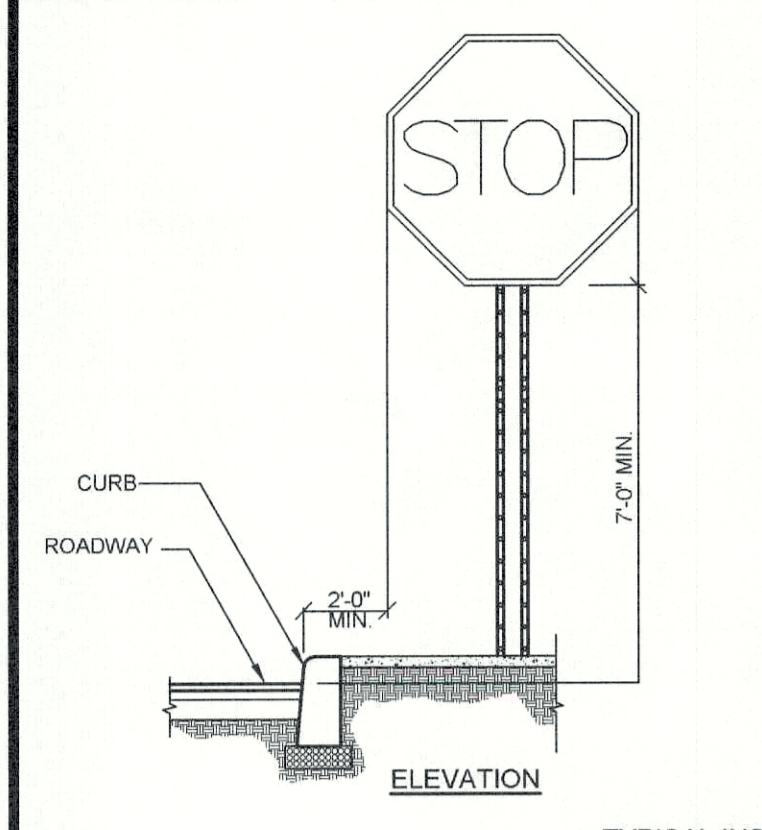
IMPROVEMENT PLAN

SITE PLAN PREPARED FOR  
**ENVIROGREEN ASSOCIATES**  
2040 GREENWOOD ST.  
Westchester County, NY  
Town Of Yorktown

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PROJECT # 1738





SYMBOL	DESCRIPTION
GR. MT.	GROUND MOUNTED
OH. MT.	OVERHEAD MOUNTED
BR. MT.	BRIDGE MOUNTED
B/B	BACK TO BACK
+ OR D	APPROXIMATE LOCATION OF SIGN

**TYPICAL INSTALLATION GUIDELINES**

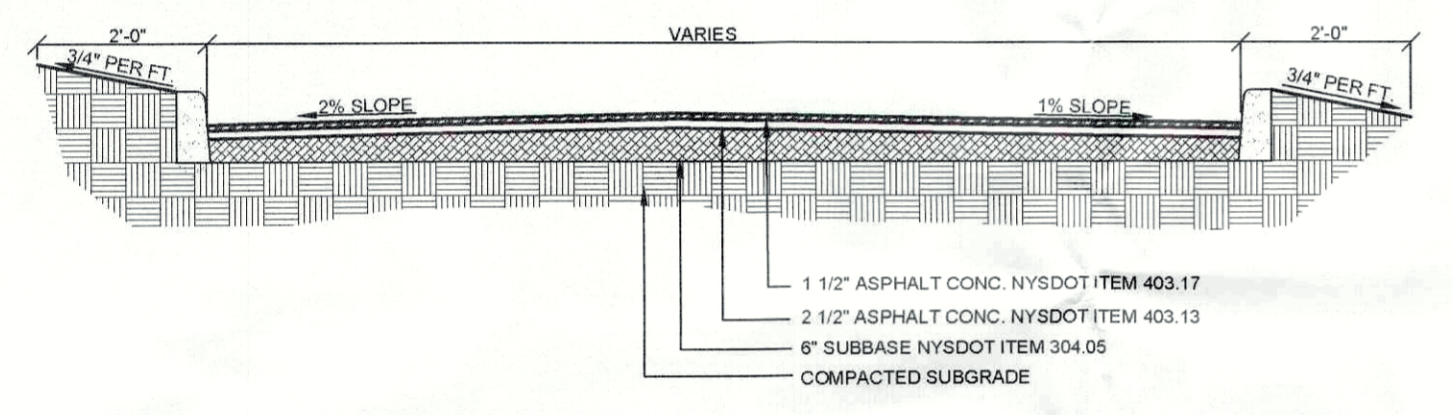
SIGN	M.U.T.C.D. NUMBER	SIZE OF SIGN	TYPE OF MOUNT
	R1-1	18" X 18"	GR. MT.
	R7-8	12" X 18"	GR. MT.

- GENERAL NOTES:**
- All signage shall be in accordance with the latest edition of the national MUTCD and the N.Y.S Supplement (MUTCD), September 2007, including the following:
    - A. Letter size and series
    - B. Legend and background color
    - C. Reflectivity
    - D. Size of sign
  - The type of characters as specified in the standard specifications shall be as follows:
 

MUTCD CODE LETTER	TYPE OF CHARACTER
G.I.	TYPE IV
R.P.W.M.	TYPE IV OR V
  - Sign locations as shown on plans are approximate. The Contractor shall relocate existing signs and install new signs in accordance with the MUTCD, latest edition. The Contractor shall contact the Town Engineer to discuss/resolve problem areas.
  - Except where otherwise specified, parking signs shall be placed facing approaching traffic at an angle of between 30 and 45 degrees with the line of traffic flow. Parking signs shall be placed at each end of a regulation (single-headed arrows) and, within the regulation (double-headed arrows), at intervals not to exceed 200 ft.
  - Where new signs are installed the Contractor shall affix a label to the back of the sign panel. This label will show the date of installation and identification numbers.
  - Placement of W3-17 sign is prescribed in the General Municipal Law.

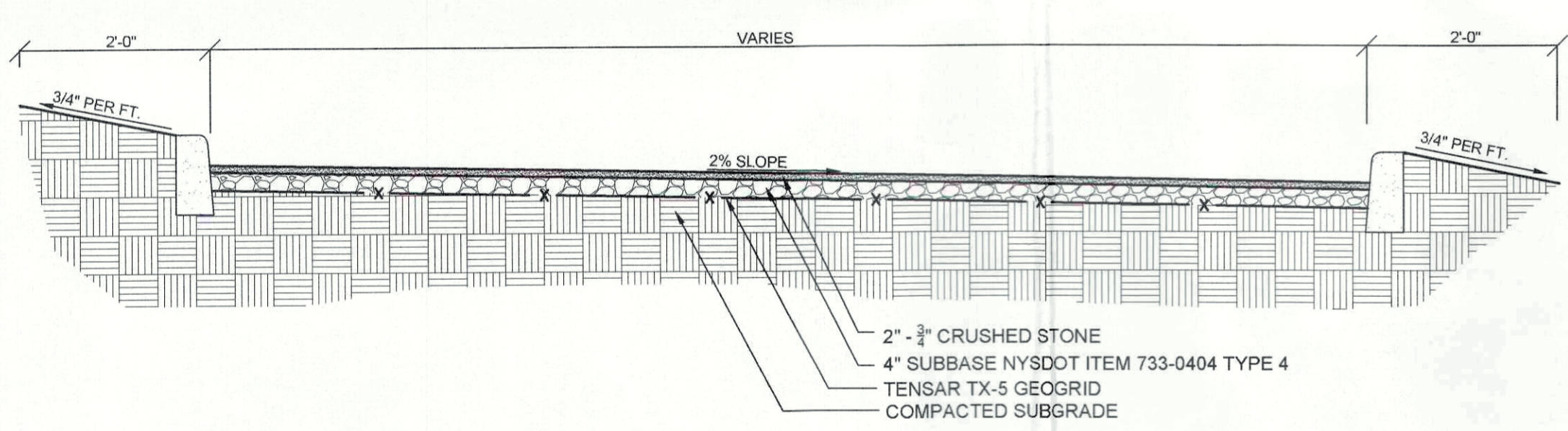
R-1

**TRAFFIC SIGN DETAIL**  
NOT TO SCALE



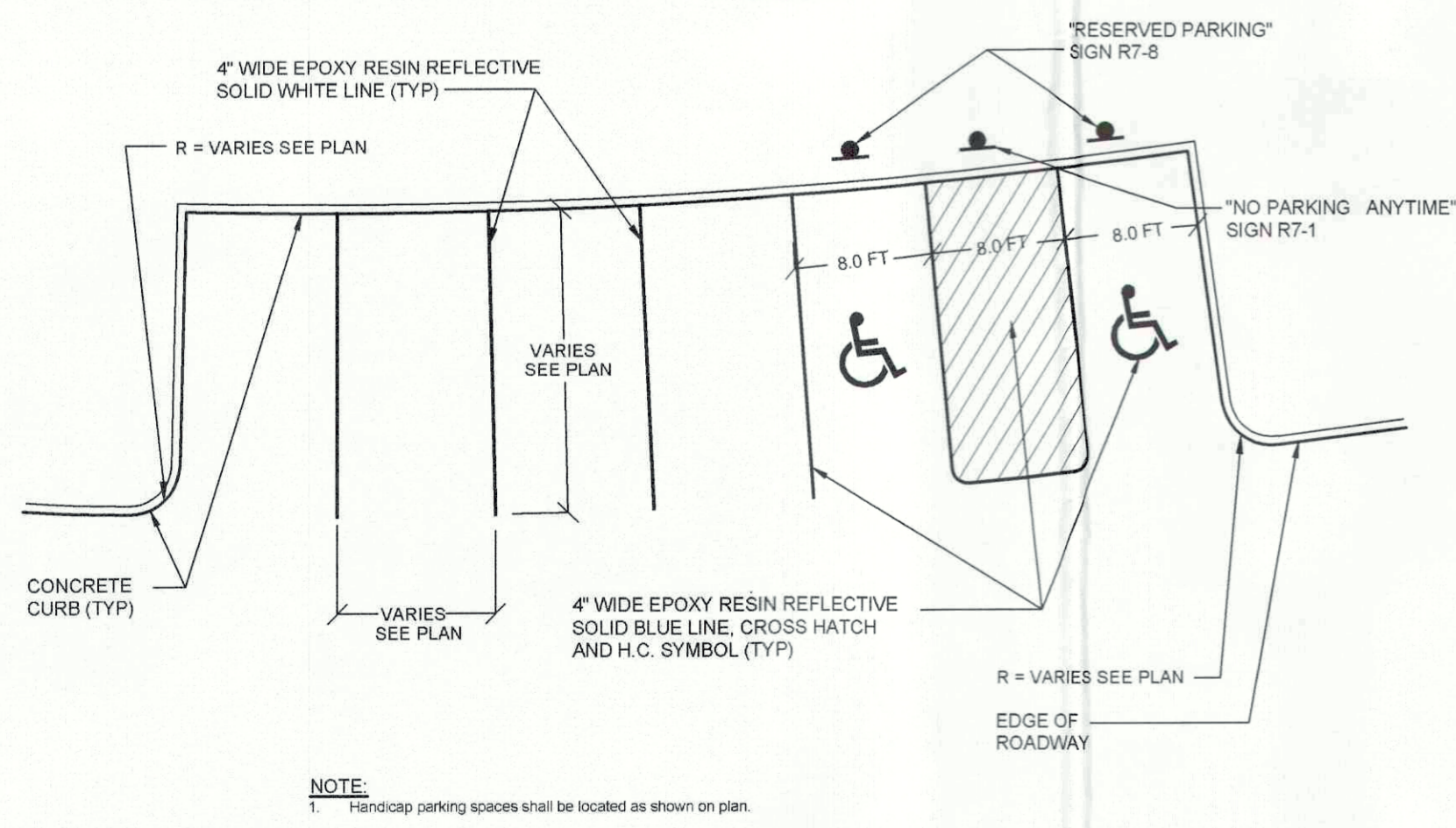
R-2

**TYPICAL DRIVEWAY SECTION**  
NOT TO SCALE



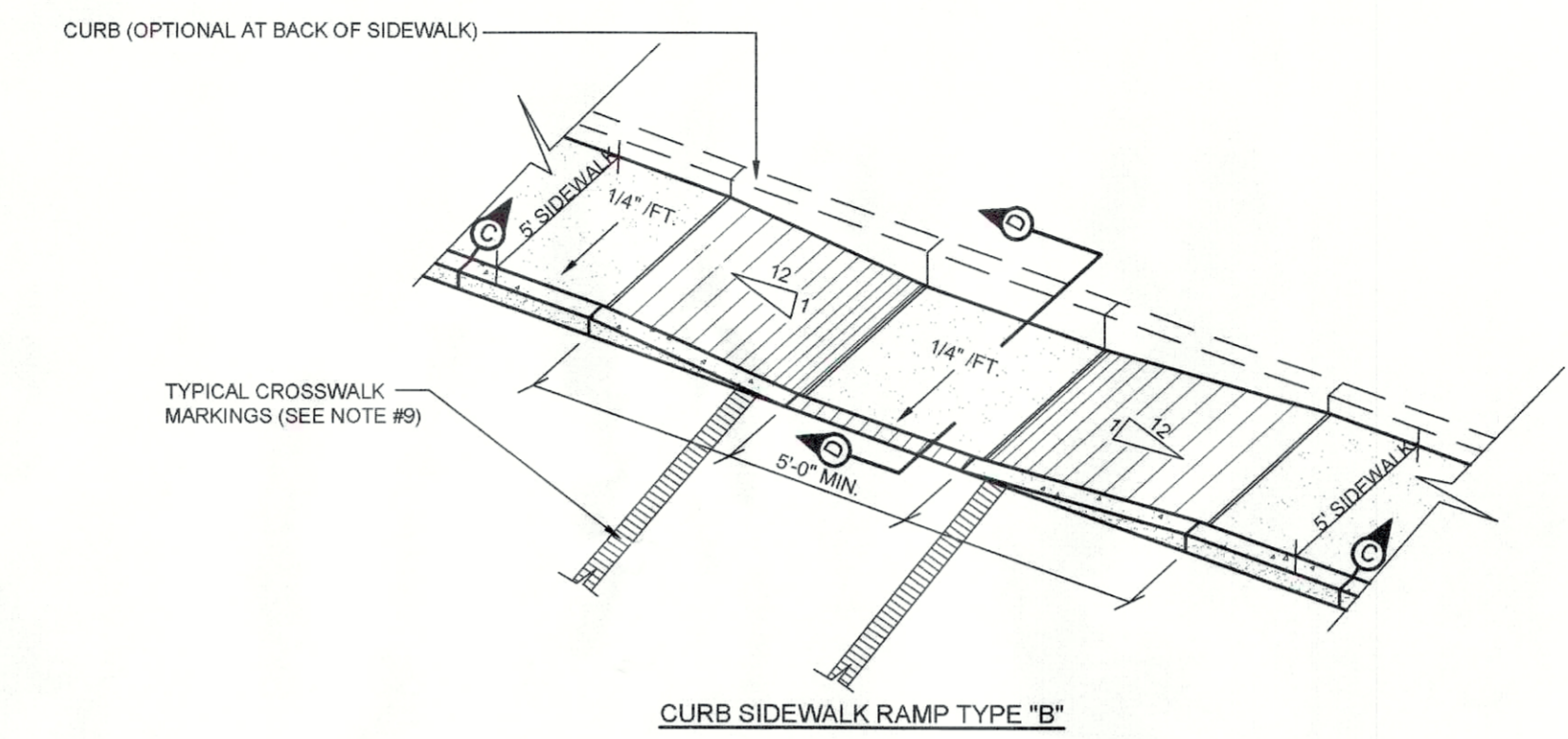
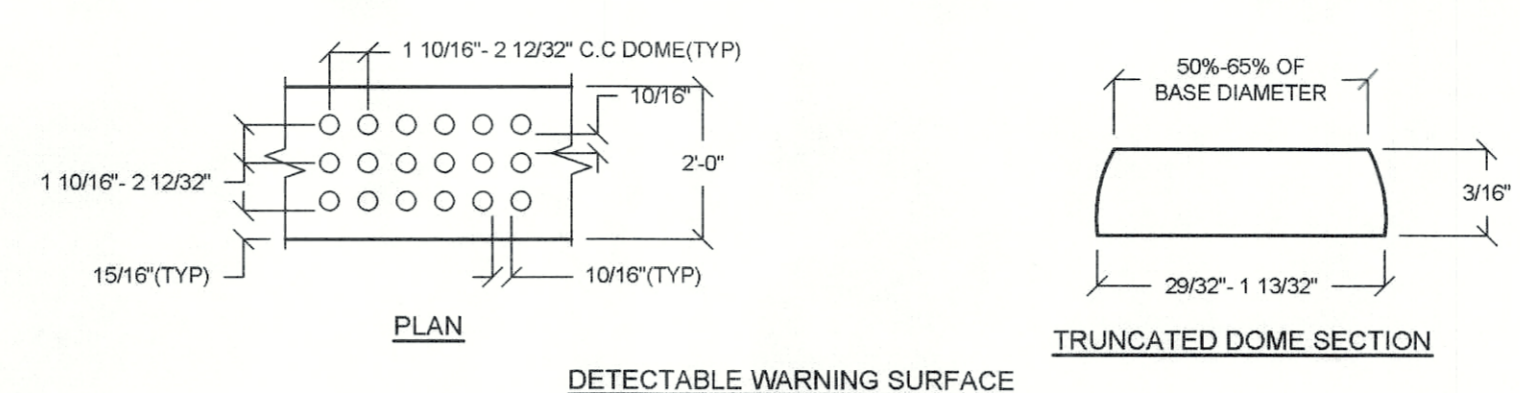
R-3

**TYPICAL PARKING LOT SECTION**  
NOT TO SCALE



R-4

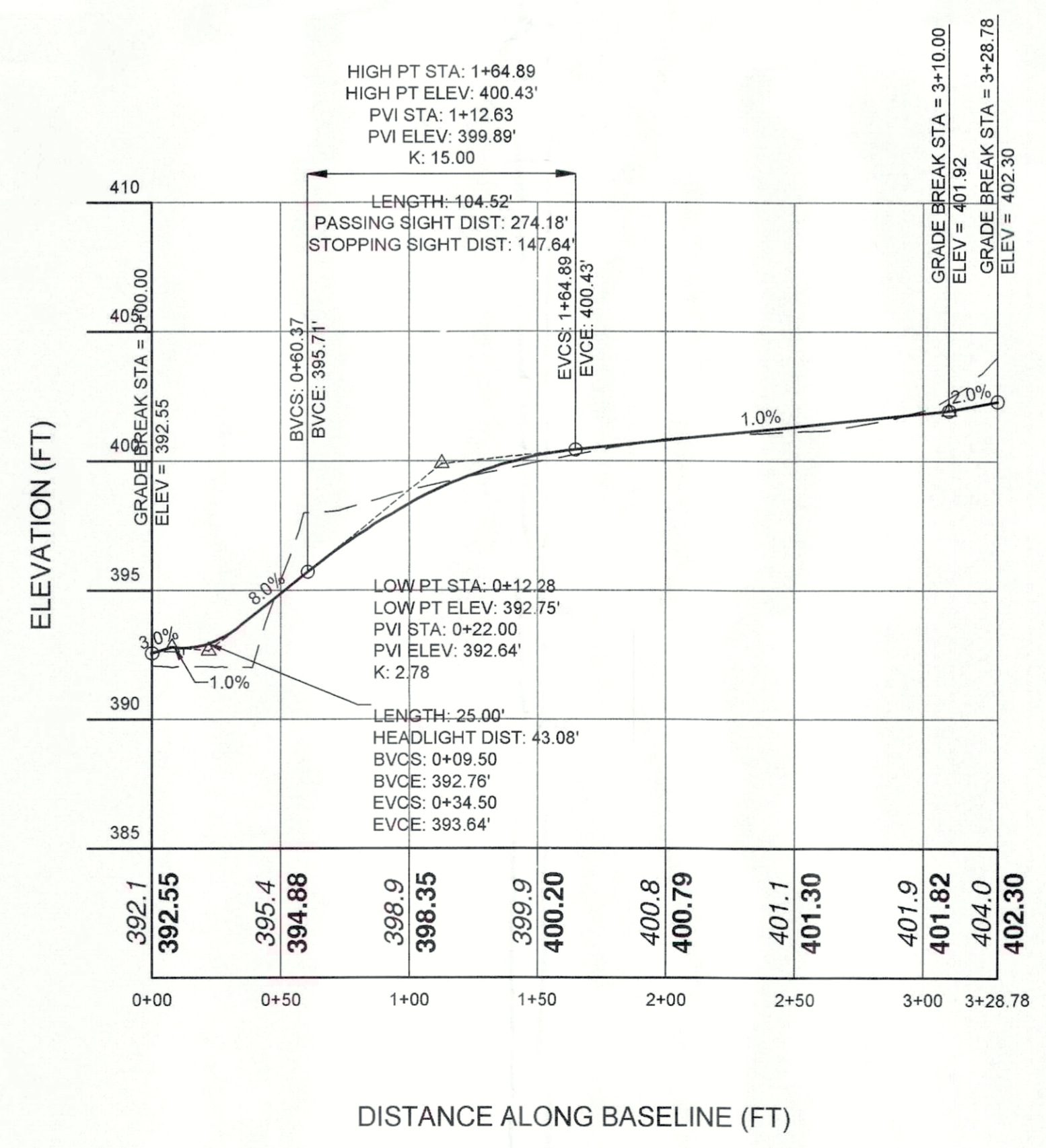
**TYPICAL PARKING STALL LAYOUT**  
NOT TO SCALE



- NOTES:**
- GENERAL:**
- Sidewalk curb ramp type and location are as shown on the plans or as directed.
  - All sidewalk curb ramp types may be used as straight or curved curb sections.
  - Sidewalk curb ramp types may be different at each location within an intersection.
- SIDWALK CURB RAMP CRITERIA:**
- The maximum slope of a sidewalk curb ramp shall be 1:12.
  - The maximum width of a sidewalk curb ramp shall be five feet. Exclusive of flared sides.
  - All sidewalk curb ramps shall have flush, smooth transitions to the adjacent street or highway surface.
- SURFACE FINISH:**
- The surface of all sidewalk curb ramps shall be stable, firm, and slip resistant (E.G. A coarse broom finish perpendicular to the ramp slope is acceptable on cement concrete curb ramps.)
- SIDWALK CURB RAMP PLACEMENT:**
- At a corner, where the curb radius is 25-feet or less, a single ramp (either type a or b) located diagonally can often serve crosswalks in two directions. However, a single ramp shall only be used where there is a minimum clear space of 48" falling entirely within the projection of the intersection curbs (see figure 1). Where the radius exceeds 25' or the minimum 48" clear space is not achievable, then separate ramps should be provided for each crosswalk.
- PAVEMENT MARKINGS AT CROSSWALKS:**
- Sidewalk curb ramps at marked crossings shall be wholly contained within the markings excluding any flared sides.
- UTILITIES - DRAINAGE INLETS OR GRATES:**
- Where stop lines are necessary, they shall be located in advance of sidewalk curb ramps.
  - Where feasible, provide for drainage inlets or grates immediately upstream from the curb ramps. Reti-culene or rectangular drainage grates are to be used in the area of curb ramps.
  - Do not place signal poles, sign posts, utility poles, fire hydrants, etc. within the ramp or side flare areas.

R-5

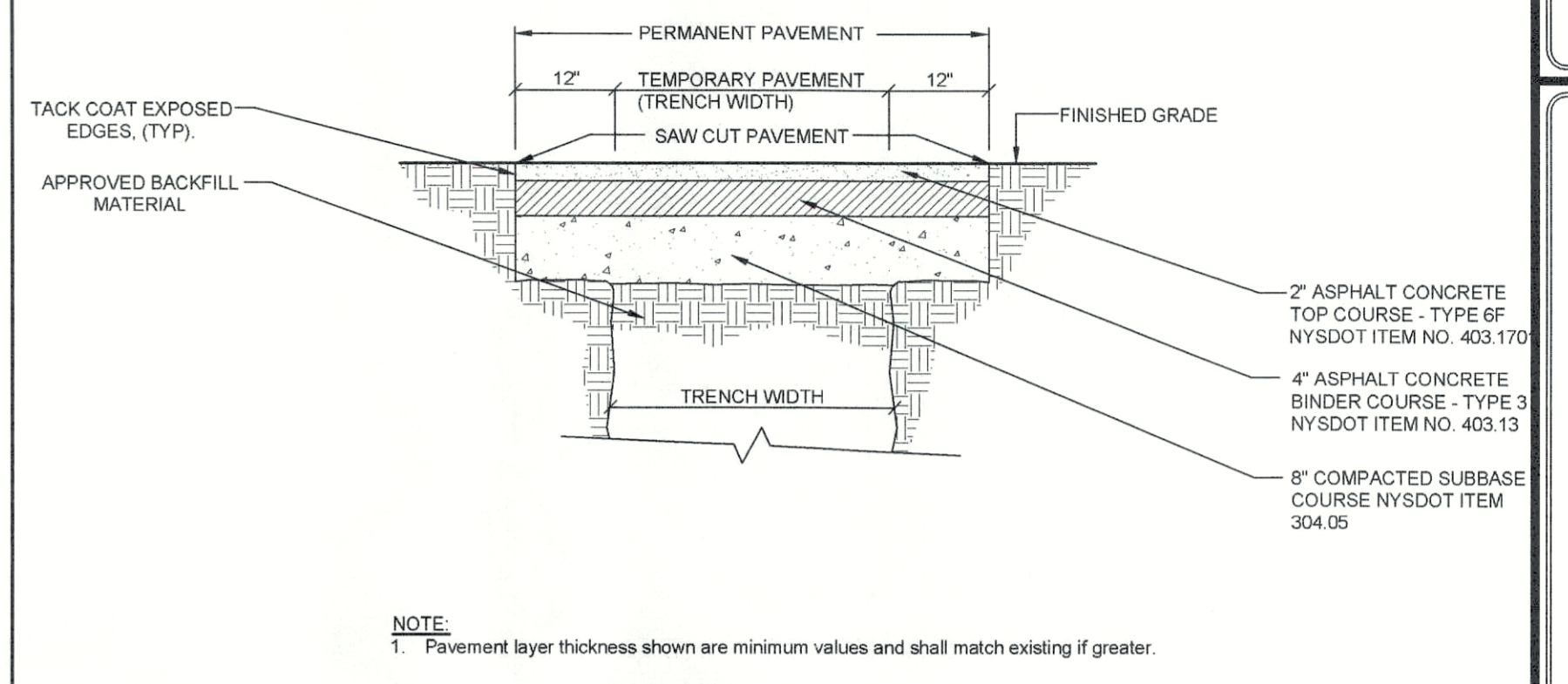
**SIDWALK CURB-RAMP DETAIL**  
NOT TO SCALE



Driveway  
VERT. SCALE: 1" = 2'  
HORIZ. SCALE: 1" = 20'

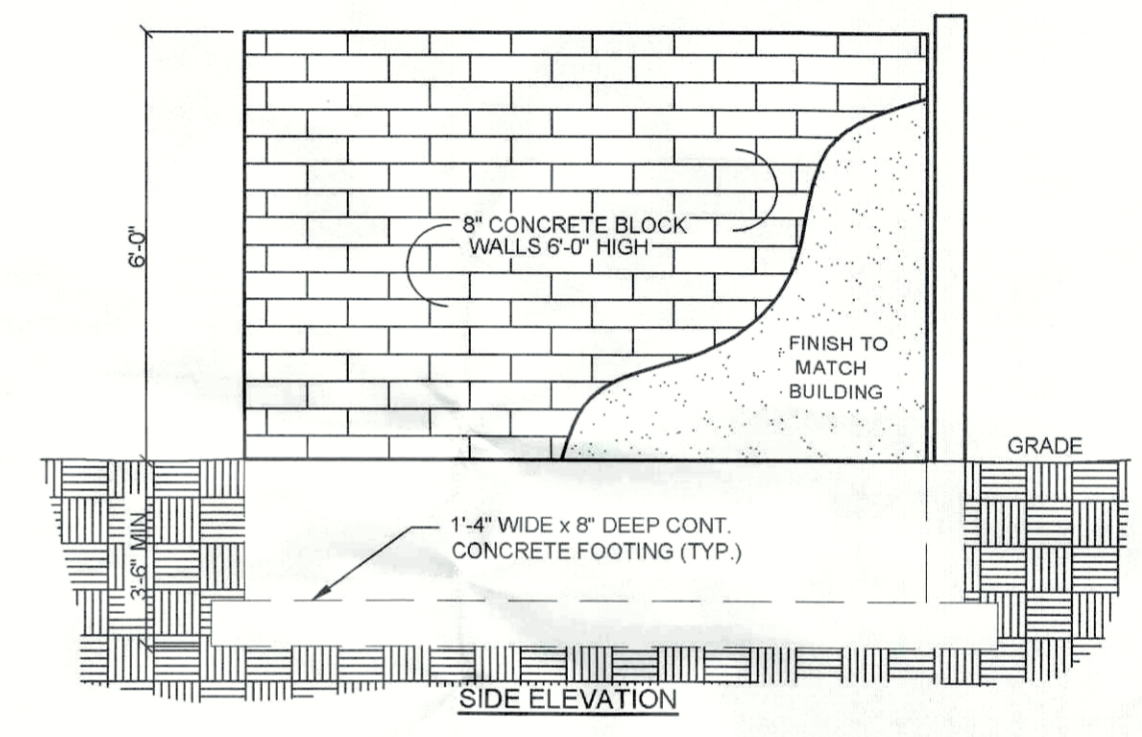
R-6

**ROADWAY PAVEMENT REPLACEMENT DETAIL**  
NOT TO SCALE



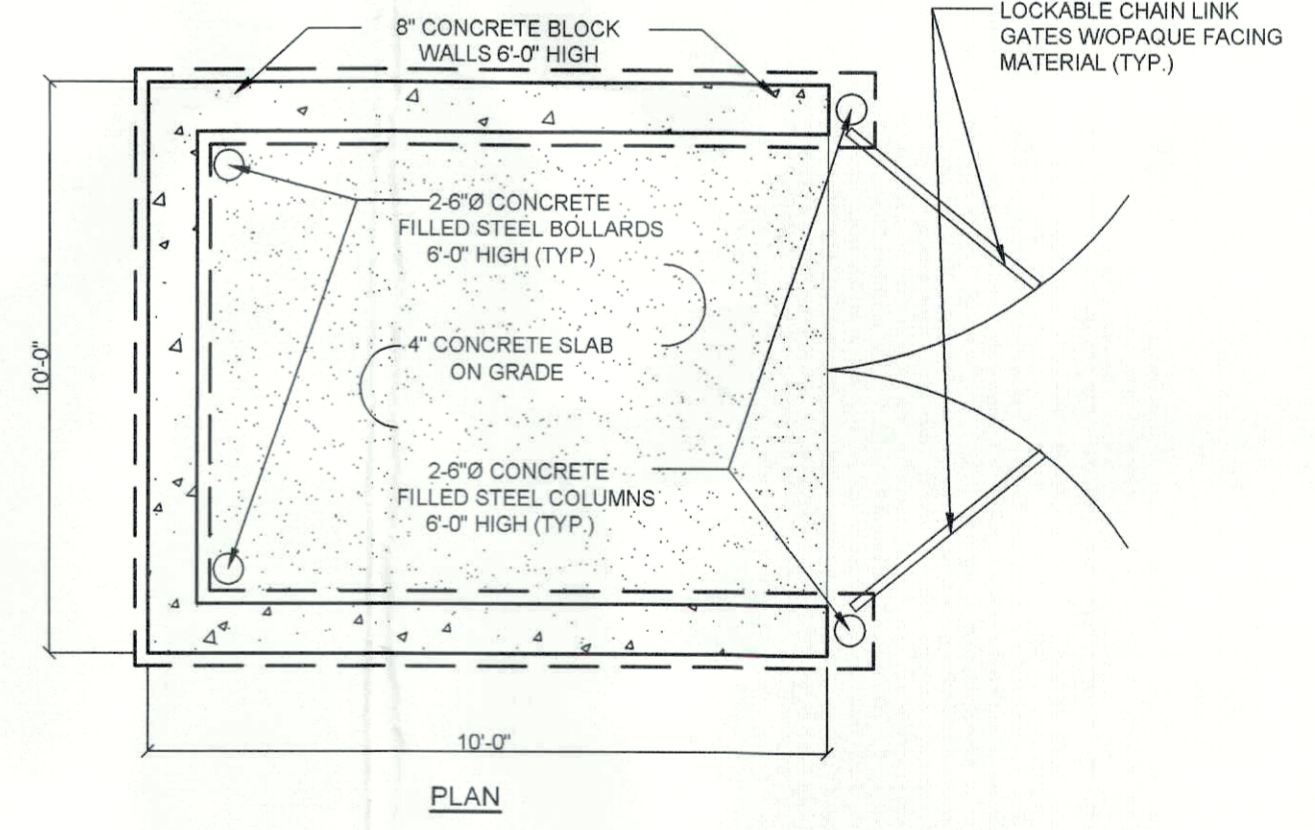
R-6

**ROADWAY PAVEMENT REPLACEMENT DETAIL**  
NOT TO SCALE



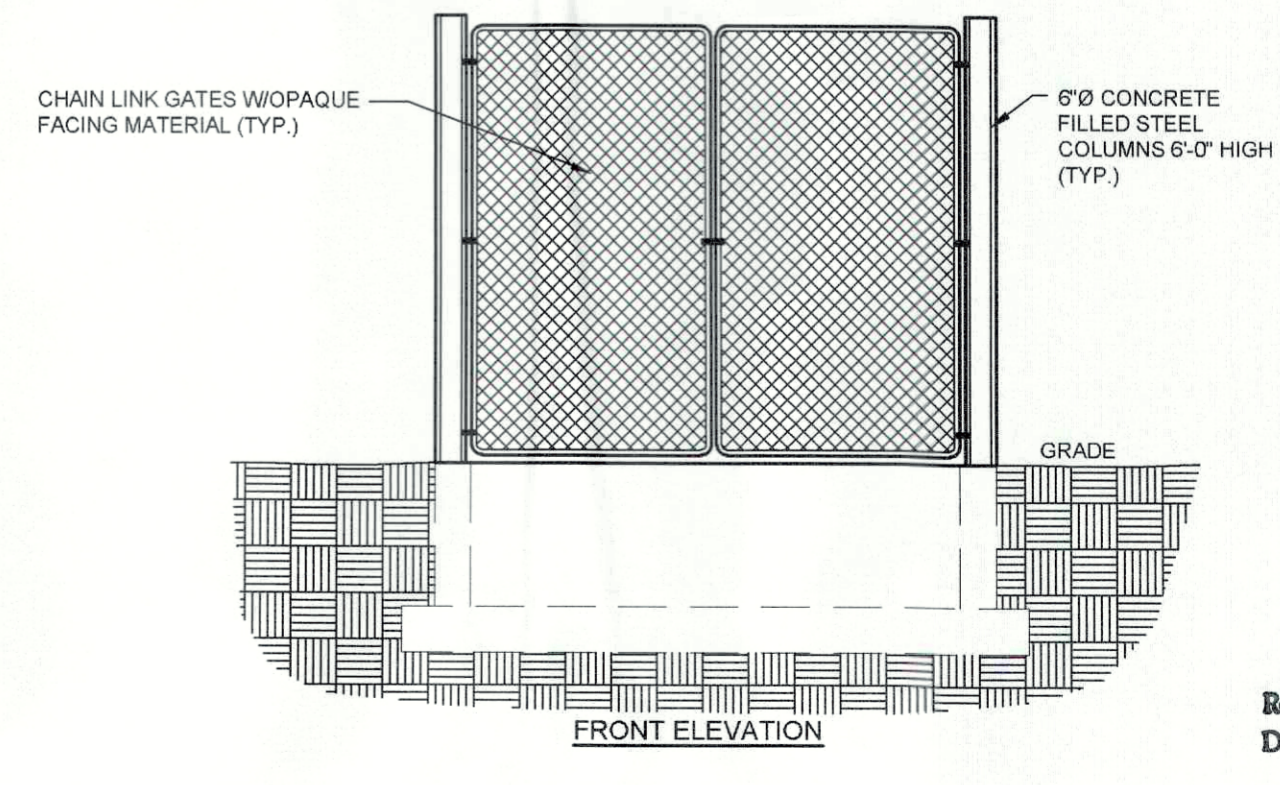
R-6

**ROADWAY PAVEMENT REPLACEMENT DETAIL**  
NOT TO SCALE



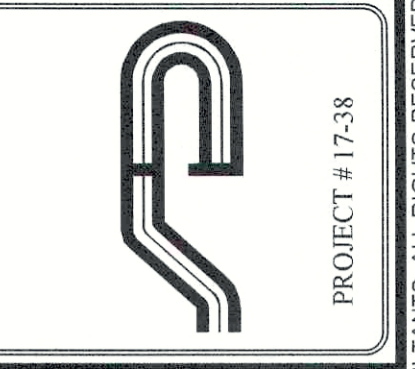
R-6

**ROADWAY PAVEMENT REPLACEMENT DETAIL**  
NOT TO SCALE



F-1

**TRASH ENCLOSURE**  
NOT TO SCALE



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NO.	DATE	BY	DESCRIPTION
1	1/27/17	ADD	ADD DETAILS
2	1/22/18	ALT	PLAN
3	2/14/18	LEG	LEGEND ADDED
4	5/31/18	SOI	Soil Test Log
5	7/27/18	DEP	Comments
6	7/27/18	DEP	Comments
7	1/9/19	LEV	Comments
8	7/15/19	DEP	Comments
9	8/15/19	DEP	Comments
10	10/17/19	DEP	Comments

SCALE: NTS	DRAWN BY: DR	DATE: 10/16/17
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**SITE DETAILS**

**ENVIROGREEN ASSOCIATES**  
2040 GREENWOOD ST.  
Westchester County, NY  
Town Of Yorktown

F:\2017\38 GERRANI\2040 GREENWOOD STREET\ENGINEERING\CADD\3-D\17-38 GERRANI GREENWOOD STREET\DWG\17-38 SITE PLAN 8-15-19.DWG

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**Invasive Species Monitoring and Control Program**

Japanese barberry, oriental bittersweet, *Phragmites australis* and multiflora rose are all noted as present within and adjacent to the wetlands on the project site. These invasive species favor areas of disturbed soils and edge areas. This plan will implement an invasive species monitoring and manual control program for the duration of construction and development of the project. It has been designed to carry over into the needed maintenance plans that will need to be developed and implemented by the Project Owner.

Those areas of the site that are closest to the existing wetlands and watercourses have been disturbed and re-graded over the years. These are the portions of the site that are known to support invasive species which are altering the character of the wetlands and adjacent areas and represent a long term risk to the native vegetative community.

By controlling exotic vegetation, and reducing deer populations due to increased human activity on the site, nearby native plants will have less competition and therefore have more resources available for their own growth. An invasive species monitoring and control program will be implemented at the project site as part of the overall development plan. Species targeted for removal include the following:

- Tree-of-heaven (*Ailanthus altissima*)
- Multiflora rose (*Rosa multiflora*)
- Mugwort (*Artemisia vulgaris*)
- Autumn olive (*Elaeagnus umbellata*)
- Garlic mustard (*Alliaria petiolata*)
- Purple loosestrife (*Lythrum salicaria*)
- Common reed (*Phragmites australis*)
- Oriental bittersweet (*Celastrus orbiculatus*)
- Porcelainberry (*Ampelopsis brevipedunculata*)
- Japanese Barberry (*Berberis thunbergii*)
- Japanese Stilt Grass (*Microstegium vimineum*)
- Winged Euonymus (*Euonymus alatus*)

The above listed species and all other invasive non-native plants that are detrimental to the ecology of the project site will be removed during site development to the extent practicable. The goal of this program is to reduce the presence of exotic/invasive species to a threshold of less than ten percent total cover within the areas shown on the Wetland Restoration and Buffer Enhancement Plan (the "Plan"). A qualified biologist/botanist will supervise the removal of invasive species. Invasive species can be removed in several ways, depending on the location and species of the plant:

1. If a shrub is isolated and does not have its root system entwined with other plants, it may be removed mechanically. As much of the root system as possible should be removed to prevent the possibility of the invasive plant sprouting from root pieces left behind.
2. If a shrub is growing amongst other native plants in a way that uprooting it may disturb surrounding native plants warranting preservation, the plant may be most safely and effectively removed by chemical means. To remove by chemical means, the plant shall first be cut back to a few stubs and stumps, about twelve inches from the base. An EPA approved solution of glyphosate (Round-up or equivalent) shall be painted on the ends of the stumps. This technique shall be applied in the early fall months before the onset of plant dormancy. Proper notification must be made prior to the application of all restricted pesticides, and application made by a licensed applicator, if required. During project construction, glyphosate will only be applied by a licensed herbicide applicator, as coordinated with the Environmental Site Monitor. Only hand-cutting and removal will be allowed within the Wetland Controlled Area.
3. Highly invasive groundcovers, such as Japanese honeysuckle, are difficult to eliminate due to their habit of rooting along the stem. Groundcovers of this type will be removed by hand or mechanically. If after the second year of treatment the species persists, it may be sprayed with glyphosate, using a very dose and targeted application during the active growing season. If the plant is growing among other herbaceous or shrub material that would be harmed by spraying, the glyphosate shall be applied by brush or mechanical removal should be considered. Repeated treatments may be necessary to remove the plant completely.
4. Highly invasive annuals, such as garlic mustard, are difficult to eliminate due to their growth from seed that is widespread among the soil seed bank where the plants are found. Several methods may be utilized in removing this type of invasive plants. If the species is growing densely without other plants, the area will be sprayed with glyphosate during the active growing season, following the manufacturer's recommendations. Species will also be removed by hand. Both methods should be performed before plants set seed. Both methods shall be performed multiple times over a season and possibly over several seasons to completely eradicate the target species.

**Monitoring and Maintenance Schedule**

Following development of the site, a maintenance plan will include the regular inspection of undisturbed areas as shown on the Plan, and removal of these species as necessary. This represents the transitional areas that are most susceptible to opportunistic settling of invasive species. It is anticipated that a schedule of inspections three times a year for the first three years following full project build out (early, mid and late growing season) will be adequate for the identification and removal of the invasive species in this area.

The Town Building Inspector and Wetlands Inspector will be consulted prior to the proposed removal of invasive species within the controlled area. In addition, all activities related to invasive species control, monitoring and assessment of achievement of the 10 percent tolerance threshold for coverage by all invasive species on the project site will be coordinated with the Environmental Site Monitor. These inspections will include the mapping and identification of locations and extent of cover of invasive species, and identify the methods to be used for the subsequent removal. Following treatment, a brief report outlining extent, location and removal method for each species shall be prepared and filed with the Town Planning Office.

Plant Species Choices for Wetland Buffer Enhancement/Restoration				
Map Symbol	Quantity*	Scientific Name	Common Name	Size
<b>Trees</b>				
Aru	5	<i>Acer rubrum</i>	Red Maple	5' - 6'
TP	5	<i>Thuja plicata</i> "Emerald Cone"	Western red cedar	8' - 10'
TP	9	<i>Thuja plicata</i> "Emerald Cone"	Western red cedar	6' - 7'
<b>Shrubs</b>				
CSe	39	<i>Cornus sericea</i>	Redosier dogwood	3' - 4'
AC	6	<i>Amelanchier canadensis</i>	Shadblow	4' - 5'
IV	7	<i>Ilex verticillata</i>	Winterberry holly	3' - 4'
VC	21	<i>Vaccinium corymbosum</i>	Highbush blueberry	4' - 5'
VD	21	<i>Viburnum dentatum</i>	Arrowwood	4' - 5'
<b>Herbaceous Plants</b>				
CS	100	<i>Carex stricta</i>	Tussock sedge	2" plug
CC	100	<i>Carex crinita</i>	Fringed sedge	2" plug
JE	100	<i>Juncus effusus</i>	Soft rush	2" plug
<b>Seed Mix</b>				
SWM	8 pounds	Riparian Buffer Mx ERNMX-154 Or equivalent		

**Wetland Buffer Enhancement Areas**

Following the removal of non-native invasive species as specified in the invasive species eradication plan, wetland and buffer areas will be seeded using the following seed mixes:

Buffer Areas - Riparian Buffer Mx (ERNMX-154 or equivalent) at 20 lbs/acre.

Native trees will remain to the extent practicable, and field adjustments may be made to the location of the proposed plantings if existing trees are present. The quantity of plantings to be added will not change.



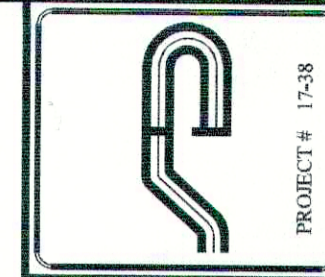
**Plant List**

Date: February 20, 2019

Abb.	Scientific Name	Common Name	Size	Spacing	Quan.
<b>Trees</b>					
AR	<i>Acer rubrum</i>	Red Maple	2-2.5' cal. 14-16' ht.	As Shown	8
T	<i>Liriodendron tulipifera</i>	Tulip Tree	2-2.5' cal. 14-16' ht.	As Shown	1
PO	<i>Platanus occidentalis</i>	Sycamore	2-2.5' cal. 14-16' ht.	As Shown	5
<b>Evergreen Trees</b>					
PG	<i>Picea glauca</i>	White Spruce	10-12' ht.	As Shown	3
PS	<i>Pinus strobus</i>	White Pine	8-10' ht.	As Shown	3
TO	<i>Thuja occidentalis</i>	Northern White Cedar	8-6' ht.	As Shown	7
<b>Shrubs &amp; Perennials</b>					
CS	<i>Cornus sericea</i>	Red Twig Dogwood	3.5-4' ht.	10' O.C.	20
HV	<i>Hamamelis virginiana</i>	Witch Hazel	3.5-4' ht.	As Shown	8
IV	<i>Ilex verticillata</i>	Winterberry	3.5-4' ht.	As Shown	8
P	<i>iris versicolor</i>	Blue Flag Iris	Tubers	As Shown	57
VC	<i>Vaccinium corymbosum</i>	Highbush Blueberry	3.5-4' ht.	As Shown	7
VD	<i>Viburnum dentatum</i>	Arrowwood	3.5-4' ht.	10' O.C.	9

**Plant Notes:**

1. Contractor to verify all plant quantities listed above and adjust if necessary.
2. All plants to be full and shall have branching and a shape characteristic of the species. All plants to be warranted for a period of one year or two full growing seasons.
3. Provide 12" loamy topsoil around all rootballs. Mulch all plants with 2" shredded cedar bark to extents of plant pits. Soils will be tested before any fertilizers are used.
4. Provide all deciduous trees with a slow release Greenscapes watering bag, 20 gal. capacity, or equal. Fill at planting and as necessary thereafter, remove after warranty period.
5. Water all Corifers and Large Shrubs weekly during the first growing season and as needed after the first year.
6. Seed basin with ERNMX-122, mulch with EZ-Straw Seeding Mulch.



**Site Design Consultants**  
 Civil Engineers • Land Planners  
 251-F Underhill Avenue • Yorktown Heights, NY 10598  
 (914) 962-4444 • www.sitedesignconsultants.com



Revisions:

No.	Date	Description
1	10/16/19	Final Plan

SCALE: 1" = 20'  
 DRAWN BY: MD  
 DATE: 10-16-19

**LANDSCAPE AND BUFFER ENHANCEMENT PLAN**

**SITE PLAN PREPARED FOR ENVIROGREEN ASSOCIATES**  
 2040 GREENWOOD ST.  
 Town of Yorktown, Westchester County, NY

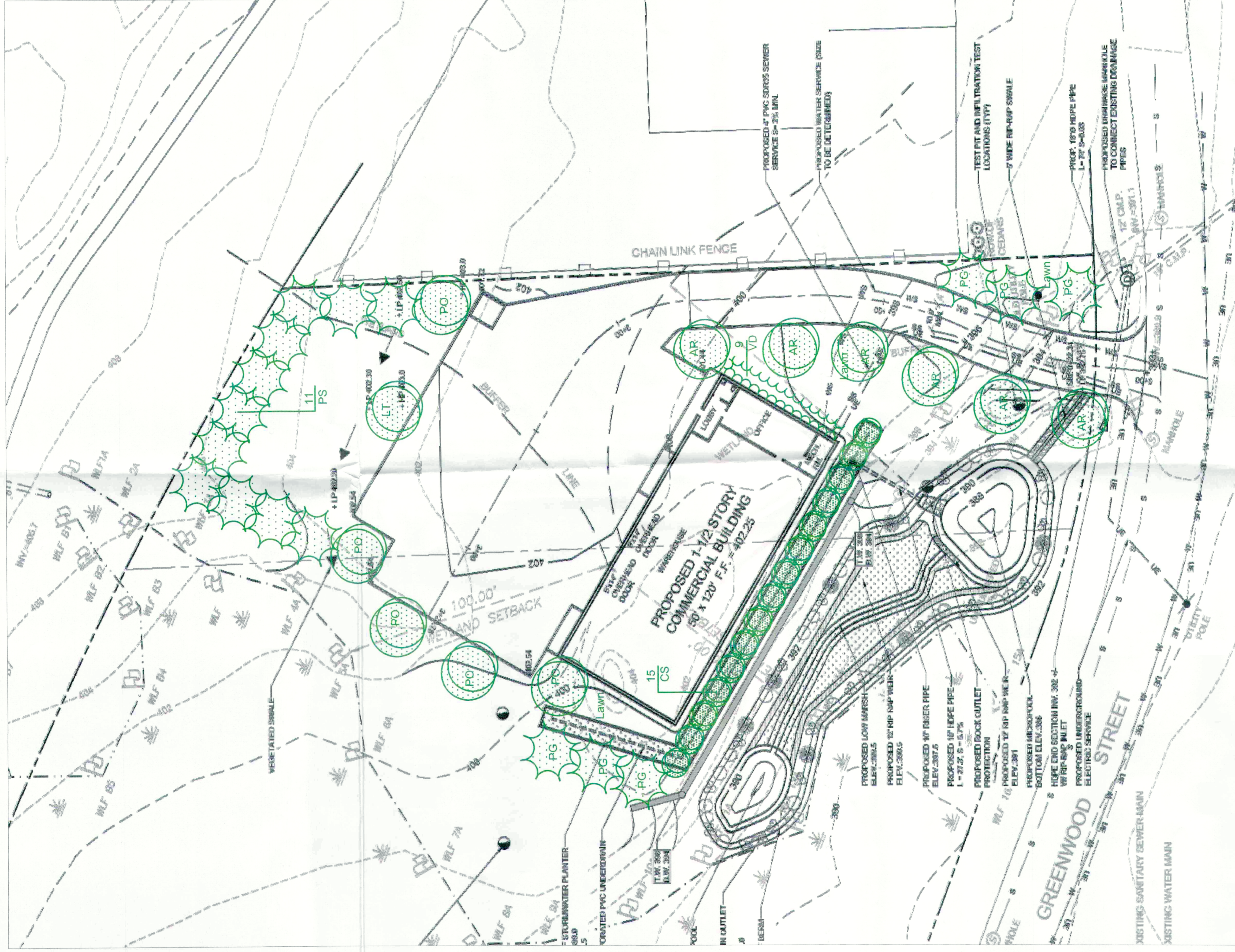
Sheet 4 of 8



Mitigation plan prepared by Steve Marino, PWS  
 Tim Miller Associates, Inc.  
 Cold Spring, NY

APPROVED  
 Resolution Number 19-05  
 Date March 11, 2019

Composite Landscape/Buffer Enhancement Plan  
 Envirogreen Associates  
 Town of Yorktown, Westchester County  
 Basemap Source: Site Design Consultants  
 October 16, 2019



**Plant List**

Date: September 18, 2019

Abb.	Scientific Name	Common Name	Size	Spacing	Quan.
Trees					
AR	Acer rubrum	Red Maple	2-2.5' cal. 14-16' ht.	As Shown	6
LT	Liriodendron tulipifera	Tulip Tree	2-2.5' cal. 14-16' ht.	As Shown	1
PO	Platanus occidentalis	Sycamore	2-2.5' cal. 14-16' ht.	As Shown	5
Evergreen Trees					
PG	Picea glauca	White Spruce	10-12' ht.	As Shown	6
PS	Pinus strobus	White Pine	8-10' ht.	As Shown	3
Shrubs & Perennials					
CS	Cornus sericea	Red Twig Dogwood	3.5-4' ht.	10' O.C.	15
HV	Hamamelis virginiana	Witch Hazel	3.5-4' ht.	As Shown	15
IV	Ilex verticillata	Winterberry	3.5-4' ht.	As Shown	8
NL	Iris pseudacorus	Yellow Flag Iris	Tubers	As Shown	57
VC	Vaccinium corymbosum	Highbush Blueberry	3.5-4' ht.	As Shown	7
VD	Viburnum dentatum	Arrowwood	3.5-4' ht.	6' O.C.	9

**Plant Notes:**

- Contractor to verify all plant quantities listed above and adjust if necessary.
- All plants to be full and shall have branching and a shape characteristic of the species. All plants to be warranted for a period of one year or two full growing seasons.
- Provide 12" loamy topsoil around all rootballs. Mulch all plants with 2" shredded cedar bark to extents of plant pits.
- Provide all deciduous trees with a slow release Greenscapes watering bag, 20 gal capacity, or equal. Fill at planting and as necessary thereafter, remove after warranty period.
- Water all Conifers and Large Shrubs weekly during the first growing season and as needed after the first year.
- Seed basin with ERMX-122, mulch with EZ-Straw Seeding Mulch.

- General Notes:
- This drawing is for specification of plant material only.
  - All base data by others, no representation of accuracy is made or implied.
  - Contractor shall keep the site in a safe condition during construction, and thereafter the owner will maintain the site in a safe condition.



0' 20' 40'  
Graphic Scale

APPROVED  
Resolution Number 13-05  
Date: March 11, 2019

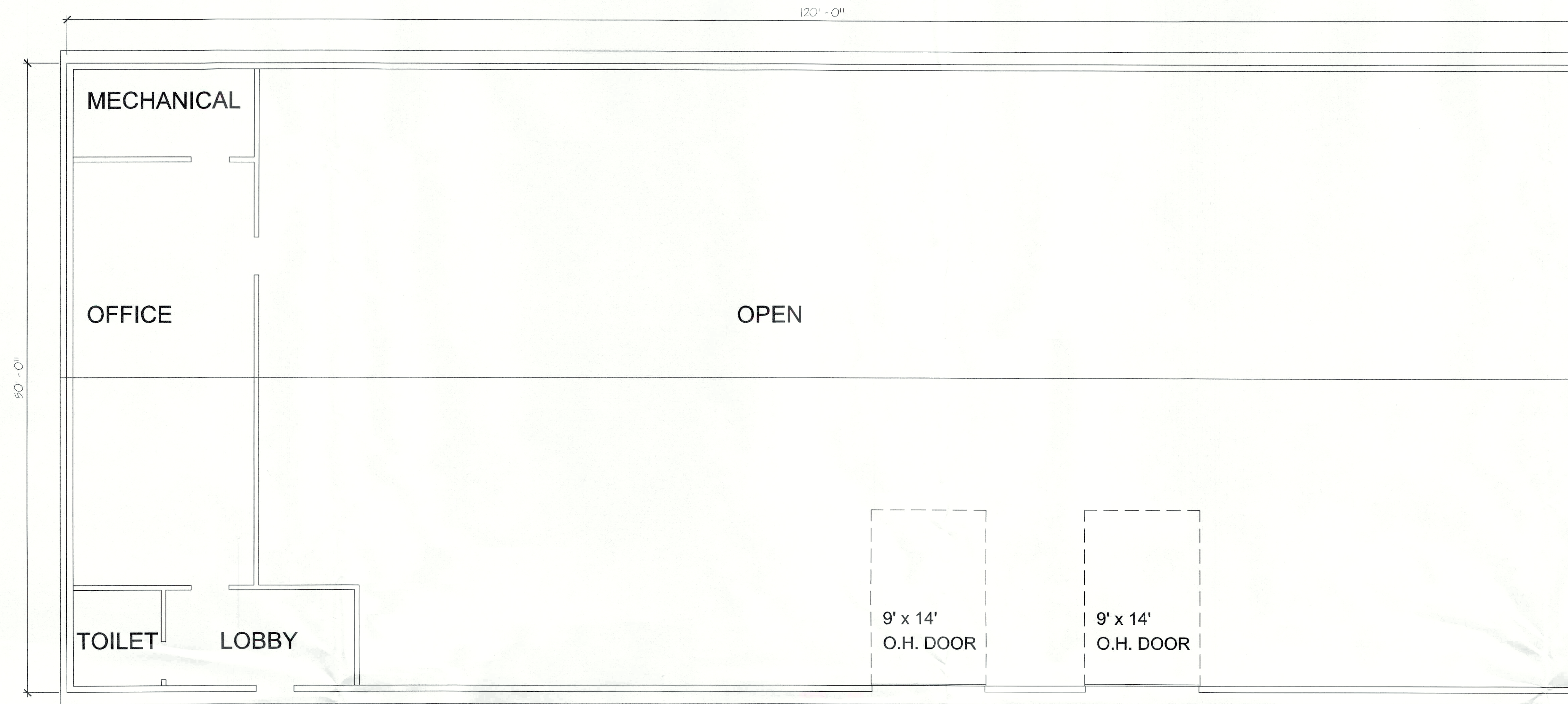
Stephen Lopez  
Landscape Architect

Tim Miller Associates, Inc.  
10 North Street, Cold Spring, NY 10516  
(845) 265-4400, Fax: 265-4418

Landscape Design  
2040 Greenwood Street  
Town of Yorktown, Westchester County, NY  
November 7, 2018, Rev. 9-18-10

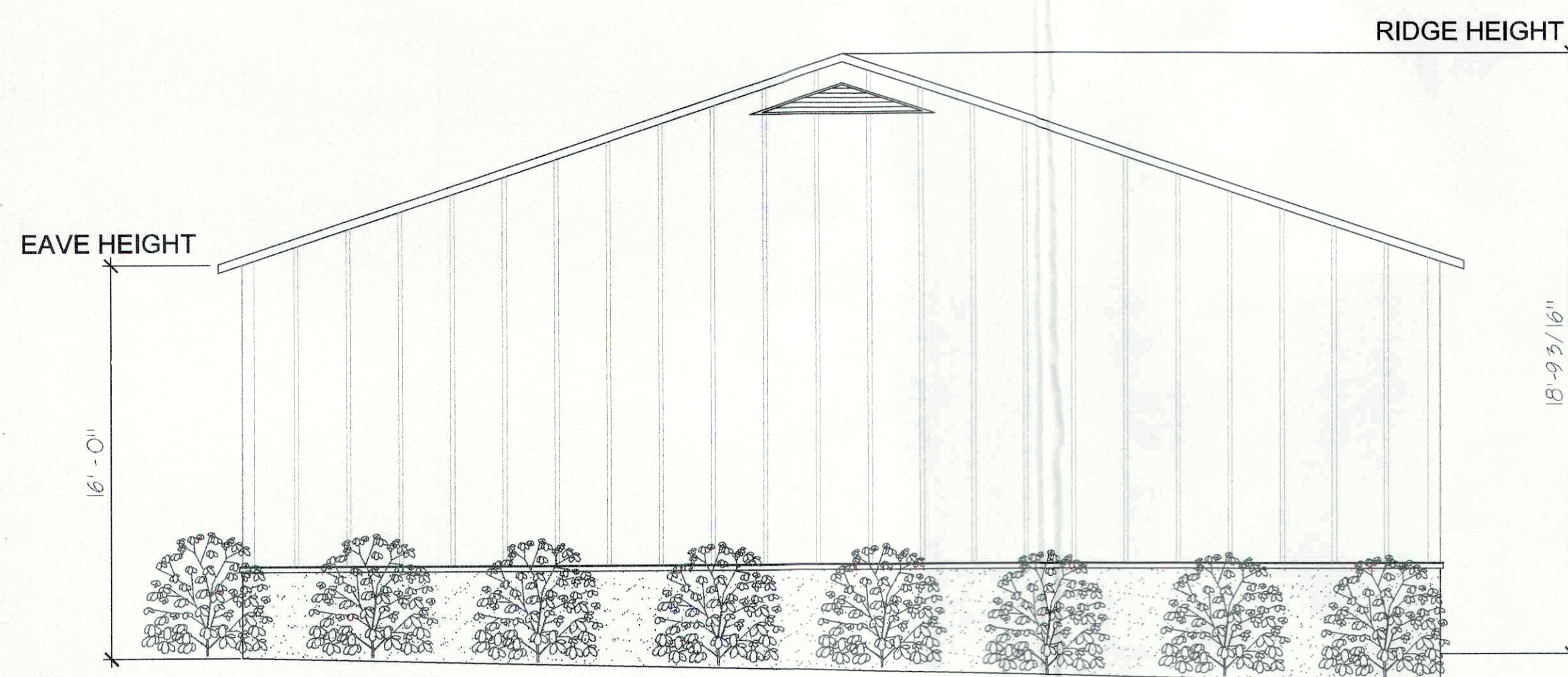
Sheet  
L-1

6,000 s.f. BUTLER BUILDING



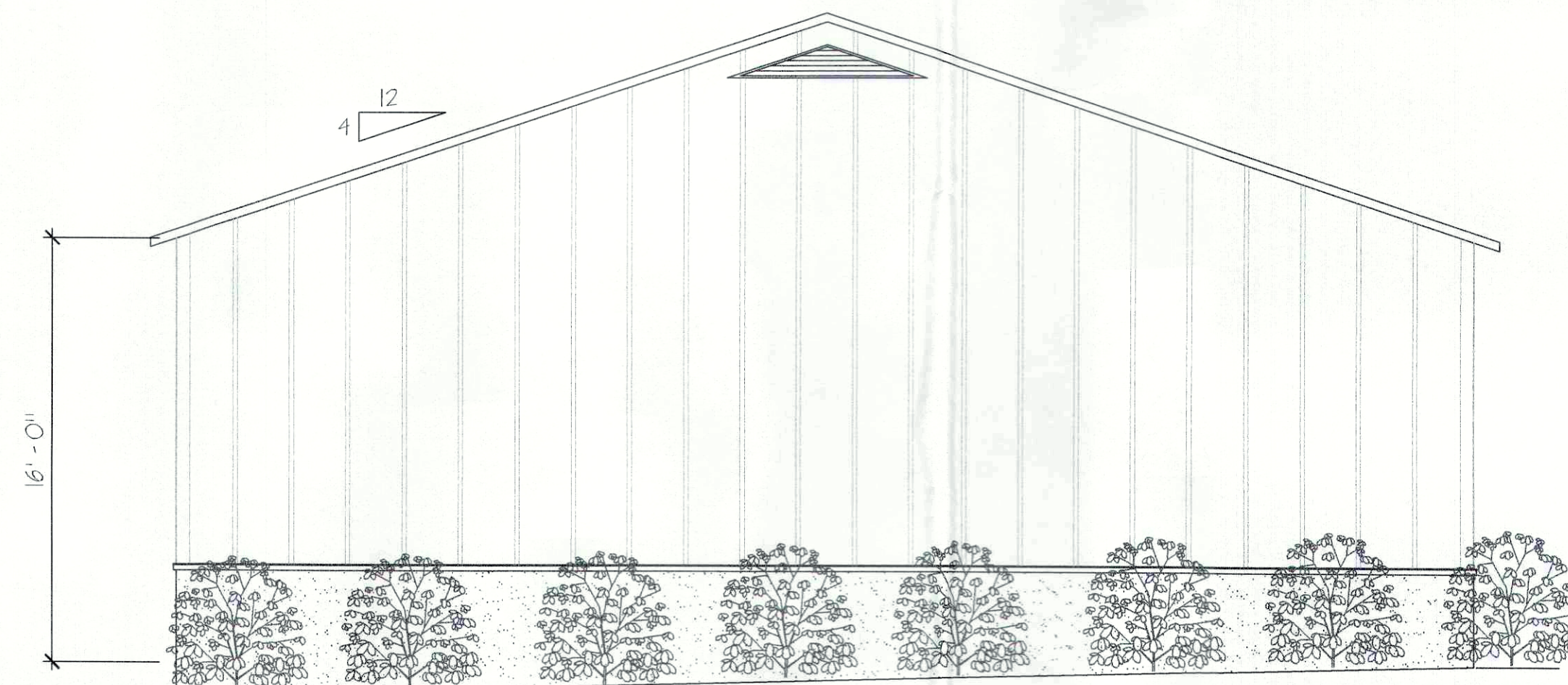
PRELIMINARY CONCEPTUAL FLOOR PLAN

SCALE 3/16" = 1'-0"



PRELIMINARY CONCEPTUAL SOUTHEAST ELEVATION

SCALE 3/16" = 1'-0"



PRELIMINARY CONCEPTUAL NORTHWEST ELEVATION

SCALE 3/16" = 1'-0"

APPROVED  
Resolution Number 19-05  
Date March 11, 2019

**SALVATORE MANCINI, AIA**  
ARCHITECTS  
BRADFORD GREEN, BLDG8, SUITE D  
755 MAIN STREET  
MONROE, CT 06468  
N.Y. ARCHITECTURAL LICENSE # 013600  
CT. ARCHITECTURAL LICENSE # 5662  
FL ARCHITECTURAL LICENSE # AO 0013589

PROJECT TITLE:  
**CONCEPTUAL PLAN/ELEV.**  
ENVIROGREEN ASSOCIATES INC.  
2040 GREENWOOD STREET  
TOWN OF YORKTOWN

REVISION #	DATE	DESCRIPTION

DATE	ISSUED TO	OWNER'S REVIEW	INITIAL PLANNING BOARD	PLANNING BOARD	BUILDING DEPARTMENT
2/26/18					
2/19/18					

SCALE	FILE #	DRAWN BY	CHECKED BY
	CIPRIANI0218	GVS/SM	SM

DRAWING NUMBER  
**A-1**

**Burger King**

# BURGER KING

## Interior & Exterior Renovation

### 385 Downing Drive

### Yorktown Heights, NY 10598

#### LIST OF DRAWINGS - 42 Sheets including Title Sheet

Title Sheet:		
T-001.00	Project Information, List of Drawings & Plot Plan	03-01-22

General:		
G-001.00	Building Code Data	03-01-22
G-002.00	Notes - 1	03-01-22
G-003.00	Notes - 2	03-01-22
G-004.00	COMcheck Compliance Information	03-01-22
G-005.00	Details	03-01-22
G-006.00	Details & Storefront Details	03-01-22
G-007.00	Handicap Accessible Routes Details	03-01-22
G-008.00	Handicap Building Blocks Details	03-01-22
G-009.00	Handicap Unisex Toilet Room Details	03-01-22
G-010.00	Firestone Rubber Roofing Details	03-01-22

Demolition:		
DM-011.00	First Floor Demolition Plan	03-01-22
DM-012.00	Roof Demolition Plan	03-01-22
DM-013.00	East & West Demolition Elevations	03-01-22
DM-014.00	North & South Demolition Elevations	03-01-22

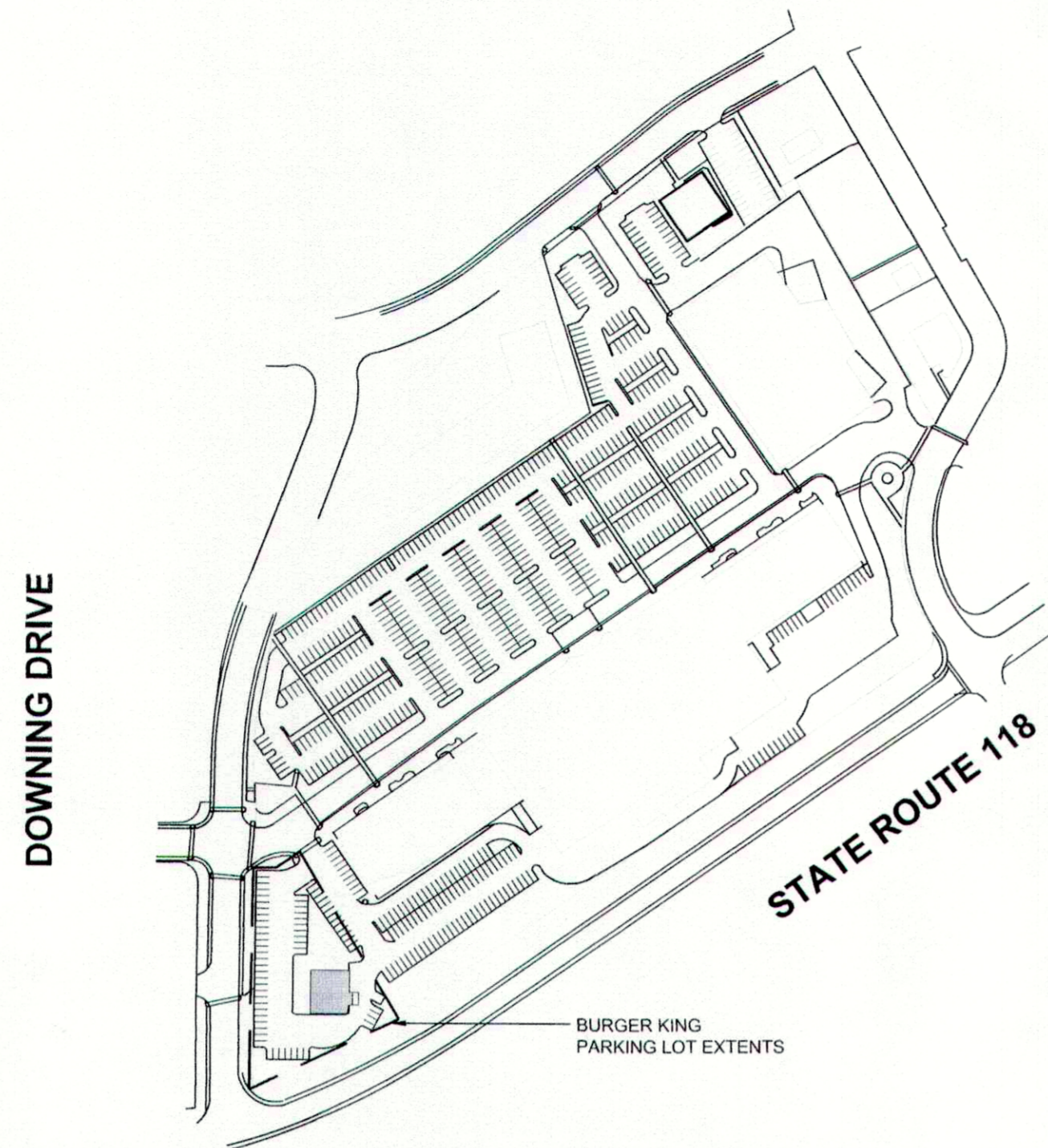
Architectural:		
A-001.00	First Floor Construction Plan	03-01-22
A-002.00	Roof Construction Plan	03-01-22
A-003.00	First Floor Reflected Ceiling Plan	03-01-22
A-004.00	First Floor Finishes Plan	03-01-22
A-005.00	First Floor Equipment Plan	03-01-22
A-006.00	Proposed East & West Elevations	03-01-22
A-007.00	Proposed North & South Elevations	03-01-22
A-008.00	Burger King Exterior Finish Schedule	03-01-22

Structural:		
S-001.00	Foundation Plan	03-01-22
S-002.00	Roof Framing Plan	03-01-22

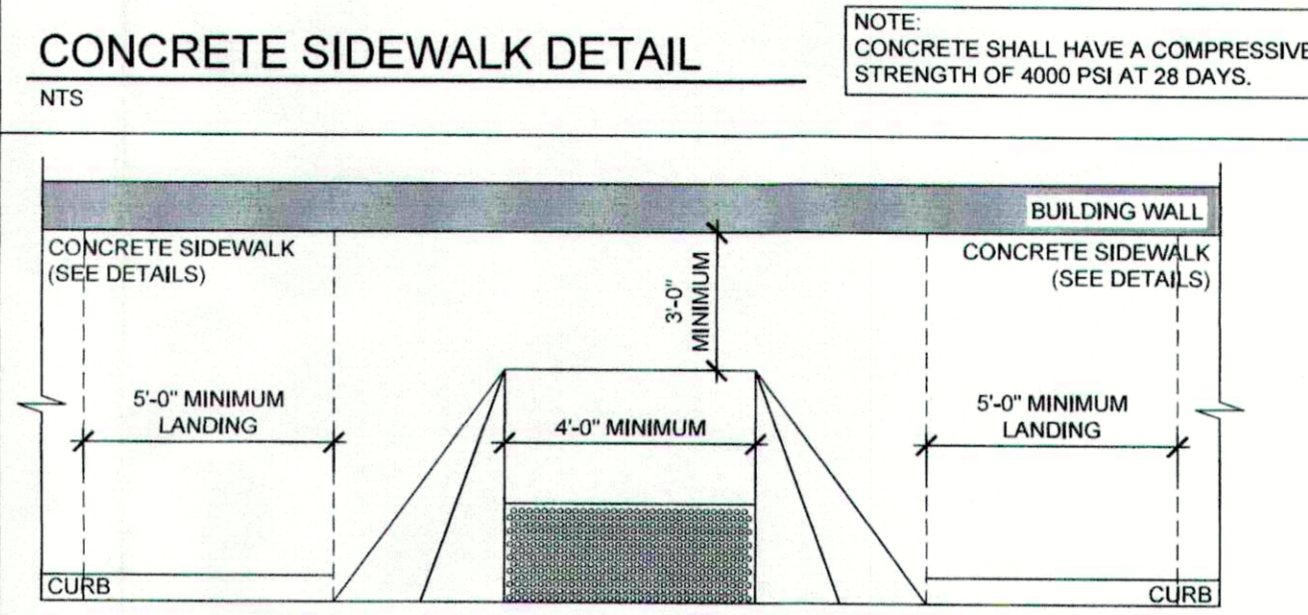
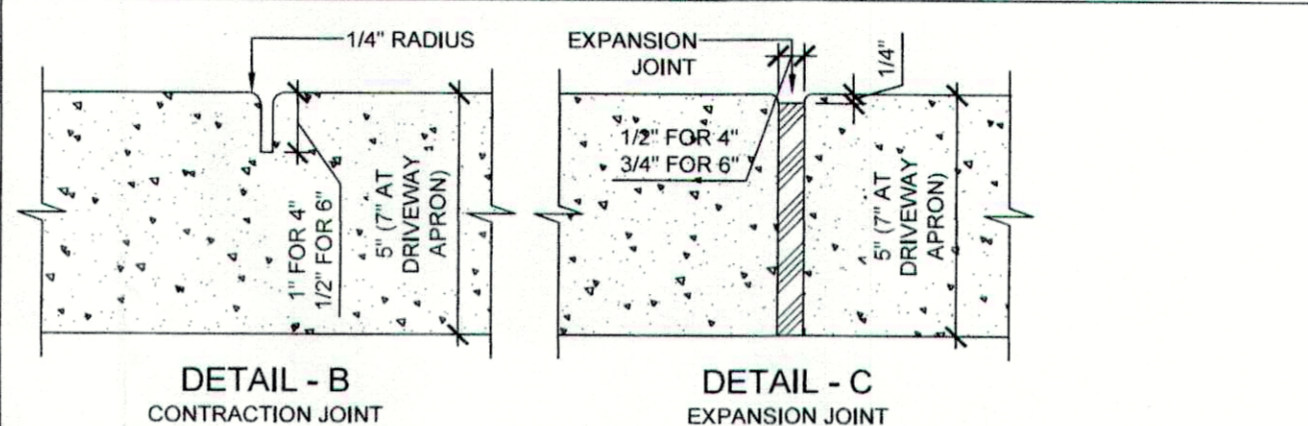
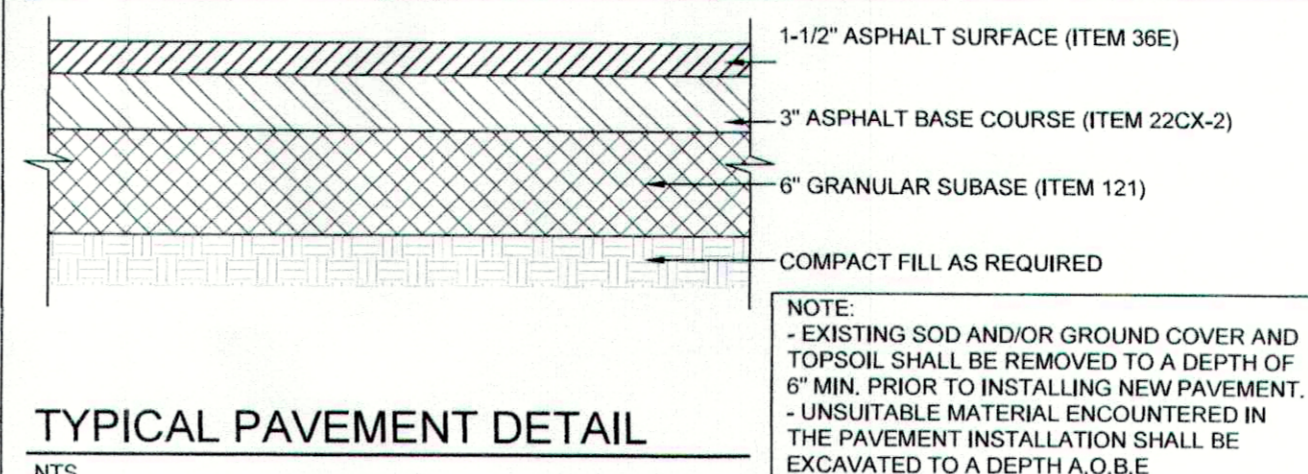
Mechanical:		
M-001.00	Mechanical Notes & Specifications	03-01-22
M-101.00	First Floor & Roof Mechanical Plans	03-01-22
M-201.00	Exhaust Systems Riser Diagram & Duct Installation Details	03-01-22
M-202.00	Equipment Schedule	03-01-22

Plumbing:		
P-001.00	Plumbing Notes & Specifications	03-01-22
P-101.00	First Floor Domestic Water Plan	03-01-22
P-102.00	First Floor Sanitary Plan	03-01-22
P-103.00	First Floor & Roof Gas Installation Plans	03-01-22
P-201.00	Domestic & Filtered Water, Sanitary & Gas Riser Diagrams	03-01-22
P-202.00	Equipment Schedules	03-01-22
P-203.00	Firestopping & Gas Piping Details	03-01-22

Electrical:		
E-001.00	Electrical Symbol List, Abbreviations & General Notes	03-01-22
E-002.00	Electrical Riser Diagram & Panel Schedules	03-01-22
E-101.00	First Floor & Roof Electrical Power Plans	03-01-22
E-102.00	First Floor Electrical Lighting Plan	03-01-22
E-201.00	Electrical Specifications - 1	03-01-22
E-202.00	Electrical Specifications - 2	03-01-22



KEY PLAN  
NTS



**PLOT PLAN LEGEND:**

- EXISTING PLANTING AREA TO REMAIN
- MINIMUM 8'-0" HANDICAP AISLE
- PARKING SPACES

**PARKING CALCULATIONS:**  
PROPOSED PARKING CALCULATIONS FOR BURGER KING RESTAURANT:  
2,783.10 SF OR 71 SEATS WITH 10 EMPLOYEES:

**DINING ROOM:** 1 PARKING SPACE PER EVERY 3 SEATS  
46 SEATS / 3 SEATS = 15.33 = 15 PARKING SPACES REQUIRED

**STANDEE AREA:** 1 PARKING SPACE PER EVERY STANDEE  
12 STANDEES/1 PARKING SPACE = 15 PARKING SPACES REQUIRED

1 SPACE PER 3 EMPLOYEES = 3 SPACES REQUIRED

TOTAL PARKING REQUIRED: 30 PARKING SPACES  
TOTAL PARKING PROVIDED: 41 PARKING SPACES

ACCESSIBLE PARKING SPACES: 5% OF REQUIRED PARKING SPACES  
TOTAL REQUIRED PARKING: 30 PARKING SPACES x 5% = 1.5 = 2  
TOTAL PROPOSED HANDICAP ACCESSIBLE PARKING SPACES = 2, OKAY

- NOTES:**
- ALL SIGNAGE AND DRIVE THRU ORDER STATION(S) TO BE 2020 IMAGE COMPLIANT. LANDSCAPING IS REQUIRED AT DRIVETHRU ORDER STATION(S) AND OTHER AREAS. REFER TO BKC LANDSCAPE GUIDELINES.
  - SITE COMPLIANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES IS REQUIRED, INCLUDING THE AMERICANS WITH DISABILITIES ACT.
  - TRASH ENCLOSURE COLOR TO MATCH BUILDING.
  - ALL EXTERIOR MENU BOARDS AND PREVIEW BOARDS ARE TO BE REPLACED WITH APPROVED DIGITAL MODELS.
  - RECOMMENDED TO RESURFACING AND RESTRIPIING IN THE ENTIRE SITE.

Michael D. Just, R.A., A.I.A.  
718.855.1237  
mjust@jarch.com  
www.jarch.com

**JUST ARCHITECTURE**  
572 Henry Street - Brooklyn, New York 11231

Rev. #	Date	Description	By

Note: THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

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Client:  
Albert Bjuo  
Quick Quality Restaurants Inc.  
2 Ethel Road, Ste. 205A  
Edison, NJ 08818

DOB Approval Stamps:

Project Address:  
385 Downing Drive  
Yorktown Heights, NY 10598

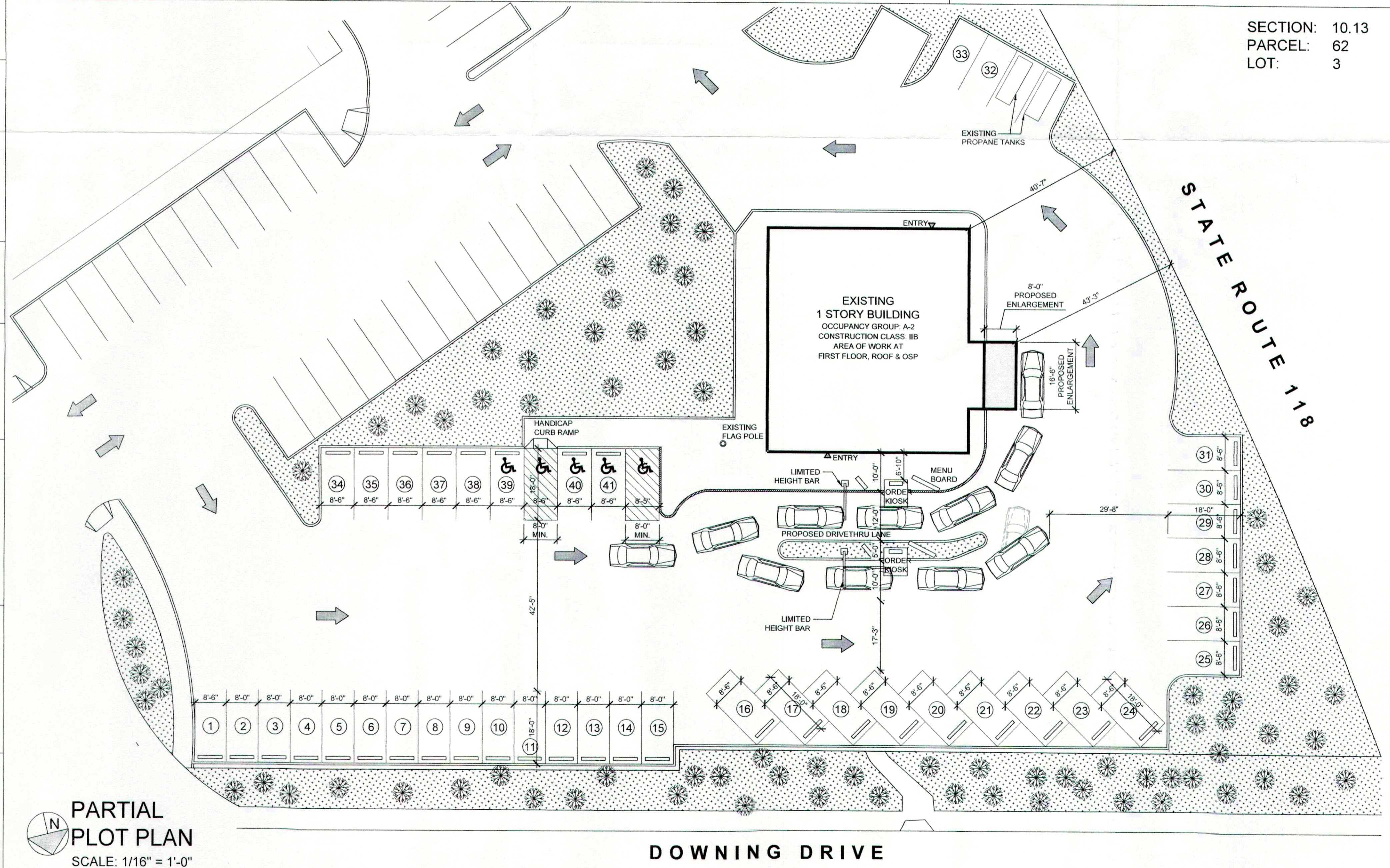


Drawing Title:  
**PROJECT INFORMATION LIST OF DRAWINGS & PLOT PLAN**

DOB APPLICATION

SECTION: 10.13	Job No: 21084	Date: 03-01-22
PARCEL: 62	Drawn By: MY	Sheet: 1 of 42
LOT: 3		

Drawing No.  
**T-001.00**



PARTIAL PLOT PLAN  
SCALE: 1/16" = 1'-0"

DOWNING DRIVE

SECTION: 10.13  
PARCEL: 62  
LOT: 3