

TOWN OF YORKTOWN PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA YORKTOWN TOWN HALL BOARD ROOM 363 Underhill Avenue, Yorktown Heights, NY 10598

June 13, 2022
7:00 PM

1. Correspondence
2. Meeting Minutes – May 23, 2022

REGULAR SESSION

3. Arrowhead Subdivision Lot 6.4

Decision Statement

Location: 48.13-1-6.4; 821 Shiqer Gashi Court

Contact: Taylor Palmer, Esq., Cuddy & Feder

Description: Proposed site plan for Lot 6.4 in the Arrowhead Subdivision.

4. Burger King

Public Hearing

Location: 37.18-2-57; 385 Downing Drive

Contact: Michael Grace, Esq.

Description: Proposed second ordering line for drive-thru and restriping of parking adjacent to the new drive-thru lane.

5. Underhill Farm

Public Informational Hearing

Location: 48.06-1-30; 370 Underhill Avenue

Contact: Site Design Consultants

Description: Proposed mixed use development of 148 residential units, 11,000 SF additional commercial retail space, and recreational amenities. Original main structure to remain and be reused. Development is proposed on a 13.78 acre parcel in the R1-40 with Planned Design District Overlay Zone authorization from the Town Board.

WORK SESSION

6. Town Board Referral

Proposed Boutique Hotel Special Permit § 300-83

Last revised: June 9, 2022

Correspondence

TOWN OF YORKTOWN PLANNING BOARD

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Building Inspector
From: Planning Board
Date: June 3, 2022
Subject: Rob's Poultry Supply Store
2025 Crompond Road
SBL: 37.14-1-45

At its meeting on May 23, 2022, the Planning Board discussed the request for a poultry supply store to open in the existing shopping center at the subject location. Based on the information provided by the business owner, Robert Robinson, the Planning Board had no objections to this use with the following conditions:

1. **The owner indicated that currently the eggs are delivered on Thursdays by a small box truck and the feed & supplies are delivered on Fridays by a 26 ft box truck.**

The Board did not feel limiting the deliveries to a specific day of the week was necessary however, the deliveries of eggs and the feed & supplies should be limited to between the hours of 7:00 am – 9:00 am to minimize disruption to other businesses on the site. Delivery trucks should not block the entrance to the site.


2. **The owner stated that the chicks he picks up from the post office each week are based on pre-orders that buyers pickup in the following several days.**

The Planning Board determined that no additional live chicks that haven't already been purchased shall be kept or put on sale inside the store and no other live animals are allowed to be sold from the store, including the hatching of chicks. The sale of additional live animals would make the use more agricultural than retail oriented.

3. A sign permit should have been obtained for the new sign.

Any elements of the business that fall outside those outlined above may require additional review by the Planning Board.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

cc: Ed Falkenberg, property owner
Robert Robinson, business owner

TOWN OF YORKTOWN PLANNING BOARD

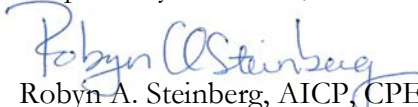
Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Town Board
From: Planning Board
Date: June 2, 2022
Subject: Dorchester Glen Subdivision
1643 Maxwell Drive
SBL: 15.20-3-6

The Planning Board is currently reviewing a proposed subdivision of the subject 24.26 acre property into 5 residential lots, where one home currently exists on Maxwell Drive. The applicant has submitted plans for both a conventional subdivision layout with a short cul-de-sac extension from Dorchester Drive and a flexibility subdivision plan that proposes a less intrusive 18 foot wide private road in the same location. The Planning Board prefers the Flexibility Subdivision Plan because it allows for better siting of the new homes on the property considering the environmental constraints. The Flexibility Subdivision Plan allows three of the new homes to be placed further back into the lots where the existing grade is not as steep. This option also requires less disturbance and therefore lessens the impact on the existing homes on Dorchester Drive. Neither plan proposes development in the wetland or wetland buffer located on the property.

Consideration of the Flexibility Subdivision Plan by the Planning Board requires authorization by the Town Board to process this application pursuant to Town Code Section § 300-22 Flexibility standards.

Respectfully submitted,


Robyn A. Steinberg, AICP, CPESC
Town Planner

Diane Dreier Co-Chair
Phyllis Bock Co-Chair

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN CONSERVATION BOARD

Town of Yorktown Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598, Phone (914) 962-5722

MEMORANDUM

To: Planning Department

From: Yorktown Conservation Board

Date: June 8, 2022

Re: 2300 Catherine Street Yorktown Rehab Proposed Solar

RECEIVED
PLANNING DEPARTMENT
JUN 9 2022
TOWN OF YORKTOWN

The Conservation Board met with Fariha Mahjabin from Ecogy Energy to report updates on the proposed Solar Project located at 2300 Catherine Street.

- We appreciate the changes Ecogy has made to comply with the environmental consultants report and the requests from our previous memo.
- We would like to see the newest site plan when it is prepared, and corresponding SWPPP, and landscaping plans

Respectfully submitted:

Phyllis Bock

For the Conservation Board

Draft Minutes

**Arrowhead
Subdivision Lot 6.4**



445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
T 914 761 1300
F 914 761 5372
cuddyfeder.com

Taylor M. Palmer, Esq.
tpalmer@cuddyfeder.com

June 7, 2022

VIA E-MAIL AND HAND DELIVERY

Chairman Richard Fon
and Members of the Planning Board
Town of Yorktown
Yorktown Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, New York 10598

RECEIVED
PLANNING DEPARTMENT
JUN 7 2022
TOWN OF YORKTOWN

Re: SHG Lot LLC – Application for Site Plan Approval – Retaining Wall Elevation
Premises: 821 Shiqer Gashi Court, Yorktown Heights, New York 10562
Tax Parcel ID: (Section 48.13, Block 1, Lot 6.4)

Dear Chairman Fon and Members of the Planning Board:

On behalf of SHG Lot LLC (the “Applicant”), we respectfully submit this letter and the referenced enclosures in support of the Applicant’s pending Application for Site Plan Approval proposing to develop a single-family residence to be located on Lot 6.4 of the residential subdivision commonly known as the Arrowhead Subdivision.

In furtherance of our May 24th correspondence with John A. Tegeder, Director of Planning, enclosed please find two (2) full-size copies of Linda J. Zwart’s, Architect’s Civil Drawing dated July 30, 2020, last revised June 2, 2022, entitled “Pictural Site Sections”, including the requested elevations showing the retaining walls for the proposed residence. We understand that one (1) copy of the enclosed drawings will be provided to the Advisory Board on Architecture and Community Appearance (“ABACA”) in furtherance of the Applicant’s forthcoming submission to ABACA. Please incorporate the attached document as part of the official record of the proceeding.

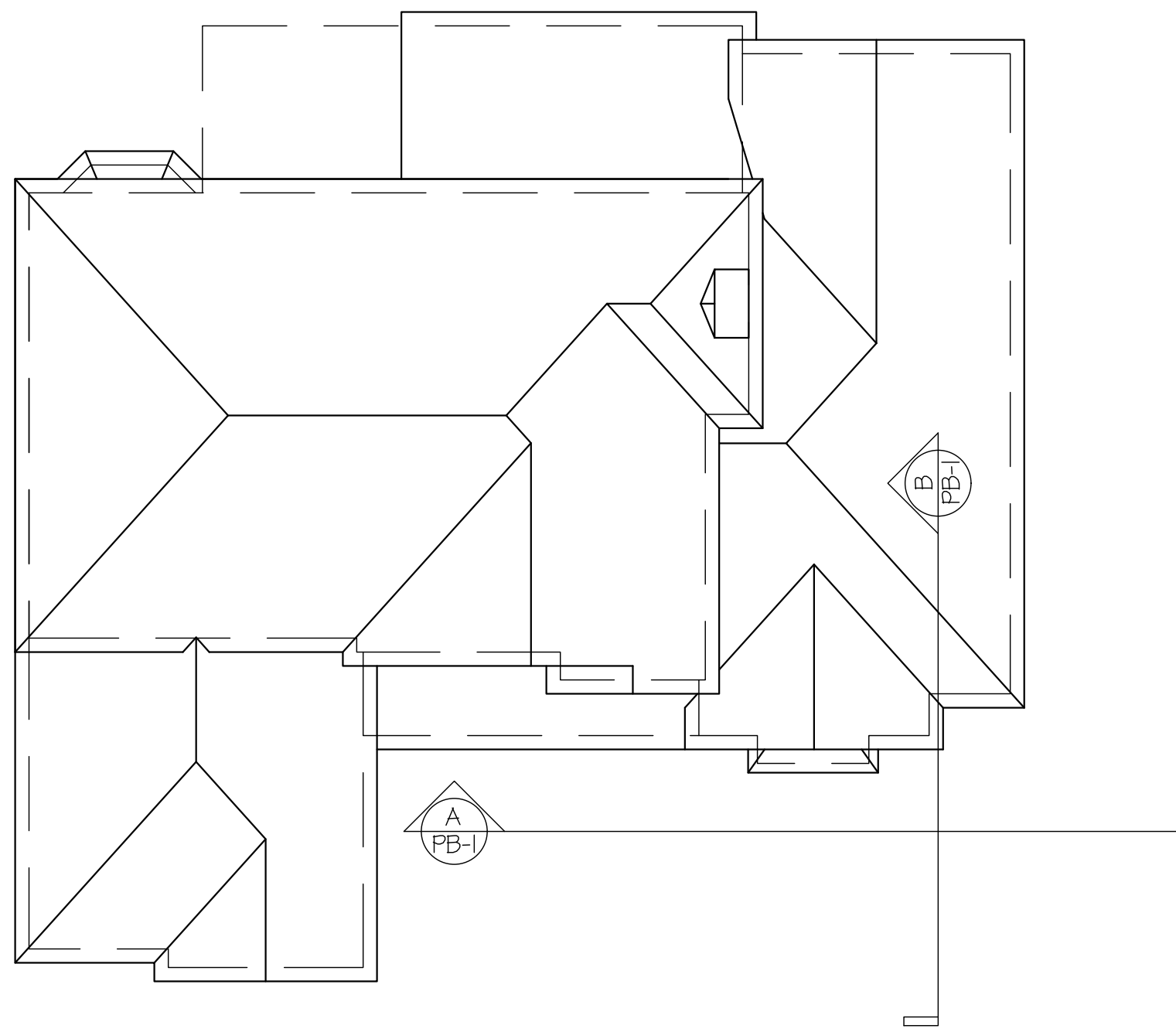
The Applicant looks forward to appearing before the Planning Board on June 13, 2022 in connection with this Application. In the meantime, should the Planning Board or Town Staff have any questions or comments with regard to the foregoing, please do not hesitate to contact me.

Thank you in advance for your time and consideration in this matter.

Very truly yours,

Taylor M. Palmer
Enclosures

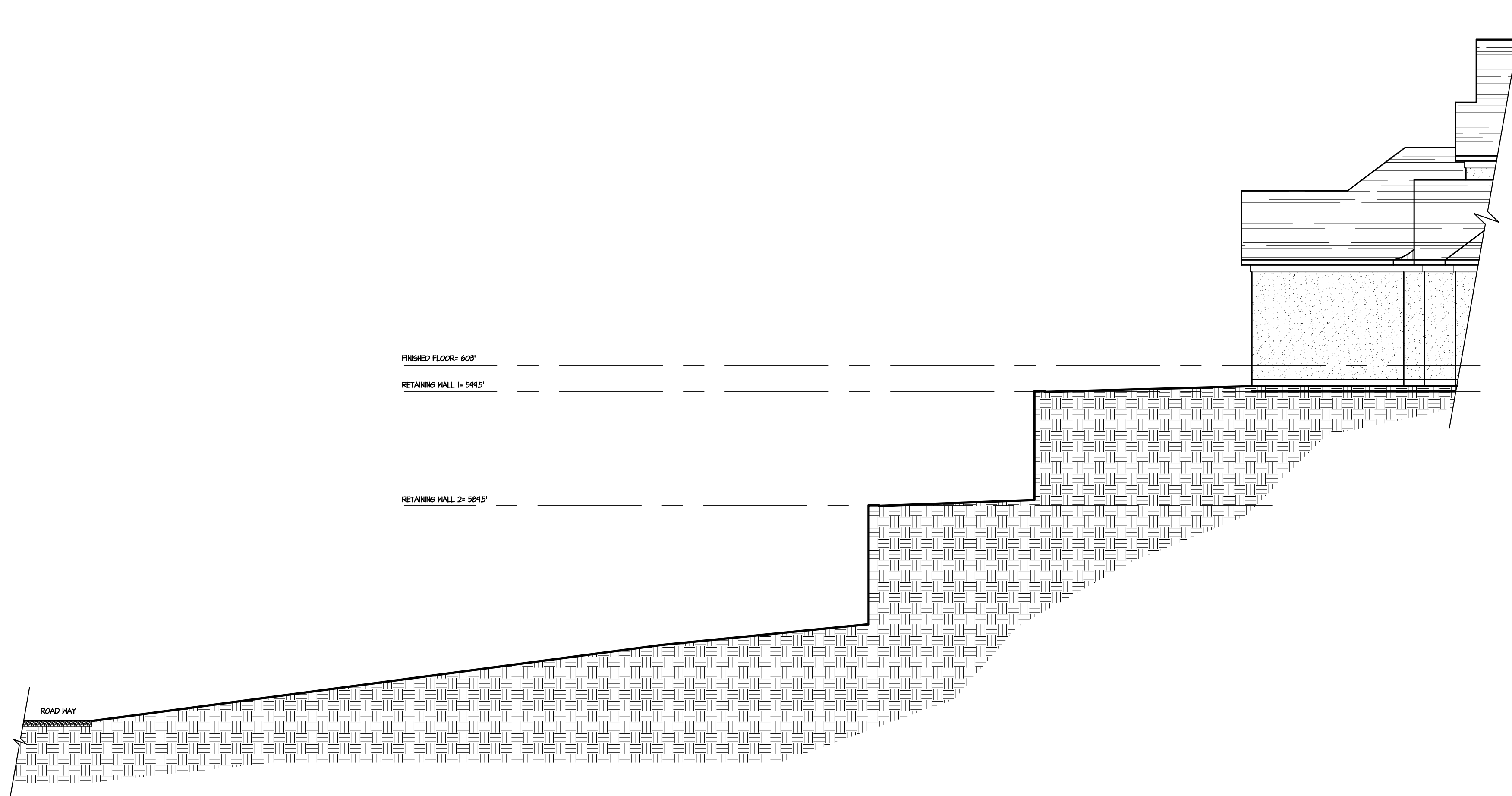
cc: Adam Rodriguez, Esq., Town Attorney
John A. Tegeder, R.A., Director of Planning



SECTION KEY PLAN
SCALE: 3/32" = 1'-0"



SECTION A
SCALE: 1/8" = 1'-0"



SECTION B
SCALE: 1/8" = 1'-0"

NOTE:
ELEVATIONS SHOWN ARE ESTIMATED FROM THE
SITE DESIGN PREPARED BY PROVIDENT DESIGN
ENGINEERING DATED 06/20/22

IT IS A VIOLATION OF THE LAW FOR ANY PERSON,
UNLESS ACTING UNDER THE DIRECTION OF A
LICENSED ARCHITECT, TO ALTER OR ADD TO THIS
PLAN IN ANY WAY PER § NYGRR 64.5b

THESE PLANS ARE NOT VALID FOR A
BUILDING PERMIT UNLESS ORIGINALLY SIGNED
AND SEALED BY ARCHITECT. BLUEPRINTS
OR PHOTO COPIES OF SEAL AND SIGNATURE
ARE INVALID. THESE PLANS ARE FOR THE
CONSTRUCTION OF ONE BUILDING ONLY BY
THE PERSONS WHOSE NAME APPEARS ON
THE PLANS

**LINDA J. ZWART
ARCHITECT**

31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2464

LICENSED - NEW YORK STATE

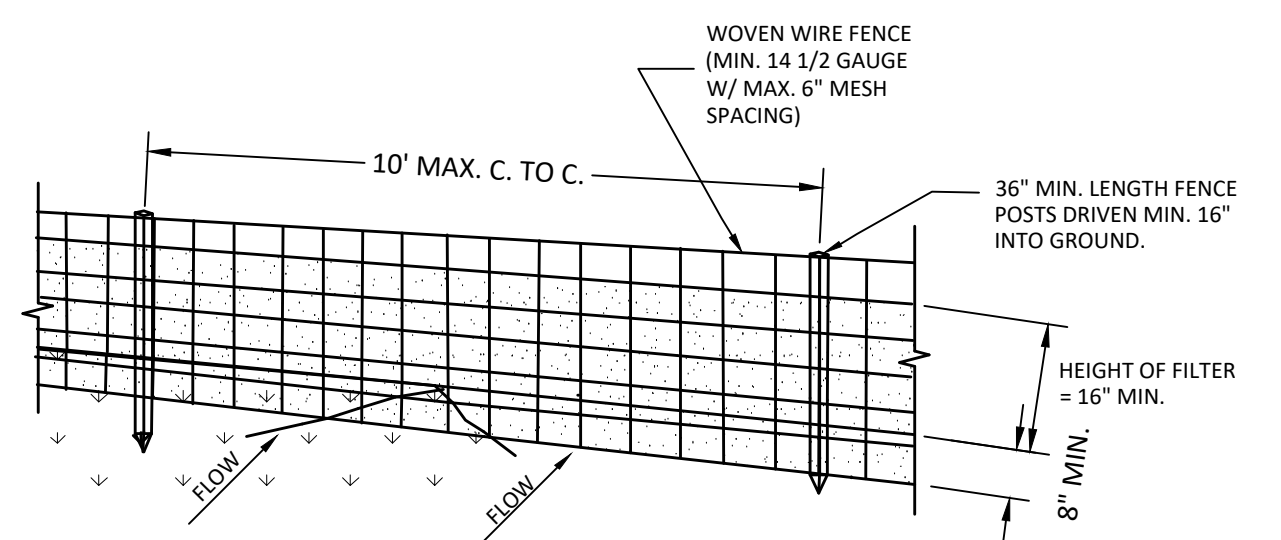
S/B/L 48.13/1/6.4
821 SHIQUER GASHI

NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER, NY

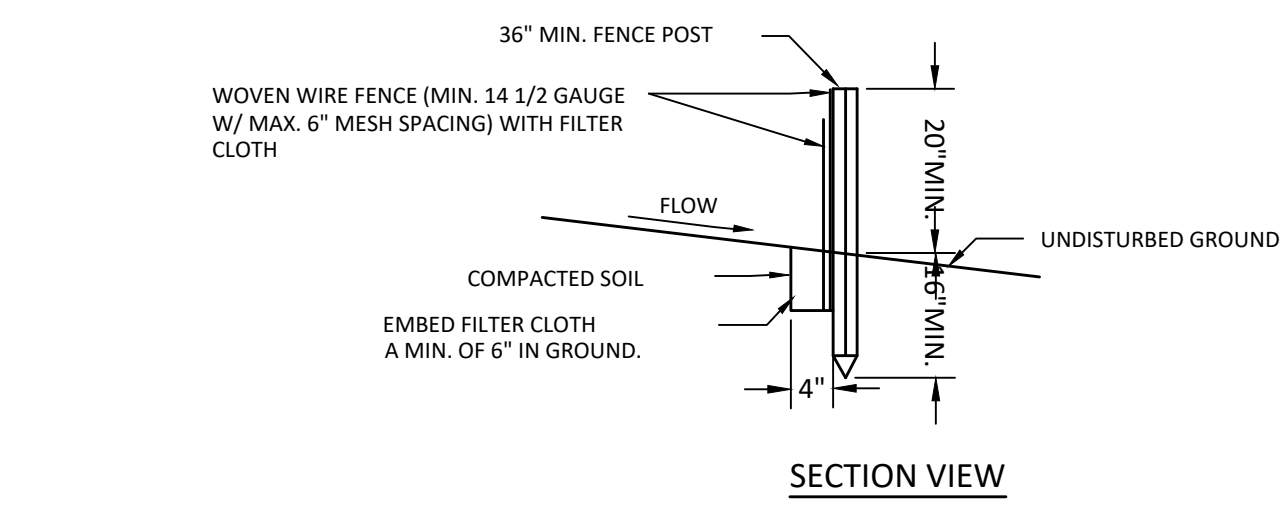
PICTORIAL SITE SECTIONS

DATE: 30 JULY 2020
REV: 02 JUNE 2022
JOB# 1820

PB -1



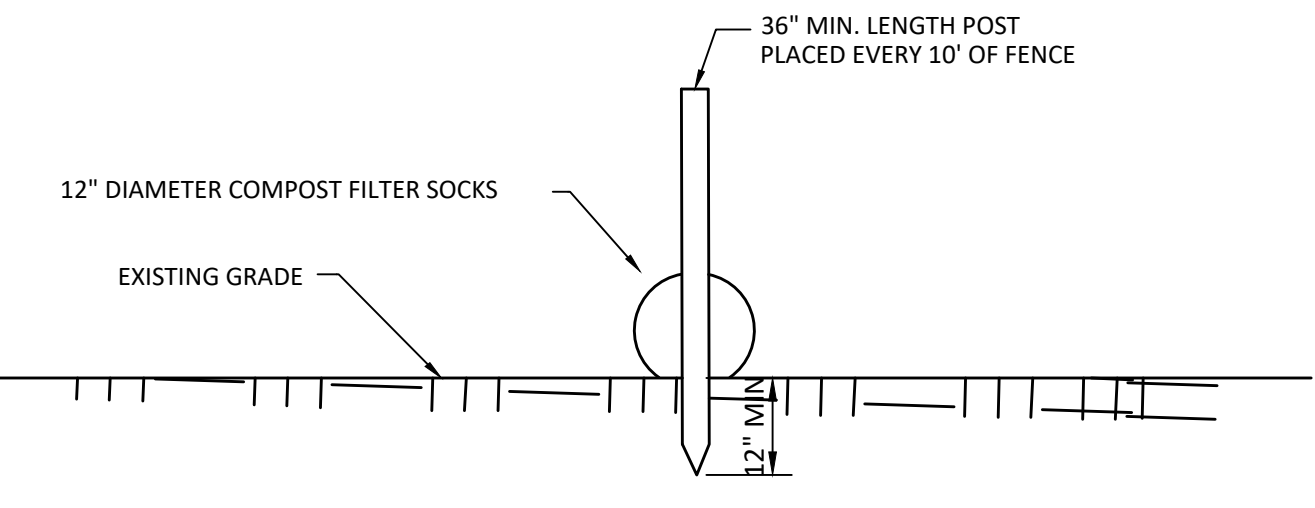
PERSPECTIVE VIEW



SECTION VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

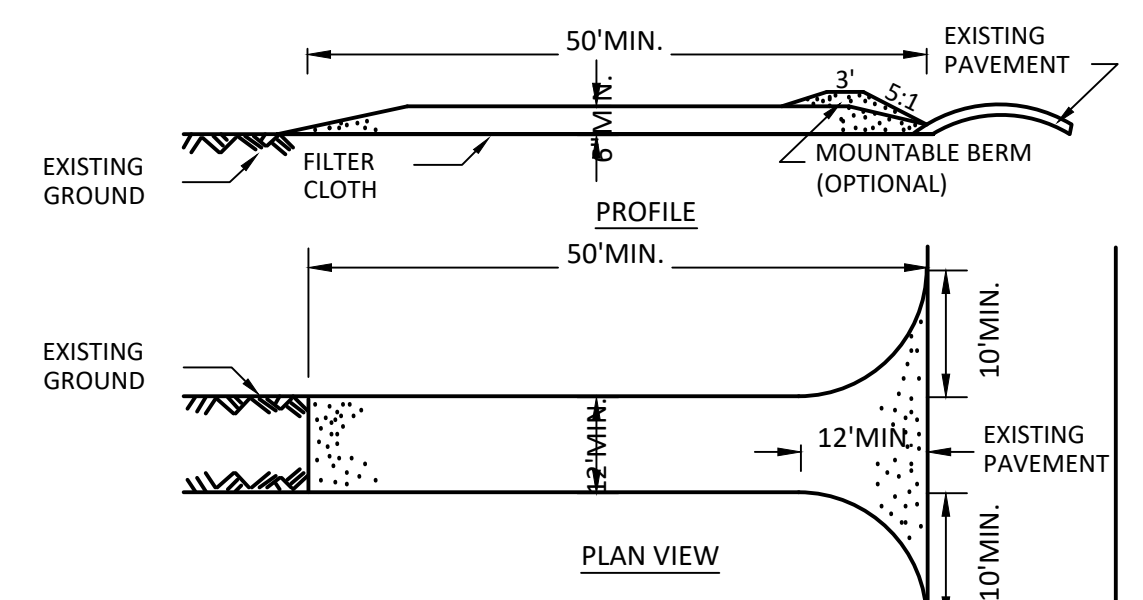


INSTALLATION NOTES:

- LAND SURFACE SHOULD BE PREPARED BY MOWING GRASS OR MAKING SOIL OR PAVED SURFACES SMOOTH.
- COMPOST FILTER SOCKS SHALL BE PLACED PERPENDICULAR TO STORM WATER FLOW, ACROSS THE SLOPE, SWALE, DITCH OR CHANNEL.
- COMPOST FILTER SOCKS SHALL BE PLACED ON CONTOURS.
- ON SOIL AND VEGETATED SURFACES, UNDER SHEET FLOW CONDITIONS, COMPOST FILTER SOCKS SHALL BE STAKED ON 10-FOOT CENTERS. UNDER CONCENTRATED FLOW CONDITIONS COMPOSITE FILTER SOCKS SHALL BE STAKED ON 5-FOOT CENTERS.
- STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE COMPOST FILTER SOCK AND INSTALLED A MINIMUM OF 8 INCHES AND A MAXIMUM OF 12 INCHES INTO THE EXISTING SOIL, LEAVING A MINIMUM STAKE HEIGHT OF 2 INCHES ABOVE OF THE COMPOST FILTER SOCK.
- CARE SHALL BE TAKEN TO ENSURE THAT THE STAKES DO NOT PENETRATE THE LANDFILL LINER.
- STAKES SHALL BE 2 INCHES BY 2 INCHES HARDWOOD STAKES.
- EDGES OF THE COMPOST FILTER SOCKS SHALL BE TURNED UPSLOPE TO PREVENT FLOW AROUND THE ENDS OF THE COMPOST FILTER SOCKS.

REMOVAL NOTES:

- UPON REMOVAL OF THE COMPOST FILTER SOCK, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT ACCUMULATION PRIOR TO THE REMOVAL OF THE COMPOST FILTER SOCK. THE COMPOST FILTER SOCKS SHALL BE REMOVED IN THEIR ENTIRETY.
- THE DISTURBED AREA SHALL BE SEEDED FERTILIZED AND MULCHED TO ENSURE THE VEGETATIVE COVER IS FULLY RESTORED.
- MONITOR THE VEGETATIVE RESTORATION AREA UNTIL EXPOSED AREAS ARE FULLY STABILIZED WITH VEGETATIVE COVER.
- THE COMPOST MATERIAL MAY BE SPREAD OVER THE LANDSCAPE OR INCORPORATED INTO THE SOIL AT THE END OF THE PROJECT, THEREBY INCREASING SOIL QUALITY AND REDUCING WASTE.
- THE SOCK MESH SHALL BE PROPERLY DISPOSED.



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SOIL RESTORATION STANDARDS

THE OBJECTIVE IS TO DE-COMPACT THE SOILS IN THOSE AREAS WHICH WERE SUBJECT TO THE USE OF HEAVY EQUIPMENT TO RESTORE THE ORIGINAL PROPERTIES AND POROSITY OF THE SOIL, PROVIDING FOR REDUCTION OF RUNOFF AND A SUSTAINABLE GROWTH MEDIUM FOR VEGETATION. WHILE ALSO CONSIDERED AS A GREEN INFRASTRUCTURE TECHNIQUE, THIS MEASURE IS GENERALLY APPLIED DURING THE FINAL CLEANUP, SITE RESTORATION, AND LANDSCAPING PHASE OF THE PROJECT.

ALL DISTURBED AND COMPACTED AREAS THAT WILL BE UNPAVED, VEGETATED AND/OR LANDSCAPED IN THE POST-CONSTRUCTION CONDITION SHALL BE RESTORED IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS IN TABLE 5.3 OF THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, OR TABLE 4.6 IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (SEE BELOW), LATEST EDITIONS. SOIL RESTORATION WITHIN AREAS OF SATURATED SOILS SUCH AS WETLANDS SHALL NOT BE EMPLOYED, AS IT HAS THE POTENTIAL TO CREATE A SIGNIFICANT SUSPENSION OF SOILS.

FULL SOIL RESTORATION WILL BE ACCOMPLISHED DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS WILL BE RETURNED TO ROUGH GRADE AND THE FOLLOWING STEPS WILL BE IMPLEMENTED:

- THREE (3) INCHES OF COMPOST WILL BE APPLIED OVER THE SUBSOIL. THE COMPOST SHALL BE WELL DECOMPOSED (MATURED AT LEAST 3 MONTHS), WEED-FREE, ORGANIC MATTER. IT SHALL BE AEROBICALLY COMPOSTED, POSSESS NO OBJECTIONABLE ODORS, AND CONTAIN LESS THAN 1%, BY DRY WEIGHT, OF MAN-MADE FOREIGN MATTER. THE PHYSICAL PARAMETERS OF THE COMPOST SHALL MEET THE STANDARDS LISTED IN TABLE 5.2 - COMPOST STANDARDS TABLE IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, EXCEPT FOR "PARTICLE SIZE", 100% WILL PASS THE 1/2" SIEVE.
- THE COMPOST LAYER WILL BE TILLED INTO THE SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, TO MIX AND CIRCULATE AIR AND COMPOST INTO SUBSOILS. TILLING SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE. THE USE OF FERTILIZERS WILL BE MINIMIZED, UTILIZED ONLY WITHIN EXISTING COMMERCIAL AND/OR RESIDENTIAL LAWN AREAS, AND SHALL BE APPLIED IN ACCORDANCE WITH WESTCHESTER COUNTY LAW (SEE "APPLICATION OF FERTILIZERS", THIS SHEET).
- ROCK-PICKING WILL BE PERFORMED UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE HAVE BEEN CLEARED.
- TOPSOIL WILL BE APPLIED TO A MINIMUM DEPTH OF 6 INCHES. TOPSOIL SHALL BE PROVIDED FROM STOCKPILES CREATED DURING TOPSOIL SEGREGATION OPERATIONS, OR IMPORTED FROM OFFSITE SOURCES AS REQUIRED.
- VEGETATE AREAS AS REQUIRED BY THE LANDSCAPING PLAN. USE APPROPRIATE GROUND COVER WITH DEEP ROOTS TO MAINTAIN THE SOIL STRUCTURE.
- AT THE END OF THE PROJECT, THE ENVIRONMENTAL INSPECTOR SHOULD BE ABLE TO PUSH A 3/8 INCH METAL BAR 12 INCHES INTO THE SOIL JUST WITH BODY WEIGHT.

TABLE 4.6 SOIL RESTORATION REQUIREMENTS

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE IN GRADE	HSG A&B APPLY 6 INCHES OF TOPSOIL	HSG C&D AERATE* AND APPLY 6 INCHES OF TOPSOIL
AREAS OF CUT OR FILL	HSG A&B AERATE* AND APPLY 6 INCHES OF TOPSOIL	HSG C&D APPLY FULL SOIL RESTORATION**
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES.	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA.
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.	

* AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTERS MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER.

** PER "DEEP RIPPING AND DE-COMPACTION, DEC 2008".

VEGETATION REQUIREMENTS:

- SITE PREPARATION
 - INSTALL NEEDED WATER AND EROSION CONTROL MEASURES AND BRING AREA TO BE SEEDED TO DESIRED GRADES USING A MINIMUM OF 4 IN. TOPSOIL.
 - PREPARE SEEDBED BY LOOSENING SOIL TO A DEPTH OF 4-6 INCHES.
 - LIME TO A PH OF 6.5
 - FERTILIZE AS PER SOIL TEST OR, IF FERTILIZER MUST BE APPLIED BEFORE SOIL TEST RESULTS ARE RECEIVED, APPLY 850 POUNDS OF 5-10-10 OR EQUIVALENT PER ACRE (20 LBS/1,000 SQ. FT.)
 - INCORPORATE LIME AND FERTILIZER IN TOP 2-4 INCHES OF TOPSOIL.
 - SMOOTH. REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS, AND FOREIGN MATTER FROM THE SURFACE. FIRM THE SEEDBED.

2) PLANTING—SUNNY LOCATION.

UPON COMPLETING SOIL DE-COMPACTION, USE A CULTIPACKER TYPE SEEDER IF POSSIBLE. SEED TO A DEPTH OF 1/8 TO 1/4 INCH. IF SEED IS TO BE BROADCAST, CULTIPACK OR ROLL AFTER SEEDING. HYDROSEEDED, LIME AND FERTILIZER MAY BE APPLIED THROUGH THE SEEDER AND ROLLING IS NOT PRACTICAL. SEED USING THE FOLLOWING MIX AND RATES:

SPECIES (% BY WEIGHT)	LBS/1,000SQ. FT	LBS./ACRE
65% KENTUCKY BLUEGRASS BLEND	2.0-2.6	85-114
20% PERENNIAL RYEGRASS	0.6-0.8	25-35
15% FINE FESCUE	0.4-0.6	19-26
TOTAL	3.0-4.0	130-175
OR,		
100% TALL FESCUE, TURF-TYPE, FINE LEAF	3.4-4.6	150-200

- WHEN USING THE CULTIPACKER OR BROADCAST SEED METHOD, MULCH USING SMALL GRAIN STRAW, APPLIED AT A RATE OF 2 TONS PER ACRE; AND ANCHOR WITH A NETTING OR TACKIFIER. HYDROSEED APPLICATIONS SHOULD INCLUDE MULCH, FERTILIZER AND SEED.

COMMON WHITE CLOVER CAN BE ADDED TO MIXTURES AT THE RATE OF 1-2 LBS/ACRE TO HELP MAINTAIN GREEN COLOR DURING THE DRY SUMMER PERIOD, HOWEVER, THEY WILL NOT WITHSTAND HEAVY TRAFFIC. FERTILIZING—FIRST YEAR, (SPRING SEEDLINGS) THREE TO FOUR WEEKS AFTER GERMINATION APPLY 1 POUND NITROGEN/1,000 SQUARE FEET USING A COMPLETE FERTILIZER WITH A 2-1-1 OR 4-1-3 RATIO OR AS RECOMMENDED BY SOIL TEST RESULTS. FOR SUMMER AND EARLY FALL SEEDINGS, APPLY AS ABOVE UNLESS AIR TEMPERATURES ARE ABOVE 85°F FOR EXTENDED PERIOD. WAIT UNTIL HEAT WAVE IS OVER TO FERTILIZE. FOR LATE FALL/ WINTER SEEDINGS, FERTILIZE IN SPRING. RESTRICT USE—NEW SEEDLINGS SHOULD BE PROTECTED FROM USE FOR ONE FULL YEAR TO ALLOW DEVELOPMENT OF A DENSE SOD WITH GOOD ROOT STRUCTURE.

SILT FENCE

NOT TO SCALE

1

COMPOST FILTER SOCK

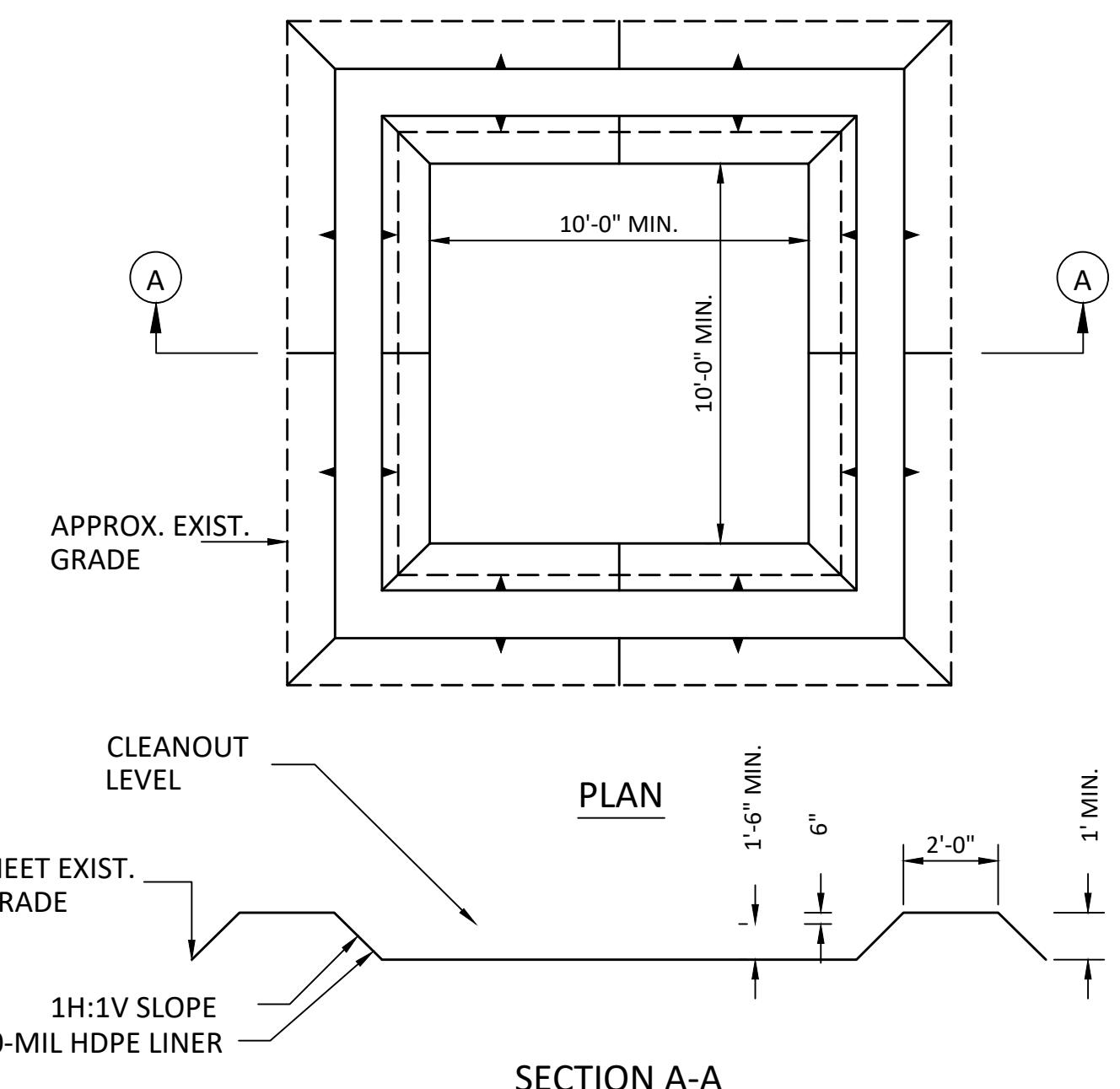
NOT TO SCALE

2

STABILIZED CONSTRUCTION ACCESS

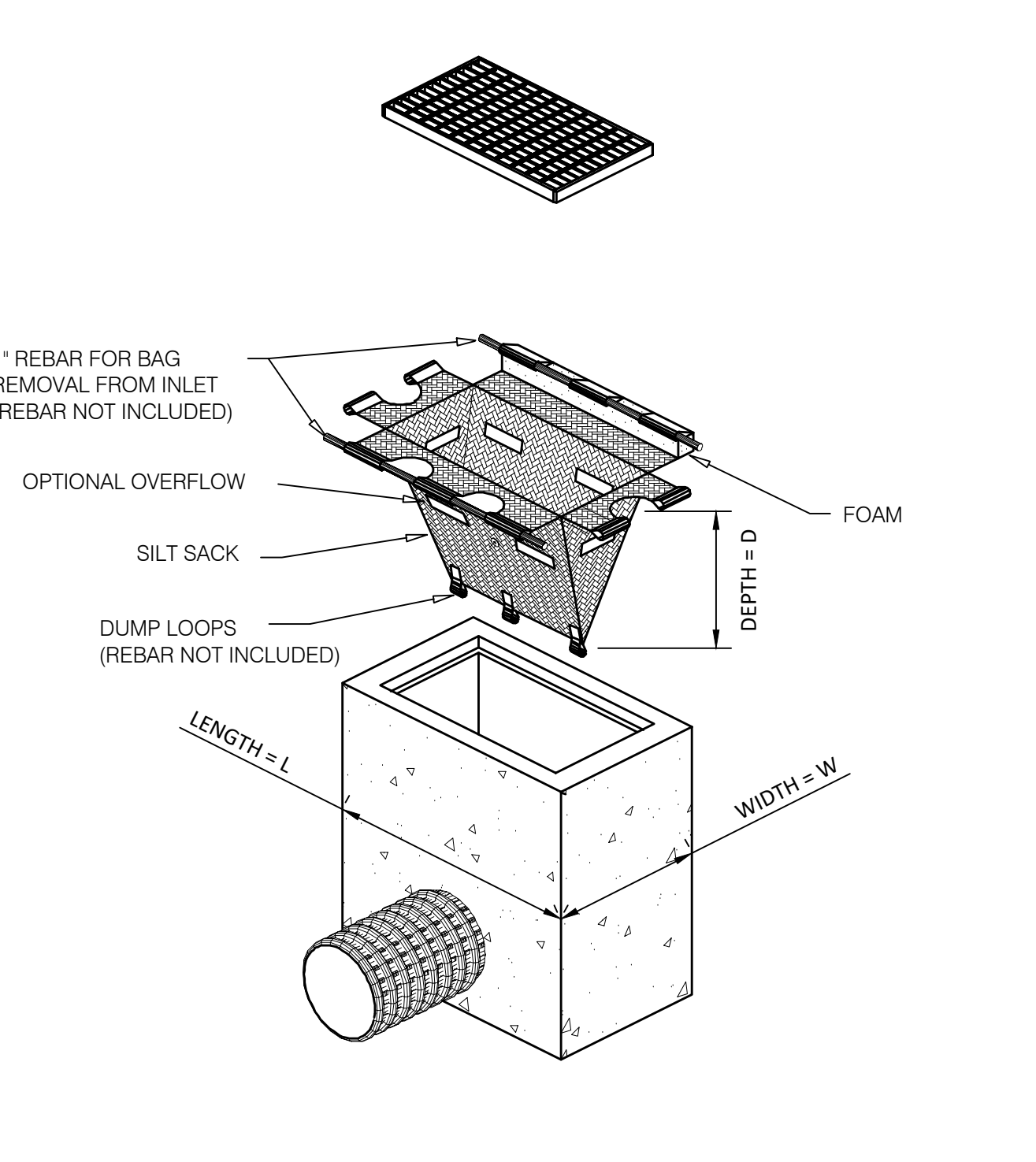
NOT TO SCALE

3

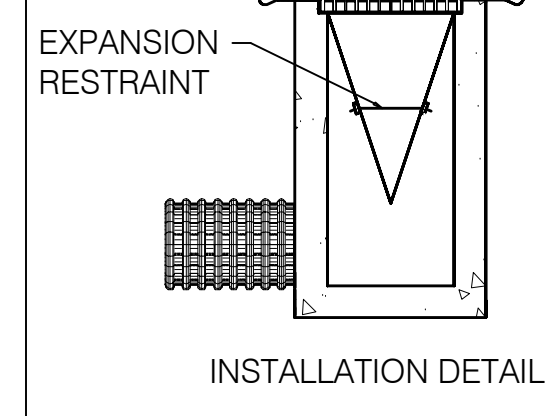


SECTION A-A

- NOTE:
- DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE READY-MIX TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS THAT HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORM WATER THAT WILL BE DISCHARGED FROM THE SITE OR IN LOCATIONS WHERE WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. THE CURED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES ARE FOLLOWED.
 - THE CONTRACTOR MAY USE AN ABOVE GROUND STEEL WASHOUT CONTAINER AS AN ALTERNATIVE TO THE CONCRETE WASTE WASHOUT TRAP. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL.



SIDE VIEW INSTALLED



NOTE: THE SILT SACK WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC. SEE SPECIFICATIONS.

5

CONCRETE WASTE WASHOUT AREA

NOT TO SCALE

4

CATCH BASIN SILT SACK

NOT TO SCALE

NO.	REVISION	DATE
1	REVISED TITLE BLOCK	5/10/2022

Linda J. Zwart, Architect, P.C.
31 Meadowood Rd
Montgomery, NY 12549
Office: 845-361-2969
Cell: 845-800-0798

SHG Lots LLC
345 Kear Street
Yorktown, NY 10598
Tel: 917-709-7981
Contact Person: Esat Gahsi

DTS • PROVIDENT
Intelligent Land Use

DTS Provident Design Engineering, LLP
One North Broadway
White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017
Under New York State Education Law Article 145 (Engineering), Section 2309 (2), it is a Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document
© DTS Provident Design Engineering, LLP

821 SHIQR GASHI COURT
SECTION 48.13; BLOCK 1; LOT 6.4
TOWN OF YORKTOWN, NY
ARROWHEAD SUBDIVISION
FILED MAP NO. 28948

TITLE: SITE DETAILS

Scale:	NTS
Date:	10/23/2020
Drawn By:	BMH
Checked By:	RPP
Project No.:	19-025
Sheet No.:	3 of 3
Dwg. No.:	C-301.00





FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

1. TYPICAL HEADER HEIGHT SHALL BE 6'-10" UNLESS OTHERWISE NOTED.
2. FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.
3. ALL PICTORIAL GRADES SHOWN ARE APPROXIMATE AND BUILDER IS TO COORDINATE FINAL GRADING W/ SITE PLAN & ELEVATIONS SHOWN HERE.
4. DESIGN INTENTIONS ARE ILLUSTRATED BY ELEVATIONS AND ARE TO BE FOLLOWED.
5. GRADES HAVE BEEN ESTABLISHED BY PROVIDENT DESIGN ENGINEERING. SEE SITE PLAN.
6. GRADES:

GRADE AT GARAGE	601.00
GARAGE FLOOR	601.00
BASEMENT FLOOR	593.00
FIRST FLOOR	603.00
SECOND FLOOR	613.00
AVERAGE GRADE	598.3

GENERAL NOTES

1. DO NOT SCALE DIMENSIONS.
2. THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS). SEE 'BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA' FOR ENERGY COMPLIANCE INFORMATION.
3. ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE 2020 RCNYS AND THE 2020 ECCCNYS.
4. THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN. AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
5. ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
7. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
8. STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE 2020 RCNYS.
9. CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADS INDICATED ON DRAWINGS.
10. ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
11. BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
 - A. IF ALTERED
 - B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED
 - C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES
12. ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT/OWNER.
13. ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE IDENTIFIED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
14. IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
15. THE BUILDER MUST VERIFY THAT THIS DWELLING IS NOT LOCATED IN FLOODWAY AS DEPICTED IN THE LATEST TOWN F.I.R.M. MAP.
16. BUILDER SHALL FILE SEPARATE PLANS FOR WASTE WATER DISPOSAL AND DOMESTIC WATER SUPPLY.
17. BUILDER SHALL FILE SEPARATELY PLOT PLAN INDICATED FRONT, SIDE AND REAR YARD DIMENSIONS, ELEVATIONS AT DRIVEWAY, GARAGE AND FINISHED FIRST FLOOR.
18. ALL EXTERIOR WALLS AND COMMON TO UNHEATED SPACES SHALL BE 2X6 STUDS @ 16" O.C.
19. ALL INTERIOR WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
20. PER 2020 RCNYS, STAIR TREAD MINIMUM WIDTH SHALL BE 9", PLUS 1-1/8" NOSING FOR A CLOSED STAIRWAY. MAXIMUM RISER HEIGHT SHALL BE 8-1/4". TOLERANCE ON TREAD AND RISER SHALL NOT EXCEED 1/8". MINIMUM HEADROOM OVER ANY PORTION OF THE FIXED STAIRWAY SHALL NOT BE LESS THAN 6'-8". ALL STAIRS SHALL HAVE CONTINUOUS RAILINGS 2'-10" TO 3'-2" ABOVE NOSING. ALL PORCHES, BALCONIES OR RAISED FLOOR AREAS GREATER THAN 30" ABOVE FLOOR SHALL HAVE GUARD RAILS NOT LESS THAN 36" HIGH. GUARDS SHALL NOT ALLOW A SPHERE GREATER THAN 4" PASS THRU INTERMEDIATE RAILS.
21. HEATING DUCT DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE HEATING CONTRACTOR. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY EITHER ROUGH-IN TEST OR POST-CONSTRUCTION TEST PER 2020 ECCCNYS R403.3 UNLESS ALL DUCTS ARE WITHIN BUILDING THERMAL ENVELOPE.
22. ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR. COOKING EXHAUST HOOD TO COMPLY WITH 2020 RCNYS M1503
23. UTILITY ROOM SHALL BE VENTED TO EXTERIOR TO PROVIDED SUFFICIENT COMBUSTION AIR PRESCRIBED BY HEATING UNIT MANUFACTURER.
24. ATTIC SHALL BE VENTED USING EITHER EAWE, SOFFIT OR RIDGE VENTS.
25. SMOKE DETECTORS SHALL BE INSTALLED BEFORE WIRING ELECTRICAL SWITCHES.
26. ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 2020 RCNYS & NFPA 70.
27. ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RCNYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.
28. PROVIDE AT LEAST ONE PROGRAMMABLE THERMOSTAT.
29. 110V SMOKE DETECTOR WITH BATTERY BACKUP (INTERCONNECTED TO ALL OTHER SMOKE DETECTORS) SHALL BE INSTALLED IN EACH EXISTING BEDROOM AND IMMEDIATELY OUTSIDE OF THE SLEEPING AREA. HARD WIRE A CARBON MONOXIDE DETECTOR SHALL ALSO BE INSTALLED OUTSIDE OF SLEEPING AREA.
30. ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
31. THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RCNYS FOR TERMITES PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVELY TREATED WOOD AS PRESCRIBED IN SECTION R318.1 AND FOR PROTECTION AGAINST DECAY (R317).
32. ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH 2020 RCNYS. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
33. TESTING SHALL BE PERFORMED TO VERIFY ACCEPTABLE AIR LEAKAGE RATE PER 2020 ECCCNYS R402.4.1.2. AIR LEAKAGE SHALL NOT EXCEED 3 AIR CHANGES PER HOUR.
34. WHOLE HOUSE MECHANICAL VENTILATION SYSTEMS IS REQUIRED. DESIGN SHALL BE ESTABLISHED BY 2020 RCNYS M1505 AND PROVIDED BY HVAC CONTRACTOR.
35. FIREPLACE SHALL BE PROVIDED WITH TEMPERED GLASS DOORS.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYGRR 64.5b

FLOOR LOAD SCHEDULE

DEAD LOAD	
FLYWOOD	1.5
CEILING	2.5
WOOD FRAMING	2.0
LIGHTING, PIPING & MISC.	2.0
	10.0
LIVE LOAD	
ALL AREAS EXCEPT SLEEPING SLEEPING AREAS	40.0
	30.0
DESIGN LOAD	
ALL AREAS EXCEPT SLEEPING SLEEPING AREAS	50.0 PSF
	40.0 PSF

ATTIC FLOOR SCHEDULE

DEAD LOAD	
FLYWOOD	1.5
CEILING	2.5
WOOD FRAMING	2.0
LIGHTING, PIPING & MISC.	2.0
	10.0
LIVE LOAD	
STORAGE	20.0
DESIGN LOAD	
	30.0 PSF

ROOF LOAD SCHEDULE

DEAD LOAD	
ROOFING	2.5
INSULATION	1.0
FLYWOOD	1.0
WOOD FRAMING	1.5
CEILING	2.5
LIGHTING, PIPING & MISC.	1.5
	10.0
LIVE LOAD	
SNOW LOADING	30.0
DESIGN LOAD	
	40.0 PSF

SQUARE FOOTAGE

FIRST FLOOR AREA	2480 SF
SECOND FLOOR AREA	1100 SF
TOTAL	3580 SF

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



LINDA J. ZWART
ARCHITECT

31 MEADOWOOD ROAD
MONTGOMERY, NY 12541
845-361-2461

LICENSED - NEW YORK STATE

S/B/L 48.13/1/6.4
821 SHIQR GASHI

NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER, NY

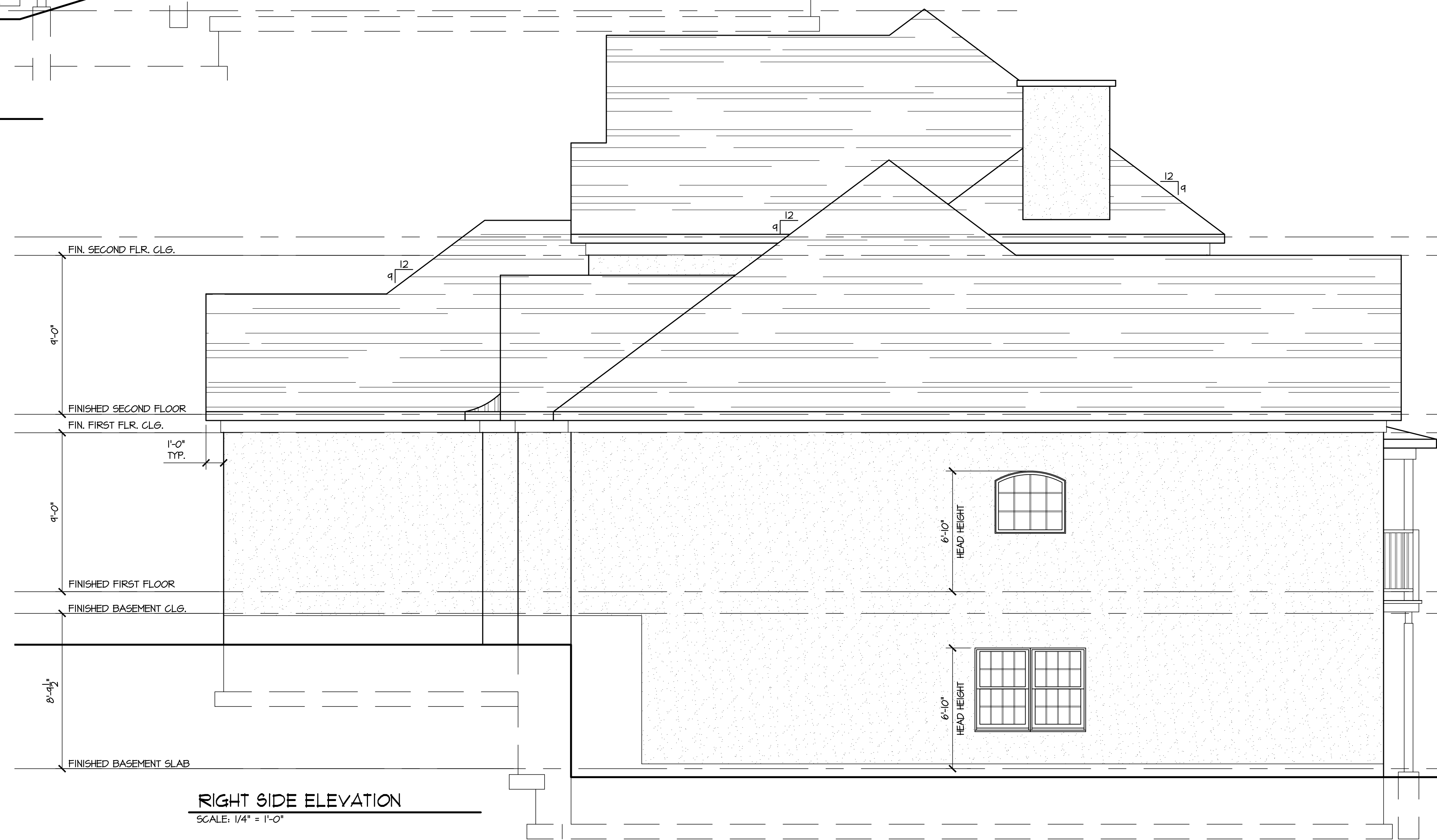
GENERAL NOTES & ELEVATIONS

DATE: 30 JULY 2020
REV: 10 MAY 2022
JOB# 1820

1 OF 8



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ZONING ANALYSIS

TAX DESIGNATION 5-B-L	SECTION 48.12, BLOCK 1, LOT 6.4	
PROJECT DESCRIPTION	SINGLE FAMILY RESIDENCE	
SITE ZONING	RI-200	
ITEM	REQUIRED/ALLOWED	PROPOSED
LOT AREA (S.F.)	200,000 S.F.	234,858 S.F.
LOT AREA (AC.)	4.59 AC.	5.3916 AC.
FRONTAGE AT STREET LINE	200 FT	NOTE 1
MAX BLDG COVERAGE	10%	1.62%
MIN. REQUIRED YARD AREAS		3,808
FRONT YARD	75'	
REAR YARD	75'	
TOTAL OF TWO SIDE YARDS	23'	NOTE 2
SIDE YARDS	60'	NOTE 2
MIN. USABLE FLOOR AREA	1,200 SF	
MAX HEIGHT MAIN BLDG	35'	NOTE 4
PARKING REQUIRED	5	5 - NOTE 3

NOTES
 1. TOWN OF YORKTOWN TOWN BOARD, ON AUGUST 1, 2006, GRANTED FLEXIBILITY FROM LOT FRONTAGE.
 2. TOWN OF YORKTOWN TOWN BOARD, ON AUGUST 1, 2006, GRANTED FLEXIBILITY FROM SETBACK REQUIREMENTS.
 3. PARKING SPACES PROVIDED AS FOLLOWS:
 (a) 2 SPACES IN GARAGE
 (b) 3 SPACES IN 30' x 30' DRIVEWAY/PARKING AREA
 4. BUILDING HEIGHT = MEAN LEVEL OF ROOF HEIGHT BETWEEN EAVES AND HIGHEST POINT OF ROOF AND AVERAGE LEVEL OF FINISHED GRADE AROUND EXTERIOR WALL OF BUILDING

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYGRR 64.5b

ELEVATION NOTES

- TYPICAL HEADER HEIGHT SHALL BE 6'-10" UNLESS OTHERWISE NOTED.
- FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.
- ALL PICTORIAL GRADES SHOWN ARE APPROXIMATE AND BUILDER IS TO COORDINATE FINAL GRADING W/ SITE PLAN & ELEVATIONS SHOWN HERE
- DESIGN INTENTIONS ARE ILLUSTRATED BY ELEVATIONS AND ARE TO BE FOLLOWED.
- GRADES HAVE BEEN ESTABLISHED PROVIDENT DESIGN ENGINEERING. SEE SITE PLAN.
- GRADES:
 GRADE AT GARAGE 601.00
 GARAGE FLOOR 601.00
 BASEMENT FLOOR 593.00
 FIRST FLOOR 603.00
 SECOND FLOOR 613.00
 AVERAGE GRADE 548.3

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



LINDA J. ZWART
ARCHITECT
 31 MEADOWOOD ROAD
 MONTGOMERY, NY 12541
 845-361-2461
 LICENSED - NEW YORK STATE

S/B/L 48.13/1/6.4
 821 SHIQR GASHI
 NEW RESIDENCE FOR:
GASHI
 TOWN OF YORKTOWN
 COUNTY OF WESTCHESTER, NY

ELEVATIONS

DATE: 30 JULY 2020
 REV: 10 MAY 2022
 JOB# 1820

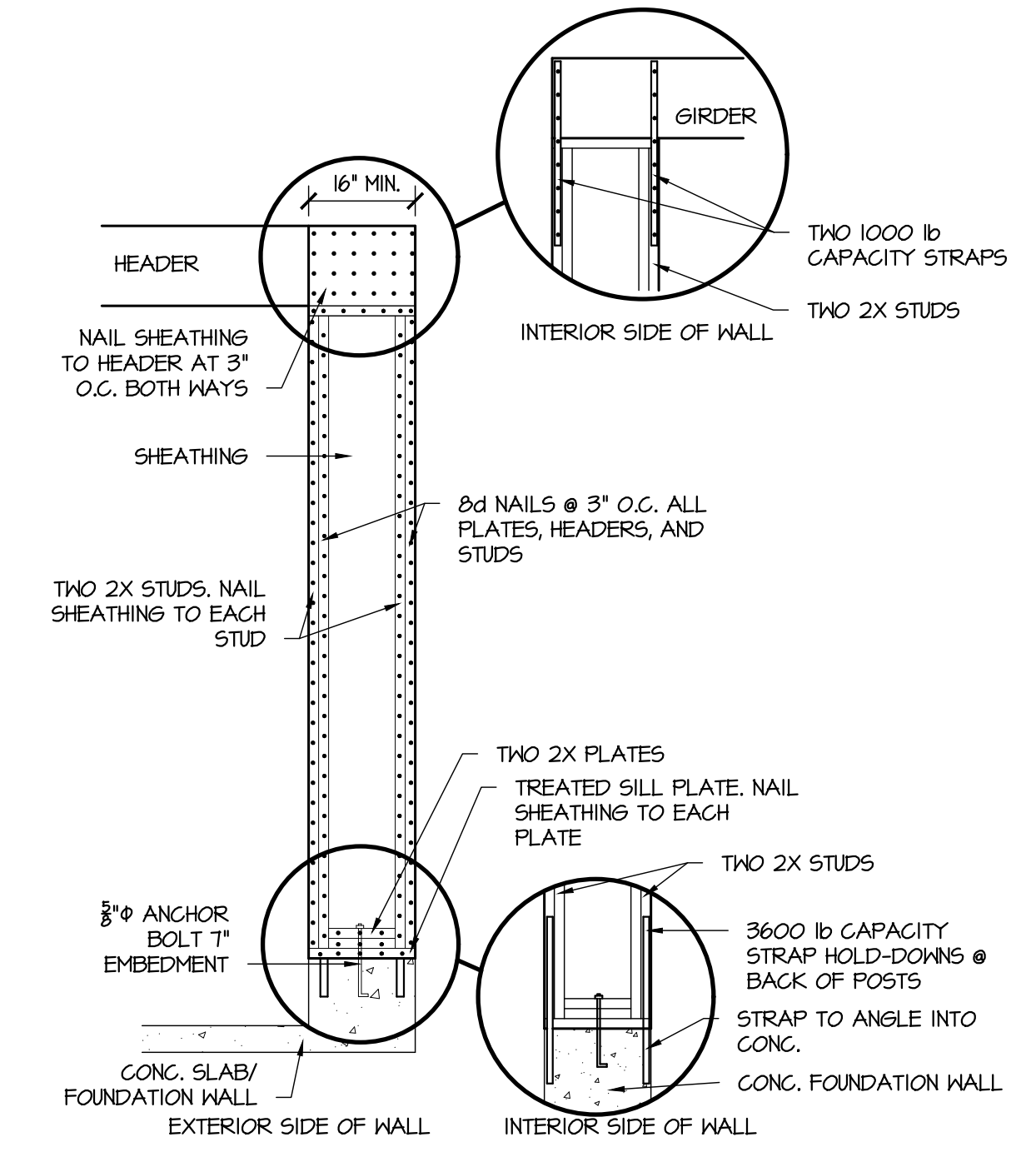
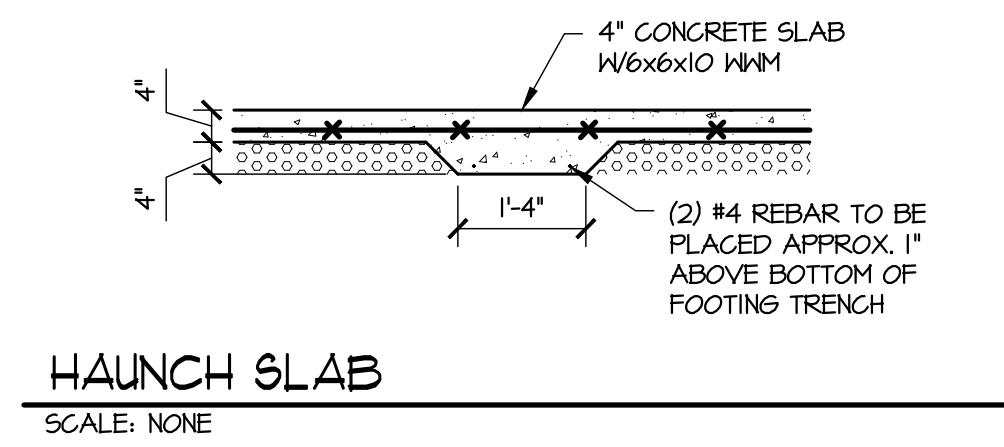
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYGRR 64.50

FOUNDATION NOTES

- 4" CONCRETE SLAB WITH 6X6X10/10 W/M ON 6 MIL POLY VAPOR BARRIER
- ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED
- 8" POURED CONCRETE WALLS ON 10"x20" FOOTINGS
- DOUBLE JOISTS UNDER PARALLEL WALLS ABOVE
- BASEMENT IS UNHEATED
- FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.

FOUNDATION LEGEND

- INTERIOR COLUMN: 3" Ø STEEL COLUMN WITH COLUMN CAP/BEAM SADDLE ON 24" x 24" x 12" CONCRETE FOOTING. FOOTING SIZE TYPICAL UNLESS OTHERWISE NOTED.
- INTERIOR COLUMN: (4)2x4 BUILT UP COLUMN WITH COLUMN CAP/BEAM SADDLE ON 24" x 24" x 12" CONCRETE FOOTING. FOOTING SIZE TYPICAL UNLESS OTHERWISE NOTED.
- INTERIOR COLUMNS SHALL BE (4)2x4 BUILT UP COLUMN WITHIN STUD WALL



DETAILS ABOVE BASED ON APA STURD-I-FRAME BRACING PANEL FOR MORE INFORMATION ON THIS SYSTEM SEE WWW.APAWOOD.ORG

SITE BUILT SHEAR WALLS DESCRIBED ABOVE MAY BE SUBSTITUTED WITH SIMPSON STRONG-WALL GARAGE PORTAL SYSTEM, LEVEL SHEAR BRACE WALL OR EQUAL. THE MANUFACTURED SHEAR WALL PANELS ARE MADE IN STANDARD HEIGHTS AND SHOULD BE COORDINATED WITH FINISHED FOUNDATION STEM WALL HEIGHT FOR PROPER GARAGE DOOR OPENING

BUILDING ENVELOPE THERMAL COMPONENT CRITERIA

BUILDING COMPONENT	MIN. R-VALUE	REMARKS
CEILING	R-30	INCLUDING ALL TRAY CEILING AREAS
ALL WALLS	R-21	
WALL AROUND GARAGE	R-21	
WALL AROUND STAIR	R-15	
FLOOR OVER UNHEATED SPACE OR OUTSIDE AIR	R-30	

*COMPLIANCE WITH THE 2020 NYS ENERGY CONSERVATION CODE HAS BEEN ESTABLISHED THROUGH USE OF THE APPROVED RESCHECK SOFTWARE. COMPLIANCE REPORT SHALL BE SUBMITTED WITH CONSTRUCTION DOCUMENTS. I, LINDA ZWART, CONFIRM TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS COMPLY WITH THE ENERGY CODE. MINIMUM REQUIREMENTS ARE LISTED ABOVE, IT IS RECOMMENDED BY THE ARCHITECT THAT INSULATION BE MAXIMIZED WHERE EVER POSSIBLE DURING CONSTRUCTION. ALL DUCTS LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED. R-8 FOR ALL SUPPLY DUCTS, R-4 FOR ALL RETURN DUCTS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30	115	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	NO	YES	REFER TO FIRM MAP	1000	PER JURISDICTION

MANUAL J DESIGN CRITERIA

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
501	42	PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	68	78	PER JURISDICTION
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COINCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	72	PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS

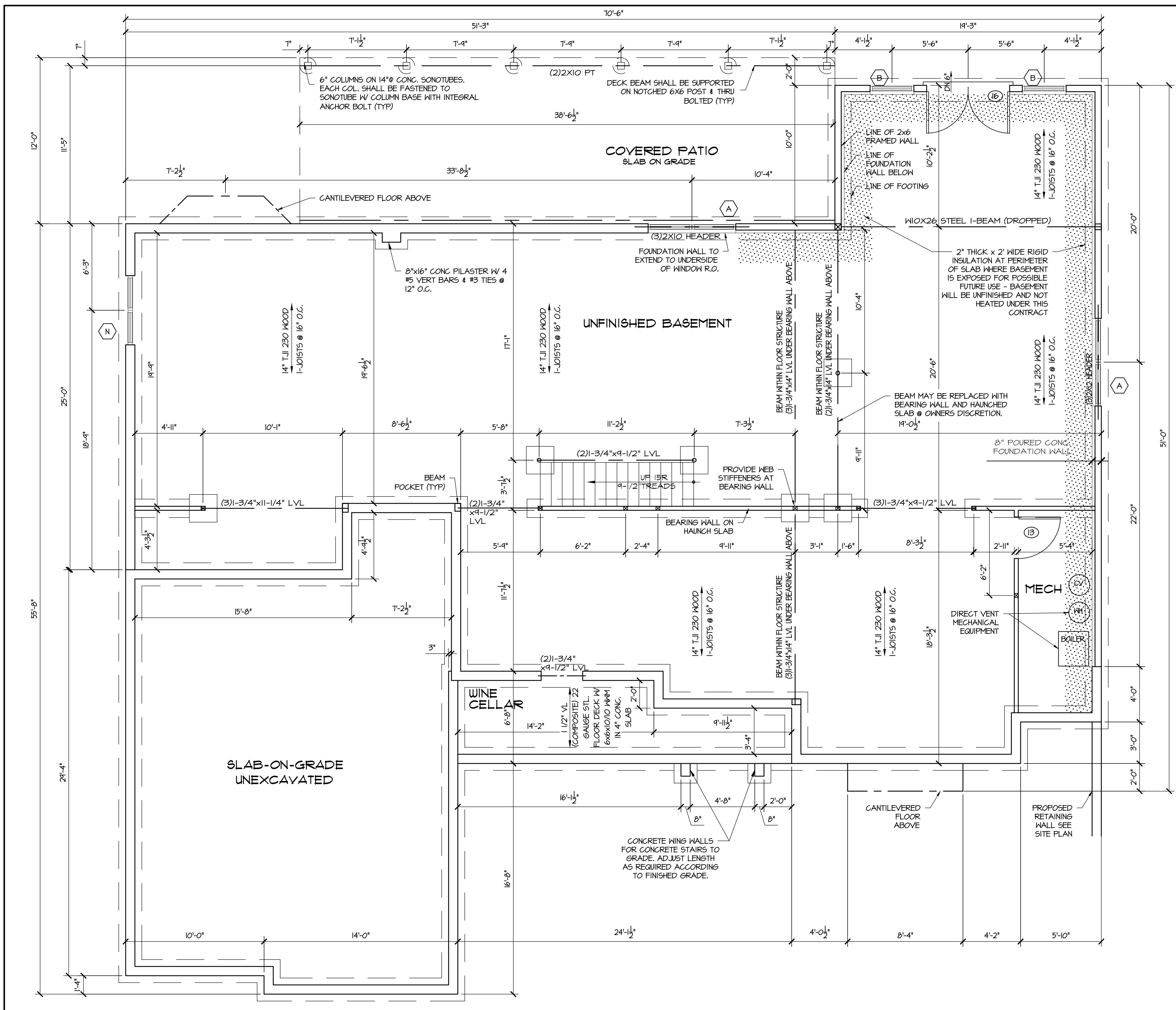


LINDA J. ZWART
ARCHITECT
31 MEADOWOOD ROAD
MONTGOMERY, NY 12541
845-361-2969
LICENSED: NEW YORK STATE

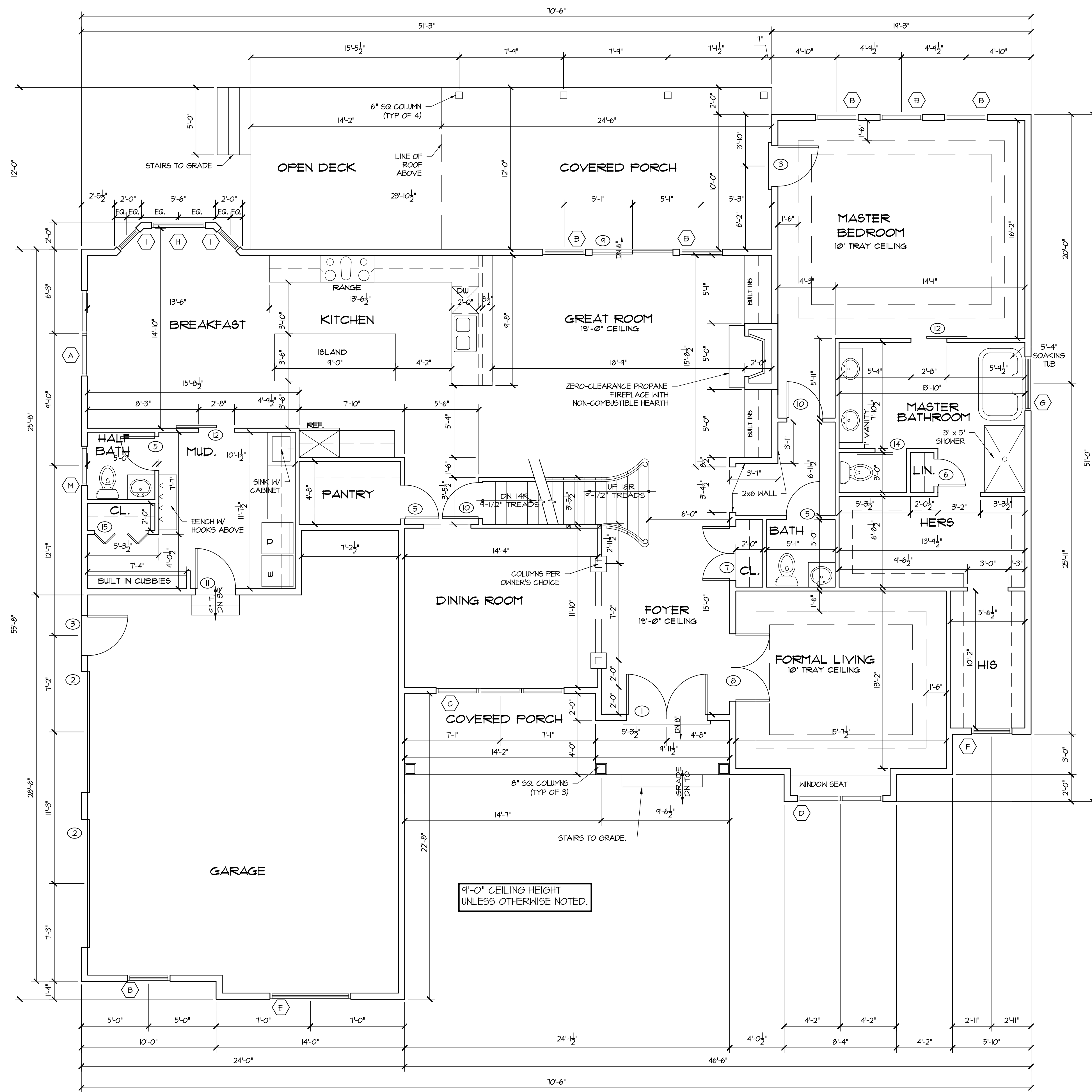
S/B/L 48.13/1/6.4
821 SHIQR GASHI
NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER, NY

FOUNDATION PLAN

DATE: 30 JULY 2020
REV: 10 MAY 2022
JOB# 1820



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FRENCH STYLE EXTERIOR (GLASS) DOORS SHALL HAVE LOW-E GLASS WITH MIN. U-VALUE OF 0.3 OR BETTER TO MEET ENERGY CODE COMPLIANCE. DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL HAVE MIN. U-VALUE OF 0.4 OR BETTER TO MEET ENERGY CODE COMPLIANCE.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

MARK	DESCRIPTION
1	6'-0" EXTERIOR DOUBLE DOORS
2	9' WIDE X 8' HIGH OVERHEAD GARAGE DOOR
3	3'-0" EXTERIOR DOOR
4	2'-10" INTERIOR BARN STYLE SLIDING DOOR (2'-6" OPENING)
5	2'-6" INTERIOR DOOR
6	2'-0" INTERIOR DOOR
7	4'-0" WIDE DOUBLE DOORS
8	5'-0" INTERIOR DOUBLE DOORS
9	6'-0" WIDE EXTERIOR GLIDING DOORS
10	2'-8" INTERIOR DOOR
11	3'-0" FIRE DOOR
12	3'-0" INTERIOR BARN STYLE SLIDING DOOR (2'-8" OPENING)
13	3'-0" INTERIOR DOOR
14	2'-6" INTERIOR BARN STYLE SLIDING DOOR (2'-4" OPENING)
15	4'-0" BIFOLD DOORS
16	6'-0" EXTERIOR FRENCH STYLE DOUBLE DOORS

WINDOW SCHEDULE

MARK	DESCRIPTION	SIZE/MODEL
A	(2) DOUBLE HUNG	2-TW3046
B	DOUBLE HUNG	TW3046
C	(3) DOUBLE HUNG	3-TW3052
D	(2) DOUBLE HUNG	2-TW3052
E	ARCHED TOP WINDOW	AFFW605
F	DOUBLE HUNG	TW2646
G	ARCHED TOP WINDOW (TEMPERED GLASS REQUIRED)	AFC23
H	PICTURE WINDOW	DHP31042
I	DOUBLE HUNG	TW2042
J	PICTURE WINDOW	P5045
K	PICTURE WINDOW	P6045
L	ARCHED TOP WINDOW	AFFW604
M	DOUBLE HUNG	TW21046
N	GLIDING	G54

WINDOWS ARE TYPICAL OF ANDERSEN WINDOWS, WITH LOW-E GLAZING (U-VALUE OF 0.30 OR BETTER) TO MEET ENERGY CODE COMPLIANCE.

LIGHT & VENT SCHEDULE

ROOM		REQUIRED		PROVIDED	
		LIGHT (SF)	VENT (SF)	LIGHT (SF)	VENT (SF)
MASTER BEDROOM	(322 SF)	25.76	12.88	30.93	33.06
GREAT ROOM	(331 SF)	26.96	13.48	103.6	26.02
BREAKFAST	(181 SF)	14.96	7.48	46.7	17.9
DINING ROOM	(170 SF)	13.6	6.8	36.09	19.56
FORMAL LIVING	(220 SF)	17.6	8.8	24.06	13.04
BEDROOM #1	(145 SF)	11.6	5.8	20.62	11.3
BEDROOM #2	(166 SF)	13.28	6.64	30.93	16.95
BEDROOM #3	(146 SF)	11.68	5.84	20.62	11.3
PLAYROOM	(158 SF)	12.64	6.32	20.62	11.3

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYCRR 64.50

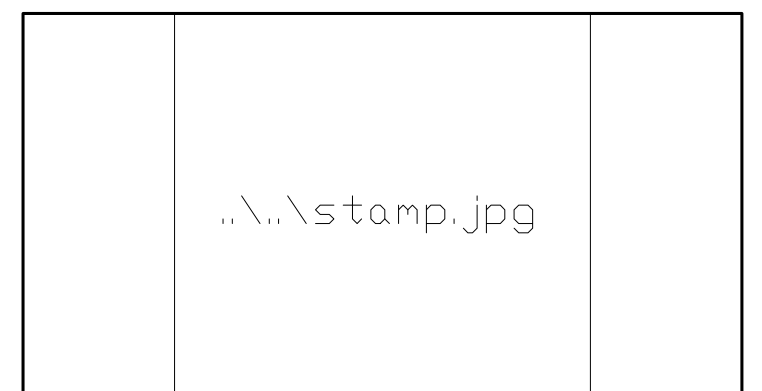
PLAN NOTES

- HEADERS SHALL BE (2)2x10 UNLESS OTHERWISE NOTED. WINDOW HEAD HEIGHT SHALL BE 6'-10".
- CEILING HEIGHT SHALL BE 9'-0" UNLESS OTHERWISE NOTED.
- FRONT PORCH IS SHOWN WITHOUT GUARD RAILINGS. PORCH FLOOR TO FINISHED GRADE SHALL BE NO GREATER THAN 30".

GARAGE NOTES

- 5/8" TYPE 'X' GWB THROUGHOUT GARAGE & 1/2" TYPE 'X' GWB ON OPPOSITE SIDE OF COMMON WALL.
- SELF CLOSING TYPE 'X' FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.
- MINIMUM 2" PITCH IN GARAGE FLOOR TOWARD GARAGE DOORS.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



LINDA J. ZWART
ARCHITECT

31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2969

LICENSED: NEW YORK STATE

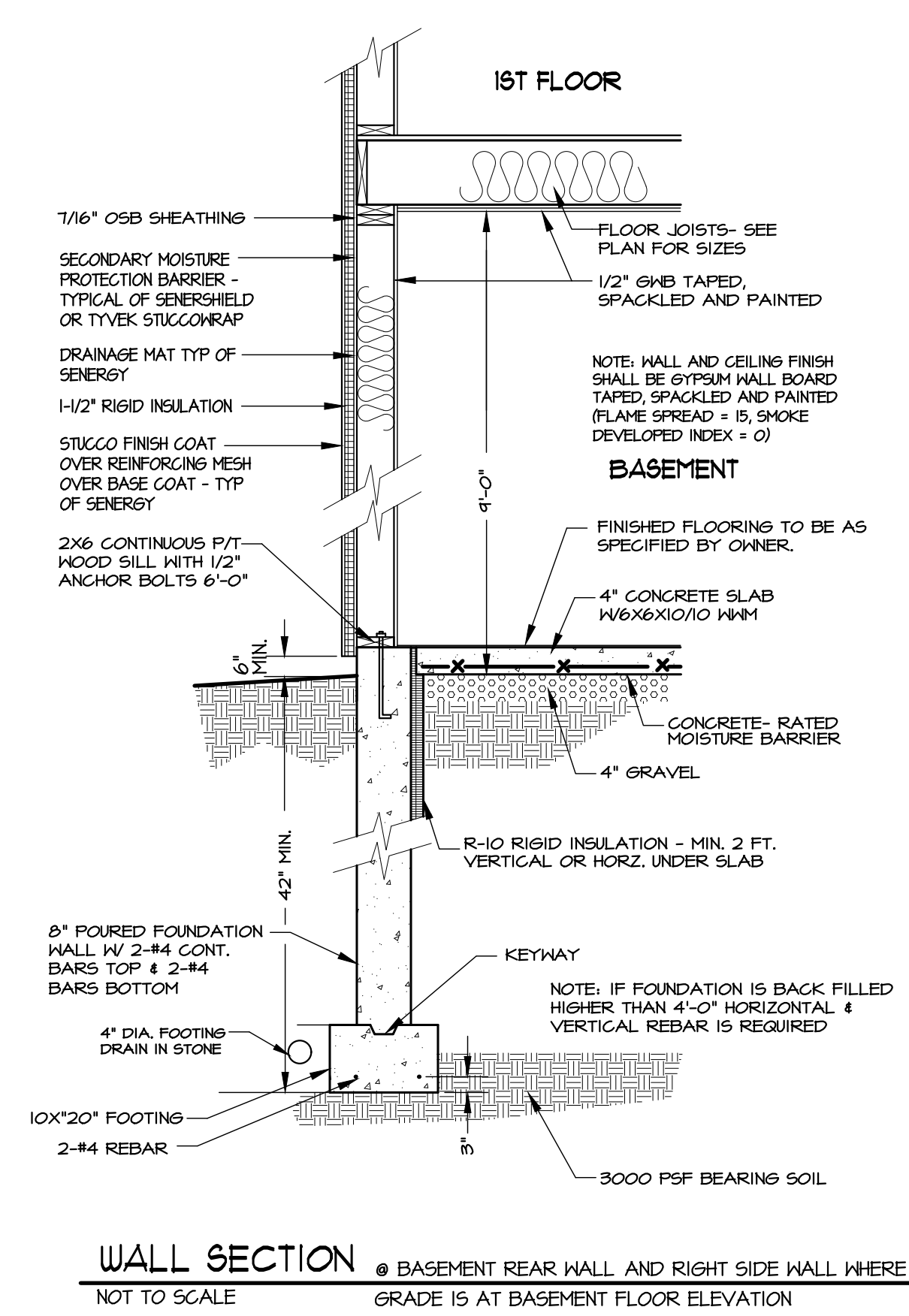
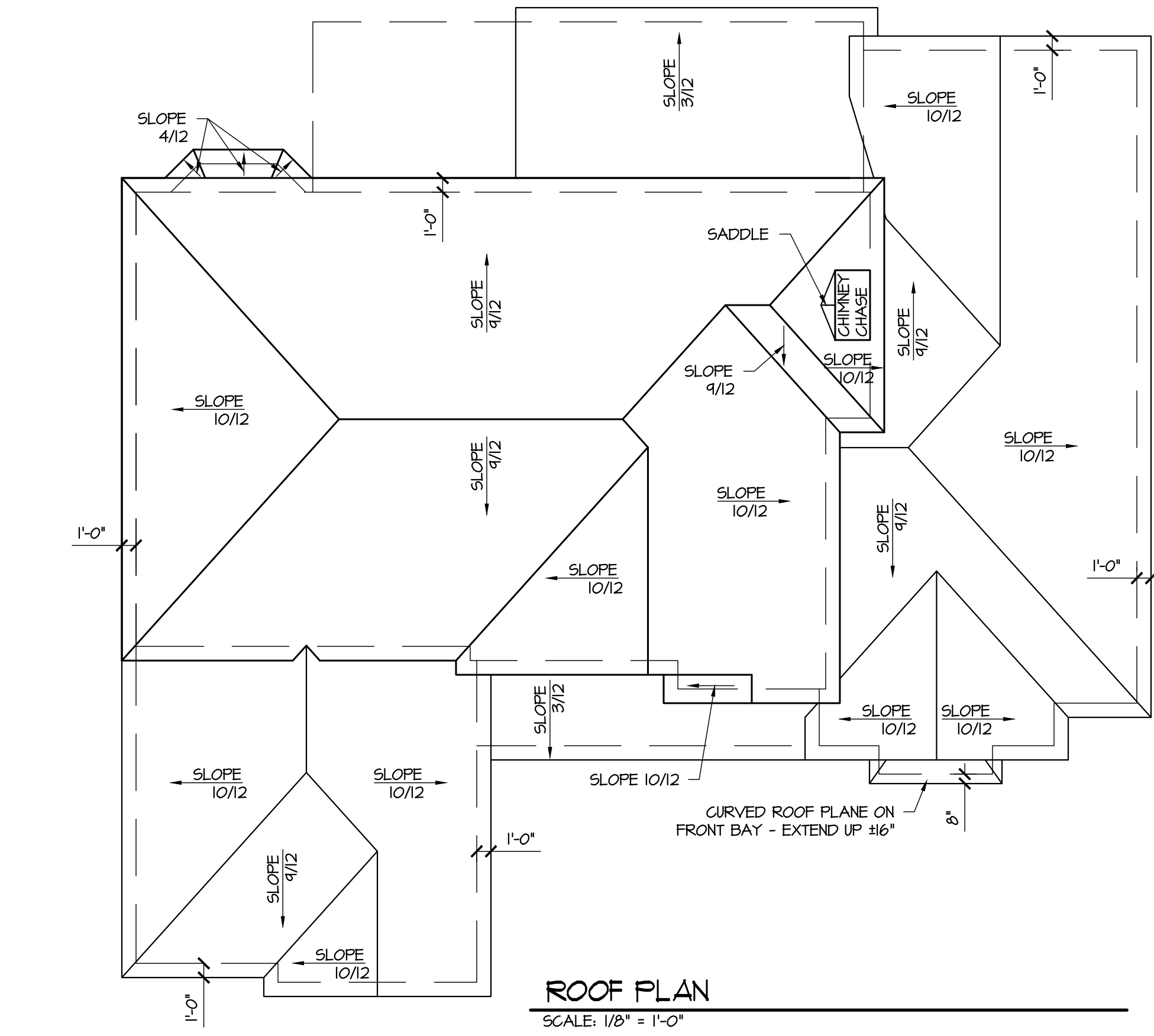
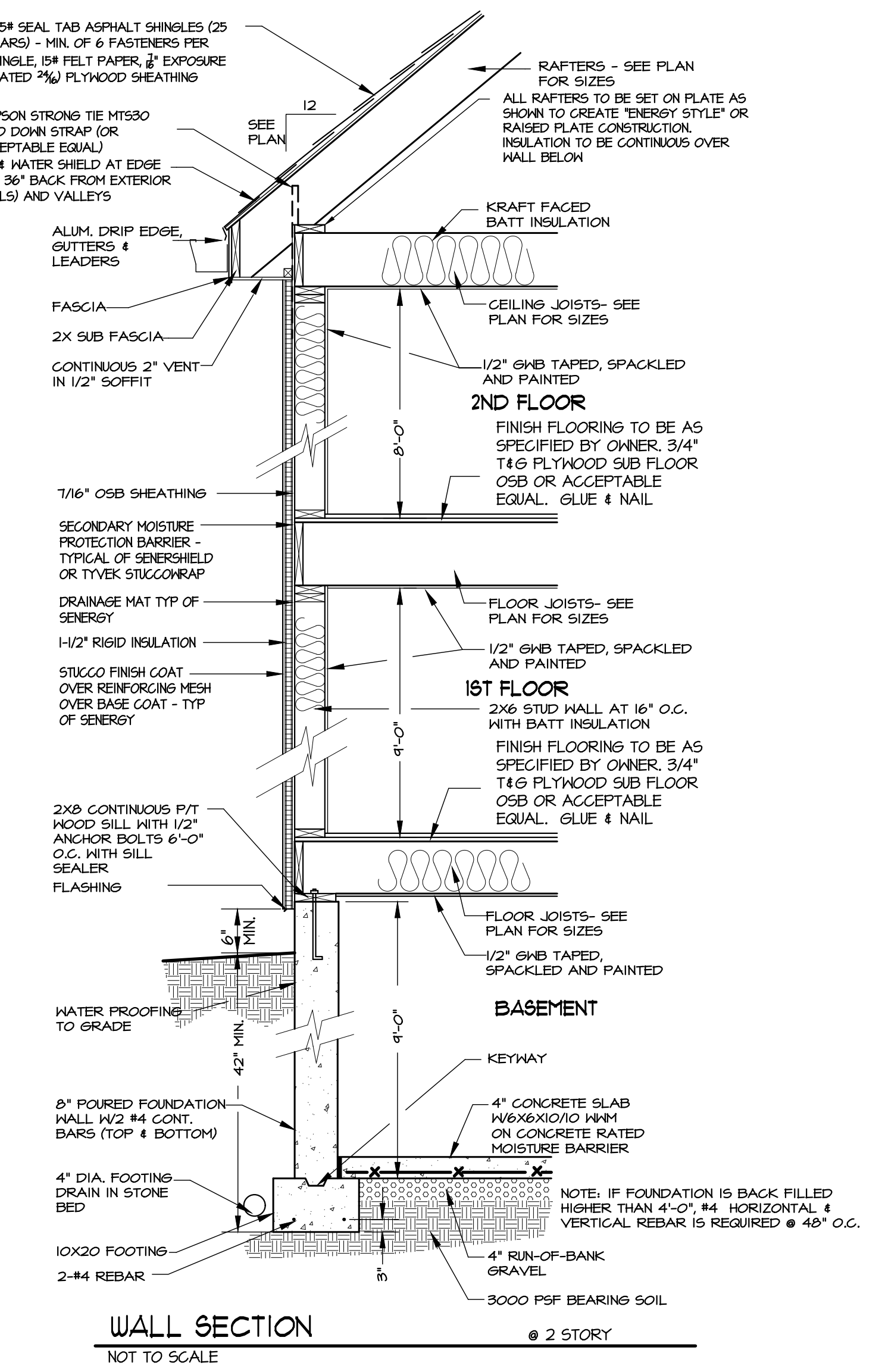
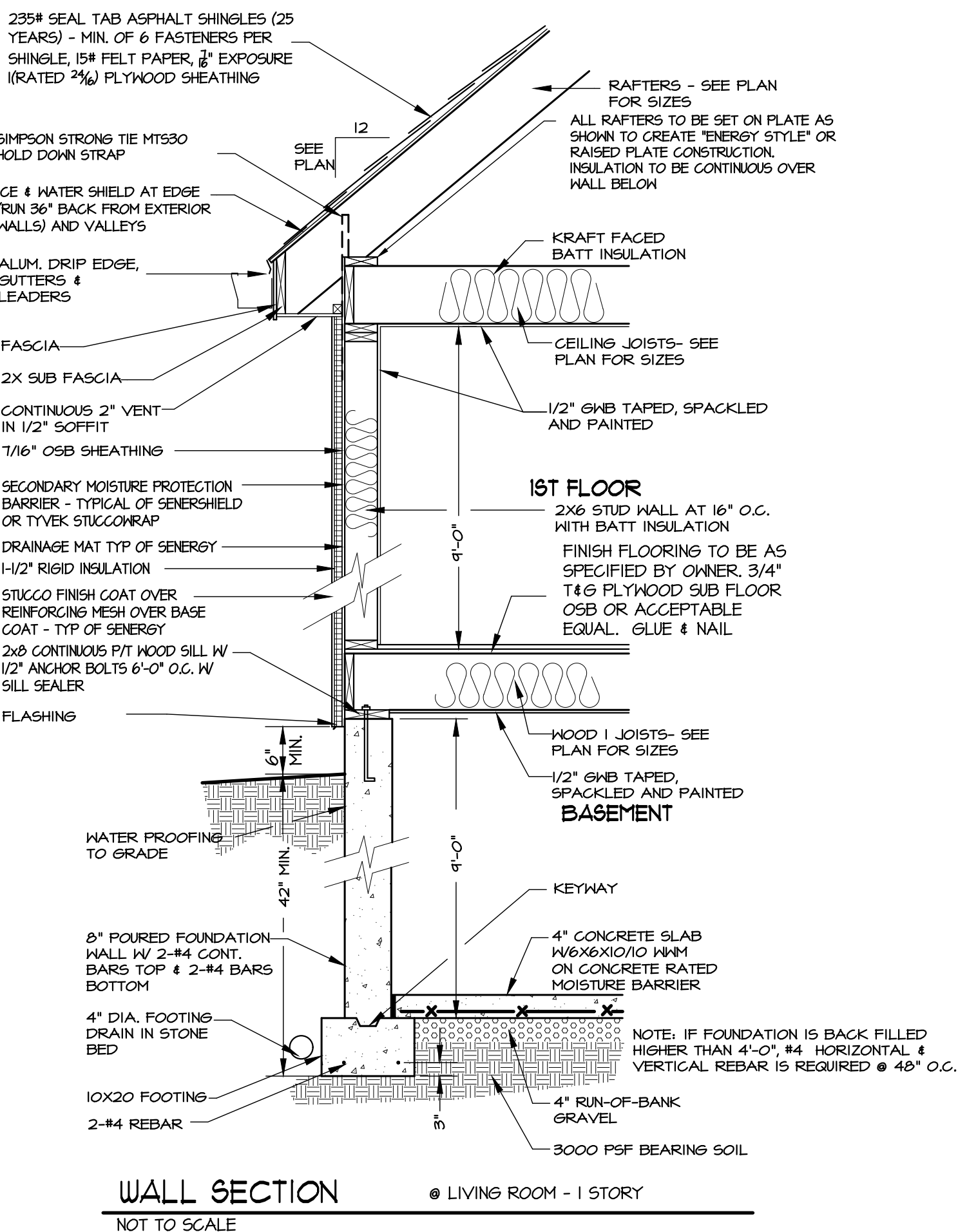
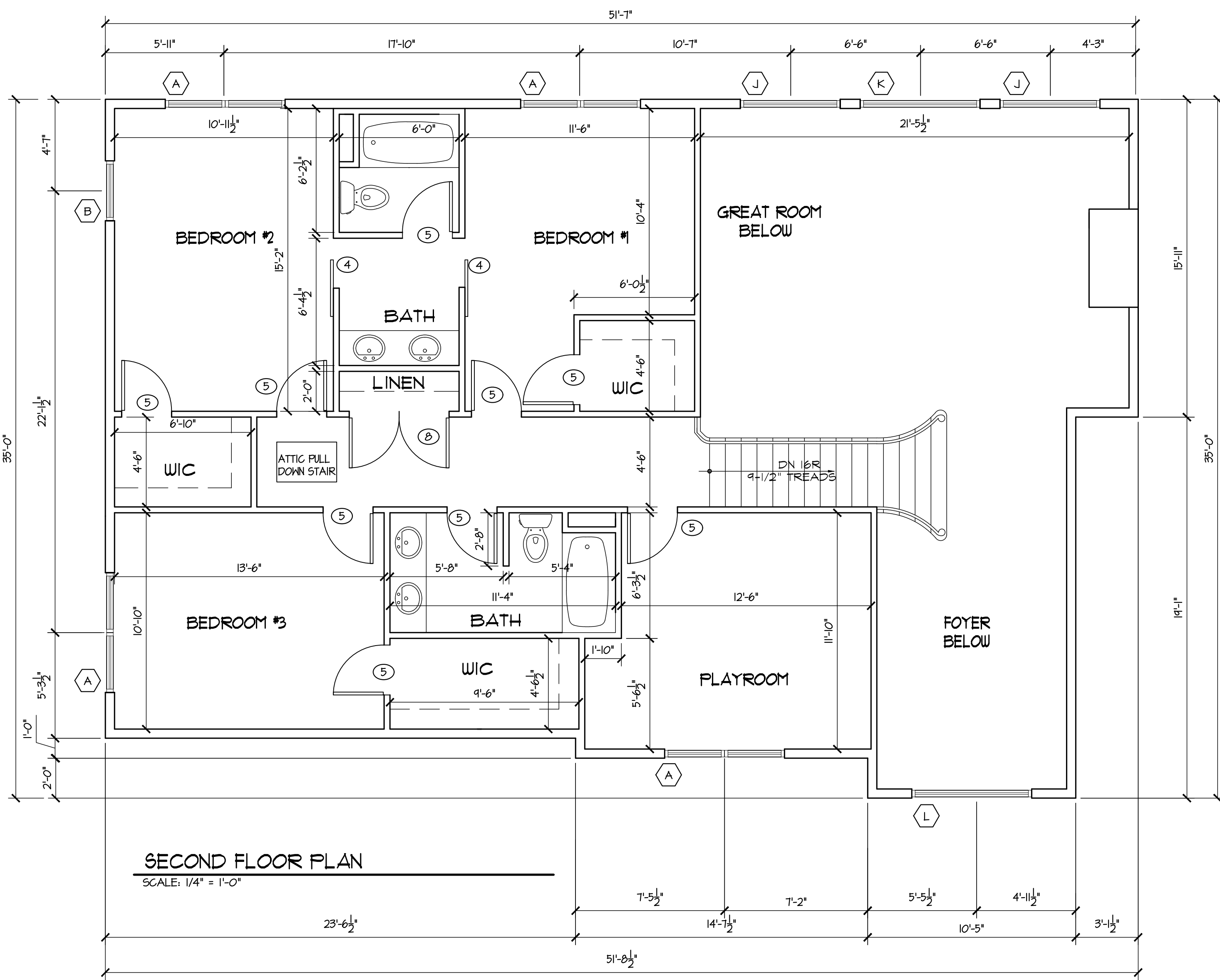
S/B/L 48.13/1/6.4
821 SHIQR GASHI

NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER, NY

FIRST FLOOR PLAN & SCHEDULES

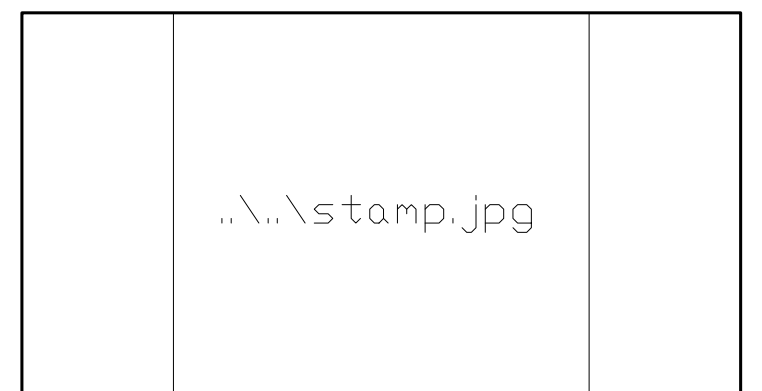
DATE: 30 JULY 2020
REV: 10 MAY 2022
JOB# 1820

4 OF 8



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYGRR 64.50

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



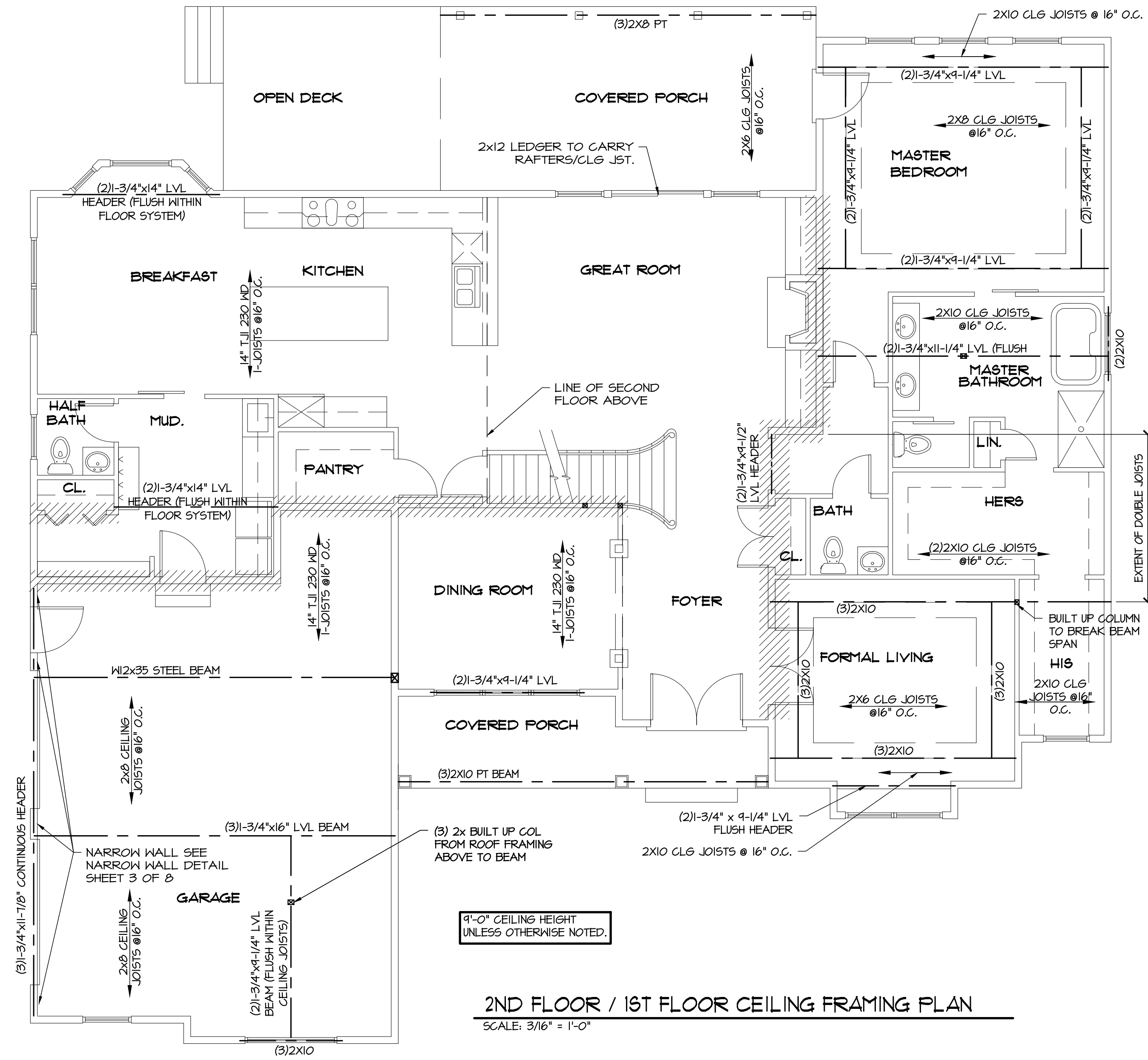
LINDA J. ZWART
ARCHITECT
31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2464
LICENSED, NEW YORK STATE

S/B/L 48.13/1/6.4
821 SHIQR GASHI
NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER, NY

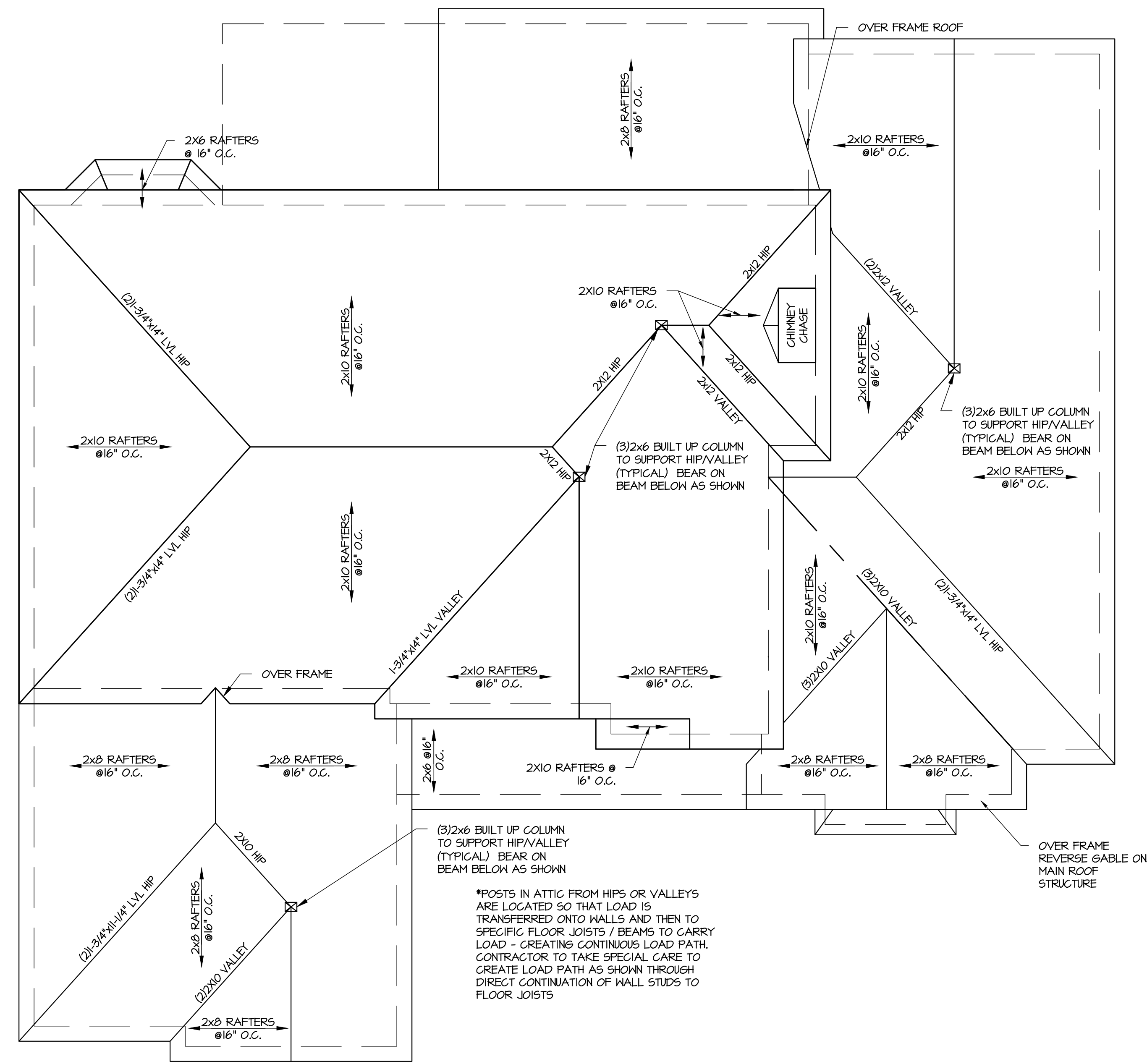
SECOND FLOOR PLAN & WALL SECTIONS

DATE: 30 JULY 2020
REV: 10 MAY 2022
JOB# 1820

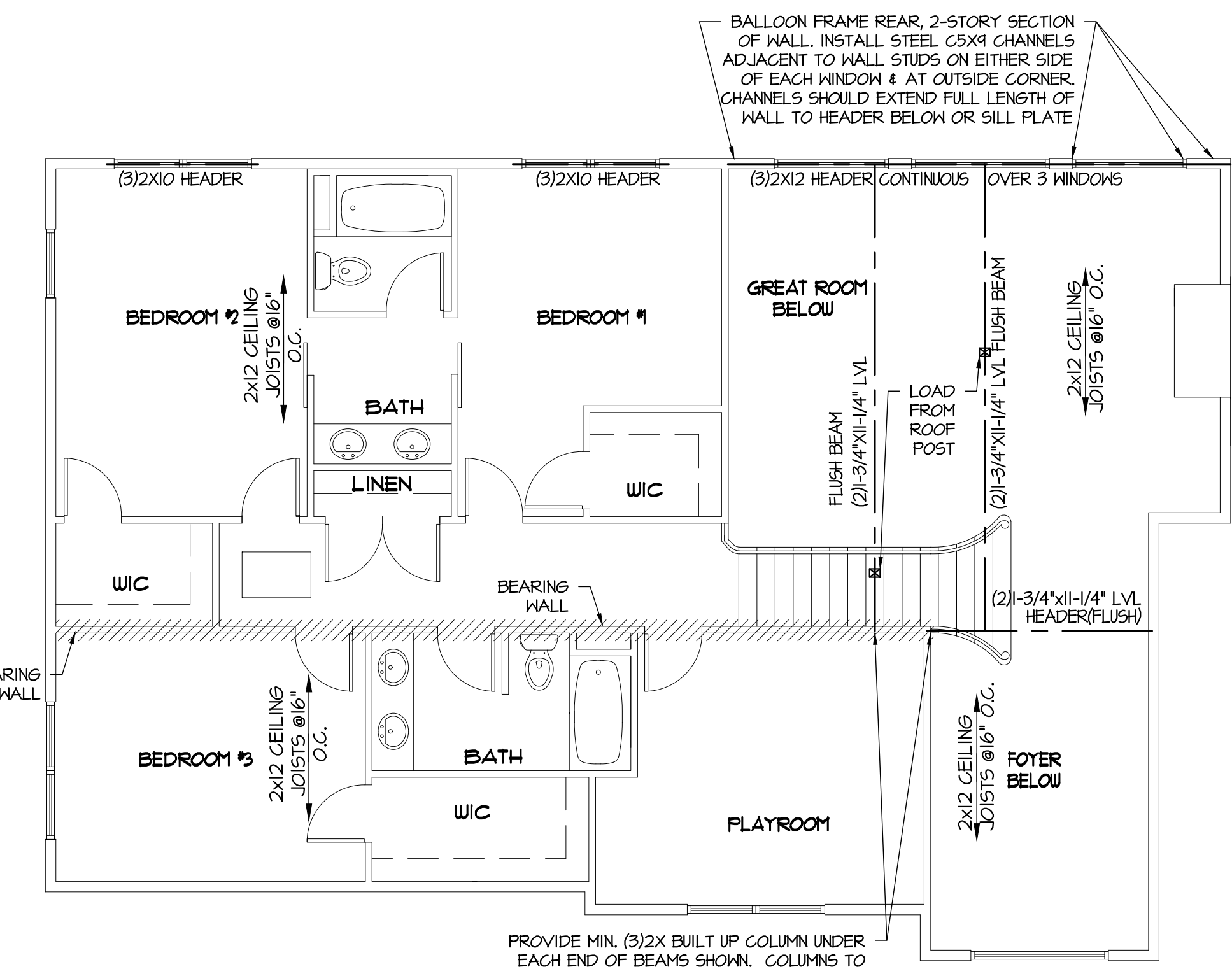
5 OF 8



2ND FLOOR / 1ST FLOOR CEILING FRAMING PLAN
SCALE: 3/16" = 1'-0"



ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"



CEILING FRAMING PLAN
SCALE: 3/16" = 1'-0"

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYCRR 64.50

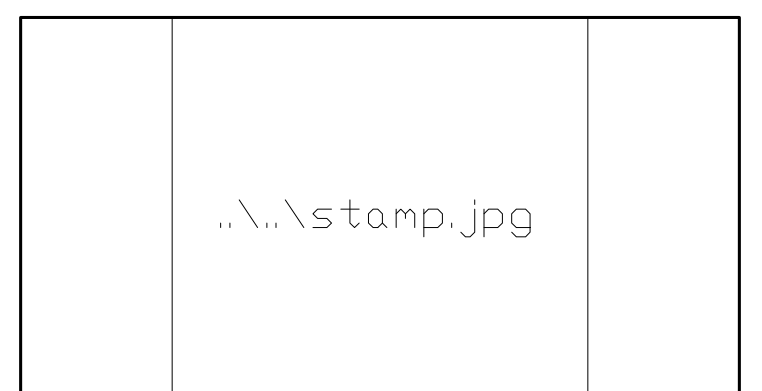
FRAMING NOTES

- FRAMING PLAN FOR ILLUSTRATIVE PURPOSES & MEMBER SIZING ONLY. NOT ALL MEMBERS OR COMPONENTS SHOWN.
- HEADERS SHALL BE (2)2X10, UNLESS OTHERWISE NOTED
- ALL STRUCTURAL CALCULATIONS REQUIRING LVL MEMBERS ARE BASED ON TRUSS JOIST MICROLAM 1.1E LVL
- ALL BUILT-UP COLUMN SUPPORTING STRUCTURAL BEAMS SHALL RUN CONTINUOUS FROM ROOF/CEILING TO ESTABLISH A CONTINUOUS LOAD PATH TO FOUNDATION
- ALL RIDGES, HIP RIDGES, AND VALLEYS SHALL BE 2X12 UNLESS OTHERWISE NOTED
- PROVIDE SQUASH BLOCKING AT LOCATIONS OF POINT LOADS.
- ALL BUILT UP COLUMNS SHALL BE MINIMUM (4)2x UNLESS OTHERWISE NOTED.

FRAMING PLAN LEGEND

- ////// BEARING WALL
- > SLOPED CEILING

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



LINDA J. ZWART
ARCHITECT
31 MEADOWOOD ROAD
MONTGOMERY, NY 12549
845-361-2969
LICENSED - NEW YORK STATE

S/B/L 48.13/1/6.4
821 SHIQR GASHI
NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER, NY

FRAMING PLANS

DATE: 30 JULY 2020
REV: 10 MAY 2022
JOB# 1820

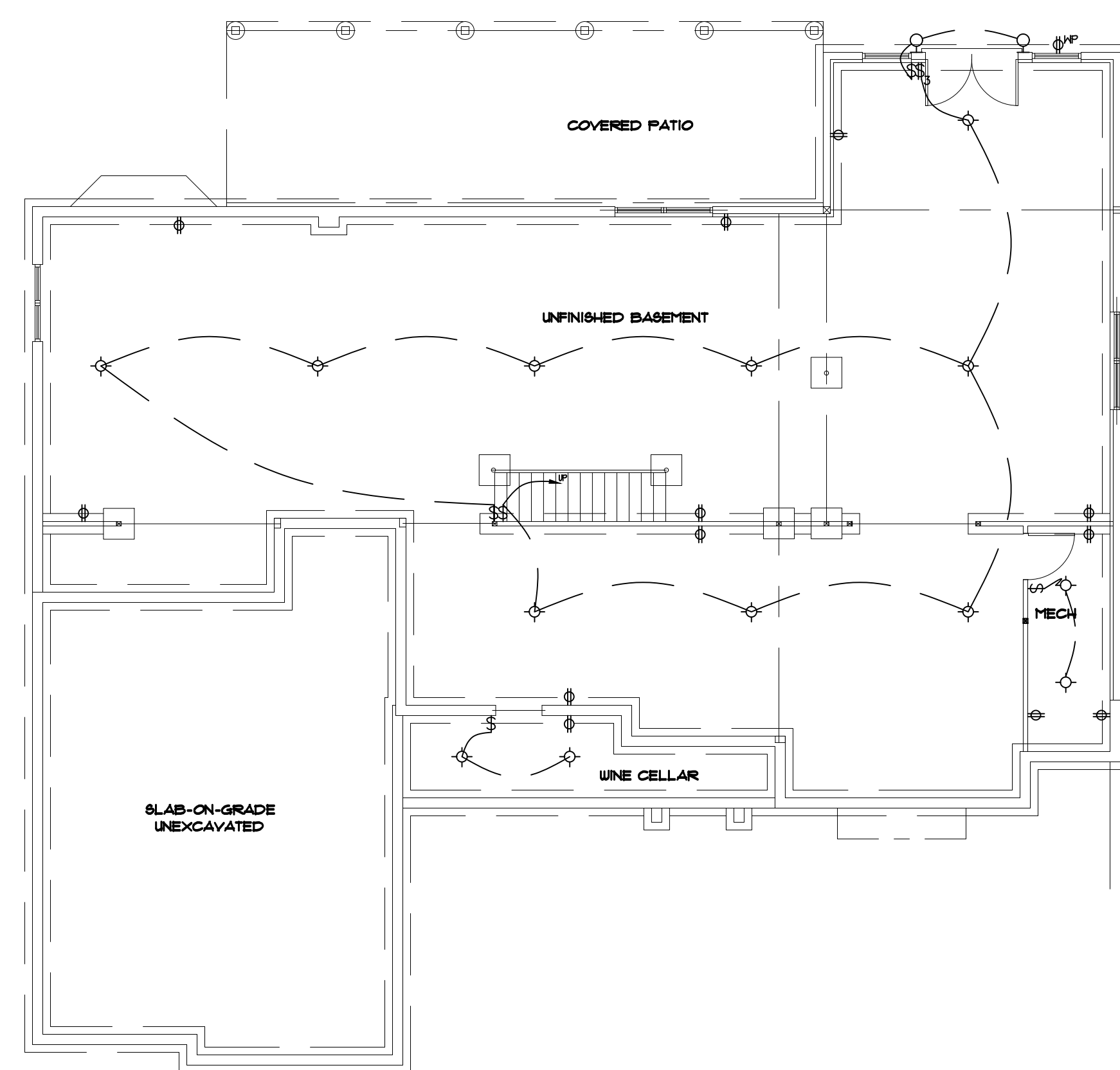
6 OF 8

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYCRR 64.56

ELECTRICAL NOTES

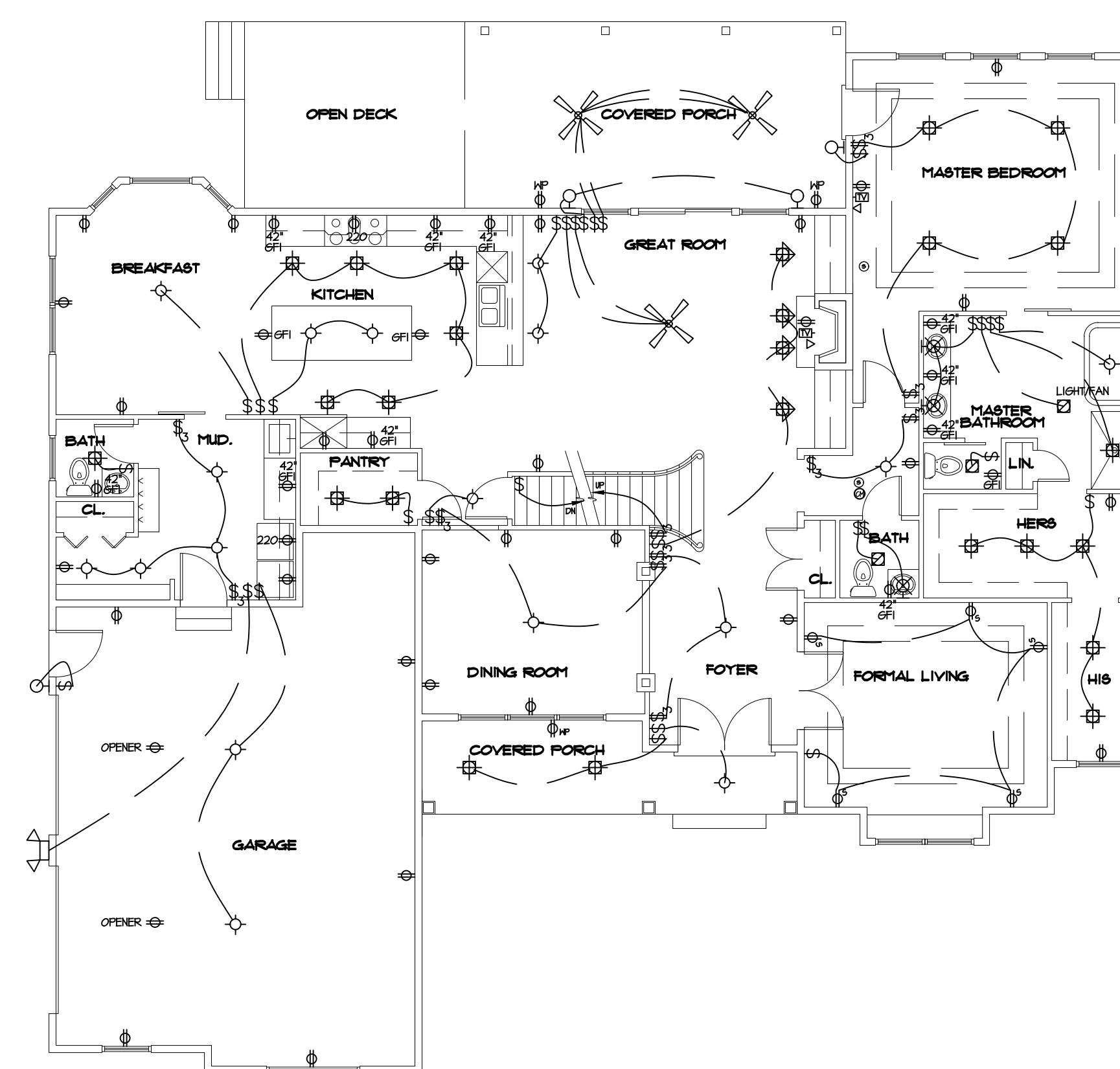
- 110V SMOKE DETECTORS WITH BATTERY BACKUP SHALL BE INSTALLED IN RESIDENCE IN EACH BEDROOM, IN CORRIDOR IN VICINITY OF BEDROOMS. SEE FLOOR PLANS FOR SMOKE DETECTOR LOCATIONS. THERE SHALL BE A CARBON MONOXIDE DETECTOR INSTALLED ON EACH FLOOR.
- LIGHTING FIXTURE AND ELECTRICAL RECEPTACLE REQUIREMENTS PER OWNERS REQUEST SHOWN. EXACT LOCATION TO BE FIELD VERIFIED.
- 15- AND 20- AMPERE RECEPTACLES IN WET LOCATIONS: WHERE INSTALLED IN A WET LOCATION, 15- AND 20- AMPERE, 125- AND 250- VOLT RECEPTACLES SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG IS INSERTED. AN OUTLET BOX HOOD INSTALLED FOR THIS PURPOSE SHALL BE LISTED AND IDENTIFIED AS "EXTRA-DUTY." 15- AND 20- AMPERE, 125- AND 250- VOLT NON-LOCKING RECEPTACLES INSTALLED IN WET LOCATIONS SHALL BE LISTED WEATHER-RESISTANT TYPE.
- LOCATIONS OF ARC-FAULT CIRCUIT INTERRUPTERS: ARC-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.
- 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES THAT ARE LOCATED WITHIN 6 FEET OF THE OUTSIDE EDGE OF A SINK, BATH OR SHOWER SHALL HAVE GFCI PROTECTION FOR PERSONNEL. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS.
- 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN LAUNDRY AREAS SHALL HAVE GFCI PROTECTION FOR PERSONNEL.
- KITCHEN AND DISHWASHER BRANCH CIRCUIT, GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS IN A DWELLING UNIT LOCATION.
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AFCI.
- NOT LESS THAN 15% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS



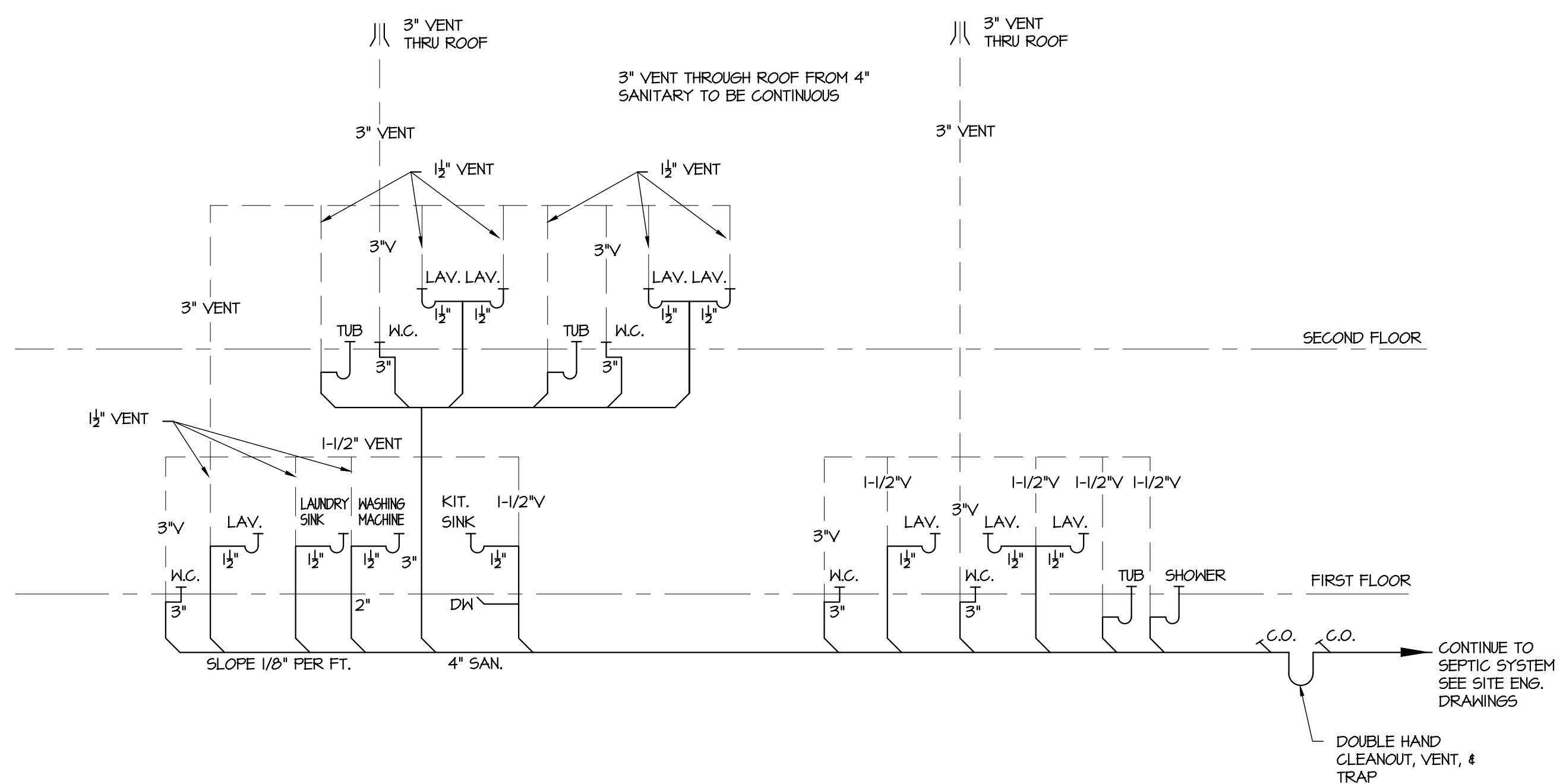
BASEMENT ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



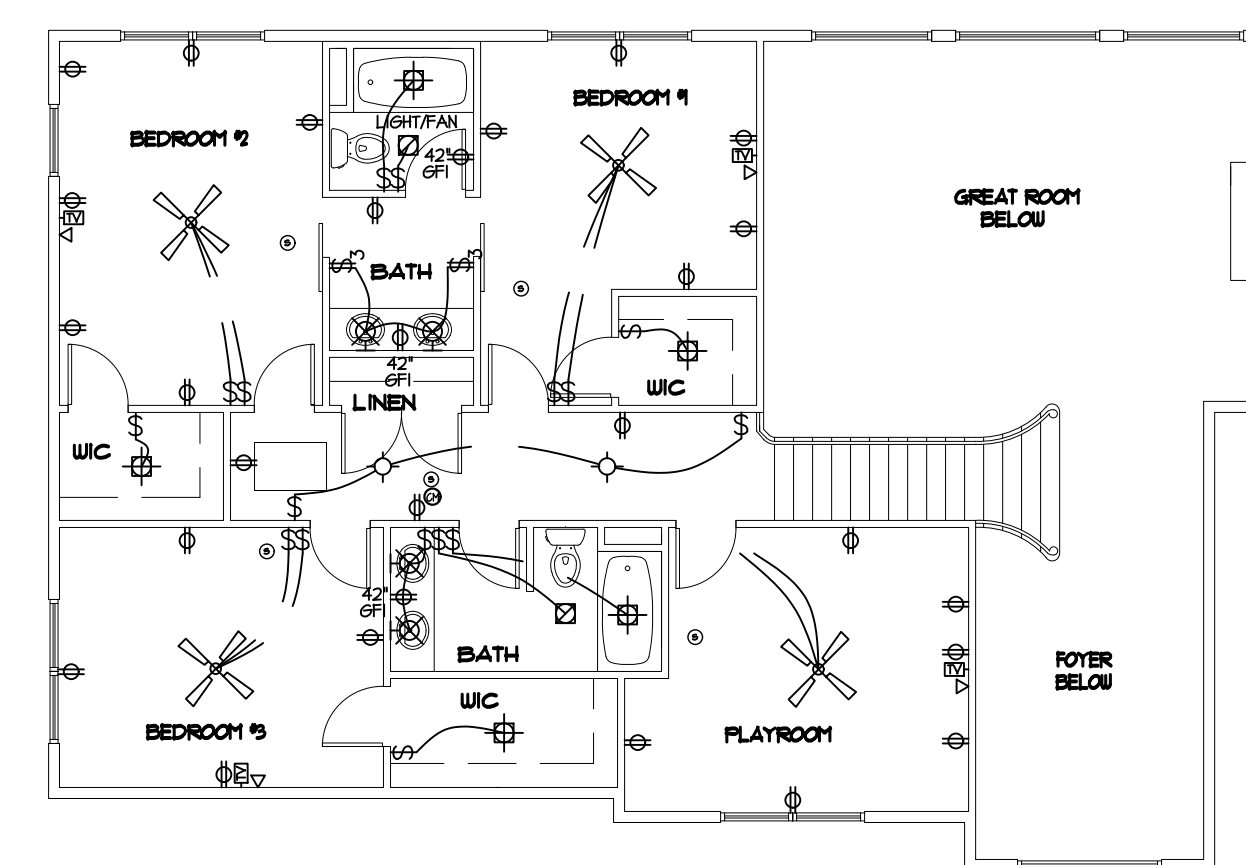
FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



SANITARY RISER SCHEMATIC

SCALE: NONE



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND

- ⊕ RECESSED FIXTURE
- ⊕ DIRECTIONAL RECESSED FIXTURE
- WALL MOUNTED
- SURFACE MOUNTED
- ⊠ RECESSED EXHAUST FAN/LIGHT VENTED TO THE EXTERIOR
- ⊗ CEILING FAN WITH LIGHT
- ⊕ DUPLEX OUTLET
- ⊕ ONE RECEPTACLE OF EACH DUPLEX RECEPTACLE IS OPERATED BY SWITCH
- ⊕ TELEVISION OUTLET
- GFI GROUND FAULT INTERRUPTER
- ⊕ WATER PROOF
- ⊕ THREE WAY SWITCH
- ⊕ SINGLE POLE SWITCH
- ⊕ TELEPHONE
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR



LINDA J. ZWART
ARCHITECT
31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2464
LICENSED, NEW YORK STATE

S/B/L 48.13/1/6.4
821 SHIQUER GASHI
NEW RESIDENCE FOR:
GASHI
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER, NY

ELECTRICAL AND PLUMBING PLANS

DATE: 30 JULY 2020
REV: 10 MAY 2022
JOB# 1820

SITE WORK

- 1. SITE WORK INCLUDES ALL DEMOLITION, SITE CLEARING, EXCAVATION, FILLING, GRADING, DRAINAGE, AND RELATED ITEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
2. BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTH WORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND OWNER SHALL BE NOTIFIED IMMEDIATELY.

FOUNDATIONS

- 1. FOOTINGS MAY NOT BE POURED NEAR AGAINST SIDES OF EXCAVATIONS. CONCRETE FORMS SHALL BE USED FOR ALL FOOTINGS.
2. BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
3. MINIMUM SOIL BEARING CAPACITY SHALL BE 3000 PSF. IF BEARING CAPACITY IS LESS THAN 3000 PSF ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH CONSTRUCTION OF FOUNDATION.
4. USE SILL SEALER BETWEEN WOOD AND CONCRETE
5. ALL COPPER PIPES PENETRATING CONCRETE SLAB SHALL BE PROTECTED BY "AMORFLEX" PIPE INSULATION OR EQUIVALENT.
6. MASON CONTRACTOR SHALL INSTALL ALL SLEEVES FOR WATER AND SEWER LINES PRIOR TO POURING WALLS.
7. INSTALL ANCHOR BOLTS WITHIN 8" OF CORNERS & WITHIN 12" OF END OF EACH PIECE AT MAXIMUM SPACINGS OF 6'-0" O.C. TOP OF BOLTS TO BE 3/4" ABOVE TOP OF WALL & 3" FROM OUTSIDE EDGE OF WALL. ANCHOR BOLT TO BE MINIMUM OF 1/2" DIAMETER & EXTEND 7" INTO CONCRETE.
8. EXCAVATION CONTRACTOR SHALL APPLY ASPHALT BASED WATERPROOFING BEGINNING 6" BELOW FINAL GRADE LINE, AND EXTEND TO LOWEST VERTICAL POINT OF FOOTING.
9. FOUNDATION WALL SHALL EXTEND ABOVE FINISHED GRADE A MINIMUM OF 4' (8" PREFERABLE).

BACKFILL

- 1. BACKFILL SHALL BE PLACED IN 6" MAXIMUM LIFTS AND COMPACTED TO A MINIMUM DENSITY OF 95% (UNDER SLABS ON GRADE) AND 95% ELSEWHERE OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO STANDARD T99.
2. BACKFILL SHALL CONSIST OF NON-EXPANSIVE FREE DRAINING, PREDOMINANTLY GRANULAR MATERIAL, FREE OF DEBRIS AND ORGANIC MATERIAL.
3. BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT RETAINING WALLS UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING FLYWOOD SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETE AND FULLY NAILED AND ANCHORED.
4. LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FROM THE FOUNDATION. IF PHYSICAL BARRIERS PROHIBIT REQUIRED FALL, DRAINS OR SHALES SHALL BE PROVIDED.

FOOTINGS

- 1. FOOTINGS ARE SIZED FOR A MINIMUM TOTAL SOIL BEARING PRESSURE OF 3000 PSF, EXCEPT AS SHOWN OTHERWISE ON DRAWINGS.
2. FOOTINGS SHALL BE PLACED AT A MINIMUM DEPTH OF 42" BELOW FROST LINE.
3. FOOTINGS SHALL BE FOUND ON FIRM, UNDISTURBED, NATIVE, FREE DRAINING SOILS. CONDITIONS FOUND TO BE OTHERWISE SHALL BE REPORTED TO OWNER, BUILDING OFFICIAL, AND ARCHITECT.
4. BOTTOM SURFACE OF FOOTINGS SHALL NOT SLOPE MORE THAN 1" VERTICAL TO 10' HORIZONTAL.
5. NO EXCAVATION SHALL BE MADE LOWER AND CLOSER TO TO ANY FOOTING THAN 1" VERTICAL TO 3' HORIZONTAL.
6. ALL GROUND OVER WHICH FOOTINGS AND SLABS ON GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL. FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND.
7. ALL FOOTING DRAINS SHALL RUN TO DAYLIGHT OR INTO A SEEPAGE PIT AT A MINIMUM PITCH OF 1/8" PER FOOT. NOT TOWARD A WELL, OR WASTE WATER DISPOSAL SYSTEM.
8. STEP FOOTINGS 12" VERTICALLY AND 36" HORIZONTALLY PER STEP.

CONCRETE

- 1. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), "RECOMMENDED PRACTICE FOR CONCRETE FORM WORK" (ACI 341), "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE" (ACI 304).
A. CONCRETE SHALL HAVE MIN. 28 DAY FIELD CURED COMPRESSIVE STRENGTH OF:
- 2500 PSI (FC-2500) FOR BASEMENT WALLS, FOUNDATION, BASEMENT & INTERIOR SLABS
- 3000 PSI (FC-3000) FOR ALL CONCRETE WORK EXPOSED TO WEATHER INCLUDING EXTERIOR, FOUNDATION OR BASEMENT WALLS
- 3500 PSI (FC-3500) FOR PORCHES, EXTERIOR STEPS & GARAGE FLOOR SLABS
B. USE AIR ENTRAINING ADMIXTURE IN ALL CONCRETE, PROVIDING NOT LESS THAN 4% & NO MORE THAN 8% ENTRAINED AIR FOR CONCRETE EXPOSED TO FREEZING AND THAWING AND FROM 2% TO 4% FOR OTHER CONCRETE.
C. MATERIALS FOR CONCRETE:
- PORTLAND CEMENT ASTM C150 TYPE AS REQUIRED
- AGGREGATES - ASTM C33
- WATER-POTABLE, CLEAN, FREE OF OILS, ACIDS, ALKALI, AND ORGANIC MATTER
- AIR ENTRAINING ADMIXTURE - ASTM C260
- WATER REDUCING ADMIXTURE - ASTM C444 TYPE A
D. FORM MATERIALS:
- EXPOSED CONCRETE SURFACES - PANEL TYPE TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH FINISH. USE LARGEST PRACTICAL SIZES TO MINIMIZE FORM JOINTS.
- UNEXPOSED CONCRETE SURFACES - SUITABLE MATERIAL DRESSED ON AT LEAST TWO EDGES, AND ONE SIDE FOR TIGHT FIT.
2. CONCRETE SHALL BE OF "READY MIXED CONCRETE" AND SHALL CONFORM TO ASTM C144. MIX DESIGN ALTERNATE #2. AT TIME OF PLACEMENT, CONCRETE SHALL HAVE A SLUMP OF 4 INCH MAXIMUM (PER ASTM C143).
3. CONCRETE WHEN PLACED SHALL HAVE A TEMPERATURE BETWEEN 50°F AND 70°F. TEMPERATURE OF CONCRETE DURING MIXING OR TRANSPORTATION SHALL NEVER BE LOWER THAN 40° NOR HIGHER THAN 90°F.
4. CONCRETE SHALL BE CONVEYED AND DEPOSITED IN ACCORDANCE WITH RECOMMENDATIONS OF ACI 304.
5. MEMBRANE CURING COMPOUND ON ALL HORIZONTAL AND VERTICAL SURFACES. CURING COMPOUND SHALL CONFORM TO ASTM C691 AND SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
6. EXCEPT WHERE DETAILED ON STRUCTURAL DRAWINGS, REINFORCEMENT SHALL NOT BE DISPLACED OR CUT TO PROVIDE CLEARANCE FOR PENETRATIONS, INSERTS OR EMBEDMENTS.
7. DESIGN FABRICATION, INSTALLATION, AND REMOVAL OF CONCRETE FORM WORK IS SOLELY THE RESPONSIBILITY OF BUILDER.
8. FORMWORK AROUND CONCRETE MUST REMAIN IN PLACE UNTIL THE CONCRETE IS SELF-SUPPORTING. FOLLOW ACI 341 FOR STANDARDS WHICH STATE THAT FOOTINGS AND FOUNDATION WALL FORMWORK SHALL NOT BE STRIPPED FOR A MIN. OF 12 HOURS.
9. CONCRETE PLACEMENT COMPLY WITH ACI 304, PLACING CONCRETE, AND ACI 304.2R, PLACING CONCRETE BY PUMPING METHOD

MASONRY

- 1. MASONRY UNITS
A. ALL HOLLOW CONCRETE UNITS SHALL BE AT LEAST 1-5/8"x11-5/8"x15-5/8" AND SHALL PROVIDE MINIMUM UNOBSTRUCTED VERTICAL OPENING OF 3-1/2" WHEN LAID UP IN RUNNING BOND, UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
B. MOISTURE CONTENT OF HOLLOW CONCRETE UNITS PER ASTM C40 AT TIME OF LAYING SHALL NOT EXCEED 50% OF TOTAL ABSORPTION CAPACITY.
C. ALL CONCRETE BLOCK SHALL BE TYPE N LOAD BEARING MASONRY UNITS AND ALL MORTAR SHALL BE TYPE "M" HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
2. PROPER UNITS SHALL BE USED TO PROVIDE FOR ALL WINDOWS, DOORS, BOND BEAMS, LINTELS, PILASTERS, ETC. WITH A MINIMUM OF CUTTING.
3. LAY MASONRY IN RUNNING BONDS EXCEPT AS DESIGNATED OTHERWISE ON DRAWINGS, PROVIDE MASONRY BONDS AT ALL CORNERS AND INTERSECTIONS.
4. GROUT ALL CELLS CONTAINING REINFORCEMENT, BOLTS OR INDICATED AS GROUTED.
5. MASONRY SHALL BE LAID UP AND GROUTED IN LIFTS NOT EXCEEDING 4' VERTICAL. GROUT POURS SHALL BE STOPPED 1-1/2" BELOW THE TOP OF UPPER MOST UNIT. EACH BOND BEAM SHALL BE GROUTED WITH LIMITED TO 2".
6. ALL BEAMS AND LINTELS SHALL BE GROUTED SUCH THAT HORIZONTAL GROUT TRAVEL IS LIMITED TO 2".
7. MASONRY SHALL NOT BE LAID OR GROUTED WHEN AMBIENT TEMPERATURE IS BELOW 40°F OR ABOVE 90°F. MASONRY SHALL BE PROTECTED FROM FREEZING TEMPERATURES FOR AT LEAST 14 DAYS AFTER LAYING, WHEN AMBIENT TEMPERATURES EXCEED 90°F UNITS THAT HAVE PREVIOUSLY BEEN LAID UP SHALL BE GIVEN A VERY FINE, LIGHT FOG SPRAY OF WATER EVERY 4 HOURS UNTIL 48 HOURS HAVE ELAPSED SINCE LAYING UP.
8. MILD STEEL REINFORCEMENTS FOR CONCRETE AND MASONRY CONSTRUCTION SHALL BE MANUFACTURED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 308) AND "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 318R, ACI 308-46) AND SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A615, GRADE 40 TIES, STRIPPED AND HOOPS SHALL CONFORM TO ASTM A615, GRADE 40. HEAVY WIRE FABRICS SHALL CONFORM TO ASTM A615, IN AS LONG LENGTHS AS PRACTICABLE. REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON DRAWINGS.

Table with 3 columns: BAR SIZE, LENGTH IN CONCRETE, LENGTH IN MASONRY. Rows include F3, F4, F5, F6 with corresponding lengths for each application.

HELVED WIRE FABRICS SHALL BE TAPPED ONE GRID WIDTH PLUS 2". REINFORCEMENT SHALL BE COLD BENT. REINFORCEMENT SHALL NOT BE HELDED.

LUMBER

- 1. ALL LOAD BEARING DIMENSION LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OF AN APPROVED INSPECTION AGENCY. ALL JOISTS, GIRDDERS, INTERIOR AND EXTERIOR STUD WALLS SHALL BE SPF OR BETTER.
2. ALL 2" LUMBER SHALL BE SEASONED TO 19% MAXIMUM MOISTURE CONTENT.
3. ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED PER ANPA C1-C4, C9, C15, C18, C22-C24, C28, P1-F3.
4. GLUE-LAMINATED MEMBERS SHALL BE DOUGLAS FIR-LARCH OR EQUAL, CONFORMING WITH THE AITC 215.2 AND PS-36-75 FABRICATED WITH MET-USE ADHESIVE.
5. ALL PLYWOOD SHALL BE IDENTIFIED BY GRADE MARK OF AN APPROVED INSPECTION AGENCY AND SHALL BE STANDARD EXPOSURE I, D-GRADE, APA RATED UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
6. LIGHT TIMBER DECKING SHALL BE CONSTRUCTED WITH 2" TONGUE AND GROOVE PLANK COMMERCIAL DECKING GRADE MARKED BY AN APPROVED INSPECTION AGENCY. DECKING SHALL BE LAID IN ACCORDANCE WITH SECTION 2511 (E.3) IBC.
7. ALL LUMBER SHALL HAVE A MIN. FD AND E AS FOLLOWS:
TYP. LUMBER - USE EQUIVALENT OR BETTER
BEAMS, GIRDDERS, TRIMMERS (SFF #1)
JOISTS, RAFTERS, HEADERS (SFF #1) (SFF #2)
STUDS
8. WOOD 1-JOISTS SHALL HAVE THE APA-BPS FRI TRADEMARK. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS, DETAILS, AND SPECIFICATIONS - NO EXCEPTIONS. WOOD 1-JOISTS SHALL BE USED IN CONJUNCTION WITH PARTNER MATERIALS SUCH AS APA RIM BORDS, SQUASH BLOCKS, ETC.
9. LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS ARE TO BE 2.0E WITH A BASE FDI-2850. EXCEPT FOR CUTTING TO LENGTH, LVL BEAMS ARE NOT TO BE CUT, DRILLED OR NOTCHED EXCEPT AS NOTED IN MANUFACTURER'S LITERATURE. LIGHT TIMBER SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS AND DETAILS IN INSTALLATION. CONNECTIONS PER MANUFACTURER.
10. TRUSSES SHALL BE DESIGNED ACCORDING TO STANDARD ENGINEERING PRACTICE. TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY LICENSED ENGINEER AND PROVIDED BY TRUSS MANUFACTURER TO COMPLY WITH THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE.

FRAMING

- 1. ALL STUD WALLS SHOWN ON DRAWINGS SHALL HAVE 2X4 STUDS INTERIOR, 2X6 EXTERIOR, PLACED 16" O.C. EXCEPT WHERE SHOWN.
2. TOP PLATES SHALL BE DOUBLED ON ALL STUD WALLS. END JOINTS IN TOP PLATES SHALL BE OFFSET MIN. 24". STUDS SHALL HAVE FULL BEARING ON 2X OR LARGER PLATE OR SILL, HAVING GREATER THAN OR EQUAL TO WIDTH OF STUDS. BEAMS, GIRDDERS AND JOISTS BEARING ON WALLS OR OTHER CONCENTRATED LOADS SHALL NOT BE NOTCHED. JOISTS, EXCEPT AS ABOVE, MAY BE NOTCHED NO DEEPER THAN 1/4 THE DEPTH, AT TOP EDGE ONLY, PROVIDED SUCH NOTCH IS LOCATED WITHIN 1/8 TO 1/4 OF SPAN FROM FACE OF SUPPORT. SAWCUTS FOR NOTCHES SHALL NOT OVERRIIN DEPTH OF NOTCH. HOLES IN JOISTS, BEAMS AND GIRDDERS SHALL NOT BE LARGER IN DIAMETER THAN 1/10 THE DEPTH OF THE MEMBER AND SHALL BE LOCATED WITHIN CENTER HALF OF THE SPAN. ALL HOLES SHALL BE CENTERED WITHIN DEPTH OF MEMBER. HOLES AND NOTCHES IN STUDS SHALL BE LOCATED WITHIN 1/3 OF HEIGHT FROM EITHER TOP OR BOTTOM BUT NO CLOSER THAN 8" FROM END OF MEMBER. # NOTCHES IN STUDS SHALL NOT EXCEED 1" IN DIAMETER OR DEPTH. STUDS IN EXTERIOR WALLS SHALL NOT BE NOTCHED.
3. INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP.
4. ALL RAFTERS SHALL BE NOTCHED FOR FULL BEARING AT ALL SUPPORTS. THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL HAVE MINIMUM BEARING 1 1/2" ON WOOD OR 3" ON CONCRETE OR MASONRY.
5. ALL JOISTS SHALL HAVE MINIMUM 2" BEARING AT WOOD SUPPORTS. LAPPING JOISTS SHALL HAVE 6" LAPS CENTERED OVER INTERIOR SUPPORTS. ALL SUPPORTS ON CONCRETE OR MASONRY SHALL NOT BE LESS THAN 3".
6. LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE WITH ANCHOR BOLTS.
7. PROVIDE SOLID WOOD BLOCKING BELOW ALL HEADERS, BEAMS LINTELS, ETC. PROVIDE 3/8" DIA. LAG BOLTS 2' O.C. AT ALL DECK LEDGES OF ADEQUATE LENGTHS TO EMBED 3" MIN. INTO STRUCTURAL FRAMING.
8. IF CONVENTIONAL ROOF FRAMING IS USED, 2X4 COLLAR TIES WILL BE PROVIDED 4'-0" O.C.
9. A DOUBLE JOIST SHALL BE PROVIDED ABOVE EACH COLUMN AND BELOW ALL PARTITIONS PARALLEL TO FLOOR.
10. PROVIDE CROSS BRACING BETWEEN ALL JOISTS IN SPANS EXCEEDING 8'.
11. ALL HEADERS SHALL BE (2) 2X12 WITH MINIMUM 2 JACK STUDS EACH SIDE UNLESS OTHERWISE SPECIFIED ON DRAWINGS. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS ARE PERMANENTLY CONNECTED TOGETHER.
12. FRAMING CONTRACTOR SHALL INSTALL BLOCKING FOR RAILINGS, CABINETS, LADDERS FOR INSULATION AT INTERSECTING WALLS, STRONGBACKS IN CEILINGS OF GARBE AND HIP ROOFS, AND SHIM BETWEEN STAIR STRINGERS.
15. INSTALL FIRE STOPPING BETWEEN FLOOR JOISTS AT 10' INTERVALS AND IN WALLS AT 8' INTERVALS.
16. DRILLING & NOTCHING REQUIREMENTS SHALL FOLLOW SPECIFICATIONS LAID OUT IN THE RESIDENTIAL CODE OF NYS.

- STRUCTURAL FLOOR MEMBERS (SECTION R502.8.1) - NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER, NOT LONGER THAN 1/3 OF THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4" OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIA. OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2" TO THE NOTCH.
- WALLS (SECTION R602.2) - ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-LOAD BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NOT GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 1/2" TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. EXCEPTION - 1. A STUD MAY BE BORED TO A DIA. NOT EXCEEDING 60% OF ITS WIDTH PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN 2 SUCCESSIVE STUDS ARE BORED. 2. APPROVED STUD SHOES MAY BE USED WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
DRILLING AND NOTCHING WALL TOP PLATES - WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED METAL TIE OF NOT LESS THAN 0.0254" (16 GA) AND 1 1/2" WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN (8) 16d NAILS AT EACH SIDE OR EQUIVALENT.

FASTENING SCHEDULE table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING AND LOCATION.

FASTENING SCHEDULE table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, NUMBER AND TYPE OF FASTENER, SPACING AND LOCATION. Includes items for roof, ceiling, galling, collar, rafter, roof truss, roof rafters to ridge, stud to stud, stud to stud with braced wall panels, stud to stud and ceiling studs, built-up header, continuous header to stud, top plate to top plate, double top plate splice, bottom plate to joist, rim joist, band joist or blocking, bottom plate to joist, rim joist, band joist or blocking.

FASTENING SCHEDULE table for items 16-20. Includes descriptions for top/bottom plate to stud, top plates, lags at corners and intersections, brace to each stud and plate, 1" x 6" sheathing, and 1" x 8" and wider sheathing.

FASTENING SCHEDULE table for items 21-26. Includes descriptions for joint to sill, joint to joist, rim joist blocking, 1" x 6" ceiling or less, 2" ceiling to joist, band or rim joist to joist, built-up girders, and ledger strip supporting joists.

FASTENING SCHEDULE table for items 30-36. Includes descriptions for wood structural panels, ceiling joists, and gypsum sheathing.

For 1/2" and 5/8" thick... Note: Use one smooth corner bolt or otherwise secure each time otherwise stated. Note used for framing and sheathing connection shall have minimum average bending plate strength as shown. 10' for each diameter of OCP# 500 common nail. 10' for stud diameter larger than OCP# 24 but not larger than O177 and 100' for studs.
1. Nail shall be applied at not more than 8" o.c. at all supports where spans are 40' or greater.
2. Nail on end joints shall be applied within 2".
3. Spacing of fasteners not included in this table shall be based on Table R602.2(2)
4. For wood structural panel roof sheathing attached to joists and framing and to intermediate supports within 40' of roof edges and ridge, nails shall be spaced at 4' o.c. where the ultimate design wind speed is less than 150 mph and shall be spaced 4' o.c. where the ultimate design wind speed is 150 mph or greater but less than 140 mph. Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with ACI 308. Reinforced concrete shall be installed in accordance with ACI 308.
5. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking of all floor penetrations only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor penetrations only. Spacing of fasteners on the framing members need not be provided except as required by other provisions of the Code. Floor penetrations shall be supported by framing members or solid blocking.
6. Where rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two nails on one side of the rafter and two nails from the ceiling joist to top plate in accordance with this schedule. The two nail on the opposite side of the rafter shall not be required.
7. R602-1 is a Roof Sheathing Nailing Schedule for use in residential construction.

FRAMING CONNECTIONS

- 1. ANCHOR ALL STUDS AT DOOR OPENINGS, ENDS AND CORNERS OF WALLS WHICH ARE SHEATHED WITH PLYWOOD AND OR GYPSUM BOARD TO BOTTOM PLATE WITH 2 DIMENSION A-35 FRAMING ANCHORS.
2. ALL MANUFACTURED CONNECTION HARDWARE SHALL BE INSTALLED AND FULL NAILED IN CONFORMANCE TO MANUFACTURER'S INSTRUCTIONS AND APPLICABLE ICBO APPROVALS.
3. ALL STEEL CONNECTION ASSEMBLIES DETAILED ON DRAWINGS SHALL BE FABRICATED FROM ASTM A36 STEEL IN CONFORMANCE WITH APPLICABLE REQUIREMENTS OF THE "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" HELDING SHALL CONFORM TO AHS D1.
4. INSTALL LAG SCREEN IN DRILLED LEAD HOLES WITH A DIAMETER EQUAL TO 3/4 OF THE SHANK DIA. (LAG SCREEN SHALL NOT BE HAMMERED IN) MAX OR SOAP LAG SCREWS. PROVIDE WASHERS UNDER HEADS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED.
5. BOLT HOLES SHALL BE DRILLED 1/16" LARGER THAN BOLT DIAMETER. PROVIDE WASHERS UNDER ALL BOLT HEADS AND NUTS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED. IN NO CASE SHALL MISALIGNMENT BE ALLOWED. BOLTS SHALL BE 3/0T BOLTS. NUTS SHALL BE TIGHTENED SHAG.

WINDOWS AND DOORS

- 1. EXTERIOR DOORS TO BE FOAM CORE INSULATED DOORS, UNLESS OTHERWISE NOTED.
2. FRAMING CONTRACTOR SHALL INSTALL FIELD MADE FLASHING UNDER DOORS AND SHALL CAULK SILLS AND FLANGES WHEN INSTALLING.
3. ALL WINDOWS AND DOORS CAN BE ADJUSTED TO ACCOMMODATE TRIM.
4. ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
5. INSTALL FIELD BENT DRIP EDGE ABOVE ALL DOORS AND WINDOWS. CAULK BETWEEN ALL CHANNELS AND ADJUST DOOR AND WINDOW FRAMES.
6. ALL SOURCES OF AIR LEAKAGE AROUND WINDOWS AND DOORS MUST BE CAULKED, GASKETED, OR WEATHERSTRIPPED.

SHEATHING

- 1. ALL PLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINTS OVER 2" BLOCKING OR PLATE. NAIL TOP OF PANELS TO TOP OF PLATE AND NAIL TO BOTTOM OF FRAMES OF AN ADJACENT SECTION. APPLY GYPSUM BOARD SO THAT END JOINTS OF ADJACENT COURSES DO NOT OCCUR OVER THE SAME STUD.
2. PLYWOOD SUB-FLOOR AND ROOF SHEATHING: INSTALL WITH FACE GRAIN AT RIGHT ANGLES TO SUPPORTS, CONTINUOUS OVER TWO (2) OR MORE SPANS. ALLOW MINIMUM SPACE 1/8" BETWEEN UNDERLAYMENT SHALL BE INSTALLED IN ACCORDANCE WITH CODE AND AS RECOMMENDED BY MANUFACTURER. ROSIN COATED.
5/16" TO 1/2" 6d COMMON (8d FOR ROOF) OR 1-1/2" RING SHANK NAILS 6" O.C. @ EDGES AND 8" O.C. EACH WAY IN FIELD
5/8" TO 3/4" 8d COMMON OR 1-1/2" RING SHANK NAILS 6" O.C. @ EDGES & 8" O.C. EACH WAY IN FIELD

INSULATION

- 1. MINIMUM INSULATION LEVELS ARE DESCRIBED IN THE "BUILDING ENVELOPE THERMAL COMPONENT CRITERIA CHART". THIS CHART HAS BEEN SPECIFICALLY DESIGNED FOR THIS PROJECT IN A SPECIFIC LOCATION BASED ON ONE OF THE ACCEPTABLE APPROACHES DESCRIBED IN THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
2. COLD WALLS: PORTION OF BUILDING BETWEEN LIVING SPACE AND UNHEATED GARAGE, STORAGE ROOM AND PORTION OF WALL ABOVE CEILING OF AN ADJACENT SECTION OF A SPILL-LEVEL DNELLING TO BE INSULATED SAME AS ROOF, HALLS, OR FLOOR OF DNELLING.
3. VAPOR BARRIERS; EITHER "A", "B", OR "C", "D" IS MANDATORY.
A. ALL WALLS AND CEILINGS TO BE PAPER-BACKED ONE SIDE INSULATION
B. FOL- BACKED GYPSUM BOARD ON THE INSIDE SURFACE OF EXTERIOR WALLS WITHOUT FOIL-BACKED INSULATION
C. POLYETHYLENE APPLIED ACROSS THE INSIDE OF STUDS WITHOUT FOIL-BACKED INSULATION
D. IN GRAM SPACES PROVIDE 6 MIL BACK POLYETHYLENE SHEETS OR "MOISTOP" OVER ENTIRE GROUND AREA AND AROUND THE EXTERIOR FOUNDATION WALLS TO THE MUDSILLS, WALL INSULATION (IF SHOWN ON DRAWINGS) TO BE APPLIED OVER THE POLYETHYLENE VAPOR BARRIER. PROVIDE 12" MIN. LAPS BETWEEN TWO SECTION OF VAPOR BARRIER AND TAPE TIGHT
4. FIRE HAZARDS: WHEN PLASTIC FOAMS ARE USED IN ANY INTERIOR APPLICATIONS A FIRE BARRIER MUST BE APPLIED OVER THE UNFIRETECTED FOM SURFACE. COVERINGS USED FOR PROTECTION SHOULD BE CHOSEN FOR THEIR FIRE PROTECTION OF THE FOAM, I.E. GYPSUM WALLBOARD
5. FRAMING MEMBERS: IT MAY BECOME NECESSARY TO INCREASE DEPTH OF FRAMING MEMBERS TO ACCOMMODATE THICKER INSULATION MATERIALS THAN SHOWN ON DRAWINGS

GYPSUM DRYWALL

- 1. GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF ANSI A97-1 FOR THE "APPLICATION AND FINISHING OF WALLBOARD" JOINT COMPOUND SYSTEM MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURER'S PRINTED DIRECTIONS, TO BE INVISIBLE AFTER FINISHED, INCLUDING ALL METAL CORNER BEADS AND TRIM.
2. GYPSUM WALLBOARD ON STUD WALLS: COOLER NAILS AT 7" O.C. ALL STUDS, PLATES AND BLOCKING; USE 5d NAILS WITH 1/2" WALLBOARD AND 6d NAILS WITH 5/8" WALLBOARD. SCREWS SHALL BE TYPE H OR S AND SHALL PENETRATE THE WOOD NOT LESS THAN 1".
3. GARAGE AND UTILITY ROOMS TO HAVE 1/2" TYPE X FIRE RATED GYPSUM BOARD THROUGHOUT AND 1/2" TYPE X FIRE RATED GYPSUM BOARD ON CEILING OF COMMON HALL. FOR GARAGE CEILING BENEATH HABITABLE ROOM GYPSUM WALLBOARD SHALL BE INSTALLED PERPENDICULAR TO FRAMING AND FASTENED AT MINIMUM 6" O.C. BY 6d COATED NAILS.
4. TUB AND SHOWER ENCLOSURES TO HAVE 1/2" WATER RESISTANT GYPSUM BOARD.
5. GYPSUM WALLBOARD UTILIZED AS BACKER BOARD FOR ADHESIVE APPLICATION OF CERAMIC TILE SHALL BE PERMITTED ON CEILINGS WHERE FRAMING SPACING IS 12" O.C. FOR 1/2" WALLBOARD OR 16" O.C. FOR 5/8" THICK GWB. ALL CUT OR EXPOSED EDGES SHALL BE SEALED BY MANUFACTURER'S RECOMMENDATIONS.

GLAZING

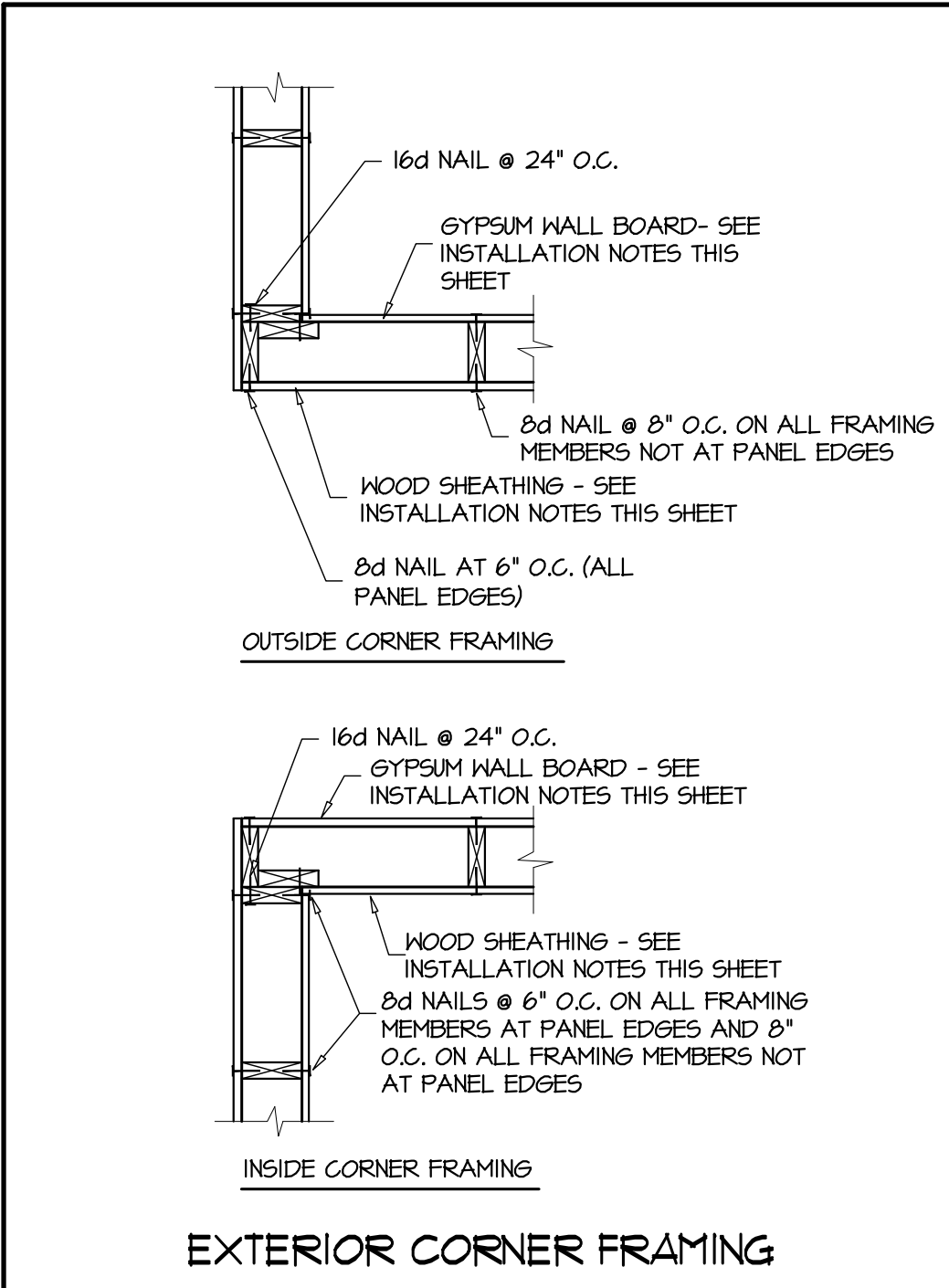
- 1. TEMPERED GLASS SHALL COMPLY WITH FEDERAL STANDARDS 16 CFR 1201.
2. TUB AND SHOWER ENCLOSURES TO HAVE EITHER A SHOWER CURTAIN OR SAFETY GLAZED GLASS.

VENTILATION

- 1. ALL BATHROOMS SHALL BE VENTED DIRECTLY TO THE EXTERIOR WITH A MINIMUM OF 50 CFM INTERMITTENT MECHANICAL VENTILATION FAN.
2. THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF FLOOR JOIST AND EARTH SHALL BE VENTILATED WITH A MINIMUM NET AREA OF ONE SQUARE FOOT FOR EACH 150 SF OF UNDER-FLOOR AREA.
3. ATTIC VENTILATION SHALL BE PROVIDED AT A RATE OF 1 SF TO 150 SF OF THE TOTAL AREA TO BE VENTILATED.
4. AT EAVE VENTS, A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER B NYCRR 64.50

Professional stamp area for Linda J. Zwart, Architect. Includes name, title, address (31 Meadowood Road, Montgomer, NY 12544), phone (845-361-2961), license number (LICENSED - NEW YORK STATE), and project information: S/B/L 48.13/1/6.4, 821 SHIQR GASHI, NEW RESIDENCE FOR: GASHI, TOWN OF YORKTOWN, COUNTY OF WESTCHESTER, NY, GENERAL NOTES, and date (DATE: 30 JULY 2020, REV: 10 MAY 2022, JOB# 1820, 8 OF 8).



**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN FOR LOT 6.4 WITHIN
THE ARROWHEAD SUBDIVISION**

RESOLUTION NUMBER: #00-00

DATE:

On the motion of _____, seconded by _____, and voted in favor by Fon, LaScala, Bock, and Garrigan, the following resolution was adopted:

WHEREAS SHG Lot LLC (the “Applicant”) has requested approval of the proposed site plan, titled “821 Shiqer Gashi Court,” prepared by Provident Design Engineering, dated October 23, 2020 and last revised May 10, 2022, for the property located at 821 Shiqer Gashi Court, also known as Section 48.13 Block 1 Lot 6.4 on the Town Tax Map (the “Property”); and

WHEREAS the applicant was required by, Resolution #07-23 dated October 15, 2007, to submit for site plan approval for each lot within the Arrowhead Subdivision; and

WHEREAS pursuant to SEQRA, the environmental impacts of the development of the Property were evaluated by the Planning Board as part of the subdivision approval and consideration of a site plan that substantially complies with that approval and satisfies a condition of that approval does not require further environmental review; and

WHEREAS in support of this application the Applicant has also submitted:

1. Architectural drawings, 8 sheets, titled “New Residence for: GASHI,” prepared by Linda J. Zwart, architect, dated July 30, 2020, and last revised may 10, 2022; and
2. A retaining wall elevation plan, sheet PB-1, titled “New Residence for: GASHI,” prepared by Linda J. Zwart, architect, dated July 30, 2020, and last revised June 2, 2022; and

WHEREAS the proposed site plan shows a residence with a first floor finished floor elevation of 603 feet, where 606 feet was originally approved for this lot; and

WHEREAS the Planning Board has determined that no negative impact shall result from the requested change; and

WHEREAS the subject request has been referred to the Advisory Board on Architecture & Community Appearance (ABACA) for review, and any approval for the change in finished

floor elevation is contingent upon ABACA having no objections to the proposed finished floor elevation of 603 feet; and

BE IT HEREBY RESOLVED that the house location, finished first floor elevation of 603 feet where 606 feet was originally approved and grading for Lot 6.4 as shown on the site plan titled, "821 Shiqer Gashi Court," prepared by Provident Design Engineering, dated October 23, 2020 and last revised May 10, 2022 is acceptable to this board; and

BE IT THEREFORE NOW RESOLVED that the application of SHG Lot LLC for the approval of a site plan titled "821 Shiqer Gashi Court," prepared by Provident Design Engineering, dated October 23, 2020 and last revised May 10, 2022, be approved; and

BE IT FURTHER RESOLVED the Planning Board has no objection to the granting of a Building Permit on Lot 6.4 of the Arrowhead Subdivision provided ABACA also has no objection; and

BE IT FURTHER RESOLVED prior to issuance of a Building Permit, the Applicant shall submit four (4) copies of the final site plan to the Planning Department to be stamped approved for the record.

Burger King Public Hearing



Yorktown Town Hall
363 Underhill Avenue, P.O. Box 703
Yorktown Heights, NY 10598

(914) 962-5722
www.yorktownny.org

May 26, 2022

Michael J. Grace, Esq.
Underhill Avenue
Yorktown Heights, NY 10598

Subject: Burger King Restaurant
385 Downing Drive
SBL 37.18-2-57

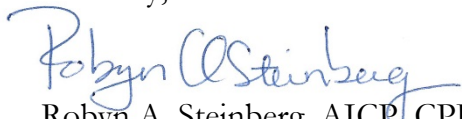
Dear Mr. Grace,

At its meeting on May 23, 2022, the Planning Board discussed the request for an amended site plan for the existing Burger King restaurant. The following must be submitted to complete this application:

1. A site plan application with property owner's signature or letter authorizing the application.
2. Application fees as listed on the attached fee schedule.
3. Submit a Short EAF.
4. Send the attached public notice to all adjacent property owners by June 1, 2022.
5. Submit a landscaping plan showing the changes the applicant would like to make to the existing landscaping on Lot 57.
6. Submit a cover letter with parking analysis indicating the change in parking resulting from the proposed second drive-thru lane.

Please submit the requested information so it may be reviewed prior to the June 13, 2022 scheduled Public Hearing.

Sincerely,


Robyn A. Steinberg, AICP, CPESC
Town Planner

BURGER KING

Interior & Exterior Renovation

385 Downing Drive
Yorktown Heights, NY 10598

LIST OF DRAWINGS - 42 Sheets including Title Sheet

Title Sheet:		
T-001.00	Project Information, List of Drawings & Plot Plan	03-01-22

General:		
G-001.00	Building Code Data	03-01-22
G-002.00	Notes - 1	03-01-22
G-003.00	Notes - 2	03-01-22
G-004.00	COMcheck Compliance Information	03-01-22
G-005.00	Details	03-01-22
G-006.00	Details & Storefront Details	03-01-22
G-007.00	Handicap Accessible Routes Details	03-01-22
G-008.00	Handicap Building Blocks Details	03-01-22
G-009.00	Handicap Unisex Toilet Room Details	03-01-22
G-010.00	Firestone Rubber Roofing Details	03-01-22

Demolition:		
DM-001.00	First Floor Demolition Plan	03-01-22
DM-002.00	Roof Demolition Plan	03-01-22
DM-003.00	East & West Demolition Elevations	03-01-22
DM-004.00	North & South Demolition Elevations	03-01-22

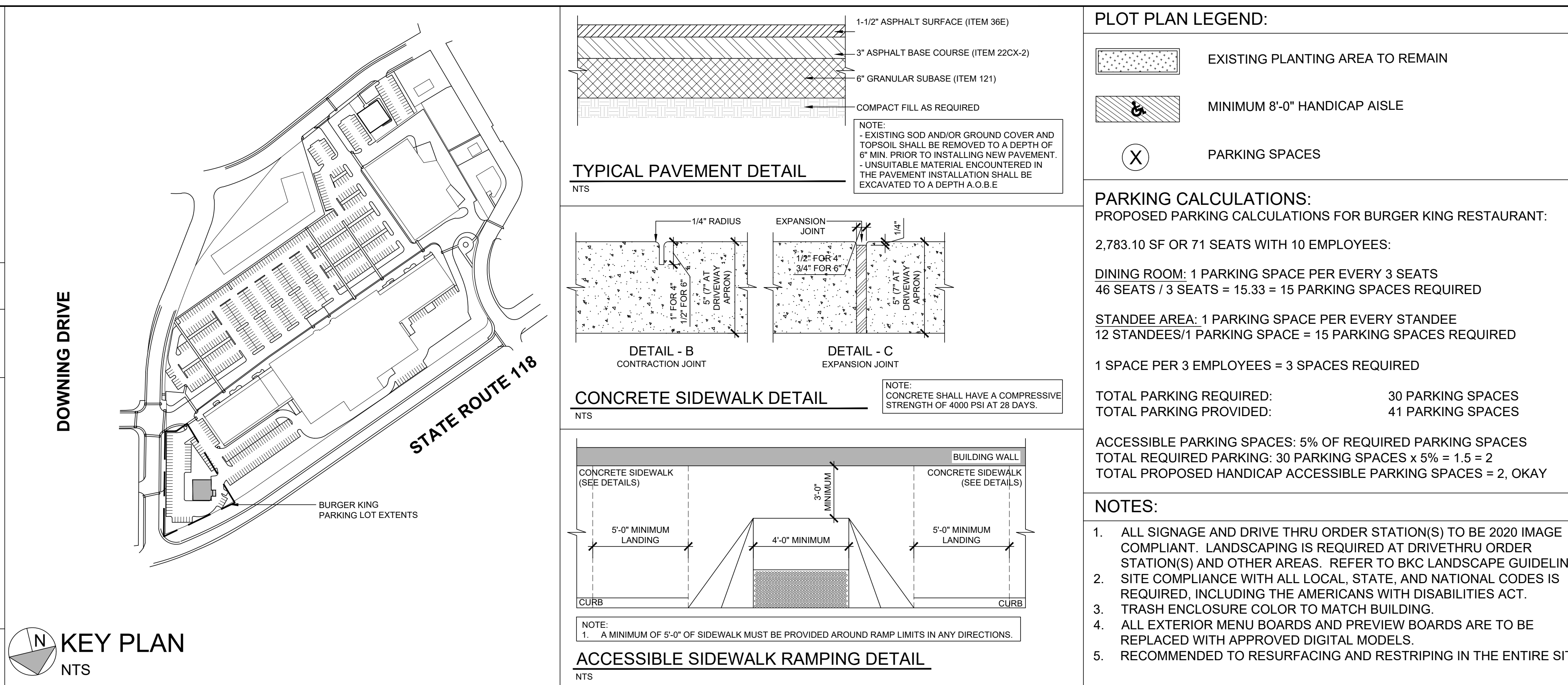
Architectural:		
A-001.00	First Floor Construction Plan	03-01-22
A-002.00	Roof Construction Plan	03-01-22
A-003.00	First Floor Reflected Ceiling Plan	03-01-22
A-004.00	First Floor Finishes Plan	03-01-22
A-005.00	First Floor Equipment Plan	03-01-22
A-006.00	Proposed East & West Elevations	03-01-22
A-007.00	Proposed North & South Elevations	03-01-22
A-008.00	Burger King Exterior Finish Schedule	03-01-22

Structural:		
S-001.00	Foundation Plan	03-01-22
S-002.00	Roof Framing Plan	03-01-22

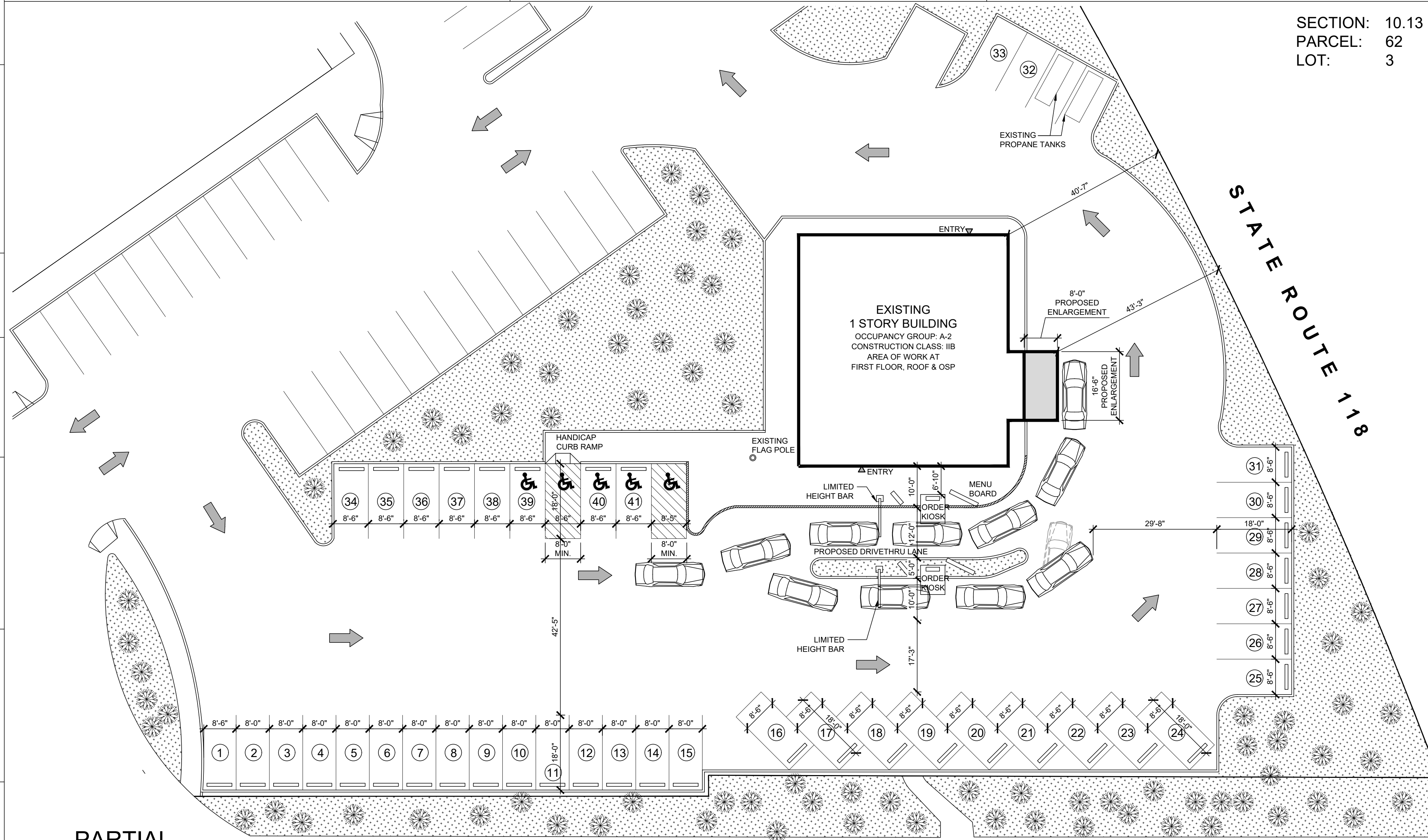
Mechanical:		
M-001.00	Mechanical Notes & Specifications	03-01-22
M-101.00	First Floor & Roof Mechanical Plans	03-01-22
M-201.00	Exhaust Systems Riser Diagram & Duct Installation Details	03-01-22
M-202.00	Equipment Schedule	03-01-22

Plumbing:		
P-001.00	Plumbing Notes & Specifications	03-01-22
P-101.00	First Floor Domestic Water Plan	03-01-22
P-102.00	First Floor Sanitary Plan	03-01-22
P-103.00	First Floor & Roof Gas Installation Plans	03-01-22
P-201.00	Domestic & Filtered Water, Sanitary & Gas Riser Diagrams	03-01-22
P-202.00	Equipment Schedules	03-01-22
P-203.00	Firestopping & Gas Piping Details	03-01-22

Electrical:		
E-001.00	Electrical Symbol List, Abbreviations & General Notes	03-01-22
E-002.00	Electrical Riser Diagram & Panel Schedules	03-01-22
E-101.00	First Floor & Roof Electrical Power Plans	03-01-22
E-102.00	First Floor Electrical Lighting Plan	03-01-22
E-201.00	Electrical Specifications - 1	03-01-22
E-202.00	Electrical Specifications - 2	03-01-22



KEY PLAN
NTS



PARTIAL
PLOT PLAN
SCALE: 1/16" = 1'-0"

Michael D. Just, R.A., AIA
718.856.1237
mj@justarch.com
www.justarchitecture.com

JUST ARCHITECTURE
572 Henry Street - Brooklyn, New York 11231

Rev. #	Date	Description	By

Note:
THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

New York Alteration Warning Statement:
IT IS A VIOLATION OF NEW YORK REGULATION (9.5b) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY WITHOUT AFFIXING TO THE ITEM HIS SEAL AND THE NOTIFICATION "ALTERED BY," FOLLOWED BY A SIGNATURE, DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION

Copyright:
ALL IDEAS, DESIGNS, ARRANGEMENTS, DRAWINGS AND WRITTEN MATERIALS INDICATED OR REPRESENTED BY THIS DRAWING HEREBY CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE OWNED BY AND PROPERTY OF M. JUST ARCHITECTURE, PC AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE DUPLICATED, USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE, WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF M. JUST ARCHITECTURE, PC

Client:
Albert Bijou
Quick Quality Restaurants Inc.
2 Ethel Road, Ste. 205A
Edison, NJ 08818

DOB Approval Stamps:

Project Address:
385 Downing Drive
Yorktown Heights, NY 10598

Seat:

Drawing Title:
PROJECT INFORMATION LIST OF DRAWINGS & PLOT PLAN

DOB APPLICATION:

SECTION: 10.13
PARCEL: 62
LOT: 3

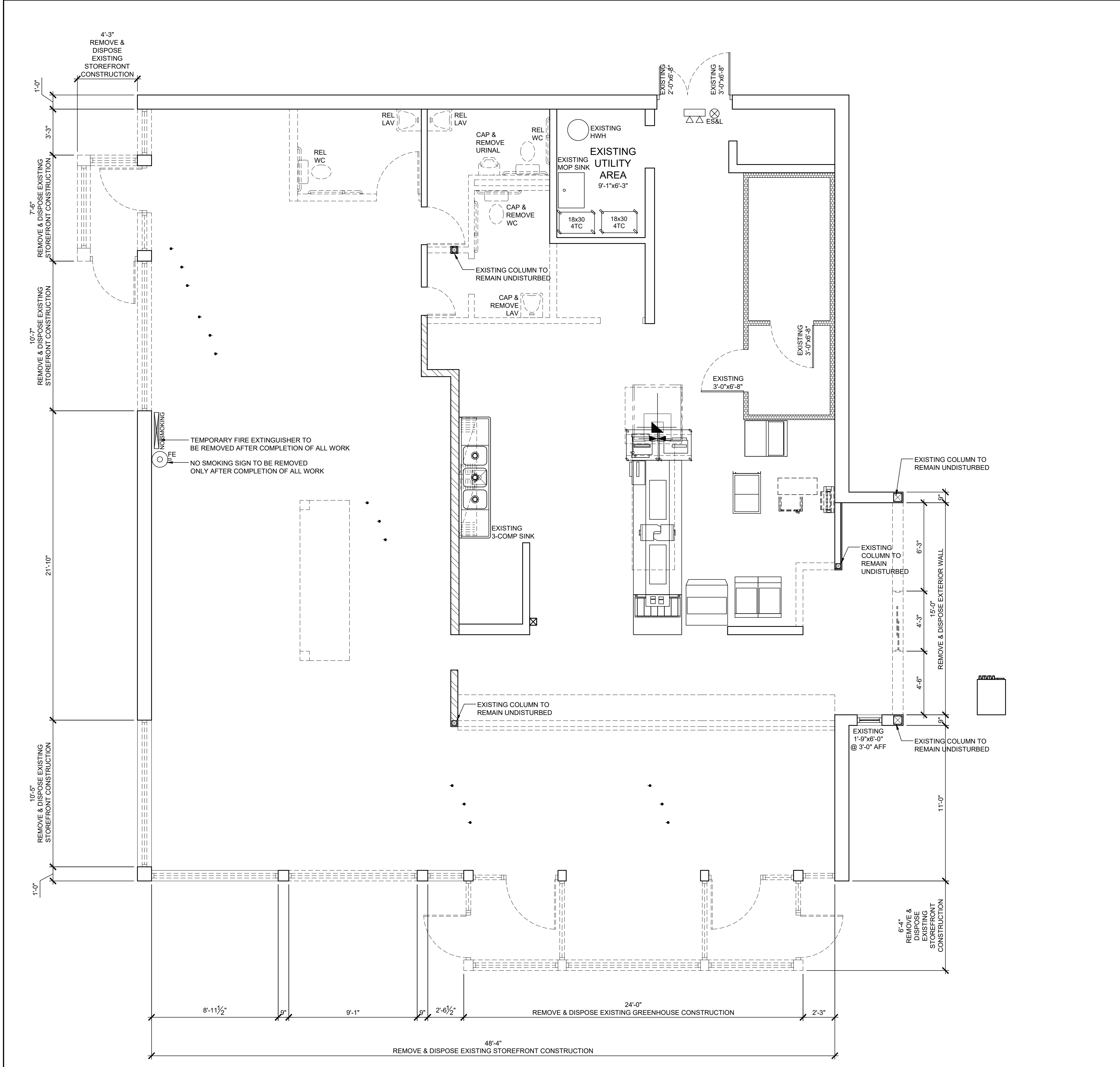
Job No.: 21084
Date: 03-01-22
Drawn By: MY
Sheet: 1 of 42

Drawing No.:
T-001.00

Rev. #	Date:	Description:	By:

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN UNDISTURBED
- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN UNDISTURBED
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING WALK IN BOX TO REMAIN UNDISTURBED
- PROVIDE TEMPORARY FIRE EXTINGUISHER TO BE REMOVED AFTER COMPLETION OF ALL WORK.
- PROVIDE NO SMOKING SIGN. SIGN TO BE REMOVED ONLY AFTER COMPLETION OF ALL WORK.
- EXISTING ILLUMINATED EXIT SIGN TO REMAIN UNDISTURBED
- EXISTING EMERGENCY LIGHTING TO REMAIN UNDISTURBED



- FIRST FLOOR DEMOLITION & TENANT SAFETY NOTES**
- ALL CONDITIONS ARE EXISTING TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED.
 - ALL EXIT SIGNS AND LIGHTS TO REMAIN IN OPERATING CONDITION THROUGHOUT INTERIOR DEMOLITION.
 - REMOVE & DISPOSE OF EXISTING STOREFRONTS ALONG BOSTON ROAD & EASTCHESTER AVENUE AS INDICATED ON PLAN.
 - 3.1. EXISTING LINTELS TO REMAIN UNDISTURBED.
 - REMOVE & DISPOSE OF EXISTING EXTERIOR DOORS, FRAMES & HARDWARE AT SIDE & REAR WALLS AS INDICATED ON PLAN.
 - REMOVE & DISPOSE OF EXISTING INTERIOR NON-LOAD BEARING PARTITIONS, DOORS, FRAMES & HARDWARE AS INDICATED ON PLAN.
 - REMOVE & DISPOSE OF EXISTING WINDOW AT AS INDICATED ON PLAN.
 - REMOVE & DISPOSE OF EXISTING ACOUSTIC TILE CEILING THROUGHOUT FIRST FLOOR.
 - REMOVE & DISPOSE OF EXISTING FINISHED FLOOR THROUGHOUT FIRST FLOOR DOWN TO SLAB ON GRADE.
 - REMOVE & DISPOSE OF ALL EXISTING LIGHT FIXTURES, RECEPTACLES & ALL WIRING BACK TO THE ELECTRICAL PANELS & SAFE-OFF.
 - ALL EXISTING STORM, SANITARY, WATER SUPPLY & VENT PIPING TO REMAIN UNDISTURBED
 - PROVIDE TEMPORARY LIGHTING
 - PROVIDE TEMPORARY NO SMOKING SIGNS AND FIRE EXTINGUISHERS AS INDICATED ON PLAN.
 - REMOVE AND DISPOSE OF ALL DEBRIS.
 - ALL FLOORS TO BE LEFT BROOM CLEAN.

Note: THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

New York Alteration Warning Statement: IT IS A VIOLATION OF NEW YORK REGULATION (24 NYCRR 24-120) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY WITHOUT AFFIXING TO THE ITEM HIS SEAL AND THE NOTIFICATION "ALTERED BY", FOLLOWED BY A SIGNATURE, DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION

Copyright: ALL IDEAS, DESIGNS, ARRANGEMENTS, DRAWINGS AND WRITTEN MATERIALS INDICATED OR REPRESENTED BY THIS DRAWING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK AND ARE OWNED BY AND PROPERTY OF M. JUST ARCHITECTURE, PC AND WHERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE DUPLICATED, USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE, WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF M. JUST ARCHITECTURE, PC

Client: Albert Biju
Quick Quality Restaurants Inc.
2 Ethel Road, Ste. 205A
Edison, NJ 08818

DOB Approval Stamps:

Project Address:
385 Downing Drive
Yorktown Heights, NY 10598

Seal:

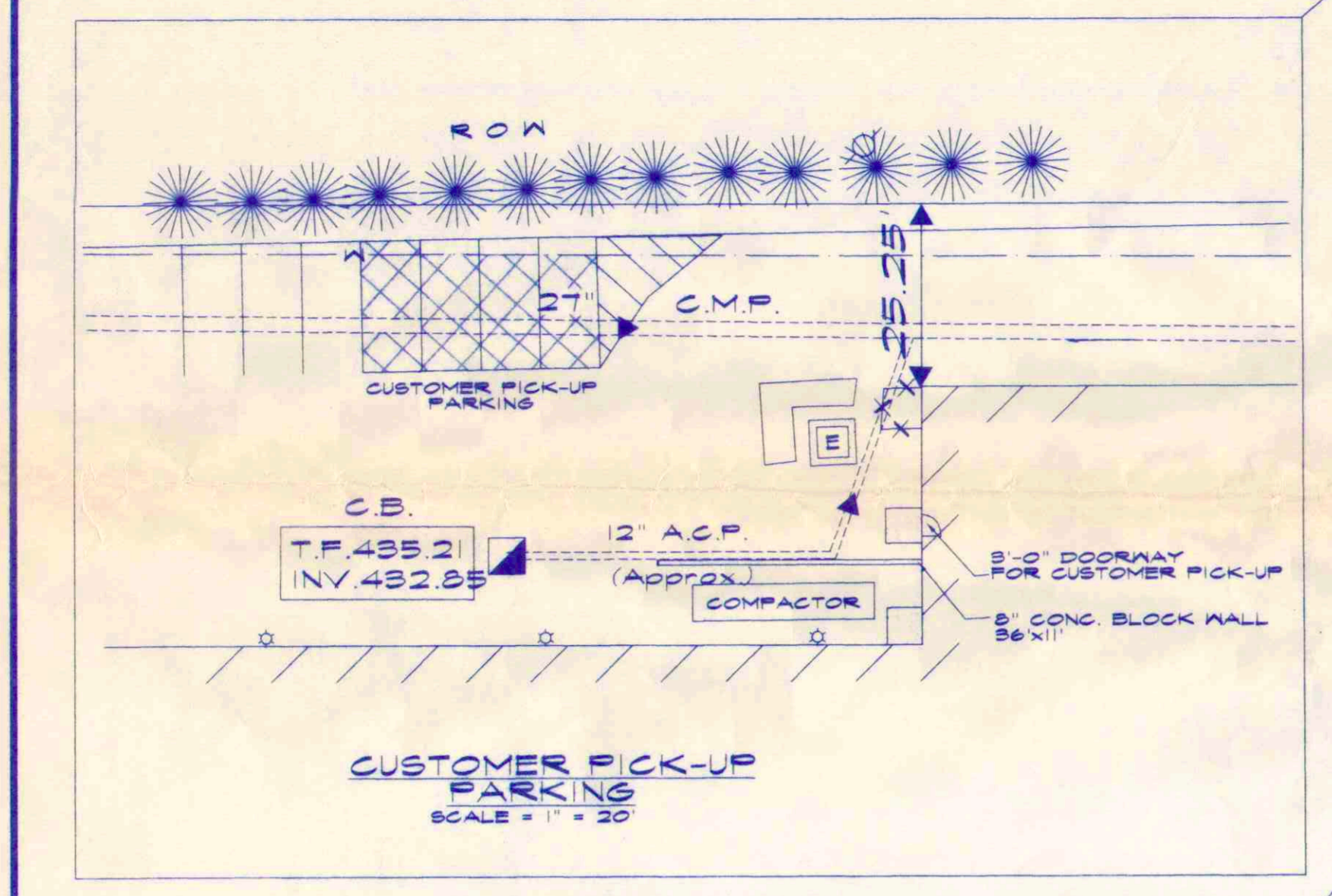
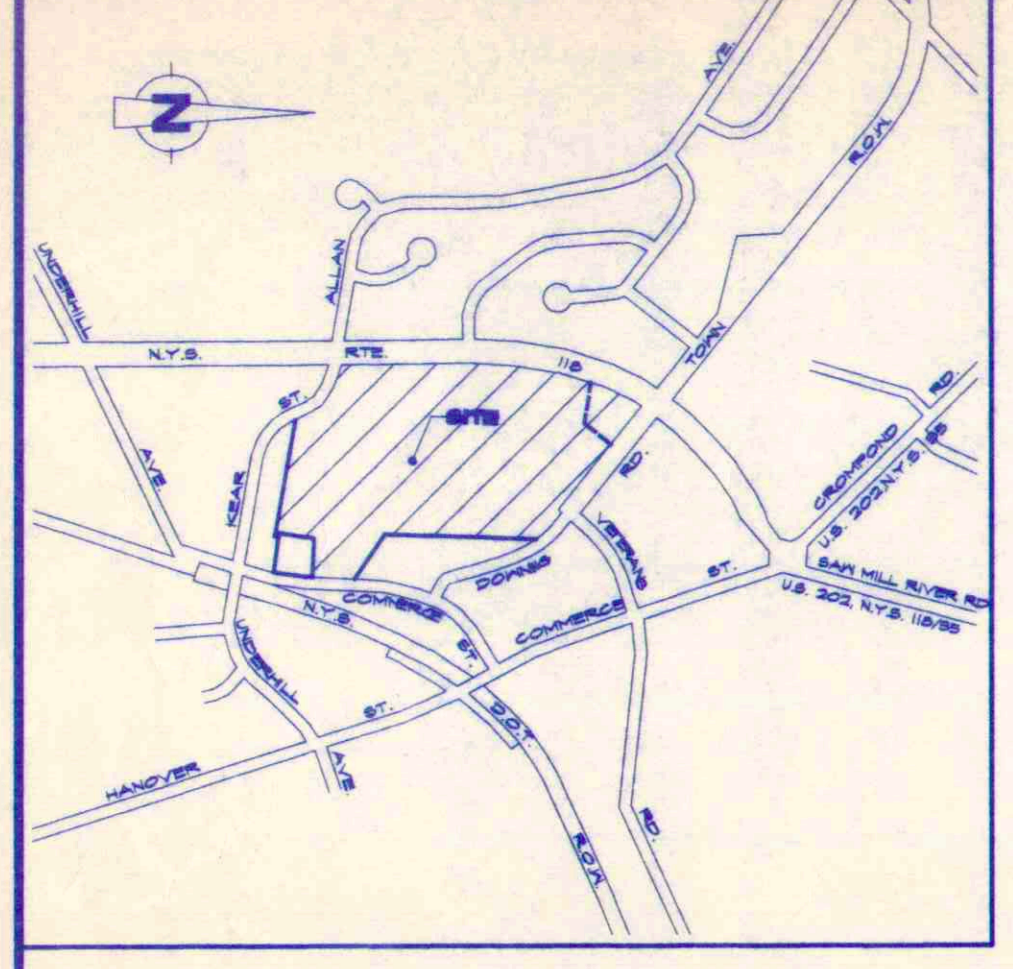
Drawing Title:
FIRST FLOOR DEMOLITION PLAN

DOB APPLICATION:

SECTION:	10.13	Job No.:	21084	Date:	03-01-22
PARCEL:	62	Drawn By:	MY	Sheet:	12 of 42
LOT:	3				

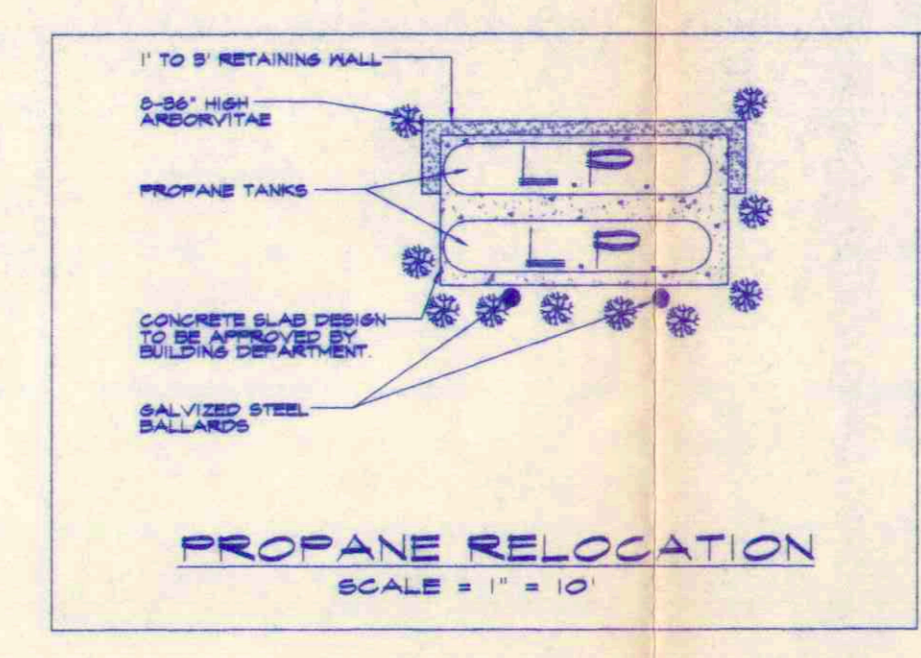
Drawing No.:
DM-001.00

FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



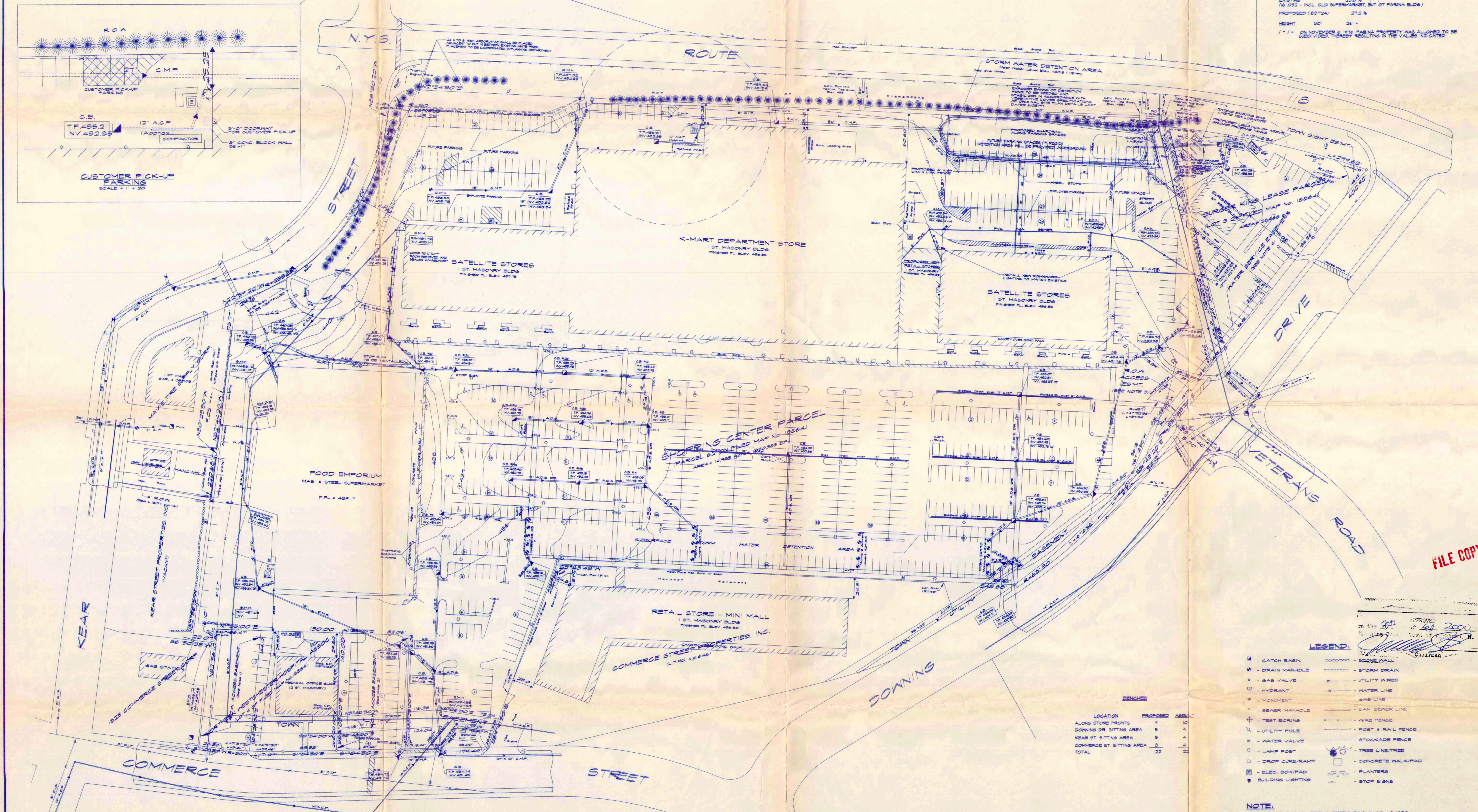
TOWN MAP DATA:
Section 10.B, Parcel 62 &
Section 10.B, Par. 62, Lot B.

TOTAL SITE AREA:
(PAR 62 & LOT B) = 15,520 Acres (676,058 S.F.)



ZONING DATA

LOT DATA	REQUIRED	PROPOSED
AREA	80,000 S.F.	676,058 S.F. (*)
PERCENTAGE	7.5 %	EXISTING
DEPTH	175 S.F.	EXISTING
YARDS		
FRONT	75 W/PARKING	EXISTING
SIDE	25 W/PARKING ACCESS	EXISTING
REAR	50	EXISTING
LOT COVERAGE	25.5% (ZBA 8-9-78)	
EXISTING	22.5 % (*)	
(*) 16,000' INCL. OLD SUPERMARKET BLDG. & OT. PARINA BLDG.		
PROPOSED (68724)	27.2 %	
HEIGHT	20'	
(*) ON NOVEMBER 6, 1976, PARINA PROPERTY WAS ALLOWED TO BE SUBDIVIDED THEREBY RESULTING IN THE VALUES INDICATED.		



FILE COPY

APPROVED
on the 30th day of July 2000
by the Town of Yorktown, N.Y.
[Signature]
[Signature]

LEGEND

□	CATCH BASIN	○	STORM MANHOLE
○	DRAIN MANHOLE	○	STORM DRAIN
○	S&S VALVE	○	UTILITY WIRE
○	HYDRANT	○	WATER LINE
○	MONUMENT	○	GAS LINE
○	SEWER MANHOLE	○	SAN SEWER LINE
○	TEST BORING	○	WIRE FENCE
○	UTILITY POLE	○	POST & RAIL FENCE
○	WATER VALVE	○	STOCKADE FENCE
○	LAMP POST	○	TREE LINE/TREE
○	DROP CURB/RAMP	○	CONCRETE WALK/PAD
○	ELEC. BOX/PAD	○	PLANTERS
○	BUILDING LIGHTING	○	STOP SIGNS

NOTE:
ELEVATIONS SHOWN HEREON REFER TO N.G.V.D. of 1929 AS EXTENDED BY THE 1988 TOWN OF YORKTOWN 6.5 DATUM.
MERIDIAN SHOWN HEREON REFERS TO MERIDIAN ESTABLISHED BY FILED MAP NO. 10864 AND DEEDS LISTED. TURN BEARINGS SHOWN HEREON CLOCKWISE IS 280° TO TO MATCH NORTH AMERICAN DATUM OF 1983.

- NOTES:
- Amended site plan is based on a public survey prepared by J. Henry Carpenter & CO., last revised 11/3/99.
 - The following completed items (Benches at Commerce St.) shown here added by Site Design Consultants.
 - This plan shall be reviewed in connection with the original approved site plan plan and detail sheets 1 to 12 dated 6/25/98, last revised 6/28/97.
 - No building permit shall be issued for the "proposed new retail store" until such time the Planning Board, Planning Department, Building Department, and Town Engineer have determined that the site has been brought into compliance with the approved plans and resolutions of the Planning Board including these regulations.
 - No outdoor storage of goods, materials, or pallets will be allowed.
 - All dumpsters are to be located with trash enclosures.

BUILDINGS DATA

	PERMITTED	PROPOSED	ASBLT
(1) ORIGINAL APPROVAL (1987)			
CAUTION	40,000	40,000	
SHOWERS	27,000	27,000	
SMALL STORES 'A'	30,000	30,000	
SMALL STORES 'D'	4,000	4,000	
BANK	8,000	8,000	
UNIT 'C'	24,000	24,000	
(2) PRESENTLY EXISTING			
SMALL STORES 'A'	30,000	30,000	
SMALL STORES 'D'	4,000	4,000	
CAUTION	40,000	40,000	
FOOD EMPORIUM	44,882	44,882	
SUB TOTAL	178,784	178,784	
(3) PROPOSED ADDITIONS			
SMALL STORES 'D'	5,000	5,000	
SUB TOTAL	5,000	5,000	
(4) RECAP			
TOTAL AREA (2) ABOVE PLUS (3) ABOVE	183,784	183,784	
ORIGINAL APPROVAL	165,000	165,000	
TOTAL ADDITION	18,784	18,784	

PARKING

	PERMITTED	PROPOSED	ASBLT
TOTAL ADDITIONAL BUILDING AREA	11,724 S.F.	11,724 S.F.	
HANDICAPPED SPACES 1:200'S (NO HANDICAPPED SPACES)	5	5	
ADDITIONAL SPACES REQUIRED 5 SPACES/1,000 S.F.	44	44	
TOTAL SPACES REQUIRED	49	49	
TOTAL SPACES PROVIDED	254	254	

LOCATION

	PROPOSED	ASBLT
ALONG STORE FRONTS	4	4
DOWNING DR SITTING AREA	5	4
KEAR ST SITTING AREA	5	4
COMMERCE ST SITTING AREA	8	4
TOTAL	22	22

DETENTION VOLUME CALCULATION
DETENTION VOLUME
PROPOSED 8425' OF ELEV. 890'S TO 894.0
EXISTING 89000' OF ELEV. 890'S TO 894.2
DIFFERENCE 808' OF OR APPROXIMATELY 11' OF DEPTH
OVER THE SURFACE AREA
& DIFFERENCE 8.8%

NOTE:
ADDITIONAL VOLUME DUE TO LIGHT HEIGHT PILL
484' OF X 3' X 25' VOID RATIO = 1296' OF

Site Design Consultants
Civil Engineers • Land Planners
251 F. Universal Avenue, Yorktown Heights, NY 10598
(914) 962-4848 Fax (914) 962-7386
email: sdg@sigmail.com

Revisions:
No. Date Comments
1 11/20/99 JAC/RS/MB/2/2/00
2 12/10/99 JAC/RS/MB/2/2/00
3 12/10/99 JAC/RS/MB/2/2/00
4 12/10/99 JAC/RS/MB/2/2/00

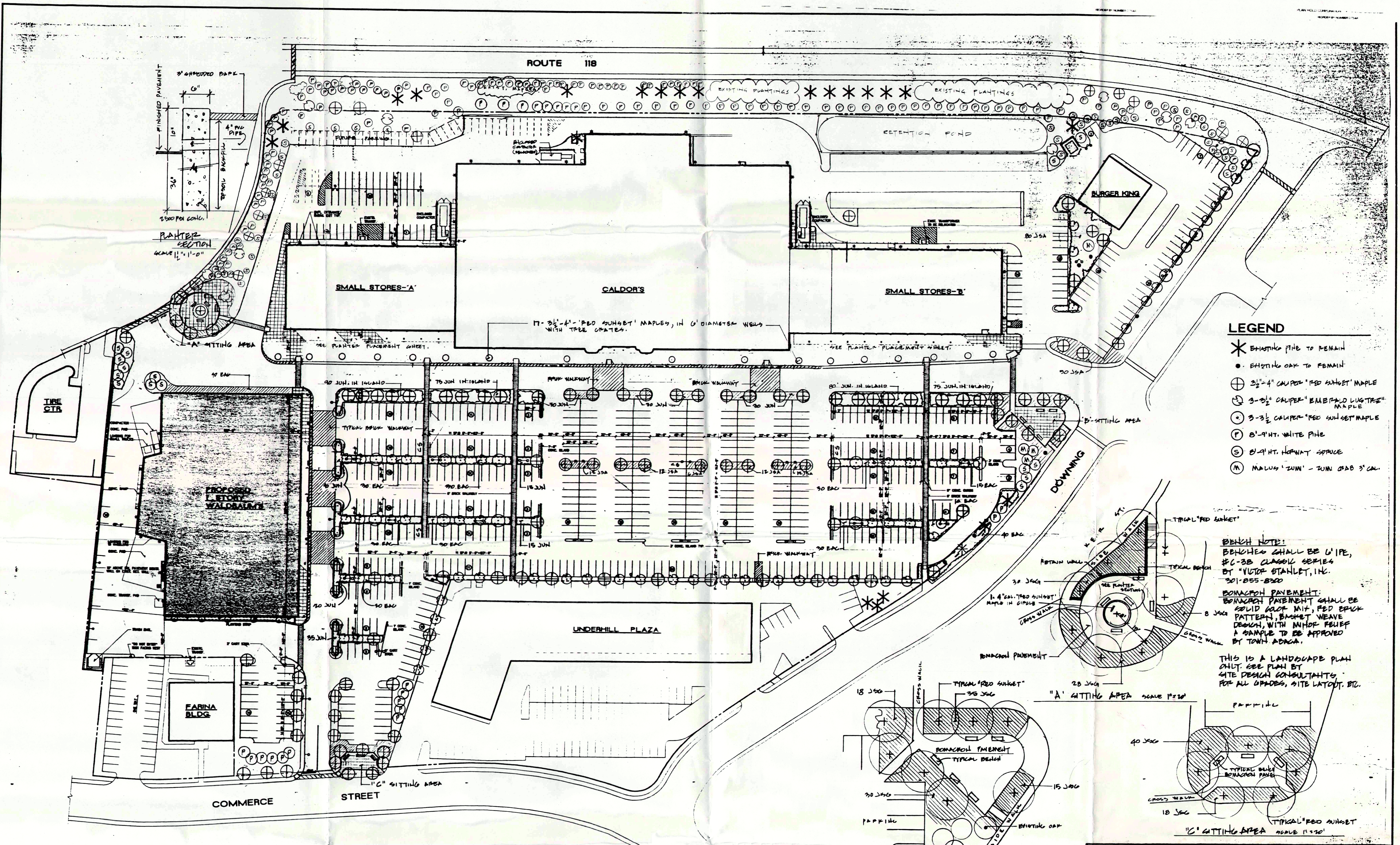
SCALE 1"=40'
DRAWN BY: ES
DATE 11/22/99

SITE PLAN

AMENDED SITE PLAN
PREPARED FOR
Yorktown Green Shopping Center
Westchester Co., New York

Sheet 1 of 1

ROUTE 118



- LEGEND**
- * EXISTING PINE TO REMAIN
 - EXISTING OAK TO REMAIN
 - ⊕ 3 1/2" CALIPER "RED SUNSET" MAPLE
 - ⊕ 3-5 1/2" CALIPER "EMERALD LUSTRE" MAPLE
 - ⊕ 3-3 1/2" CALIPER "RED SUNSET" MAPLE
 - ⊕ 6'-9" HT. WHITE PINE
 - ⊕ 6'-9" HT. HORNAY SPRUCE
 - ⊕ MALUS 'ZUN' - ZUN CRAB 3' CAL

BENCH NOTE:
BENCHES SHALL BE 6" IPE, #C-38 CLASSIC SERIES BY VICTOR STANLEY, INC. 301-855-8300

BONACROH PAVEMENT:
BONACROH PAVEMENT SHALL BE SOLID COLOR MAT, RED EPICK PATTERN, BASKET WEAVE DESIGN, WITH MINOR BELIEF A SAMPLE TO BE APPROVED BY TOWN ADPCA.

THIS IS A LANDSCAPE PLAN ONLY. SEE PLAN BY SITE DESIGN CONSULTANTS FOR ALL GRASSES, SITE LAYOUT, ETC.

- GENERAL NOTES:**
- All benches for sitting areas shall be #C-10, 6" IPE - "Classica" by Victor Stanley Inc., Brick House Road, Dunkirk, Maryland 20754, (301) 855-8300. Total of 13 benches, bolted into Bonacroh Pavement, as approved by Victor Stanley Inc.
 - All pavement in sitting areas shall be "Bonacroh" imprinted concrete.
 - All plantings shall be backfilled with a mixture of 3 parts screened topsoil and 1 part peat moss. All planting pits shall be twice as wide, and 12" deeper than the root ball or container. "Terra-sorb" shall be placed in all planting pits.
 - All planting beds shall be mulched with 3" of shredded bark. All free standing trees shall have a 5' diameter circle of mulch, 3" deep, around each tree. A pre-emergent herbicide shall be placed, prior to installation of mulch.
 - Tree guard protectors shall be placed around all free standing trees.
 - All plantings shall be guaranteed for one full year.

**YORKTOWN GREEN
SITE DEVELOPMENT PLAN**
SC T-40-0

PLANT SCHEDULE

QUAN	BOTANICAL / COMMON NAME	SIZE
TREES:		
1	MALUS 'ZUN' - ZUN CRAB	3'-3 1/2" CAL
1	Acer rubrum "Red Sunset" - heavy heads	3 1/2" Cal
1	Acer rubrum "Red Sunset"	3'-3 1/2" Cal
1	Acer platanoides "Emerald Lustre"	3'-3 1/2" Cal
1	Pinus strobus - White Pine, full to base	8'-9" HT.
1	Pinus alba - Norway Spruce	8'-9" HT.
SHRUBS:		
1	SPYREA 'GNARL LAKE'	18"-24" HT.
1	Euonymus compactus "Angelica"	24"-30" HT.
1	Juniperus "Sargentii" - Blue Sargent Juniper	3 Cal
1	Juniperus "Parsonii" - Parson's Juniper	3 Cal
1	Juniperus "Sea Green"	3 Cal

FRANK GIULIANO, LAND. ARCH.
8 PINE TREE DR.
KATONAH, NEW YORK
(914) 962-3090
PERMITS MAT 10, 1995

RECEIVED
PLANNING DEPARTMENT
DEC - 6 1995

DATE: 1-27-95
JOB NO.: 01197
DRAWING: 01197
SHEET NO.: 1P OF 2

LANDSCAPE PLAN
YORKTOWN GREEN SHOPPING CENTER

FOR: **OSTER PROPERTIES**
420 BLYVALE, BALEWOOD CREEK, NJ

FILE COPY

**Underhill Farm
Public Info Hearing**

Site Design Consultants

Civil Engineers • Land Planners

May 31, 2022

Robyn A. Steinberg, AICP
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

MAY 31 2022

Re: Underhill Farms/Unicorn Contracting Corp.
Town of Yorktown

TOWN OF YORKTOWN

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

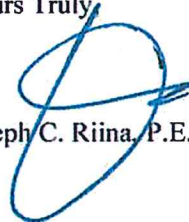
These Notices are regarding the Planning Board Public Informational Hearing scheduled for June 13, 2022, and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- (3) photos of "Notice" signs; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

/cm /Enc./ sdc 20-20

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



NOTICE TO INTERESTED PARTIES

TO:

PLEASE TAKE NOTICE that a **Public Informational Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday, June 13, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application by Unicorn Contracting Corp. for a site plan to construct a mixed-use development consisting of 148 residential units, including 50 three- and four-bedroom townhomes, 34 unit one- and two-bedroom condominium building, and 64 one-, two-, and three-bedroom apartments, 17,580 square feet of retail and office space including 11,000 square foot of new retail space in addition to the reuse of the Underhill Farmhouse building, parking, and recreational amenities as shown on submitted plans titled, "Underhill Farm," prepared by Site Design Consultants, and dated June 22, 2020, and last revised March 16, 2022. The original main building known as the "Captain Underhill" house is proposed to be restored and reused. All other accessory structures are proposed to be removed.

The site is located at the address 370 Underhill Avenue, Yorktown Heights, New York, also known as Section 48.06, Block 1, Lot 30 on the Town of Yorktown Tax Map, and consists of 13.78 acres in the R1-40 zoning district. On February 22, 2022, the request for authorization to apply the standards pursuant to Town Code Chapter 300, Article XXXI, Planned Design District Overlay Zones, Section § 300-250 through § 300-255 was granted by the Town Board.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to planning@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting.

The above listed site plan and additional documents may be viewed on the Town's website: <https://www.yorktownny.org/planning/underhill-farm>. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

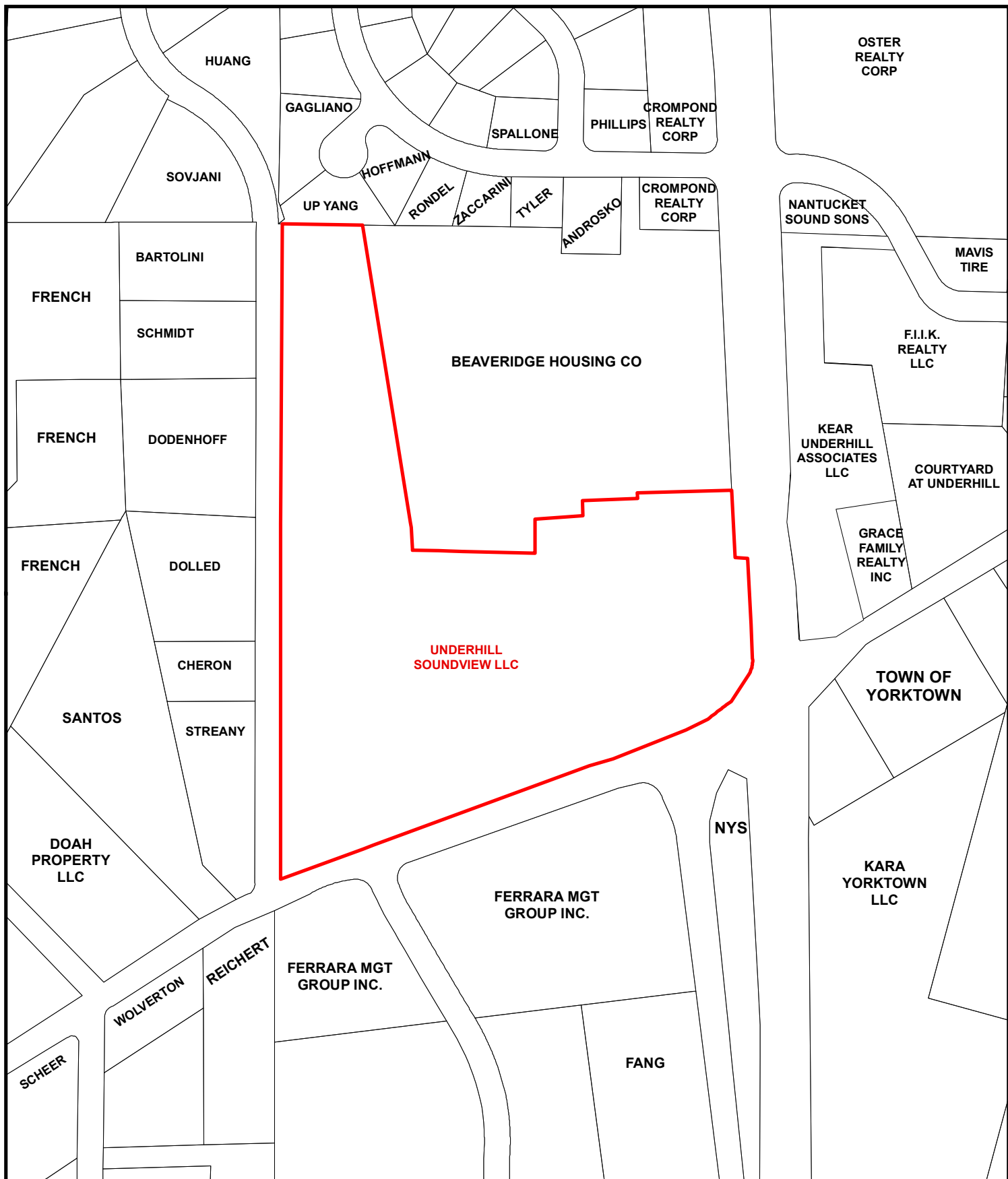
ALL PERSONS INTERESTED in the above matter may appear before the Board in person, by agent or attorney and will be heard before any final determination is made.

This notice is being sent to you by first class mail, under '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

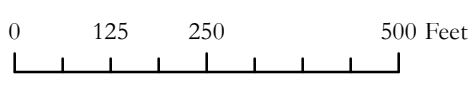
Unicorn Contracting Corp.
Name of Applicant

Joseph C. Riina, P.E., Project Engineer, Site Design Consultants
By (Name and Title)

May 26, 2022
Date



TOWN OF YORKTOWN PLANNING DEPARTMENT
 Albert A. Capellini Community & Cultural Center
 1974 Commerce Street, Yorktown Heights, NY 10598
 (914) 962-6565, www.yorktownny.org/planning



1 inch = 250 feet

TITLE: Underhill Farm
 DATE: June 9, 2022

FILE: F:\ArcGIS\PROJECTS\Underhill Farm.mxd
 BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2020.

✓ 37.18-1-55
HOFFMAN, ANTHONY
1846 ALLAN CT.
YORKTOWN HGTS., NY 10598

✓ 37.18-1-54
RONDEL, DMITRIY & YANA
1995 ALLAN AVE.
YORKTOWN HGTS., NY 10598

✓ 48.06-1-30
UNDERHILL SOUNDVIEW LLC
10 JULIA LN.
COLD SPRING, NY 10516

✓ 48.06-1-33
TOWN OF YORKTOWN
363 UNDERHILL AVE.
YORKTOWN HGTS., NY 10598

✓ 37.18-1-48
HUANG, HAIYAN
1872 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

✓ 37.18-1-57
GAGLIANO, SALVATORE TRUST
1839 ALLAN CT
YORKTOWN HGTS., NY 10598

✓ 37.18-1-13
SOVJANI, JOHN IRREVOCABLE
TRUST & SOVJANI, INEZ K.
IRREVOCABLE TRUST
1867 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

✓ 37.18-1-50
BEAVERIDGE HOUSING CO.
C/O MIDLAND LOAN SERVICES
TAX DEPARTMENT
P.O. BOX 25965
SHAWNEE MISSION, KS 66225-5

✓ 37.18-1-56
UP YANG, SEUNG & PARK,
JINRYOUNG
1840 ALLAN CT.
YORKTOWN HGTS., NY 10598

✓ 37.18-1-12
BARTOLINI, FRANK & ORSOLA
1821 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

✓ 37.18-1-11
SCHMIDT, ALFONS &
MARJORIE
1815 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

✓ 37.18-1-10
DODENHOFF, WALTER &
MARTHA
1811 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

✓ 48.06-1-29
DOLLED, STEPHEN & SUSAN
1801 GLEN ROCK ST.
YORKTOWN HGTS., NY 10598

✓ 48.06-1-26
SANTOS, ANTHONY
REVOCABLE TRUST
C/O KASHYAP BAKHAJ
MORRISON, BROWN ET AL.
1450 BRICKELL AVE. Miami, FL 33131

✓ 48.06-1-28
CHERON, RUDOLPH & DONNA
1777 GLEN ROCK ST.
YORKTOWN HGTS, NY 10598

✓ 48.06-1-27
STREANY, JOSEPH P. JR. &
MAINIERO, JILLIAN M.
466 UNDERHILL AVE.
YORKTOWN HEIGHTS, NY 10598

✓ 48.06-1-47
REICHERT, ANITA T.
439 UNDERHILL AVE.,
YORKTOWN HGTS., NY 10598

✓ 37.18-2-73
KEAR UNDERHILL ASSOC LLC
10 JULIA LANE, STE 101
COLD SPRING, NY 10516

✓ 48.06-1-42 & 48.06-1-46
Ferrara Management Group, Inc.
50 Plainfield Ave.
Bedford Hills, NY 10507

✓ 48.06-1-43
State of New York
Agency Building #1
Empire State Plaza
Albany, NY 12238

Firm Mailing Book For Accountable Mail

Name and Address of Sender

**Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598**

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix Stamp
(for additional Postmark)



0000

U.S. POSTAGE PAID
10598
YORKTOWN HEIGHTS, NY
MAY 27 22
AMOUNT

\$9.40
R2304M116582-26

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

Postage	(Extr. Service) Fee	Postage Charge	Postage if Registered	Insured Value	Sender if COD	Postage Fee	Postage Fee	Postage Fee	Postage Fee	Postage Fee	Postage Fee	Postage Fee	Postage Fee	Postage Fee

Anthony Hoffman
1846 Allan Court
Yorktown Heights, NY 10598

Dmitriy & Yana Rondel
1995 Allan Avenue
Yorktown Hgts., NY 10598

Underhill, Soundview LLC
10 Julia Lane
Cold Spring, NY 10516

Town of Yorktown
363 Underhill Avenue
Yorktown Hgts., NY 10598

Haiyan Huang
1872 Glen Rock Street
Yorktown Hgts. NY 10598

Salvatore Gagliano Trust
1839 Allan Court
Yorktown Hgts., NY 10598

John Sovjani and Inez K. Sovjani
Irrevocable Trust
1867 Glen Rock Street
Yorktown Hgts., NY 10598

Beaveridge Housing Co.
c/o Midland Loan Services
Tax Dept., P.O. Box 25965
Shawnee Mission, KS 66225-5

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Complete in Ink

Privacy Notice: For more information on USPS...



Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 | Fax (914) 962-1731 | Email: building@yorktownny.org

Sign Notification Certificate

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application

Section 48.04 Block 1 Lot 30

Project Name: Underhill Farm

Address: 370 Underhill Avenue, Yorktown Hts, NY 10598

Applicant's Name: Unicorn Contracting Corp.

Address: 10 Julia Lane, Suite 103, Cold Spring, NY 10516

Phone: 845-809-5969

Number of Signs Posted: 3

Sign #1 Location: Route 118

Sign #2 Location: Glen Rock Street

Sign #3 Location: Underhill Avenue

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: _____

Land Owner's Signature: _____

Sign Notification Photos:



Glen Rock Road



Route 118 (a)

Site Design Consultants
Underhill Farm Project, 370 Underhill Avenue (page 2)

Sign Notification Photos:



Route 118 (b)



Underhill Avenue

TG: 21025.00

May 9, 2022

John A. Tegeder, RA
Director of Planning, Town of Yorktown
Albert A. Capellini Community & Cultural Center
1974 Commerce Street
Yorktown Heights, NY 10598

SUBJECT: REVIEW OF TRAFFIC ELEMENT OF UNDERHILL FARMS EAF

Dear Mr. Tegeder:

Thank you for this opportunity to support Yorktown on the Town's review of the Underhill Farms project in the Yorktown Height, which is the first application under consideration within the Planned Design District ("PDD") overlay zone.

We will provide our review and recommendations in multi-page letter format, along with a summary PowerPoint presentation. The core documents we will review are annexed to the EAF received by the Town on 3/16/22, including:

- Traffic Preliminary Concept Plan (dated 1/5/22)
- Traffic Impact Study (dated 4/11/22), and the Executive Summary (dated 4/26/22)
- Response from Applicant to MTA's query about ridership potential (dated 4/27/22)

Based on our initial review of the application materials, we anticipate that our review will focus on the following issues:

- Review of the site plan and driveway access
- Consideration of the potential for cut-through traffic via the access-connection to Beaver Ridge
- Review of the trip generation, trip distribution, and intersection-capacity ("Level of Service" impacts) approach, assumptions, and calculations
- Consideration of whether the "Triangle" intersection (Routes 118/35/202/Commerce St) should be studied in the traffic analysis
- Review of potential for impacts on access to/from Cardinal Court
- Review of pedestrian and bicycle access
- Review of parking provision
- Consistency with the transportation elements of Yorktown's Comprehensive Plan

In addition to these issues, we understand that a core issue of this project is to review the adequacy of prospective improvements at the intersection of Route 118 and Underhill Avenue, in light of traffic to be generated by the overall extent of projected development in the vicinity of the Overlay District as well as from the present applicant. To address this issue, Transpo will develop a new planning-level estimate of the costs of the improvements (taking ongoing construction cost inflation into account), and will recommend to Yorktown our determination of the adequacy of the applicant's proposed contribution of \$450K towards design and construction. We have budgeted separately below for if the Town requires cost estimates for both of the two concept alternatives, or only one alternative. We would recommend that the Town authorize one cost estimate at this time as the traffic analysis will likely identify which is clearly superior from a traffic perspective. If it becomes necessary to prepare a second cost estimate for the other alternative, the Town could then authorize that at a later date.

We anticipate participating in up to two Planning Board meetings, as well as two daytime meetings with Planning Department staff. If additional meetings and/or written interaction (memoranda, etc.) with the applicant's representatives beyond the effort contemplated herein become necessary, we would participate on a "time and materials" basis, and seek authorization in advance before accruing charges.

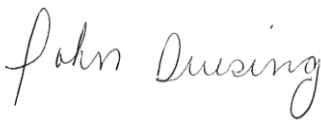
To begin our review, we will require the Synchro files and the electronic (likely Excel-format) trip generation and distribution worksheets. Please advise whether the Town would like to request these items from the applicant, or prefers that Transpo make this request directly.

Our fee for this work is as follows:

	Hours			Fee
	Duesing (\$299/hr)	Le Vine (\$235/hr)	Cavallo (\$210/hr)	
Review of traffic study	2	16	10	\$6,458
Meetings (2 with PB; 2 with staff)		4		\$940
			Subtotal	\$7,398
Prepare cost estimate of Rt 118/Underhill Ave improvements (if cost estimate of <u>one alternative</u>)			10	\$2,100
Prepare cost estimate of Rt 118/Underhill Ave improvements (if cost estimate of <u>two alternatives</u>)			15	\$3,150
			Total (with cost estimate of <u>one alternative</u> at Rt 118/Underhill Ave)	\$9,498
			Total (with cost estimate of <u>two alternatives</u> at Rt 118/Underhill Ave)	\$10,548

Upon notice to proceed from Yorktown, we envision completing this assignment within two weeks, and providing twice-weekly status updates as the work proceeds.

I will look forward to your feedback on this task proposal, and am looking forward to the opportunity to work with you on this assignment.



John H. Duesing
 Executive Director

Correspondence Received

MAY 26 2022

TOWN OF YORKTOWN

From: McCullough, Mary (DOT) <Mary.McCullough@dot.ny.gov>
Sent: Thursday, May 26, 2022 9:18 AM
To: Robyn Steinberg <rsteinberg@yorktownny.org>
Cc: Gorney, Lance (DOT) <Lance.Gorney@dot.ny.gov>; Darelius, Anne D (DOT) <Anne.Darelius@dot.ny.gov>
Subject: Underhill Farms - NYSDOT SEQR# 22-092

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Morning,

The New York State Department of Transportation (NYSDOT) is in receipt of a Town of Yorktown Application for Site Plan Approval, along with Lead Agency Designation Request from the Town of Yorktown, dated May 3, 2022. The NYSDOT consents to the Town of Yorktown Planning Board) assuming the role of Lead Agency for review of the referenced proposal. Please find your selection form attached.

Although the project access is off-system, traffic impacts on State roadways appear substantial. Therefore, a Traffic Impact Study (TIS) along with electronic SYNCHRO files, shall be submitted to this Department for further review and comments. Depending upon the impacts, additional engineering details may be required. The TIS needs to address the traffic, drainage, and other impacts to the NYS highway system as well as the applicant's proposed mitigation.

Mary McCullough

SEQRA – HW Permit Unit

New York State Department of Transportation, Hudson Valley Region

4 Burnett Blvd., Poughkeepsie, NY 12603

(845) 437-3398 mary.mccullough@dot.ny.gov



**Department of
Transportation**

This LEAD AGENCY SELECTION FORM is being circulated for the purpose of determining the Lead Agency under SEQRA for the following project:

Applicant: Unicorn Contracting
Map titled: Preliminary Site Plan prepared for Underhill Farm
Prepared by: Site Design Consultants
Dated: June 22, 2020, and last revised March 16, 2022

RECEIVED
PLANNING DEPARTMENT
MAY 26 2022

Project Location: 370 Underhill Avenue, Yorktown Heights, NY
Section 48.06, Block 1, Lot 30

TOWN OF YORKTOWN

Contact Person: Robyn Steinberg, Town Planner, Town of Yorktown
Response Required: June 1, 2022

Reply Form (to be complete by Involved Agency)

The NYS DOT has examined this form and its accompanying documentation and (check A or B).

A. _____ Concludes that the proposed action is not likely to have a significant effect on the environment.

B. Concludes that the proposed action is likely to have a significant effect on the environment and (check appropriate choices 1,2,3,4)

1. _____ desires to be the Lead Agency.

2. _____ recommends _____ be Lead Agency.
(list recommended agency)

3. comments are attached.

4. _____ has no comment.

Reviewed by:

5/26/22 Mary McCullough
Date Name

Title Transportation Analyst

PLEASE RETURN TO THE AGENCY INITIATING THIS PROCESS AS LISTED ON PAGE 1 BY THE DATE INDICATED. If your Agency does not submit a written objection to the Planning Board acting as Lead Agency, within thirty (30) days of the mailing of this notification to the contact person listed on page 1, then the Town of Yorktown, Planning Board will assume Lead Agency for this project.



MARY MCCULLOUGH
Transportation Analyst

Region 8, Traffic Safety & Mobility Group
4 Burnett Blvd., Poughkeepsie, New York 12603
(845) 437-3398 | f:(845) 437-3395 | Mary.McCullough@dot.ny.gov
www.dot.ny.gov

JUN 2 2022

TOWN OF YORKTOWN

May 31, 2022

Mr. Richard Fon, Chairman
Town of Yorktown Planning Board

Re Proposed Underhill Farm Mixed Use Development
Application of Tree Law
Underhill Avenue

Dear Mr. Fon and Members of the Planning Board

The TCAC has reviewed the referral materials for the referenced project which were received on 29 April, 2022. The correspondence from Tim Miller Associates, dated 4 May, 2022 clearly states that a Tree Removal Permit is required but that a Tree Replacement Plan has not been prepared and upon checking the Drop Box established by the Yorktown Planning Department for distributing additional documents as they become available, nothing new has been posted as of today. Therefore, the Yorktown TCAC must insist that this project not be issued a Tree Permit until a complete Mitigation Plan has been submitted, reviewed and approved by the Yorktown TCAC.

Respectfully yours,

Lawrence W. Klein, PE, Member
Tom Schmitt, Member
Keith Schepart, ISA, Member
Jay Gussak, Member
Joe Verardo, Member



May 25, 2022

RECEIVED
PLANNING DEPARTMENT

MAY 25 2022

TOWN OF YORKTOWN

Robyn Steinberg, AICP, CPESC
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, New York 10598

Rohit T. Aggarwala
Commissioner

Paul V. Rush, P.E.
Deputy Commissioner

465 Columbus Avenue
Valhalla, NY 10595

Tel. (845) 340-7800
Fax (845) 334-7175
prush@dep.nyc.gov

Re: **Notice of Intent to be Lead Agency
Underhill Farm Development
370 Underhill Avenue
Town of Yorktown; Westchester County, NY
Tax Map #: 48.06-1-30
DEP Log #: 2007-MU-0266-SQ.1**

Dear Ms. Steinberg and Members of the Planning Board:

The New York City Department of Environmental Protection (DEP) has reviewed the Town of Yorktown Planning Board's (Board) Notice of Intent to act as Lead Agency and site plans for the above referenced project. DEP does not object to the Board acting as Lead Agency for the Coordinated Review of the proposed action pursuant to the New York State Environmental Quality Review Act (SEQRA).

The project site is located in the Muscoot Reservoir drainage basin of New York City's Water Supply. As Muscoot Reservoir is phosphorous restricted, water quality impacts to the receiving reservoirs from pollutant-laden runoff must be avoided or mitigated.

The proposed action, located on the campus of the former Soundview Prep School, is for both mixed-use residential and retail/office space. The projects involves the construction of 148 residential units, a senior care center, 11,000 sq. ft. retail/office space, 314 parking spaces and recreational amenities to be served by municipal water. The action will generate approximately 43,588 gpd of wastewater flow which is projected to be serviced by Yorktown Sewer District #1.

DEP's status as an involved agency stems from its review and approval authority for a Stormwater Pollution Prevention Plan (SWPPP) pursuant to Section 18-39 of the *Rules and Regulations for the Protection from Contamination, Degradation, and Pollution of the New York City Water Supply and Its Sources* (Watershed Regulations). The subject parcel is situated within a Designated Main Street Area (DMSA). DEP also maintains review and approval for the sewer extension pursuant to Section 18-37 of the Watershed Regulations.

Based upon review of the circulated documents, DEP respectfully submits the following comments for the Board's consideration:

1. The predominant NRCS soil type on the parcel is identified as Paxton. Paxton soils typically exhibit high seasonal groundwater and erosive conditions that increase with steepness. It is unclear from the site plan, as topographic contours are not shown, how much soil disturbance is proposed on slopes in excess of 10%. Cutting and regrading of Paxton soils typically results in significant adverse impacts to land and water due to rilling, excess surface flow, erosion, and downstream sedimentation during construction. "Daylighting" of groundwater in the post-construction condition is not uncommon and can impact permanent stormwater practices. Ultimately, insufficient detail has been provided to demonstrate that the adverse impacts associated with construction activity on this parcel have been fully identified and either avoided or adequately mitigated.
2. The site plan does not identify the method for post-construction stormwater management or and no sizing calculations or details are provided regarding the proposed structures. Information including drainage area analysis that properly analyzes the drainage areas in the pre and post development condition, and design points/lines that evaluate the runoff flow rates and volumes for the 1 year and greater storms must be included. Without this information, it is difficult to assess the full impact of development with over 10 acres of disturbance proposed on marginal soils.

As the project sponsor has not demonstrated any means of capturing and treating runoff in the post-development condition, DEP is unable to assess whether the applicant has adequately mitigated any potential impacts associated with stormwater runoff. As such, a more focused analysis of drainage, construction phase impacts, and pollutant loading is required.

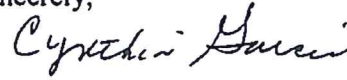
3. A channel from the unnamed pond located on the property is identified on the plans. As shown, the condo building is proposed to be built over, or at least in close proximity to, the watercourse. This approach should be avoided, as it may lead to flooding and subsidence in and around the proposed building. Efforts should must be made to relocate the building away from open water resources. In addition, this approach to building construction could lead to erosion and sedimentation. As stated above, with regard to adverse surface water impacts, the project sponsor has failed to demonstrate how the potential impacts have been avoided or adequately mitigated.
4. The project site will result in significant changes to land cover. Potential impacts associated with increases in stormwater pollutant loading must be identified and the capacity of the proposed stormwater management facilities to adequately mitigate these impacts should be discussed. Based on the predominant soil types discussed above, projected increases in impervious cover, and conversion of forested area to lawn, and the lack of detailed information regarding the stormwater management measures proposed, DEP is unable to offer substantive comments at this time.

5. No information is provided on phasing, construction sequencing or the erosion control practices to be utilized during construction. Without this information, it is impossible to analyze whether the construction-phase impacts may be adequately mitigated and/ or avoided.
6. The Board should clarify how the Yorktown Heights WWTP can accommodate flows from this action and the planned Hallocks Mill Sewer Extension Project which under Phase 1 is intended to connect 315 existing parcels in the district.
7. Part 1.D2.b.i of the EAF identifies the wetland that will be altered by this activity as an “unnamed pond” and references a wetland mitigation plan. Also, Part D2.b.ii states the creation of a “new wetland mitigation area potential alteration of channel and banks,” however the submission did not provide plans or a narrative report to support either proposal. This information must be included with the future circulated documents to facilitate proper review and assessment of impacts to surface waters.
8. There are several areas where the onsite wetland will be disturbed. The specific activities associated with these impacts should be identified and quantified, and the narrative should describe whether the impacts are temporary or permanent in nature.
9. The United States Army Corp of Engineers should be notified to make a regulatory determination regarding the proposed activities. Note that the East of Hudson (EOH) watershed has been designated as Critical Resources Waters and as such certain Nationwide Permits are not authorized in the EOH watershed.
10. Additionally, all wetlands and their associated 100-foot buffer boundaries, and the limits of disturbance should be shown on the site drawings.
11. The project sponsor is encouraged to contact DEP for the purpose of a site visit so that DEP may evaluate and flag potential watercourses. The applicant’s representative may contact Mariyam Zachariah at Mzachariah@dep.nyc.gov or 914-749-5357 to make arrangements.
12. The current configuration does not appear to have minimized impacts to the wetlands. Specifically:
 - a. The Site Plan shows an area surrounded by a proposed retaining wall that crosses the onsite wetland in two locations. Please re-evaluate the location of the retaining wall to minimize impacts to the wetland – crossing it only once and at the narrowest portion.
 - b. The southernmost 4 and 6 unit structures are encroaching on the onsite wetland. It is suggested that these areas be moved and/or reduced in size to avoid impacts to the wetland.

13. In summation, without the benefit of key engineering details, alternative designs and/or revised development approaches should be evaluated and presented to involved agencies in an effort to reduce overall, adverse environmental impacts.

Thank you for the opportunity to provide comments. You may reach the undersigned at cgarcia@dep.nyc.gov or (914) 749-5302 with any questions or if you care to discuss the matter further.

Sincerely,



Cynthia Garcia, Supervisor
SEQRA Coordination Section

X: J. Petronella, NYSDEC
A. Kunny, P.E., WCHD
N. Drummond, WCPD

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Platt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov



**Department of
Environmental
Conservation**

May 24, 2022

VIA EMAIL

Town of Yorktown Planning Board
Robyn A. Steinberg
Town Planner
rsteinberg@yorktownny.org

RECEIVED
PLANNING DEPARTMENT

MAY 24 2022

TOWN OF YORKTOWN

Re: UNDERHILL FARM
Town of Yorktown, Westchester County
DEC ID: 3-5554-00266/00002
SEQR Lead Agency Response

Dear Town of Yorktown Planning Board,

The Department of Environmental Conservation (DEC or Department) received your State Environmental Quality Review Act (SEQR) Lead Agency Coordination on May 3rd, 2022. The proposal involves the development of a mixed-use residential/retail and office project, including 64 apartment units, 32 senior condominium units, 52 townhouses, a senior center, space for Town offices and administrative services, retail spaces, and associated site improvements. The project site is located at 370 Underhill Avenue in Yorktown Heights. The Department has no objection to the Town of Yorktown Planning Board serving as lead agency for this project. Based on our review of the submitted materials, including the EAF and associated site plans, we offer the following comments:

PROTECTION OF WATERS STREAM DISTURBANCE

There are no waterbodies that appear on our regulatory maps at the location you identified. Therefore, if there is a stream or pond outlet present at the site with year-round flow, it assumes the classification of the watercourse into which it feeds, and a Protection of Waters permit may or may not be required to disturb its bed or banks. If there is a stream or pond outlet present at the site that runs intermittently (seasonally), it is not protected, and a Protection of Waters permit would not be required to disturb its bed or banks.

If a permit is not required, please note, however, you are still responsible for ensuring that work shall not pollute any stream or waterbody. Care shall be taken to stabilize any disturbed areas promptly after construction, and all necessary precautions shall be taken to prevent contamination of the stream or waterbody by silt, sediment, fuels, solvents, lubricants, or any other pollutant associated with the project.



FRESHWATER WETLANDS

Your project/site is not within a New York State-protected Freshwater Wetland. However, please contact your town officials and the United States Army Corps of Engineers in New York City, telephone (917) 790-8511, for any permitting they might require.

WATER QUALITY CERTIFICATION

If the US Army Corps of Engineers requires a permit pursuant to Section 404 of the Clean Water Act for the discharge to fill in Waters of the U.S., then a Section 401 Water Quality Certification (WQC) will be required. Issuance of these certifications is delegated in New York State to DEC. If the project qualifies for a Nationwide Permit, it may be eligible for coverage under a DEC Blanket WQC. Coverage under a Blanket requires compliance with all conditions for the corresponding Nationwide Permit. For more information and to view the DEC Blanket WQCs, please visit <https://www.dec.ny.gov/permits/6546.html>. A determination on Corps jurisdiction and Nationwide Permit eligibility is likely necessary for a DEC jurisdictional determination.

STATE-LISTED SPECIES

DEC has reviewed the State's Natural Heritage records. No records of sensitive resources were identified by this review.

The absence of data does not necessarily mean that other rare or state-listed species, natural communities or significant habitats do not exist on or adjacent to the proposed site. Rather, our files currently do not contain information which indicates their presence. For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

NEW YORK CITY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NYCDEP)

The project site is located within the NYCDEP watershed. Please contact NYCDEP directly about any jurisdiction they may have.

STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) STORMWATER

If the overall project will disturb 5000 square feet or more of land within the NYC Department of Environmental Protection East of Hudson Watershed, the project sponsor must obtain coverage under the current SPDES General Permit for Stormwater Discharge from Construction Activity (GP-0-20-001), and a Stormwater Pollution Prevention Plan (SWPPP) must be developed which conforms to requirements of the General Permit. Authorization for coverage under this SPDES General Permit is not granted until the Department issues all other necessary DEC permits.

As the site is within a Municipal Separate Storm Sewer System (MS4) community, the SWPPP must be reviewed and accepted by the municipality, and the MS4 Acceptance Form submitted with the SWPPP and the application for coverage, in accordance with the application instructions.

Re: UNDERHILL FARM
DEC ID: 3-5554-00266/00002

May 24, 2022

OTHER

Other permits from this Department or other agencies may be required for projects conducted on this property now or in the future. Also, regulations applicable to the location subject to this determination occasionally are revised and you should, therefore, verify the need for permits if your project is delayed or postponed. This determination regarding the need for permits will remain effective for a maximum of one year unless you are otherwise notified. More information about DEC permits may be found at our website, www.dec.ny.gov, under "Regulatory" then "Permits and Licenses." Application forms may be downloaded at <http://www.dec.ny.gov/permits/6081.html>.

Please feel free to contact this office if you have questions regarding the above information. Thank you.

Sincerely,

Glennys A. Romero Medina
Digitally signed
by Glennys A.
Romero Medina
Date: 2022.05.24
10:54:07 -04'00'

Glennys Romero Medina
Division of Environmental Permits
Region 3, Telephone No. (845)256-2250
Glennys.RomeroMedina@dec.ny.gov

ecc: Maria Tupper-Goebel, NYCDEP
Underhill Soundview LLC, Applicant

George Latimer
County Executive

LEAD AGENCY NOTIFICATION RESPONSE

May 3, 2022

Robyn A. Steinberg, Town Planner
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT
MAY 3 2022
TOWN OF YORKTOWN

Dear Ms. Steinberg:

The Westchester County Planning Board has received Notice of Intent to be Lead Agency pursuant to the NYS Environmental Quality Review Act (SEQR) for the following action:

Project Name/File Number: **Underhill Farm — YTN 22-003**

Action: **Site Plan**

Location: **370 Underhill Avenue**


We have no objection to the Yorktown Planning Board assuming Lead Agency status for this review.

Please be advised that the County Planning Board has already submitted preliminary comments on this matter in a letter to the Town Board dated February 14, 2022. A copy of that letter is attached.

The County Planning Board looks forward to continuing its review of this matter as an Interested Agency.

Respectfully,
WESTCHESTER COUNTY PLANNING BOARD

By:



Norma V. Drummond
Commissioner

NVD/LH

George Latimer
County Executive

February 14, 2022

Diana L. Quast, Town Clerk
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

**County Planning Board Referral File YTN 22-003 – Underhill Farm, 370 Underhill Avenue
Planned Design District Overlay**

Dear Ms. Quast:

The Westchester County Planning Board has received a referral with respect to Underhill Farm, which is a development proposal for a 13.8-acre property that formerly housed the Soundview Preparatory School. The site, located at 370 Underhill Avenue, occupies substantial street frontage at a main intersection with Saw Mill River Road (NYS Route 118) at the south end of the Yorktown Heights hamlet. The applicant proposes to redevelop this site with a mixed-use development containing 85 rental apartments along with 80 for-sale units that would consist of 30 apartments and 50 townhouses. Retail and office spaces would also be included in the development and would occupy a portion of the rental apartment building. A historic building on the site, known as the Captain Underhill House, would also be restored as part of the redevelopment. This building is also envisioned to contain retail or office space. Publicly accessible amenities, such as walking paths and access to a restored pond on the site, are also proposed.

This is the first development application the Town has considered since adopting new zoning regulations for Planned Design District Overlay Zones (PDDOZ). Under those regulations, the Town Board must approve this application as eligible to be developed under PDDOZ regulations. If approved, the application would then only require site plan approval from the Yorktown Planning Board.

We have reviewed this matter under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and we are supportive of the Town Board authorizing this application for development under PDDOZ regulations.

Since 1977, Westchester County has worked with the Town of Yorktown on public investments through the Community Development Block Program. Many of these efforts, such as the construction of sidewalks and public spaces in the Yorktown hamlet, have provided key infrastructure that can now be leveraged for this next generation of development. Other County investments, such as the North County Trailway, have provided additional key infrastructure. It is within the context of these County investments that we offer the following comments for the Town Board to consider. While we understand that the site plan review undertaken by the Yorktown Planning Board is the most appropriate time to submit site planning comments, there are some broader concerns we wish to express at this time.

1. Affirmatively furthering fair housing (AFFH).

The application materials did not indicate if any of the proposed residential units would be set aside as affordable AFFH units. Because the Town repealed its regulations concerning the Model Ordinance

Provisions, the applicant is not required to make this inclusion, which would have been automatic had the Town not repealed these regulations.

Fair and affordable housing is a critical need in Westchester County, as documented in the *Westchester County Housing Needs Assessment*, and it has been a longstanding priority for the County to promote more affordable housing in hamlet centers, which are ideal locations for affordable housing. Given the County's level of investment in the hamlet, and the fact that this investment has contributed towards the development potential of this site, this development should include affordable AFFH units at a ratio of no less than 10%. We also continue to urge the Town to consider re-adopting the Model Ordinance Provisions.

2. Need to redesign Saw Mill River Road/Underhill Avenue intersection.

The intersection of Saw Mill River Road (NYS Route 118) and Underhill Avenue is a main gateway to the Yorktown Hamlet. This intersection, which was initially created when Route 118 was constructed to bypass higher-speed car traffic away from Commerce Street, has never had a sufficient level of pedestrian accommodation and safety. With the addition of 165 residential units to this site along with retail and office space, it will be necessary to redesign this intersection to accommodate higher levels of pedestrian and bicycle activity. Because of the County's involvement in sidewalk and trailway construction near this site, this development must be able to connect to those investments, which are designed to help people walk or bike to stores and services within the hamlet without needing to drive. The reduction of unnecessary driving of single-occupancy vehicles is an important policy goal of the County Planning Board, and we have the expectation that new development within the hamlet should connect to the investments the County made in support of that goal. We also point out that to access Bee-Line bus stops from this development will also require crossing this intersection.

As part of the site plan review, the applicant and the Town must work with the NYS Department of Transportation to make improvements to this intersection and to connect all sides of the intersection to the existing sidewalk network. In addition, we also point out that the PDDOZ regulations require that sidewalks be provided on the site's entire frontage with both Underhill Avenue and Saw Mill River Road. Since these sidewalks are not shown on the conceptual plans, we assume they will be shown on the plans during site plan review.

3. Inconsistencies with PDDOZ regulations.

While the bulk of the review of the subject application will occur as part of the site plan review conducted by the Yorktown Planning Board, the Town Board must authorize that review according to the PDDOZ regulations. However, we note that the conceptual plans submitted by the applicant do not fully comply with PDDOZ regulations. The following should be clarified or corrected before the Town Board issues its approval:

a. Complete street design methods.

The PDDOZ regulations contain seven objectives that are encouraged for all hamlet development. The objective concerning complete street design methods does not appear to be met by the conceptual plan, since it does not show proposed improvements to the intersection of Saw Mill River Road and Underhill Avenue as discussed above. This objective specifically calls for the encouragement of design that is supportive of pedestrians, cyclists and the disabled "to be able to move through the overlay zone safely."

b. Sidewalks.

As noted above, the PDDOZ regulations require that sidewalks be provided on the site's entire frontage with both Underhill Avenue and Saw Mill River Road. This is not shown on the conceptual plans.

c. Parking in front yard.

The PDDOZ regulations do not permit parking to be located in the front yard unless a waiver is granted. The conceptual site plans show surface parking lots located in front of the proposed apartment building and directly along the street frontage. Since this is not permitted, the applicant should state if it is their intention to seek a waiver. We would not be supportive of this waiver since we consistently encourage municipalities to work with applicants to locate parking behind buildings whenever possible to enhance the streetscape.

d. Shared parking.


The application materials note that a shared parking system would be used to reduce impervious surfaces on the site. However, specific details were not provided in the application, and surface parking is shown on the conceptual plans to be a prominent site feature.

We encourage the Town to consider the impacts of parking and consider using practices that would provide sufficient parking, but would also help avoid the impacts of unnecessary parking. Such practices could include landbanking, setting parking maximums (instead of minimums), sharing parking between adjacent properties, unbundling the cost of parking from housing costs (except for affordable units), and other strategies. Such parking management incentives could potentially allow municipalities to eventually lower parking requirements, which can have positive benefits in reducing land disturbance and stormwater runoff. These environmental benefits are of heightened importance for the Yorktown Heights hamlet due to its location in the Croton Watershed.

Please inform us of the Town's decision so that we can make it a part of the record.

Thank you for calling this matter to our attention.

Respectfully,
WESTCHESTER COUNTY PLANNING BOARD

By: 

Norma V. Drummond
Commissioner

NVD/LH

cc: Lance MacMillan, Regional Director, NYS Department of Transportation, Region 8
Anne Darelus, NYS Department of Transportation, Region 8
Christopher Lee, NYS Department of Transportation, Region 8
Cynthia Garcia, Bureau of Water Supply, SEQR Coordination Section, NYC DEP

Site Design Consultants

Civil Engineers • Land Planners

May 24, 2022

Ms. Robyn Steinberg, Town Planner
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT
MAY 24 2022
TOWN OF YORKTOWN

Re: Underhill Farm, 370 Underhill Avenue, Yorktown Heights

Dear Robyn:

We are in receipt of the comment letter addressed to you dated May 3, 2022 from Norma V. Drummond, Commissioner, Westchester County Planning Board. Unicorn Contracting, Colliers Engineering & Design and Blanchard & Wilson LLP offer the following responses:

1. **Affordable Housing:** The County suggests that the Project implement an affordable set-aside as per the County's Affirmatively Furthering Fair Housing ("AFFH") program. It must be stressed that the Project has been developed in accordance with the Town Code and is fully compliant therein. The County model ordinance regarding affordable units has been repealed by Yorktown and therefore does not apply. With a reduced unit count as requested by the Town, The County's recommended set-aside is not a feasible alternative to the Project.
2. **Need to redesign Saw Mill River Road/Underhill Avenue intersection:**
The Applicant has prepared designs to upgrade the intersection of Saw Mill River Road and Underhill Avenue to improve traffic and pedestrian movements. As described in the Executive Summary prepared for the project and attached, the plans include three (3) separate improvements, which can be completed in phases.

The first phase is to offset the additional traffic generated by the Underhill Farm project and will include signal modifications including video detection and Adaptive Traffic Control, installation of an RRFB controlled crosswalk on Underhill Avenue to provide a connection to the existing sidewalk system as well as other related improvements.

The second plan (Alternate 1) would be to construct left turn lanes on the Underhill Avenue approaches to the intersection and this includes pavement widening and reconstruction to accommodate those lanes. This plan would also involve the reconstruction of the southbound shoulder on NYS Route 118 (which is currently utilized by right turning traffic) to a fully functioning separate right turn lane. As part of this intersection improvement, the traffic signal would be replaced and additional pedestrian crossings on all approaches together with ADA compliant ramps and pedestrian signals would be installed. All improvements would be in conformance with New York State Department of Transportation (NYSDOT) criteria.

The Applicant has indicated that they will contribute up to \$450,000.00 towards this intersection improvement including the detailed design plans such that the Town can move this plan forward

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



This plan will improve traffic and pedestrian movements and accommodate traffic from normal growth in the area and other projects that have been approved.

Additionally, a future Master Plan Intersection Improvement (Alternate 2) is to accommodate other potential development, which could occur in the area including the redevelopment of the Kmart Property as well as others. This plan would add separate left turn lanes on the NYS Route 118 approaches to further increase the intersection capacity. This improvement would require the construction of retaining wall along the Town Hall property and grading easements along the property located on the east side of NYS Route 118. Note that the work completed under Alternate 1 plans would place the traffic signal poles so that they would accommodate the future NYS Route 118 widening and any additional loadings. The Applicant will continue to work together with the Town to advance these improvements.

3. **3a) Complete streets** – there will be walkways and roadways interconnecting the areas in the property, and (2) additional entrances / exits are being proposed as part of project. We are working through discussions with the interconnected roadways with Beaver Ridge, which is in accordance with this objective.

3b) Sidewalks – Sidewalks and walkways will be prevalent throughout the project, however, are not feasible along the perimeter of the site. Sidewalks along Route 118 will lead to nowhere, since it will be a large expense for Beaver Ridge to add and will likely not be done. Also, no access zone on that side of Route 118 for pedestrian traffic.

3c) Parking in front yard – Parking lot will be 4 to 5 feet higher than Route 118 and will be impossible for vehicles to access. Parking is required to be in front of retail space similar to the condition across Route 118 at the recently completed Caremount building.

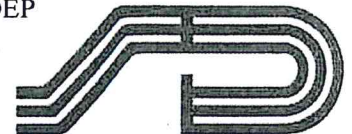
3d) Shared Parking – We are supportive of use of shared parking for this project. Part of the plan consists of offering 30 parking spaces for the future senior center to be built on the Beaver Ridge Property as part of creating an interconnected roadway with Beaver Ridge. Again, we are discussing through access roadway with Beaver Ridge currently.

Please contact us if you have any questions or need additional information. Thank you.

Yours Truly,

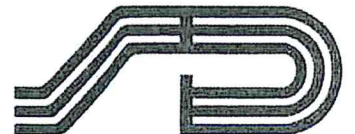

Joseph C. Riina, P.E.

cc: Norma V. Drummond
Lance MacMillan, Regional Director, NYS Department of Transportation, Region 8
Ann Darelius, NYS Department of Transportation, Region 8
Christopher Lee, NYS Department of Transportation, Region 8
Cynthia Garcia, Bureau of Water Supply, SEQR Coordination Section, NYC DEP
Town Board



Town Supervisor
Engineering Department
Planning Department
Town Clerk
Unicorn Contracting
Colliers Engineering & Design
Tim Miller Associates
Blanchard Wilson LLP

JCR / cm / Enc./ sdc 20-20



RECEIVED
PLANNING DEPARTMENT
MAY 27 2022
TOWN OF YORKTOWN

FILE COPY

Yorktown Heritage Preservation Commission

Comments and Questions

In response to

Planning Board Referral Request

For

Applicant Underhill Farm

05 - 26 - 2022

Table of Contents

Planning Board Referral Request	3
Summary	4
Organizational Clarification	5-6
Yorktown Heritage Preservation Commission	5
Yorktown Historical Society	6
Historical Significance of the Underhill Farm Property	7-12
Overall Comments and Questions	13-16
Conclusions	13-14
Recommendations	15-16
Detailed Comments and Questions	17-34
Yorktown Heritage Preservation Commission Consultation and Engagement	17-20
Applicant 1A Literature Search and Sensitivity Assessment & Phase 1B Archaeological Field Reconnaissance Survey – Historical Dropbox	21-21
Applicant April 25 Power Point Presentation – Consultation with New York State Historic Preservation Office for Cultural Resources - Historical Dropbox	22-28
Applicant Architectural Plans Dropbox	26
Applicant Trees Dropbox	26
Applicant Alternatives Analysis – Historical Dropbox	29-32
Applicant Full Environmental Assessment Form March 28 Planning Board Meeting Packet	33-34

Request for Referral – Planning Board to Yorktown Heritage Preservation Commission

Applicant: Underhill Farm

May 4, 2022 Email From R. Steinberg

3. The Board would like your comments on the historical aspects of this project. In those comments you can pose questions or suggest the Board request additional information you think is needed to evaluate the project. We will refer additional materials to you whenever they are submitted. We usually don't refer out as many additional times to outside agencies. For instance, if the Conservation Board was going back and forth with an applicant regarding their wetlands mitigation plan, the Planning Dept wouldn't send revisions of that plan to the DEP and DEC every time the applicant submitted it. We would only send it back out when the Boards were settled on the plan they liked. That could be just in the middle of the review process, but would likely be prior to a public hearing.

-----Original Message-----

From: Robyn Steinberg <rsteinberg@yorktownny.org>

To: John Landi <jlandi@yorktownny.org>; Edward Kolisz <edward@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Louise Kobiliak <louise@yorktownny.org>; David Paganelli <dpaganelli@yorktownny.org>; Anne Anderson <aanderson@yorktownny.org>; Lynn Briggs <lynn1200@aol.com>

Cc: John Tegeder <jtegeder@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>

Sent: Fri, Apr 29, 2022 1:15 pm

Subject: Routing Referral - Underhill Farm / 370 Underhill Avenue; 48.06-1-30

Afternoon,

Attached is a routing referral for the above referenced project for your review and comments. This project is scheduled for the May 9th Planning Board meeting agenda.

All submitted materials can be found in the Dropbox linked below. We have separated the documents into folders by topic that we will keep updated upon each submission and routing. Please view the files that are needed for your review.

<https://www.dropbox.com/sh/2vc6l640bqkqau0/AABxbWxqYdDcHFd-M64svAyRa?dl=0>

Have a nice day,
Robyn

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598
Phone | 914-962-6565
Email | rsteinberg@yorktownny.org
Web | <http://www.yorktownny.org/planning>

Summary – YHPC Review of Applicant Studies and Documents

1. The Yorktown Heritage Preservation Commission (YHPC) is accountable for protecting the Town of Yorktown's historic resources under local code, Chapter 198 Heritage Preservation § 198-1 - § 198-20.
2. The Underhill Farm property is historically significant: it meets four of five local landmarking criteria and has been determined eligible for listing on the State and National Registers of Historic Places by the Office of Parks, Recreation and Historic Preservation (OPRHP).
3. The YHPC has not been consulted during the two-year planning effort but has taken steps to preserve the architecturally and historically significant Underhill Farm property.
4. The Applicant archaeological shovel test standards need to be clarified pursuant to OPRHP guidelines (Section 3.f) and New York Archaeological Council Standards.
5. The Applicant's assessment of the outbuildings was made on visual observation alone, without testing or technical input from a structural engineer and without the determination that they are historically significant and eligible for National Register.
6. The Applicant's Alternatives Analysis concludes that there are no viable alternatives to meet the stated project goals but based on circular reasoning; if the Applicant's goal is to build a 165/148 unit residential complex plus 11K sq. ft. commercial/retail structure at the 13.8 acre property, then it follows that the Applicant would not consider retaining the outbuildings as a viable option to achieve the goals. The effect of the alternatives, including lower density and no-build, needs to be quantified and assessed for the historic property, not the Applicant's project vs. dismissed as not feasible because it did not meet the goal.
7. In the Alternatives Analysis, the Applicant revealed that other properties in Yorktown that "have appropriate size, zoning and allow mixed use" were explored. Please provide copies to the YHPC.
8. Two Applicant studies, previously unavailable to YHPC, need to be made available: a study of the buildings (described by the Applicant at a 02 09 2021 Town Board Meeting and in the 02 18 2021 Yorktown News) and an Additional Information for Alternative Analysis study cited by the Applicant at the April 25, 2022 Planning Board meeting.
9. The Full Environmental Assessment Form is eighteen months old, contains numerous factual errors, and should be updated based on current and accurate information.
10. The Applicant's studies and presentations fail to acknowledge OPRHP's Adverse Effect determination for State and National Registers of Historic Places for the ENTIRE Underhill Farm property and that the determination resulted from the intensity of the construction proposed, the alteration of the historic setting and feeling of the property and the planned demolition of the outbuildings.
11. The Applicant's presentations do not describe how the historic and architecturally significant structures and the historic setting and feeling (landscape) of the property will be respected and preserved consistent with the OPRHP eligibility determination.
12. The Applicant has failed to present an integrated master plan that addresses the OPRHP eligibility designation for the ENTIRE property: mansion, outbuildings, farmland, parklike lawns, stone walls, entry gate, pond, flora/vegetation and trees.

Organizational Clarification – Yorktown Heritage Preservation Commission vs. Yorktown Historical Society

Purpose

This clarification is submitted into the Planning Board record by the Yorktown Heritage Preservation Commission in conjunction with the application for Underhill Farm project. The purpose is to clarify the organizational confusion between the Yorktown Heritage Preservation Commission and the Yorktown Historical Society:

Yorktown Heritage Preservation Commission (YHPC)

- is a Town of Yorktown commission, part of the municipal government, organizationally located in the Planning Department
- members are volunteers and appointed by the Town Board, serving three year staggered terms
- role is to identify, authenticate, preserve and / or save, and create awareness to our robust historic resources; collaborate with residents and the development community to identify practical, reasonable and cost-effective solutions to preservation challenges
- governed by the Model Landmarks Preservation Law for New York State Municipalities (Model Preservation Law) that sets forth the legal framework and body of law for our historic preservation efforts; local preservation law is Chapter 198.0 Heritage Preservation (§ 198-1 – § 198-20) and located at the Town of Yorktown website: <https://www.ecode360.com/6851490>
- recommends land marking to the Town Board who approves or disapproves the recommendations; owner consent is encouraged but not required
- has the sole power to approve or disapprove Certificates of Appropriateness for landmarked structures and to designate Homes of Historic Distinction
- designated as a Certified Local Government (CLG) by Office of Parks, Recreation and Historic Preservation on August 1, 2006; requirements include adopting local preservation law that meets state and federal criteria, a qualified and operational preservation commission, member training, an inventory of historic resources, preservation plan, public outreach programs, and demonstrated preservation results; recertified on March 14, 2017, joining over seventy other CLGs in New York State
- Is funded by a combination of periodic Town budget allocations, program fund raising and grants; maintains a website link at the Town of Yorktown municipal government website and a Facebook page; partners with numerous organizations to deliver programs

Yorktown Historical Society (YHS)

- is a 501c3 non-profit organization
- independent, not organizationally or lawfully connected to the Town of Yorktown government
- comprised of volunteer members who are governed by a Board of Trustees and President, Vice President, Treasurer and Program Manager
- an educational organization established to bring together those interested in the history of the Yorktown
- designs and delivers programs about history with an emphasis on the Town of Yorktown, its hamlets, surrounding towns and communities, Westchester and surrounding counties, and the Hudson Valley
- funded by memberships, donations and corporate sponsorships
- operates a Facebook and Website
- uses Town facilities to deliver programs
- partners with the Yorktown Heritage Preservation Commission to deliver joint programs

Respectfully Submitted

Yorktown Heritage Preservation Commission

May 26, 2022

Historical Significance of the Underhill Farm Property

Purpose

This summary is submitted into the Planning Board record by the Yorktown Heritage Preservation Commission in conjunction with the Applicant's proposed residential development at the historic Underhill Farm property. The purpose is to provide a summary of the historic significance of the property as researched, authenticated and recognized by the Yorktown Heritage Preservation Commission, the Town Board appointed Commission whose role is to identify, authenticate, preserve, protect and/or save Yorktown's historic resources.

Overview of Historical Significance

The Underhill Farm property (also known as the Beaver Conference Center, and Soundview Preparatory School, and now owned by the developer, Soundview Underhill, LLC), is a 13.8 acre parcel at 370 Underhill Avenue, Yorktown, Section 48.01, Parcel 1, Lot 30. The original owners of the Underhill Farm (Flora Villa, aka Floral Villa) were descendants of Captain John Underhill, considered the founder of the oldest and largest Underhill family in the United States, and among Yorktown's oldest families. Underhill Farm property was the cornerstone of the town's agricultural heritage, fueling economic development during the 18th and 19th centuries. The home and its surrounding property are surviving architectural and landscape anchors of the Town of Yorktown and stand as a scenic gateway to the Yorktown Heights Hamlet. The property contributes community character and acts as a showplace of open space and local history to visitors and residents.

Meets Landmark Criteria

After extensive research, the Yorktown Heritage Preservation Commission concludes that Underhill Farm (Flora Villa, aka Floral Villa), meets four (4) out of the five (5) criteria set forth in Section 198-4 of the Town of Yorktown Town Code on historic preservation. This qualifies the main house, seven (7) of the outbuildings, and the 13.8 acres of contributing historic landscape as a candidate for local landmark designation, demonstrating its historic significance to the Town of Yorktown.

Specifically, the Underhill Farm property meets the following landmarking criteria set forth in the Town of Yorktown Preservation Code:

Criterion 1 - Possesses special character or historic or aesthetic interest or value of the property as a part of the cultural, political, economic, or social history of the locality, region, state, or nation - As historic property, for its importance in the formation of Yorktown, its agricultural legacy, its economic development and its transition into an industrialized municipality as well as its later uses as an internationally recognized conference center specializing in social and political discourse, and as a private school serving students who flourish in small, non-competitive supportive settings.

Criterion 2 - Is identified with historic personages - For its direct association with Captain John Underhill, a leading figure in the settlement of colonial America, founder of the largest Underhill family in the U.S. and Canada, and his descendants who were instrumental in the development of Westchester County and central New York. For Abraham I. and Edward B. Underhill's settlement, agricultural, economic, and civic development of Yorktown. As well as for Edward B. Kear's civic leadership, and Gilbert and Jean Beaver's humanitarian and social justice activism.

Criterion 3 - Embodies the distinguishing characteristics of an architectural style - For the main house as an intact example of a Federal-style farmhouse later transformed into a large Italianate-style residence reflecting the evolution of changing architectural tastes in the second half of the nineteenth century. For the interior's retention of period historic details such as substantial woodwork within the bay windows and arched entrance ways, moldings and trims at the doors, windows, fireplace surrounds, staircase banister and newel posts and plaster ceiling medallions.

Criterion 5 - Because of the unique or singular physical characteristic, represents an established and familiar visual feature of the neighborhood - For the overall 13.8-acre farmland, the historic landscape features, including a small pond, outbuildings (a former summer kitchen/root cellar, three residential cottages, a carriage house/horse barn, a chapel with bell tower, and carpenter's workshop), parklike lawns, mature trees, surrounded by stone walls, retain period integrity to the property's past agricultural history. For its importance as a scenic gateway to Yorktown, and the setting of one of the Town's architectural treasures, the historic Italianate mansion. As well as its almost 225 years of largely undeveloped and unaltered history, remaining much as depicted in the 1880's etching reproduced in Thomas Scharf's 1886 *History of Westchester County*.

Related Recognition

1. On May 10, 2020, the Yorktown Heritage Preservation Commission advised the Town Supervisor that the Commission was partnering with the Soundview Preparatory School to landmark the Underhill Farm property.
2. On June 9, 2020, following a presentation of the history of the property, the Town Board authorized the Commission to apply for a grant application to the William G. Pomeroy Foundation to recognize the property's historic significance with a roadside marker. *Note: The Foundation declined the application on January 22, 2021, because the property had been sold and the land permission letter from the Soundview Preparatory School board was no longer valid.*
3. On March 11, 2021, the YHPC emailed the Town Supervisor to:
 - a) clarify a Yorktown News article that the Design District Overlay Zone was not necessary to provide protections for historic properties (Section 198 of the landmark code does) and

b) remind town leaders that the YHPC was in the process of preparing the landmark application for the Soundview Preparatory School/Underhill Farm in early 2020, and

b) recall that the YHPC presented the property history to the Town Board on June 9, 2020, who approved our grant application to the William G. Pomeroy Foundation for a roadside marker to recognize the property's historical significance and to

c) be aware that the Underhill Farm property meets local landmark criteria and that the YHPC would like to partner with Unicorn and the Town of Yorktown to explore doing so

A further update by the YHPC indicated that until all the developer studies were completed, the Commission was allowed access inside the structures, and received the results of Commission initiated studies, the YHPC would not be in a position to determine what was worthy of landmarking consideration.

4. On April 24, 2021, the YHPC submitted an application to the Office of Parks, Recreation and Historic Preservation Office, requesting an eligibility determination of the Underhill Farm property for listing on the State and National Registers of Historic Places.

5. On May 26, 2021, the OPRHP informed the YHPC that the Underhill Farm property was determined eligible for listing in the State and National Registers of Historic Places, under:

-Criterion A for Abraham and Edward B Underhill's contributions to the settlement, agricultural and economic development of Yorktown.

-Criterion C in the area of architecture as an intact example of a Federal-style farmhouse transformed into a large Italianate-style residence reflecting the evolution of changing architectural tastes in the second half of the nineteenth century.

The mansion, outbuildings, farmland, parklike landscape and stone walls all contribute to the property and retain historic integrity.

6. On May 27, 2021, an *Adverse Effect* finding was issued by Derek Rohde, of the New York State Office of Historic Preservation under Section 106 of the National Preservation Act of 1966, for the Underhill Farm property, 370 Underhill Avenue. **With the "intensity of the construction proposed the setting and feeling of the property would be significantly altered. We further note that the majority of outbuildings on site are proposed for removal. Under the provisions of Section 106 of the National Preservation Act of 1966, demolition of historic resources is deemed an *Adverse Effect*."**

7. On August 24, 2021, Derek Rohde, OPRHP, acknowledged a review of the Applicant's alternatives analysis dated July 2021 for proposed work at Underhill Estate property **to remove an Adverse Effect finding or minimize harm to the historic property.** He was pleased to learn that the mansion building will be retained and rehabilitated with the ice pond being restored, but stated that the project proposes demolition of seven contributing buildings and extensive

changes to the historic setting. **Due to these impacts, OPRHP reconfirmed the project remains Adverse to historic resources, and requested additional alternatives be explored.**

8. On October 18, 2021, the New York State Office of Historic Preservation officially amended its *Adverse Effect* finding from Section 106 of the National Preservation Act of 1966 to Section 14.09 of the New York State Preservation Law of 1980 for the Underhill Farm property, 370 Underhill Avenue. With the "intensity of the construction proposed the setting and feeling of the property would be significantly altered. We further note that the majority of outbuildings on site are proposed for removal. Under the provisions of Section 14.09 of the New York State Historic Preservation Law, demolition of historic resources is deemed an *Adverse Effect*."

9. On October 29, 2021, OPRHP declared that based on a review of the alternatives analysis, it concurred with the local determination that there are no prudent and feasible alternatives to the development proposed; however, our Adverse Effect finding remained unchanged and it was recommended that the parties proceed with the development of a Letter of Resolution (LOR) that would outline specific mitigation plans to offset the impacts that the proposed demolition and new construction will have on the Estate.

10. On March 21, 2022, OPRHP issued a letter to the Town of Yorktown Director of Planning, Planning, the DEC Preservation Officer, and Unicorn Contracting owner, indicating that:

a. it had come to the attention to the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP) that the State Environmental Quality Review Act (SEQRA) process for this project had been initiated

b. OPRHP will allow for public comment and for potential updates to the alternatives analysis for the National Register eligible Underhill Estate

c. the Letter of Resolution (LOR) will remain open throughout the SEQRA process and be reviewed and executed at the end of the process

11. Underhill Farm (former Flora Villa and Beaver Conference Center) is recognized by the Town of Yorktown as worthy of historic recognition:

a. In the 2006 Town of Yorktown Reconnaissance - Level Historic Resources Survey conducted by Neil Larson & Associates, Underhill Farm was identified as a significant historic resource in the town and a vital component of Yorktown's heritage.

b. The Town of Yorktown 2010 Comprehensive Plan lists the Beaver Conference Center (aka Flora Villa, Soundview Preparatory School), Section 6, Scenic & Historic Preservation, as a candidate for nomination to local and/or state registers of historic places, in association with Town History, page 6-8 and 6-19.

12. Outbuildings fabricated contemporaneously with the original farmhouse and Italianate wing reflect the agricultural history of the property:

a. one may be the former boyhood home of historically important Yorktown civic leader, Edward B. Kear, who served as Yorktown Supervisor, Town Clerk, Justice of the Peace and Justice of the Courts of Sessions, as well as County Registrar of Deeds. In addition, he founded the Yorktown Telephone Company and served as one of its directors.

b. Henry C. Kear, foreman of the Underhill Farm and his wife, Catherine, the housekeeper, lived on the farm. Edward B. Kear was mentored by Edward B. Underhill who bequeathed a portion of his estate to him, and in 1907, Kear purchased an additional plot of land, once part of Edward B. Underhill's estate, and built a large home for his family on the same street on which he always lived, today called Underhill Avenue. His home, one of the last grand Victorian homes built around the town center is recognized as one of Yorktown's Homes of Historic Distinction.

c. The chapel, featuring a bell tower, was originally an ice house. In the winter, chopped ice from the pond was brought to the building and stored for the Underhill family. Jean Beaver, co-founder of the Beaver Conference Center, turned the building into a chapel; community weddings and funerals were held in the chapel. Later, the Soundview Preparatory School used the building as a music conservatory and recording studio.

d. Peace Hall, once considered the center of the farm, housed smaller farm animals, including lamb; eggs and milk were sold from this structure to Yorktowners and transported on the train to New York City and surrounding areas. The Beaver Conference Center used the hall for a residential cottage and for retreat meetings and programs, hence the name Peace Hall. Soundview Preparatory School called this the Soundview Playhouse. Chapel pews were moved into this structure.

13. There are approximately thirty documented biological and genealogical connections between the Underhill lineage and local prominent abolitionists during the Underground Railroad period. For example, there is evidence that Underhill Farm owner, Abraham I. Underhill's younger brother, Joshua, harbored fugitives from slavery. Further research is underway to conclude whether the Abraham I., his wife Rebecca, or his son Edward B., had direct activity related to the Underground Railroad.

14. Using available low-cost labor in the mid-19th century, Edward B. Underhill oversaw the removal of acres and acres of rocks and stones from the land to erect the substantial stone walls which still border the parcel today. Roughly one hundred and eighty years later, the stone walls still stand firm, retaining period integrity to the property's past agricultural history.

15. There are several first-hand accounts of tunnels existing on the property, including the former caretaker and family members and former employees of the Building Department.

16. There is also a pond on the property built by Edward B. Underhill in 1867. It provided a naturally regenerating source of water for farm irrigation, hydrating the livestock, providing bathing water for the residents, as well as a source for ice for food storage. During the Beaver

Conference Center era, the management team initiated an experimental project with the DEC to stock the pond with Asian carp to mitigate algae formation, with agreement to regularly account for the carp and block their migration into the Croton Reservoir.

17. There have been no major developments on the estimated two-hundred year-old property making it a likely candidate for archeological research into the transitory period between the 18th and 19th centuries and industrialization of the Town of Yorktown.

18. The property is historic in multiple ways. It is important to the history of Yorktown, of Westchester County and of New York State. The Underhill family and their properties provided valuable services during the American struggle for independence in the Revolutionary War. During the march to victory in 1781, thousands of French forces under the comte de Rochambeau bivouacked in Yorktown, on or near the property owned by Abraham and Edward Underhill. Research is underway to determine whether there were encampments on the Underhill property, and if so, whether there is also archaeological value (artifacts and/or or hallowed grounds) in addition to architectural and historic significance to the property. On the return march from victory in Virginia in 1782, Rochambeau and his almost 6,000 officers and men encamped in the area for four weeks, making this one of the longest encampments of French forces in the United States.

Dr. Robert A. Selig, preeminent scholar of the Washington-Rochambeau Revolutionary Route, is currently working on documentation of the Revolutionary War era and Washington-Rochambeau National Historic Route connections to Yorktown and this property, including a comprehensive narrative of historical significance of the French encampments in Yorktown. This research is also vital to support the national, state, county and local commemoration of our nation's 250th anniversary of the Declaration of Independence in 2026, only four years from now.

Respectfully Submitted
Yorktown Heritage Preservation Commission
May 26, 2022

Overall Comments and Questions - Planning Board Referral Request of YHPC to Review the Applicant's Studies, Documents and Letters

I. Conclusions

Yorktown Heritage Preservation Commission Consultation and Engagement

1. The Yorktown Heritage Preservation Commission (YHPC), the Town Board appointed commission whose mission is to preserve and protect Yorktown's historic resources based on local preservation law, Section 198.0, has not been consulted during the nearly two year-long development planning but has taken steps to preserve the historically and architecturally significant Underhill Farm property.

Applicant Studies and Documents

Archaeological Study – 1A Literature and Sensitivity Assessment

1. The Applicant's literature and sensitivity study does not acknowledge the French encampments, a potentially significant Revolutionary War event in the proximity of the Underhill Farm property.

Archaeological Study - 1B Reconnaissance Survey

1. It is unclear what archaeological shovel test standards the Applicant used and how they compare to OPRHP guidelines (Section 3.f) and New York Archaeological Council Standards.

2. It appears that almost half of recorded shovel tests were not excavated; some shovel tests that were excavated were not discussed in the report and there are no artifact photos to verify analysis or the tests.

3. There appears to be discrepancies between the test records and what is captured in the catalog.

4. The studies do not provide archaeological signatures (foundations, likely uses of the outbuildings, period of significance) for all of the structures and landscape elements relevant to the historical development /evolution of the property (1780's to 1820's to 1886 lithograph to present).

Building Conditions Assessment

1. The Applicant provided a two page "Building Summary," of the structures on the property without information regarding the credentials of the individuals performing the assessment, methodology, and detailed findings supporting the summary, conclusions and claims that the outbuildings should be demolished.

2. In the Building Summary, the Applicant repeatedly states that "based on the goals of the project," (construction of 165 residential units in 13.8 acres), demolition of the outbuildings is proposed. There would be no expectation for the Applicant's consultant to reach any other conclusion in light of the developer's goals.

3. The May 9, 2022 Power Point Applicant presentation of the structures contains numerous speculations and presumptions about the condition, age, use of the outbuildings without documented evidence or proof.

Alternatives Analysis

1. This claim was reasserted in the Applicant's Alternatives Analysis: "based on the overall goals of the project," (building of 165 apartments, condominiums, and townhomes), it is "not feasible to incorporate or adaptively reuse the barns and outbuildings with the Floral Villa Estate property." Further, the Applicant revealed that the assessment of the condition of the outbuildings was completed visually; no structural analysis or testing was undertaken.

2. Further, the Applicant's Alternatives Analysis is largely unsupported assertions that have no demonstrated proof or evidence in quantitative fact. See detailed comments and questions.

3. The Applicant references "Additional information for Alternatives" but this information is not provided.

Full Environmental Assessment Form

1. The Full Environmental Assessment Form is eighteen months old, and contains numerous errors, including answering NO to Question E.3.e:

-Does the project site contain, or is it substantially continuous to, a building, archaeological site or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible on the State Register of Historic Places?

Applicant Assessments and Plans

1. The Applicant's studies and presentations fail to acknowledge OPRHP's Adverse Effect determination for the ENTIRE Underhill Farm property and that the determination is for the intensity of the construction proposed, the alteration of the historic setting and feeling of the property and the planned demolition of the outbuildings.

2. The Applicant's presentations do not describe how the historic and architecturally significant structures will be respected and preserved consistent with the OPRHP eligibility determination.

3. The Applicant's presentations fail to describe how the historic setting and feeling (landscape) of the Underhill Farm property will be preserved consistent with the OPRHP eligibility determination.

4. The Applicant has failed to present an integrated master plan that addresses the OPRHP eligibility designation for State and National Register of Historic Places for the ENTIRE property: mansion, outbuildings, farmland, parklike lawns, stone walls, pond, vegetation/ trees.

Respectfully Submitted

Yorktown Heritage Preservation Commission

May 26, 2022

II. Recommendations

As indicated in the Planning Board referral request, the Yorktown Heritage Preservation Commission requests additional independent assessments by licensed professionals in specialized areas indicated below:

A. Potential Archaeological Value:

1. Verify Applicant's colleague certifications meet OPRHP archaeology standards and requirements

Deliverable: OPRHP Requirements and Individual Applicant/Proof of Compliance

2. Hire an experienced National Parks Service (NPS) metal detectorist trained and certified in AMDA, Advanced Metal Detecting for Archaeologists (training offered by the Register for Professional Archaeologist (RPA) and recognized by NPS as the minimum requirement for working on battlefield and military sites

Deliverable: Metal Detector Study-rule out French Encampment artifacts

3. Conduct subsurface scanning study to assess the potential existence of underground tunnels

Deliverable: Ground Penetrating Radar Report – rule out underground tunnels

4. Clarify the OPRHP shovel test standards and methodology and how the Applicant's study results meet the NYAC standards and methodology

Deliverable: Recertification of Shovel Test Results and Documentation Compliance

5. Complete an archeological signature study (size, use, period of significance: e.g. root cellar or detached furnace?)

Deliverable: Identification of Archaeological Signatures for each structure and landscape during evolution of the property

B. Historic and Architecturally Significant Resources:

1. hire a licensed structural engineer

Deliverable: Current Conditions Report completed by a structural engineer based on comprehensive structural and technical analysis and testing (vs. visual inspection)

2. hire a licensed preservation architect

-vernacular farm house and Italianate 19th century main mansion

-outbuildings

Deliverable: Character Defining Features and Impact Analysis, Lower Density Alternatives, Including Financials (ROI on lesser densities), Alternate Siting Options, Modeling / Visual Impact Study

C. Overall Property Setting and Feeling (landscape and all associated elements):

1. hire a historic landscape architect with a proven track record/experience in cultural resource landscaping, heritage planting and biodiversity (Vis a Vis Floral Villa lithograph)

Deliverable: Cultural Landscape Plan, including period of significance and management plan

- park like land
- open space
- trees
- flora and fauna
- pond
- wetlands
- stone walls
- entry gate

With the above inputs, the Yorktown Heritage Preservation Commission recommends collaborating with the Town of Yorktown and Soundview Underhill LLC, to develop an economically sustainable solution that recognizes and protects the Underhill Farm's unique heritage and the entire historic property and enhances the community's quality of life for generations to come.

Respectfully Submitted
Yorktown Heritage Preservation Commission
May 26, 2022

Detailed Comments and Questions – Yorktown Heritage Preservation Commission Consultation and Engagement

1. The Yorktown Heritage Preservation Commission (YHPC), the Town Board appointed commission whose mission is to preserve and protect Yorktown’s historic resources based on local preservation law, Section 198.0, has not been consulted during the nearly two year-long development planning effort but has taken steps to preserve the historically and architecturally significant Underhill Farm property.

2020

1. On May 10, 2020, the Yorktown Heritage Preservation Commission (YHPC) advised the Town Supervisor that the Commission was partnering with the Soundview Preparatory School (AKA Underhill Farm) to landmark the property.

2. On June 9, 2020, the YHPC, partnering with the Soundview Preparatory School history teacher, presented the history of the Underhill Farm property to the Town Board; the Town Board authorized the Commission to apply for a grant application to the William G. Pomeroy foundation for a roadside marker to recognize the property’s historic significance.

Note: The Foundation declined the application on January 22, 2021, because the property had been sold and the land permission letter from the Soundview Preparatory School board was no longer valid.

3. On August 28, 2020, YHPC sent the Town Supervisor an email link: Soundview to sell campus, adding. “...Do you have any perspective on the potential developer’s plans for the property or structure....preservation /restoration of the existing structures vs tear down and development?”

4. Received the Town Supervisor’s same day August 28, 2020, response: “We haven’t seen a proposal but obviously protecting historical assets and open space will be our priority.”

5. On December 9, 2020, during our monthly YHPC meeting, the Commission discovered Unicorn’s plans for 165 residential units, demolition of the outbuildings, removal of hundreds of trees, and addition of 20K sq. ft. office and retail space to be added; there was no mention of historic preservation plans.

6. On December 10, 2020, the Town Supervisor telephoned the YHPC Chair to say that the developer had just filed the application / plan with Planning, erroneously, as if the project was approved, without the proper “due diligence” and “refer out” to appropriate interested parties.

The Chair indicated that the YHPC saw the developer’s plans, under the Approved link at the developer’s website, and expressed concern that any plans to preserve the historically and architecturally significant property were absent.

The Supervisor assured the Chair that:

- “YHPC would have a “seat at the table” and
- that there would be no end runs or process steps executed without us and
- that it was day zero of the process and we will be a part of it.”

7. Two weeks later, at the December 21, 2020 Planning Board meeting, the developer presented a pre-preliminary application, stating:

“Through a public/private partnership with the Town of Yorktown, parts of the building will serve as a historical and multi-purpose center with public access. “

At this meeting, the developer expressed thanks to the Planning team for the extensive assistance they had provided in developing the plan so far.

The YHPC had no knowledge of this partnership --as a historical and multi-purpose center--nor was consulted or engaged in this planning.

2021

1. On January 6, 2021, the YHPC Chair personally telephoned the Applicant, Mr. Paul Guillaro, and introduced the YHPC, offering to share the history of the property, the mansion and outbuildings, to work together.

2. Within a day or two, Mr. Guillaro’s property manager, Terrence Murphy, contacted the former history teacher at Soundview Preparatory School and obtained the historical review of the property.

3. In a January 21, 2021 article in the Yorktown News, the YHPC communicated this offer:

“The Yorktown Heritage Preservation Commission urges Unicorn Contracting and the Town of Yorktown to reexamine their plans for this site, consider preserving some of the historic farm’s adjacent outbuildings, and most of all, modify its density. There is room for residential dwellings on the property while still maintaining much, much more open, park-like space at this lovely entrance to our hamlet.”

4. On January 23, 2021, the YHPC was invited to tour the Underhill Farm site; none of outbuildings or the main buildings were open due to COVID; the tour guide, Mr. Joe Riina, advised that the wood from the two barn outbuildings was already committed to a reclaimer in Mt. Kisco and Mr. Riina was not familiar with any historic preservation plans for the property.

5. Subsequently, the YHPC requested return visits to observe the interior of the structures, on 1/26, 2/4, 2/12 and 3/1 and received no response from Planning.

6. At the February 9, 2021 Town Board meeting, Underhill Farm owner, Mr. Paul Guillaro announced that that an assessment of the buildings on the property had been completed. The YHPC contacted Planning on February 12, 2021 to obtain a copy, and asked if any more studies

were to be conducted. The YHPC was advised, “we only know what he said at the meeting... we don’t have anything.”

7. On March 1, the YHPC contacted Planning and asked, “In the Yorktown News February 18 issue, Mr. Guillaro is quoted and it states: ‘All the other structures are either in poor condition or are modified to the point where they do not have much historical value any longer’ ...; the YHPC asked, “who commissioned Hudson Valley Cultural Resource Consultants to survey the buildings. Would it be possible to obtain a copy of this study for the HPC?” The YHPC received no response.

8. On March 11, 2021, the YHPC emailed the Town Supervisor to:

a) clarify a Yorktown News article that Design District Overlay Zone law was not necessary to provide protections for historic properties (Section 198 of the landmark code does) and

b) remind town leaders that the YHPC was in the process of preparing the landmark application for the Soundview Preparatory School/Underhill Farm in early 2020, and

b) recall that the YHPC presented the property history to the Town Board on June 9, 2020, who approved our grant application to the William G. Pomeroy Foundation for a roadside marker to recognize the property’s historical significance and to

c) be aware that the Underhill Farm property meets local landmark criteria and that we would like to partner with Unicorn, the Town to explore doing so

As a follow-up, the YHPC indicated that until all the developer studies are complete, the Commission was allowed access inside the structures, and received the results of Commission initiated studies, the YHPC would not be in a position to determine what was worthy of landmarking consideration.

10. On April 24, 2021, the YHPC submitted an application to the Office of Parks, Recreation and Historic Preservation (OPRHP) for eligibility determination of Underhill Farm property to the State and National registers of historic places (owner approval not required).

11. On May 26, 2021, the YHPC received notification that OPRHP had declared that the ENTIRE Underhill Farm property (13.8 acres, farmland, park like landscape, pond, stone walls, outbuildings, vernacular farm house, 19th Italianate main mansion) eligible to the State and national register listing of historic places.

12. On May 27, 2021, an *Adverse Effect* finding was issued by Derek Rohde, of the New York State Office of Parks, Recreation and Historic Preservation under Section 106 of the National Preservation Act of 1966, for the Underhill Farm property, 370 Underhill Avenue. With the "intensity of the construction proposed the setting and feeling of the property would be significantly altered. We further note that the majority of outbuildings on site are proposed for removal, confirming an Adverse Effect finding...Consulting parties should be invited to participate in the process. Please note that the Yorktown Heritage Preservation Commission

and the Underhill Society of American, Inc., may be interested in being included as consulting parties as required under 36 CFR Part 800.2.”

13. On October 29, 2021, OPRHP declared that based on its review of the alternatives analysis, the State concurred with the local determination that there are no prudent and feasible alternatives to the development proposed at the Underhill Estate property; the Adverse Effect finding remained unchanged and it was recommended that the parties proceed with the development of a Letter of Resolution (LOR) that will outline specific mitigation plans to offset the impacts that the proposed demolition and new construction will have on the Estate....”we encourage working with the local preservation community to develop additional meaningful and creative mitigation measures.”

14. On several occasions throughout 2021, and into February, 2022, the YHPC contacted OPRHP to express an interest in the status of the Underhill Farm Project, 21PRO02382, with our role in municipal government, be a participant in the historic preservation and planning process, consistent with federal and state preservation law.

15. On March 21, 2022, OPRHP’s Director of Technical Preservation Services Bureau issued a letter to the Town of Yorktown Director of Planning, the DEC Preservation Officer, and the owner of Unicorn Contracting, indicating that:

a) It has come to the attention to the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP) that the State Environmental Quality Review Act (SEQRA) process for this project has been initiated. To allow for:

b) public comment and for potential updates to the alternatives analysis for the national Register eligible Underhill Estate

...OPRHP will review and execute the Letter of Resolution at the completion of the SEQRA review process.

Respectfully Submitted
Yorktown Heritage Preservation Commission
May 26, 2022

Detailed Comments and Questions - Phase 1A Literature Search and Sensitivity Assessment and Phase 1B Archaeological Field Reconnaissance, January 2021 – Historical Dropbox link

1. In the 1A study, in the historical context section, page 12, the study fails to acknowledge a significant historical event: the existence of the French encampments during the Revolutionary War in Yorktown in the very geographic area where the Underhill Farm property is located (several thousand French Army troops camped here in 1781).

In the 1B study, it states that Franco Zani Jr. supervised the study.

Questions:

Who is Franco Zani, Jr. and what are his credentials vis a vis OPRHP requirements?

2. Sixty-five shovel (27%) tests were not excavated of our calculations of 240. Another forty-three (18%) were terminated due to tree roots, drainage pipes. This is 108 out of 240 or 45% or almost half were not undertaken.

Questions:

What number of shovel tests and at what intervals does the OPRHP and NYAC standards and methodology require for this property area and sensitivity area? 50 feet, 25 feet? How does the Applicant study compare to the standards?

3. Test 63 bricks at depth and Test 98 historic driveway: are these archaeologically significant? Possible foundation? part of the landscape? period of significance? Not discussed in report.

4. There are several artifacts found in the testing but not recorded in the catalog, e.g. discrepancies between test records and catalog.

-Pearl ware (c. 1780-1820) noted in test B-A-6, not in the catalog

-B-A 17 pipe bowl

-B-B 2 horseshoe discarded?

-B-h1 pearl ware

-B-J 3 pearl ware

5. There is no quantitative summary of the shovel test results to support the conclusion: "the proposed undertaking will not affect significant archaeological deposits. In the opinion of HVCRC that no additional archaeological investigation are warranted for the proposed Project."

Questions:

How can this conclusion be derived when 45% of the shovel tests were not completed?

Detailed Comments and Questions - Power Point Presentation, Consultation with New York State Historic Preservation Office for Cultural Resources, April 25, 2022 - Historical Dropbox link

Reference the Page Labeled Investigations and HHPO Review, our count page 2

It states that Philip Perazio of OPRHP indicated “No archaeological concerns regarding this project.” Further, in the April 27, 2021 letter from Philip Perazio to Tim Miller Associates, it states: “Based on the information provided, we have no further archaeological concerns.”

In the historical context of the Applicant’s study, the study fails to acknowledge a significant historical event: the existence of the Revolutionary War encampments in Yorktown in 1781 in the very area of the Underhill Farm property.

Questions:

1. Why was the study prepared for Tim Miller Associates vs. the property owner, Soundview Underhill, LLC (Unicorn Contracting)?

2. How does the Applicant propose to rule out, prior to any survey, any potential archaeological value of the full Underhill Farm property associated with the French encampments?

In interviews with Underhill Farm employees and people familiar with the property, they report the existence of tunnels on the property.

Question:

1. How does the Applicant propose to rule out, prior to any excavation, the existence of tunnels and potential archaeological value?

2. Full Environmental Assessment Form, Question E2.g. Are there any unique geologic features on the project site? Answer is No. Are there?

Respectfully Submitted

Yorktown Heritage Preservation Commission

May 26, 2022

Detailed Comments and Questions – Power Point Presentation – Consultation with New York State Historic Preservation Office for Cultural Resources, April 25, 2022 - Historical Dropbox Link Continued

Reference the Page Labeled Investigations and SHPO Review, our count pages 2-4, and SHPO letter

It states: “On May 27, 2021, Derek Rhode of (OPRHP) reviewed the proposed project and indicated that Floral Villa “also known as the Underhill Estate and Soundview Preparatory School, is eligible for listing in the State and National Registers of Historic Places.

The determination letter further states “The mansion, outbuildings, farmland, parklike lawns and stone walls all contribute to the property and retain integrity. Our office has reviewed the proposed development of the property. **With the intensity of construction proposed the setting and feeling of the property would be significantly altered. Under the provisions of Section 106, demolition of historic resources is deemed an adverse effect.”**

Questions:

- 1. Why did the Applicant fail to include the OPRHP letter determining that the Underhill Farm was eligible for State and National Register of Historic Places?**
- 2. Why did the Applicant fail to acknowledge that THE ENTIRE Underhill Farm is eligible for listing on the State and National register of historic places?**
- 3. Why did the Applicant fail to acknowledge that the “intensity of the construction proposed and setting and feeling of the property” and the demolition of the outbuildings result in an OPRHP Adverse Effect finding for the entire property?**

The May 27, 2021 letter from OPRHP (Derek Rhode) states that “During the Section 106 process, consulting parties should be invited to participate in the process. Please note that the Yorktown Heritage Preservation Commission and the Underhill Society of America, Inc., may be interested in being included as consulting parties as required under 36 CFR 800.2.”

Questions:

- 1. Why did the Applicant fail to reach out to YHPC for consultation in May 2021?**
- 2. Why didn’t the Planning Department (who date stamped the letter in a day later, May 28, 2021), where YHPC organizationally resides, refer the letter to the YHPC for consultation?**

The Applicant’s Power Point presentation further states: “August of 2021 Derek Rhode of (OPRHP) reviewed the Alternatives Analysis and requested additional information.”

Questions:

What “Additional Information” was provided? Please post a copy of this “study” in the Dropbox for review and comment.

From November 2021 through February 2022, the Applicant engaged in several mitigation discussions with OPRHP; on March 21, 2022, “Nancy Herter (OPRHP) indicated the LOR (Letter of Resolution) would be executed after the completion of the SHPO process.”

Questions:

1. This is incorrect. The Herter letter states that “OPRHP will review and execute the Letter of Resolution at the completion of the SEQRA review process.”

2. Why did the Applicant fail to engage both local municipal entities accountable for preservation, Planning Department and the YHPC, in the discussions, first to exhaust all possibilities to avoid the adverse impacts, and second to explore alternatives to reduce adverse impacts before directly pursuing the last resort option, mitigation, with OPRHP?

3. Explain how it is possible that the Applicant drafted and sent proposed mitigation plans to OPRHP for a 165 unit apartment/condo development in July 2021 for the Underhill Property without involving Planning and the YHPC and before:

- the Town Board adopted the PDDOZ law on December 28, 2021, enabling the zoning to be changed from Single Family Residential to Multi family? And before

-the Town Board adopted the resolution on February 22, 2022 qualifying Underhill Farm as the first applicant under the PDDOZ law?

Mansion Building (our page count 6)

The Applicant’s plans have been presented in a fragmented fashion, making it challenging to understand the integrated master plan, and the interrelationships and hierarchy, that addresses the ENTIRE property that OPRHP determined eligible for National Register. To illustrate:

The Applicant indicates that:

-the Mansion will be rehabilitated,

-the exterior will be retained,

-historic features of the interior are planned to remain,

-the interior will be rehabilitated on bringing the Mansion up to current building code

-the proposed rehabilitation efforts are a principal aspect of this overall project

These are broad and general statements which offer no clarity or specificity regarding the architectural standards, character defining features, plans or details for how any of these efforts will be accomplished.

In addition, the Applicant has indicated that the interior of the main mansion is going to be:

- parts of the building will serve as a historical and multi-purpose center with public access
- a coffee shop
- a cafe
- a restaurant
- an inn on the second and third floors
- a regional 8 room inn
- offices for the Yorktown Historical Society
- Town of Yorktown offices
- conference room spaces
- Town of Yorktown administrative services
- home of the Yorktown Museum

There continues to be a great deal of fluctuation and uncertainty regarding the Applicant's internal plans.

In addition, the Applicant has publicly committed \$1M to:

- preserve the Underhill Mansion
- restore Captain Underhill House,
- rehabilitate the Underhill House

It is unclear how the planned investment is going to be used.

Ancillary Buildings (our count page 7 and two page consultant letter)

The Applicant indicates that the outbuildings should be demolished or removed and are not salvageable due to structural issues.

Questions:

1. What professional credentials and experience does the Applicant possess to assess the structural integrity of the buildings and make these claims, especially based on visual inspection?

2. What is the two page letter based on? Is there a more in depth study? If so, please make it available for review and comment.

Setting (our count page 8)

The Applicant states that the "existing landscape setting will be preserved to the extent possible--the routes of the existing driveways, lawn spaces and the pond will be retained. New paths will be designed in a curvi-linear fashion to resemble the historic layout. Parking locations have been determined in consultation with the town of Yorktown. Trees that need to

be removed will be replaced in kind. Changes to the vegetation will be subject to Town of Yorktown ordinances.

Questions:

- 1. What does “to the extent possible” mean?**
- 2. What does preserve mean?**
- 3. What existing driveways, lawn spaces and pond (all or part) will be retained?**
- 4. What is landscape plan that integrates this all together in light of the OPRHP state and national register eligibility determination for the historic setting and feeling of the entire Underhill Farm property?**

Architectural Plans – Dropbox link

The Applicant has produced renderings, floor plans and elevations for apartments, condominiums and townhomes. No information is provided regarding character defining features that will be retained or impacted and how nor are there specific plans for the overall proposed development: buildings (exterior and interior) and all of the elements that make up the historic setting and feeling of the property.

Trees – Dropbox link

The Applicant has stated that there are 703 “protected trees” on the 13.78 acre Underhill Farm property. Approximately 523 of these trees would need to be removed for the proposed development (approximately 10.9 acres, about 80% of the total acres). The Applicant did not acknowledge that the Underhill Farm property is an historic cultural resource / landscape nor that the ENTIRE property was designated by OPRHP as eligible for State and National Register listing.

The Applicant indicates that a final landscaping and tree replacement plan has not yet been completed. The Applicant is proposing a detailed invasive species management program for the property and a landscaping plan that will incorporate a number of native species into the landscape.

A preliminary landscape plan has not been presented.

Questions:

- 1. The Applicant has indicated that a “world- renowned architect designed the project” and an “award winning team of architects, engineers, and historic preservation and environmental experts” created the Underhill Farm plan.**

Please identify who these individuals are, their firms, credentials and the specific world recognition / awards they have received in their respective fields.

- 2. What specific historic restoration experience does the Applicant have (Soundview LLC / Unicorn contracting, Inc.)? ...that is, similar to the proposed Underhill Farm project –**

respecting the architectural and historical significance of its focal point—in this case, 19th Italianate structure--while surrounding the showplace with the “intense” construction per OPRHP of a 148 residential complex of three story condominiums and apartments while simultaneously juxtaposing a four story 11K sq. ft. commercial and retail building next to it?

Please describe the project(s), location, name of the restoration architect and credentials, the project objectives and the end results (demonstrate how the historic and architectural integrity of the center piece was preserved).

3. The Underhill Farm is a cultural resource and presents as a powerful gateway and enduring cultural landscape to the community. Please provide a list of ALL of the character distinguishing / defining features (visual and physical) the Applicant is addressing with the Underhill Farm development project? Include but not limit to:

-exterior of buildings (style, size, shape, roof, roof features, windows, doorways, porches, materials, opening, trim, shutters, gables, etc.)

-interior of buildings (related spaces, stairways, fireplaces, mantles, plaster ceiling medallions, molding, lighting, hardware, individual important space, materials and finishes

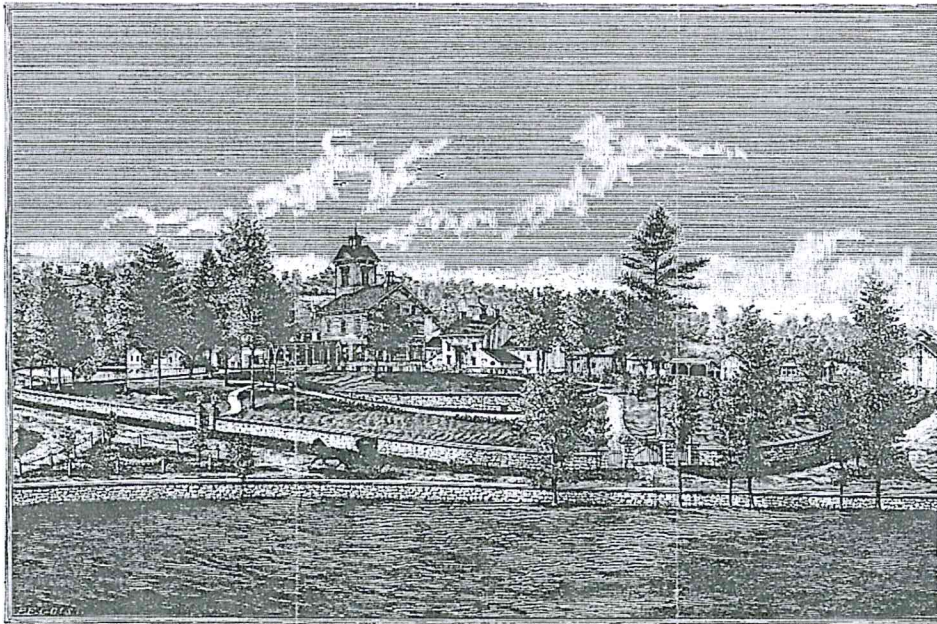
-setting and feeling (topography, relationship to adjoining streets, importance of side projections, stone walls, pond, entry gate, plantings, vegetation, pathways/walkways, etc.)

4. For each of these character defining features, indicate which will be retained?

5. For each of the character defining features, indicate which will be impacted and describe how?

6. What are the architectural plans and timing for construction of the 11K sq. ft. commercial/retail building?

7. What specific architectural plans will address how the 19th century focal point Italianate main mansion will be respected vis a vis the surrounding 148 units of apartments, condos and townhomes? E.g. not be swallowed up or overpowered by the residential complex or the juxtaposed four story commercial building.



"FLORAL VILLA."
RESIDENCE OF EDWARD B. UNDERHILL,
YORKTOWN, WESTCHESTER CO., N. Y.

The Applicant's consultant presented the lithograph above at the May 9, 2022 Planning Board meeting (and in the 1A Literature Search and Sensitivity Assessment, page 23, Alternatives Analysis, page 5). The lithograph is of the Underhill Farm property, Floral Villa by its owner, Edward Underhill, published in J. Thomas Scharf's 1886 History of Westchester County New York. The Planning Board asked the consultant how much of this setting will be retained in the Applicant's plans. As the Underhill Farm property is a potential national and state cultural resource and a magnificent historic landscape in our community:

What is the integrated master plan, including the interrelationships and hierarchy among all of the elements of the property that addresses the ENTIRE property's OPRHP eligibility determination: the mansion, outbuildings, and the setting and feeling (farmland, park like lawns, pond, stone walls, trees, vegetation, and entry gate)?

Detailed Comments and Questions – Alternatives Analysis Study Performed by Hudson Valley Cultural Resource Consultants, Ltd. - Historical Dropbox link

Hudson Valley Cultural Resource Consultants, Ltd., (HVCRC) was retained (paid) by the owner, Unicorn Contracting, Inc.), to perform an Alternatives Analysis Study. The study states to address “an exploration of prudent and feasible alternatives that might avoid or reduce the project effects,” of the planned development.

1. The study was conducted by HVCRC with the understanding that its client, Unicorn Contracting, is seeking to develop the 370 Underhill Avenue property into large residential housing complex.

Specifically, the developer’s plans call for:

- clearing, excavating / grading 13.8 acres of open space park like land to about three acres of remaining land
- removing at least 500 mature trees, and hundreds if not thousands of flora and fauna
- demolishing and/or removing the seven outbuildings,
- installing an eating establishment on the first floor of the historic building and an inn on the second and third floors of the historic building
- fabricating 165 (at the time), now 148 condominiums/apartments targeted to seniors
- building a new four story, 11K square feet commercial / retail space building next to the historic main building

2. HVCRC is a firm specializing in archaeology services. Regarding the structural condition of the buildings, the Alternatives Analysis was conducted based on “visual observations of the Floral Villa Estate. No testing or comprehensive structural analysis has been completed for this Alternatives Analysis.”

3. Introduction and Project Description

a) The HVCRC Alternatives Analysis fails to state that on May 27, 2021, Derek Rohde, New York State Office of Historic Preservation, issued an **Adverse Effect finding for the entire Underhill Farm property**, 370 Underhill Avenue, under Section 106 of the National Preservation Act of 1966. “Our office has reviewed the proposed development of the property. With the intensity of the construction proposed the setting and feeling of the property would be significantly altered. We further note that the majority of outbuildings on site are proposed for removal. Under the provisions of Section 106, demolition of historic resource is deemed an *Adverse Effect*.”

Note: On October 18, 2021, the identical Adverse Effect finding was amended to Section 14.09 of the New York State Historic Preservation Law of 1980.

b) The Alternatives Analysis study (Alternative #1) failed to examine a single project smaller in scale, indicating that “reducing the project size would impact the overall financial viability of the planned project.” ... “The reduced scale would not achieve the level of investor rate of return necessity for a privately funded project.” The analysis failed to provide any basis in fact to support this assertion (such as analysis scaled back options—e.g. 75 units, costs, financials to show return on investment).

Questions:

- 1. What lower density options were examined?**
- 2. What is the quantifiable proof with rate of return calculation for each option that supports the Applicant’s assertion?**

c) The Alternatives Analysis study (Alternative #1) states that a “scaled back project” (vague, not defined or quantified) would not provide “needed housing units within the Yorktown Heights region of Westchester County, needed parking and community space, and safety improvements at a nearby intersection.” No quantitative data to support these assertions – needs, requirements, or business cases – are provided.

Questions:

What are the needs analyses, methodology and sources, and quantified demand with assumptions for:

- housing units**
- parking space**
- community space**
- safety improvements at a nearby intersection?**

d) The Alternatives Analysis study (Alternative #2) states: “There are a limited number of properties available within the region that have the appropriate size and zoning that will allow mixed use development.

Summary and Conclusions

“Unicorn Contracting has explored the other available properties in the Town of Yorktown,”... however, due to the Yorktown Heights Design Overlay District, this property is uniquely suited to provide both residential and commercial opportunities, as well as retain a significant historic resource.”

Questions:

- 1. What other properties were assessed?**
- 2. What are the results of the financial assessments for each property?**

e) The Alternatives Analysis study (Alternative #3) discusses adaptive re-use of the outbuildings into multi-family housing units concluding that due to their construction, age, current condition and prohibitive cost to modify, “any renovations to these buildings to create additional housing units would significantly alter the architectural and historical integrity, and fail to provide a sufficient number of housing units to meet the project goals.”

Questions:

- 1. Why didn't the Applicant include discussions about adaptive re-use of the outbuildings with the Yorktown Heritage Preservation Commission as suggested by SHPO in their letter dated May 27, 2021 letter?**
- 2. What are quantitative analyses to support the Applicant assertion that “any renovations to these buildings to create additional housing units ...would fail to provide a sufficient number of housing units to meet the project goals.”**

The Alternatives Analysis study (Alternative #4) outlines a “no action” option with the owner/developer keeping the property underutilized and vacant, resulting in further deterioration of the buildings and the community’s continued lack of access to the property if the project did not move forward as planned.

Questions:

- 1. What is the Applicant’s documented community requirement / demand statement supporting the need to access this private property for recreation benefits?**
- 2. How does the Applicant benefit by offering recreational benefits to the community on his private property?**

The Applicant’s Alternatives Analysis study (Alternatives #1-4) engaged in circular reasoning. The Applicant’s plan to fabricate 148-165 residential units was a given. Naturally, it would follow that the alternative options considered to address the overall scale of the project and the historic setting and feeling of the property would not be viable.

Questions:

- 1. Did the Applicant hire and pay for consultants to conduct the 1A Literature Search & Sensitivity Assessment, the 1B Archaeological Field Reconnaissance Survey, Alternatives Analysis, Additional Information Study (not received yet)?**
- 2. If yes, isn't this a conflict of interest?**
- 3. Why didn't the Town of Yorktown hire the consultants, oversee completion of the studies and charge the cost of the studies to the Applicant?**
- 4. Why does the study fail to address how the proposed development impacts the open space, character or quality of historical resources, community or neighborhood?**

Further, in the Summary and Conclusions, it states that the “rehabilitation is expected to cost close to 1 million dollars, and will revitalize this vacant and unused resource. The current plan for this building is to create office and conference room spaces, and rejuvenate the outdated and older portions of the building. The current plans include retaining the historic elements of the building to preserve the overall historic integrity of the structure.”

Questions:

- 1. How will the rehabilitation revitalize the unused resource?**
- 2. How will the outdated and older portions of the building be rejuvenated?**
- 3. What historic elements of the building will be retained to preserve the overall integrity of the structure?**

“While the construction of the new buildings adjacent to the former Underhill Mansion will have a visual effect, however, it can be minimized through architectural style, building design and materials as well as landscaping and vegetation.””The community will be able to utilize this reinvigorated property that is currently underutilized.”

Questions:

- 1. What does “visual effect” mean?**
- 2. What specifically can be minimized?**

**Respectfully Submitted
Yorktown Heritage Commission
May 26, 2022**

Detailed Comments and Questions - Full Environment Assessment Form – Included - March 28, 2022 Planning Board Meeting Packet

1. The form is signed and dated, eighteen months ago, on December 9, 2020, prior to the PDDOZ zoning law being passed and the Underhill Farm being qualified by the Town Board under the new PDDOZ law.

-it shows Soundview Preparatory School as the property owner; many other questions appear to have appear to have out of date answers or are incorrect. To illustrate:

In Question E.3.e., it asks: does the project site contain, or is it substantially contiguous to, a building, archaeological site or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and historic Preservation to be eligible for listing on the State Register of Historic Places?

Question:

The answer is NO. This is incorrect. The entire Underhill Farm property has been deemed eligible for listing on the State and National Register of historic places on May 26, 2021.

Other comments and questions:

In the Brief Description section on page 1, it states that the Project will provide for public benefit amenities....space for Town offices and administrative services?

Questions:

1. What space at Underhill Farm will be used to provide offices to the Town of Yorktown? What are the financial parameters, terms, benefits, between the Underhill Farm developer and the Town of Yorktown, over what period of time?

2. What specific Town offices will be provided space? What criteria are used to select the offices and by whom? When will the Town offices move to the Underhill Farm property?

In the Brief Description section on page 1, it states that the Project will preserve a locally significant structure through creative adaptive re-use of the existing building.

Questions:

1. What specifically is meant by creative adaptive re-use of the existing building? And how will the creative adaptive re-use preserve the locally significant structure?

In the Brief Description section, it states that the Project will house retail spaces, thereby increasing economic growth and activity.

Questions:

1. How many retail spaces will be created? Which ones?

2. What is the expected traffic impact to the neighborhood?
3. What quantifiable specific economic growth is expected over what period of time and who specifically will benefit in quantifiable terms?
4. Please provide the dates, methodology and results of the Tim Miller Associates biologist visits.

For the FEAF overall, please provide an accurate FEAF and repost to the Dropbox.

Respectfully Submitted
Yorktown Heritage Preservation Commission
May 26, 2022

Submitted Public Comments

MEMO

To: Planning Board
From: Susan Siegel
Re: Comments for PIH for Underhill Farm site plan
Date: June 8, 2022

For your consideration, I submit the following written comments for the June 13, 2022 public information hearing on the Underhill Farm application. Please note that these comments represent my personal view.

My comments fall into three categories

1. Compliance with SEQRA
Pursuant to SEQRA regulations, the Board should issue a positive Determination of Significance and proceed with an Environmental Impact Statement (EIS).
2. Compliance with the recently enacted Overlay Law.
The Law gives the Planning Board the flexibility to change all aspects of the conceptual plan approved by the Town Board when it granted overlay status to the Soundview parcel, including density, uses, and layout.
3. Questions/concerns about various site plan issues
Density, parking, traffic, wetlands, sidewalks, etc.

Compliance with SEQRA

SEQRA requires that the Planning Board adopt a Positive Determination of Significance when the Board, acting in its capacity as lead agency, finds that an application involves one — just one — potential adverse environmental impact.

SEQRA Handbook, page 76

If the lead agency finds one or more significant adverse environmental impacts, it must prepare a positive declaration identifying the significant adverse impact(s) and requiring the preparation of an Environmental Impact Statement (EIS).

The existence of one adverse impact — the impact on the 13.8 acre historical Soundview site — is an undisputed fact already in the record.

August 21 2021 SHPO letter

Demolition of the contributing outbuildings alone constitute an adverse impact to this historic property. The Underhill Mansion's setting is proposed to be further impacted by encroachment of the proposed surface parking and large-scale new construction.

As the Planning Board has documentation that SHPO has determined that the Underhill Farm plan constitutes an adverse impact, the Planning Board should, as soon after the PIH as possible, declare itself lead agency, make a positive SEQRA Determination of Significance, and require the applicant to prepare an EIS after following the required scoping process. Note: To date, the applicant has failed to provide the Board with any factual information that challenges or changes the SHPO adverse impact finding.

It is also clear from the applicant's traffic presentation, and the Board's comments on that presentation, that the development plan has a potential adverse impact on traffic — and that the major part of the applicant's multi-faceted traffic mitigation plan, e.g., the proposed \$450,000 contribution for future improvements to the Route 118/Underhill Avenue intersection, is not sufficient to address the adverse traffic impact the development will have on the intersection.

Given the clear language in the SEQRA regulations regarding the procedure for making a Determination of Significance e.g., that one potential adverse impact mandates an EIS, from a legal perspective, requiring the application to complete an Expanded EAF is not an acceptable option or substitute for an EIS; with one adverse impact, SEQRA REQUIRES an EIS.

It should also be noted that an EIS would correct and update the numerous omissions, errors, and misleading statements in the EAF, dated 12/9/20. For example:

1. Project description. Claims that the project will provide a senior center.
2. C.3 (b) Use permitted by special permit. Checked yes, but no use is indicated
3. C.3 (d) existing public parks
 - a. Lists Downing, FDR, Junior Lake
 - b. But omits nearby Patriot Park and Railroad Park
4. D.1 c. Is project an expansion of an existing use. Checked NO, despite the dramatic proposed new uses on the site.
5. D.1.d: Is proposed action a subdivision. Answer NO.
 - a. Won't overall site need to be subdivided to accommodate townhouses, condo flats, rental apartments and reuse of main house?
6. D.1 f. Mix of units
 - a. Does not properly distinguish between multi family units (rental apartments and condo flats) and single family units (townhouses)
7. D.1.g. does plan include construction of new non residential use. Checked NO.
 - a. 11,000 sq ft of apartment building will be for commercial use
 - b. According to latest submission, the 7,000 sf main house will be for a restaurant and inn
8. D.2.a. does construction include any excavation or dredging. Checked NO.
 - a. But stream is being rerouted and wetlands filled
 - b. New "swamp/marsh" area is being created
9. D.2.c & d Projected increase in water & sewer use
 - a. Do projections account for proposed restaurant/inn/retail use?
 - b. Do projections include water use for two swimming pools?
10. D.2.e. Use of impervious surfaces. Checked YES
 - a. How? Where?
11. D,2 j,i Times for traffic generation
 - a. Weekend not checked although that is likely to be busiest time for restaurant
12. D.2.j.ii Commercial activity, e.g, trucks
 - a. No information provided re delivery trucks, garbage trucks
13. D.2.j.iii Commercial parking
 - a. No analysis of parking needs for different uses; chart on site plan omits several uses
14. D.2.j.v Modification to road network
 - a. No mention of road connection to Beaveridge property or east-west road from townhouses across to Beaveridge connection.
15. D.2.k.i Electric use
 - a. Calculation based on what uses?
 - b. Does calculation include restaurant/inn, special equipment in medical offices, two swimming pools, etc?
16. D.2.o Odors. Checked NO
 - a. What about restaurant use?
17. D,2.n.ii outdoor lighting
 - a. Implies negative impact of outdoor lighting is only temporary and during tree removal. But impact will remain as most of removed trees will not be replaced.
18. E.1.b. Land uses
 - a. Nothing filled in for wetlands
19. E.1.d nearby facilities for children etc, Checked YES
 - a. Why list Soundview? Closed for several years.
20. E.1.h.iii Nearby contamination site
 - a. Checked NO, but likely within 2,000 ft from town hall spill site

21. E.1.o & p endangered wildlife. Checked NO
 - a. Any bats or other species on DEC endangered list?
22. E.2.h.iv wetlands
 - a. Shows size only of pond and not wetlands
23. E.3.e. Eligible historic resource
 - a. Checked NO but answered yes
 - b. Yes only refers to house but SHPO considers the entire site as eligible for listing on historic register
24. E.3.h nearby scenic resource within 5 miles. Checked NO
 - a. Is Taconic Pkwy considered a scenic resource?
 - b. Or Turkey Mountain?

Compliance with the Overlay Law

Several sections of the Overlay Law make it clear, very clear, that the Planning Board has flexibility when it comes to waiving existing bulk regulations, density and other land use regulations when it considers site plan applications on parcels within the overlay zone. The fact that the Town Board granted the Underhill Farm application overlay status based on a conceptual plan – and without any SEQRA review as to the potential impacts of that plan – in no way obligates the Planning Board to approve a site plan based on that conceptual plan.

In granting the Planning Board this flexibility, the Overlay Law repeatedly uses the words “may,” “at the discretion of,” and “shall be guided by.” See sections 300-254 and 300-255, E, G, H of the Law.

The Overlay Law also states, in section 300-254, that the Board should be “guided by” the standards in the underlying zone, which in the case of the Soundview parcel is R1-40.

Site plan issues

1. Amount of commercial square footage
 - a. Any reference to commercial space should include both the 11,000 sf in the apartment building and the 7,000 sf in the main house now proposed for a restaurant and 8-room inn.
2. Density calculation
 - a. As per the Board’s standard practice, residential density should be based on BUILDABLE acreage, not total acreage.
 - i. While current site plan does not appear to show the square footage of wetlands and wetland buffer, an earlier site plan shows 121,269 sf of wetland and buffer – leaving 479,190 sf of buildable square footage – which works out to 13 units/ac.
 - b. The density calculation should also include the 18,000 sf of commercial space.
 - c. Should density consider the site as a whole – or – should it be looked at based on the anticipated subdivision of the site into a) the for sale townhouses and condo flats and b) the rental apartments and commercial space?
3. Density comparisons
 - a. The board should consider whether the proposed density is simply too much for the site and out of character with the neighborhood.
 - i. Current zoning calls for R-3 densities of 9-12 units/ac, or FARs of 0.20-.23. By contrast, Underhill Farm FAR is 0.50.
 - b. The comparison should be limited to comparing apples to apples, i.e., Rochambeau condo units and apartments and Glen Rock single family homes and not include Beaveridge which is a special senior citizen zone.
 - i. Density for 3 Rochambeau condos ranges from 6.75 units/ac to 8.3 units/acre
 - ii. Density for Rochambeau apartments is 10.5 units/ac
 - c. The proposed Underhill Farm density far exceeds the densities the town approved or considered in recent years.
 - i. Weyant. A proposal for 36 apartments on 2.6 acres (14 units/ac) was rejected in favor of 23 town houses (9 units /ac).

- ii. The Town Board rejected as too dense the Summit plan for 150 units on 19 acres, or 8 units/acre.
 - iii. The Town Board approved the Crompond Terraces rezoning (2015) at 6 units/acre in R-3 portion of site, plus 16 units in C2-R. The developer later asked for 110 units instead of 96, but the application was never pursued.
 - iv. The Town Board indicated that it supported the Croton Overlook rezoning to RSP-1 (2021) for 62 units on roughly 65 acres with 45 acres kept in open space
 - v. Toll Brothers is proposing 118 units on about 50 acres.
 - d. As part of an EIS, an alternative analysis should include concept plans at a lower overall density but which would still generate a reasonable ROI for the developer.
- 4. Density and wetlands
 - a. Given that the overriding goal of the Wetlands Law is to protect and preserve wetlands and wetland buffers, what is the justification for allowing an applicant to fill in a buffer and reroute a stream for the sole purpose of being able to squeeze more residential units onto the site?
- 5. Parking spaces
 - a. Does not appear to include proposed restaurant/inn use of main house
 - b. Does it include guest parking?
 - c. Does it include parking for public park use?
 - d. No study has been done on the parking needs for the senior center/Parks Department office.
 - i. On 2/9/21, the Planning Directed that based on input from the former manager of the YCCC, 50 spaces would be needed. The site plan only shows 30.
 - e. What methodology and data were used to project space needs for 11,000 sf of commercial space, arbitrarily split 50/50 between office and retail.
 - i. What has experience been with Caremount site?
 - f. Liability issues for public park parking and shared parking for senior center/Parks Department office.
- 6. Traffic: generation numbers
 - a. Do they reflect ALL the proposed commercial uses, e.g., both the 11,000 sf space and the proposed restaurant/inn in the main house?
 - b. What percentage of the numbers reflect occupancy by seniors? If so called “senior friendly” units can’t legally be restricted to seniors, then traffic generation numbers may need to be changed, i.e., increased.
 - c. Do numbers reflect the proposed redevelopment of Yorktown Green? And new tenant for Uncle G’s space once Uncle G relocates to Yorktown Green?
- 7. Traffic: Intersection improvements
 - a. Who will study and develop a plan for the needed corridor improvements?
 - i. What will be scope of that study? Will it include Kear Street intersection which will be impacted both by Underhill Farm and Yorktown Green plans?
 - b. Can/should the Planning Board approve the site plan *before* there is a firm plan for the improvements to Route 118 corridor and intersections, including DOT approval, how the work will be financed, and a construction timetable?.
- 8. Traffic: Beaveridge
 - a. Does diverting residential and commercial traffic through a senior citizen/disabled complex make sense?
 - b. Does the existing Beaveridge driveway from the connection to the Underhill Farm parking lot out to Allan Avenue meet the specs for a town road?
- 9. Tree removal
 - a. Calls for removing trees along Route 118
 - i. What impact will this have on community character, especially given experience with tree removal on Caremount site?
 - ii. What impact on the main house?
 - b. Note the large number of specimen trees slated for removal
 - c. Once all the new structures, roads and parking areas are constructed, to what extent can new trees — as opposed to shrubs — be planted?
- 10. Sidewalks
 - a. None appear to be shown inside development.

- b. None are planned along the north side of Underhill Avenue and west side of Route 118. Instead, pedestrians would need to follow a convoluted plan requiring them to cross Underhill Avenue, then Route 118, then Underhill again to access the sidewalk on the east side of Route 118.
- c. The traffic consultant's comment that the DOT will not permit sidewalks on the west side of Route 118 needs to be verified; if DOT allowed sidewalks on east side of Route 118, why would it prohibit them on west side?

11. Refuse

- a. What provisions have been made for refuse collection for commercial uses, apartments and condo flats?
- b. What provisions have been made for centralized collections for town houses as opposed to curb side collection? (Taxes for properties in the refuse district are lower for condo developments than single family houses because the former typically have centralized collection points as opposed to the latter's curb side pick up.)

12. Loading zones

- a. How will commercial deliveries be handled?
- b. Provisions for truck turn arounds

13. On site playgrounds

- a. See note on site plan for on-site playgrounds for residents.
 THE DEVELOPER SHALL PROVIDE A SUITABLY IMPROVED PLAYGROUND/PLAY AREA. EACH SUCH PLAYGROUND/PLAY AREA SHALL HAVE A MINIMUM AREA OF 1,200 SQUARE FEET AND A MAXIMUM DISTANCE OF 1,000 FEET FROM THE UNITS TO BE SERVED.
- b. Where will the playgrounds be located?
- c. Will the playground/s be part of condo HOA or available to all 148 units?

14. Distinguishing condo HOA land from public park land

- a. How does the site plan delineate what will be the privately restricted condo HOA land and the area that is to be the "public park"?
- b. How will the delineation be identified? Fencing? Bollards? Private property signs?

15. Public park

- a. Where is the study showing the need/desire for a public park on the site?
 - i. Two existing public parks are within walking distance: Patriot Park and Railroad Park.
- b. The stormwater plan calls for a new wetland area to be created west of the pond. Is the proposed public trail around the pond compatible with this plan?
- c. Liability issues. Who will be responsible for accidents in this public portion of the site? The town or the owner of the site?
- d. Is the proposed public park a substitute for the \$4,000/unit recreation fee?

16. Public entrance gate at 118/Underhill Avenue intersection

- a. If there are no sidewalks on the west side of Route 118 and the north side of Underhill Avenue, how will pedestrians access the gate?
- b. If the construction of a right turn lane onto Underhill Avenue from southbound Route 118 is postponed, will the current use of the shoulder present a safety problem?

17. Senior units

- a. There is a legal basis for senior units that are "age restricted." What is the legal basis/definition of "senior friendly" units?
- b. Are units considered "senior friendly" compatible with the anti-discrimination provisions of the Fair Housing Act?

18. Adaptive reuse of main house

- a. How can the board approve a plan that includes the future use of the main house without a detailed plan of what use/uses there will be and their impact on: traffic, commercial vehicles, parking, refuse, noise, odors, lighting, etc?
- b. Under what code provisions can the Board approve an "8-room inn"?

19. Visual impact issues

- a. What will be the visual impact of a 3-4 story building behind the historic main house?

- b. What will be the visual impact on the historic main house of cutting down specimen trees surrounding the house?
- c. What will be the visual impact of removing the trees along Route 118? Note the resulting negative visual impact on the community when the trees on the west side of Route 118 were removed to make way for the Caremount building.
- d. What will be the visual impact on the condos on the south side of Underhill Avenue?

20. Fiscal impact

- a. Although fiscal impact is not a direct land use issue, because the applicant is alleging a \$1 million tax benefit from the project, several aspects of the fiscal impact analysis need to be questioned, especially the projected increase in the site's total assessed value and the number of school children that the plan will generate.
- b. What methodology was used to calculate the projected assessed value of the for sale residential unit? Town houses can be assessed as condos (Hunter Brook) or as fees simple single family houses (Maple Brook)? When units are the same size, condos are assessed at a lower rate.
- c. What assumptions were used to calculate the assessed value for the 11,000 sf of commercial space, the commercial use of the main house, and the rental income from the market rate apartments?
 - i. Has the town reviewed the fiscal analysis?
- d. School children calculation
 - i. Why does the analysis use a different multiplier than the one the same consultant used for Crompond Terraces in 2015?
 - ii. The analysis shows no school children for "age restricted" units. But, with the exception of this analysis, the senior units are being considered "senior friendly," not "age restricted and the Fair Housing Act may prevent them from being restricted to only seniors.
 - iii. What are the school district's future projections and do they include any new residential development?

21. Emergency fire access to Beaveridge

- a. It's been established that the emergency access to Beaveridge from the Soundview property was never maintained and is likely currently unusable.
- b. If the fire commissioners consider this an important issue, the situation should be remedied irrespective of any future development plan for the Soundview site.
- c. Even if the Board approves the current plan for an access to Beaveridge, that access can be limited only to emergency use with a crash gate and would not have to be a connection to be used by the public.

22. Phasing

- a. The applicant's initial presentations had town houses as first phase and apartments and commercial use as a second phase. Also, that Phase 2 would not move forward until improvements were made to the Route 118/Underhill Ave. intersection.
- b. Why has the phasing plan changed so that the apartments and commercial space will now be the first phase?

Submitted Reports

Executive Summary – Underhill Farm

April 26, 2022

Project No. 20006297A

Background

A detailed Traffic Impact Study has been prepared evaluating existing (see Figure No. 3 for existing PM peak traffic volumes) and future traffic conditions in the vicinity of the proposed Underhill Farm Project. The traffic analysis accounts for the traffic from other previously approved developments in the area as well as anticipated traffic to be generated by the proposed Underhill Farm development (see Table No. 1 and Figure No. 13 for project related traffic volumes). As noted in the study, certain improvements are proposed in association with the development. The study also identifies the types of improvements required to address future conditions if and when other potential developments occur in the area. These include the Kmart Redevelopment, the Roma Building Redevelopment, and the re-occupancy of the Uncle Giuseppe's space as well as additional area growth. The timing of these potential projects is unknown at this time; however, based on previous proposals, traffic associated with these developments was accounted for as part of the future traffic conditions evaluation contained in Section III.G of the study.

Project Related Improvements

As summarized in the Traffic Impact Study, the improvements, which will be completed by the Underhill Farm Applicant in order to mitigate any potential traffic impacts associated with the Project (several of these are depicted on Drawings 1, 2, and 3 from Appendix F of the report), include the following:

- Sight distance improvements at the Rochambeau Court intersection with Underhill Avenue and related drainage improvements all to be coordinated with the Town Highway Superintendent.
- Sight distance improvements at the intersection of Glenrock Street with Underhill Avenue.
- Construction of a full traffic and pedestrian access connection through Beaver Ridge, which in turn connects to Allen Avenue. This connection includes the appropriate signing, striping, intersection controls, and traffic calming measures to accommodate such movements.
- Pedestrian improvements on Underhill Avenue including a crossing from the site access to the existing sidewalk on the south side of Underhill Avenue. This will include the installation of a Rectangular Rapid Flashing Beacon Assembly (RRFB), a painted crosswalk, and installation of ADA compliant ramps.
- Signing and striping improvements for improved traffic control on Underhill Avenue.

- Coordination with the Town Highway and Police Departments regarding the addition of signing and related speed control or traffic calming measures to help reduce travel speeds along Underhill Avenue approaching this area.
- Traffic signal timing and equipment upgrades including new video camera detection at the NYS Route 118 and Underhill Avenue intersection to improve efficiency for processing traffic during peak periods. This would help accommodate the existing left turns and other movements during peak time periods; especially during the PM peak when long backups presently occur on the Underhill Avenue eastbound approach.
- Land dedication by the Applicant along Underhill Avenue to accommodate future widening improvements at the NYS Route 118 intersection.

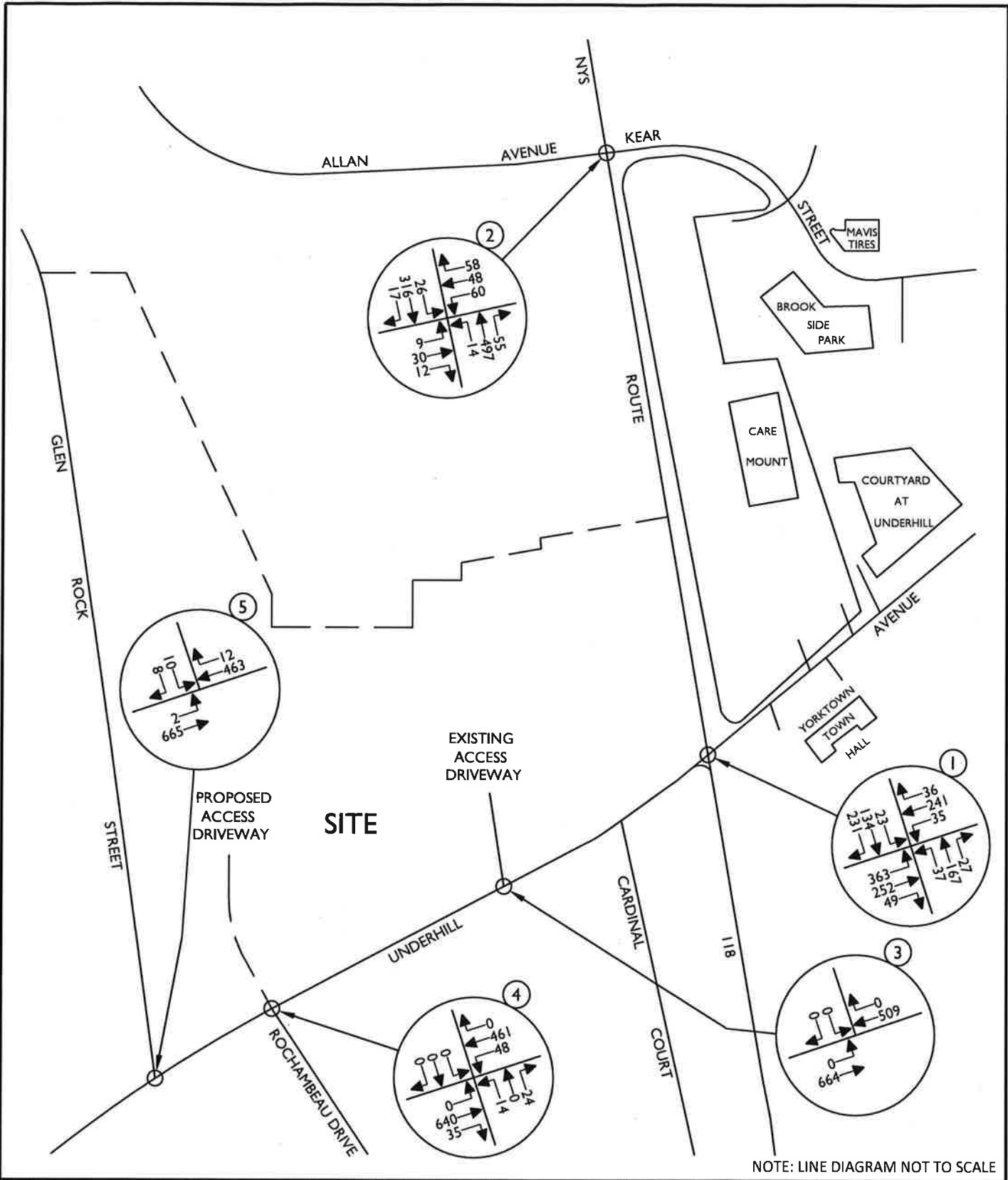
In addition to those improvements that are proposed to be completed as part of the Underhill Farm Project as listed above, which have an estimated cost of approximately \$150,000.00, the Applicant has also committed to providing funding up to \$450,000.00 towards the design and future reconstruction of the NYS Route 118 and Underhill Avenue intersection to address other area development traffic, as described in the next section.

Future Improvements to Accommodate Other Potential Developments

The attached excerpts from Appendix G of the Traffic Impact Study depict the improvements to provide dedicated turn lanes on the Underhill Avenue approaches and corresponding traffic signal upgrades and related pedestrian improvements and controls (Sheet 1). This plan also includes a formal dedicated right turn lane on the NYS Route 118 southbound approach, which would also be signal controlled. Sheet 2 of 2 depicts other further intersection improvements, which could be completed concurrently or at a later date. This plan depicts widening along NYS Route 118 to provide separate left turn lanes on the NYS Route 118 approaches.

r:\projects\2020\20006297a\correspondence\out\220426pjpg_executive summary r1.docx

6297A\Reports\Traffic\Figures\220408RH_FIGURE APPROVED O-D.dwg3 By: RHILARIO



NOTE: LINE DIAGRAM NOT TO SCALE

Colliers Engineering & Design

www.colliersengineering.com

Doing Business as **MASER**

Copyright © 2022, Colliers Engineering & Design, All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is loaned. Its drawing may not be copied, reused, displayed, distributed or sold upon for any other purpose without the express written consent of Colliers Engineering & Design.

UNDERHILL FARM RESIDENTIAL

TOWN OF YORKTOWN WESTCHESTER COUNTY NEW YORK



PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATIONS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
Know what's below. Call before you dig.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM



WESTCHESTER
400 Columbus Avenue, Suite 180E
Valhalla, NY 10595
Phone: 914.347.7500
COLLIERS ENGINEERING & DESIGN, P.C.
DOING BUSINESS AS MASER CONSULTING ENGINEERING & LAND SURVEYING

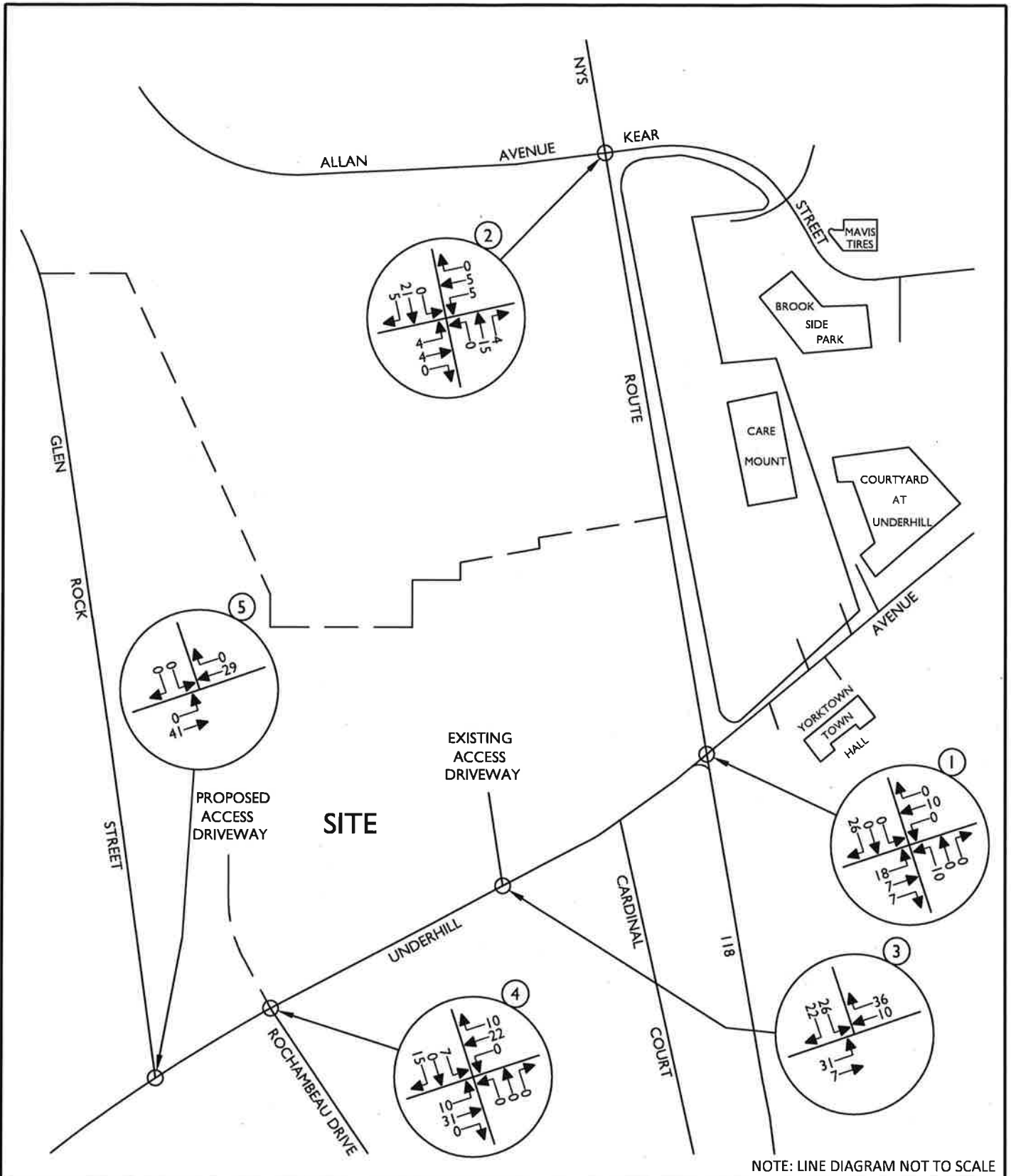
TRAFFIC IMPACT STUDY

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	4/8/22	R.H.	P.J.G.
PROJECT NUMBER:	DRAWING NAME:		
20006297A	220408RH_FIGURE APPROVED O.D.		

SHEET TITLE:
2021 EXISTING TRAFFIC VOLUMES WEEKDAY PEAK PM HOUR

SHEET NUMBER:
3

6297ARReports\Traffic\Figures\220408RH_FIGURE APPROVED G.D.dwg\13 By: RHILARIO



NOTE: LINE DIAGRAM NOT TO SCALE

Colliers Engineering & Design

www.colliersengineering.com

Doing Business as **MASER**

Copyright © 2012 Colliers Engineering & Design, Inc. All rights reserved. This drawing and all the information on it are the property of Colliers Engineering & Design, Inc. and may be used only by the party to whom this service was rendered or to whom it is assigned. No drawing may be copied, reused, distributed or sold, in any form, without the express written consent of Colliers Engineering & Design.

UNDERHILL FARM RESIDENTIAL

TOWN OF YORKTOWN WESTCHESTER COUNTY NEW YORK



PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATIONS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.

View it all below. Call before you dig. FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM



WESTCHESTER
400 Columbus Avenue, Suite 180E
Valhalla, NY 10595
Phone: 914.347.7500
COLLIERS ENGINEERING & DESIGN, P.C.
ENGINEERING & DESIGN CONSULTING ENGINEERING & LAND SURVEYING

TRAFFIC IMPACT STUDY

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	4/8/22	R.H.	P.J.G.
PROJECT NUMBER:	DRAWING NAME:		
20006297A	220408RH_FIGURE APPROVED G.D.		

SHEET TITLE:
SITE GENERATED TRAFFIC VOLUMES WEEKDAY PEAK PM HOUR

SHEET NUMBER:
13

**Table No. 1-FB
Hourly Trip Generation Rates (HTGR) and
Anticipated Site Generated Traffic Volumes**

Underhill Farm Yorktown, NY	Entry			Exit		
	HTGR ¹	Volume	New Trips ²	HTGR ¹	Volume	New Trips ²
Apartments/Condominiums/Townhouses (148 Units)						
Peak AM Hour	0.13	19	19	0.41	61	61
Peak PM Hour	0.41	60	60	0.25	37	37
Commercial - Office (5,500 Sq. Ft.)						
Peak AM Hour	1.57	9	9	1.04	6	6
Peak PM Hour	0.73	4	4	1.43	8	8
Commercial - Retail (5,500 Sq. Ft.)						
Peak AM Hour	1.41	12	7	2.36	8	5
Peak PM Hour	4.63	25	15	4.63	25	15
Inn (8 Rooms)						
Peak AM Hour	0.23	2	2	0.23	2	2
Peak PM Hour	0.33	3	3	0.27	3	3
Quality Restaurant (5,000 Sq. Ft.)						
Peak AM Hour	0.44	2	2	0.30	2	2
Peak PM Hour	5.23	26	20	2.57	13	10
Total						
Peak AM Hour		44	39		79	76
Peak PM Hour		121	102		87	73

NOTES:

1) THE HOURLY TRIP GENERATION RATES (HTGR) ARE BASED ON DATA PUBLISHED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) AS CONTAINED IN THE TRIP GENERATION HANDBOOK, 11TH EDITION, 2021. ITE LAND USE CODE - 220 - MULTIFAMILY HOUSING (MID-RISE), ITE LAND USE CODE - 931 - QUALITY RESTAURANT, ITE LAND USE CODE - 712 - SMALL OFFICE, ITE LAND USE CODE - 822 - RETAIL AND ITE LAND USE CODE - 310 - HOTEL.

2) "NEW TRIPS" INCLUDE A 40% PASS-BY/DIVERTED LINK TRIP CREDIT FOR THE RETAIL AND 25% FOR THE RESTAURANT AS WELL AS FOR THE RESTAURANT USE.


Traffic Impact Study

Appendix F | Proposed Traffic and Pedestrian Improvement Plans

Traffic Impact Study

Appendix G | Potential Future Intersection Improvement Plans

Memorandum

To: Robyn Steinberg, AICP, CPESC
From: Philip Grealy, Ph.D., P.E. 
Date: April 27, 2022
Subject: Underhill Farm Development
Project No.: 20006297A

As per the request of the Metropolitan Transportation Authority (MTA) as outlined in their April 26, 2022 memorandum notification to the Town, we are writing to provide information relative to potential Metro-North Railroad service usage. The proposed 148 dwelling unit Underhill Farm Project is not expected to generate any significant commuter rail trips. Due to its location and based on other observations including the most recent census data for the area as obtained from the County, the anticipated commuter rail trips would be in the order of 6 to 7% of the commuter trips. Based on the peak hour generation for this project, that would equate to approximately 6 additional commuter rail related trips. This assumes no credit for the potential use of a portion of these units by active adults, which would likely reduce this number even further. Based on this information, the project is not expected to have any significant impact on the MTS commuter rail.

R:\Projects\2020\20006297A\Correspondence\OUT\220427PJG_Steinberg Memo.docx

Commute Modes and Times, Westchester Workers by Municipality, 2013-2017

Municipalities	Total Workers	Work at home	Commute	Mode													Avg. Commute Time (mins)	Commuting under 30 mins	Commuting over 60 mins		
				Drove alone		Carpooled		Public transit		Bus		Rail (all forms)		Walked	Bicycle	Other					
				Count	%	Count	%	Count	%	Count	%	Count	%								
Westchester	468,700	24,595	444,105	269,784	60.7%	38,058	8.6%	106,345	23.9%	25,173	5.7%	80,835	18.2%	22,722	5.1%	1,007	6,189	34	49.0%	20.8%	
Cities																					
Mount Vernon	32,950	882	32,068	17,466	54.5%	2,423	7.6%	9,888	30.8%	4,263	13.3%	5,517	17.2%	1,819	5.7%	41	431	35	42.3%	19.5%	
New Rochelle	38,520	1,956	36,564	20,665	56.5%	3,455	9.4%	9,047	24.7%	2,493	6.8%	6,551	17.9%	2,621	7.2%	253	523	32	52.3%	18.5%	
Peekskill	11,673	444	11,229	6,444	57.4%	1,951	17.4%	2,036	18.1%	726	6.5%	1,310	11.7%	552	4.9%	14	232	37	46.7%	24.7%	
Rye	6,646	638	6,008	3,194	53.2%	268	4.5%	2,227	37.1%	50	0.8%	2,166	36.1%	237	3.9%	9	73	38	43.6%	28.6%	
White Plains	30,185	1,359	28,826	17,585	61.0%	2,898	10.1%	5,342	18.5%	1,779	6.2%	3,563	12.4%	2,379	8.3%	118	504	27	62.3%	13.6%	
Yonkers	92,169	2,682	89,487	49,406	55.2%	8,904	10.0%	25,307	28.3%	11,086	12.4%	14,163	15.8%	4,371	4.9%	230	1,269	34	47.3%	20.4%	
Towns																					
Bedford	7,533	761	6,772	4,349	64.2%	574	8.5%	1,557	23.0%	72	1.1%	1,485	21.9%	236	3.5%	0	56	39	47.7%	29.3%	
Cortlandt	15,553	874	14,679	11,066	75.4%	1,067	7.3%	2,118	14.4%	110	0.7%	2,008	13.7%	238	1.6%	20	170	40	38.8%	26.5%	
Eastchester	10,228	524	9,704	6,586	67.9%	346	3.6%	2,413	24.9%	123	1.3%	2,290	23.6%	329	3.4%	11	19	33	51.8%	22.4%	
Greenburgh	23,792	1,411	22,381	14,560	65.1%	1,840	8.2%	5,281	23.6%	387	1.7%	4,879	21.8%	476	2.1%	37	187	34	50.2%	21.3%	
Harrison	12,685	836	11,849	7,316	61.7%	727	6.1%	2,657	22.4%	220	1.9%	2,437	20.6%	1,043	8.8%	0	106	31	59.2%	19.2%	
Lewisboro	6,258	666	5,592	4,375	78.2%	256	4.6%	809	14.5%	21	0.4%	788	14.1%	152	2.7%	0	0	44	33.0%	26.9%	
Mamaroneck	5,815	671	5,144	2,366	46.0%	250	4.9%	2,092	40.7%	77	1.5%	2,015	39.2%	411	8.0%	13	12	38	39.0%	28.4%	
Mount Kisco	6,059	237	5,822	3,482	59.8%	911	15.6%	600	10.3%	175	3.0%	425	7.3%	538	9.2%	23	268	25	61.1%	9.2%	
Mount Pleasant	12,439	865	11,574	8,530	73.7%	674	5.8%	1,893	16.4%	47	0.4%	1,834	15.8%	430	3.7%	0	47	30	59.5%	17.6%	
New Castle	8,207	648	7,559	4,609	61.0%	265	3.5%	2,484	32.9%	0	0.0%	2,484	32.9%	189	2.5%	0	12	43	41.1%	37.0%	
North Castle	6,059	578	5,481	3,979	72.6%	371	6.8%	1,034	18.9%	83	1.5%	951	17.4%	51	0.9%	0	46	35	51.9%	22.8%	
North Salem	2,630	354	2,276	1,839	80.8%	128	5.6%	250	11.0%	0	0.0%	250	11.0%	43	1.9%	0	16	37	42.4%	20.9%	
Ossining	2,540	219	2,321	1,593	68.6%	169	7.3%	461	19.9%	14	0.6%	447	19.3%	73	3.1%	0	25	34	51.5%	20.4%	
Pound Ridge	2,507	382	2,125	1,442	67.9%	55	2.6%	496	23.3%	12	0.6%	484	22.8%	95	4.5%	0	37	44	36.1%	33.1%	
Scarsdale	7,842	767	7,075	3,187	45.0%	255	3.6%	3,409	48.2%	34	0.5%	3,375	47.7%	99	1.4%	37	88	44	30.5%	37.0%	
Somers	9,702	614	9,088	7,677	84.5%	486	5.3%	777	8.5%	31	0.3%	746	8.2%	103	1.1%	0	45	37	38.4%	17.4%	
Yorktown	18,255	754	17,501	14,380	82.2%	1,213	6.9%	1,288	7.4%	88	0.5%	1,181	6.7%	494	2.8%	0	126	36	42.6%	18.4%	
Villages																					
Ardsley	2,278	125	2,153	1,482	68.8%	121	5.6%	441	20.5%	8	0.4%	433	20.1%	75	3.5%	0	34	33	52.7%	23.0%	
Briarcliff Manor	3,508	416	3,092	1,818	58.8%	126	4.1%	1,022	33.1%	23	0.7%	999	32.3%	96	3.1%	0	30	40	47.0%	30.3%	
Bronxville	2,679	226	2,453	876	35.7%	129	5.3%	1,249	50.9%	0	0.0%	1,224	49.9%	152	6.2%	0	47	40	30.4%	25.4%	
Buchanan	1,140	46	1,094	906	82.8%	70	6.4%	118	10.8%	18	1.6%	100	9.1%	0	0.0%	0	0	32	46.9%	20.2%	
Croton-on-Hudson	4,257	271	3,986	2,555	64.1%	179	4.5%	1,030	25.8%	18	0.5%	1,012	25.4%	184	4.6%	0	38	40	40.9%	29.9%	
Dobbs Ferry	5,952	322	5,630	3,217	57.1%	590	10.5%	1,473	26.2%	187	3.3%	1,240	22.0%	310	5.5%	33	7	31	51.9%	17.1%	
Elmsford	2,875	105	2,770	1,696	61.2%	377	13.6%	401	14.5%	185	6.7%	216	7.8%	231	8.3%	65	0	25	68.2%	12.9%	
Hastings-on-Hudson	4,170	407	3,763	2,017	53.6%	213	5.7%	1,312	34.9%	73	1.9%	1,239	32.9%	162	4.3%	11	48	39	36.6%	27.6%	
Irvington	3,122	273	2,849	1,742	61.1%	182	6.4%	825	29.0%	42	1.5%	783	27.5%	100	3.5%	0	0	36	44.9%	26.3%	
Larchmont	2,909	281	2,628	1,246	47.4%	25	1.0%	1,292	49.2%	0	0.0%	1,292	49.2%	49	1.9%	0	16	46	21.7%	34.9%	
Mamaroneck	9,818	557	9,261	5,527	59.7%	600	6.5%	2,358	25.5%	205	2.2%	2,153	23.2%	503	5.4%	83	190	33	49.9%	22.1%	
Ossining	12,714	543	12,171	6,842	56.2%	2,399	19.7%	1,658	13.6%	736	6.0%	922	7.6%	985	8.1%	0	287	31	54.6%	16.3%	
Pelham	3,527	161	3,366	1,638	48.7%	297	8.8%	1,229	36.5%	85	2.5%	1,144	34.0%	154	4.6%	9	39	34	44.5%	21.8%	
Pelham Manor	2,514	193	2,321	1,339	57.7%	87	3.7%	840	36.2%	0	0.0%	840	36.2%	16	0.7%	0	39	36	35.6%	17.8%	
Pleasantville	3,396	119	3,277	2,406	73.4%	167	5.1%	550	16.8%	16	0.5%	534	16.3%	154	4.7%	0	0	31	63.5%	18.6%	
Port Chester	15,222	375	14,847	8,306	55.9%	1,659	11.2%	2,633	17.7%	1,137	7.7%	1,481	10.0%	1,363	9.2%	0	886	26	70.3%	11.2%	
Rye Brook	4,223	262	3,961	2,343	59.2%	383	9.7%	1,174	29.6%	37	0.9%	1,120	28.3%	34	0.9%	0	27	36	52.4%	27.9%	
Sleepy Hollow	4,744	219	4,525	2,400	53.0%	475	10.5%	922	20.4%	255	5.6%	659	14.6%	680	15.0%	0	48	26	63.2%	12.8%	
Tarrytown	6,124	370	5,754	3,672	63.8%	369	6.4%	1,333	23.2%	143	2.5%	1,190	20.7%	291	5.1%	0	89	32	56.3%	22.0%	
Tuckahoe	3,281	202	3,079	1,660	53.9%	124	4.0%	1,019	33.1%	114	3.7%	905	29.4%	204	6.6%	0	72	39	46.3%	22.8%	

Prepared by Westchester County Department of Planning based on Census American Community Survey, 2013-2017.