

**TOWN OF YORKTOWN
PLANNING BOARD**

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

**PUBLIC MEETING AGENDA
ALBERT A. CAPELLINI COMMUNITY & CULTURAL CENTER
NUTRITION CENTER ROOM**

1974 Commerce Street, Yorktown Heights, NY 10598

**June 27, 2022
7:00 PM**

- 1. Correspondence**
- 2. Meeting Minutes – June 13, 2022**

REGULAR SESSION

- 3. McDonald's Restaurant**
Request for 1st One-Year Time Extension
Location: 36.05-1-10; 3481 Crompond Road
Contact: Brown Altman & DiLeo, LLP
Description: Approved amended site plan to add 886 square foot addition for storage space and second drive-thru line by Resolution #21-15 dated June 14, 2021.
- 4. Nantucket Sound Sons**
Request for 1st One-Year Time Extension
Location: 37.18-2-86; 385 Kear Street
Contact: Site Design Consultants
Description: Approved three-story, 8,100 sf building consisting of 2,500 square foot retail use on the first floor and two upper floors of 2,800 square foot, and 3 apartments each on 0.36 acres in the C-2R zone by Resolution #21-14 dated August 9, 2021.
- 5. Atlantic Appliance**
Request for 2nd One-Year Time Extension
Location: 37.15-1-31 & 35; 2010 Maple Hill Street
Contact: Site Design Consultants
Description: Approved site plan for a two-story, 25,720 sf building on 5 acres in the C-2 and C-4 zones by Resolution #20-10 dated July 13, 2020.
- 6. Bellamy Subdivision**
Decision Statement
Location: 37.10-1-38; 379 Hallocks Mill Road
Contact: Burns Engineering Services, P.C.
Description: Proposed 2-lot Subdivision on 1.417 acres in the R1-20 zone.

WORK SESSION

7. Lakeview Estates Lot 6

Discussion Site Plan

Location: 47.11-1-15; 1102 Gambelli Drive

Contact: Gregg Chappell

Description: Proposed residence on the last subdivision lot in the Lakeview Estates subdivision.

8. Volta Charging Stations at Staples Plaza

Discussion Site Plan

Location: 36.06-2-76; 3333 Crompond Road

Contact: Cuddy & Feder

Description: Two electric vehicle charging stations to be located in existing curbed islands adjacent to existing parking spaces.

9. Shrub Oak International School

Discussion Amended Site Plan

Location: 26.05-1-4; 3151 Stony Street

Contact: DTS Provident Design Engineering

Description: Proposed amendments to the approved site plan and stormwater permit.

10. Dell Avenue Solar Project

Discussion Site Plan & Special Use Permit

Location: 70.05-1-2; Dell Avenue

Contact: Zarin & Steinmetz

Description: Proposed 3,625 kWac fixed tilt ground mount solar array and 3.7 MW (Tier 2) battery energy storage system.

Last revised: June 23, 2022

Correspondence

**TOWN OF YORKTOWN
PLANNING BOARD**

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Yorktown will meet on July 11, 2022 and July 25, 2022 at 7:00 PM in the Town Hall Board Room located at 363 Underhill Avenue, Yorktown Heights, NY 10598.

In providing this notice, the Planning Board is complying with Article 7 of the public office law relating to open meetings.

**BY ORDER OF THE PLANNING BOARD OF THE TOWN OF YORKTOWN, NEW
YORK
RICHARD FON
CHAIRPERSON**

2022 Planning Board Meetings

JANUARY						
S	M	T	W	T	F	S
					1	NEW YEARS
2	3	4	5	6	7	8
9	10	11	12	13	14	15
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30	31					

FEBRUARY						
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JUNE						
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DECEMBER						
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Meetings are held in the Town Hall Board Room at 7:00 PM.

Holidays.

Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

RECEIVED
PLANNING DEPARTMENT

JUN 22 2022

To: Diana Quast, Town Clerk *for the Town Board*
From: ABACA
Date: June 22, 2022
Subject: **Town Board Referral – Dorchester Glen Subdivision / 1643 Maxwell Drive; 15.20-3-6**
Proposal to authorize the Planning Board to utilize the Flexibility Standards for the proposed subdivision.

TOWN OF YORKTOWN

Documents Reviewed:

Title:	Date:	Produced By:
Town Board Email Referral with associated materials	6/21/22	Diana Quast, Town Clerk

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their meeting held on Tuesday, June 22, 2022 and have no objections to the proposal.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

cc: Planning Department
Planning Board
Town Board *via Town Clerk*

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: June 13, 2022
Subject: Wendy's Restaurant at BJ's/Staples Plaza
3399 Crompond Road; 27.14-1-45

RECEIVED
PLANNING DEPARTMENT

JUN 13 2022

TOWN OF YORKTOWN

Documents Received:	Produced By:
Plan Set dated 4/11/22 Architectural Renderings dated 4/11/22 -Sheets A2.1, A2.2, A2.3, A6.2, EQ1.1 -Sign Detail	Chesapeake Design Group (CDG)

The Advisory Board on Architecture and Community Appearance reviewed the above referenced at their meeting held on Tuesday, June 7, 2022. Jennifer Porter of CSG Law and Warren Nagy, Architect, were present. The proposal is for Wendy's to occupy the current Dunkin Donuts/York Pizza space in the BJs/Staples plaza. The applicant explained that the building will be renovated to accommodate this change.

The ABACA has the following comments:

Site Plan

- The Board looks forward to reviewing the updated site plan when submitted.

Architecture

- The existing building does not have much of a parapet so any new or existing rooftop mechanical equipment should be equipped with screening to conceal it from view.
- The Board liked the color and materials proposed but requested for a material board to be submitted for review and approval.
- The existing shed at the rear is proposed to be removed and a new metal clad wrapped refrigerator unit will be constructed in its place.
- The window size and spacing will match the existing with new glass and frames.
- The Board liked the proposed mesh pane railing design for the walkway and stairs.

Lighting

- The building as proposed would have lit channel letter signs, a soft glow linear accent light along the cap of the parapet, and wash uplighting of the new blade walls.
- The applicant explained that the recessed lights are proposed to be included under the soffit, covered walkway, and seating area. Additionally, they are considering adding down lighted sconces on the blank walls adjacent to the drive-through window.
- The Board is not in favor of replacing the existing flood lights on top of the building and hopes that the integration of site lighting will help to assist in the removal of these lights.

Landscape Plan

- The Board looks forward to reviewing a landscape plan if proposed.

Signage

- The Board informed the applicant that the signage would have to be formally submitted to the Building Department but it seems as though the quantity would be less than permitted by the variance.
- Signage locations as shown would have to be coordinated with the approved master sign plan.
- The Board suggested lowering the Wendy cameo on the blades to be centered on the top panel.

Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Wendy's
June 13, 2022
Page 2 of 4

The Board feels that the proposal will be a huge improvement to what is existing and looks forward to reviewing the project as it progresses.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

Attachments

cc: Applicant

Planning Board

Building Inspector

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Wendy’s Restaurant

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June 13, 2022

Proposed Wendy’s Restaurant at BJs/Staple Plaza

01 SIDE ELEVATION MAIN ENTRY

02 DRIVE THRU ELEVATION

01 FRONT ELEVATION-CROMPOUND ROAD

02 REAR ELEVATION

EXTERIOR FINISH SCHEDULE	
01	TECHNICAL SPECIFICATIONS
02	CONCRETE
03	BRICK
04	GLASS
05	WOOD
06	PAINT
07	ROOFING
08	MECHANICAL
09	ELECTRICAL
10	PLUMBING
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47	MECHANICAL
48	ELECTRICAL
49	PLUMBING
50	MECHANICAL

PERMIT SET 041122

A2.1

A2.2

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Wendy’s Restaurant

Page 4 of 4

June 13, 2022

Proposed Wendy’s Restaurant at BJ’s/Staple Plaza

U1201-IA-36NR-WHT-RC

SECTION/MOUNTING DETAILS

ALL WIRING MEETS NEC 2014 SPECIFICATIONS. SIGN TO BE WIRING TO A STANDARD 120 VOLT / 20 AMP CIRCUIT. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 608 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input checked="" type="checkbox"/> SINGLE FACE	• 3/8" ALUMINUM SIDES AND BACKS PAINTED CLASSIC BRONZE	<input checked="" type="checkbox"/> CLASSIC BRONZE	<input type="checkbox"/> FACE TRIMS	<input type="checkbox"/> PROVIDED
<input checked="" type="checkbox"/> ILLUMINATED	• "WENDY'S" EMBOSSED #3138 WHITE POLYCARBONATE BACKS WITH WHITE L.E.D. ILLUMINATION	<input type="checkbox"/> WHITE	<input type="checkbox"/> FACIA COLOR	<input type="checkbox"/> PROVIDED
<input type="checkbox"/> WALL	• CAMO - FORMED POLYCARBONATE FACE WITH PRINTED GRAPHICS SECOND SURFACE WITH WHITE LED ILLUMINATION.	<input checked="" type="checkbox"/> PMS 185 RED HAIR	<input type="checkbox"/> RADIUS TRIM	<input type="checkbox"/> PROVIDED
		<input checked="" type="checkbox"/> PMS 001 SUNSHINE FAIR	<input type="checkbox"/> BUILDING DIM.	<input type="checkbox"/> PROVIDED
		<input checked="" type="checkbox"/> PMS 209 BLUE	<input type="checkbox"/> FACADE ANGLE	<input type="checkbox"/> PROVIDED
		<input type="checkbox"/> PMS 439 BROWN	<input type="checkbox"/> OTHER	<input type="checkbox"/> PROVIDED

FILENAME: U1201-IA-36NR-WHT-RC **REV#** **SCALE:** 3/8" = 1" **Aboriginal Signatures Required to insure that all spelling, colors, and sizes conform to sign's intended use.** **CUSTOMER:** **LANDLORD:**

DATE: 5/2/18 **REVDATE:** **DGNNR:** JLB **SALES:** T. SHEEHY **DATE:** **DATE:**

UL LISTED

E122574

custom SIGN Center, Inc.

3323 Woodbridge Court, Columbia, CO 80504
P.O. Box 279-0730 P.O. Box 279-0730
Tel: 914-279-0730 Fax: 914-279-0730

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Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Steven Fraietta, Assistant Building Inspector
From: ABACA
Date: June 21, 2022
Subject: Cube Smart Self Storage fka NY Self Storage – Sign Application
SBL: 16.08-1-14

RECEIVED
PLANNING DEPARTMENT
JUN 21 2022
TOWN OF YORKTOWN

Documents Submitted:	Date:	Referred By:
Sign application with associated materials by Signarama	5/17/22	Building Department

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their meeting held on Tuesday, June 8, 2022. According to the memo from the Building Department dated 5/17/22, the proposal meets the quantitative requirements of the Zoning Ordinance. Alex Palmentiero of Signarama Millwood was present.

The proposal is for the installation of 3 exterior flush mounted illuminated signs, and two exterior flush mounted non-illuminated signs as follows:

1. **Sign #1 - North side front entrance** (Revised 6/20/22) - "CUBESMART" (first line) and "self storage" (second line) flush mounted illuminated sign on the front of the building in the color of white. "ENTRANCE" non-illuminated sign mounted above the door to the building in the color white.
2. **Sign #2 - North side** (Revised 6/20/22) - "self storage" flush mounted non-illuminated sign in the color white.
3. **Sign #3 - South side** (Revised 6/20/22) - "self storage" flush mounted illuminated sign in the color white.
4. **Sign #4 - West side** (Revised 6/20/22) - "CUBESMART" flush mounted illuminated sign in the color white.

The Board requested that the applicant revise the signage to so that the original proposed red letters will now be white; and to also reduce the "self storage" sign facing Route 6 (south elevation) to sit on the terra cotta section of the tower only. The Board also requested to drop the lumens to 200/fixture to reduce potential for glare. The applicant agreed and submitted revised renderings on 6/20/22 reflecting this change.

Based on the revised renderings received and attached, the Board has no objection to a building permit being issued for this location.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

Attachments

cc: Applicant
Planning Department
Planning Board

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)


Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Cubesmart Self Storage *fka NY Self Storage*

June 21, 2022


Page 2 of 5

Sign #1 – Revised 6/20/22 - North Side Front Entrance

DATE/TIME/PROOF 6/20/2022 11:25am Rev11	JOB/PROJECT Pike Construction	5 Schuman Road, Millwood, New York 10546 Phone: 914-666-7446 Email: info@signarama-millwood.com www.Signarama-Millwood.com	 Signarama The way to grow your business.
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1925 - Cube Smart Self Storage

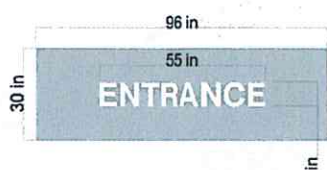
NORTH



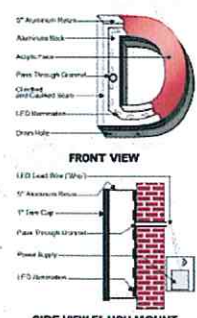
Changes Include:

- 'C' in 'CubeSmart' from 44.1" decreased to 40"
- 's' in self storage from 20.5" decreased to 18.58"
- Overall size from 279.4"x85.5" decreased to 253.24"x77.5" [8" overall decrease in height]
- Entrance Sign backer increased to 96"w X 30"h from 68"w X 19.5"h

**Changes as per measurements taken during site visit



FRONT VIEW



SIDE VIEW FLUSH MOUNT

NOTES

<p>Returns - 0.040" Aluminum coil pre-finished Black</p> <p>Trimcaps - 1" Jewelite trimcap White</p> <p>Ltr Backs - 0.125" ACM backs (pre-finished white)</p> <p>LED's - Principal LEDs, White Quick Mod 2 LEDs</p> <p>Faces - 3/16" White Acrylic</p>	<p>CubeSmart Self Storage: 136.29sqft</p> <p>Entrance: 3.06sqft</p> <p>'Entrance' Sign</p> <p>Painted White</p> <p>Non Illuminated Dimensional Letters</p> <p>Mounted to Anodized Aluminum</p>
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TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Cubesmart Self Storage *fka NY Self Storage*

June 21, 2022

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Sign #2 – Revised 6/20/22 - North Side

DATE/TIME/PROOF	JOB/PROJECT	5 Schuman Road, Millwood, New York 10546	35 YEARS Signarama Millwood The way to grow your business.
6/20/2022 11:25am	Pike Construction	Phone: 914-666-7446	
Rev11		Email: info@signarama-millwood.com	
1925 - Cube Smart Self Storage		www.Signarama-Millwood.com	

NORTH ACRYLIC

192 in

32.672 in

25.591 in

SIDE VIEW FLUSH MOUNT

NOTES	43.56sqft	© COPYRIGHT 2022, SIGNARAMA MILLWOOD. THIS RENDERING IS INTENDED AS A PROOF ONLY. COLOR, MAY VARY SLIGHTLY FROM COMPLETED WORK.
NON-Illuminated 1/2" Thick Flat Cut Acrylic Stud Mounted Dimensional Letters Painted White		

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TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Cubesmart *fka NY Self Storage*

June 21, 2022

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Sign #3 – Revised 6/20/22 - South Side

DATE/TIME/PROOF 6/20/2022 11:25am Rev11	JOB/PROJECT Pike Construction	5 Schuman Road, Millwood, New York 10546 Phone: 914-666-7446 Email: info@signarama-millwood.com www.Signarama-Millwood.com	Millwood Signarama The way to grow your business.
1925 - Cube Smart Self Storage			

SOUTH
234 in

self storage

39.82 in
24.26 in

FRONT VIEW

SIDE VIEW FLUSH MOUNT

20'

Overall size reduced to fit within the 20' spacing

NOTES

Returns - 0.040" Aluminum coil pre-finished Black

Trimcaps - 1" Jewelite trimcap White

Ltr Backs - 0.125" ACM backs (pre-finished white)

LED's - Principal LEDs, White Quick Mod 2 LEDs

Faces - 3/16" White Acrylic

64.706sqft

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TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)


Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Cubesmart fka NY Self Storage

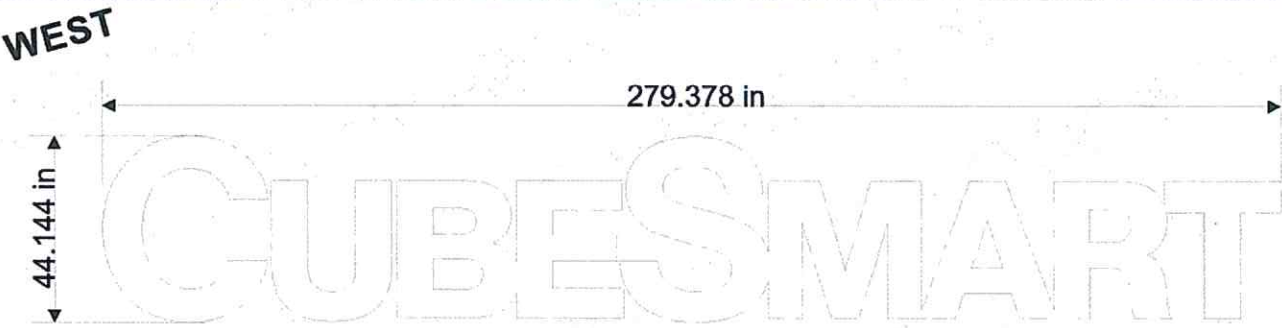
June 21, 2022

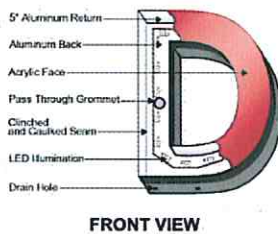
Page 5 of 5

Sign #4 – Revised 6/20/22 - West Side

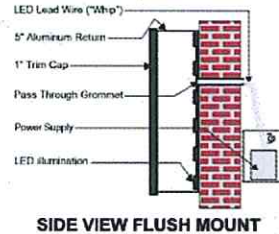
DATE/TIME/PROOF 6/20/2022 11:25am Rev11	JOB/PROJECT Pike Construction	5 Schuman Road, Millwood, New York 10546 Phone: 914-666-7446 Email: info@signarama-millwood.com www.Signarama-Millwood.com	 Millwood The way to grow your business.
1925 - Cube Smart Self Storage			

WEST

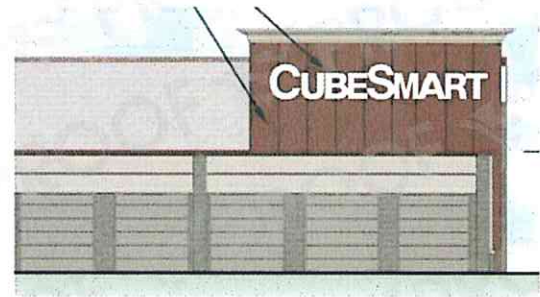




FRONT VIEW



SIDE VIEW FLUSH MOUNT



NOTES

Returns - 0.040" Aluminum coil pre-finished Black	85.65sqft
Trimcaps - 1"Jewelite trimcap White	
Ltr Backs - 0.125" ACM backs (pre-finished white)	
LED's - Principal LEDs, White Quick Mod 2 LEDs	
Faces - 3/16" White Acrylic	

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MAY VARY SLIGHTLY FROM COMPLETED WORK.

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Crompond / Croton Heights / Huntersville / Jefferson Valley / Kitchawan / Mohegan Lake / Shrub Oak / Sparkle Lake / Teatown / Yorktown / Yorktown Heights

Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Building Department
From: ABACA
Date: June 8, 2022
Subject: Fieldstone Manor Lot #11 – Review of Materials Board
15.11-1-17.11; 1705 Marie Lane

Documents Received:	Produced By:
Submission letter dated 6/1/22 with the following documents: ABACA application Oasis 4 Architectural Plan and Exterior Material Board Call Outs Approved Site Plan ABACA Memo dated 2/3/22	Welcome Building Corporation

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their meeting held on Tuesday, June 7, 2022. Andrew Vaccarello and Christian Lopez of Welcome Building Corporation were present.

As discussed at the ABACA meeting of 2/1/22, the Board had no issue with the Oasis architectural plans presented for this development. The Board requested that upon submission for a building permit, each home is to be submitted to the ABACA independently for final review and formal approval of the actual home style, materials and color selected.

The proposal is for the development of Lot #11 with a single-family residence. The first-floor elevation (FFE) matches the approved site plan. The selection and building materials for the proposed home are as follows:

- **Oasis 4 (4 bedroom, 3 bath, 2 story home) – Exterior option #1**
 - ✓ **Siding:** James Hardie Board & Batten in the color of Arctic White; and James Hardie Smooth Horizontal siding in the color of Arctic White.
 - ✓ **Wood:** Delta Millworks Western Red Cedar.
 - ✓ **Roof:** GAF Timberline asphalt shingles in the color of charcoal.
 - ✓ **Windows:** Jeld-Wen 2500 Series vinyl windows.
 - ✓ **Garage --** Clopay classic Steel garage door.
 - ✓ **Wall Lights** – Kichler cylinder 12” wall lights in the color of matte black.

Based on the renderings submitted and attached, the ABACA has no objection to a building permit being issued for this lot.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

Attachments

cc: Applicant

Planning Department

Planning Board

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Fieldstone Manor Subdivision – Lot #11

Page 2 of 3

June 8, 2022

Fieldstone Manor Subdivision – Lot #11

Oasis 4 – Exterior Option #1

4 bedroom, 3 bath, 2-story home

Building Material Details

Oasis 4 Exterior Renderings & Materiality Callouts

EXTERIOR 01



welcomehomes

Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Fieldstone Manor Subdivision – Lot #11

Page 3 of 4

June 8, 2022

Building Materials Board

Oasis Exterior Materials Board

		
James Hardie Board & Batten Siding	James Hardie Smooth Horizontal Siding	James Hardie Fascia & Soffit Panels
		
Delta Millworks Western Red Cedar	Delta Millworks Accoya Rough Sawn Slate	Pac-Clad Corrugated Siding
	 ◆ Matching Colors - or - Mix-and-Match ◆	
Jeld-Wen 2500 Series Windows Technical documentation	Clopay Coachman Series Garage Door	Clopay Classic Steel Series Garage Door
		
GAF Timberline Asphalt Shingles	Kichler Cylinder 12" Wall Light	

welcomhomes

Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

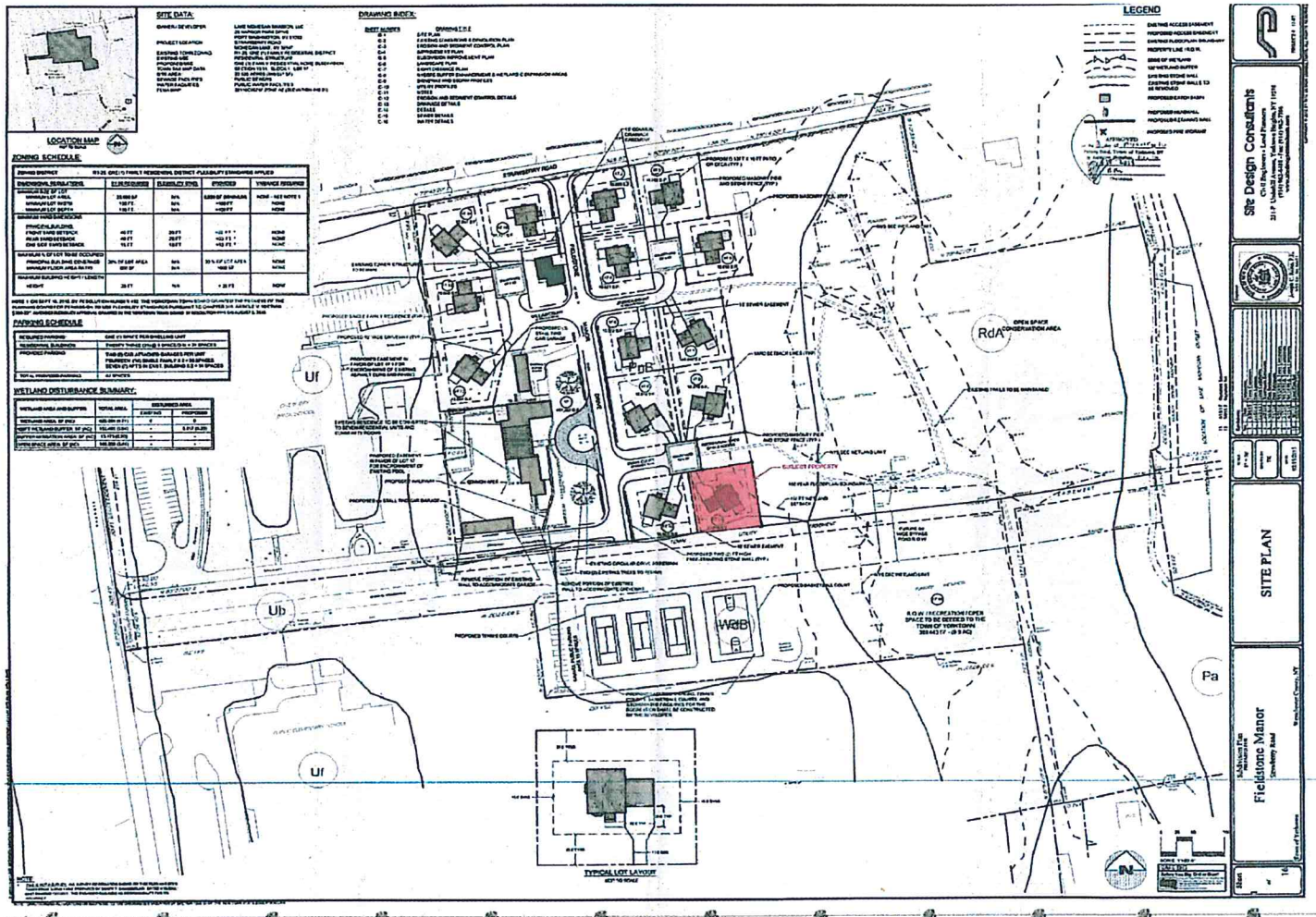
Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Fieldstone Manor Subdivision – Lot #11

Page 4 of 4

June 8, 2022

Fieldstone Manor Approved Subdivision Map



Draft Minutes

McDonald's



BROWN
ALTMAN &
DILEO, LLP

538 BROADHOLLOW ROAD | SUITE 301
MELVILLE, NEW YORK 11747

TEL 516-222-0222 | FAX 516-222-0322
KBDA@BROWNAITMAN.COM | WWW.BROWNAITMAN.COM

June 13, 2022

VIA FEDERAL EXPRESS

Planning Board
Yorktown Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, New York 10598

RECEIVED
PLANNING DEPARTMENT
JUN 14 2022
TOWN OF YORKTOWN

Re: Amended Site Plan Application to the Town of Yorktown ("Town") Planning Board by McDonald's Corporation ("McDonald's") in connection with the redevelopment of the property located at 3481 U.S. Route 202, Cortlandt, New York ("Property"), WCTM No.: Block 1, Lot 10, Map 36.05
McDonald's Site Id. No. 031-0170
Our Matter No. 100-284-038

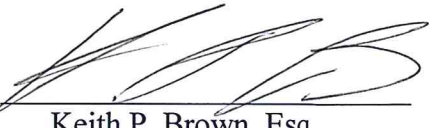
Dear Chairman Fon and Honorable Members of the Planning Board:

Our firm represents McDonald's in connection with the above-referenced Property. On or about July 9, 2021, the Town Planning Board executed the resolution of approval dated June 14, 2021, which granted McDonald's amended site plan application permitting the proposed site improvements (a copy of which is enclosed). Upon information and belief, a building permit application was submitted but has not yet been issued. Pursuant to the resolution of approval, McDonald's was required to obtain a building permit by June 14, 2022. Therefore, McDonald's respectfully requests that the Planning Board grant a one (1) year extension of time to obtain the building permit.

Kindly date stamp the enclosed copy of this submission letter and return to our office in the enclosed prepaid FedEx envelope. Should you have any questions concerning the foregoing, or require additional information, please do not hesitate to contact our office. Thank you for your time and attention to this matter.

Very truly yours,

BROWN ALTMAN & DILEO, LLP

By: 
Keith P. Brown, Esq.

Encls.

June 13, 2022

VIA FEDERAL EXPRESS

Planning Board
Yorktown Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, New York 10598

Re: Amended Site Plan Application to the Town of Yorktown ("Town") Planning Board by McDonald's Corporation ("McDonald's") in connection with the redevelopment of the property located at 3481 U.S. Route 202, Cortlandt, New York ("Property"), WCTM No.: Block 1, Lot 10, Map 36.05
McDonald's Site Id. No. 031-0170
Our Matter No. 100-284-038

Dear Chairman Fon and Honorable Members of the Planning Board:

Our firm represents McDonald's in connection with the above-referenced Property. On or about July 9, 2021, the Town Planning Board executed the resolution of approval dated June 14, 2021, which granted McDonald's amended site plan application permitting the proposed site improvements (a copy of which is enclosed). Upon information and belief, a building permit application was submitted but has not yet been issued. Pursuant to the resolution of approval, McDonald's was required to obtain a building permit by June 14, 2022. Therefore, McDonald's respectfully requests that the Planning Board grant a one (1) year extension of time to obtain the building permit.

Kindly date stamp the enclosed copy of this submission letter and return to our office in the enclosed prepaid FedEx envelope. Should you have any questions concerning the foregoing, or require additional information, please do not hesitate to contact our office. Thank you for your time and attention to this matter.

Very truly yours,

BROWN ALTMAN & DILEO, LLP

By: 

Keith P. Brown, Esq.

Encls.

TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, NY 10598, Phone 914-962-6565, Fax 914-962-3986

PLANNING BOARD RESOLUTION ROUTING TRANSMITTAL

DATE: July 14, 2021

TO: File
 Applicant (*via e-mail*)
 Town Clerk
 Building Inspector (*via e-mail*)
 Town Engineer (*via e-mail*)
 Fire Inspector (*via e-mail*)
 Highway Superintendent (*via e-mail*)
 Water Department (*via e-mail*)
 Town Assessor (*via e-mail*)

FROM: Planning Department

SUBJECT: McDonald's – Crompond Road

RESOLUTION: #21-15

SBL: 36.05-1-10; 3481 Crompond Road, Yorktown Heights

Attached please find a copy of Planning Board Resolution #21-15 approving an amended site plan, MS4 stormwater management permit and wetland permit dated June 14, 2021.

Thank you,

John A. Tegeder, R.A.
Director of Planning

/nc
Attachment

THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of Yorktown Planning Board Resolution:

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
AMENDED SITE PLAN, MS4 STORMWATER MANAGEMENT PERMIT
AND WETLAND PERMIT FOR MCDONALDS**

DATE OF RESOLUTION: JUNE 14, 2021

HEREBY signed by the secretary of the Planning Board:



William LaScala, Secretary

July 9, 2021

Date

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
AMENDED SITE PLAN, MS4 STORMWATER MANAGEMENT PERMIT
AND WETLAND PERMIT FOR MCDONALDS**

RESOLUTION NUMBER: #21-15

DATE: JUNE 14, 2021

On motion of Garrigan, seconded by LaScala, and unanimously voted in favor by Fon, LaScala, Garrigan, and Visconti the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Proposed McDonalds Remodel," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020, was submitted to the Planning Board on behalf of McDonalds Corporation (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by the Applicant is located at 3481 Crompond Road, Yorktown Heights, also known as Section 36.05, Block 1, Lot 10 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this board that they are the lawful owners of the land within said site plan; and

WHEREAS an amended application fee of \$1,087.00 covering 1.05 acres has been received by this board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on June 14, 2021.
3. A negative declaration has been adopted on June 14, 2021, on the basis of a Short EAF dated June 25, 2020.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A map, Sheet C-1, titled "Cover Sheet," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
2. A map, Sheet C-1, titled "Approved vs. Amended Site Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
3. A map, Sheet C-2, titled "Aerial Map," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
4. A map, Sheet C-3, titled "Demolition Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
5. A map, Sheet C-4, titled "Site Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
6. A map, Sheet C-5, titled "Grading, Drainage, & Utility Plan," prepared by Dynamic

- Engineering, dated December 28, 2018, and last revised November 4, 2020; and
7. A map, Sheet C-6 titled "Landscape & Lighting Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
8. A map, Sheet C-7 titled "Soil Erosion & Sediment Control Plan," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
9. A map, Sheet C-8 titled "ADA Compliance and Construction Details," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
10. A map, Sheet C-9 titled "Construction Details," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
11. A map, Sheet C-10 titled "Construction Details," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
12. A map, Sheet C-11 titled "Construction Details," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
13. A map, Sheet C-12 titled "Construction Details," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
14. A map, Sheet C-13 titled "Construction Details," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
15. A map, Sheet C-14 titled "Vehicle Circulation Plan (Refuse Truck)," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
16. A map, Sheet C-15 titled "Vehicle Circulation Plan (Delivery Truck)," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and
17. A map, Sheet C-16 titled "Vehicle Circulation Plan (Fire Truck)," prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020; and

WHEREAS the building materials and colors have been reviewed by the Advisory Board on Architecture & Community Appearance and recommended for approval by this Board by memo dated July 30, 2019; and

WHEREAS as per Section §300-21D(13)(a)[1] a place serving food and beverage is an allowed use in the C-4 (Commercial General District); and

WHEREAS pursuant to Section §300-182A(5) of the Town of Yorktown Town Code, the applicant must provide one parking space for every 50 square feet devoted to patron use and one parking spot for every 100 square feet devoted to food preparation and ancillary use requiring a total of 62 parking spaces and 48 parking spaces are shown on the site plan; and WHEREAS the applicant obtained a variance from the Zoning Board of Appeals by Decision #1/21 dated March 26, 2021 to allow 48 parking spaces where 62 parking spaces are required by Town Code; and

WHEREAS the Property is located within a Designated Main Street Area and must receive

approval from the New York City Department of Environmental Protection before the site plan is signed by the Planning Board Chairman; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	09/18/20, 12/02/20
Conservation Board	11/19/20
Fire Inspector	10/01/20
NYC DEP	02/07/20, 02/19/20, 12/15/20, 05/13/21
Westchester County Planning Board	12/14/20

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code by video conference on the said site plan application commencing and closing on June 14, 202; and

BE IT NOW RESOLVED that the application of McDonalds Corporation for the approval of a site plan titled "Proposed McDonalds Remodel" as prepared by Dynamic Engineering, dated December 28, 2018, and last revised November 4, 2020, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Additional requirements prior to signature by the Planning Board Chairman:

1. Applicant shall submit a plan to update the existing freestanding sign to eliminate the single pole design by covering it, adding a wider base, or otherwise altering the design to the satisfaction of the Planning Department.
2. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the NYC DEP.
3. Submission of inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

4. All permits for work to be done in the Right of Way must be approved by the NYSDOT.

Additional requirements:

5. Proposed plan must comply with all current applicable ADA standards.
6. Prior to the issuance of a building permit, submission of all legal documents to effectuate the offers of cession, road dedications, easement, and other agreements set forth on the map or its notes, in form satisfactory to the Town Attorney.
7. Applicant must obtain all necessary permits from outside agencies.
8. Upon completion of the project, the Applicant must submit an as-built survey, on paper and in digital AutoCAD DWG readable format, showing all improvements on the site.

BE IT FURTHER RESOLVED, that in accordance with Town Code Chapter 178 and Chapter 248, the application of McDonalds Corporation for the approval of a Stormwater Pollution Prevention Plan and Wetland Permit **#WP-FSWPP-000-21** is approved subject to the conditions listed therein; and

RESOLVED, Permit **#WP-FSWPP-000-21** shall not be valid until it has been signed by the Chairman of this Board;

RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a "Qualified Inspector" as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

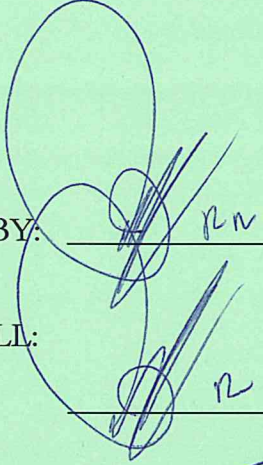
BE IT FURTHER RESOLVED that unless a building permit has been issued by **June 14, 2022**, or a time extension has been granted by the Planning Board, this approval will be null and void.

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
AMENDED SITE PLAN, MS4 STORMWATER MANAGEMENT PERMIT
AND WETLAND PERMIT FOR MCDONALDS**

DATE: JUNE 14, 2021

SIGNED BY: _____

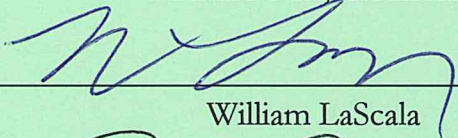


Richard Fon, Chairman


ROLL CALL: _____

AYES: _____

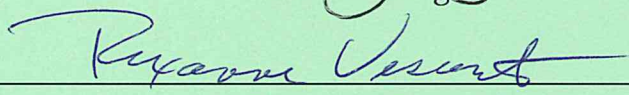
Richard Fon, Chairman



William LaScala



Robert Garrigan



Roxanne Visconti

NAYES: _____

Nantucket Sound Sons

Site Design Consultants

Civil Engineers • Land Planners

May 23, 2022

Mr. Richard Fon, Chairman
Members of the Yorktown Planning Board
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT

MAY 24 2022

TOWN OF YORKTOWN

Re: Resolution #21-14
Nantucket Sound Sons, LLC
Site Plan Approval

Dear Chairman Fon and Members of the Planning Board:

On behalf of our client, Nantucket Sound Sons, LLC, we are respectfully requesting a one-year time extension. This Resolution will expire on June 14, 2022. The Resolution is dated August 9, 2021.

Thank you.

Sincerely,


Joseph C. Riina, P.E.

/cm/sdc 19-10

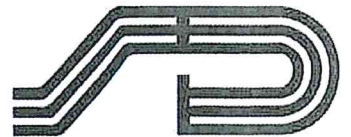
251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, NY 10598, Phone 914-962-6565, Fax 914-962-3986

PLANNING BOARD RESOLUTION ROUTING TRANSMITTAL

DATE: August 11, 2021

TO: File
 Applicant (*via e-mail*)
 Town Clerk
 Building Inspector (*via e-mail*)
 Town Engineer (*via e-mail*)
 Fire Inspector (*via e-mail*)
 Highway Superintendent (*via e-mail*)
 Water Department (*via e-mail*)
 Town Assessor (*via e-mail*)

FROM: Planning Department

SUBJECT: Nantucket Sound Sons, LLC

RESOLUTION: #21-14

SBL: 37.18-2-86; 355 Kear Street, Yorktown Heights

Attached please find a copy of Planning Board Resolution #21-14 approving a site plan for Nantucket Sound Sons, LLC dated August 9, 2021.

Thank you,

John A. Tegeder, R.A.
Director of Planning

/nc
Attachment

THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of Yorktown Planning Board Resolution:

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
A SITE PLAN FOR
NANTUCKET SOUND SONS, LLC**

DATE OF RESOLUTION: AUGUST 9, 2021

HEREBY signed by the secretary of the Planning Board:



William LaScala, Secretary

August 9, 2021

Date

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
A SITE PLAN FOR
NANTUCKET SOUND SONS, LLC**

RESOLUTION NUMBER: #21-14

DATE: AUGUST 9, 2021

On motion of William LaScala, seconded by Roxanne Visconti, and unanimously voted in favor by Fon, LaScala, and Visconti, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Site Plan," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020, was submitted to the Planning Board on behalf of Nantucket Sound Sons, LLC (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by the Applicant is located at 355 Kear Street, Yorktown Heights, also known as Section 37.18, Block 2, Lot 86 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this board that they are the lawful owners of the land within said site plan; and

WHEREAS an application fee of \$4,080.00 covering 0.36 acres has NOT been received by this Board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared Lead Agency on June 14, 2021.
3. A Negative Declaration has been adopted on June 14, 2021 on the basis of a Short EAF dated February 10, 2020.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A drawing, Sheet 1 of 12, titled "Site Plan," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
2. A drawing, Sheet 2 of 12, titled "Existing Conditions," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
3. A drawing, Sheet 3 of 12, titled "E&SC Plan," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
4. A drawing, Sheet 4 of 12, titled "Improvement Plan," prepared by Site Design

- Consultants, dated March 14, 2020, and last revised August 25, 2020; and
5. A drawing, Sheet 5 of 12, titled "Lighting," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
 6. A drawing, Sheet 6 of 12, titled "Landscape Plan," prepared by Site Design Consultants, dated February 20, 2020, and last revised August 25, 2020; and
 7. A drawing, Sheet 7 of 12, titled "Profiles," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
 8. A drawing, Sheet 8 of 12, titled "E&SC Notes & Details," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
 9. A drawing, Sheet 9 of 12, titled "Site Details," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
 10. A drawing, Sheet 10 of 12, titled "Site Details 2," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
 11. A drawing, Sheet 11 of 12, titled "Drainage Details," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
 12. A drawing, Sheet 12 of 12, titled "Stormwater Details," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020; and
 13. A drawing, Sheet 1 of 1, titled, "Baldwin Road Trail Entrance Off Site Tree Mitigation Plan," prepared by Frank Giuliano, Landscape Architect, dated June 11, 2011; and

Architectural Plans

14. A drawing, Sheet AR0.01 titled "Kear Street Building," prepared by Joseph G. Thompson Architect, PLLC, dated and last revised February 10, 2020; and
15. A drawing, Sheet A1.01 titled "Kear Street Building," prepared by Joseph G. Thompson Architect, PLLC, dated and last revised February 10, 2020; and
16. A drawing, Sheet A1.02 titled "Kear Street Building," prepared by Joseph G. Thompson Architect, PLLC, dated and last revised February 10, 2020; and
17. A drawing, Sheet A2.01 titled "Kear Street Building," prepared by Joseph G. Thompson Architect, PLLC, dated and last revised February 10, 2020; and

Additional Documents & Reports

18. A report, titled "Stormwater Management Plan," prepared by Site Design Consultants, dated and last revised June, 2020; and

WHEREAS final approval of the building materials and colors has not yet been obtained by the Advisory Board on Architecture & Community Appearance; and

WHEREAS as per Section §300-21D(10)(a)[1][2] mixed use development is an allowed use in the C2-R Zone (Commercial Hamlet Center District); and

WHEREAS pursuant to Section §300-182A(1)&(3) of the Town of Yorktown Town Code, the applicant has provided 2.2 parking spaces for every residential dwelling and four (4)

parking spaces for every 1,000 square feet of GFA designated as retail use, thereby requiring a total of 23 parking spaces as shown on the site plan; and

WHEREAS the Property is located within a Designated Main Street Area and must receive approval from the New York City Department of Environmental Protection before the site plan is signed by the Planning Board Chairman; and

WHEREAS in accordance with Town Code Chapter 248, "Stormwater Management and Erosion Sediment Control", the applicant has proposed catch basins running to Downstream Defenders for Stormwater treatment and has provided details in the plan set. The stormwater is then stored in the proposed stormtech chambers after being treated by the Downstream Defenders. There is to be a drainage pipe that will be constructed in one day to prevent sediment from the property from flowing into the Kear Street drainage system as noted in the plan set. There are also details for the soil stock pile area, as noted in the plan set; and

WHEREAS pursuant to Town Code Chapter 270, "Trees", the is proposing to remove 43 trees totaling 514.94 inches and as shown on the Landscape Plan, Sheet 6 of 12 listed herein, the applicant is proposing to plant 93 trees and 155 shrubs/groundcovers of different species to mitigate the removed trees and landscape the property; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	03/19/20, 08/26/20
Conservation Board	07/16/20, 05/20/21
Fire Inspector	07/09/20
Planning Department	05/03/19, 10/04/19, 02/04/20, 07/10/20
Town Engineer	09/09/20
Tree Conservation Advisory Commission	04/27/20, 07/13/20, 05/24/21
NYC DEP	04/28/20
Westchester County Planning Board	04/24/20

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held via video conference in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application on April 27, 2020; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested

and involved agencies associated with the application before it; and having conducted a public hearing via video conference held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing and closing on March 8, 2021;

BE IT NOW RESOLVED that the application of Nantucket Sound Sons, LLC for the approval of a site plan titled "Site Plan," prepared by Site Design Consultants, dated March 14, 2020, and last revised August 25, 2020, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. Add a note to the site plan stating the remainder of the NYS DOT right-of-way is to be protected for disturbance.

Additional requirements prior to signature by the Planning Board Chairman:

1. Submit final architectural plans to the Planning Department for review.
2. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the Planning Board.
3. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

Application Fee	\$4,080.00
ABACA Review	\$810.20
General Development	\$392.00

4. Submission of inspection fees and security to the Engineering Department to the satisfaction of the Planning Board.

Additional requirements:

5. Proposed plan must comply with all current applicable ADA standards.
6. Prior to the issuance of a building permit, submission of all legal documents to effectuate the offers of cession, road dedications, easement, and other agreements set forth on the map or its notes, in form satisfactory to the Town Attorney.
7. Applicant must obtain all necessary permits from outside agencies.

8. Upon completion of the project, the Applicant must submit an as-built survey, on paper and in digital AutoCAD DWG readable format, showing all improvements on the site.

BE IT NOW RESOLVED that in accordance with Chapter 248, the Planning Board finds the stormwater mitigation in this site plan to be compliant and to the Board's satisfaction; and

BE IT RESOLVED that in accordance with Chapter 270, the Planning Board finds additional off-site tree mitigation is required to mitigate the trees being removed as a result of the site development and the applicant has proposed additional tree mitigation in the form of invasive removal and plantings on the Mohansic Trailway adjacent to Baldwin Road and on-site and off-site mitigation is to the satisfaction of the Planning Board; and

BE IT FURTHER RESOLVED, that in accordance with Chapter 248 and Chapter 270, the applicant must apply for approval of a Stormwater Pollution Prevention Plan and Tree Removal Permit pursuant to the site plans approved herein; and

BE IT RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a "Qualified Inspector" as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

BE IT RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

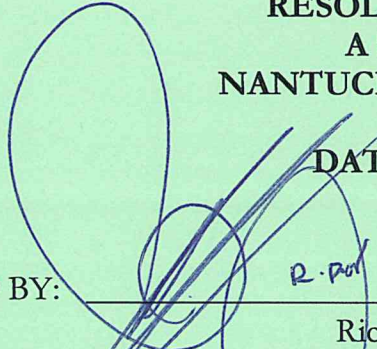
BE IT FURTHER RESOLVED that unless a building permit has been issued by **June 14, 2022**, or a time extension has been granted by the Planning Board, this approval will be null and void.

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING
A SITE PLAN FOR
NANTUCKET SOUND SONS, LLC

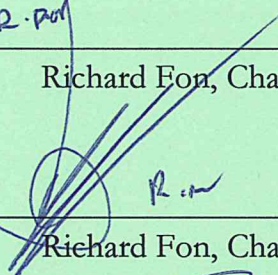
DATE: AUGUST 9, 2021


SIGNED BY:

 R. Fon
Richard Fon, Chairman

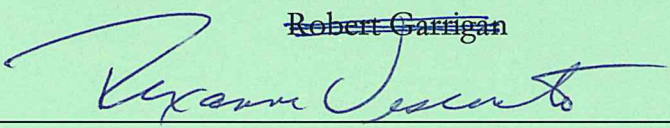
ROLL CALL:

AYES:

 R. Fon
Richard Fon, Chairman


William LaScala

~~Aaron Beck~~

~~Robert Garrigan~~

Roxanne Visconti

NAYES:

Atlantic Appliance

Site Design Consultants

Civil Engineers • Land Planners

June 23, 2022

Mr. Richard Fon, Chairman
Members of the Yorktown Planning Board
1974 Commerce Street
Yorktown Heights, NY 10598

RECEIVED
PLANNING DEPARTMENT
JUN 23 2022
TOWN OF YORKTOWN

Re: Atlantic Appliance
2010 Maple Hill Street
Resolution #20-10

Dear Chairman Fon and Members of the Planning Board:

We are respectfully requesting a second One-Year Time Extension for the above captioned Resolution, which is expiring July 8, 2022.

Please place this project on the next Planning Board Agenda for discussion. Thank you.

Sincerely,


Joseph C. Rina, P.E.

/cm/sdc 19-40

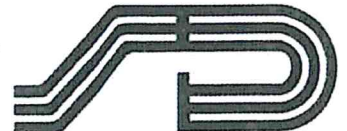
251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



TOWN OF YORKTOWN PLANNING DEPARTMENT

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, NY 10598, Phone 914-962-6565, Fax 914-962-3986

PLANNING BOARD RESOLUTION ROUTING TRANSMITTAL

DATE: August 13, 2020

TO: File
 Applicant (*via e-mail*)
 Town Clerk
 Building Inspector (*via e-mail*)
 Town Engineer (*via e-mail*)
 Fire Inspector (*via e-mail*)
 Highway Superintendent (*via e-mail*)
 Water Department (*via e-mail*)
 Town Assessor (*via e-mail*)

FROM: Planning Department

SUBJECT: Atlantic Appliance

RESOLUTION: #20-10

SBL: 37.15-1-31 & 35

Attached please find a copy of Planning Board Resolution #20-10 approving a site plan, special use permit, stormwater management plan, wetland permit, and tree permit for Atlantic Appliance dated July 13, 2020.

Thank you,

John A. Tegeder, R.A.
Director of Planning

/nc
Attachment

THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of Yorktown Planning Board Resolution:

**PLANNING BOARD
TOWN OF YORKTOWN**

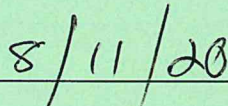
**RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT,
STORMWATER MANAGEMENT PLAN, WETLAND PERMIT,
AND TREE PERMIT FOR ATANTIC APPLIANCE**

DATE OF RESOLUTION: JULY 13, 2020

HEREBY signed by the secretary of the Planning Board:



John Kincart, Secretary



Date

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT,
STORMWATER MANAGEMENT PLAN, WETLAND PERMIT,
AND TREE PERMIT FOR ATANTIC APPLIANCE**

RESOLUTION NUMBER: #20-10

DATE: JULY 13, 2020

On motion of Kincart, seconded by Savoca, and unanimously voted in favor by Fon, Savoca, Kincart, LaScala and Bock the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Atlantic Appliance," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020, was submitted to the Planning Board on behalf of Gjolosh Vakoj (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by the Applicant is located at 2010 Maple Street , Yorktown Heights, also known as Section 37.15, Block 1, Lots 31 & 35 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this board that they are the lawful owners of the land within said site plan; and

WHEREAS an application fee of \$4,554.00 covering 1.57 acres has been received by this board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on July 13, 2020.
3. A negative declaration has been adopted on July 13, 2020 on the basis of a Short EAF dated October 10, 2019.

WHEREAS the Applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A map, Sheet 1 of 14, titled "Site Plan," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020; and
2. A map, Sheet 2 of 14, titled "Existing Conditions Plan," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020; and
3. A map, Sheet 3 of 14, titled "Erosion & Sediment Control Plan," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020; and
4. A map, Sheet 4 of 14, titled "Improvement Plan," prepared by Site Design Consultants,

- dated December 3, 2019, and last revised May 18, 2020; and
5. A map, Sheet 5 of 14, titled "Tree Survey And Removal Plan," prepared by Site Design Consultants, dated January 10, 2019, and last revised May 18, 2020; and
 6. A map, Sheet 6 of 14, titled "Landscape Plan," prepared by Frank Giuliano – Landscape Architect, dated February 20, 2020, and last revised May 18, 2020; and
 7. A map, Sheet 7 of 14, titled "Lighting Plan," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020; and
 8. A map, Sheet 8 of 14, titled "Turning Movement Plan," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020; and
 9. A map, Sheet 9 of 14, titled "Driveway Profile," prepared by Site Design Consultants, dated November 20, 2019, and last revised May 18, 2020; and
 10. A map, Sheet 10 of 14, titled "E&SC Notes & Details," prepared by Site Design Consultants, dated October 16, 2017, and last revised May 18, 2020; and
 11. A map, Sheet 11 of 14, titled "Site Details," prepared by Site Design Consultants, dated October 16, 2017, and last revised May 18, 2020; and
 12. A map, Sheet 12 of 14, titled "Stormwater Details," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020; and
 13. A map, Sheet 13 of 14, titled "Improvement Details," prepared by Site Design Consultants, dated October 16, 2017, and last revised May 18, 2020; and
 14. A map, Sheet 14 of 14, titled "Retaining Wall," prepared by Site Design Consultants, dated January 10, 2019, and last revised May 18, 2020; and

Architectural Plans

15. A building rendering, Sheet a-1, prepared by Salvatore Mancini, AIA, dated February 9, 2020 and last revised May 8, 2020; and
16. A building rendering, Sheet a-2, prepared by Salvatore Mancini, AIA, dated February 9, 2020 and last revised May 8, 2020; and
17. A building rendering, Sheet a-3, prepared by Salvatore Mancini, AIA, dated February 9, 2020 and last revised May 8, 2020; and
18. A building rendering, Sheet a-4, prepared by Salvatore Mancini, AIA, dated February 9, 2020 and last revised May 8, 2020; and
19. A building rendering, Sheet a-5, prepared by Salvatore Mancini, AIA, dated February 9, 2020 and last revised May 8, 2020; and

Additional Documents & Reports

20. A map, prepared by Tim Miller Associates, titled, "Tree Replacement and Buffer/Wetland Enhancement Plan," dated April 9, 2020, and last revised May 11, 2020; and
21. A MS4 Stormwater Management Plan, titled, "Stormwater Management Plan," prepared by Site Design Consultants, dated April, 2020, and last revised June, 2020; and

WHEREAS the building materials and colors have been reviewed by the Advisory Board on Architecture & Community Appearance and recommended for approval by this Board; and

WHEREAS as per Section §300-21D(9)(a)[1] conducting retail business is an allowed use in the C-2 zone (Commercial Hamlet Center District); and

WHEREAS pursuant to Section §300-182A(3)(a) of the Town of Yorktown Town Code, the applicant has provided four (4) parking spaces for every 1,000 square feet of gross floor area and pursuant to Section §300-182A(6), the use of a wholesale commercial building requires to provide one parking space for each two persons for which the building use is designed, therefore, with the proposed building at 16,000 square feet of Gross Floor Area and a total of 4 employees, the Applicant has provided 66 parking spaces on the site plan; and

WHEREAS a variance to allow 65 feet, where 75 feet is required for a front yard setback with parking was granted by the Town of Yorktown Zoning Board of Appeals by ZBA Decision #16/20; and

WHEREAS the Property is located within a Designated Main Street Area and must receive approval or a letter of no jurisdiction from the New York City Department of Environmental Protection before the site plan is signed by the Planning Board Chairman; and

WHEREAS in accordance with Town Code Chapter 178, "Freshwater Wetlands", the applicant has proposed:

1. Pocket wetlands and a Wetland Enhancement Plan on the property for proper mitigation;
2. The removal of invasive species from the designated wetland areas to enhance and preserve said areas on the property, as shown in the plan set;
3. To provide 30 shrubs around the pocket wetland areas on the property that encompass land on both lots #31 and #35 and a green rooftop on the building as shown in the plan set; and

WHEREAS in accordance with Town Code Chapter 248, "Stormwater Management and Erosion Sediment Control", the applicant has proposed

1. Stormwater Planters that will collect and release runoff through drainage pipes to the new stormwater basin being proposed;
2. A micro pool and rain garden for any stormwater runoff overflow so that the stormwater basin will treat the runoff at its designed rate of release and control; and

WHEREAS in accordance with Town Code Chapter 270, "Trees", the applicant has proposed:

1. 30 tree plantings in the areas outside the wetland/wetland buffer on lot #31 and an additional 50 tree plantings in designated areas on lot #35, not in the wetland enhancement areas, as shown in the plan set;

2. The removal of invasive species and installation of deer fencing in the designated areas for wetland enhancement and tree plantings on the property;
3. 90 shrubs around the building and parking area on lot #31, and 27 additional tree plantings in the wetland/wetland buffer areas on the property; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	03/20/2020, 04/29/2020, 05/28/2020
Conservation Board	01/13/2020, 05/20/2020
Fire Inspector	12/13/2019
Planning Department	10/16/2019, 12/06/2019
Town Engineer	10/18/2019, 05/01/2020, 06/05/2020, 06/22/2020
NYS OPRHP	03/26/2020
NYC DEP	04/13/2020, 04/15/2020, 05/01/2020
NYS DEC	04/13/2020
Tree Conservation Advisory Commission	04/20/2020, 06/08/2020

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application at the Town Hall in Yorktown Heights, New York on January 27, 2020; and

WHEREAS having reviewed all current site plans, building plans, environmental plans, and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing via video conference held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing on April 20, 2020, and continuing and closing on June 22, 2020; and

BE IT NOW RESOLVED that the application of Gjolosh Vakoj for the approval of a site plan and special use permit for the plan set titled "Atlantic Appliance," prepared by Site Design Consultants, dated December 3, 2019, and last revised May 18, 2020, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be, and hereby is, authorized to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. Provide lighting wall-packs and fixtures that conform to the Town Code and are to the satisfaction of the Planning Board.
2. Provide adequate plantings on the north side of the property to the satisfaction of the Planning Board.
3. Provide the utility details and a pipe profile for confirmation that the site will have a gravity sewer lateral connection.
4. Provide the total quantity of water usage and the estimated wastewater that is expected to be generated for the uses on the site.

Additional requirements prior to signature by the Planning Board Chairman:

1. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the Planning Board.
2. Submission of the wetland mitigation plan to the satisfaction of the Town Engineer. Show the proposed Conservation Easement on the plan set and submit a final survey showing the Conservation Easement with a metes and bound description to the satisfaction of the Planning Board.
3. Provide deed or other documentation to the satisfaction of the Town Attorney to record the easement.
4. Provide a wetland bond, performance bond, and a landscape bond to the satisfaction of the Planning Board.
5. Submission of inspection fees and security to the Engineering Department, acceptable to the Planning Board.
6. The two lots of the property are to be merged into one lot.

Additional requirements:

7. Proposed plan must comply with all current applicable ADA standards.
8. Prior to the issuance of a building permit, submission of all legal documents to effectuate the offers of cession, road dedications, easement, and other agreements set forth on the map or its notes, in form satisfactory to the Town Attorney.
9. Applicant must obtain all necessary permits from outside agencies.

10. Upon completion of the project, the Applicant must submit an as-built survey, on paper and in digital AutoCAD DWG readable format, showing all improvements on the site.

BE IT RESOLVED that in accordance with Chapter 178, the Planning Board finds the Freshwater Wetlands mitigation and development in this site plan to be compliant and to the Board's satisfaction; and

BE IT NOW RESOLVED that in accordance with Chapter 248, the Planning Board finds the stormwater mitigation in this site plan to be compliant and to the Board's satisfaction; and

BE IT RESOLVED that in accordance with Chapter 270, the Planning Board finds the Tree mitigation in this site plan to be compliant and to the Board's satisfaction; and

BE IT FURTHER RESOLVED, that in accordance with Town Code Chapter 248, Chapter 178, and Chapter 270, the application of Gjolosh Vakoj for the approval of a Stormwater Pollution Prevention Plan, Wetland, and Tree Removal Permit **#WP-FSWPP-T-018-20** is approved subject to the conditions listed therein; and

BE IT RESOLVED, Permit **#WP-FSWPP-T-018-20** shall not be valid until it has been signed by the Chairman of this Board;

BE IT RESOLVED the Applicant will retain an independent third-party Environmental Systems Planner, a "Qualified Inspector" as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

BE IT RESOLVED the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

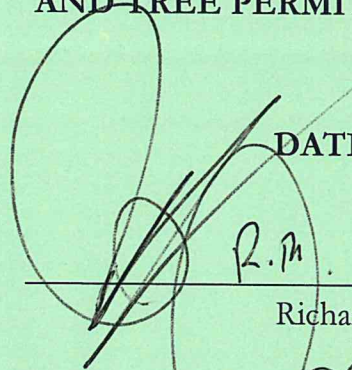
BE IT FURTHER RESOLVED that unless a building permit has been issued by **July 8, 2021**, or a time extension has been granted by the Planning Board, this approval will be null and void.

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT,
STORMWATER MANAGEMENT PLAN, WETLAND PERMIT,
AND TREE PERMIT FOR ATANTIC APPLIANCE

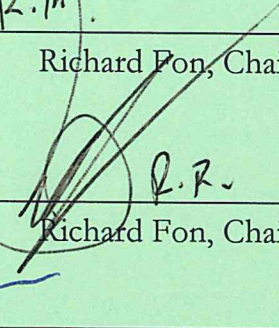
DATE: JULY 13, 2020

SIGNED BY:

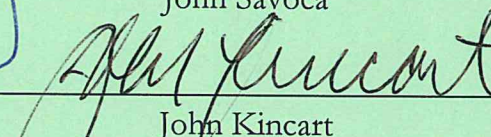
 R.F.
Richard Fon, Chairman

ROLL CALL:

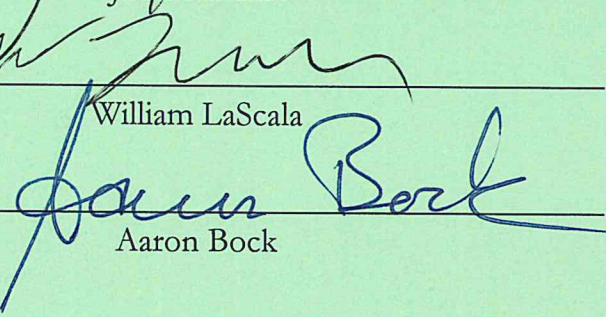
AYES:

 R.F.
Richard Fon, Chairman

John Savoca


John Kincart

William LaScala


Aaron Bock

NAYES:

ABSTAIN:

Bellamy Subdivision

"MAP OF EAST PORTION, SECTION NO. 1, AMENDED, AND SECTION NO. 3 OF AMAWALK ACRES"
 (filed June 15, 1954 as Map No. 9123)

LOT 70
 now or formerly
ANTHONY & JULIANNA SHALLO
 (Control No. 581443101)

LOT 69
 now or formerly
JORGE MIGUEL REIS & SUSANA MOUTOSO-REIS
 (Control No. 540783066)

LOT 68
 now or formerly
JOHN PATRICK, III & RONDA SAYLOR
 (Control No. 503223143)

OWNERS' ACKNOWLEDGMENT AND CONSENT

The undersigned, owner of the property hereon, states that he is familiar with this map, its contents and its legends, and hereby consents to the filing of this map.

Signed this ___ day of _____, 2022.

Agent for Joe Bellamy Construction, Inc. Date

HEALTH DEPARTMENT NOTE

Westchester County Department of Health
 New Rochelle, New York

Approved pursuant to Chapter 873, Article X, Sections 873.951 and 873.1021 and Articles VII and XXII of the Westchester County Sanitary Code subject to the provision of public water supply and public sanitary sewer facilities to serve each habitable building hereafter constructed. These facilities are to be installed in accordance with land improvement plans and specifications approved by and filed in this office prior to the construction of such building.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health on behalf of the Dept. of Health Date

TOWN TAX MAP DESIGNATION:

Section 37.10, Block 1, Lot 38

OWNER/APPLICANT:
 Joe Bellamy Construction, Inc.
 2333 Willow Street
 Yorktown Heights, NY 10598

DEED OF RECORD:
 Control No. 593463599

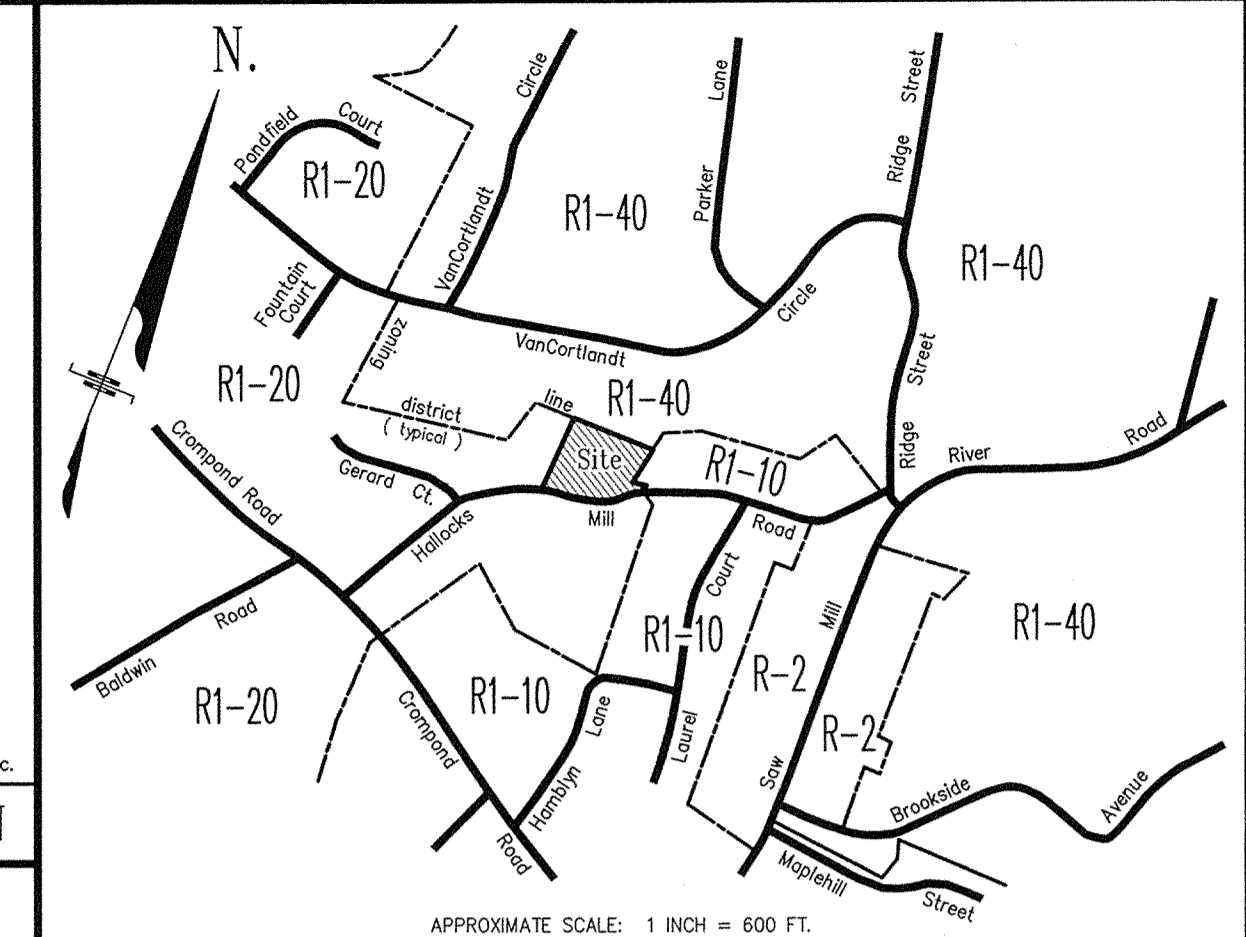
TOTAL SITE AREA:
 2.768 Acres (120,560 Sq. Ft.)

TOWN ZONING DISTRICT:
 R1-20 ~ Residential
 (20,000 Sq.Ft. min. lot area)

PRINCIPAL BUILDING SETBACKS:
 Front ~ 40'
 Side ~ 15' one / 40' two combined
 Rear ~ 40'

See additional site drawings for lot design standards, etc.

GENERAL SITE INFORMATION



APPROXIMATE SCALE: 1 INCH = 600 FT.

PLANNING BOARD APPROVAL

Approved by Resolution No. _____ of the Planning Board of the Town of Yorktown, New York, on the ___ day of _____, 2022, subject to all requirements and conditions of said Resolution. Any change, erasure, modification or revision in this plat, after the above date, shall void this approval.

Signed this ___ day of _____, 2022.

Chairperson _____ Building Inspector _____
 Secretary _____ Highway Superintendent _____

GENERAL NOTES

- All new utilities are to be installed underground.
- The maintenance of the stormwater management facilities are the responsibility of the property owner, as per the Stormwater Plan.
- The filing of this plat shall serve to create temporary easements as are needed to allow for construction, installation and/or maintenance of the proposed facilities to serve the lots shown hereon as set forth on the approved Site Plan for this subdivision; Lots shown hereon to be subject to and benefit from "cross" easements allowing for the approved common access that is shown said Site Plan, and shall be subject to the conditions set forth in the Declaration of Easement and Maintenance Agreement to be recorded in the Westchester County Clerk's Office.
- The existing and proposed water lines and sewer lines are as furnished by the engineer named hereon; refer to additional plans showing proposed site improvements on file with the Town of Yorktown and the Westchester County Department of Health for additional information.

TOTAL AREA = 1.4168 ACRES
 (61,715 SQ. FT.)

UNNUMBERED PARCEL SHOWN ON
"MAP 2 OF AMAWALK ACRES"
 (filed February 3, 1953 as Map No. 7927)

now or formerly
RICHARD H. & MARY A. WILLIAMS
 (Liber 7566, Page 506)

now or formerly ~ **ALONSO PEREZ & PATRICIA BOTERO**
 (Control No. 462510729)

now or formerly ~ **ALONSO PEREZ & PATRICIA BOTERO**
 (Control No. 462510729)

LOT 38
 AREA = 33,240 SQ. FT.
 (0.7631 ACRE)

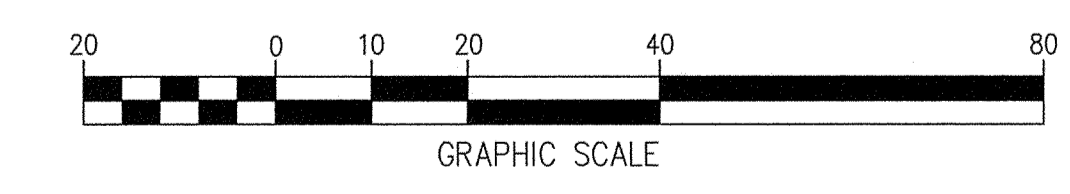
LOT 38.1
 AREA = 25,330 SQ. FT.
 (0.5815 ACRE)

HALLOCK'S

LOT 001
 PARCEL TO BE DEEDED TO THE TOWN OF YORKTOWN FOR HIGHWAY PURPOSES
 (AREA = 3145 SQ. FT. ~ 0.0722 ACRE)

FINAL SUBDIVISION PLAT
 PREPARED FOR
JOE BELLAMY CONSTRUCTION, INC.
 PROPERTY SITUATE IN
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER
STATE OF NEW YORK

SCALE: 1" = 20'



SURVEY COMPLETED: JANUARY 18, 2020
 UPDATED TO REFLECT REMOVED STRUCTURES: MAY 12, 2022
 (ENTIRE SURVEY NOT UPDATED)
 THIS PLAT PREPARED: MAY 24, 2022
 COUNTY INDEX SYSTEM: SHEET 245, BLOCK 10704

I, Robert E. Baxter, the surveyor who made this map, hereby certify that the boundary survey upon which it is based was performed in accordance with the minimum standards for land surveys as set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

Survey completed: January 18, 2020
 Survey partially updated to reflect removed structures: May 12, 2022
 This Plat prepared: May 24, 2022

This plat was prepared expressly for the purpose of legally creating the Lots and Easements as depicted hereon, pursuant to Town of Yorktown subdivision regulations, and should not be used by lot purchasers, design professionals or title insurance companies in lieu of obtaining an updated individual lot survey specifically prepared for their intended purposes.

SUBSURFACE UTILITY NOTE

It is hereby noted that no subsurface utilities, structures and/or improvements were staked or otherwise marked at the time of the field survey upon which this plat is based; all users of the information shown hereon are hereby advised that any such subsurface features are not depicted hereon, and must be marked by appropriate authorities prior to construction or excavation on this site.

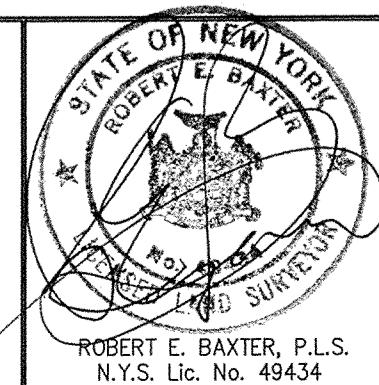
The premises shown hereon being lands described in a deed having Control No. 593463599; subject to easements, rights of way, covenants and/or restrictions, if any, that may be disclosed by a complete and accurate examination of title (no title report or abstract furnished).

The lines shown hereon are substantially in agreement with an unrecorded map of the subject property entitled "SURVEY OF PROPERTY FOR JOHN HEMPEL," prepared by J. Henry Carpenter & Co., Civil Engineers & Land Surveyors.

Underground improvements, structures, utilities or encroachments, and any easements related thereto, are not shown hereon unless otherwise noted.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Sub-Division 2 of the New York State Education Law.

Prepared by:
Baxter Land Surveying, P.C.
 855 Peekskill Hollow Road
 Putnam Valley, New York 10579



Engineering/Lot Design by:
Burns Engineering Services, P.C.
 58 Teller Avenue
 Beacon, New York 12508

Phone: (845) 546-3310 / Fax: (845) 440-7343

ROBERT E. BAXTER, P.L.S.
 N.Y.S. Lic. No. 49434

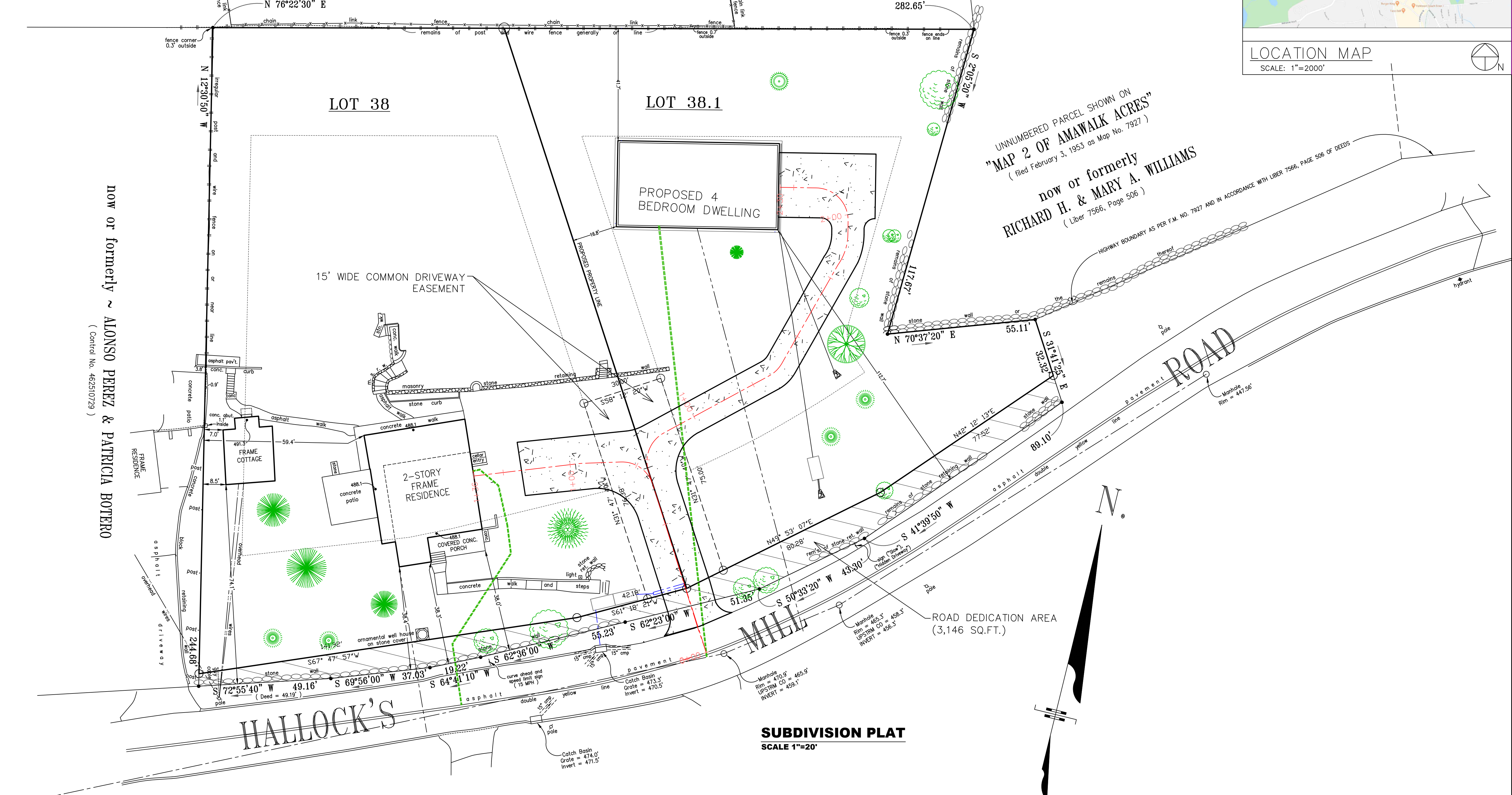
Phone: (845) 621-8562 / (914) 962-2689

"MAP OF EAST PORTION, SECTION NO. 1, AMENDED, AND SECTION NO. 3 OF AMAWALK ACRES"
(filed June 15, 1954 as Map No. 9123)

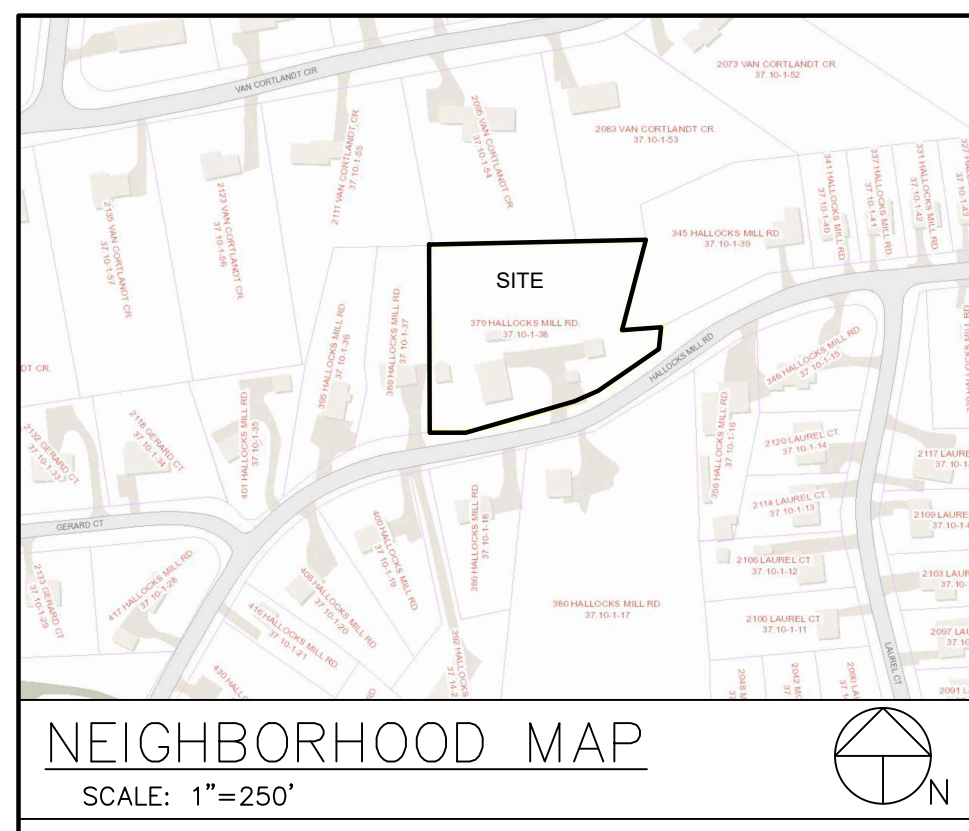
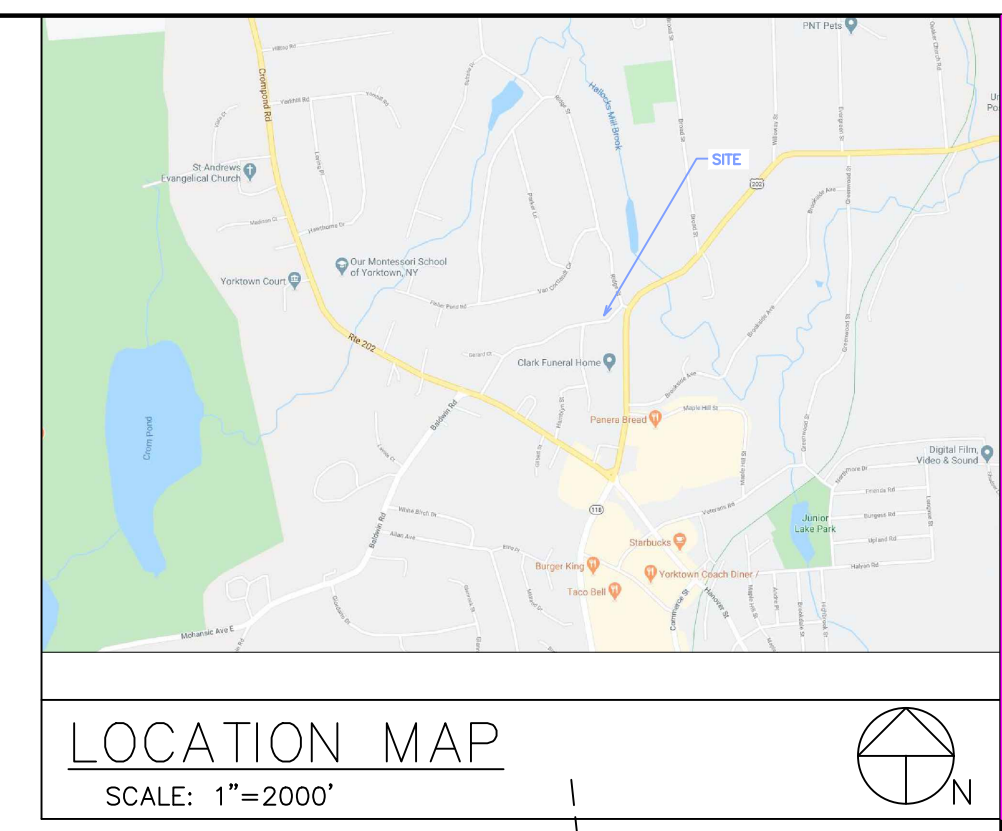
LOT 70
now or formerly
ANTHONY & JULIANNA SHALLO
(Control No. 581443101)

LOT 69
now or formerly
JORGE MIGUEL REIS & SUSANA MOUTOSO-REIS
(Control No. 540783066)

LOT 68
now or formerly
JOHN PATRICK, III & RONDA SAYLOR
(Control No. 503223143)



SUBDIVISION PLAT
SCALE 1"=20'



now or formerly ~ ALONSO PEREZ & PATRICIA BOTERO
(Control No. 462510729)

UNNUMBERED PARCEL SHOWN ON
"MAP 2 OF AMAWALK ACRES"
(filed February 3, 1953 as Map No. 7927)
now or formerly
RICHARD H. & MARY A. WILLIAMS
(Liber 7566, Page 506)

EXISTING STRUCTURE SCHEDULE				
STRUCTURE	USE	PROPOSED USE	SURFACE AREA	NOTES
2 STORY FRAME RESIDENCE	SINGLE FAMILY RESIDENCE	SINGLE FAMILY RESIDENCE	1,667 SQ. FT.	
FRAME COTTAGE	STUDIO/OFFICE SUITE	ACCESSORY APARTMENT	408 SQ.FT.	CONTAINS EXISTING BATHROOM, KITCHEN AND LIVING AREA
FRAME BUILDING	POOL HOUSE	TO BE REMOVED	375 SQ. FT.	
CONCRETE BLOCK SHED	STORAGE	TO BE REMOVED	90 SQ. FT.	
SWIMMING POOL	POOL	TO BE REMOVED	1,427 SQ. FT.	
FRAME GARAGE 1	GARAGE	TO BE REMOVED	490 SQ. FT.	
FRAME GARAGE 2	GARAGE	TO BE REMOVED	184 SQ. FT.	
ASPHALT DRIVEWAY	PARKING	TO BE REMOVED	4,828 SQ. FT.	

Burns Engineering Services, P.C.
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Beacon, NY 12508
SBurns@BurnsEngineeringServices.Com
(845) 546-3310
Fax (845) 440-7343

REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING MEMO	SKB	12/14/20
2	ENGINEERING REVISIONS	SKB	01/20/21
3	ENGINEERING REVISIONS	SKB	12/06/21
4	ENGINEERING REVISIONS	SKB	02/23/22

RESIDENCE ZONE STANDARDS											
R1-20	LOT AREA	LOT WIDTH	LOT DEPTH	FRONT YARD	SIDE YARD	TWO SIDES	REAR YARD	MAX HEIGHT	MAX BUILDING COVERAGE	OFF STREET PARKING	ROAD FRONTAGE
REQUIRED	20,000 SQ. FT.	100 FEET	100 FEET	40 FEET	15 FEET	40 FEET	40 FEET	35 FEET	20%	1 PER DU	100 FEET
EXISTING	61,715 SQ. FT.	295 FEET	244 FEET	38.3 FEET	59.4 FEET	219.4 FEET	145 FEET	<35 FEET	<20 %	±10	±344 FEET
LOT 1	34,664 SQ. FT.	191 FEET	244 FEET	38.3 FEET	59 FEET	118 FEET	145 FEET	<35 FEET	<20 %	±4	±186 FEET
LOT 2	27,051 SQ. FT.	113 FEET	214 FEET	104 FEET	16.5 FEET	59.7 FEET	50 FEET	<35 FEET	<20%	>2	±158 FEET

- GENERAL NOTES:
- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
 - ZONING DISTRICT - R 1-20; 1 FAMILY (20,000 SQ.FT.)
 - TAX MAP PARCEL # 37.10-1-38

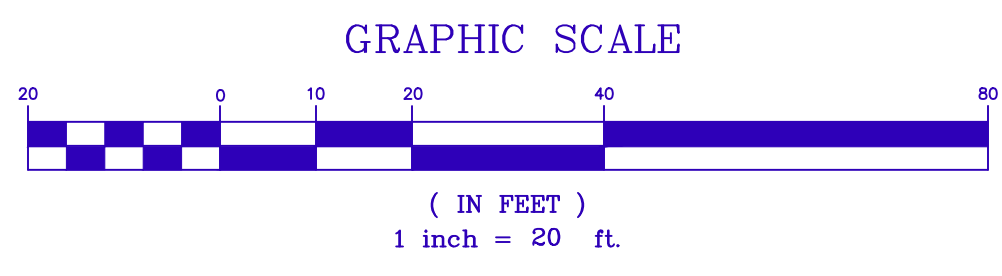


SUBDIVISION PLAT
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

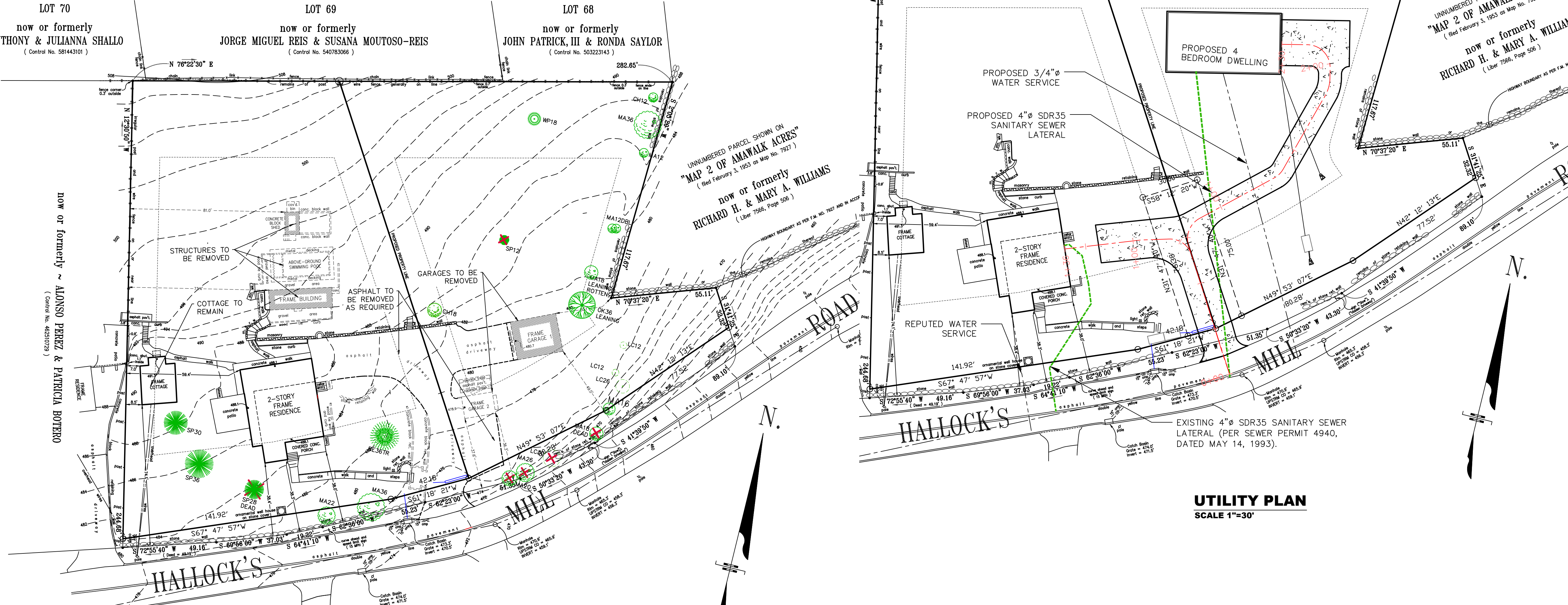
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"SUBDIVISION PLAN FOR
379 HALLOCKS MILL ROAD"
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NY

DATE: 06/01/20
SCALE: SHEET
DRAWN BY: SKB
1 OF 5



"MAP OF EAST PORTION, SECTION NO. 1, AMENDED, AND SECTION NO. 3 OF AMAWALK ACRES"
(Filed June 15, 1954 as Map No. 1923)



AS-BUILT/ DEMO PLAN
SCALE 1"=30'

Petroleum Contaminated Soil Remediation (EMERGENCY SPILL CLEANUP PROCEDURE)
IF A SPILL OCCURS-

- Excavate all visibly impacted media and temporarily stockpile it onsite (on and covered with plastic sheeting) in advance of final disposition if required.
- Field screening of the excavation with a properly calibrated Photo-ionization Detector (PID) to verify removal of all contaminated soils.
- Collect a soil sample for laboratory analysis of confirmatory soil as well as a profile sample for the disposal facility.
- Use a Licensed transporter to haul and dispose of PSC.
- Prepare and submit a "Spill Closure Report" to the NYSDEC

Erosion Control Maintenance Plan (During Construction)

- Silt Fence shall be installed prior to construction activity.
- Any vegetated area that has eroded as a result of runoff shall be filled, fertilized, reseeded and mulched to maintain a vigorous cover.
- Sediment will be removed from behind silt fence when the level of sediment reaches 0.5 feet. Any damaged silt fence shall be replaced.
- All other erosion control devices shall be maintained and repairs made as necessary to insure proper operation of the erosion control device.

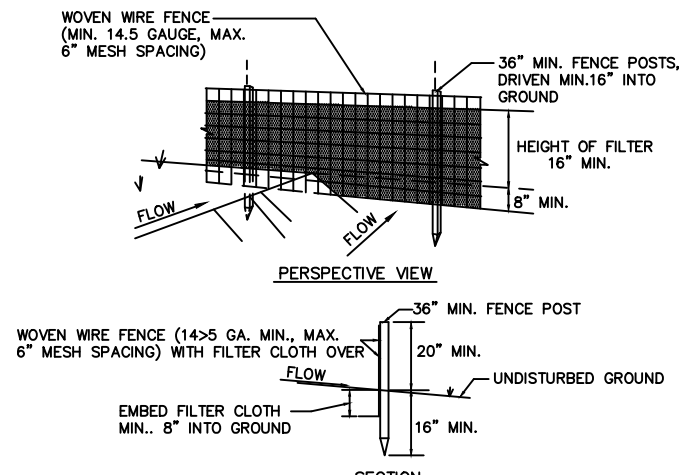
SITE WORK CUT/FILL

CUT = ±300 CUBIC YARDS
FILL = ±125 CUBIC YARDS

SITE TOTAL CUT ±175 CUBIC YARDS
MATERIAL TO BE HAULED OFFSITE

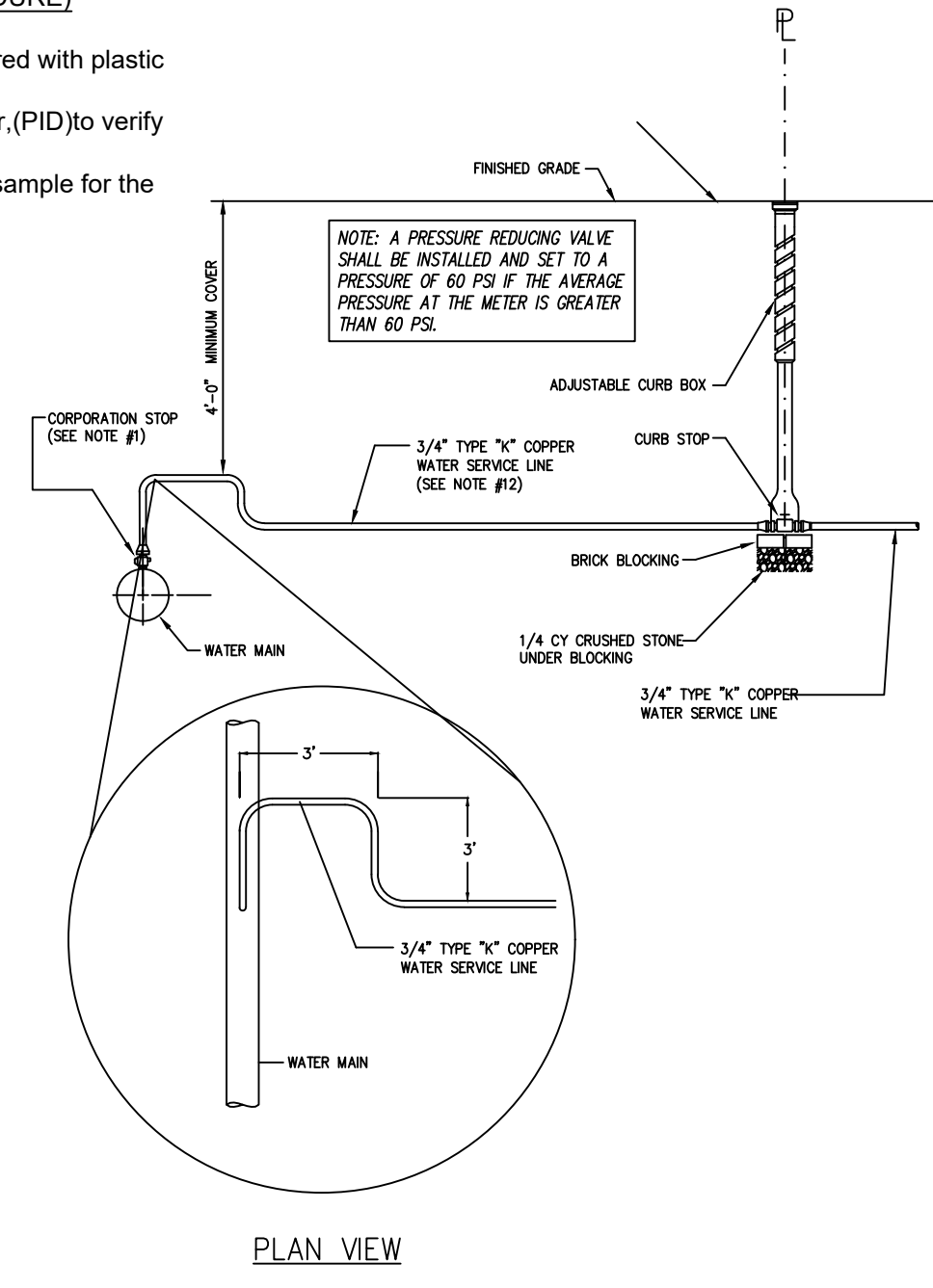
SEEDING & MULCHING NOTES

- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CAN NOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
 - SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND CARTING.
 - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDING WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:
- | | |
|---------------------|-----|
| KENTUCKY BLUEGRASS | 40% |
| KENTUCKY RED FESCUE | 40% |
| RYE GRASS | 20% |
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSOTI STANDARDS SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
 - SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
 - SEEDING AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 - CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR ADJACENT SURFACE WATER ONTO ADJOINING PROPERTIES.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
 - THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOMESTIC/SEWER CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE ADDED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.
 - ALL AREAS OF DISTURBANCE IN EXCESS OF 7% SHALL HAVE TEMPORARY SEEDING OF FAST GERMINATION RYE GRASS, 1 TO 1.5 LBS PER 1,000 SQ.FT. APPLIED IF LEFT UNDISTURBED FOR 14 OR MORE DAYS.



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOODEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE
- POSTS: STEEL EITHER T OR U TYPE OR 2" HANDBOOK FENCE: WOODEN WIRE, 14.5 GA. 6" MAX. MESH OPENING
- FILTER CLOTH: FILTER # 1140X OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOTEXTILE, ENVIRONMENTAL OR APPROVED EQUAL
- NOTE: SILT FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE OR SITE REGRADING.



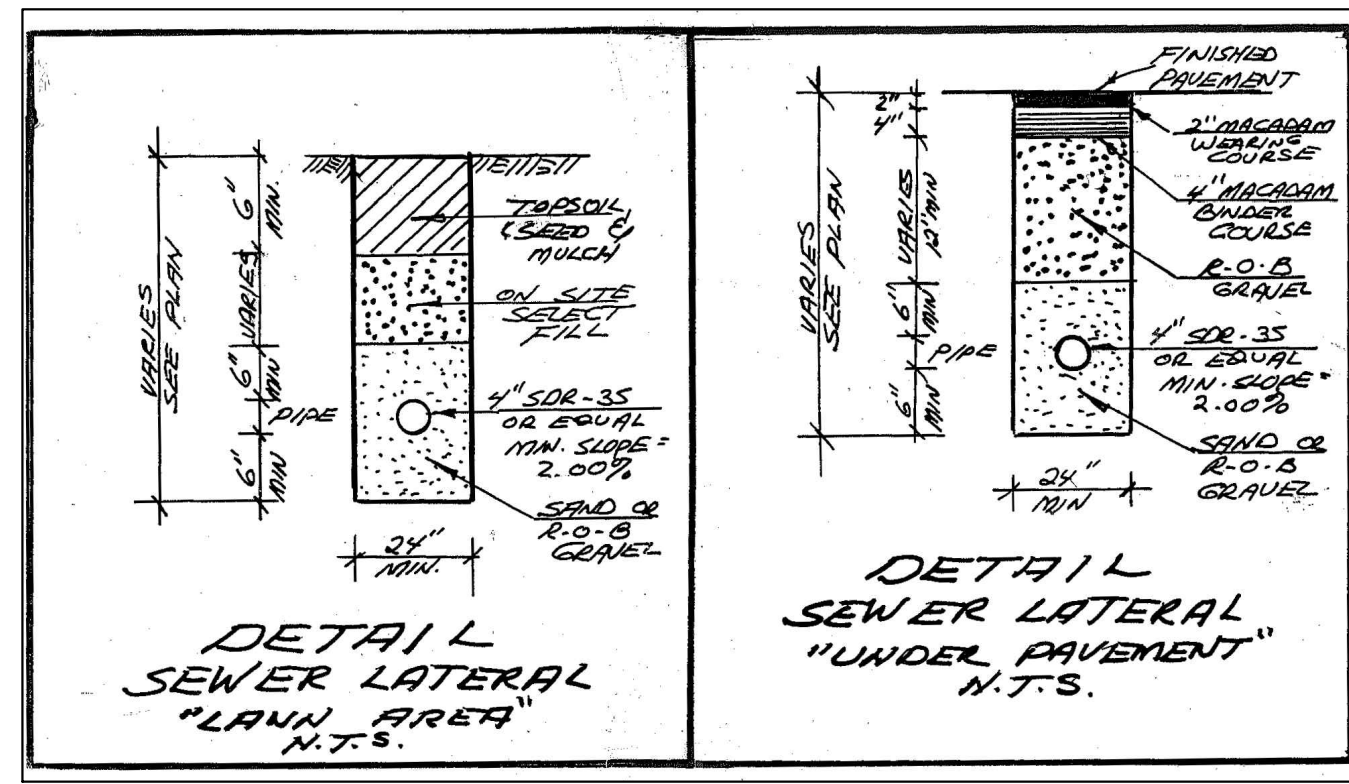
WATER SERVICE DETAIL

ADDITIONAL NOTES FOR WATER DISTRIBUTION SYSTEMS

- ALL SERVICE LINES ARE THE RESPONSIBILITY OF THE HOMEOWNER UP TO THE PROPERTY LINE
- THE WATER COMPANY SHALL BE RESPONSIBLE FOR ALL VALVES AND PIPES WHICH ARE NOT ON THE HOMEOWNER'S PROPERTY.
- WHERE WATER SERVICE TRENCHES CROSS PAVED DRIVEWAYS OR ROADS SHALL BE BACKFILLED WITH COMPACTED ITEM 4, AND THE BLACKTOP RESTORED TO EXISTING.

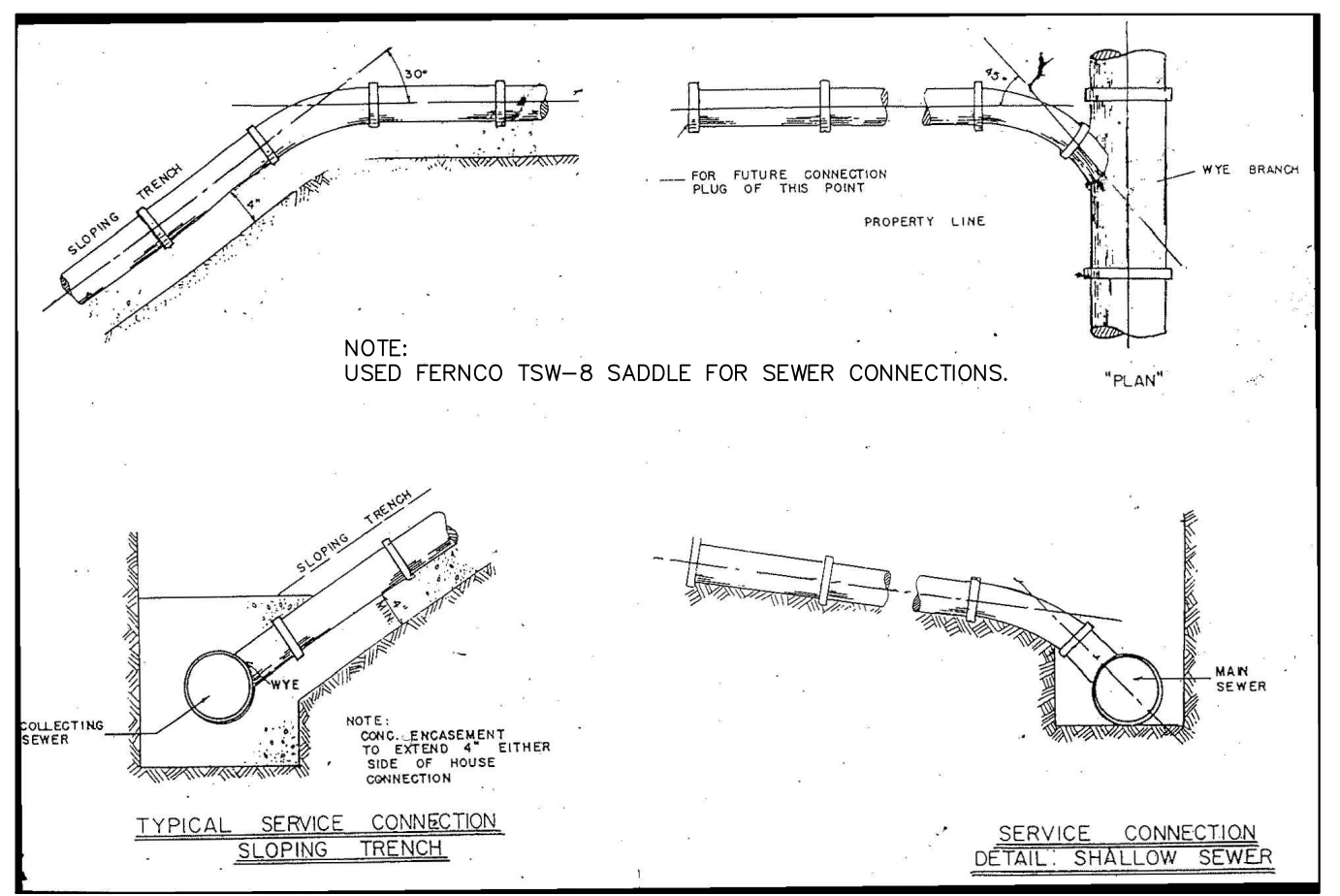
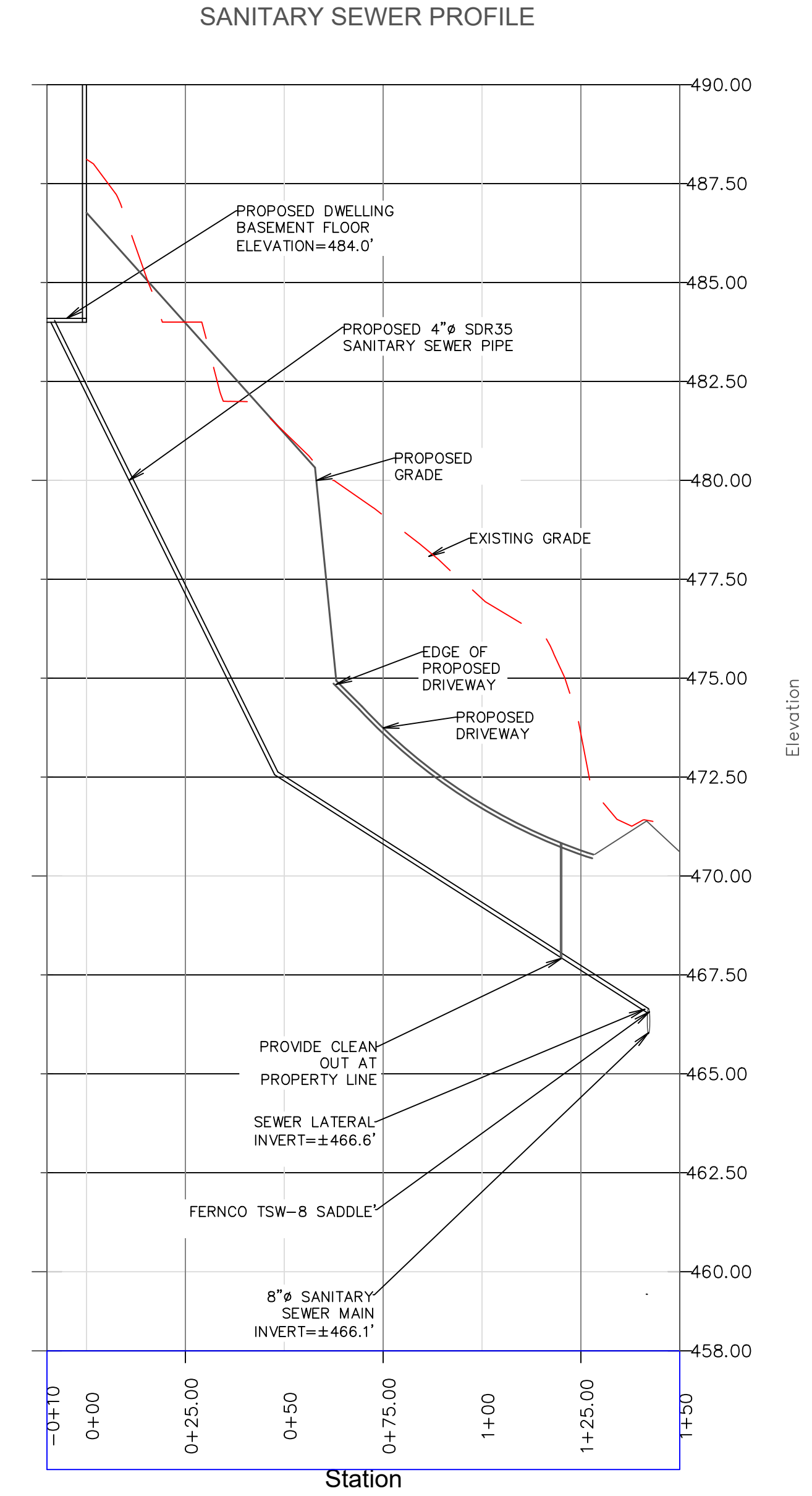
STORMWATER CONTROL MAINTAINANCE SCHEDULE

STRUCTURE	INSPECTION	MAINTENANCE REQUIRED	STRUCTURE TYPE
SILT FENCE	WEEKLY	REPAIR, REPLACE	TEMPORARY
STABILIZED CONSTRUCTION ENTRANCE	DAILY	REPLACE	TEMPORARY
CHECK DAM	WEEKLY	REPLACE	TEMPORARY
DUST	DAILY	SPRAYING	---
RIPRAP OUTLET/OVERFLOW	WEEKLY	REPAIR, REPLACE	PERMANENT
VEGETATION ESTABLISHMENT	WEEKLY	WATERING, SEEDING	PERMANENT



GENERAL NOTES:

- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
- ZONING DISTRICT - R-1-20; 1 FAMILY (20,000 SQ.FT)
- TAX MAP PARCEL # 37.10-1-38



REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING MEMO	SKB	12/14/20
2	ENGINEERING REVISIONS	SKB	01/20/21
3	ENGINEERING REVISIONS	SKB	12/06/21
4	ENGINEERING REVISIONS	SKB	02/23/22

Burns Engineering Services, P.C.
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Fax (845) 440-7343



UTILITY PLAN/ EXISTING CONDITIONS
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

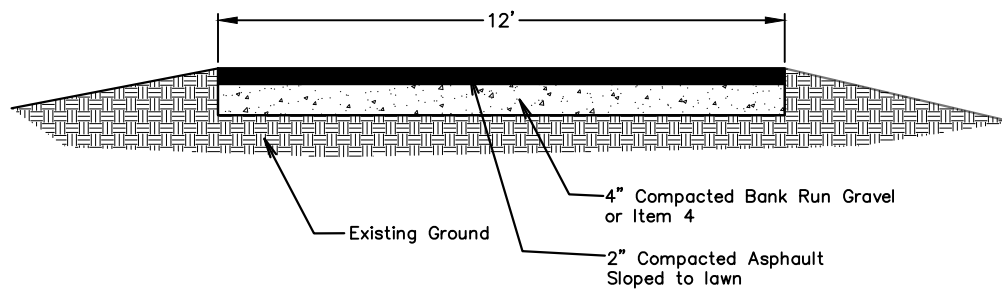
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SBurns@BurnsEngineeringServices.com
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FAX: 845-546-6813

"SUBDIVISION PLAN FOR 379 HALLOCKS MILL ROAD" TOWN OF YORKTOWN WESTCHESTER COUNTY, NY

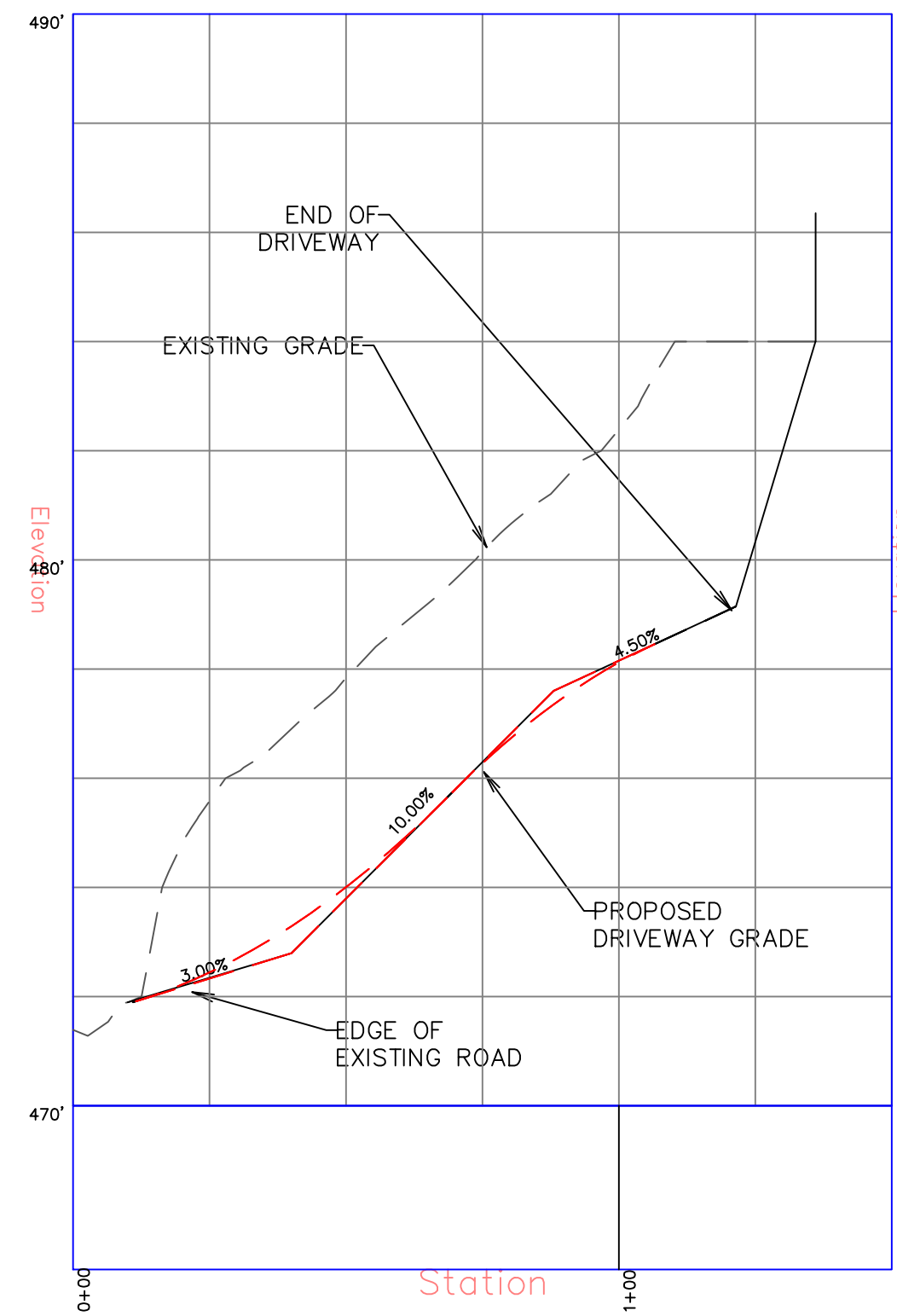
DATE: 08/04/20
SCALE: SHEET 2 OF 5
DRAWN BY: SKB

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

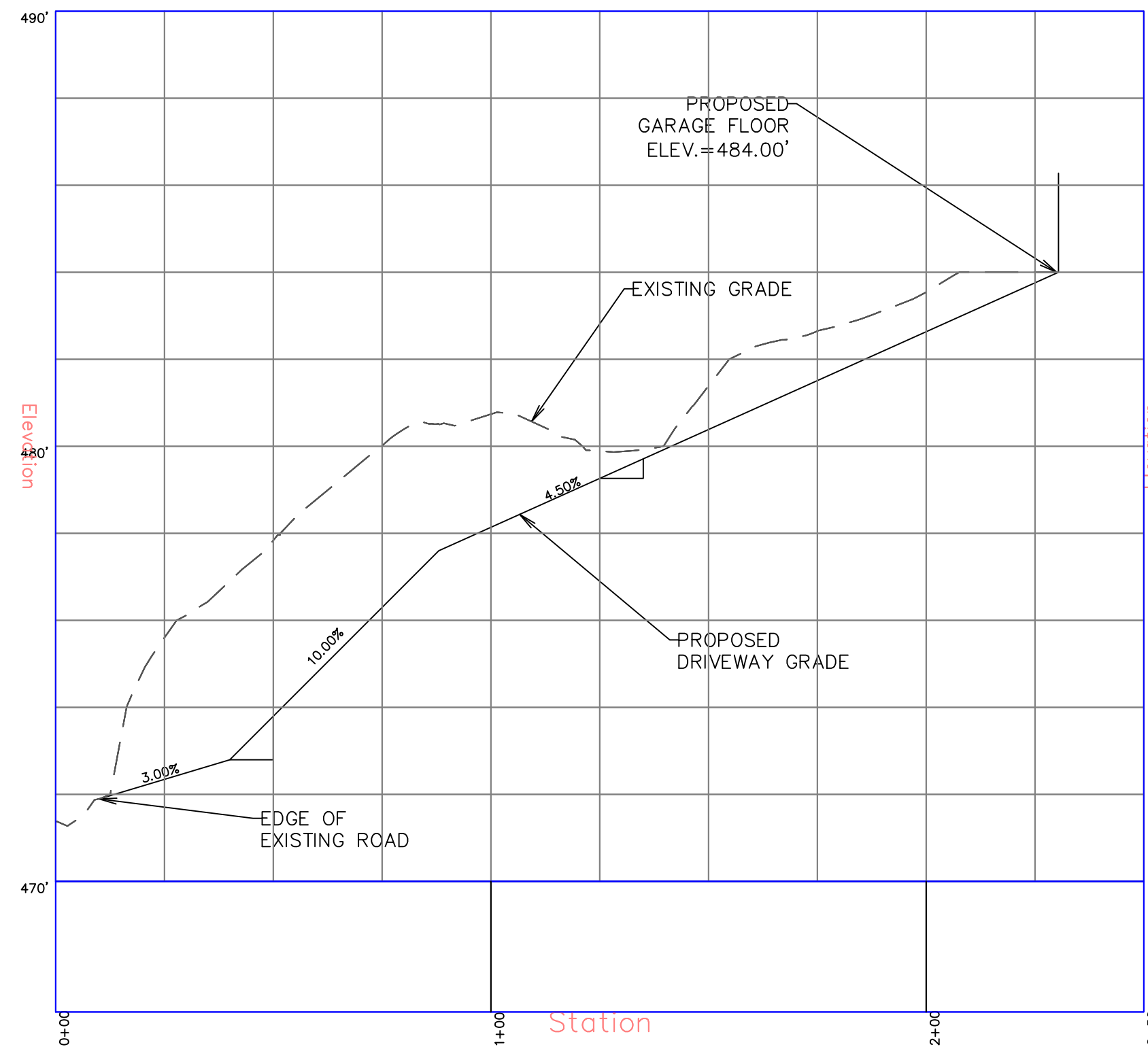
TYPICAL SILT FENCE DETAIL
NOT TO SCALE



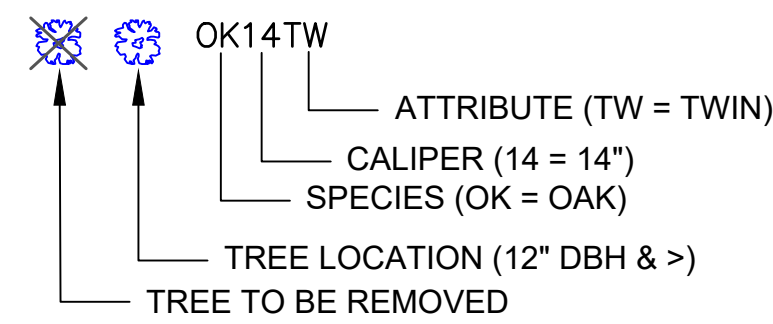
Driveway Cross Section
NTS



DRIVEWAY PROFILES
SCALE 1"=30' HORIZONTAL
1"=3' VERTICAL

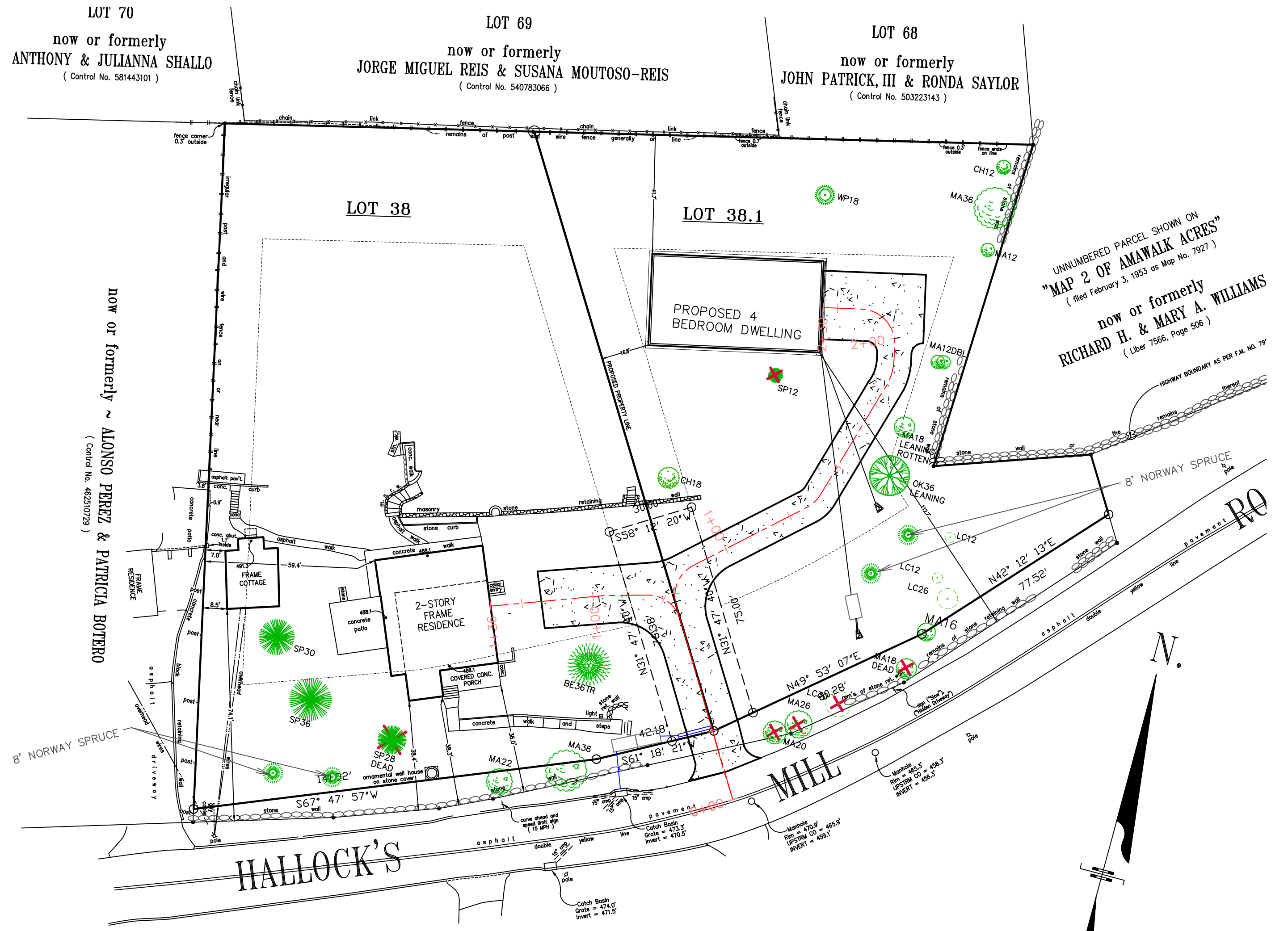


TREE LEGEND



KEY

- SPECIES**
AL AILANTHUS LC LOCUST
BE BEECH MA MAPLE
BI BIRCH OK OAK
CH CHERRY WP WHITE PINE
SP NORWAY SPRUCE **ATTRIBUTES**
TR TRIPLE
*TW TWIN
IV INVASIVE
*DOUBLE TREES ARE THOSE WHERE THE TRUNK SPLITS AT 4.5' OR HIGHER, TWIN TREES ARE THOSE WHERE IT SPLITS BELOW 4.5'.



TREE MITIGATION PLAN
SCALE 1"=50'

TREE MITIGATION SCHEDULE				
TREE TO BE REMOVED	CONDITION	LOCATION	MITIGATION REQUIRED	MITIGATION PROPOSED
12" SPRUCE	HEALTHY	PROPOSED DWELLING	YES	(4) NORWAY SPRUCE
18" MAPLE	DEAD	SIGHT LINE CLEARING	NO	NONE
30" LOCUST	FAIR	SIGHT LINE CLEARING	YES	TREE BANK FUND PAYMENT
26" MAPLE	FAIR	SIGHT LINE CLEARING	YES	TREE BANK FUND PAYMENT
20" MAPLE	FAR	SIGHT LINE CLEARING	YES	TREE BANK FUND PAYMENT
28" SPRUCE	DEAD	SIDE YARD	NO	NONE

(6) TREES TOTAL TO BE REMOVED

GENERAL NOTES:

- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
- ZONING DISTRICT - R 1-20: 1 FAMILY (20,000 SQ.FT)
- TAX MAP PARCEL # 37.10-1-38

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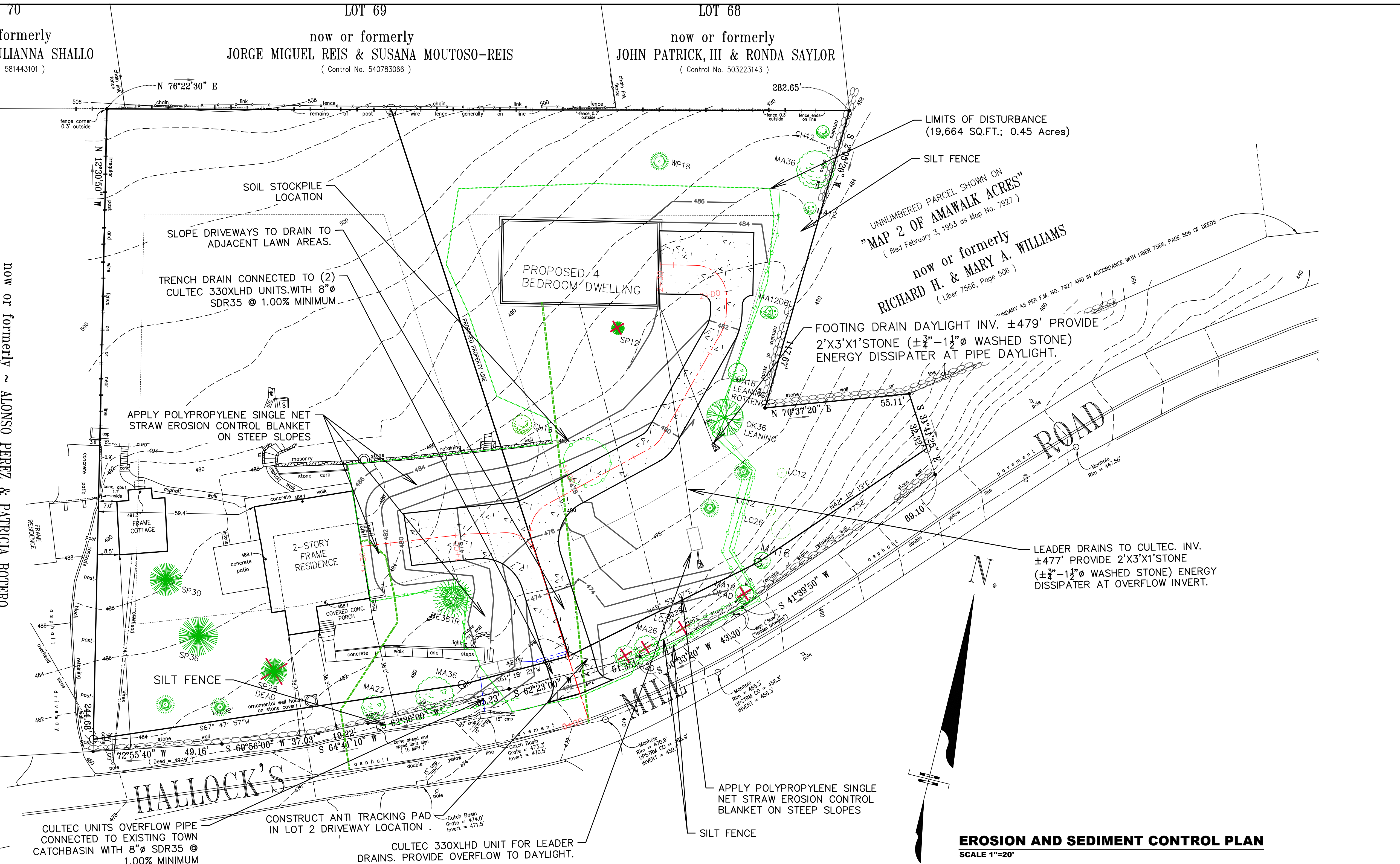
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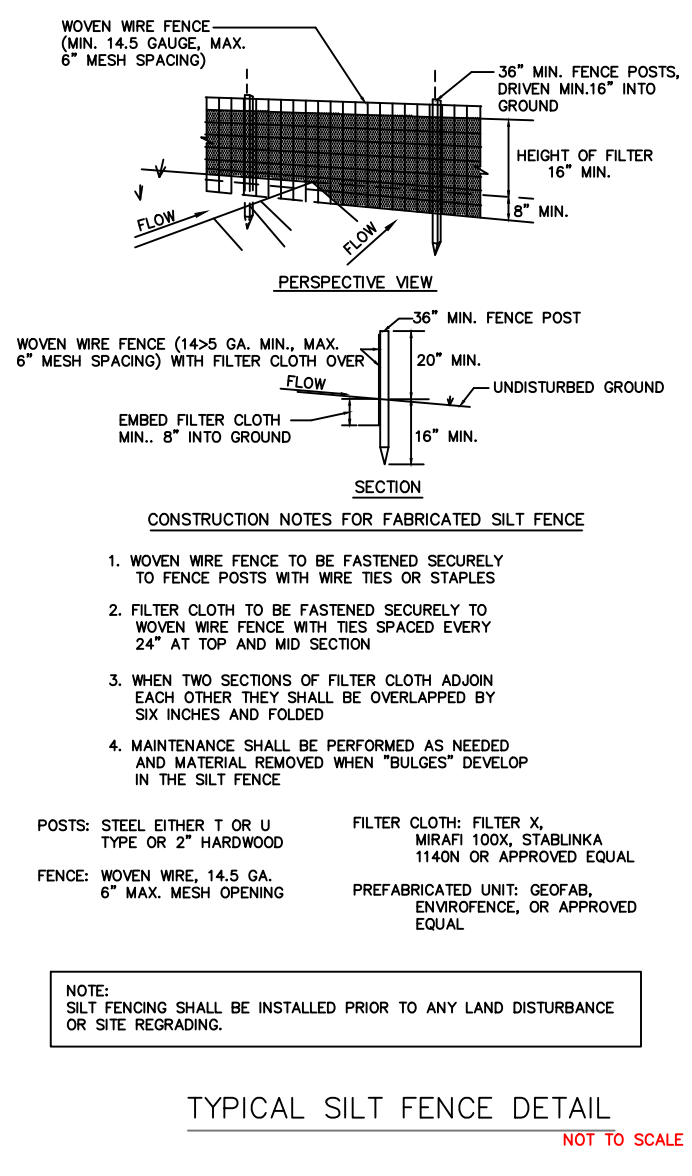
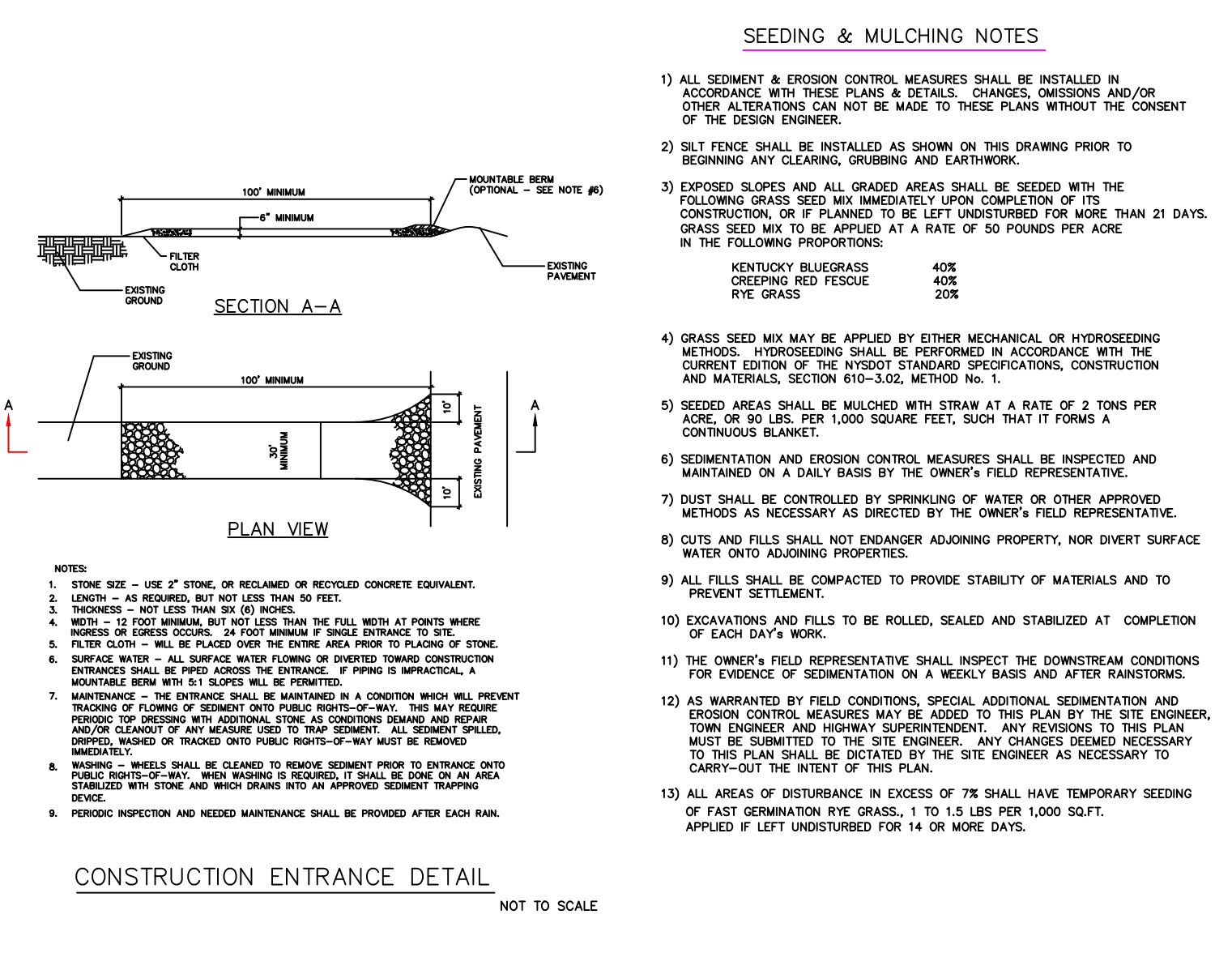
DRIVEWAY PROFILES/
TREE MITIGATION PLAN
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

Burns Engineering Services, P.C.
58 Teller Avenue TEL:845-546-3310
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"SUBDIVISION PLAN FOR 379 HALLOCKS MILL ROAD" TOWN OF YORKTOWN WESTCHESTER COUNTY, NY	DATE: 08/04/20	SCALE:	SHEET 3 OF 5
DRAWN BY: SKB			



EROSION AND SEDIMENT CONTROL PLAN
SCALE 1"=20'



SITE WORK CUT/FILL
CUT = ±300 CUBIC YARDS
FILL = ±125 CUBIC YARDS
SITE TOTAL CUT ±175 CUBIC YARDS
MATERIAL TO BE HAUL OFFSITE

STORMWATER CONTROL MAINTAINANCE SCHEDULE			
STRUCTURE	INSPECTION	MAINTENANCE REQUIRED	STRUCTURE TYPE
SILT FENCE	WEEKLY	REPAIR, REPLACE	TEMPORARY
STABILIZED CONSTRUCTION ENTRANCE	DAILY	REPLACE	TEMPORARY
CHECK DAM	WEEKLY	REPLACE	TEMPORARY
DUST	DAILY	SPRAYING	---
RIPRAP OUTLET/OVERFLOW	WEEKLY	REPAIR, REPLACE	PERMANENT
VEGETATION ESTABLISHMENT	WEEKLY	WATERING, SEEDING	PERMANENT

- Construction Sequence**
- Preconstruction meeting with owner, contractor, site engineers, and Town representative to discuss erosion and sediment control measures.
 - File NOI with MS4 Acceptance Form
 - Repair/Install silt fence as required.
 - Clear and grub site.
 - Construct Dwelling, SDS, Driveway, and utilities and rough grade site
 - Seed and mulch remaining disturbed areas. Once seed is at least 80% established removal of silt fence can take place.
 - File NOI

- GENERAL NOTES:**
- OWNER/APPLICANT: JOE BELLAMY
2333 WILLOWAY STREET
YORKTOWN HEIGHTS, NEW YORK
 - ZONING DISTRICT - R 1-20; 1 FAMILY (20,000 SQ.FT)
 - TAX MAP PARCEL # 37.10-1-38

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SWPPP
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

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"SUBDIVISION PLAN FOR 379 HALLOCKS MILL ROAD" TOWN OF YORKTOWN WESTCHESTER COUNTY, NY

DATE: 08/04/20
SCALE: SHEET
DRAWN BY: SKB
4 OF 5

now or formerly ~ ALONSO PEREZ & PATRICIA BOTERO

formerly
ULIANA SHALLO
p. 581443101

now or formerly
JORGE MIGUEL REIS & SUSANA MOUTOSO-REIS
(Control No. 540783066)

now or formerly
JOHN PATRICK, III & RONDA SAYLOR
(Control No. 503223143)

UNNUMBERED PARCEL SHOWN ON
"MAP 2 OF AMAWALK ACRES"
(filed February 3, 1953 as Map No. 7927)
now or formerly
RICHARD H. & MARY A. WILLIAMS
(Liber 7566, Page 506)

FOOTING DRAIN DAYLIGHT INV. ±479' PROVIDE
2'X3'X1'STONE (±3"-1 1/2"Ø WASHED STONE)
ENERGY DISSIPATER AT PIPE DAYLIGHT.

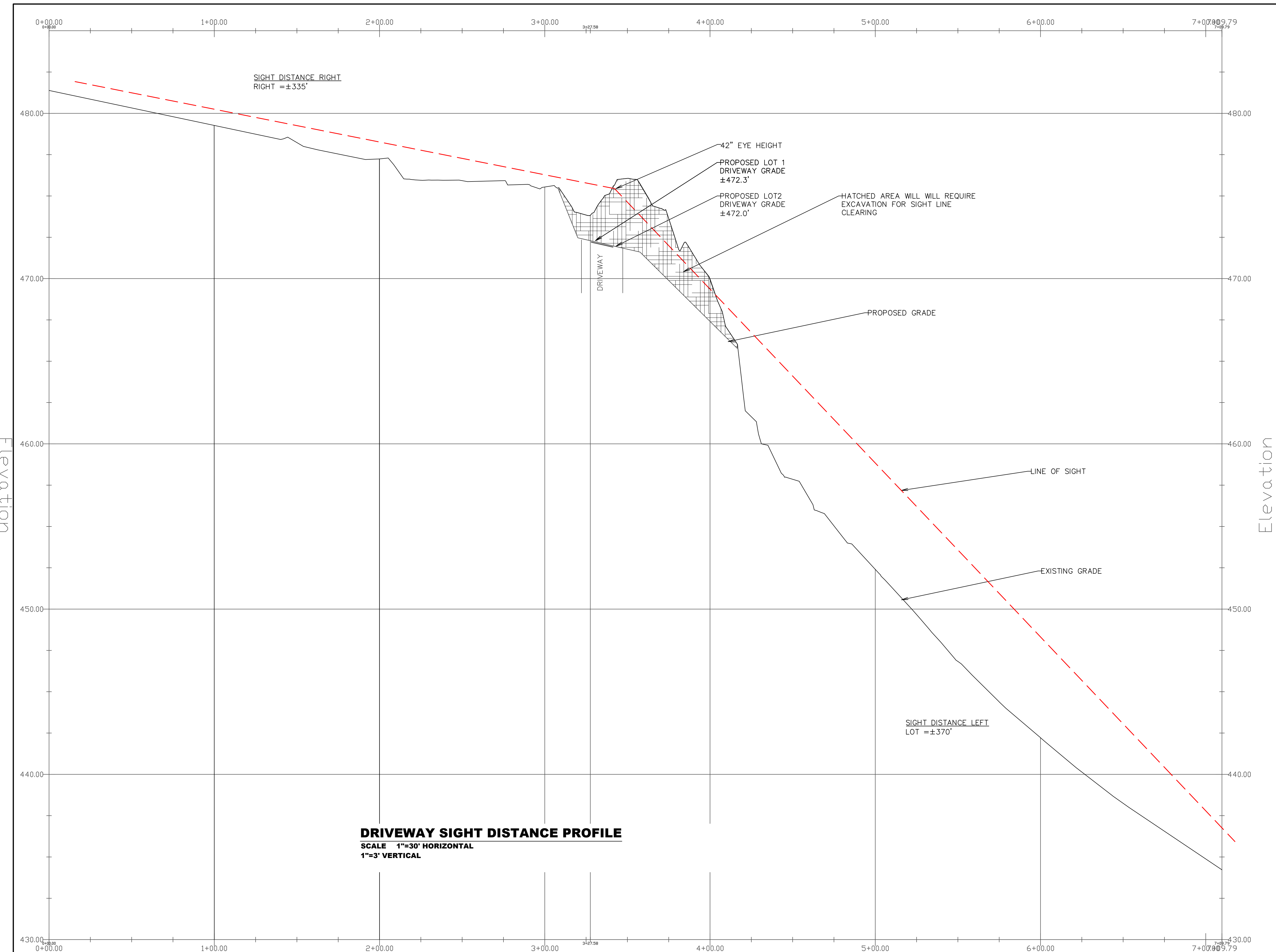
LEADER DRAINS TO CULTEC. INV. ±477' PROVIDE 2'X3'X1'STONE
(±3"-1 1/2"Ø WASHED STONE) ENERGY
DISSIPATER AT OVERFLOW INVERT.

SEEDING & MULCHING NOTES

- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CANNOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
- SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND GATHERING.
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDING WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:
KENTUCKY BLUEGRASS 40%
GREENING BIRD FESCUE 40%
RYE GRASS 20%
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE HYDRO SEEDING SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
- SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SOON THAT IT FORMS A CONTINUOUS BLANKET.
- SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
- DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
- CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR OVERT SURFACE WATER ONTO ADJOINING PROPERTIES.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
- EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
- THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
- AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE REQUIRED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.
- ALL AREAS OF DISTURBANCE IN EXCESS OF 7% SHALL HAVE TEMPORARY SEEDING OF FAST GERMINATION RYE GRASS, 1 TO 1.5 LBS PER 1,000 SQ.FT. APPLIED IF LEFT UNDISTURBED FOR 14 OR MORE DAYS.

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WOMEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOMEN WIRE FENCE WITH TIE SPACED EVERY 24" AT TOP AND MID SECTION
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE
- NOTE: SILT FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE OR SITE REGRADING.

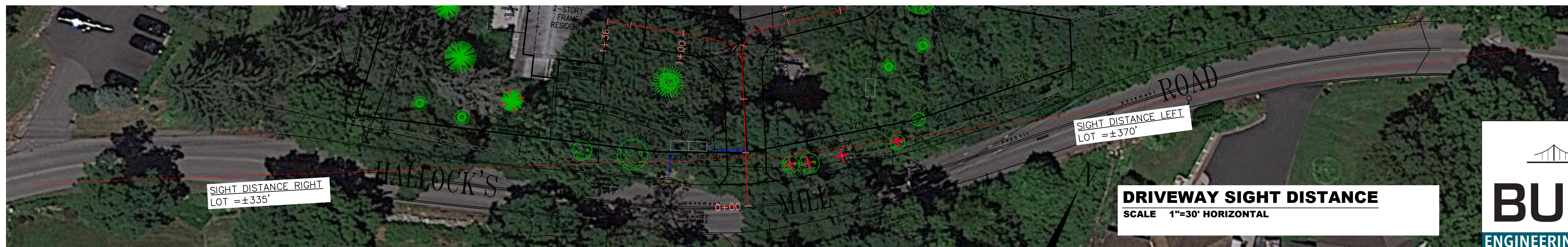
- Erosion Control Maintenance Plan (During Construction)**
- Silt Fence shall be installed prior to construction activity.
 - Any vegetated area that has eroded as a result of runoff shall be filled, fertilized, reseeded and mulched to maintain a vigorous cover.
 - Sediment will be removed from behind silt fence when the level of sediment reaches 0.5 feet. Any damaged silt fence shall be replaced.
 - All other erosion control devices shall be maintained and repairs made as necessary to insure proper operation of the erosion control device.
- Petroleum Contaminated Soil Remediation (EMERGENCY SPILL CLEANUP PROCEDURE)**
IF A SPILL OCCURS:
- Excavate all visibly impacted media and temporarily stockpile it onsite, (on and covered with plastic sheeting) in advance of final disposition if required.
 - Field screening of the excavation with a properly calibrated Photo-ionization Detector (PID) to verify removal of all contaminated soils.
 - Collect a soil sample for laboratory analysis of confirmatory soil as well as a profile sample for the disposal facility.
 - Use a Licensed transporter to haul and dispose of PSC.
 - Prepare and submit a "Spill Closure Report" to the NYSDEC



DRIVEWAY SIGHT DISTANCE PROFILE
 SCALE 1"=30' HORIZONTAL
 1"=3' VERTICAL

Burns Engineering Services, P.C.
 58 Teller Ave.
 Beacon, NY 12508
 SBurns@BurnsEngineeringServices.Com
 (845) 546-3310
 Fax (845) 440-7343

REVISION NUMBER	DESCRIPTION	DRAWN BY:	DATE:
1	ENGINEERING REVISIONS	SKB	12/06/21
2	ENGINEERING REVISIONS	SKB	02/23/22
3			

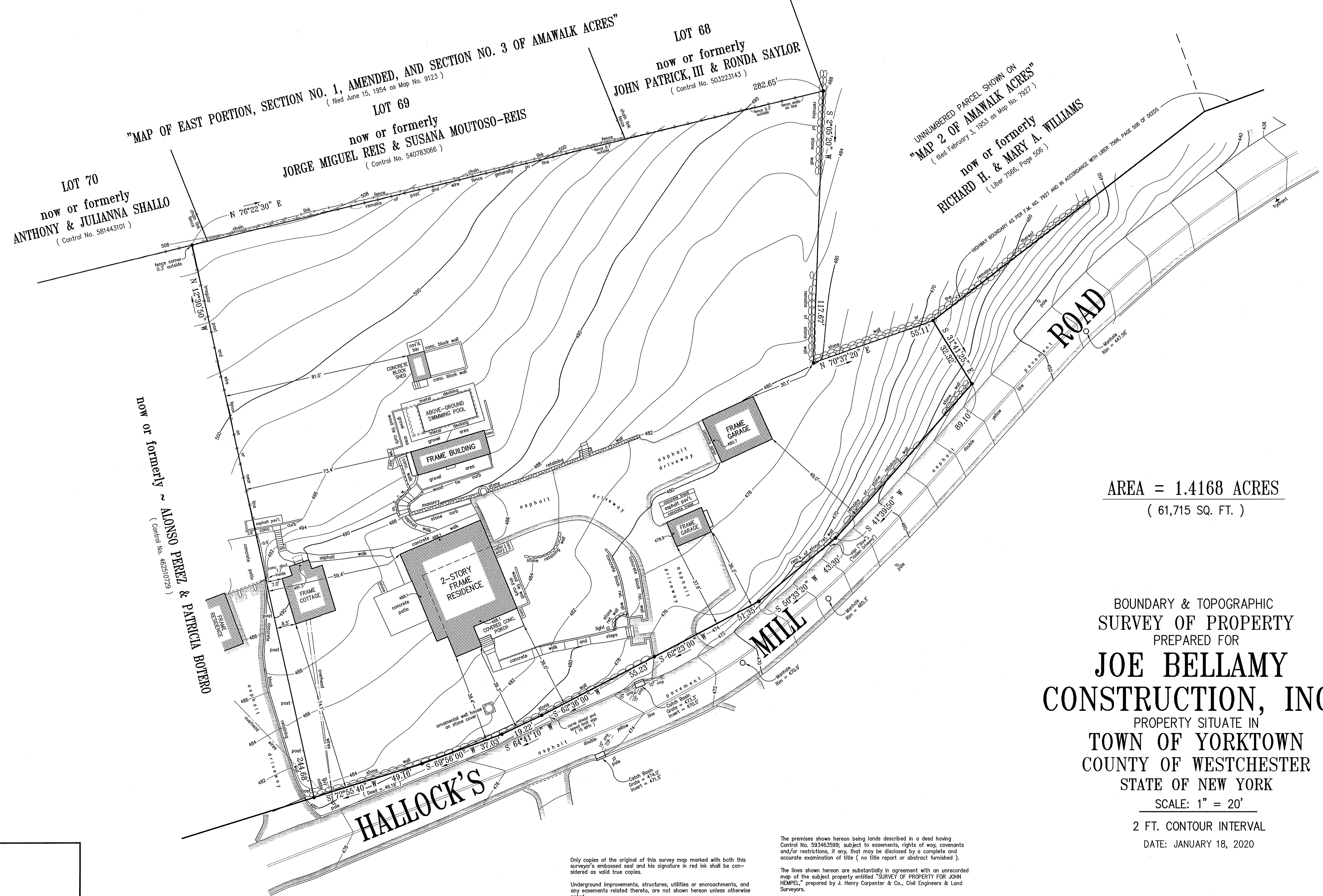
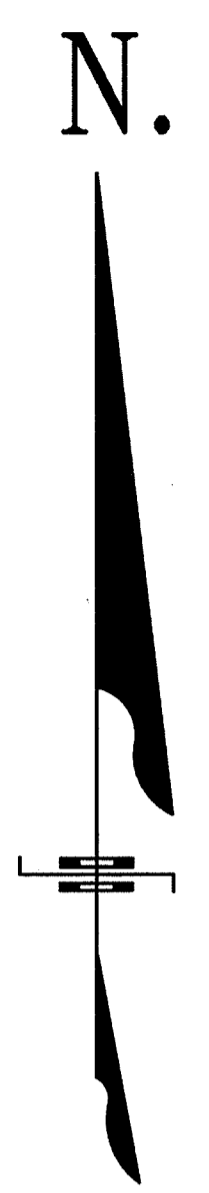


SIGHT DISTANCE PROFILE
379 HALLOCKS MILL ROAD
TAX MAP # 37.10-1-38

Burns Engineering Services, P.C.
 58 Teller Avenue TEL: 845-546-3310
 Beacon, New York 12508 FAX: 845-546-6613
 SBurns@BurnsEngineeringServices.com

"SUBDIVISION PLAN FOR 379 HALLOCKS MILL ROAD" TOWN OF YORKTOWN WESTCHESTER COUNTY, NY

DATE: 04/21/21 SCALE: SHEET
 DRAWN BY: SKB 5 OF 5



AREA = 1.4168 ACRES
(61,715 SQ. FT.)

BOUNDARY & TOPOGRAPHIC
SURVEY OF PROPERTY
PREPARED FOR
**JOE BELLAMY
CONSTRUCTION, INC.**
PROPERTY SITUATE IN
**TOWN OF YORKTOWN
COUNTY OF WESTCHESTER
STATE OF NEW YORK**
SCALE: 1" = 20'
2 FT. CONTOUR INTERVAL
DATE: JANUARY 18, 2020

The premises shown hereon may be affected by easements, rights of way, covenants, restrictions and conveyances not specifically referenced or recited in documents furnished to this surveyor and, therefore, not reflected hereon. It is hereby advised that any parties with a current or potential interest in this property obtain proper assurances as to quality of title and access, permitted uses and pertinent environmental factors, if any, affecting this property prior to conveyance.

Alteration of this map by anyone other than the surveyor whose signature and embossed seal appears hereon, including any erasures, notations, additions or changes for building department or "survey inspection/affidavit" purposes, is an unauthorized and unintended use of this surveyor's work. The use of any such altered map, particularly for purposes of obtaining building permits, variances, certificates of occupancy, or for any use related to purchasing property and obtaining title insurance, is at the user's own risk and is not covered under any certification appearing hereon.

Certified, as noted and limited below, only to:
- JOE BELLAMY CONSTRUCTION, INC.

The surveyor's seal, signature and any certification appearing hereon signify that, to the best of his knowledge and belief, this survey was prepared in accordance with the minimum standards for land surveys as set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

Certifications shall run only to the person for whom this survey was prepared, and on his behalf, to the title company, lending institution and governmental agency listed hereon; said certifications are not intended to run to additional title companies, lending institutions, subsequent owners or future contract vendees.

© Copyright 2020 ~ Robert E. Baxter; All Rights Reserved.

Prepared by:
Baxter Land Surveying, P.C.
855 Peekskill Hollow Road
Putnam Valley, New York 10579

Phone: (845) 621-8562 / (914) 962-2689

ROBERT E. BAXTER, P.L.S.
N.Y.S. Lic. No. 49434

Only copies of the original of this survey map marked with both this surveyor's embossed seal and his signature in red ink shall be considered as valid true copies.

Underground improvements, structures, utilities or encroachments, and any easements related thereto, are not shown hereon unless otherwise noted.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Sub-Division 2 of the New York State Education Law.

The premises shown hereon being lands described in a deed having Control No. 593463599; subject to easements, rights of way, covenants and/or restrictions, if any, that may be disclosed by a complete and accurate examination of title (no title report or abstract furnished).

The lines shown hereon are substantially in agreement with an unrecorded map of the subject property entitled "SURVEY OF PROPERTY FOR JOHN HEMPEL," prepared by J. Henry Carpenter & Co., Civil Engineers & Land Surveyors.

The topographic information shown hereon is based on an actual field survey, vertical datum is NAVD83, as established on this site by means of Real Time Kinematic GPS techniques, using positional correction data obtained by link to the NYS DOT CORS network.

State Environmental Quality Review
NEGATIVE DECLARATION
Notice of Determination of Non-Significance

Project Number

Date:

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Subdivision Plan for 379 Hallocks Mill Road (Bellamy Subdivision)

SEQR Status: Type 1
Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

It is proposed to subdivide the property, which contains one existing residence and one accessory cottage, onto two lots. The residences are served by town water and sewer. The parcel consists of 1.46 acres in the R1-20 zoning district.

Location: 379 Hallocks Mill Road, Yorktown Heights, NY 10598 Westchester County

Section 37.10 Block 1 Lot 38

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

- 1) This negative declaration is based on a Full Form Environmental Assessment Form dated December 12, 2020.
- 2) The plan conforms to the Town's Land Use and Zoning Policies.
- 3) One new single-family home will be built as a result of the subdivision.
- 4) The residences will all be served by Town water and sewer.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
SUBDIVISION PLAT, STORMWATER POLLUTION PREVENTION PLAN,
AND TREE PERMIT FOR THE BELLAMY SUBDIVISION**

RESOLUTION NUMBER: #00-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Bock, LaScala, and Garrigan, the following resolution was adopted:

WHEREAS, in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a subdivision plat titled "Final Subdivision Plat prepared for Joe Bellamy Construction, Inc.," prepared by Baxter Land Surveying, P.C., dated January 18, 2020, and last revised May 24, 2022, was submitted to the Planning Board on behalf of Joe Bellamy (hereinafter referred to as "the Applicant"); and

WHEREAS, the property owned by the Applicant is located at 379 Hallocks Mill Road, Yorktown Heights, also known as Section 37.10, Block 1, Lot 38 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this Board that they are the lawful owners of the land within said subdivision; and

WHEREAS, an application fee of \$1,620.00 covering 1.42 acres has been received by this Board; and

WHEREAS, pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on <DATE>.
3. A negative declaration has been adopted on <DATE> on the basis of a Full Environmental Assessment Form dated December 12, 2020.

WHEREAS, the applicant has submitted as part of his application the following maps and documents:

Plat

1. A survey, "Final Subdivision Plat prepared for Joe Bellamy Construction, Inc.," prepared by Baxter Land Surveying, P.C., dated January 18, 2020, and last revised May 24, 2022; and

Improvement Plans

2. A drawing, Sheet 1 of 5, titled “Subdivision Plat,” prepared by Burns Engineering Services, P.C., dated June 1, 2020 and last revised February 23, 2022;
3. A drawing, Sheet 2 of 5, titled “Utility Plan/Existing Conditions,” prepared by Burns Engineering Services, P.C., dated August 4, 2020 and last revised February 23, 2022;
4. A drawing, Sheet 3 of 5, titled “Driveway Profiles/Tree Mitigation Plan,” prepared by Burns Engineering Services, P.C., dated August 4, 2020 and last revised February 23, 2022;
5. A drawing, Sheet 4 of 5, titled “SWPPP,” prepared by Burns Engineering Services, P.C., dated August 4, 2020 and last revised February 23, 2022;
6. A drawing, Sheet 5 of 5, titled “Sight Distance Profile,” prepared by Burns Engineering Services, P.C., dated April 21, 2021 and last revised February 23, 2022;

Additional Documents & Reports

7. A report, titled “Engineer’s Report – Stormwater Pollution Prevention Plan,” prepared by Burns Engineering Services, P.C., dated August 4, 2020 and last revised February 23, 2022;

WHEREAS, the Planning Board has reviewed the recreation needs created by the subject subdivision as well as the present and anticipated future needs of the surrounding area as analyzed and planned for in the Town's Recreation Plan adopted in 1978; and

WHEREAS, pursuant to Town Code Section §195-35(A)(1), approximately 10% of the total area of a subdivision is required to be dedicated by the subdivider for a playground or active recreation use;

WHEREAS, pursuant to Town Code Section §195-35(C), the Planning Board may accept money in lieu of parkland reservation upon written application from the subdivider and consideration of the following:

- (a) The relationship of the subdivision to the town Plan, and particularly as such plan may show proposed park and playground area;
- (b) The character and recreation needs of the neighborhood in which the subdivision is located;
- (c) The unsuitability of land in the subdivision for park and playground purposes by reason of location, access, grade or cost of development or maintenance;
- (d) The possibility that land immediately adjoining the subdivision will serve, in whole or in part, the park and playground needs of such subdivision; and

WHEREAS, a new special permit for an accessory apartment must be obtained by the current property owner prior to occupancy of the existing accessory cottage; and

WHEREAS, the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
Conservation Board	01/21/21
Fire Inspector	10/01/20
Highway Superintendent	03/08/22
Planning Department	06/19/20, 04/23/21, 01/26/22
Recreation Commission	08/19/20
Town Engineer	08/08/20, 01/19/21
NYC DEP	05/04/22

WHEREAS, the requirements of this Board's Land Development Regulations, *inter alia* Town Code Chapter 195, have been met; and

WHEREAS, a Public Informational Hearing was held in accordance with Town Code Section §195-22A(5) of the Yorktown Town Code on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on January 10, 2022; and

WHEREAS, having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing on the said site plan application in accordance with Town Code Section §195-22E commencing and closing on April 25, 2022 at Town Hall in Yorktown Heights, New York;

BE IT THEREFORE NOW RESOLVED that the application of Joe Bellamy for approval of a subdivision plat titled "Final Subdivision Plat prepared for Joe Bellamy Construction, Inc.," prepared by Baxter Land Surveying, P.C., dated January 18, 2020, and last revised May 24, 2022, be approved subject to the following modifications and conditions and that the Chairman and Secretary of this board be and hereby are authorized to endorse this board's approval on said plat upon compliance by the applicant with such modification and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved.

RESOLVED, the plat shall be modified to show:

1. _____
2. _____

RESOLVED, the improvement plans shall be modified to show:

1. _____
2. _____
3. _____

RESOLVED, based on an assessment of the recreation needs created by the subject subdivision, the recreation needs of the surrounding area reflected in the Town's Recreation Plan, and the recommendation of the Recreation Commission in their memo dated August 19, 2020, the Applicant shall provide \$10,000.00 per one new lot in lieu of recreation lands to satisfy the recreational needs created by the subject subdivision and to help meet the present and anticipated needs of the surrounding neighborhood; and

BE IT FURTHER RESOLVED, said plat map shall not be endorsed by the Planning Board until:

1. The deed, offer of dedication, and certificate of title insured by an approved title company for the fee title for the Road Dedication Area has been tendered to the town to be held in escrow until formal acceptance of the widening strip by resolution of the Town Board.
2. Submission of a statement signed by the Town's Tax Collector that all taxes due on this parcel have been paid.
3. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and to the satisfaction of the Planning Board.
4. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

ABACA	\$200.00
Recreation Fee	\$10,000.00
General Development	\$720.00

5. The plat has been reviewed by the Town Assessor.
6. Submission of the plat signed by the Westchester County Health Department.

BE IT FURTHER RESOLVED, the following additional requirements shall be met:

1. Applicant must submit final plat in AutoCAD DWG readable format.
2. Provide monuments at all points of curvature and points of tangency as directed by the Town Engineer at right-of-way/property line, for all lots.

RESOLVED, the Applicant will clear trees and brush and regrade within the Road Dedication Area to improve site distance from the shared driveway as shown on Sheet 5 of the improvement plans listed herein; and

RESOLVED, that in accordance with Town Code Chapter 248 and Chapter 270, the application of Joe Bellamy for the approval of a Stormwater Pollution Prevention Plan and Tree Permit **#FSWPP-T-042-20** is approved subject to the conditions listed therein; and

RESOLVED, Permit **#FSWPP-T-042-20** shall not be valid until it has been signed by the Chairman of this Board;

BE IT FURTHER RESOLVED, that upon submission of a building permit for Lot 38.1 of this subdivision, the owner shall submit a site plan or plot plan, to ABACA, at a minimum scale of 1" = 20' showing the following:

- a. The location of the proposed house.
- b. The proposed finished floor elevation of the first floor, garage, and basement.
- c. The proposed grade at the garage entrance.
- d. The percentage slope of the proposed driveway.
- e. All existing and proposed topographic contour lines. All contour lines must extend a minimum of 10'-0" beyond the property line.
- f. The line of all delineated wetland, wetland buffers, easements, etc.
- g. A line indicating the limit of the area which will be disturbed by construction.
- h. Any other pertinent information as shown on the subdivision and improvement plan.

BE IT FURTHER RESOLVED, that no tree cutting on Lot 38.1 shall be permitted unless and until it has been reviewed by the ABACA; and

BE IT FURTHER RESOLVED that upon application for a Building Permit for Lot 38.1, the Building Inspector shall review the proposed building elevations to determine the requisite grading. Should the Building Inspector determine that the requisite grading exceeds by plus or minus two (2) feet the finished floor elevations the Planning Board approved on the signed improvement plans, the applicant shall apply to the Planning Board for approval of the proposed building plan. The Planning Board shall review such application to determine whether the proposed excavation is limited to the greatest extent practicable and does not create adverse environmental or aesthetic impacts. The Board shall approve or deny the proposed grading by resolution.

BE IT FURTHER RESOLVED, that no building permit for individual lots which require driveways in excess of ten (10) percent shall be issued by the Building Department unless approved by the Town Board; and

BE IT FURTHER RESOLVED, that no building permits be issued for any lot unless and until the Environmental Inspector has reported that all required erosion control measures are in place and functioning properly on entire site; and

BE IT FURTHER RESOLVED, that no certificate of occupancy will be issued unless an as-built survey of the lot is filed with the Building Inspector, Town Engineer, and Director of Planning; and

BE IT FURTHER RESOLVED, that upon consideration by the Board the installation of street trees and sidewalks required by Town Code Sections §195-15 and §195-31 respectively, are hereby waived; and

BE IT FURTHER RESOLVED, that upon due consideration by the Board no other requirements of these regulations be modified; and

BE IT FURTHER RESOLVED, that the approved plat shall be recorded and filed in the County Clerk's office within 30 days from the signature on the plat, otherwise said approval shall become null and void.

Lakeview Estates

Lot 6

TOWN OF YORKTOWN PLANNING DEPARTMENT

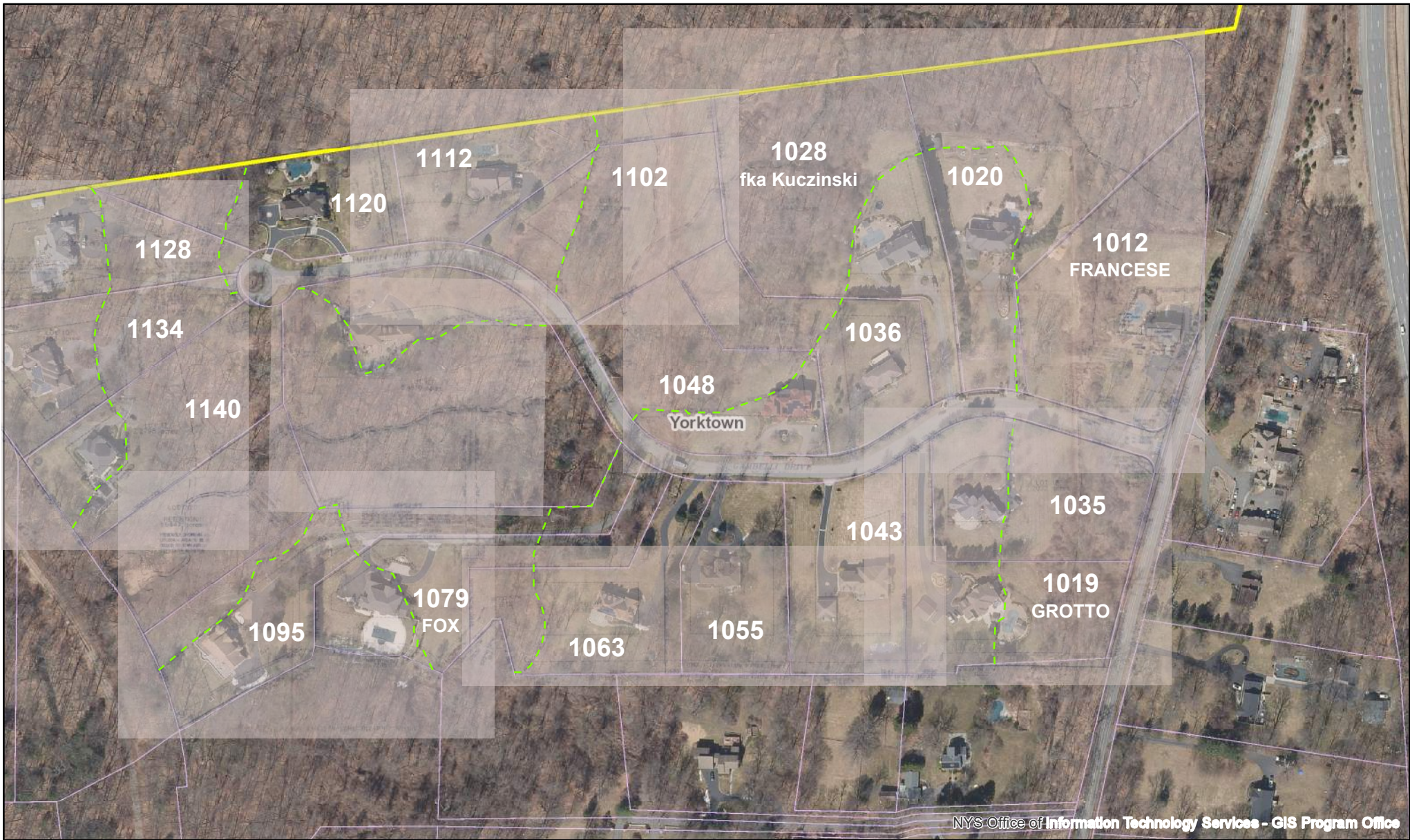
Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

To: Planning Board
From: Planning Department
Date: June 24, 2022
Subject: Lakeview Estates Development Permits

The Planning Department reviewed the developments within the Lakeview Subdivision since the Board's approval and provides the following summary for your consideration. Town Board minutes are attached for the three wetland permits that were granted.

Address	Development	Comments
1012	2003 – CO for residence. 2008 – In-ground pool.	Francesse Wetland Permit from Town Board.
1019	2002 – CO for residence. 2004 – Pool & accessory structure in wetland buffer.	Grotto Wetland Permit from the Town Board.
1028	2003 – Violation 2003 – In-ground pool	Removing trees in the buffer during home construction. Kuczinski Wetland Permit from Town Board.
1079	2002 – CO for residence. 2004 – Aerial photo shows fountain. 2006 – Pool outside wetland buffer.	Fountain area possibly constructed with home. Building Permit obtained.
1140	2002 – CO for residence. 2006 – Pool, terrace, and cabana.	Building Permits obtained.

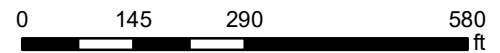
LAKEVIEW ESTATES



April 29, 2022

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:3,000



Westchester County GIS

GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

Francese Wetland Permit Application

TOWN BOARD MINUTES

January 9, 2007

WETLAND PERMIT JOHN FRANCESE - 1012 GAMBELLI DRIVE CONSTRUCT A SWIMMING POOL

John Francese was present to discuss with the Board his request to construct a swimming pool at his residence located at 1012 Gambelli Drive. The Board decided to do a site visit of Mr. Francese's property to see if the pool would be located in the wetlands area.

January 23, 2007

WETLAND PERMIT

1012 GAMBELLI DRIVE JOHN FRANCESE

Mr. Francese outlined the process which he has taken so far. He met with the e-panel which he says instructed him to have his property's wetlands delineated and to get pool plans. Mr. Francese stated that he has done everything that he was told to do and would like to get a permit. Councilmen Bianco and Campisi have both been to the site. The pool will be in the wetlands buffer. Mr. Francese was asked if something could be moved on the property or if the pool could be made smaller? He said no to both questions. Supervisor Cooper asked that nothing be done until she has a chance to visit the site. Councilmen Metz and Martorano will also visit. Mr. Francese stated that he has done everything his neighbor Peter Grotto did and believes he should be treated the same. The Board will revisit this issue on February 13th.

May 22, 2007

FRANCESE WETLAND PERMIT 1012 GAMBELLI DRIVE

Applicant John Francese was present to speak about plans for installing a swimming pool on his property a part of which would fall within the wetlands buffer. Previously, the Town Board suggested that Mr. Francese move his septic fields which are in the rear of his property and place his pool there.

Mr. Al Capellini and Mrs. Beth Evans, Attorney and Environmental Consultant for the applicant appeared before the Town Board. Mr. Capellini stated that it was his belief that the Town's wetlands law was a permitting law, not a prohibiting law. Mrs. Evans explained that since the visit by the Town Board to her client's home, she has reflagged the wetlands. She also stated that she believes the septic fields should not be moved. Mrs. Evans told the Board that she believes the side yard was a better area for the pool. The applicant would be willing to perform mitigation. Mr. Capellini explained to the Board that his client wants a pool, but needed guidance.

The applicant was told to submit an application and go through the process.

October 2, 2007

PUBLIC HEARING REQUEST FOR A WETLANDS PERMIT FRANCESE – IN-GROUND SWIMMING POOL GAMBELLI DRIVE

Supervisor Roker convened a public hearing to consider a wetlands permit request from John and Lori Francese to construct an in-ground swimming pool on Gambelli Drive. Affidavits of Publication and Posting were presented by the Town Clerk.

On behalf of the applicant, Mr. Al Capellini stated that John and Lori Francese would like to construct an in-ground pool on their property. They are seeking a Wetlands Permit because the pool would be located within the wetlands buffer zone. He stated that ninety (90) percent of the lot is in either the wetlands or wetlands buffer with the exception of a small portion of the lot. He noted that anywhere you place the pool it will be in the wetlands buffer area. Mr. Capellini introduced Beth Evans, the applicant's expert on wetlands, who will explain the mitigation efforts. The Pool builder was also present.

Ms. Beth Evans stated that this is a developed site which has a drainage easement with a thirty-six (36) inch drainage pipe running across the middle of the Francese's front lawn that drains into a large wooded wetlands area in the back of the property. Ms. Evans gave an overview to the Board and addressed many of the comments that were raised by the Town Board and other outside agencies. She stated that the mitigation plan calls for this wetlands system to be more functional and diverse, certainly much more than it is today.

The Town Board asked Ms. Evans to provide the Board with an updated letter from the Department of the Environmental Protection indicating its approval of this project.

Mr. John Schroeder asked what the volume of the pool will be. Ms. Evans stated that it would be about 30,000 gallons. Mr. Schroeder is concerned about the water being continually chlorinated over the winter and being discharged into the wetlands area.

Mr. Howard Frank stated that he feels this application is incomplete. He noted that the type of pool is not specified and he would like to see more review of the application.

Mr. Ciffone asked why wetlands permit applications come before the Town Board instead of the Planning Board.

Councilman Bianco explained that wetland permit applications are the authority of the Town Board.

A representative from Blue Haven Pools explained that this would be a cement pool, would have hydrostat valves throughout the floor to alleviate the construction concerns. Water can sit for a week and dissipate the chlorine. Pools are typically lowered six to eight inches below the surface level during time of none use and that translates to about 3,000 gallons of water. He stated that the water can be discharged away from the wetlands area, if there is concern.

Supervisor Roker asked if other areas were looked at for the placement of the pool. Ms. Evans stated that alternative areas were looked at and this was the best placement. Ms. Evans mentioned that pools are typically allowed to air for several weeks thereby dissipating the chlorine and this can produce very clean sanitized water. Much cleaner than what is coming out of the drainage pipe.

Councilman Metz asked what the environmental effects would be if chlorinated water was discharged into the wetlands area. She stated that there is a six week timeframe that the chemical content would dissipate easily. It is in the watershed area and she believes that the wetlands can be restored better and provide more protection than it does today.

Mr. Gil Kauffman asked if this was located in the Hallocks Water District. Councilman Bianco stated no, it flows into the New York City Reservoir.

Mr. Paul Moskowitz stated that if you put chlorine salt into a pool, the sodium does not evaporate. Would you then be discharging sodium? A representative from Blue Haven Pools stated that there are other systems that can be used and the sodium discharge would be very small.

All those present having been given the opportunity to be heard and there being no further discussion, the hearing was adjourned. Councilman Martorano motioned, seconded by Councilman Bianco.

January 22, 2008

FRANCESE WETLANDS PERMIT

Mr. Albert Capellini, Attorney for the Applicant, and Beth Evans, Engineer for the applicant appeared before the Town Board.

Ms. Evans explained that the NYC Department of Environmental Protection has signed off on their latest plan. The Conservation Board has also recommended approval of the wetlands application.

The Town Board placed this application on the next agenda for a decision.

February 19, 2008

PUBLIC HEARING RECONVENE FRANCESE WETLANDS PERMIT CONSTRUCT AN IN-GROUND SWIMMING POOL

Supervisor Peters reconvened a public hearing to consider the wetlands permit application of Francese to construct an in-ground swimming pool.

Affidavits of Publication and Posting were presented by the Town Clerk.

Mr. Ciffone asked why should this applicant be given a wetlands permit?

Mr. Capellini stated that there will be no direct construction in the wetlands.

Bruce Barber, Yorktown's Environmental Consultant explained that the applicant has done everything required by both the New York City Department of Environmental Protection and him to mitigate disturbance in the wetlands buffer. The amended plan on file is sufficient for the applicant to receive a permit with specific conditions that must be met.

Everyone present was given the opportunity to be heard and there being no further discussion the hearing was closed, Councilman Metz motioned, seconded by Councilman Martorano.

February 19, 2008

FRANCESE WETLANDS PERMIT CONSTRUCT AN IN-GROUND SWIMMING POOL GAMBELLI DRIVE RESOLUTION #83

(see attached)

March 18, 2008

ACCEPTENCE OF BONDS JOHN FRANCESE - WETLANDS PERMIT #022-06 RESOLUTION #128

Upon motion made by Councilman Bianco, seconded by Councilman Martorano,

WHEREAS, John Francese, as applicant, provided the Town with NGM Insurance Company Erosion Control Bond #S-265320, in the amount of \$2,500.00, to serve as the Erosion Control Bond for Town Board approving Wetland Permit #022-06, for his property located on Gambelli Dr., and

WHEREAS, John Francese, as applicant, provided the Town with NGM Insurance Company Wetland Bond #S265321, in the amount of \$5,000.00, to serve as the Wetland Bond for Town Board approving Wetland Permit #02206, and

WHEREAS, John Francese, as applicant, provided the Town with Check No. 3846, in the amount of \$800.00, to serve as Inspection Fees for Town Board approving Wetland Permit #WP-022-06,

NOW, THEREFORE BE IT RESOLVED, that the above referenced bonds and check, are hereby accepted to serve as the required bonds for Town Board approving Wetland Permit #WP-022-06.

Peters, Martorano, Bianco, Campisi, Metz Voting Aye
Resolution adopted

May 13, 2014

REQUEST FOR WETLANDS PERMIT REFUND – FRANCESE

Mr. John Francese, applicant and Bruce Barber, Environmental Consultant for the Town were present to discuss Mr. Francese requests to have his Wetlands Bond release. Mr. Francese explained that he did all the plantings that were requested but the plants have died and he does not think he should have to spend more money to fix this.

Mr. Bruce Barber stated that in the past the Town has had the applicant work with the Town to see if other mitigation measures can be done. He recommended putting down native seeds into the wetlands area. The Town Board advised Mr. Francese to work with Mr. Bruce Barber regarding this issue.

October 7, 2014

AUTHORIZE RELEASE FOR WETLAND BOND #WP-022-06 – GAMBELLI DRIVE – JOHN FRANCESE
RESOLUTION #407

Upon motion made by Councilman Patel, seconded by Councilman Murphy,

WHEREAS, on February 29, 2007, the Town Board of the Town of Yorktown granted Wetland Permit WP-022-06 to John Francese (applicant) of 1012 Gambelli Drive to construct an in-ground swimming pool in a jurisdictional wetland buffer area and,

WHEREAS, the applicant, as a condition of the permit requiring wetland mitigation plantings, posted a \$5,000 wetland bond which would be released at the end of five year period as measured from the date of issuance of a certificate of occupancy for the in-ground pool and when the Town of Yorktown verifies that at least 85% of the planted wetland mitigation plants were viable, and

WHEREAS, on April 22, 2014, the Town of Environmental Consultant inspected the site and found that approximately 25% of the plants installed pursuant to the wetland mitigation requirement were viable; and

WHEREAS, the applicant was offered the option and agreed to remove all debris along the applicant's property border that is located within the wetland and wetland buffer as alternative to replanting the wetland and wetland buffer, and

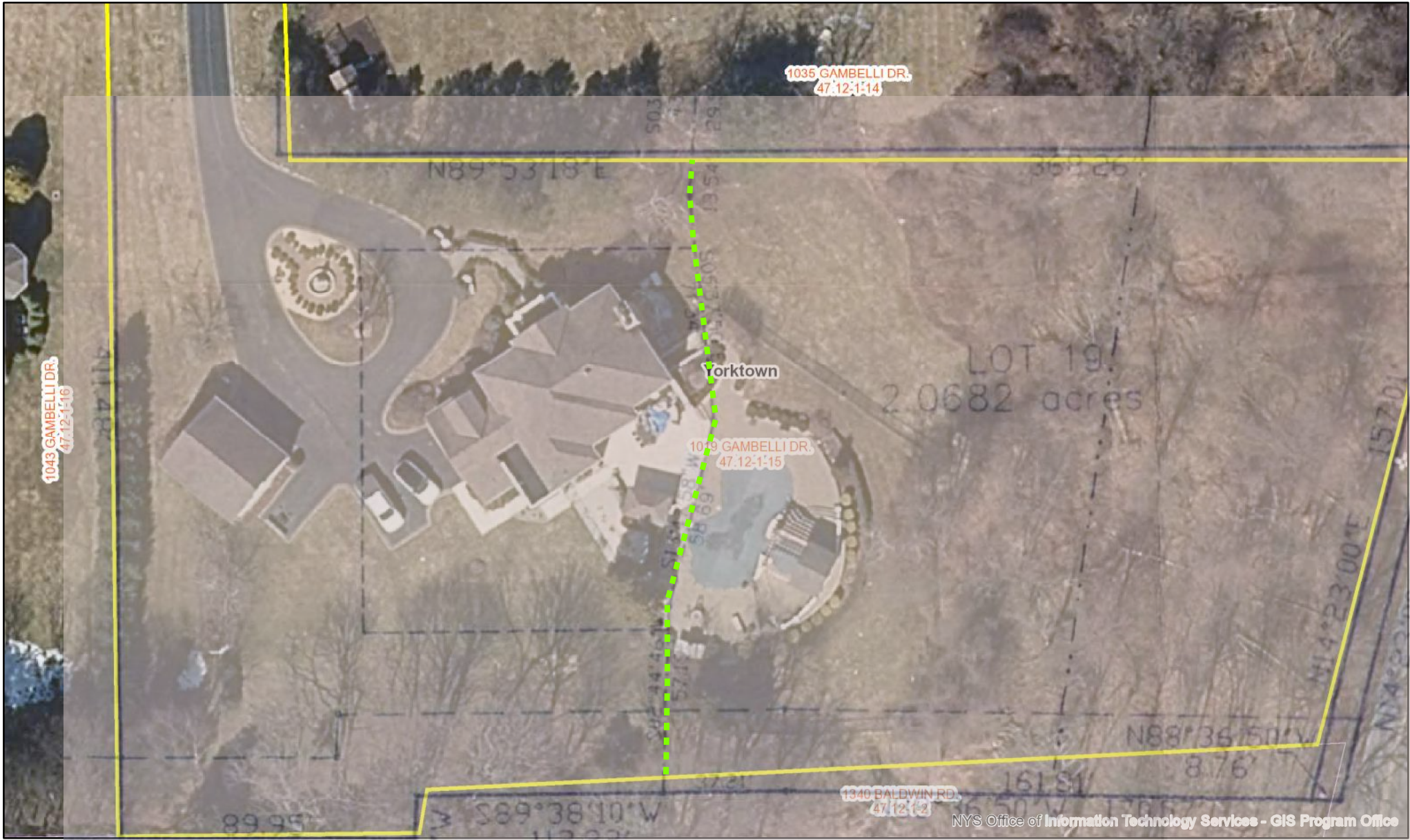
WHEREAS on May 20, 2014, the Town Board adopted a resolution authorizing release of the bond subject to the following condition: 1. The Acting Town Engineer to furnish in writing to the Town Board that the applicant has removed all debris located in the wetland and wetland buffer along the applicant's property border and any/all conditions of the wetland permit have been met,
And

WHEREAS a representative of the Town has confirmed that the debris has been removed,

NOW THEREFORE BE IT RESOLVED THAT, the Town Board of the Town of Yorktown authorizes release of the bond.

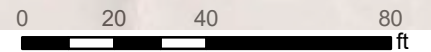
Grace, Murphy, Patel Voting Aye
Resolution adopted

1019 GAMBELLI DR.. ID: 47.12-1-15 (Yorktown)



April 29, 2022

1:500



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Grotto Wetland Permit Application

TOWN BOARD MINUTES

March 16, 2004

REFERRAL WETLANDS PERMIT PETER GROTTO RESOLUTION #118

Upon motion by Councilman Martorano seconded by Councilman Bianco,

WHEREAS, Peter Grotto has made a request for a wetlands permit approval for property located 1019 Gambelli Drive, Yorktown Heights, NY. Proposed activity is the construction of proposed in ground swimming pool into the wetland buffer zone limits. A copy of the proposal is on file in the office of the Town Clerk where the same may be inspected during regular office hours.

Bianco, Metz, Campisi, Cooper, Martorano voting aye.

Resolution adopted.

November 16, 2004

PUBLIC HEARING

GROTTO REQUEST FOR WETLANDS PERMIT

Supervisor Cooper called to order a public hearing to consider the application of Peter Grotto, 1019 Gambelli Drive, Yorktown Heights for a Wetlands Permit to construct an in-ground swimming pool into the wetland buffer zone limits.

Mr. Robert Petrocelli, architect for the applicant stated that since the application was first presented to the Town Board, they have reduced the size of the pool and relocated it so that it is even farther from the wetland. We have also agreed to place a Conservation Easement along the 466 foot contour interval which will prevent further expansion and improvements into the wetland. The Grottos have also agreed to a mitigation planting plan which will result in the lawn surface in the area of the proposed conservation easement to be planted with a mixture of wetland and upland seed mix as well as native shrubs. This area will be allowed to go natural. Ms. Kathryn Grayson, the wetlands engineer for the applicant reiterated much of what had already had been stated about the mitigation plan.

Supervisor Cooper read the Conservation Board memorandum dated November 12, 2004 which recommended approving this application.

Councilman Bianco stated that before he voted on this application, he would like to visit the site.

All those present having been given the opportunity to be heard and there being no further discussion the hearing was closed. Councilman Martorano motioned, seconded by Councilman Bianco.

November 23, 2004

GROTTO WETLAND PERMIT

GAMBELLI DRIVE

Members of the Town Board discussed the fact that this permit raises some issues, the applicant's entire backyard is wet. But, the applicant has spent \$15,000 in changes requested by the Conservation Board. A decision will be placed on the next Town Board agenda.

December 7, 2004

WETLAND PERMIT APPROVED

(see attached resolution)

November 15, 2005

REQUEST FOR EXTENSION OF WETLAND PERMIT - GROTTO
RESOLUTION #454

Upon motion made by Councilman Martorano, seconded by Councilman Bianco,

WHEREAS, Peter & Donna Grotto posted Check #1716 in the amount of \$5,000.00, to serve as the Wetland Bond for Town Board approving Wetland Permit #WP-009-04, approved December 7, 2004, and

WHEREAS, the Grotto's submitted a letter requesting their first of two 90 day extensions within the specified time period of the Town code,

NOW, THEREFORE BE IT RESOLVED, that Town Board approving Wetland Permit #WP-009-04 is hereby extended for the next ninety days.

Cooper, Martorano, Metz, Campisi, Bianco voting aye.
Resolution adopted.

February 21, 2006

REQUEST FOR FINAL 90 DAY EXTENSION GROTTO - GAMBELLI DRIVE
RESOLUTION #118

Upon motion made by Councilman Martorano, seconded by Councilman Bianco,

WHEREAS, Peter & Donna Grotto posted Check #1716 in the amount of \$5,000.00, to serve as the Wetland Bond for Town Board approving Wetland Permit #WP-009-04, approved December 7, 2004, and

WHEREAS, the Grotto's submitted a letter requesting their final 90 day extension, within the specified time period of the Town code,

NOW, THEREFORE BE IT RESOLVED, that Town Board approving Wetland Permit #WP-009-04 is hereby extended for the final ninety day period.

Cooper, Martorano, Bianco, Metz, Campisi voting aye.
Resolution adopted.

April 22, 2014

APPROVE RELEASE OF BOND – WP-009-04 - GAMBELLI DRIVE
RESOLUTION #188

Upon motion made by Councilman Murphy, seconded by Councilman Bianco,

WHEREAS, Gian Nico Realty Corp. – 175 Oak Street, as applicant, posted check #1716 in the amount of \$5,000.00 which was deposited into the T33 Account on July 15, 2005, covering Wetland Permit #009-04 for work performed at the Gambelli Drive residence, and

WHEREAS, the Town Engineer has informed this Board that a representative of her Department has inspected the property and determined that the work has been satisfactorily completed, and that the \$5,000.00 for erosion may be released,

NOW THEREFORE BE IT RESOLVED, that the above-described Wetland Bond in the amount of \$5,000.00, be and is hereby released to Gian Nico Realty Corp. - 175 Oak Street, 1019 Gambelli Drive, Yorktown Heights, NY 10598, Attn: Ms. Donna Grotto.

Grace, Bianco, Murphy, Patel Voting Aye
Resolution adopted.

December 7, 2004 Resolution

WETLANDS PERMIT

PETER GROTTO

RESOLUTION #459

Upon motion made by Councilman Campisi, seconded by Councilman Bianco,

WHEREAS an application for a Wetlands Permit has been made by Peter Grotto for the construction of a swimming pool to be situated in a wetland buffer area on a parcel located at 1019 Gambelli Drive and identified as Section 8.4, Parcel 28, Lot 19 on the Yorktown Tax Map and;

WHEREAS, after initial review of the application the Town Board made the following determinations:

1. That the proposed action is subject to review under the State Environmental Quality Review Act (SEQRA);
2. That the proposed action is an Unlisted Action under SEQRA;
3. That the Town Board would assume Lead Agency status in connection with the SEQRA review of the proposed action; and

WHEREAS, no involved agency challenged the Town Board's Lead Agency Status; and

WHEREAS, said application was circulated for review and comments were received from the Engineering Department, the Planning Department, the Conservation Board, and the Environmental Code Inspector; and

WHEREAS, the applicant has submitted a Long-Form EAF which has been satisfactorily reviewed by the Town's Environmental Code Inspector; and

WHEREAS, a public hearing was convened on November 16, 2004, during which public hearing the applicant presented information and arguments in favor of issuing the permit and members of the surrounding neighborhood and the public at large were afforded the opportunity to present information and express their views concerning the application; and

WHEREAS, the Town Board finds that the applicant's plans, as revised to incorporate recommendations of the Conservation Board and the Town Board, minimize potential environmental impacts; now therefore be it

RESOLVED, the Town Board, as lead agency, has determined that the proposed action described above will not have a significant environmental impact and a Draft Impact Statement will not be required.; and be it further

RESOLVED, that the Wetlands Permit application (#WP-009-04) of Peter Grotto for the construction of a swimming pool to be situated in a wetland buffer area is approved subject to the following conditions:

- 1) Work of any nature shall not be conducted on the site until such time as a building permit is obtained.
- 2) A Conservation Easement is to be placed on the property starting at the 466' contour line as shown on the map prepared by the applicant's consultant and encompass the entire area of the applicant's property to the east of the 466' line with the exception of the pool offset as shown on the plans entitled Proposed Inground Gunite swimming pool plan prepared by Robert Petrucelli (most recent revision date 10-4-2004). Conservation Easement language must be prepared and submitted to the Town Attorney for approval. Language should be included that alternation of vegetation without Town Engineer approval is not permitted. Field markers shall be installed on the intersection of the 466' contour intervals with the north and south property borders to mark the limits of the Conservation Easement as approved by the Town Engineer. Conservation easement area shall be depicted on the site map prior to the issuance of a certificate of occupancy.

The area of the Conservation Easement is not to be mowed or maintained other than to provide for proper conditions for growth of the planted species.

- 3) The wetland permit incorporates by referenced the mitigation plan and report prepared by Tectonic Engineering dated November 9,2004 and the most recent revision (October 4,2004) of the site plan prepared by Robert Petrucelli, Architect for the applicant.
- 4) An erosion and sediment control plan must be submitted to the Town Engineer for approval prior to the commencement of work. Plan will also show the limits of disturbance which shall be marked in the field by orange construction fencing during the entire construction project.
- 5) Pool water must discharge to the drywell shown on the site plan.
- 6) Applicant must submit to the Town Engineer written verification that all NYSDEC (including Phase II), NYCDEP, Westchester County and ACOE requirements (as applicable) have been met and/all permits obtained prior to commencement of work.
- 7) A pre-construction meeting must be held at the site prior to the commencement of any work. The applicant or a representative must contact the Environmental Inspector (914) 962-5722 x262 to arrange this meeting. Temporary erosion controls and limits of disturbance must be installed prior to this meeting.
- 8) No planting substitutes must be made without the approval of the Environmental Inspector.
- 9) A wetland bond in the amount of \$5,000 is to be posted prior to commencement of work. This bond will be returned when the Town of Yorktown verifies that there is 85% survival of planted species as shown on the approved mitigation plan after a five-year growing period measured from the date of issuance of the certificate of occupancy.
- 10) An as-built map showing the location of the conservation easement field markers and accurately depicting the wetland buffer mitigation shall be provided prior to the issuance of a certificate of occupancy.

Cooper, Martorano, Metz, Campisi voting aye.

Bianco voting nay.

Resolution adopted.

November 12, 2004

To: Town Board
From: Conservation Board
Subject: Grotto Pool Application
1019 Gambelli Drive.

Kathryn Geyson, Environmental Consultant, Robert Petrucelli, Architect
Plans Reviewed: Grotto In-Ground Gunite Pool/Reduced Pool and Spa
Prepared By: Robert Collwell Petrucelli Architect
Dated: Dec.22, 03. Revised 10-4-04

Dear Supervisor Cooper and Members of the Town Board:

The Conservation Board reviewed the modified plan at our regular meeting on November 9th 2004. Our comments are as follows:

- 1) the applicant has reduced the size of the pool and relocated it so that it is further from the wetland and located more closely to the patio area.
- 2) the drywells have been located outside of the wetland buffer.
- 3) a Conservation Easement has been placed approximately along the 466' contour interval which prevents further expansion and improvements in the wetland buffer. Concrete monuments should be placed on the intersection of this contour and the north and south property lines. Conservation Easement language should be prepared for review by the Town Attorney.
- 4) the environmental consultant has submitted a wetland mitigation planting plan which will result in the present lawn surface in the entire area of the proposed Conservation Easement to be planted with a mixture of a wetland and upland seed mix as well as native shrubs.
- 5) an appropriate wetland bond which insures survival or 85% of the planted species after five years should be required.
- 6) additional requirements to be added by Environmental Planner and Town Engineer following their review.

The Conservation Board recommends the Town Board **approve** the application with the following conditions:

- 1) Concrete monuments should be placed on the intersection of this 466' contour (Conservation Easement line) and the north and south property lines to insure

future enforcement. Conservation Easement language should be approved by the Town Attorney

- 2) An appropriate wetland bond which insures survival or 85% of the planted species after five years should be required.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrew J. LaGow". The signature is fluid and cursive, with the first name "Andrew" being the most prominent part.

Andrew J. LaGow, for the Conservation Board

cc: Supervisor, Town Planner, Town Attorney, Town Clerk, Town Engineer, Building Inspector, ABACA, Environmental Clerk, Environmental Code Enforcement Officer, Nick Bianco—Town Board Liaison, Applicant

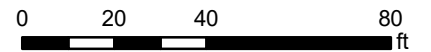
1079 GAMBELLI DR.. ID: 47.11-1-24 (Yorktown)



April 29, 2022

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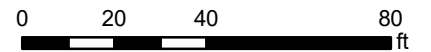
1140 GAMBELLI DR.. ID: 47.11-1-20 (Yorktown)



April 29, 2022

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**Previous
Approvals for the
Lakeview Estates Subdivision**

Lakeview Estates

Meeting Dates:	
03/09/87	Preliminary discussion
11/07/88	Preliminary layout
10/02/89	Review
12/11/89	PH
12/18/89	Time extension
01/10/90	Adjourned PH
02/12/90	PH
02/26/90	Review of Draft Resolution
03/05/90	Correspondence
03/26/90	<i>PB Resolution #90-08</i>
05/07/90	Correspondence
09/17/90	Final Plat
10/22/90	Time extension
01/14/91	Time extension
04/08/91	PH
04/22/91	<i>PB Resolutions #91-06 and 91- 07</i>
06/10/91	Phasing
07/22/91	Proposed amendment to approving resolution, final plat
08/12/91	PH – phasing, final layout
09/16/91	Decision statement – phasing, final layout
10/07/91	<i>PB Resolution #91-24</i>
04/13/92	Time extension
07/13/92	Time extension
10/05/92	Time extension – <i>PB Resolution #92-22B</i>
08/09/93	Time extension
03/28/94	Reaffirm SEQRA findings – <i>PB Resolution #94-05</i>
09/26/94	Time extension
03/27/95	Re-approval - <i>PB Resolution #95-09</i>
10/16/95	Time extension
04/08/96	Discussion – amended subdivision
12/11/95	
05/13/96	FFE – <i>PB Resolutions # 96-08 and 96-09</i>
06/10/96	Discussion – amended subdivision
01/06/97	PH – Bridge, Lighting, Drainage - <i>PB Resolution #97-01</i>
01/27/97	Decision statement – wetland permit
03/10/97	Decision statement – wetland permit
04/14/97	Decision statement – wetland permit
01/12/98	FFE - <i>PB Resolution #98-01</i>
10/26/98	Correspondence
01/22/01	Lot 1
05/07/01	Lot 1
12/03/01	Lot 3
07/15/02	FFE – Lot 2 - <i>PB Resolution #02-20</i>
08/12/02	FFE – Lot 3 – <i>PB Resolution #02-01</i>
05/05/03	

	11/22/04	
	01/24/05	
	03/07/05	
	04/25/05	Approved resolution amending subdivision approval #97-1 to remove lighting district requirement – <i>PB Resolution #05-06</i>

April 25, 2005 Minutes

Lakeview Estates

Discussion: Public Hearing on Removal of Lighting District

Location: Gambelli Drive, Hunterbrook

Contact: Joe Marinelli, Aphrodite Construction

Description: The Planning Board required that a lighting district be formed as a condition of the approval resolution #97-1 dated January 6, 1997.

Comments:

Present: Joe Marinelli, owner. Dineen opened the special session. Dineen asked if anyone present wishes to comment on if we should have a lighting district in this subdivision. No one from the public came forward. Dineen asked for a motion to close public hearing.

Upon motion by Dineen, seconded by Flynn, and with all those present voting in favor, the public hearing was closed.

Upon motion by Dineen, seconded by Flynn, and with all those present voting in favor, the Board approved the requirement of a lighting district be removed from resolution #97-1.

March 7, 2005 Minutes

Lakeview Estates

Discussion: Lighting District

Location: Gambelli Drive, Hunterbrook

Contact: Joe Marinelli, Aphrodite Construction

Description: The Planning Board required that a lighting district be formed as a condition of the approval resolution #97-1 dated January 6, 1997.

Comments:

Joe Marinelli, developer was present. Klaus stated the Planning Board has never before required a subdivision to have a lighting district. Steiniger asked if this was tied into any other conditions and was told no. Klaus asked in the absence of a lighting district who pays for the lighting. Econom stated the Town pays for all the lighting throughout the Town. Steiniger stated the Planning Board had requested Town Board approval for the lighting district and did not know if the Planning Board could eliminate this from the resolution. Steiniger asked Sweeny if this condition had to be removed by the Town Board. Sweeny stated because the condition was not mandated, the Planning Board need only send a memo to inform the Town Board. Klaus asked about maintenance of the lights and Econom replied the maintenance of Town lighting is done by local contractors and the addition of this subdivision should not be problematic. Econom stated there were no outstanding issues and the applicant's bonds were in place. Klaus instructed the Planning Department to notify the Town Board.

January 24, 2005 Minutes

Lakeview Estates

Correspondence Item:

The Aphrodite Construction Co., letter dated Jan 20, 2005 requested the Board remove the requirement for a lighting district. Sweeney explained the history of the subdivision and the fact that this is the only required lighting district within the Town. Giordano asked how the subdivision’s lighting would work without the lighting district. Econom explained every other subdivision worked without a lighting district. Dineen requested the applicant attend the next Planning Board meeting. Flynn stated within this subdivision there will be public roads. Econom explained all the lights have already been installed and are working.

November 22, 2004 Minutes

Lakeview Estates – Town Engineer Referral

Location: Gambelli Drive, Hunterbrook

Description: Request for release of Performance & Erosion Control Bonds and acceptance of Gambelli Drive as a Town Road.

Comments:

The Planning Board had no issues at this time.

May 5, 2003 Minutes

Lakeview Estates

Correspondence Item:

Comments:

Dineen stated the plaques at the Gregory house should be referred to the Landmarks Preservation Committee. Dineen suggested a \$1,000 bond be established by the developer for the creation and installation of the marker.

August 12, 2002 Minutes

Lakeview Estates – Lot 2

Discussion: Certification/Signature, Finished Floor Elevation - Gambrelli Drive

Comments:

The Board signed and certified the change in finished floor elevation.

July 15, 2002 Minutes

Lakeview Estates Lot 2 (Giannattasio)

Discussion: Decision Statement, Finished Floor Elevation – Gambrelli Drive

Comments:

The applicants are requesting a change in finished first floor elevation to 458.0', where 453.0' was originally approved and grading for lot-2 as shown on the site plan, titled Site Plan Lot 2 Giannattasio, Drawing 1 of 1, prepared by R. Barry Goewey Architects, dated 06/21/02. Dineen stated the applicants must be in compliance with the ABACA memorandum of June 27, 2002.

Upon motion by, Reardon, seconded by Klaus, and with all present in favor, the Board approved the change in finished floor elevation.

December 3, 2001 Minutes

Lakeview Estates - Lot 3

Discussion: Finished Floor Elevations, Gambelli Drive

Comments:

Joe Riina, project architect, was present with applicant, Greg Kozinski. Riina stated the first floor elevation was originally approved at 444.0' and the applicant was requesting a change to 448.0', with a garage below. Lagow asked where the applicant's proposed pool would drain to. Dineen read the ABACA memo that stated they had no objections to the proposed change in the finished floor elevation. Klaus asked for the driveway dimensions and Riina replied 10' x 240'. Klaus felt this may not be wide enough for emergency vehicles. Dineen requested Tegeder prepare a memo to the Building Inspector and a resolution for the next public hearing.

May 7, 2001 Minutes

Lakeview Estates

Correspondence Item:

Lakeview Estates Lot 1- Tegeder felt the applicant, Joe Marinelli, misunderstood the Planning Board's direction. Dineen stated the Conservation Board has written a memo but all of that is academic until they submit a plan on the original foundation.

January 22, 2001 Minutes

Lakeview Estates – Lot 1

Discussion – Major Subdivision

Comments:

(Lakeview Estates, Proposed One Family Residence at Lot 1, Prepared by Badaly & Badaly Architects, dated 8/98)
Grossfield abstained from this discussion. Joe Marinelli, applicant, was present. Dineen asked the Board if they believed the ZBA variance allowed the applicant to act upon this submission. Tegeder stated the original approval required the applicant to place the new house upon the old foundation. Dineen agreed this building would not fit on the old foundation. Econom stated he was reviewing the plan in regard to the zoning. Dineen stated the Conservation Easement on the current plan does not agree with the approved plan. ABACA's memo indicates they are looking for a different type of house. Dineen requested the applicant be referred to the Conservation Board for the issue of the buffer intrusion. This does not conform with our approval or the ZBA decision. The Conservation Board will review the house or the septic being in the wetlands buffer area. Dineen requested the applicant be sent the approving resolution and the ZBA's decision in order to conform the application to the approval.

October 26, 1998 Minutes

Lakeview Estates- Lot 1

Correspondence Item:

Dineen summarized the situation as follows: The Building Department reports that if the developer takes the building down, a variance will be needed. The applicant wants to take down the old building and move the new building nearer to the wetlands and buffer area. Reardon and Dineen asked why the new building could not be placed on the old foundation. Dineen stated the Board would send a memo to the Building Inspector supporting the rebuilding on the same foundation but they would not support additional encroachment into the wetlands or buffer area.

January 12, 1998 Minutes

Lakeview Estates – Lot 10 FFE

Comments:

Lakeview - Lot #10, Jim Marinelli, the applicant's representative was present. Grossfield recused himself from the discussion. Marinelli stated the garage would change by two (2) feet and the first floor elevation by five (5) feet to four hundred and five and one half (405.5) feet. Dineen questioned the slope of the driveway. Although it was close to 10%, it was not more than 10%. Dineen asked if this change would affect lot #11 and Marinelli replied it would not.

Upon motion by Reardon, seconded by Steiniger, and with all in favor, except Grossfield, who abstained, the Board approved the change in finished floor elevation.

April 14, 1997 Minutes

Lakeview Estates

Decision Statement - Wetland Permit Application

Comments:

Joe Marinelli, applicant was present. Grossfield abstained from this discussion. Barber, Conservation Board member and Waterman, Code Enforcement Officer, were at the site. The recommendation is bonding for three growing seasons. The main concern is the area will become dry. Erosion controls need to be worked on. One condition regarding the cleaning of the stream bed only the accumulations to be cleaned and there can be no deepening or widening.

Upon motion by Steiniger, seconded by Reardon, and with all in favor, except Grossfield who abstained, the Planning Board approved the Wetland Permit.

March 10, 1997 Minutes

?

January 27, 1997 Minutes

SPECIAL SESSION

LAKEVIEW ESTATES

Decision Statement

Wetland Permit Application

Joe Marinelli, applicant was present. Grossfield abstained from this discussion. Marinelli stated they had complied with Wetland Inspector's memo of January 7, 1997. Klaus stated the Conservation Board was waiting for Bruce Donahue's formal submission. Dineen wanted the applicant to bond the viability of the wetland treatment. Klaus stated the mitigation was one (1) for two (2). Dineen questioned the ramifications of the shorter bridge. Klaus felt the Conservation Board memo did address this issue.

January 6, 1997 Minutes

LAKEVIEW ESTATES

Public Hearing

Bridge/Lighting/Drainage

Joe Marinelli, project developer, Alan Pilch, project engineer and John Aarons, project attorney, were present for this application. Marinelli stated the public hearing notices were given to Tim Dunphy, planner. Dunphy was not present for this meeting. The Chair explained everything stated at this meeting was contingent upon the public notices having been submitted and these notices being correct. The Chair asked if anyone from the public was present for this project. No one from the public was present. The public hearing was opened.

Aarons stated the final modifications were housekeeping items and they had been completed. The current submission provided the corrected information and adjacent home owners. It readdressed the common driveways and included a soil map as the Board requested. Pilch stated the former lighting had been high pressure sodium that gave a yellow look. The

current submission was for halogen which would be a white light. Dineen asked about wattage and was told low level 100 watt fixtures would be used. Dineen questioned Klaus on the construction of the shorter bridge and the effect this had on the wetlands. Klaus replied Bruce Donahue, environmental specialist, developed a mitigation plan that was more than 1:1. Dineen questioned Ciarcia on subsurface drainage. Ciarcia replied that the applicant's plan was more strenuous than the Town's request.

Sjoberg stated this plan would supersede the two part phasing plan. The applicant felt he should file the phasing plan. Sjoberg explained that there was no longer an application for the two part phasing plan before the Board. Reardon questioned the collateral the applicant was using. Sjoberg discussed the wetland permit application and stated the applicant needed to include specific information and resubmit the application. Correspondence from the Landmark Preservation Committee stated there was no problem razing the Gregory House. The Building Inspector's memo stated any new structures would have to comply with R1-80 setbacks. Dineen felt the Board was faced with two (2) questions in regard to this lot. Can a house be built on this lot and if it can, must it be affordable? The applicant explained the affordable housing commitment was now three thousand dollars (\$3,000) per house. Dineen wanted the affordable housing condition stated in both the resolution and the negative declaration. The Chair read a memo from Westchester County Planning discussing buffering along the Park and a memo from the Town Engineer stating there were no objections. Davis endorsed the grandfathering of the R1-80 zoning.

Upon motion by Steiniger, seconded by Reardon, and with all in favor, the Board closed the public hearing.

Sjoberg stated a hard look had been taken at SERQA and the original conditions were still valid.

Upon motion by Reardon, seconded by Steiniger, and with all in favor, the Board adopted the negative declaration as per the Chair's copy.

Sjoberg discussed the lighting district. The applicant agreed that the individual homeowner would pay the lighting cost.

Upon motion by Reardon, seconded by Steiniger, and with all in favor, except Panio who voted nay, the Board reapproved a resolution to modify the final plat.

Panio stated, although the application was before the Board long before his term on the Planning Board began, he could not approve any subdivision with a three thousand dollar (\$3,000) affordable housing condition.

June 10, 1996

LAKEVIEW ESTATES

Discussion

Amended Subdivision

Joe Riina, project engineer, and Joe Marinelli, applicant, were present. Grossfield abstained from this discussion. The Board reviewed the Conservation Board memos of June 7, 1996 and June 9, 1996. Dineen asked for a storm water quality plan. Riina informed the Board that John Myers Engineering was working on this and Bruce Donahue will submit a report. Dineen stated that the applicant's biggest obstacle was the Conservation Board. He felt that the applicant's good plans were putting earlier concerns to rest. Marinelli asked the Board how long all this should take? Dineen replied that it was the goal of this Board to keep things moving and have the maximum input upfront.

Ciarcia stated that the retention was to capture the first half inch (.5") of rain. The bridge and dam have to be approved by the DEC. Ciarcia explained that the only issue was the storm

water SPEDES. Dineen stated that they must submit a mitigation plan. The applicant needed to obtain conceptual agreement when presenting to the Conservation Board or any other advisory Board. The applicant wanted to discuss the Gregory House. They wanted to build a new house keeping a small house as an affordable house. Sjoberg asked if there would be a setback variance. If they needed this, it would involve the Building Inspector and the Zoning Board.

April 8, 1996

LAKEVIEW ESTATES

Sign & Bridge Revisions

Discussion

Amended Subdivision

Joe Riina, project engineer, Bruce Donovan project architect, and Joe Marinelli, applicant, were present. Grossfield abstained from this discussion. Riina presented the new bridge proposal. The original plans called for a sixty (60) foot span. The current proposal calls for a twenty (20) foot span. Riina explained that the original plan did not have the box and bridge together and that in reality the plan is off eight (8) to nine (9) feet. Ciarcia explained that a bad topo was used. The twenty (20) foot bridge the applicant's solution means greater intrusion into the wetlands.

Dineen stated that the crossing of the wetlands was a critical part of this approval. Disregarding that condition would be difficult for this Board. At the least this Board would like the financial picture of the original and proposed bridges and the cost of mitigation. Ciarcia stated the original bridge was twice as large as any other bridge in Town and the issue of maintenance was important.

Dineen liked the entrance on the plan and was assured that landscaping would be plentiful. The Board scheduled a site visit for April 28, 1996. The applicant was instructed to flag the original bridge corners and the proposed culvert. The applicant asked if he could come before the Board for each change in finished floor elevation. He was told he could. The Board discussed the Gregory house. Sjoberg stated that the Planning Department had specifications for the Gregory House and would have them for the Board to take on the site visit. The Board stated that the Gregory House was not on the Historic Register.

May 13, 1996

LAKEVIEW ESTATES

Finish Floor Elevation

Lot #16, Lot #8

The applicant was present for this project. Grossfield abstained from this discussion. Dineen stated that he would like ABACA to refer changes in finished floor elevations to Mike Mill, Code Enforcement Officer, as well as the Planning Board. Dineen stated that the Board saw no problems at their site visit.

Dineen and Klaus discussed the effects of a shorter bridge proposed by the applicant. Dineen stated that, a shorter bridge there would be more intrusive. Further mitigation would be required for the additional loss of wetlands. The Planning Board would be waiting for the Conservation Board memo.

Upon motion by Reardon, seconded by Steiniger, and with all in favor, except Grossfield who abstained, the resolution to approve a change in finished floor elevation from 410.5 feet to 412.5 feet for Lot #8 was adopted.

Upon motion by Steiniger, seconded by Reardon, and with all in favor, except Grossfield who abstained, the resolution to approve a change in finished floor elevation from 436 feet to 441 feet for Lot #16 was adopted.

March 27, 1995 Minutes

LAKEVIEW ESTATES

Bernard Grossfield excused himself from the discussion.

Upon the motion of Robin Steiniger, seconded by Jeremiah Dineen, with Bernard Grossfield abstaining, and Mark Drexel and Judith Reardon in favor, the resolution as marked by the chairperson, was approved.

October 16, 1995 Minutes

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December 11, 1995 Minutes

Lakeview Estates

Major Subdivision

Joe Marinilli, of Aphrodite Construction, the applicant, was present. Marinilli stated that he has purchased the property from Lakeview Estates and has begun construction. At this point he must request a second ninety (90) day time extension. Grossfield stated that he did the engineering work on this project. Upon motion by Drexel, seconded by Dineen, and with all voting aye, except Grossfield who abstained, the Board granted the second ninety (90) day time extension.

March 27, 1995 Minutes

LAKEVIEW ESTATES

Bernard Grossfield excused himself from the discussion.

Upon the motion of Robin Steiniger, seconded by Jeremiah Dineen, with Bernard Grossfield abstaining, and Mark Drexel and Judith Reardon in favor, the resolution as marked by the chairperson, was approved.

September 26, 1994 Minutes

LAKEVIEW ESTATES

On the motion of Robert Phelan, seconded by Robin Stieniger, with Bernard Grossfield abstaining, and the remaining in favor, the Board approved the first ninety (90) day time extension for Lakeview Estates.

March 28, 1994 Minutes

LAKEVIEW

Reardon indicated that the Board had requested an analysis and had received a memo dated 2-23-94 from the Conservation Board. Phelan indicated that he is comfortable with the recommendations made in Tim Miller's report. The Board agreed that no significant or substantive changes exist.

Reardon requested a motion to re-affirm the initial SEQRA findings on Lakeview. Dineen moved the motion, Steiniger seconded and all were in favor.

Upon a motion by Phelan, seconded by Steiniger and with all in favor, the resolution for Lakeview was re-approved.

August 9, 1993 Minutes

TIME EXTENSION

LAKEVIEW ESTATES, PHASES I & II

Al Capellini, Esq., was present on the matter. Upon a motion by Steiniger, seconded by Bernard and with all in favor, a retroactive 90 day time extension back to April 5, 1993 plus an additional 90 day extension up until October 5, 1993 was granted.

COMPLETION OF THE PROJECT

October 5, 1992 Minutes

LAKEVIEW ESTATES

Upon a motion by Robin Steiniger, seconded by Jeremiah Dineen and with all in favor, the first ninety (90) day time extension was approved.

July 13, 1992 Minutes

LAKEVIEW ESTATES

Upon a motion by Phelan, seconded by Steiniger and with all in favor, a second 90 day extension was approved.

April 13, 1992 Minutes

LAKEVIEW ESTATES

Upon a motion by Steiniger, seconded by Bernard and with all in favor, the first 90 day time extension was granted. Reardon asked that a letter be sent advising the applicant that the extension was the first.

October 7, 1991 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

DECISION STATEMENT
AMENDED FINAL RESOLUTION

Al Capellini, Esq. and Renee Mueller, AIA were present on this matter.

Reardon was concerned with the 5 year bond if the work was not completed within 5 years. Steiniger read from page 7, #8-E which, "entitles the town to call security in".

Phelan indicated he found a discrepancy in the review dates which Sjoberg stated he would look into.

Upon a motion by Phelan, seconded by Steiniger and with all in favor, the Negative Declaration on phasing was adopted.

Upon a motion by Steiniger, seconded by Phelan and with all in favor, the resolution re: Phases I and II was adopted.

September 16, 1991 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

DECISION STATEMENT
PHASING, FINAL LAYOUT

Renee Mueller, AIA, explained low stone walls and low maintenance shrubs will be used to landscape the entrance. Phelan indicated he liked the step up in the wall height and Reardon agreed the plan is a big improvement.

Re: the turnaround, Sjoberg questioned why it not be removed entirely if not landscaped or paved. Bernard explained the point was to avoid a homeowner's association. Reardon suggested trying

low maintenance shrubs or anything to enhance the area.

Sjoberg recommended putting an edge of some sort around the cul de sac center so it is not ragged.

Koelsch stated the DEP memo indicated "no impact" because the process has gone so far forward. Koelsch indicated the Board is supposed to approve both phases at this time. Reardon stated Sjoberg will include wording re; the landscaping in this resolution.

Re: the old house, Mueller stated the present renter may consider buying it.

Reardon indicated that the word "reasonable" should be deleted from paragraph 8 on page 3. Reardon was concerned with how the Board might preclude the applicant from phase II if necessary. Koelsch indicated that the applicant must agree to it to which Mueller stated was fine.

Dineen was concerned that approving both phases now would not leave an open door for the Board later. Koelsch indicated town law requires all phases be approved up front but that the right to make amendments on phase II exists because of the agreement with Mueller. Dineen questioned whether the Planning Board has the right to go back regardless of an agreement or lack thereof with the applicant.

Bernard expressed concern that no time frame is in place re: the Gregory house. Reardon agreed that the house could sit with a temporary CO indefinitely. Koelsch indicated the Building Dept. does not continuously renew CO's. Reardon suggested a 5 year cap after which, if the improvements are not finished, the CO is revoked. The applicant asked to discuss the matter with his attorney prior to agreeing to it. Reardon stated the issue must be resolved before the Board can move on the resolution. Koelsch advised putting the matter off and declaring Lead Agency tonight with the Neg Dec for next meeting.

Dineen pointed out a redundancy on pages 7 and 9 in paragraphs 6 and 7 and on paragraphs 3 and 4 respectively. The Board also agreed the standard ABACA notation should be added to the plan.

Upon a motion by Phelan, seconded by Bernard, and with all in favor, the Board declared itself Lead Agency. (Steiniger abstained from voting)

Dineen brought up a question on the EAF, suggesting the answer to #12 might not be "yes". Dineen stated that since the Board has opted to go with the short form EAF because the entire process

has been through SEQRA already, perhaps the term "modification" is more appropriate.

Reardon made note of a September 14, 1991 memo from the Conservation Board. Sjoberg agreed the approved document should be referenced.

August 12, 1991 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

PUBLIC HEARING
PHASING PLAN, FINAL LAYOUT

Al Capellini, Esq. and Renee Mueller, AIA were present.

Reardon noted the comments from the Conservation Board will be ready tomorrow night.

Enos was concerned that, as pointed out by the Engineering Department, no outlet is shown. Enos also stated that timing is critical and repairs to the damn should be completed before Phase II. Otherwise, Enos indicated the erosion control plan re: phasing seems satisfactory.

Reardon stated the phasing enables the Board to keep a tighter reign on the development (more leverage in maintaining environmental control) plus benefits the applicant financially.

Mueller gave a short dissertation to the present public on exactly what the phasing would entail: Phase I, a 24 acre piece, will have 9 new lots plus the existing Gregory lot with a turn around; Phase II will be the remaining 27 acre piece. There will be 1 wetland crossing in Phase I.

Enos was concerned the Board have the power in Phase II to be more diligent if necessary. Reardon stated the wording on how to best handle Enos' concern will be sought out.

Enos was concerned that if the project stops at Phase I, the temporary turn-around structure will be acting as a permanent one. Reardon responded that a bond is in place. Koelsch indicated a mechanism is included in the phasing agreement to allow for additional review of Phase II.

Reardon told resident Socrates Pentelites the road would be town owned. Pentelites stated a concern that the proposed houses blend in with the existing development and urged there be no street lights or fancy manicured entrances at the beginning of

Baldwin Road to keep within character of the neighborhood. Reardon stated the original intention of the Board was to extend the existing stone wall and add low maintenance shrubbery. Mueller and Capellini stated they would be happy to leave the entrance as is. Reardon asked for a sketch of the entrance depicting something within character. Pentelites again asked the area be left natural so as not to look like private property.

Reardon requested a motion to close the public hearing as Conservation's input will be received prior to the end of the allotted 45 days. Bernard moved the motion, Steiniger seconded and all were in favor.

July 22, 1991 Minutes

LAKEVIEW ESTATES, PHASE I PROPOSED AMEND. TO APPROV. RESOL.
BALDWIN ROAD MAJOR SUBDIVISION

Renee Mueller, AIA and Al Capellini, Esq. were present on this matter.

Tor explained to the Board that the Board must decide if a public hearing should be held for both Phases I and II. Tor stated the Board has a right to waive the hearing for either Phase I or II as no substantial changes were made.

Reardon suggested holding the hearing on Phase I so the public is not lead to believe the Board went behind their backs. Koelsch noted the decision is up to the Board's discretion.

After more discussion, Koelsch suggested having a hearing on Phases I and II together as the resolution is approving both phases. The Board agreed to hold a public hearing on Phases I and II together.

Mueller mentioned re: crossing the wetlands, excavating to re-fill is a waste and suggested utilizing the wetlands crossing. Reardon, Phelan and Dineen agreed Mueller's suggestion is an alternative that would have to be discussed at the public hearing.

June 10, 1991 Minutes

Renee Mueller, AIA, explained the applicant would like to break the subdivision into 5 phases with approximately 4 units on each phase.

Reardon inquired as to the procedure of incorporating the phases into the resolution. Reardon, Sjoberg and Koelsch discussed the procedures and legalities of dividing the subdivision into phases. Reardon wanted to avoid 5 separate public hearings as the public hearing has already taken place and nothing but the construction schedule is changed.

Ciarcia stated the normal procedure in phasing is to keep constructing cul de sacs with temporary easements in case the construction stops before planned. Ciarcia stated nothing substantial changes and that it would be up to him to bond each phase separately.

Phelan was concerned the applicant could walk away from an unfinished job if the entire subdivision is not bonded. Ciarcia stated the intention of the applicant is to avoid bonding the entire site.

Dineen was concerned the applicant should bond for the cul de sacs as well. Reardon asked for the legal limits.

Koelsch suggested having one public hearing on all 5 phases but treating each phase separately. SEQRA does not have to be re-done because there are no substantial changes. Koelsch stated that in order to get phase 1 in place, need determine what conditions ought to be placed on a phase development plan.

Phelan was concerned the improvements to the dam can not wait until phase 5 and should be done with phase 1.

Mueller stated the applicant can not afford to finance all of the lots at once in a shaky economy.

Ciarcia suggested dividing the work into 3 phases instead of 5. Discussion ensued re: paying the application fees and the possibility of incorporating the changes into an amended resolution.

Phelan read from the resolution that reconstruction of the dam and all off site improvements would have to be completed or bonded with phase 1.

April 22, 1991 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

DECISION STATEMENT
WETLANDS PERMIT

Reardon was concerned that the building permit re: the Gregory house ought to say the CO is pending Planning Board approval as the Board ought to see if historical renovation is workable and that the work is done.

Phelan pointed out two typos on page 6: in the third paragraph, "and" and in the fourth paragraph, "rebuild". Reardon stated the word "offset" should be replaced by "mitigated" and stated the resolution on page 4 ought to read, "with the turn of one year" so that the bond remains in place until the CO's. Phelan stated that the bottom of page 3, #4 needed a date and the Board agreed upon April 22, 1991. Phelan also stated the traffic control device mentioned on page 7 is not listed and the Board agreed to at least a stop sign.

Koelsch stated page 7, bottom paragraph needs a closed paranthesis and stated the wording ought to read "with out a permit", as the right to apply for permit. The Board agreed to add, "prohibited activity as defined by.." with "with out a permit" in the preceding sentence.

Reardon stated the first page, third paragraph from bottom has a word change of "primarily". Dineen pointed out on page 3, second paragraph ought to read that no certificate of occupancy be issued "for any lot" unless requirements are met "for the entire site".

Tor stated a problem with the estimated cost of \$154,000.00 and stated the type home should also be referred to. Dineen wanted the bottom of page 1 re: recreation lands to have specific language because of the two steps and Koelsch stated the findings ought to be in the final as well as the preliminary. Koelsch continued to say language is needed stating the subdivision will mitigate with money in lieu because it can't mitigate with land.

Renee Mueller, architect for the applicant, brought up the issue of landscaping. Koelsch stated Al Capellini, Esq. had discussed the legal mechanism of having private owners maintain the property around the entrance way and that the public wants a natural not a landscaped look.

Mueller presented the landscape plan and stated one option might be to use pavement and rocks for a maintenance free solution. Another option would be to divide the land so each owner maintains a small portion. Koelsch stated this will interfere with the 50' ROW requirement. Koelsch also stated if the town owns the land, liability could be a problem but if the home owners own the land, they will have to pay taxes on it. Tor pointed out the residences usually do the maintenance work. Reardon stated she did not see the up keep of the land as a big problem if it is designed as low maintenance as possible. Koelsch was concerned the work would inevitably fall on the two homes adjacent to the entrance land. Phelan stated that residents maintain state land currently.

Bernstein suggested putting the street trees on private property but Reardon explained they would be too far from the road and that owners do up keep the trees in front of their own homes. Koelsch argued if the town wants the landscaping in the town's ROW, the maintenance ought to be the town's responsibility. Reardon stated that it be put in the deed that if it is not maintenance free, it is the owner's responsibility to do the up keep.

A motion was made in regard to the resolution. Dineen moved the motion, Phelan seconded and all were in favor.

An amendment was made adopting the amendment 90-8 finding stat and was motioned by Dineen. Bernard seconded and all were in favor.

Dineen noted that on the wetlands permit, condition 4 regarding the Environmental Planner to be on site during stream crossings is to be added. Phelan motioned to adopt the wetlands permit as amended, Bernard seconded and all were in favor.

April 8, 1991 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

PUBLIC HEARING
FINAL PLAN AND
WETLANDS PERMIT
MAJOR SUBDIVISION

Al Capellini, Esq. and Rene Mueller were present, and he submitted the mail receipts of notification.

An earlier ABACA memo had requested a maintenance schedule and on-site inspection by the Town Engineer and careful delineation in the deeds for future owners. Judith Reardon said she believed that these concerns had been addressed adequately.

Dave Enos, of the Conservation Board, said he had not seen the wording of the deeds. The Board then went over that portion of the draft resolution with respect to the Town Engineer.

Dan Ciarcia said that his major concern is that the dam must be reconstructed, as per D.E.C. standards. The applicant needs a dam permit from D.E.C.. They will need a bond as security, and the proper procedures must be followed.

Jerry Dineen said the resolution should include a "standard paragraph about environmental planning to make sure a C.O. isn't issued if erosion control is not in place.

Naomi Tor said she would see to it that this paragraph is inserted. She also said that they should require that the applicant submit to the Board a copy of the D.E.C. application. Off-site and on-site requirements should be included in the bond. Furthermore, she said, the Board should consider some way of informing the buyers of the lan

about their responsibilities with respect to the upkeep and landscaping of the island. The road is not a town road, so the owners will have to bear the costs of maintenance of the island and the landscaping at the entrance to the road.

Al Capellini said that the applicant does not want to have to form a homeowners' association. He said, too, that he can understand the logic of making the owners upkeep the island, but not the entrance to the roadway. This is going too far, he said. It is a town r.o.w., he said, and the town should deal with the entrance.

Judith Reardon said no, the town will not accept that responsibility. Perhaps the contiguous owners could bear the costs of the entrance, she suggested.

Al Capellini said in order to form a homeowners' association, they would have to go through the Attorney General's office, and it is a very expensive procedure.

Reardon said that is the applicant's choice; they can go with an association or just make the contiguous owners pay for the upkeep.

Capellini said this issue had not come up in the preliminary stages. Why now?

Reardon said that, generally, homeowners' associations are established to deal with situations like this one.

Capellini said he will look into this matter further and discuss with the Town Attorney the possibility of dealing with this without getting a homeowners' association.

Naomi Tor said they need to see plans for the Gregory house from Rene Mueller. They need to see elevations. Reardon said they could include this requirement in the resolution.

Naomi Tor asked what the FEIS had said about the timing of construction, in relation to the erosion control measures. Dan Ciarcia said this had been discussed during the DEIS; but he did not recall if the plans had specifically laid out a time frame.

Tor said the plat talked about two phases. It is not clear, however, if the road construction is going to be done in sections, or what.

Mueller said that this all depends upon the market. If they have the buyers, they can go more quickly. Otherwise, they may break it up in stages. The plans, she said, are "generic," and may vary in timing.

Dan Ciarcia asked if there is any commitment in SEQR to scheduling. If so, he said, the time frames should be included in the plans so that bidders are aware of the schedule. This way they will not deviate from the planned sequence.

Mueller showed the Board a very "rough" plan for the phases.

Reardon asked the Town Attorney where this application falls, with respect to the new wetlands law. Koelsch said the plan is subject to both laws. The permits can both be obtained separately. It is a tricky situation, he said, because this application is at the end of the whole process at this point.

Dave Enos said the new wetlands law requires sequencing as a condition of issuance.

Capellini asked if the application would be grandfathered, and therefore subject only to the older wetlands law. Reardon said that nobody is grandfathered. The question is only what format to use -- the old or the new. The permit itself has to include all of the information; it's just a matter of format.

Jerry Dineen said the question of the application of a grandfather clause is moot, because even under the old law the Board had the authority to require sequencing. The Board would have asked for it anyway, he said.

Dave Enos read aloud that section of the new wetlands law which referred to effective date and the effect on pending applications.

Reardon said it is clear that sequencing has to be included in the permit. Therefore, the applicant must provide that information for proper drafting of a wetlands permit. She said the information is the same as the Board also required; but it is just a new format. The old permits were generic and did not include real specifics. Today all of the specifics will be in the permit. The changes, she said, are more procedural than substantive.

Dineen referred to page 5 of the draft resolution, the second paragraph, which dealt with affordable housing. He said he would like to add wording as follows: "as an offset to the impact of affordable housing, there will be a contribution."

Reardon asked if the public had any comments on the application.

Mimi Pentovedes, a neighbor of the subject site, said that there are septic problems with the site that are not being dealt with realistically. The applicant has not yet gotten Board of Health approval for the proposal. How final is the whole thing, if they haven't gotten this approval, she asked.

Naomi Tor said that the approval of the Board of Health is necessary. It is standard procedure to go through these hearings, and possibly get approval, pending Board of Health approval. The Health Department can make changes, and then the Planning Board's approval is final.

Pentovedes said that the landscaping planned for the entrance of the road is not appropriate for the neighborhood. It is a rural area, she said, and the landscaping will be out of place. She said that natural landscaping would be better. A "Pepsi Co." entrance will look wrong.

Referring to the Gregory house, she said her concern is that the lot there is unusable. Lines have been drawn in an unfortunate way. The applicant should plan for useful property if someone is to live there. They should plan for a lawn and possibly a patio. Furthermore, she said, the lots in the back also have unlivable property. It will be almost impossible to protect the wet, wooded area in the back if people live right there. The concept is unrealistic, because people want to use their land. Furthermore, she said, the drainage measures will most likely be ineffective.

Reardon asked what, exactly, is planned for the front entrance. Mueller said they will put up stone walls, a light fixture, low flowers in the front, and trees on the side.

Krista Chase, resident, asked if the houses planned will be on wells? Reardon said yes.

Glen Sullivan, resident, asked what are the plans for the Gregory house. Are their provisions for its restoration?

Greg Bernard said yes; the applicant will be given only temporary C.O.'s, until the Gregory house is restored. The Building Department is in charge of implementing this. The applicant has been asked for a specific schedule for the whole process. There will not be any permanent C.O.'s until the Gregory house is complete.

Sullivan said the plan shown is quite loose; the Board should require more specifics. Tor said they will work on getting a more specific plan.

John Chase, resident, asked what will happen if the wells run out. Are there provisions for this possibility? Reardon said no, there are not.

Chase said that water has run out in the past; it's not an impossibility. The town should see some sort of contingency plans, in case it does happen, he said.

Tor said that a hydrology study is done as a part of the DEIS, and the town paid for this study. All wells have to be dug to certain depths, water has to be collected, and certain minimum distances from neighbors are required. The water situation is given a lot of thought and care, she said.

John Perjain, resident of Hyatt Street, agreed with Mr. Chase that there should be a contingency plan in the event that the water dries up. He said that there is a very real water problem.

Greg Bernard said that there is a problem with getting town water, rather than well water, on this side of the Taconic State Parkway.

Perjain said the well water is a major concern. The Building Design Center, on Route 202, has town water. Why can't this site get it? It is obviously not impossible.

Reardon said that the studies showed that the development will not affect the surrounding residents' water. Careful consideration has gone into this, she said.

Perjain said that the septic systems will also cause problems. They will leech into Mohansic Lake and the reservoir.

Mrs. Chase asked if the road will be maintained by the town. Reardon said yes, it will be a town road. She explained that the maintenance question earlier in the hearing dealt only with the landscaping maintenance, not the road maintenance.

Mr. Sullivan pointed out that the road is not dedicated yet, and will not be until the project is finally completed. Will this be five or six years?

Reardon said yes, this is standard procedure. It is done this way to protect the town from costs of a long, drawn out construction by the developer.

Sullivan asked if the approval would include the proposed work on the Gregory house. Reardon said that one condition of the amending resolution includes plans for exterior preservation and basic renovation of the Gregory house -- work totalling about \$145,000.

Sullivan asked if the condition only effects the issuance of a C.O. for that particular house. Reardon said she did not think so. Those costs probably will be bonded, to make sure the developer does not just leave the Gregory house as is, without doing the renovations.

Sullivan said that this should be considered, because that is a very real possibility. The neighbors are concerned with this, he said, and their interests should be protected. Dineen agreed that Sullivan had a good point.

Reardon said the Gregory house plans could be included in the bonding package. The bond money would not be released, then, unless the work was done. That is probably the best guarantee the neighbors can get, she said.

Reardon said that the Board has established what has to be done for the Gregory house. Financial feasibility is really the applicant's problem. The applicant will have to work it out.

Koelsch said that the alternative to including the Gregory house in the bonding package would be to tie the plans into the issuance of a building permit. For example, they could require that the Gregory house be done before the fifth or the seventh building permit is issued. In fact, the Board could go with both options. They could include it in the bond and set up a tie in with the building permits.

Dineen said that a problem may arise if the applicant sells the Gregory house as a handyman special. Then an unrelated buyer, rather than the developer, would be stuck with the restrictions and time constraints. On the other hand, if the applicant cannot get a buyer for the unfinished Gregory house, then the applicant must complete the work himself.

Dan Ciarcia suggested just making the Gregory work part of the bond for the subdivision. This way it will not be the problem of an individual buyer.

Mr. Chase, resident, asked what will be the depths of the wells. Ciarcia said they will be 200' deep. The Engineering Department will inspect to make sure they meet the minimum depth.

Mr. Perjain, resident, asked what will happen if they do not reach water at the 200' depth. These wells will drain from the neighbors, he said. One of his neighbors had to go down 275' before hitting water. The deeper they go with the new wells, the more water they will take from others.

Ciarcia said that this is not so. The upper and lower strata work differently.

Pentoveres asked how the deed conditions will be enforced. Reardon said that conservation easements are being included in deeds more and more today. What happens is that when an owner comes in to get a permit for something like an in-ground pool, it will simply be denied; because the easement will be clear in the deed.

Naomi Tor pointed out that the easement limitations were agreed upon by the developer. They will stay with the land, and will pass with the sale. Reardon said that the deeds will give ample notice of the limitations.

Koelsch stated that nothing can prevent the future owners from applying, but the enforcement is through the wetlands law. They will be unable to acquire permits.

Pentovedes said that the Board should consider the reality that many people do not bother to go through the proper procedures to get permits. They will just go ahead and do what they want with their yards.

Reardon said that sort of situation is a problem whenever it happens, in this neighborhood and others. It is not limited to this development.

Pentovedes said that the Board should take this into account when they approve developments. The town is asking for trouble by approving lots with such limited usable space. It just is not realistic planning, she said. The area is very sensitive, and the Board should

not count on everybody's honesty. The water table is high, there are rock faces, and the Board should endeavor to protect the environment.

Reardon stated that the enforcement procedures are getting more and more rigorous. The Town Board had considered changing the definition of a "buildable lot." Until the Town Board does so, however, the Planning Board cannot use a different definition.

Maxine Pitaine, resident, said she agrees with Ms. Pentovedes. There are too many houses for the property. It is only 50 acres.

Reardon asked Pitaine if she thinks the zoning in the area is inappropriate. Is that the problem? Pitaine said no. The area is zoned at two acres, and that is fine. Greg Bernard pointed out that all of the lots conform to that zoning.

Mr. Sullivan asked what will prevent the applicant from selling the Gregory house to someone else, before the work is done. Where is the notice to a new buyer? Greg Bernard said the notice will be on the plat to the subdivision.

Sullivan suggested that the notice be put on the Gregory deed. The deed could reference the plans. Reardon agreed that there is no reason why this cannot be done.

Ms. Pitaine asked what the price range of the new houses will be. She said that the Gregory house will not look good so close to nicer, newer houses.

Reardon said that the Gregory house will have about \$145,000 worth of renovations done on it. This is a lot, she said. That amount of work will make the Gregory house look quite nice. The applicant has to restore the Gregory house to its historic level.

Ms. Pitaine felt that the Gregory house should just be knocked down. In her opinion, \$145,000 was not enough to make the house very nice.

Mr. Frank Morella, who lives in the Gregory house at present, asked if the Gregory lot would be a buildable lot if the house were to be razed. Reardon said no, it would not be. Although knocking the house down might be more cost-effective than renovating it as planned, the Board will not allow it to be razed. The applicant must complete the work.

Morella asked what would happen if someone purchased the Gregory house and then it burned down. Reardon said a house could not be rebuilt on that property unless it was built on the same foundation, and to the same historic level as these plans require.

Fred Koelsch stated that a new owner could not build a different house, because it is legally not a buildable lot. The new owner would have to come before the Board for approval to build.

Mr. Pitaine asked what size lot has been allocated for the barn. Greg Bernard told him three acres.

Judith Reardon said the Board would like to see a number of changes added to the resolution before the Board moves on this application. She summarized them as follows. The costs of the improvements to the Gregory house should be added to the bond. The environmental plans should be made clear. The bonding should include the off-site as well as the on-site improvements. The Board also wanted clarification in the deeds for the landscaping of the island and of the entrance to the subdivision. Additionally, the deed to the Gregory house should make specific reference to this plat; and the plans for that house should be submitted to this Board and to ABACA. The Gregory house plans should note that in case of destruction of the house by a "force majeure," like a fire, only a similar house can be built in its place. Also, the Board will look at the wording of the new wetlands law to make sure that it is complied with.

Upon motion by Jerry Dineen, seconded by Greg Bernard, with all voting aye, except for Robin Steiniger, who abstained, the public hearing was closed.

October 22, 1990 Minutes

LAKEVIEW ESTATES

TIME EXTENSION

Upon a motion by Dineen, seconded by Phelan, and with all in favor, a first 90 day extension was granted to Lakeview Estates.

September 17, 1990 Minutes

Al Capellini, Attorney for the Applicant and Renee Muelle Architect were present on this matter.

Reardon stated a new Wetlands Application has to be submitted as mentioned page 3 states site distances on Baldwin and Underhill are to be improved by clearing the brush. Reardon also inquired about widening the connection between the roads to which Reardon responded is a future task to be considered.

Tor brought up the plan to clear the dam. Renee Muelle Architect, stated the engineer has a sketched proposal for the dam which they will submit.

Reardon asked about the value of the corner house property with the house. Mueller guessed \$80,000 to 90,000 in its current condition. Reardon spoke of the problem of Affordable Housing because of the costs of improvements - can't tie into a retail price of \$120,000.

Reardon inquired how the Board can insure the house is renovated pursuant to certain guidelines in regards to maintaining the house's historical value.

Phelan stated the exterior must be restored but the interior is questionable. Mueller stated they do have an interest in also preserving the interior and Reardon stated she'd like to see that done.

Tor stated that before the CO, the Planning Board should review

Mueller suggested no time limit on the renovations due to the nature of the improvements. Sjoberg commented the exterior should have a time limit because it must blend with the other homes.

Phelan suggested temporary CO's be issued so the building could be occupied with the final CO's being issued when the work is completed. The temporary CO's will be renewed only if progress is shown.

Mueller stated the barn would remain as it "adds a touch".

Tor inquired as to the phasing of the construction part of the DEIS for erosion control measures. Mueller stated the phasing would be done as shown in the engineering plans.

Reardon stated the Conservation Board's concern that the plan no longer showed a bridge over the stream at the Baldwin Road entrance. Reardon warned Mueller be prepared to address the concerns.

Dineen stated the issue was much discussed and well thought out but did not eliminate the possibility that their thinking might change.

Dineen was concerned about Affordable Housing - if the Grego House is out of Affordable Housing, is the monetary set-up of \$63,000 agreeable? Dineen was concerned an automatic transit shouldn't be made.

Mrs. Isa North, resident, was concerned about safety and questioned whether the intersection of Underhill and Baldwin would be closed to which Reardon replied no. They were only considering widening the spur and this will be looked at.

May 7, 1990 Minutes

CORRESPONDENCE:

LAKEVIEW ESTATES - Ms. Reardon requested to have someone from the County view the inside of the house. Ms. McCarthy suggested someone from the Historical Society be present. Ms. Reardon would like these representatives present when the Planning Board views the site.

Mr. Frank Mariello stated he does not think it is feasible to do a historical restoration but a rehabilitation on the house. Ms. Reardon requested to know the cost involved and then they will discuss the issue of whether it should be an affordable unit or not.

Mr. Mariello presented a petition with 75 neighbors' signatures indicating they want to save the barn. Mr. Phelan stated he did not have any information at the public hearing to save the barn. The Board was under the impression that the barn was in poor shape.

Ms. Reardon stated the Planning Board would have to look at the restoration of the house and barn and see how it would be used. Mr. Phelan stated financing would have to be considered. He felt the house was more important. Mr. Mariello stated he does not feel it would cost much money to restore it. He agreed that the house should have priority in regard to funding.

Mr. Phelan stated a variance may have to be granted as they assumed the barn would not be there.

Mr. Mariello thinks the Affordable Housing Board does not want the house. Ms. Reardon replied she did not hear this from them. Mr. Phelan stated it is the Planning Board that decides where the affordable house is.

March 26, 1990 Minuts

Mr. Rene Mueller, Applicant's Architect, reviewed the changes to the site plan requested by the Planning Board. He stated the major changes were in lots 2,3,4,6,7,8,13,14 to increase the buildable area and to avoid the 100' wetland buffer. The road configuration did not change. Ms. Reardon reiterated that there would be no need for wetland permits. Mr. Mueller acknowledged that it was his understanding that they would not require wetland permits.

Mrs. Tor suggested adding to the Resolution, Page 4, Item 8, wording that would describe the limitations of the buildings.

Ms. Reardon informed the applicant she would like future homeowners aware of the restrictions which will be incorporated in the deed. She requested that the Board review the wording of the deed.

Mr. Phelan requested that the applicant return to the Board when building lots 2,3,13,14 due to the tight building envelope. The Board would like to sight the house properly within the envelope prior to the issuance of the building permit. He inquired if the applicant had any questions. There was none.

Ms. McCarthy questioned if affordable housing was addressed in the Resolution. Mrs. Tor responded it was addressed in the Statement of Findings. Mrs. Tor stated she is assuming the old house on the property will be renovated. She will add wording to the Resolution regarding affordable housing. Mr. Al Capellini, Applicant's Attorney, requested returning to the Board if the cost of renovating the existing house is exorbitant. They would like the option to pay \$3,000 per lot as an alternative. Ms. Reardon responded the applicant always has the option to return to the Board, however, the affordable contribution was the basis of the Negative Declaration and the County has endorsed it. Mr. Capellini responded at the time they made the contribution, the affordable housing range was between \$125,000 and \$145,000. It is now \$80,000.

Ms. Reardon questioned the plan for the existing barn. Mr. Mueller responded he does not feel it could be rehabilitated. There is structural damage. Mr. Phelan stated he does not know what function it serves and it is close to the property line. He suggested if it is not rehabilitated then it should be removed. Mr. Mueller stated he would propose that it be removed.

Mr. Dineen requested that the Resolution indicate the only wetland permits would be the two stream crossings and the driveway. He is concerned if the property is sold and bypasses the Planning Board. Mr. Ciarcia suggested a Conservation Easement on the deed and a note on the plat be place to indicate this. Mrs. Tor stated the Conservation Easement generally is for 50' from the wetland boundaries, however, the Board can elect to indicate 100'. The Board agreed to this.

Ms. McCarthy questioned if lots 2,3,13,14 should be combined which would eliminate the need to get a variance and return to the Board. She is concerned that the Board members may change. Mrs. Tor stated that combining lots was an alternate plan and safeguards could be used instead of this measure. Ms. Reardon feels that the Conservation Easement is a more effective tool which would cause the applicant to return to the Planning Board for a variance. Mr. Phelan pointed out that the lots as drawn are all legal lots. Mr. Dineen was in favor of the plan as drawn as they are legal lots.

Mr. Phelan and Ms. Reardon read the corrected Resolution to the public. Mr. Reardon asked for any additional questions or comments from the Board and the Applicant. There were none.

Mr. Dineen moved to adopt the Resolution as corrected on the Chairman's copy. Mr. Phelan seconded and with all voting aye the motion was carried.

February 26, 1990 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

STATEMENT OF FINDINGS
DRAFT RESOLUTION
PRELIMINARY LAYOUT
MAJOR SUBDIVISION

Ms. Reardon opened the Special Meeting requesting comments from the Board on the Findings Statement. Mr. Phelan stated he would like the Findings Statement to reference the letter received from the County of Westchester regarding runoff and the need for additional calculations.

Mr. Ciarcia discussed creating a separate lot for detention. The Board discussed whether lot 12 should have a separate parcel for a dam or whether the Town maintain an easement over it. The Board decided to discuss and clarify this issue in the Resolution.

Mrs. Tor discussed the Conservation Board's recommendation of a Conservation Easement as useful.

Mr. Phelan questioned the Conservation Board's request for a bridge structure on the first crossing. Mr. Ciarcia felt a culvert would be adequate. Mr. Ciarcia questions whether it makes sense for the Town to incur future maintenance costs on a bridge. Mr. Baresich, Conservation Board, thought a bridge would be more natural. The Board discussed the future costs and disturbance of a bridge versus a culvert. Mr. Ciarcia reviewed the road profiles. Mr. Phelan suggested having the applicant obtain engineering details and return to the Board by the final on this issue.

Mr. Dineen and Ms. McCarthy read the Findings Statement to the public.

Mr. Phelan moved to adopt the Findings Statement as amended on the Chairman's copy at 8:30 P.M. Mr. Dineen seconded and with all voting aye the motion was carried.

February 12, 1990 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

PUBLIC HEARING ON FEIS
ADJOURNED PUBLIC HEARING ON
PRELIMINARY LAYOUT
MAJOR SUBDIVISION

Ms. Reardon requested an explanation of the consultant's report concerning wells. Mr. Steve Gross, Tim Miller Associates, responded the Hydrology Study was reviewed by L.M.S. and they concurred with the conclusions in the applicant's D.E.I.S. They recommended a 200' separation between neighboring and on-site wells and that roof runoff be discharged into dry wells. He stated the applicant is willing to

do this.

Ms. Reardon read the Recreation Commission's letter of February 12, 1990 supporting ballfield lighting.

Ms. Reardon stated the F.E.I.S. was submitted one week ago.

Mr. Phelan questioned what was a standard well yield. Mr. Robert DeMott, Hydrogolist, Tim Miller Associates, responded the County requires a well yield of five gallons per minute. The neighbor's wells were drilled when the requirement was two to three gallons per minute.

Mr. Dineen questioned the feasibility of hooking up to or creating a water district. Mr. DeMott stated it was not feasible due to cost factors and low density in this area. Mr. Ciarcia stated they are not currently in the County water district and would require approval of N.Y.C. which would be complicated due to inadequate filtered water in the district.

Ms. McCarthy questioned if the 200' depth of wells will be addressed as the proposal shows some wells that are not 200'. Mr. DeMott believes that in the D.E.I.S. they proposed the wells be drilled to a minimum of 200'.

Ms. Reardon opened the meeting to the public on the plan and F.E.I.S.

Mr. Robert Hunter, Hunterbrook Road, Chairman of Huntersville Association. On behalf of the Huntersville Association he expressed concern with taking a \$75,000 fee for recreation as opposed to setting aside five acres of environmentally sensitive land for future generations to enjoy. Ms. Reardon thanked him for his comment and stated the Recreation Board's input is not necessarily the Board's determining factor.

Ms. Nancy Caswell, Conservation Board, has not seen the new revisions.

Mr. Paul Moskowitz, neighbor, would like to see a tree survey. Mr. Gross replied the tree survey has always been on the plan and the interpretation is in the F.E.I.S. They have not marked any trees yet. Ms. Reardon stated it would be a requirement in the resolution to save as many trees as possible. Mr. Moskowitz would like to see a tree plan. He does not see how this plan would not do great environmental damage. He would rather see five acres, not on the tax rolls, than two residential homes and \$75,000. He feels the fact that the money would go for ballfield lighting is irrelevant and that residential development does not pay for itself.

Mr. Pantelides, Neighbor, stated the F.E.I.S. is not a credible document. He feels most of the questions used incomplete data and selective information to arrive at the conclusions. He cited an example of how the project arrived at 28 lots which he feels was miscalculated and did not take the 100' frontage setbacks into consideration. He feels the Developer squeezed every possible lot based on the zoning law criteria. Ms. Reardon replied she does not feel the data was selective. The calculations used are a starting point and does not mean this is what they will eventually get. Mr. Rene Mueller, Architect, stated the 28 lot count is theoretical

density. They have to take out roadways, frontages and wetlands and will come out with 21 lots. Mr. Gross stated they have designed the plan to the rock outcroppings and wetlands.

Mr. Pantelides commented on paragraph 7.1 regarding pollutants. He feels the urban runoff table is irrelevant and the real data was not obtained. Ms. Reardon responded that the Water Quality Department sees no degradation of water quality. Mr. Pantelides stated the history of the residents was not taken into consideration in the D.E.I.S. Ms. Reardon felt the consultant's did take into consideration the neighboring wells and questioned how Mr. Pantelides would provide a formula to make sure that the new and existing wells would not have problems. Mr. Pantelides objected to the lack of facts and insufficient data. He stated that paragraph 7.2, page 35, regarding the potential impact of the septic system on water quality is not answered in the response in paragraph 5.11. Mr. Roth stated this question was addressed in the D.E.I.S. on two pages. Mr. Pantelides urged the Town Engineer to take a hard look to see if the questions were answered properly. He stated there were other questions he reviewed that were of concern to him and did not find sufficient answers.

Mr. Pantelides urged the Planning Board to take five acres rather than \$75,000. He feels the development meets the criteria for taking land in lieu of money. He read the Planning Board Ordinance and stated it is clearly written that the Board should take land or \$5,000 per lot and nothing else. Ms. Reardon requested the Town Attorney review this question and send a written response prior to the Board making a determination.

Ms. Reardon stated the Board was looking for ballfield lighting and a shed for four years. They wanted this improvement done and requested the applicant do it. If they took the money, they would have no assurance the work would get done. Mr. VanderMuellen questioned the Planning Board's right to have the Developer meet with the Recreation Commission. Mr. Phelan responded the Town Plan allows the Board to request information from various departments.

Mr. Phelan stated that his concerns with making a decision to take money in lieu of land is based on the liability of land, lack of taxes on it and maintenance of it.

Ms. Reardon stated if the criteria in the Land Development Regulations were looked at, you would reach the Board's conclusion. The Board did reviewed and considered the criteria for taking land.

Mr. VanderMuellen, Neighbor, stated the layout has been optimized by a computer. He urges the Board to relook at the layout. As a member of the Steering Committee, it was agreed that land should be taken if the size of the subdivision was over twenty acres. Mr. Reardon responded they are already looking at a situation where a large amount of land will remain open. Mr. VanderMuellen stated three houses are on the edge of the control area and there is extensive driveway development in the control area. He feels the Board is not protecting the land. He sees no reason to take money. He questioned why the Board would take land on Bridgepoint and not here. Ms. Reardon stated in Bridgepoint the land was taken specifically to provide a walking area

around the lake. Mr. VanderMuellen feels the environmental issue is sufficient reason to take land in this case.

Ms. Kay Squire questioned the status of whether the Board would take land or money. Ms. Reardon replied it is up to the Board. The decision has not been made.

Ms. Caswell stated her question was not answered on page 27. Mr. Roth stated he does not believe a two percent increase in runoff would cause erosion.

Mr. Robert Hunter requested he get a copy of all communication. Mr. Koelich, Assistant Town Attorney, stated he would have to file a Freedom of Information form. The files are open to the public.

Mrs. Tor read a section of the adopted Town Plan Review of 1988 and submitted that all items considered, the Board can achieve what was written without the taking land. Mr. VanderMuellen replied the original Town Plan recommended that money from fees would be used for land acquisition especially in the Mohegan area. Ms. Reardon replied the point Mrs. Tor is making that the material is being reviewed and considered.

Mr. Hunter stated Ms. Reardon indicated the Board has not made a decision yet and asked her views on the subject. Ms. Reardon responded she has drawn her conclusions. Mr. Pantelides objected to the Chairman drawing her conclusions prior to the hearing and stated the purpose of the public hearing was to hear residents input. Mr. Hunter questioned her reasons for taking money instead of land. Ms. Reardon reiterated her reasons for taking money instead of land. Her reasoning was based on the density of the development, absent a unique piece of property and buffering accomplished in another way and access to the aqueduct achieved.

Ms. Caswell stated the Conservation Board does not recommend that septic be pumped up. Mr. Phelan stated if there is 10' between the edge of the septic field and property line, it is acceptable.

Mr. Pantelides objects to the statement in the F.E.I.S. stating the wetlands and control area being set aside. This does not benefit the common area only the homeowner. He continued that lot 12, a four acre lot, does not have room for a pool. Mr. Phelan stated they would have to obtain a permit.

Mr. Dineen questioned Mr. VanderMuellen on his suggestion for a possible recommendation for recreation. Mr. VanderMuellen stated he will look into it.

Mr. Douglas Dill, Baldwin Road, stated it was appropriate to have a park in the Bridgepoint area.

Ms. Reardon stated written comments would be accepted for ten days. She suggested Mr. VanderMuellen submit his recommendation.

Mr. Bassi, Recreation Commission, stated the Commission felt the strip of land in this area was not useful.

Mr. Dineen moved to close the public hearing. Ms. McCarthy seconded.

and with all voting aye the motion was carried.

January 10, 1990 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

ADJOURNED PUBLIC HEARING
MAJOR SUBDIVISION
PRELIMINARY LAYOUT

Ms. Reardon reviewed the Recreation Department letter. Mr. Slavin stated they request a small 10'x10' or 10'x8' block building in addition to the ballfield lighting. The Recreation Commission would like to have the lighting completed immediately after the approval process. The Recreation Commission will provide the specifications and plans. Mr. Capellini stated that was acceptable to them based on the subdivision plans before the Board.

Ms. Reardon reviewed the letter from the County concerning water. The Planning Department suggests a study by a private consultant of the sub-basin based on the DEIS. Mrs. Tor stated it should take a few weeks. Mr. Capellini objected stating the analysis of fractures were covered well in the DEIS. Ms. Reardon stated this was the first time they have received correspondence from the County raising the subject.

Mr. Capellini presented a letter from Mr. Donald Calabrese, Land Surveyors, dated 1/5/90. Mr. Phelan read the letter into the record which states all contours shown, as well as, lots 18, 19, and 21 are within a tolerance of 0.3 of a foot as per the standards of the Specification of American Congress of Surveying and Mapping.

Mr. Capellini presented a letter from the Building Inspector stating the lots comply.

Mr. Robert DeMott, Hydrologist, Tim Miller Associates, prepared the hydrology report and soil section in the DEIS. He stated SCS mapping is correct.

Mr. Charles Zuckowski, Conservation Board, stated he sampled a number of areas in the field which is discussed in their memo.

Mr. Bob Roth, Engineer, stated a site specific soil study was done to create the wetland's line. He feels the SCS reviewer did not realize that a site specific soil study was done. Ms. Reardon suggested having these issues clarified with the SCS and obtain a written letter in response.

Mr. Roth stated they have met with the Department of Health and have made changes in the plan to provide 100' between the wells and 14,000' of useable area. They have provided two areas where cars can pull off the road. They have submitted a letter stating that none of the changes effect the layout of the lots.

Ms. Reardon opened the meeting to the public.

Mr. Saul Pantelides, neighbor, questioned the date the Augar Tests were done. Mr. DeMott responded they was done in August. Mr. Pantelides questioned if the wetlands are mapped correctly and if someone looks for additional wetlands which may not be flagged. Mr. Zuckowski feels all the wetlands were put on the map. Ms. Reardon read the Conservation Board's memo of April 25, 1989.

Mr. Pantelides is concerned that all the questions on the DEIS are addressed. He read Mr. Fred Koelich's letter dated September 21, 1989. Mrs. Tor responded the Planning Board has required the preparation of an FEIS which will address all questions and comments. Ms. Reardon stated there will be a public hearing on the FEIS.

Mr. Capellini stated the public portion of the DEIS has been closed on the FEIS so no questions should be raised. Ms. Reardon stated it was a public hearing.

Ms. Reardon questioned if there were any other comments from the Board. With no additional questions or comments, Ms. Reardon asked if the applicant would consent to an adjournment. Mr. Capellini stated they would not consent to an adjournment due to the pending wetland decision of the Town Board. They are asking the Board to close the hearing. Mr. Capellini feels the Board has accepted the DEIS as complete on October 2, 1989 and did not have a hearing on the preliminary plat until December 12 1989. Ms. Reardon informed Mr. Capellini that if they close the public hearing and the Board feels they do not have enough information within the 45 day timeframe, they could disapprove the application. Mr. Capellini stated he understood this.

Ms. Reardon questioned Mr. Koelich if the Board had a choice in the matter. Mr. Koelich stated they did have a choice. They could adjourn the hearing until the SEQRA process is complete without the applicant's consent.

Mr. Roth argued that the Board will have to make environmental findings after the FEIS. Mr. Koelich replied that the Board is concerned that the plan may change based on the consultant's findings.

Mr. Ciarcia stated the Town would like to critique what they have and see if there would be any further recommendations. The evidence shows there is sufficient capacity in the aquafer to supply this development. Many of the adjacent homeowners have shallow wells and, therefore, the question is the impact of the new wells on the adjoining sites.

Mr. Capellini stated they would like the Board to consider granting an extension prior to denying the application due to insufficient information.

Mr. Capellini requested the last paragraph of the County letter be read. Mr. Phelan read the entire section in regard to ground water, page 2, bottom. Mr. Capellini responded the letter states the DEIS did a good job and are not raising an issue with respect to the study. Mr. Koelich responded the Board has to listen to the neighbors stating they have existing problems.

The Board discussed the timeframe of the FEIS and review. Mr. DeMott stated he is presently working on the FEIS and feels it could be complete within 30 days. The Board discussed whether or not that was enough time for the public hearing and for various agencies to review it. Mr. Capellini feels the FEIS report is irrelevant. After discussion he stated they could have it in within 20 days.

Ms. Reardon felt she would rather adjourn the hearing than be put in a situation where they do not comply within 45 days. She feels they need 60 days to have sufficient time. Ms. McCarthy stated she would like to see the hearing adjourned. Mr. Dineen stated he would like the hearing adjourned and kept open for public comment on the report.

Mr. Capellini requested the reason for the adjournment be stated.

Mr. Capellini stated the law does not require a FEIS finding. Ms. Reardon responded when they closed the public hearing on the DEIS it was conditioned that there be a hearing on the FEIS. Also, the Board wished to elicit public comment on the consultant's report and FEIS, and was reluctant to close the hearing until this was accomplished.

Ms. Reardon stated she would like to see the study and the FEIS prepared within 20 days so it could be sent out for review and a public hearing set.

Mr. Dineen motioned to adjourn the public hearing for 30 days. Ms. McCarthy seconded and with all voting aye the motion was carried.

Mr. Capellini reiterated the reason for the adjournment was for the consultant's report and for the completion of the FEIS. Ms. Reardon agreed and stated when the DEIS hearing was closed, it was conditioned that there be a hearing on the FEIS. Also, the Board wished to elicit public comment on the consultant's report and FEIS, and was reluctant to close the hearing until this was accomplished.

Mr. Capellini questioned if it was the Board's opinion to decide the FEIS before they decide the Preliminary Plat. Ms. Reardon stated it will be decided simultaneously. Mr. Dineen wants to see the FEIS before making a decision. Mr. Phelan would like public input.

December 18, 1989 Minutes

LAKE VIEW ESTATES

On motion of Ms. McCarthy to extend the input period by ten days, seconded by Mr. Dineen and all voting aye the input period on the DEIS was extended by ten days, i.e., to December 31, 1989.

December 11, 1989 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

PUBLIC HEARING
DRAFT ENVIRONMENTAL IMPACT STATEMENT
& PRELIMINARY LAYOUT
MAJOR SUBDIVISION

Mr. Albert Capellini, Attorney, handed in the public notices.

Mr. Rene Mueller, Architect, presented the site plan to the public. He described the site and wetlands stating there were 21 lots on 51 acres.

Ms. Reardon opened the hearing for public comment.

Mr. VanderMuellen, representing the Homeowners Association, submitted a letter from the homeowners. He stated they are concerned that the proposal does not dedicate land to the Town as required by the Town Board and Planning Board. They feel that a street light on Baldwin is out of character for the area. Improvements on the Baldwin/Underhill intersection are not specified. They have questions concerning the septic systems and the distances between the homes. They urge the 100' road frontage requirement be adhered to and the requirement of a slope road

not being curved at the same time. They feel the main road behind the homes would require enormous amount of fill.

Mr. Pantelides, Neighbor, is concerned with existing violations issued by the Conservation Board. He is also concerned with the issues of lot frontage and distance to septic fields. Mrs. Tor reviewed the existing violations to date. She stated this is a revised map and Mr. Pantelides may be concerned with outdated information. Ms. Tor stated there are some questions that need clarification like irregular lot shapes. Mr. Mueller responded that he spoke to the Zoning Officer who felt the lots were acceptable as planned.

Mr. Pantelides stated he has water in his backyard and is concerned with runoff. He feels the contours are inaccurate. Ms. Reardon stated the Board is concerned with on-site detention and an erosion control plan will be in place during construction. Ms. Nancy Caswell, Conservation Board, stated the contours seem to be in order when they walked the site with the map. Mr. Ken Cartelli, Applicant's Engineer, reviewed the contours on the map which Mr. Pantelides was in disagreement over. Mr. Ciarcia felt the concept of the topography was accurate, however, he stated he will verify it. Mr. Mueller will send his surveyor out for confirmation.

Mr. Pantelides feels the amount of disturbance to the land is excessive and feels it is not addressed adequately in the DEIS. He would like more time for review and additional information from Engineering. He feels the rural character will be changed. He objects to an acceleration lane to make left turns. He feels it is not necessary. He suggested a traffic study be done if this idea is adopted. He feels widening the road will encourage speeders. He feels a street light would change the rural character. He feels the lot shapes are irregular and squeezed in.

Mr. Chase, Baldwin Road, stated some residents on Baldwin Road have water shortages. He suggested there be town water. Mr. Ciarcia stated the cost for water would have to be borne by the developer. Mr. Chase stated he will take action against the Town if he finds he has no water. Ms. Reardon questioned what the Applicant proposed to do if the neighbor's wells were impacted. Mr. Tim Gross, Tim Miller Associates, Environmental Engineer, stated the hydrologists' study indicates that it is unlikely this development would use the same water as the neighbors. The study looked at dry years and found there should be more than sufficient water for all the homes they are proposing. Mr. Gross stated he can assure Mr. Chase that his problem will not be worsen by this development. Mr. Phelan stated Mr. Chase's only recourse would be to take legal action against anyone creating a problem on his property and that the Board could not guarantee Mr. Chase anything. Mr. Phelan stated the Board will take reasonable steps to see that any item in the plan will not outwardly cause a problem to the neighbors property. Mr. Chase questioned how deep the wells will be. Mr. Gross responded they are prepared to go 650' or more if necessary.

Ms. Marsha Henwic, Baldwin Road, stated she has insufficient water and is concerned with running out. She questioned what will be done in the wetlands. Mr. Gross responded they will further address this question in the FEIS. They propose bridge crossings which would

eliminate going into the wetlands and other minor crossings. There is a crossing in the control area. He stated the intrusion is minimal.

Ms. Maryann Bujas, 1353 Baldwin Road, objects to a third lane in front of her house. She hopes some trees would remain and the lights would not be too bright. Ms. Reardon stated the applicant would be required to do a traffic count during the commuting hours to determine the necessity of a turning lane.

Mr. VanderMuellen would like to see ten percent set aside for recreation. Ms. Reardon will contact the Recreation Commission again for updated information on what they would like the contribution to be. She stated the Recreation Department originally requested a contribution of lighting to the ballfield.

Mr. John Patane, Baldwin Road, stated his well is 180' and he has never had any trouble except during a dry spell. He would like the Board to consider that the money saved from not widening the intersection be used to bring in town water. Ms. Reardon responded that town water may be needed in the future but the Board does not have the authority to require the developer to provide wells and contribute to a fund for town water. Mr. Capellini stated they are not in the consolidated water district. Mr. Ciarcia felt they were too far for the Underhill connection and the cost would be prohibited to bring water nearby.

Mr. VanderMuellen stated the County plans to double the golf course which will use a considerable amount of water. He feels this is a serious issue that needs to be addressed. Mr. Phelan questioned if the water will be recharged at the gold course. Mrs. Tor will contact Mr. Slavin from the Recreation Department for additional information on this.

Mr. Frank Brass, Henry Street and Baldwin Road, feels his property will be impacted by the intersection. He feels it is not necessary to widen the road and traffic will be increased. He wants to keep the road's character. Mr. Ciarcia stated they are basically looking to clear some trees and shrubs to improve sight lines. It is minor improvements.

Mr. Brian Mahoney, Baldwin Road, feels the sight lines are obscured by the curves in the Road and cutting trees would not improve sight lines. He disagrees with widening the road.

Mrs. Tor stated she has not received any information from the Public Safety Commission and will contact them again.

Mr. Whitney Stark, Baldwin Road, would like more information on crossing and encroachment into the wetlands and control area. Mr. Ken Cartelli, Tim Miller Associates, reviewed the 30' and 60' bridge expansion. He stated there will be a minimal amount of fill in the control area and no fill in the wetlands. Mr. Phelan stated all work in the control area or wetlands would require a permit. They are in the preliminary stage where engineering is not as specific as in the final Stage. The plan will have further review.

Mr. Pantelides feels it is not a minimal disturbance in the wetland. Ms. Reardon stated there have been many plan revisions to protect the ecology. An improved plan would required on-site inspection during construction.

Mr. Stark questioned if the DEIS included French Hill and the proposed expansion of the golf course. Ms. Reardon stated they will look at this and see if it will impact the wells.

Mrs. Tor feels the layout of the plan warrants going to the Health Department to see if the plan is workable at this stage.

Ms. McCarthy would like written input from the Zoning Officer.

The Board discussed whether they should adjourn or close the public hearing on the DEIS. Mr. Gross stated the proper action would be to close the public hearing so the applicant can respond to the issues raised. Ms. Reardon is concerned with the input from the Health Department possibly changing the plan.

Mr. Koelich felt there were issues left open. He stated procedurally the comments were received and the public hearing on the DEIS should be closed. However, it would require much more comments on the FEIS. Mr. Koelich stated he would have to look at the regulations if the Board wished to avoid a lengthy FEIS. The applicant wished to close the DEIS and stated the questions that were not addressed in the DEIS were those that were not asked. They have no objections to having a public hearing on the FEIS. The Board agreed, with the applicant's consent, that they would have a public hearing on the FEIS. The Board agreed to adjourn the public hearing, with the applicant's consent, on the preliminary plan. Mr. Capellini consented to the adjournment for one month. Ms. Reardon stated if the Board received insufficient information, they would have to adjourn it again based on insufficient information.

Ms. McCarthy moved to close the public hearing on the DEIS with the applicant's consent. Mr. Phelan seconded and with all voting aye the motion was carried.

Mr. Phelan moved to adjourn the public hearing on the preliminary. Ms. McCarthy seconded and with all voting aye the motion was carried.

October 2, 1989 Minutes

LAKEVIEW ESTATES
BALDWIN ROAD

REVIEW OF DEIS
PRE-PRELIMINARY
MAJOR SUBDIVISION

Ms. Reardon reviewed the Conservation and Planning Department memorandums with Mr. Selkin. Ms. Reardon stated there are items that need to be addressed before the DEIS is considered complete. Mr. Selkin replied many of the items were requested beyond the present scope session and therefore not relevant or will be put in the DEIS as part of the final. Ms. Reardon opened the meeting to discussion.

Mr. Gambino some scoping was done too narrowly. Mr. Gross, Environmental Engineer, stated they did address all the issues that were scoped. The issues raised can be done in the final Environmental Impact Statement.

Mrs. Tor stated they are required to do alternates. It should be shown in the shape of a map. Mr. Selkin stated the clustering concept is suggested at the last minute. It is not possible on this site because clustering requires sewers. The Board Agreed.

Mr. Phelan moved that the DEIS be considered acceptable and sent out for comment. Mr. Killeen seconded and with all voting aye the motion was carried.

November 7, 1988 Minutes

??

March 9, 1987 Minutes

LAKEVIEW ESTATES
Baldwin Road
Determination of Status
under Seqra
Major Subdivision
Preliminary Layout

Arthur Selkin, Esq. present.

The Chairman read a report from the Conservation Board dated March 5, 1987. The report indicated that there were adverse effects and that a DEIS would be required. Mr. Selkin stated that after meeting with the Conservation Board someone got ahold of a model EIS checklist and listed every item even though the introduction to the EIS document states that no one project will require discussion of all topic areas contained in the document. Mr. Selkin stated that topics such as helicopters and airports


listed on the checklist were irrelevant to this project. Mr. Grossfield questioned whether it was usual to address air resources in a twenty lot subdivision and suggested that the Board send the Conservation Boards memo back as unacceptable. Mr. Grossfield asked the Conservation Board if they would agree to delete the checklist. He stated that the memo should address subjects specifically for this project. Mr. Gambino stated that he felt the memo was well defined. Mr. Gocha stated that he would like to meet with the Conservation Board at their next meeting and discuss it at that time. Ms. Tor stated that according to the Town's Law regarding the wetlands it was automatically a Type 1 action, but would not necessarily require a DEIS. Mr. Grossfield stated that it should require a DEIS, but the problem was the scope of the DEIS based on the communication from the Conservation Board. Mr. Killeen agreed that the Chairman should meet with the Conservation Board and come to a mutual understanding. Mr. Gocha stated he would meet with the Conservation Board and discuss it at the next work session of the Planning Board. It would be on the agenda of the next meeting. Mr. Kelly, resident, stated that he had walked the property and that there was excessive water which should be a concern of both the Planning Board and the Conservation Board. Mr. Gocha stated that the Planning Board was concerned that in focusing on too many things that may not be relevant it did not want to lose sight of the issues of greatest importance.

THIS IS TO CERTIFY that the attached copy is a
true and correct copy of the Town of Yorktown Planning
Board Resolution approving:

LAKEVIEW ESTATES

Date of Resolution: MARCH 26, 1990

Hereby signed and certified by the Secretary of the
Planning Board

Signature: 4-16-90 

Date: _____

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING SUBDIVISION PLATS
PRELIMINARY LAYOUT

LAKEVIEW ESTATES

RESOLUTION NUMBER: 90-8 DATE: MARCH 26, 1990

On motion of Jeremiah Dineen, seconded by Robert Phelan the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations adopted February 13, 1969 and as last revised a formal and complete application for the approval of a Preliminary Layout entitled Lakeview Estates, prepared by Nouveau Architects and John Meyer, P.E., dated May 30, 1989 and last revised August 8, 1989 was submitted to the Planning Board on October 2, 1989, by Frank Gambelli, and the applicant has represented to this board that he is the lawful owner of the land within said subdivision; and

WHEREAS an application fee of \$3,000.00, covering 21 lots on 51.8 acres has been received by this board; and

WHEREAS pursuant to Seqra:

- 1) The Planning Board has been declared lead agency on February 9, 1987 (related to a previous submission).
- 2) The action has been identified as a Type I action.
- 3) A positive declaration has been adopted on May 22, 1989.
- 4) A DEIS has been accepted for circulation on October 2, 1989 and a Notice of Completion has been published on October 18, 1989.
- 5) An FEIS has been required and has been submitted and a Notice of Completion has been published on February 7, 1990.
- 6) A statement of finding has been filed on February 26, 1990.

WHEREAS the applicant has submitted to this board as part of this application the following maps and documents:

A set of maps titled Lakeview Estates, prepared by Nouveau Architects and John Meyer, P.E. dated 5/30/89 and last revised 8/8/89; and

Wetlands permit application #A-21-88 dated 4/7/88.

WHEREAS this board has referred this application to the following boards and agencies and has received and considered reports of the following:

Town Attorney 9/21/89, 1/16/90
Town Engineer 10/2/89, 12/6/89, 2/12/90
Planning Department 10/2/89, 12/7/89, 2/9/90, 3/22/90
ABACA 12/1/89
Conservation Board 11/16/88, 4/25/89, 6/20/89, 9/15/89,
9/27/89, 1/24/90, 2/20/90
Recreation Commission 5/9/88, 1/5/90, 2/12/90
Highway Superintendent ----
Fire Board ---
Public Safety ---
Westchester County Planning Board 12/26/89
Soil & Water conservation District 12/13/89, 2/15/90
Lawler, Matuski & Skelly, Eng. Consultants to the Town 2/9/90
Building Inspector 12/15/89
Westchester Co. Health Dept. 11/17/89
NY DEC 11/15/89

WHEREAS the requirements of this Board's Land Development Regulations have been met except as noted below; and

WHEREAS a public hearing was held on the said preliminary layout, DEIS and FEIS at the Town Hall in Yorktown Heights, New York on December 11, 1989, and continued on January 10, 1990, and February 12, 1990; and

WHEREAS the applicant has subsequently submitted the following maps and documents;

SY-100 - Lot layout dated 5/30/89 and last revised 1/12/90
SY-101 & 102 - Preliminary Subdivision Map dated 5/30/89
last revised 1/28/90
SY-101 & 102 - Alternates
SY-103 & 104 - Site Plan dated 7/28/89 and last revised
1/28/90
SY-105 & 106 - Erosion Control dated 7/28/89 and last
revised 1/28/90
SY-107 - Road Profiles dated 7/28/89 and last revised
1/28/90
SY-108, 109 & 109-A - Details dated 7/28/89 and last revised
1/28/90
SY-110 - Soils dated 7/28/89 and last revised 1/28/90
SY-111 & 112 - Structures dated 7/28/89 and last revised
11/1/89

SY-113 - Typical Sections dated 1/18/90
SY-113, 115, 116 - Storm Profiles dated 1/28/90
DA-1 and DA-2 - Proposed drainage area map dated 1/28/90
DP-1 - Area Drainage Plan dated 1/30/90
SY-001 - Preliminary Subdivision Map dated 3/14/90

WHEREAS the applicant has expressly represented that the only wetland permits needed on this site are for road construction and driveways as shown on map SY-001 dated 3/14/90

BE IT THEREFORE NOW RESOLVED that the application for said preliminary layout titled Lakeview Estates Preliminary Subdivision Map, prepared by Nouveau Architects and John Meyer, P.E. dated March 14, 1990 and all maps as listed above except alternates be approved subject to the following modifications and conditions and that the chairman and secretary of this board be and hereby are authorized to endorse this board's approval of said layout upon compliance by the applicant with such modifications and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled and if a final plat has not been submitted for at least 10% of the approved lots within 180 days from the date of this resolution the plat shall be deemed disapproved.

Modify said preliminary layout to show the following:

- A) Complete SY-001 to include all data shown on SY-101 and 102.
- B) Revise all maps except alternates to reflect data shown on SY-001.
- C) Add note on Preliminary Plan stating that well depth will be a minimum of 200 feet.
- D) Add note on same stating that roof and driveway run-off from each lot in the development be recharged to the ground by means of on-site seepage systems.
- E) Show a 200 foot distance between on-site and off-site wells.
- F) Show house envelopes with decks, patios, and other structures to be constructed only within that envelope.
- G) Relocate home on lot 21 closer to northern boundary and show a 25 foot wide tree conservation/buffer area along southern boundary.
- H) **Show conservation easements over wetlands and over the 100 foot wetlands control areas along all wetlands boundaries and add the standard conservation note.**

- I) Show retention lot to be deeded to the town.
- J) Provide note that driveway grades will not exceed 10%.
- K) Show note on lot (1) stating that existing barn will be removed.

Additional conditions:

- A) Submit additional drainage calculations as required by the Town Engineer (also see the Soil and Water Conservation District memorandum of 2/15/90).
- B) Submit a revised wetlands permit application.

BE IT FURTHER RESOLVED that all mitigating measures described in the FEIS are hereby made part of this resolution and the approval is conditioned on full execution of these measures; and

BE IT FURTHER RESOLVED that monies in lieu of recreation land will be required for this subdivision.

BE IT FURTHER RESOLVED that with the final plat application the following be submitted:

- 1) Data complying with the Town Engineer's memorandum of February 12, 1990 except item (4).
- 2) Data complying with the final review of the Fire Board and the Highway Superintendent.
- 3) Maintenance agreements for common driveways.
- 4) Guidelines for future owners for protection of wetlands.
- 5) Indication of all trees to be preserved and method of protection (see Conservation Board's memorandum of 2/20/90).
- 6) Landscape plan as referred to in FEIS and including landscaping of entrance to the site and cul-de-sac.
- 7) Construction Phasing Plan.
- 8) Deeds for individual lots must include language describing limits of building area envelope which language is to be approved by the Town Attorney and Planning Board.

9) Pursuant to letter from applicant's attorney dated September 7, 1989 submitted as supplement to the DEIS, applicant shall provide improvement plans for the historic building on lot 1 to be approved by the Planning Board. When improved, said building will be sold to a qualifying buyer chosen by the Town's Housing Board under the guidelines of the town's affordable housing policy. Sale price to be set prior to final plat approval.

10) Tree survey along property line of lot 21.

BE IT FURTHER RESOLVED that the wetlands permit application for road and driveway construction only will be considered for approval in conjunction with the approval of the final plat

BE IT FURTHER RESOLVED that the final plat shall include a note expressly stating that there are to be no wetland permits issued except those for driveways and road crossings; and

BE IT FURTHER RESOLVED that all conservation easements are to be expressly stated in each individual deed

BE IT FURTHER RESOLVED that the developer will provide paid supervision by an acceptable environmental planner acceptable to the Planning Board over erosion controls during the construction period.

BE IT FURTHER RESOLVED that this approval shall not authorize grading of land or any construction work on the site except as is necessary for the completion of studies required for design and analysis of the map in final form.

BE IT FURTHER RESOLVED that upon due consideration by the board the following requirements of these regulations be waived: sidewalks due to low traffic volume.

BE IT FURTHER RESOLVED that upon due consideration by the board the following requirements of these regulations be modified: none.

DATE OF RESOLUTION: MARCH 26, 1990

SIGNED BY: *Judith Reardon*
JUDITH REARDON, CHAIRPERSON

ROLL CALL:

AYES:

Robert J. [unclear]
[unclear]
Frank Mulachy
Judith Reardon

NAYES:

ABSTAIN:

THIS IS TO CERTIFY that the attached copy is a
true and correct copy of the Town of Yorktown Planning
Board Resolution approving:

LAKEVIEW ESTATES

Date of Resolution: APRIL 22, 1991

Hereby signed and certified by the Secretary of the
Planning Board

Signature: Robert E. Juhn

Date: 11-12-91

TOWN OF YORKTOWN
PLANNING BOARD

RESOLUTION APPROVING SUBDIVISION PLATS

LAKEVIEW ESTATES

RESOLUTION NUMBER: 91-6 DATE: April 22, 1991

On motion of Jeremiah Dineen, seconded by Robert Phelan the following resolution was adopted:

WHEREAS, in accordance with the Planning Board's Land Development Regulations adopted February 13, 1969 and as last revised, a formal application for the approval of a wetlands permit application and a subdivision plat entitled Lakeview Estates prepared by Donald Calabrese, Lic. Land Surveyor dated July 31, 1990 and last revised November 30, 1990, was submitted to the Planning Board on February 25, 1991 by Frank Gambelli; and the applicant has represented to this board that he is the lawful owner of the land within said subdivision; and

WHEREAS, an application fee of \$2,970.00 covering 21 lots on 52.28 acres has been received by this board; and

WHEREAS, the Segra process was completed prior to the approval of the Preliminary Layout; and

WHEREAS, this application is "grandfathered" pursuant to Local Law #17 of 1991 - Erosion & Sediment Control law and Local Law #16 of 1991 Freshwater Wetland and Watercourse Protection Law; and

WHEREAS, the Planning Board has reviewed the recreation needs created by the subject subdivision as well as the present and anticipated future needs of the surrounding area as analyzed and planned for in the Town's Recreation Plan adopted in 1978; and

WHEREAS, based on an assessment of the recreation needs created by the subject subdivision and the recreation needs of the surrounding area reflected in the Town's Recreation Plan, the Planning Board found that the subject neighborhood requires for its present and future recreations needs: one (1) neighborhood playground and four (4) tot lots, and

WHEREAS, the Town's Recreation Plan prescribes that the above-mentioned neighborhood playground and tot lots be located in the more populous northern section of the neighborhood rather than the lower density southern section of the neighborhood where the subject subdivision is located; and

WHEREAS, the majority of open space available within the subject subdivision is environmentally sensitive and unsuitable for active recreation; and

WHEREAS, while additional recreation land is needed to meet the recreational needs created by the subject subdivision, as well as the surrounding neighborhood, recreation lands of suitably character or adequate size cannot be properly located within the subject subdivision or is otherwise not practical; be it hereby

RESOLVED, that monies in lieu of recreation lands shall be provided by the applicant to satisfy the recreational needs created by the subject subdivision and to help meet the present and anticipated needs of the surrounding neighborhood.

WHEREAS, the applicant has submitted to this board as part of said application for plat approval, the following construction plans (improvement plans) entitled

- 1) Final Subdivision Plan (for lot layout only), prepared by Renee Mueller, Arch. dated 7/30/90 and last revised 1/3/91.
- 2) Final Subdivision Plan - two sheets - prepared by same, last revised 9/6/90.
- 3) Site Grading Plan - two sheets, prepared by John Meyer, P.E., dated 7/30/90 and last revised 12/27/90.
- 4) Utility Plan - two sheets - prepared by same and same dates.
- 5) Landscape Plan - three sheets - prepared by Renee Mueller, Arch. dated 7/30/91 and last revised 1/3/91.
- 6) Aerial photo of Baldwin and Underhill Avenue.
- 7) Sediment & Erosion Control Plan - two sheets, prepared by John Meyer, P.E. dated 7/30/90 and last revised 12/27/90.
- 8) Tree Preservation Plan - two sheets - prepared by Renee Mueller, Arch, dated 7/30/90 and lst revised 1/3/91.
- 9) Road Profiles, Storm Profiles, sections and details - 6 sheets - all prepared by John Meyer, P.E. dated 7/30/91.
- 10) Soil Map - by same and same date.

WHEREAS, the Planning Board has referred this proposal to the following agencies and has received input from same:

Town Engineer 4/5/91, 4/22/91

Planning Department 2/22/91
ABACA 4/3/91
Conservation Board 3/28/91

WHEREAS, the proper endorsement of the County Health Office has not been obtained; and

WHEREAS, the requirements of this Board's Land Development Regulations have been met except as noted below; and

WHEREAS, a public hearing was held on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on April 8, 1991; and

WHEREAS, the applicant subsequently has submitted a revised plat with last revision date of March 28, 1991.

BE IT THEREFORE NOW RESOLVED, that the application of Frank Gambelli for the approval of a wetlands application and map titled Lakeview Estates prepared by Donald Calabrese L.L.S. dated July 31, 1990 and last revised March 28, 1991 be approved subject to the following modifications and conditions and that the Chairman and Secretary of this board be and hereby are authorized to endorse this board's approval on said plat upon compliance by the applicant with such modification and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved.

Modify said plat to show the following:

- A) Lot numbers according to the Town Assessor
- B) Health Department approval

Modify Improvement Plans to show the following:

- A) Show erosion control measures for lot #15
- B) **Indicate how boundaries of the control area will be marked**
- C) Provide a 20 foot setback from control area to deck on lot (8)

Modify Sediment and Erosion Control Plan to show the following:

- 1) Add note stating that all Erosion and Sediment Control procedures will be based on Westchester County Best Management Series for Construction related activities.

- 2) Correct note (2) by replacing SY-105 and 106 with SY-110 and 111.
- 3) Amend note (6) by adding "acceptable to the Planning Board"
- 4) All Town Engineer's requirements as per his memorandum of 4/22/91.

BE IT THEREFORE RESOLVED, that said plat shall not be endorsed by the Planning Board until the improvements shown on the construction detail improvement plans as modified including the reconstruction of the dam and all off site improvement as shown on sheet SY-109B, are completed by the applicant to the satisfaction of the Superintendent of Highway, Town Engineer and Town Board within one (1) year from the date of this resolution or alternatively:

The applicant post 5% of estimated cost of improvements in the form of cash or other security acceptable by the Town Board and additionally a performance bond for 95% of the estimated cost of improvements including the dam and off site improvements with the term of one (1) year approved by the Town Board as to manner of execution, form and sufficiency to guarantee and assure full compliance by the applicant with all the terms, conditions, requirements and provisions as set forth in this resolution; and

BE IT THEREFORE RESOLVED, that said bond should contain the provisions that when the principals have fully and properly completed all of the work and improvements as required by this resolution and the work has been accepted by the Town Board for maintenance and repair, after recommendation of the Highway Superintendent and the Town Engineer, and upon the request of the applicant the same be cancelled in the manner provided for by law. Said bond shall not be cancelled or reduced to less than 5% of the estimated cost of improvements and that the bond so reduced and the deposit of cash surety remain in full force and effect to assure the satisfactory condition of said work and improvements until released by the town at the request of the applicant. Such release shall be not earlier than one (1) year from the date of acceptance of the work and improvements. The taking over of the roads in the subdivision as town highways shall in no way impede the effectiveness of either or both bond(s).

BE IT FURTHER RESOLVED, that the applicant will post a separate bond, as above, for the estimated cost of basic renovation and exterior historic preservation of the Gregory House (approximately \$145,000.00) with the term of five (5) years approved by the Town Board. Said bond should contain the

provision that when the work has been completed as required by this resolution and to the satisfaction of the Planning Board, the same be cancelled in the manner provided by law.

BE IT FURTHER RESOLVED, that said plat map shall not be endorsed by the Planning Board until:

- A) The deeds, offer of dedication, and certificate of title when required, insured by an approved titled company of any and all land reserved in fee to the town for drainage and flood control, have been tendered to the town.
- B) Similar deed or conveyance giving rights of easement and use for all drainage and public facilities shown on said plat, have been tendered to the town to be held in escrow until formal acceptance by resolution of the Town Board.
- C) The deeds offer of dedication and certificate of title insured by an approved title company for the fee title to the road has been tendered to the town to be held in escrow until formal acceptance of the road by resolution of the Town Board.
- D) An inspection fee to be estimated by the Town Engineer shall have been given to the town by paying over said sum to the Engineering Department.
- E) The following additional requirements or conditions are met:
 - 1) Submission of a statement signed by the Town's Tax Collector that all taxes due on this parcel have been paid.
 - 2) Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

Recreation
ABACA
General Development
 - 3) Submission of an erosion control bond and inspection fee as per the town Engineer's requirements.
 - 4) Show proof of agreement to have paid supervision during construction by an environmental planner acceptable to the Planning Board.
 - 5) Design data for spillway.

- 6) Copy of application to the Department of Environmental Conservation for work to be done on the dam.
- 7) Compliance with the ABACA review of the landscape plan.
- 8) Submission of typical deeds including provision for the maintenance of the landscaped island in the cul-de-sac and the entrance to the site.
- 9) Submit copy of deed for the Gregory House which will include wording on responsibility of owner and/or buyer to improve the building according to the Planning Board's requirements.

BE IT FURTHER RESOLVED, that no soil shall be removed from any or all areas reserved for drainage and/or flood control, park, playground, recreational and/or municipal purposes including all easements and rights of way except in accordance with the written direction of the Town Engineer.

BE IT FURTHER RESOLVED, that no clearing or grading or excavation on the proposed public roads will commence without the written approval of the Town Engineer, and until such time as the inspection fee has been received by said Town Engineer.

BE IT FURTHER RESOLVED, that to mitigate impact on housing affordability a contribution of \$3,000/lot toward the affordable housing fund shall be submitted prior to the issuance of each building permit; and

BE IT FURTHER RESOLVED, that no building permits for lots in this subdivision shall be issued by the Building Department unless and until the location, type and orientation of each house on each lot shall have been reviewed by the ABACA so that excavation is minimized and houses fit into the land.

BE IT FURTHER RESOLVED, that any house which does not conform to the footprint, elevations, location of garage and grades as shown on SY-104 and SY-105 will have to be submitted to the Planning Board and the ABACA prior to the issuance of the building permit.

BE IT FURTHER RESOLVED, that prior to the issuance of a building permit for the Gregory House the plans shall be submitted to the Planning Board for approval.

BE IT FURTHER RESOLVED, that the certificate of occupancy for the Gregory House will not be issued until the work has been completed to the satisfaction of the Planning Board.

BE IT FURTHER RESOLVED, that if the Gregory House will be destroyed by fire or other calamity, only a similar house will be permitted to be rebuilt within the existing footprint and with the same architectural exterior details as approved by Resolution #91-7.

BE IT FURTHER RESOLVED, that no tree cutting on individual lots shall be permitted unless and until each lot has been reviewed by the ABACA.

BE IT FURTHER RESOLVED, that no building permit for individual lots which require driveways in excess of ten (10) percent shall be issued by the Building Department unless approval by the Town Board.

BE IT FURTHER RESOLVED, that before the roads in the subdivision will be accepted as town highways the following be done:

- a) A bill of sale for all trunk and lateral sewer lines, water pipes, appurtenances and facilities required by the town, shall have been tendered to the town; and
- b) Before the roads in the subdivision will be accepted as town highways, the following documents must be submitted to the Town Engineer and the following work done:
 - 1) A certificate by a registered professional engineer or surveyor that the travelled way on all streets in the subdivision is completed within the bounds of the road right of way as shown on the filed plat of the subdivision;
 - 2) An "as built" plan and profile on linen plus three (3) prints of each showing location of all utilities, roadways, and drainage, with a certification by a registered professional engineer that all road work, utilities and appurtenances have been installed as shown on the plan, in accordance with town specifications in effect as of this date;
 - 3) Any and all plots or parcels not improved with dwellings, shall be graded, seeded and landscaped in accordance with the requirements of the Planning Board.

BE IT FURTHER RESOLVED, that before the roads of the subdivision will be accepted as town highways a stop sign at the intersection of Baldwin Road and Gambelli Drive shall be installed.

BE IT FURTHER RESOLVED, that deeds for all lots including wetlands shall include the following wording:

"The premises described in this deed contain wetlands an/or controlled area of a wetland a defined and regulated by Chapter 89 of the Code of the Town of Yorktown (The Wetlands Protection and Drainage Law of the Town of Yorktown). There shall be no construction, grading, filling, excavation, clearing, diversion or obstruction of water flow, introduction of inorganic or organic chemicals (e.g. fertilizers) or other regulated activity as defined by either of the aforesaid laws on this property within the wetlands area or within 100 ft. adjacent controlled area as shown on the "Subdivision Plat of Lakeview Estates". Under no circumstances shall any prohibited activity, defined by this law be permitted without permit within the wetland or controlled area on this property. This restriction shall bind the grantee, and the grantee's successors and assigns, and shall be expressly and specifically set forth in all subsequent deeds to this property."

BE IT FURTHER RESOLVED, that no certificate of occupancy be issued for any lot unless and until the Environmental Officer has reported that all required erosion control measures are in place and functioning properly on entire site.

BE IT FURTHER RESOLVED, that no certificate of occupancy will be issued unless the lot bounds are staked out and possession survey of premises is filed with the Building Inspector containing legend that stakes have been set as shown thereon.

BE IT FURTHER RESOLVED, that the certificate of occupancy for the Gregory House on lot #1 will not be issued until and unless the restoration work has been completed to the satisfaction of the Planning Board; and

BE IT FURTHER RESOLVED, that if the work on the Gregory House will be done in stages only temporary certificates of occupancy will be issued until the restoration is completed

BE IT FURTHER RESOLVED, that upon due consideration by the board the following requirement of these regulations is waived: sidewalks, due to low traffic volumes

BE IT FURTHER RESOLVED, that upon due consideration by the board no other requirements of these regulations be modified.

.B. RESOLUTION
(Lakeview Estates)

DATE OF RESOLUTION: APRIL 22, 1991

SIGNED BY: Judith Reardon
JUDITH REARDON, CHAIRPERSON

ROLL CALL:

AYES: Gregory Bernard
[Signature]
[Signature]
Judith Reardon

NAYS: _____

ABSTAIN: Robin Stemiges

THIS IS TO CERTIFY that the attached copy is a true and correct copy of the Town of
Yorktown Planning Board Resolution approving:

**REVISIONS TO SUBDIVISION PLATS
FOR THE LAKEVIEW MAJOR SUBDIVISION**

DATE OF RESOLUTION: January 6, 1997

HEREBY signed by the secretary of the Planning Board

SIGNATURE: *Quinnitt Ben*

DATE: 2/10/97

**TOWN OF YORKTOWN
PLANNING BOARD**

**RESOLUTION APPROVING REVISIONS TO SUBDIVISION PLATS
FOR THE LAKEVIEW MAJOR SUBDIVISION**

RESOLUTION NUMBER: 97-1

DATE: January 6, 1997

On motion of Judith Reardon, seconded by Robin Steiniger the following resolution was adopted:

WHEREAS the Planning Board approved by resolution a preliminary layout for the subject subdivision at its meeting of March 26, 1990; and

WHEREAS the applicant submitted a final plat on February 25, 1991 within the time prescribed by the preliminary resolution; and

WHEREAS the applicant submitted a revised final plat with the latest revision date as of June 26, 1991; and

WHEREAS a public hearing was held on said subdivision application and plat at the Town Hall in Yorktown Heights, New York on April 8, 1991; and

WHEREAS the Planning Board on April 22, 1991 approved resolution #91-6; and

WHEREAS the applicant submitted an application, and a revise plat for approval of Phase I and II of the subdivision; and

WHEREAS said plat was approved by the Planning Board by resolution #91-24 on October 7, 1991; and

WHEREAS said resolution lapsed on April 7, 1991; and

WHEREAS two ninety (90) day time extensions had been granted which lapsed on October 7, 1992

WHEREAS resolution #91-24 was reapproved by resolution #92-22 on October 5, 1992 and received two ninety (90) day time extensions, which expired on October 5, 1993; and

WHEREAS resolution #91-24 was reapproved by resolution #94-5 on March 28, 1994 and received two (90) day time extensions, which expired on March 28, 1995; and

WHEREAS resolution #91-24 was reapproved by resolution #95-9 on March 27, 1995; and

WHEREAS the Planning Board chairperson and secretary signed the plat for the subdivision on March 25, 1996, within the time prescribed by the Town Code; and

WHEREAS the applicant filed the signed plat with the Westchester County Clerk on May 3, 1996, within the time required; and

WHEREAS the applicant has subsequently submitted a request for:

- 1) A reduction in the length of the approved stream crossing bridge from 60 feet to 40 feet.
- 2) The elimination of common driveways for lots 2, 3, 6, 7, 17, 18, and 19.
- 3) The approval of a stormwater treatment plan, which includes subsurface water quality control structures, in which the Town of Yorktown will be the party responsible for the maintenance of these structures.
- 4) The creation of a lighting district.
- 5) Approval of demolition of the existing Gregory house structure to construct a new house that will match the design of the existing house.

WHEREAS this board received an application fee of \$1,980; and

WHEREAS the SEQRA process was completed prior to the approval of the Preliminary Layout and;

WHEREAS the Planning Board has reviewed the recreation needs created by the subject subdivision as well as the present and anticipated future needs of the surrounding area as analyzed and planned for in the Town's Recreation Plan adopted in 1978; and

WHEREAS based on an assessment of the recreation needs created by the subject subdivision and the recreation needs of the surrounding area reflected in the Town's Recreation Plan, the Planning Board found that the subject neighborhood requires a tot lot for its present and future recreation needs; and

WHEREAS the majority of open space available within the subject subdivision is environmentally sensitive and unsuitable for active recreation; and

WHEREAS while additional recreation land is needed to meet the recreational needs created by the subject subdivision, as well as the surrounding neighborhood, recreation lands of suitably character or adequate size cannot be properly located within the subject subdivision or is otherwise not practical;

BE IT HEREBY FURTHER RESOLVED that \$5,000 per two (18) new lots (\$90,000) in lieu of recreation lands shall be provided by the applicant to satisfy the recreational needs created by the subject subdivision and to help meet the present and anticipated needs of the surrounding neighborhood (of which \$40,000 was paid to the Town on March 22, 1996, the balance of \$50,000 to be paid prior to the signing of the final plat; and

WHEREAS the applicant has submitted to this board as part of said application a plat titled "Subdivision Plat of Property prepared for Lakeview Estates" prepared by Donald R. Calabrese Assoc's., Inc., dated July 31, 1990, and last revised November 3, 1994

WHEREAS the applicant has submitted to this board as part of said application for approval of the amended plat, the following documents:

- 1) A drawing titled "CS - Cover Sheet" prepared by John Meyer Consulting, last revised 12/11/96.
- 2) A drawing titled "SY-1 - Grading Plan" prepared by John Meyer Consulting, last revised 12/11/96.
- 3) A drawing titled "SY-2 - Grading Plan" prepared by John Meyer Consulting, last revised 12/11/96.
- 4) A drawing titled "SY-3 - Utility Plan" prepared by John Meyer Consulting, last revised 12/11/96.
- 5) A drawing titled "SY-4 - Utility Plan" prepared by John Meyer Consulting, last revised 12/11/96.
- 6) A drawing titled "SY-5 - Sediment and Erosion Control Plan" prepared by John Meyer Consulting, last revised 12/11/96.
- 7) A drawing titled "SY-6 - Sediment and Erosion Control Plan" prepared by John Meyer Consulting, last revised 12/11/96.
- 8) A drawing titled "SY-7 - Road Profiles" prepared by John Meyer Consulting, last revised 11/01/96.
- 9) A drawing titled "SY-8 - Road Section/Culvert Profiles" prepared by John Meyer Consulting, last revised 11/01/96.
- 10) A drawing titled "SY-9 - Soil Map" prepared by John Meyer Consulting, last revised 12/11/96.

- 11) A drawing titled "SY-10 - Soil Map" prepared by John Meyer Consulting, last revised 12/11/96.
- 12) A drawing titled "SY-11 - Driveway Profiles" prepared by John Meyer Consulting, last revised 11/01/96.
- 13) A drawing titled "SY-118 - Details" prepared by John Meyer Consulting, last revised 12/11/96.
- 14) A drawing titled "SY-119 - Details" prepared by John Meyer Consulting, last revised 11/27/96.
- 15) A drawing titled "SY-119A - Details" prepared by John Meyer Consulting, last revised 12/11/96.
- 16) A drawing titled "DA-1 - Drainage Area Map" prepared by John Meyer Consulting, last revised 12/11/96.
- 17) A drawing titled "DA-2 - Drainage Area Map" prepared by John Meyer Consulting, last revised 12/11/96.
- 18) A drawing titled "Plan LP-1 - Lighting" prepared by John Meyer Consulting, last revised 11/1/96
- 19) A drawing titled "Plan LP-2 - Lighting" prepared by John Meyer Consulting last revised 11/1/96
- 20) A report titled "Stormwater Management Report - Lakeview Estates" prepared by John Meyer Consulting, dated July 8, 1996.

WHEREAS the Planning Board has referred this proposal to the following agencies and has received input from same:

Town Engineer 11/8/96, 11/1/96, 10/17/96, 6/6/96
 Planning Department 1/2/97, 11/18/96, 8/21/96
 ABACA 11/14/96, 8/6/96, 6/5/96, 4/2/96
 Conservation Board 6/9/96, 6/7/96, 3/27/96
 Highway Superintendent
 Building Inspector 1/6/97
 Fire Prevention Board 10/21/96
 Superintendent of Parks & Recreation
 Public Safety
 Landmarks preservation 1/6/97

Environmental Code Enforcement Officer 11/13/96
Westchester County Dept. Of Planning 1/6/97
Westchester County Dept. of Parks

WHEREAS the proper endorsement of the County Health Office has not been obtained; and

WHEREAS the requirements of this Board's Land Development Regulations have been met except as noted below; and

WHEREAS a public hearing was held on the said application at the Yorktown Community and Cultural Center in Yorktown Heights, New York on the evening of January 6, 1997; and

BE IT THEREFORE NOW RESOLVED that resolution #91-24 is hereby revoked; and

BE IT THEREFORE NOW RESOLVED that the application of Aphrodite Construction for the approval of amendments to a map titled "Subdivision Plat of Property prepared for Lakeview Estates" prepared by Donald R. Calabrese Assoc's., Inc., dated July 31, 1990, and last revised November 3, 1994 be approved subject to the following modifications and conditions and that the Chairman and Secretary of this board be and hereby are authorized to endorse this board's approval on said plat upon compliance by the applicant with such modification and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved.

Modify said plat to show the following:

- A) Remove lines of common driveway easements on lots 2, 3, 6, 7, 18, & 19.
- B) Revise the common driveway easements on lots 9, 10, 13, & 14.
- C) Remove the turn around easement from lots 14 & 15.
- D) Revise note #2 to exclude lots 2, 3, 4, 6, 7, 8, 17, 18, & 19.
- E) Remove notes #6, # 7, #8, & #9.
- F) Show the name and signature of the current owner of the property.
- G) The line delineating Phase I and Phase II is to be removed.
- H) The area schedule shall be revised to combine Phase I and II, and remove the turn-around (tempoary cul-de-sac).
- I) Add easements to permit town maintenance of the storm water detention structures on lots

#11, #12, & #13, to the satisfaction of the Town Engineer and the Planning Board.

Modify Improvement Plans to show the following:

- A) Provide a lighting district to be approved by the Town Board, and limited to the subdivision. Upon installation of the lighting fixtures, the final installed light levels are to be approved by the Planning Board.

BE IT THEREFORE RESOLVED that said plat shall not be endorsed by the Planning Board until the improvements shown on the construction detail improvement plans as modified, are completed by the applicant to the satisfaction of the Superintendent of Highway, Town Engineer and Town Board within one (1) year from the date of this resolution or alternatively:

The applicant post 5% of estimated cost of improvements in the form of cash or other security acceptable by the Town Board and additionally a performance bond for 95% of the estimated cost of improvements with the term of one (1) year approved by the Town Board as to manner of execution, form and sufficiency to guarantee and assure full compliance by the applicant with all the terms, conditions, requirements and provisions as set forth in this resolution.

BE IT THEREFORE RESOLVED that: Said bond should contain the provisions that when the principals have fully and properly completed all of the work and improvements as required by this resolution and the work has been accepted by the Town Board for maintenance and repair, after recommendation of the Highway Superintendent and the Town Engineer, and upon the request of the applicant the same be canceled in the manner provided for by law. Said bond shall not be canceled or reduced to less than 5% of the estimated cost of improvements and that the bond so reduced and the deposit of cash surety remain in full force and effect to assure the satisfactory condition of said work and improvements until released by the town at the request of the applicant. Such release shall be not earlier than one (1) year from the date of acceptance of the work and improvements. The taking over of the roads in the subdivision as town highways shall in no way impede the effectiveness of either or both bond(s).

BE IT FURTHER RESOLVED that the Planning Board does support the creation of a lighting district limited to the extent of this subdivision and does refer the request for a said district to the Town Board for consideration; and

BE IT FURTHER RESOLVED as the Planning Board has referred the issue of the Gregory House to the Building Inspector and the Yorktown Landmarks Preservation Committee, and has received a letter from the Landmarks Preservation Committee dated January 6, 1997, and a memo from the Building Inspector dated January 6, 1997, the developer shall be permitted to demolish the existing Gregory House; and

BE IT FURTHER RESOLVED that the developer shall construct a new house, the design of

which shall be approved by the Planning Board prior to the issuance of a building permit, matching the historic character of the Gregory house; and

BE IT FURTHER RESOLVED that the developer is required to install a plaque, approved by the Planning Board, recognizing the historic significance of the Gregory House on the site; and

BE IT FURTHER RESOLVED that said plat map shall not be endorsed by the Planning Board until:

- A) The deeds, offer of dedication, and certificate of title when required, insured by an approved titled company of any and all land reserved in fee to the town for drainage, flood control, park, or recreational purposes have been tendered to the town.
- B) Similar deed or conveyance giving rights of easement and use for all drainage and public facilities shown on said plat, have been tendered to the town to be held in escrow until formal acceptance by resolution of the Town Board.
- C) The deeds offer of dedication and certificate of title insured by an approved title company for the fee title to all streets has been tendered to the town to be held in escrow until formal acceptance of the roads by resolution of the Town Board.
- D) An inspection fee to be estimated by the Town Engineer shall have been given to the town by paying over said sum to the Engineering Department.
- F) The following additional requirements or conditions are met:
 - 1) Submission of a statement signed by the Town's Tax Collector that all taxes due on this parcel have been paid.
 - 2) Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

Recreation	\$50,000
ABACA	\$1,100
General Development	\$8,640
 - 3) Submission of an erosion control bond and an inspection fee as per the Town Engineer's requirements.

BE IT FURTHER RESOLVED that no soil shall be removed from any or all areas reserved for drainage and/or flood control, park, playground, recreational and/or municipal purposes including

all easements and rights of way except in accordance with the written direction of the Town Engineer.

BE IT FURTHER RESOLVED that no clearing or grading or excavation on the proposed public roads will commence without the written approval of the Town Engineer, and until such time as the inspection fee has been received by said Town Engineer.

BE IT FURTHER RESOLVED that to mitigate impact on housing affordability a contribution of \$3,000/lot toward the affordable housing fund should be submitted with issuance of each building permit; and

BE IT FURTHER RESOLVED that upon submission of a building permit for each lot of this subdivision, the owner shall submit a site plan or plot plan, to ABACA , at a minimum scale of 1" = 20' showing the following:

- a. The location of the proposed house.
- b. The proposed finished floor elevation of the first floor, garage, and basement.
- c. The proposed grade at the garage entrance.
- d. The percentage slope of the proposed driveway.
- e. All existing and proposed topographic contour lines. All contour lines must extend a minimum of 10'-0" beyond the property line.
- f. The line of all delineated wetland, wetland buffers, easements, etc.
- g. A line indicating the limit of the area which will be disturbed by construction.
- h. Any other pertinent information as shown on the subdivision and improvement plan.

BE IT FURTHER RESOLVED that upon application for a building permit for lots in this subdivision, the Building Inspector shall review the proposed building elevations to determine the requisite grading. Should the Building Inspector determine that the requisite grading exceeds, by plus or minus two (2) feet, the elevations the Planning Board approved on the final construction plans, the applicant shall apply to the Planning Board for approval of the proposed building plan. The Planning Board shall review such application to determine whether the proposed excavation is limited to the greatest extent practicable and does not create adverse environmental or aesthetic impacts. The board shall approve or deny the proposed additional grading by resolution.

BE IT FURTHER RESOLVED that no tree cutting on individual lots shall be permitted unless and until each lot has been reviewed by the ABACA.

BE IT FURTHER RESOLVED that no building permit for individual lots which require driveways in excess of ten (10) percent shall be issued by the Building Department unless approval by the Town Board.

BE IT FURTHER RESOLVED that before the roads in the subdivision will be accepted as town highways the following be done:

a) A bill of sale for all trunk and lateral sewer lines, water pipes, appurtenances and facilities required by the town, shall have been tendered to the town; and

b) Before the roads in the subdivision will be accepted as town highways, the following documents must be submitted to the Town Engineer and the following work done:

1) A certificate by a registered professional engineer or surveyor that the traveled way on all streets in the subdivision is completed within the bounds of the road right of way as shown on the filed plat of the subdivision;

2) An "as built" plan and profile on linen plus three (3) prints of each showing location of all utilities, roadways, and drainage, with a certification by a registered professional engineer that all road work, utilities and appurtenances have been installed as shown on the plan, in accordance with town specifications in effect as of this date;

3) Any and all plots or parcels not improved with dwellings, shall be graded, seeded and landscaped in accordance with the requirements of the Planning Board.

BE IT FURTHER RESOLVED that before the roads of the subdivision will be accepted as town highways the following traffic control devices shall be installed, with the further requirement that sight distance shall be maintained by cutting back all shrubs, plantings, etc., ten feet from curb on either side.

BE IT FURTHER RESOLVED that deeds for all lots containing areas designated as wetland and/or wetland control areas shall include the following wording:

"The premises described in this deed contain wetlands and/or controlled area of a wetland as defined and regulated by Article 24 of the New York State Environmental Conservation Law (The Freshwater Wetlands Act) and Chapter 89 of the Code of the Town of Yorktown (The Wetlands Protection and Drainage Law of the Town of Yorktown). There shall be no construction, grading, filling, excavation, clearing, diversion or obstruction of water flow, introduction of inorganic or organic chemicals (e.g.) fertilizers or other regulated activity as defined by either of the aforesaid laws on this property within the wetlands area or within 100 feet of the adjacent controlled area as shown on the 'Subdivision Plat of Lakeview Estates' at any time without having first secured the necessary permission and permit required pursuant to the above noted Article 24 and/or Chapter 89. Under no circumstances shall any prohibited activity as defined by either of these laws be permitted within the wetland or controlled area on this property. This restriction shall bind the grantee, and the grantee's successors and assigns, and shall be expressly and specifically set forth in all subsequent deeds to this property."

BE IT FURTHER RESOLVED that no certificate of occupancy be issued for any lot unless and until the Wetlands Inspector/Environmental Officer has reported that all required erosion control measures are in place and functioning properly on entire site.

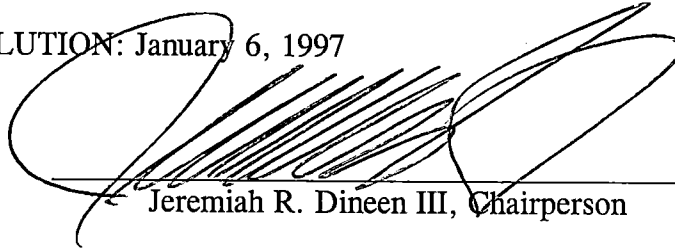
BE IT FURTHER RESOLVED that no certificate of occupancy will be issued unless the lot bounds are staked out and possession survey of premises is filed with the Building Inspector containing legend that stakes have been set as shown thereon.

BE IT FURTHER RESOLVED that upon due consideration by the board the following requirement of these regulations is waived: Sidewalks due to low pedestrian traffic.

BE IT FURTHER RESOLVED that upon due consideration by the board no other requirements of these regulations be modified.

DATE OF RESOLUTION: January 6, 1997

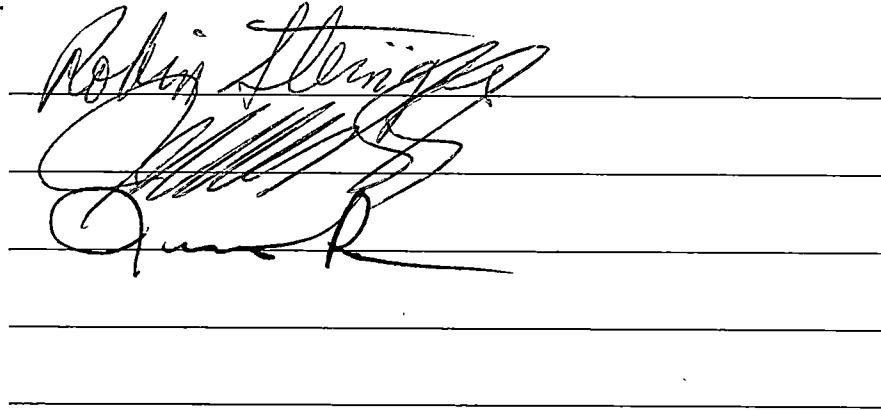
SIGNED BY:



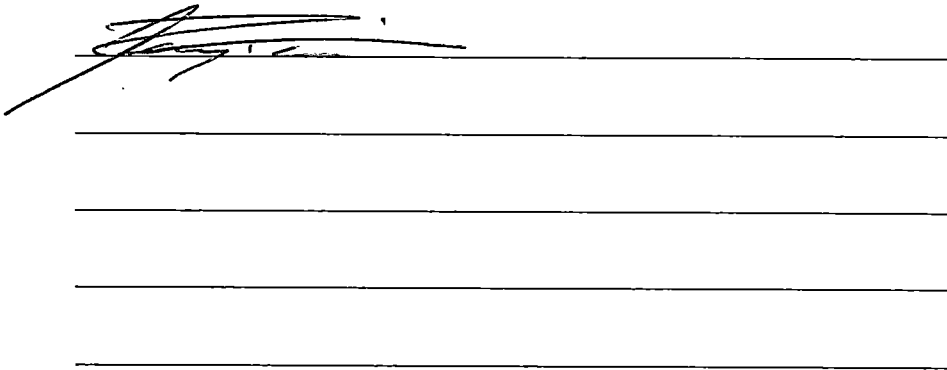
Jeremiah R. Dineen III, Chairperson

ROLL CALL:

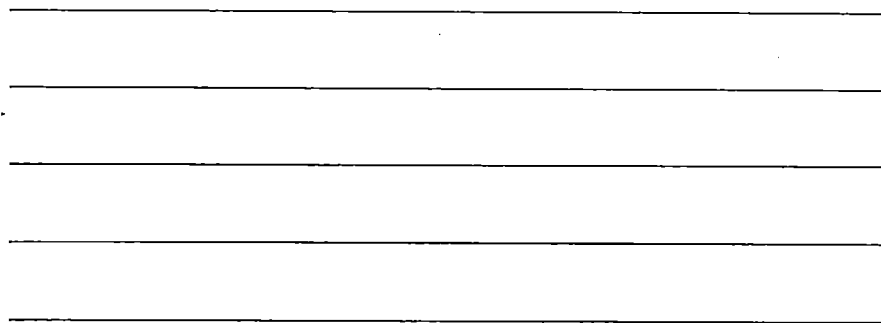
AYES:



NAYS:



ABSTAIN:



LEGEND

LIMIT OF 100' WETLANDS CONTROL BUFFER AND CONSERVATION EASEMENT (TOWN OF YORKTOWN)	---
STREAM LINES	---
BUFFER STRIP	---
SETBACK LINES	---
PROPERTY LINE	---

AREA SCHEDULE

ROAD R.O.W.	2,5100
DEDICATED LOT	1,9447
LOTS	47,7215
TOTAL	
EXISTING TOWN ZONING STATUS	80,000 SQUARE FOOT RESIDENTIAL
TOWN TAX AND DATA	SECTION 8.4, PARCEL 28, LOT AS SHOWN
ZONING CHART	R1-80
LOT AREA	80,000 S.F.
FRONT YARD	75.00'
SIDE YARD	30.00'
TWO SIDE YARDS COMBINED	80.00'
REAR YARD	75.00'



I, ELIOT SENOR, THE SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED DEC 23, 1996 AND THAT THIS MAP WAS COMPLETED FEB 13, 1997

Eliot Senor DATE 3/23/97
 ELIOT SENOR, L.S. N.Y.S. LIC NO. 049822
 APPROVED FOR FILING IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS.

THE OWNER OF PROPERTY SHOWN HEREON CERTIFIES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ITS FILING.

Joseph J. Macmillan DATE 4/7/97
 OWNER: AFFORDABLE ACQUISITIONS, INC.
 9 BLUEBERRY LANE
 PUTNAM VALLEY, NY

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
 WHITE PLAINS, NEW YORK

APPROVED SUBJECT TO PROVISIONS OF SEPARATE WATER SUPPLY AND SEPARATE SEWAGE DISPOSAL FACILITIES TO SERVE EACH HABITABLE BUILDING HEREAFTER CONSTRUCTED TO BE INSTALLED IN ACCORDANCE WITH IMPROVEMENT PLAN ON FILE WITH THIS DEPARTMENT AND PLANS AND SPECIFICATIONS DULY APPROVED AND FILED IN THIS OFFICE PRIOR TO THE CONSTRUCTION OF SUCH BUILDING.

PROPERTY SHOWN HEREON IS SUBJECT TO REGULATIONS FOR THE PROTECTION FROM CONTAMINATION OF THE PUBLIC WATER SUPPLY OF CITY OF NEW YORK (CROTON WATERSHED) AND ITS SOURCES.

ANY ERASURES, CHANGES, ADDITIONS AND/OR ALTERATIONS OF ANY KIND, EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE ON THIS PLAN AFTER THE DATE OF THIS APPROVAL, SHALL INVALIDATE THIS APPROVAL.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS MAP SHOWING THIS ENDORSEMENT.

RECOMMENDED BY: *John V. DiGiuseppe* DATE 5-9-97
James J. DiGiuseppe P.E. DATE 4/7/97
 COMMISSIONER OF HEALTH

APPROVED BY THE PLANNING BOARD OF THE TOWN OF YORKTOWN.

[Signature] DATE 5/12/97
 CHAIRMAN

[Signature] DATE 3/10/97
 SECRETARY

APPROVED BY PLANNING BOARD RESOLUTION NO. 291
 DATE

NOTES:

- COMMON DRIVEWAY MAINTENANCE AGREEMENT TO LOTS 9, 10 AND 11 LOTS 13, 14 AND 15 ON THIS PLAN IS COVERED BY RESTRICTIONS AS PER FILED DECLARATIONS IN THE OFFICE OF THE CLERK OF THE COUNTY OF WESTCHESTER, DIVISION OF LAND RECORDS.

2. CONSERVATION NOTE:
 THE NATURAL RESOURCES OF THE AREA WITHIN THE CONSERVATION EASEMENT SHALL REMAIN UNDISTURBED, EXCEPT AS MAY BE REQUIRED FOR CONSERVATION PURPOSES. UPON THE APPROVAL OF THE PLANNING BOARD, CONTOURS THEREOF SHALL NOT BE ALTERED. NO TOPSOIL OR UNDERLYING SOIL SHALL BE EXCAVATED THEREFROM. NOTHING SHALL BE PERMITTED TO OCCUR IN THIS AREA WHICH WOULD CONTRIBUTE TO THE EROSION OF THE LAND AND NO TREES SHALL BE DESTROYED OR REMOVED AND NO OTHER PLANT OR VEGETATION SHALL BE DESTROYED OR REMOVED. THE OWNER OF FEES SHALL MAINTAIN THE RIGHT TO EXCLUSIVE USE OF THE LAND AND IS PERMITTED TO REMOVE DEAD VEGETATION AND TREES AND REPLACE SAME WITH NEW PLANTINGS AND THE DEVELOPER MAINTAINS THE RIGHT TO CONSTRUCT THE IMPROVEMENTS AS DETAILED ON THE IMPROVEMENT DRAWINGS AND WILL DEDICATE SAID IMPROVEMENTS WITHIN THE EASEMENT TO THE TOWN OF YORKTOWN.

3. FRAME STRUCTURES TO BE REMOVED PRIOR TO HOUSE CONSTRUCTION ON AFFECTED LOTS.

UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS MAP IS A VIOLATION OF SECTION 1209 SUB-SECTION 2, OF THE NEW YORK STATE EDUCATION LAW.



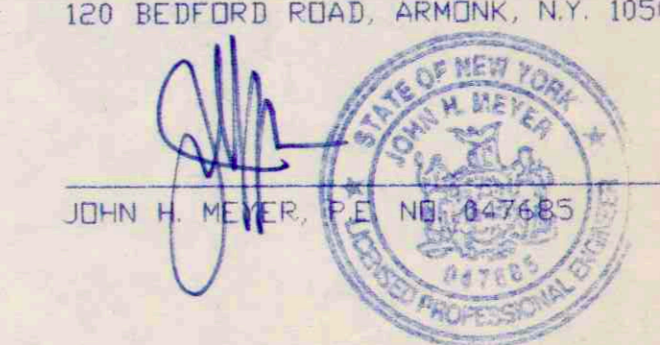
DESIGN DATA TABLE

NO. OF LOTS	AREA AC.	TEST PIT DESCRIPTION	% SAND	% SILT	% CLAY	PERC. RATE	WATER TABLE ELEV.	INTERV. SAND ELEV.	LENGTH OF FIELDS	ADD. FIELD	MANHOLE DIA.	CURTAIN DIA.	REMARKS
1	2.00	LOAM W/SAND	77	20	3	ARNE	428'	412'	-	-	-	-	
2	4.30	LOAM W/SAND	85	30	ARNE	503	487'	471'	7'	210'	335'	PUMP REED	
3	3.75	LOAM W/SAND	72	20	ARNE	428'	412'	400'	7'	175'	-	-	
4	1.87	LOAM W/SAND	14.5	15	ARNE	347'	331'	315'	7'	225'	-	-	
5	2.22	LOAM W/SAND	8	6	-G	ARNE	225'	210'	7'	170'	-	-	
6	2.31	LOAM W/SAND	7	20	ARNE	-5'	428'	412'	2'-3.5'	-	-	-	
7	2.06	LOAM W/SAND	8	20	ARNE	-5'	428'	412'	0'-3'	-	-	DOGWOOD ROAD	
8	1.73	LOAM W/SAND	8	14.29	ARNE	-6'	347'	331'	0'-2'	7'	275'	PUMP REED	
9	1.86	LOAM W/SAND	12	30	ARNE	503	487'	471'	-	-	-	DOGWOOD ROAD	
10	2.11	LOAM W/SAND	10	6	NON-RECYCLED	225'	210'	195'	7.5'	9.5'	-	-	

NO. OF LOTS	AREA AC.	TEST PIT DESCRIPTION	% SAND	% SILT	% CLAY	PERC. RATE	WATER TABLE ELEV.	INTERV. SAND ELEV.	LENGTH OF FIELDS	ADD. FIELD	MANHOLE DIA.	CURTAIN DIA.	REMARKS
11	1.27	LOAM W/SAND/COBBLES	12	5	ARNE	315'	300'	285'	3.5'	89'	63'	3.5'	-
12	5.46	LOAM W/SAND/COBBLES	13.5	18.75	ARNE	-5'	428'	412'	3'	-	-	-	
13	2.76	LOAM W/SAND	13	6	ARNE	225'	210'	195'	7'	170'	335'	PUMP REED	
14	2.02	LOAM W/SAND	12	2	ARNE	ARNE	183'	167'	6.3'	-	7'	230'	
15	1.83	LOAM W/SAND/COBBLES	10	12	ARNE	ARNE	347'	331'	11.5'	-	-	-	
16	1.83	LOAM W/SAND	7	15	-G	ARNE	347'	331'	2.5'	7'	335'	PUMP REED	
17	1.87	LOAM W/SAND	11	30	ARNE	ARNE	503'	487'	-	-	-	DOGWOOD ROAD	
18	2.17	LOAM W/SAND	6	30	ARNE	ARNE	503'	487'	X	-	-	DOGWOOD ROAD	
19	2.06	LOAM W/SAND	2	20	ARNE	ARNE	428'	412'	142'	-	-	-	

GABRIEL E. SENOR, P.C.
 CONSULTING ENGINEER & LAND SURVEYOR
 80 HARTSDALE AVE., HARTSDALE, NEW YORK 10530
 (914) 422-0070 (914) 422-0097

ENGINEERING PLANS OF SUBSURFACE SEWAGE DISPOSAL AREAS, WELLS, DRAINAGE AND RELATED APPURTENANCES BY JOHN MEYER CONSULTING, 120 BEDFORD ROAD, ARMONK, NY 10504



DATE 04/07/96

AMENDED SUBDIVISION MAP
LAKEVIEW ESTATES
 IN THE
TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK
 COUNTY SHEET: 10425 BLOCK: 226
 THIS MAP SUPERCEDES PHASE 1 - FILED ON MAY 6, 1996 AS MAP NO 25697.

SCALE 1" = 60' DATE JAN 22, 1997

THE FILING OF THIS MAP SHALL CONSTITUTE AN IRREVOCABLE OFFER OF DEDICATION TO THE MUNICIPALITY OF THE R.O.W.'S SHOWN HEREON FOR HIGHWAY PURPOSES AND AN OFFER TO RESERVE EASEMENTS OVER AREAS ENTITLED "TOWN EASEMENT" TO SAID MUNICIPALITY FOR DRAINAGE AND UTILITY PURPOSES, SUBJECTIIONALLY TO THE FORMAL ABANDONMENT OF THE MAP PRIOR TO ITS ACCEPTANCE.

RO# 25926 5/15/97

245-6802



- *TEXT** NOTATIONS OF AMENDMENTS
- INTERMITTENT STREAM
 - - - - DEP 100' INTERMITTENT STREAM BUFFER
 - - - - DEP 100' PERENNIAL STREAM BUFFER

ALL NOTES AND ADDITIONS TO THIS PLAN MADE BY SITE DESIGN CONSULTANTS HAVE BEEN INDICATED BY AN ASTERISK AND BY THE SYMBOLS REPRESENTED IN THE LEGEND. NO ALTERATIONS HAVE BEEN MADE TO THE ORIGINAL LAKEVIEW ESTATES SUBDIVISION PLANS DESIGNED BY JOHN MEYER CONSULTING.

GRADING PLAN LEGEND

- PROPERTY LINE
- 100' WETLAND BUFFER LINE - TOWN OF YORKTOWN
- 25 FOOT TREE CONSERVATION BUFFER
- EDGE OF WETLAND - TOWN OF YORKTOWN
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING DRAIN INLET
- PROPOSED COMBINATION INLET
- EXISTING WING WALL
- PROPOSED WING WALL
- EXISTING END WALL
- PROPOSED END WALL
- PERCOLATION TEST & DESIGNATION
- TEST PIT & DESIGNATION
- PROPOSED WELL LOCATION
- DRY WELL
- EXISTING WATER COURSE - TOWN OF YORKTOWN
- PROPOSED DITCH OR SWALE
- EXISTING STONE WALL
- PROPOSED RIP-RAP
- PROPOSED SEPTIC SYSTEM AREA
- PROPOSED WOODEN GUIDE RAIL
- EXPOSED BEDROCK

TOPOGRAPHICAL AND ROADWAY CONTOUR INFORMATION OBTAINED FROM PLAN ENTITLED "SITE GRADING PLAN LAKEVIEW ESTATES ON BALDWIN ROAD, YORKTOWN, NEW YORK", DATED 08/20/96 PREPARED BY GABRIEL E. SENOR, P.C., CONSULTING ENGINEER, LAND SURVEYORS.

DATE	DESCRIPTION
12/17/96	PREPARED FOR SUBMITTAL TO TOWN OF YORKTOWN
1/10/97	REVISIONS 16 & 17
1/10/97	ADDITIONS BY SITE DESIGN CONSULTANTS

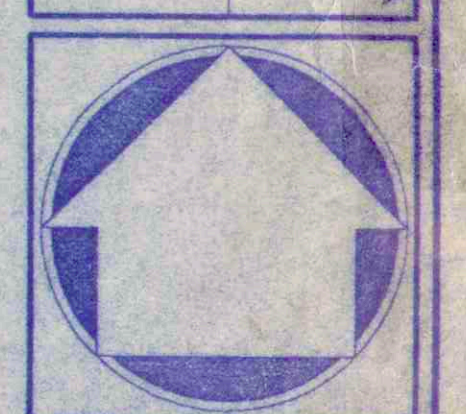
APHRODITE ACQUISITIONS, INC.
9 BULLBURY LANE
PUTNAM VALLEY, NEW YORK

JOHN MEYER CONSULTING
120 DEERBROOK ROAD, ARLINGTON, N.Y. 10803



NEW YORK

GRADING PLAN
LAKEVIEW ESTATES
BALDWIN ROAD



SCALE	1"=40'
DATE	11/01/96
PROJECT NO.	96009
DESIGNER	SP_000

SY-1

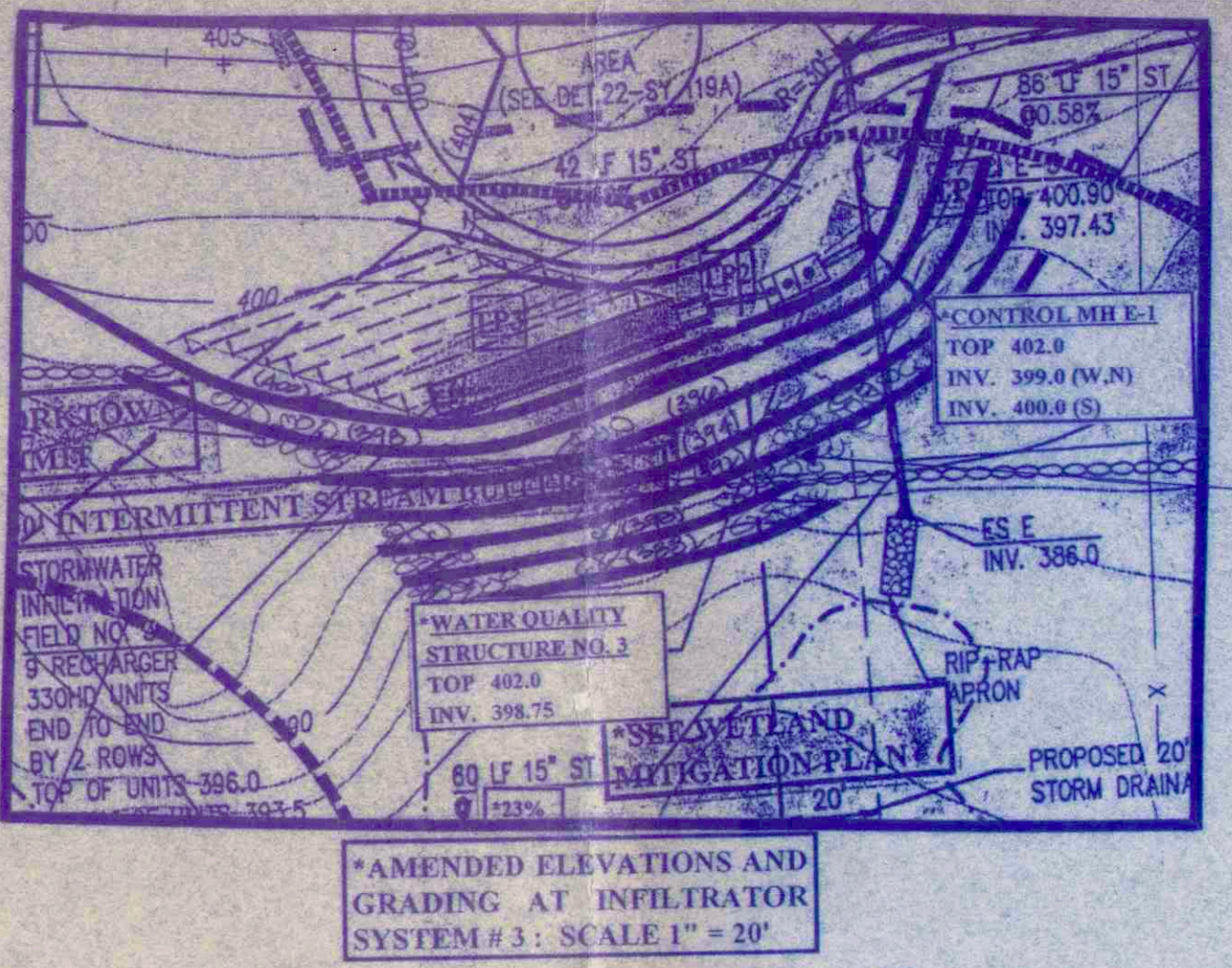
GRADING PLAN LEGEND

- PROPERTY LINE
- 100' WETLAND BUFFER LINE
- 25 FOOT TREE CONSERVATION BUFFER
- EDGE OF WETLAND
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING DRAINAGE INLET
- PROPOSED COMBINATION INLET
- EXISTING WING WALL
- PROPOSED WING WALL
- EXISTING END WALL
- PROPOSED END WALL
- PERCOLATION TEST & DESIGNATION
- TEST PIT & DESIGNATION
- PROPOSED WELL LOCATION
- DRY WELL
- EXISTING WATER COURSE
- PROPOSED DITCH OR SWALE
- EXISTING STONE WALL
- PROPOSED RIP-RAP
- EXPOSED BEDROCK
- PROPOSED SEPTIC SYSTEM AREA
- PROPOSED WOODEN GUIDE RAIL

NOTES:
 1. TOPOGRAPHICAL AND ROADWAY CONTOUR INFORMATION OBTAINED FROM PLAN ENTITLED "THE GRADING PLAN LAKEVIEW ESTATES ON BALDWIN ROAD, YORKTOWN, NEW YORK", DATED 06/20/96 PREPARED BY GABRIEL E. SENOR, P.C., CONSULTING ENGINEER, LAND SURVEYORS.

- LEGEND OF AMENDMENTS**
- TEXT NOTATIONS OF AMENDMENTS
 - INTERMITTENT STREAM
 - DEP 100' INTERMITTENT STREAM BUFFER
 - DEP 100' PERENNIAL STREAM BUFFER
 - RECHARGER UNITS
 - TEST PITS
 - AMENDED 100' SETBACK FROM TOWN WETLAND

ALL NOTES AND ADDITIONS TO THIS PLAN MADE BY SITE DESIGN CONSULTANTS HAVE BEEN INDICATED BY AN ASTERISK AND BY THE SYMBOLS REPRESENTED IN THE LEGEND. NO ALTERATIONS HAVE BEEN MADE TO THE ORIGINAL LAKEVIEW ESTATES SUBDIVISION PLANS DESIGNED BY JOHN MEYER CONSULTING.



DESIGN DATA TABLE

No. of Lots	Area Ac.	Test Pit Description	% Slope SSDS	Perc. Rate	Water Elev.	Imperv. Layer Elev.	Length of Fields	Add. Field for 4th Bt	Bank Run Depth	Curtain DPTH	Drain LGTH	REMARKS
1	3.08	Loom w/Sand	11	20.00	None	None	428'	142'	--	--	--	--
2	4.30	Loom w/Sand	8.5	30.00	None	None	563'	x	--	7'	210'	Dosing Req'd
3	3.75	Loom w/Sand	12	20.00	None	None	428'	142'	--	7'	175'	--
4	1.87	Loom w/Sand	14.5	15.00	None	None	347'	115'	--	7'	225'	--
5	2.22	Loom w/Sand	8	6.00	-6"	None	225'	75'	--	7'	170'	--
6	2.31	Loom w/Sand	7	20.00	None	-5'	428'	x	2'-3.5'	--	--	--
7	2.05	Loom w/Sand	8	30.00	None	-5'	563'	x	0'-5'	--	--	Dosing Req'd
8	1.73	Loom w/Sand	8	14.29	None	-6'	347'	115'	0'-2'	7'	275'	Dosing Req'd
9	1.88	Loom w/Sand	12	30.00	None	None	563'	187'	--	--	--	Dosing Req'd
10	2.11	Loom w/Sand & Cobbles	10	6.00	None to 7'	None to 7'	225'	75'	3.5'	--	--	--
11	2.27	Loom w/Sand & Cobbles	12	5.00	None	-3.5'	189'	63'	3.5'	--	--	--
12	5.46	Loom w/Sand & Cobbles	13.5	18.75	None	-6'	428'	142'	3'	--	--	Pump Req'd
13	2.75	Loom w/Sand	13	6.00	None	None	225'	75'	--	7'	190'	Pump Req'd
14	2.02	Loom w/Sand & Cobbles	12	2.00	None	None	189'	63'	--	7'	230'	--
15	1.83	Loom w/Sand & Cobbles	10	12.00	None	None	347'	115'	--	--	--	Pump Req'd
16	1.63	Loom w/Sand	7	15.00	-6"	None	347'	115'	2.5'	7'	335'	Pump Req'd
17	1.67	Loom w/Sand	11	30.00	None	None	563'	187'	--	--	--	Dosing Req'd
18	2.11	Loom w/Sand	6	30.00	None	None	563'	x	--	--	--	Dosing Req'd
19	2.08	Loom w/Sand	2	20.00	None	None	428'	142'	--	--	--	--

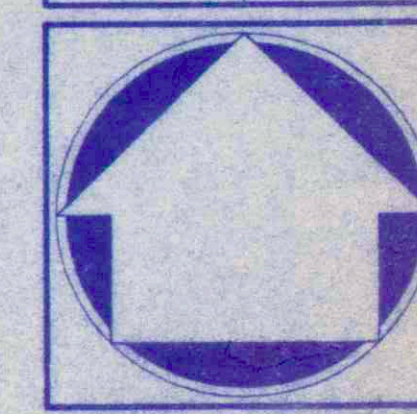
DATE	11/01/96
REV.	1
BY	JMS
CHECKED	JMS
DATE	11/13/97
REV.	2
BY	JMS
CHECKED	JMS
DATE	11/13/97
REV.	3
BY	JMS
CHECKED	JMS
DATE	11/13/97
REV.	4
BY	JMS
CHECKED	JMS

APHRODITE ACQUISITIONS, INC.
 8 BLUEBERT LANE
 YORKTOWN, NY 10594

JOHN MEYER CONSULTING
 210 BELLEGRUE ROAD, ARBONOMA, NY 10504



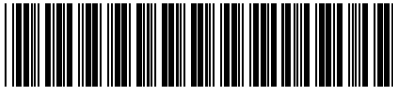
GRADING PLAN
LAKEVIEW ESTATES
 BALDWIN ROAD



SY-2

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 All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of John Meyer Consulting.

Deeds for Lot 6



421500779DEDO

Control Number 421500779	WIID Number 2002150-000359	Instrument Type DED
------------------------------------	--------------------------------------	-------------------------------



**WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)**

*** DO NOT REMOVE ***

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 6

TOTAL PAGES 6

RECORDING FEES

STATUTORY CHARGE	\$5.25
RECORDING CHARGE	\$18.00
RECORD MGT. FUND	\$4.75
RP 5217	\$25.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$58.00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
YONKERS	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
SUBTOTAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

TRANSFER TAXES

CONSIDERATION	\$290,000.00
TAX PAID	\$1,160.00
TRANSFER TAX #	17627

**SERIAL NUMBER
DWELLING**

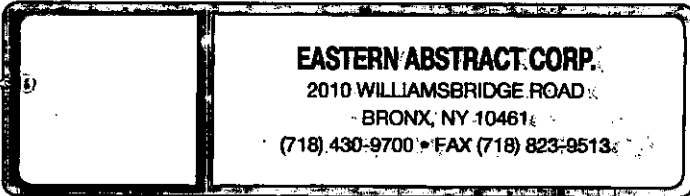
RECORDING DATE **06/07/2002**
TIME **13:53:00**

**THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
TOWN OF YORKTOWN**

WITNESS MY HAND AND OFFICIAL SEAL

**LEONARD N. SPANO
WESTCHESTER COUNTY CLERK**

Record & Return to: STEVEN KAPLAN 260 MADISON AVE 18TH FLOOR NEW YORK, NY 10016
--



DEED

E-W-19141
DED
5P
Joy

THIS INDENTURE, made the 8th day of February, 2002

BETWEEN APHRODITE ACQUISITIONS, INC.
9 BLUEBERRY LANE
PUTNAM VALLEY, NEW YORK 10579

Party of the First Part, and

DONATO PETAGINE and FILOMENA PETAGINE
Husband and Wife
1908 Baldwin Road
Yorktown Heights, New York 10598

Party of the Second Part,

WITNESSETH, that the Party of the First Part, in consideration of
TEN AND 00/100 (\$10.00).....dollars,

lawful money of the United States, and other good and valuable consideration paid by the Party of the Second Part, does hereby grant and release unto the Party of the Second Part, the heirs or successors and assigns of the Party of the Second Part forever,

ALL that plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York, shown and designated as Lot No. 6 on a certain map entitled "Revised Subdivision Plat of property prepared for Lakeview Estates, located in the Town of Yorktown, Westchester County, New York," filed in the Westchester County Clerk's office, Division of Land Records, on May 15, 1997 as Filed Map No. 25926 (the "Subdivision Map"), as more particularly described on Schedule A hereto.

RIGHT OF WAY EASEMENT

RESERVING to the Party of the First Part and its successors and assigns, Aright of way easement over the portion of the Premises described on Schedule B hereto.

TO HAVE AND TO HOLD the Premises herein granted unto the Party of the Second Part, the heirs or successors and assigns of the Party of the Second Part forever.

This conveyance is made in the regular course of business actually conducted by the Party of the First Part.

The Premises conveyed are not subject to a credit line mortgage.

The Premises are part of the same premises conveyed to the Party of the First Part by deed dated 10/26/95, recorded 1/31/96, in Liber 11350, page 169.

The Premises are not in an agricultural district.
The Premises are owned entirely by the Party of the First Part.

The Premises described in this deed contain wetlands and/or controlled area of a wetland as defined and regulated by Article 24 of the New York State Environmental Conservation Law (The Freshwater Wetlands Act) and Chapter 89 of the Code of the Town of Yorktown (The Wetlands Protection and Drainage Law of the Town

of Yorktown). There shall be no construction, grading, filling, excavation, clearing, diversion or obstruction of water flow, introduction of inorganic or organic chemicals (e.g.) fertilizers or other regulated activity as defined by either of the aforesaid laws on this property within the wetlands area or within 100 feet of the adjacent controlled area as shown on the Subdivision Map

at any time without having first secured the necessary permission and permit required pursuant to the above noted Article 24 and/or Chapter 89. Under no circumstances shall any prohibited activity as defined by either of these laws be permitted within the wetland or controlled area on this property. This restriction shall bind the Party of the Second Part, and the Party of the Second Part's successors and assigns, and shall be expressly and specifically set forth in all subsequent deeds to this property.

Reserving to the Party of the First Part the right to dedicate, grant, assign and convey to the Town of Yorktown, the roads and easements as shown on the Subdivision Map and as reserved herein.

AND the Party of the First Part covenants that the Party of the First Part has not done or suffered anything whereby the said Premises have been encumbered in any way whatever, except as aforesaid.

AND the Party of the First Part, in compliance with Section 13 of the Lien Law, covenants that the Party of the First Part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the parties hereto have duly executed this deed the day and year first above written.

APHRODITE ACQUISITIONS, INC.

BY: Joseph Marinelli
Joseph Marinelli, President

Donato Petagine
Donato Petagine
Filomena Petagine
Filomena Petagine

State of New York)
County of Westchester) ss.:

On the 8th day of February in the year 2002 before me, the undersigned, a Notary Public in and for said State, personally appeared Joseph Marinelli, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

LINDA VITIELLO
NOTARY PUBLIC, STATE OF NEW YORK
NO. 01V16032061
QUALIFIED IN WESTCHESTER COUNTY
COMMISSION EXPIRES OCTOBER 18, 2005

Linda Vitello

Notary Public

State of New York)
County of Westchester) ss.:

On the 8th day of February in the year 2002 before me, the undersigned, a Notary Public in and for said State, personally appeared Donato Petagine and Filomena Petagine personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose name is subscribed to the within instrument and acknowledged to me that they executed the same in their capacity, and that by their signatures on the instrument, the individuals, or the person upon behalf of which the individuals acted, executed the instrument.

~~JOHN BRETT~~
NOTARY PUBLIC, STATE OF NEW YORK
NO 01BR5083283
QUALIFIED IN WESTCHESTER COUNTY
COMMISSION EXPIRES AUGUST 11, 2005
John Brett

John Brett

Notary Public

**BARGAIN AND SALE DEED
WITH COVENANT**

Section 0804-28-7

Block 28

APHRODITE ACQUISITIONS, INC.

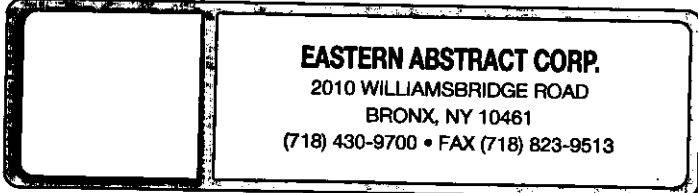
Lot 7

TO

Town of Yorktown
County of Westchester

Donato Petagine and Filomena Petagine
Husband and Wife

EW-19141



RETURN BY MAIL TO

Steven Kaplan
260 Madison Avenue
18th Floor
New York, NY 10016, Esq.

EASTERN ABSTRACT CORP.

Title No. E-W-19141 (FA-490-W-10337)

SCHEDULE A

Amended 02-04-2002

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York, as shown and designated as Lot No. 6 on a certain map entitled "Revised Subdivision Plat of property prepared for Lakeview Estates, located in the Town of Yorktown, Westchester County, New York", filed in the Westchester County Clerk's Office, Division of Land Records, on May 15, 1997 as Filed Map No. 25926 (the "Subdivision Map") and being more particularly bounded and described as follows:

BEGINNING at a point on the Easterly side of Gambelli Drive distant 1226.3 as measured along a curve from the Northerly point of a curve with a radius of 30.00 feet connecting the Northerly side of Baldwin Road with the Easterly side of Gambelli Drive;

RUNNING THENCE North 61 degrees 06 minutes 22 seconds East, 212.82 feet;

THENCE continuing North 61 degrees 06 minutes 22 seconds East, 114.02 feet to a point;

THENCE North 05 degrees 37 minutes 52 seconds West, 273.39 feet;

THENCE South 82 degrees 57 minutes 30 seconds West, 219.00 feet;

THENCE South 54 degrees 14 minutes 57 seconds West 318.54 feet to the Easterly side of Gambelli Drive;

RUNNING THENCE South along the Easterly side of Gambelli Drive along a radius of 310 feet 266.37 feet to the point or place of **BEGINNING**.

FOR INFORMATION ONLY said premises being known as and by Gambelli Drive (Vacant Lot), Amended Lakeview Estates Subdivision (Lot 6), Map 25926, Yorktown, New York, Westchester County; also known as and by Section 8.4 Block on the tax map of the Town of Yorktown.

PROPERTY TO BE IMPROVED BY ONE OR TWO FAMILY DWELLING.

**FOR
CONVEYANCING
ONLY**

The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property.

TOGETHER with all the right, title and interest of the party of the first part, of, in and to the land lying in the street in front of and adjoining said premises.

First American Title Insurance Company

SCHEDULE B
E-60-19141

RIGHT-OF-WAY EASEMENT
THROUGH LOT 6
LAKEVIEW ESTATES
TOWN OF YORKTOWN, WESTCHESTER COUNTY, NY

BEGINNING at a point on the northerly side of Gambelli Drive, said point also being the southeasterly corner of Lot 7 and the southwest corner of Lot 6 as shown on a map entitled "Subdivision Plat of Property Prepared for Lakeview Estates, Located in the Town of Yorktown, Westchester County, New York", Filed on May 6, 1996 in the Westchester County Clerk's Office, Division of Land Records as Map Number 25697;

thence proceed northcrly along the dividing line between Lot 6 and Lot 7 on said map, N. 54° 14' 57" E., 28.48 ft.;

thence proceed southerly through Lot 6, S. 41° 47' 05" W., 24.24 ft. to the northerly side of Gambelli Drive;

thence proceed along Gambelli Drive, on a curve to the left having a radius of 310.00 ft. and a length of 7.11 ft. to the point or place of BEGINNING.

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



553223001DED002L

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S434	Email:	recording@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	62682 Santamaria

Document Details

Control Number:	553223001	Document Type:	Deed (DED)
Package ID:	2015111800002001003	Document Page Count:	6
		Total Page Count:	7

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1:	JPMORGAN CHASE BANK N A	1:	SANTAMARIA JOSEPH L
	- Other		- Individual
2:		2:	SANTAMARIA CAROLYN L
			- Individual

Property

Additional Properties on Continuation page

Street Address:	1102 GAMBELLI DR.	Tax Designation:	47.11 -1 -15
City/Town:	YORKTOWN	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584
------------	-----------

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$35.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$250.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$330.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$282,450.00
Transfer Tax:	\$1,130.00
Mansion Tax:	\$0.00
Transfer Tax Number:	6031

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 12/07/2015 at 10:17 AM
 Control Number: **553223001**
 Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Thoroughbred Title Services
800 Westchester Avenue
S-434
Rye Brook, NY 10573

**BARGAIN AND SALE DEED, WITH COVENANT AGAINST
GRANTOR'S ACTS**

THIS INDENTURE, made the 13th day of Nov, in the year 2015

BETWEEN JPMorgan Chase Bank, National Association, having an address at 3415 Vision Drive, Columbus, OH 43219-6009 (hereinafter called the "Grantor"), and **Joseph J. Santamaria and Carolyn L. Santamaria**,* having an address at 58 Stewart Place, Eastchester, New York 10709 (hereinafter called the "Grantee"),

* Husband and Wife

JJS
CLS

WITNESSETH, that the Grantor, in consideration of Ten Dollars (\$10.00) and other valuable consideration paid by the Grantee, does hereby grant and release unto the Grantee, the heirs or successors and assigns of Grantee forever, all of its undivided interest and any other right, title or interest it may have or hold in:

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the County of Westchester, State of New York, commonly known by the address 1102 Gambelli Drive, Yorktown Heights, New York 10598 and designated as **SECTION: 47.11, BLOCK: 1, LOT: 15**, as more particularly described on Exhibit "A" attached hereto.

TOGETHER with all right, title and interest, if any, of the Grantor in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the Grantor in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the Grantee, the heirs or successors and assigns of the party of the Grantee forever.

AND the Grantor covenants that the Grantor has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as set forth on Exhibit "B" attached hereto.


AND the Grantor, in compliance with Section 13 of the Lien Law, covenants that the Grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

1102 Gambelli dr

GRF

IN WITNESS WHEREOF, the Grantor has duly executed this deed as of the day and year first above written.

JPMorgan Chase Bank, National Association

By:  11-13-15
Name: Gayle R Farmer
Title: Vice President

1102 Gambelli Rd
C:\Documents and Settings\mp070204\Desktop\Bargain and
Sale Deed with Covenant against Grantor's Act.doc

GRF

Notary Acknowledgment

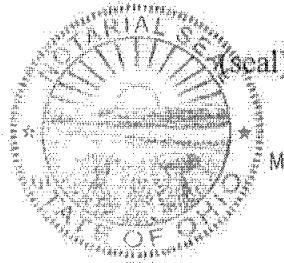
STATE OF OHIO

COUNTY OF FRANKLIN

On the 13th day of November in the year 2015 before me, the undersigned, personally appeared Gayle R. Farmer, the Vice President of JPMorgan Chase Bank, NA personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity (ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

X Caitin Marquardt
Notary Public

Printed Name: Caitin Marquardt



CAITIN MARQUARDT
Notary Public, State of Ohio
My Commission Expires 08-10-2019

1102 Gambelli Dr.

GRF

EXHIBIT "A"

LEGAL DESCRIPTION

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York, as shown and designated as Lot No. 6 on a certain map entitled "Revised Subdivision Plat of property prepared for Lakeview Estates, located in the Town of Yorktown, Westchester County, New York", filed in the Westchester County Clerk's Office, Division of Land Records, on May 15, 1997 as Filed Map No. 25926 (the "Subdivision Map") and being more particularly bounded and described as follows:

BEGINNING at a point on the Easterly side of Gambelli Drive distant 1226.3 as measured along a curve from the Northerly point of a curve with a radius of 30.00 feet connecting the Northurly side of Baldwin Road with the Easterly side of Gambelli Drive;

RUNNING THENCE North 61 degrees 06 minutes 22 seconds East, 212.82 feet;

THENCE continuing North 61 degrees 06 minutes 22 seconds East, 114.02 feet to a point;

THENCE North 05 degrees 37 minutes 52 seconds West, 273.39 feet;

THENCE South 82 degrees 57 minutes 30 seconds West, 219.00 feet;

THENCE South 54 degrees 14 minutes 57 seconds West 318.54 feet to the Easterly side of Gambelli Drive;

RUNNING THENCE South along the Easterly side of Gambelli Drive along a radius of 310 feet 266.37 feet to the point or place of BEGINNING.

EXHIBIT "B"

PERMITTED ENCUMBRANCES

1. The lien of taxes and assessments for the current year and subsequent years;
2. Matters that would be shown by an accurate survey and inspection of the property;
3. All covenants, restrictions, conditions, easements, reservations, rights-of-way, and other matters of record, to the extent valid, subsisting and enforceable;
4. Zoning requirements, statutes, rules, orders, restrictions, regulations and ordinances of governmental agencies or their instrumentalities relating to the property, the buildings located thereon, their construction and uses, in force on the date hereof (if any such exist); and
5. Any licenses, permits, authorizations or similar items (if any) in connection with the conduct of any activity upon the property.

GRLF

Bargain and Sale Deed

WITH COVENANT AGAINST GRANTOR'S ACTS

TITLE NO. 62682

JPMorgan Chase Bank, National Association

TO

**Jesoph J. Santamaria and Carolyn L.
Santamaria**

SECTION: 47.11

BLOCK: 1

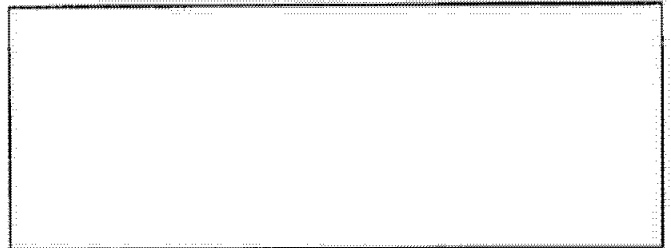
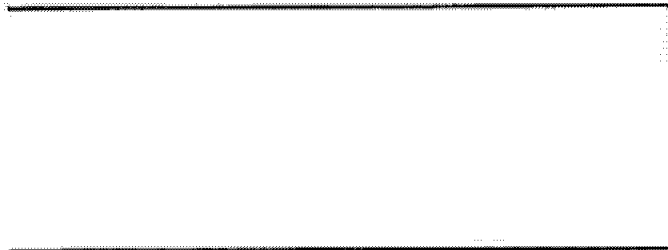
LOT: 15

COUNTY WESTCHESTER / YORKTOWN

1102 Gambelli Drive

RECORD AND RETURN BY MAIL TO:

Thoroughbred Title Services, LLC
800 Westchester Ave., Suite S434
Rye Brook, NY 10573
Phone: 914-644-6100



The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



553213246DED004V

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S434	Email:	recording@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	62682 3rd Santamaria Deed

Document Details

Control Number: 553213246	Document Type: Deed (DED)
Package ID: 2015111700154001001	Document Page Count: 3 Total Page Count: 4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: SANTAMARIA CAROLYN L	- Individual	1: 1102 GAMBELLI DRIVE LLC	- Other
2: SANTAMARIA JOSEPH J	- Individual	2:	

Property

Additional Properties on Continuation page

Street Address: 1102 GAMBELLI DRIVE	Tax Designation: 47.11-1-15
City/Town: YORKTOWN	Village:

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
----	----	----	----

Supporting Documents

1: RP-5217	2: TP-584	3: TP-584.1
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$250.00
TP-584 Filing Fee:	\$5.00
Total Recording Fees Paid:	\$315.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$0.00
Transfer Tax:	\$0.00
Mansion Tax:	\$0.00
Transfer Tax Number:	6906

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 12/24/2015 at 09:28 AM
 Control Number: **553213246**
 Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

1102 Gambelli Drive, LLC
 58 Stewart Place
 Eastchester, NY 10709

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 22nd day of December, in the year 2015

BETWEEN JOSEPH J. SANTAMARIA and CAROLYN L. SANTAMARIA, residing at 58 Stewart Place, Eastchester, New York 10709

party of the first part, and 1102 GAMBELLI DRIVE, LLC, residing at 58 Stewart Place, Eastchester, NY 10709 party of the second part,

WITNESSETH, that the party of the first part, in consideration of

Ten (\$10.00) dollars

paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

SEE SCHEDULE "A" ATTACHED

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:


JOSEPH J. SANTAMARIA


CAROLYN L. SANTAMARIA

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of Westchester, ss:

On the 22nd day of December in the year 2015, before me, the undersigned, personally appeared Joseph J. Santamaria and Carolyn L. Santamaria

, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



CHRISTOPHER P. TISO
Notary Public, State of NY
No. 4941472
Qualified in Westchester Co.
Commission Exp. 8/15/2018

ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:

On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in

(if the place of residence is in a city, include the street and street number if any, thereof); that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:

On the _____ day of _____ in the year _____, before me, the undersigned, personally appeared

_____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK STATE

*State of _____, County of _____, ss:

*(Or insert District of Columbia, Territory, Possession or Foreign County)

On the _____ day of _____ in the year _____, before me _____ the undersigned personally appeared

Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the

(add the city or political subdivision and the state or country or other place the acknowledgement was taken).

**Bargain and Sale Deed
With Covenants**

Title No. lot 62682

JOSEPH J. SANTAMARIA and CAROLYN L. SANTAMARIA
TO
1102 GAMBELLI DRIVE, LLC.

SECTION: 47.11

BLOCK: 1

LOT: 15


COUNTY OR TOWN: Westchester

Yorktown

1102 Gambelli Road

RETURN BY MAIL TO:

1102 Gambelli Drive, LLC.
58 Stewart Place
Eastchester, NY 10709

DISTRIBUTED BY

YOUR TITLE EXPERTS
The Judicial Title Insurance Agency LLC
800-281-TITLE (8485) FAX: 800-FAX-9396

SCHEDULE A (Description)

Title Number: TBT-62682

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester, State of New York, shown and designated as Lot No. 6 on a certain map entitled "Revised Subdivision Plat of Property prepared for Lakeview Estates, located in the Town of Yorktown, Westchester County, New York," filed in the Westchester County Clerk's Office, Division of Land Records, on May 15, 1997 as Filed Map No. 25926 (the "Subdivision Map") and being more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of Gambelli Drive distant 1226.3 as measured along a curve from the northerly point of a curve with a radius of 30.00 feet connecting the northerly side of Baldwin Road with the easterly side of Gambelli Drive;
RUNNING THENCE North 61° 06' 22" East, 212.82 feet;
THENCE continuing North 61° 06' 22" East, 114.02 feet to a point;
THENCE North 05° 37' 52" West, 206.39 feet;
THENCE South 82° 57' 30" West, 219.00 feet;
THENCE South 54° 14' 57" West 318.54 feet to the easterly side of Gambelli Drive;
RUNNING THENCE South along the easterly side of Gambelli Drive along a radius of 310 feet 266.37 feet to the point or place of BEGINNING.

RESERVING to the Party of the First Part and its successors and assigns, the following right of way easement over the portion of the Premises described above:

BEGINNING at a point on the northerly side of Gambelli Drive, said point also being the southeasterly corner of Lot 7 and the southwesterly corner of Lot 6 as shown on a map entitled "Subdivision Plat of Property Prepared for Lakeview Estates, located in the Town of Yorktown, Westchester County, New York", filed on May 6th, 1996 in the Westchester County Clerk's Office, Division of Land Records as Map No. 25697;
THENCE proceed northerly along the dividing line between Lot 6 and Lot 7 on said map, North 54° 14' 57" East, 28.48 feet;
THENCE proceed southerly through Lot 6, South 41° 47' 05" West 24.24 feet to the northerly side of Gambelli Drive;
THENCE proceed along Gambelli Drive, on a curve to the left having a radius of 310.00 feet and a length of 7.11 feet to the point or place of BEGINNING.

FOR
CONVEYANCING
ONLY

The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property

TOGETHER with all the right, title and interest of the party of the first part, of, in and to the land lying in the street in front of and adjoining said premises.

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



611623674DED0010

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Statewide Abstract Corp.	Phone:	914-683-5900
Address 1:	202 Mamaroneck Avenue	Fax:	914-683-5905
Address 2:		Email:	skessler@statewidea.com
City/State/Zip:	White Plains NY 10601	Reference for Submitter:	SA-120591

Document Details

Control Number:	611623674	Document Type:	Deed (DED)
Package ID:	2021061100274001001	Document Page Count:	3
		Total Page Count:	4

Parties

Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1:	1102 GAMBELLI DRIVE LLC	1:	CHAPPELL GREGG - Individual
2:	- Other	2:	YAVITZ EMILY - Individual

Property

Additional Properties on Continuation page

Street Address:	1102 GAMBELLI DRIVE	Tax Designation:	47.11-1-15
City/Town:	YORKTOWN	Village:	

Cross-References

Additional Cross-Refs on Continuation page

1:	2:	3:	4:
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Supporting Documents

1: RP-5217	2: TP-584
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Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$20.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$125.00
TP-584 Filing Fee:	\$5.00
RPL 291 Notice Fee:	\$10.00
Total Recording Fees Paid:	\$200.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$450,000.00
Transfer Tax:	\$1,800.00
Mansion Tax:	\$0.00
Transfer Tax Number:	30846

Dwelling Type:	Exempt: <input type="checkbox"/>
Serial #:	

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/14/2021 at 02:50 PM
 Control Number: **611623674**
 Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

STATEWIDE ABSTRACT CORPORATION
202 MAMARONECK AVENUE
WHITE PLAINS, NY 10601

SA120591

BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR'S ACTS (INDIVIDUAL OR CORPORATION)

STANDARD NYBTU FORM 8007

CAUTION: THIS AGREEMENT SHOULD BE PREPARED BY AN ATTORNEY AND REVIEWED BY ATTORNEYS FOR SELLER AND PURCHASER BEFORE SIGNING.

THIS INDENTURE, made the 2nd day of June, 2021

BETWEEN 1102 GAMBELLI DRIVE, LLC, a New York Limited Liability Company, duly organized and existing under the laws of the State of New York, with an address at 58 Stewart Place, Eastchester, New York 10709,

party of the first part, and

GREGG CHAPPELL and EMILY YAVITZ, as husband and wife, with an address at 70 Hudson Watch Drive, Ossining, New York 10562

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten (\$10.00) Dollars, lawful money of the United States, paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

SEE SCHEDULE A ATTACHED HERETO

BEING AND INTENDED TO BE the same premises acquired by Grantor by deed dated December 22, 2015, and recorded December 2, 2015, in the Westchester County Clerk's Office of the County in Control # 553213246.

Said premises having a street address of 1102 Gambelli Drive, Yorktown Heights, New York 10598.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above-described premises to the center lines thereof; *TOGETHER* with the appurtenances and all the estate and rights of the party of the first part in and to said premises; *TO HAVE AND TO HOLD* the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF


1102 GAMBELLI DRIVE, LLC

x *Joseph J. Santamaria*
By: JOSEPH J. SANTAMARIA, Member

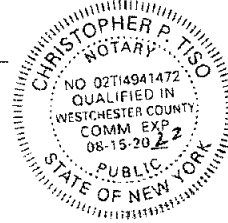
ACKNOWLEDGEMENT IN NEW YORK STATE

STATE OF NEW YORK)
) ss.:
COUNTY OF WESTCHESTER)

On the 2nd day of JUNE, 2021, before me, the undersigned, personally JOSEPH J. SANTAMARIA personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual or the persons upon behalf of the individuals acted, executed the instrument.



Notary Public



ACKNOWLEDGEMENT IN NEW YORK STATE

STATE OF NEW YORK)
) ss.:
COUNTY OF WESTCHESTER)

On the day of , before me, the undersigned, personally personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individuals or the persons upon behalf of the individuals acted, executed the instrument.

Notary Public

ACKNOWLEDGEMENT IN NEW YORK STATE

STATE OF NEW YORK)
) ss.:
COUNTY OF WESTCHESTER)

On the day of , before me, the undersigned, personally personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual or the persons upon behalf of the individuals acted, executed the instrument.

Notary Public

SECTION 47.11
BLOCK 1
LOT 15

COUNTY WESTCHESTER

STREET ADDRESS: 1102 Gambelli Drive
Yorktown Heights, New York 10598

RETURN BY MAIL TO:

Statewide Abstract Corporation
202 Mamaroneck Avenue (ON
White Plains, New York 10601

Stewart Title Insurance Company

Policy No. O-0000-944567048

Title No. SA-120591-W

**SCHEDULE A
DESCRIPTION OF PREMISES**

ALL that certain plot, piece, or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester, State of New York shown and designated as Lot No. 6 on a certain map entitled, "Revised Subdivision Plat of Property prepared for Lakeview Estates, located in the Town of Yorktown, Westchester County, New York", filed in the Westchester County Clerk's Office, Division of Land Records, on May 15, 1997 as Filed Map No. 25926 (the "Subdivision Map") and being more particularly bounded and described as follows:

BEGINNING at a point on the easterly side of Gambelli Drive distant 1226.3 as measured along a curve from the northerly point of curve with a radius of 30.00 feet connecting the northerly side of Baldwin Road with the easterly side of Gambelli Drive;

RUNNING THENCE North 61° 06' 22" East, 326.85 feet;

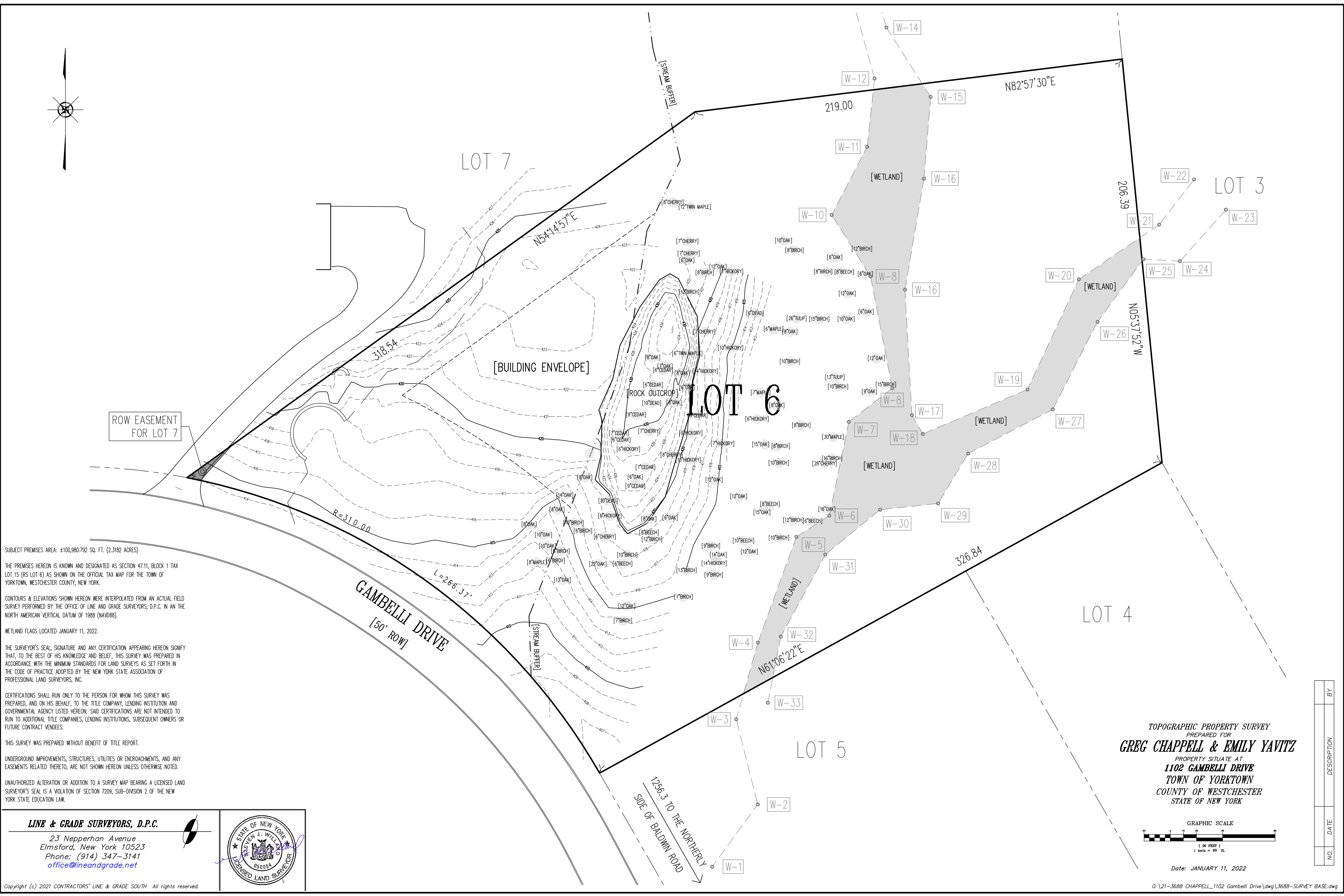
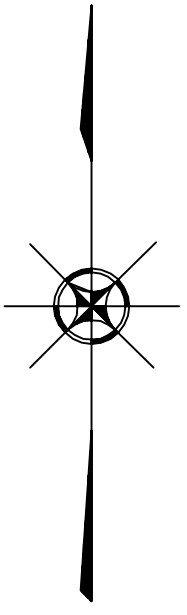
THENCE North 05° 37' 52" West, 206.39 feet;

THENCE South 82° 57' 30" West, 219.00 feet;

THENCE South 54° 14' 57" West 318.55 feet to the easterly side of Gambelli Drive;

RUNNING THENCE South along the easterly side of Gambelli Drive along a radius of 310 feet 266.37 feet to the point or place of BEGINNING.

Proposed Plans



SUBJECT PREMISES AREA: ±100,960.792 SQ. FT. (2.3182 ACRES)

THE PREMISES HEREON IS KNOWN AND DESIGNATED AS SECTION 47.11, BLOCK 1 TAX LOT 15 (RS LOT 6) AS SHOWN ON THE OFFICIAL TAX MAP FOR THE TOWN OF YORKTOWN, WESTCHESTER COUNTY, NEW YORK.

CONTOURS & ELEVATIONS SHOWN HEREON WERE INTERPOLATED FROM AN ACTUAL FIELD SURVEY PERFORMED BY THE OFFICE OF LINE AND GRADE SURVEYORS, D.P.C. IN AN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

WETLAND FLAGS LOCATED JANUARY 11, 2022.

THE SURVEYOR'S SEAL, SIGNATURE AND ANY CERTIFICATION APPEARING HEREON SIGNIFY THAT, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR LAND SURVEYS AS SET FORTH IN THE CODE OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC.

CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THIS SURVEY WAS PREPARED, AND ON HIS BEHALF, TO THE TITLE COMPANY, LENDING INSTITUTION AND GOVERNMENTAL AGENCY LISTED HEREON; SAID CERTIFICATIONS ARE NOT INTENDED TO RUN TO ADDITIONAL TITLE COMPANIES, LENDING INSTITUTIONS, SUBSEQUENT OWNERS OR FUTURE CONTRACT VENDEES.

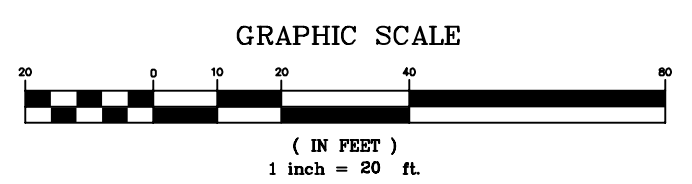
THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF TITLE REPORT.

UNDERGROUND IMPROVEMENTS, STRUCTURES, UTILITIES OR ENCROACHMENTS, AND ANY EASEMENTS RELATED THERETO, ARE NOT SHOWN HEREON UNLESS OTHERWISE NOTED.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

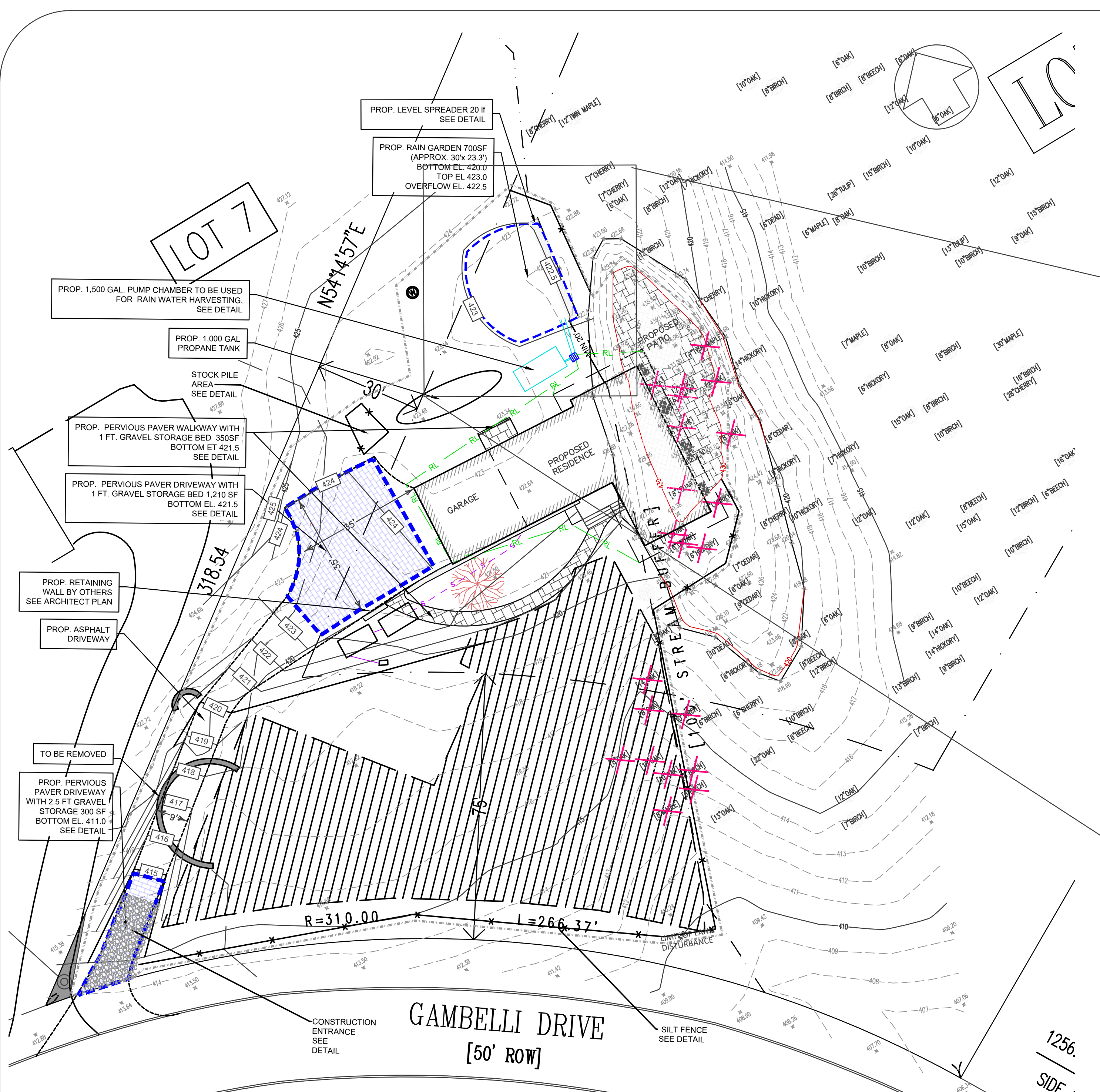
LINE & GRADE SURVEYORS, D.P.C.
 23 Nepperhan Avenue
 Elmsford, New York 10523
 Phone: (914) 347-3141
 office@lineandgrade.net

TOPOGRAPHIC PROPERTY SURVEY
 PREPARED FOR
GREG CHAPPELL & EMILY YAVITZ
 PROPERTY SITUATE AT
1102 GAMBELLI DRIVE
 TOWN OF YORKTOWN
 COUNTY OF WESTCHESTER
 STATE OF NEW YORK



Date: JANUARY 11, 2022

NO.	DATE	DESCRIPTION	BY



PLANTS KEY :

QTY	COMMON NAME	BOTANICAL NAME	SPREAD
10x SHRUBS ANY FROM THE LIST BELOW:			
	BAYBERRY	MYRICA PENNSYLVANICA	6' - 12' HIGH AND SPREAD
	WITCH HAZEL	HAMAMELIS VIRGINIAN	15' - 20' HIGH AND SPREAD
	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	6'-10' HIGH AND SPREAD
	BUTTONBUSH	CEPHALANTHUS OCCIDENTALIS	8'-10' HIGH AND SPREAD
OR 92x HERBACEOUS PLANTS FROM THE LIST:			
	JOE PYE WEED	EUPATORIUM PURPUREUM	3' - 4' HIGH AND SPREAD
	TUSSOCK SEDGE	CAREX STRICTA	1' - 3' HIGH AND SPREAD
	SWITCHGRASS	PANICUM VIRGATUM	3' - 4' HIGH AND SPREAD
	BONESET	EUPATORIUM PERFOLIATUM	2' - 4' HIGH AND SPREAD



LOCATION MAP
SCALE 1"=1,000'



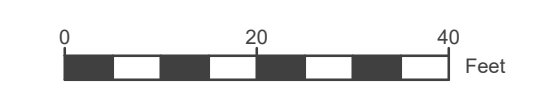
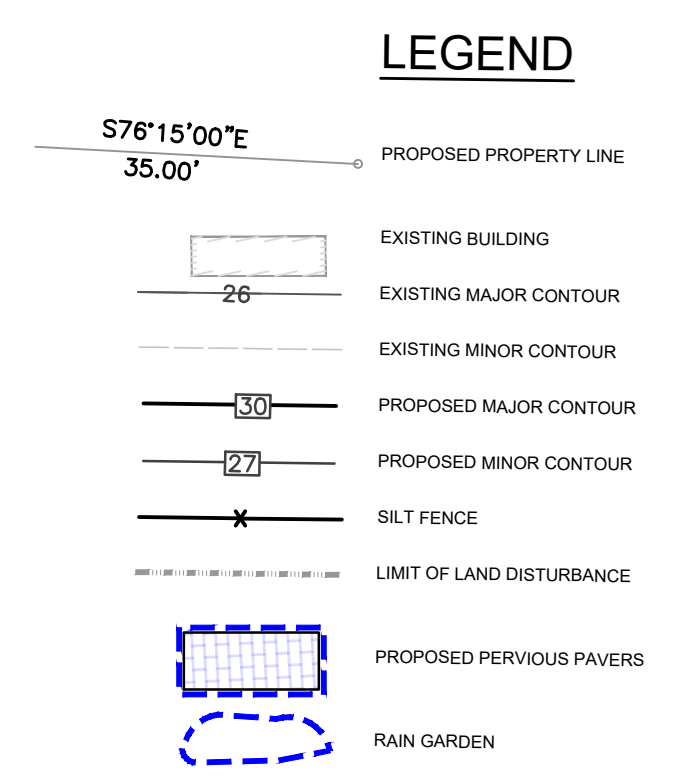
- PLANT INSTALLATION**
- AFTER PLACING THE SOIL MIX AND APPROVAL, TREES, SHRUBS AND HERBS SHALL BE PLANTED. PLANTING SHALL BE CONDUCTED BETWEEN MAY 1 AND JUNE 15 OR SEPTEMBER 15 AND NOVEMBER 1. ROOT STOCK OF THE PLANT MATERIAL SHOULD BE KEPT MOST DURING TRANSPORT, FROM THE SOURCE TO THE JOB SITE AND UNTIL PLANTED.
 - BIORETENTION FACILITIES SHOULD BE PLANTED IN ACCORDANCE WITH THE PLANTING PLAN AND PLANT SCHEDULE ON THE PLANS WHICH PROVIDES SPECIFIC SPACING REQUIREMENTS.
 - ALL PLANTING PITS SHALL BE DUG BY HAND AND EXCAVATED TO 1-1/2 TIMES THE WIDTH OF THE ROOT MASS.
 - THE PLANTING PIT SHALL BE DEEP ENOUGH TO ALLOW THE FIRST LATERAL ROOT OF THE ROOT MASS TO BE FLUSH WITH THE EXISTING GRADE. REMOVE ALL NON-ORGANIC DEBRIS FROM THE PIT AND TAMP LOOSE SOIL IN THE BOTTOM OF THE PIT BY HAND.
 - REMOVE THE PLANT FROM ITS CONTAINER EITHER BY CUTTING OR INVERTING THE CONTAINER. DO NOT HANDLE THE PLANT BY THE BRANCHES, LEAVES, TRUNK OR STEM. PLACE THE PLANT STRAIGHT IN THE CENTER OF THE PLANTING PIT, CARRYING THE PLANT BY THE ROOT MASS. NEVER LIFT OR CARRY A PLANT BY THE TRUNK OR BRANCHES.
 - BACKFILL PLANTING PIT WITH EXISTING SOIL AND HAND TAMP AS PIT IS BEING BACKFILLED TO COMPLETELY FILL ALL VOIDS AND AIR POCKETS. DO NOT OVER COMPACT SOIL. MAKE SURE PLANT REMAINS STRAIGHT DURING BACKFILLING/TAMPING PROCEDURE. DO NOT COVER THE TOP OF THE ROOT MASS WITH SOIL.
 - AN 18-INCH DIAMETER AREA OF COMMERCIALY-AVAILABLE, PREFERABLY WELL-AGED (8 TO 12 MONTHS), SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND EACH PLANT 2-3 INCHES THICK. MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE STEM OF THE PLANT.
 - WATER PLANT THOROUGHLY IMMEDIATELY AFTER PLANTING. THE BIORETENTION SOIL SPECIFICATION PROVIDES ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DEFEATS, OR AT A MINIMUM, IMPEDES THIS GOAL.

General Notes

- PROPERTY SURVEY AND EXISTING UTILITIES SHOWN HEREIN WAS TAKEN FROM THE MAP ENTITLED "TOPOGRAPHIC PROPERTY SURVEY PREPARED FOR GREGG CHAPPELL & EMILY YAVITZ PROPERTY SITUATED AT 1102 GAMBELLI DRIVE, TOWN OF YORKTOWN, WESTCHESTER COUNTY NEW YORK. MAP PREPARED BY LINE AND GRADE SURVEYORS, D.P.C., 23 NEPPERHAN AVE, ELMSFORD, NY, 10523. MADE BY STEVEN J. WILLARD NYS PLS# 050054.
- TOTAL LAND DISTURBANCE 25,600 S.F.
- PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962.
- THE PARTY RESPONSIBLE FOR THE LAND DEVELOPMENT OR REDEVELOPMENT ACTIVITY, OR HIS OR HER REPRESENTATIVE, SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF TREATMENT AND CONTROL (AND RELATED APPURTENANCES) WHICH ARE INSTALLED OR USED BY THE APPLICANT OR DEVELOPER TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF TOWN OF YORKTOWN CODE.
- ROAD OPENING AND USE STANDARDS: NO PERSON, FIRM OR CORPORATION, IMPROVEMENT DISTRICT OR MUNICIPALITY SHALL CONSTRUCT ANY WORKS IN OR UPON ANY TOWN ROAD OR CONSTRUCT ANY OVERHEAD, SURFACE OR UNDERGROUND CROSSING THEREOF OR CONSTRUCT, MAINTAIN, ALTER OR REPAIR ANY DRAINAGE, SEWER OR WATER PIPE, CONDUIT OR OTHER STRUCTURE THEREUPON OR THEREUNDER WITHOUT FIRST OBTAINING A WRITTEN PERMIT THEREFOR FROM THE SUPERINTENDENT OF HIGHWAYS.
- INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT".
- THE OWNER OR CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING FOR HIS ENGINEER TO ISSUE A CONSTRUCTION COMPLIANCE CERTIFICATION:
 - START OF CONSTRUCTION
 - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES
 - COMPLETION OF ROUGH GRADING
 - INSTALLATION OF STORMWATER MANAGEMENT FACILITIES
 - BIORETENTION SOIL CERTIFICATION, SOIL TESTING, ETC.

- SITE PREPARATION:**
- KEEP THE SITE CLEAR OF DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. SECURE MATERIAL AND DEBRIS SO AS TO NOT CAUSE HAZARD OR NUISANCE.
 - BRING DISTURBED AREAS TO FINISHED CONDITION AS SOON AS POSSIBLE AFTER INITIAL DISRUPTION. PROTECT SLOPES INITIALLY WITH MULCH UNTIL PLANTINGS TAKE HOLD.
 - TREES NOT DESIGNATED ON THESE PLANS TO BE REMOVED SHALL NOT BE REMOVED.
 - ALL AREAS DISTURBED, NOT OTHERWISE CALLED OUT IN THESE PLANS FOR A SPECIFIC TREATMENT SHALL BE TREATED WITH 4" OF TOPSOIL AND SEED.
 - EXISTING OVERLAND FLOW PATHS FROM THE NEIGHBORING PROPERTY TO BE MAINTAINED.

- PHASING OF MAJOR ACTIVITIES:**
- INSTALLING SILT FENCE, CONSTRUCTION ACCESS, OTHER SAE CONTROLS.
 - CLEARING AND GRUBBING THE SITE.
 - EXCAVATION AND GRADING THE SITE.
 - INSTALLATION OF STRUCTURES, UTILITIES, STORMWATER MANAGEMENT SYSTEM. THE SYSTEM MUST BE PROTECTED FROM OVER COMPACTION AND MUST NOT BE CONNECTED UNTIL CONSTRUCTION, INCLUDING CURBS, ROAD CONSTRUCTION AND TREE PLANTINGS, ARE COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
 - PLANTING TREES, LANDSCAPING.
 - REMOVING TEMPORARY EROSION CONTROL METHODS WHEN CONTRIBUTING DRAINAGE AREAS ARE STABLE.



No.	Revision/Issue	Date

Firm Name and Address

TJ ENGINEERING LLC

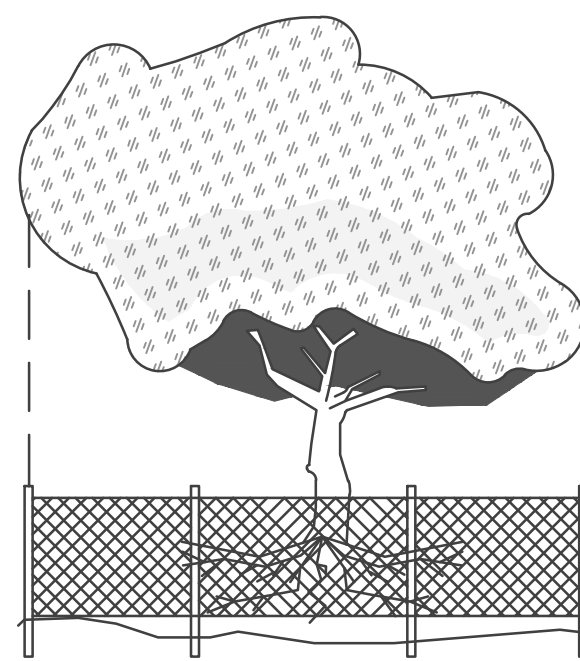
117 MAMANASCO RD.
 RIDGEFIELD, CT 06877
 INFO@TJENGINEERING.US
 TEL.# 203-249-5755

Project Name and Address

STORMWATER MANAGEMENT
 AND S&E CONTROLS PLAN
 1102 GAMBELLI DRIVE
 YORKTOWN HEIGHTS, NY 10598

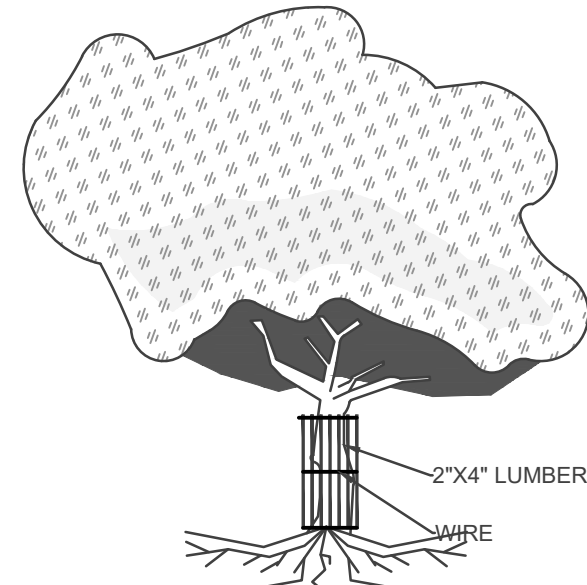
OWNER: GREGG CHAPPELL & EMILY YAVITZ
 70 HUDSON WATCH DR.
 OSSINING, NY 10562

Project	Sheet
Date	1 of 2
Scale	1"=20'



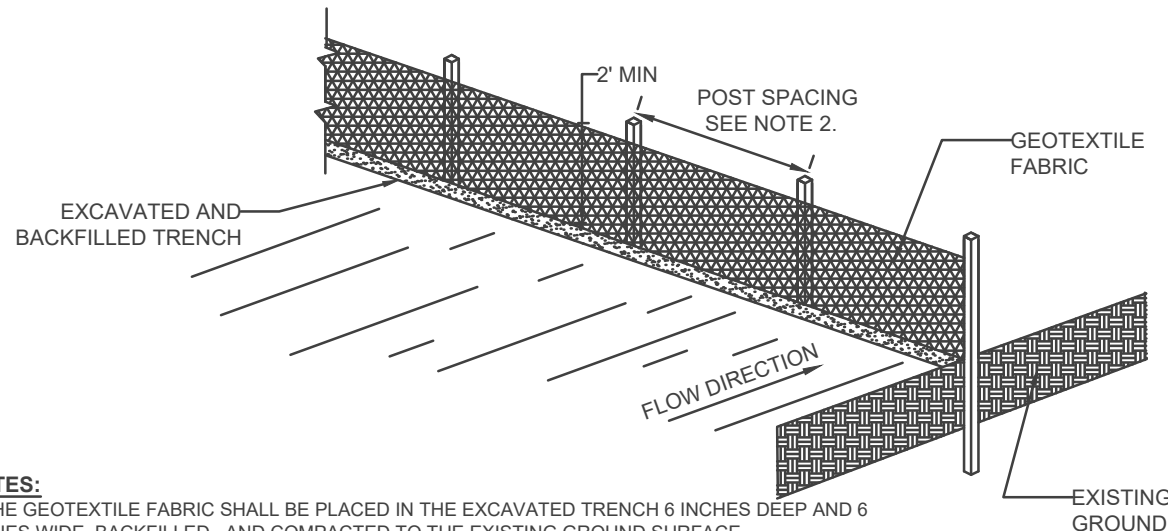
NOTES:
 ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING OR OTHER SIMILAR FENCING AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF TEN FOOT (10') INTERVALS BY APPROVED METHODS SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THE FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL AND SHALL HAVE A TREE PROTECTION SIGN AFFIXED TO THE FENCE EVERY TWENTY (20) FEET IN SUCH A MANNER TO BE CLEARLY VISIBLE TO THE WORKERS ON-SITE.
PRIOR TO CONSTRUCTION:
 THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE A PROTECTIVE FENCING WHICH ENCIRCLES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREES TO PROTECT THEM FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

TYP. TREE PROTECTION FENCING
 N.T.S.



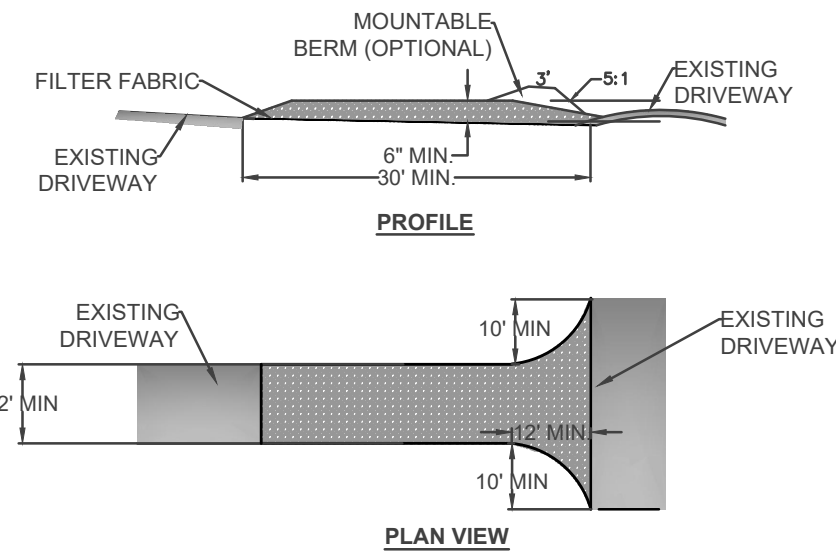
NOTES:
 IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE TREE MAY BE IN DANGER OF BEING DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR SHALL PROTECT THE TREE WITH 2"x4" LUMBER ENCIRCLED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE TRUNK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

TYP. TREE BARK PROTECTION
 N.T.S.



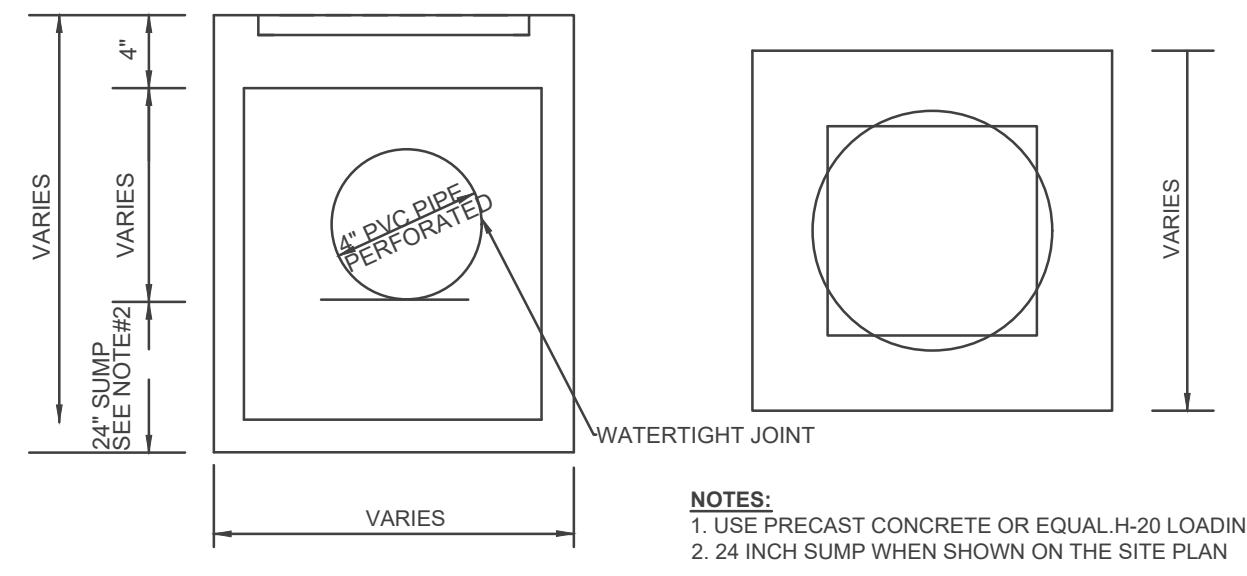
NOTES:
 1. THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH 8 INCHES DEEP AND 6 INCHES WIDE, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
 2. WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/2" x 1-1/2" AIR OR KILN DRIED OF HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.5 POUNDS PER LINEAL FOOT AND 5 FEET LONG, AND 3 FEET FOR NON-WOVEN FABRIC.
 3. THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UP SLOPE. SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UP SIDE.
 4. THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYL CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.

SILT FENCE
 N.T.S.



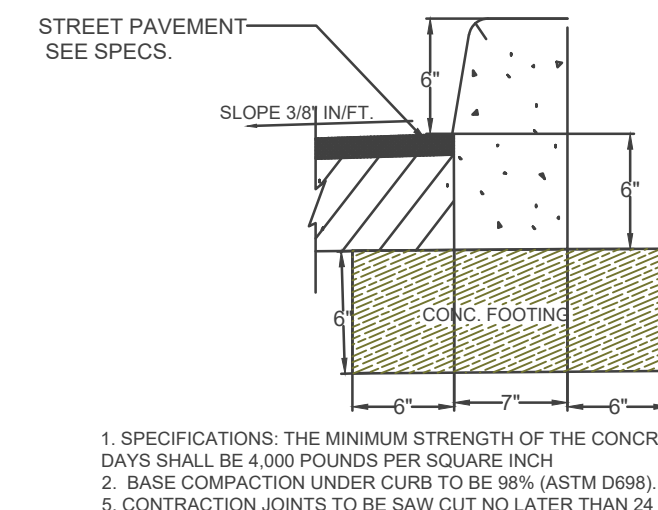
NOTES:
 1. STONE SIZE - USE 2" STONE.
 2. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 3. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 4. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 5. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 6. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 7. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.



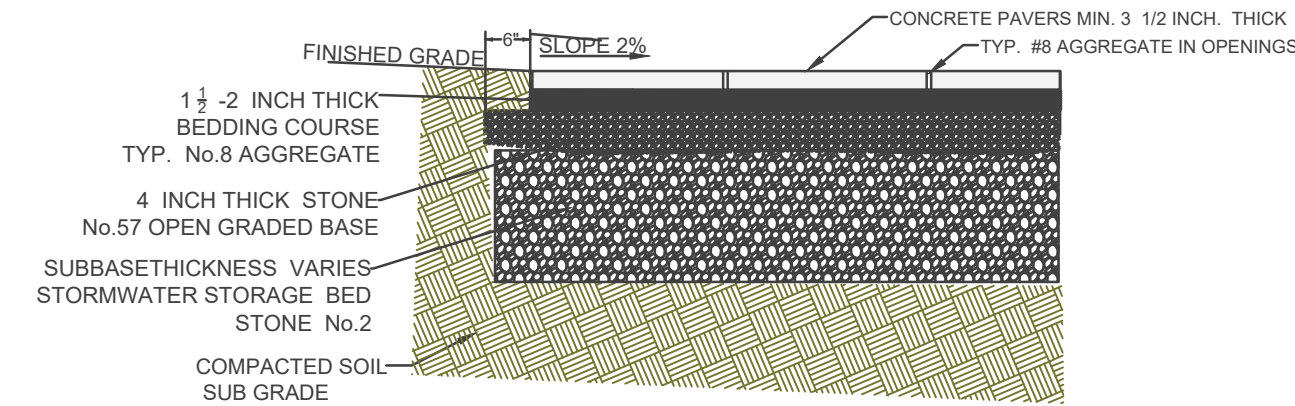
NOTES:
 1. USE PRECAST CONCRETE OR EQUAL H-20 LOADING
 2. 24 INCH SUMP WHEN SHOWN ON THE SITE PLAN

CATCH BASIN
 N.T.S.



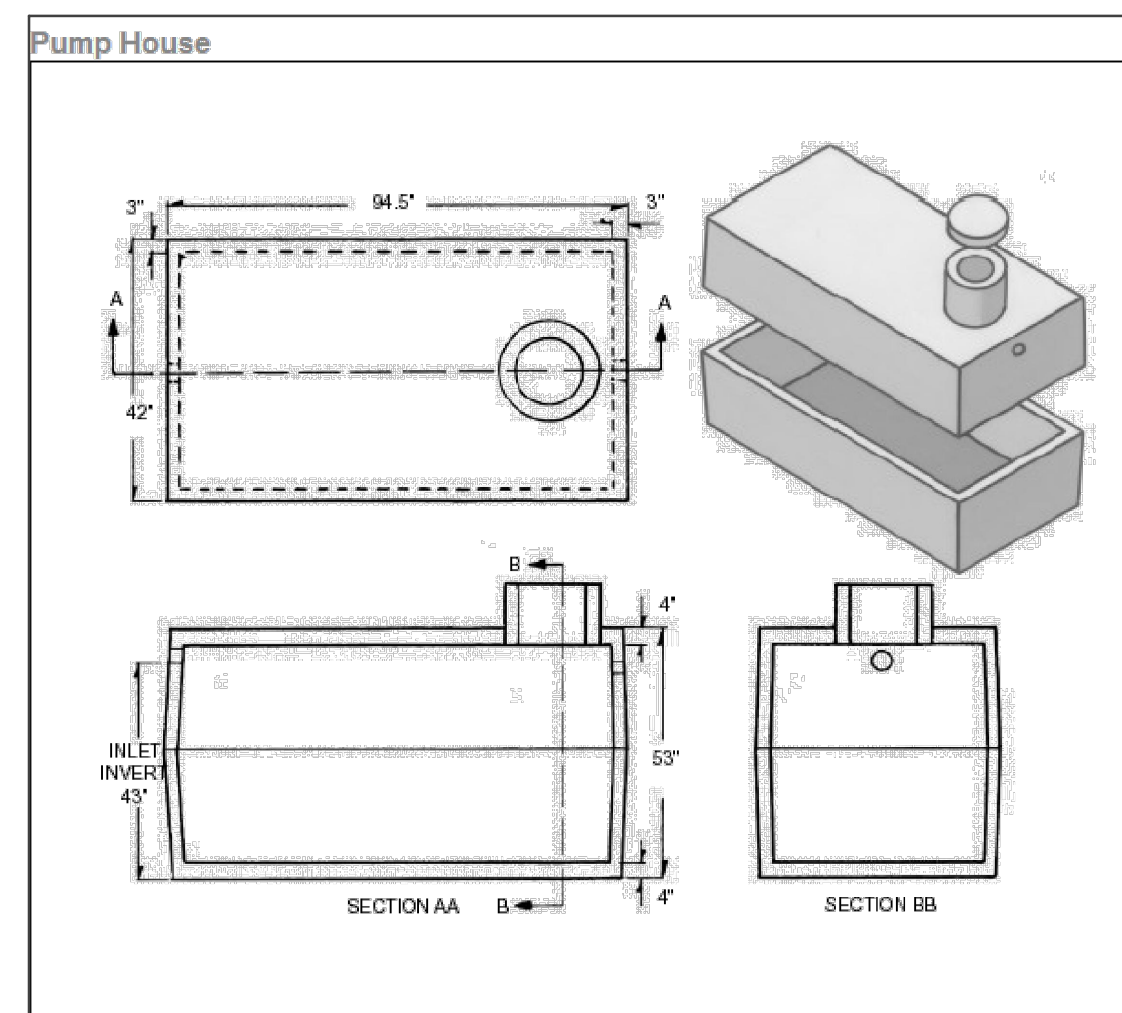
1. SPECIFICATIONS: THE MINIMUM STRENGTH OF THE CONCRETE AFTER 28 DAYS SHALL BE 4,000 POUNDS PER SQUARE INCH
 2. BASE COMPACTION UNDER CURB TO BE 98% (ASTM D698)
 3. CONTRACTION JOINTS TO BE SAW CUT NO LATER THAN 24 HOURS AFTER THE POUR.

CURB
 N.T.S.

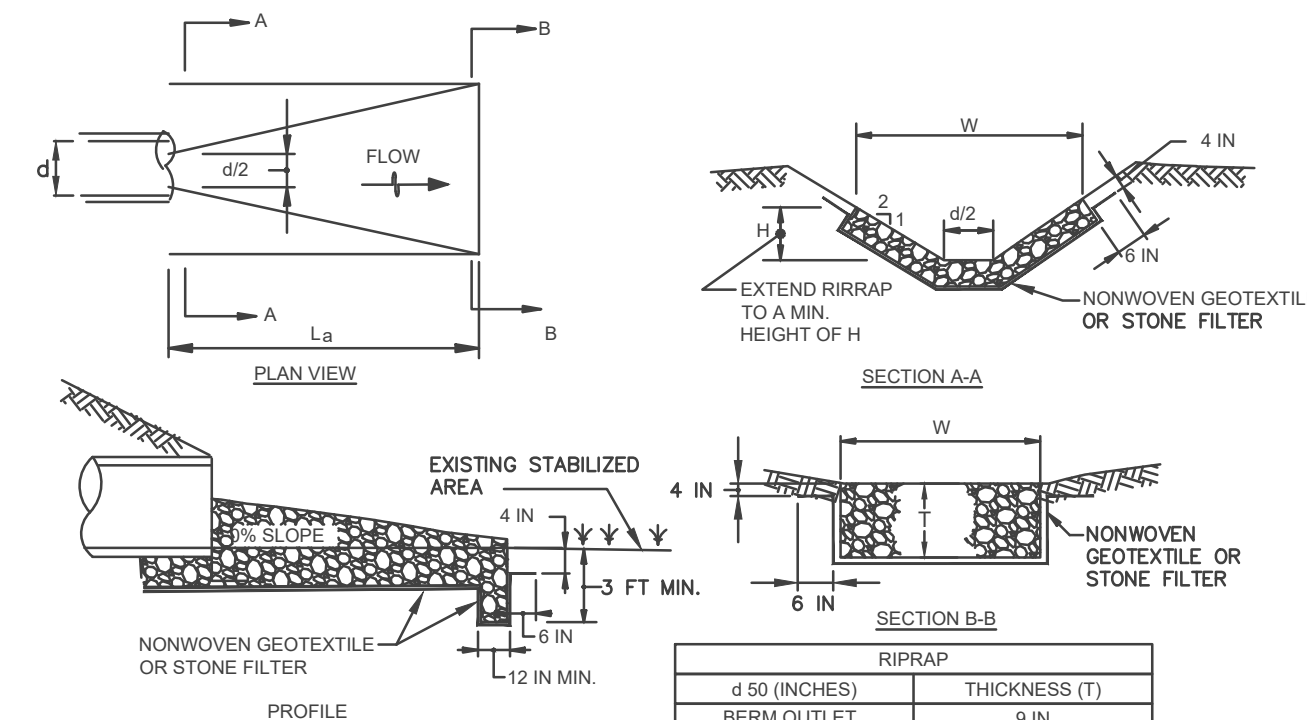


STORAGE BED DRAIN TIME:
 THE APPROXIMATE DRAIN TIME FOR THE MAXIMUM DESIGN STORM RUNOFF VOLUME BELOW THE TOP OF THE SURFACE COURSE IS 24 HR.
 • IF THE ACTUAL DRAIN TIME IS SIGNIFICANTLY DIFFERENT FROM THE DESIGN DRAIN TIME, THE COMPONENTS AND GROUNDWATER LEVELS MUST BE EVALUATED AND APPROPRIATE MEASURES TAKEN TO RETURN THE PERVIOUS PAVING SYSTEM TO MINIMUM AND MAXIMUM DRAIN TIME REQUIREMENTS.
 • IF THE SYSTEM FAILS TO DRAIN THE MAXIMUM DESIGN STORM VOLUME WITHIN 72 HOURS, CORRECTIVE ACTION MUST BE TAKEN.

PERVIOUS PAVERS
 N.T.S.



1,500 PRECAST CONCRETE PUMP CHAMBER
 N.T.S.

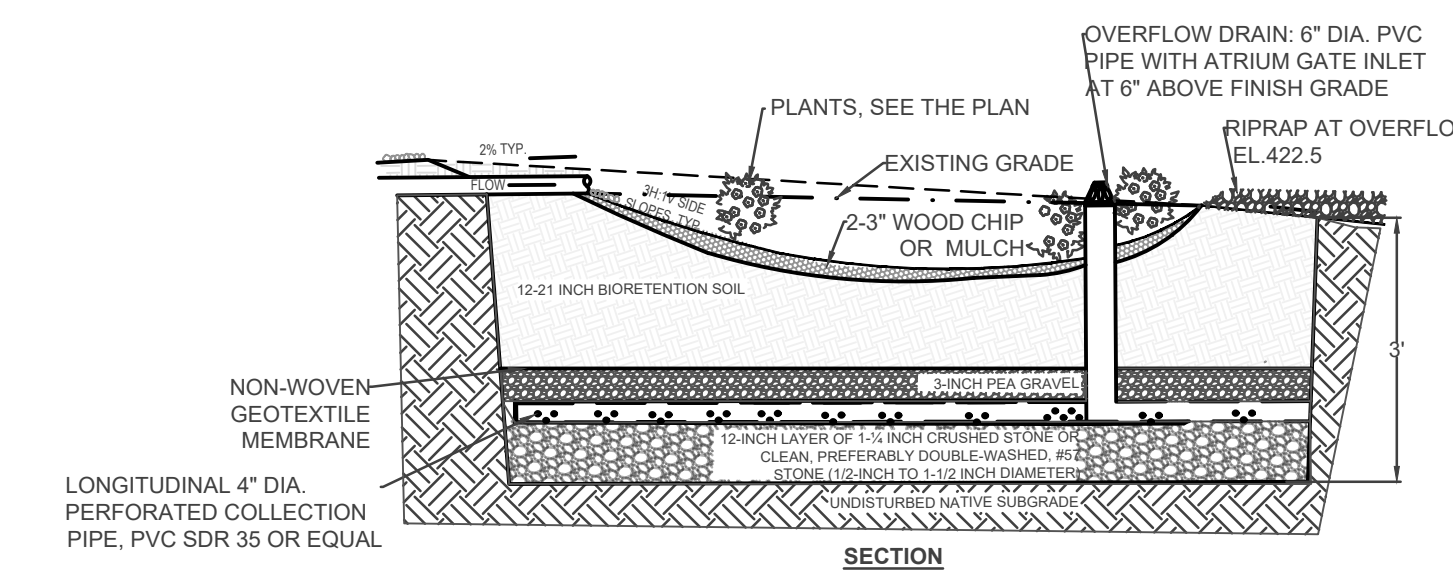


CONSTRUCTION SPECIFICATIONS

RIPRAP	THICKNESS (T)
6" (INCHES)	9 IN
8" (INCHES)	14 IN

- $d_{95} \geq 3 N$; $L_a = 4FT$
- USE NONWOVEN GEOTEXTILE, AND PROTECT FROM PUNCTURING, CUTTING, OR TEARING. REPAIR ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. PROVIDE A MINIMUM OF ONE FOOT OVERLAP FOR ALL REPAIRS AND FOR JOINING TWO PIECES OF GEOTEXTILE TOGETHER.
- PREPARE THE SUBGRADE FOR GEOTEXTILE OR STONE FILTER (1/2 TO 1/2 INCH MINIMUM STONE FOR 6 INCH MINIMUM DEPTH) AND RIPRAP TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- EXTEND GEOTEXTILE AT LEAST 6 INCHES BEYOND EDGES OF RIPRAP AND EMBED AT LEAST 4 INCHES AT SIDES OF RIPRAP.
- CONSTRUCT RIPRAP OUTLET TO FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. PLACE STONE FOR RIPRAP OUTLET IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. PLACE RIPRAP IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACE TO THE EXTENT NECESSARY.
- WHERE NO ENDWALL IS USED, CONSTRUCT THE UPSTREAM END OF THE APRON SO THAT THE WIDTH IS TWO TIMES THE DIAMETER OF THE OUTLET PIPE, AND EXTEND THE STONE UNDER THE OUTLET BY A MINIMUM OF 18 INCHES.
- CONSTRUCT APRON WITH 0% SLOPE ALONG ITS LENGTH AND WITHOUT OBSTRUCTIONS. PLACE STONE SO THAT IT BLENDS IN WITH EXISTING GROUND.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. KEEP OUTLET FREE OF EROSION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. AFTER HIGH FLOWS INSPECT FOR SCOUR AND RIPRAP DISLOADED RIPRAP. MAKE NECESSARY REPAIRS IMMEDIATELY.

TYPICAL RIPRAP OUTLET PROTECTION
 N.T.S.



GENERAL NOTES
 1. THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND THE INSTALLATION OF THE VARIOUS COMPONENTS OF THE BIORETENTION SYSTEM (SOIL MIXTURE, PEA STONE LAYER).
 2. A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER THE CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED INTO THE BIORETENTION SYSTEM.
TESTING THE BIORETENTION SOIL MIX PRIOR TO PLACEMENT
 1. THE BIORETENTION SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE AN OBSTACLE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE BIORETENTION SOIL SHALL BE FREE OF NOXIOUS WEEDS. THE BIORETENTION SOIL MIX SHALL BE TESTED PRIOR TO PLACEMENT ACCORDING TO THE DRAINAGE MANUAL SPECIFICATIONS, INCLUDING SOIL TEXTURAL ANALYSIS AND PHOSPHOROUS INDEX OR TOTAL PHOSPHOROUS TEST).
 2. THE DESIGN ENGINEER SHALL CERTIFY THAT THE BIORETENTION SOIL MIX MEETS THE SPECIFICATIONS IN THE PREVIOUS SECTION BASED ON SOIL TESTING RESULTS. FOR PRE-MIXED BIORETENTION SOILS AVAILABLE FROM VENDORS, THE MIX SHALL FIRST BE APPROVED BY THE TOWN AS MEETING THE SPECIFICATIONS.
MONITORING THE BIORETENTION SYSTEM AFTER CONSTRUCTION
 1. FOLLOWING CONSTRUCTION, THE BIORETENTION SYSTEM SHALL BE MONITORED TO VERIFY THAT THE SYSTEM WAS CONSTRUCTED AND FUNCTIONS AS DESIGNED. THE POST-CONSTRUCTION MONITORING SHALL CONSIST OF VISUAL OBSERVATION OF THE BIORETENTION SYSTEM AFTER A STORM EVENT THAT RESULTS IN AT LEAST 5 INCHES OF PONDING IN THE BIORETENTION AREA. IF THE DRAWDOWN TIME INDICATES A FLOW RATE OF LESS THAN 5 INCHES PER HOUR, THE BIORETENTION SOIL SHOULD BE REMOVED AND REPLACED.

STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.

General Notes

OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT PRACTICES:

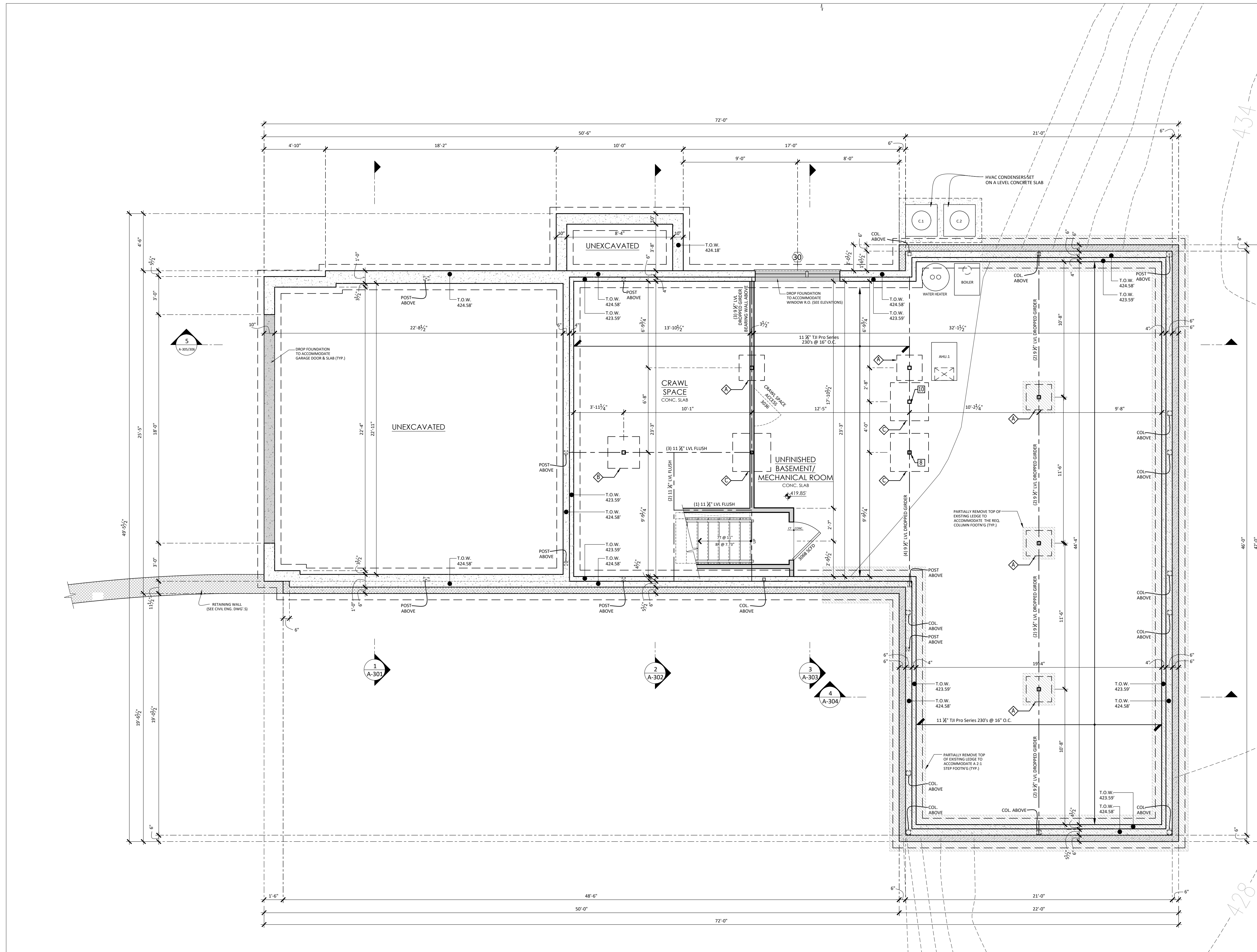
- Catch Basins & Drainage Inlets:**
 - Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediment at the completion of construction.
 - For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
 - Any accumulated debris within the catch basins/inlets shall be removed and any repairs as required.
 - From the second year on-out, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
 - Accumulated sediments shall be removed at which time they are within 12 inches of the invert of the outlet pipe.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Storm Drainage Piping and Clean-outs:**
 - All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
 - Clean outs shall be inspected and repaired on an annual basis.
 - If system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall be performed.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Infiltration Systems:**
 - All infiltrators shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
 - For the first year, infiltrators shall be inspected on a quarterly basis.
 - Any accumulated debris within the infiltrators shall be removed and any repairs made to the units as required.
 - From the second year on-out, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the units shall be removed and repairs made as required.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Disposal of Debris and Sediment:**
 - All debris and sediment removed from the stormwater structures shall be disposed of legally. There shall be no dumping of silt or debris into or in proximity to any inland or tidal wetlands.
- Maintenance Records:**
 - The Owner(s) must maintain all records (logs, invoices, reports, data, etc.) and have them readily available for inspection at all times.

No.	Revision/Issue	Date

Firm Name and Address
TJ ENGINEERING LLC
 117 MAMANASCO RD.
 RIDGEFIELD, CT 06877
 INFO@TJENGINEERING.US
 TEL: # 203-249-5755

Project Name and Address
STORMWATER MANAGEMENT AND S&E CONTROL DETAILS
 1102 GAMBELLI DRIVE
 YORKTOWN HEIGHTS, NY 10598
 OWNER: GREGG CHAPPELL & EMILY YAVITZ
 70 HUDSON WATCH DR.
 OSSINING, NY 10562

Project	Sheet
Date 02.14.22	2 of 2
Scale 1"=20'	



FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	SELF CLOSING FIRE RATED DOOR
	TO MATCH EXISTING

ISSUES:

SUBMITTED FOR PERMIT	10.15.21
REV. 1: DOB COMMENTS	02.11.22

DRAWING STATUS:

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

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1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

POST & COLUMN LEGEND

TAG	MAT'L	SIZE	TAG	MAT'L	SIZE	TAG	MAT'L	SIZE
1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x1/2" HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x3/8" HSS
3	D.F.	6x6	7	STL	5x5x3/8" HSS	11		
4	P.S.L.	4x4	8	STL	4x4x1/2" HSS	12		

FOOTING KEY

TAG	SIZE
A	24"x24"x12"
B	30"x30"x15"
C	36"x36"x16"

HANGER KEY

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x3/8" STL ANGLES @ 11 1/2" LONG W/ 1/2" THROUGH BOLTS EA. LEG TO SUPPORT DEL. LVL.

NEW SINGLE-FAMILY DWELLING FOR:
GREGG T. CHAPPELL & EMILY YAVITZ
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

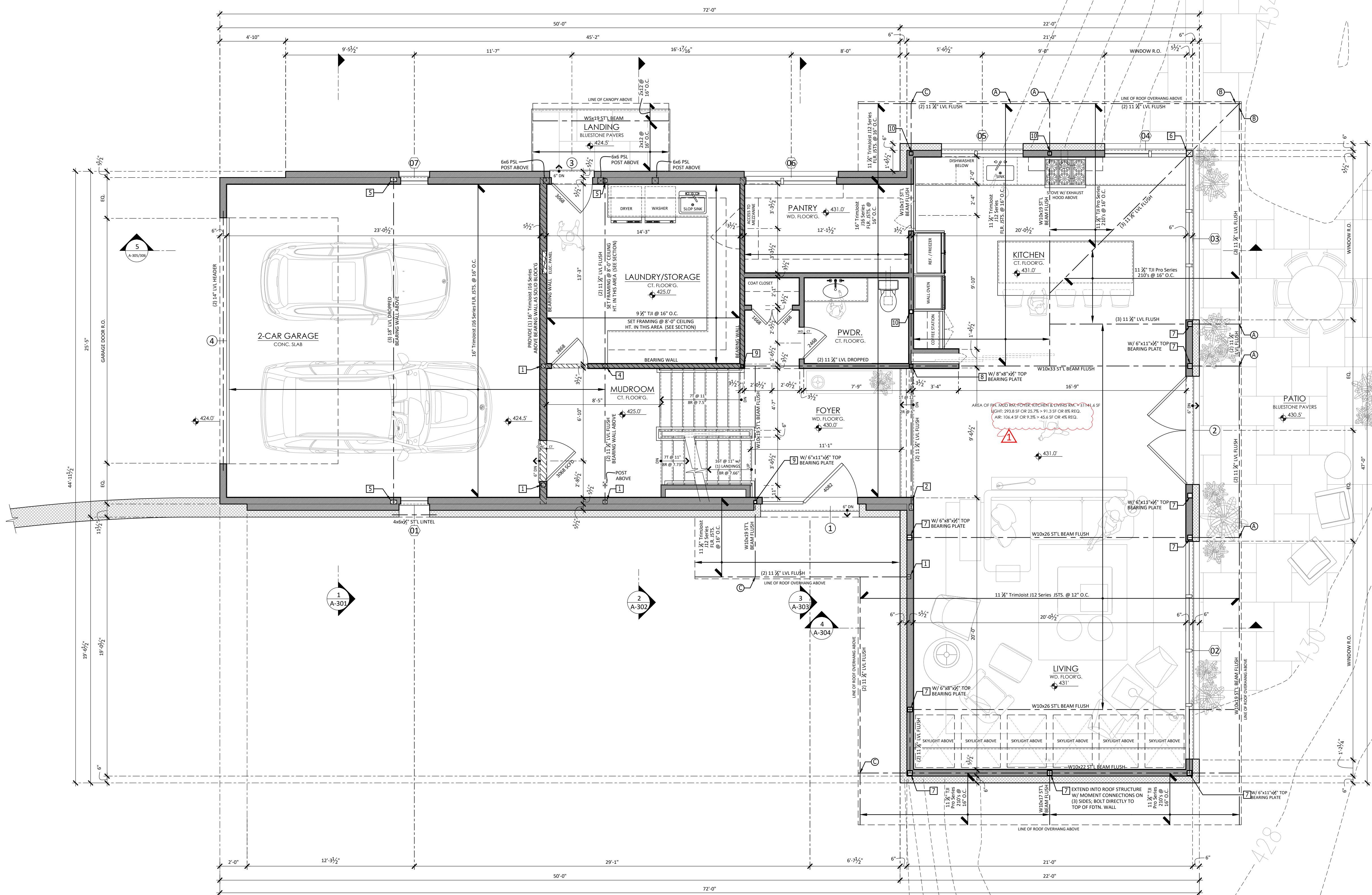
BASEMENT PLAN

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DATE:	03.08.21
Sheet	

A-101



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	S.C.F.D. SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

ISSUES:

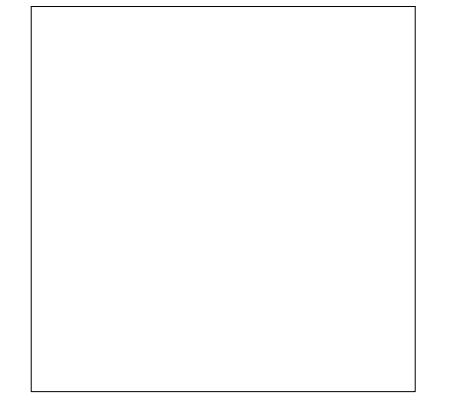
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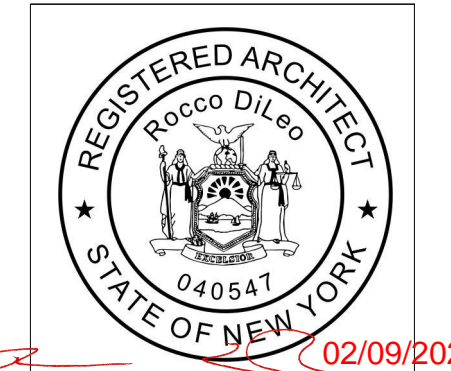
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NEW SINGLE-FAMILY DWELLING FOR:
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A-102

POST & COLUMN LEGEND

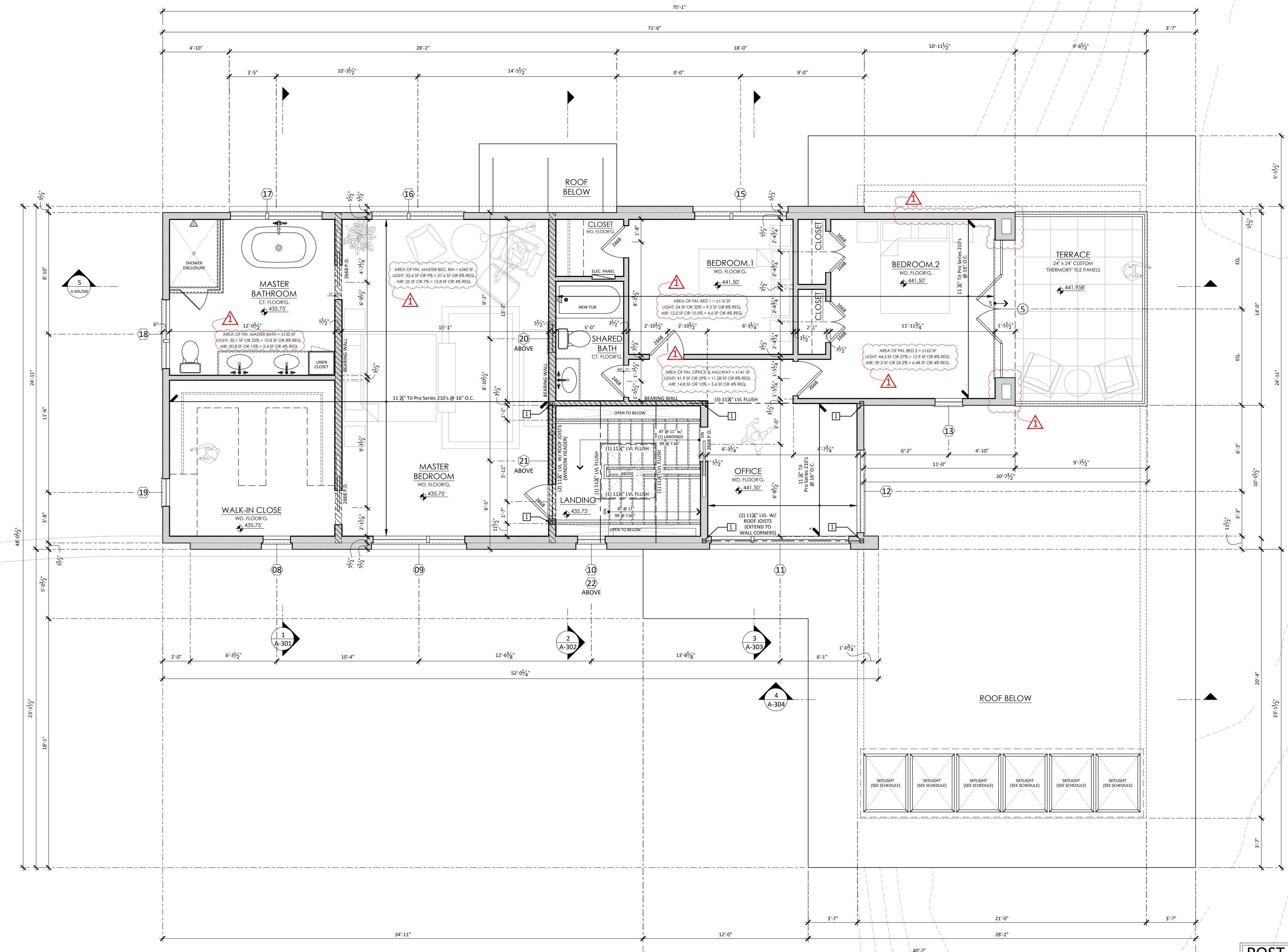
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2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x $\frac{3}{8}$ " HSS
3	D.F.	6x6	7	STL	5x5x $\frac{3}{8}$ " HSS	11		
4	P.S.L.	4x4	8	STL	4x4x $\frac{1}{2}$ " HSS	12		

FOOTING KEY

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B	30"x30"x15"	B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	36"x36"x16"	C	(2) 4x4x $\frac{3}{8}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONG W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL

HANGER KEY

TAG	DESCRIPTION
A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x $\frac{3}{8}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONG W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
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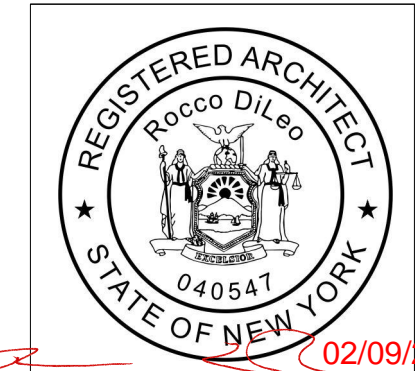
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NEW SINGLE-FAMILY DWELLING FOR:
GREGG T. CHAPPELL & EMILY YAVITZ
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

SECOND FLOOR PLAN

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Sheet

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POST & COLUMN LEGEND

TAG	MAT'L	SIZE	TAG	MAT'L	SIZE	TAG	MAT'L	SIZE
1	D.F.	4x4	5	P.S.L.	4x6	9	STL	3x3x $\frac{1}{2}$ " HSS
2	D.F.	4x6	6	P.S.L.	6x6	10	STL	4x4x $\frac{3}{8}$ " HSS
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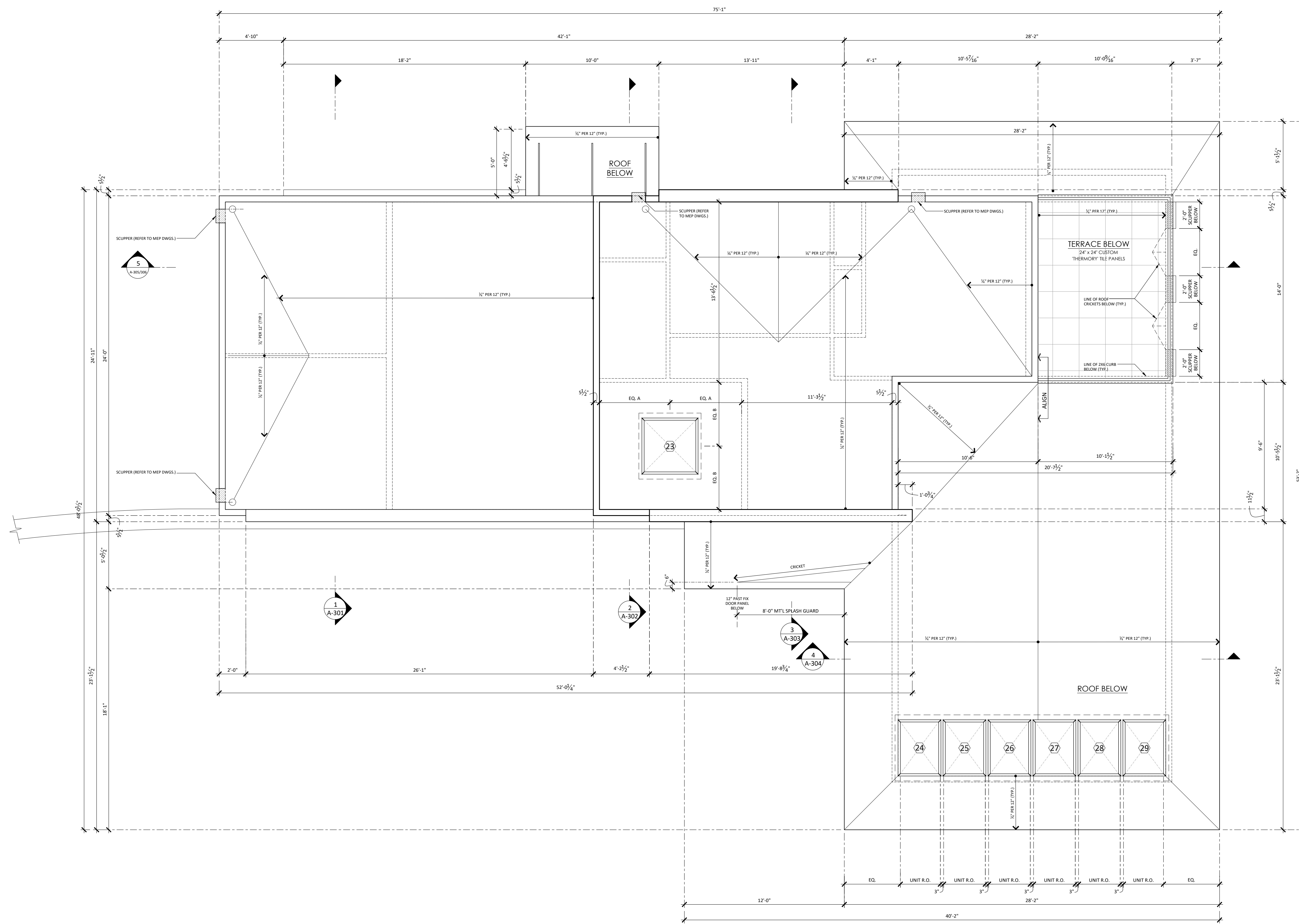
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A	SIMPSON HUCQ412-SDS CONCEALED FLANGE
B	SIMPSON SUR/LC410 SKEWED CONCEALED FLANGE
C	(2) 4x4x $\frac{3}{8}$ " STL ANGLES @ 11 $\frac{1}{2}$ " LONGL W/ $\frac{1}{2}$ " THROUGH BOLTS EA. LEG TO SUPPORT DEL LVL

02/09/2022



FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL & FOOTING
	EXISTING PARTITION
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	DEMOLITION LINE
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	INTERIOR ELEVATION KEY
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	INTERIOR DOOR DENOTATION
	INTERIOR FINISH DENOTATION
	PLUMBING FIXTURES DENOTATION
	ROOM/SPACE DENOTATION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)
	SELF CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

ISSUES:

SUBMITTED FOR PERMIT	10.15.21
REV. 1: DOB COMMENTS	02.11.22

DRAWING STATUS:

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PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
HOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	

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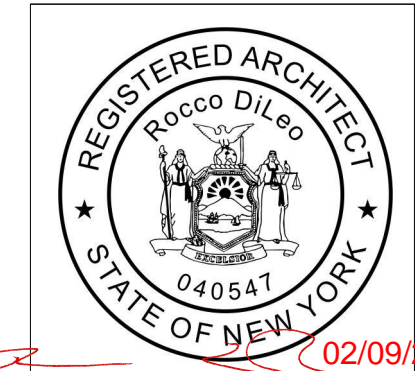
303 Westchester Ave - 4th Floor - New York, NY 10023
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NEW SINGLE-FAMILY DWELLING FOR:
GREGG T. CHAPPELL & EMILY YAVITZ
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598

SECOND FLOOR PLAN

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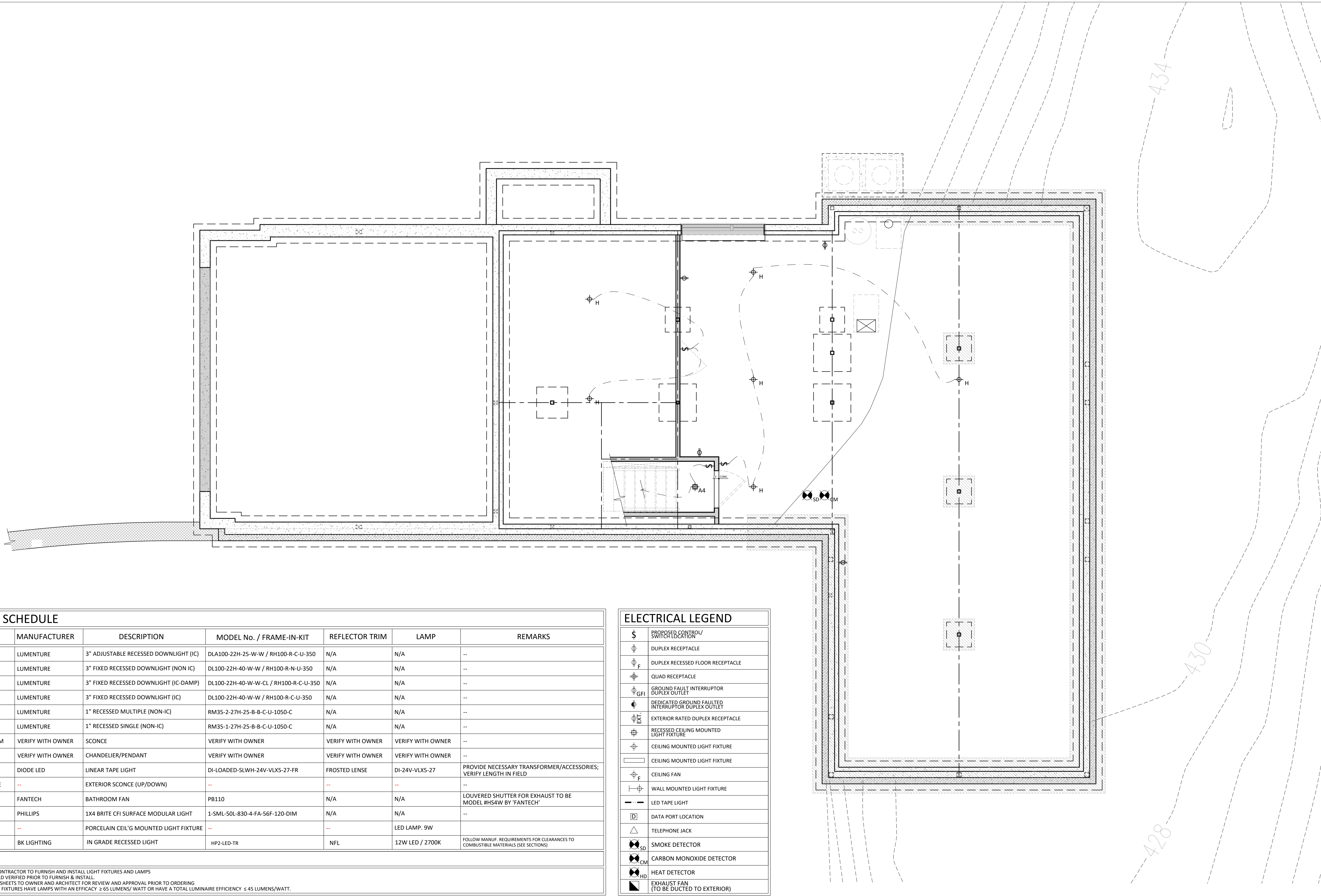


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A-104

1 ROOF PLAN
A-104 SCALE: 1/4" = 1'-0"



LIGHT FIXTURE SCHEDULE							
MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON-IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

ELECTRICAL LEGEND	
	SUPPORTED CONTROL SWITCH
	DUPLEX RECEPTACLE
	DUPLEX RECESSED FLOOR RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT INTERRUPTOR DUPLEX OUTLET
	DEDICATED GROUND FAULTED INTERRUPTOR DUPLEX OUTLET
	EXTERIOR RATED DUPLEX RECEPTACLE
	RECESSED CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	CEILING FAN
	WALL MOUNTED LIGHT FIXTURE
	LED TAPE LIGHT
	DATA PORT LOCATION
	TELEPHONE JACK
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

NOTES:
 1. UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS
 2. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.
 3. CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING
 4. 80% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

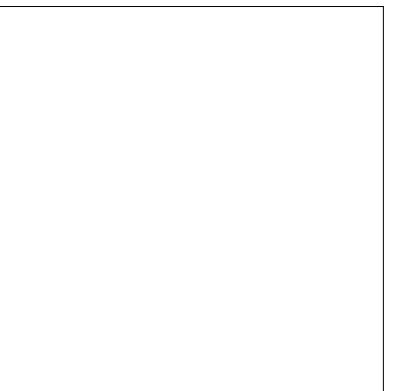
1 BASEMENT REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

ISSUES:	
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REV. 1: DOB COMMENTS	02.11.22

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BASEMENT RCP

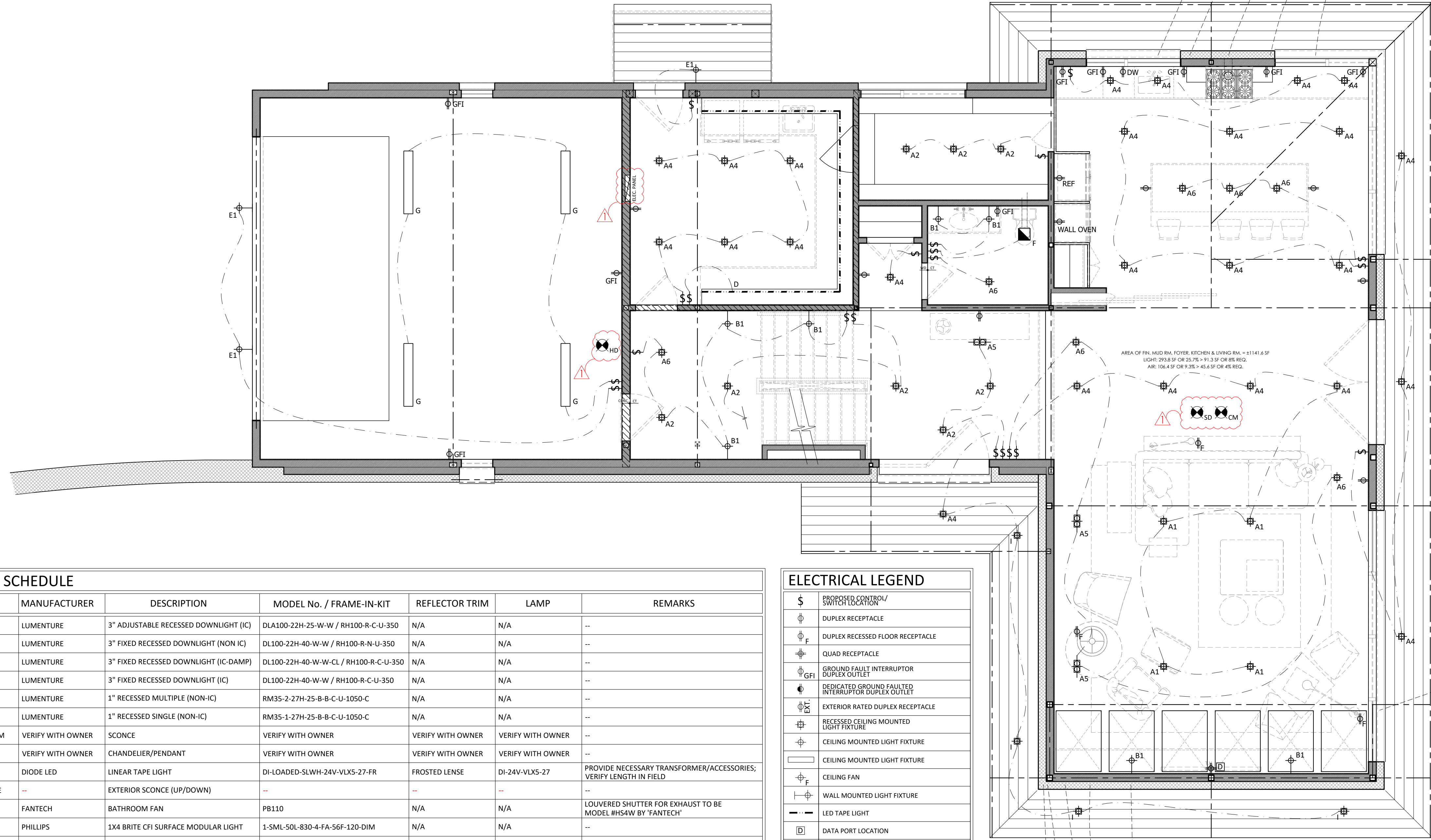
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02/09/2022



LIGHT FIXTURE SCHEDULE

MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

NOTES:

- UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS
- ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.
- CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING
- 50% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

ELECTRICAL LEGEND

- S SWITCHED CONTROL
- ⊕ DUPLEX RECEPTACLE
- ⊕ DUPLEX RECESSED FLOOR RECEPTACLE
- ⊕ QUAD RECEPTACLE
- ⊕ GFI GROUND FAULT INTERRUPTOR
- ⊕ GFI DUPLEX OUTLET
- ⊕ EXT EXTERIOR RATED DUPLEX RECEPTACLE
- ⊕ RECESSED CEILING MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ CEILING FAN
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ LED TAPE LIGHT
- ⊕ DATA PORT LOCATION
- ⊕ TELEPHONE JACK
- ⊕ SMOKE DETECTOR
- ⊕ CM CARBON MONOXIDE DETECTOR
- ⊕ HEAT DETECTOR
- ⊕ EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

ISSUES:

SUBMITTED FOR PERMIT	10.15.21
REV.1: DOB COMMENTS	02.11.22

DRAWING STATUS:

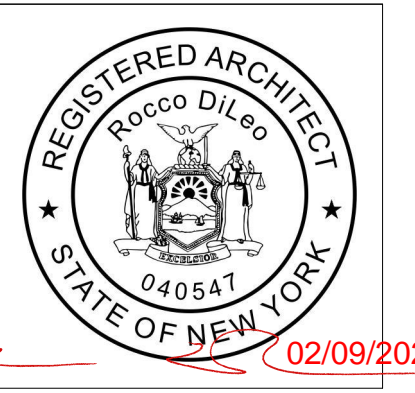
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NEW SINGLE-FAMILY DWELLING FOR:
GREGG T. CHAPPELL & EMILY YAVITZ
 1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598
 FIRST FLOOR RCP

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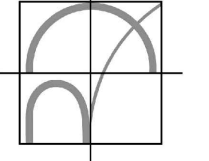
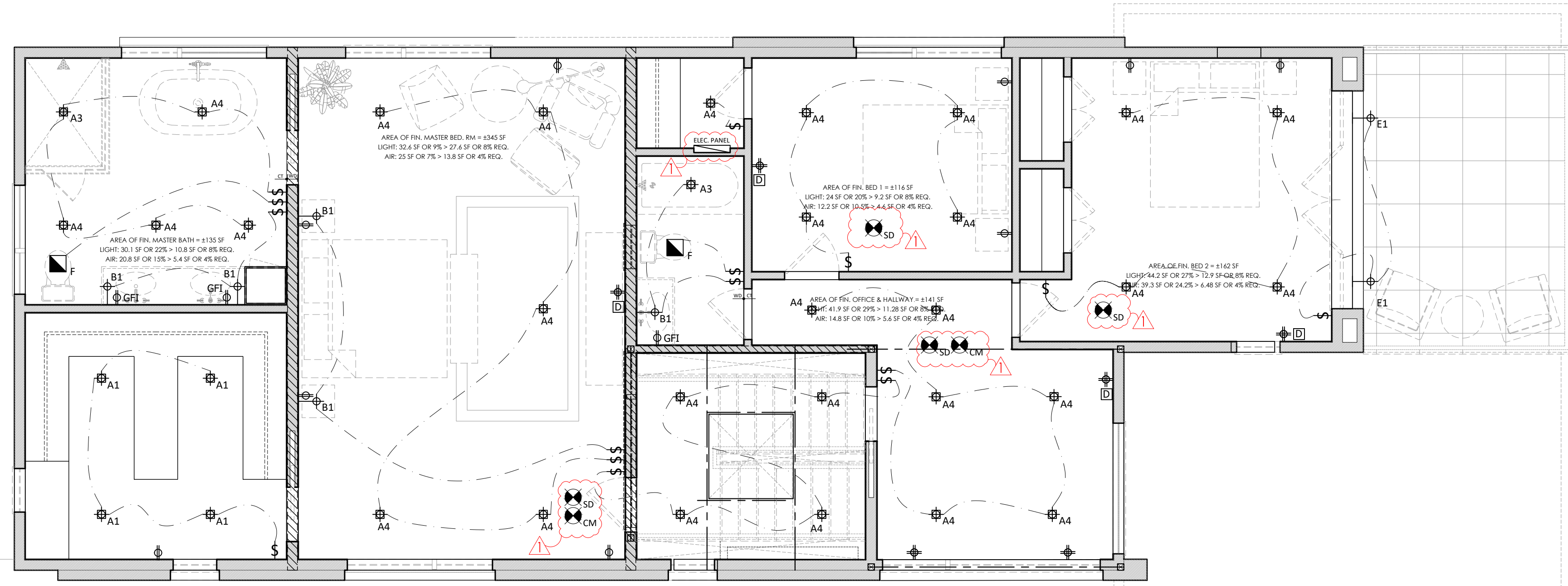
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LIGHT FIXTURE SCHEDULE

MARK	ROOM NAME	MANUFACTURER	DESCRIPTION	MODEL No. / FRAME-IN-KIT	REFLECTOR TRIM	LAMP	REMARKS
A1	VARIABLES	LUMENTURE	3" ADJUSTABLE RECESSED DOWNLIGHT (IC)	DLA100-22H-25-W-W / RH100-R-C-U-350	N/A	N/A	--
A2	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (NON-IC)	DL100-22H-40-W-W / RH100-R-N-U-350	N/A	N/A	--
A3	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC-DAMP)	DL100-22H-40-W-W-CL / RH100-R-C-U-350	N/A	N/A	--
A4	VARIABLES	LUMENTURE	3" FIXED RECESSED DOWNLIGHT (IC)	DL100-22H-40-W-W / RH100-R-C-U-350	N/A	N/A	--
A5	VARIABLES	LUMENTURE	1" RECESSED MULTIPLE (NON-IC)	RM35-2-27H-25-B-B-C-U-1050-C	N/A	N/A	--
A6	VARIABLES	LUMENTURE	1" RECESSED SINGLE (NON-IC)	RM35-1-27H-25-B-B-C-U-1050-C	N/A	N/A	--
B1	MASTER BATHROOM	VERIFY WITH OWNER	SCONCE	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
C1	MASTER BEDROOM	VERIFY WITH OWNER	CHANDELIER/PENDANT	VERIFY WITH OWNER	VERIFY WITH OWNER	VERIFY WITH OWNER	--
D	KITCHEN	DIODE LED	LINEAR TAPE LIGHT	DI-LOADED-SLWH-24V-VLX5-27-FR	FROSTED LENSE	DI-24V-VLX5-27	PROVIDE NECESSARY TRANSFORMER/ACCESSORIES; VERIFY LENGTH IN FIELD
E1	EXTERIOR - GARAGE	--	EXTERIOR SCONCE (UP/DOWN)	--	--	--	--
F	VARIABLES	FANTECH	BATHROOM FAN	PB110	N/A	N/A	LOUVERED SHUTTER FOR EXHAUST TO BE MODEL #HS4W BY 'FANTECH'
G	GARAGE	PHILLIPS	1X4 BRITE CFI SURFACE MODULAR LIGHT	1-SML-50L-830-4-FA-56F-120-DIM	N/A	N/A	--
H	BASEMENT	--	PORCELAIN CEIL'G MOUNTED LIGHT FIXTURE	--	--	LED LAMP .9W	--
I	EXTERIOR	BK LIGHTING	IN GRADE RECESSED LIGHT	HP2-LED-TR	NFL	12W LED / 2700K	FOLLOW MANUF. REQUIREMENTS FOR CLEARANCES TO COMBUSTIBLE MATERIALS (SEE SECTIONS)

- NOTES:**
- UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL LIGHT FIXTURES AND LAMPS
 - ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FURNISH & INSTALL.
 - CONTRACTOR TO SUBMIT CUT-SHEETS TO OWNER AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING
 - 50% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY ≥ 65 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICIENCY ≤ 45 LUMENS/WATT.

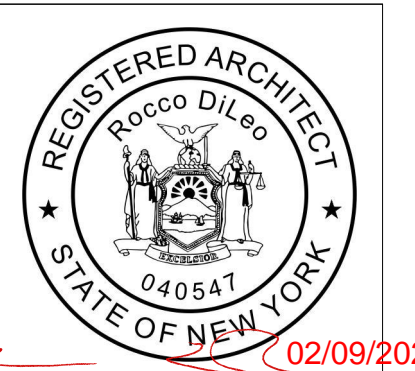
ELECTRICAL LEGEND

\$	PROPOSED CONTROL / SWITCH LOCATION
⊕	DUPLEX RECEPTACLE
⊕	DUPLEX RECESSED FLOOR RECEPTACLE
⊕	QUAD RECEPTACLE
⊕ GF	GROUND FAULT INTERRUPTOR DUPLEX OUTLET
⊕ EXT	EXTERIOR RATED DUPLEX RECEPTACLE
⊕	RECESSED CEILING MOUNTED LIGHT FIXTURE
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕	CEILING FAN
⊕	WALL MOUNTED LIGHT FIXTURE
—	LED TAPE LIGHT
⊕	DATA PORT LOCATION
⊕	TELEPHONE JACK
SD	SMOKE DETECTOR
CM	CARBON MONOXIDE DETECTOR
HD	HEAT DETECTOR
HD	EXHAUST FAN (TO BE DUCTED TO EXTERIOR)

1 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

NEW SINGLE-FAMILY DWELLING FOR:
GREGG T. CHAPPELL & EMILY YAVITZ
 1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598
 SECOND FLOOR RCP

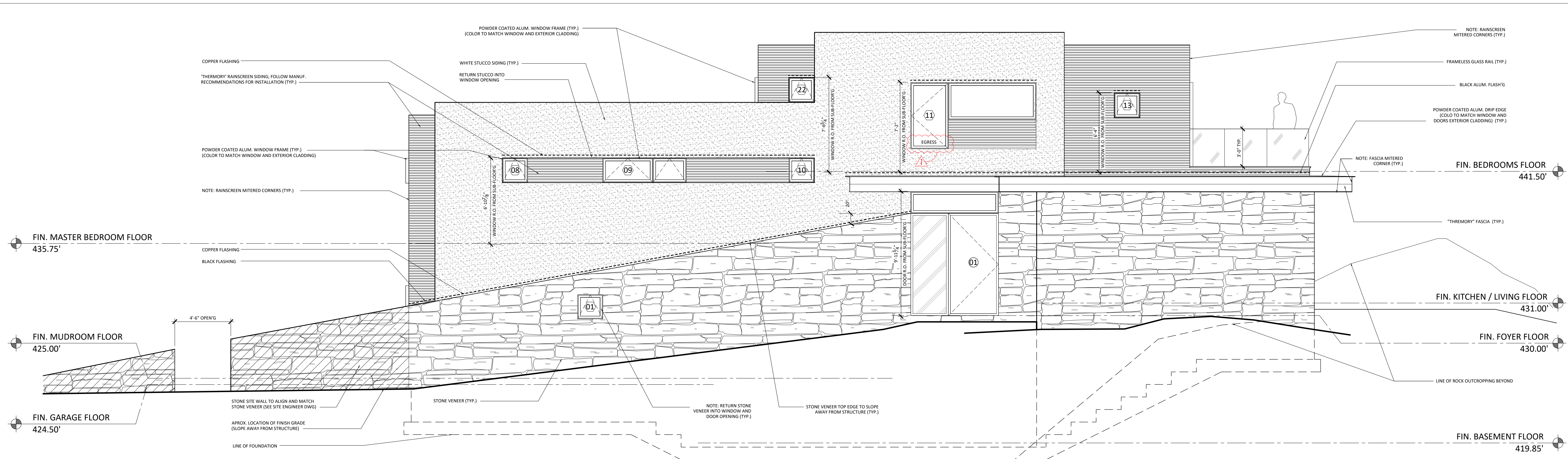
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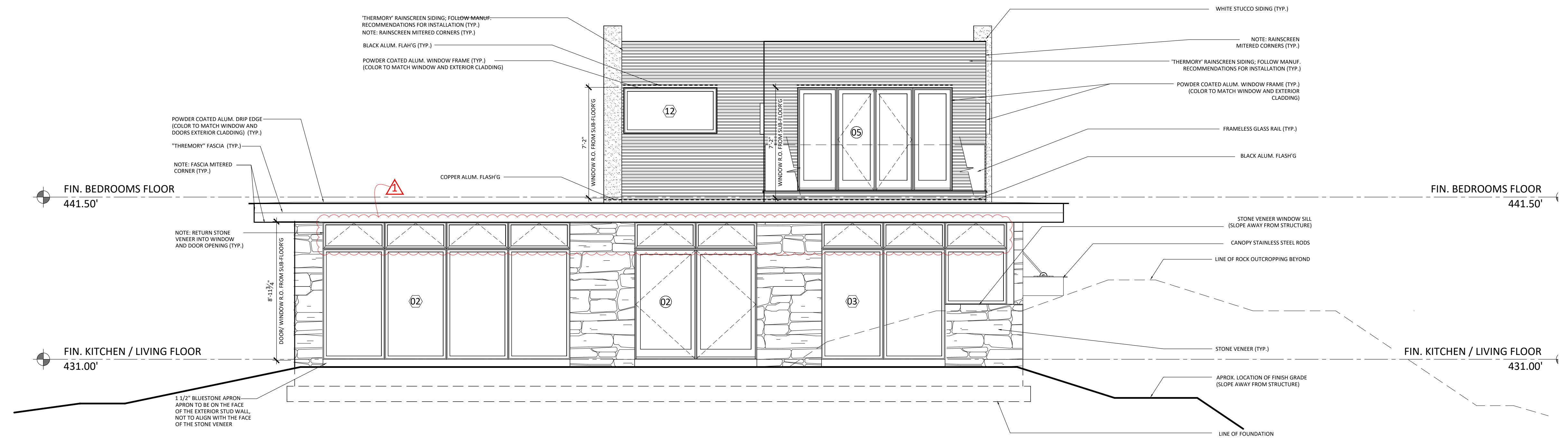
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A-107

02/09/2022



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ISSUES:

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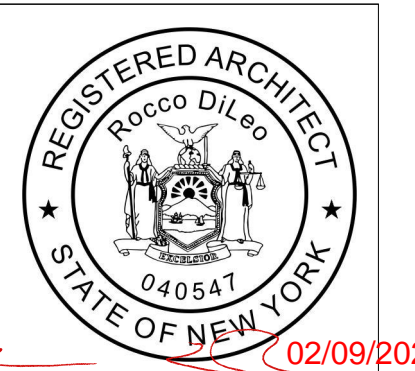
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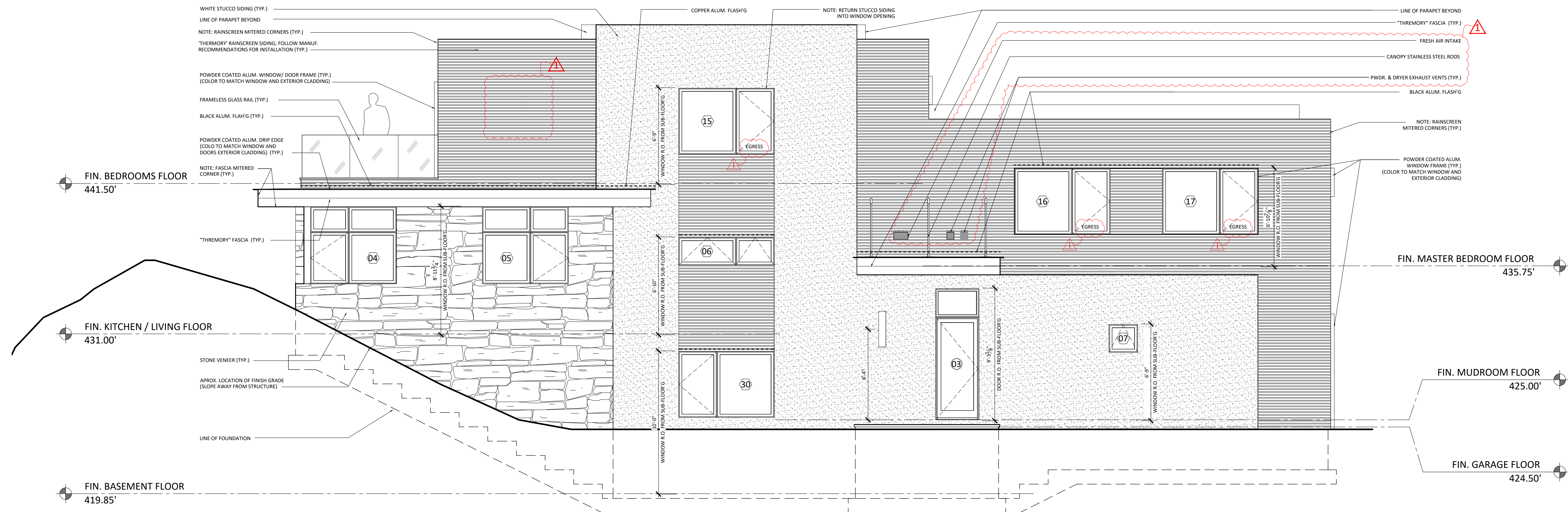
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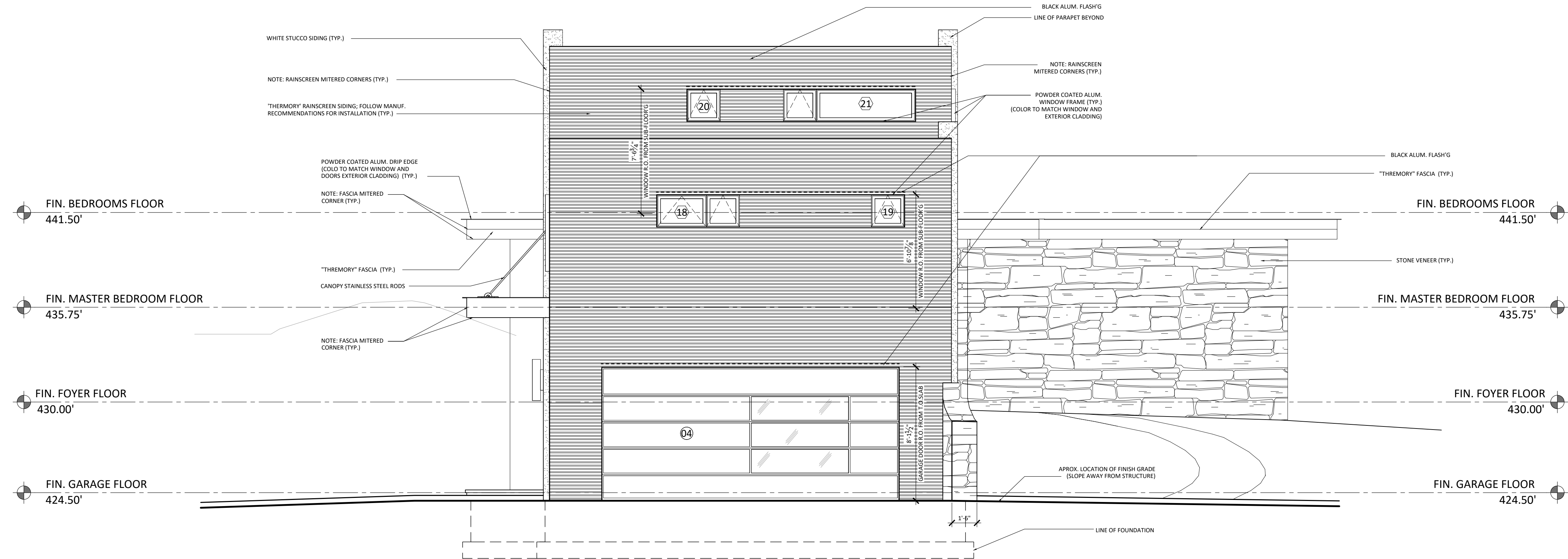
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A-201



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

ISSUES:

SUBMITTED FOR PERMIT	10.15.21
REV. 1: DOB COMMENTS	02.11.22

DRAWING STATUS:

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
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CONSTRUCTION DRAWINGS	

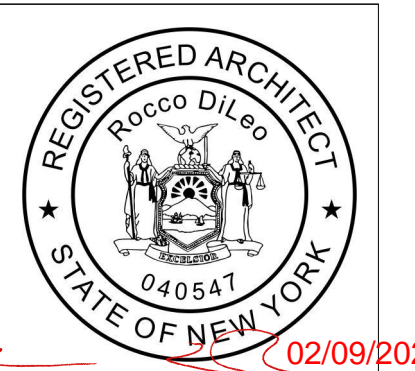
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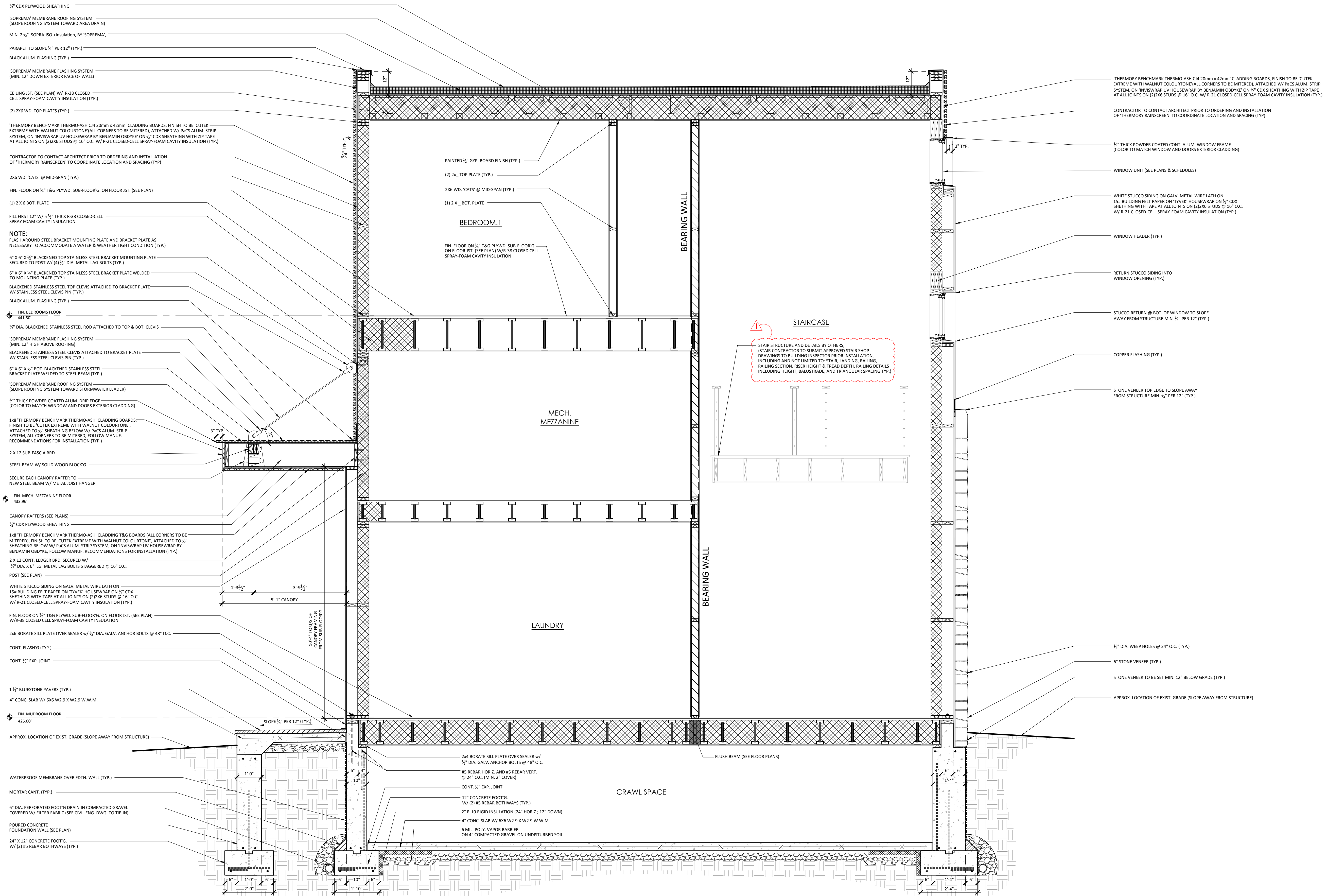
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A-202



1 CROSS-SECTION.2
A-302 SCALE: 1/2" = 1'-0"

ISSUES:

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DRAWING STATUS:

EXISTING CONDITIONS	
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CONTRACT DRAWINGS	
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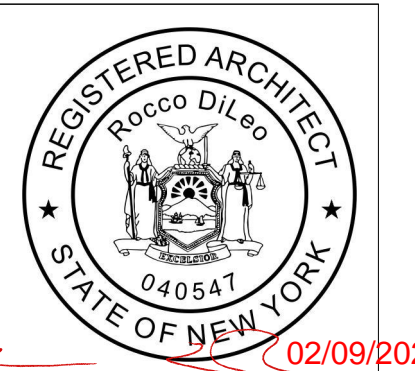
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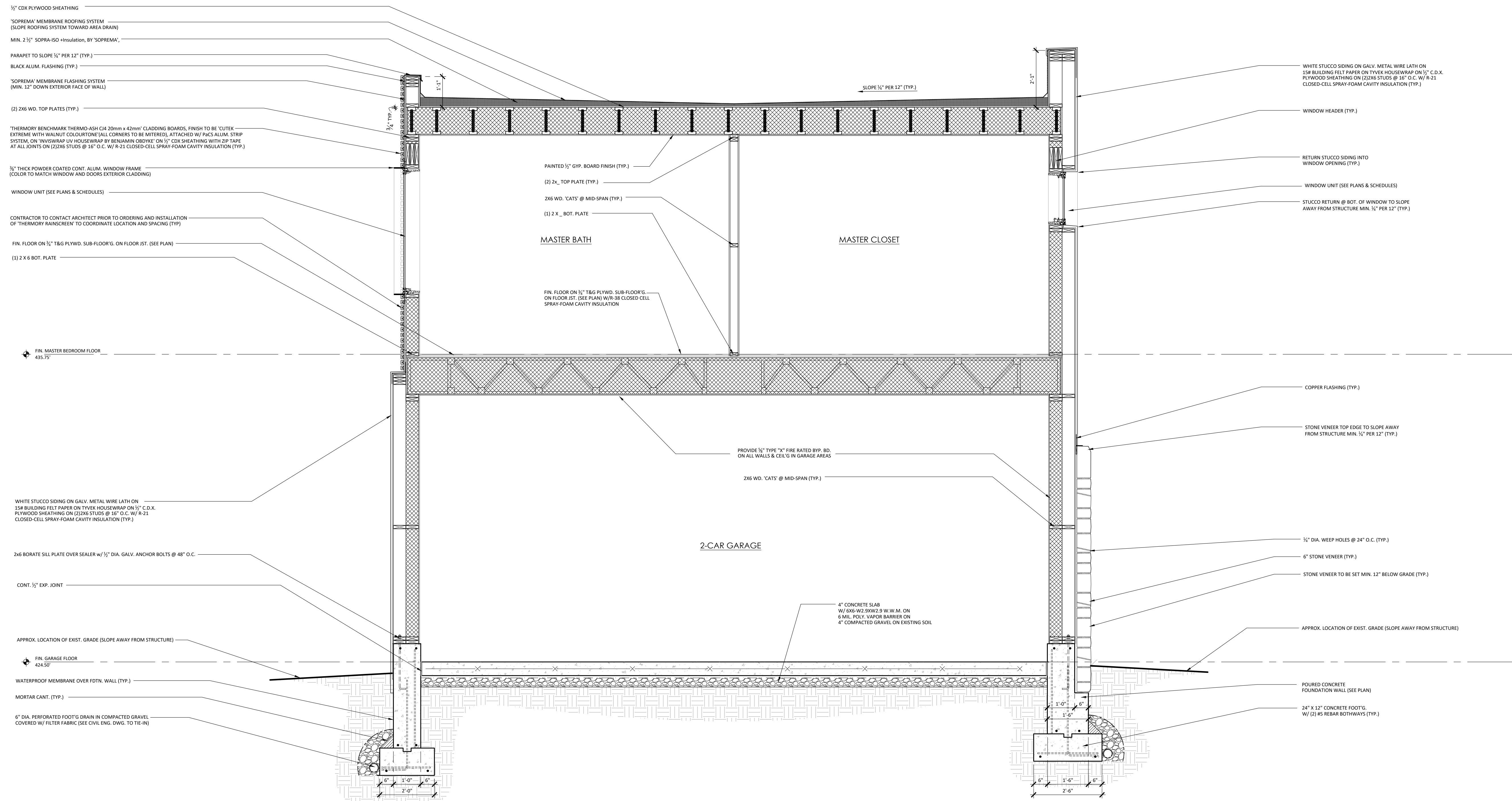
CROSS-SECTIONS

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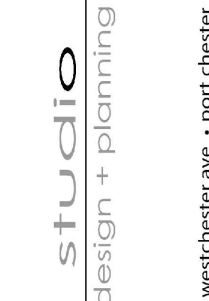
A-302



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A-301 CROSS-SECTION.1
SCALE: 1/2" = 1'-0"

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02/09/2022

1/2" CDX PLYWOOD SHEATHING
 'SOPREMA' MEMBRANE ROOFING SYSTEM
 (SLOPE ROOFING SYSTEM TOWARD AREA DRAIN)
 MIN. 2 1/2" SOPRA-ISO INSULATION, BY 'SOPREMA',
 PARAPET TO SLOPE 1/4" PER 12" (TYP.)
 BLACK ALUM. FLASHING (TYP.)
 'SOPREMA' MEMBRANE FLASHING SYSTEM
 (MIN. 12" DOWN EXTERIOR FACE OF WALL)
 CEILING JST. (SEE PLANS) W/ R-38 CLOSED
 CELL SPRAY-FOAM CAVITY INSULATION (TYP.)
 (2) 2X6 WD. TOP PLATES (TYP.)

FIN. FLOOR ON 3/4" T&G PLYWD. SUB-FLOOR'G. ON FLOOR JST. (SEE PLAN)
 (1) 2 X 6 BOT. PLATE
 FILL FIRST 12" W/ 5 1/2" THICK R-38 CLOSED-CELL
 SPRAY-FOAM CAVITY INSULATION

FIN. BEDROOMS FLOOR
 441.50'

FIN. FLOOR ON 3/4" T&G PLYWD. SUB-FLOOR'G. ON FLOOR JST. (SEE PLAN)
 W/R-38 CLOSED-CELL SPRAY-FOAM CAVITY INSULATION
 2x6 BORATE SILL PLATE OVER SEALER W/ 1/2" DIA. GALV. ANCHOR BOLTS @ 48" O.C.

FIN. KITCHEN / LIVING FLOOR
 431.00'

WINDOW UNIT (SEE PLANS & SCHEDULES)

APPROX. LOCATION OF EXIST. GRADE (SLOPE AWAY FROM STRUCTURE)

WATERPROOF MEMBRANE OVER FOTN. WALL (TYP.)
 MORTAR CANT. (TYP.)
 6" DIA. PERFORATED FOOT'G DRAIN IN COMPACTED GRAVEL
 COVERED W/ FILTER FABRIC (SEE CIVIL ENG. DWG. TO TIE-IN)

FIN. BASEMENT FLOOR
 419.85'

CONT. 1/2" EXP. JOINT
 24" X 12" CONCRETE FOOT'G
 W/ (2) #5 REBAR BOTHWAYS (TYP.)
 2" R-10 RIGID INSULATION (24" HORIZ., 12" DOWN)
 4" CONC. SLAB W/ 6X6 W2.9 X W2.9 W.W.M.
 6 MIL. POLY. VAPOR BARRIER
 ON 4" COMPACTED GRAVEL ON UNDISTURBED SOIL

WINDOW HEADER (TYP.)
 RETURN STUCCO SIDING INTO
 WINDOW OPENING (TYP.)
 WINDOW UNIT (SEE PLANS & SCHEDULES)

STUCCO RETURN @ BOT. OF WINDOW TO SLOPE
 AWAY FROM STRUCTURE MIN. 1/4" PER 12" (TYP.)
 WHITE STUCCO SIDING ON GALV. METAL WIRE LATH ON
 15# BUILDING FELT PAPER ON TYVEK HOUSEWRAP ON 1/2" C.D.X.
 PLYWOOD SHEATHING ON (2) 2X6 STUDS @ 16" O.C. W/ R-21
 CLOSED-CELL SPRAY-FOAM CAVITY INSULATION (TYP.)
 BLACK ALUM. FLASHING (TYP.)
 'SOPREMA' MEMBRANE FLASHING SYSTEM
 (MIN. 12" HIGH ABOVE ROOFING)
 'SOPREMA' MEMBRANE ROOFING SYSTEM
 (SLOPE ROOFING SYSTEM TOWARD STORMWATER LEADER)
 1/2" THICK POWDER COATED ALUM. DRIP EDGE
 (COLOR TO MATCH WINDOW AND DOORS EXTERIOR CLADDING)
 1x8 'THERMORY BENCHMARK THERMO-ASH' CLADDING BOARDS.
 FINISH TO BE 'CUTEK EXTREME WITH WALNUT COLOURTONE',
 ATTACHED TO 1/2" SHEATHING BELOW W/ PACS ALUM. STRIP
 SYSTEM. ALL CORNERS TO BE MITERED. FOLLOW MANUF.
 RECOMMENDATIONS FOR INSTALLATION (TYP.)
 2 X 12 SUB-FASCIA BRD.

CANOPY RAFTERS (SEE PLANS)
 1/2" CDX PLYWOOD SHEATHING
 1x8 'THERMORY BENCHMARK THERMO-ASH' CLADDING T&G BOARDS (ALL CORNERS TO BE
 MITERED). FINISH TO BE 'CUTEK EXTREME WITH WALNUT COLOURTONE', ATTACHED TO 1/2"
 SHEATHING BELOW W/ PACS ALUM. STRIP SYSTEM. ON 'TYVEK' W/ HOUSEWRAP BY
 BENJAMIN OBDYKE, FOLLOW MANUF. RECOMMENDATIONS FOR INSTALLATION (TYP.)

DOOR UNIT (SEE PLANS & SCHEDULES)
 6" STONE VENEER (TYP.)
 STONE VENEER TO BE SET MIN. 12" BELOW GRADE (TYP.)
 APPROX. LOCATION OF EXIST. GRADE (SLOPE AWAY FROM STRUCTURE)
 FIN. FOYER FLOOR
 430.00'

2x6 BORATE SILL PLATE OVER SEALER W/ 1/2"
 DIA. GALV. ANCHOR BOLTS @ 48" O.C.
 #5 REBAR HORIZ. AND #5 REBAR VERT.
 @ 24" O.C. (MIN. 2" COVER)

FOUNDED CONCRETE
 FOUNDATION WALL (SEE PLAN)
 24" X 12" CONCRETE FOOT'G
 W/ (2) #5 REBAR BOTHWAYS (TYP.)

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A-303 CROSS-SECTION.3
 SCALE: 1/2" = 1'-0"

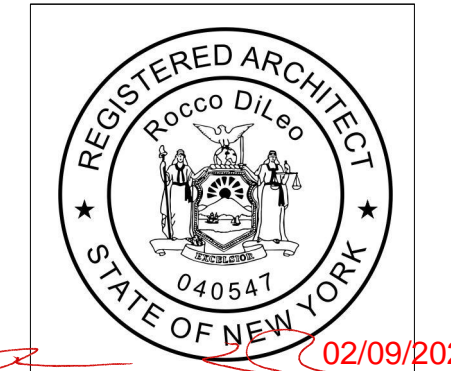
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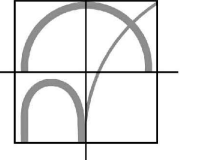
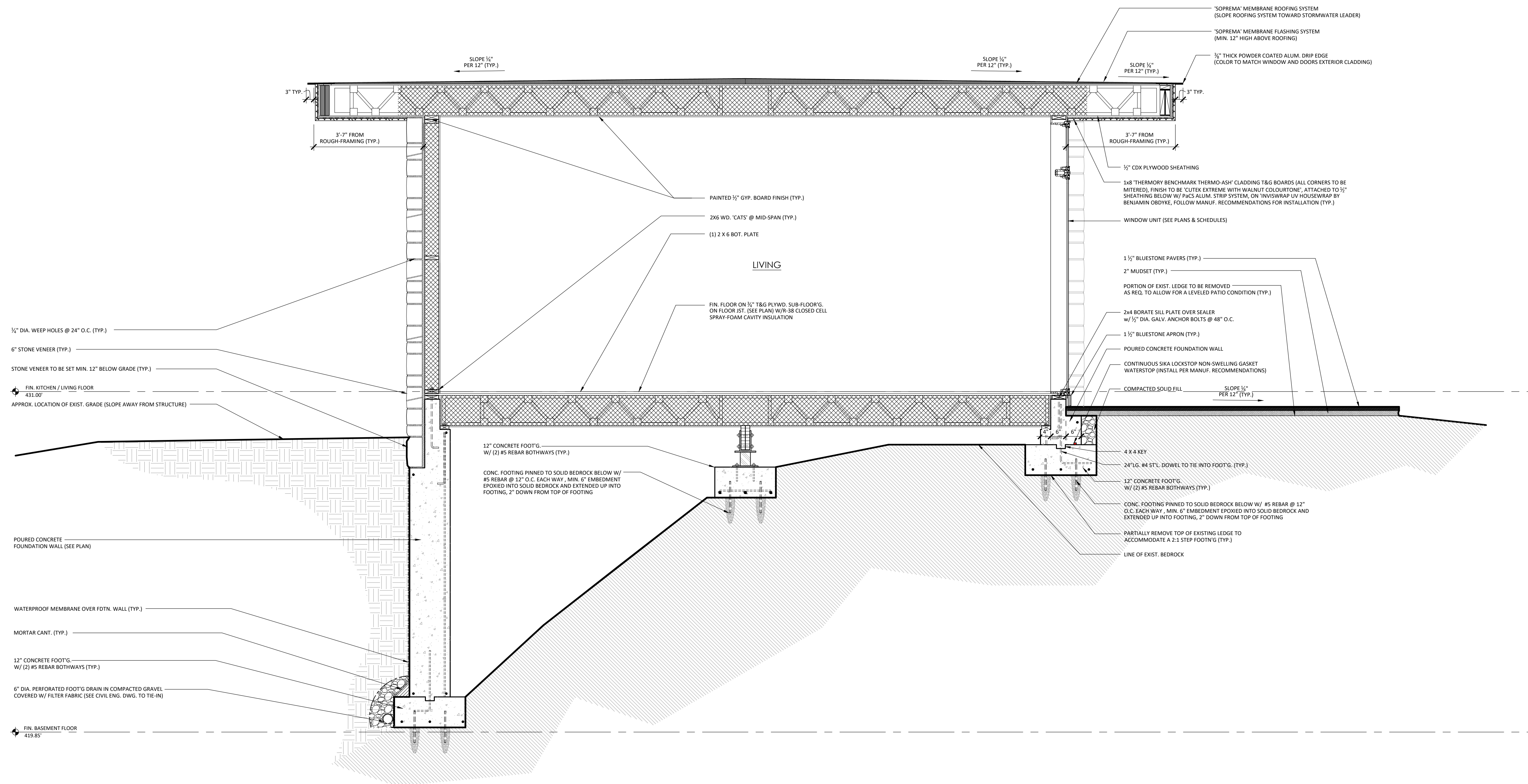
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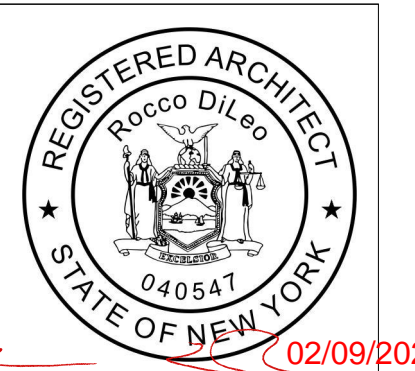
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1 CROSS-SECTION.4
A-304 SCALE: 1/2" = 1'-0"

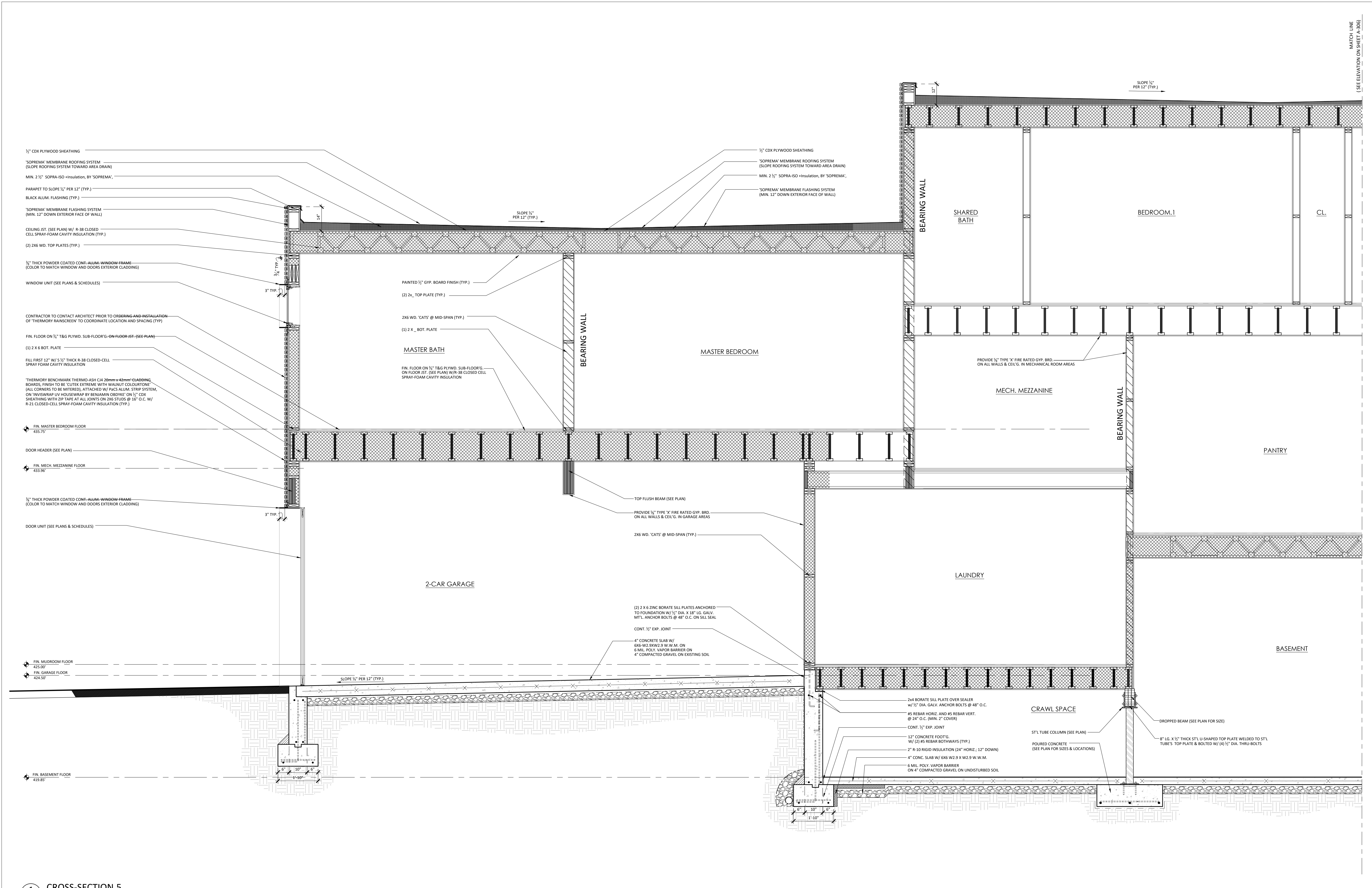
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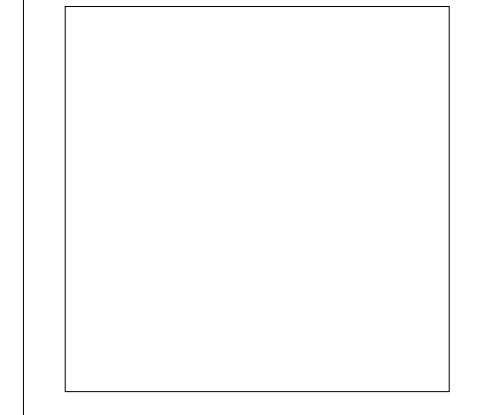
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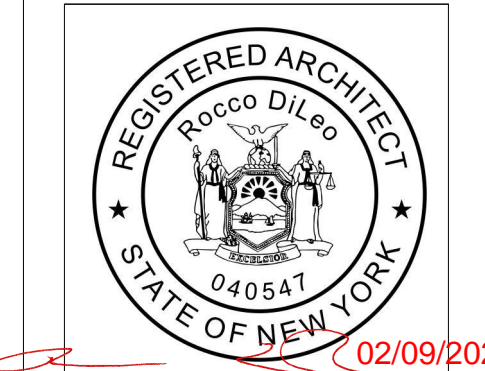
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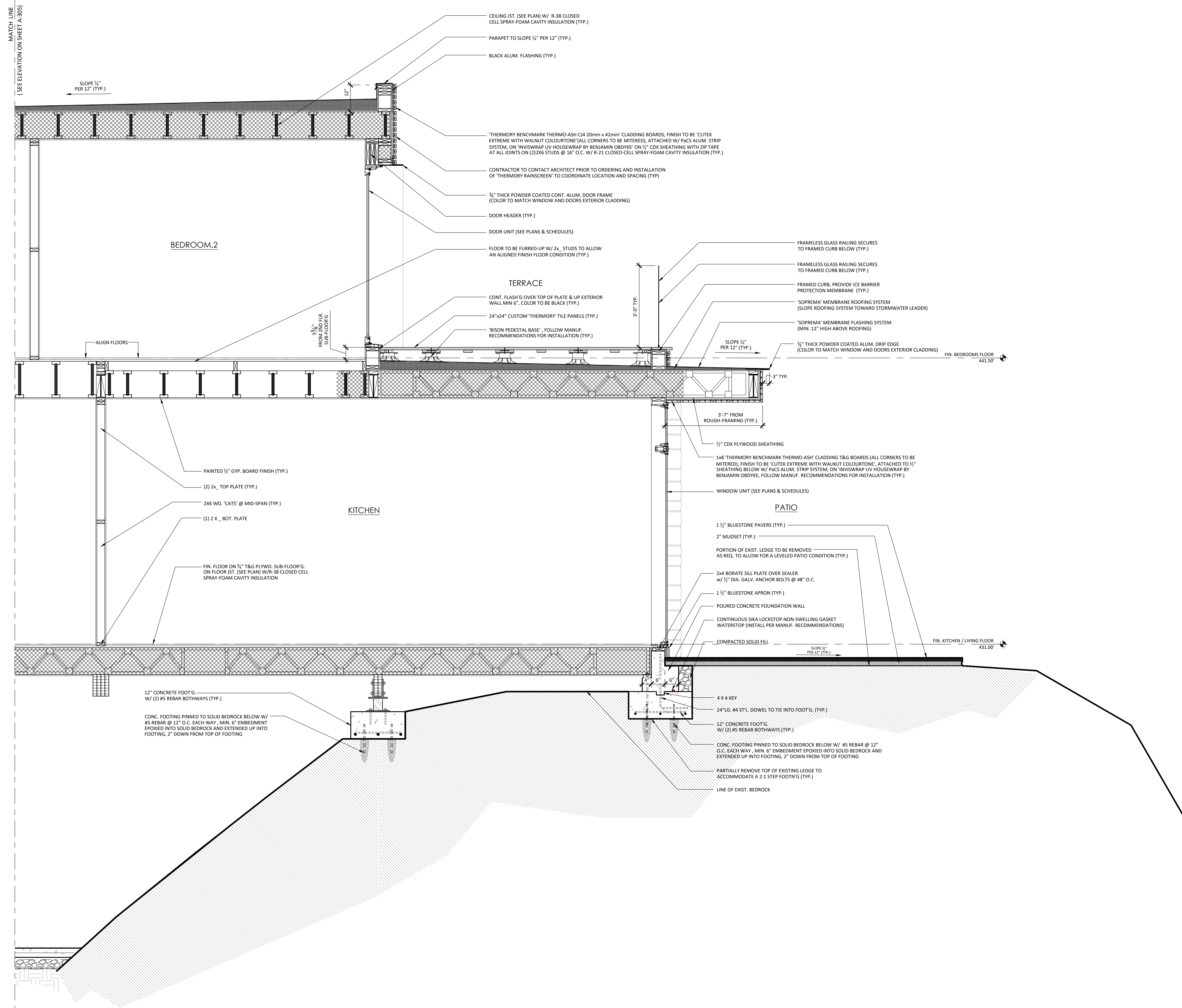
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1 CROSS-SECTION.5
SCALE: 1/2" = 1'-0"



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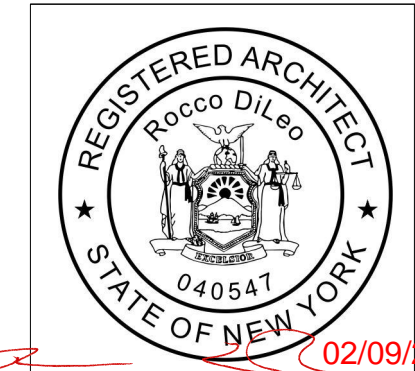
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A-306

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A-306
CROSS-SECTION.5
 SCALE: 1/2" = 1'-0"

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R502.8 Cutting, Drilling and Notching

Structural floor members shall not be cut, bored or notched in excess of the limitations specified in this section. See Figure R502.8.

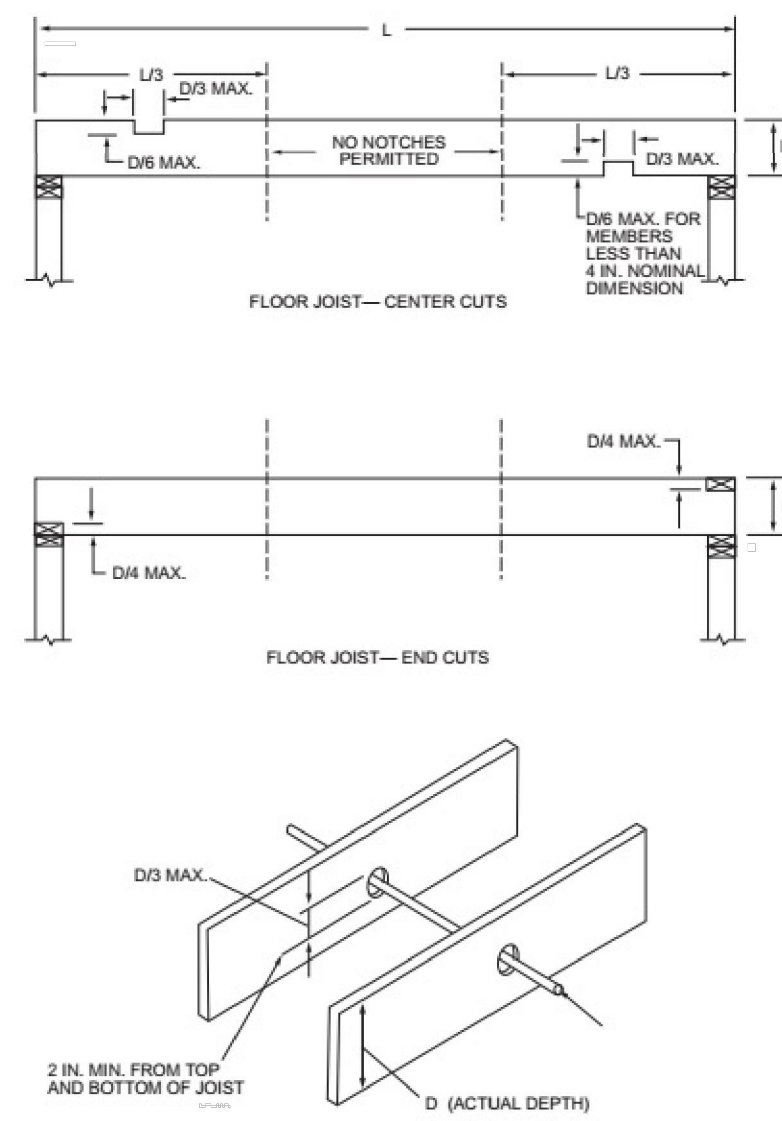


FIGURE R502.8
CUTTING, NOTCHING AND DRILLING

For SI: 1 inch = 25.4 mm.

R502.8.1 Sawn Lumber

Notches in solid lumber joists, rafters and beams shall not exceed one-sixth of the depth of the member, shall not be longer than one-third of the depth of the member and shall not be located in the middle one-third of the span. Notches at the ends of the member shall not exceed one-fourth the depth of the member. The tension side of members 4 inches (102 mm) or greater in nominal thickness shall not be notched except at the ends of the members. The diameter of holes bored or cut into members shall not exceed one-third the depth of the member. Holes shall not be closer than 2 inches (51 mm) to the top or bottom of the member, or to any other hole located in the member. Where the member is notched, the hole shall not be closer than 2 inches (51 mm) to the notch.

R502.8.2 Engineered Wood Products

Cuts, notches and holes bored in trusses, structural composite lumber, structural glue-laminated members, cross-laminated timber members or I-joists are prohibited except where permitted by the manufacturer's recommendations or where the effects of such alterations are specifically considered in the design of the member by a registered design professional.

1 R502.8 CUTTING, DRILLING & NOTCHING

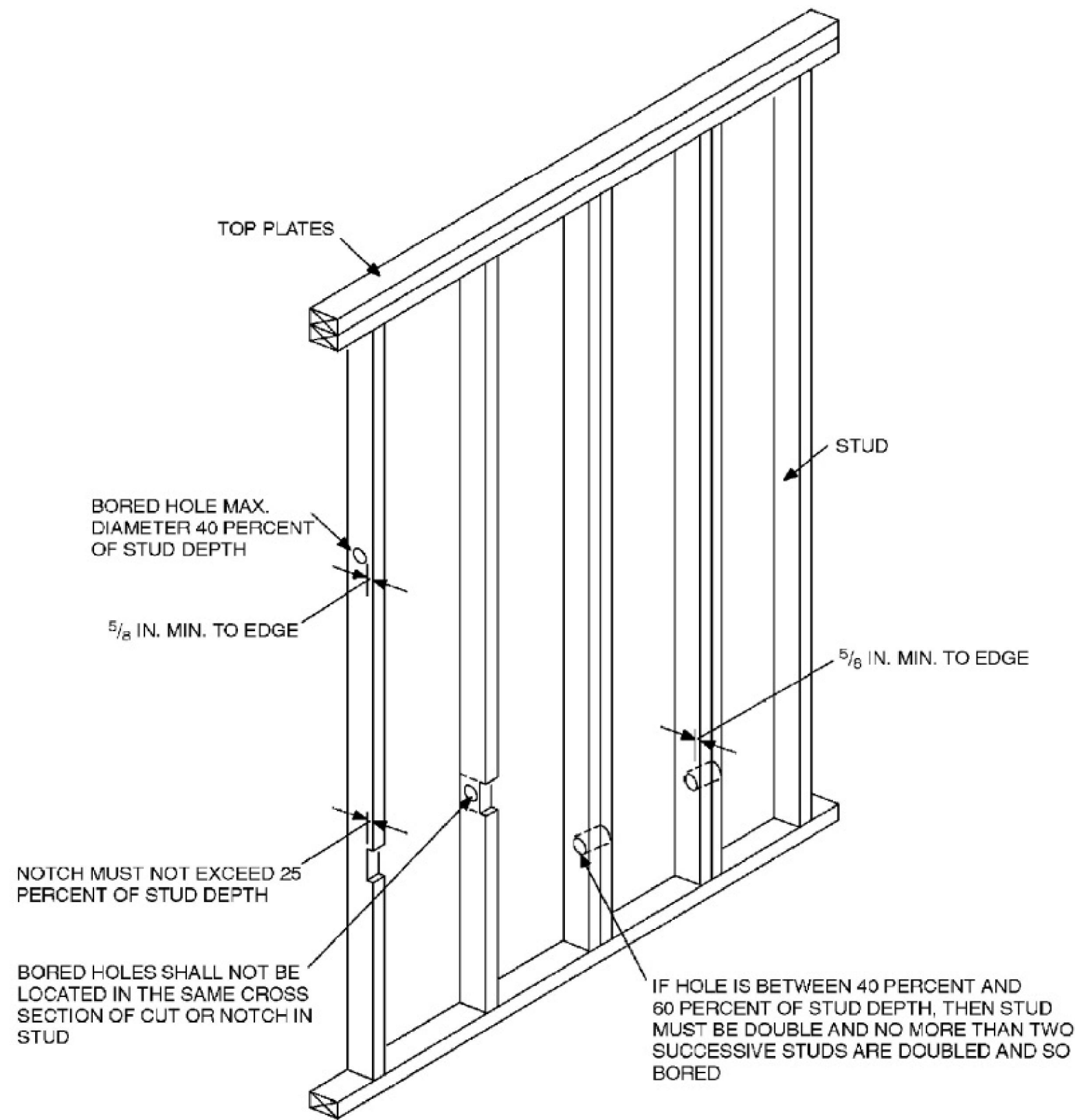
SCALE: N.T.S.

R602.6 Drilling and Notching of Studs

Drilling and notching of studs shall be in accordance with the following:

- Notching. Any stud in an exterior wall or bearing partition shall be permitted to be cut or notched to a depth not exceeding 25 percent of its width. Studs in nonbearing partitions shall be permitted to be notched to a depth not to exceed 40 percent of a single stud width.
- Drilling. Any stud shall be permitted to be bored or drilled, provided that the diameter of the resulting hole is not more than 60 percent of the stud width, the edge of the hole is not more than 5/8 inch (16 mm) to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior walls or bearing partitions drilled over 40 percent and up to 60 percent shall be doubled with not more than two successive doubled studs bored. See Figures R602.6(1) and R602.6(2).

Exception: Use of approved stud shoes is permitted where they are installed in accordance with the manufacturer's recommendations.



For SI: 1 inch = 25.4 mm.

Note: Condition for exterior and bearing walls.

FIGURE R602.6(1)

NOTCHING AND BORED HOLE LIMITATIONS FOR EXTERIOR WALLS AND BEARING WALLS

3 R602.6 DRILLING & NOTCHING OF STUDS

SCALE: N.T.S.

R802.7.1.2 Ceiling Joist Taper Cut

Taper cuts at the ends of the ceiling joist shall not exceed one-fourth the depth of the member in accordance with Figure R802.7.1.2.

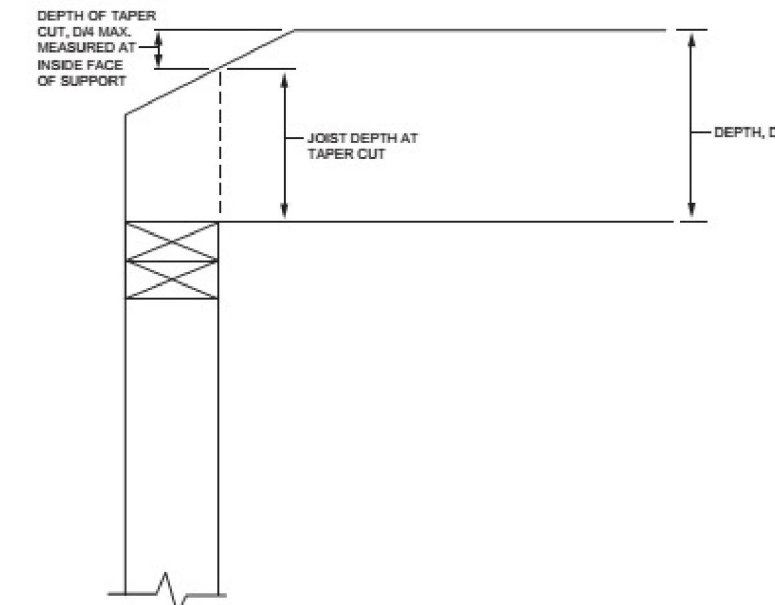


FIGURE R802.7.1.2

CEILING JOIST TAPER CUT

R802.7.2 Engineered Wood Products

Cuts, notches and holes bored in trusses, structural composite lumber, structural glue-laminated members, cross-laminated timber members or I-joists are prohibited except where permitted by the manufacturer's recommendations or where the effects of such alterations are specifically considered in the design of the member by a registered design professional.

R802.7 Cutting, Drilling and Notching

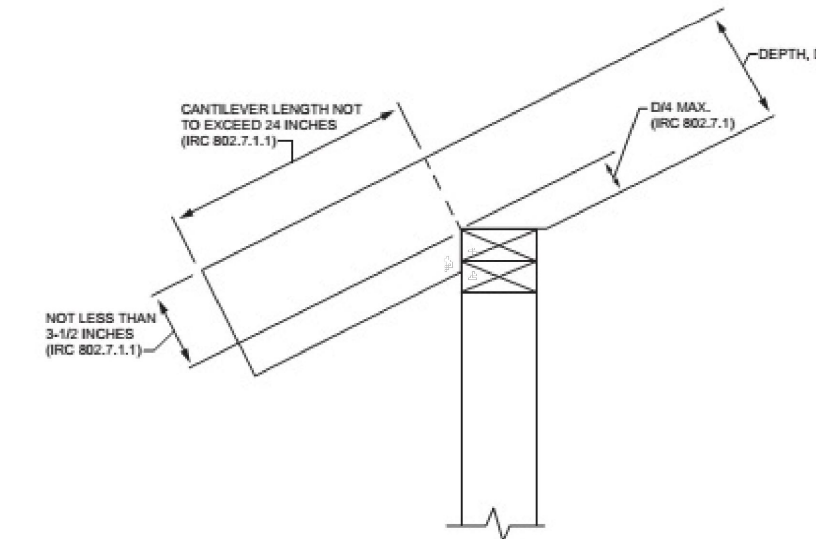
Structural roof members shall not be cut, bored or notched in excess of the limitations specified in this section.

R802.7.1 Sawn Lumber

Cuts, notches and holes in solid lumber joists, rafters, blocking and beams shall comply with the provisions of Section R502.8.1 except that cantilevered portions of rafters shall be permitted in accordance with Section R802.7.1.1.

R802.7.1.1 Cantilevered Portions of Rafters

Notches on cantilevered portions of rafters are permitted provided the dimension of the remaining portion of the rafter is not less than 3 1/2 inches (89 mm) and the length of the cantilever does not exceed 24 inches (610 mm) in accordance with Figure R802.7.1.1.



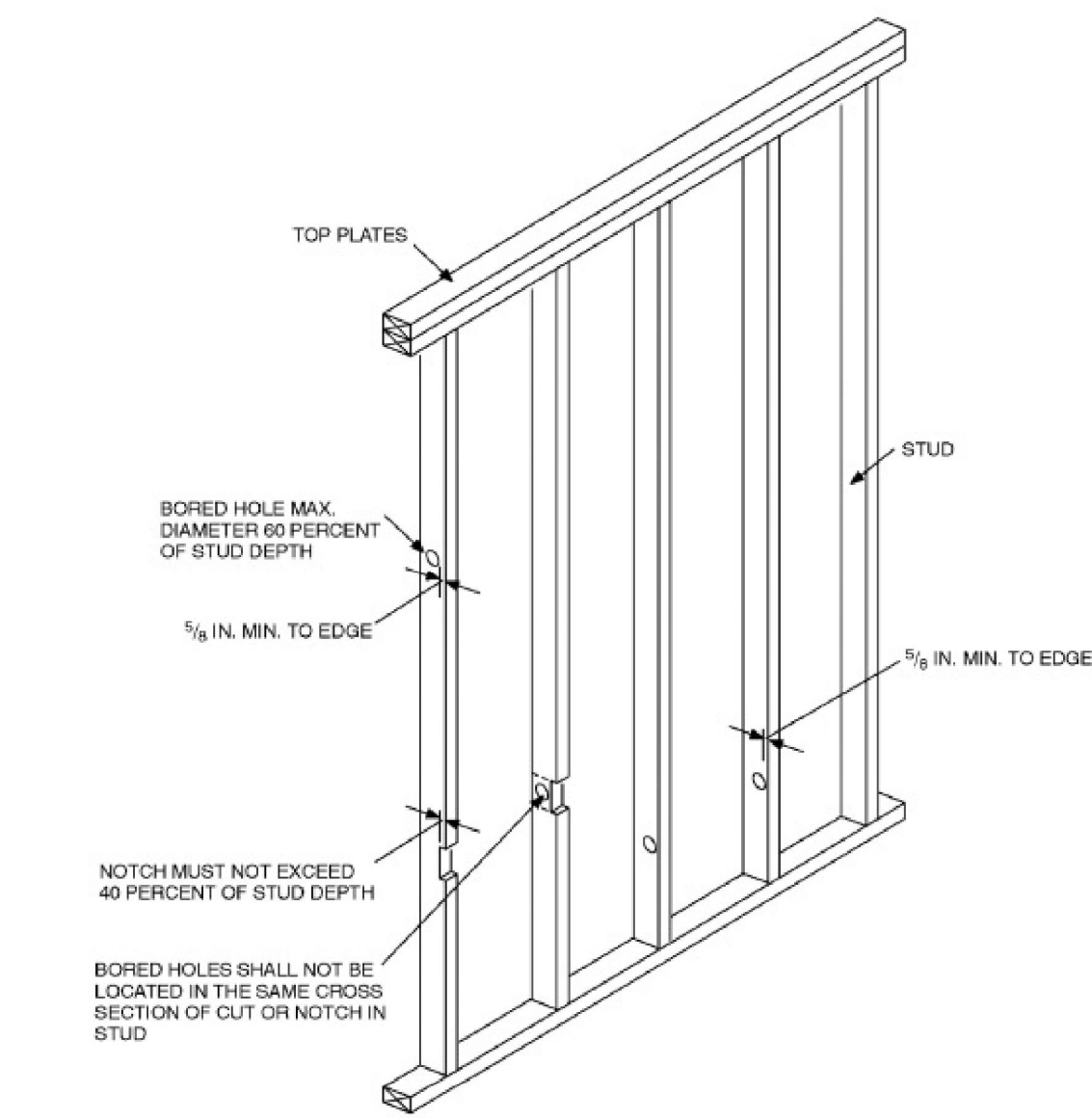
For SI: 1 inch = 25.4 mm.

FIGURE R802.7.1.1

RAFTER NOTCH

2 R802.7 CUTTING, DRILLING & NOTCHING

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For SI: 1 inch = 25.4 mm.

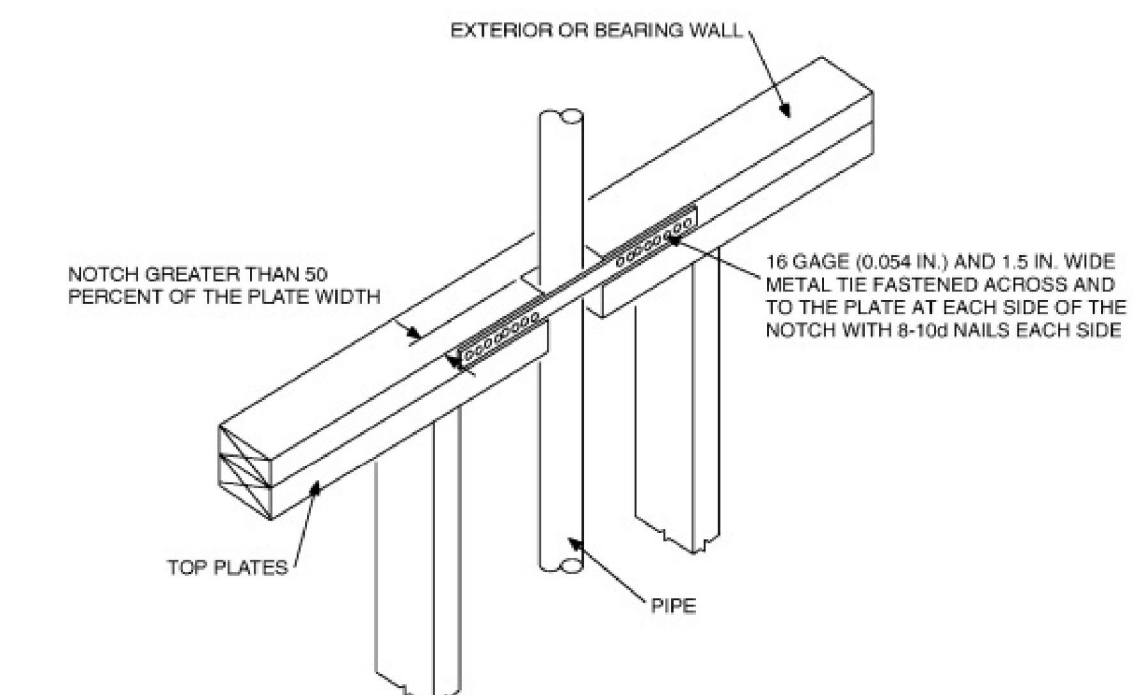
FIGURE R602.6(2)

NOTCHING AND BORED HOLE LIMITATIONS FOR INTERIOR NONBEARING WALLS

R602.6.1 Drilling and Notching of Top Plate

Where piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling or notching of the top plate by more than 50 percent of its width, a galvanized metal tie not less than 0.054 inch thick (1.37 mm) (16 ga) and 1 1/2 inches (38 mm) wide shall be fastened across and to the plate at each side of the opening with not less than eight 10d (0.148 inch diameter) nails having a minimum length of 1 1/2 inches (38 mm) at each side or equivalent. The metal tie must extend not less than 6 inches past the opening. See Figure R602.6.1.

Exception: Where the entire side of the wall with the notch or cut is covered by wood structural panel sheathing.



For SI: 1 inch = 25.4 mm.

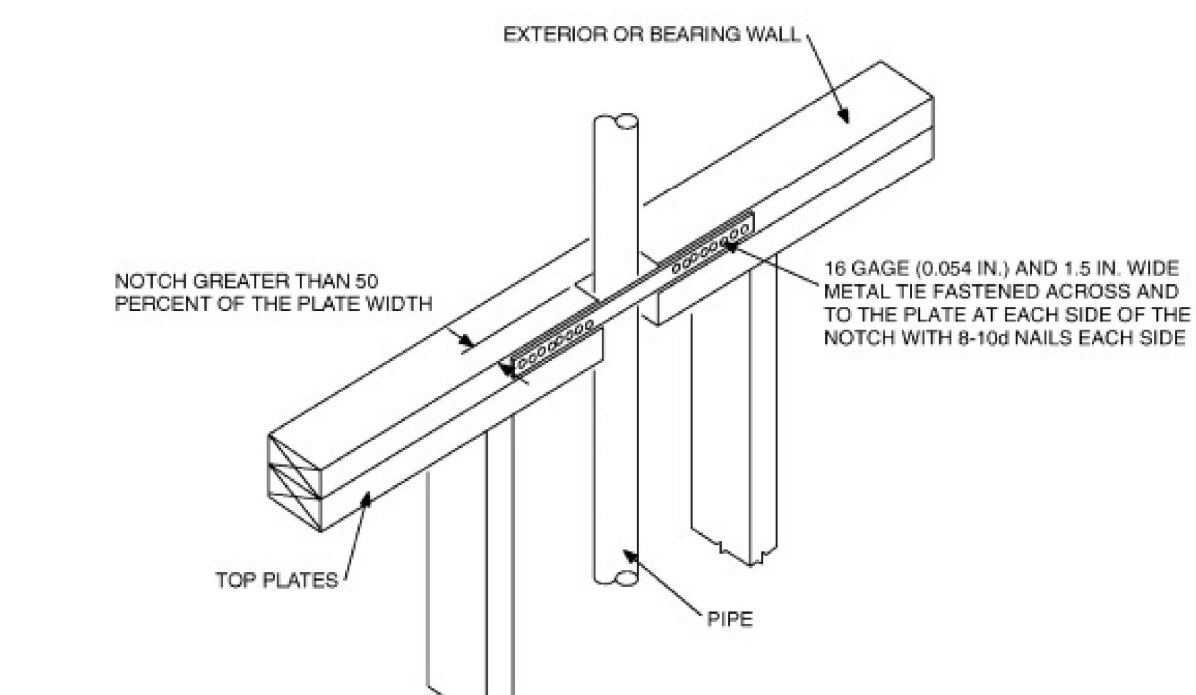
FIGURE R602.6.1

TOP PLATE FRAMING TO ACCOMMODATE PIPING

R602.6.1 Drilling and Notching of Top Plate

Where piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling or notching of the top plate by more than 50 percent of its width, a galvanized metal tie not less than 0.054 inch thick (1.37 mm) (16 ga) and 1 1/2 inches (38 mm) wide shall be fastened across and to the plate at each side of the opening with not less than eight 10d (0.148 inch diameter) nails having a minimum length of 1 1/2 inches (38 mm) at each side or equivalent. The metal tie must extend not less than 6 inches past the opening. See Figure R602.6.1.

Exception: Where the entire side of the wall with the notch or cut is covered by wood structural panel sheathing.



For SI: 1 inch = 25.4 mm.

FIGURE R602.6.1

TOP PLATE FRAMING TO ACCOMMODATE PIPING

4 R602.6.1 DRILLING & NOTCHING OF TOP PLATE

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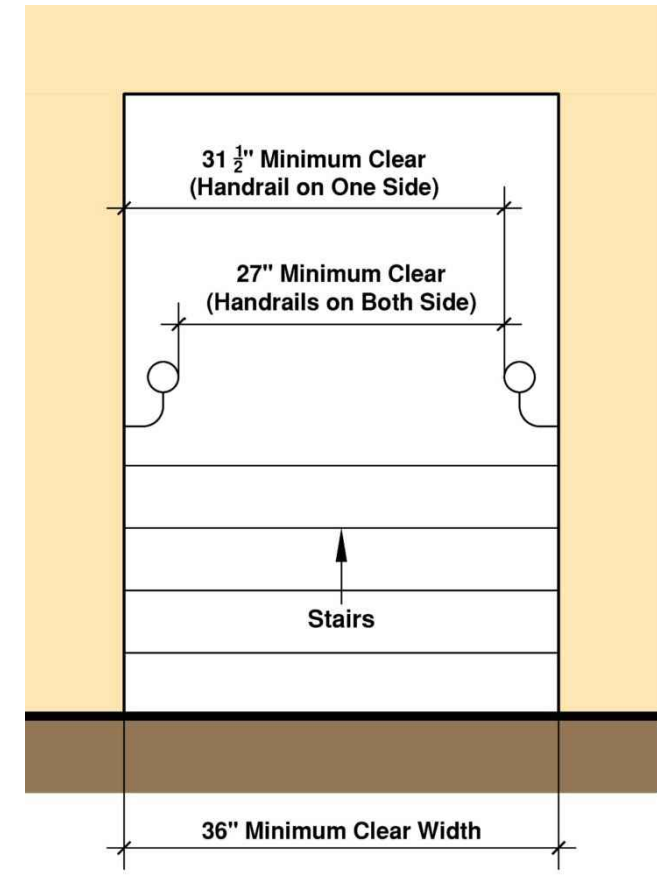
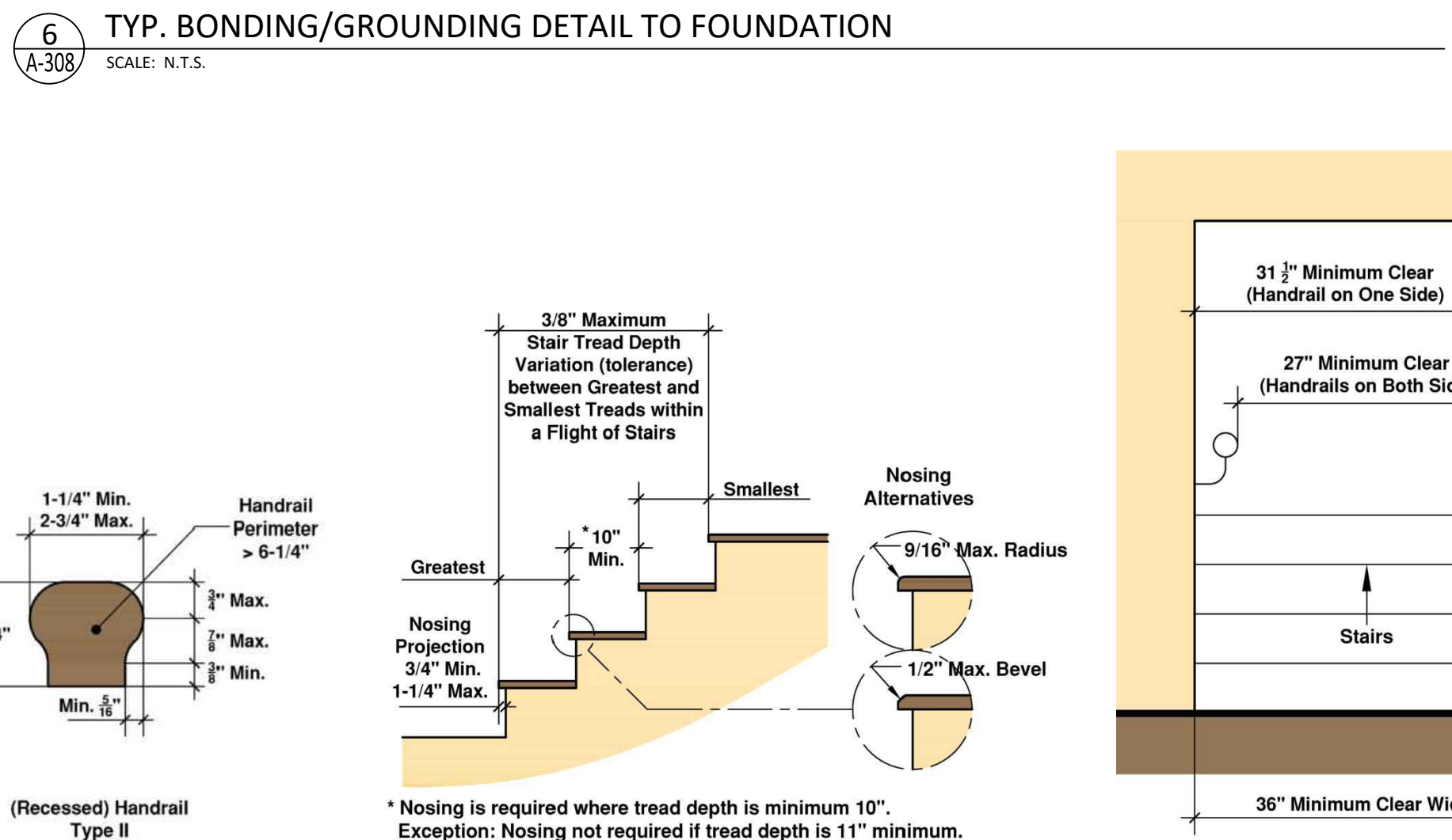
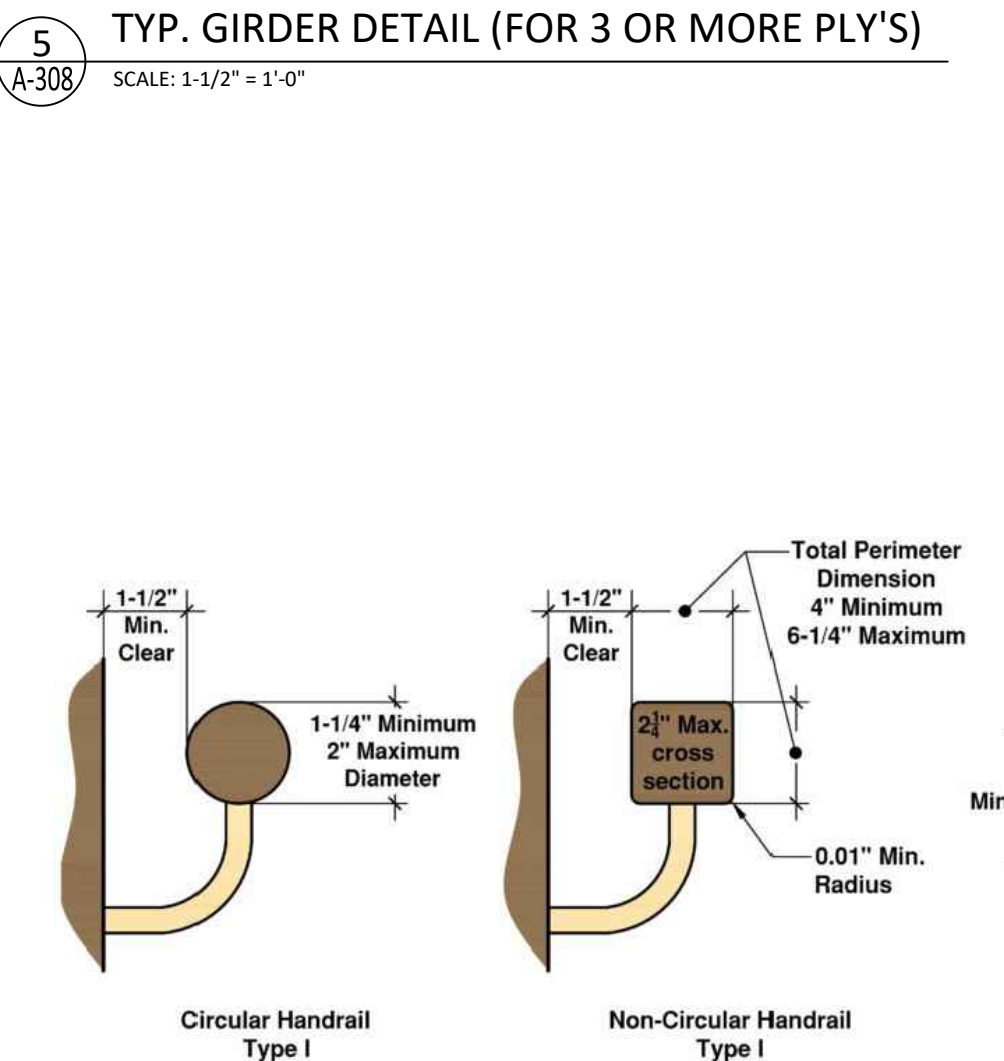
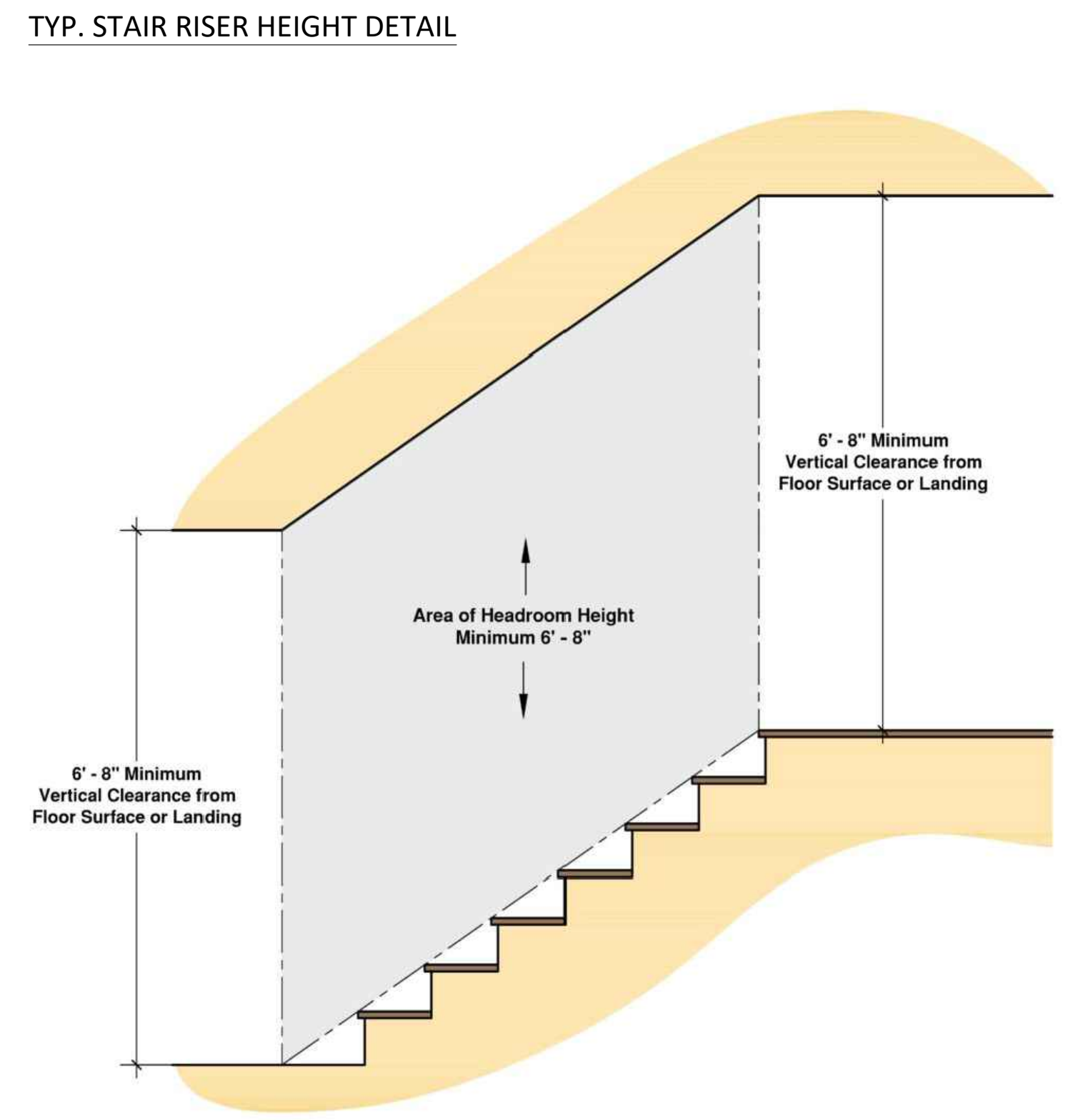
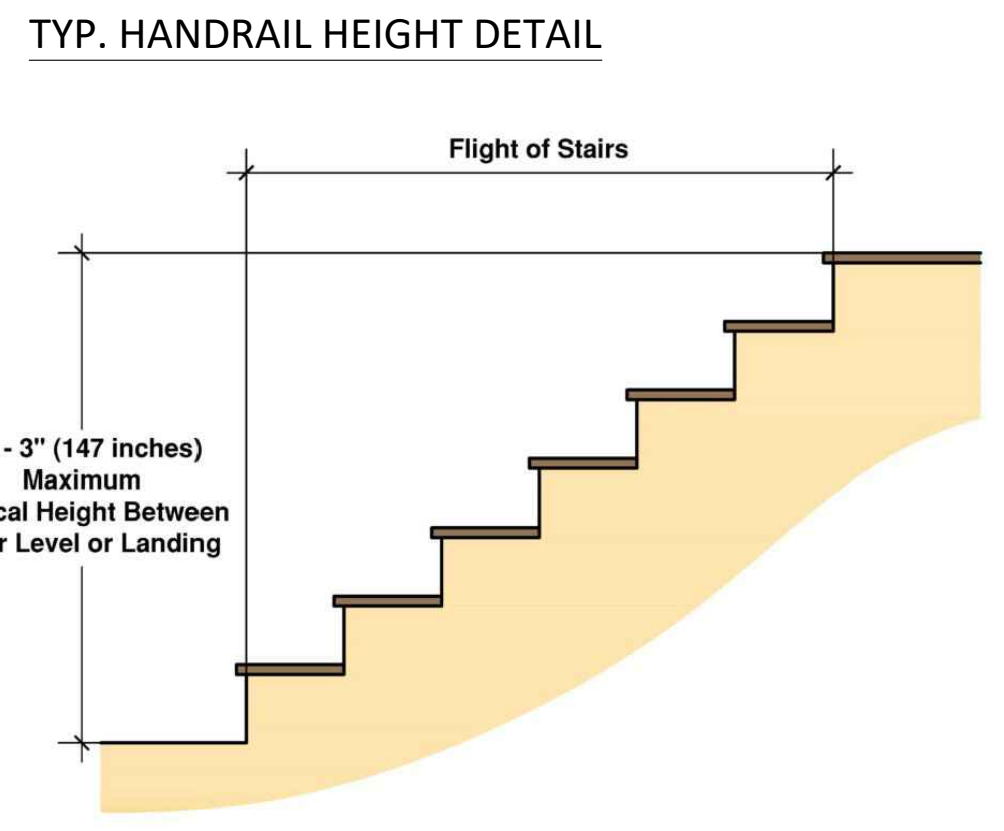
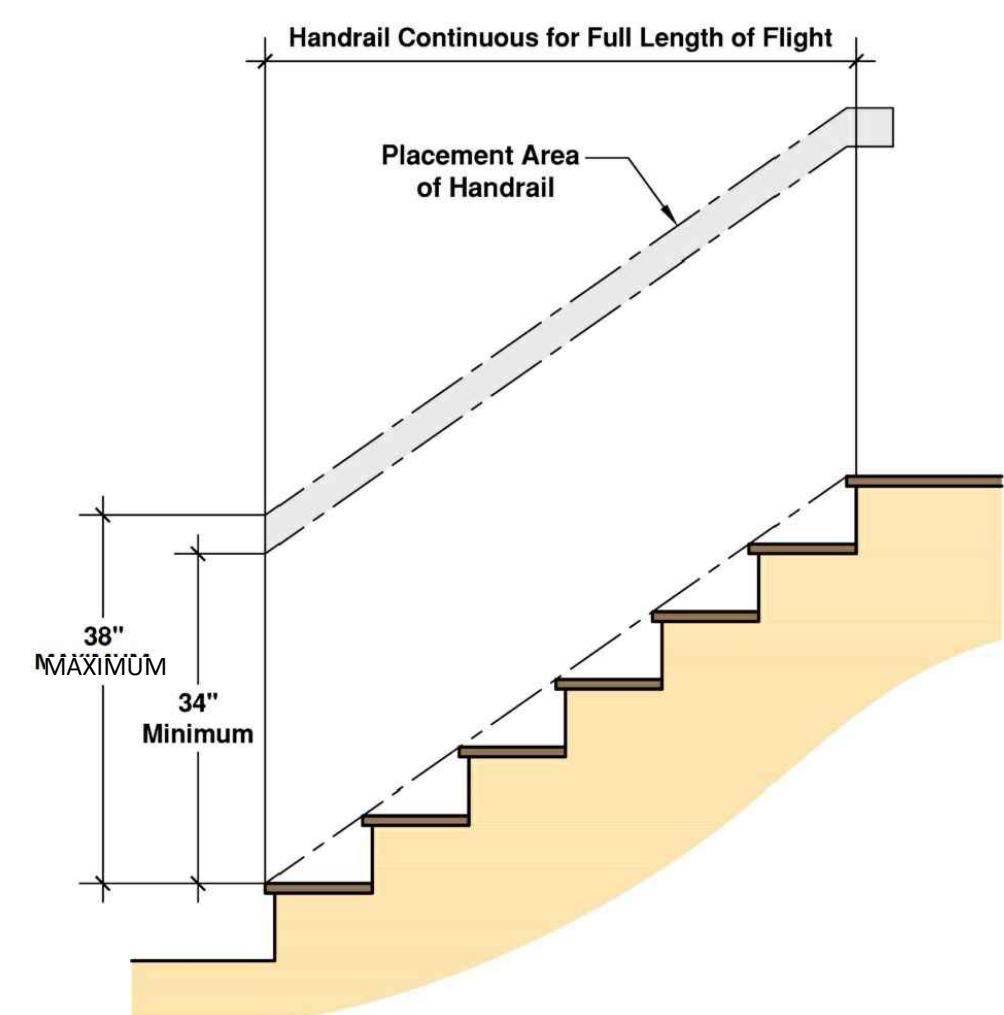
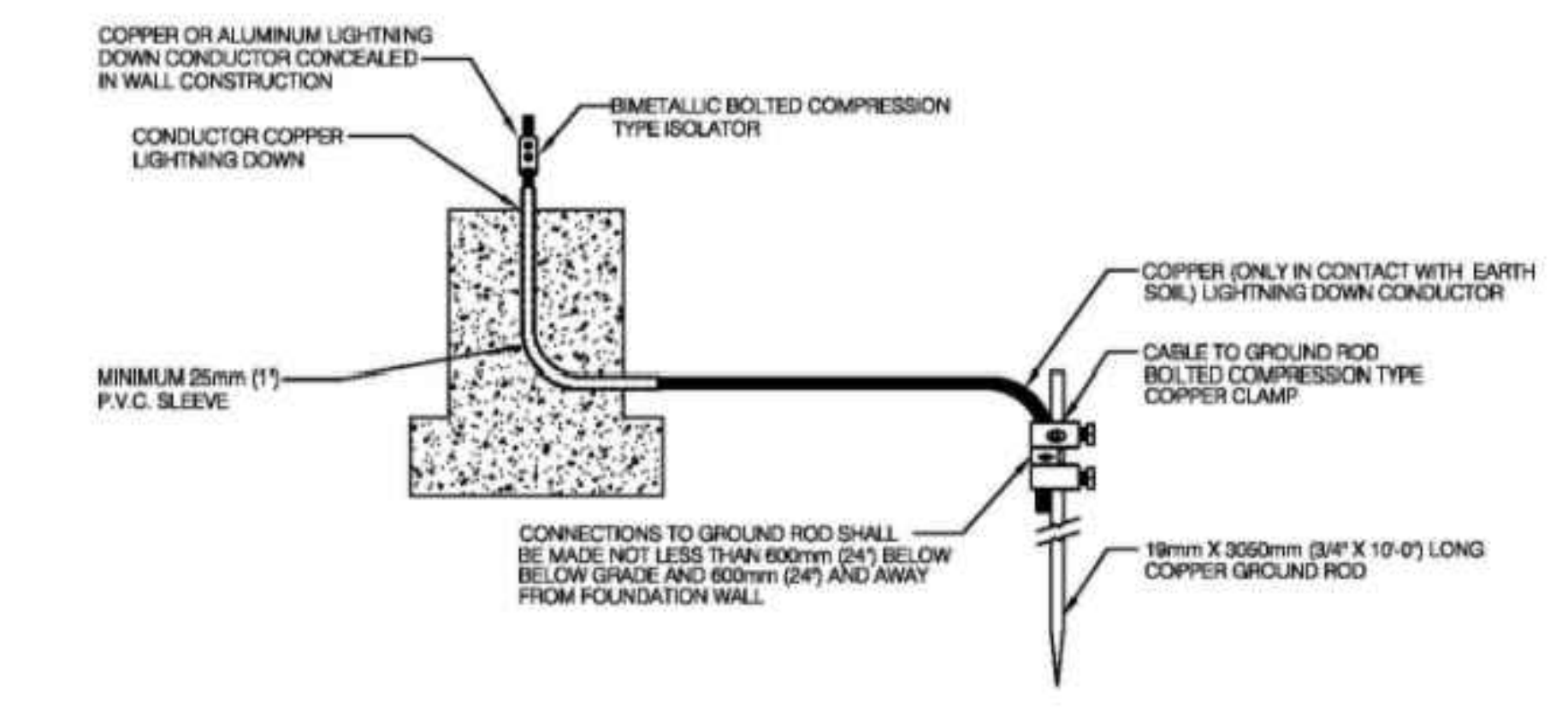
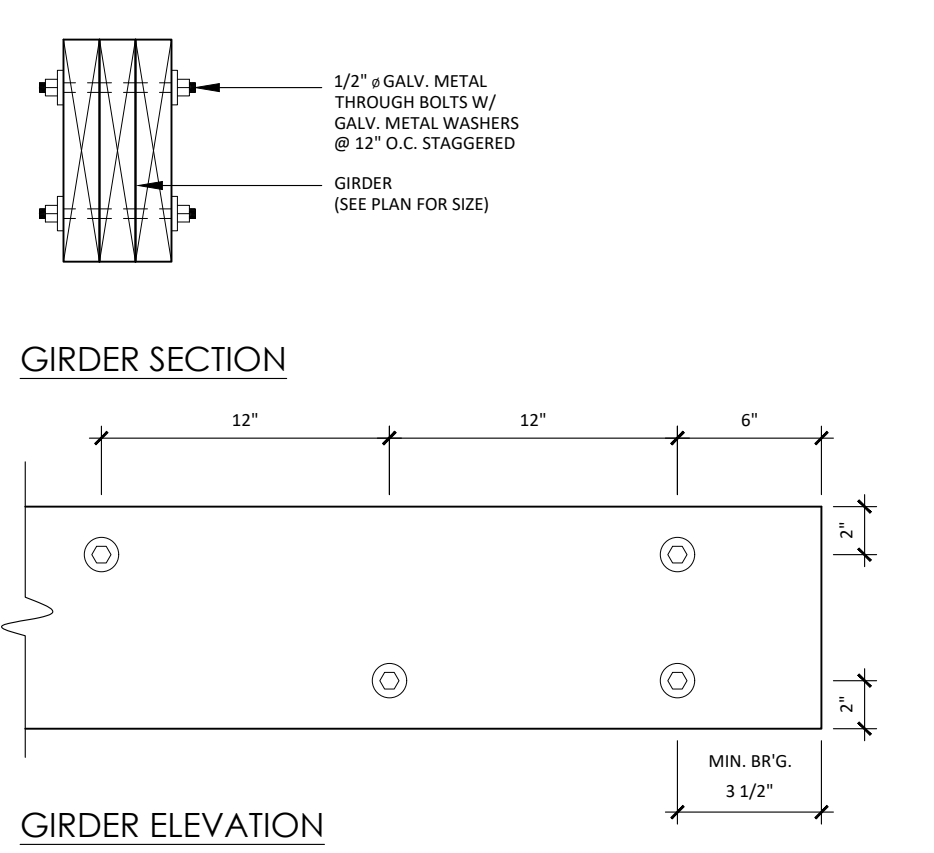
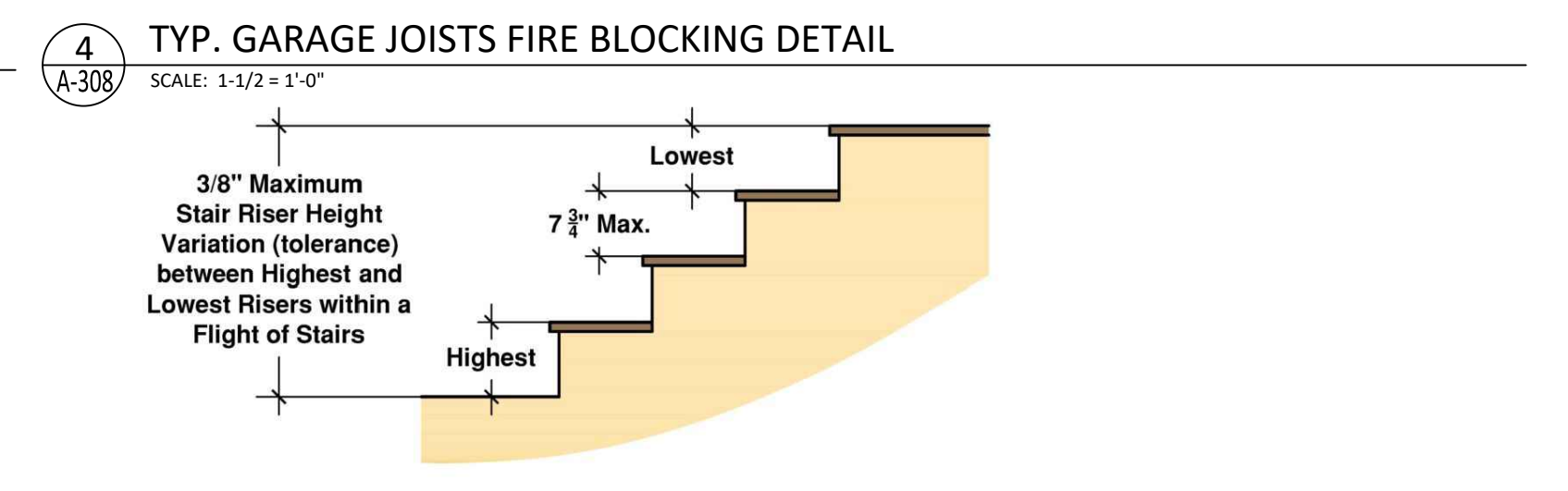
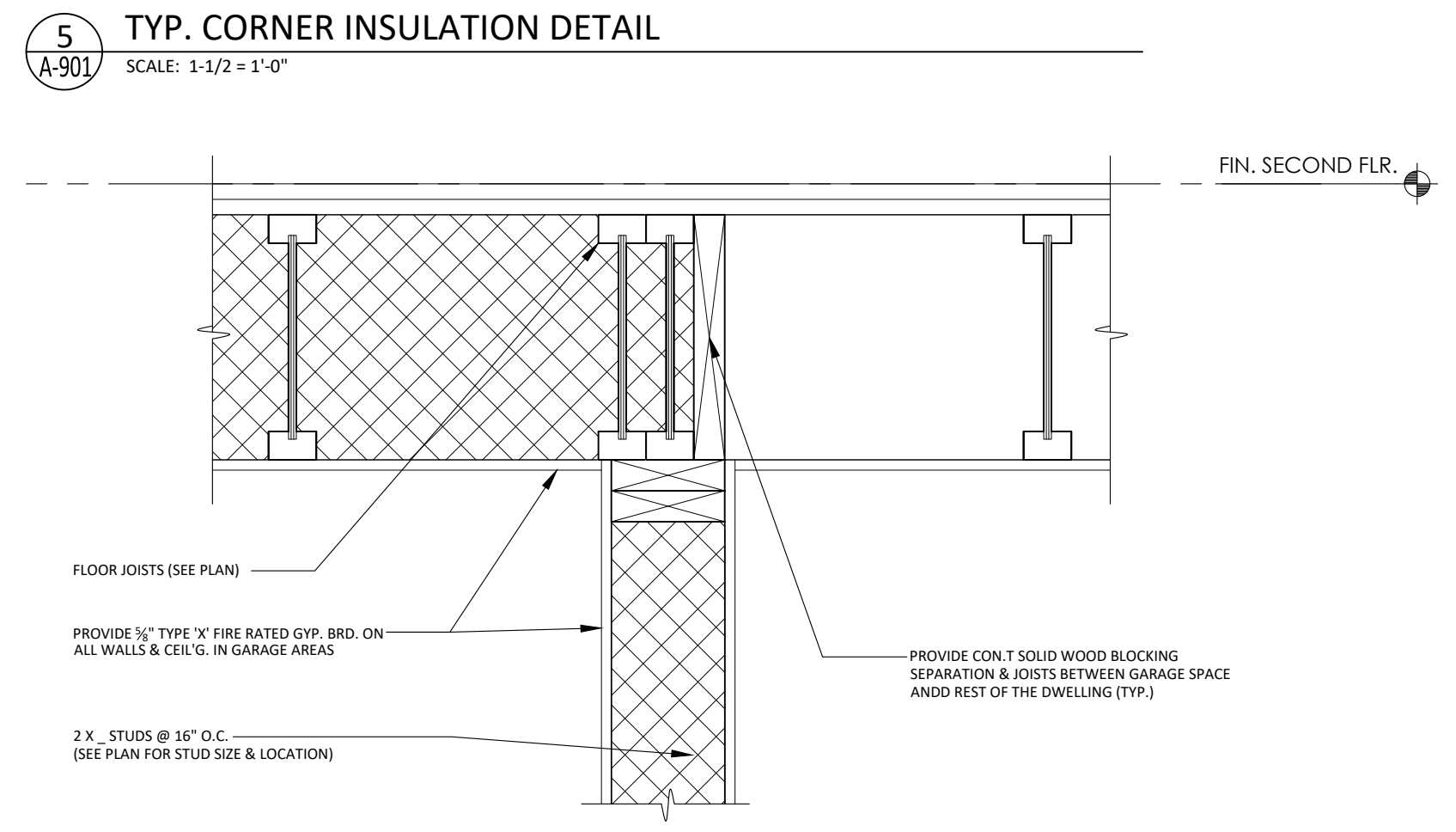
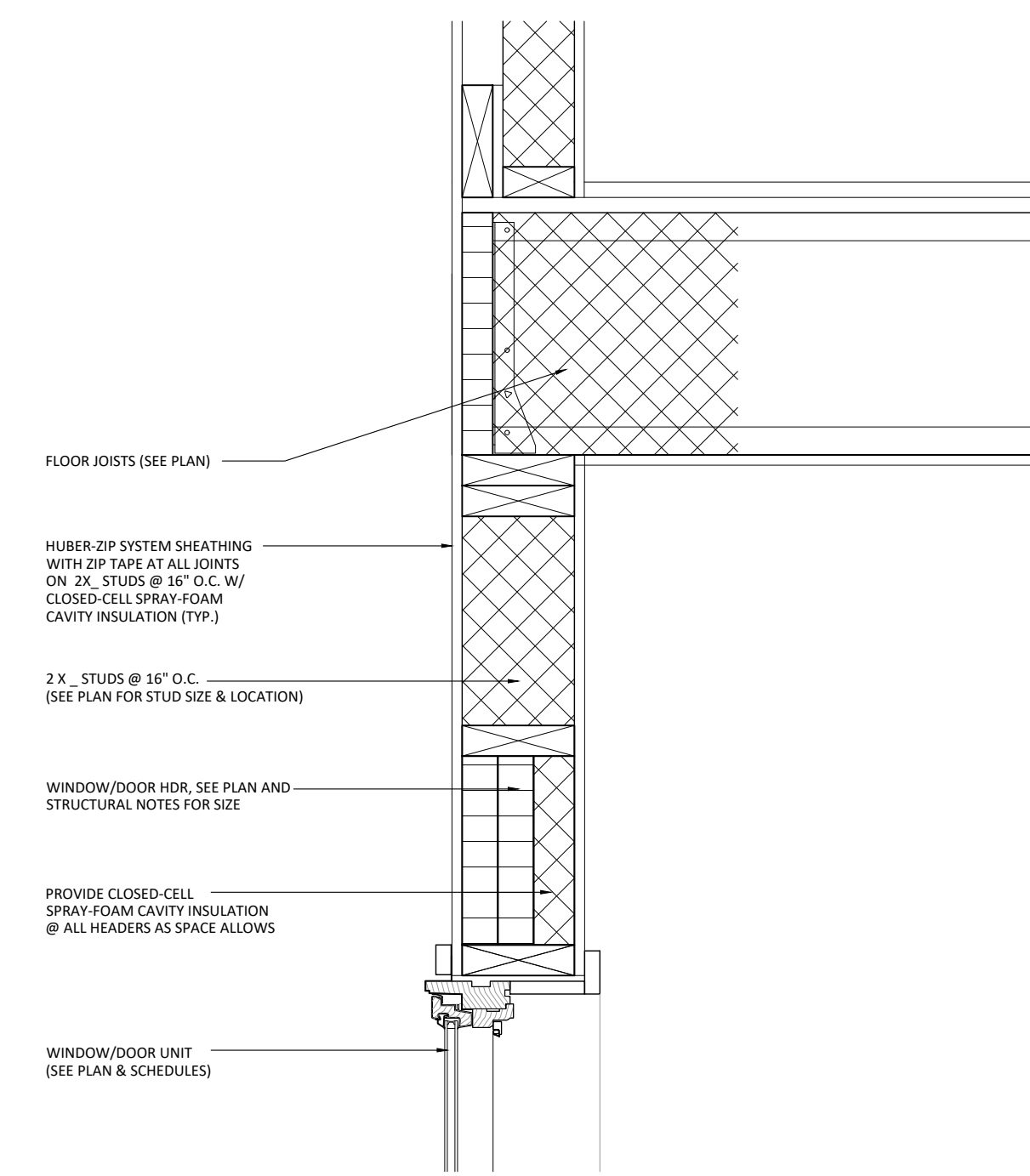
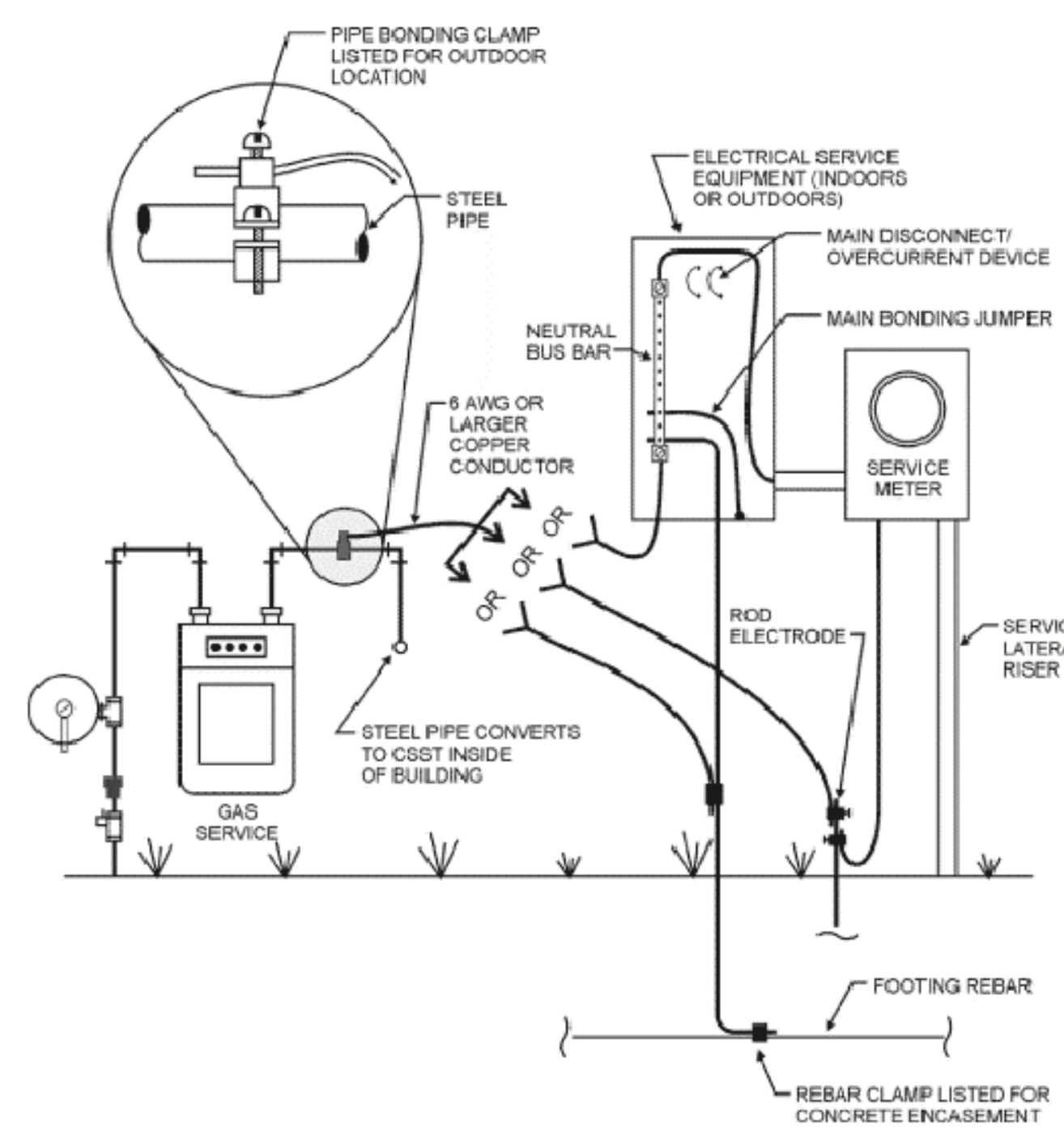
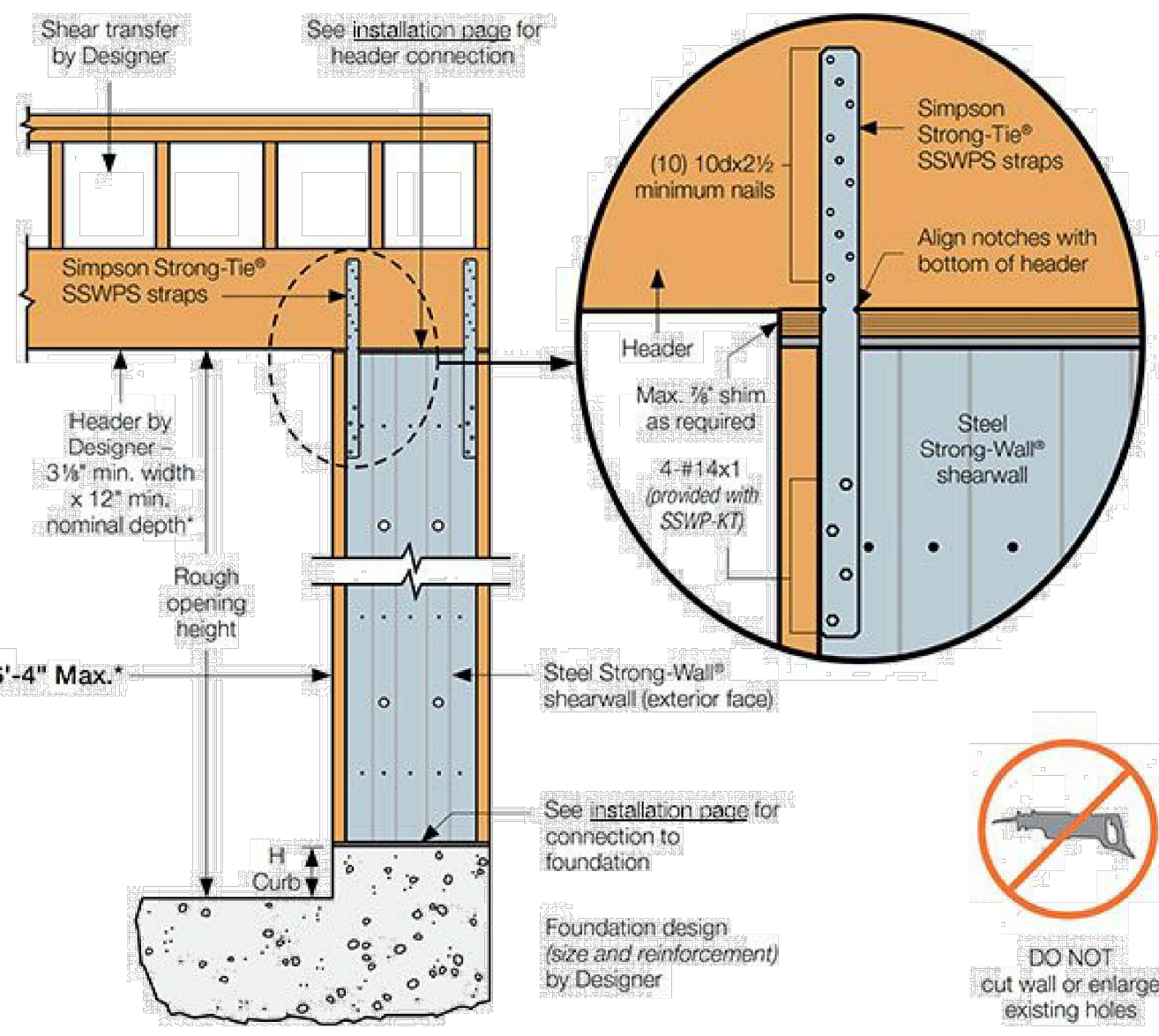
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 Tel: 212 692 4200 - Fax: 212 692 4201



7
A-308
SCALE: N.T.S.

NEW SINGLE-FAMILY DWELLING FOR:
GREGG T. CHAPPELL & EMILY YAVITZ
 1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598
 CODE COMPLIANT DETAILS: TYP. STAIR REQUIREMENTS

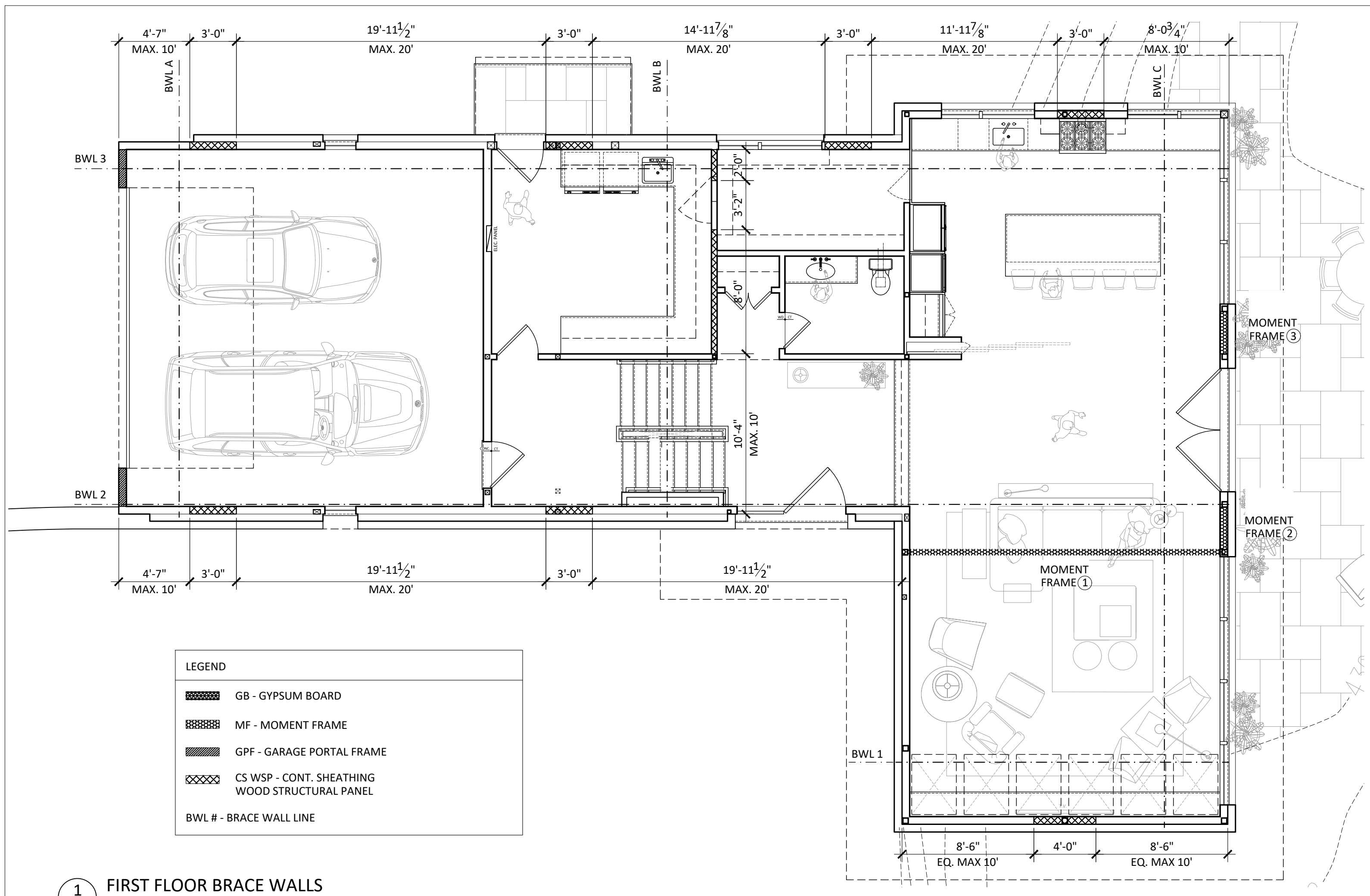
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02/09/2022

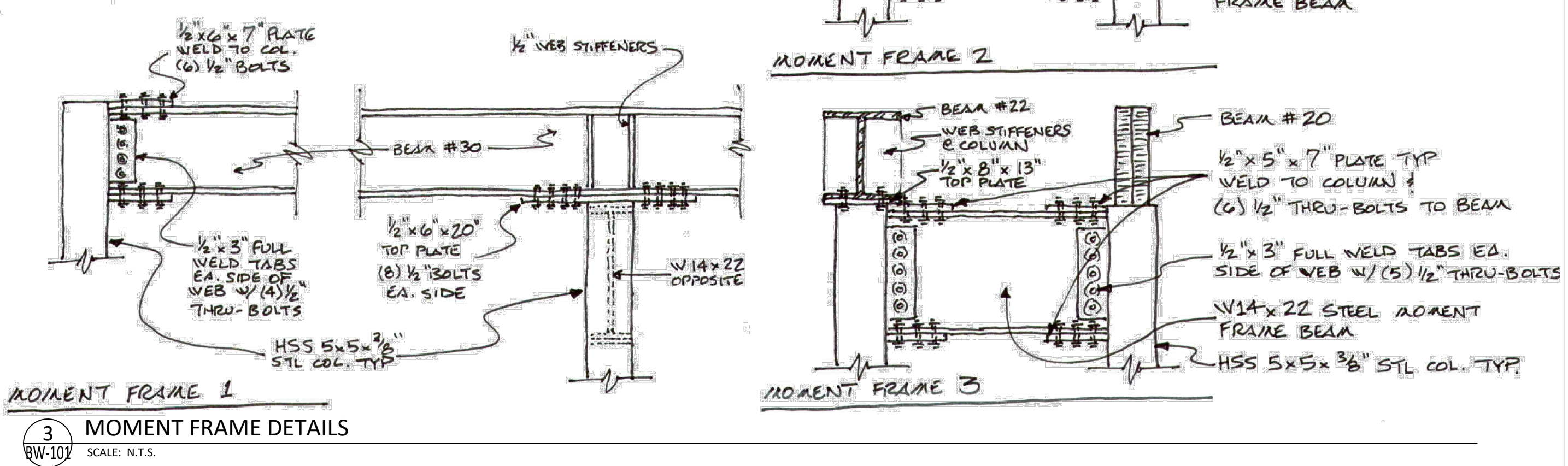
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DATE:	03.08.21
Sheet	

A-308



WALL BRACE NOTES:

- ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.
- ENDS OF ALL BRACE WALL PANELS TO HAVE (2) 2x6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DITIZ HOLD-DOWNS.
- ALL INTERIOR BRACE WALLS TO HAVE 1" CONTINUOUS PLYWOOD SHEATHING ON ONE, MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.



BRACE WALL LINES/PANELS TABLE

ADDRESS: GAMBELLI DRIVE, YORKTOWN HEIGHTS, NY | ULTIMATE WIND SPEED = 115 MPH

LINE NUMBER	LINE SPACING	BRACING METHOD	MIN. B.W. LENGTH REQ'D	FACTORS (TABLE R602.10.3(1))				ADJUSTED MIN. B.W. LENGTH PROVIDED	B.W. LENGTH PROVIDED	BLOCKING REQUIRED (Y/N)		
				EXPOSURE	HEIGHT	WALL HEIGHT	* OF PANEL LINES					
1	17.0'	CS-WSP	3.05'	1.0	.70	.95	1.3	1.0	2.64'	4.0'	Y	Y
2	19.0'	CS-WSP	4.14'	1.0	.85	.95	1.3	1.0	4.35'	6.0'	Y	Y
	19.0'	MF-1	2.07'	-	-	-	-	-	20.25'	SEE DETAIL	SEE DETAIL	SEE DETAIL
3	19.0'	CS-WSP	6.20'	1.0	.85	.95	1.3	1.0	6.51'	12.0'	Y	Y
A	31.8'	GPF	9.27'	-	-	-	-	-	22.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL
B	31.8'	CS-WSP	9.27'	1.0	.85	.95	1.3	1.0	9.73'	10.0'	Y	Y
C	31.8'	MF-2	2.39'	-	-	-	-	-	3.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL
	31.8'	MF-3	2.39'	-	-	-	-	-	3.0'	SEE DETAIL	SEE DETAIL	SEE DETAIL

NOTES: 1. ALL FLOORS - ENDS OF ALL BRACE WALL PANELS TO HAVE MINIMUM 12"x2" x 6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DITIZ HOLD-DOWN ANCHORS.
2. FIRST FLOOR - ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

4 FIRST FLOOR BRACE WALL LINES / PANEL TABLE
SCALE: N.T.S.

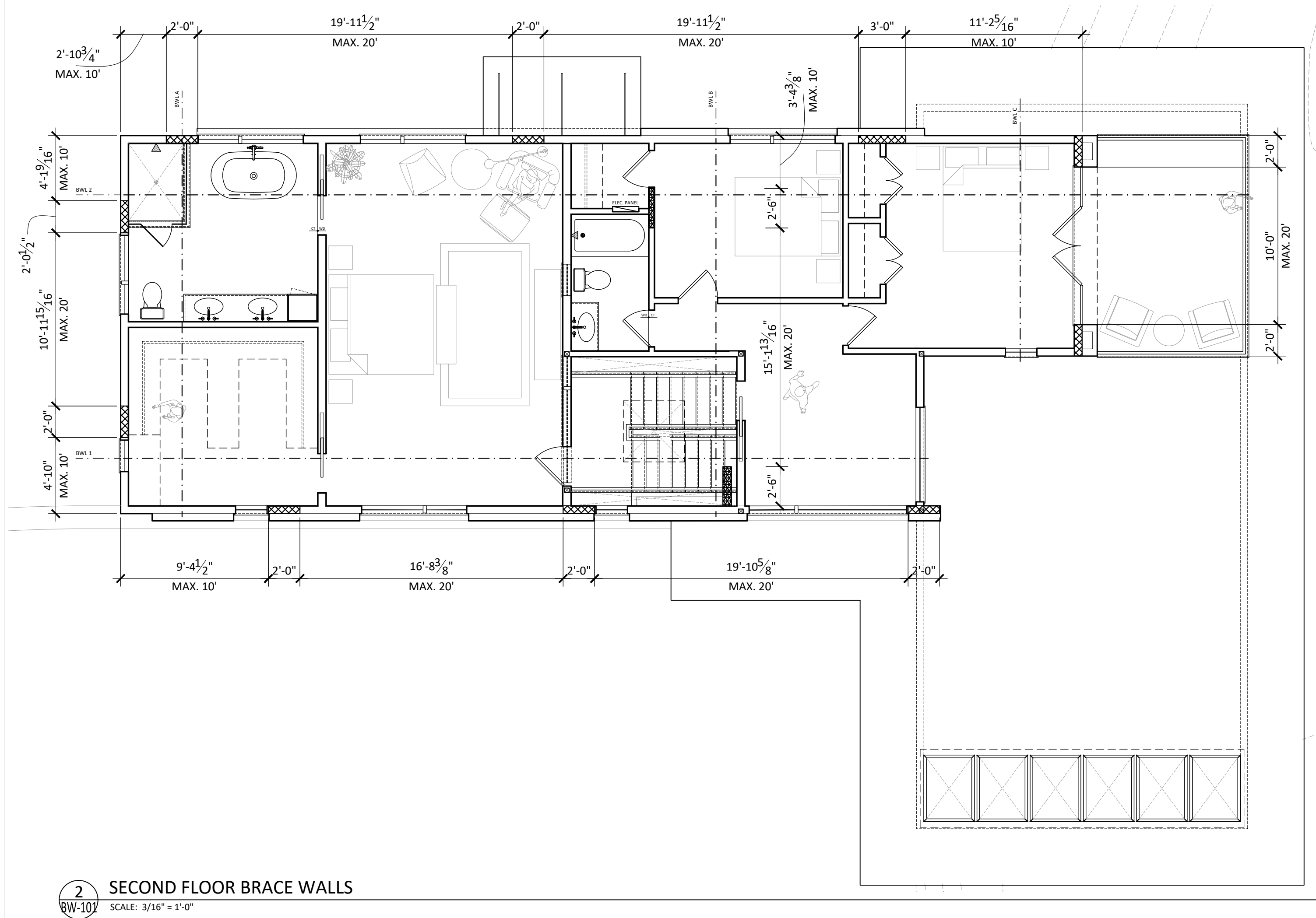
BRACE WALL LINES/PANELS TABLE

ADDRESS: GAMBELLI DRIVE, YORKTOWN HEIGHTS, NY | ULTIMATE WIND SPEED = 115 MPH

LINE NUMBER	LINE SPACING	BRACING METHOD	MIN. B.W. LENGTH REQ'D	FACTORS (TABLE R602.10.3(1))				ADJUSTED MIN. B.W. LENGTH PROVIDED	B.W. LENGTH PROVIDED	BLOCKING REQUIRED (Y/N)		
				EXPOSURE	HEIGHT	WALL HEIGHT	* OF PANEL LINES					
1	16.0'	CS-WSP	2.9'	1.0	.70	.90	1.0	1.83'	6.0'	Y	Y	
2	16.0'	CS-WSP	2.9'	1.0	.70	.90	1.0	1.83'	6.0'	Y	Y	
A	33.0'	CS-WSP	4.95'	1.0	.70	.90	1.3	1.0	4.05'	4.05'	Y	Y
B	18.5'	GPF	6.05'	1.0	.70	.90	1.3	1.0	4.96'	5.0'	N	Y
C	18.5'	CS-WSP	3.28'	1.0	.70	.90	1.3	1.0	2.68'	4.0'	Y	Y

NOTES: 1. ALL FLOORS - ENDS OF ALL BRACE WALL PANELS TO HAVE MINIMUM 12"x2" x 6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DITIZ HOLD-DOWN ANCHORS.
2. FIRST FLOOR - ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

5 FIRST FLOOR BRACE WALL LINES / PANEL TABLE
SCALE: N.T.S.



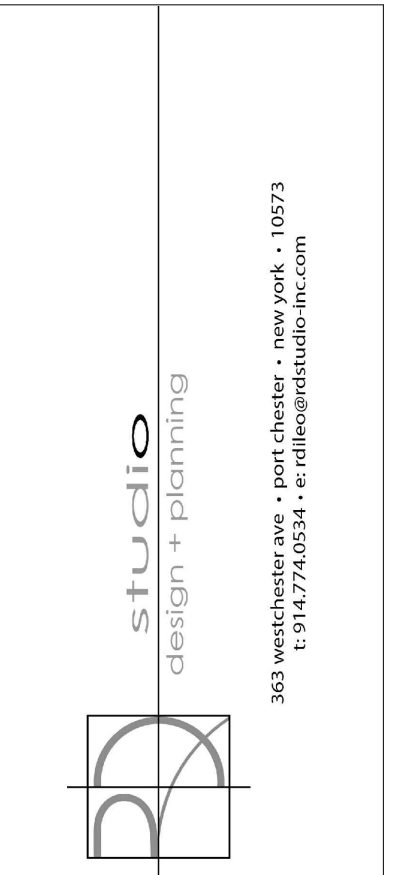
2 SECOND FLOOR BRACE WALLS
SCALE: 3/16" = 1'-0"

ISSUES:

SUBMITTED FOR PERMIT	10.15.21
REV. 1. DOB COMMENTS	02.11.22

DRAWING STATUS:

EXISTING CONDITIONS	
PRELIMINARY	
BID DRAWINGS	
CONTRACT DRAWINGS	
PERMIT DRAWINGS	
NOT FOR CONSTRUCTION	
CONSTRUCTION DRAWINGS	



NEW SINGLE-FAMILY DWELLING FOR:
GREGG T. CHAPPELL & EMILY YAVITZ
1102 GAMBELLI DRIVE, YORKTOWN-HEIGHTS NY 10598
BRACE WALLS PLANS

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02/09/2022

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DATE: 03.08.21
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BW-101

Volta Charging Stations



445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
T 914 761 1300
F 914 761 5372
cuddyfeder.com

6/1/2022

Kristen Motel
kmotel@cuddyfeder.com

**VIA EMAIL
AND HAND DELIVERY**

RECEIVED
PLANNING DEPARTMENT

Chairman Richard Fon
and Members of the Planning Board
Town of Yorktown
366 Underhill Avenue
Yorktown Heights, NY 10598

JUN 1 2022

TOWN OF YORKTOWN

Re: Volta Electric Vehicle Charging Stations
Site Plan Application
Premises: Staples Plaza, 3333-3379 Crompond Road, Yorktown, New York

Dear Chairman Fon and Members of the Planning Board:

This letter and enclosed materials are respectfully submitted on behalf of Volta Charging, LLC (“Volta”), in support of its site plan application for the proposed installation of electric vehicle (“EV”) charging stations at the Staples Plaza (“Plaza”) located at 3333-3379 Crompond Road in the Town of Yorktown, New York.

Volta appeared before the Planning Board at its April 11th meeting for review of the proposed zoning amendments to permit its EV charging stations, which were adopted by the Town Board on April 19th. During that meeting, the Planning Board expressed support for the zoning amendments and installation of EV charging infrastructure in Yorktown.

As the Board is aware, Volta is a publicly traded company that operates the most utilized EV charging network in the United States. By adopting a consumer-focused approach that offers free (Level 2) or subsidized (DC Fast) charging supported by sponsored content, Volta is accelerating State and Federal objectives to support low cost and large-scale EV deployment at convenient locations. Volta partners with large retailers across the Northeast to install publicly available EV infrastructure, which encourages consumer adoption of electric vehicles with net reductions in carbon emissions.

The Plaza and Volta’s Proposed Installation

This site plan application involves a limited request by Volta to allow the installation of EV charging stations in the parking lot of the Staples Plaza. The Plaza is currently classified within the Commercial Shopping Center (“C-1”) Zoning District and is situated to the south of Crompond Road (Route 202). The Plaza shopping center consists of several retailer, including Staples, BJs, and Party City, as well as a gym and pet store.

Volta is proposing to install two (2) EV DC Fast charging stations with display screens on existing landscaped islands in the parking lot within the first row of parking spaces, closest to the Staples building entrance. The stations are approximately 7.1’ tall, 3.5’ long and 1.3’ wide and include 55” digital displays.



Compliance with Zoning Code Standards

On April 19th, the Town Board adopted zoning text amendments to permit display screens on EV charging stations as an accessory use in the C-1 Zoning District subject to specific bulk, design, and visibility requirements. See Exhibit C – Town of Yorktown Local Law No. 4 of 2022; Town of Yorktown Zoning Code (“Zoning Code”) §§ 300-21.C(8)(c)(6), 300-193.2.A.

As demonstrated on the enclosed Site Drawings, prepared by Kimley-Horn P.C., dated April 4, 2022 (“Site Drawings”), the proposed EV charging stations will comply with the following criteria enumerated Section 300-193.2.A of the Zoning Code:

1. The EV charging station equipment will not exceed 7.5’ in height or 3’ in width. Each station is approximately 7.1’ tall and 1.3’ wide.
2. The EV charging station display screens will not exceed 9 square feet.
3. The EV charging stations will consist of two screens, one on each side of the station equipment.
4. The EV charging station displays will contain nonvideo, static image advertising systems and will be equipped with an auto-dimming feature.
5. The EV charging station displays will limit content refresh rates to no less than every 8 seconds.
6. The EV charging station displays will not contain video or sound.

In accordance with Zoning Code Section 300-84, the design and location of the EV charging stations will be in harmony with the commercial building and not have a detrimental effect on the surrounding area. See Enclosed Site Drawings. The location of the stations in the first row of parking spaces closest to the Staples entrance—approximately 140’ from Crompond Road—avoids off-site visibility and will have no impact on vehicular traffic. Of note, the EV charging stations will not result in any changes to the existing traffic circulation patterns within the Plaza.

Consistency with Yorktown Policies and Objectives

In accordance with the Town of Yorktown 2010 Comprehensive Plan (“2010 Comprehensive Plan”), the installation of EV charging stations will promote and support sustainable transportation options for Yorktown’s citizens and visitors to commercial businesses while also assisting in emissions reduction.¹ Moreover, Volta’s stations will offer the amenity of subsidized charging to shopping center patrons, which encourages the success of the Plaza businesses,² promotes economic growth and encourages business opportunities within this commercial district.³ The EV charging stations are specifically designed to ensure that they will be compatible with surrounding land uses. It is respectfully submitted that the proposed EV charging stations are consistent with the public health, safety, morals and general welfare of the community.

¹ See 2010 Comprehensive Plan, pgs. 3-10, 3-23, 4-2, 4-3.

² See 2010 Comprehensive Plan, pgs. 4-2.

³ See 2010 Comprehensive Plan, pgs. 4-2, 4-3, 4-28.



Environmental Review

The installation of the EV charging stations constitute a Type II action that is exempt from the State Environmental Quality Review Act. See 6 NYCRR §§ 617.5(c)(9), (13). Nonetheless, a Short Environmental Assessment Form has been included in this application and is enclosed as **Exhibit B**.

Conclusion

For the reasons set forth above, and as will be further discussed at the public hearing on this matter, the proposed EV charging stations comply with the applicable bulk, design, and visibility requirements, as well as local policies and objectives, and the Applicant respectfully requests approval of the site plan.

Materials Enclosed

In support of the proposed amendments, enclosed please find 12 copies of the following materials:

- Exhibit A:** Site Plan Application;
- Exhibit B:** Short Environmental Assessment Form; and
- Exhibit C:** Town of Yorktown Local Law No. 4 of 2022.

Also enclosed are Site Plans prepared by Kimley-Horn, P.C. dated April 4, 2022, and a check for \$3,938.00 made payable to the Town of Yorktown representing the site plan application fee.

We respectfully request that this matter be placed on the Planning Board's next available meeting Agenda. Should the Board or Town Staff have any questions regarding the enclosed, please do not hesitate to contact us. Thank you in advance for your consideration in this regard.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kristen Motel', is written over a light blue horizontal line.

Kristen Motel
Enclosures

Cc: John A. Tegeder, R.A., Yorktown Director of Planning
Robyn A. Steinberg, AICP, CPESC, Town Planner
Volta Charging, LLC
Kimley-Horn, P.C.
Allison Fausner, Esq.

Exhibit A

RECEIVED
PLANNING DEPARTMENT
JUN 1 2022

TOWN OF YORKTOWN PLANNING BOARD

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

TOWN OF YORKTOWN

APPLICATION FOR SITE PLAN APPROVAL

Date May 5, 2022

1. Name of Project: Staples Plaza - 3333-3379 Crompond Road

2. Tax Map Designation (Section, Block, Lot) 36.06-2-76

3. Zone: C-1 Total Acreage: 15.95

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):

Two electric vehicle charging stations to be located in existing curbed islands that are adjacent to onsite parking spaces. The EV stations
are accessory to the existing commercial use and solely for the benefit of customers visiting the store, with no proposed changes to traffic circulation.

6. Contact Person - CHOOSE ONLY ONE:

Applicant Owner Architect Wetland Scientist
 Attorney Engineer Surveyor Landscape Architect

7. Applicant

Name Samuel Lee
Firm Volta Charging LLC
Address 48W 38th Street New York, NY 10018
Phone 917-903-6066
Fax _____
Email samuel.lee@voltagecharging.com

8. Owner of Record

Name UB Yorktown, LLC Attn: Andrew Albrecht
Firm _____
Address c/o Urstadt Biddle Properties Inc., 321 Railroad Ave., Greenwich, CT 06830
Phone 203-863-8200
Fax _____
Email aalbrecht@ubproperties.com

9. Attorney

Name Kristen Motel
Firm Cuddy & Feder LLP
Address 445 Hamilton Avenue, 14th Floor White Plains, New York 10601
Phone (914) 761-1300
Fax _____
Email KMotel@cuddyfeder.com

10. Engineer

Name Daniel LoFrisco
Firm Kimley-Horn & Associates, Inc.
Address 1 N Lexington Ave Suite 505, White Plains, NY 10601
Phone (914) 368-9200
Fax _____
Email Dan.LoFrisco@kimley-horn.com
Lic. No. 090067

11. Surveyor

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

12. Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

13. Wetland Scientist/Specialist

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No
16. Is this project within 500 feet of the Putnam County line? Yes No
17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

- The right-of-way of any existing or proposed state or county road? Yes No
The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No
The boundary of state or county-owned land on which a public building/ institution is located? Yes No
An existing or proposed county drainage line? Yes No
The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

- Wetland Permit
 Stormwater Permit
 Tree Permit
 Planning Board special permit: _____
 Town Board variance or approval: _____
 Zoning Board of Appeals variance or special permit: _____

22. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

23. This parcel is in the following districts:

School District 555402 Yorktown Water District Yorktown Consolidated Water Distric #1
 Fire District Mohegan Sewer District Peekskill

A Short or Full EAF with the original signature of the applicant or project sponsor must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Special Permit Requirements, Zoning Ordinance, Lighting Ordinance, Tree Removal and Stormwater Ordinance, and any additions or amendments thereto.

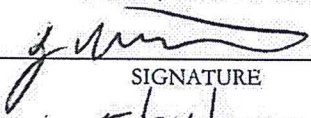
The applicant agrees to execution and delivery of deeds and required documents for reserved open space, drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

Applicant

Samuel Lee
 NAME (PLEASE PRINT)
Samuel Lee
 SIGNATURE
05/05/2022
 DATE

Owner of Record

UB Yorktown, LLC By: Urstadt Biddle Properties Inc. its sole member

Andrew Albrecht
 NAME (PLEASE PRINT)

 SIGNATURE
5/24/2022
 DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

Connecticut Fairfield
STATE OF ~~NEW YORK~~; COUNTY OF ~~WESTCHESTER~~ SS. : Greenwich

Andrew Albrecht, being duly sworn, deposes and says that he ^{is employed} resides at 321 Railroad Ave., Greenwich in the County of Fairfield and State of Connecticut. That he is the Vice President of Urstadt Biddle Properties Inc., sole member of UB Yorktown, LLC the corporation which is owner in fee of the property described in the foregoing application for _____ site plan approval and that the statements contained therein are true to the best of his knowledge and belief.
UB Yorktown, LLC By: Urstadt Biddle Properties Inc., its sole member

Sworn before me this 24th date of May, 2022

Joanne Phillips
Notary Public

JOANNE PHILLIPS
NOTARY PUBLIC
STATE OF CONNECTICUT
MY COMMISSION EXPIRES _____

AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the agent named in the foregoing application for _____ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20 __

Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLANTB.wpd
Last updated: August 2013

Exhibit B

JUN 1 2022

TOWN OF YORKTOWN

Short Environmental Assessment Form

Part 1 - Project Information

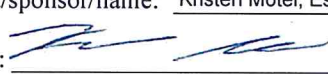
Instructions for Completing

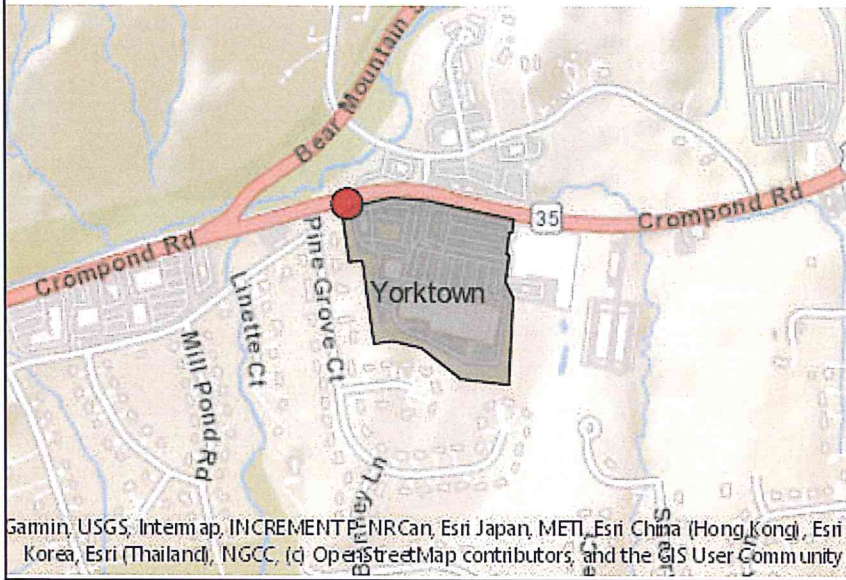
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Staples Plaza - Volta Electric Vehicle Charging Stations			
Project Location (describe, and attach a location map): 3333-3379 Crompond Road, Town of Yorktown, New York (36.06-2-76)			
Brief Description of Proposed Action: The Applicant is proposing to install two (2) electric vehicle ("EV") charging stations to be located in existing curbed islands that are adjacent to on site parking spaces. The EV stations are accessory to the existing commercial use and solely for the benefit of customers visiting the store. There is no proposed changes to the existing traffic circulation.			
Name of Applicant or Sponsor: Kristen Motel, Esq - Attorney for the Applicant (Volta Charging, LLC)		Telephone: 914-761-1300 E-Mail: kmotel@cuddyyfeder.com	
Address: 445 Hamilton Avenue, 14th Floor			
City/PO: White Plains		State: New York	Zip Code: 10601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Permit - Building Department			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		15.95 acres	
b. Total acreage to be physically disturbed?		0.03 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		15.95 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <p style="margin-left: 20px;">a. Will storm water discharges flow to adjacent properties?</p> <p style="margin-left: 20px;">b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</p> If Yes, briefly describe: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <hr/> <hr/>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Kristen Motel, Esq.</u>		Date: <u>June 1, 2022</u>
Signature: <u></u>		Title: <u>Attorney for Applicant</u>



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Garmin, USGS, Intermap, INCREMENT, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

Exhibit C

JUN 1 2022

Local Law Filing

TOWN OF YORKTOWN

New York State Department of State
Division of Corporations, State Records and Uniform Commercial Code
One Commerce Plaza, 99 Washington Avenue
Albany, NY 12231-0001
www.dos.ny.gov

(Use this form to file a local law with the Secretary of State.)

Text of law should be given as amended. Do not include matter being eliminated and do not use italics or underlining to indicate new matter.

County City Town Village
(Select one.)

of Yorktown

FILED
STATE RECORDS

APR 22 2022

DEPARTMENT OF STATE

Local Law No. 4 of the year 2022

A local law to amend Chapter 300 of the Code of the Town of Yorktown entitled "ZONING"
(Insert Title)

Be it enacted by the Town Board of the
(Name of Legislative Body)

County City Town Village
(Select one.)

of Yorktown

as follows:

Section I. Statement of Authority.

This local law is authorized by the New York State Constitution, the provisions of the New York Municipal Home Rule Law, the relevant provisions of the Town Law of the State of New York, the laws of the Town of Yorktown and the general police power vested with the Town of Yorktown to promote the health, safety and welfare of all residents and property owners in the Town.

Section II.

Section 300-3(B) of the Code of the Town of Yorktown is hereby amended by adding the following definitions:

Electric Vehicle ("EV") Charging Station

An apparatus designed to provide electric battery charging for electric powered vehicles and installed in publicly accessed parking areas and lots.

Electronic visual output device

An electronic illuminated screen similar to a computer or television monitor or display, whether monochrome or colored, and of common types such as cathode ray tube (CRT), thin film transistor (TFT), liquid crystal display (LCD), light-emitting diode (LED) or organic light-emitting diode (OLED).

continued on Page 2A

(If additional space is needed, attach pages the same size as this sheet, and number each.)

PAGE 2A.

Section 300-21(C) of the Code of the Town of Yorktown is hereby amended by adding the following 300-21(C)(7)(b)[4]:

Electric Vehicle Charging Stations

Section 300-21(C) of the Code of the Town of Yorktown is hereby amended by adding the following 300-21(C)(8)(c)[6]:

Electric Vehicle Charging Stations

Section 300-46(N)(5) of the Code of the Town of Yorktown is hereby amended by adding a new section 300-46(N)(5)(a) as follows:

Illuminated signs comprised of an electronic visual output device such as a monitor or visual display which is incorporated into a fuel pump for the purpose of delivering commercial advertising, news, or general information are permitted as provided in Article XX Signs.

Section 300-193.1 of the Code of the Town of Yorktown is hereby amended by adding the following new section 300-193.1(Q):

Illuminated signs comprised of an electronic visual output device such as a monitor or visual display which is incorporated into an electric vehicle charging station or fuel pump for the purpose of delivering commercial advertising, news, or general information as defined in this chapter and as provided in 300-193.10.2.

Section 300-193 of the Code of the Town of Yorktown is hereby amended by replacing 300-193.10 with the following language:

Illuminated alternating image or video-based message signs.

Section 300-193 of the Code of the Town of Yorktown is hereby amended by adding the following new section 300-193.10.1:

Time-temperature-date signs. Time-temperature-date signs are permitted as permanent accessory signs on commercially developed parcels notwithstanding the general prohibition on changing signs. These signs may only display numerical information in an easily comprehensible way. They may be freestanding or building signs and are subject to the regulations applicable to such signs. They shall be counted as part of an occupancy's allowable sign area.

Section 300-193 of the Code of the Town of Yorktown is hereby amended by adding the following new section 300-193.10.2:

Illuminated signs on EV charging stations or fuel pumps are permitted and are exempt from the requirements of this section provided they comply with the following standards:

PAGE 2B.

- a) The sign may not be incorporated into equipment that exceeds 7.5 feet in height or three feet in width.
- b) The electronic visual output device shall not exceed 9 square feet per screen.
- c) No more than one screen shall be permitted on each side of a charging station or fuel pump and no more than two screens shall be permitted per station or fuel pump.
- d) Non-video, static image advertising or messaging systems shall be equipped with an auto-dimming feature.
- e) Non-video, static image advertising or messaging systems shall limit content refresh rates to no less than every eight (8) seconds.
- f) Video or sound is prohibited unless permitted by the authorized board under site plan or special permit approval.

Compliance with these standards shall be regulated and maintained through site plan or special permit approval or amendment thereto in accordance with this Chapter 300.

Severability.

If any clause, sentence, phrase, paragraph or any part of this local law shall for any reason be adjudicated finally by a court of competent jurisdiction to be invalid, such judgment shall not affect, impair or invalidate the remainder of this local law, but shall be confined in its operation and effect to the clause, sentence, phrase, paragraph or part thereof, directly involved in the controversy or action in which such judgment shall have been rendered. It is hereby declared to be the legislative intent that the remainder of this local law would have been adopted had any such provisions been excluded.

Section I. Repeal

All ordinances, local laws and parts thereof inconsistent with this Local Law are hereby repealed to the extent of such inconsistency.

Section II. Effective Date.

This local law shall become effective upon filing in the office of the Secretary of State in accordance with the provisions of the Municipal Home Rule Law.

(Complete the certification in the paragraph that applies to the filing of this local law and strike out that which is not applicable.)

1. (Final adoption by local legislative body only.)

I hereby certify that the local law annexed hereto, designated as local law No. 4 of 2022 of the ~~(County)(City)(Town)(Village)~~ of Yorktown was duly passed by the Town Board on April 19, 2022, in accordance with the applicable provisions of law.
(Name of Legislative Body)

2. (Passage by local legislative body with approval, no disapproval or repassage after disapproval by the Elective Chief Executive Officer*.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) *(Name of Legislative Body)* (repassed after disapproval) by the _____ and was deemed duly adopted *(Elective Chief Executive Officer*)* on _____ 20____, in accordance with the applicable provisions of law.

3. (Final adoption by referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) *(Name of Legislative Body)* (repassed after disapproval) by the _____ on _____ 20____. *(Elective Chief Executive Officer*)*

Such local law was submitted to the people by reason of a (mandatory)(permissive) referendum, and received the affirmative vote of a majority of the qualified electors voting thereon at the (general)(special)(annual) election held on _____ 20____, in accordance with the applicable provisions of law.

4. (Subject to permissive referendum and final adoption because no valid petition was filed requesting referendum.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the (County)(City)(Town)(Village) of _____ was duly passed by the _____ on _____ 20____, and was (approved)(not approved) *(Name of Legislative Body)* (repassed after disapproval) by the _____ on _____ 20____. Such local law was subject to permissive referendum and no valid petition requesting such referendum was filed as of _____ 20____, in accordance with the applicable provisions of law. *(Elective Chief Executive Officer*)*

* Elective Chief Executive Officer means or includes the chief executive officer of a county elected on a county-wide basis or, if there be none, the chairperson of the county legislative body, the mayor of a city or village, or the supervisor of a town where such officer is vested with the power to approve or veto local laws or ordinances.

5. (City local law concerning Charter revision proposed by petition.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the City of _____ having been submitted to referendum pursuant to the provisions of section (36)(37) of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of such city voting thereon at the (special)(general) election held on _____ 20____, became operative.

6. (County local law concerning adoption of Charter.)

I hereby certify that the local law annexed hereto, designated as local law No. _____ of 20____ of the County of _____ State of New York, having been submitted to the electors at the General Election of November _____ 20____, pursuant to subdivisions 5 and 7 of section 33 of the Municipal Home Rule Law, and having received the affirmative vote of a majority of the qualified electors of the cities of said county as a unit and a majority of the qualified electors of the towns of said county considered as a unit voting at said general election, became operative.

(If any other authorized form of final adoption has been followed, please provide an appropriate certification.)

I further certify that I have compared the preceding local law with the original on file in this office and that the same is a correct transcript therefrom and of the whole of such original local law, and was finally adopted in the manner indicated in paragraph 1 above.

Diana L. Quast
Clerk of the county legislative body, City, Town or Village Clerk or officer designated by local legislative body

Date: April 20, 2022

(Seal)

Site Plans

volta

STAPLES PLAZA

3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY 10598
TOWN OF YORKTOWN
SBL: 36.06-2-76

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

New York

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LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
1 N LEXINGTON AVE, SUITE 505
WHITE PLAINS, NY 10601
PHONE: 914.368.9200
WWW.KIMLEY-HORN.COM

REV	DATE	DESCRIPTION	BY
1	04/01/2022	CD100s	TAS

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04/01/2022

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UNLESS THEY ARE ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, TO ALTER THIS DOCUMENT.

STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
COVER SHEET

SHEET NUMBER
C0-00

ITEM	TASK	YES	NO	N/A
1	CONTACT 811 UTILITY PRIOR TO EXCAVATION WORK.			
2	NOTIFY VOLTA & KIMLEY-HORN OF ANY DISCREPANCIES W/ PLANS OR POTENTIAL CONFLICTS.			
3	VERIFY ALL FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH THESE PLANS.			
4	INSTALL WORK AREA PROTECTION MEASURES.			
5	FIELD LOCATE EXISTING UTILITIES AND CROSSINGS & VERIFY NO CONFLICTS W/PROPOSED INFRASTRUCTURE.			
6	FIELD VERIFY ALL STALL DIMENSIONS AND EQUIPMENT LOCATIONS.			
7	CONFIRM ALL ADA AND LOCAL REQUIREMENTS ARE MET.			
8	ESTABLISH TEMPORARY CONSTRUCTION ACCESS(ES).			
9	IMPLEMENT AND MAINTAIN EPSC CONTROL MEASURES PER LOCAL REQUIREMENTS.			
10	LOCATE VERTICAL AND HORIZONTAL UTILITIES PRIOR TO BORING.			
11	PROVIDE PROPOSED LIMITS OF ASPHALT OVERLAY SKETCH TO KIMLEY-HORN & VOLTA (IF NEEDED).			
12	SEED & STABILIZE ALL DISTURBED AREAS AFTER FINAL GRADING.			

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BUILDING/ DWELLING, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE/LIFE SAFETY CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL GOVERNING AUTHORITIES CODES.

VOLTA PROPOSES:

- 2 ELECTRIC VEHICLE (EV) CHARGING STATION FIXTURES TO BE LOCATED IN EXISTING CURBED ISLAND AREAS THAT ARE ADJACENT TO ON-SITE PARKING SPACES AND PART OF AN EXISTING SHOPPING CENTER AT THE PROPERTY. THE EV FIXTURES ARE CUSTOMARY ACCESSORY AND INCIDENTAL TO THE EXISTING COMMERCIAL USE AND SOLELY FOR THE BENEFIT OF CUSTOMERS VISITING THE STORE. THE FIXTURES ARE LOCATED TO PROVIDE PRIORITY PARKING FOR PATRONS WITH EVS AND DISPLAY VISIBILITY ALONG THE INTERIOR CIRCULATION AISLE FOR SHOPPERS. THERE ARE NO PROPOSED CHANGES TO THE PARKING SPACES OR ANY OF THE EXISTING TRAFFIC CIRCULATION AT THE PROPERTY.

APPLICANT:

KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
1 N LEXINGTON AVE, SUITE 505
WHITE PLAINS, NY 10601
CONTACT: DEAN APOSTOLERIS
PHONE: (914)-368-9199
EMAIL: DEAN.APOSTOLERIS@KIMLEY-HORN.COM

SITE PARTNER:

URSTADT BIDDLE PROPERTIES
321 RAILROAD AVENUE
GREENWICH, CT 06830
CONTACT: BRIAN MCCAFFREY
PHONE: (203)-863-8200
EMAIL: BMCCAFFREY@UBPROPERTIES.COM

PROGRAM MANAGER:

KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
CONTACT: RYAN GRAM, P.E.
PHONE: (615)-564-2865
EMAIL: RYAN.GRAM@KIMLEY-HORN.COM

CIVIL ENGINEER:

KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
CONTACT: DANIEL LOFRISCO, P.E.
PHONE: (973)-420-4182
EMAIL: DAN.LOFRISCO@KIMLEY-HORN.COM

ELECTRICAL ENGINEER:

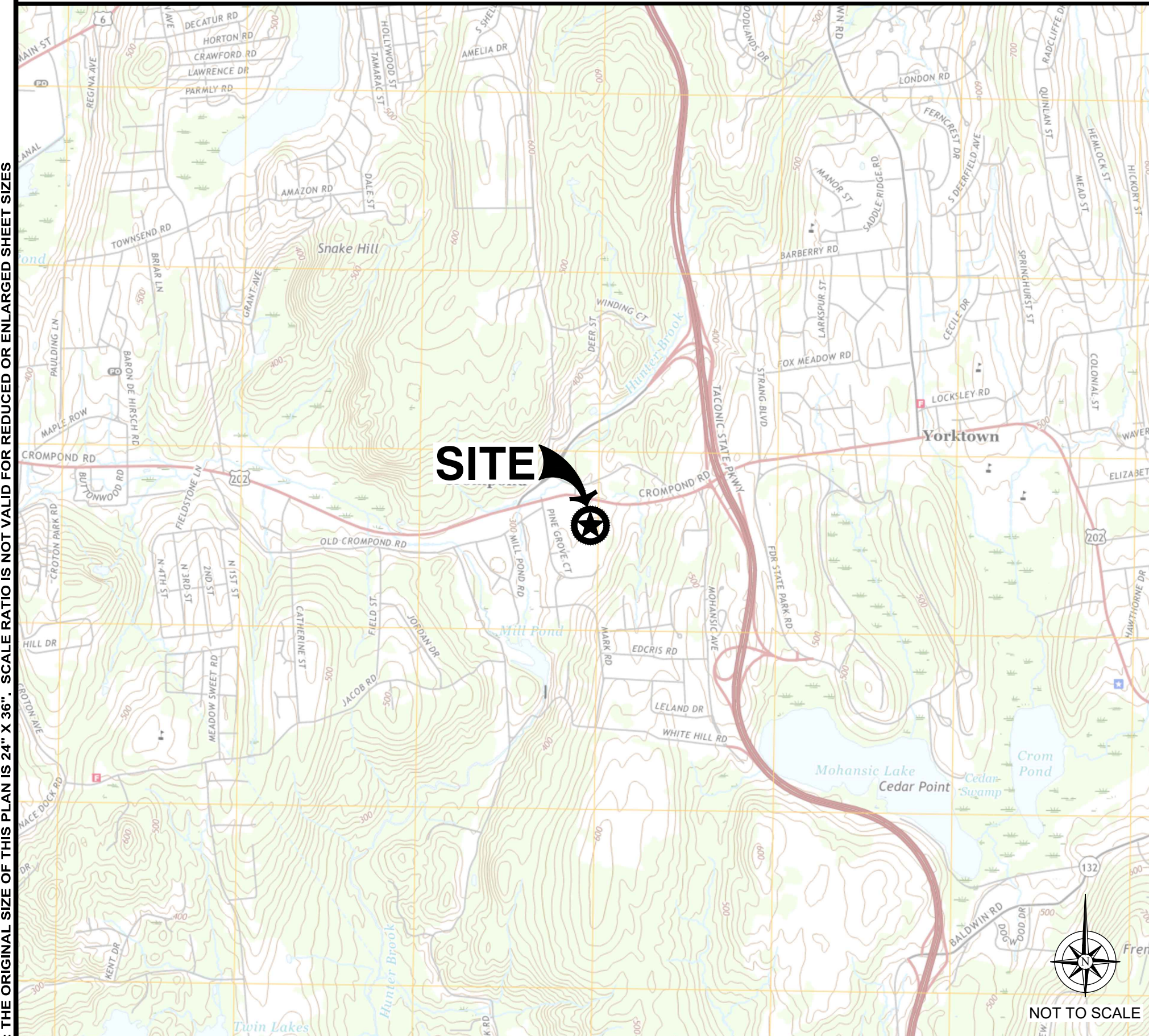
KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
CONTACT: JEFFREY SALLEE, P.E.
PHONE: (757)-213-8635
EMAIL: JEFFREY.SALLEE@KIMLEY-HORN.COM

CONTRACTOR VERIFICATION CHECKLIST

CODE BLOCK

PROJECT DESCRIPTION

PROJECT TEAM



Sheet Title	Sheet Number
COVER SHEET	C0-00
GENERAL NOTES	C0-01
VOLTA STATION OVERVIEW	C0-02
OVERALL SITE PLAN	C1-00
ENLARGED SITE PLAN	C2-00
SITE DETAILS	C3-00
SITE DETAILS	C3-01
SITE DETAILS	C3-02
SITE DETAILS	C3-03
SITE DETAILS	C3-04
SITE DETAILS	C3-05
ELECTRICAL ONE LINE DIAGRAM	E1-00
ELECTRICAL NOTES & DETAILS	E2-00

SHEET INDEX



DIG ALERT

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

Know what's BELOW.
CALL before you dig.

CALL AT LEAST TWO WORKING
DAYS BEFORE YOU DIG

CALL BEFORE YOU DIG

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

LOCATION MAP

VICINITY MAP

DC Fast Media Station

Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they drive.

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.



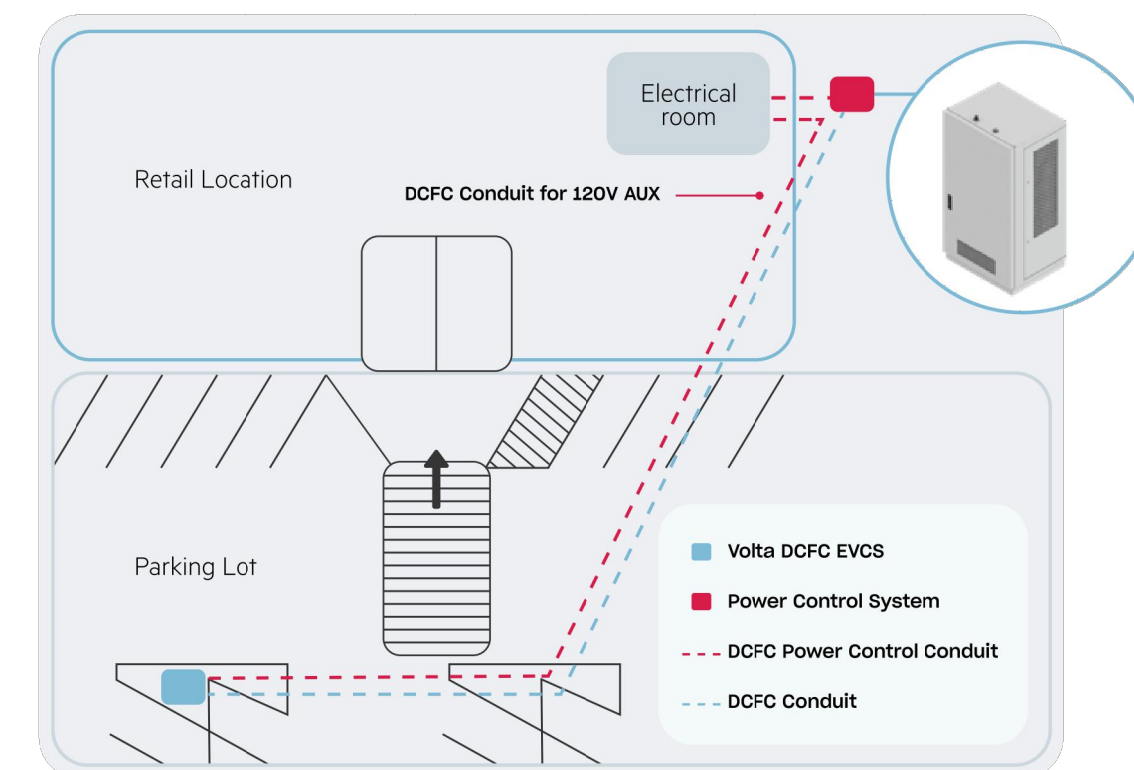
Power Control System (PCS)

Supports up to 2 DC Fast stations

- Single 50 kW station: 90A/3P, 480V breaker
- (2) 50 kW stations: 175A/3P, 480V breaker
- Certification: UL ® 2202, 2231, 50E
- Dimensions: 82"H x 42"L x 35"D
- Weight range: 1350-1900 lbs

Installation Requirements

- Foundation requirements: 48"D x 48"L x 48"W
 - Clearance: 96"H x 75"D x 114"W
 - Conduit diameter: size varies based on run lengths
- Contact engpm@voltacharging.com



DC Fast Media Station

Charger Specs

- Output power: 50 kW max (DC)
- Safety certification: ETL safety certified

Power Requirements

- Input voltage: 480 VAC
- Output voltage: 50 - 500 VDC
- Circuit size: 90A/3P @ 480V (50kW) or 175/3P @ 480V (50kW x 2)
- Network connectivity: Cell connection or LAN access

Display Screen Specs

- Size: 55" Outdoor LED back light system x2
- Picture: Full HD 1080p resolution
- Power requirements: 20A/1P, 120V breaker
- File type: JPEG or PNG

Installation Requirements

- Foundation requirements: 36"D x 36"L x 36"W approx.
- Conduit diameter: 3" power conduit / 1" communication conduit approx.

voltacharging.com

770-00003

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn
New York

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WWW.KIMLEY-HORN.COM

REV	DATE	DESCRIPTION	BY
1	04/01/2022	CD100s	TAS

ISSUE DATE

04/01/2022

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PERMIT

FOR REFERENCE ONLY,
DESIGNED AND PROVIDED BY OTHERS.

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ENGINEER, TO ALTER THIS DOCUMENT.

STAPLES PLAZA

**3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598**

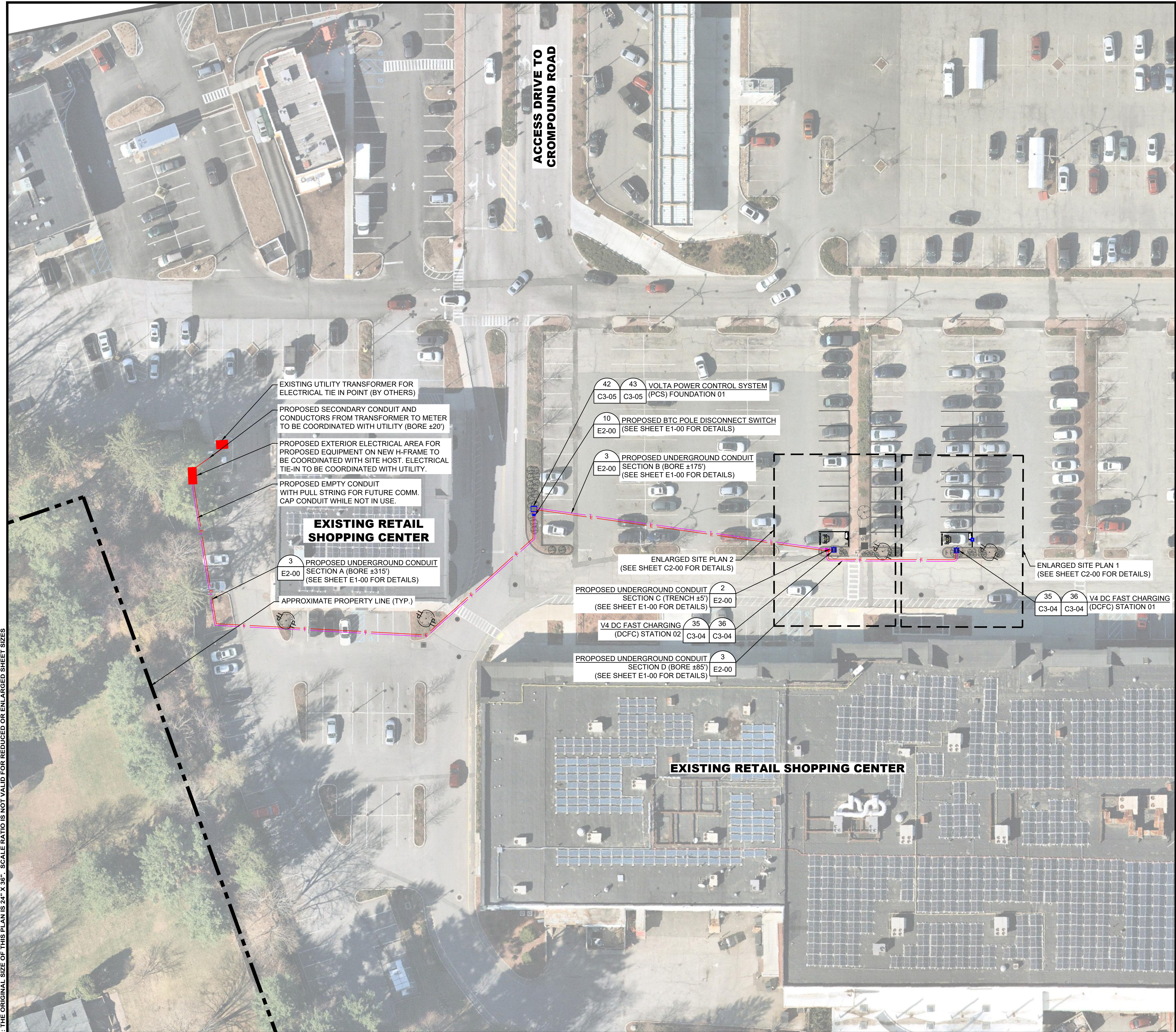
SHEET TITLE

**VOLTA STATION
OVERVIEW**

SHEET NUMBER

C0-02

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

OVERALL SITE PLAN

DISCLAIMER

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CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND VOLTA OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH VOLTA PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

CONSTRUCTION NOTES:

- CONTRACTOR RESPONSIBILITIES CONSISTS OF, BUT NOT LIMITED TO, CHARGING STATION MOUNTING, FOUNDATION CONSTRUCTION, CONDUIT INSTALLATION, AND WIRING.
- CONTRACTOR TO PAINT PROPOSED EV PARKING STALLS PER JURISDICTIONAL REQUIREMENTS.
- CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY CONSTRUCTION ACTIVITY. SEE SHEET C3-00 FOR DETAILS.
- EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.
- CONTRACTOR TO FIELD VERIFY ALL STALL DIMENSIONS AND ALL EQUIPMENT LOCATIONS TO ENSURE SUFFICIENT SPACE IS AVAILABLE.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN DRILLING INTO EXISTING CIP SLAB AND CIP DROP PANELS TO AVOID DAMAGE TO ANY REINFORCING AND EXISTING STRUCTURAL COMPONENTS.
- USE APPROVED ASTM METHOD (X-RAY, PACOMETER, GPR, ETC.) TO LOCATE MILD STEEL AND PRE-STRESSING TENDONS PRIOR TO DRILLING. DO NOT CUT OR DRILL THROUGH ANY EXISTING REINFORCING. ADJUST LOCATION AS NECESSARY TO AVOID EXISTING REINFORCING. ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
- VOLTA WILL MAKE EVERY EFFORT TO FOLLOW, WITH THEIR PROPOSED CONDUIT, AN EXISTING CONDUIT ROUTE FROM ELECTRICAL ROOM TO PROPOSED STATION PLACEMENTS. WHEN AN EXISTING ROUTE IS NOT AVAILABLE, VOLTA WILL MAKE EVERY EFFORT TO CONCEAL/HIDE, PAINT AND MINIMIZE VISUAL IMPACT OF CONDUITS ANYWHERE THEY MAY BE VISIBLE TO THE PUBLIC.
- CONTRACTOR IS RESPONSIBLE TO LOCATE ALL VERTICAL AND HORIZONTAL UTILITIES PRIOR TO DIRECTIONAL BORING. ANY ALTERATIONS TO THE PROPOSED CONDUIT ROUTE ARE TO BE COORDINATED WITH THE PROFESSIONAL ENGINEER(S) PRIOR TO CONSTRUCTION.
- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO LOCATE JUNCTION BOX OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.

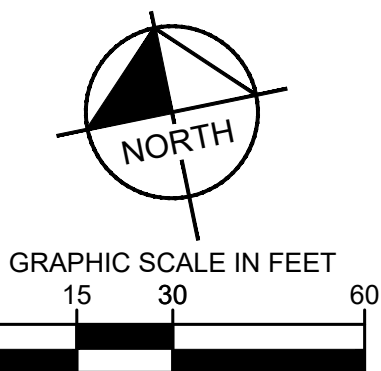
PARKING NOTE:

- THIS PROJECT PROPOSES TO UPGRADE (2) STANDARD PARKING STALLS TO (2) EV PARKING STALLS FOR EV READINESS. NO PARKING REDUCTION IS PROPOSED.
- NO NET CHANGE IN PARKING COUNT

REFERENCE NOTE:

- SEE PROJECT LEGEND ON SHEET C0-01 FOR SYMBOLS AND LINE TYPE DESCRIPTIONS.

IMAGE REFERENCE:
AERIAL IMAGE(S) PROVIDED BY NEARMAP
IMAGERY ©2022 Nearmap, HERE



volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn
New York

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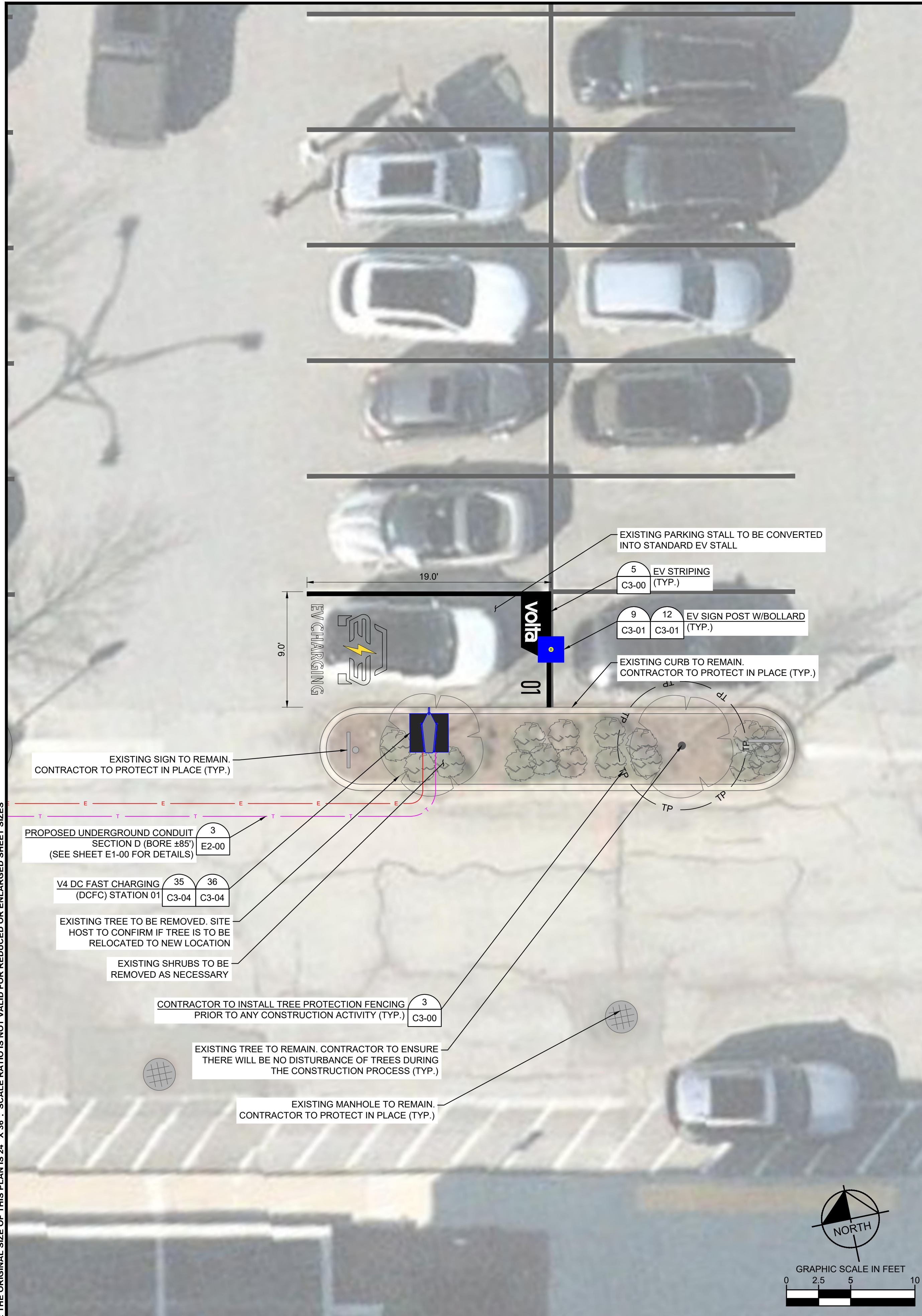
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STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
C1-00

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ENLARGED SITE PLAN

1



ENLARGED SITE PLAN

2

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volta

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SAN FRANCISCO, CA 94103

Kimley»Horn
New York

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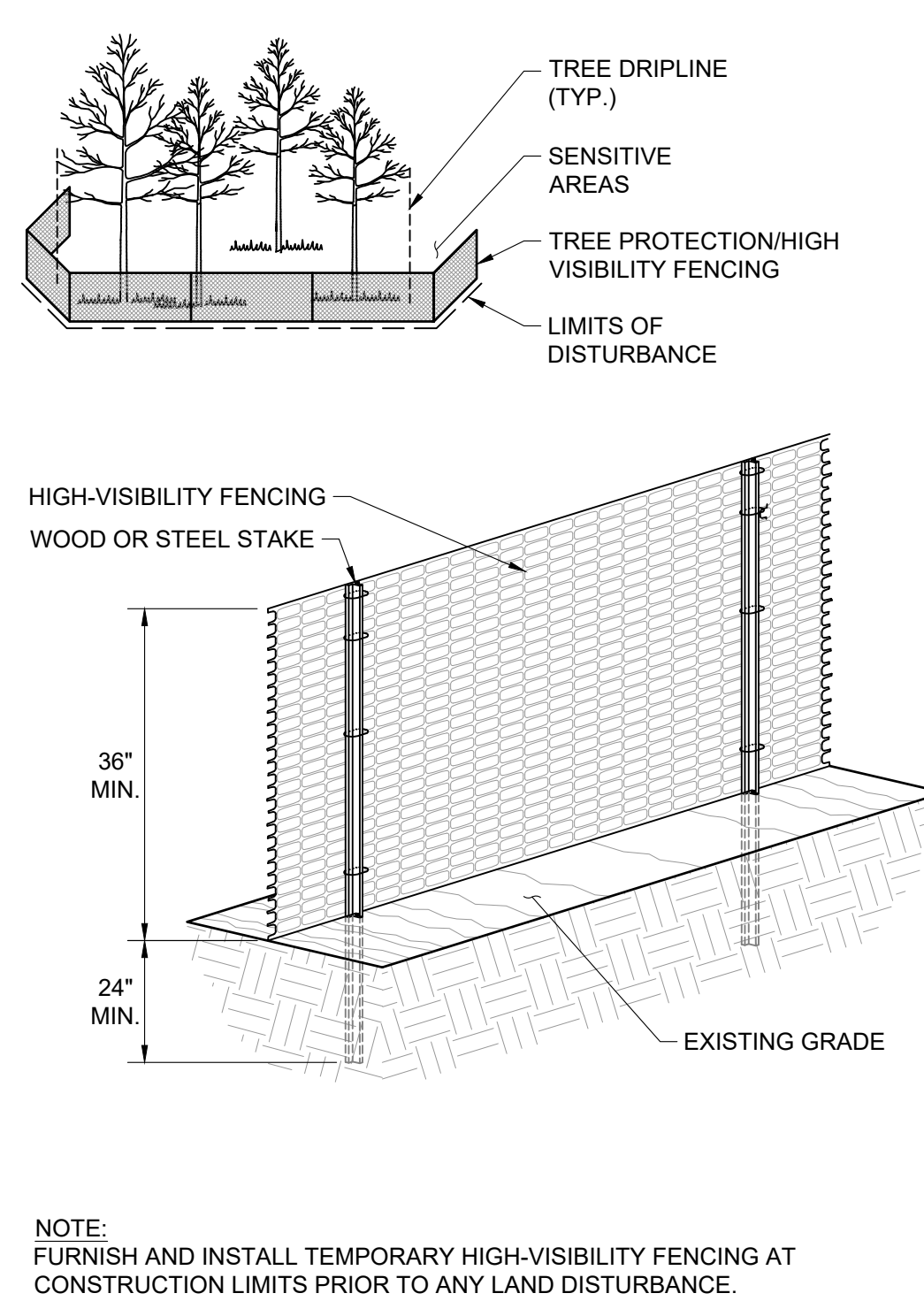
SHEET TITLE

**ENLARGED SITE
PLAN**

SHEET NUMBER

C2-00

- UNLESS NOTED OTHERWISE, THE FOLLOWING NOTES RELATING TO THE "SITE DETAILS" SHEETS SHALL GOVERN.
- COMPRESSIVE STRENGTH OF CONCRETE FOUNDATION SHALL BE A MINIMUM OF 4,500 PSI AT 28 DAYS WITH MAXIMUM W/C RATIO OF 0.45 AND AIR-CONTENT OF 5% +/- 1.5%.
- MINIMUM YIELD STRENGTH OF REINFORCEMENT TO BE 60,000 PSI (ASTM-A615).
- REFERENCE CIVIL AND ELEC DRAWING FOR EQUIPMENT LAYOUT, LOCATION OF CONDUIT, ETC.
- FINAL ANCHOR BOLT AND POLE DESIGN INCLUDING SIZE AND CONFIGURATION ARE BY MFR.
- BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED BY THE OWNER. FOUNDATION DESIGN IS BASED ON A MINIMUM OF 1,500 PSF NET ALLOWABLE BEARING PRESSURE ON UNDISTURBED NATURAL SOIL OR COMPACTED FILL UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL FOUNDATION WORK RELATED TO INSTALLATION OF REBAR SHALL BE INSPECTED BY OTHERS.
- KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE DESIGN OF THE EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. MANUFACTURER SHALL SUBMIT LOADS TO ENGINEER FOR RECORD KEEPING PURPOSES ONLY.
- DESIGN IS BASED ON THE SPECIFIC EQUIPMENT SHOWN IN THESE DRAWINGS AND ILLUSTRATED ON THE VOLTA CUT SHEETS.
- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- ALL FOUNDATIONS ARE TO INCLUDE COMPACTED SUBGRADE AND MINIMUM 6" COMPACTED STONE BASE UNLESS OTHERWISE SPECIFIED.
- BUILDING CODE: IBC 2018
DESIGN PARAMETERS (PER ASCE 7-16):
WIND SPEED: 114 MPH
EXPOSURE CATEGORY: C
TOPOGRAPHY CATEGORY: 1
RISK CATEGORY: II
SEISMIC PARAMETERS: Ss = .279g
S1 = .060g
SITE CLASS: D
FROST DEPTH: 42"
FEMA FLOOD ZONE: X
NOTE: BOLLARDS ARE NOT DESIGNED FOR FULL 6 KIP IMPACT LOADS UNLESS OTHERWISE NOTED AS "VEHICULAR RATED".



volta
155 DE HARO STREET
SAN FRANCISCO, CA 94103

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New York
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1	04/01/2022	CD100s	TAS

GENERAL NOTES	SCALE N.T.S.	1	NOT USED	SCALE N.T.S.	2	TREE PROTECTION	SCALE N.T.S.	3	NOT USED	SCALE N.T.S.	3
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FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS

Volta Charging
STRIPING GUIDELINES

PRODUCTS
Cement Background: Benjamin Moore Floor & Patio Battleship Blue N122-2X
S12x30.0 B11x0.0 G10x30.0
Asphalt Background: Latex-ite 4.75 Gal. Ultra Shield Driveway Filler Sealer
Traffic Paint: Sherwin Williams TM2153 LF Yellow TTP-1952D, TM2152 White TTP-1952D

SURFACE PREP
Backgrounds are to only be painted for marquee locations or any location where the existing space has conflicting designations or is poor shape. For all other instances please proceed to branded striping.

CEMENT BACKGROUND:
For cement backgrounds please use battleship blue. All backgrounds must run edge-to-edge across the entire parking space.

ASPHALT BACKGROUND:
Asphalt should be resealed with sealcoat. All backgrounds must run edge-to-edge across the entire parking space.

BRANDED STRIPING

VOLTA LOGO:
Should match the overall background color of the parking stall (unless you are omitting the container shape according to other specs, if so paint it white).

INES & STENCILS:
Use traffic grade yellow for the lightning bolt stencil. Use traffic grade white for all other lines and stencils.

- SHAPE (WHITE)** Place flush with the top left corner.
- VOLTA LOGO** Center within the shape.
- NUMBERS (WHITE)** The right number lines up flush right to the "G" in "CHARGING" and flush top with the Volta logo. There should be 3 inches in-between the left and right numbers. If stall is less than 8 feet, align numbers with the middle of the "G" (See page 2).
- LETTERS** Place centered, 4 inches from the bottom of the stall.
- CAR** Place centered 14 inches from the top of the letters.

1 of 3

volta Founded in 2010. Designed in San Francisco, built to last in the USA. info@voltacharging.com

EV STRIPING GUIDELINES	SCALE N.T.S.	5	NOT USED	SCALE N.T.S.	6	NOT USED	SCALE N.T.S.	7
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ISSUE DATE
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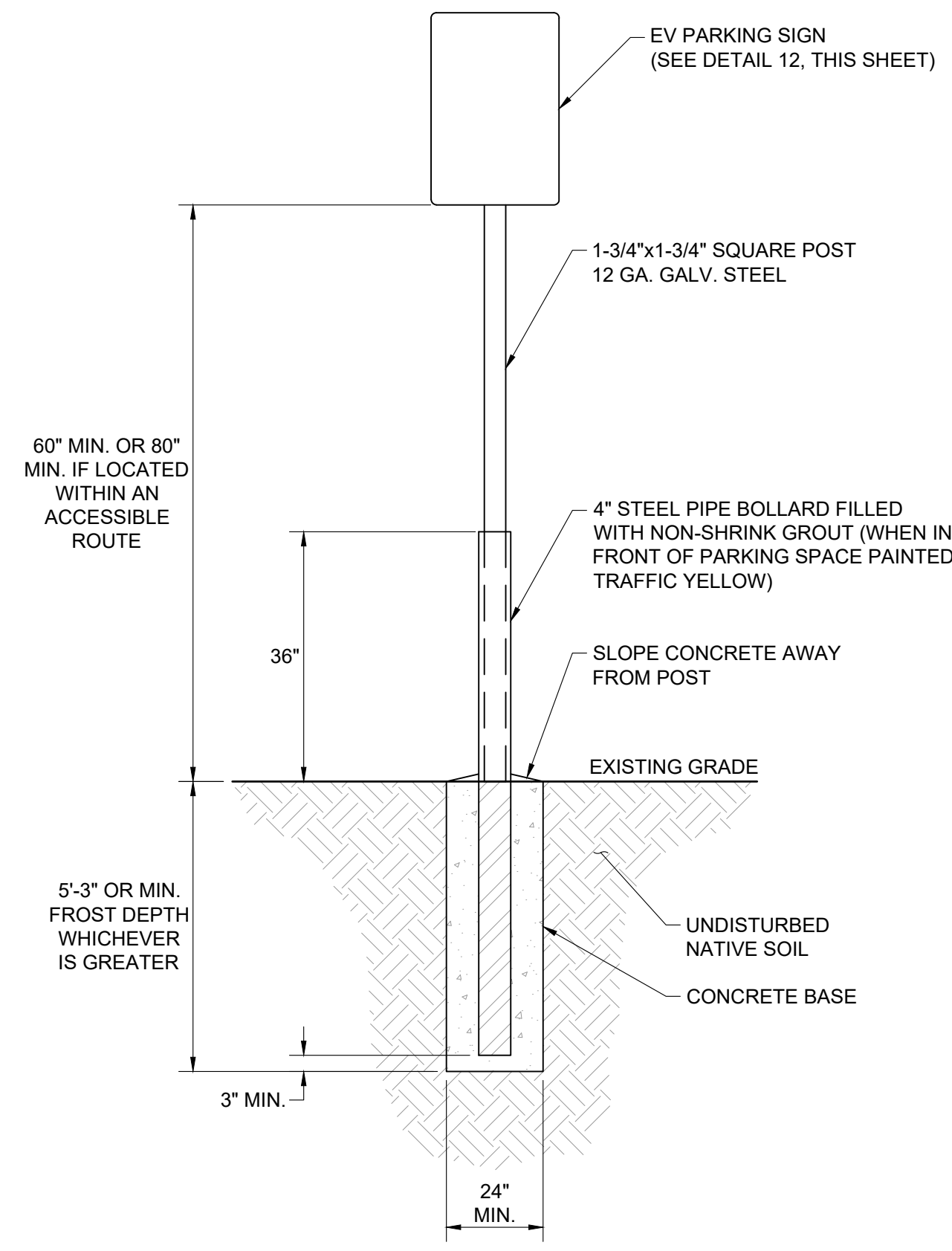
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STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.



- NOTES:
- SIGN TO BE GREEN (PANTONE 355C) WITH WHITE LETTERING AND MUST BE REFLECTIVE LETTERING.
 - TO BE PLACED AT HEAD OF PARKING STALL.
 - POST MOUNTED OBJECTS PER ADA CODE SECTION 11B-307.3.
 - THIS DETAIL SHALL BE USED WHEN SIGN POST IS LOCATED IN PARKING LOT PAVEMENT, OR WITHIN 2' CAR OVERHAND ZONE.
 - REFER TO NOTES FOR ASSUMED GEOTECHNICAL 164 PARAMETERS. THIS SIGN DESIGN ASSUMES ASCE 7-10 WIND SPEED AND AN EXPOSURE CATEGORY B. IF EITHER OF THESE GEOTECHNICAL PROPERTIES OR ASCE 7-10 WIND PARAMETERS DIFFER BASED ON LOCATION THE DESIGN MUST BE UPDATED BY A STRUCTURAL ENGINEER.

NOT USED SCALE N.T.S. 10

NOT USED SCALE N.T.S. 11

NOT USED SCALE N.T.S. 8

SIGN POST W/BOLLARD SCALE N.T.S. 9

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.

- NO TIME LIMIT SIGN**
STADIUMS, OTHER VENUES, ECT.
- 45 MIN. TIME LIMIT SIGN**
FAST FOOD RESTAURANTS, ECT.
- 1 HR. TIME LIMIT SIGN**
DRUG STORES OR SIMILAR QUICK/CONVENIENCE SITES
- 2 HR. TIME LIMIT SIGN**
GROCERY STORES, MALLS, ECT.
- 3 HR. TIME LIMIT SIGN**
MOVIE THEATERS, ENTERTAINMENT CENTERS, ECT.
- 30 MIN. TIME LIMIT SIGN**
DCFC STALLS

SIGN INSTALLATION TYPE:
CONTRACTOR SHALL COORDINATE WITH VOLTA TO DETERMINE EVCS SIGN TYPE PRIOR TO INSTALLATION.

SIGN INSTALLATION HEIGHT:
ALL SIGNS TO BE INSTALLED AT 60" ABOVE FINISH FLOOR. IF SIGNS ARE LOCATED WITHIN AN ACCESSIBLE ROUTE, THEY WILL BE INSTALLED AT 80" ABOVE FINISHED FLOOR. MEASUREMENTS ARE TAKEN FROM BOTTOM OF LOWEST SIGN.

SIGN REQUIREMENTS SCALE N.T.S. 12

NOT USED SCALE N.T.S. 13

NOT USED SCALE N.T.S. 14

NOT USED SCALE N.T.S. 15

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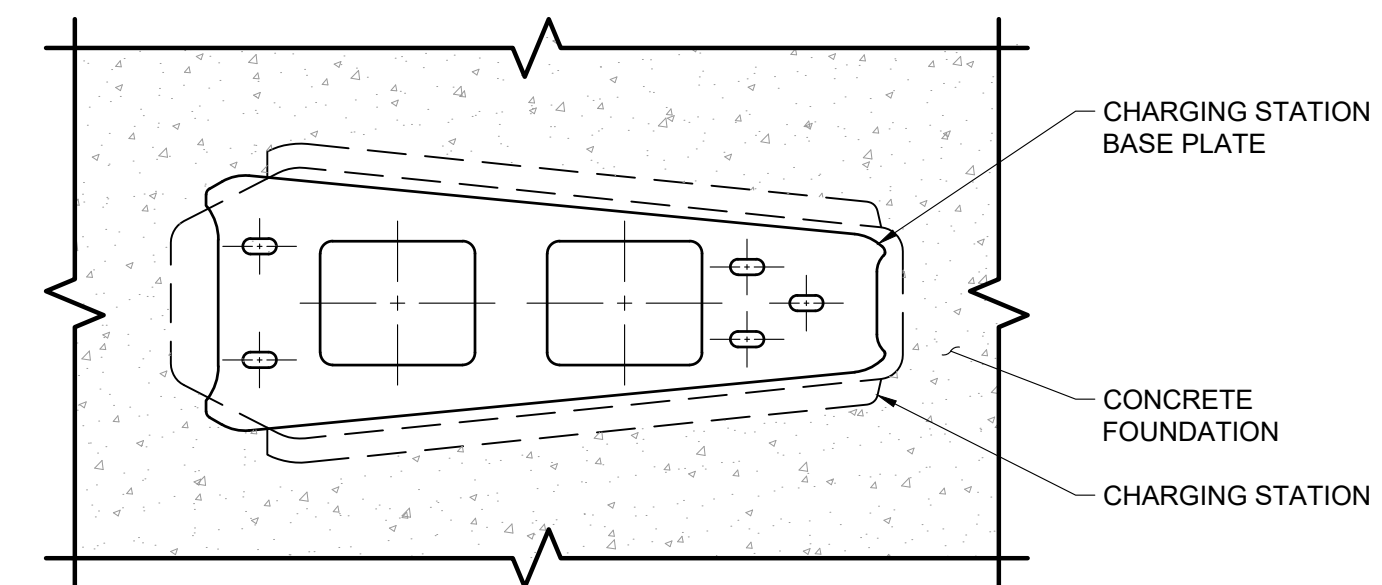
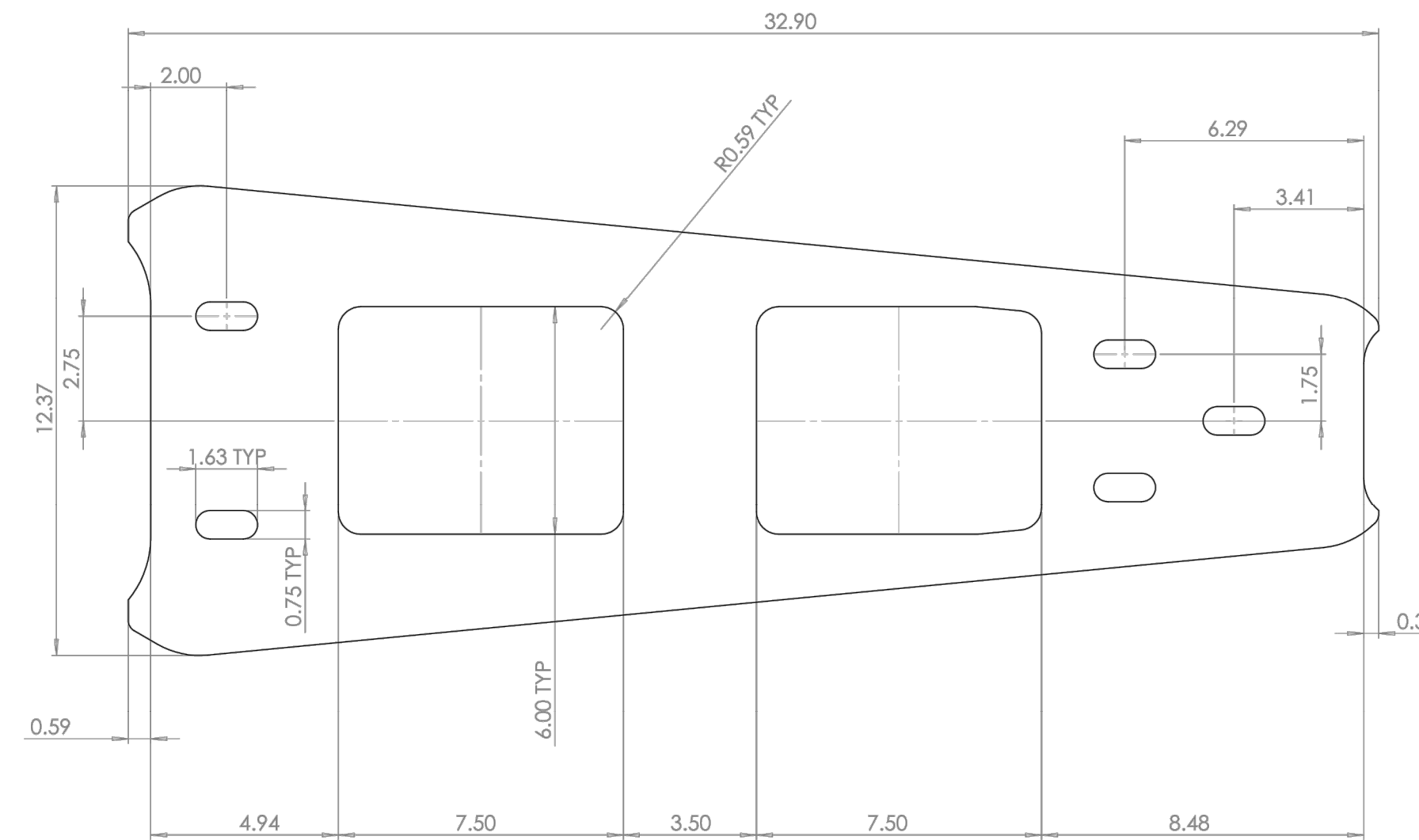
STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
SITE DETAILS

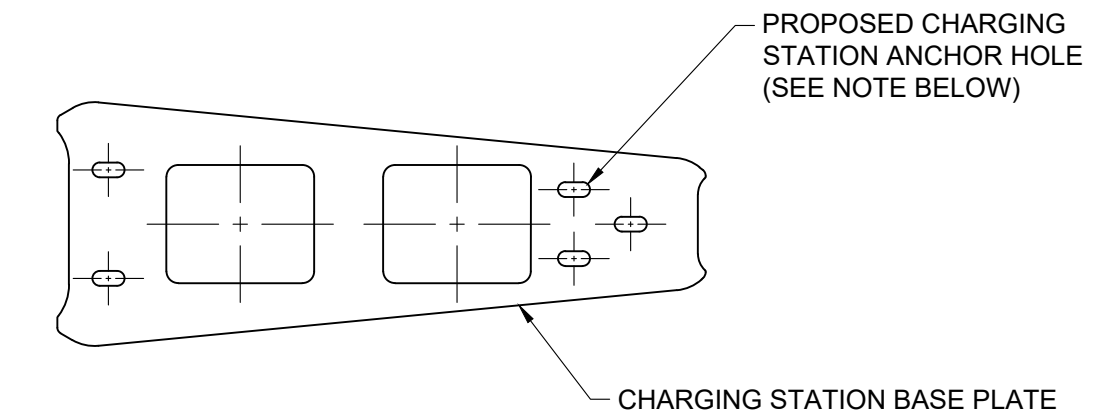
SHEET NUMBER
C3-01

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

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CHARGING STATION BASE PLAN VIEW



CHARGING STATION BASE PLATE PLAN VIEW

NOTES:

1. CONTRACTOR TO VERIFY POST INSTALLATION OR CAST IN PLACE ANCHOR AS LISTED BELOW BASED ON FIELD MEASUREMENTS AND JURISDICTIONAL REQUIREMENTS.
2. CONTRACTOR TO VERIFY EXISTING CONCRETE SLAB THICKNESS AND MAINTAIN 2" MINIMUM COVER OF CONCRETE BELOW EMBEDDED ANCHORS.
3. REFER TO DETAIL 17 FOR BASE PLATE DIMENSIONS.

CAST IN PLACE ANCHOR:
MINIMUM EFFECTIVE EMBEDMENT OF 2" OR ENGINEER APPROVED EQUAL.

POST INSTALLATION MECHANICAL ANCHOR:
(4) 5/8" DIAMETER HILTI KWIK BOLT TZ-SS304 ANCHOR ROD WITH MINIMUM EFFECTIVE EMBEDMENT OF 3-1/4" OR ENGINEERING APPROVED EQUAL.

volta

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STAPLES PLAZA

**3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598**

SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3-02

NOT USED

SCALE
N.T.S.

16

VOLTA V4 BASE PLATE

SCALE
N.T.S.

17

VOLTA BASE PLATE ANCHORAGE

SCALE
N.T.S.

18

NOT USED

SCALE
N.T.S.

19

NOT USED

SCALE
N.T.S.

20

NOT USED

SCALE
N.T.S.

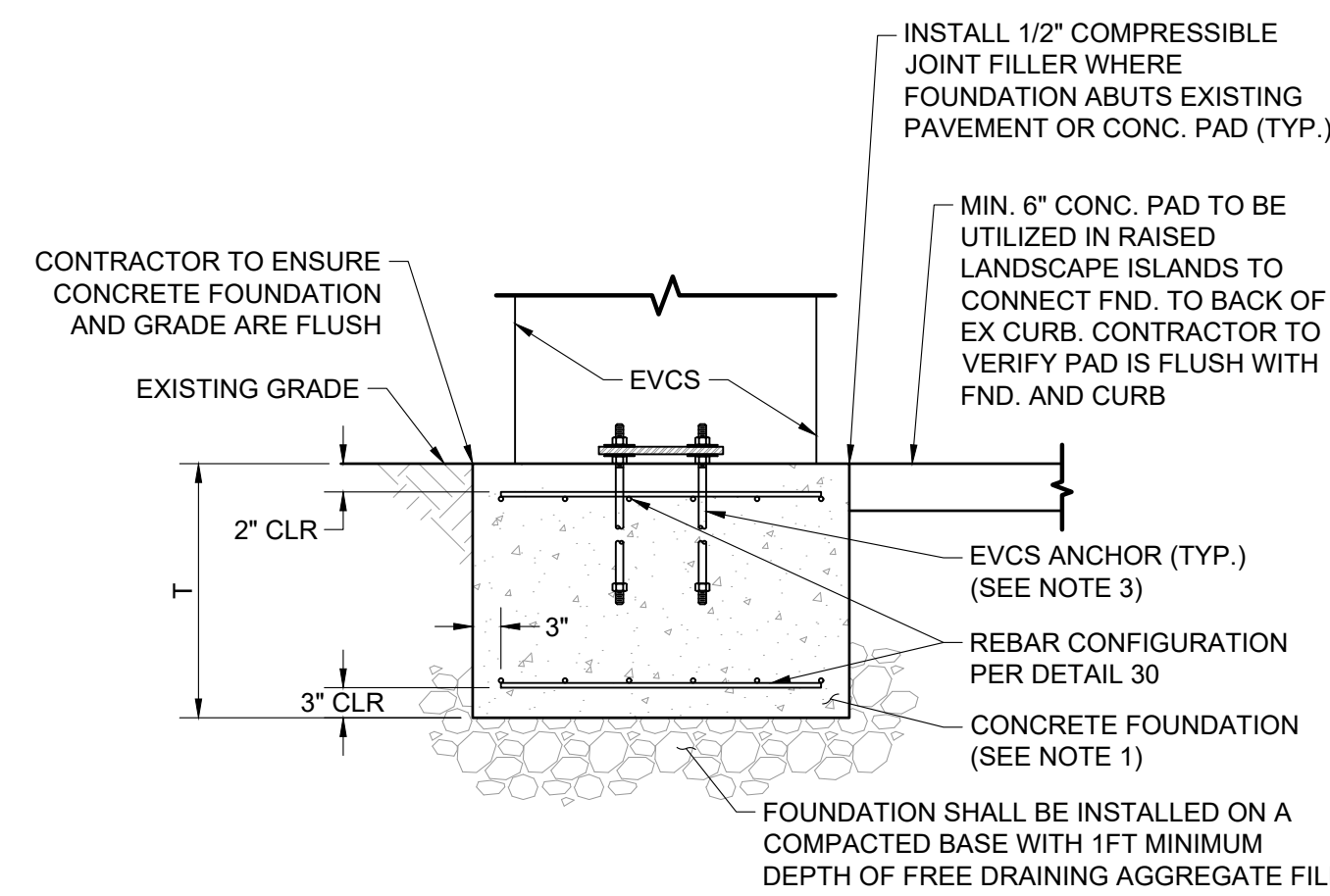
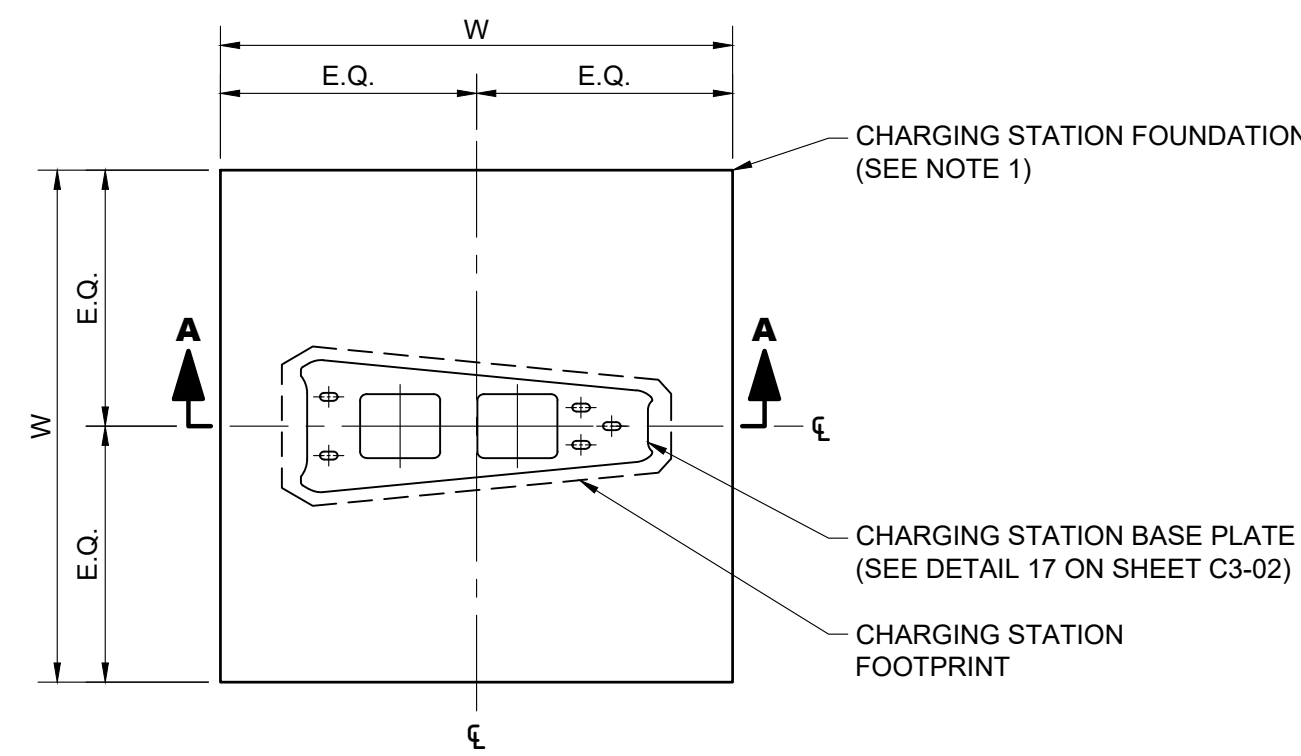
21

NOT USED

SCALE
N.T.S.

22

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NOTES:
 1. SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 2. EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12" O.C. PROVIDE 1/2" COMPRESSIBLE JOINT FILLER AND POURED SEPARATELY.
 3. KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29.

NOTES:
 1. SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 2. SEE DETAIL 24 - FOR PARKING LOT INSTALLATIONS.
 3. SEE DETAIL 29 - FOR PARKING GARAGE INSTALLATIONS.
 3. CHARGING STATION FOUNDATION TO EXTEND FROM BACK OF CURB TO BACK OF CURB WHEN PLACED IN LANDSCAPE ISLAND.

V4 EVCS FOUNDATION SCALE N.T.S. **23**

V4 EVCS FOUNDATION SECTION A-A SCALE N.T.S. **24**

NOT USED SCALE N.T.S. **25**

NOT USED SCALE N.T.S. **26**

EVCS PAD FOUNDATIONS					
CONFIGURATION	WIDTH (W)	THICKNESS (T)	REBAR LAYERS	REBAR SIZE	REBAR QTY. (PER LAYER)
4	3.50	2.50	2	#5	4

NOTES:
 1. FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
 2. PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
 3. FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH BASE WITH 1FT MINIMUM DEPTH OF FREE DRAINING AGGREGATE FILL (UNLESS OTHERWISE SPECIFIED).
 4. VOLTA V4 ELECTRIC VEHICLE CHARGING STATION (EVCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
 5. ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

NOT USED SCALE N.T.S. **27**

NOT USED SCALE N.T.S. **28**

NOT USED SCALE N.T.S. **29**

EVCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. **30**

NOT USED SCALE N.T.S. **31**

NOT USED SCALE N.T.S. **32**

NOT USED SCALE N.T.S. **33**

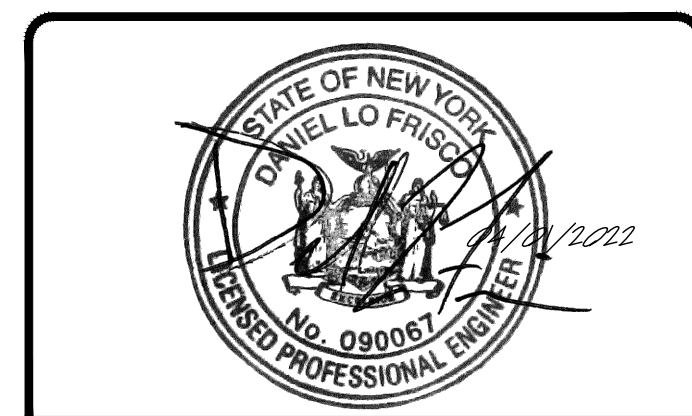
NOT USED SCALE N.T.S. **34**



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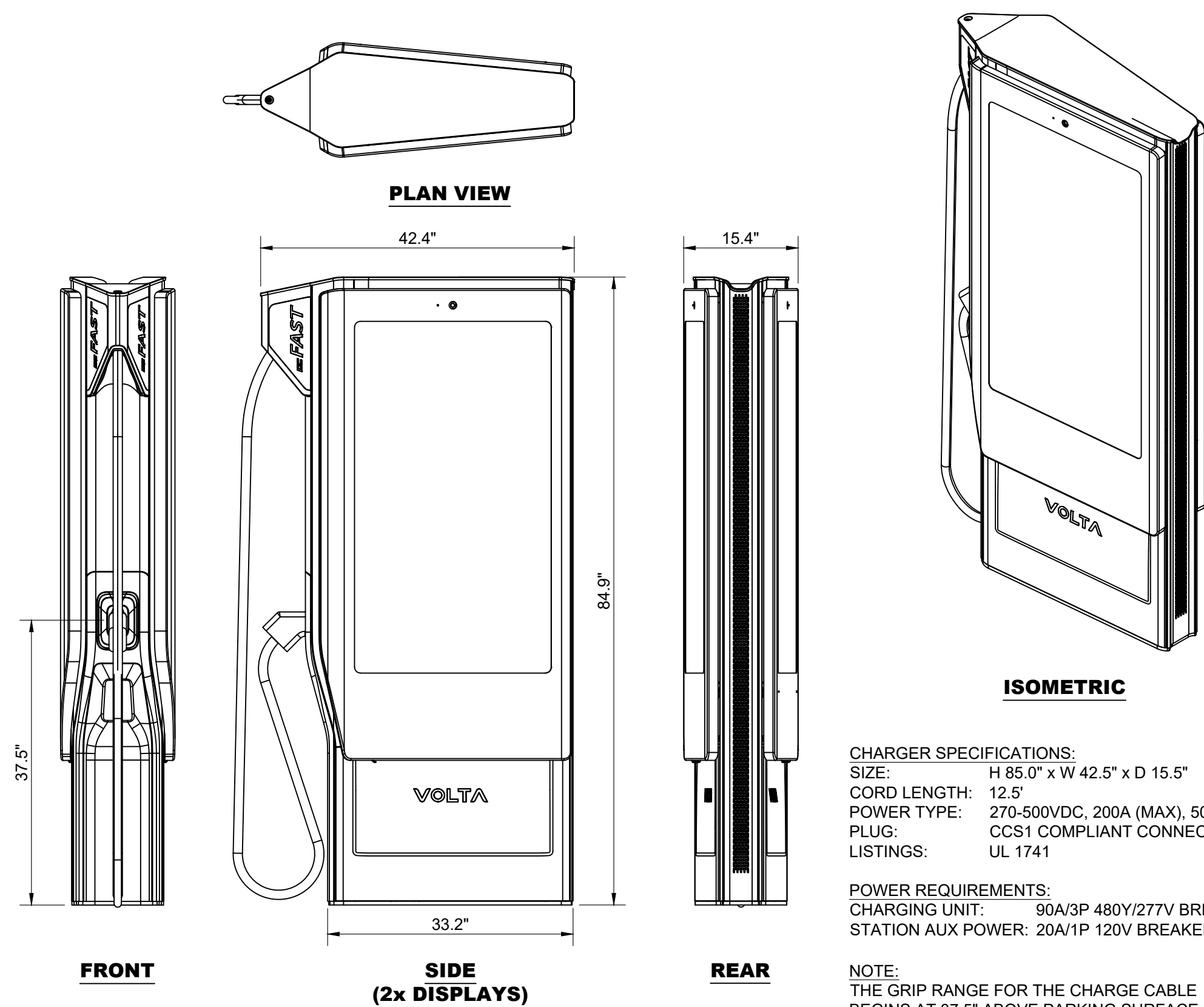
STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-03

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

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DC Fast Media Station

Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they drive.

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.

DC Fast Media Station

- Charger Specs**
- Output power: 50 kW max (DC)
 - Safety certification: ETL safety certified

- Power Requirements**
- Input voltage: 480 VAC
 - Output voltage: 50 - 500 VDC
 - Circuit size: 90A/3P @ 480V (50kW) or 175/3P @ 480V (50kW x 2)
 - Network connectivity: Cell connection or LAN access

- Display Screen Specs**
- Size: 55" Outdoor LED back light system x2
 - Picture: Full HD 1080p resolution
 - Power requirements: 20A/1P, 120V breaker
 - File type: JPEG or PNG

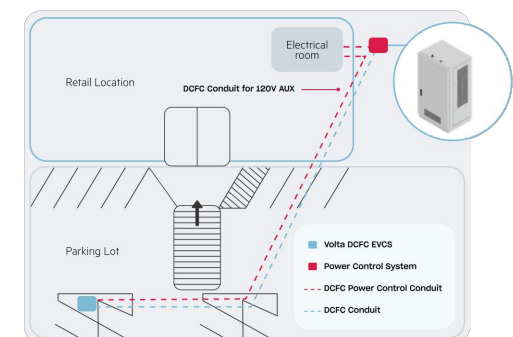
- Installation Requirements**
- Foundation requirements: 36"D x 36"L x 36"W approx.
 - Conduit diameter: 3" power conduit / 1" communication conduit approx.



Power Control System (PCS)

- Supports up to 2 DC Fast Stations
- Single 50 kW station: 90A/3P, 480V breaker
 - 2) 50 kW stations: 175A/3P, 480V breaker
 - Certification: UL * 2202, 2231, 50E
 - Dimensions: 82"H x 42"L x 35"D
 - Weight range: 1350-1900 lbs

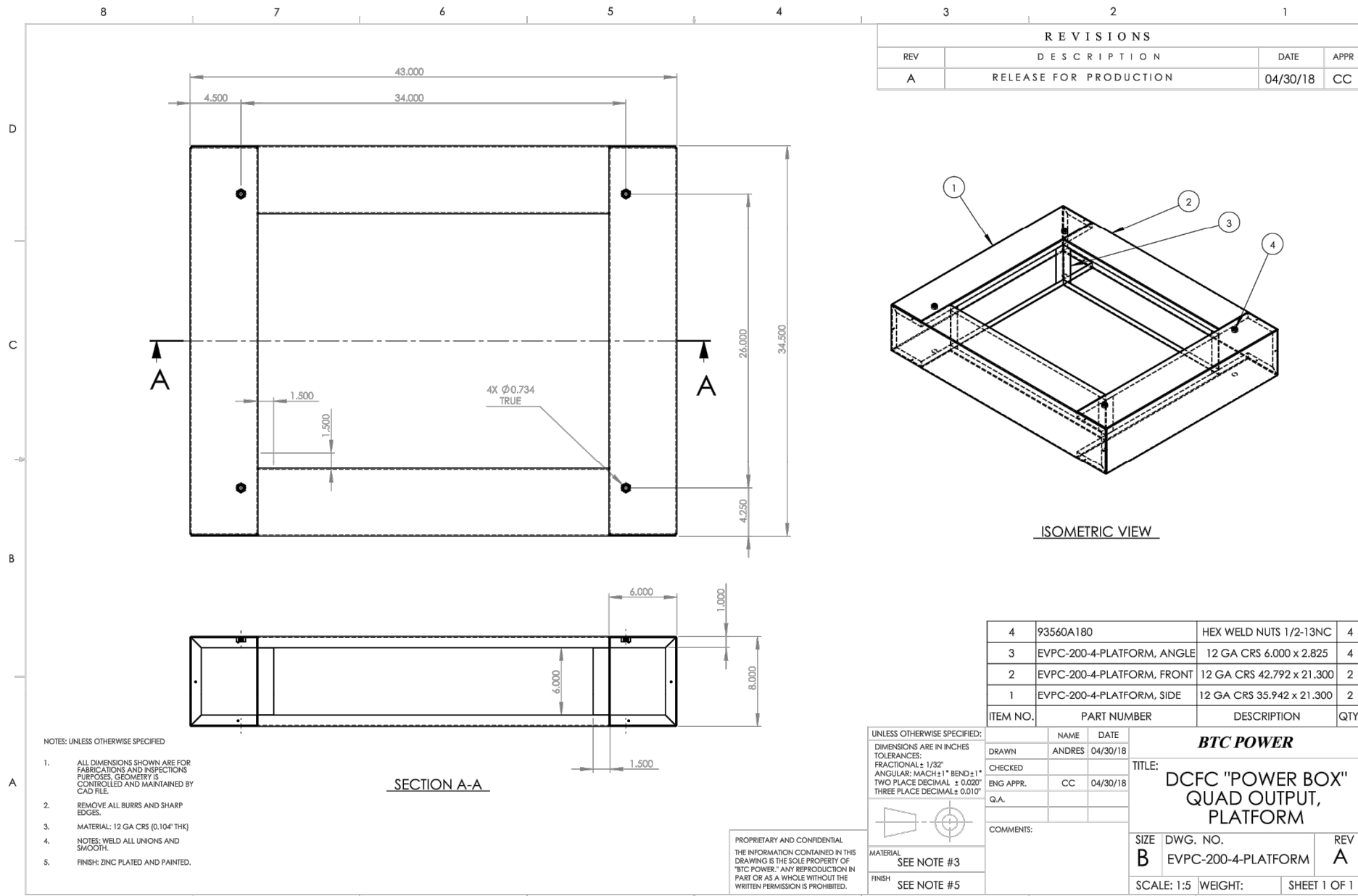
- Installation Requirements**
- Foundation requirements: 48"D x 48"L x 48"W
 - Clearance: 90"H x 75"D x 114"W
 - Conduit diameter: size varies based on run lengths
 - Contact engpm@voltacharging.com



voltacharging.com

770-00003

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V4 DC FAST CHARGING STATION

SCALE N.T.S. 35

DCFC STATION CUT SHEET

SCALE N.T.S. 36

DCFC QUAD OUTPUT PLATFORM

SCALE N.T.S. 37

NOT USED

SCALE N.T.S. 38

NOT USED

SCALE N.T.S. 39

NOT USED

SCALE N.T.S. 40

NOT USED

SCALE N.T.S. 41

volta

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Kimley Horn
New York

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STAPLES PLAZA

**3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598**

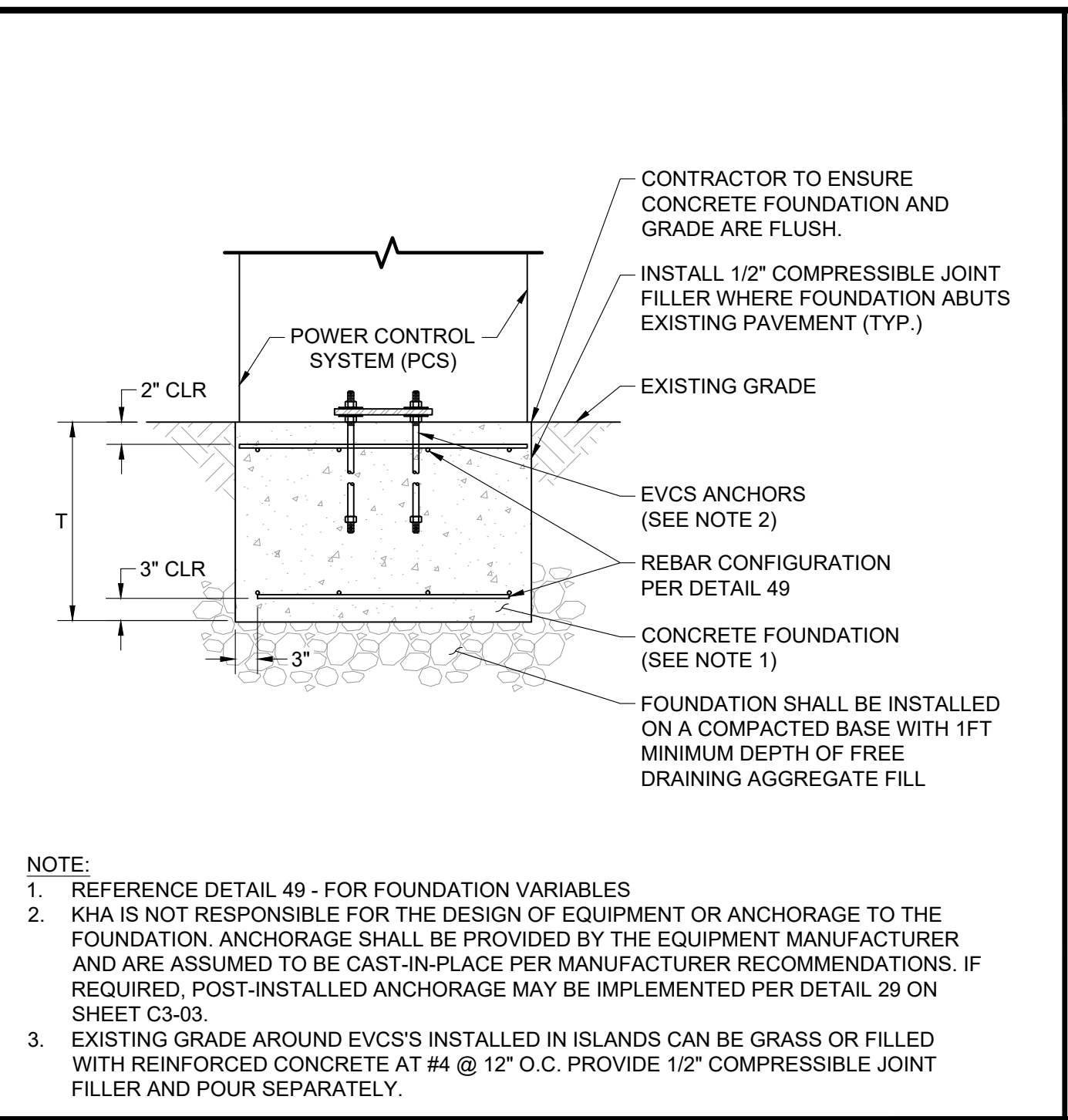
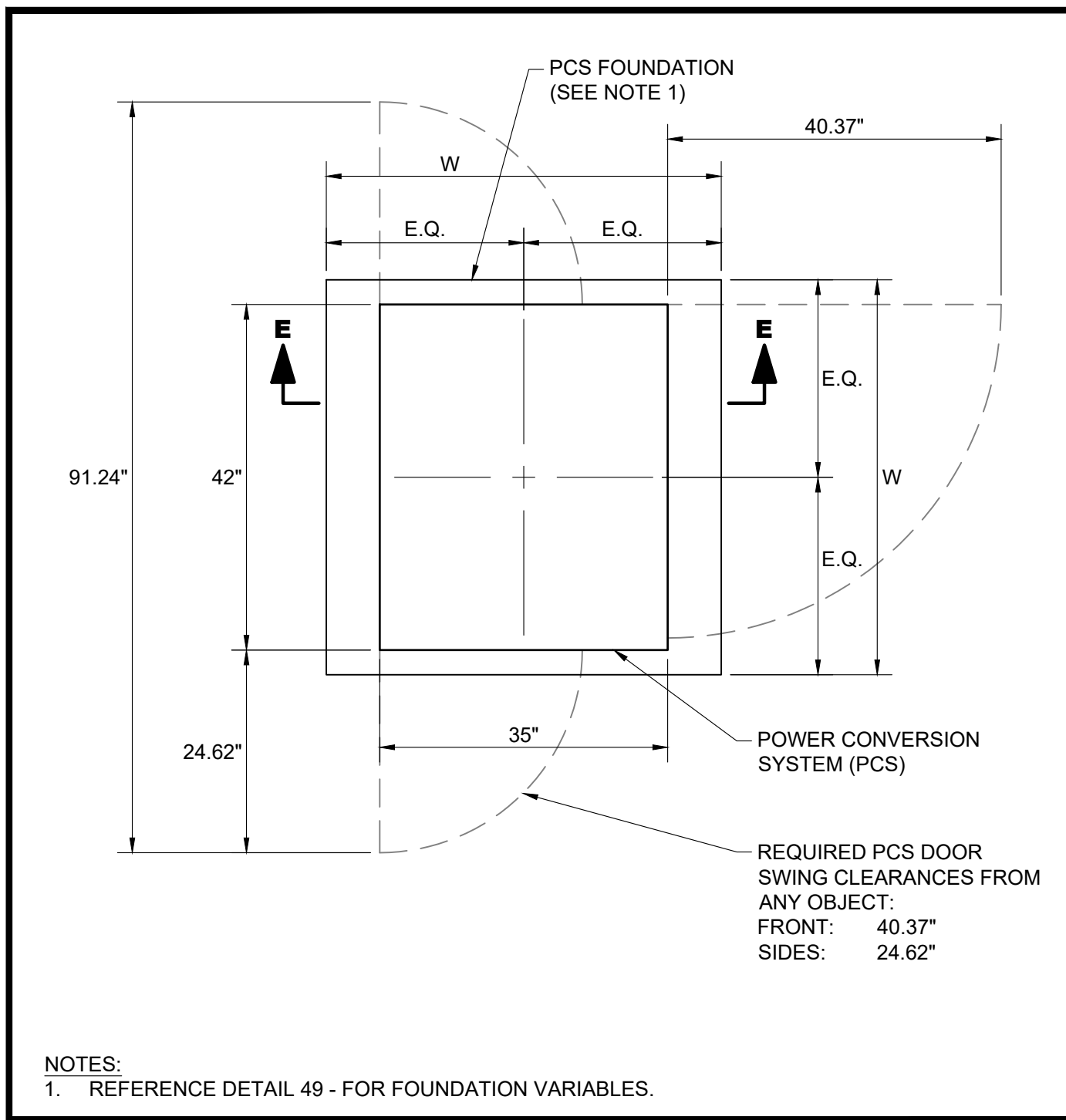
SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3-04

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



NOTES:
1. REFERENCE DETAIL 49 - FOR FOUNDATION VARIABLES.

NOTE:
1. REFERENCE DETAIL 49 - FOR FOUNDATION VARIABLES
2. KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29 ON SHEET C3-03.
3. EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12\"/>

PCS FOUNDATION SCALE N.T.S. **42**

PCS FOUNDATION SECTION E-E SCALE N.T.S. **43**

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Modular HPC System: 50, 100, 150, 200, 350 kW

PARAMETERS	POWER ENGINE CABINET MODEL				
	HPCT-50-480-2	HPCT-100-480-2	HPCT-150-480-2	HPCT-200-480-2	HPCT-350-480-2
Power Rating	50 kW	100 kW	150 kW	200 kW	350 kW
Number of Power Engines	1	2	3	4	8 (4 from each power cabinet)
Input Power	480VAC-3P				
Input Power AC Current (I _{PA})	66 A	132 A	198 A	264 A	2 x 264 A
Power Stage Efficiency Rating	> 92% (Full Load)				
Max. Out DC Current up to 920 VDC	62A	125 A	187A	250 A	500 A
Max. Out DC Current up to 500 VDC	125	250 A	375 A	500 A	500 A
Max. Output DC Voltage	50- 950 VDC				
Max # of Dispensers	1	2	2	2	2
Dimension & Weight	42"W x 35"D x 82"H, 1900 lbs				

ENVIRONMENTAL AND COMPLIANCE (SYSTEM)

Ambient Condition	-30 °C to +50 °C, 95% Humidity, 6000 ft Altitude, NEMA 3R
Safety Compliance	ETL Listed for USA and Canada; Complies with UL 2202, UL 2231, UL50E, NEC Article 625, CSA STD C22.2 No. 107.1 FCC Part 15 Class A

BTC POWER
1719 S Grand Ave, Santa Ana, CA 92705 | www.btcpower.com | sales@btcpower.com

Page 20 of 41

100kW High Power DC Charger INSTALLATION AND USER'S MANUAL

INSTALLATION

6.2. Mounting Procedures

6.2.1. Clearance Around the Unit

Clearance surrounding the unit must be considered for proper ventilation and service accessibility. Refer to the installation drawings as illustrated below.

Power Box / Tower Installation Drawing

BTC POWER
Initial Release: 10-Jun-19

NOT USED SCALE N.T.S. **44**

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Page 22 of 41

100kW High Power DC Charger INSTALLATION AND USER'S MANUAL

INSTALLATION

Power Box / Tower Footer Drawing

The illustration below shows the drilling layout for the Power Box / Tower. Only four (4) points are needed to fix the unit on the concrete pad. The conduit entry to the unit is also shown.

BTC POWER
Initial Release: 10-Jun-19

NOT USED SCALE N.T.S. **45**

PCS PAD FOUNDATIONS					
CONFIGURATION	WIDTH (W)	THICKNESS (T)	REBAR LAYERS	REBAR SIZE	REBAR QTY. (PER LAYER)
4	3.50	2.00	2	#5	4

NOTES:
1. FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
2. PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
3. FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH BASE WITH 1FT MINIMUM DEPTH OF FREE DRAINING AGGREGATE FILL (UNLESS OTHERWISE SPECIFIED).
4. VOLTA POWER CONTROL SYSTEM (PCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
5. ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

PCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. **49**

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PCS CUT SHEET SCALE N.T.S. **46**

PCS MIN. CLEARANCES CUT SHEET SCALE N.T.S. **47**

PCS BASE PLATE CUT SHEET SCALE N.T.S. **48**

NOT USED SCALE N.T.S. **50**

volta

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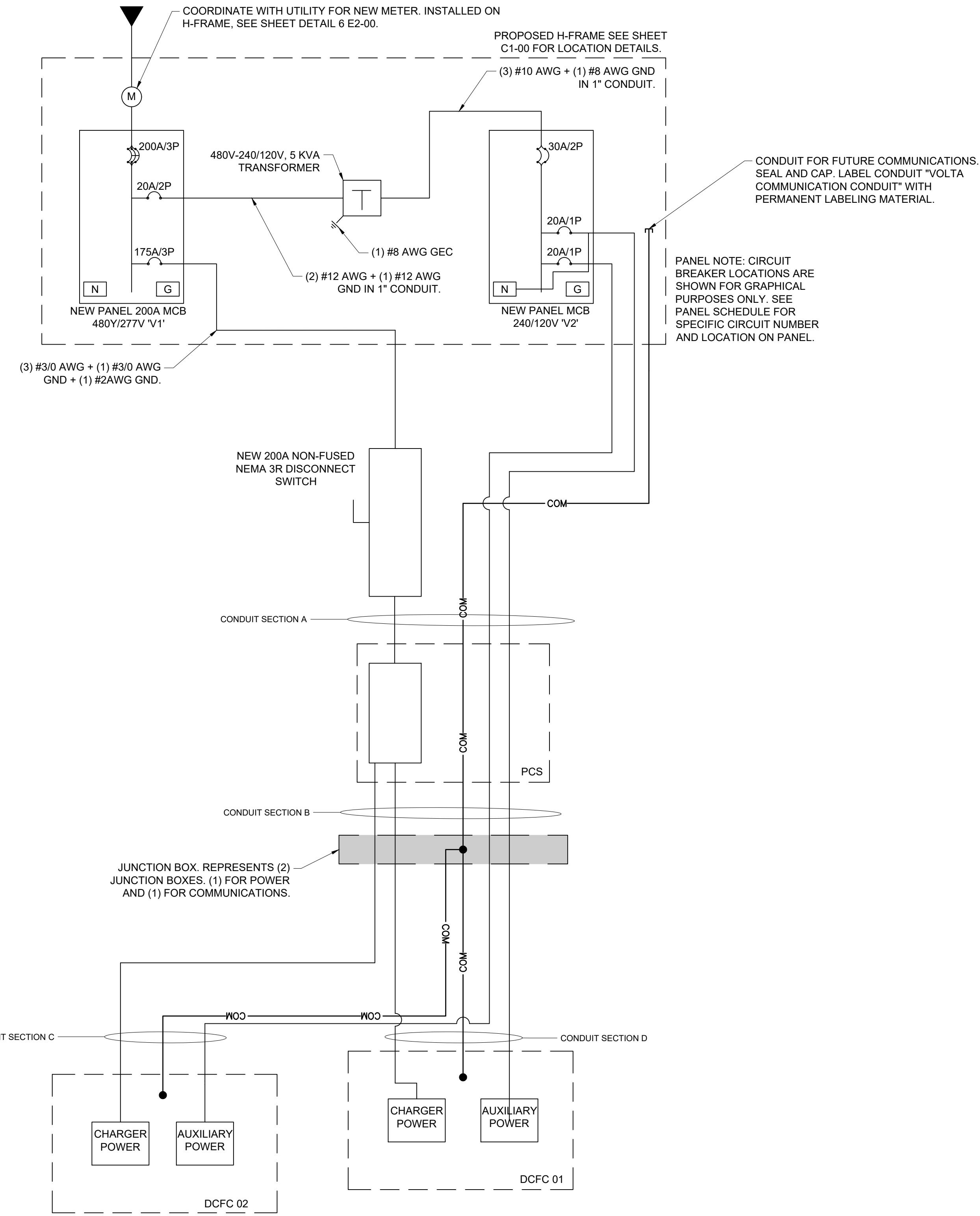
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STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-05

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



- NOTES:**
1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
 2. ANY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
 3. CONTRACTOR SHALL USE THWN COPPER CONDUCTORS.
 4. CONTRACTOR SHALL USE EMT INSIDE AND OUTSIDE ABOVE GRADE WHERE NOT SUBJECT TO DAMAGE. CONTRACTOR SHALL USE RGS INSIDE AND OUTSIDE ABOVE GRADE WHERE SUBJECT TO DAMAGE. CONTRACTOR SHALL USE PVC SCHEDULE 80 UNDER PAVED OR SIDEWALK AREAS AND PVC SCHEDULE 40 IN DIRT OR LANDSCAPED AREAS.
 5. SEE SHEETS C1-00 AND C2-00 FOR CONDUIT STUB UP LOCATIONS.
 6. CONTRACTOR TO LOCATE JUNCTION BOX, LINE BOX (LB), OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.

Panel Schedule

Proposed New Panel 'V1' Location: Exterior Area for Electrical Equipment Volts: 480Y/277V Phase: 3 Wire: 4 Hertz: 60
200A MCB Main AIC: AWAITING UTILITY PROVIDES FAULT CURRENT LETTER Branch AIC: TBD ENCL (NEMA): 3R MTG: H-Frame
250 Amp Frame, Ground Bar, Panel Card

Description of Load Served	Breaker Amp Pole	Wire	A/Phase						Wire	Breaker Amp Pole	Description of Load Served	
			A	B	C	CKT No	CKT No	A				B
PROPOSED VOLTA L3 EVCS 01 & 02	175 3	#3/0	132.0			1	2	4.3		#12	20 2	STEP DOWN TRANSFORMER FOR PROPOSED VOLTA PANEL 'V2'
SPACE			-	-	-	3	4	-				SPACE
SPACE			-	-	-	5	6	0.0				SPACE
SPACE			-	-	-	7	8	-				SPACE
SPACE			-	-	-	9	10	-				SPACE
SPACE			-	-	-	11	12	-				SPACE
SPACE			-	-	-	13	14	-				SPACE
SPACE			-	-	-	15	16	-				SPACE
SPACE			-	-	-	17	18	-				SPACE
SPACE			-	-	-	19	20	-				SPACE
SPACE			-	-	-	21	22	-				SPACE
SPACE			-	-	-	23	24	-				SPACE
SPACE			-	-	-	25	26	-				SPACE
SPACE			-	-	-	27	28	-				SPACE
SPACE			-	-	-	29	30	-				SPACE
SPACE			-	-	-	31	32	-				SPACE
SPACE			-	-	-	33	34	-				SPACE
SPACE			-	-	-	35	36	-				SPACE
SPACE			-	-	-	37	38	-				SPACE
SPACE			-	-	-	39	40	-				SPACE
SPACE			-	-	-	41	42	-				SPACE
Total A/Phase			132.0	132.0	132.0			4.3	4.3	0.0		Total A/Phase

Notes:
1. Connected KVA (New): 112.1
2. Demand KVA (New): 140.1
3. Contractor shall match existing AIC Rating.
4. Where load is labeled "EX" the load is unknown.

Panel Schedule

Proposed New Panel 'VZ' Location: Exterior Area for Electrical Equipment Volts: 240/120 Phase: 1 Wire: 3 Hertz: 60
30A MCB Main AIC: 10K Branch AIC: 10K ENCL (NEMA): 3R MTG: H-Frame
60 Amp Frame, Ground Bar, Locking Cover, Panel Card

Description of Load Served	Breaker Amp Pole	Wire	A/Phase						Wire	Breaker Amp Pole	Description of Load Served	
			A	B	C	CKT No	CKT No	A				B
EVCS 01 AUX POWER	20 1	See Note 3	10.0			1	2	-			SPACE	
EVCS 02 AUX POWER	20 1	See Note 3	10.0			3	4	-			SPACE	
SPACE			-	-	-	5	6	-			SPACE	
SPACE			-	-	-	7	8	-			SPACE	
SPACE			-	-	-	9	10	-			SPACE	
SPACE			-	-	-	11	12	-			SPACE	
SPACE			-	-	-	13	14	-			SPACE	
SPACE			-	-	-	15	16	-			SPACE	
SPACE			-	-	-	17	18	-			SPACE	
SPACE			-	-	-	19	20	-			SPACE	
SPACE			-	-	-	21	22	-			SPACE	
SPACE			-	-	-	23	24	-			SPACE	
SPACE			-	-	-	25	26	-			SPACE	
SPACE			-	-	-	27	28	-			SPACE	
SPACE			-	-	-	29	30	-			SPACE	
Total A/Phase			10.0	10.0	0.0			0.0	0.0	0.0		Total A/Phase

Notes:
1. Connected KVA (New): 2.4
2. Demand KVA (New): 3.0
3. See Voltage Drop Table for conductor sizing.

Conduit Schedule

Conduit Section	Conduit #	Conduit Size	Conductors	Installation Method
A	1	3"	(3) #3/0 AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Directional Bore
	2	1"	Future Communications w/ Pull String	
B	1	3"	(4) 250 MCM AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Directional Bore
	2	1"	(4) 1 Pair OM3 multimode fiber optic cable with ST connectors + (4) #18 AWG STP	
C	1	3"	(2) 250 MCM AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Hand Trench
	2	1"	(2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP	
D	1	3"	(2) 250 MCM AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Directional Bore
	2	1"	(2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP	

DCFC Conductor Voltage Drop Table Per Dispenser (AUX Component)

≤85FT	86FT-135FT	136FT-220FT	221FT-350FT	351FT-550FT	551FT-880FT
(2) #12 AWG + (1) #12 AWG GND	(2) #10 AWG + (1) #10 AWG GND	(2) #8 AWG + (1) #8 AWG GND	(2) #6 AWG + (1) #6 AWG GND	(2) #4 AWG + (1) #4 AWG GND	(2) #2 AWG + (1) #2 AWG GND

- VOLTAGE DROP TABLE NOTES
1. DISTANCE BASED ON LOCATION OF SUPPLYING PANEL TO LOCATION OF DISPENSER
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR DE-RATING CONDUCTORS WHEN 4 OR MORE CURRENT CARRYING CONDUCTORS ARE CARRIED IN THE SAME CONDUIT PER THE NEC.
 3. THE DISTANCES IN THIS TABLE ARE TOTAL DISTANCES, NOT HORIZONTAL DISTANCES. INCLUDE VERTICAL RUNS AND JUNCTION BOX COIL LENGTH IN THE TOTAL CONDUCTOR DISTANCE.
 4. WHEN MORE THAN ONE CIRCUIT IS IN THE CONDUIT, USE ONLY ONE SHARED EQUIPMENT GROUND CONDUCTOR.

volta

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SAN FRANCISCO, CA 94103

Kimley Horn New York

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PHONE: 914.368.9200
WWW.KIMLEY-HORN.COM

REV	DATE	DESCRIPTION	BY
1	04/01/2022	CD100s	TAS

ISSUE DATE

04/01/2022

ISSUED FOR

PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

STAPLES PLAZA

3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE

ELECTRICAL ONE LINE DIAGRAM & PANEL SCHEDULE

SHEET NUMBER

E1-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

- VERIFICATION NOTES:
1. THIS IS A NEW UTILITY SERVICE. NO VERIFICATIONS NEEDED.

NOTES:

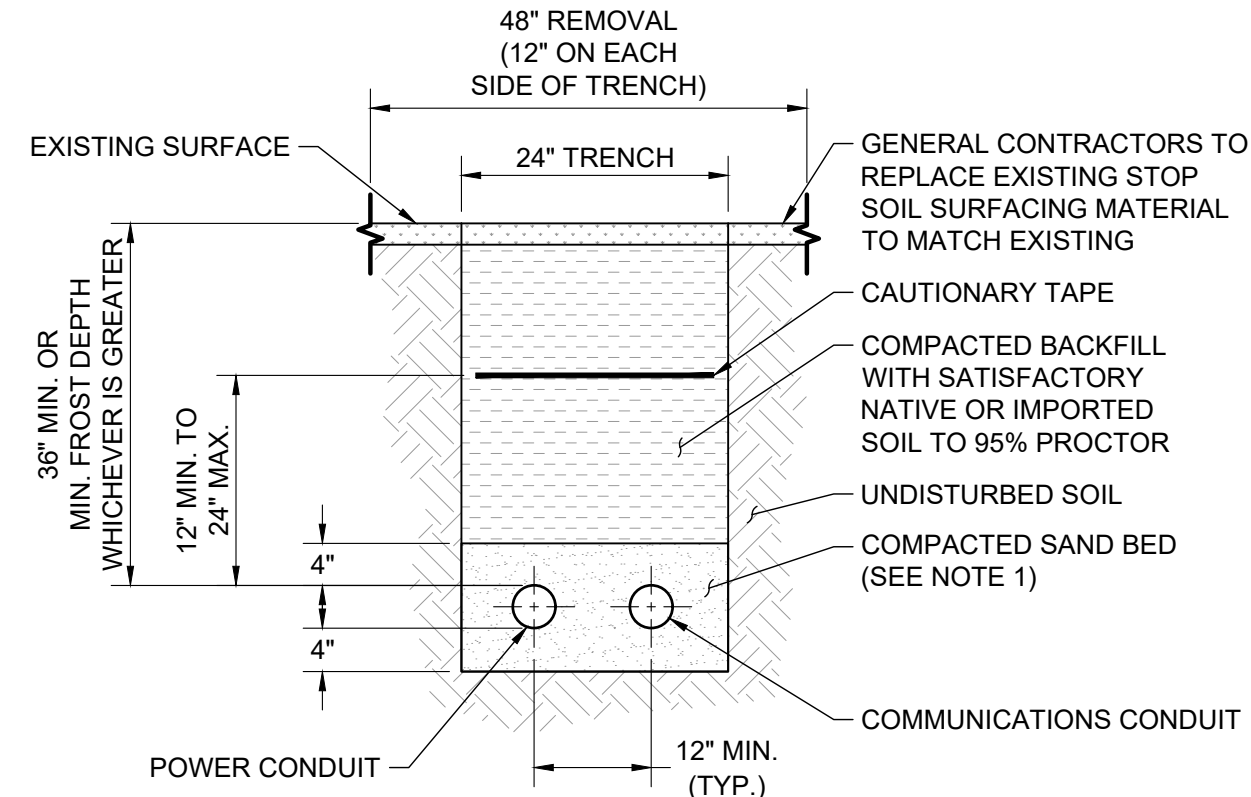
1. A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART110.3.
2. ALL EXTERIOR EQUIPMENT SHALL BE RAIN TIGHT AND APPROVED FOR USE IN WET CONDITIONS.
3. ALL CONDUCTORS SHALL BE PROVIDED WITH STRAIN RELIEF UPON ENTRY INTO ENCLOSURES.
4. EACH UNGROUNDED CONDUCTOR SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5.
5. ALL METALLIC COMPONENTS SHALL BE GROUNDED VIA EQUIPMENT GROUNDING CONDUCTORS.
6. CHARGING UNITS ARE EQUIPPED WITH AN INTEGRATED CONTACTOR TO PREVENT BACK FEEDING OF POWER TO THE SOURCE.

ABBREVIATIONS:

- A AMPERE
- AC ALTERNATING CURRENT
- AL ALUMINUM
- ART ARTICLE
- AUX AUXILIARY
- BLDG BUILDING STRUCTURE
- CONC CONCRETE
- CU COPPER
- DC DIRECT CURRENT
- EGC EQUIPMENT GROUNDING CONDUCTOR
- (E) EXISTING
- EMT ELECTRIC METALLIC TUBING
- EV ELECTRIC VEHICLE
- EVSE ELECTRIC VEHICLE SUPPLY EQUIPMENT
- GALV GALVANIZED
- GND GROUND
- HDG HOT DIPPED GALVANIZED
- I CURRENT
- KVA KILOVOLT AMPERE
- KW KILOWATT
- M METER
- MAX MAXIMUM
- MIN MINIMUM
- N NEUTRAL
- NEC NATIONAL ELECTRIC CODE
- NTS NOT TO SCALE
- (N) NEW
- OC ON CENTER
- PL PROPERTY LINE
- PVC POLYVINYL CHLORIDE
- RMC RIGID METALLIC CONDUIT
- SCH SCHEDULE
- SS STAINLESS STEEL
- TYP TYPICAL
- V VOLT
- W WATT
- XFMR TRANSFORMER

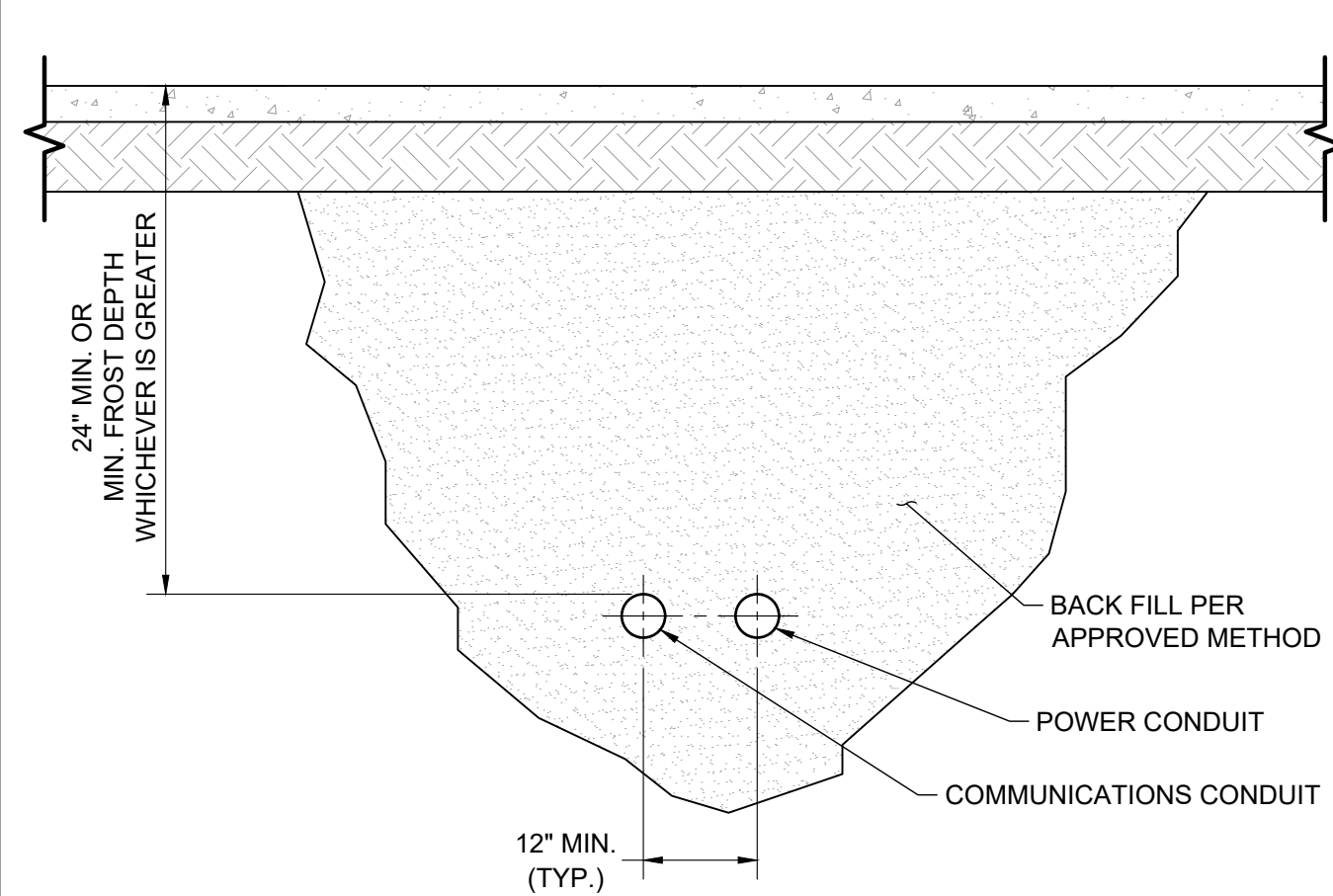
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
2. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRECONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATIONS.
3. CONDUIT PATHS ARE REPRESENTATIVE ONLY. EXACT CONDUIT PLACEMENT TO BE DETERMINED ON SITE BASED ON FIELD CONDITIONS.



NOTES:

1. LEAN CONCRETE RED-COLORED TOP, MAY BE USED IN PLACE OF COMPACTED SAND.
2. BURY CONDUITS 36\"/>



NOTE:

1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.

POWER TRENCH

SCALE
N.T.S.

2

BORE SECTION

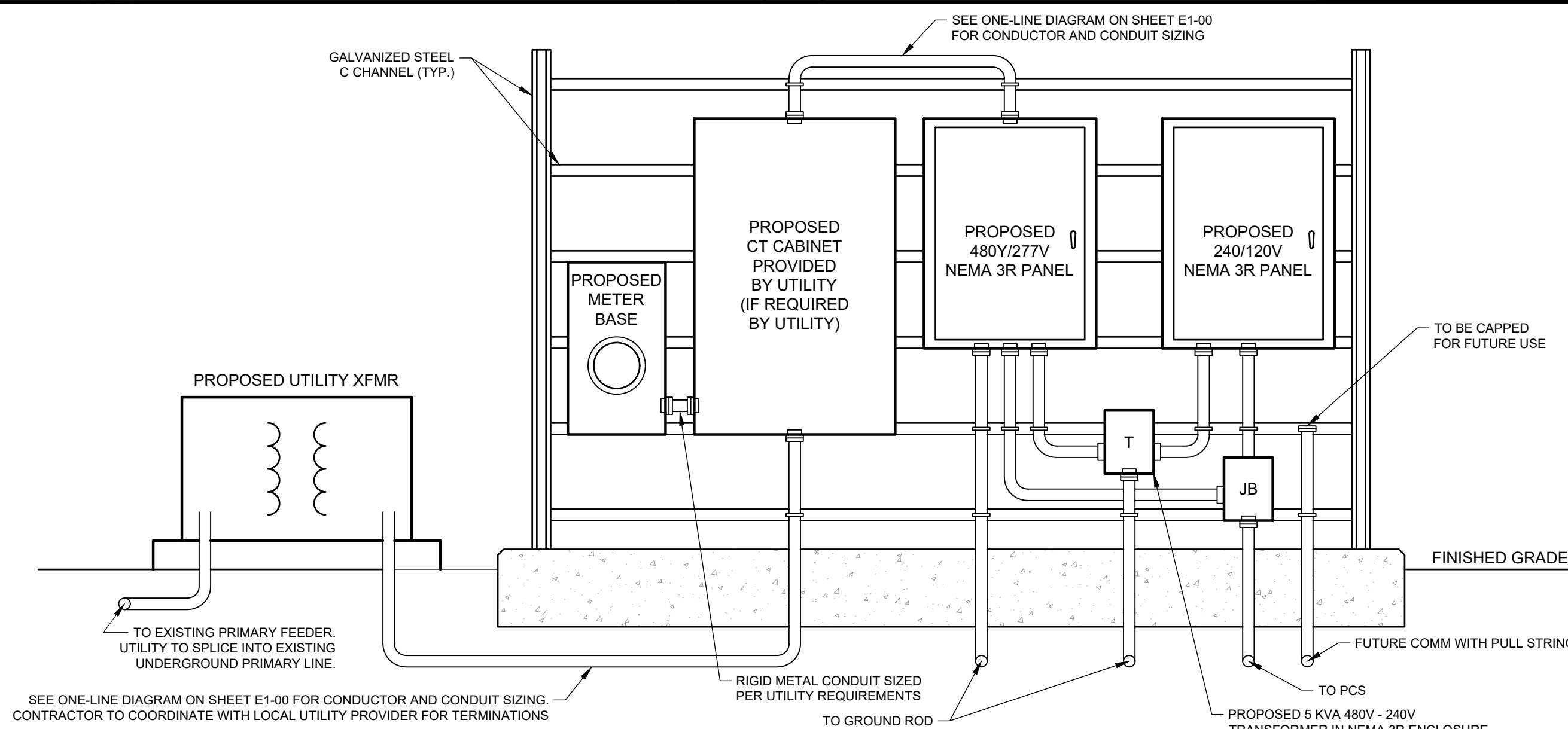
SCALE
N.T.S.

3

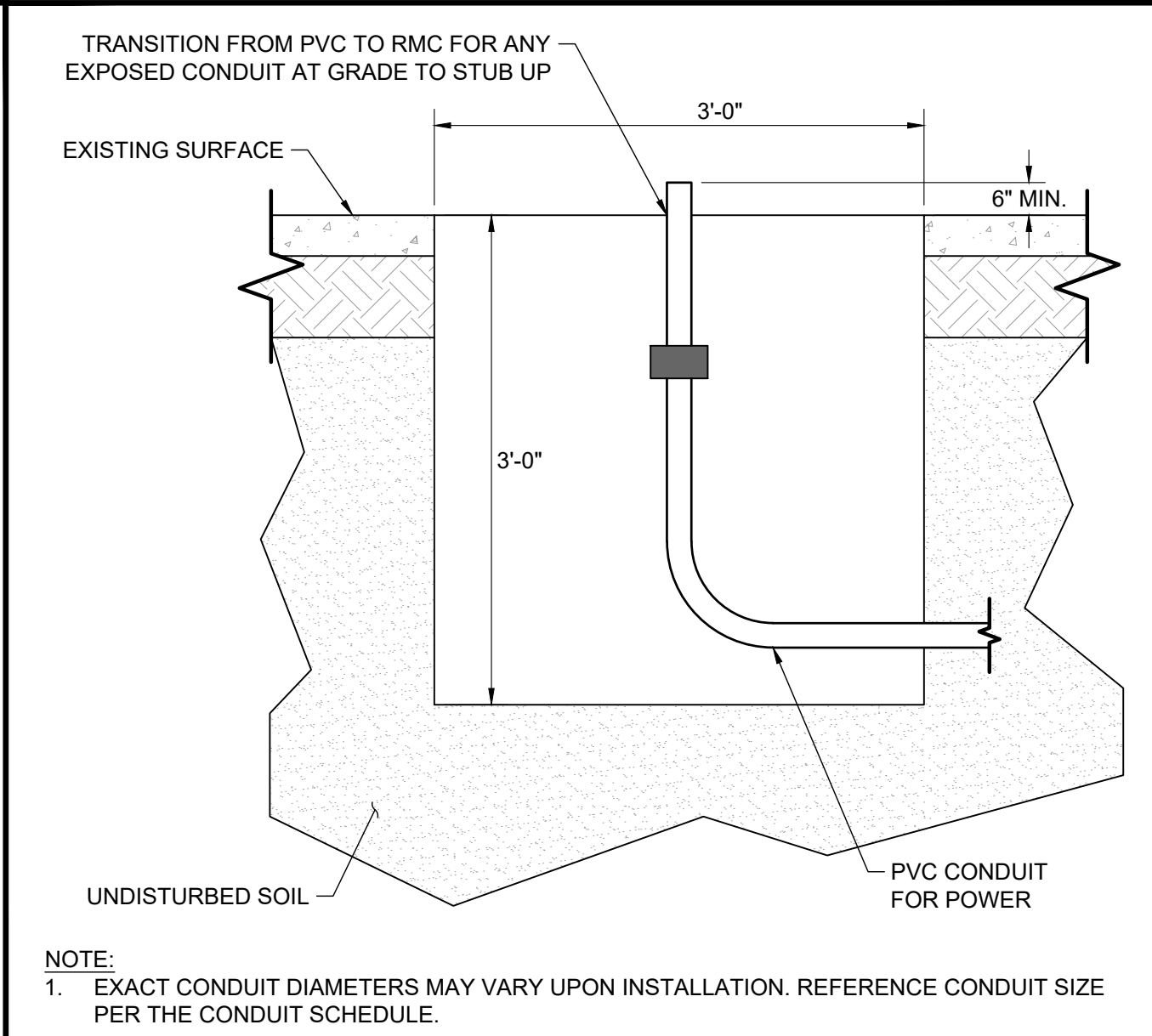
NOT USED

SCALE
N.T.S.

4



NOT USED



NOTE:

1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.

ELECTRICAL NOTES & ABBREVIATIONS

1

H-FRAME DETAIL

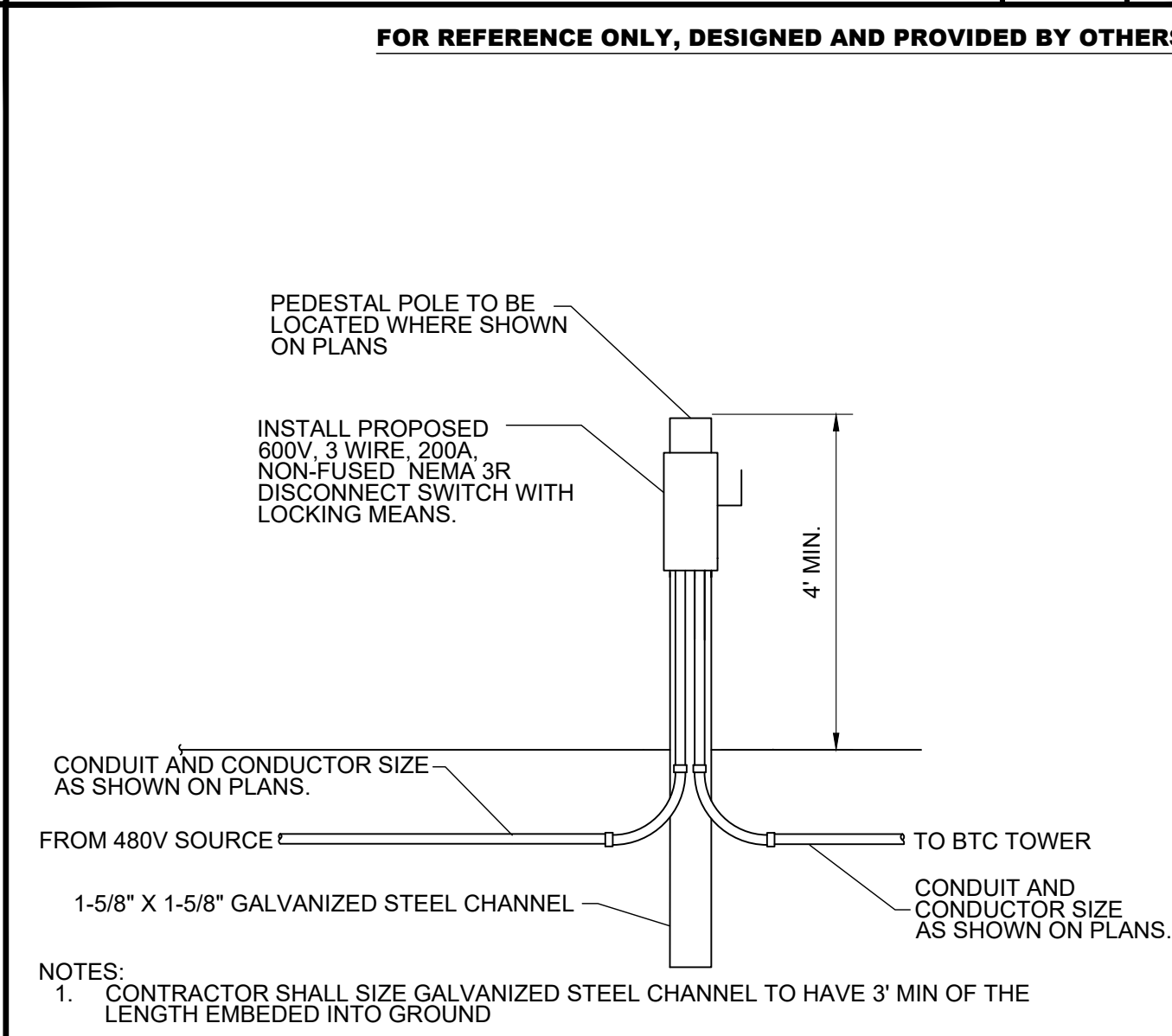
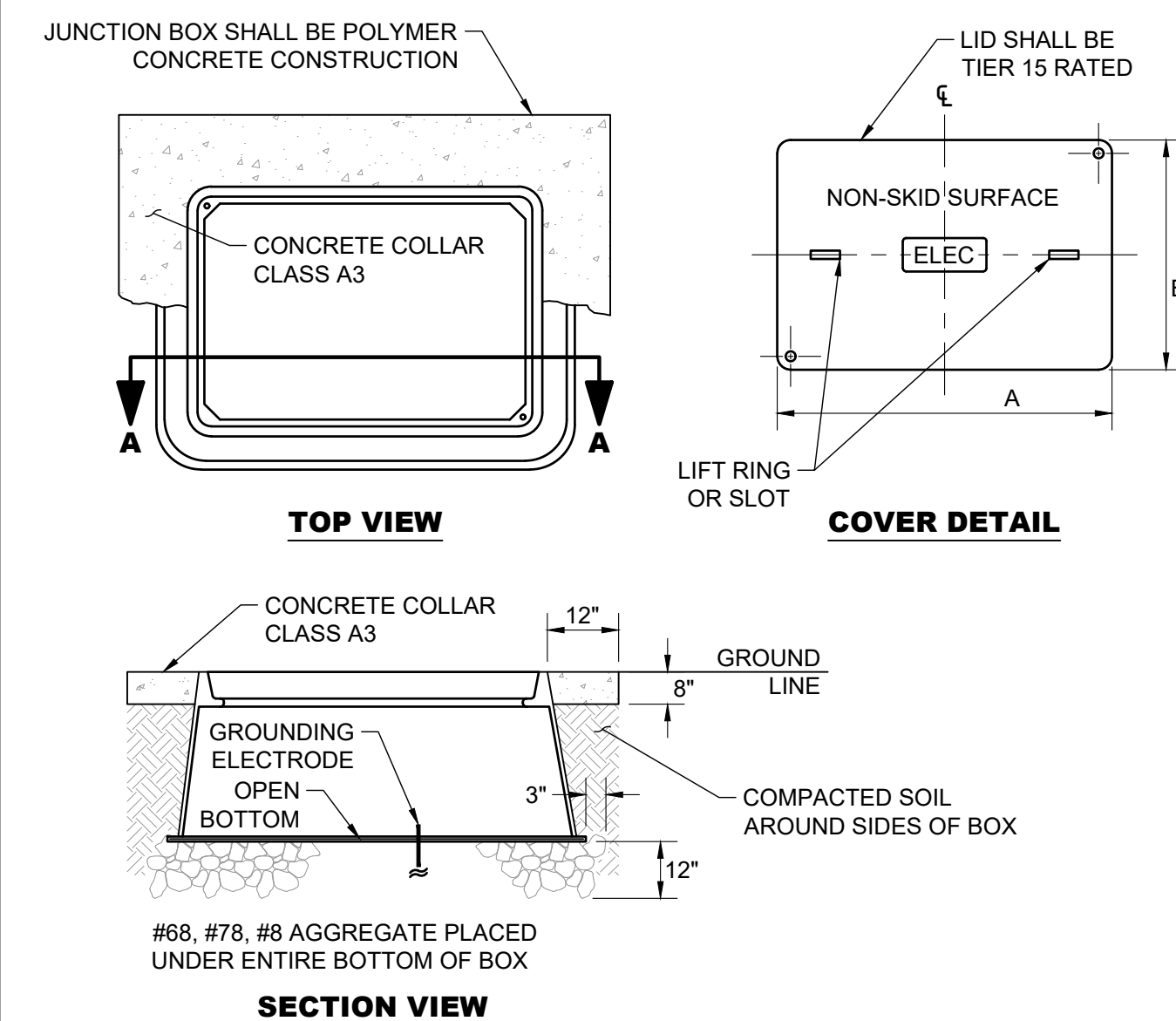
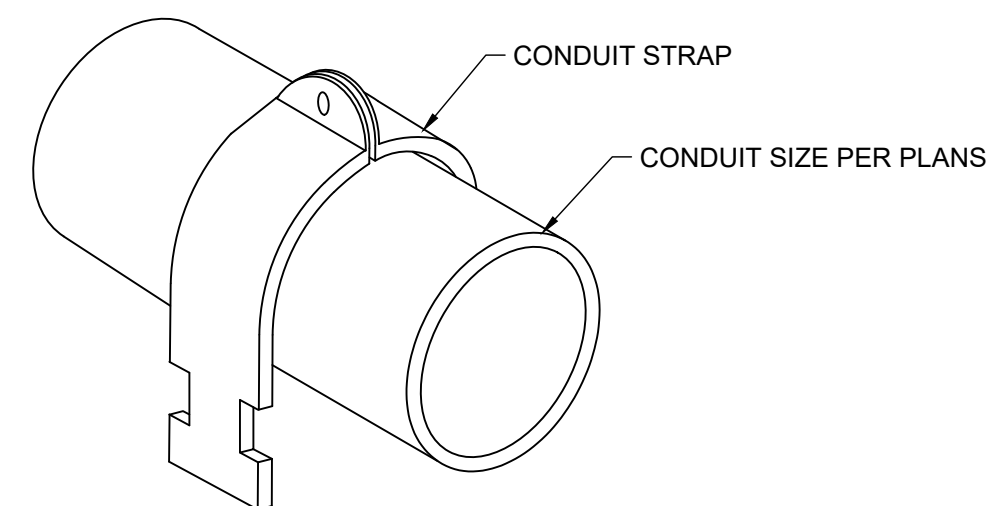
SCALE
N.T.S.

5

BORE PIT

SCALE
N.T.S.

6



NOTES:

1. CONTRACTOR SHALL SIZE GALVANIZED STEEL CHANNEL TO HAVE 3\"/>

NOT USED

SCALE
N.T.S.

7

UNISTRUT CONDUIT MOUNT STRAP

SCALE
N.T.S.

8

NON-TRAFFIC RATED JUNCTION BOX

SCALE
N.T.S.

9

BTC POLE DISCONNECT SWITCH

SCALE
N.T.S.

10

volta

155 DE HARO STREET
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Kimley»Horn
New York

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STAPLES PLAZA

**3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598**

SHEET TITLE

**ELECTRICAL
NOTES & DETAILS**

SHEET NUMBER

E2-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

Volta Charging, LLC

Existing Electric Vehicle Charging/Display Kiosks



Broadway Commons Mall – 358 N. Broadway Commons, Hicksville, New York 11801

Volta Charging, LLC

Existing Electric Vehicle Charging/Display Kiosks



Stop & Shop- 505 North Main Street, Southington, CT

Volta Charging, LLC

Existing Electric Vehicle Charging/Display Kiosks



Black Rock Shopping Center - 2181 Black Rock Turnpike, Fairfield, CT

Volta Charging, LLC

Existing Electric Vehicle Charging/Display Kiosks



Stop & Shop - 597 Farmington Avenue, Bristol, CT

Volta Charging, LLC

Existing Electric Vehicle Charging/Display Kiosks



Macy's, Smith Haven Mall – 2 Smith Haven Mall, Lake Grove, New York 11755