

TOWN OF YORKTOWN PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA YORKTOWN TOWN HALL BOARD ROOM 363 Underhill Avenue, Yorktown Heights, NY 10598

August 15, 2022
7:00 PM

1. Correspondence
2. Meeting Minutes – July 25, 2022

REGULAR SESSION

3. **Shrub Oak International School
Discussion Amended Site Plan**
Location: 26.05-1-4; 3151 Stony Street
Contact: DTS Provident Design Engineering
Description: Proposed amendments to the approved site plan and stormwater permit.
4. **Volta EV Charging Stations at Staples Plaza
Public Hearing**
Location: 36.06-2-76; 3333 Crompond Road
Contact: Cuddy & Feder
Description: Two proposed electric vehicle charging stations in existing curbed islands adjacent to existing parking spaces.
5. **Dorchester Glen Subdivision
Public Hearing**
Location: 15.20-3-6; 1643 Maxwell Drive
Contact: Site Design Consultants
Description: Proposed 4 lot subdivision on 24.26 acres in the R1-20 zone.

WORK SESSION

6. **Wendy's at Staples Plaza
Discussion Amended Site Plan**
Location: 36.06-2-76; 3399 Crompond Road
Contact: Chiesa Shahinian & Giantomasi, PC
Description: Proposed renovation of the approximately 3,500 SF Dunkin Donuts building for a Wendy's with drive-thru.
7. **Town Board Referral
Proposed Zoning Code Amendment**
Location: 36.06-2-72; 3241 Crompond Road
Contact: Zarin & Steinmetz
Description: Proposed amendment to the Zoning Code to allow the Guiding Eyes for the Blind program and new kennel facility.

8. Uncle Giuseppe's Marketplace

Discussion Site Alterations

Location: 37.18-2-56; 329 Downing Drive

Contact: Jarmel Kizel Architects and Engineers, Inc.

Description: Replacement of concrete crosswalks with asphalt within parking lot.

9. Zoning Board Referral

Elezaj ZBA # 39/22, #40/22

Location: 25.12-2-32; 1658 Amazon Road

Contact: Michael Piccirillo

Description: Request for a special permit for accessory dwellings for an existing three-family house and cottage where the owner has never occupied the property and request for a variance to legalize 3 accessory apartments on 1.276 acres in the R1-40 zone.

10. Zoning Board Referral

Pied Piper ZBA # 50/22

Location: 37.14-2-8; 2090 Crompond Road

Contact: Dineen-Carey Holdings, LLC

Description: Request to allow a 18 SF wall sign on the side of the building where 4 SF is permitted.

11. ThermoDynamics Corp

Discussion Lighting Plan

Location: 6.18-1-30; 2989 Navajo Street

Contact: The Helmes Group, LLP

Description: Proposed building renovations and Lighting Plan for an existing building on 1 acre in the I-1 zone.

12. Granite Knolls Solar Project

Discussion Site Plan & Special Use Permit

Location: 26.09-1-22; 2975 Stony Street

Contact: HESP Solar LLC and Bergmann PC

Description: Proposed solar carport system at Granite Knolls Sports Complex.

13. Underhill Farm

Discussion Expanded EAF

Location: 48.06-1-30; 370 Underhill Avenue

Contact: Site Design Consultants

Description: Proposed mixed use development of 148 residential units, 17,580 SF commercial space, and recreational amenities. Original main structure to remain and be reused. Development is proposed on a 13.78 acre parcel in the R1-40 with Planned Design District Overlay Zone authorization from the Town Board.

Last revised: August 11, 2022

Correspondence

AUG 1 - 2022



TOWN OF NEW CASTLE

Greeley Avenue, Chappaqua, New York 10514 • Ph. (914) 238-4724 • Fax (914) 238-5177 YORKTOWN

Development Department

MEMORANDUM

Director of Planning
Sabrina D. Charney Hull, AICP

Town Engineer
Robert J. Cioli, P.E.

Building Inspector
Tom DePole III

Environmental Coordinator
Dennis Corelli, PWS

TO: New Castle Town Board

FROM: Sabrina D. Charney Hull, AICP, Director of Planning
Robert Cioli, P.E., Town Engineer
Dennis Corelli, PWS, Environmental Coordinator
Tom DePole, Building Inspector

DATE: August 1, 2022

SUBJECT: Town of Yorktown-Dell Avenue Solar Project

In May 2021 the New Castle Town Board received and commented on information from the Town of Yorktown Planning Board regarding installation of a 3,625KWac fixed tilt ground mount solar array plus a 3.743MW/~15MWh (4hr) battery energy storage system (Tier 2) at a property known as Dell Avenue within the Town of Yorktown, adjacent to the northern boundary of the Town of New Castle and south of the New Croton Reservoir. The Town of Yorktown has classified this project as a Type I Action in accordance with the New York State Environmental Quality Review Act (SEQRA), which will require the development of an Environmental Impact Statement (EIS). Most recently we received revised application information and reviewed the information in relation to impacts on the Town of New Castle.



For the Town Boards information, the project is proposed on a 62.3 Acre property located between Dell Avenue and Hog Hill Road in Yorktown which is to the east and just north of the Saw Mill River Road (Route 100) and Pines Bridge Road (Route 133) intersection. In New Castle, the closest land development would be the Random Farms Conservation Subdivision. As per the submitted information, the project proposes to disturb 14.1 acres of forest land mainly in the portion of the property alongside Dell Avenue. The figure to the right demonstrates the proposed solar array in blue. Per the submitted information, the project site contains wetlands and is home to the bald eagle.

Our office has reviewed the following information and below you will find comments based on our review:

1. Tree Clearing-The applicant has provided information and it was reviewed by the Environmental Coordinator. There are no anticipated impacts to the Town of New Castle.
2. Site Grading- The Town Engineer has reviewed this information and there is no impact to the Town of New Castle.
3. Stormwater Pollution Prevention Plan ("SWPPP") - The Town Engineer has reviewed the latest revised site plan and existing topography relative to the Town of New Castle and has preliminarily found that the stormwater impacts to the Town from the proposed development would be minor in nature. However, prior to a final determination is made by the Town Engineer, the Town Engineer would like to review the submitted Stormwater Pollution Prevention Plan ("SWPPP") as required by the Town of Yorktown Town Code and the NYC DEP for the SWPPP under Subsection 18-39 (Stormwater Pollution Prevention Plans and Impervious Surfaces) of the New York City Rules and Regulations.
4. Fire and Safety protocols regarding the Tier 2 Battery Energy Storage System- The Building Inspector has spoken with a representative of the Millwood Fire Department who assured him that they are aware

of the project and have been in conversation with the Yorktown Fire Department in response to mutual aid.

5. Viewshed impacts, particularly as it may relate to the Random Farms properties- Information was contained on the site plan in regards to a viewshed analysis. No properties in New Castle were included in this analysis and it appears, based on measurement, that several homes in the Random Farms Subdivision will have views of the solar array through the forested wetland. This wetland contains open areas whereby site lines directly onto the facility can be articulated. The Applicant should address this and provide screening to ensure that these homeowners are screened from the facility. The Applicant and/or the Town of Yorktown should reach out to the Random Farms Homeowners Association, who are copied below.

Town staff will continue to review this project as information becomes available and is forwarded to the Town of New Castle.

Cc: Jill Simon Shapiro, Town Administrator
Edward Philips, Esq., Town Board Counsel
Tiffany White, Assistant to the Town Administrator
Christina Papes, Town Clerk
Random Farms Homeowner's Association
Robyn A. Steinberg, AICP, CPESC, Town of Yorktown Planning Department



Town of Yorktown www.yorktownny.org

RECEIVED
PLANNING DEPARTMENT

AUG 2 - 2022

TOWN OF YORKTOWN

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.254 Fax (914) 962-1731

MEMORANDUM

Edward Kolisz, Assistant Building Inspector

Telephone (914) 962 5722 ext. 254

Email: ekolisz@yorktownny.org

Office hours: Weekdays 9:00-10:00 a.m., 3:30-5:00 p.m.

To: Planning Board, Town of Yorktown
From: Edward Kolisz, Assistant Building & Fire Inspector
Re: Dell Avenue Solar Farm Proposal
Date: July 25, 2022

The Bureau of Fire Prevention meet to discuss the plans for the proposed solar farm on Dell Avenue. We were able to meet virtually with the applicant and had a productive discussion. Overall, the Bureau has no major concerns with the June 14th, 2022 site plan that was provided to us. We do have the following comments on the project:

- Dell Avenue is currently in poor condition. After the construction has been completed it is obvious that the street will be in even worse condition. The Bureau would like to see Dell Avenue improved upon completion of the project.
- The operator of the solar farm installation shall provide training to the local fire department and provide an electronic version of the training program to the fire department so they can train personnel in the future.
- The Bureau would like to see a maintenance plan that includes grass and brush cutting AND snow removal from the access roads and gates in the event of a major snowfall.
- Compliant signage shall be provided throughout the installation including emergency contact information which shall be displayed on every access gate.
- An emergency response plan shall be provided to the Fire Inspector and the fire department for approval.

Please contact me with any questions.

Robyn Steinberg

From: SUSAN SIEGEL <BOOKHUNTERPRESS@VERIZON.NET>
Sent: Monday, August 1, 2022 11:06 AM
To: Robyn Steinberg
Subject: RE: Dell Solar

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thanks. Looking forward to the report.

Please share my email with PB in next packet. The point remains: pb – not just planning dpet -- needs to be more involved in consultant proposals.

Susan Siegel
914-245-2661
bookhunterpress@verizon.net

From: [Robyn Steinberg](#)
Sent: Monday, August 1, 2022 9:37 AM
To: [SUSAN SIEGEL](#)
Subject: RE: Dell Solar

Weston & Sampson is going to analyze the function of the woodland.

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598
Phone | 914-962-6565
Email | rsteinberg@yorktownny.org
Web | <http://www.yorktownny.org/planning>

From: SUSAN SIEGEL <BOOKHUNTERPRESS@VERIZON.NET>
Sent: Friday, July 29, 2022 1:42 PM
To: Robyn Steinberg <rsteinberg@yorktownny.org>
Subject: Dell Solar

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please forward this to the Planning Board

As a follow up to my PIH comments regarding the Weston & Sampson environmental review of the Dell solar project, you might want to compare the attached Weston scope of services to what is required in the Solar Law and Tree Law. And why I said what I said at the PIH.

JUL 29 2022

TOWN OF YORKTOWN

From: SUSAN SIEGEL <BOOKHUNTERPRESS@VERIZON.NET>
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For this and other town consultant reports, they're only helpful for what they cover. But what about other site plan related issues they're not asked to cover? Which is why, in the future, the Planning Board may want to be more involved in "scope of services" agreements with consultants that are approved by the Town Board.

Solar law

F.

Approval standards for large-scale solar systems as a main use permitted by special permit.

(3)

Special use permit standards.

(i)

For large-scale solar energy systems proposed to be installed on protected woodlands, the applicant shall provide an in-depth analysis of the functions of the woodlands to include, as appropriate, the items listed in § 270-3. [Added 5-3-2022 by L.L. No. 5-2022]

TREE LAW

§ 270-3 Findings of fact.

The Town Board finds that:

A.

Benefits of individual trees and woodlands.

(1)

Healthy trees provide oxygen, slow climate change by acting as a sink for carbon dioxide and mitigate other air pollution problems. Trees also help to stabilize soil, reducing the risk of soil erosion and siltation in watercourses and clogging of drainage channels. Additionally, trees and woodlands yield advantageous microclimatic effects, temper noise and provide wildlife habitat.

(2)

Tree roots provide channels which allow water infiltration crucial to groundwater and reservoir recharge.

(3)

Trees have an intrinsic aesthetic value that contributes to the character and visual amenities of the Town. Trees soften the hard edges of developed areas, enhance scenic vistas, provide continuity in areas undergoing dynamic change, visually connect and define the character of neighborhoods, enhance privacy through visual buffering and enhance property values and the quality of life within the Town.

(4)

By virtue of their size, specimen trees make disproportional contributions to the ecological benefits of trees and woodlands, including provision of shade, oxygen and erosion control.

(5)

Specimen trees beautify our residential and commercial neighborhoods, provide a visible link to our history and are a critical reservoir of seeds for woodland regeneration, mitigating the impacts of overbrowsing by deer.

(6)

Trees and woodlands provide natural habitat for wildlife, promoting biodiversity and enhancing ecosystem stability and are important parts of integrated ecological systems, both terrestrial and aquatic.

(7)

Woodlands function as vital ecological communities not just because of the presence of trees, but because the presence of canopy, shrub and ground cover layers of vegetation. Therefore, protecting the integrity of woodlands requires regulating the removal of any of these three layers in such communities.

Susan Siegel

914-245-2661

bookhunterpress@verizon.net

Draft Minutes

**Shrub Oak
International School**

State Environmental Quality Review
NEGATIVE DECLARATION
Notice of Determination of Non-Significance

Project Number: N/A

Date:

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown Planning Board as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Shrub Oak International School, LLC Amended Site Plan

SEQR Status: Type 1
Unlisted

Conditioned Negative Declaration: Yes
 No

Description of Action:

The applicant has proposed to amend the site plan and phasing plan for the renovation of the site approved by Planning Board Resolution #18-04 dated May 21, 2018 and Resolution #21-20 dated September 13, 2021.

The property consists of 127.24 acres in the R1-160 zoning district located on the west side of Stony Street at 3151 Stony Street, Mohegan Lake in the Town of Yorktown and is identified on the Town Tax Map as Section 26.05, Block 1, Lot 4.

Location: 3151 Stony Street, Town of Yorktown
County of Westchester
Tax ID 26.05 Block 1 Lot 4

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

1. This negative declaration is based on a Short Environmental Assessment Form dated 03/16/22.
2. Additional parking is proposed to accommodate the staff needs of the school over time.
3. The applicant has reduced the disturbance and impervious area proposed in the NYC DEP watershed.
4. The applicant must obtain a stormwater permit from the NYC DEP for each phase of work proposed in the NYC DEP watershed.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of publication in the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: (914) 962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING
AN AMENDED SITE PLAN FOR
FOR THE SHRUB OAK INTERNATIONAL SCHOOL**

RESOLUTION NUMBER: #22-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Garrigan, Phelan, and Waterhouse, the following resolution was adopted:

WHEREAS, the property owned by the applicant is located at 3151 Stony Street, Mohegan Lake, also known as Section 26.05, Block 1, Lot 4 on the Town of Yorktown Tax Map (hereinafter referred to as “the Property”), 3151 Stony Street, LLC is the lawful owners of the land within said site plan, where Shrub Oak International, LLC (the “Applicant”) is operating the school; and

WHEREAS, the Planning Board, by Resolution #17-10 dated June 26, 2017, approved a Site Plan, Special Use Permit for a Private School, a Storm Water Pollution Prevention Plan, and a Tree Permit for the Shrub Oak International School; and

WHEREAS, in March of 2018, the Applicant requested modifications to the approved site plan and to phase the construction of the original site plan approval; and

WHEREAS, the Planning Board, by Resolution #18-04 dated May 22, 2018, granted modifications to the approved site plan and adopted a construction phasing plan; and

WHEREAS, the Planning Board, by Resolution #21-20 dated September 13, 2021, approved an amended phasing plan for construction of the approved improvements, which included moving the following items to Phase 2:

1. Helipad and driveway connection;
2. Small animal barn and paddocks;
3. Additional northwest landscaping;
4. Concrete dumpster pad;
5. Gravel pathway at rear of west wing;
6. Concrete generator pad at south end of campus;
7. Site lights at southwest driveway and several along the entry drive;

WHEREAS, on March 16, 2022, the Applicant submitted an amended site plan application, which included the following changes to the site plan and phasing plan as shown on Figure 1 listed herein:

1. Proposed connector drive and parking immediately adjacent to the east side of the building to be constructed in Phase 2;
2. Proposed garden with gravel maintenance paths to be constructed in Phase 2;

3. Proposed animal area with wood fences and animal barn to be constructed in Phase 3;
4. Creation of additional parking and circulation for staff to accommodate a maximum of 300 students to be constructed in Phases 4 and 5;
5. Relocation of the proposed natatorium to be constructed in Phase 3;
6. Proposed helipad to be constructed in Phase 3;
7. Elimination of equine improvements to instead develop a proposed animal area with wood fences and animal barn in Phase 3;
8. Elimination of the second site entrance from Stony Street with new driveways to the school and to Granite Knolls Park;
9. Creation of an additional gravel parking lot for Granite Knolls Park with associated stormwater basins in Phase 3;
10. Reconstruction of two two-family residences in Phase 4;

WHEREAS, a certificate of occupancy for Phase 1 was issued by the Building Inspector on May 20, 2022; and

WHEREAS, the Planning Board gave the applicant permission to start construction of the items now listed in Phase 2 while the amended site plan was pending because these improvements were previously approved by Planning Board Resolution #21-20; and

WHEREAS, the Applicant has submitted in support of this application the following:

Phasing Plan

1. Figure No. 1, titled “Proposed Project Phasing Plan,” prepared by DTS Provident Design Engineering, LLP, and dated March 16, 2022;

Amended Site Plans:

2. A drawing, titled “Cover Sheet,” prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
3. A drawing, Sheet SP-0.1, titled “Master Site Plan,” prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
4. A drawing, Sheet SP-1.1, titled “Layout Plan,” prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
5. A drawing, Sheet SP-1.2, titled “Layout Plan,” prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
6. A drawing, Sheet SP-2.1, titled “Site Grading and Utility Plan,” prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
7. A drawing, Sheet SP-2.2, titled “Site Grading and Utility Plan,” prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and

8. A drawing, Sheet SP-3.1, titled "Landscape Plan," prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
9. A drawing, Sheet SP-3.2, titled "Landscape Plan," prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
10. A drawing, Sheet SP-4.1, titled "Site and Utility Details," prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
11. A drawing, Sheet SP-4.2, titled "Site and Utility Details," prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
12. A drawing, Sheet SP-6.1, titled "Site Lighting Plan," prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
13. A drawing, Sheet SP-6.2, titled "Site Lighting Plan," prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 19, 2022; and
14. Figure No. 1, titled "Proposed South Driveway Improvements," prepared by DTS Provident Design Engineering, LLP, and dated May 19, 2022; and

Architectural plans for the proposed barn (12' x 52' Run-In Shed):

15. A drawing titled, "Front Elevation," prepared by J&N Structures, LLC, and dated November 19, 2020;
16. A drawing titled, "Left Elevation," prepared by J&N Structures, LLC, and dated November 19, 2020;
17. A drawing titled, "Right Elevation," prepared by J&N Structures, LLC, and dated November 19, 2020;
18. A drawing titled, "Rear Elevation," prepared by J&N Structures, LLC, and dated November 19, 2020;
19. A drawing titled, "Floor Plan," prepared by J&N Structures, LLC, and dated November 19, 2020;

Architectural plans for the proposed natatorium:

20. A drawing, Sheet A201E, titled, "Natatorium Plans," prepared by Kaeyer Garment & Davidson Architects, PC, and dated November 19, 2020, and last revised March 9, 2022;
21. A drawing, Sheet A301E, titled, "Natatorium Exterior Elevations," prepared by Kaeyer Garment & Davidson Architects, PC, and dated November 19, 2020, and last revised March 9, 2022;

Additional reports:

22. A report titled "Stormwater Summary Report – Phase 2," prepared by DTS Provident Design Engineering, LLP, dated March 16, 2022, and last revised May 13, 2022; and

WHEREAS, the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	Report Date
ABACA	04/11/2022
Fire Inspector	05/25/2022

WHEREAS, pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on _____.
3. A negative declaration has been adopted on _____ on the basis of a Short EAF dated March 16, 2022.

WHEREAS, the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS, having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing, held in accordance with §195-39(B)(2) of the Yorktown Town Code, for the amended site plan, commencing and closing on May 23, 2022 at Town Hall in Yorktown Heights, New York; and

WHEREAS, the Applicant has offered to provide an area for the construction of an additional gravel parking area to accommodate approximately 77 parking spaces for Granite Knolls Park use; and

WHEREAS, the original approval required the construction of a secondary access drive, which accomplished several site issues that the Board identified during its review, to wit: provision of access to the site to accommodate the proposed high number of users (300 +/- employees); emergency access to the site for emergency personnel and/or site evacuation; improvement of existing access to the adjacent town park to become secondary and emergency access to the improved and expanded park; and

WHEREAS, the applicant has proposed eliminating the requirement of the new secondary access, and the gating of the existing access drive to the park citing the intensity of the construction in grading and excavation and the associated costs thereof; and

WHEREAS, the Planning Board has reaffirmed its determination of the original approval that a safe, passable, secondary entrance is necessary for emergency access at the least, and potentially for secondary access to process traffic volume to the site and/or the adjacent park to which the existing access drive was the sole access point; and

WHEREAS, the applicant presented a plan that would provide emergency access through the adjacent park which required emergency vehicles to negotiate through parking areas and increased the travel distance significantly and which did not provide a suitable secondary entrance to accommodate site generated traffic volumes; and

WHEREAS, the applicant, upon request of the Planning Board, submitted a graphic study of

the potential to improve the existing access drive in order to improve its safety and usability, which found that the access drive could be improved in that a section of 20% grade could be cut to provide a maximum of 14% grade over the length of the drive, that it could be suitably be widened to 20 feet, and that the approach section to Stony Street could be graded to code required grades; and

THEREFORE, BE IT NOW RESOLVED the Planning Board finds that elimination of the secondary access to Stony Street creates a situation where two uses with high traffic volumes, though connected to each other, would only have one means of ingress and egress for each site and this poses a risk to the health and safety of the users of both sites; and

BE IT FURTHER RESOLVED the Planning Board has determined in consideration of elimination the proposed secondary access is warranted to improve the existing driveway along the property line between the two sites to provide safe emergency, and possibly auxiliary, access to both the Shrub Oak International School and Granite Knolls Park; and

RESOLVED if the Town of Yorktown wishes to construct the gravel parking area, a formal plan and agreement with the Applicant shall be pursued; and

BE IT NOW RESOLVED that the request of Shrub Oak International School, LLC for the approval of an amended site plan, be approved, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said amended site plan; and

Modify plans to show:

1. Add proposed improvements for driveway connection to Stony Street to the site plan.
2. Add note to the plan stating the gravel parking area for Town use will be constructed in the future.
3. On sheet SP-1.1, add the helipad safety zone distances as noted on the current signed site plan.

BE IT FURTHER RESOLVED, that in accordance with Town Code Chapter 248, Chapter 178, Section §300-228(A), and Chapter 270, the application of Shrub Oak International School, LLC for the approval of a Stormwater Pollution Prevention Plan, and Tree Removal Permit #FSWPP-T-042-17 is amended to include the site plans approved herein; and

BE IT FURTHER RESOLVED the Applicant must obtain NYC DEP approval for each phase that includes improvements in the Croton Watershed; and

BE IT FURTHER RESOLVED all other conditions of the Resolutions #17-10, #18-04, and #21-20 still stand in full effect except as modified herein.

TRANSMITTAL

DATE: August 8, 2022 PROJECT: Shrub Oak International School

TO: Ms. Robyn A. Steinberg, AICP FROM: Donna Maiello
Town Planner
Albert A. Capellini Community & Cultural Center
1974 Commerce Street (Top Floor, Room 222)
Yorktown Heights, NY 10598

WE ARE SENDING YOU VIA FED EX:

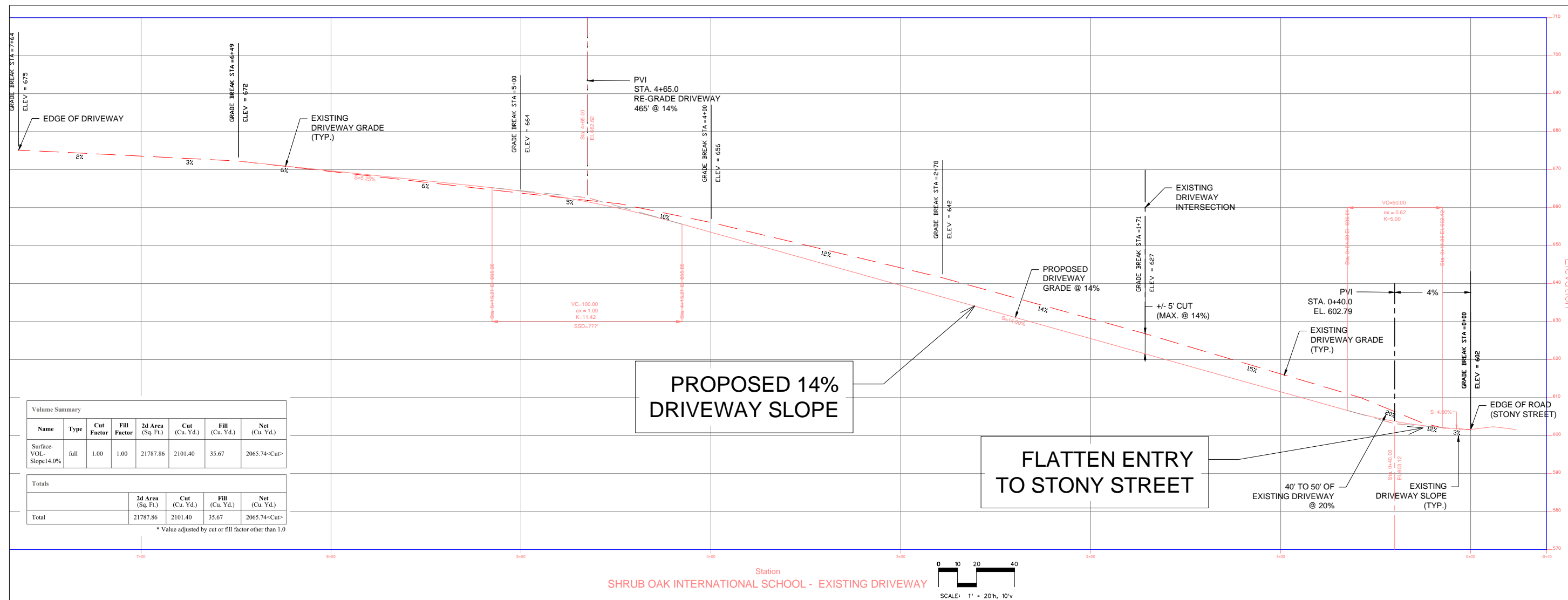
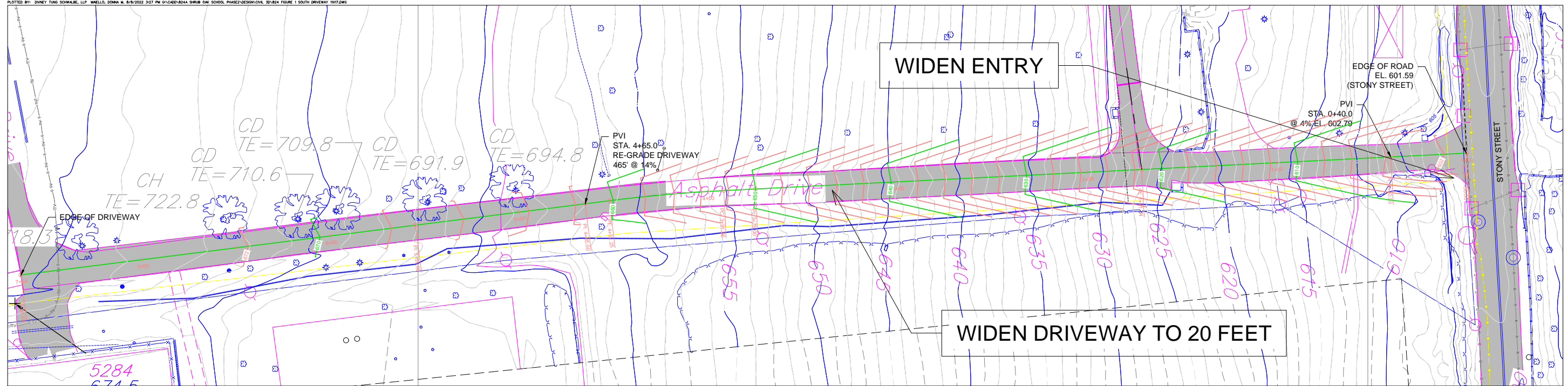
COPIES	DATE	NUMBER	DESCRIPTION
1	05/13/22		Shrub Oak International School Stormwater Summary Report – Phase 2
1	05/19/22	Fig. No. 1	Proposed South Driveway Improvements (11x17)
1	05/19/22		Application for Site Plan Amendment Approval drawing set (full size, 30x42)

THESE ARE TRANSMITTED: Enclosed are the final stormwater summary report, south driveway improvements figure and site/civil/landscape drawing set for amended site plan approval.

COMMENTS: An email with pdfs of the above application materials has been sent to you.

COPIES TO: B. Koffler, D. Steinmetz

PROJECT NUMBER: 824



Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Surface-VOL- Slope 14.0%	full	1.00	1.00	21787.86	2101.40	35.67	2065.74<Cut>
Totals				2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total				21787.86	2101.40	35.67	2065.74<Cut>

* Value adjusted by cut or fill factor other than 1.0

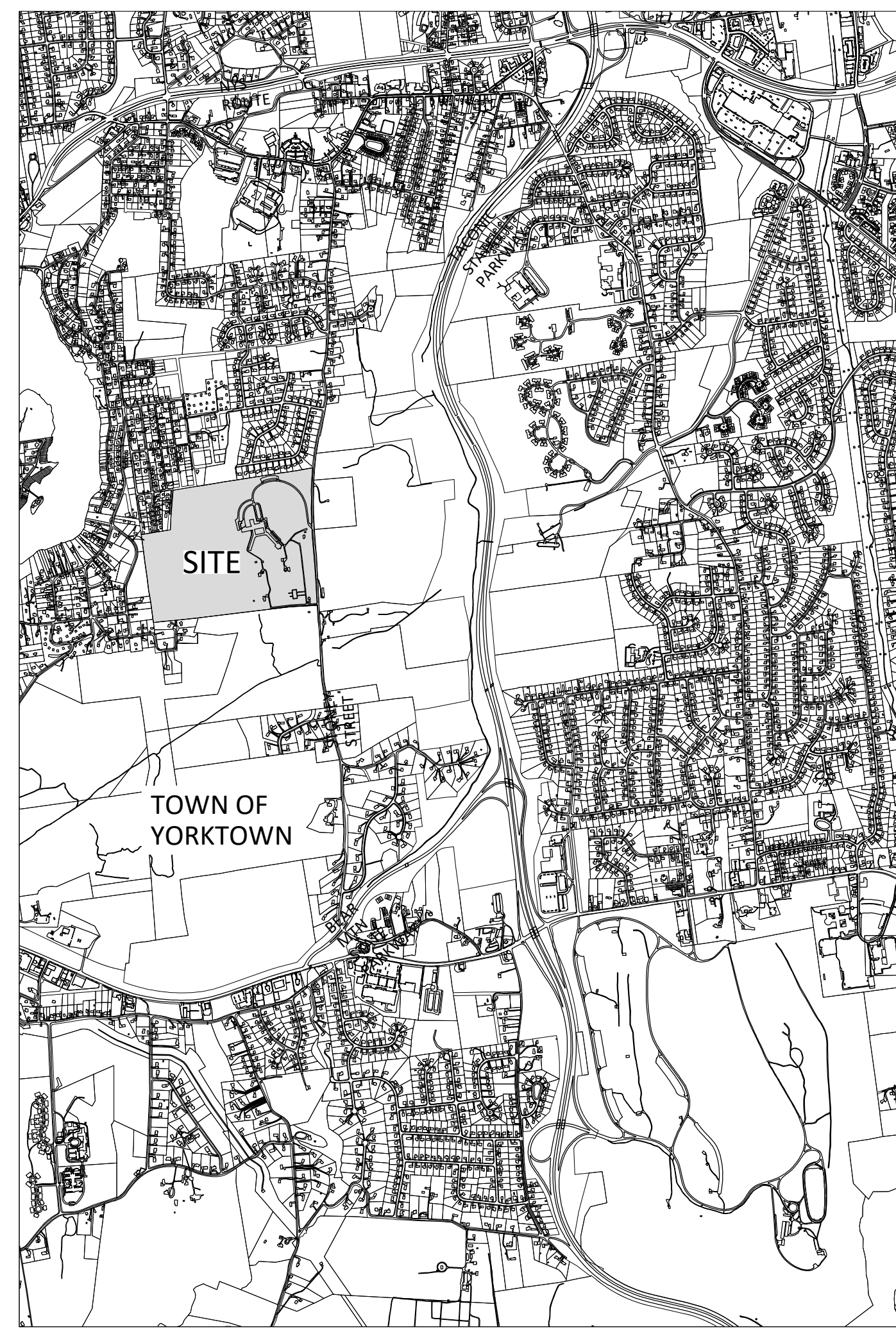
SHRUB OAK INTERNATIONAL SCHOOL

Town of Yorktown, New York

APPLICATION FOR SITE PLAN AMENDMENT APPROVAL

MARCH 16, 2022
REVISED MAY 19, 2022

LOCATION MAP



Site Parcel ID: 26.05-1-4
Map Source:
Westchester County GIS

SCALE: 1" = 2000'

ZONING COMPLIANCE ANALYSIS

ZONING COMPLIANCE TABLE					
Address: 3151 Stoney Street, Shrub Oak, NY					
Zoning District: Special Permit for Parochial, Private Elementary & High Schools, Colleges & Seminaries within R1-					
Tax Map Parcel ID: 26.5-1-4 & 26.6-1-2					
Description	Required/ Permitted	Existing	Proposed		
Minimum Lot Area (SF)	160,000	sf 5,540,396	sf 5,540,396	sf	
Minimum Lot Area (Acres)	32.89	ac 127.2	ac 127.2	ac	
Junior High or High School	15	ac			
Dormitory (1000 sf/beds; 300 beds)	6.89	ac			
Single Family House (160,000 sf/house; 3 SF homes)	11.02	ac			
Minimum Lot Width at Main Building Line	200	ft 2,153	ft 2,153	ft	
Minimum Lot Depth	200	ft 1,700	ft 1,700	ft	
Front Yard (Street) Setback	200	ft 89 (a)	ft 89/200 (b)	ft	
Side Yard/Rear Yard Setback	100	ft 50 (a)	ft 50/100 (b)	ft	
Parking Setback	50	ft 12 (a)	ft 12/50 (c)	ft	
Maximum Building Height					
Main building	35	ft > 35 (a)	ft >35/35 (b)	ft	
Accessory Building or Structure	15	ft >15 (a)	ft >15/15 (b)	ft	
Minimum Usable Floor Area of Dwelling Unit	1,200	NA	NA		
Maximum Building Coverage	20%	2%	2%		
Road Frontage	200	ft NA	ft NA		
Junior High or High School	400	ft 2,234	ft 2,234	ft	
College	500	ft 2,234	ft 2,234	ft	
Required Parking Spaces	344 (d)	sp 106	sp 440 (e)	sp	
Notes:					
(a) There are existing non-conforming structures on site which are to remain.					
(b) New buildings will meet setback requirements.					
(c) New parking areas will meet setback requirements.					
(d) Per 6/26/17 Approval Resolution, 344 parking spaces are required to serve 300 students.					
(e) Phase 2 = 233 spaces to serve approximately 150 students.					
Source: Town of Yorktown, www.ecode360.com , 3/9/18.					

LIST OF DRAWINGS

SITE, CIVIL AND LANDSCAPE DRAWINGS				
NO.	TITLE	DATE	BY	SCALE
	COVER SHEET	5/19/22	DTSP	NA
SP-0.0	MASTER SITE PLAN	5/19/22	DTSP	1"=120'
SP-1.1-1.2	LAYOUT PLAN	5/19/22	DTSP	1"=40'
SP-2.1-2.2	SITE GRADING AND UTILITY PLAN	5/19/22	DTSP	1"=40'
SP-2.3-2.4	SITE GRADING AND UTILITY PLAN - PHASE 2	5/19/22	DTSP	1"=40'
SP-3.1-3.2	LANDSCAPE PLAN	5/19/22	DTSP	1"=40'
SP-4.1	SITE AND UTILITY DETAILS	5/19/22	DTSP	AS NOTED
SP-4.2	SITE AND UTILITY DETAILS	5/19/22	DTSP	AS NOTED
SP-6.1-6.2	SITE LIGHTING PLAN	5/19/22	DTSP	1"=40'
	SURVEY OF PROPERTY (PARCEL 26.5-1-4)	4/9/18	BADEY & WATSON	1"=120'

OWNER / APPLICANT
Shrub Oak International School
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Shrub Oak, NY 10547

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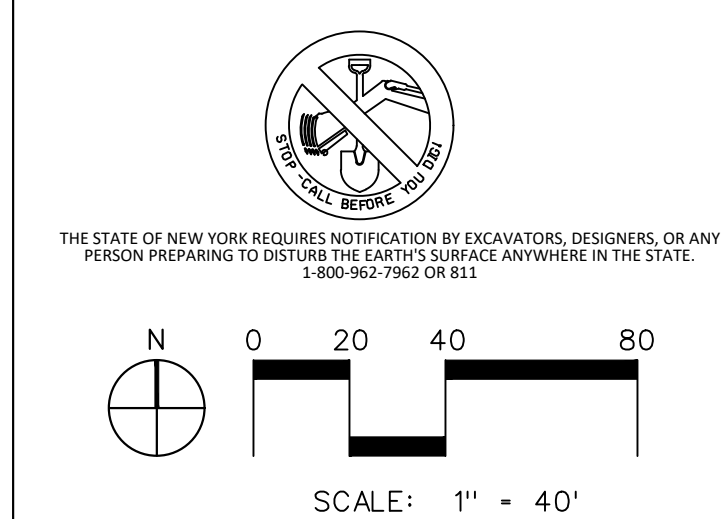
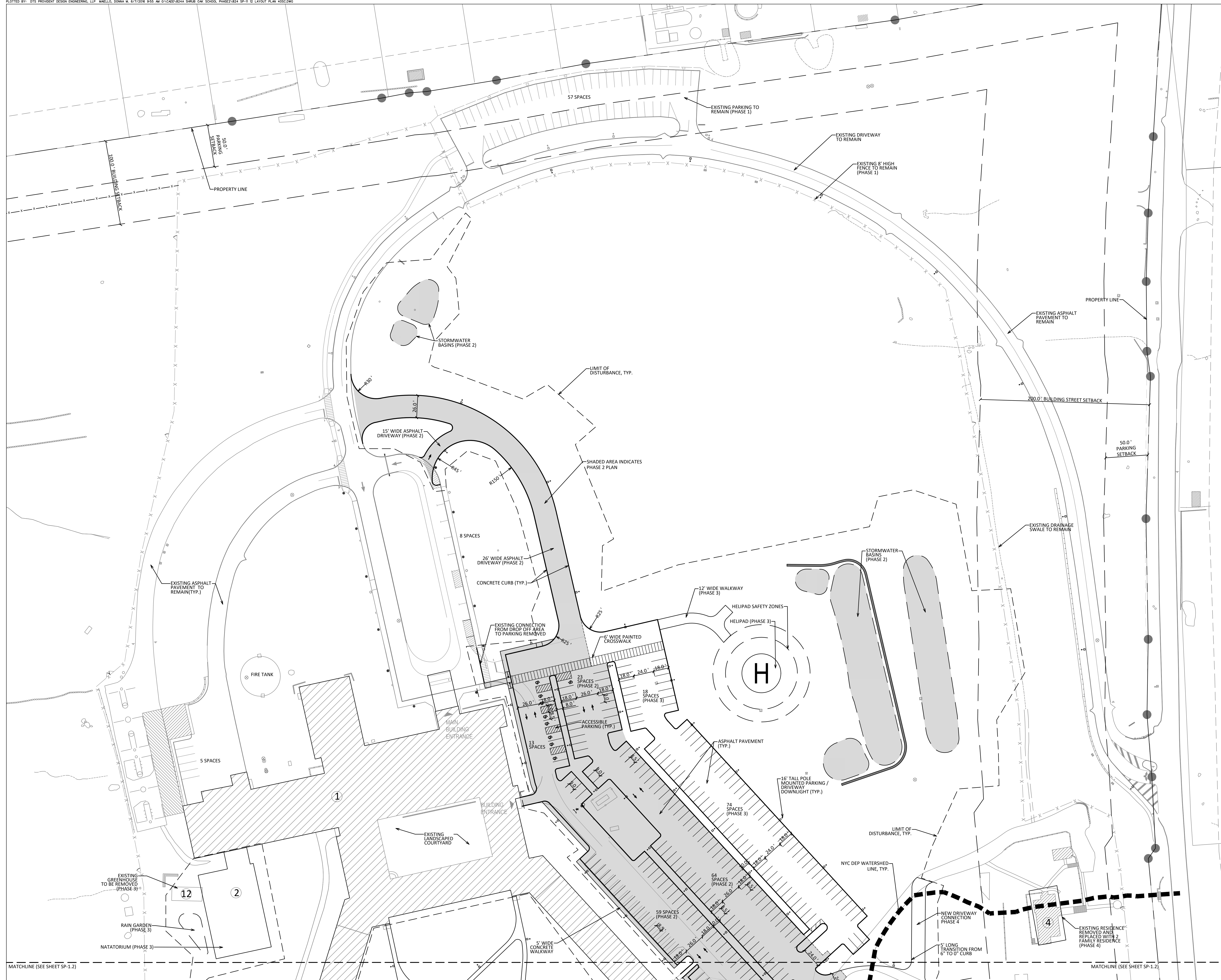
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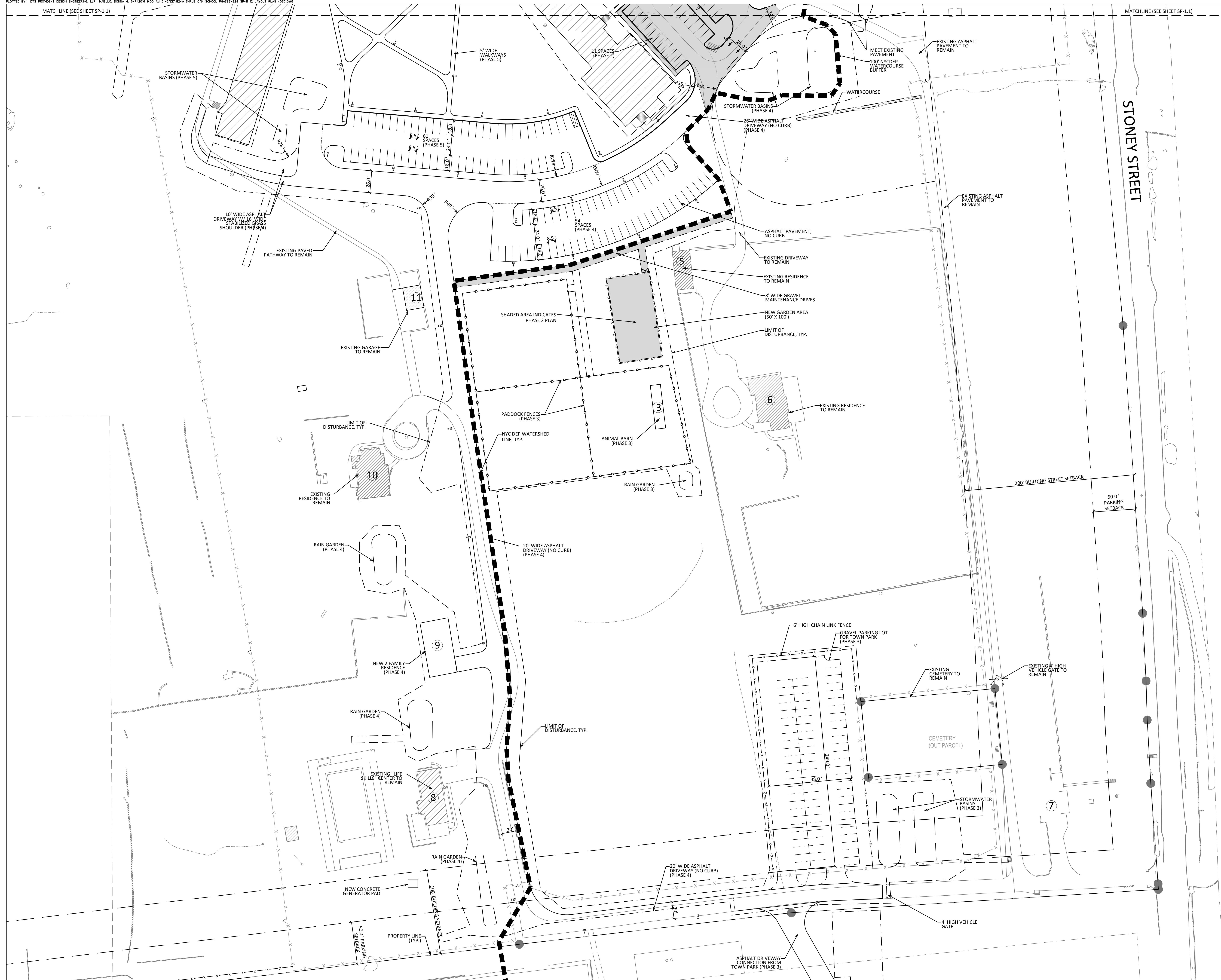
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LAYOUT PLAN



DRAWN BY: DM/MJS
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 DATE: 03/16/22
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SP-1.1



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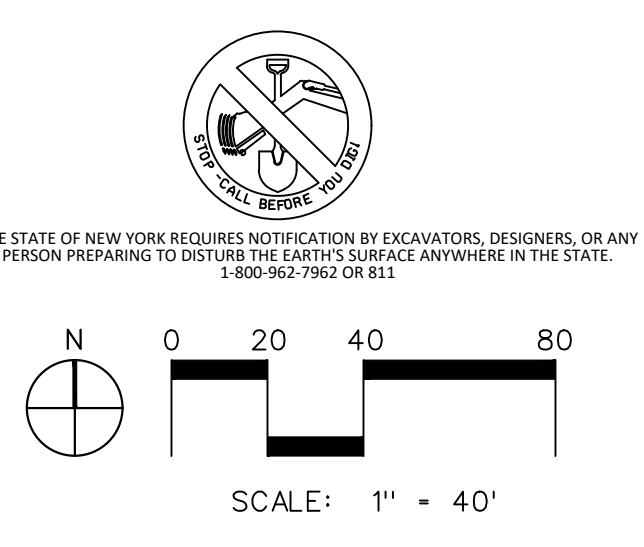
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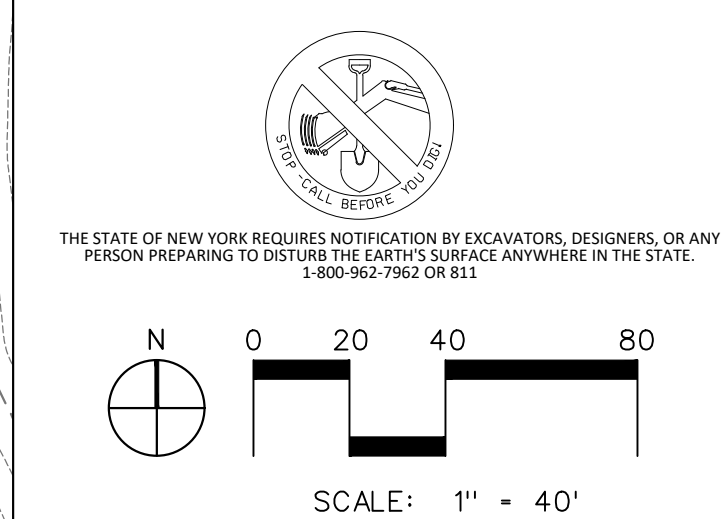
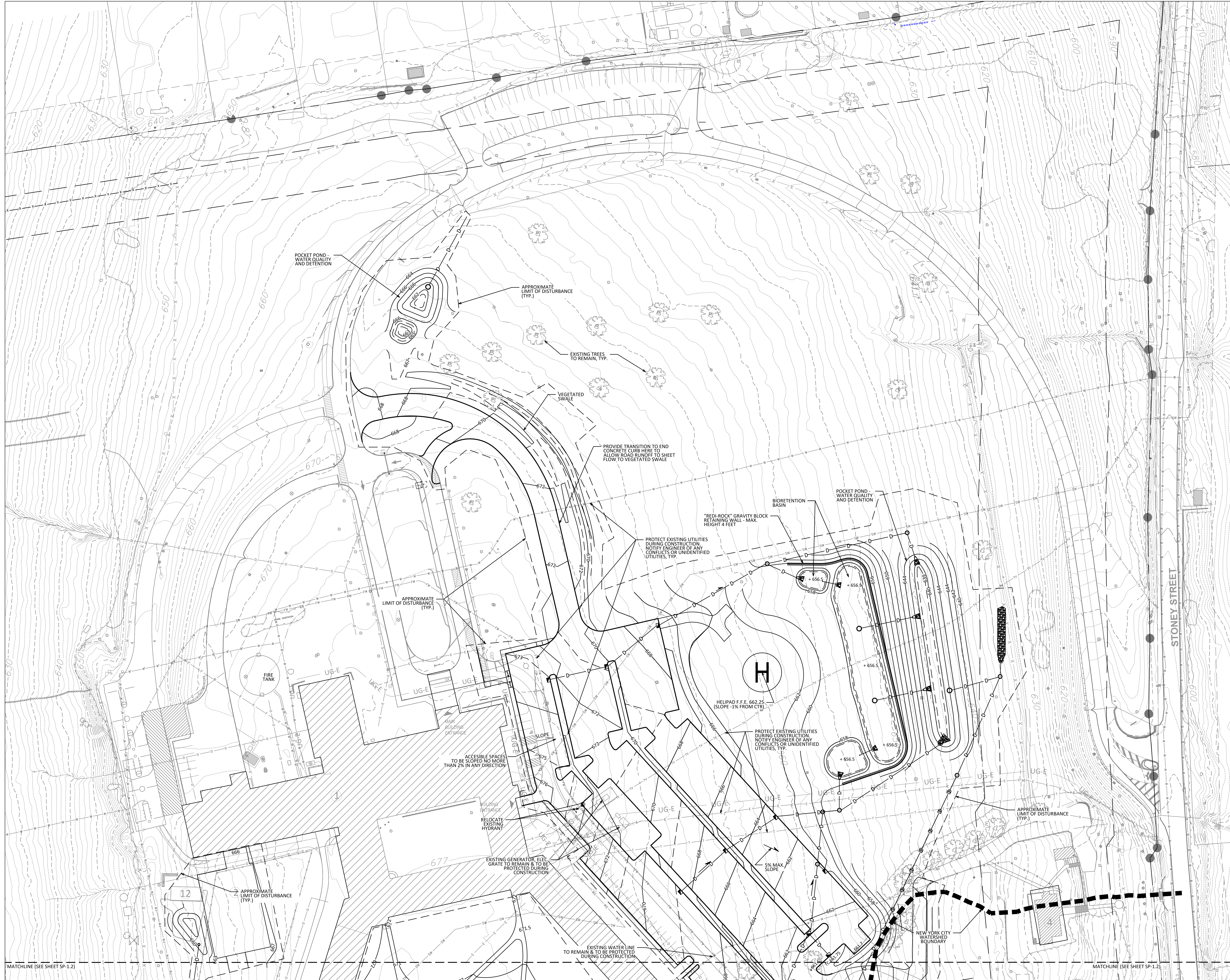
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DRAWING TITLE:

SITE GRADING AND UTILITY PLAN

SEAL OF THE STATE OF NEW YORK
JEREMY MARTIN
REGISTERED PROFESSIONAL ENGINEER
084409

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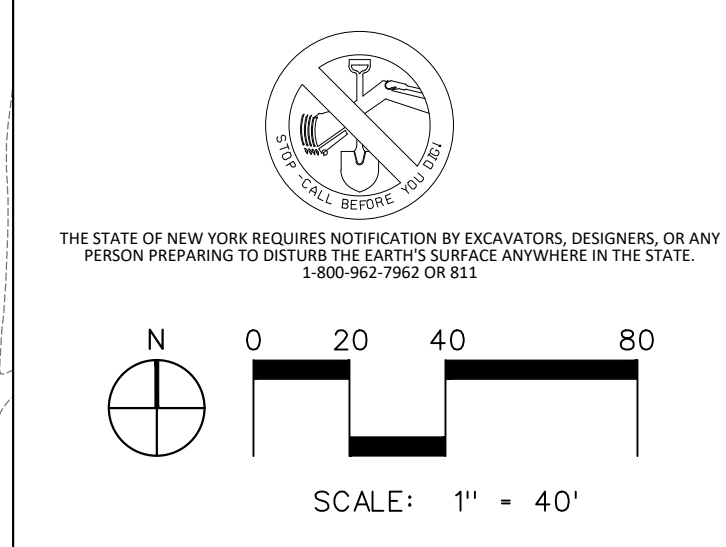
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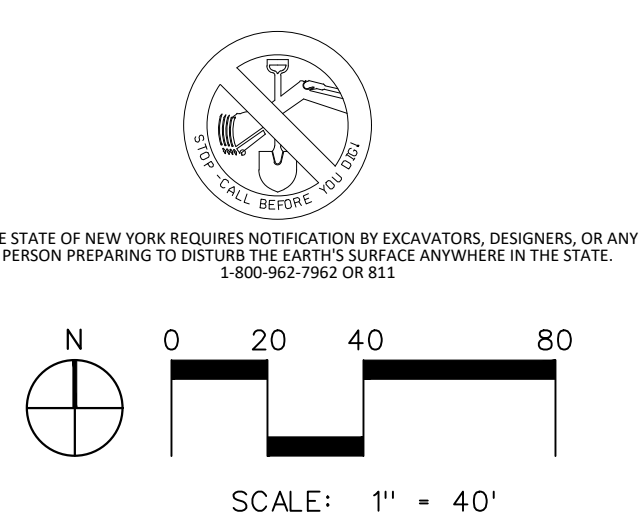
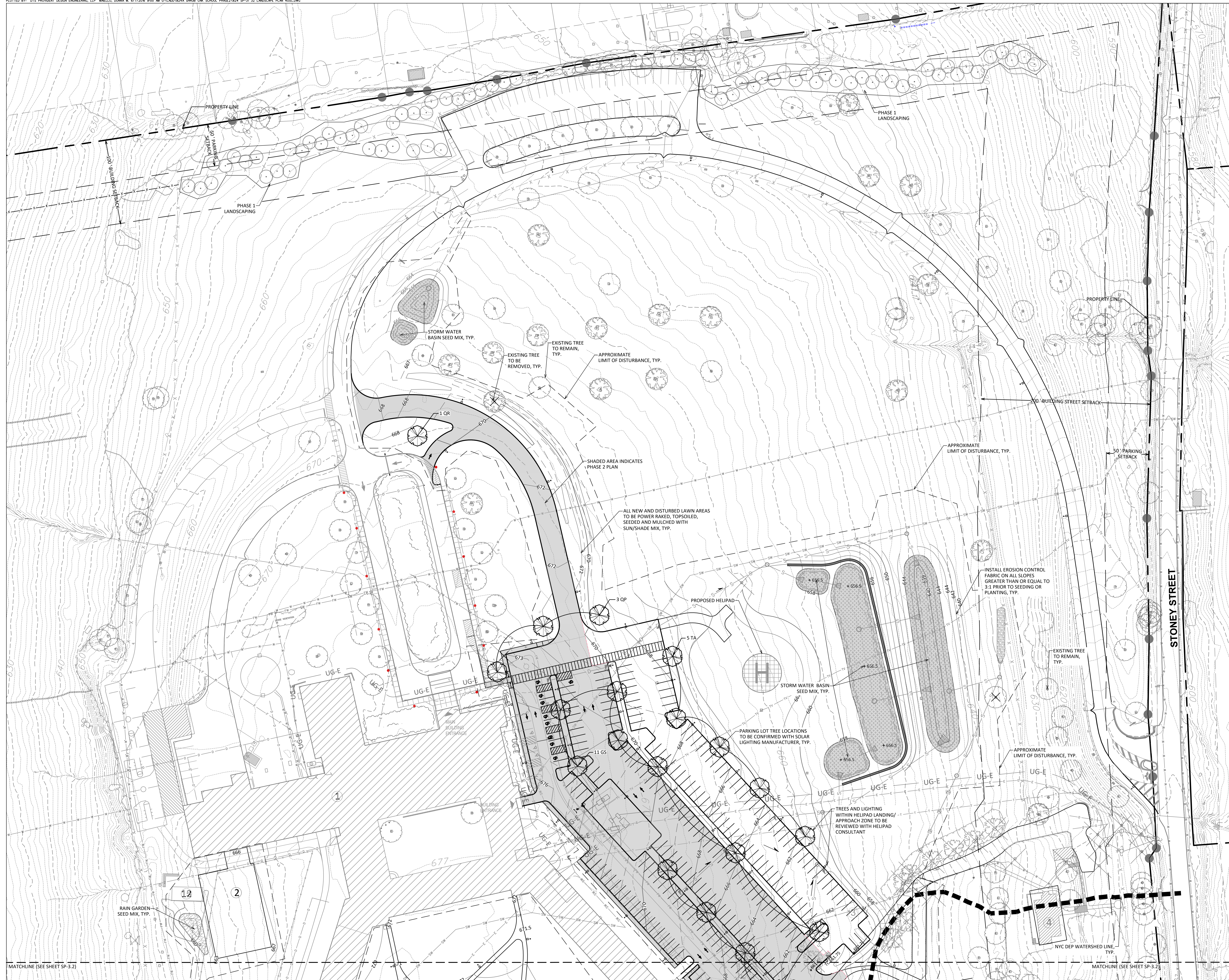
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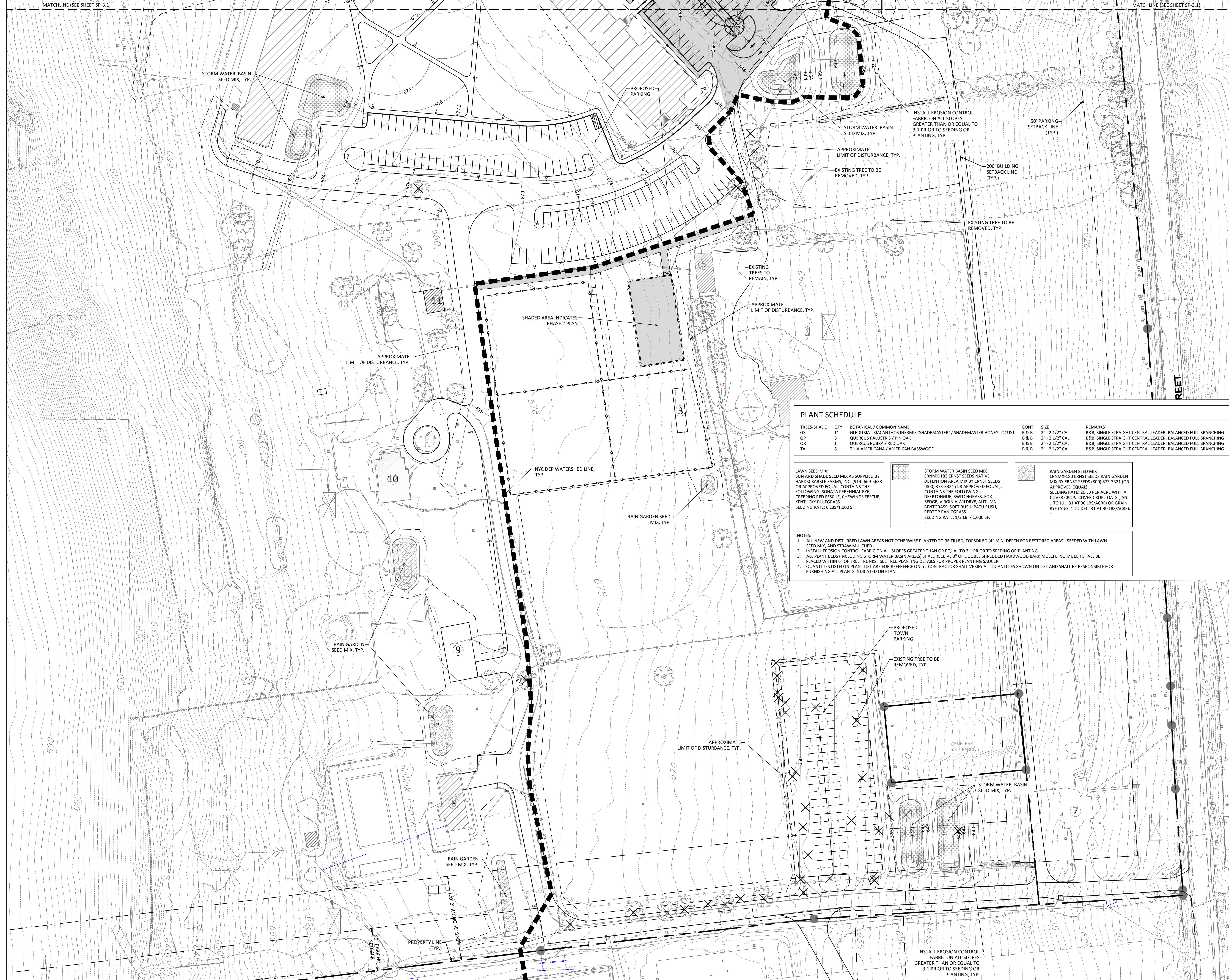
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LANDSCAPE PLAN

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DRAWING NO: SP-3.1	



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Town of Yorktown, New York

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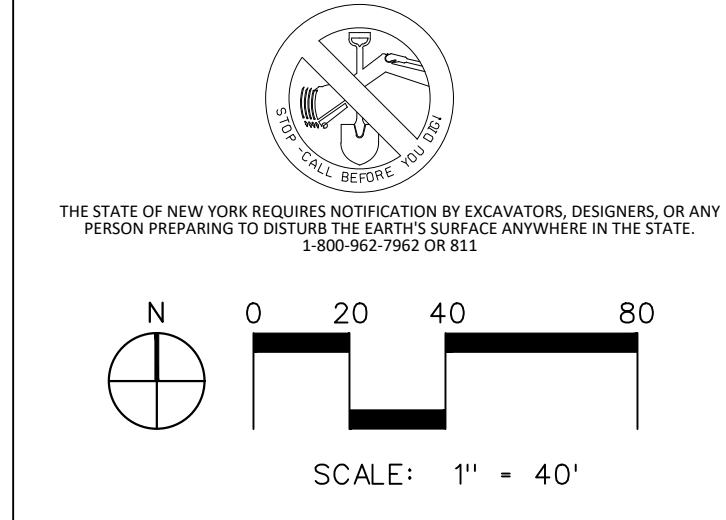
TREES SHADE	QTY	BOTANICAL / COMMON NAME	SHADEMASTER / SHADEMASTER HONEY LOCUST	CONT	SIZE	REMARKS
GS	11	GLEDTISIA TRIACANTHOS / INERMIS	SHADEMASTER / SHADEMASTER HONEY LOCUST	B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING
QP	3	QUERCUS PALUSTRIS / PIN OAK		B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING
QR	1	QUERCUS RUBRA / RED OAK		B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING
TA	5	TILIA AMERICANA / AMERICAN BASSWOOD		B & B	2" - 2 1/2" CAL.	B&B, SINGLE STRAIGHT CENTRAL LEADER, BALANCED FULL BRANCHING

LAWN SEED MIX:
 SUN AND SHADE SEED MIX AS SUPPLIED BY HARDSCAPE FIELDS FARMS, INC. (914) 669-5633 OR APPROVED EQUAL. CONTAINS THE FOLLOWING: SONATA PERENNIAL RYE, CREEPING RED FESCUE, CHEWINGS FESCUE, KENTUCKY BLUEGRASS.
 SEEDING RATE: 6 LBS/1,000 SF.

STORM WATER BASIN SEED MIX:
 ERNIX-183 ERNST SEEDS NATIVE DETENTION AREA MIX BY ERNST SEEDS (800) 873-3321 (OR APPROVED EQUAL). CONTAINS THE FOLLOWING: DEERTONGUE, SWITCHGRASS, FOX SEDGE, VIRGINIA WILDRIE, AUTUMN BENTGRASS, SOFT RUSH, PATH RUSH, REDTOP PANICGRASS.
 SEEDING RATE: 1/2 LB. / 1,000 SF.

RAIN GARDEN SEED MIX:
 ERNIX-180 ERNST SEEDS RAIN GARDEN MIX BY ERNST SEEDS (800) 873-3321 (OR APPROVED EQUAL).
 SEEDING RATE: 20 LB PER ACRE WITH A COVER CROP: COVER CROP: OATS (JAN. 1 TO JUL. 31 AT 30 LBS/ACRE) OR GRAIN RYE (AUG. 1 TO DEC. 31 AT 30 LBS/ACRE).

- NOTES:**
- ALL NEW AND DISTURBED LAWN AREAS NOT OTHERWISE PLANTED TO BE TILLED, TOPSOILED (4" MIN. DEPTH FOR RESTORED AREAS), SEEDED WITH LAWN SEED MIX, AND STRAW MULCHED.
 - INSTALL EROSION CONTROL FABRIC ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1 PRIOR TO SEEDING OR PLANTING.
 - ALL PLANT BEDS (INCLUDING STORM WATER BASIN AREAS) SHALL RECEIVE 3" OF DOUBLE SHREDDED HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED WITHIN 6" OF TREE TRUNKS. SEE TREE PLANTING DETAILS FOR PROPER PLANTING SAUCER.
 - QUANTITIES LISTED IN PLANT LIST ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL PLANTS INDICATED ON PLAN.



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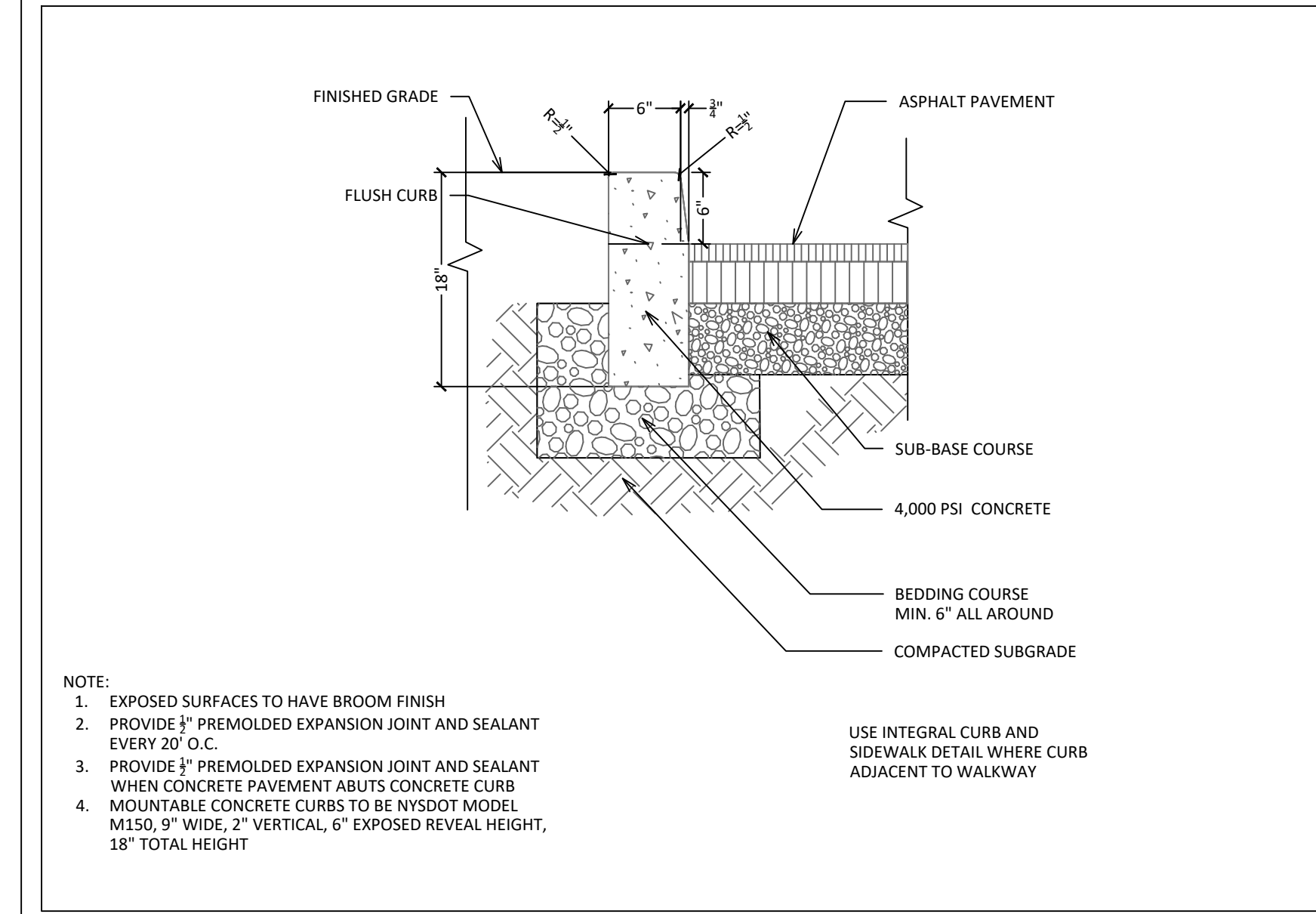
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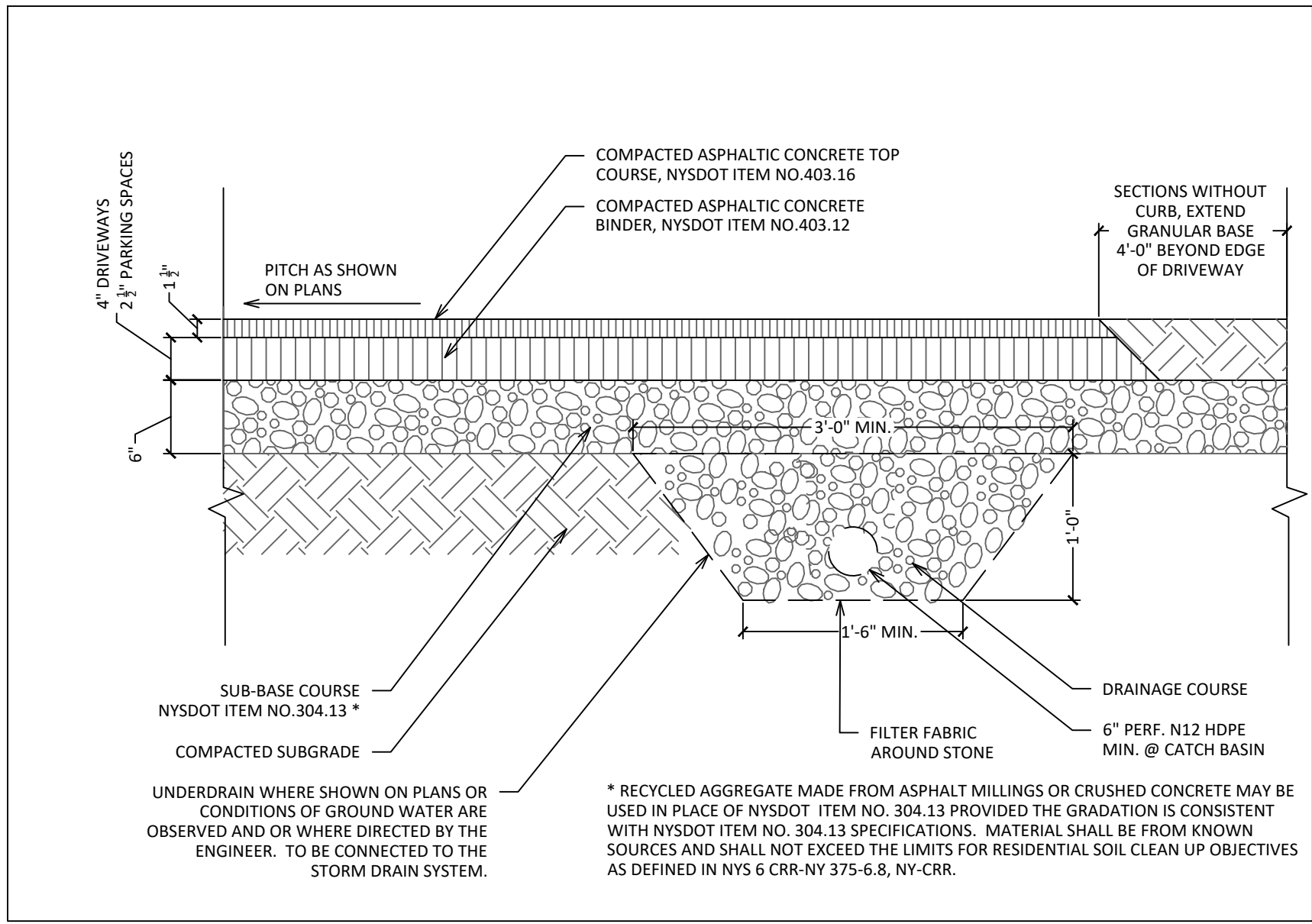
LANDSCAPE PLAN


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 DRAWING NO.: SP-3.2

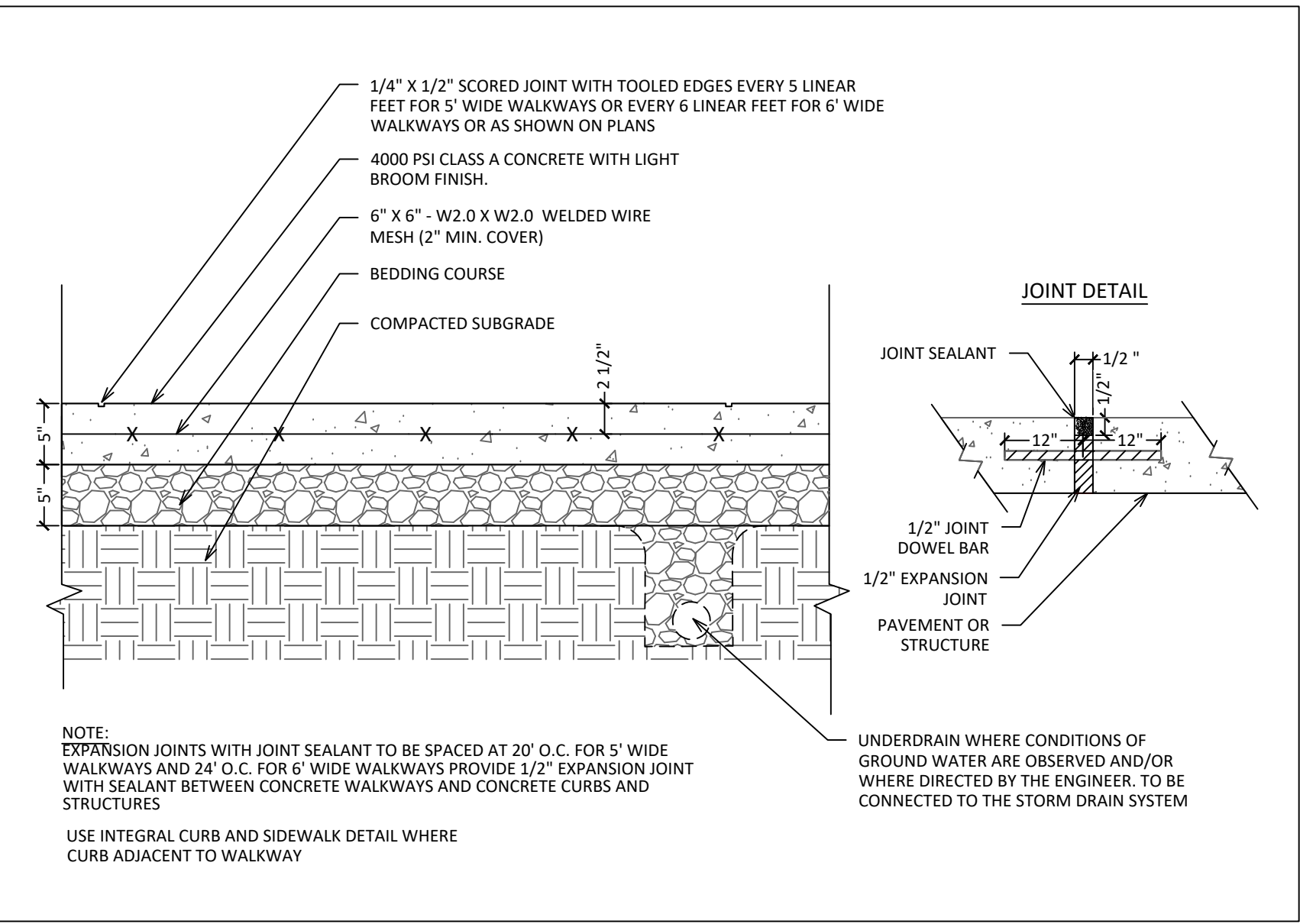
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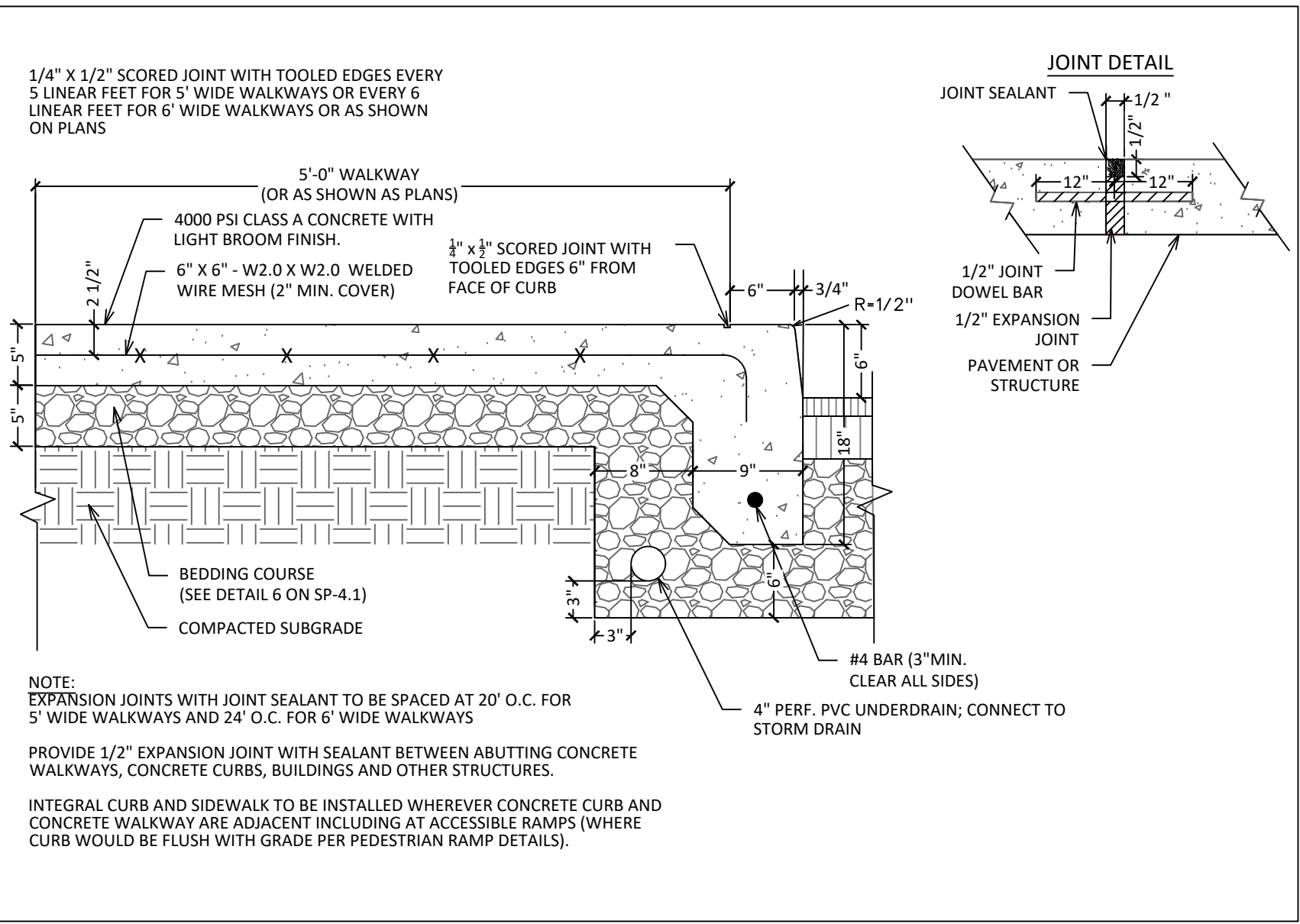
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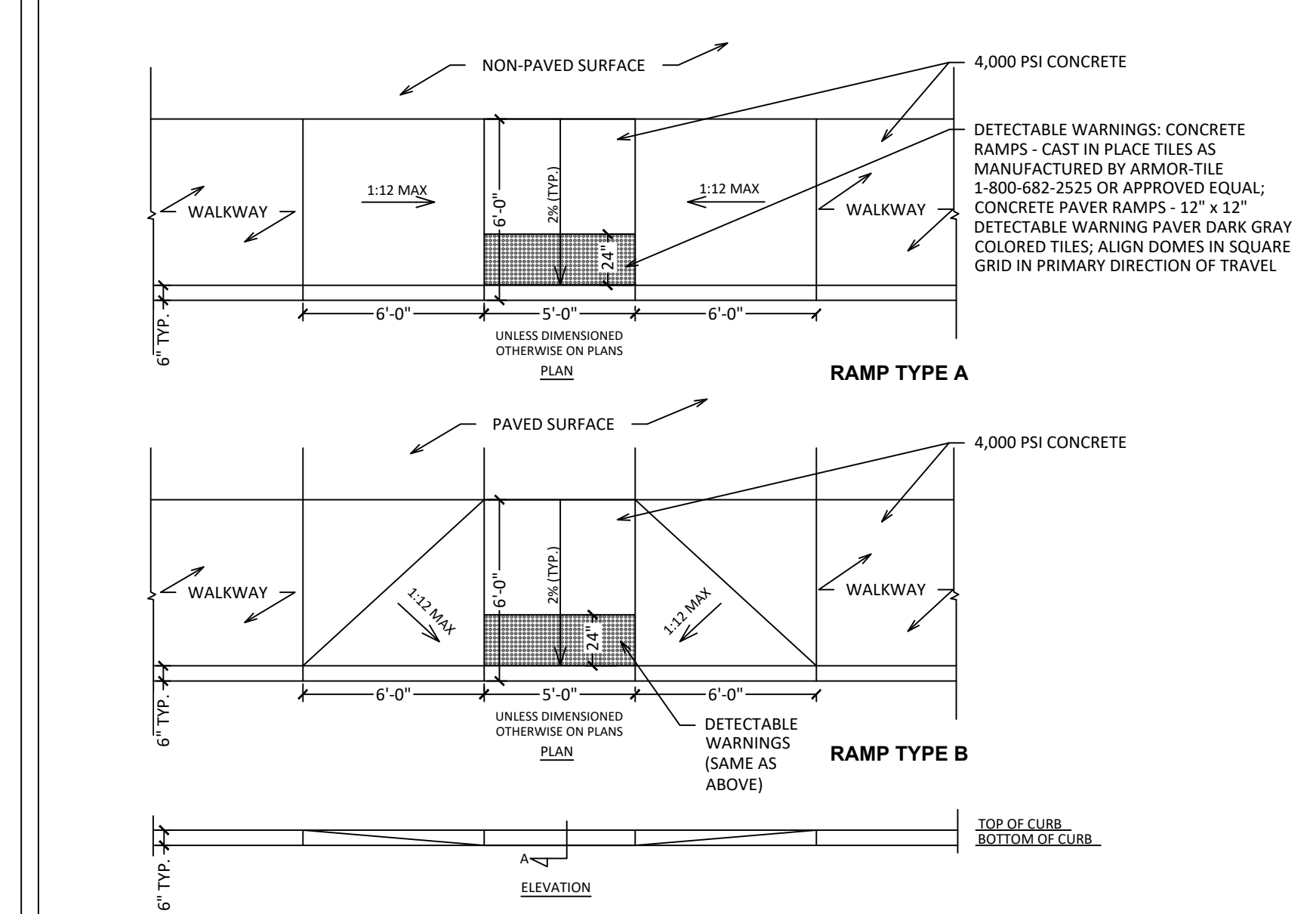
NEW ASPHALT PAVEMENT SCALE: N.T.S. 2



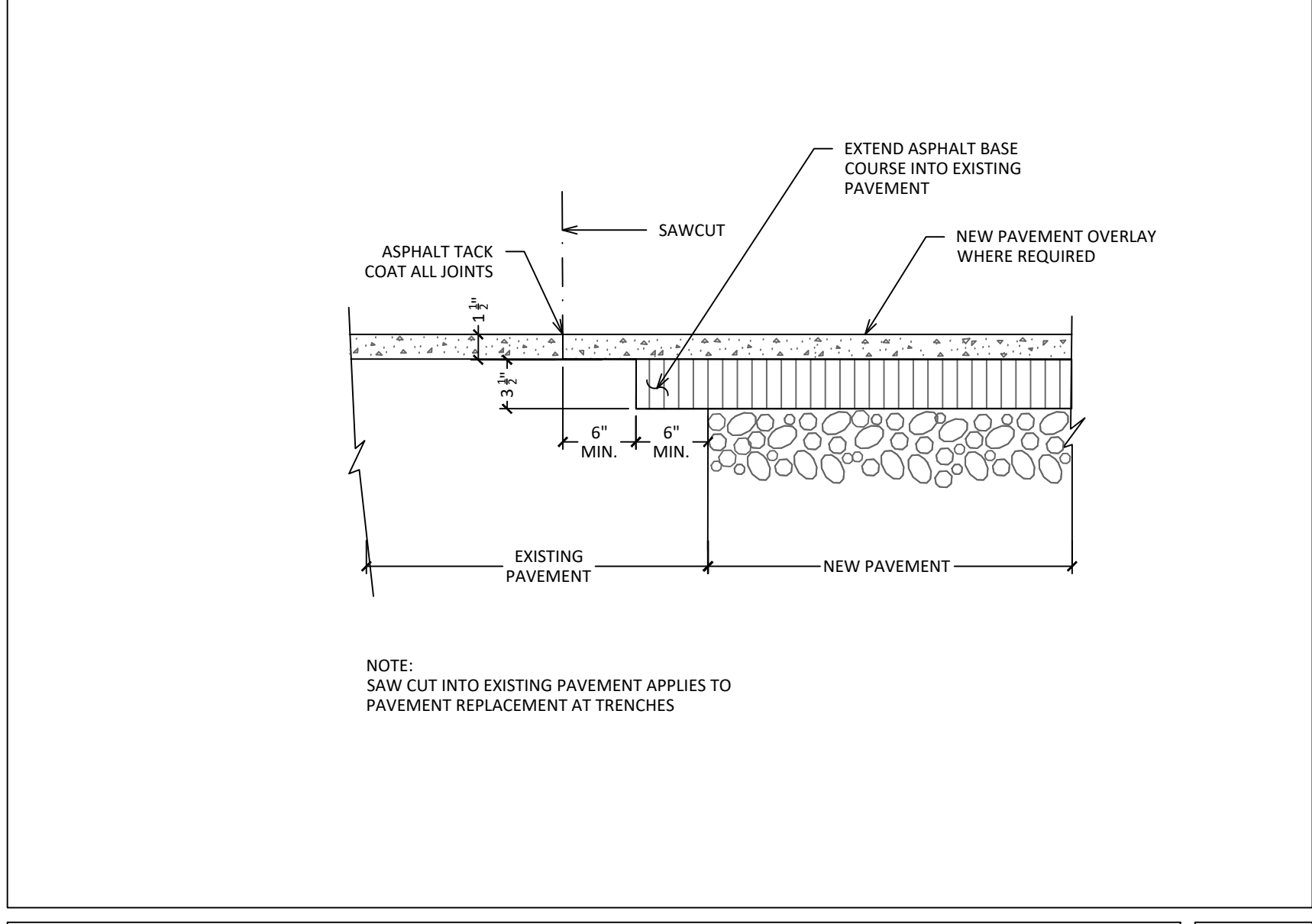
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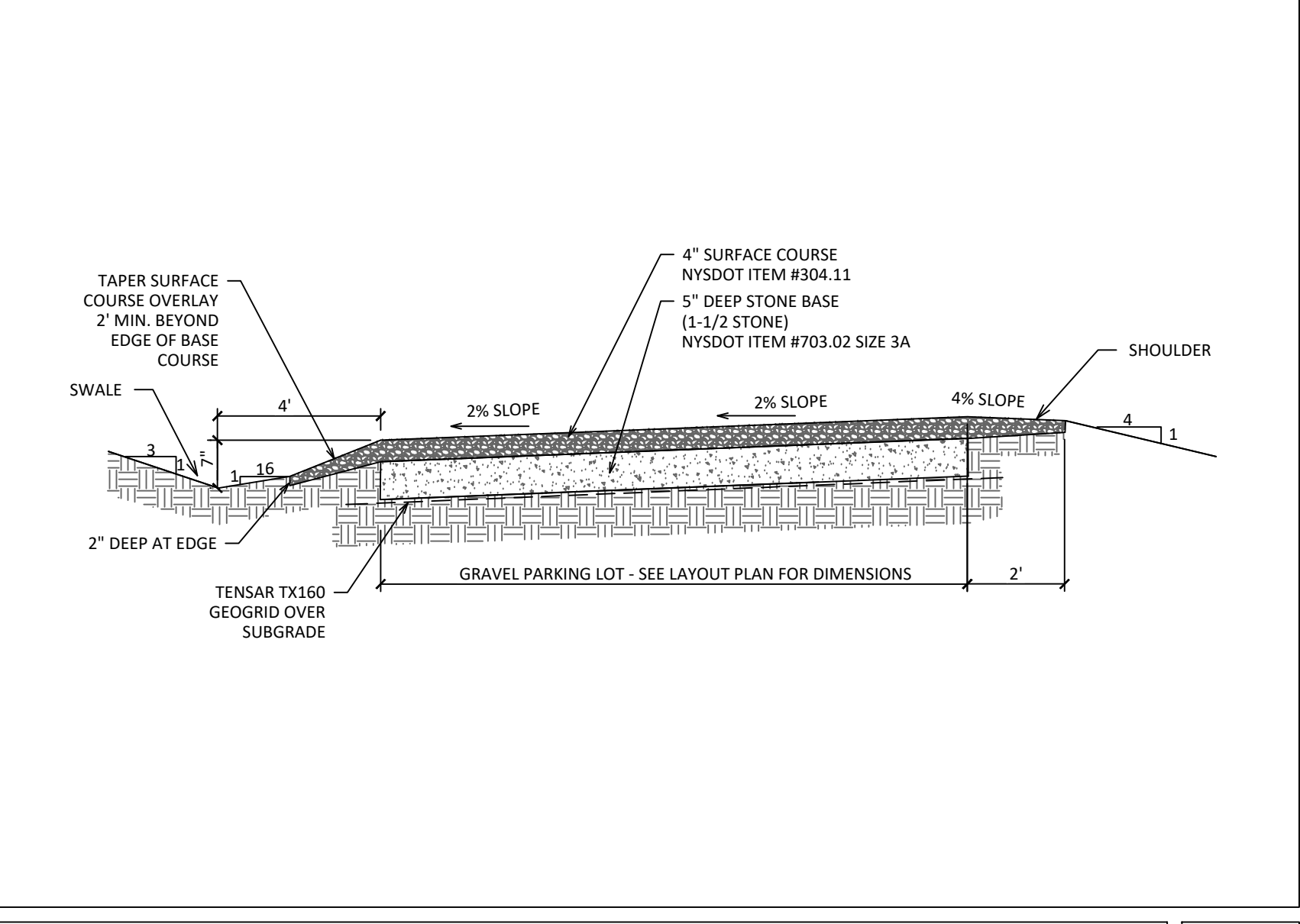
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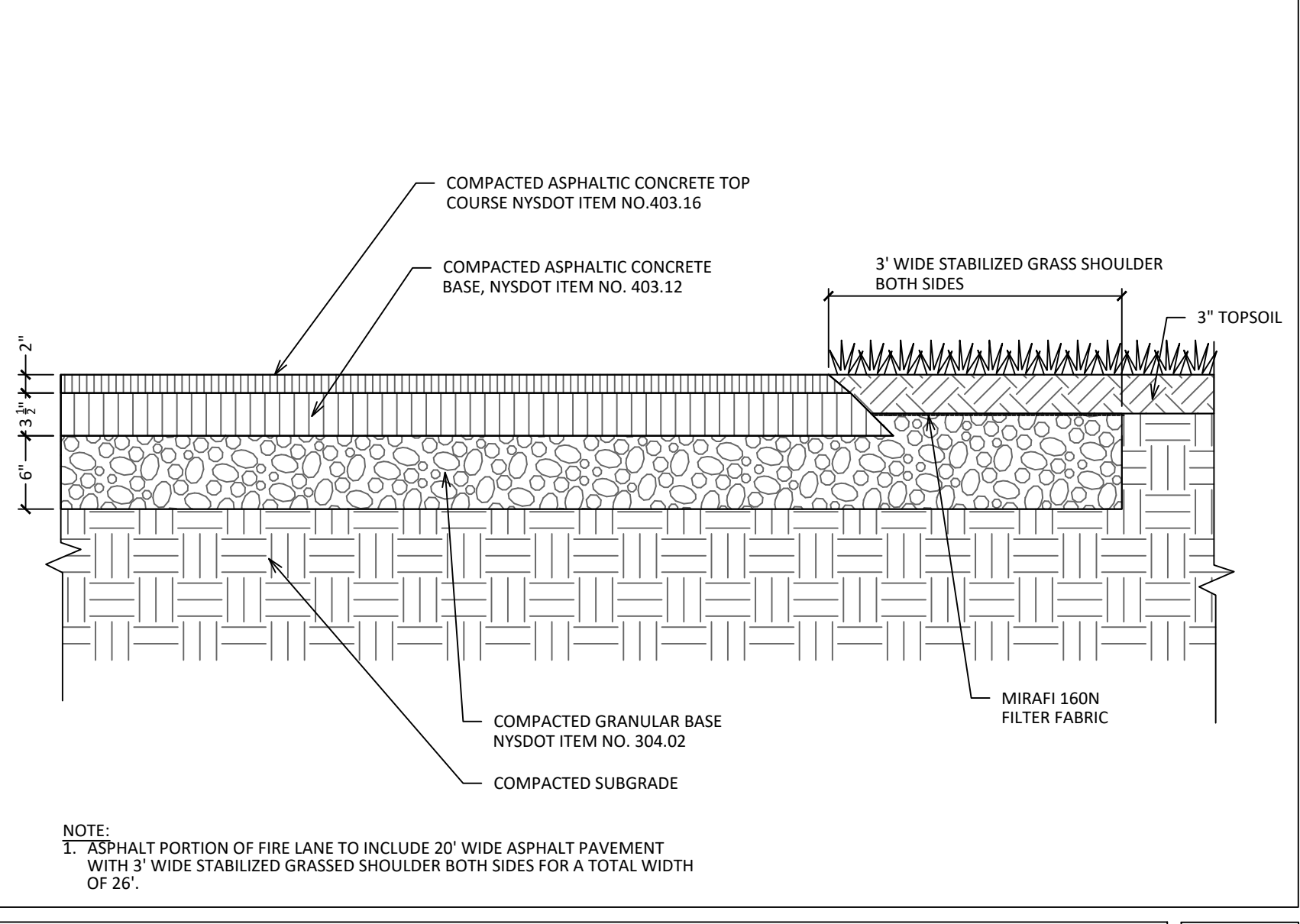
PEDESTRIAN RAMPS SCALE: N.T.S. 9



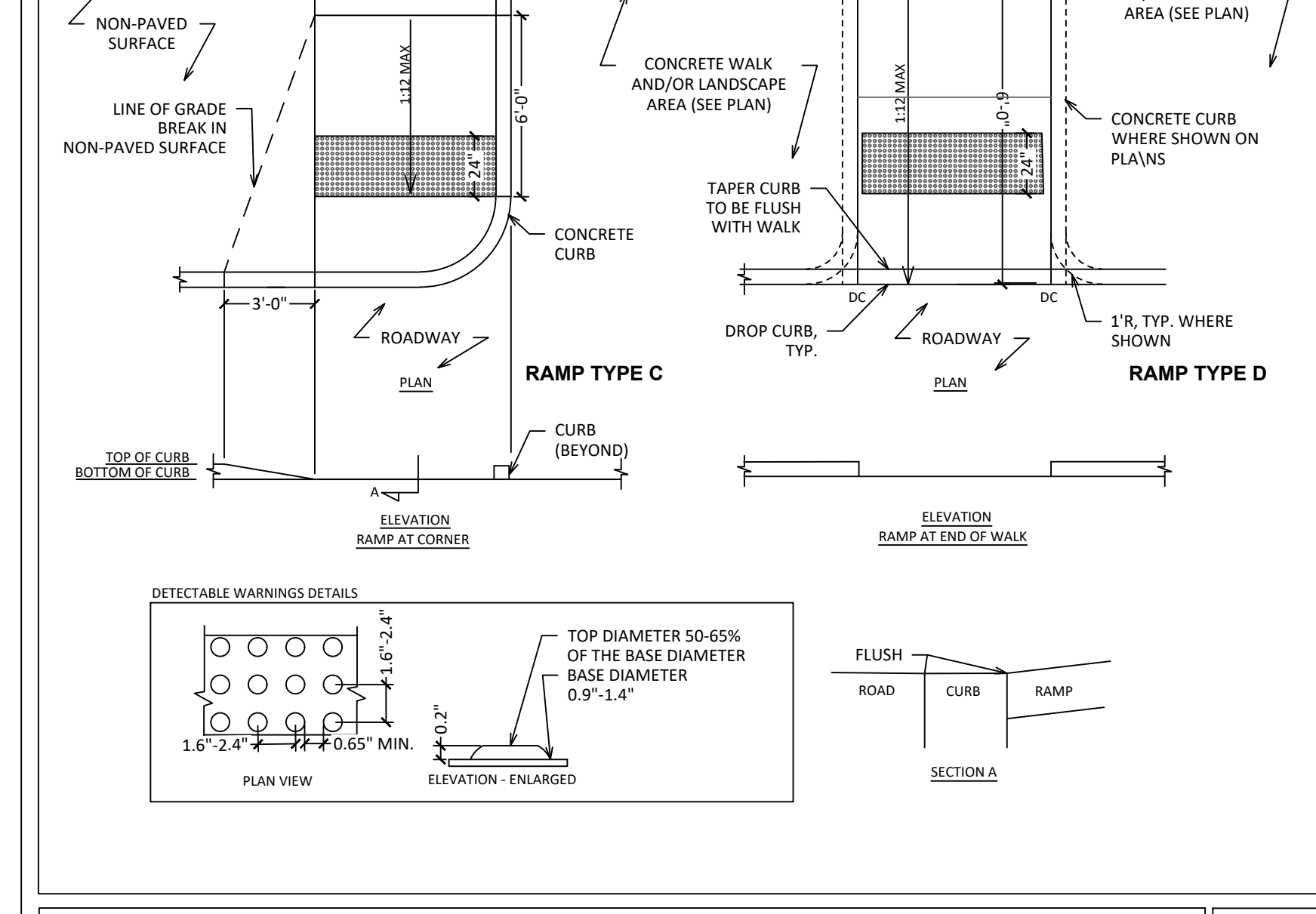
SAW CUT ASPHALT PAVEMENT SCALE: N.T.S. 6



GRAVEL PARKING LOT SCALE: N.T.S. 7



STABILIZED GRASS SHOULDER (FOR FIRE LANE) SCALE: N.T.S. 8



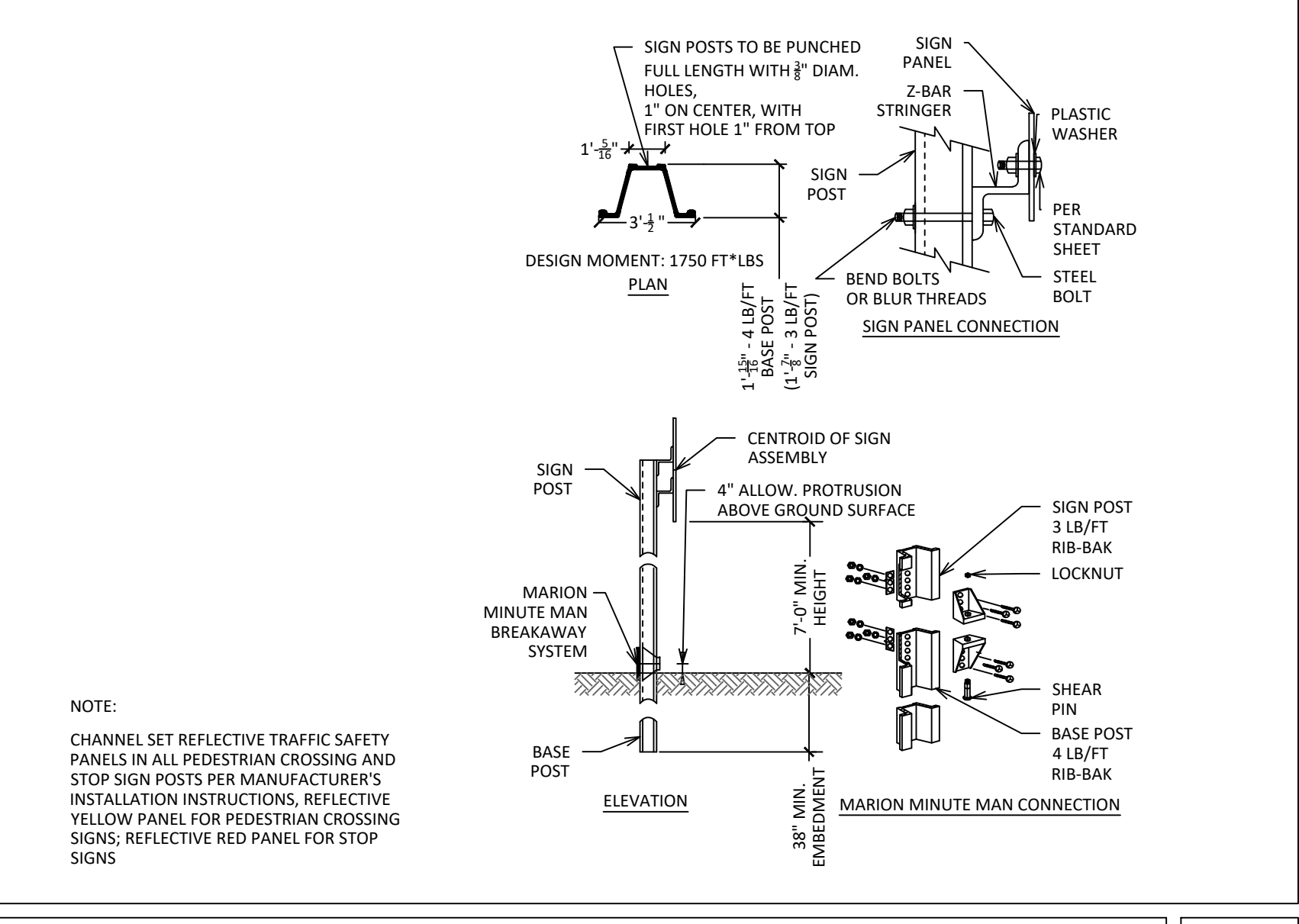
PEDESTRIAN RAMPS SCALE: N.T.S. 9

SIGN LEGEND

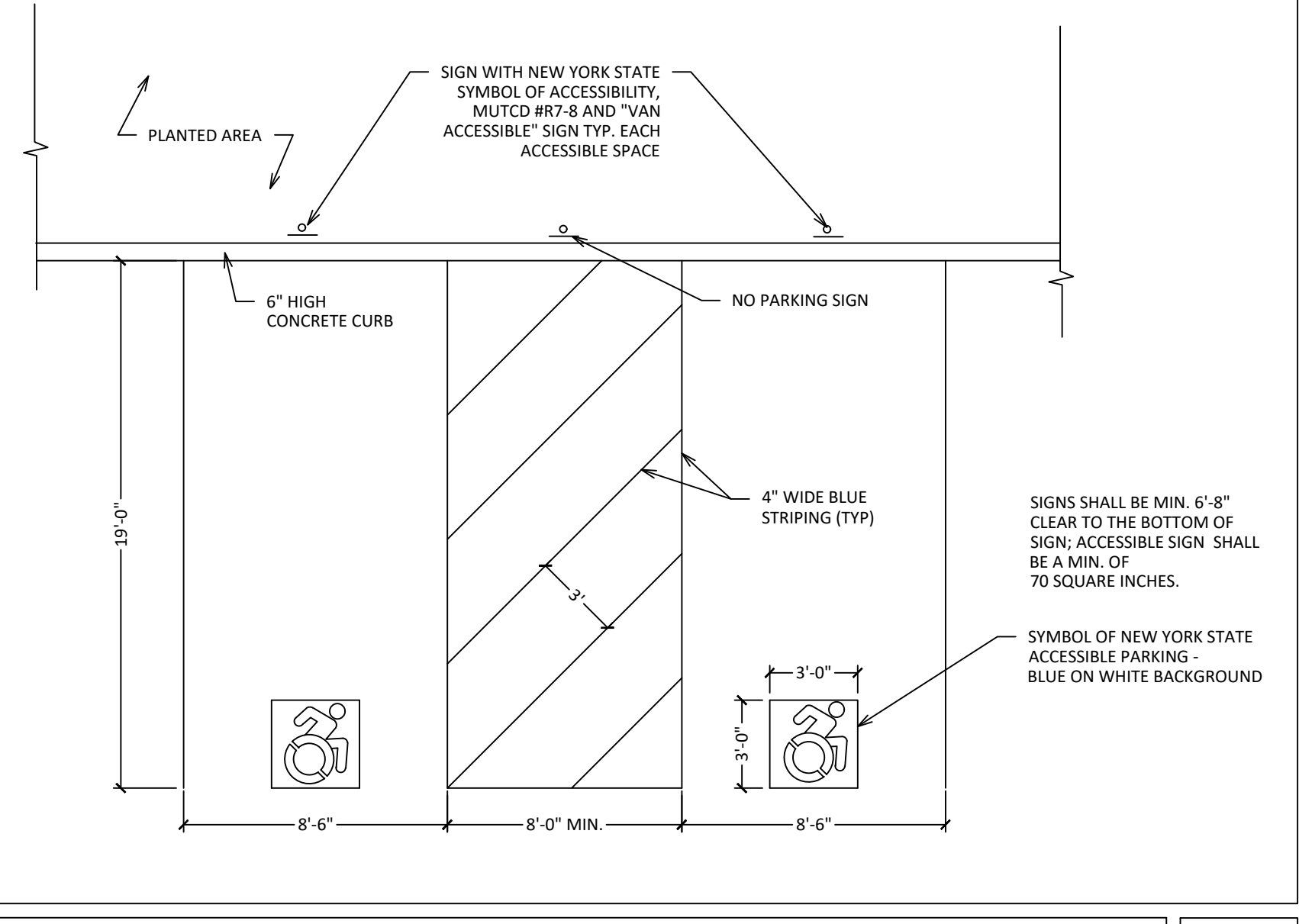
NO.	DESCRIPTION	IMAGE	MUTCD NO.	SIZE
1	STOP SIGN		R1-1C	30"x30"
2	DO NOT ENTER		R5-1	30"x30"
3	RESERVED PARKING VAN ACCESSIBLE		R7-8 WITH R-7-8P	12"x18" WITH 12"x6"
4	NO PARKING		R7-1D	12"x18"
5	ONE WAY		R6-1(L)	36"x12"
6	NO LEFT TURN		R3-2	30x30
7	RIGHT TURN ONLY		R4-8	18"x24"
8	KEEP RIGHT		R4-7bR	18"x24"

NOTE:
CHANNEL SET REFLECTIVE TRAFFIC SAFETY PANELS IN ALL PEDESTRIAN CROSSING AND STOP SIGN POSTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFLECTIVE YELLOW PANEL FOR PEDESTRIAN CROSSING SIGNS; REFLECTIVE RED PANEL FOR STOP SIGNS

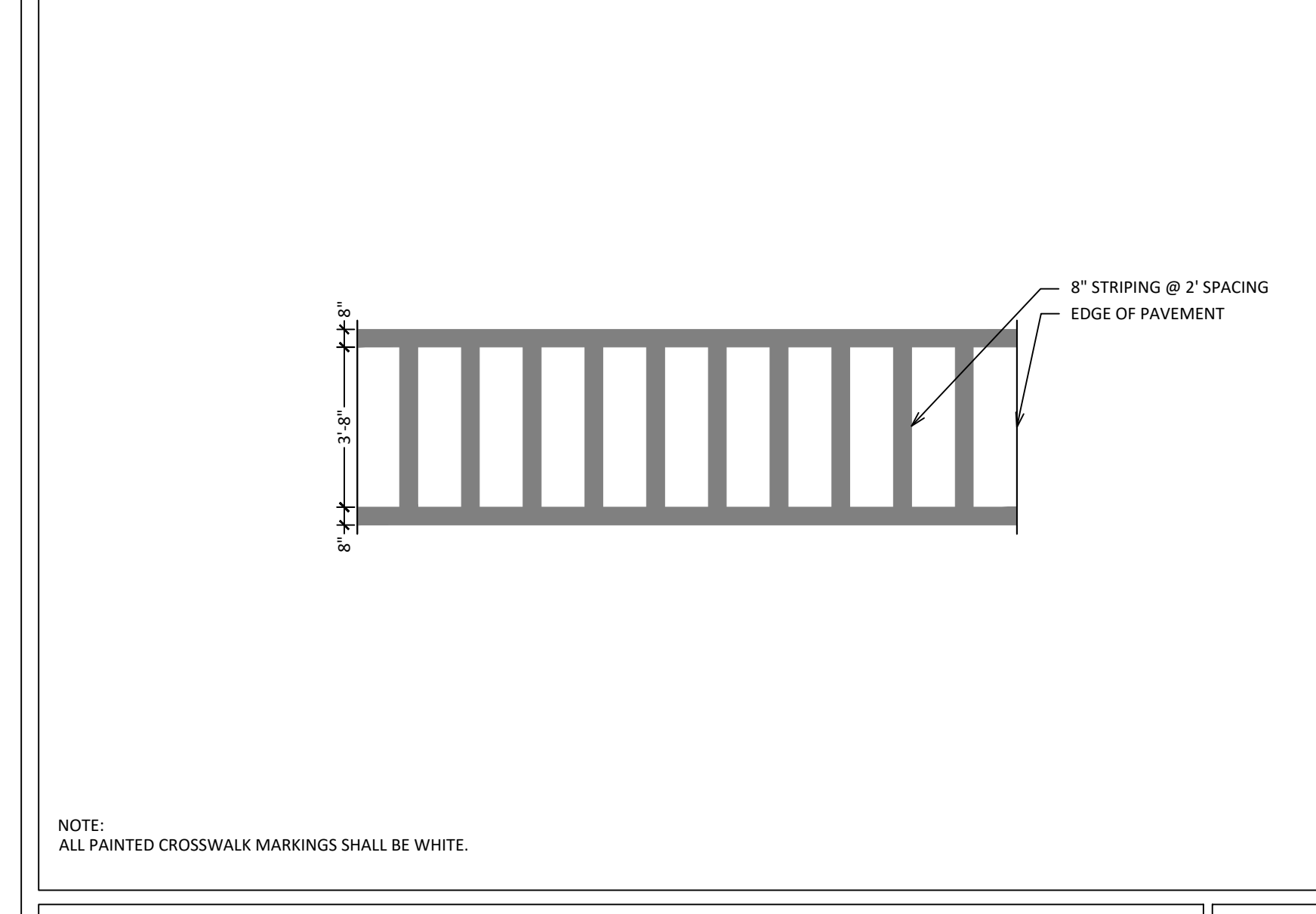
SIGN LEGEND SCALE: N.T.S. 10



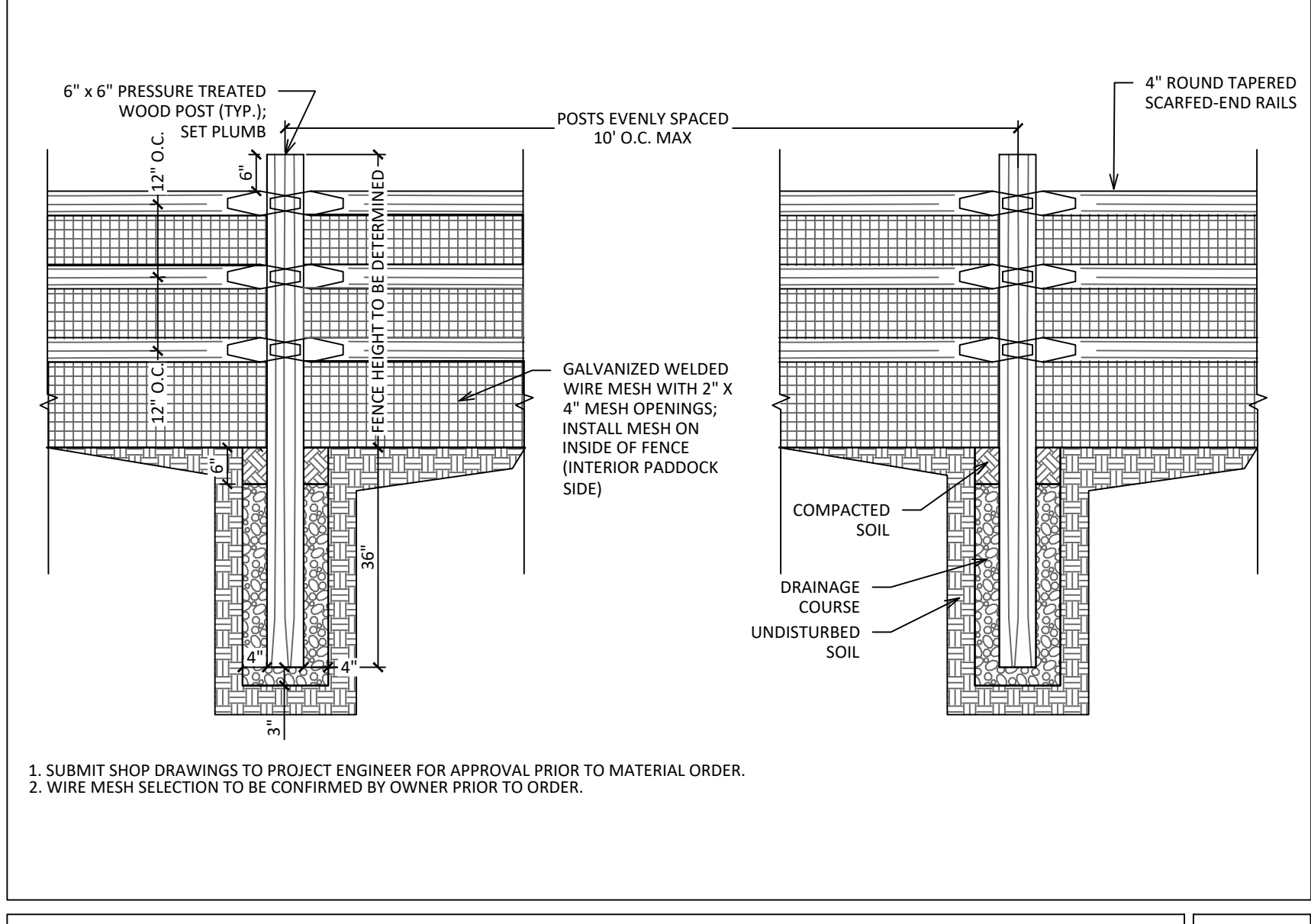
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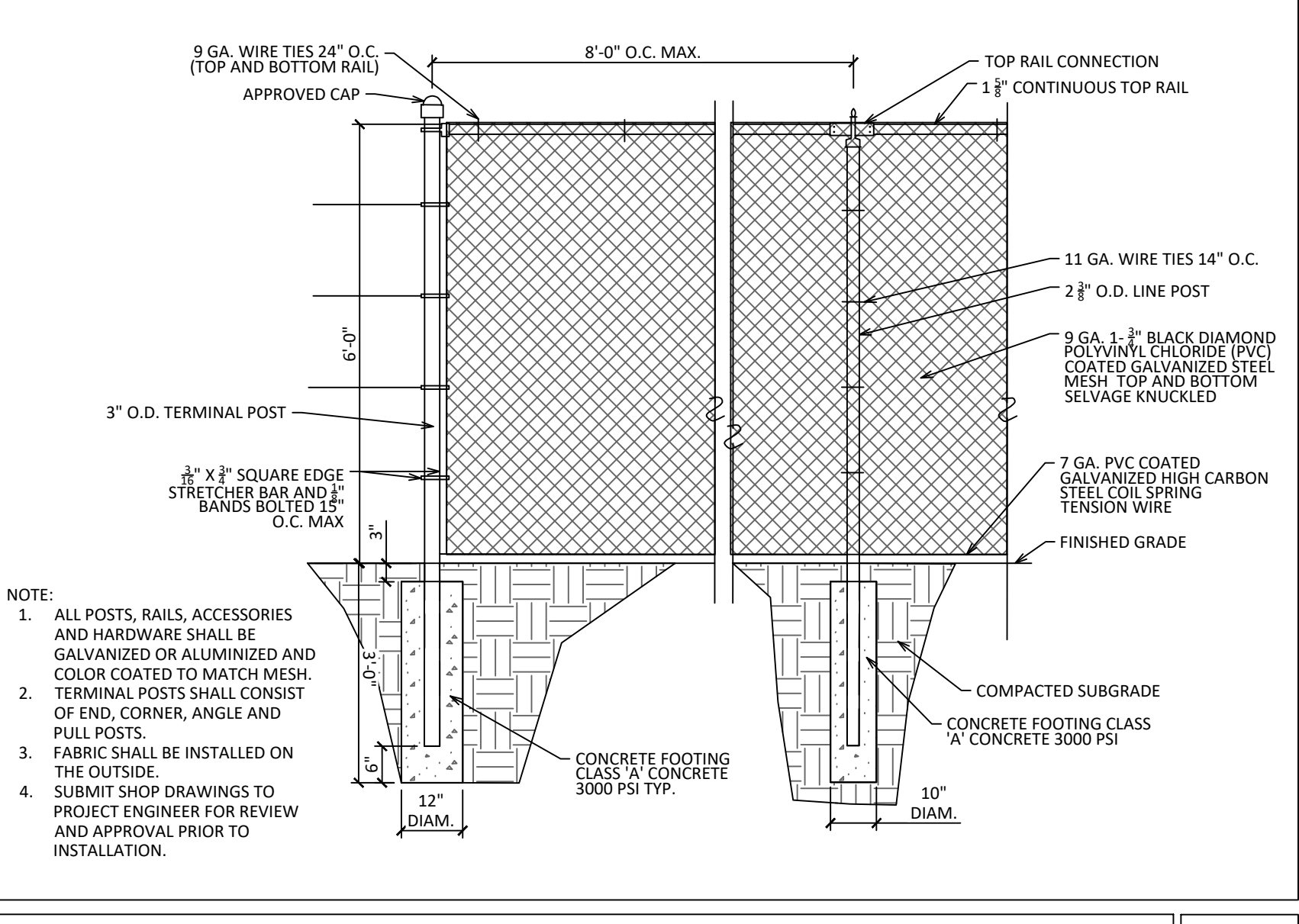
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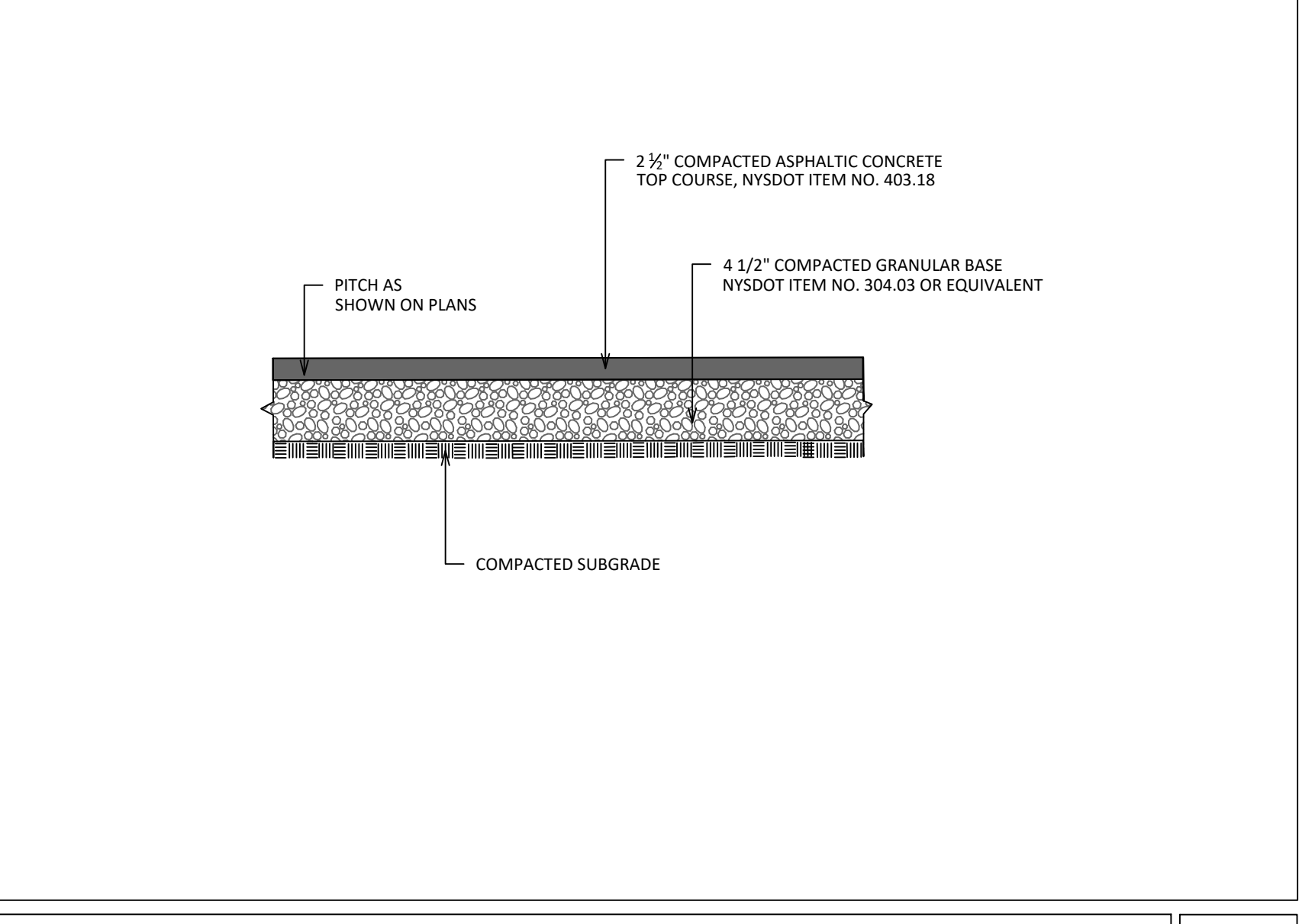
PEDESTRIAN CROSSWALK SCALE: N.T.S. 13



Paddock FENCE SCALE: N.T.S. 14



CHAIN LINK FENCE (6' HIGH) SCALE: N.T.S. 15



ASPHALT WALKWAY SCALE: N.T.S. 15

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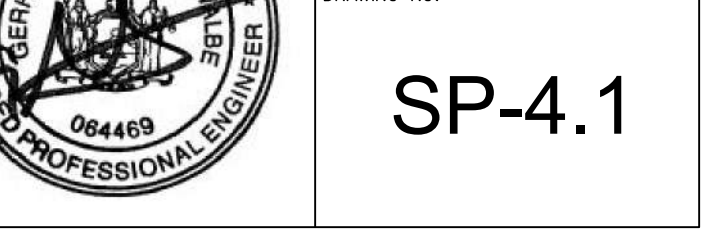
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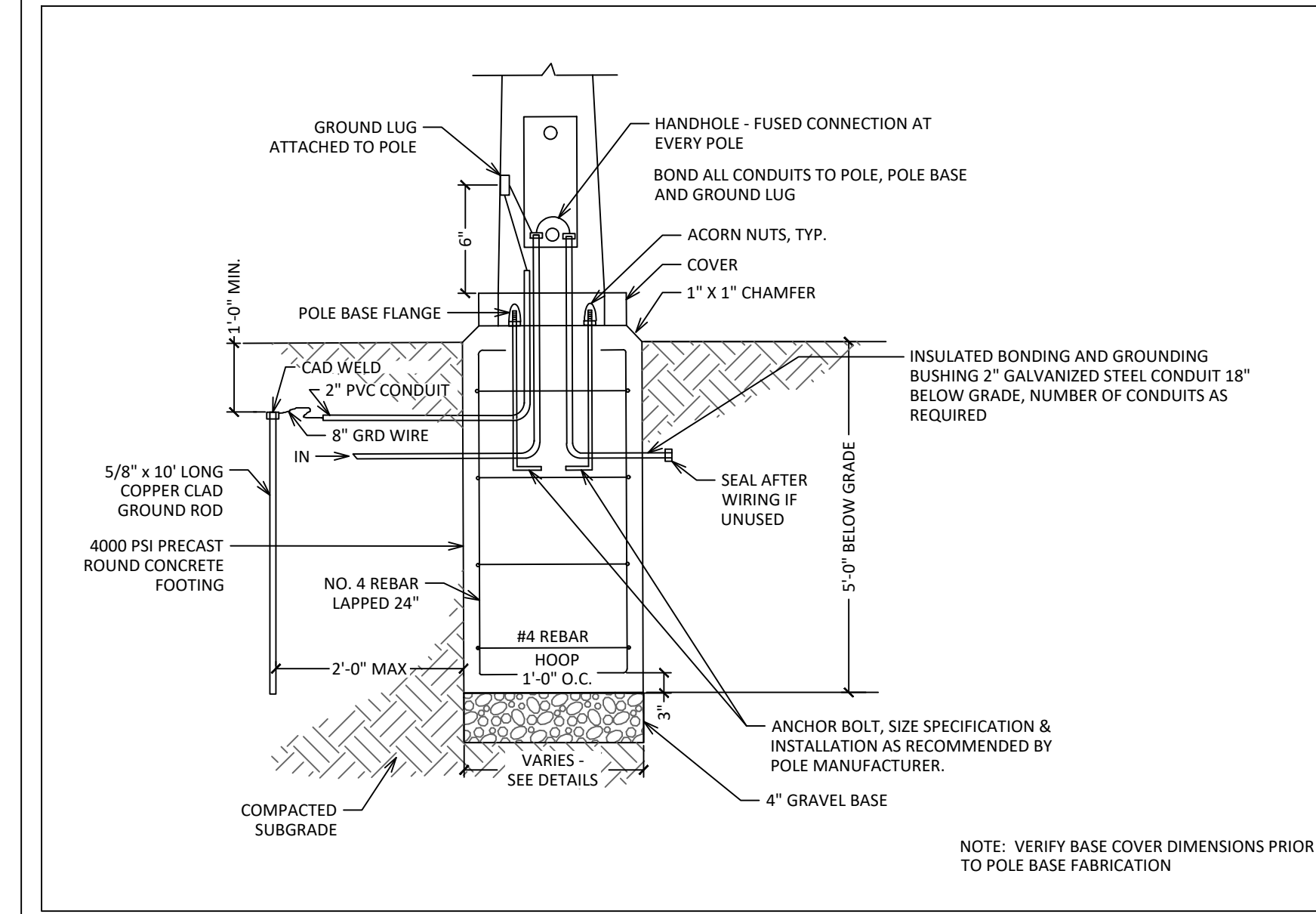
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PROJECT NO.:	DATE:
824	03/16/22
DRAWING NO.:	



SP-4.1



LIGHT POLE FOUNDATION
SCALE: N.T.S.

2.1 SOIL MATERIALS (SEE SPECIFICATION 312010 FOR COMPLETE SOIL MATERIAL AND EARTHWORK INFORMATION)

A. GENERAL: PROVIDE BORROW SOIL MATERIALS WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS.

B. SATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS GM, GP, GM, SM, AND SP ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.

C. UNSATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS SM, GC, CL, ML, CL, MH, OH, AND PT ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS.

1. UNSATISFACTORY SOILS ALSO INCLUDE SATISFACTORY SOILS NOT MAINTAINED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.

2. UNSATISFACTORY MATERIALS ALSO INCLUDE MATERIALS BELOW STRUCTURES AND/OR FOUNDATIONS DETERMINED BY OWNER'S REPRESENTATIVES TO BE UNSATISFACTORY BEARING MATERIALS.

D. SUBBASE COURSE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; MEETING MYSDOT SPECIFICATION FOR MYSDOT ITEM 304.11 SUBBASE COURSE TYPE 1. THE USE OF RECYCLED MATERIAL FROM ANY OFF-SITE SOURCE WILL NOT BE PERMITTED AND RECYCLED MATERIAL FROM ON-SITE DEMOLITION MAY NOT BE USED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.

E. STRUCTURAL FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST 90 PERCENT PASSING A 1 1/2" (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 (0.075-MM) SIEVE.

F. BEDDING COURSE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; EXCEPT WITH 100 PERCENT PASSING A 1/4" (25-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 (2.36-MM) SIEVE.

G. DRAINAGE COURSE: NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL, ASTM D 448, COARSE-AGGREGATE GRADING SIZE 57, WITH 100 PERCENT PASSING A 1 1/4" (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 (2.36-MM) SIEVE.

H. FILTER MATERIAL: NARROWLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, OR CRUSHED STONE AND NATURAL SAND; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 67, WITH 100 PERCENT PASSING A 1" (25-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 4 (4.75-MM) SIEVE.

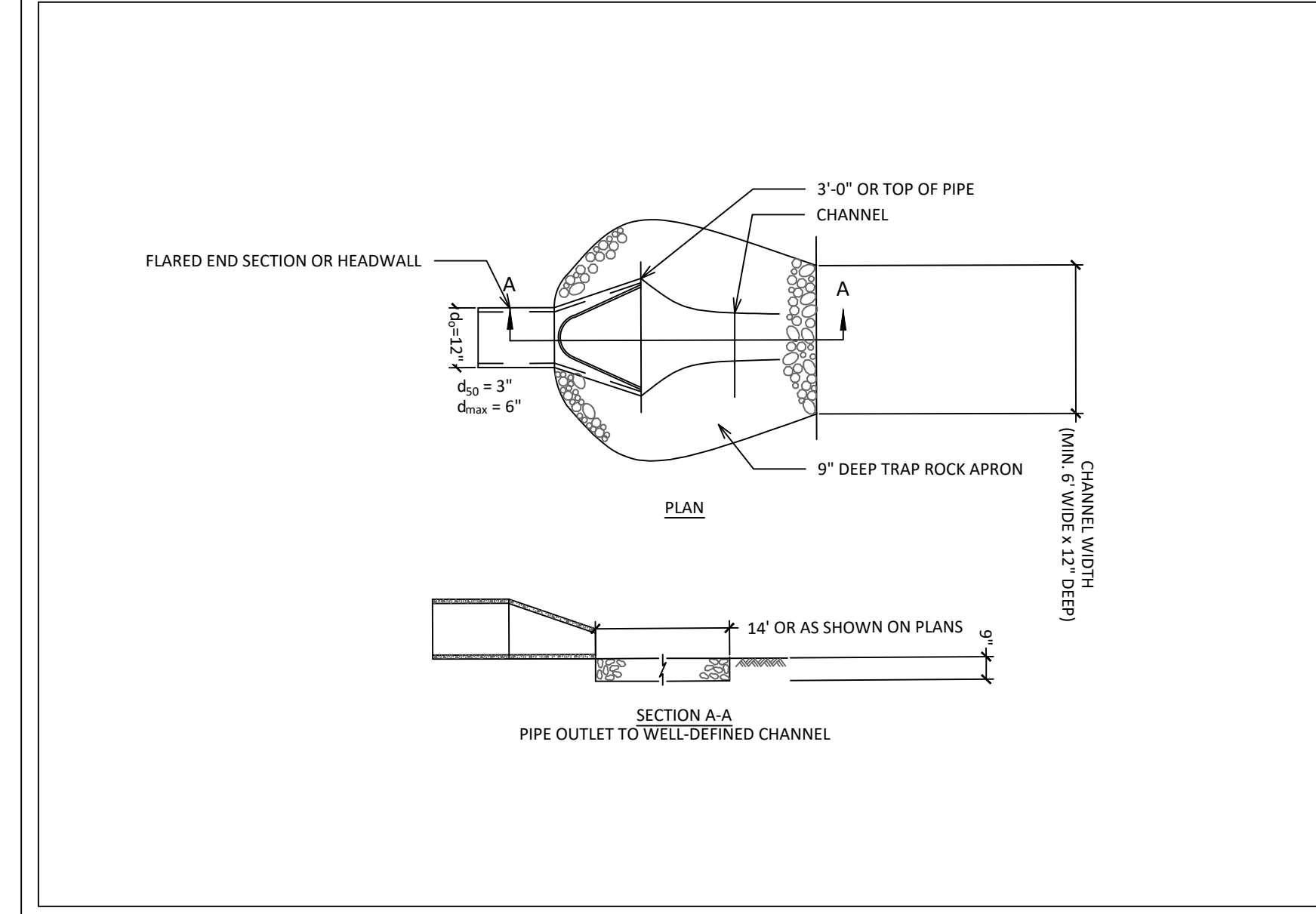
I. TRAP ROCK: NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE ASTM D 448; COARSE-AGGREGATE GRADING SIZE 1, WITH 100 PERCENT PASSING A 4-INCH (100-MM) SIEVE AND 0 TO 15 PERCENT PASSING A NO. 4 (4.75-MM) SIEVE.

J. SAND: ASTM C 33; FINE AGGREGATE.

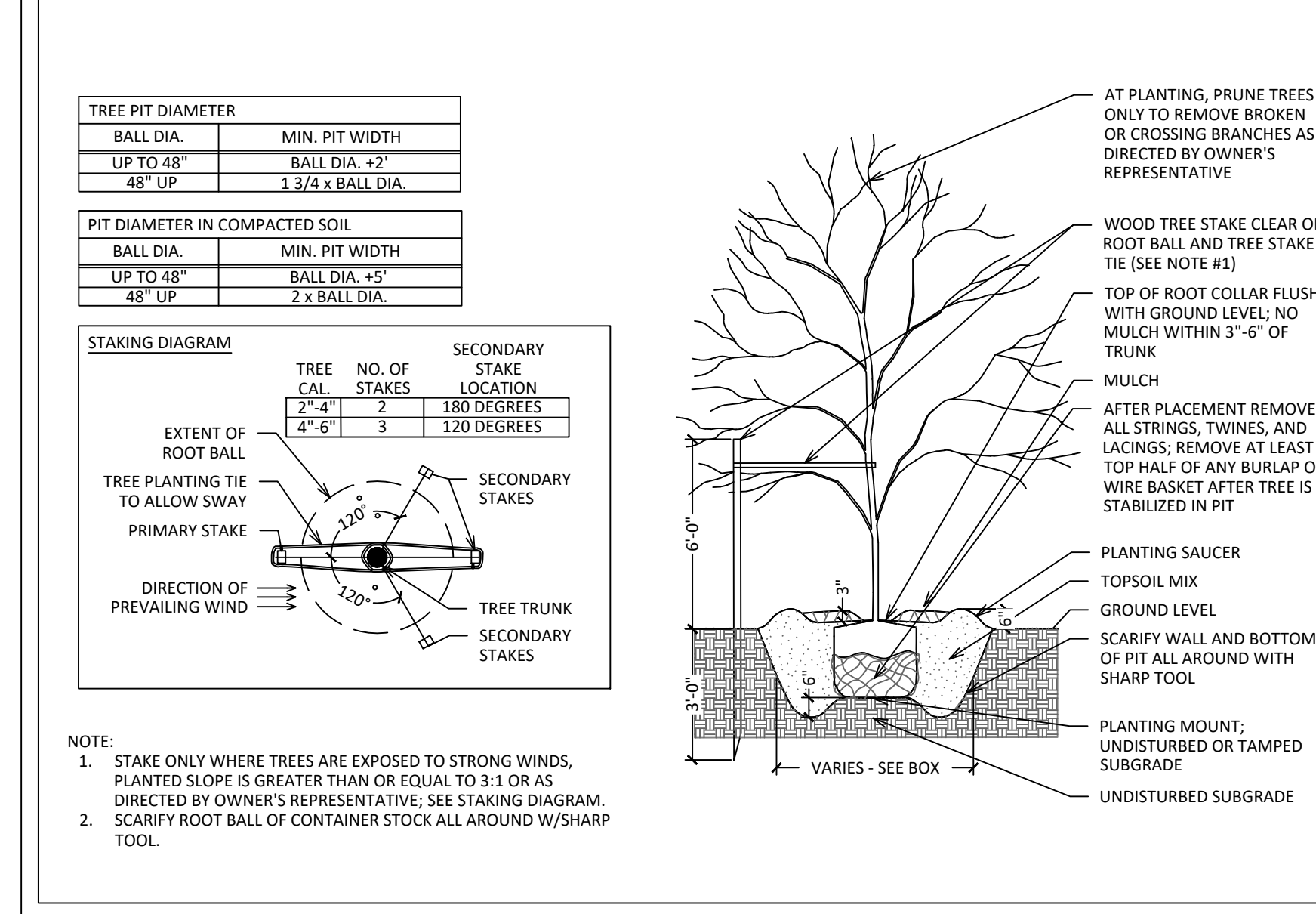
K. TOPSOIL: SEE PLANTING MEDIA PREPARATION AND PLACEMENT SPECIFICATION.

L. RECYCLED IMPORT MATERIAL NOT PERMITTED ON-SITE WITHOUT WRITTEN APPROVAL BY TOWN OF CORTLANDT.

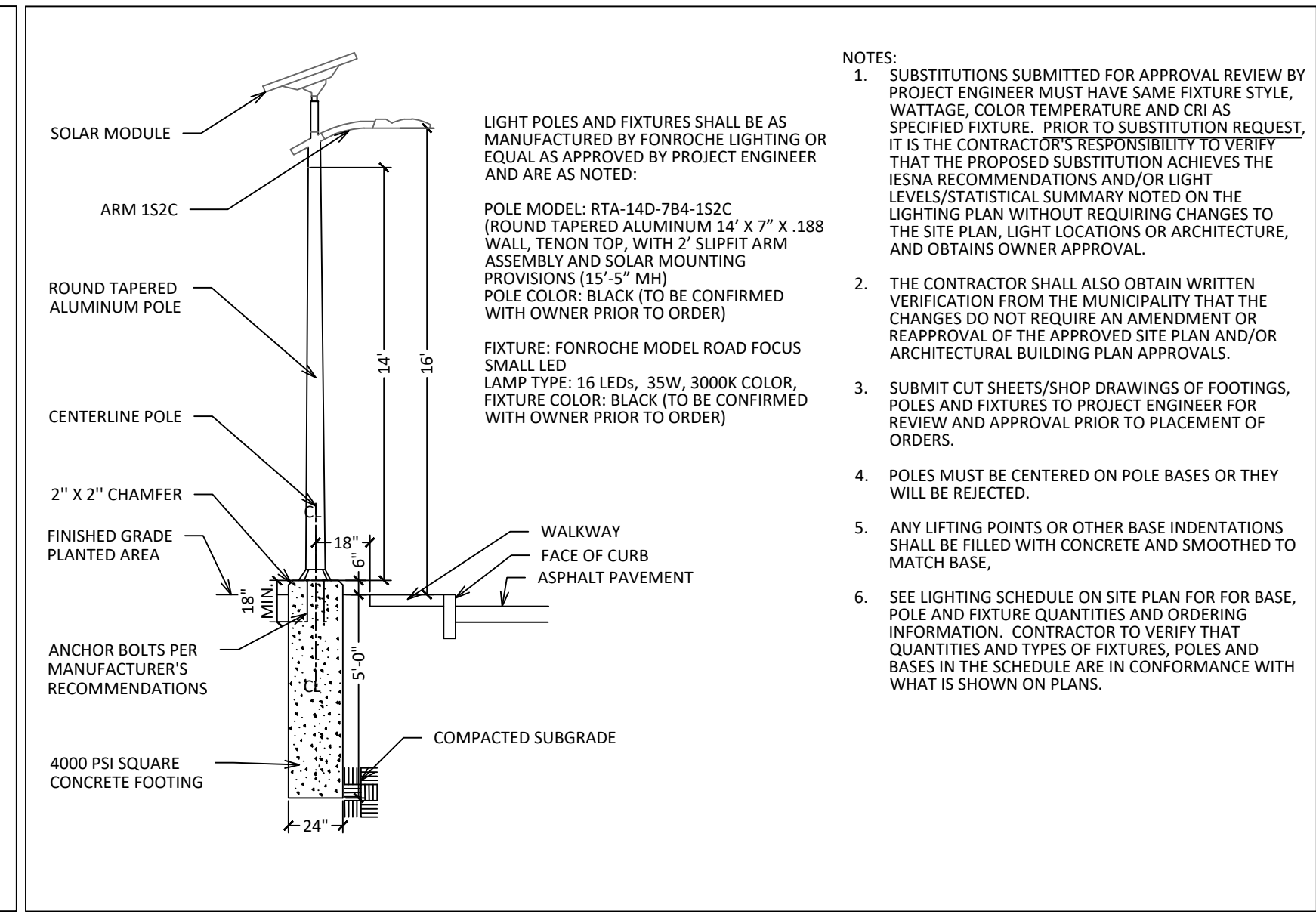
SOIL MATERIALS
SCALE: N.T.S.



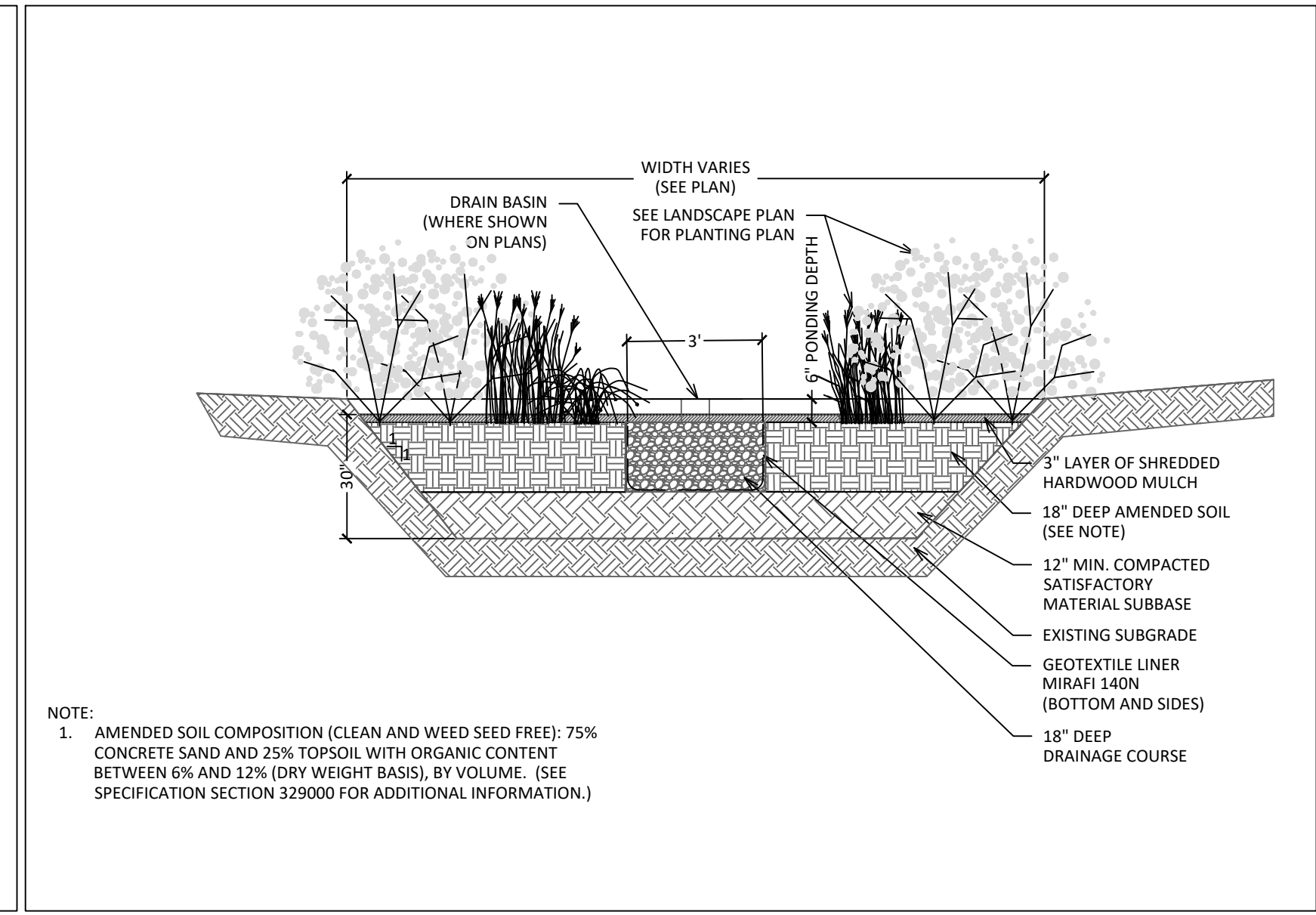
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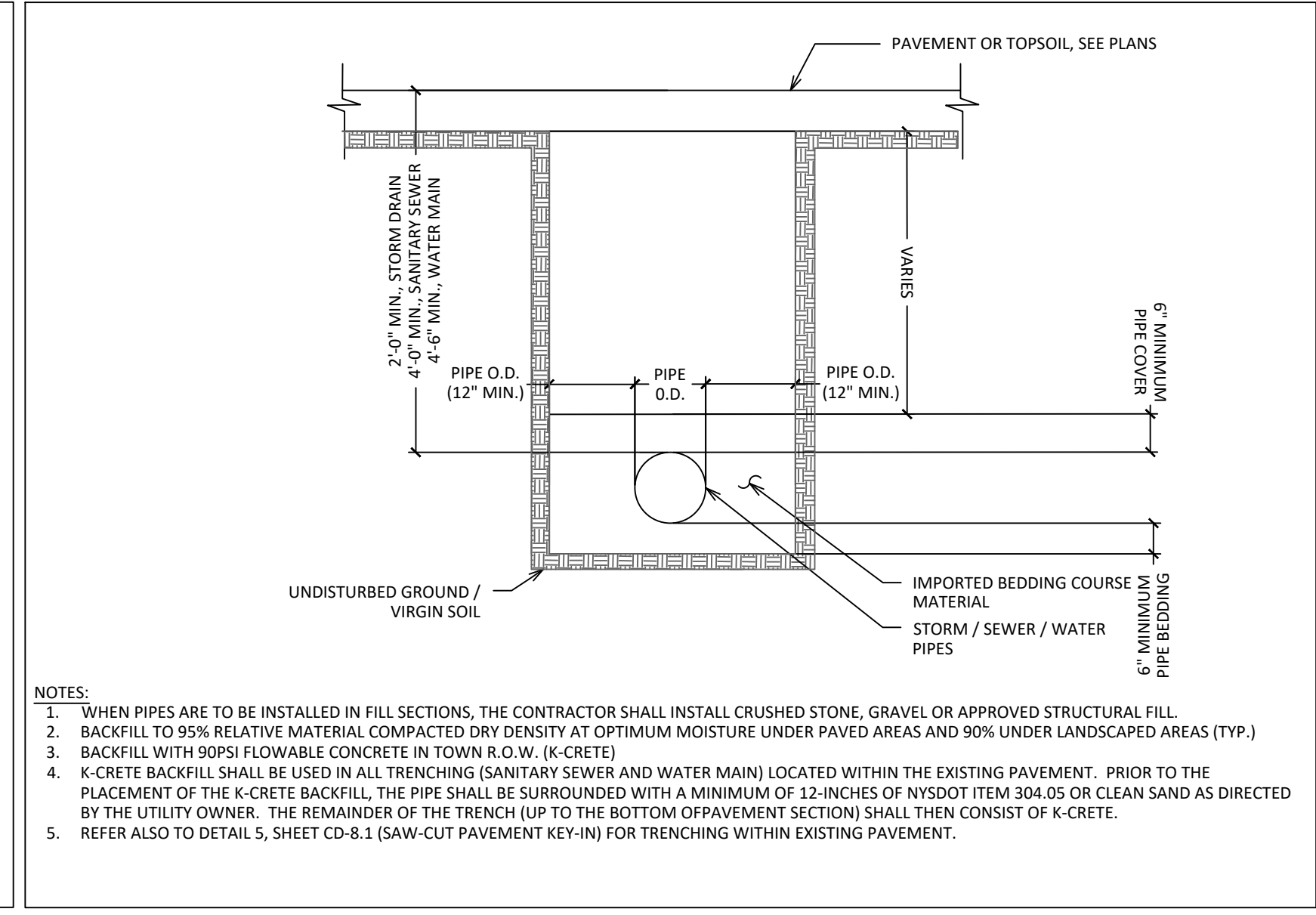
DECIDUOUS TREE AND SHRUB PLANTING
SCALE: N.T.S.



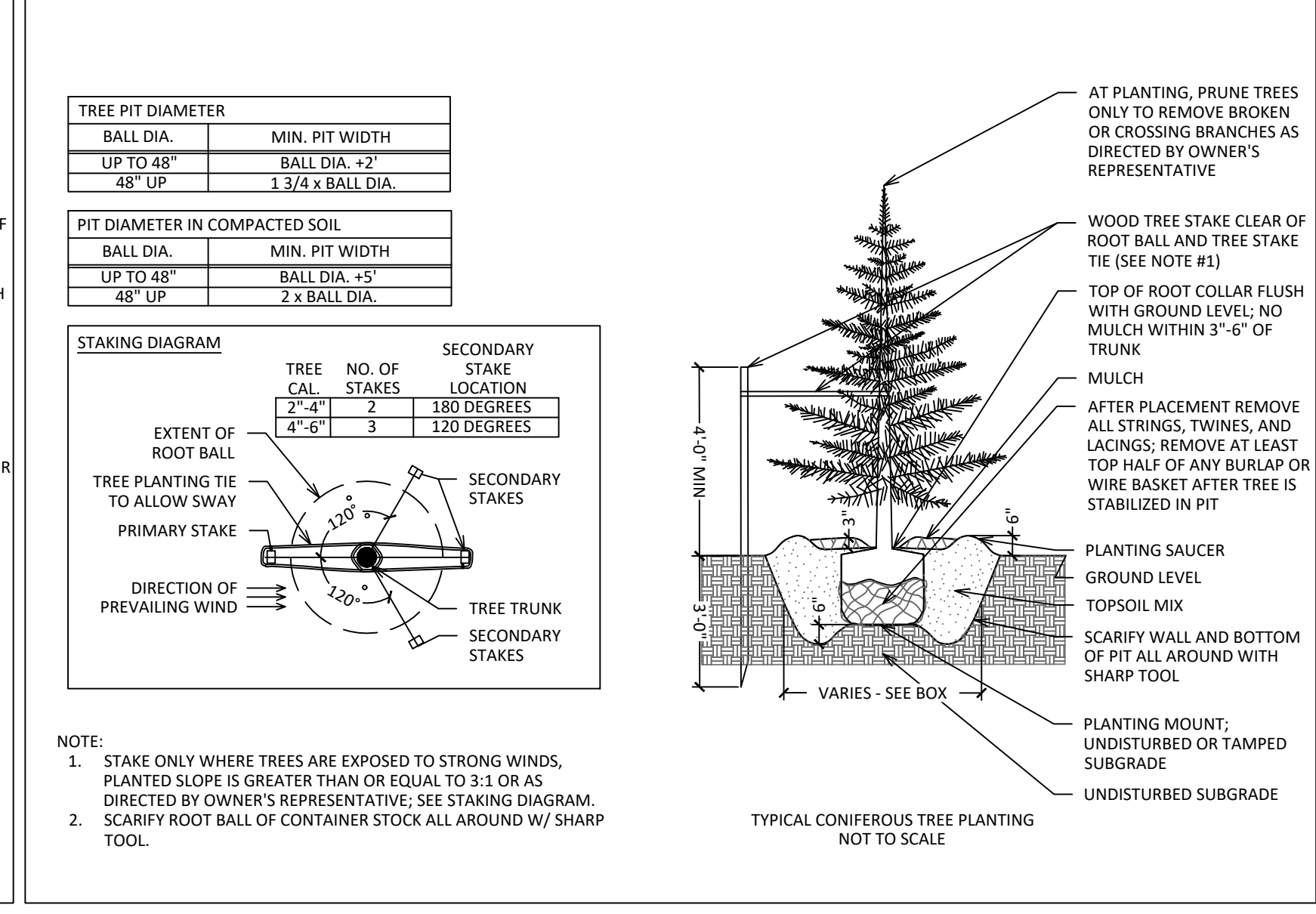
PARKING LOT AND DRIVEWAY LIGHTING WITH CONCRETE FOOTING
SCALE: N.T.S.



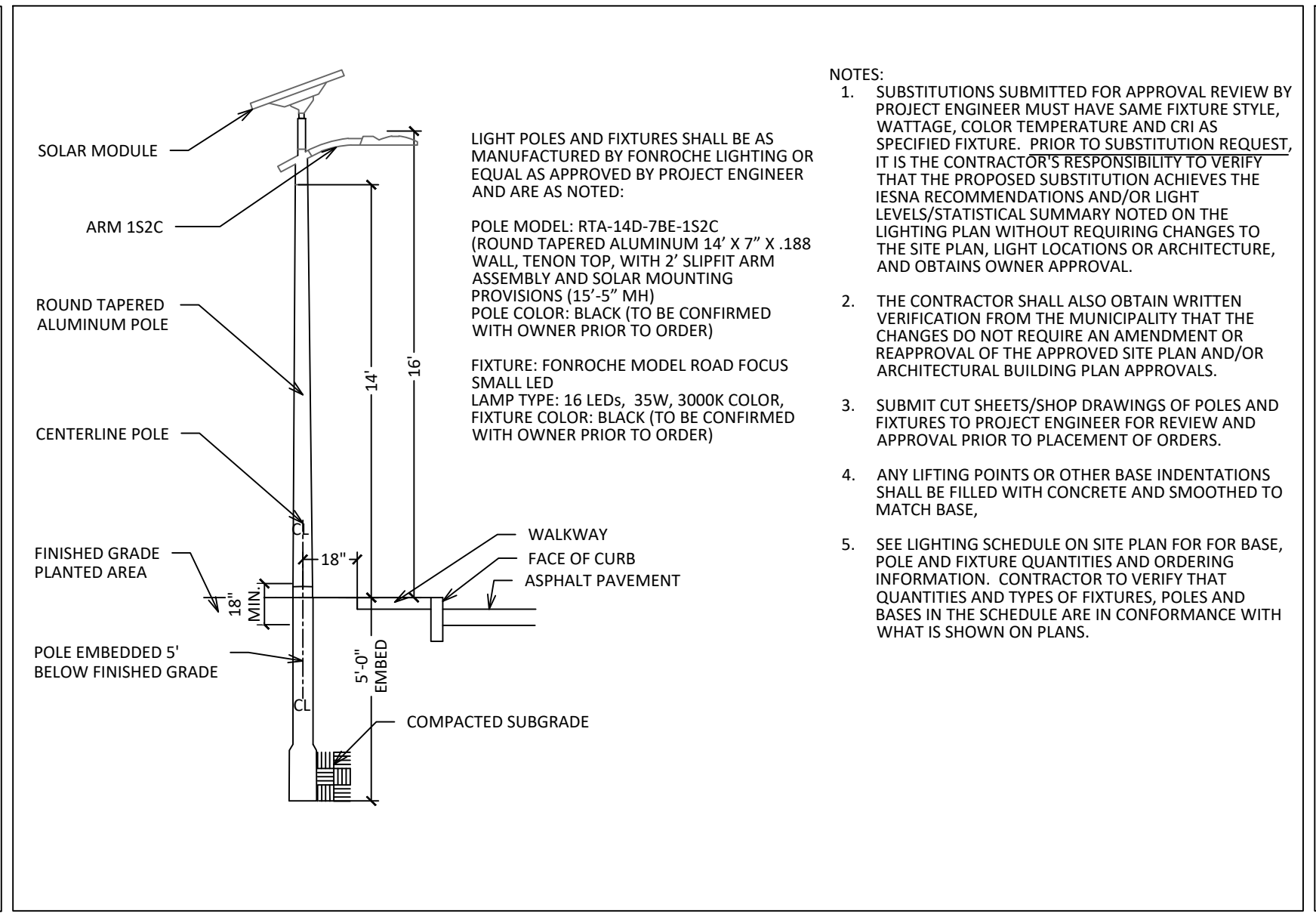
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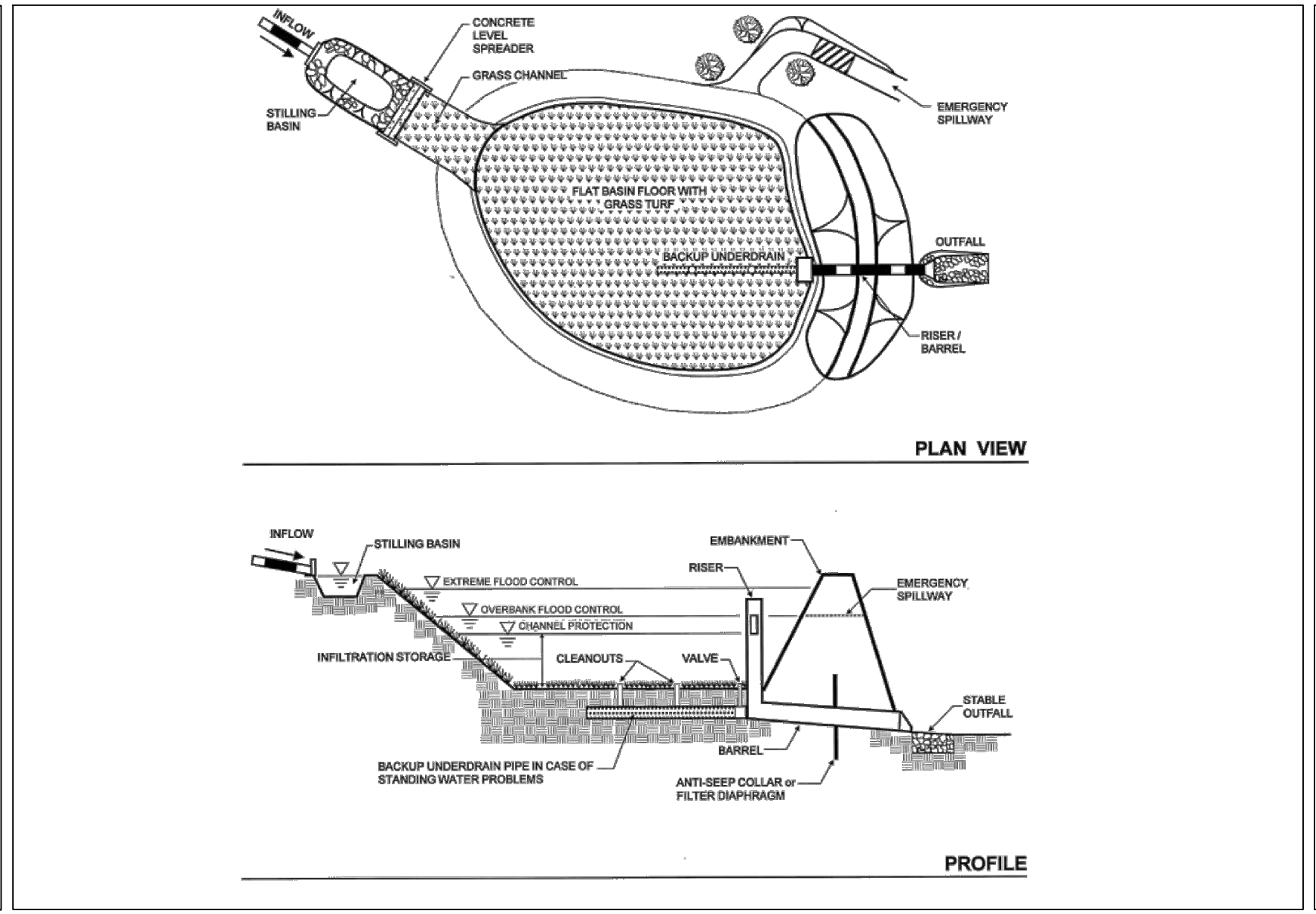
TRENCH DETAIL (STORM / SEWER / WATER)
SCALE: N.T.S.



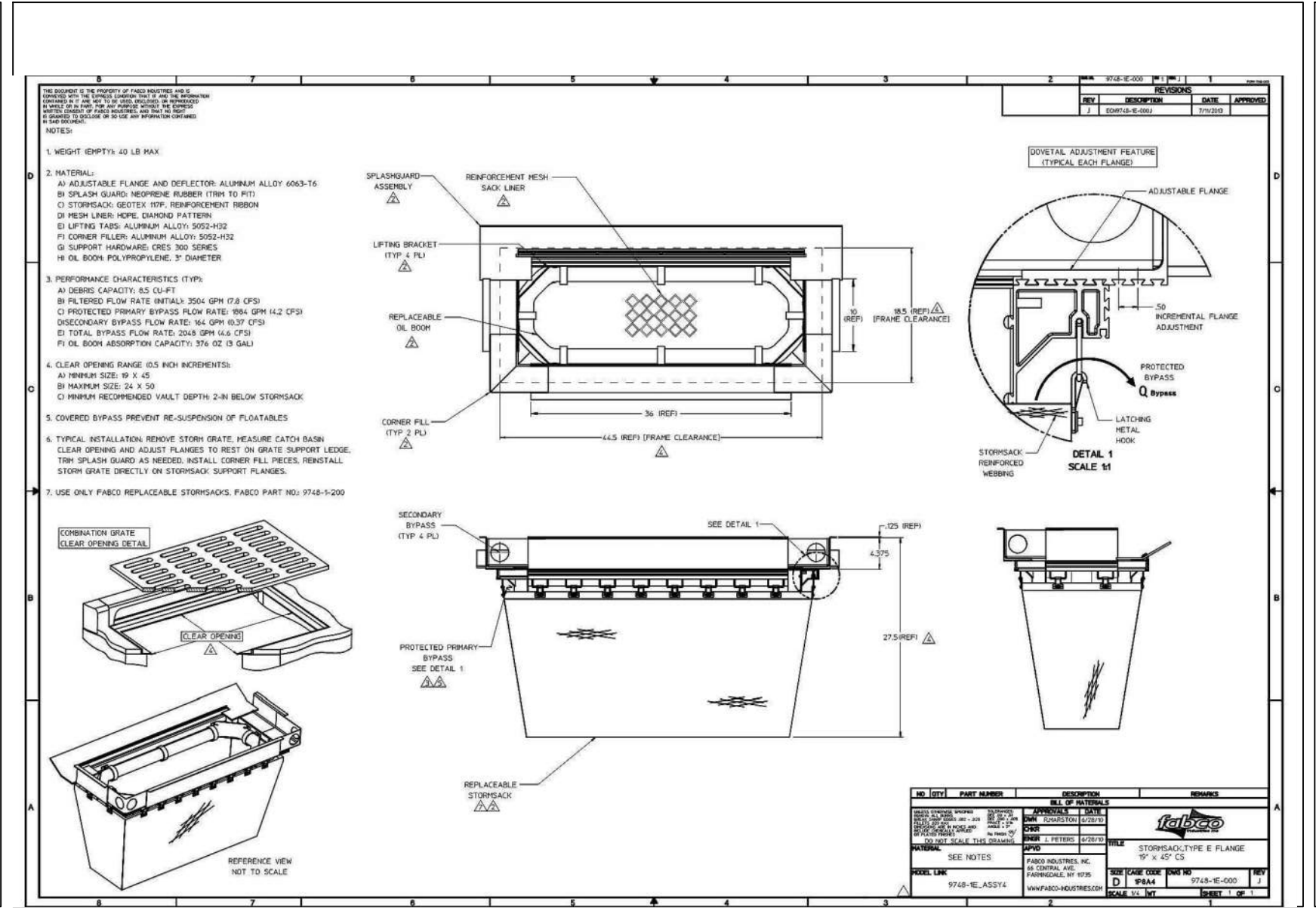
EVERGREEN TREE PLANTING
SCALE: N.T.S.



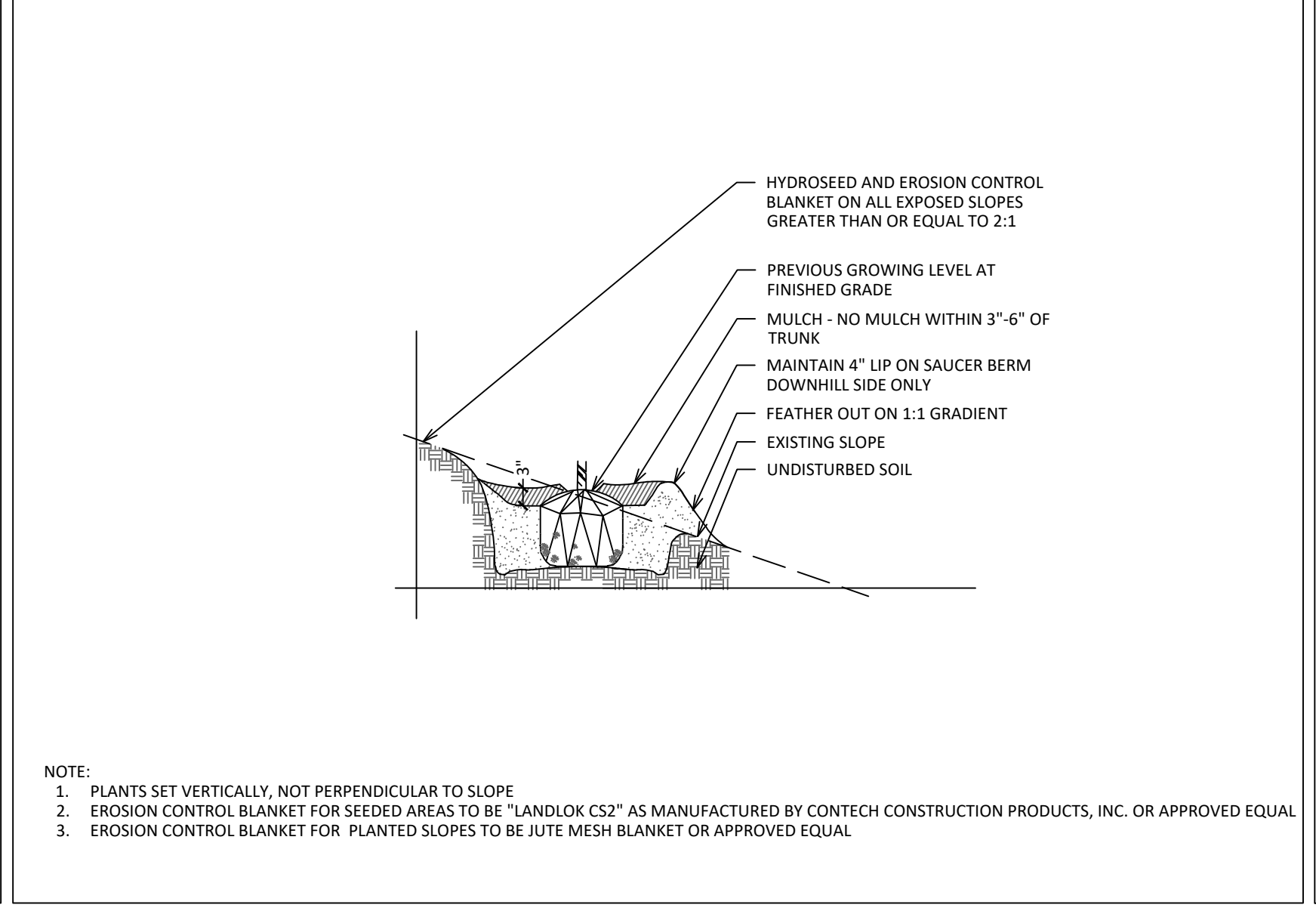
PARKING LOT AND DRIVEWAY LIGHTING EMBEDDED IN GROUND
SCALE: N.T.S.



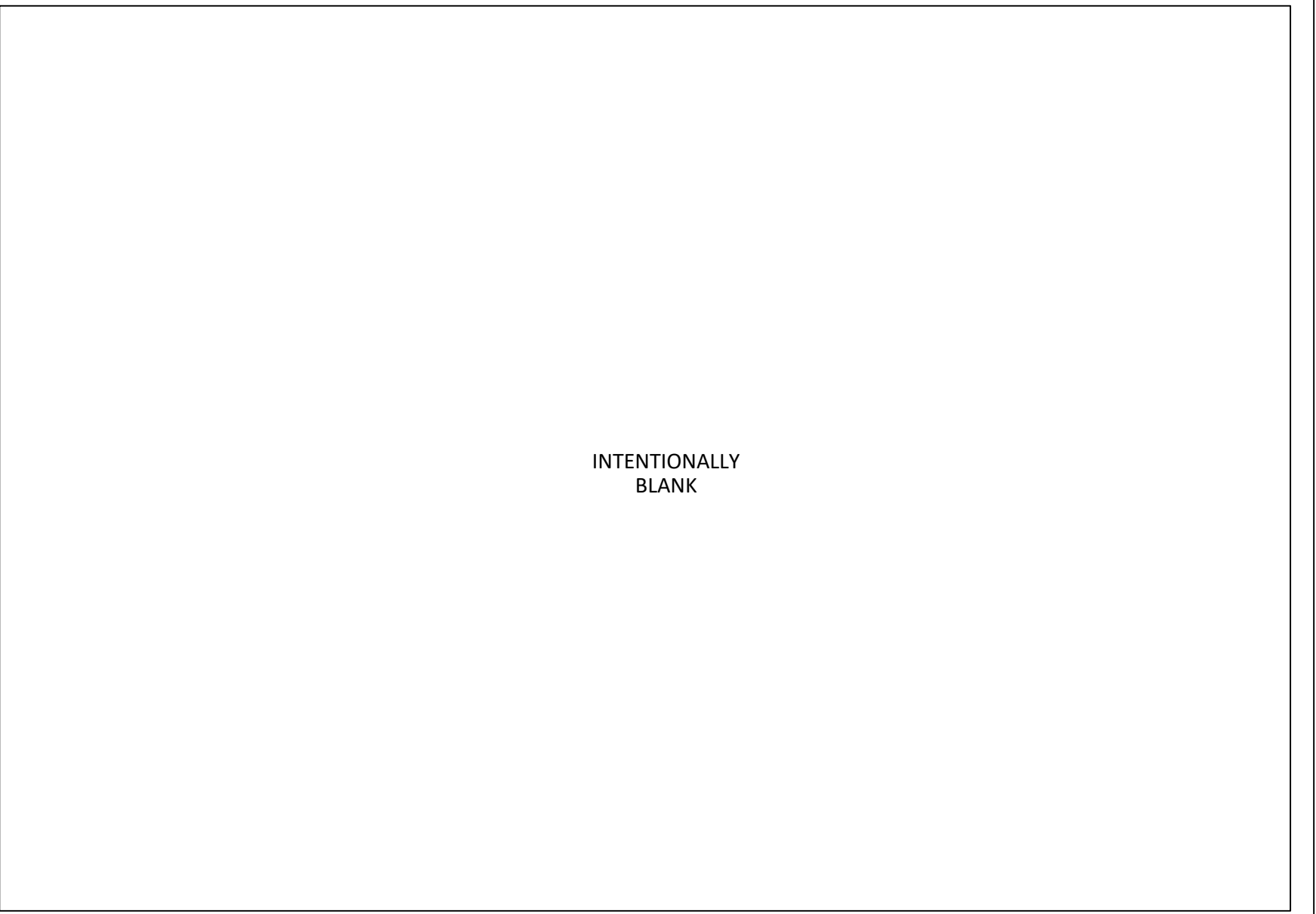
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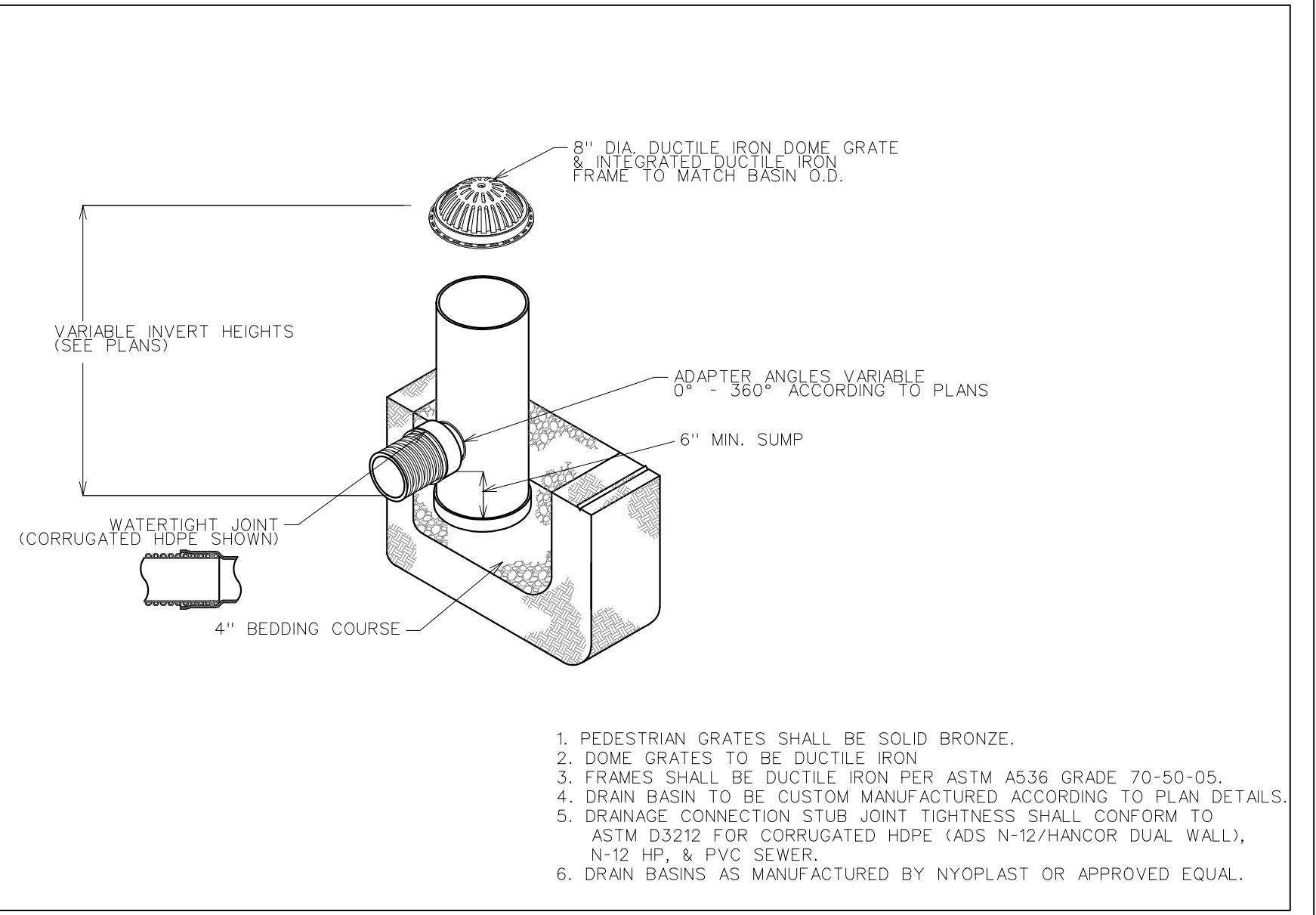
CATCH BASIN INSERT
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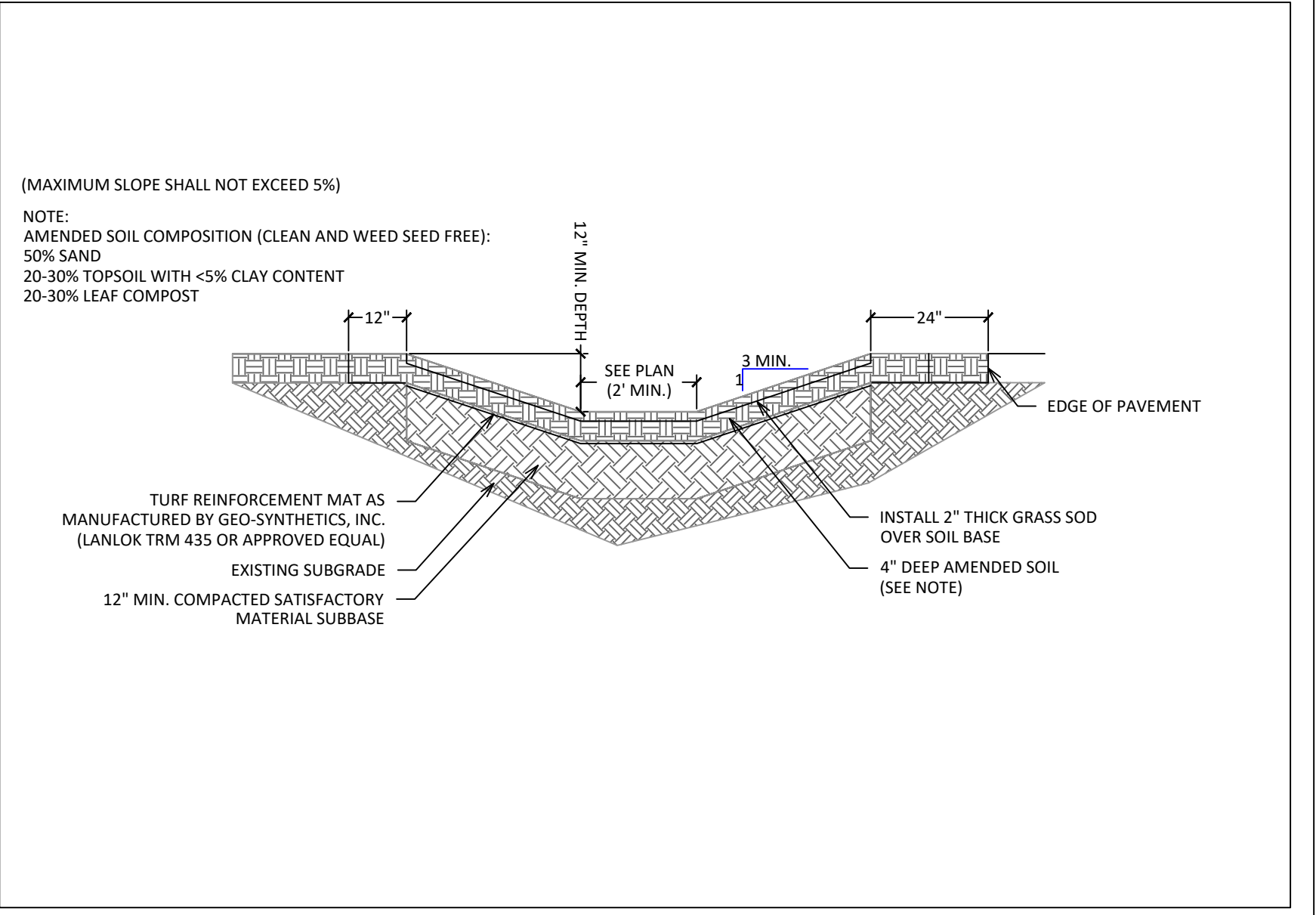
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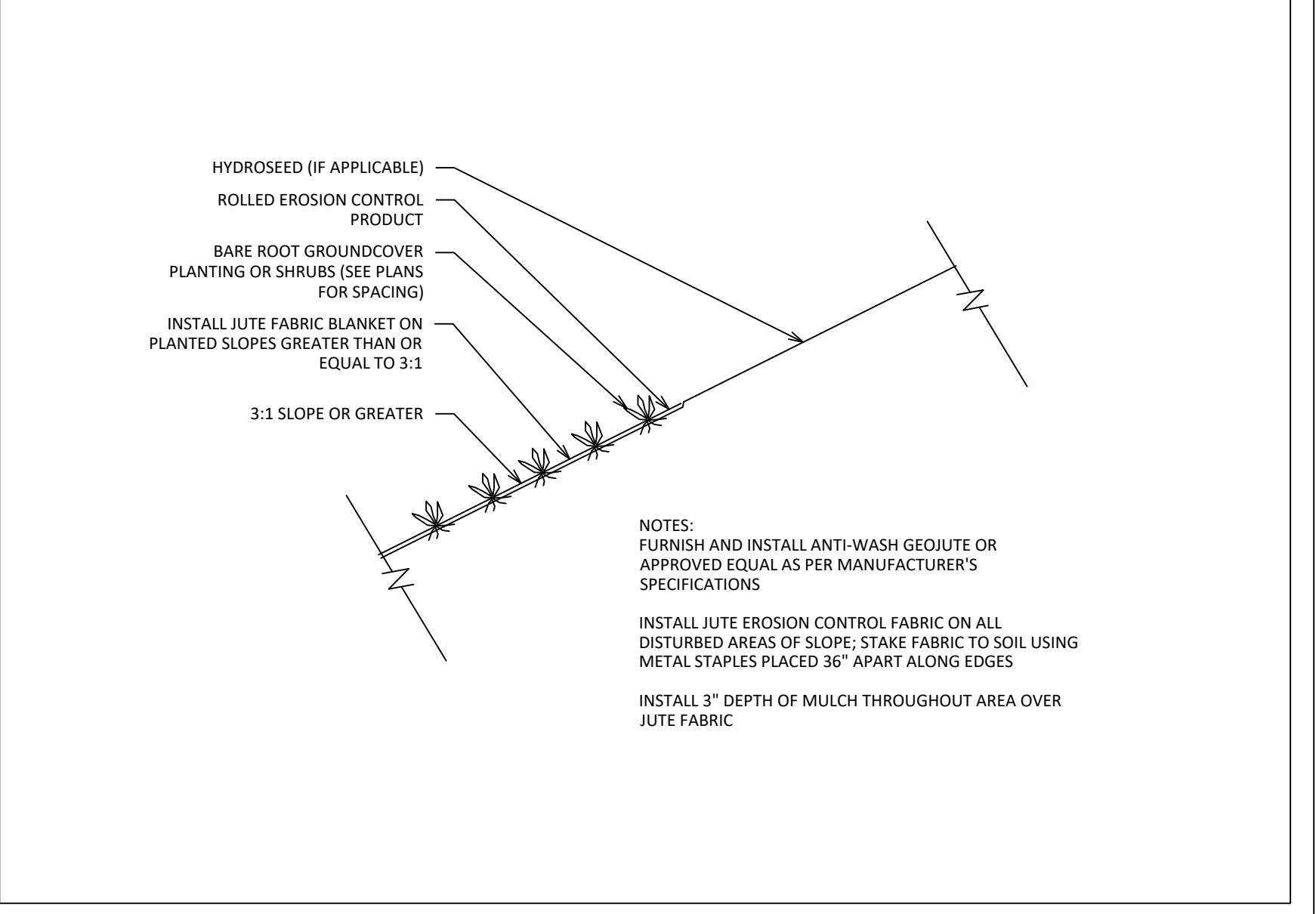
INTERNATIONALLY BLANK



OUTLET CONTROL STRUCTURE
SCALE: N.T.S.



GRASS SWALE
SCALE: N.T.S.



SLOPE STABILIZATION
SCALE: N.T.S.

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Town of Yorktown, New York

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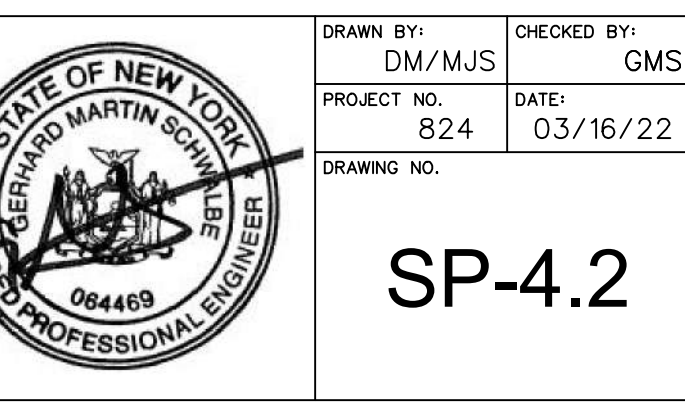
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PROJECT NO: 824
DATE: 03/16/22
DRAWING NO:



SP-4.2

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Town of Yorktown, New York

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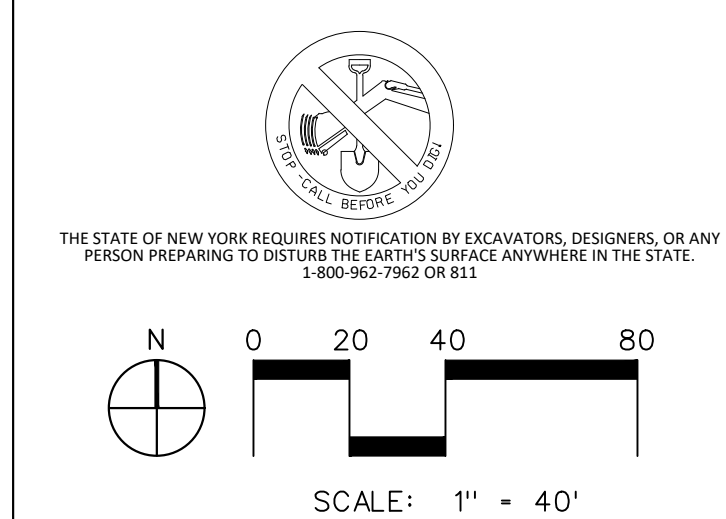
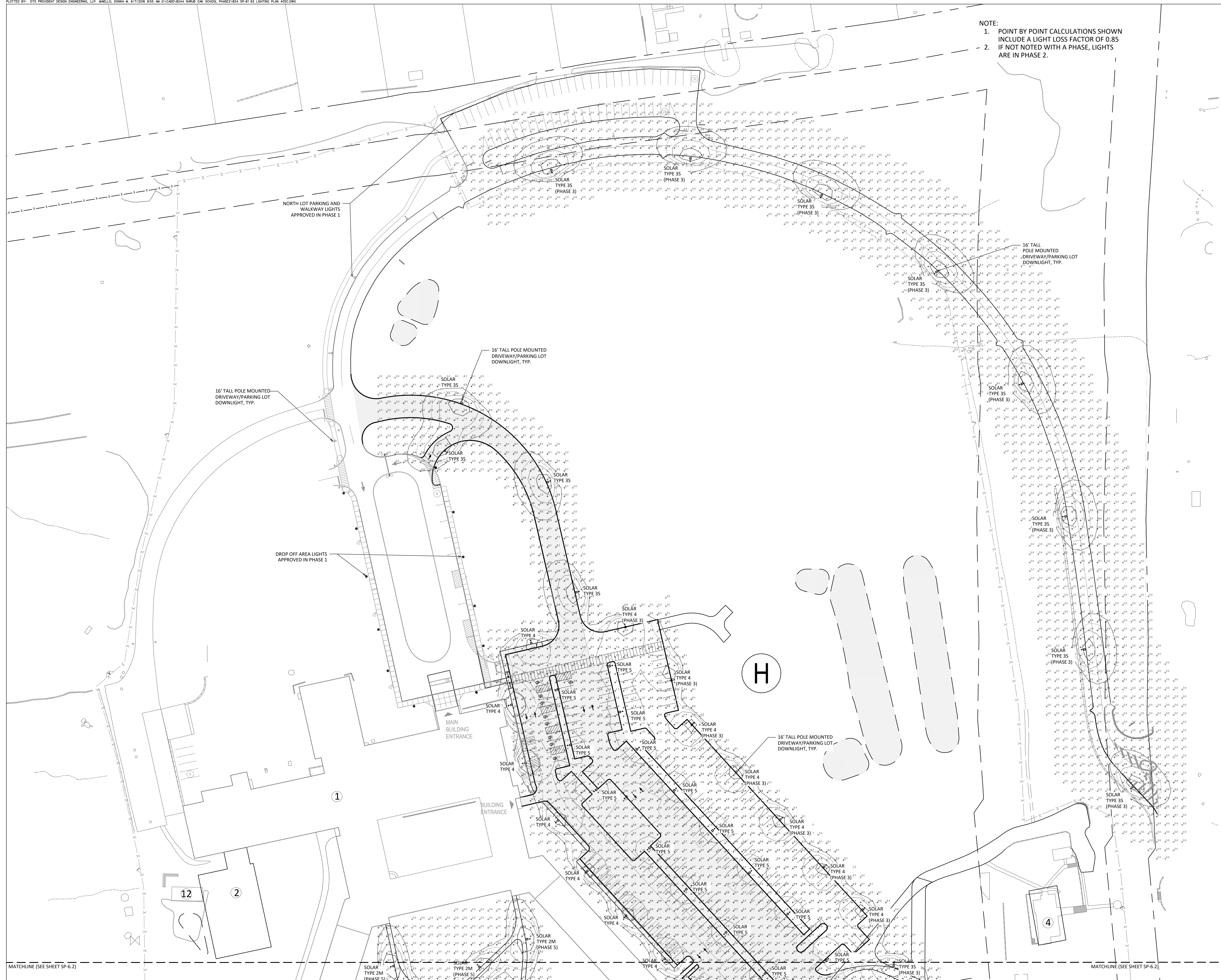
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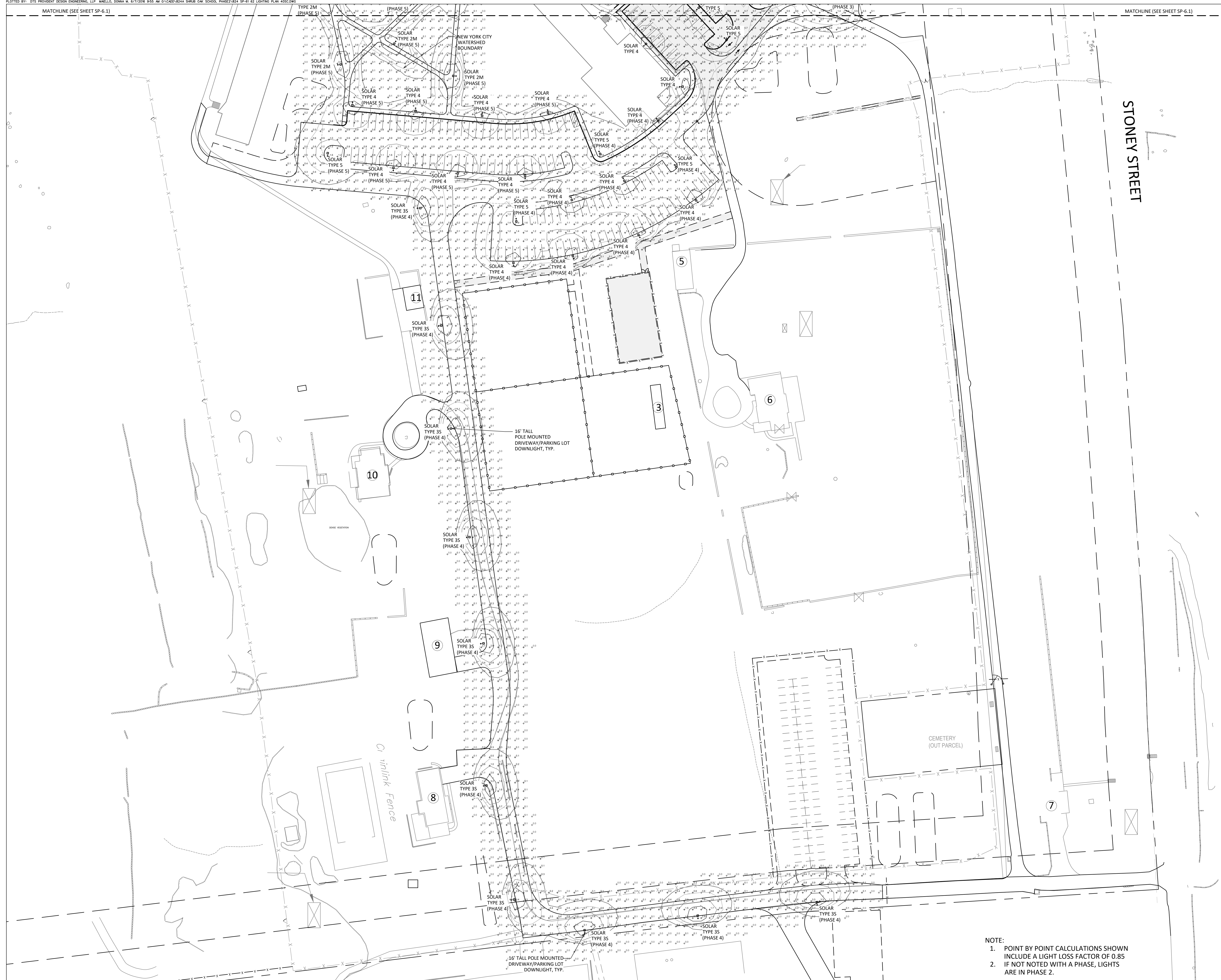
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SITE LIGHTING PLAN

DRAWN BY: DM/MJS CHECKED BY: GMS
PROJECT NO.: 824 DATE: 03/16/22
DRAWING NO.: SP-6.1



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Town of Yorktown, New York

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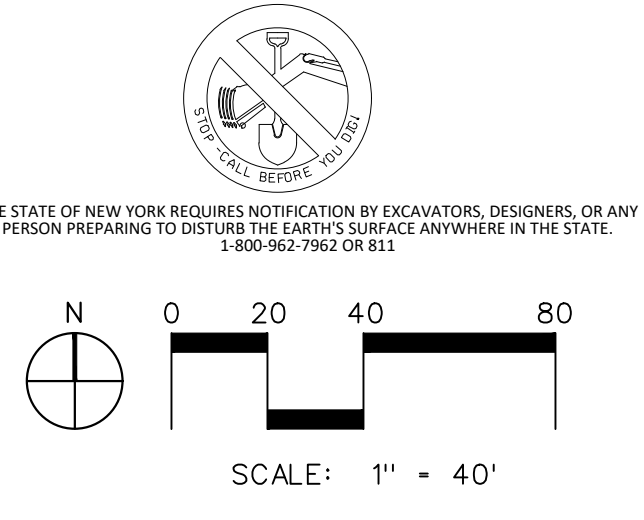
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SITE LIGHTING PLAN

DRAWING TITLE:

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 DRAWING NO.: SP-6.2

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**Shrub Oak International School
Stormwater Summary Report – Phase 2**
3/16/22
Revised 5/13/2022

A. Project Description

1. Project Background

Phase 2 of the proposed Shrub Oak International School redevelopment project encompasses the access driveways, expansion of the parking lots and construction of stormwater management measures, improvements to the central portion of the main building along with updates to existing on-site residences, improvements to the existing garage and restoration of the greenhouse. The stormwater measures required for Phase 2 will be sized accommodate runoff from future development areas.

2. Existing Drainage Conditions

The Shrub Oak International School campus straddles the Peekskill Hollow Brook watershed, ultimately discharging to the Hudson River, and the Hunter Brook Basin watershed, part of the New Croton Reservoir drainage basin. The limit of disturbance for the Phase 2 redevelopment portion of the project is within the Peekskill Hollow Brook watershed. The subsequent phases of the proposed project will also disturb areas within the New Croton Reservoir drainage basin, part of the New York City's Water Supply. Separate SWPPPs will be prepared for the subsequent phases.

The SWPPP Phase 2 applies to proposed redevelopment within the Peekskill Hollow Brook watershed.

The Phase 1 site improvements have been generally completed and were covered under SPDES General Permit No. N7R11D755.

Under existing drainage conditions, approximately half of the developed site drains west towards the on-site wetland/watercourse system. Stormwater runoff is conveyed via a series of existing storm piping daylighting to the hillside and downstream drainage swales.

The other half of the developed site drains to the east to Stoney Street. Stormwater runoff is conveyed via existing storm piping daylighting to the hillside and downstream drainage swales. Within this eastern drainage area of the developed site and beginning approximately 100 feet south of the existing main entry off Stoney Street and continuing south is located within the

New Croton Reservoir drainage basin, part of the New York City Department of Environmental Protection (NYCDEP) watershed. The Phase 2 project is isolated to the northern portion of the eastern drainage area that is part of the Peekskill Hollow Brook watershed.

3. Phase 2 Stormwater Management (SWM) Plan

a. Objectives and Methodology

The SWM plan has been developed and will be implemented so that the quality and quantity of stormwater runoff during construction and after development are not significantly altered from preconstruction conditions. Primary stormwater management objectives are to replicate as close as possible pre-development hydrology, to avoid causing downstream flooding and flood damage, and to employ all means practicable to mitigate increases in pollutant (total suspended solids and total phosphorus) loads that will occur because of the proposed Phase 2 upgrades at the Shrub Oak International School campus.

Post-construction stormwater management practices (SMPs) have been designed to meet the stormwater quality and quantity control requirements of:

- Part III of the New York State Department of Environmental Conservation (NYSDEC) State Pollution Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activity GP-0-20-001 (“General Permit”), effective January 29, 2020, and
- The *New York State Storm Water Management Design Manual* (NYSSMDM), January 2015.

The 24-hour rainfall data value used in the hydrologic analysis and computations is based on the updated isohyetal maps from the Northeast Regional Climate Center (NRCC). Current 24-hour NRCC rainfall precipitation and distribution data were used to compute runoff hydrographs for the 1, 10 and 100-year storm events. The existing and post development runoff rates for the specified storm events were calculated using HydroCAD® Version 10.0 computer software program. HydroCAD® incorporates the methodology used in NRCS TR-20 and TR-55 to compute and route flood hydrographs.

b. Existing Conditions

Under pre-development conditions, two drainage areas (E2-1 and E2-2) were identified on the site. The pre-development drainage areas are shown on Figure D1-A, Pre-Development Drainage Areas in Appendix D1. Runoff from the existing drainage areas drains by way of overland flow. The two drainage areas total 199,070 sf (4.57 ac.). Table 3-1 summarizes the characteristics of each existing drainage area.

Table 3-1 Summary of Existing Drainage Areas				
Area ID	Area (sf/ac.)	Impervious Area (sf/ac.)	CN	Tc (min.)
E2-1	184,018/4.22	13,068/0.30	76	4.8
E2-2	20,038/0.46	0/0.00	74	5.8

c. Proposed/Post-Development Conditions

The proposed Phase 2 redevelopment project total limit of disturbance is estimated at 7.2 acres. The Phase 2 added impervious area is approximately 2.1 acres.

Under post development conditions the same drainage areas (2-1 and 2-2) and design point were identified. Runoff from P2-1 will be collected by the proposed storm drain system and directed to the proposed stormwater management practices (SMPs). The runoff from Drainage Area P2-2 will discharge via overland flow to proposed SMPs in the northwest corner of the site and will not negatively impact the adjacent property. The post development drainage areas are shown on Figure D1-B, Post Development Drainage Areas in Appendix D1. Table 3-2 summarizes the proposed drainage area characteristics.

Table 3-2 Summary of Proposed Drainage Areas				
Area ID	Area (sf/ac.)	Impervious Area (sf/ac.)	CN	Tc (min.)
P2-1	184,018/4.22	96,375/2.21	87	6.0
P2-2	20,038/0.46	9,148/0.21	85	10.3

d. Subsurface Soils Investigation

Subsurface geotechnical investigation and testing was performed by Whitestone Associates Engineering & Geology NY, PLLC (Whitestone - see Appendix D2 for April 14, 2022 report) on March 23, 2022. Subsurface soils profile data was obtained from four (4) test pits (SPP-11 through SPP-14) dug to depths of twelve (12) feet below existing ground surface at proposed SMP locations for DA P2-1. Two (2) test pits (SPP-15 and 16) were dug to depths of nine (9) feet below existing ground surface to obtain subsurface data at proposed SMP locations for DA P2-2.

The data from TPs SPP-11 through SPP-14 in DA P2-1 shows 0.8 to 1.0 foot of topsoil over a layer of residual brown sandy loam with little gravel and trace cobbles/boulders that extends up to 2.5 feet below existing grade. Soil mottling was observed below the residual layer at between 1.6 and 2.5 feet below existing grade. Groundwater was present at 3.7

and 5.0 feet below existing grade at TPs SPP-11 and SPP-12, respectively, and at 7.5 feet below existing grade at TPs SPP-13 and SPP-14. Using methodology as discussed in the report, seasonal high groundwater levels were estimated at between 1.6 and 2.5 feet below existing grade at the four locations. No site-specific soil infiltration testing was performed.

The data from TPs SPP-15 and 16 in DA 2-2 shows 0.8 to 1.2 feet of topsoil over a layer of residual brown sandy loam with little gravel and trace cobbles/boulders that extends up to 2.5 feet below existing grade. Soil mottling was observed below the residual layer at between 1.7 to 2.5 feet below existing grade. Groundwater was observed at 2.5 and 3.2 feet below existing grade for TPs SPP-15 and SPP-16 respectively, with seasonal high groundwater levels estimated at 2.5 and 1.7 feet respectively. No site-specific soil infiltration testing was performed at these locations.

e. Water Quality Volume (WQv)

Using the 90% Rainfall Event (P) value of 1.45 inches for the northwestern part of Westchester County, New York (Figure 4.1 of the NYSSMDM), the target WQv for the Phase 2 development that is required to be captured and reduced/treated is summarized in Table 3.3 below, with calculations provided in Appendix D3.

Area ID	Water Quality Volume (WQv)	
	Acre-ft	Cubic Feet (ft³)
P2-1	0.266	11,593
P2-2	0.026	1,100
Total	0.292	12,693

f. Runoff Reduction

Runoff reduction is the reduction of WQv achieved through application of green infrastructure (GI) techniques and/or standard SMPs having runoff reduction volume (RRv) capacity. While Section 3.6 of NYSSMDM ideally requires projects to provide total (100%) reduction of WQv, projects that have site limitations as documented in Section 3d above must meet runoff reduction requirements by providing a targeted, or minimum, RRv for the newly constructed impervious surfaces. The minimum RRv for the Phase 2 development, which is calculated using the formula as described in Section 4.3 of the NYSSMDM, is summarized in Table 3-4 below, with calculations provided in Appendix D3.

Table 3-3		
Minimum Runoff Reduction Volume (RRv) by Drainage Area		
Area ID	(RRv)_{min}	
	Acre-ft	Cubic Feet (ft³)
P2-1	0.066	2,865
P2-2	0.007	315
Total	0.073	3,180

g. GI/SMP Application

Low impact design GI measures (Vegetated Swale) and standard treatment practices (Bioretention Basin) are proposed to address the minimum runoff reduction volume (RRv) requirements for the newly created impervious areas. Table 3-4 summarizes the RRv provided by drainage area.

Table 3-4		
Runoff Reduction Volume (RRv) Provided by Drainage Area		
Area ID	RRv	
	Acre-ft	Cubic Feet (ft³)
P2-1	0.754	3,284
P2-2	0.004	164
Total	0.758	3,448

Pocket Ponds are proposed to provide treatment of the remaining WQv for areas P2-1 and P2-2, along with attenuation of the proposed peak rates of runoff to at or below existing conditions for the 1, 10 and 100-year storm events. Accounting for the RRv provided above, Table 3-5 summarizes the remaining WQv for each drainage area, and the WQv provided.

Table 3-5		
Remaining WQv Required and Provided by Drainage Area		
Area/Basin ID	WQv Required	WQv Provided
	Cubic Feet (ft³)	Cubic Feet (ft³)
P2-1/No. 1	7,698	7,914 ⁽¹⁾
P2-2/No. 2	931	1,014 ⁽²⁾
Total	8,629	8,928

(1) WQv provided in the permanent pool below Elevation 641.40.
(2) WQv provided in the forebay (307 ft³ below Elevation 664.50) and the main cell permanent pool (707 ft³ below Elevation 663).

Sizing calculations for the GI measures and SMPs are provided in Appendix D4.

h. SMP and Peak Rate Control Summary

Tables 3-5 and 3-6, SMP Summary Tables, indicates the inflow, outflow, storage volume, water surface elevation, and freeboard of the SMPs in areas P2-1 and P2-2 for the 1-, 10-, and 100-year design storms.

Table 3-5 - SMP Summary Table – Area P2-1					
Design Storm	Peak Inflow (cfs)	Peak Outflow (cfs)	Volume (ft ³)	Water Surface Elevation (ft.)	Freeboard ⁽²⁾ (ft.)
1-Year	3.79	1.29	988 ⁽¹⁾	641.60	2.40
10-Year	13.90	8.88	3,830 ⁽¹⁾	642.11	1.89
100-Year	28.82	17.27	9,550 ⁽¹⁾	642.99	1.01

(1) “Active” storage volume above the permanent pool Elevation of 641.40.
(2) Height from Water Surface Elevation to Top of Berm Elevation for Pocket Pond No. 1 @ 644.00.

Table 3-6 - SMP Summary Table – Area P2-2					
Design Storm	Peak Inflow (cfs)	Peak Outflow (cfs)	Volume (ft ³)	Water Surface Elevation (ft.)	Freeboard ⁽²⁾ (ft.)
1-Year	0.69	0.28	525 ⁽¹⁾	663.61	2.39
10-Year	1.48	0.45	1,371 ⁽¹⁾	664.32	1.68
100-Year	2.67	1.92	2,113 ⁽¹⁾	664.80	1.20

(1) “Active” storage volume above the permanent pool Elevation of 663.00.
(2) Height from Water Surface Elevation to Top of Berm Elevation for Pocket Pond No. 2 @ 666.00.

A summary of the pre-development and post-development runoff rates is presented in Table 3-7, Peak Discharge Rate Comparison Table. Based on the implementation of the stormwater management measures, the peak runoff rates under the post-development conditions will be less than the peak runoff rates for the pre-development conditions.

Design Year Storm Event	24-Hour Rainfall (inches)	Peak Runoff Rate(cfs) Area 2-1		Peak Runoff Rate(cfs) Area 2-2	
		Pre-Dev.	Post-Dev.	Pre-Dev.	Post-Dev.
		1	2.75	4.53	1.29
10	5.07	12.80	8.88	1.25	0.45
100	9.19	26.54	17.27	2.68	1.92

The calculations for pre- and post-development drainage conditions are included in Appendices D5 and D6, respectively.

4. Municipal Separate Stormwater Sewer Systems (MS4) & Consultants

The Town of Yorktown is the designated MS4 agency/entity for the Shrub Oak International School campus, including the proposed Phase 2 upgrades project. Their NYSDEC MS4 SPDES Permit Number is NYR20A007.

B. Construction Program

1. Duration of Activity

The construction activity for the proposed Phase 2 sitework upgrades is expected to be completed over approximately a 12-month period and will involve the grading and construction of new parking lots, driveways, stormwater management measures, landscaping, and other physical improvements.

2. Construction Refuse Control

All contractors working on the site will provide adequate trash containment services for the construction site at the start of work to maintain a clean, debris-free work area. Typical facilities may be covered containers with openings three inches or smaller or approved equal and will be emptied on a regular basis. Refuse will be removed from site via a solid-waste contractor and be recycled or disposed per Federal, State, and local requirements. Refuse will not be disposed on site.

C. Erosion and Sediment Control

1. Temporary Practices

Temporary structures and practices, as described and shown on the Erosion & Sediment Control Plan drawings, will be installed and maintained throughout the duration of the project's construction. As required by the General Permit, structures and practices located in disturbed areas of the site will be inspected by a Qualified Inspector at least once every seven calendar days. Areas of the site that have been finally stabilized will be inspected at least every month until the entire site has been finally stabilized. Following each inspection, the Qualified Inspector is required to document their inspection in a certified inspection report as outlined in the General Permit. Based on the results of the inspections, appropriate revisions to the SWPPP and its implementation will be completed within seven calendar days following the inspection.

2. Permanent Structures

Permanent structures and measures implemented and maintained daily to control the project's quantity and/or the quality of the stormwater will require regular inspections and maintenance. These include permanent erosion control practices (soil stabilization), water quality control practices (i.e., Bioretention Basins), and related stormwater flow controlling structures (i.e., catch basins). The project sponsor will be responsible for inspecting and maintaining permanent stormwater management structures and practices.

3. Inspection and Maintenance Procedures

A Trained Contractor is required to ensure that the erosion and sediment control practices and pollution prevention measures are being implemented daily within the active work area. As previously described and as required in the General Permit, site observations are to be performed by a Qualified Inspector at least once every seven (7) calendar days when soil disturbance is less than five (5) acres, and twice every seven (7) calendar days when soil disturbance is greater than five (5) acres. A minimum of two (2) full calendar days must separate regular inspections. Proposed site disturbance for Phase 2 will not exceed 5 acres.

Compliance with the General Permit includes, but is not limited to, completing the following activities:

- a. Retaining a copy of the SWPPP including text, appendices, and drawings at the site until the date of final stabilization;
- b. Posting a copy of the NOI and a project description at the construction site for public viewing;

- c. Maintaining the SWPPP current;
- d. Submitting a certified Notice of Termination (NOT) when the site has finally been stabilized and discharges from construction activities have been eliminated;
- e. Maintaining a copy of the SWPPP by the operator for three years following the date of final stabilization.

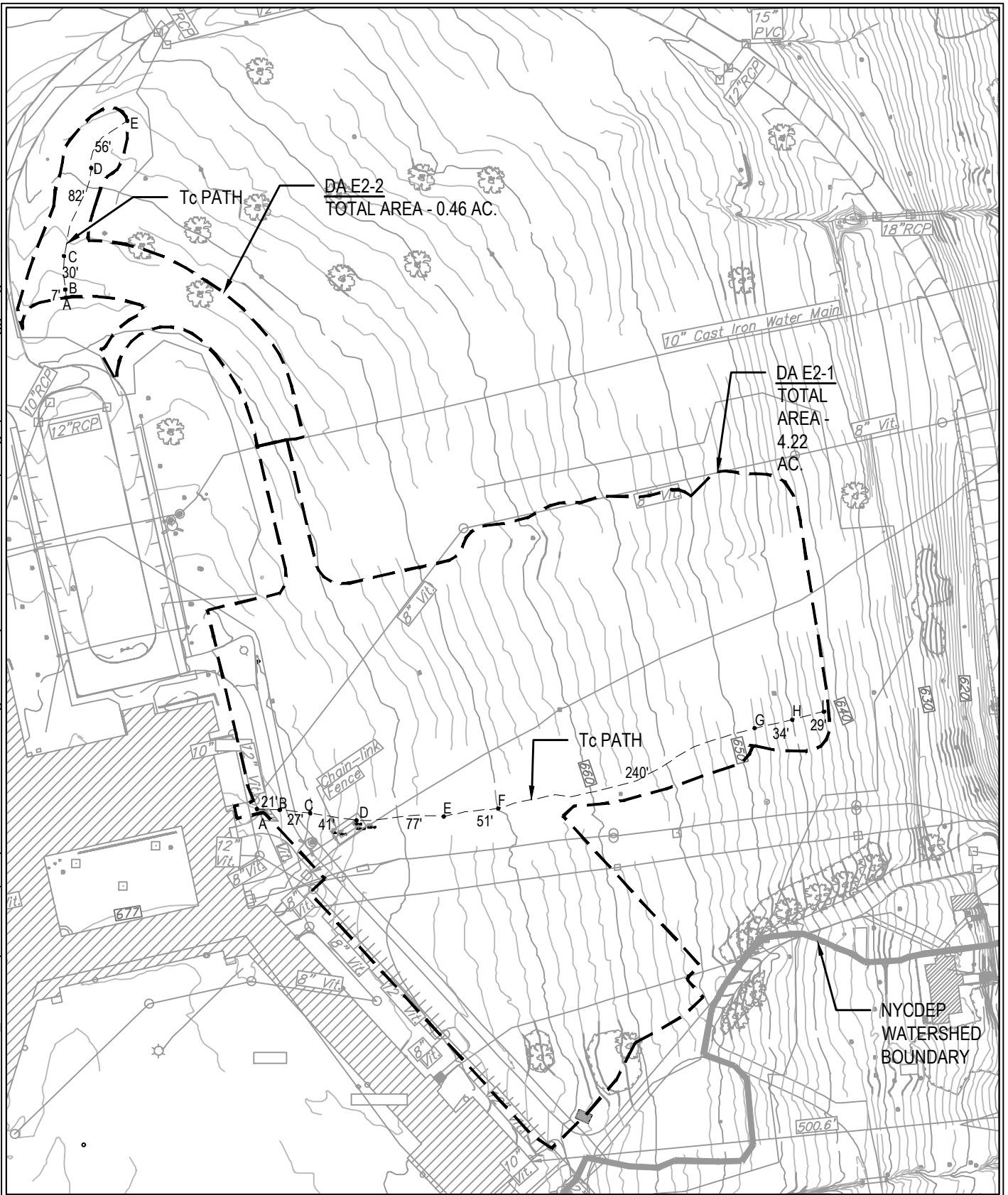
D. Appendices

- 1. Phase 2 Drainage Area Maps – Pre- and Post-Development
- 2. Whitestone Associates Engineering & Geology NY, PLLC Report – Stormwater Management Area Evaluation – April 14, 2022
- 3. Calculations – Phase 2 Water Quality Volume (WQv), Minimum RRv by Drainage Area
- 4. Sizing Calculations – Bioretention Basin w/RRv Capacity, Vegetative Swale, SMP WQv Treatment Provided
- 5. HydroCAD Report – Pre-Development Conditions
- 6. HydroCAD Report – Post -Development Conditions

APPENDIX D1

PHASE 2 DRAINAGE AREA MAPS
PRE- AND POST-DEVELOPMENT

Q:\PROJECTS-DTSP\0824.13 - Shrub Oak Intl School Ph 2 SPA\AutoCAD\SPA\824 SP-21 22 Grading and Utility Plan 40sc - Standard\Design\824 2022 Engg.dwg



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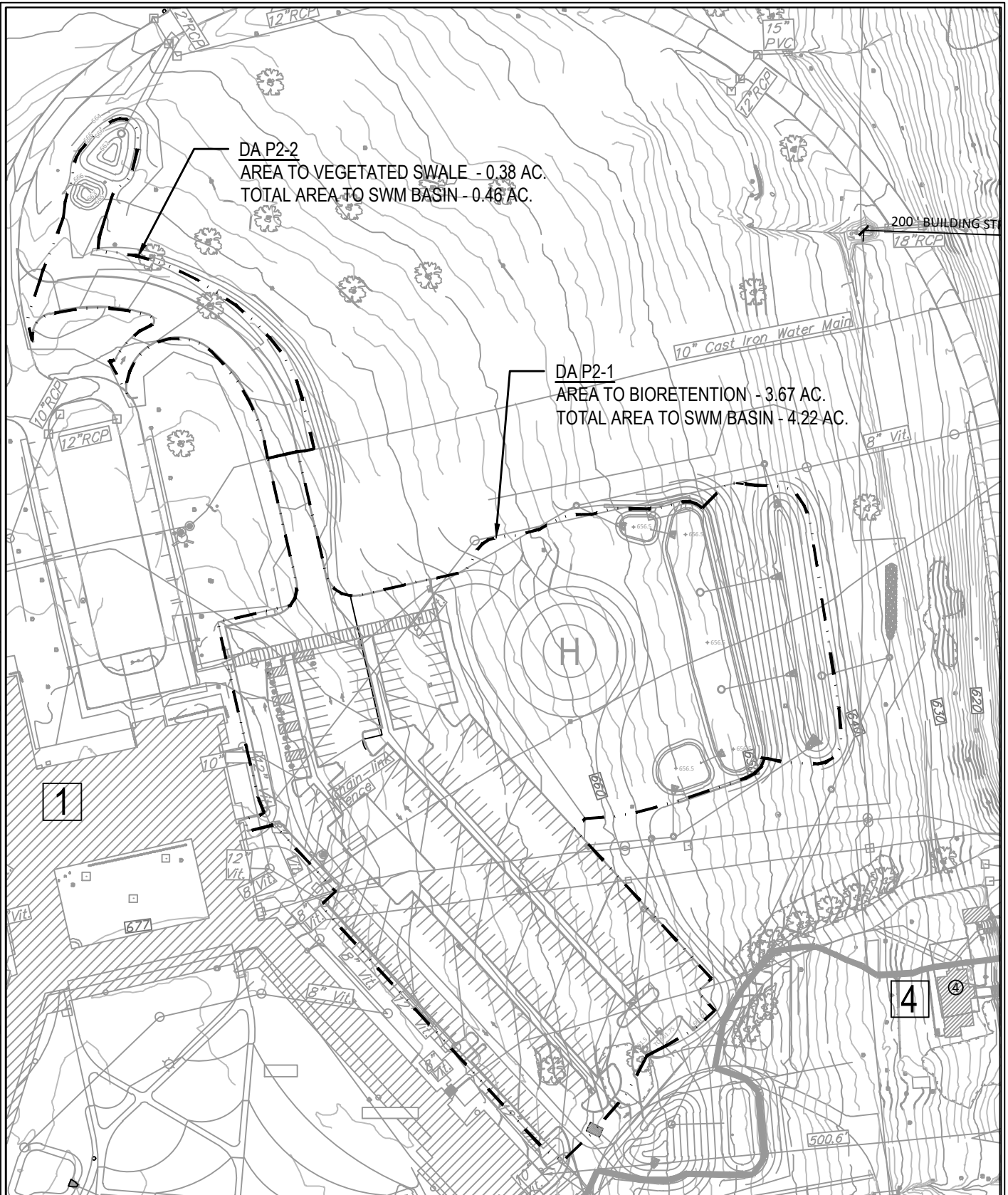
DTS Provident Design Engineering, LLP
One North Broadway
White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

Phase 2 Pre-Development Drainage Areas
Shrub Oak International School
Town of Yorktown, NY

Project No. 824.13
Scale: 1"=120'
May 2022

Figure No. D1-A

Q:\PROJECTS-DTSP\0824.13 - Shrub Oak Intl School Ph 2 SPA\AutoCAD\SPA\824 SP-21 22 Grading and Utility Plan 40sc - Standard\Design\824 2022 Engg.dwg



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DTS Provident Design Engineering, LLP
One North Broadway
White Plains, NY 10601
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F: 914.428.0017

Phase 2 Post-Development Drainage Areas
Shrub Oak International School
Town of Yorktown, NY

Project No. 824.13
Scale: 1"=120'
May 2022

Figure No. D1-B

APPENDIX D2

WHITESTONE ASSOCIATES ENGINEERING & GEOLOGY NY, PLLC REPORT
STORMWATER MANAGEMENT AREA EVALUATION – APRIL 14, 2022



30 INDEPENDENCE BOULEVARD
SUITE 250
WARREN, NJ 07059
908.668.7777
whitestoneassoc.com

April 14, 2022

via email

SHRUB OAK INTERNATIONAL SCHOOL

3161 Stoney Street
Mohegan Lake, New York 10547

Attention: Mr. Brian Koffler
Owner

**Regarding: STORMWATER MANAGEMENT AREA EVALUATION
SHRUB OAK INTERNATIONAL SCHOOL
3161 STONEY STREET
MOHEGAN LAKE, WESTCHESTER COUNTY, NEW YORK
WHITESTONE PROJECT NO.: GJ2118321.Y01**

Dear Mr. Koffler:

Whitestone Associates Engineering & Geology NY, PLLC (Whitestone) has completed a stormwater management (SWM) area evaluation at the above-referenced site. The results of the evaluation presented below are based on the soil conditions disclosed by the soil profile pits conducted during Whitestone's field investigation.

1.0 PROJECT DESCRIPTION

1.1 Site Location & Existing Conditions

The subject site located at 3161 Stoney Street currently houses the multi-story Shrub Oak International School and associated pavements, landscaping, and utilities. Based on existing topography shown on the March 16, 2022 *Site Grading and Utility Plan* prepared by DTS Provident Design Engineering, LLP (DTS), the overall site has a grade change of approximately 50 feet.

1.2 Proposed Construction

Based on the *Site Grading and Utility Plan*, the proposed improvements will include construction of a 12,500-square feet (footprint) classroom building addition, an approximately 6,250-square feet (footprint) pool house building, SWM facilities, new pavements, landscaping, and utilities.

2.0 FIELD WORK

Whitestone's scope of services consisted of conducting an engineering evaluation of the subsurface conditions disclosed by 22 soil profile pits (identified as SPP-1 through SPP-22). Soil profile pits SPP-1 through SPP-6, located within the boundaries of a New York City watershed, were conducted in the

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CHALFONT, PA
215.712.2700

SOUTHBOROUGH, MA
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ROCKY HILL, CT
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WALL, NJ
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PHILADELPHIA, PA
215.848.2323

BEDFORD, NH
603.514.2230

TAMPA, FL
813.851.0690

Environmental & Geotechnical Engineers & Consultants

presence of a representative of the New York Department of Environmental Protection. The soil profile pits were conducted with a client-provided rubber-tire backhoe. Soil profile pits SPP-1 through SPP-22 were terminated at depths of ranging from approximately seven feet below ground surface (fbgs) to 12 fbgs. The soil profile pits were conducted within or near the anticipated location of the proposed SWM areas. The subsurface tests subsequently were backfilled to the surface with excavated soils from the investigation. The locations of the subsurface tests are shown on the accompanying *Test Location Plan* included as Figure 1. *Records of Subsurface Exploration* are provided in Appendix A.

The soil profile pits also were conducted in the presence of a Whitestone engineer who conducted field tests, recorded visual classifications, and collected samples of the various strata encountered. The tests were located in the field using normal taping procedures and estimated right angles. These locations are presumed to be accurate within a few feet.

Groundwater level observations were recorded during and immediately after the completion of field operations prior to backfilling the tests. Seasonal variations, temperature effects, man-made effects, and recent rainfall conditions may influence the levels of the groundwater, and the observed levels will depend on the permeability of the soils. Groundwater elevations derived from sources other than seasonally observed groundwater monitor wells may not be representative of true groundwater levels.

3.0 SUMMARY OF FINDINGS

General: The SWM area evaluation included a total of 22 soil profile pits (identified as SPP-1 through SPP-22).

Estimated Seasonal High Groundwater Levels: The methods used in estimating the seasonal high groundwater (ESHGW) level included evaluating the soil morphology and identifying irregular spots or blotches of different colors or minerals unlike that of the surrounding soil (mottles). A summary of the estimated seasonal high groundwater observations associated with the SWM area evaluation are included in the following table.

Test #	Surface Elevation (feet*)	ESHGW (fbgs/feet*)	Groundwater Depth (fbgs/feet*)	USDA Classification @ Basin Bottom
SPP-1	649.0	2.0 / 647.0	4.0 / 645.0	Sandy Loam
SPP-2	643.0	2.0 / 641.0	2.0 / 641.0	Sandy Loam
SPP-3	643.0	1.8 / 641.2	3.2 / 639.8	Sandy Loam
SPP-4	649.0	2.0 / 647.0	4.0 / 645.0	Sandy Loam
SPP-5	649.0	2.0 / 647.0	3.7 / 645.3	Sandy Loam
SPP-6	646.0	1.7 / 644.3	2.0 / 644.0	Sandy Loam
SPP-7	661.0	2.3 / 658.7	6.0 / 655.0	Sandy Loam
SPP-8	660.0	3.0 / 657.0	6.0 / 654.0	Sandy Loam
SPP-9	655.0	2.0 / 653.0	3.5 / 651.5	Sandy Loam
SPP-10	655.0	2.0 / 653.0	4.5 / 650.5	Sandy Loam
SPP-11	653.0	1.6 / 651.4	5.0 / 648.0	Sandy Loam

Test #	Surface Elevation (feet*)	ESHWG (fbgs/feet*)	Groundwater Depth (fbgs/feet*)	USDA Classification @ Basin Bottom
SPP-12	653.0	1.7 / 651.3	3.7 / 649.3	Sandy Loam
SPP-13	644.0	2.5 / 641.5	7.5 / 636.5	Sandy Loam
SPP-14	644.0	2.5 / 641.5	7.5 / 636.5	Sandy Loam
SPP-15	667.0	2.5 / 664.5	2.5 / 664.5	Sandy Loam
SPP-16	644.0	1.7 / 642.3	3.2 / 640.8	Sandy Loam
SPP-17	660.0	2.5 / 657.5	Not Encountered	Sandy Loam
SPP-18	671.0	Not Encountered	Not Encountered	Sandy Loam
SPP-19	671.0	Not Encountered	Not Encountered	Sandy Loam
SPP-20	677.0	4.7 / 672.3	5.5 / 671.5	Sandy Loam
SPP-21	676.0	3.0 / 673.0	3.0 / 673.0	Sandy Loam
SPP-22	676.0	3.5 / 672.5	5.0 / 671.0	Sandy Loam

* datum not specified; USDA - United States Department of Agriculture

4.0 CLOSING

Whitestone appreciates the opportunity to be of continued service to Shrub Oak International School. Please contact us at (908) 668-7777 with any questions or comments regarding the information provided herein.

Sincerely,

WHITESTONE



Mudar Khantamr, P.E.
Associate



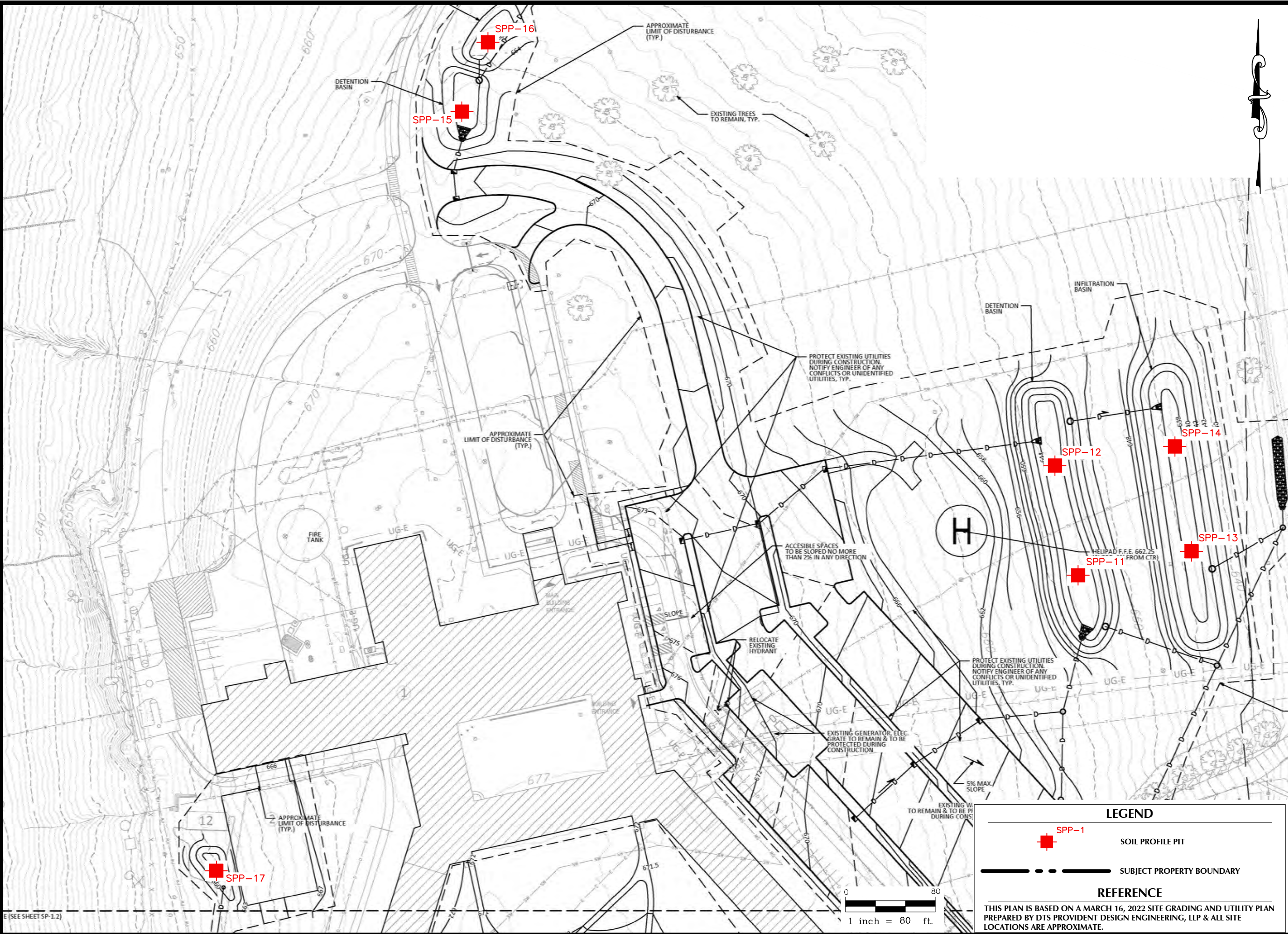
Laurence W. Keller, P.E.
Vice President

CN/ri L:\Job Folders\2021\2118321GJ\Reports and Submittals\18321.Y01 SWM.docx
 Enclosures
 Copy: David Wasserman, David Wasserman Consulting, Inc.
 Cosimo Reale, CPESC, DTS Provident Design Engineering, LLP



FIGURE 1
Test Location Plan

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LEGEND

■ SPP-1 SOIL PROFILE PIT

--- SUBJECT PROPERTY BOUNDARY

REFERENCE

THIS PLAN IS BASED ON A MARCH 16, 2022 SITE GRADING AND UTILITY PLAN PREPARED BY DTS PROVIDENT DESIGN ENGINEERING, LLP & ALL SITE LOCATIONS ARE APPROXIMATE.

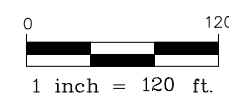


WHITESTONE

30 INDEPENDENCE BOULEVARD, SUITE 250, WARREN, NJ 07059
908.668.7777 WHITESTONEASSOC.COM

DRAWING TITLE: TEST LOCATION PLAN	
CLIENT: SHRUB OAK INTERNATIONAL SCHOOL	
PROJECT: SHRUB OAK INTERNATIONAL SCHOOL - PROPOSED IMPROVEMENTS 3161 STONEY STREET MOHEGAN LAKE, WESTCHESTER COUNTY, NY	
PROJECT #: GJ2118321.Y01	
DESIGNED BY: GR	PROJ. MGR.: MK
DATE: 4/13/22	FIGURE: 1A
SCALE: 1" = 80'	

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LEGEND

SPP-1 SOIL PROFILE PIT

SUBJECT PROPERTY BOUNDARY

REFERENCE

THIS PLAN IS BASED ON A MARCH 16, 2022 SITE GRADING AND UTILITY PLAN PREPARED BY DTS PROVIDENT DESIGN ENGINEERING, LLP & ALL SITE LOCATIONS ARE APPROXIMATE.



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908.668.7777 WHITESTONEASSOC.COM

DRAWING TITLE: TEST LOCATION PLAN	
CLIENT: SHRUB OAK INTERNATIONAL SCHOOL	
PROJECT: SHRUB OAK INTERNATIONAL SCHOOL - PROPOSED IMPROVEMENTS 3161 STONEY STREET MOHEGAN LAKE, WESTCHESTER COUNTY, NY	
PROJECT #: GJ2118321.Y01	
DESIGNED BY: GR	PROJ. MGR.: MK
DATE: 4/13/22	FIGURE: 1B
SCALE: 1" = 120'	

APPENDIX A
Records of Subsurface Exploration

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 649.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td style="text-align: center;">4.0 645.0 ▼</td> </tr> <tr> <td>At Completion:</td> <td style="text-align: center;">4.0 645.0 ▼</td> </tr> <tr> <td>24 Hours:</td> <td style="text-align: center;">6.7 642.3 ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	4.0 645.0 ▼	At Completion:	4.0 645.0 ▼	24 Hours:	6.7 642.3 ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	4.0 645.0 ▼												
At Completion:	4.0 645.0 ▼												
24 Hours:	6.7 642.3 ▼												
Termination Depth: 8.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>At Completion:</td> <td style="text-align: center;">2.0 647.0</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		At Completion:	2.0 647.0				
Estimated Seasonal High													
Groundwater Depth Elevation													
At Completion:	2.0 647.0												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine to Medium Roots
			1.0			
			1 - 2	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0			
			2 - 4		As Above, <15MM Mottling	<15MM Mottling @ 24" bgs
			3.0			
			4.0			
			4 - 6		As Above, Wet	Water Dripping in Sidewalls @ 48" bgs
			5.0			
			6.0			
			6 - 8		As Above, Trace Cobbles	
			7.0			
			8.0			Water @ 80" fbgs After 24 Hours
					Soil Profile Pit SPP-1 Terminated at a Depth of 8.0 Feet Below Ground Surface	
			9.0			
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-2**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01									
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School									
Surface Elevation: ± 643.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td>During: 2.0</td> <td>641.0 ▼</td> </tr> <tr> <td>At Completion: 2.0</td> <td>641.0 ▼</td> </tr> <tr> <td>24 Hours: 6.8</td> <td>636.2 ▼</td> </tr> </table>		Water Depth Elevation (feet bgs) (feet)		During: 2.0	641.0 ▼	At Completion: 2.0	641.0 ▼	24 Hours: 6.8	636.2 ▼
Water Depth Elevation (feet bgs) (feet)											
During: 2.0	641.0 ▼										
At Completion: 2.0	641.0 ▼										
24 Hours: 6.8	636.2 ▼										
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td>At Completion: 2.0</td> <td>641.0</td> </tr> </table>		Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)		At Completion: 2.0	641.0				
Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)											
At Completion: 2.0	641.0										
Proposed Location: SWM	Logged By: CN										
Excavating Method: Test Pit Excavation	Contractor: Client										
Test Method: Visual Observation	Rig Type: CAT 420E										

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1.5	TOPSOIL	18" Topsoil	Grass Fine to Medium Roots
1.5 - 2	S-1	BAG	1.5 - 2	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate Granular to Crumb Structure; Moist; Loose; No Roots; No Mottling	
			2 - 6		As Above, Wet, >15MM Mottling	>15MM Mottling @ 24" Water Seeping in Sidewalls @ 24"
			6 - 9		As Above, Trace Cobbles	Water @ 82" fbg After 24 Hours
			9.0		Soil Profile Pit SPP-2 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 643.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td>3.2 639.8 ▼</td> </tr> <tr> <td>At Completion:</td> <td>3.2 639.8 ▼</td> </tr> <tr> <td>24 Hours:</td> <td>4.5 638.5 ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	3.2 639.8 ▼	At Completion:	3.2 639.8 ▼	24 Hours:	4.5 638.5 ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	3.2 639.8 ▼												
At Completion:	3.2 639.8 ▼												
24 Hours:	4.5 638.5 ▼												
Termination Depth: 8.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>At Completion:</td> <td>1.8 641.2</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		At Completion:	1.8 641.2				
Estimated Seasonal High													
Groundwater Depth Elevation													
At Completion:	1.8 641.2												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1.4	TOPSOIL	16" Topsoil	Grass Fine Roots
1.4 - 1.8	S-1	BAG	1.4 - 1.8	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			1.8 - 3.2		As Above, >15MM Mottling	>15MM Mottling @ 22"
			3.2 - 6		As Above, Wet	Water Seeping in Sidewalls @ 38"
			6 - 9		As Above, Trace Cobbles	Water @ 54" After 24 Hours
			9.0		Soil Profile Pit SPP-3 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01							
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School							
Surface Elevation: ± 649.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Water Depth Elevation (feet bgs) (feet)</th> <th style="text-align: center;">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td>During: 4.0 645.0 ▼</td> <td rowspan="3">At Completion: 2.0 647.0</td> </tr> <tr> <td>At Completion: 4.0 645.0 ▼</td> </tr> <tr> <td>24 Hours: 4.5 644.5 ▼</td> </tr> </table>		Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)	During: 4.0 645.0 ▼	At Completion: 2.0 647.0	At Completion: 4.0 645.0 ▼	24 Hours: 4.5 644.5 ▼
Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)								
During: 4.0 645.0 ▼	At Completion: 2.0 647.0								
At Completion: 4.0 645.0 ▼									
24 Hours: 4.5 644.5 ▼									
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022								
Proposed Location: SWM	Logged By: CN								
Excavating Method: Test Pit Excavation	Contractor: Client								
Test Method: Visual Observation	Rig Type: CAT 420E								

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine to Heavy Roots
			1.0			
			1 - 2	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0			
			2 - 4		As Above, >15MM Mottling	Mottling @ 24" bgs
			3.0			
			4.0			
			4 - 6		As Above, Wet	Water Seeping in Sidewalls @ 48" bgs Water @ 54" bgs After 24 Hours Large, Immobile Boulder @ 5.0 fbs (>36" Diameter)
			5.0			
			6.0			
			6 - 9		As Above, Trace Cobbles and Boulders	
			7.0			
			8.0			
			9.0			
			10.0		Soil Profile Pit SPP-4 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-5**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 649.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td>3.7 645.3 ▼</td> </tr> <tr> <td>At Completion:</td> <td>3.7 645.3 ▼</td> </tr> <tr> <td>24 Hours:</td> <td>5.8 643.2 ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	3.7 645.3 ▼	At Completion:	3.7 645.3 ▼	24 Hours:	5.8 643.2 ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	3.7 645.3 ▼												
At Completion:	3.7 645.3 ▼												
24 Hours:	5.8 643.2 ▼												
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>(feet bgs) (feet)</td> <td></td> </tr> <tr> <td>At Completion:</td> <td>2.0 647.0</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		(feet bgs) (feet)		At Completion:	2.0 647.0		
Estimated Seasonal High													
Groundwater Depth Elevation													
(feet bgs) (feet)													
At Completion:	2.0 647.0												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1.4	TOPSOIL	16" Topsoil	Grass Fine to Medium Roots
1 - 2	S-1	BAG	1.4 - 2	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2 - 3.7		As Above, <15MM Mottling	<15MM Mottling @ 24" bgs
			3.7 - 9		As Above, Wet	Water Seeping from Sidewalls @ 44" bgs
			9.0		Soil Profile Pit SPP-5 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 646.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During: 2.0 644.0</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>At Completion: 2.0 644.0</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>24 Hours: 5.8 640.2</td> <td style="text-align: center;">▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During: 2.0 644.0	▼	At Completion: 2.0 644.0	▼	24 Hours: 5.8 640.2	▼
Water Depth Elevation													
(feet bgs) (feet)													
During: 2.0 644.0	▼												
At Completion: 2.0 644.0	▼												
24 Hours: 5.8 640.2	▼												
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>At Completion: 1.7 644.3</td> <td></td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		At Completion: 1.7 644.3					
Estimated Seasonal High													
Groundwater Depth Elevation													
At Completion: 1.7 644.3													
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine Roots
1 - 1.7	S-1	BAG	1 - 1.7	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate Granular to Crumb Structure; Moist; Loose; No Roots	
			1.7 - 2		As Above, >15MM Mottling	>15MM Mottling @ 20" bgs
			2 - 6		As Above, Wet	Water Seeping in Sidewalls @ 24" bgs
			6.0			Large, Immobile Boulder @ 4.5 fbs (>36" Diameter)
			6 - 9		As Above, Trace Cobbles	Water @ 70" bgs After 24 Hours
			9.0			
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			
					Soil Profile Pit SPP-6 Terminated at a Depth of 9.0 Feet Below Ground Surface	



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-7**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 661.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During: 6.0 655.0</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>At Completion: 6.0 655.0</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>24 Hours: 6.5 654.5</td> <td style="text-align: center;">▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During: 6.0 655.0	▼	At Completion: 6.0 655.0	▼	24 Hours: 6.5 654.5	▼
Water Depth Elevation													
(feet bgs) (feet)													
During: 6.0 655.0	▼												
At Completion: 6.0 655.0	▼												
24 Hours: 6.5 654.5	▼												
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>At Completion: 2.3 658.7</td> <td></td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		At Completion: 2.3 658.7					
Estimated Seasonal High													
Groundwater Depth Elevation													
At Completion: 2.3 658.7													
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine Roots
1 - 2.3	S-1	BAG	1 - 2.3	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate Granular to Crumb Structure; Moist; Loose; No Roots; No Mottling	
			2.3 - 6		As Above, >15MM Mottling	<15MM Mottling @ 28" bgs
			6 - 9		As Above, Wet	Water Seeing in Sidewalls @ 72" bgs Water @ 78" bgs After 24 Hours
			9.0		Soil Profile Pit SPP-7 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 660.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td>6.0 654.0 ▼</td> </tr> <tr> <td>At Completion:</td> <td>6.0 654.0 ▼</td> </tr> <tr> <td>24 Hours:</td> <td>5.3 654.7 ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	6.0 654.0 ▼	At Completion:	6.0 654.0 ▼	24 Hours:	5.3 654.7 ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	6.0 654.0 ▼												
At Completion:	6.0 654.0 ▼												
24 Hours:	5.3 654.7 ▼												
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>(feet bgs) (feet)</td> <td></td> </tr> <tr> <td>At Completion:</td> <td>3.0 657.0</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		(feet bgs) (feet)		At Completion:	3.0 657.0		
Estimated Seasonal High													
Groundwater Depth Elevation													
(feet bgs) (feet)													
At Completion:	3.0 657.0												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1.3	TOPSOIL	16" Topsoil	Grass Fine to Medium Roots
			1.3 - 3	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate Granular to Crumb Structure; Moist; Loose; No Roots	
1.3 - 3	S-1	BAG				
			3 - 6		As Above, <15MM Mottling	<15MM Mottling @ 36" fbgs
			6.0			Water @ 64" bgs After 24 Hours
			6 - 9		As Above, Wet, Trace Cobbles	Water Seeping in Sidewalls @ 72" bgs
			9.0			
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			
					Soil Profile Pit SPP-8 Terminated at a Depth of 9.0 Feet Below Ground Surface	



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-9**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 655.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td>3.5 651.5 ▼</td> </tr> <tr> <td>At Completion:</td> <td>3.5 651.5 ▼</td> </tr> <tr> <td>24 Hours:</td> <td>3.7 651.3 ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	3.5 651.5 ▼	At Completion:	3.5 651.5 ▼	24 Hours:	3.7 651.3 ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	3.5 651.5 ▼												
At Completion:	3.5 651.5 ▼												
24 Hours:	3.7 651.3 ▼												
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>(feet bgs) (feet)</td> <td></td> </tr> <tr> <td>At Completion:</td> <td>2.0 653.0</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		(feet bgs) (feet)		At Completion:	2.0 653.0		
Estimated Seasonal High													
Groundwater Depth Elevation													
(feet bgs) (feet)													
At Completion:	2.0 653.0												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine Roots
1 - 2	S-1	BAG	1 - 2	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2 - 3.5		As Above, <15MM Mottling	<15MM Mottling @ 24" fbgs
			3.5 - 6		As Above, Wet	Water Seeping in Sidewalls @ 40" bgs Water @ 44" bgs After 24 Hours
			6 - 9		As Above, Trace Cobbles	
			9.0		Soil Profile Pit SPP-9 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 655.0 feet	Date Started: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td>4.5 650.5 ▼</td> </tr> <tr> <td>At Completion:</td> <td>4.5 650.5 ▼</td> </tr> <tr> <td>24 Hours:</td> <td>3.2 651.8 ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	4.5 650.5 ▼	At Completion:	4.5 650.5 ▼	24 Hours:	3.2 651.8 ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	4.5 650.5 ▼												
At Completion:	4.5 650.5 ▼												
24 Hours:	3.2 651.8 ▼												
Termination Depth: 9.0 feet bgs	Date Completed: 3/22/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>(feet bgs) (feet)</td> <td></td> </tr> <tr> <td>At Completion:</td> <td>2.0 653.0</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		(feet bgs) (feet)		At Completion:	2.0 653.0		
Estimated Seasonal High													
Groundwater Depth Elevation													
(feet bgs) (feet)													
At Completion:	2.0 653.0												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1.3	TOPSOIL	16" Topsoil	Grass Fine Roots
1.3 - 2	S-1	BAG	1.3 - 2	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2 - 4.5		As Above, <15MM Mottling	<15MM Mottling @ 24" bgs
			4.5 - 6		As Above, Wet	Water @ 38" bgs After 24 Hours
			6 - 9		As Above, Trace Cobbles	Water Seeping in Sidewalls and Cave-In @ 54" bgs
			9.0		Soil Profile Pit SPP-10 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-11**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01					
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School					
Surface Elevation: ± 653.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Water Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td style="text-align: center;">During: 5.0 648.0 ▼</td> </tr> <tr> <td style="text-align: center;">At Completion: 5.0 648.0 ▼</td> </tr> <tr> <td style="text-align: center;">24 Hours: --- --- ▼</td> </tr> </table>		Water Depth Elevation (feet bgs) (feet)	During: 5.0 648.0 ▼	At Completion: 5.0 648.0 ▼	24 Hours: --- --- ▼
Water Depth Elevation (feet bgs) (feet)							
During: 5.0 648.0 ▼							
At Completion: 5.0 648.0 ▼							
24 Hours: --- --- ▼							
Termination Depth: 12.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td style="text-align: center;">At Completion: 1.6 651.4</td> </tr> </table>		Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)	At Completion: 1.6 651.4		
Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)							
At Completion: 1.6 651.4							
Proposed Location: SWM	Logged By: CN						
Excavating Method: Test Pit Excavation	Contractor: Client						
Test Method: Visual Observation	Rig Type: CAT 420E						

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0 0 - 0.8	TOPSOIL	10" Topsoil	Grass Fine Roots
0.8 - 1.6	S-1	BAG	1.0 0.8 - 1.6	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0 1.6 - 5		As Above, <15MM Mottling	<15MM Mottling @ 20" bgs
			5.0 5 - 12		As Above, Wet	Water Seeping in Sidewalls @ 60" bgs
			12.0		Soil Profile Pit SPP-11 Terminated at a Depth of 12.0 Feet Below Ground Surface	
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 653.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td>3.7 649.3 ▼</td> </tr> <tr> <td>At Completion:</td> <td>3.7 649.3 ▼</td> </tr> <tr> <td>24 Hours:</td> <td>--- --- ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	3.7 649.3 ▼	At Completion:	3.7 649.3 ▼	24 Hours:	--- --- ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	3.7 649.3 ▼												
At Completion:	3.7 649.3 ▼												
24 Hours:	--- --- ▼												
Termination Depth: 12.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>At Completion:</td> <td>1.7 651.3</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		At Completion:	1.7 651.3				
Estimated Seasonal High													
Groundwater Depth Elevation													
At Completion:	1.7 651.3												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 0.8	TOPSOIL	10" Topsoil	Grass Fine Roots
			1.0	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0		As Above, <15MM Mottling	<15MM Mottling @ 20" bgs
			3.0			
			1.7 - 3.7			
			4.0		As Above, Wet	Water Seeping in Sidewalls @ 44" bgs
			5.0			
			3.7 - 7.0			
			6.0			
			7.0		As Above, Trace Cobbles	2 x 24" Diameter Boulders 7.0 fbgs to 10.0 fbgs
			7 - 12			
			8.0			
			9.0			
			10.0			Water Filled Test Pit @ Completion to 10.0 fbgs
			11.0			
			12.0			
					Soil Profile Pit SPP-12 Terminated at a Depth of 12.0 Feet Below Ground Surface	
			13.0			
			14.0			
			15.0			



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-13**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 644.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During: 7.5 636.5</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>At Completion: 7.5 636.5</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>24 Hours: --- ---</td> <td style="text-align: center;">▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During: 7.5 636.5	▼	At Completion: 7.5 636.5	▼	24 Hours: --- ---	▼
Water Depth Elevation													
(feet bgs) (feet)													
During: 7.5 636.5	▼												
At Completion: 7.5 636.5	▼												
24 Hours: --- ---	▼												
Termination Depth: 12.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>At Completion: 2.5 641.5</td> <td></td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		At Completion: 2.5 641.5					
Estimated Seasonal High													
Groundwater Depth Elevation													
At Completion: 2.5 641.5													
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine to Medium Roots
1 - 2.5	S-1	BAG	1 - 2.5	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.5 - 7.5		As Above, <15MM Mottling	<15MM Mottling @ 30" bgs
			7.5 - 12		As Above, Wet, Trace Cobbles	Water Seeping in Sidewalls @ 90" bgs
			12.0		Soil Profile Pit SPP-13 Terminated at a Depth of 12.0 Feet Below Ground Surface	
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01									
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School									
Surface Elevation: ± 644.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">Water Depth (feet bgs)</th> <th style="text-align: left;">Elevation (feet)</th> </tr> <tr> <td>During: 7.5</td> <td>636.5 ▼</td> </tr> <tr> <td>At Completion: 7.5</td> <td>636.5 ▼</td> </tr> <tr> <td>24 Hours: ---</td> <td>--- ▼</td> </tr> </table>		Water Depth (feet bgs)	Elevation (feet)	During: 7.5	636.5 ▼	At Completion: 7.5	636.5 ▼	24 Hours: ---	--- ▼
Water Depth (feet bgs)	Elevation (feet)										
During: 7.5	636.5 ▼										
At Completion: 7.5	636.5 ▼										
24 Hours: ---	--- ▼										
Termination Depth: 12.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td>At Completion: 2.5 641.5</td> </tr> </table>		Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)	At Completion: 2.5 641.5						
Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)											
At Completion: 2.5 641.5											
Proposed Location: SWM	Logged By: CN										
Excavating Method: Test Pit Excavation	Contractor: Client										
Test Method: Visual Observation	Rig Type: CAT 420E										

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 0.8	TOPSOIL	10" Topsoil	Grass Fine Roots
			1.0	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.5 - 5		As Above, <15MM Mottling	<15MM Mottling @ 30" fbgs
			5 - 7.5		As Above, Trace Cobbles and Boulders	
			8.0		As Above, Wet	Water Seeping in Sidewall @ 90" bgs
			12.0		Soil Profile Pit SPP-14 Terminated at a Depth of 12.0 Feet Below Ground Surface	
			13.0			
			14.0			
			15.0			

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 667.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During: 2.5 664.5</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>At Completion: 2.5 664.5</td> <td style="text-align: center;">▼</td> </tr> <tr> <td>24 Hours: --- ---</td> <td style="text-align: center;">▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During: 2.5 664.5	▼	At Completion: 2.5 664.5	▼	24 Hours: --- ---	▼
Water Depth Elevation													
(feet bgs) (feet)													
During: 2.5 664.5	▼												
At Completion: 2.5 664.5	▼												
24 Hours: --- ---	▼												
Termination Depth: 9.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>(feet bgs) (feet)</td> <td></td> </tr> <tr> <td>At Completion: 2.5 664.5</td> <td></td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		(feet bgs) (feet)		At Completion: 2.5 664.5			
Estimated Seasonal High													
Groundwater Depth Elevation													
(feet bgs) (feet)													
At Completion: 2.5 664.5													
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1.2	TOPSOIL	14" Topsoil	Grass Fine to Medium Roots
1.2 - 2.5	S-1	BAG	1.2 - 2.5	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.5 - 5		As Above, <15MM Mottling, Wet	<15MM Mottling @ 30" bgs Water Seeing in Sidewalls @ 30" bgs
			5 - 9		As Above, Trace Cobbles and Boulders	
			9.0		Soil Profile Pit SPP-15 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01					
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School					
Surface Elevation: ± 644.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Water Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td style="text-align: center;">During: 3.2 640.8 ▼</td> </tr> <tr> <td style="text-align: center;">At Completion: 3.2 640.8 ▼</td> </tr> <tr> <td style="text-align: center;">24 Hours: --- --- ▼</td> </tr> </table>		Water Depth Elevation (feet bgs) (feet)	During: 3.2 640.8 ▼	At Completion: 3.2 640.8 ▼	24 Hours: --- --- ▼
Water Depth Elevation (feet bgs) (feet)							
During: 3.2 640.8 ▼							
At Completion: 3.2 640.8 ▼							
24 Hours: --- --- ▼							
Termination Depth: 9.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td style="text-align: center;">At Completion: 1.7 642.3</td> </tr> </table>		Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)	At Completion: 1.7 642.3		
Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)							
At Completion: 1.7 642.3							
Proposed Location: SWM	Logged By: CN						
Excavating Method: Test Pit Excavation	Contractor: Client						
Test Method: Visual Observation	Rig Type: CAT 420E						

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 0.8	TOPSOIL	10" Topsoil	Grass Fine Roots
			1.0	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0		As Above, <15MM Mottling	<15MM Mottling @ 20" bgs
			3.0		As Above, Wet	Water Seeping in Sidewall @ 38" bgs
			4.0			
			5.0		As Above, Trace Cobbles and Boulders	
			6.0			
			7.0			
			8.0			
			9.0			
			10.0		Soil Profile Pit SPP-16 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-17**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01	
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School	
Surface Elevation: ± 660.0 feet	Date Started: 3/23/2022	Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)
Termination Depth: 9.0 feet bgs	Date Completed: 3/23/2022		
Proposed Location: SWM	Logged By: CN	During: NE --- ▼	At Completion: 2.5 657.5
Excavating Method: Test Pit Excavation	Contractor: Client	At Completion: NE --- ▼	
Test Method: Visual Observation	Rig Type: CAT 420E	24 Hours: --- --- ▼	

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine Roots
			1.0			
			1 - 2.5	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0			
			2.5 - 5		As Above, <15MM Mottling	<15MM Mottling @ 30" bgs
			3.0			
			4.0			
			5.0			
			5 - 9		As Above, Trace Cobbles and Boulders	Bucket Ripping Weathered Material 6.0 fbs to 8.0 fbs
			6.0			
			7.0			
			8.0			
			9.0			
					Soil Profile Pit SPP-17 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01	
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School	
Surface Elevation: ± 671.0 feet	Date Started: 3/23/2022	Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)
Termination Depth: 9.0 feet bgs	Date Completed: 3/23/2022		
Proposed Location: SWM	Logged By: CN	During: NE --- ▼	At Completion: NE ---
Excavating Method: Test Pit Excavation	Contractor: Client	At Completion: NE --- ▼	
Test Method: Visual Observation	Rig Type: CAT 420E	24 Hours: --- --- ▼	

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1	TOPSOIL	12" Topsoil	Grass Fine Roots
			1.0			
			1 - 4	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0			
			3.0			
			4.0			
			4 - 9		As Above, Trace Cobbles and Boulders	
			5.0			
			6.0			Bucket Ripping Weathered Material 6.0 fbg to 8.0 fbg
			7.0			
			8.0			
			9.0			
			10.0		Soil Profile Pit SPP-18 Terminated at a Depth of 9.0 Feet Below Ground Surface	
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01													
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School													
Surface Elevation: ± 671.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Water Depth Elevation (feet bgs) (feet)</th> <th style="text-align: center;">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">During: NE --- ▼</td> <td style="width: 50%;"></td> </tr> <tr> <td>At Completion: NE --- ▼</td> <td></td> </tr> <tr> <td>24 Hours: --- --- ▼</td> <td></td> </tr> </table> </td> <td> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">At Completion: NE ---</td> <td style="width: 50%;"></td> </tr> </table> </td> </tr> </table>		Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">During: NE --- ▼</td> <td style="width: 50%;"></td> </tr> <tr> <td>At Completion: NE --- ▼</td> <td></td> </tr> <tr> <td>24 Hours: --- --- ▼</td> <td></td> </tr> </table>	During: NE --- ▼		At Completion: NE --- ▼		24 Hours: --- --- ▼		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">At Completion: NE ---</td> <td style="width: 50%;"></td> </tr> </table>	At Completion: NE ---	
Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)														
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">During: NE --- ▼</td> <td style="width: 50%;"></td> </tr> <tr> <td>At Completion: NE --- ▼</td> <td></td> </tr> <tr> <td>24 Hours: --- --- ▼</td> <td></td> </tr> </table>	During: NE --- ▼		At Completion: NE --- ▼		24 Hours: --- --- ▼		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">At Completion: NE ---</td> <td style="width: 50%;"></td> </tr> </table>	At Completion: NE ---							
During: NE --- ▼															
At Completion: NE --- ▼															
24 Hours: --- --- ▼															
At Completion: NE ---															
Termination Depth: 7.0 feet bgs	Date Completed: 3/23/2022														
Proposed Location: SWM	Logged By: CN														
Excavating Method: Test Pit Excavation	Contractor: Client														
Test Method: Visual Observation	Rig Type: CAT 420E														

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 0.8	TOPSOIL	10" Topsoil	Grass Fine Roots
			1.0	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 15% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0			
			3.0			
			4.0	4 - 7	As Above, Trace Cobbles and boulders	
			5.0			
			6.0			Bucket Ripping Weathered Material 6.0 fbgs to 7.0 fbgs
			7.0			
			8.0		Soil Profile Pit SPP-19 Terminated at a Depth of 7.0 Feet Below Ground Surface Due to Bucket Refusal Caused by Dense, Weathered Material	Bucket Refusal @ 7.0 fbgs
			9.0			
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			



RECORD OF SUBSURFACE EXPLORATION

Soil Profile Pit No.: **SPP-20**

Page 1 of 1

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01											
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School											
Surface Elevation: ± 677.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Water Depth Elevation</th> </tr> <tr> <th>(feet bgs) (feet)</th> <th></th> </tr> <tr> <td>During:</td> <td>5.5 671.5 ▼</td> </tr> <tr> <td>At Completion:</td> <td>5.5 671.5 ▼</td> </tr> <tr> <td>24 Hours:</td> <td>--- --- ▼</td> </tr> </table>		Water Depth Elevation		(feet bgs) (feet)		During:	5.5 671.5 ▼	At Completion:	5.5 671.5 ▼	24 Hours:	--- --- ▼
Water Depth Elevation													
(feet bgs) (feet)													
During:	5.5 671.5 ▼												
At Completion:	5.5 671.5 ▼												
24 Hours:	--- --- ▼												
Termination Depth: 7.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">Estimated Seasonal High</th> </tr> <tr> <th>Groundwater Depth Elevation</th> <th></th> </tr> <tr> <td>(feet bgs) (feet)</td> <td></td> </tr> <tr> <td>At Completion:</td> <td>4.7 672.3</td> </tr> </table>		Estimated Seasonal High		Groundwater Depth Elevation		(feet bgs) (feet)		At Completion:	4.7 672.3		
Estimated Seasonal High													
Groundwater Depth Elevation													
(feet bgs) (feet)													
At Completion:	4.7 672.3												
Proposed Location: SWM	Logged By: CN												
Excavating Method: Test Pit Excavation	Contractor: Client												
Test Method: Visual Observation	Rig Type: CAT 420E												

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 0.8	TOPSOIL	10" Topsoil	Grass Fine Roots
			1.0	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			2.0			
			3.0			
			4.0			
			4 - 4.7		As Above, Trace Cobbles and Boulders	
			5.0			
			4.7 - 5.5		As Above, <15MM Mottling	<15MM Mottling @ 56" bgs
			6.0			
			5.5 - 7.0		As Above, Wet	Water Seeping in Sidewalls @ 66" bgs Bucket Ripping Weathered Material 5.0 fbgs to 7.0 fbgs
			7.0			
			8.0		Soil Profile Pit SPP-20 Terminated at a Depth of 7.0 Feet Below Ground Surface Due to Bucket Refusal Caused by Dense, Weathered Material	
			9.0			
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			

NOTES: bgs = below ground surface, NA = Not Applicable, NE = Not Encountered, NS = Not Surveyed, P = Perched

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01									
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School									
Surface Elevation: ± 676.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Water Depth Elevation (feet bgs) (feet)</th> <th style="text-align: center;">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td style="text-align: center;">During: 3.0 673.0 ▼</td> <td></td> </tr> <tr> <td style="text-align: center;">At Completion: 3.0 673.0 ▼</td> <td></td> </tr> <tr> <td style="text-align: center;">24 Hours: --- --- ▼</td> <td></td> </tr> </table>		Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)	During: 3.0 673.0 ▼		At Completion: 3.0 673.0 ▼		24 Hours: --- --- ▼	
Water Depth Elevation (feet bgs) (feet)	Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)										
During: 3.0 673.0 ▼											
At Completion: 3.0 673.0 ▼											
24 Hours: --- --- ▼											
Termination Depth: 8.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">At Completion: 3.0 673.0</td> </tr> </table>		At Completion: 3.0 673.0							
At Completion: 3.0 673.0											
Proposed Location: SWM	Logged By: CN										
Excavating Method: Test Pit Excavation	Contractor: Client										
Test Method: Visual Observation	Rig Type: CAT 420E										

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 0.8	TOPSOIL	10" Topsoil	Grass Fine Roots
			1.0	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			3.0			
			3 - 5		As Above, <15MM Mottling, Wet	<15MM Mottling @ 36" bgs Water Seeping in Sidewalls @ 36" bgs
			5.0			
			5 - 8		As Above, Trace Cobbles and Boulders	Bucket Ripping Weathered Material 5.0 fbg to 8.0 fbg
			8.0			
			9.0			
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			
					Soil Profile Pit SPP-21 Terminated at a Depth of 8.0 Feet Below Ground Surface	

RECORD OF SUBSURFACE EXPLORATION

Project: Shrub Oak International School		WAI Project No.: GJ2118321.Y01					
Location: 3161 Stoney Street; Mohegan Lake, Westchester County, NY		Client: Shrub Oak International School					
Surface Elevation: ± 676.0 feet	Date Started: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Water Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td style="text-align: center;">During: 5.0 671.0 ▼</td> </tr> <tr> <td style="text-align: center;">At Completion: 5.0 671.0 ▼</td> </tr> <tr> <td style="text-align: center;">24 Hours: --- --- ▼</td> </tr> </table>		Water Depth Elevation (feet bgs) (feet)	During: 5.0 671.0 ▼	At Completion: 5.0 671.0 ▼	24 Hours: --- --- ▼
Water Depth Elevation (feet bgs) (feet)							
During: 5.0 671.0 ▼							
At Completion: 5.0 671.0 ▼							
24 Hours: --- --- ▼							
Termination Depth: 7.0 feet bgs	Date Completed: 3/23/2022	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)</th> </tr> <tr> <td style="text-align: center;">At Completion: 3.5 672.5</td> </tr> </table>		Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)	At Completion: 3.5 672.5		
Estimated Seasonal High Groundwater Depth Elevation (feet bgs) (feet)							
At Completion: 3.5 672.5							
Proposed Location: SWM	Logged By: CN						
Excavating Method: Test Pit Excavation	Contractor: Client						
Test Method: Visual Observation	Rig Type: CAT 420E						

SAMPLE INFORMATION			DEPTH	HORIZON	DESCRIPTION OF MATERIALS (Classification)	REMARKS
Depth (feet)	Number	Type	feet			
			0.0			
			0 - 1.3	TOPSOIL	16" Topsoil	Grass Fine to Medium Roots
			1.3 - 3.5	RESIDUAL	Brown (7.5YR 4/3) SANDY LOAM; 10% Gravel; Medium, Moderate, Granular to Crumb Structure; Moist; Loose; No Roots	
			3.5 - 5		As Above, <15MM Mottling	<15MM Mottling @ 42" bgs Immobile Boulder @ 45" bgs (>3' Diameter)
			5 - 7		As Above, Wet, Trace Cobbles and Boulders	Water Seeping in Sidewalls @ 60" bgs Bucket Ripping Weathered Material 5.0 fbs to 7.0 fbs
			7.0			
			8.0			
			9.0			
			10.0			
			11.0			
			12.0			
			13.0			
			14.0			
			15.0			
					Soil Profile Pit SPP-22 Terminated at a Depth of 7.0 Feet Below Ground Surface Due to Bucket Refusal Likely Caused by Dense Weathered Material	

APPENDIX B
Supplemental Information
(USCS, Terms & Symbols)

UNIFIED SOIL CLASSIFICATION SYSTEM

SOIL CLASSIFICATION CHART

MAJOR DIVISIONS			LETTER SYMBOL	TYPICAL DESCRIPTIONS
COARSE GRAINED SOILS	GRAVEL AND GRAVELLY SOILS	CLEAN GRAVELS (LITTLE OR NO FINES)	GW	WELL-GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES
		GRAVELS WITH FINES (APPRECIABLE AMOUNT OF FINES)	GP	POORLY-GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES
	MORE THAN 50% OF COARSE FRACTION <u>RETAINED</u> ON NO. 4 SIEVE	CLEAN SAND (LITTLE OR NO FINES)	GM	SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
		SANDS WITH FINES (APPRECIABLE AMOUNT OF FINES)	GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
	SAND AND SANDY SOILS	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES	SW	WELL-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
		POORLY-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES	SP	POORLY-GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
MORE THAN 50% OF MATERIAL IS <u>LARGER</u> THAN NO. 200 SIEVE SIZE	MORE THAN 50% OF COARSE FRACTION <u>PASSING</u> NO. 4 SIEVE	SILTY SANDS, SAND-SILT MIXTURES	SM	SILTY SANDS, SAND-SILT MIXTURES
		CLAYEY SANDS, SAND-CLAY MIXTURES	SC	CLAYEY SANDS, SAND-CLAY MIXTURES
FINE GRAINED SOILS	SILTS AND CLAYS	LIQUID LIMITS <u>LESS</u> THAN 50	ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY
		LIQUID LIMITS <u>GREATER</u> THAN 50	CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
	SILTS AND CLAYS	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY	OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY
		INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SAND OR SILTY SOILS	MH	INORGANIC SILTS, MICACEOUS OR DIATOMACEOUS FINE SAND OR SILTY SOILS
		INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS	CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS	OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS		
HIGHLY ORGANIC SOILS			PT	PEAT, HUMUS, SWAMP SOILS WITH HIGH ORGANIC CONTENTS

NOTE: DUAL SYMBOLS ARE USED TO INDICATE BORDERLINE SOIL CLASSIFICATIONS FOR SAMPLES WITH 5% TO 12% FINES

GRADATION*

% FINER BY WEIGHT

TRACE..... 1% TO 10%
 LITTLE..... 10% TO 20%
 SOME..... 20% TO 35%
 AND..... 35% TO 50%

COMPACTNESS*

Sand and/or Gravel

RELATIVE DENSITY

LOOSE..... 0% TO 40%
 MEDIUM DENSE.... 40% TO 70%
 DENSE..... 70% TO 90%
 VERY DENSE..... 90% TO 100%

CONSISTENCY*

Clay and/or Silt

RANGE OF SHEARING STRENGTH IN POUNDS PER SQUARE FOOT

VERY SOFT..... LESS THAN 250
 SOFT..... 250 TO 500
 MEDIUM..... 500 TO 1000
 STIFF..... 1000 TO 2000
 VERY STIFF..... 2000 TO 4000
 HARD..... GREATER THAN 4000

* VALUES ARE FROM LABORATORY OR FIELD TEST DATA, WHERE APPLICABLE. WHEN NO TESTING WAS PERFORMED, VALUES ARE ESTIMATED.

L:\Geotechnical Forms and References\Reports\USCSTRMSSYM NJ.docx

Other Office Locations:

CHALFONT, PA
215.712.2700

SOUTHBOROUGH, MA
508.485.0755

ROCKY HILL, CT
860.726.7889

WALL, NJ
732.592.2101

PHILADELPHIA, PA
215.848.2323

BEDFORD, NH
603.514.2230

TAMPA, FL
813.851.0690

GEOTECHNICAL TERMS AND SYMBOLS

SAMPLE IDENTIFICATION

The Unified Soil Classification System is used to identify the soil unless otherwise noted.

SOIL PROPERTY SYMBOLS

- N: Standard Penetration Value: Blows per ft. of a 140 lb. hammer falling 30" on a 2" O.D. split-spoon.
 Qu: Unconfined compressive strength, TSF.
 Qp: Penetrometer value, unconfined compressive strength, TSF.
 Mc: Moisture content, %.
 LL: Liquid limit, %.
 PI: Plasticity index, %.
 δd: Natural dry density, PCF.
 ▽: Apparent groundwater level at time noted after completion of boring.

DRILLING AND SAMPLING SYMBOLS

- NE: Not Encountered (Groundwater was not encountered).
 SS: Split-Spoon - 1 3/8" I.D., 2" O.D., except where noted.
 ST: Shelby Tube - 3" O.D., except where noted.
 AU: Auger Sample.
 OB: Diamond Bit.
 CB: Carbide Bit
 WS: Washed Sample.

RELATIVE DENSITY AND CONSISTENCY CLASSIFICATION

<u>Term (Non-Cohesive Soils)</u>	<u>Standard Penetration Resistance</u>
Very Loose	0-4
Loose	4-10
Medium Dense	10-30
Dense	30-50
Very Dense	Over 50

<u>Term (Cohesive Soils)</u>	<u>Qu (TSF)</u>
Very Soft	0 - 0.25
Soft	0.25 - 0.50
Firm (Medium)	0.50 - 1.00
Stiff	1.00 - 2.00
Very Stiff	2.00 - 4.00
Hard	4.00+

PARTICLE SIZE

Boulders	8 in.+	Coarse Sand	5mm-0.6mm	Silt	0.074mm-0.005mm
Cobbles	8 in.-3 in.	Medium Sand	0.6mm-0.2mm	Clay	-0.005mm
Gravel	3 in.-5mm	Fine Sand	0.2mm-0.074mm		

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Other Office Locations:

CHALFONT, PA 215.712.2700	SOUTHBOROUGH, MA 508.485.0755	ROCKY HILL, CT 860.726.7889	WALL, NJ 732.592.2101	PHILADELPHIA, PA 215.848.2323	BEDFORD, NH 603.514.2230	TAMPA, FL 813.851.0690
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APPENDIX D3

CALCULATIONS

PHASE 2 WATER QUALITY VOLUME (WQV)
MINIMUM RRV BY DRAINAGE AREA

DTS Provident Design Engineering LLP

Project: Shrub Oak International School - Phase 2
Stoney Street, Shrub Oak, Town of Yorktown, NY

Project No.: 824.13

Subject: Water Quality Volume
NYSDEC Methodology
Drainage Area: P2-1

Date: 5/12/2022

Comp. By: CSH

Chckd. By: MJS & GMS

Water Quality Volume, WQv

$$WQv = \frac{(P)(Rv)(A)}{12}$$

Where:

- P = 90% Rainfall Event Number (Figure 4.1, NYSDEC Design Manual)
- A = Site area in acres (onsite) = 184,018 S.F.
- Ai = Site impervious area in acres (onsite) = 96,375 S.F.
- I = Percent of impervious cover, proposed
- Rv = $0.05 + 0.009 * I$
- WQv = Required water quality volume (acre-feet)

Parameter						
P (in.)	Ai (acres)	A (acres)	I (%)	Rv	Water Quality Volume	
					(Acre-ft)	(Cu. Ft.)
1.45	2.21	4.22	52.4	0.52	0.266	11,593

Peak Water Quality Discharge Rate

Where:

- Runoff (Qa) = WQv/Area
- CN = $1000/[10 + 5P + 10Qa - 10(Qa^2 + 1.25*Qa*P)^{1/2}]$
- Ia = $200/CN - 2$
- Tc = Time of Concentration
- qu = From Fig. 15 - Peak Discharge Curves for NRCC Distribution - NY EFH-2 Supplement 2
- Qwq = $qu*A*Qa$

Runoff (Qa) (in.)	CN	Ia	Ia/P	Tc (hrs)	qu (cfs/ac/in)	qu (csm/in)	Qwq (cfs)
0.76	92.0	0.175	0.121	0.10	1.49	954	4.76

Reference: NYSDEC Stormwater Management Design Manual

DTS Provident Design Engineering LLP

Project: Shrub Oak International School - Phase 2
Stoney Street, Shrub Oak, Town of Yorktown, NY

Project No.: 824.13

Subject: Water Quality Volume
NYSDEC Methodology
Drainage Area: P2-2

Date: 5/12/2022

Comp. By: CSH

Chckd. By: MJS & GMS

Water Quality Volume, WQv

$$WQv = \frac{(P)(Rv)(A)}{12}$$

Where:

- P = 90% Rainfall Event Number (Figure 4.1, NYSDEC Design Manual)
- A = Site area in acres (onsite) = 20,038 S.F.
- Ai = Site impervious area in acres (onsite) = 9,148 S.F.
- I = Percent of impervious cover, proposed
- Rv = $0.05 + 0.009 * I$
- WQv = Required water quality volume (acre-feet)

Parameter						
P (in.)	Ai (acres)	A (acres)	I (%)	Rv	Water Quality Volume	
					(Acre-ft)	(Cu. Ft.)
1.45	0.21	0.46	45.7	0.46	0.026	1,100

Peak Water Quality Discharge Rate

Where:

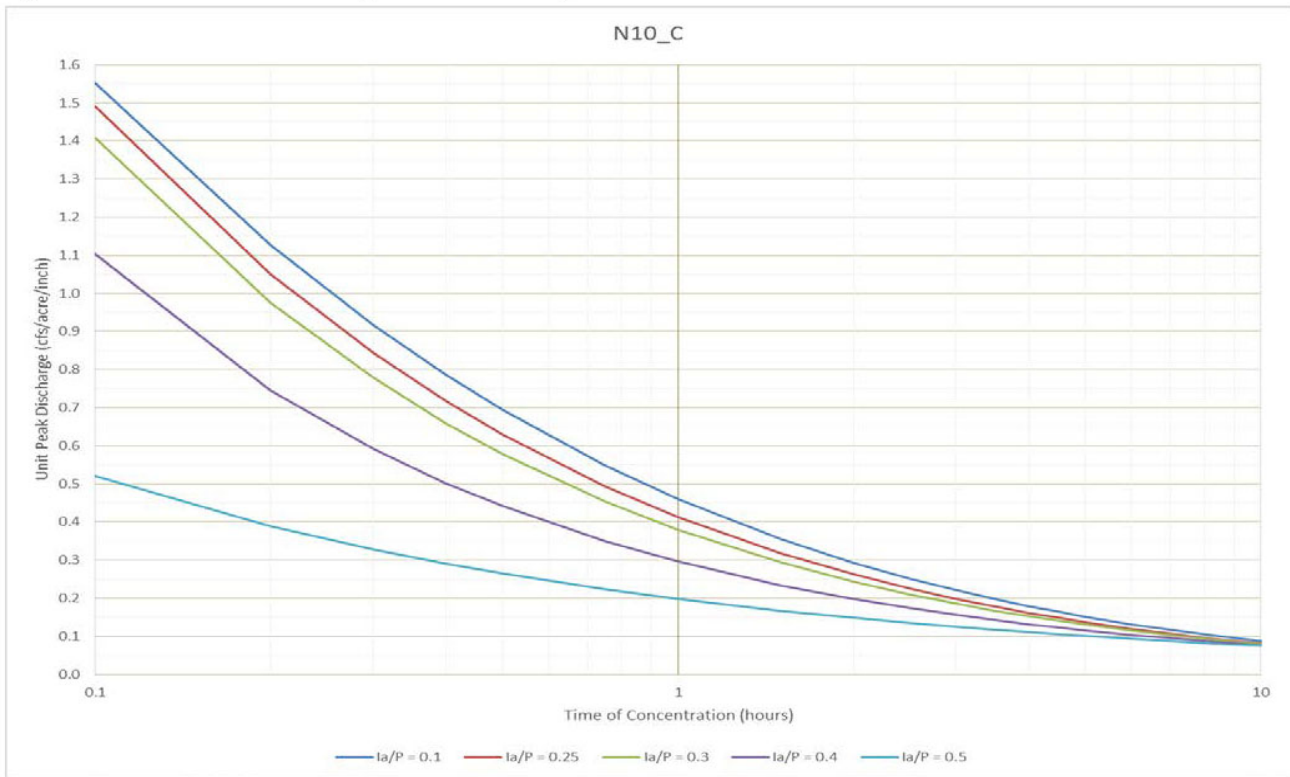
- Runoff (Qa) = WQv/Area
- CN = $1000/[10 + 5P + 10Qa - 10(Qa^2 + 1.25*Qa*P)^{1/2}]$
- Ia = $200/CN - 2$
- Tc = Time of Concentration
- qu = From Fig. 15 - Peak Discharge Curves for NRCC Distribution - NY EFH-2 Supplement 2
- Qwq = $qu*A*Qa$

Runoff (Qa) (in.)	CN	Ia	Ia/P	Tc (hrs)	qu (cfs/ac/in)	qu (csm/in)	Qwq (cfs)
0.66	90.3	0.216	0.149	0.10	1.55	992	0.47

Reference: NYSDEC Stormwater Management Design Manual

DTS Provident Design Engineering LLP

Figure 15: EFH-2 Peak Discharge Curves for N10_C



N10_C Rainfall Distribution Coefficients Database

la/p	Coeff 1	Coeff 2	Coeff 3
0.1	2.4686	-0.623	-0.0944
0.25	2.4218	-0.6325	-0.0746
0.3	2.3858	-0.624	-0.0551
0.4	2.2776	-0.5792	-0.0077
0.5	2.1034	-0.4198	-0.0001

Ref: New York Engineering Field Handbook-2 Supplement Number 2 (August 24, 2016)

Multiply Unit Peak Discharge (cfs/acre/inch) by 640 acre/mi² for UPD (cfs/mi²/inch)

DTS Provident Design Engineering LLP

Project: Shrub Oak International School - Phase 2
Stoney Street, Shrub Oak, Town of Yorktown, NY

Project No.: 824.13

Date: 5/12/2022

Subject: Minimum (Target) Runoff Reduction Volume (RRv)_{min}
Phase 2 Drainage Areas

Comp. By: CSH

Chkd. By: MJS/GMS

Minimum Runoff Reduction Volume

$$(RRv)_{min} = \frac{(P_{1yr})(Rv^*)(Aic)(S)}{12}$$

Where:

- P = 90% Rainfall Value = 1.45 in
- (Aic) = Total area of new impervious cover
- Rv* = 0.05 + 0.009 * I where I is 100% impervious = 0.95
- S = Hydrologic Soil Group (HSG) Specific Reduction Factor (S)

Drainage Area	Soil Type	S	Proposed Impervious Area (acres)	Existing Impervious Area (acres)	Aic ⁽¹⁾ (acres)	(Aic)(S)	Total Aic ⁽¹⁾ (acres)	Weighted S	Total (Aic)(S) ⁽²⁾	Minimum RRV ⁽¹⁾	
										(Acre-ft)	(Cu. Ft.)
2-1	A	0.55	0.00	0.00	0.00	0.00	1.91	0.30	0.57	0.066	2,865
	B	0.40	0.00	0.00	0.00	0.00					
	C	0.30	2.21	0.30	1.91	0.57					
	D	0.20	0.00	0.00	0.00	0.00					
2-2	A	0.55	0.00	0.00	0.00	0.00	0.21	0.30	0.06	0.007	315
	B	0.40	0.00	0.00	0.00	0.00					
	C	0.30	0.21	0.00	0.21	0.06					
	D	0.20	0.00	0.00	0.00	0.00					
Totals			2.42	0.30	2.12	0.64	2.12	-	0.64	0.073	3,180

Notes:

- (1) Negative Values for the subarea denote a reduction (i.e. NO increase) in impervious area from existing conditions to proposed conditions.
- (2) Negative Values for the subarea default to zero, i.e. no (RRv)_{min} required for the subarea.

APPENDIX D4

SIZING CALCULATIONS
BIORETENTION BASIN W/RRV CAPACITY
VEGETATIVE SWALE
SMP WQV TREATMENT PROVIDED

DTS Provident Design Engineering LLP

Project: Shrub Oak International School - Phase 2
Stoney Street, Shrub Oak
Town of Yorktown, NY

Project No.: 824.13

Date: 5/12/2022

Subject: Bioretention Basin Design - Post-Dev. Area 2-1
NYSDEC Methodolgy

Comp. By: CSH

Chkd. By: MJS & GMS

Runoff Reduction Volume (RRv)

$$(RRv)_{min} = \frac{(P)(Rv^*)(Ai)}{12}$$

Where:

- P = 90% Rainfall Event = 1.45 in.
- Ai = (S)(Aic) impervious cover targeted for runoff reduction
- (Aic) = Total area of new impervious cover
- Rv* = 0.05 + 0.009 * I where I is 100% impervious
- S = Hydrologic Soil Group (HSG) Specific Reduction Factor (S)
 - S A soil = 0.55
 - S B soil = 0.40
 - S C soil = 0.30
 - S D soil = 0.20

New Imp. Area (Aic) - Phases 2 & 3 Parking, Helipad & Access Drive (DA 2-1) = 1.90 acre (C soils) 0.30

Min. RRv					RRv			
P (in.)	Rv	Aic (acres)	S	Ai	Min. (Ac-ft)	SMP Credit	Target (Ac-ft)	(Cu. Ft.)
					1.45	0.95	1.90	0.30

A. Pre-Treatment Design

1. Required Pre-Treatment Volume

Min. Regd.

- Pv = 25% WQv ft³
- RRv = 7,143 ft³
- Pv = 1,786 ft³

2. Pre-Treatment Volume Provided (Forebay)

- D = 1.0 feet, active depth
 - AC_b = 1,854 sq. feet, bottom contour (Elev. 656.5)
 - AC_t = 2,586 sq. feet, top contour (Elev. 657.5)
 - Vs = (AC_b+AC_t)/2*D
 - Vs = 2,220 ft³ > Pv = 1,786 ft³
- | North FB | South FB |
|----------|----------|
| 526 | 1328 |
| 822 | 1764 |

DTS Provident Design Engineering LLP

Project: Shrub Oak International School - Phase 2
 Stoney Street, Shrub Oak
 Town of Yorktown, NY

Subject: Bioretention Basin Design - Post-Dev. Area 2-1
 NYSDEC Methodolgy

Project No.: 824.13

Date: 5/12/2022

Comp. By: CSH
Chkd. By: MJS & GMS

B. Treatment Design

1. Required Filter Bed Surface Area for Target RRv

$$A_f = \frac{(RRv)(df)}{[(k)(hf+df)(tf)]} = \text{Surface Area of Treatment Cell, s.f.}$$

Where:

- RRv = Target Runoff Reduction volume (cu.-feet)
- df = Filter bed depth (feet)
- k = Coefficient of permeability (ft/day)
- hf = Average height of water above filter bed (feet)
- tf = Design filter bed drain time (days)

RRv ft ³	df	k	hf	tf days	Af Req'd ft ²	Af Provided ft ²	Gross RRv ft ³	Net RRv ft ³
7,143	2.50	0.5	0.25	2.00	6,494	7,464	8,210	3,284

2. Filter Bed Surface Area Provided

$$AC_f = 7,464 \text{ sq. feet, top of filter bed contour (Elev. 656.5)}$$

3. Volume of Storage above Filter Bed

$$V_b = (AC_f + AC_s) / 2 * D$$

$$AC_s = 8,223 \text{ sq. feet, top of storage contour (Elev. 657.00)}$$

$$d = 0.50 \text{ feet, depth of storage above filter bed.}$$

$$V_b = 3,922 \text{ ft}^3$$

C. Treatment Volume Provided

1. Min. Required Temporary Storage Volume

$$V_{min} = 75\% \text{ WQv } \text{ft}^3$$

$$V_{min} = 5,357 \text{ ft}^3$$

2. Total Temporary Storage Volume Provided

$$\begin{array}{l} \text{Volume of Forebay, } V_f = 2,220 \text{ ft}^3 \\ \text{Volume of Storage above Filter Bed, } V_b = 3,922 \text{ ft}^3 \\ \hline \text{Total Treatment Volume} = 6,142 \text{ ft}^3 > V_{min} = 5,357 \text{ ft}^3 \end{array}$$

Vegetated Swale

Worksheet

Design Point:		Enter Site Data For Drainage Area to be Treated by Practice					
Catchment Number	Total Area (Acres)	Impervious Area (Acres)	Percent Impervious %	Rv	WQv (ft ³)	Precipitation (in)	Description
2	0.38	0.21	0.55	0.55	1094.81	1.45	

Enter Soil Infiltration Rate		
Soil Infiltration Rate		<i>in/hour</i>
Calculate Peak WQv		
Modified CN	93	<i>Note: Value is modified curve number using Appendix B.2 - Water Quality Peak Flow Calculation of the New York State Stormwater Management Design Manual</i>
la	0.161	
la/P	0.111	
Tc (hours)	0.10	<i>practice</i>
qu	992	<i>Note: qu value is taken from TR-55 (either Exhibit 4-II (Type II Rainfall Distribution) or Exhibit 4-III (Type III Rainfall Distribution) depending on the location in the State</i>
Qp	0.47	<i>cfs</i>
Q10	1.55	<i>cfs</i> From TR-55

Enter Swale Dimensions			
Bottom Width	3	<i>ft</i>	<i>Minimum of 2 ft but no greater than 6 ft</i>
Side Slopes	3	:1	<i>Okay</i>
Channel Height	1	<i>ft</i>	
Flow Depth	0.26	<i>ft</i>	<i>Okay</i>
Longitudinal Slope	1.8%		<i>Between .5% and 4% (1.5-2.5% Preferred)</i>
Swale Length	280.00	<i>ft</i>	
Mannings Coef.	0.15		<i>Use variable n values corresponding to flow depths (from .15 down to .03) (APPENDIX L)</i>

Calculated Swale Dimensions					
Top Width	4.56		Q	0.5	
Area	0.98	<i>ft²</i>	Velocity	0.47	<i>fps</i>
Wetted Perimeter	4.64	<i>ft</i>	Detention Time	9.86	<i>minutes</i>

Determine Required Length Of Channel			
Required Length	280.00	<i>ft</i>	
Length Provided	290.00	<i>ft</i>	
Q10 Velocity	0.75	<i>fps</i>	
Q10 flow depth	5.60	<i>inches</i>	
Q10 freeboard	6.40	<i>inches</i>	

Determine Runoff Reduction			
Soil Group	Modified C	Percent Reduction	0.15
Is the Vegetated Swale contributing flow to another practice?		Yes	Select Practice Other/Standard SMP
Runoff Reduction		164	ft³
Portion of WQv not reduced that must be directed to a standard SMP		931	ft³

DTS Provident Design Engineering, LLP

Project: Shrub Oak International School - Phase 2

Project No.: 824.13

Subject: Vegetated Swale - DA P2-2 - Trapezoidal Channel
Hydraulics - Manning's Equation

Date: 4/26/2022

Comp. By: CSH

Chckd. By: MJS

Side Slope = 3 : 1
Manning's N = 0.150 Grass, Some Weeds (NYSSMDM Appendix L)

Channel No.	Bottom Width ft.	Depth ft.	Slope ft/ft	Area ft	P	R	Q cfs	V fps
A - WQF	3	0.26	0.018	1.0	4.66	0.21	0.47	0.47

Where:

- A = Area, ft
- P = Wetted Perimeter
- R = Hydraulic Radius
- Q = Capacity, cfs
- V = Velocity, fps

Note: Designer to check permissible velocities for soil and vegetative cover types

DTS Provident Design Engineering, LLP

Project: Shrub Oak International School - Phase 2

Project No.: 824.13

Subject: Vegetated Swale - DA P2-2 - Trapezoidal Channel
Hydraulics - Manning's Equation

Date: 4/26/2022

Comp. By: CSH

Chckd. By: MJS

Side Slope = 3 : 1
Manning's N = 0.130 Grass, Some Weeds (NYSSMDM Appendix L)

Channel No.	Bottom Width ft.	Depth ft.	Slope ft/ft	Area ft	P	R	Q cfs	V fps
A - 10 Yr	3	0.47	0.018	2.1	5.97	0.35	1.56	0.75

Where:

- A = Area, ft
- P = Wetted Perimeter
- R = Hydraulic Radius
- Q = Capacity, cfs
- V = Velocity, fps

Note: Designer to check permissible velocities for soil and vegetative cover types

Phase 2_05-12-22

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Summary for Pond 8P: Pocket Pond No. 1

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 0.56" for 1-yr event
 Inflow = 3.79 cfs @ 12.04 hrs, Volume= 0.199 af
 Outflow = 1.29 cfs @ 12.11 hrs, Volume= 0.194 af, Atten= 66%, Lag= 4.2 min
 Primary = 1.29 cfs @ 12.11 hrs, Volume= 0.194 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Starting Elev= 641.40' Surf.Area= 4,917 sf Storage= 7,914 cf ← Permanent pool for WQv

Peak Elev= 641.60' @ 12.11 hrs Surf.Area= 5,184 sf Storage= 8,903 cf (988 cf above start)

Plug-Flow detention time= 688.6 min calculated for 0.012 af (6% of inflow)

Center-of-Mass det. time= 12.5 min (1,048.4 - 1,035.9)

Volume	Invert	Avail.Storage	Storage Description			
#1	639.00'	25,479 cf	Custom Stage Data (Irregular) Listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)	
639.00	1,752	418.1	0	0	1,752	
640.00	3,030	435.7	2,362	2,362	3,022	
641.00	4,394	454.6	3,691	6,053	4,433	
642.00	5,757	473.4	5,060	11,113	5,897	
644.00	8,710	511.1	14,365	25,479	9,010	

Device	Routing	Invert	Outlet Devices
#1	Primary	634.40'	18.0" Round Outlet Pipe - N12 HDPE L= 56.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 634.40' / 631.50' S= 0.0518 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	641.40'	30.0" Horiz. Outlet Riser w/Dome Grate X 0.58 C= 0.600 in 30.0" Grate (58% open area) Limited to weir flow at low heads

Primary OutFlow Max=1.22 cfs @ 12.11 hrs HW=641.59' (Free Discharge)

↑1=Outlet Pipe - N12 HDPE (Passes 1.22 cfs of 21.59 cfs potential flow)

↑2=Outlet Riser w/Dome Grate (Weir Controls 1.22 cfs @ 0.82 fps)

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Summary for Pond 10P: Pocket Pond No. 2

Inflow Area = 0.460 ac, 45.65% Impervious, Inflow Depth > 1.38" for 1-yr event
 Inflow = 0.69 cfs @ 12.10 hrs, Volume= 0.053 af
 Outflow = 0.28 cfs @ 12.34 hrs, Volume= 0.051 af, Atten= 60%, Lag= 14.7 min
 Primary = 0.28 cfs @ 12.34 hrs, Volume= 0.051 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Starting Elev= 663.00' Surf.Area= 738 sf Storage= 707 cf ← Main cell pool for WQv
 Peak Elev= 663.61' @ 12.34 hrs Surf.Area= 1,004 sf Storage= 1,232 cf (525 cf above start)

Plug-Flow detention time= 211.2 min calculated for 0.035 af (67% of inflow)
 Center-of-Mass det. time= 25.3 min (875.8 - 850.4)

Volume	Invert	Avail.Storage	Storage Description
#1	663.00'	1,073 cf	Forebay - Custom Stage Data (Irregular) listed below (Recalc)
#2	661.00'	4,249 cf	Main Cell - Custom Stage Data (Irregular) listed below (Recalc)
		5,322 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
663.00	91	34.8	0	0	91
664.00	243	57.7	161	161	266
664.50	344	67.2	146	307	365
665.00	445	76.6	197	504	479
666.00	703	95.4	569	1,073	750

Forebay pool for WQv

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
661.00	133	44.4	0	0	133
662.00	333	71.4	225	225	388
663.00	647	96.2	481	707	730
664.00	961	121.0	799	1,506	1,172
664.50	1,171	130.4	532	2,038	1,370
666.00	1,800	158.7	2,211	4,249	2,056

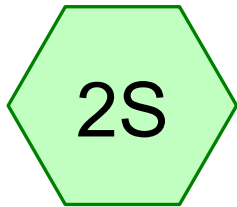
Device	Routing	Invert	Outlet Devices
#1	Primary	660.50'	8.0" Round Outlet Pipe L= 92.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 660.50' / 652.70' S= 0.0848 ' S= 0.0848 ' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.35 sf
#2	Device 1	663.00'	4.0" Vert. Riser Orifice C= 0.600
#3	Device 1	664.50'	10.0" Horiz. Outlet Riser w/Dome Grate C= 0.600 in 10.0" Grate (100% open area) Limited to weir flow at low heads

Primary OutFlow Max=0.28 cfs @ 12.34 hrs HW=663.61' (Free Discharge)

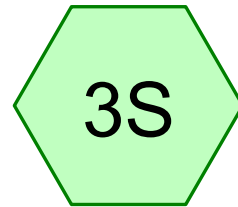
- 1=Outlet Pipe (Passes 0.28 cfs of 2.80 cfs potential flow)
- 2=Riser Orifice (Orifice Controls 0.28 cfs @ 3.19 fps)
- 3=Outlet Riser w/Dome Grate (Controls 0.00 cfs)

APPENDIX D5

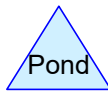
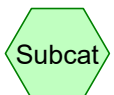
HYDROCAD REPORT – PRE-DEVELOPMENT CONDITIONS



E2-1



E2-2



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Summary for Subcatchment 2S: E2-1

Runoff = 4.53 cfs @ 12.03 hrs, Volume= 0.299 af, Depth> 0.85"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 1-yr Rainfall=2.75"

Area (sf)	CN	Description
170,950	74	>75% Grass cover, Good, HSG C
* 13,068	98	Paved roads, HSG C
184,018	76	Weighted Average
170,950	74	92.90% Pervious Area
13,068	98	7.10% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	21	0.0476	1.46		Sheet Flow, Reach A-B Smooth surfaces n= 0.011 P2= 3.36"
0.3	22	0.0450	1.44		Sheet Flow, Reach B-C Smooth surfaces n= 0.011 P2= 3.36"
0.4	42	0.0714	1.87		Shallow Concentrated Flow, Reach C-D Short Grass Pasture Kv= 7.0 fps
0.8	77	0.0470	1.52		Shallow Concentrated Flow, Reach D-E Short Grass Pasture Kv= 7.0 fps
0.5	48	0.0625	1.75		Shallow Concentrated Flow, Reach E-F Short Grass Pasture Kv= 7.0 fps
2.2	240	0.0667	1.81		Shallow Concentrated Flow, Reach F-G Short Grass Pasture Kv= 7.0 fps
0.2	34	0.1180	2.40		Shallow Concentrated Flow, Reach G-H Short Grass Pasture Kv= 7.0 fps
0.2	29	0.1030	2.25		Shallow Concentrated Flow, Reach H-I Short Grass Pasture Kv= 7.0 fps
4.8	513	Total			

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Summary for Subcatchment 3S: E2-2

Runoff = 0.41 cfs @ 12.05 hrs, Volume= 0.029 af, Depth> 0.75"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 1-yr Rainfall=2.75"

Area (sf)	CN	Description
20,038	74	>75% Grass cover, Good, HSG C
20,038	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	7	0.0260	0.11		Sheet Flow, Reach A-B Grass: Short n= 0.150 P2= 3.36"
3.0	30	0.0330	0.17		Sheet Flow, Reach B-C Grass: Short n= 0.150 P2= 3.36"
1.0	82	0.0370	1.35		Shallow Concentrated Flow, Reach C-D Short Grass Pasture Kv= 7.0 fps
0.8	56	0.0270	1.15		Shallow Concentrated Flow, Reach D-E Short Grass Pasture Kv= 7.0 fps
5.8	175	Total			

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Summary for Subcatchment 2S: E2-1

Runoff = 12.80 cfs @ 12.02 hrs, Volume= 0.912 af, Depth> 2.59"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 10-yr Rainfall=5.07"

Area (sf)	CN	Description
170,950	74	>75% Grass cover, Good, HSG C
* 13,068	98	Paved roads, HSG C
184,018	76	Weighted Average
170,950	74	92.90% Pervious Area
13,068	98	7.10% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	21	0.0476	1.46		Sheet Flow, Reach A-B Smooth surfaces n= 0.011 P2= 3.36"
0.3	22	0.0450	1.44		Sheet Flow, Reach B-C Smooth surfaces n= 0.011 P2= 3.36"
0.4	42	0.0714	1.87		Shallow Concentrated Flow, Reach C-D Short Grass Pasture Kv= 7.0 fps
0.8	77	0.0470	1.52		Shallow Concentrated Flow, Reach D-E Short Grass Pasture Kv= 7.0 fps
0.5	48	0.0625	1.75		Shallow Concentrated Flow, Reach E-F Short Grass Pasture Kv= 7.0 fps
2.2	240	0.0667	1.81		Shallow Concentrated Flow, Reach F-G Short Grass Pasture Kv= 7.0 fps
0.2	34	0.1180	2.40		Shallow Concentrated Flow, Reach G-H Short Grass Pasture Kv= 7.0 fps
0.2	29	0.1030	2.25		Shallow Concentrated Flow, Reach H-I Short Grass Pasture Kv= 7.0 fps
4.8	513	Total			

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Summary for Subcatchment 3S: E2-2

Runoff = 1.25 cfs @ 12.04 hrs, Volume= 0.093 af, Depth> 2.42"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 10-yr Rainfall=5.07"

Area (sf)	CN	Description
20,038	74	>75% Grass cover, Good, HSG C
20,038	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	7	0.0260	0.11		Sheet Flow, Reach A-B Grass: Short n= 0.150 P2= 3.36"
3.0	30	0.0330	0.17		Sheet Flow, Reach B-C Grass: Short n= 0.150 P2= 3.36"
1.0	82	0.0370	1.35		Shallow Concentrated Flow, Reach C-D Short Grass Pasture Kv= 7.0 fps
0.8	56	0.0270	1.15		Shallow Concentrated Flow, Reach D-E Short Grass Pasture Kv= 7.0 fps
5.8	175	Total			

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Summary for Subcatchment 2S: E2-1

Runoff = 26.54 cfs @ 12.02 hrs, Volume= 2.199 af, Depth> 6.25"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 100-yr Rainfall=9.19"

Area (sf)	CN	Description
170,950	74	>75% Grass cover, Good, HSG C
* 13,068	98	Paved roads, HSG C
184,018	76	Weighted Average
170,950	74	92.90% Pervious Area
13,068	98	7.10% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	21	0.0476	1.46		Sheet Flow, Reach A-B Smooth surfaces n= 0.011 P2= 3.36"
0.3	22	0.0450	1.44		Sheet Flow, Reach B-C Smooth surfaces n= 0.011 P2= 3.36"
0.4	42	0.0714	1.87		Shallow Concentrated Flow, Reach C-D Short Grass Pasture Kv= 7.0 fps
0.8	77	0.0470	1.52		Shallow Concentrated Flow, Reach D-E Short Grass Pasture Kv= 7.0 fps
0.5	48	0.0625	1.75		Shallow Concentrated Flow, Reach E-F Short Grass Pasture Kv= 7.0 fps
2.2	240	0.0667	1.81		Shallow Concentrated Flow, Reach F-G Short Grass Pasture Kv= 7.0 fps
0.2	34	0.1180	2.40		Shallow Concentrated Flow, Reach G-H Short Grass Pasture Kv= 7.0 fps
0.2	29	0.1030	2.25		Shallow Concentrated Flow, Reach H-I Short Grass Pasture Kv= 7.0 fps
4.8	513	Total			

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Summary for Subcatchment 3S: E2-2

Runoff = 2.68 cfs @ 12.04 hrs, Volume= 0.230 af, Depth> 5.99"

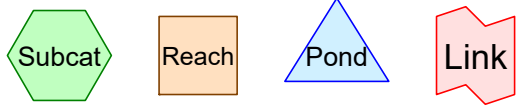
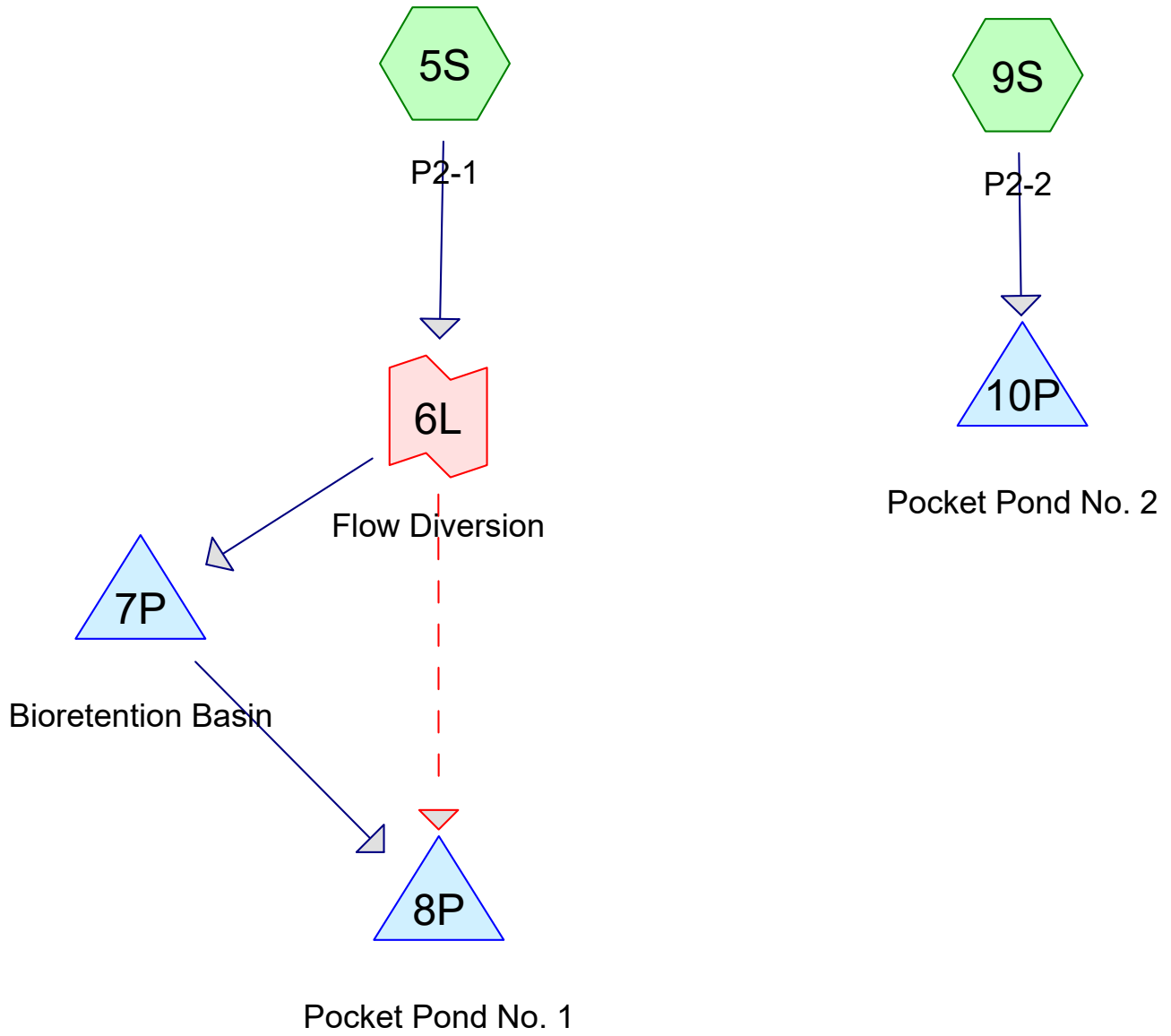
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 100-yr Rainfall=9.19"

Area (sf)	CN	Description
20,038	74	>75% Grass cover, Good, HSG C
20,038	74	100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0	7	0.0260	0.11		Sheet Flow, Reach A-B Grass: Short n= 0.150 P2= 3.36"
3.0	30	0.0330	0.17		Sheet Flow, Reach B-C Grass: Short n= 0.150 P2= 3.36"
1.0	82	0.0370	1.35		Shallow Concentrated Flow, Reach C-D Short Grass Pasture Kv= 7.0 fps
0.8	56	0.0270	1.15		Shallow Concentrated Flow, Reach D-E Short Grass Pasture Kv= 7.0 fps
5.8	175	Total			

APPENDIX D6

HYDROCAD REPORT – POST-DEVELOPMENT CONDITIONS



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Page 2

Summary for Subcatchment 5S: P2-1

Runoff = 8.55 cfs @ 12.04 hrs, Volume= 0.535 af, Depth> 1.52"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 1-yr Rainfall=2.75"

Area (sf)	CN	Description
96,375	98	Paved parking, HSG C
87,643	74	>75% Grass cover, Good, HSG C
184,018	87	Weighted Average
87,643	74	47.63% Pervious Area
96,375	98	52.37% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

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Page 3

Summary for Link 6L: Flow Diversion

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 1.52" for 1-yr event
Inflow = 8.55 cfs @ 12.04 hrs, Volume= 0.535 af
Primary = 4.76 cfs @ 12.00 hrs, Volume= 0.504 af, Atten= 44%, Lag= 0.0 min
Secondary = 3.79 cfs @ 12.04 hrs, Volume= 0.032 af

Primary outflow = Inflow below 4.76 cfs, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Phase 2_05-12-22

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Summary for Pond 7P: Bioretention Basin

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 1.43" for 1-yr event
 Inflow = 4.76 cfs @ 12.00 hrs, Volume= 0.504 af
 Outflow = 0.32 cfs @ 14.98 hrs, Volume= 0.167 af, Atten= 93%, Lag= 179.0 min
 Primary = 0.32 cfs @ 14.98 hrs, Volume= 0.167 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 657.07' @ 14.98 hrs Surf.Area= 8,325 sf Storage= 14,933 cf

Plug-Flow detention time= 405.3 min calculated for 0.167 af (33% of inflow)
 Center-of-Mass det. time= 249.5 min (1,095.1 - 845.6)

Volume	Invert	Avail.Storage	Storage Description			
#1	654.00'	23,364 cf	Custom Stage Data - In & Above Media (Irregular) listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Voids (%)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
654.00	7,464	501.0	0.0	0	0	7,464
655.00	7,464	501.0	45.0	3,359	3,359	7,965
656.00	7,464	501.0	45.0	3,359	6,718	8,466
656.50	7,464	501.0	100.0	3,732	10,450	8,717
657.00	8,223	510.5	100.0	3,920	14,370	9,522
658.00	9,789	529.3	100.0	8,995	23,364	11,162

Device	Routing	Invert	Outlet Devices
#1	Device 2	654.00'	1.000 in/hr Exfiltration over Surface area from 654.00' - 657.00' Excluded Surface area = 7,464 sf Phase-In= 0.01'
#2	Primary	652.00'	8.0" Round Overflow Discharge Pipes - HDPE X 2.00 L= 57.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 652.00' / 643.00' S= 0.1579 ' ' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.35 sf
#3	Device 2	657.00'	10.0" Horiz. Overflow Inlets w/Dome Grates X 2.00 C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=0.32 cfs @ 14.98 hrs HW=657.07' TW=641.47' (Dynamic Tailwater)

↑ **2=Overflow Discharge Pipes - HDPE** (Passes 0.32 cfs of 7.31 cfs potential flow)

↑ **1=Exfiltration** (Exfiltration Controls 0.02 cfs)

↑ **3=Overflow Inlets w/Dome Grates** (Weir Controls 0.30 cfs @ 0.85 fps)

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Summary for Pond 8P: Pocket Pond No. 1

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 0.56" for 1-yr event
 Inflow = 3.79 cfs @ 12.04 hrs, Volume= 0.199 af
 Outflow = 1.29 cfs @ 12.11 hrs, Volume= 0.194 af, Atten= 66%, Lag= 4.2 min
 Primary = 1.29 cfs @ 12.11 hrs, Volume= 0.194 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Starting Elev= 641.40' Surf.Area= 4,917 sf Storage= 7,914 cf
 Peak Elev= 641.60' @ 12.11 hrs Surf.Area= 5,184 sf Storage= 8,903 cf (988 cf above start)

Plug-Flow detention time= 688.6 min calculated for 0.012 af (6% of inflow)
 Center-of-Mass det. time= 12.5 min (1,048.4 - 1,035.9)

Volume	Invert	Avail.Storage	Storage Description			
#1	639.00'	25,479 cf	Custom Stage Data (Irregular) Listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)	
639.00	1,752	418.1	0	0	1,752	
640.00	3,030	435.7	2,362	2,362	3,022	
641.00	4,394	454.6	3,691	6,053	4,433	
642.00	5,757	473.4	5,060	11,113	5,897	
644.00	8,710	511.1	14,365	25,479	9,010	

Device	Routing	Invert	Outlet Devices
#1	Primary	634.40'	18.0" Round Outlet Pipe - N12 HDPE L= 56.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 634.40' / 631.50' S= 0.0518 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	641.40'	30.0" Horiz. Outlet Riser w/Dome Grate X 0.58 C= 0.600 in 30.0" Grate (58% open area) Limited to weir flow at low heads

Primary OutFlow Max=1.22 cfs @ 12.11 hrs HW=641.59' (Free Discharge)
 ↑1=Outlet Pipe - N12 HDPE (Passes 1.22 cfs of 21.59 cfs potential flow)
 ↑2=Outlet Riser w/Dome Grate (Weir Controls 1.22 cfs @ 0.82 fps)

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Summary for Subcatchment 9S: P2-2

Runoff = 0.69 cfs @ 12.10 hrs, Volume= 0.053 af, Depth> 1.38"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 1-yr Rainfall=2.75"

Area (sf)	CN	Description
9,148	98	Paved roads w/curbs & sewers, HSG C
10,890	74	>75% Grass cover, Good, HSG C
20,038	85	Weighted Average
10,890	74	54.35% Pervious Area
9,148	98	45.65% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	24	0.0200	1.06		Sheet Flow, Reach 1 - Connector Rd Cross Slope Smooth surfaces n= 0.011 P2= 3.36"
9.9					Direct Entry, Reach 2 - Veg. Swale Computed Det. Time
10.3	24	Total			

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Summary for Pond 10P: Pocket Pond No. 2

Inflow Area = 0.460 ac, 45.65% Impervious, Inflow Depth > 1.38" for 1-yr event
 Inflow = 0.69 cfs @ 12.10 hrs, Volume= 0.053 af
 Outflow = 0.28 cfs @ 12.34 hrs, Volume= 0.051 af, Atten= 60%, Lag= 14.7 min
 Primary = 0.28 cfs @ 12.34 hrs, Volume= 0.051 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Starting Elev= 663.00' Surf.Area= 738 sf Storage= 707 cf
 Peak Elev= 663.61' @ 12.34 hrs Surf.Area= 1,004 sf Storage= 1,232 cf (525 cf above start)

Plug-Flow detention time= 211.2 min calculated for 0.035 af (67% of inflow)
 Center-of-Mass det. time= 25.3 min (875.8 - 850.4)

Volume	Invert	Avail.Storage	Storage Description
#1	663.00'	1,073 cf	Forebay - Custom Stage Data (Irregular) listed below (Recalc)
#2	661.00'	4,249 cf	Main Cell - Custom Stage Data (Irregular) listed below (Recalc)
		5,322 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
663.00	91	34.8	0	0	91
664.00	243	57.7	161	161	266
664.50	344	67.2	146	307	365
665.00	445	76.6	197	504	479
666.00	703	95.4	569	1,073	750

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
661.00	133	44.4	0	0	133
662.00	333	71.4	225	225	388
663.00	647	96.2	481	707	730
664.00	961	121.0	799	1,506	1,172
664.50	1,171	130.4	532	2,038	1,370
666.00	1,800	158.7	2,211	4,249	2,056

Device	Routing	Invert	Outlet Devices
#1	Primary	660.50'	8.0" Round Outlet Pipe L= 92.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 660.50' / 652.70' S= 0.0848 ' S= 0.0848 ' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.35 sf
#2	Device 1	663.00'	4.0" Vert. Riser Orifice C= 0.600
#3	Device 1	664.50'	10.0" Horiz. Outlet Riser w/Dome Grate C= 0.600 in 10.0" Grate (100% open area) Limited to weir flow at low heads

Primary OutFlow Max=0.28 cfs @ 12.34 hrs HW=663.61' (Free Discharge)

- 1=Outlet Pipe (Passes 0.28 cfs of 2.80 cfs potential flow)
- 2=Riser Orifice (Orifice Controls 0.28 cfs @ 3.19 fps)
- 3=Outlet Riser w/Dome Grate (Controls 0.00 cfs)

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Summary for Subcatchment 5S: P2-1

Runoff = 17.00 cfs @ 12.04 hrs, Volume= 1.277 af, Depth> 3.63"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 10-yr Rainfall=5.07"

Area (sf)	CN	Description
96,375	98	Paved parking, HSG C
87,643	74	>75% Grass cover, Good, HSG C
184,018	87	Weighted Average
87,643	74	47.63% Pervious Area
96,375	98	52.37% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

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Summary for Link 6L: Flow Diversion

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 3.63" for 10-yr event
Inflow = 17.00 cfs @ 12.04 hrs, Volume= 1.277 af
Primary = 4.76 cfs @ 11.90 hrs, Volume= 1.103 af, Atten= 72%, Lag= 0.0 min
Secondary = 12.24 cfs @ 12.04 hrs, Volume= 0.174 af

Primary outflow = Inflow below 4.76 cfs, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

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Summary for Pond 7P: Bioretention Basin

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 3.13" for 10-yr event
 Inflow = 4.76 cfs @ 11.90 hrs, Volume= 1.103 af
 Outflow = 3.61 cfs @ 12.50 hrs, Volume= 0.762 af, Atten= 24%, Lag= 36.3 min
 Primary = 3.61 cfs @ 12.50 hrs, Volume= 0.762 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 657.47' @ 12.50 hrs Surf.Area= 8,938 sf Storage= 18,379 cf

Plug-Flow detention time= 225.1 min calculated for 0.762 af (69% of inflow)
 Center-of-Mass det. time= 100.8 min (928.1 - 827.3)

Volume	Invert	Avail.Storage	Storage Description			
#1	654.00'	23,364 cf	Custom Stage Data - In & Above Media (Irregular) listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Voids (%)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
654.00	7,464	501.0	0.0	0	0	7,464
655.00	7,464	501.0	45.0	3,359	3,359	7,965
656.00	7,464	501.0	45.0	3,359	6,718	8,466
656.50	7,464	501.0	100.0	3,732	10,450	8,717
657.00	8,223	510.5	100.0	3,920	14,370	9,522
658.00	9,789	529.3	100.0	8,995	23,364	11,162

Device	Routing	Invert	Outlet Devices
#1	Device 2	654.00'	1.000 in/hr Exfiltration over Surface area from 654.00' - 657.00' Excluded Surface area = 7,464 sf Phase-In= 0.01'
#2	Primary	652.00'	8.0" Round Overflow Discharge Pipes - HDPE X 2.00 L= 57.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 652.00' / 643.00' S= 0.1579 ' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.35 sf
#3	Device 2	657.00'	10.0" Horiz. Overflow Inlets w/Dome Grates X 2.00 C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=3.61 cfs @ 12.50 hrs HW=657.47' TW=641.80' (Dynamic Tailwater)

↑ **2=Overflow Discharge Pipes - HDPE** (Passes 3.61 cfs of 7.62 cfs potential flow)

↑ **1=Exfiltration** (Exfiltration Controls 0.02 cfs)

↑ **3=Overflow Inlets w/Dome Grates** (Orifice Controls 3.59 cfs @ 3.29 fps)

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Summary for Pond 8P: Pocket Pond No. 1

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 2.66" for 10-yr event
 Inflow = 13.90 cfs @ 12.05 hrs, Volume= 0.936 af
 Outflow = 8.88 cfs @ 12.13 hrs, Volume= 0.928 af, Atten= 36%, Lag= 4.8 min
 Primary = 8.88 cfs @ 12.13 hrs, Volume= 0.928 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Starting Elev= 641.40' Surf.Area= 4,917 sf Storage= 7,914 cf
 Peak Elev= 642.11' @ 12.13 hrs Surf.Area= 5,901 sf Storage= 11,744 cf (3,830 cf above start)

Plug-Flow detention time= 137.3 min calculated for 0.746 af (80% of inflow)
 Center-of-Mass det. time= 7.9 min (898.0 - 890.0)

Volume	Invert	Avail.Storage	Storage Description			
#1	639.00'	25,479 cf	Custom Stage Data (Irregular) Listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)	
639.00	1,752	418.1	0	0	1,752	
640.00	3,030	435.7	2,362	2,362	3,022	
641.00	4,394	454.6	3,691	6,053	4,433	
642.00	5,757	473.4	5,060	11,113	5,897	
644.00	8,710	511.1	14,365	25,479	9,010	

Device	Routing	Invert	Outlet Devices
#1	Primary	634.40'	18.0" Round Outlet Pipe - N12 HDPE L= 56.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 634.40' / 631.50' S= 0.0518 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	641.40'	30.0" Horiz. Outlet Riser w/Dome Grate X 0.58 C= 0.600 in 30.0" Grate (58% open area) Limited to weir flow at low heads

Primary OutFlow Max=8.75 cfs @ 12.13 hrs HW=642.10' (Free Discharge)
 1=Outlet Pipe - N12 HDPE (Passes 8.75 cfs of 22.43 cfs potential flow)
 2=Outlet Riser w/Dome Grate (Weir Controls 8.75 cfs @ 1.59 fps)

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Summary for Subcatchment 9S: P2-2

Runoff = 1.48 cfs @ 12.10 hrs, Volume= 0.131 af, Depth> 3.42"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 10-yr Rainfall=5.07"

Area (sf)	CN	Description
9,148	98	Paved roads w/curbs & sewers, HSG C
10,890	74	>75% Grass cover, Good, HSG C
20,038	85	Weighted Average
10,890	74	54.35% Pervious Area
9,148	98	45.65% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	24	0.0200	1.06		Sheet Flow, Reach 1 - Connector Rd Cross Slope Smooth surfaces n= 0.011 P2= 3.36"
9.9					Direct Entry, Reach 2 - Veg. Swale Computed Det. Time
10.3	24	Total			

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Summary for Pond 10P: Pocket Pond No. 2

Inflow Area = 0.460 ac, 45.65% Impervious, Inflow Depth > 3.42" for 10-yr event
 Inflow = 1.48 cfs @ 12.10 hrs, Volume= 0.131 af
 Outflow = 0.45 cfs @ 12.47 hrs, Volume= 0.129 af, Atten= 69%, Lag= 22.6 min
 Primary = 0.45 cfs @ 12.47 hrs, Volume= 0.129 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Starting Elev= 663.00' Surf.Area= 738 sf Storage= 707 cf
 Peak Elev= 664.32' @ 12.47 hrs Surf.Area= 1,397 sf Storage= 2,078 cf (1,371 cf above start)

Plug-Flow detention time= 133.6 min calculated for 0.113 af (86% of inflow)
 Center-of-Mass det. time= 29.8 min (854.2 - 824.4)

Volume	Invert	Avail.Storage	Storage Description
#1	663.00'	1,073 cf	Forebay - Custom Stage Data (Irregular) listed below (Recalc)
#2	661.00'	4,249 cf	Main Cell - Custom Stage Data (Irregular) listed below (Recalc)
		5,322 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
663.00	91	34.8	0	0	91
664.00	243	57.7	161	161	266
664.50	344	67.2	146	307	365
665.00	445	76.6	197	504	479
666.00	703	95.4	569	1,073	750

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
661.00	133	44.4	0	0	133
662.00	333	71.4	225	225	388
663.00	647	96.2	481	707	730
664.00	961	121.0	799	1,506	1,172
664.50	1,171	130.4	532	2,038	1,370
666.00	1,800	158.7	2,211	4,249	2,056

Device	Routing	Invert	Outlet Devices
#1	Primary	660.50'	8.0" Round Outlet Pipe L= 92.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 660.50' / 652.70' S= 0.0848 ' / ' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.35 sf
#2	Device 1	663.00'	4.0" Vert. Riser Orifice C= 0.600
#3	Device 1	664.50'	10.0" Horiz. Outlet Riser w/Dome Grate C= 0.600 in 10.0" Grate (100% open area) Limited to weir flow at low heads

Primary OutFlow Max=0.45 cfs @ 12.47 hrs HW=664.32' (Free Discharge)

- 1=Outlet Pipe (Passes 0.45 cfs of 3.14 cfs potential flow)
- 2=Riser Orifice (Orifice Controls 0.45 cfs @ 5.16 fps)
- 3=Outlet Riser w/Dome Grate (Controls 0.00 cfs)

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Summary for Subcatchment 5S: P2-1

Runoff = 29.62 cfs @ 12.04 hrs, Volume= 2.677 af, Depth> 7.60"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 100-yr Rainfall=9.19"

Area (sf)	CN	Description
96,375	98	Paved parking, HSG C
87,643	74	>75% Grass cover, Good, HSG C
184,018	87	Weighted Average
87,643	74	47.63% Pervious Area
96,375	98	52.37% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

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Summary for Link 6L: Flow Diversion

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 7.60" for 100-yr event
Inflow = 29.62 cfs @ 12.04 hrs, Volume= 2.677 af
Primary = 4.76 cfs @ 11.60 hrs, Volume= 2.102 af, Atten= 84%, Lag= 0.0 min
Secondary = 24.86 cfs @ 12.04 hrs, Volume= 0.574 af

Primary outflow = Inflow below 4.76 cfs, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

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Summary for Pond 7P: Bioretention Basin

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 5.97" for 100-yr event
 Inflow = 4.76 cfs @ 11.60 hrs, Volume= 2.102 af
 Outflow = 4.38 cfs @ 12.63 hrs, Volume= 1.753 af, Atten= 8%, Lag= 62.1 min
 Primary = 4.38 cfs @ 12.63 hrs, Volume= 1.753 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 657.69' @ 12.63 hrs Surf.Area= 9,290 sf Storage= 20,413 cf

Plug-Flow detention time= 167.8 min calculated for 1.749 af (83% of inflow)
 Center-of-Mass det. time= 81.2 min (889.1 - 807.8)

Volume	Invert	Avail.Storage	Storage Description			
#1	654.00'	23,364 cf	Custom Stage Data - In & Above Media (Irregular) Listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Voids (%)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
654.00	7,464	501.0	0.0	0	0	7,464
655.00	7,464	501.0	45.0	3,359	3,359	7,965
656.00	7,464	501.0	45.0	3,359	6,718	8,466
656.50	7,464	501.0	100.0	3,732	10,450	8,717
657.00	8,223	510.5	100.0	3,920	14,370	9,522
658.00	9,789	529.3	100.0	8,995	23,364	11,162

Device	Routing	Invert	Outlet Devices
#1	Device 2	654.00'	1.000 in/hr Exfiltration over Surface area from 654.00' - 657.00' Excluded Surface area = 7,464 sf Phase-In= 0.01'
#2	Primary	652.00'	8.0" Round Overflow Discharge Pipes - HDPE X 2.00 L= 57.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 652.00' / 643.00' S= 0.1579 ' / Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.35 sf
#3	Device 2	657.00'	10.0" Horiz. Overflow Inlets w/Dome Grates X 2.00 C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=4.38 cfs @ 12.63 hrs HW=657.69' TW=641.94' (Dynamic Tailwater)

↑ **2=Overflow Discharge Pipes - HDPE** (Passes 4.38 cfs of 7.78 cfs potential flow)

↑ **1=Exfiltration** (Exfiltration Controls 0.02 cfs)

↑ **3=Overflow Inlets w/Dome Grates** (Orifice Controls 4.36 cfs @ 4.00 fps)

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Page 17

Summary for Pond 8P: Pocket Pond No. 1

Inflow Area = 4.224 ac, 52.37% Impervious, Inflow Depth > 6.61" for 100-yr event
 Inflow = 28.82 cfs @ 12.04 hrs, Volume= 2.327 af
 Outflow = 17.27 cfs @ 12.14 hrs, Volume= 2.314 af, Atten= 40%, Lag= 6.1 min
 Primary = 17.27 cfs @ 12.14 hrs, Volume= 2.314 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Starting Elev= 641.40' Surf.Area= 4,917 sf Storage= 7,914 cf
 Peak Elev= 642.99' @ 12.14 hrs Surf.Area= 7,138 sf Storage= 17,464 cf (9,550 cf above start)

Plug-Flow detention time= 68.4 min calculated for 2.128 af (91% of inflow)
 Center-of-Mass det. time= 7.2 min (855.6 - 848.4)

Volume	Invert	Avail.Storage	Storage Description			
#1	639.00'	25,479 cf	Custom Stage Data (Irregular) Listed below (Recalc)			
Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)	
639.00	1,752	418.1	0	0	1,752	
640.00	3,030	435.7	2,362	2,362	3,022	
641.00	4,394	454.6	3,691	6,053	4,433	
642.00	5,757	473.4	5,060	11,113	5,897	
644.00	8,710	511.1	14,365	25,479	9,010	

Device	Routing	Invert	Outlet Devices
#1	Primary	634.40'	18.0" Round Outlet Pipe - N12 HDPE L= 56.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 634.40' / 631.50' S= 0.0518 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Device 1	641.40'	30.0" Horiz. Outlet Riser w/Dome Grate X 0.58 C= 0.600 in 30.0" Grate (58% open area) Limited to weir flow at low heads

Primary OutFlow Max=17.23 cfs @ 12.14 hrs HW=642.98' (Free Discharge)
 ↑1=Outlet Pipe - N12 HDPE (Passes 17.23 cfs of 23.81 cfs potential flow)
 ↑2=Outlet Riser w/Dome Grate (Orifice Controls 17.23 cfs @ 3.51 fps)

Phase 2_05-12-22

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Summary for Subcatchment 9S: P2-2

Runoff = 2.67 cfs @ 12.10 hrs, Volume= 0.282 af, Depth> 7.35"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Shrub Oak 24-hr S1 100-yr Rainfall=9.19"

Area (sf)	CN	Description
9,148	98	Paved roads w/curbs & sewers, HSG C
10,890	74	>75% Grass cover, Good, HSG C
20,038	85	Weighted Average
10,890	74	54.35% Pervious Area
9,148	98	45.65% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.4	24	0.0200	1.06		Sheet Flow, Reach 1 - Connector Rd Cross Slope Smooth surfaces n= 0.011 P2= 3.36"
9.9					Direct Entry, Reach 2 - Veg. Swale Computed Det. Time
10.3	24	Total			

Phase 2_05-12-22

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Summary for Pond 10P: Pocket Pond No. 2

Inflow Area = 0.460 ac, 45.65% Impervious, Inflow Depth > 7.35" for 100-yr event
 Inflow = 2.67 cfs @ 12.10 hrs, Volume= 0.282 af
 Outflow = 1.92 cfs @ 12.21 hrs, Volume= 0.279 af, Atten= 28%, Lag= 6.9 min
 Primary = 1.92 cfs @ 12.21 hrs, Volume= 0.279 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Starting Elev= 663.00' Surf.Area= 738 sf Storage= 707 cf
 Peak Elev= 664.80' @ 12.21 hrs Surf.Area= 1,687 sf Storage= 2,820 cf (2,113 cf above start)

Plug-Flow detention time= 91.9 min calculated for 0.262 af (93% of inflow)
 Center-of-Mass det. time= 26.9 min (827.0 - 800.1)

Volume	Invert	Avail.Storage	Storage Description
#1	663.00'	1,073 cf	Forebay - Custom Stage Data (Irregular) listed below (Recalc)
#2	661.00'	4,249 cf	Main Cell - Custom Stage Data (Irregular) listed below (Recalc)
		5,322 cf	Total Available Storage

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
663.00	91	34.8	0	0	91
664.00	243	57.7	161	161	266
664.50	344	67.2	146	307	365
665.00	445	76.6	197	504	479
666.00	703	95.4	569	1,073	750

Elevation (feet)	Surf.Area (sq-ft)	Perim. (feet)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
661.00	133	44.4	0	0	133
662.00	333	71.4	225	225	388
663.00	647	96.2	481	707	730
664.00	961	121.0	799	1,506	1,172
664.50	1,171	130.4	532	2,038	1,370
666.00	1,800	158.7	2,211	4,249	2,056

Device	Routing	Invert	Outlet Devices
#1	Primary	660.50'	8.0" Round Outlet Pipe L= 92.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 660.50' / 652.70' S= 0.0848 ' S= 0.0848 ' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.35 sf
#2	Device 1	663.00'	4.0" Vert. Riser Orifice C= 0.600
#3	Device 1	664.50'	10.0" Horiz. Outlet Riser w/Dome Grate C= 0.600 in 10.0" Grate (100% open area) Limited to weir flow at low heads

Primary OutFlow Max=1.89 cfs @ 12.21 hrs HW=664.79' (Free Discharge)

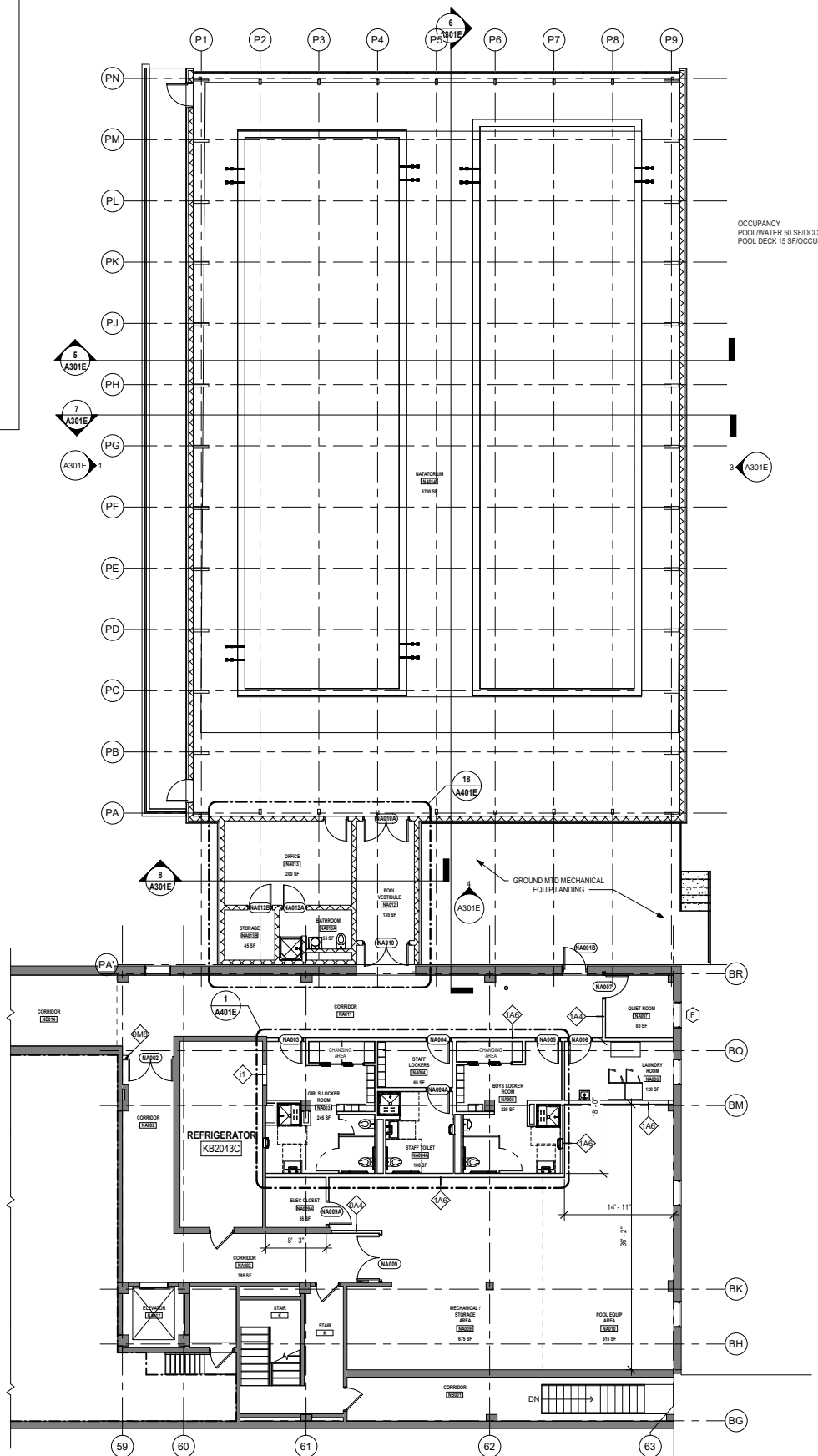
- 1=Outlet Pipe (Passes 1.89 cfs of 3.34 cfs potential flow)
- 2=Riser Orifice (Orifice Controls 0.54 cfs @ 6.14 fps)
- 3=Outlet Riser w/Dome Grate (Weir Controls 1.35 cfs @ 1.77 fps)

SHRUB OAK INTERNATIONAL SCHOOL

3151 STONEY STREET
SHRUB OAK, NY 10547



- GENERAL PLAN NOTES**
- DENOTES AREA OF NO MAJOR ARCHITECTURAL RENOVATION WORK. SPECIFIC WORK MAY BE SHOWN ELSEWHERE. REFER TO M.E.P. DWGS.
 - DENOTES DOOR NUMBER SEE A302 FOR DOOR SCHEDULE. SEE SPECS. FOR HARDWARE SETS & INFO.
 - RW DENOTES RESCUE WINDOW SEE A303
 - DENOTES EXISTING WALL TO REMAIN (MOST EXISTING WALLS ARE MASONRY)
 - DENOTES 3hr RATED WALL
 - DENOTES WALL TYPE & FIRE RATING, WHERE SHOWN (SEE A301)
 - DENOTES HOLLOW METAL FRAME w/ SIDELITE OR TRANSOM (SEE A303)
 - FINISH SCHEDULE & ABBREVIATION LIST - SEE DWG. A303
 - ALL CORRIDOR WALLS ARE TO HAVE AT LEAST A 1hr FIRE RATING (EVEN IF NOT LABELED)
 - DIMENSIONS SHOWN FOR INTERIOR WALLS ARE: FACE OF STRUCTURE OR FACE OF CMU
 - FACE OF ADJACENT WALL TO EDGE OF DOOR FRAME IS 4" (TYP) U.N.O. (SEE A & B ON A302)
 - MBB, TB4 - DENOTES MARKERBOARD OR TACKBOARD OF SPECIFIED LENGTH (FT)
 - SB - DENOTES "SMART BOARD" FURNISHED BY OWNER, INSTALLED BY G.C.
 - DENOTES EXISTING DOOR TO REMAIN (U.N.O.)
 - DENOTES NEW DOOR, FRAME, & HARDWARE. SEE NOTE 2 (ABOVE)
 - DOOR NUMBER LEGEND
LOCATION → LEVEL
E125 → RM #
 - WALL MOUNTED DATA OUTLET - VIF + SEE ELEC. DWGS
 - WALL MOUNTED TELEPHONE - VIF + SEE ELEC. DWGS
 - DENOTES WINDOW TYPE, SEE DWG A303



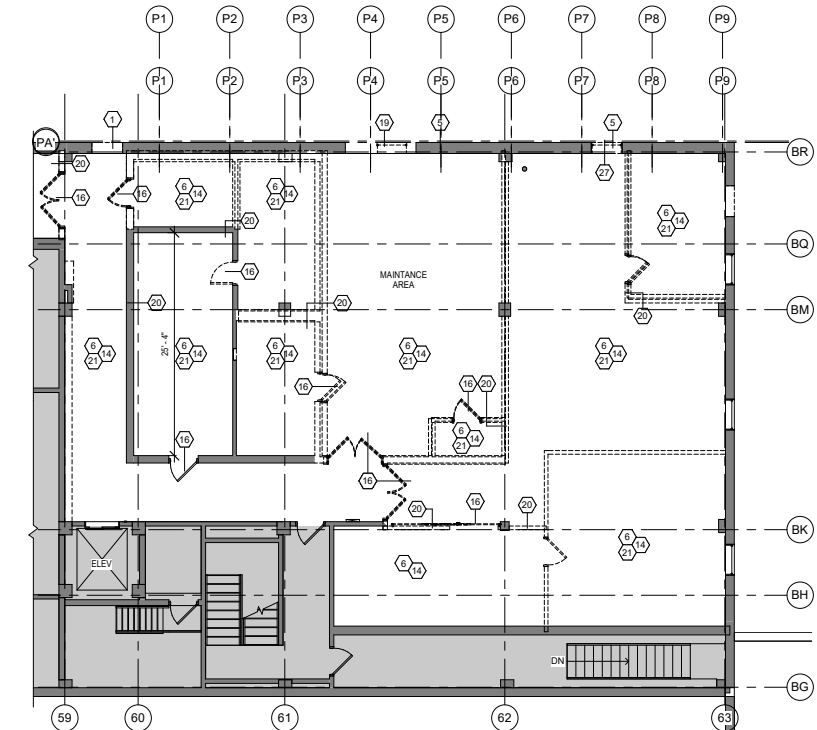
2 PARTIAL BASEMENT FLOOR PLAN @ NATATORIUM AREA
1/8" = 1'-0"

DEMOLITION NOTES

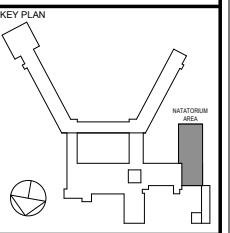
- DENOTES AREA OF NO MAJOR ARCHITECTURAL WORK. SPECIFIC WORK MAY BE SHOWN ELSEWHERE INCLUDING WORK THAT MAY REQUIRE ACCESS, PATCHING & RESTORATION. REFER TO STRUCTURAL & M.E.P. DWGS.
- DENOTES EXISTING CONSTRUCTION TO BE DEMOLISHED (U.N.O.).
 - MOST EXISTING INTERIOR WALLS ARE OF MASONRY CONSTRUCTION w/ CEMENT PLASTER & LATH.
 - MOST EXISTING EXTERIOR WALLS ARE BRICK w/ BLOCK BACKUP & SOME HAVE INNER WYTHE OF BLOCK w/ CEMENT PLASTER & LATH.
- DENOTES EXISTING WALL TO REMAIN
- PRIOR TO ANY DEMOLITION CONTRACTORS ARE REQUIRED TO BE FAMILIAR WITH EXISTING CONDITIONS. SHORING MAY BE NEEDED INCLUDING INSTALLATION OF LINTELS PRIOR TO THE REMOVAL OF ANY BUILDING ELEMENT.
- COORDINATE ALL DEMOLITION w/ M.E.P. REMOVALS. NOTE: ALL WIRING, DEVICES & M.E.P. SYSTEMS NOT BEING REMOVED AS PART OF THE WORK, WHICH RUN THROUGH THE WORK AREA, SHALL BE TESTED, LABELED & PROTECTED FROM DISTURBANCE SO THEY REMAIN OPERATIONAL THROUGHOUT THE PROJECT.
- "ANY PAPER FACE GWS SHOWING SIGNS OF MOLD OR MILDEW TO BE REMOVED"

NATORIUM AREA DEMO KEY NOTES

Key Value	Keynote Text
1	REMOVE & DISPOSE EXIST WINDOWS, FRAMES & ALL ASSOCIATED HARDWARE, INCLUDING RELATED WINDOW SHADES & BLINDS - PREP OPENING FOR INSTALLATION OF NEW WINDOW SYSTEM - COORD WINDOW REMOVAL w/ ASBESTOS ABATEMENT - TYP
2	REMOVE EXIST DOOR AND ALL ASSOCIATED HARDWARE, EXIST JAMB TO REMAIN, PREP FOR NEW DOOR INSTALLATION - COORD. w/ NEW CONSTRUCTION
3	REMOVE & DISPOSE EXIST DOOR, FRAME AND ALL ASSOCIATED HARDWARE - COORD. INFILL w/ NEW CONSTRUCTION
4	REMOVE & DISPOSE EXIST WALL HUNG SINK & RELATED HANGERS, WALL HUNG MIRROR, SUPPLY & WASTE LINES - PATCH & MATCH TO EXIST ADJACENT SURFACES - COORD w/ MEP DWGS FOR ALL REQUIRED WORK - TYP
5	CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQ. PATCH & MATCH TO EXIST ADJACENT SURFACES - PROVIDE NEW LINTELS IN EXIST MASONRY WALLS AS REQ. - COORD WITH STRUCTURAL & NEW CONSTRUCTION
6	REMOVE & DISPOSE EXIST FLOOR FINISHES & RELATED BASEBOARD TO EXIST CONCRETE SLAB - COORD FLOOR FINISH REMOVAL w/ ASBESTOS ABATEMENT - SELF LEVEL EXIST EXPOSED CONCRETE FLOOR FOR INSTALLATION OF NEW FLOOR FINISHES & RELATED BASEBOARD - TYP
7	REMOVE & DISPOSE EXIST CEILING TILE SYSTEM, INCLUDING BUT NOT LIMITED TO CEILING TILES, MASTIC, LIGHT FIXTURES ETC. TO ALLOW FOR INSTALLATION NEW ACT CEILING SYSTEM & LIGHT FIXTURES - COORD CEILING TILE & MASTIC REMOVAL w/ ASBESTOS ABATEMENT & RELATED ELECTRICAL WORK - TYP
8	REMOVE & DISPOSE EXIST PLUMBING FIXTURES, SUPPLIES, WASTES & RELATED COMPONENTS - COORD REMOVAL w/ MEP DWGS - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
9	REMOVE & DISPOSE EXIST TOILET PARTITIONS & ALL RELATED HARDWARE - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
10	REMOVE & DISPOSE EXIST CMU MASONRY WALL FLOOR TO CEILING - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
11	REMOVE & DISPOSE EXIST TILE FLOOR TO EXIST CONCRETE SLAB - COORD FLOOR FINISH REMOVAL w/ ASBESTOS ABATEMENT - PREP EXIST EXPOSED CONCRETE FLOOR FOR INSTALLATION OF NEW CERAMIC TILE FLOOR - COORD w/ FINISH SCHEDULE FOR RELATED WALL TILES AND ACCESSORIES - TYP
12	REMOVE & DISPOSE EXIST WALLS, FROM FLOOR TO STRUCTURE ABOVE - PATCH & MATCH TO ADJACENT SURFACES
13	REMOVE & DISPOSE ALL EXIST WALL FINISHES - PREP ALL WALLS TO RECEIVE NEW WALL FINISHES, INCLUDING BUT NOT LIMITED TO REMOVAL OF ALL PEELING PAINT, REMOVAL OF WALL COVERINGS, PLASTER REPAIR, ETC.
14	CREATE NEW OPENING IN EXIST WALL - SAW CUT AS REQ. PREP FOR NEW DOOR - PROVIDE NEW HEADER IN EXIST WALLS AS REQ. - COORD WITH STRUCTURAL & NEW CONSTRUCTION
15	REMOVE EXIST DOOR, FRAME, AND ALL ASSOCIATED HARDWARE - PATCH & MATCH TO ADJACENT SURFACES - COORD. w/ NEW CONSTRUCTION
16	REMOVE EXIST WINDOW ASSEMBLY & RELATED HARDWARE, INFILL OPENING TO MATCH ADJACENT SURFACES - PREP OPENING TO RECEIVE NEW EXTERIOR LOUVER SYSTEM - TYP
17	REMOVE & DISPOSE EXIST WALL TO STRUCTURE ABOVE - PATCH & MATCH ALL DISTURBED SURFACES TO ADJACENT UNDISTURBED SURFACES - TYP
18	REMOVE & DISPOSE EXIST CEILING HUNG LIGHT FIXTURES & RELATED HANGERS - PATCH & MATCH TO EXIST ADJACENT SURFACES - COORD w/ MEP DWGS FOR ALL REQUIRED WORK - TYP
19	CLEAN & SCARIFY EXISTING FLOOR & WANSKOT TILES. PREP FLOOR FOR APPLICATION OF NEW FLOOR FINISH. PREP TILE WANSKOT FOR NEW EPOXY PAINT FINISH.
20	REMOVE & DISPOSE EXIST WINDOWS, FRAMES & ALL ASSOCIATED HARDWARE, INCLUDING RELATED WINDOW SHADES & BLINDS - PREP OPENING FOR INSTALLATION OF NEW DOOR SYSTEM - COORD WINDOW REMOVAL w/ ASBESTOS ABATEMENT - TYP



1 PARTIAL BASEMENT - NATATORIUM MAINTENANCE AREA DEMO PLAN
1/8" = 1'-0"



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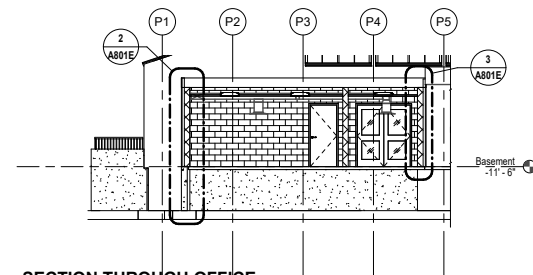
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3 03/09/2022 AQUATICS CENTER SD
No. Date Issue

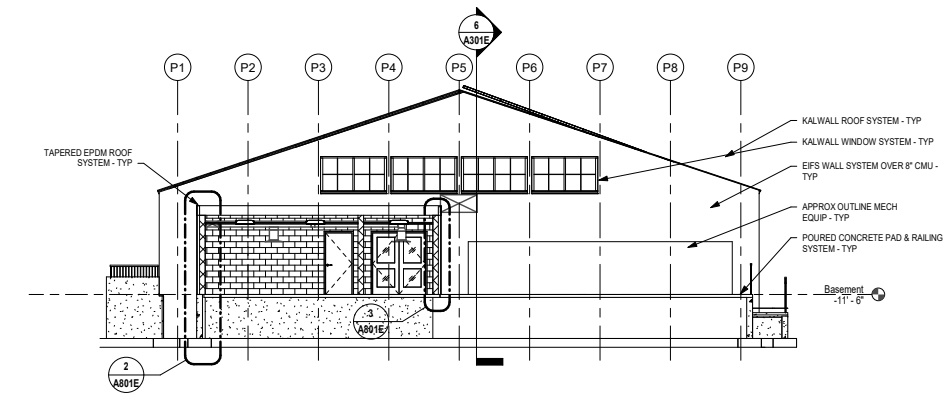
NATATORIUM PLANS

Job No. 2020-1037 Date 11/19/2020
Scale AS NOTED Drawn / Checked Author Checker
Sheet Number

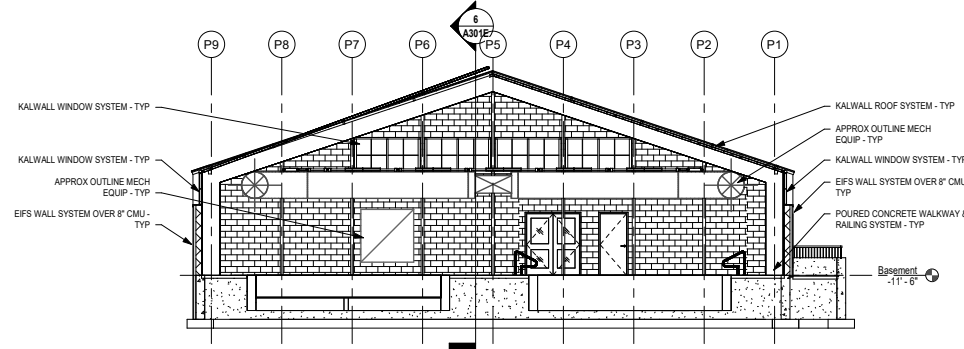
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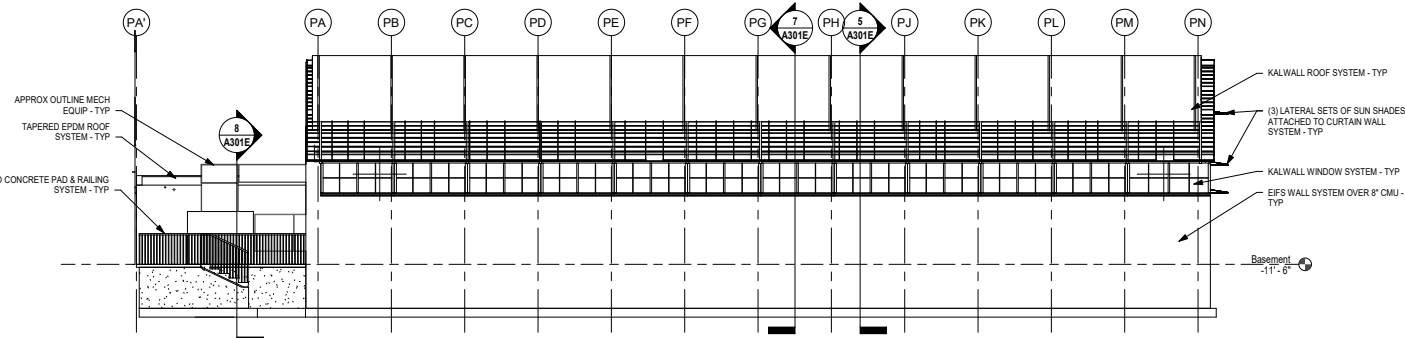
8 SECTION THROUGH OFFICE & CORRIDOR
SCALE: 1/8" = 1'-0"



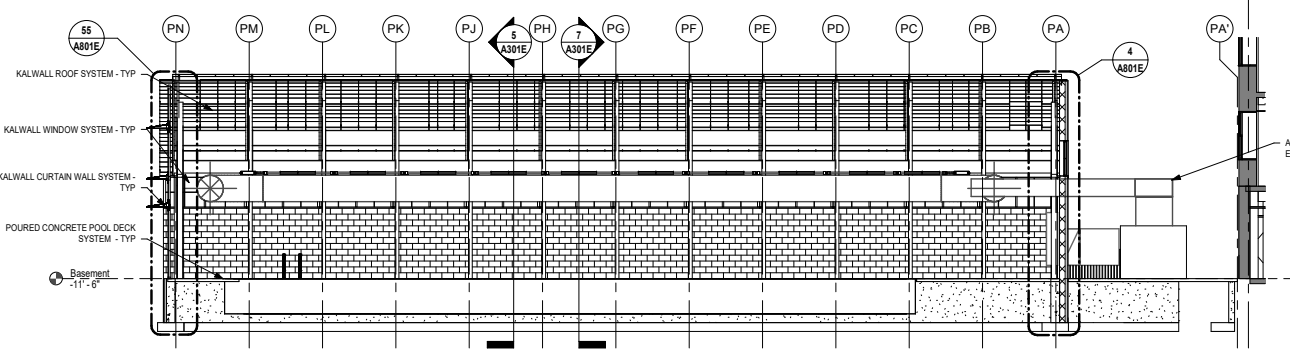
4 NATATORIUM NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



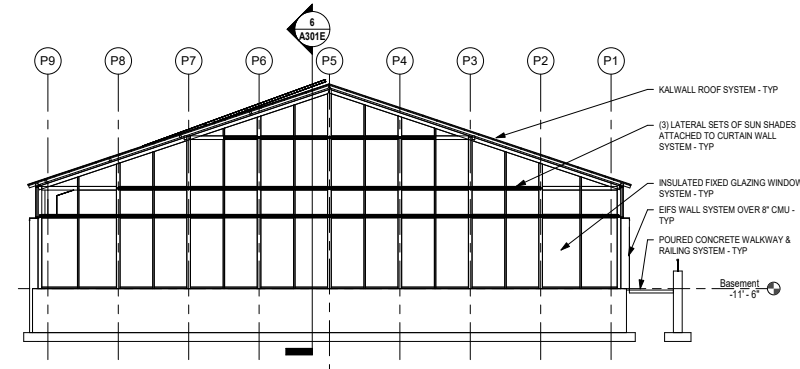
7 LATERAL SECTION THROUGH NATATORIUM - NORTH
1/8" = 1'-0"



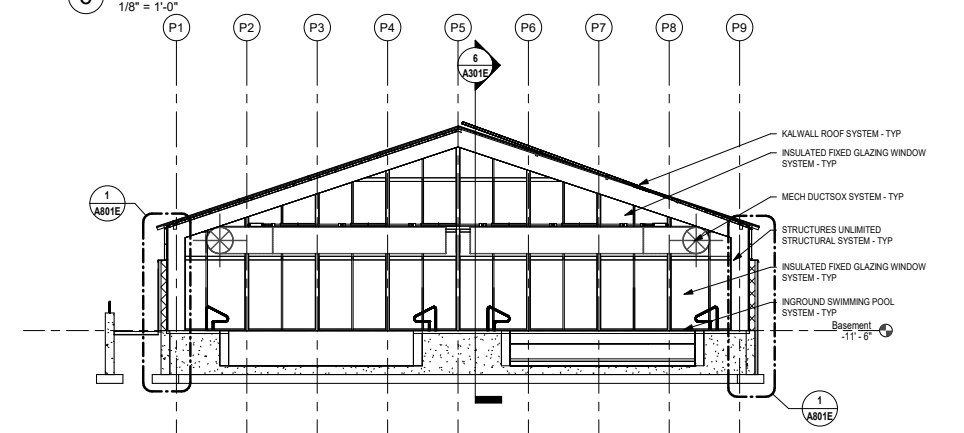
3 NATATORIUM WEST EXTERIOR ELEVATION
1/8" = 1'-0"



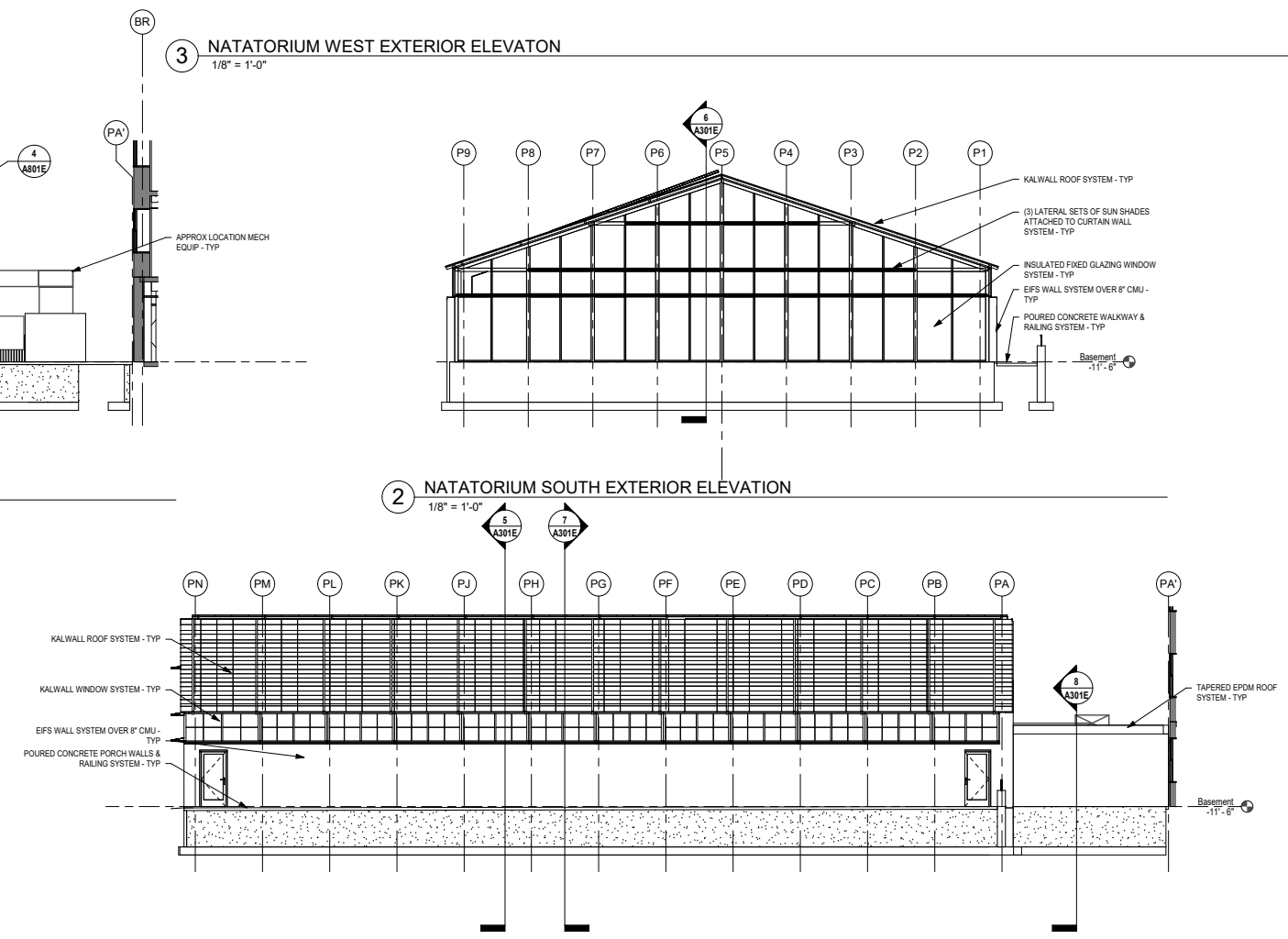
6 LONGITUDINAL SECTION THROUGH NATATORIUM - WEST
1/8" = 1'-0"



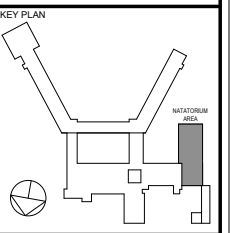
2 NATATORIUM SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



5 LATERAL SECTION THROUGH NATATORIUM - SOUTH
1/8" = 1'-0"



1 NATATORIUM EAST EXTERIOR ELEVATION
1/8" = 1'-0"



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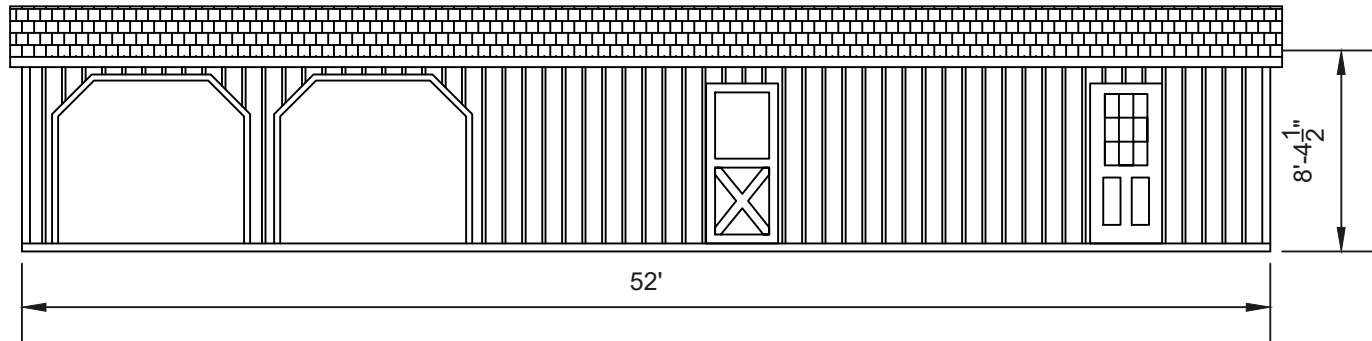
Professional Seal


3	03/09/2022	AQUATICS CENTER SD
No.	Date	Issue

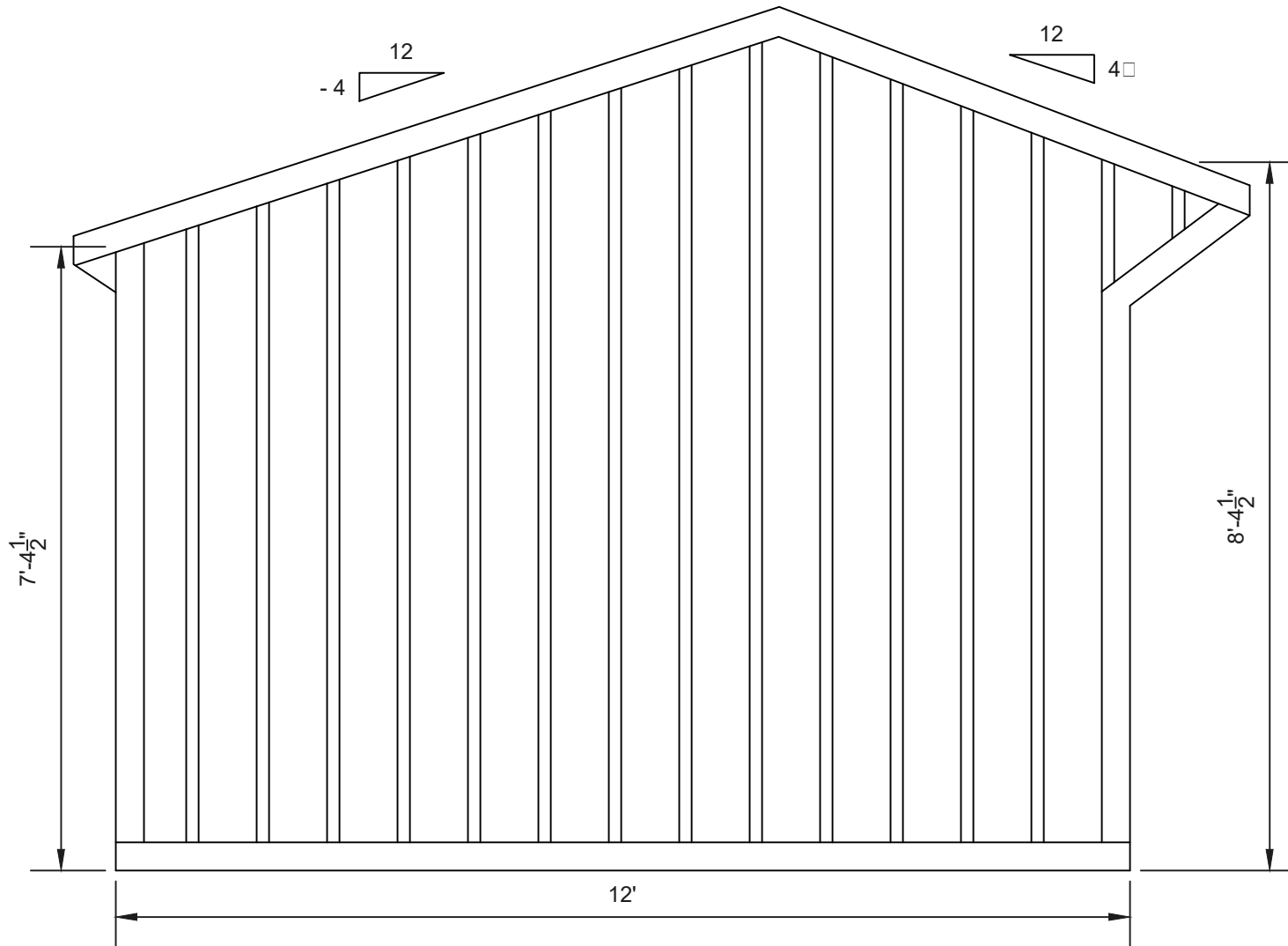
**NATATORIUM
EXTERIOR
ELEVATIONS**


Job No.	2020-1037	Date	11/19/2020
Scale	AS NOTED	Drawn / Checked	Author Checker
Sheet Number			

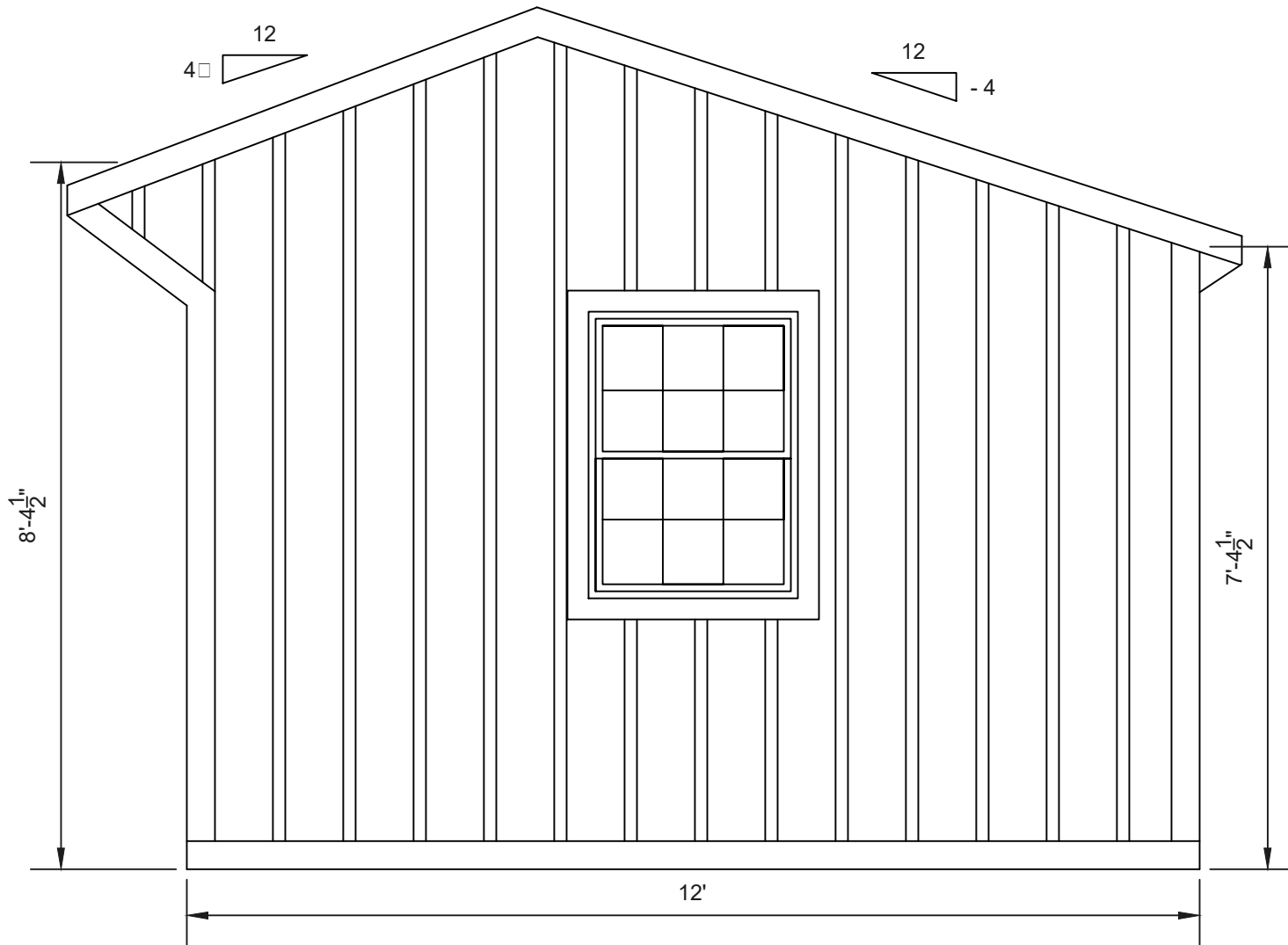
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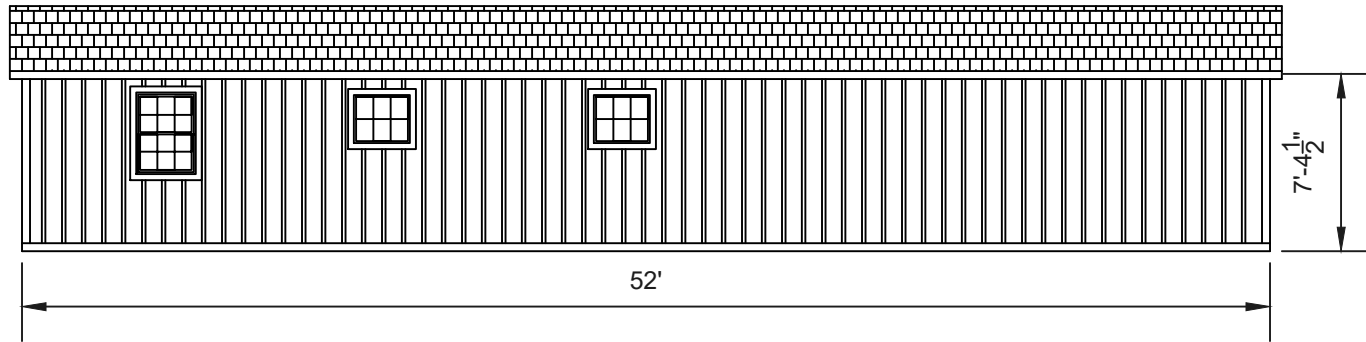
DESIGN	CONTRACTOR	CUSTOMER	DRAWN BY: David S.	PLAN NO: 1824
 structures LLC PAHIC PA025372	Brad Barn 03 NY Route 28 Kingston, NY 12401	The Sub Oak International School Kotler 3151 Stoney Street Morgan Lake, NY 10547	DATE: November 1, 2020	REVISIONS: 2
			PLAN-DESCRIPTION	




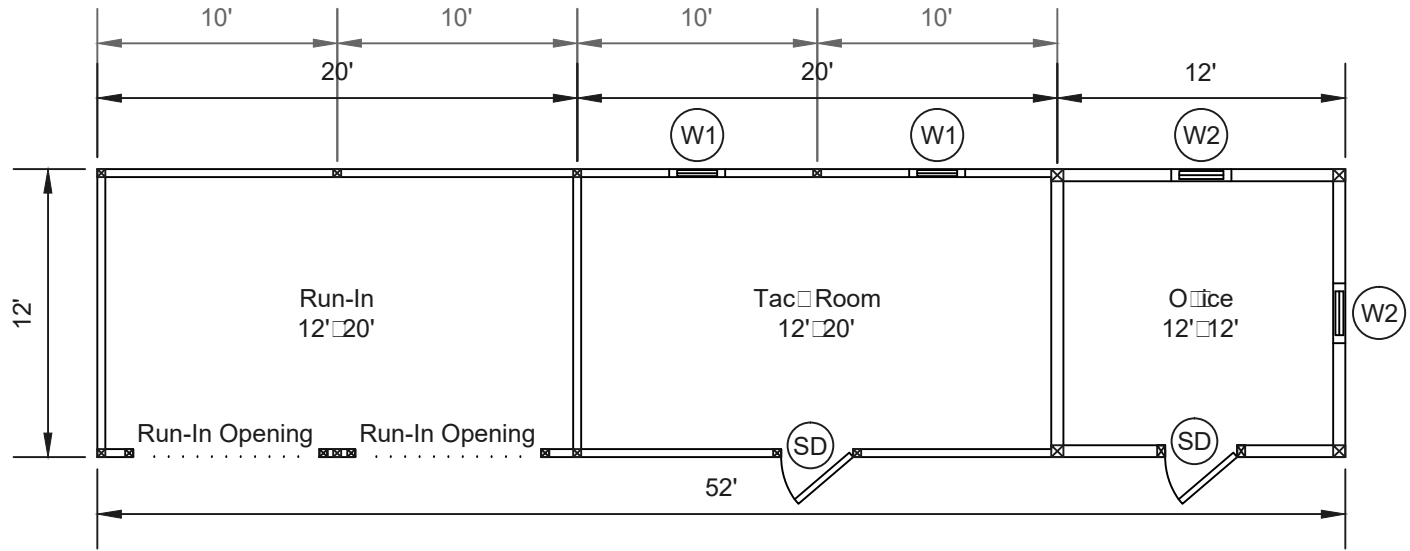
DESIGN	CONTRACTOR	CUSTOMER	DRAWN BY: David S.	PLAN NO: 1824
 structures LLC PAHC PA025372	Brad Barn 03 NY Route 28 Kingston, NY 12401	The Subaru of International School Center 3151 Stoney Street Morgan Lake, NY 10547	DATE: November 1, 2020	REVISIONS: 2
			PLAN-DESCRIPTION	




DESIGN	CONTRACTOR	CUSTOMER	DRAWN BY: David S.	PLAN NO: 1824
 structures LLC PAHC PA025372	Brad Barn 03 NY Route 28 Kingston, NY 12401	The Scrub Oak International School Center 3151 Stoney Street Morgan Lake, NY 10547	DATE: November 1, 2020	REVISIONS: 2
			PLAN-DESCRIPTION	
			12' x 52' Run-In Sided Rigid Elevation Scale: 1/2" = 1'	



DESIGN	CONTRACTOR	CUSTOMER	DRAWN BY: David S.	PLAN NO: 1824
 structures LLC PAHC PA025372	Brad Barn 03 NY Route 28 Kingston, NY 12401	The Scrub Oak International School Kinder 3151 Stoney Street Morgan Lake, NY 10547	DATE: November 1, 2020	REVISIONS: 2
			PLAN-DESCRIPTION	
			12' x 52' Run-In Shed Rear Elevation Scale: 1/8" = 1'	



- W1 = 28" x 24" Slider Window
- W2 = 2 3/4" x 40 3/4" Double-Hung Window
- D1 = 36" x 80" Wood Service Door
- D2 = 36" x 80" Fiberglass Service Door with Window

DESIGN	CONTRACTOR	CUSTOMER	DRAWN BY: David S.	PLAN NO: 1824
 structures LLC PAHIC PA025372	Brad Barn 03 NY Route 28 Kingston, NY 12401	The Strub Oak International School Koller 3151 Stoney Street Morgan Lake, NY 10547	DATE: November 1, 2020	REVISIONS: 2
			PLAN-DESCRIPTION	
			12' x 52' Run-In Shed Floor Plan Scale: 1/8" = 1'	

**Volta EV
Charging Stations
at Staples Plaza**



RECEIVED
PLANNING DEPARTMENT
AUG 11 2022
TOWN OF YORKTOWN

445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
T 914 761 1300
F 914 761 5372
cuddyfeder.com

August 11, 2022

By Federal Express and E-Mail
Chairman Richard Fon
and Members of the Planning Board
Town of Yorktown
366 Underhill Avenue
Yorktown Heights, NY 10598

Re: Volta Electric Vehicle Charging Stations
Site Plan Application - Proof of Service
Premises: Staples Plaza, 3333-3379 Crompond Road, Yorktown, New York

Dear Chairman Fon and Members of the Planning Board:

On behalf of Volta Charging, LLC, enclosed please find an Affidavit of Mailing evidencing the first-class mailing completed on August 2, 2022, providing the annexed Notice, received from the Town of Yorktown Planning Department to the record owners of each abutting property of the subject Premises, as set forth on the annexed list, prepared by using the Town of Yorktown Assessment Records, along with copies of the first-class mailing envelopes. The sign remained posted from the Public Informational Hearing that took place in July.

It is our understanding that the Town is responsible for and has coordinated publishing Notice in the local newspaper(s). Please incorporate the enclosed documents as part of the official record of the proceeding. Thank you for your time and attention to these materials.

Very truly yours,

Riddar Nget
Paralegal

Enclosures

cc: Kristen Motel, Esq.
Allison Fausner, Esq.

NOTICE TO INTERESTED PARTIES

TO: Property Owner

PLEASE TAKE NOTICE that a **Public Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday, August 15, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of Volta Charging LLC for approval of a site plan with submitted plans titled, "Staples Plaza," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022.

It is proposed install two electric vehicle charging stations in existing curbed islands that are adjacent to onsite parking spaces. The site is located at 3333-3379 Crompond Road, Yorktown Heights, also known as Section 36.06, Block 2, Lots 76 on the Town of Yorktown Tax Map.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to planning@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting.

The above listed site plan may be viewed on the Town's website: <http://www.yorktownny.org/planning/public-hearings>. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

ALL PERSONS INTERESTED in the above matter may appear before the Board in person, or virtually if the meeting is held remotely, by agent or attorney and will be heard before any final determination is made.

This notice is being sent to you by regular first class mail, pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined there under.

Volta Charging LLC
Name of Applicant

Cuddy & Feder LLP, Attorneys for the Applicant
By (Name and Title)

August 2, 2022
Date

Abutting Property Owners							
SBL	PROPERTY OWNER	CO OWNER	CO OWNERS	MAILING ADDRESS	CITY	STATE	ZIP
36.06-1-25	7-ELEVEN INC.			3200 HACKBERRY ROAD	IRVING	TX	75063
36.06-2-1	PALIOURAS, DIANNE &			2548 PINE GROVE CT	YORKTOWN HGTS	NY	10598
36.06-2-2	ADAMO FAMILY REVOCABLE	LIVING TRUST		2536 PINE GROVE CT	YORKTOWN HGTS	NY	10598
36.06-2-3	O'CONNELL, TIMOTHY &	ANDREA		2522 PINE GROVE CT.	YORKTOWN HGTS	NY	10598
36.06-2-4	KATZ, BARRY & BARRIE			2510 PINE GROVE CT	YORKTOWN HGTS	NY	10598
36.06-2-5	SONG, HONG SUB & JEONG,	GRACE		2504 PINE GROVE CT	YORKTOWN HGTS	NY	10598
36.06-2-7	RUBENFELD, DAVID & LISA			1356 LYNN CT	YORKTOWN HGTS	NY	10598
36.06-2-8	MUNNELLY, THOMAS & KACI			1348 LYNN ROAD	YORKTOWN HGTS	NY	10598
36.06-2-9	TEACHOUT, TERRY & JANA			1344 LYNN CT	YORKTOWN HGTS	NY	10598
36.06-2-10	MOHINDRA, AJAY REVOCABLE	TRUST & MONHINDA, REENA	REVOCABLE TRUST	1340 LYNN CT.	YORKTOWN HGTS	NY	10598
36.06-2-11	MONACO, JOANN &	JACOBY, ANDREA		1336 LYNN CT.	YORKTOWN HGTS	NY	10598
36.06-2-24	DINAPOLI, RICHARD &	CHARISSA		2374 PINE GROVE CT	YORKTOWN HGTS	NY	10598
36.06-2-25	ALFANO, ROBERT &	GEORGETTE		2370 PINE GROVE CT	YORKTOWN HGTS	NY	10598
36.06-2-75	REALTY INCOME	PENN.PROP. TRUST 2	BJ'S WHOLESALE CLUB. INC	25 RESEARCH DR., RT C2	WESTBOROUGH	MA	01581
26.18-1-8	OTHER HEIGHTS, LLC.			1430 BROADWAY, SUITE	NEW YORK	NY	10018
26.18-1-25	NAZZARO, J.	PARTNERSHIP, LP		8 SAXON AVE., STE C	BAY SHORE	NY	11706
26.18-1-23	NAZZARO, J	PARTNERSHIP, LP		8 SAXON AVE., STE C	BAY SHORE	NY	11706
	WESTCHESTER COUNTY DEPARTMENT OF	MUNICIPAL REFERRALS		148 MARTINE AVE SUITE	WHITE PLAINS	NY	10601



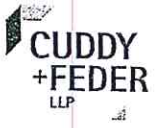
MOHINDRA, AJAY REVOCABLE
TRUST & MONHINDA, REENA
REVOCABLE TRUST
1340 LYNN CT.
Yorktown Heights, NY 10598



TEACHOUT, TERRY & JANA
1344 LYNN CT
Yorktown Heights, NY 10598



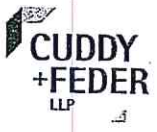
WESTCHESTER COUNTY DEPARTMENT OF
PLANNING
148 MARTINE AVE SUITE #432
MUNICIPAL REFERRALS
White Plains, NY 10601



MUNNELLY, THOMAS & KACI
1348 LYNN ROAD
Yorktown Heights, NY 10598



NAZZARO, J
PARTNERSHIP, LP
8 SAXON AVE., STE C
BAY SHORE, NY 11706



RUBENFELD, DAVID & LISA
1356 LYNN CT
Yorktown Heights, NY 10598



NAZZARO, J.
PARTNERSHIP, LP
8 SAXON AVE., STE C
BAY SHORE, NY 11706



SONG, HONG SUB & JEDONG
GRACE
2504 PINE GROVE CT
Yorktown Heights, NY 10598



OTHER HEIGHTS, LLC.
1430 BROADWAY, SUITE 903
New York, NY 10018



KATZ, BARRY & BARRIE
2510 PINE GROVE CT
Yorktown Heights, NY 10598



REALTY INCOME
PENN. PROP. TRUST 2
BJ'S WHOLESALE CLUB, INC
25 Research Dr., Rt C2
Westborough, MA 10581



O'CONNELL, TIMOTHY &
ANDREA
2522 PINE GROVE CT.
Yorktown Heights, NY 10598



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ALFANO, ROBERT &
GEORGETTE
2370 PINE GROVE CT
Yorktown Heights, NY 10598



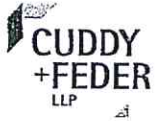
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ADAMO FAMILY REVOCABLE
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Yorktown Heights, NY 10598



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DINAPOLI, RICHARD &
CHARISSA
2374 PINE GROVE CT
Yorktown Heights, NY 10598



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PALOURAS, DIANNE &
2548 PINE GROVE CT
Yorktown Heights, NY 10598



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JACOBY, ANDREA
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Yorktown Heights, NY 10598



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7-ELEVEN INC.
3200 HACKBERRY ROAD
Irving, TX 75063

volta

STAPLES PLAZA

3379 CROMPOUND ROAD
 YORKTOWN HEIGHTS, NY 10598
 TOWN OF YORKTOWN
 SBL: 36.06-2-76

volta

155 DE HARO STREET
 SAN FRANCISCO, CA 94103

Kimley»Horn

New York

© 2022 KIMLEY-HORN ENGINEERING AND
 LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 1 N LEXINGTON AVE, SUITE 505
 WHITE PLAINS, NY 10601
 PHONE: 914.368.9200
 WWW.KIMLEY-HORN.COM

REV	DATE	DESCRIPTION	BY
1	04/01/2022	CD100s	TAS

ISSUE DATE
04/01/2022

ISSUED FOR
PERMIT



IT IS A VIOLATION OF LAW FOR ANY PERSON,
 UNLESS THEY ARE ACTING UNDER THE
 DIRECTION OF A LICENSED PROFESSIONAL
 ENGINEER, TO ALTER THIS DOCUMENT.

STAPLES PLAZA
 3379 CROMPOUND ROAD
 YORKTOWN HEIGHTS, NY
 10598

SHEET TITLE
COVER SHEET

SHEET NUMBER
C0-00

ITEM	TASK	YES	NO	N/A
1	CONTACT 811 UTILITY PRIOR TO EXCAVATION WORK.			
2	NOTIFY VOLTA & KIMLEY-HORN OF ANY DISCREPANCIES W/ PLANS OR POTENTIAL CONFLICTS.			
3	VERIFY ALL FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH THESE PLANS.			
4	INSTALL WORK AREA PROTECTION MEASURES.			
5	FIELD LOCATE EXISTING UTILITIES AND CROSSINGS & VERIFY NO CONFLICTS W/PROPOSED INFRASTRUCTURE.			
6	FIELD VERIFY ALL STALL DIMENSIONS AND EQUIPMENT LOCATIONS.			
7	CONFIRM ALL ADA AND LOCAL REQUIREMENTS ARE MET.			
8	ESTABLISH TEMPORARY CONSTRUCTION ACCESS(ES).			
9	IMPLEMENT AND MAINTAIN EPSC CONTROL MEASURES PER LOCAL REQUIREMENTS.			
10	LOCATE VERTICAL AND HORIZONTAL UTILITIES PRIOR TO BORING.			
11	PROVIDE PROPOSED LIMITS OF ASPHALT OVERLAY SKETCH TO KIMLEY-HORN & VOLTA (IF NEEDED).			
12	SEED & STABILIZE ALL DISTURBED AREAS AFTER FINAL GRADING.			

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BUILDING/ DWELLING, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE/LIFE SAFETY CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL GOVERNING AUTHORITIES CODES.

VOLTA PROPOSES:

- 2 ELECTRIC VEHICLE (EV) CHARGING STATION FIXTURES TO BE LOCATED IN EXISTING CURBED ISLAND AREAS THAT ARE ADJACENT TO ON-SITE PARKING SPACES AND PART OF AN EXISTING SHOPPING CENTER AT THE PROPERTY. THE EV FIXTURES ARE CUSTOMARY ACCESSORY AND INCIDENTAL TO THE EXISTING COMMERCIAL USE AND SOLELY FOR THE BENEFIT OF CUSTOMERS VISITING THE STORE. THE FIXTURES ARE LOCATED TO PROVIDE PRIORITY PARKING FOR PATRONS WITH EVS AND DISPLAY VISIBILITY ALONG THE INTERIOR CIRCULATION AISLE FOR SHOPPERS. THERE ARE NO PROPOSED CHANGES TO THE PARKING SPACES OR ANY OF THE EXISTING TRAFFIC CIRCULATION AT THE PROPERTY.

APPLICANT:
 KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 1 N LEXINGTON AVE, SUITE 505
 WHITE PLAINS, NY 10601
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 EMAIL: DEAN.APOSTOLERIS@KIMLEY-HORN.COM

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 VOLTA
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 SAN FRANCISCO, CA 94103
 CONTACT: SAMUEL LEE
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 GREENWICH, CT 06830
 CONTACT: BRIAN MCCAFFREY
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 EMAIL: BMCCAFFREY@UBPROPERTIES.COM

PROGRAM MANAGER:
 KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
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CIVIL ENGINEER:
 KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 CONTACT: DANIEL LOFRISCO, P.E.
 PHONE: (973)-420-4182
 EMAIL: DAN.LOFRISCO@KIMLEY-HORN.COM

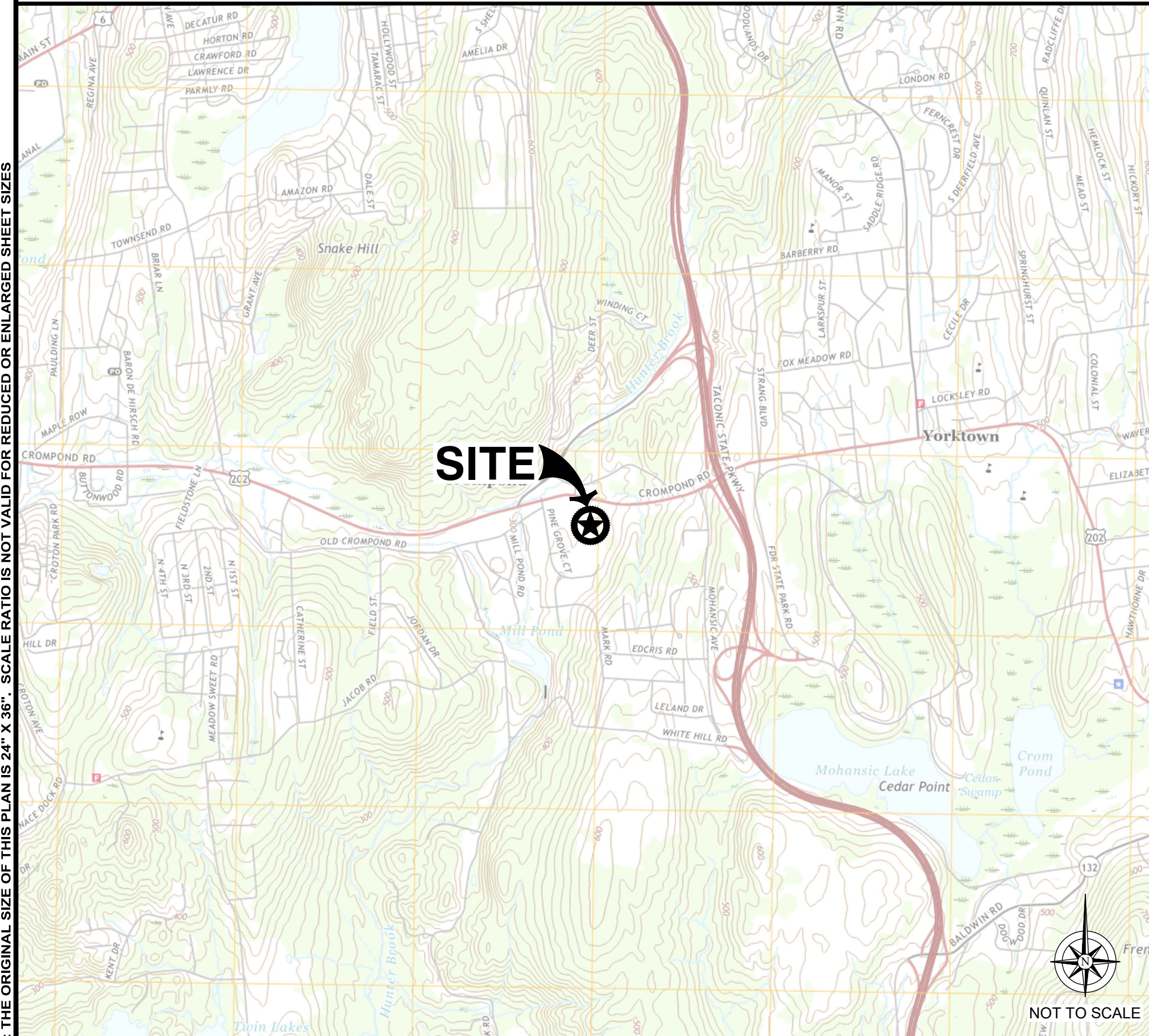
ELECTRICAL ENGINEER:
 KIMLEY-HORN ENGINEERING & LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
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 PHONE: (757)-213-8635
 EMAIL: JEFFREY.SALLEE@KIMLEY-HORN.COM

CONTRACTOR VERIFICATION CHECKLIST

CODE BLOCK

PROJECT DESCRIPTION

PROJECT TEAM



Sheet Title	Sheet Number
COVER SHEET	C0-00
GENERAL NOTES	C0-01
VOLTA STATION OVERVIEW	C0-02
OVERALL SITE PLAN	C1-00
ENLARGED SITE PLAN	C2-00
SITE DETAILS	C3-00
SITE DETAILS	C3-01
SITE DETAILS	C3-02
SITE DETAILS	C3-03
SITE DETAILS	C3-04
SITE DETAILS	C3-05
ELECTRICAL ONE LINE DIAGRAM	E1-00
ELECTRICAL NOTES & DETAILS	E2-00

SHEET INDEX

811 Know what's BELOW.
 CALL before you dig.

DIG ALERT
 CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CALL AT LEAST TWO WORKING DAYS BEFORE YOU DIG

LOCATION MAP

VICINITY MAP

CALL BEFORE YOU DIG

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

GENERAL NOTES:

- VOLTA WILL PROVIDE AN INSTALLATION GUIDE AND OTHER SUPPORTING DOCUMENTS AT TIME OF CONSTRUCTION.
- ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE. EXISTING UTILITY LOCATIONS AND CROSSINGS ARE TO BE LOCATED IN THE FIELD. CONTRACTOR IS TO CONTACT 811 UTILITY PRIOR TO BEGINNING ANY EXCAVATION WORK.
- ALL PAVEMENT, LANDSCAPING, UTILITIES, AND OWNER PROPERTY THAT IS DAMAGED OR AFFECTED BY CONSTRUCTION SHALL BE RETURNED TO EXISTING CONDITIONS OR BETTER AT THE CONTRACTOR'S EXPENSE.
- PROPOSED PAVEMENT STRIPING SHALL LINE UP WITH EXISTING STRIPING WHEREVER POSSIBLE. ADDITIONAL PAVEMENT STRIPE IS NOT NECESSARILY PARALLEL TO THE CONSTRUCTED CHARGING ISLAND.
- THIS ACCESSIBILITY REVIEW WAS UNDERTAKEN TO IDENTIFY DESIGN FEATURES OF THE PROJECT THAT MAY BE CONSIDERED BY GOVERNMENTAL AGENCIES OR DEPARTMENTS, OR NON-GOVERNMENTAL GROUPS TO BE NON-COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, REVISED 2010 ADA REGULATIONS AND STANDARDS. THE AMERICANS WITH DISABILITIES ACT OF 1990 IS A FEDERAL CIVIL RIGHTS LAW, THERE IS NO FEDERAL REVIEW PROCESS TO ENSURE FULL COMPLIANCE WITH THE GUIDELINES, EXCEPT THROUGH THE FEDERAL COURT SYSTEM. THE DEPICTIONS, NOTES, AND RECOMMENDATIONS, EXPRESSED ON THIS PLAN ARE BASED ON PROFESSIONAL JUDGEMENT GAINED FROM PAST EXPERIENCE WITH ACCESSIBILITY LAWS, CODES, AND STANDARDS AND THE WORKING INVOLVEMENT TO DEVELOP ACCESSIBILITY STANDARDS THAT WILL MEET OR EXCEED THE APPLICABLE FEDERAL GUIDELINES. ACCORDINGLY, NO CLAIMS OR WARRANTIES, EXPRESSED OR IMPLIED, ARE MADE THAT IN PREPARING THIS PLAN AND PROPOSING RECOMMENDATIONS, THAT ALL POSSIBLE BARRIERS TO ALL PEOPLE HAVE BEEN IDENTIFIED.
- CONTRACTOR SHALL ACHIEVE A MINIMUM OF 1% BUT NO MORE THAN A 2% SLOPE IN ANY DIRECTION WITHIN ADJACENT ACCESSIBLE SPACE AND BLEND ASPHALT OVERLAY TO EXISTING GRADES AS REQUIRED. CONTRACTOR SHALL PROVIDE A SKETCH TO VOLTA OF PROPOSED LIMITS OF ASPHALT OVERLAY TO ACHIEVE THIS REQUIREMENT PRIOR TO BEGINNING PAVEMENT WORK.
- ACCESSIBLE EV STALLS WERE DESIGNED BASED ON EXISTING CONDITIONS AND WITHOUT THE BENEFIT OF SURVEY DATA. ALL ADA AND LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO SLOPE AND SPACING SHALL BE CONFIRMED BY THE CONTRACTOR AND MET AT THE TIME OF CONSTRUCTION.
- CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN ACCESSIBILITY PRIOR TO CONSTRUCTION.
- UNDER NO CIRCUMSTANCE IS THE CONTRACTOR TO DISRUPT ANY OPERATIONS AT THE SITE HOST LOCATION, INCLUDING BUT NOT LIMITED TO CUSTOMER DISRUPTION, UTILITIES, AND INFRASTRUCTURE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT WORK AREAS WITH CONES AND/OR BARRICADES AT ALL TIMES.

EROSION CONTROL & GRADING NOTES:

- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. THE CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.
- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
- CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- SEQUENCE OF CONSTRUCTION INCLUDED ABOVE IS A GENERAL OVERVIEW, AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION IF ANY ADDITIONAL DETAIL IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE AHJ REQUIREMENTS.

ADA COMPLIANCE:

- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

SITE NOTES:

- HORIZONTAL DIRECTIONAL DRILLING (HDD) OR OTHER TRENCHLESS METHODS AS PROVIDED BY SITE HOST ARE THE PREFERRED METHOD TO INSTALL CONDUIT BENEATH EXISTING PARKED VEHICLES AND PAVED AREAS.
 - CONDUIT SHALL BE INSTALLED AT A MINIMUM DEPTH OF TWO AND ONE-HALF FEET (2.5') OR BELOW THE FREEZE LINE, WHICHEVER IS DEEPER. CONDUIT TYPE AND DESIGN TO BE SPECIFIED BY EV CHARGING STATION VENDOR AND MEET ALL LOCAL REQUIREMENTS. CONDUIT DIAMETER SHALL BE NO LARGER THAN TWO (2) INCHES.
 - THE RECEIVING PIT SHALL BE LOCATED AS CLOSE AS REASONABLY POSSIBLE TO THE PROPOSED WALL PENETRATION TO LIMIT THE LENGTH OF BUILDING-MOUNTED CONDUIT. LOCATE RECEIVING PIT WITHIN ASPHALT PAVED AREA OR CONCRETE SIDEWALK AREA; RECEIVING PIT SHALL NOT BE LOCATED WITHIN THE UNLOADING PAD (SIX TO TEN INCH (6-10") REINFORCED CONCRETE SLAB AT THE REAR OF THE STORE). RECEIVING PIT LOCATION AND WORK AREA SHALL NOT AFFECT SITE HOST CUSTOMER OR DELIVERY TRAFFIC. SEE SUPPLEMENTAL DOCUMENTS, RECEIVING AREA DIAGRAM.
 - THE RECEIVING PIT SIZE SHALL BE LIMITED TO THREE FEET (3') BY THREE FEET (3') AND SHALL NOT UNDERMINE THE BUILDING FOUNDATION, ENCLOSURES OR CONCRETE UNLOADING PAD.
 - BACKFILL EXCAVATIONS AND REPAIR PAVEMENT PER SPECIFICATIONS BELOW.
 - WHERE CONCRETE PAVEMENT, SIDEWALK, ASPHALT PAVEMENT, CURBING, OR CURBING GUTTER IS REMOVED, THE WIDTH OF THE REMOVAL SHALL EXCEED THE ACTUAL WIDTH AT THE TOP OF THE TRENCH BY TWELVE INCHES (12") ON EACH SIDE OF THE TRENCH, OR A TOTAL OF TWO FEET (2') WIDER THAN THE TRENCH.
 - TRENCHING THROUGH THE CONCRETE RECEIVING PAD AT THE REAR OF THE STORE OR THE DRIVE-THRU SLAB IS NOT ALLOWED. ONLY TRENCHING THROUGH MINOR CONCRETE INSTALLATIONS SUCH AS SIDEWALKS WILL BE PERMITTED.
 - EXCAVATE TRENCHES TO A DEPTH FOUR INCHES (4") DEEPER THAN BOTTOM OF FINISHED PIPE ELEVATION.
 - THE BOTTOM WIDTH OF THE TRENCH SHALL BE AS REQUIRED TO PERMIT CONDUIT TO BE PROPERLY LAIN AND BACKFILL TO BE PLACED AND PROPERLY COMPACTED.
 - REMOVED PAVEMENT, CONCRETE AND EXCAVATED MATERIALS UNSUITABLE FOR USE AS BACKFILL SHALL BE DISPOSED OFFSITE.
 - BEDDING AND BACKFILL MAY BE MATERIAL EXCAVATED FROM THE TRENCH PROVIDED THAT IT IS FREE FROM DEBRIS AND ROCKS LARGER THAN ONE AND ONE-HALF INCHES (1-1/2").
 - OVER THE PIPE, IN LAYERS NOT EXCEEDING FOUR INCHES (4"), PLACE AND COMPACT SUITABLE FILL MATERIAL TO NINETY-FIVE PERCENT (95%) DRY DENSITY AS DETERMINED BY ASTM D698.
 - COMPACTING EQUIPMENT SHALL BE OF SUCH DESIGN, WEIGHT, AND QUALITY AS IS REQUIRED TO OBTAIN THE DENSITIES SPECIFIED HEREIN OR INDICATED ON THE DESIGN DRAWINGS. AREAS INACCESSIBLE TO SELF-PROPELLED COMPACTING EQUIPMENT SHALL BE COMPACTED OR CONSOLIDATED BY HAND-OPERATED MECHANICAL TAMPERS OR VIBRATORS.
 - RESTORE GRASS, LANDSCAPING, IRRIGATION AND ALL FEATURES TO THEIR PRECONSTRUCTION CONDITION.
- ANY UTILITIES, PAVEMENT, IRRIGATION, LANDSCAPING OR OTHER SITE FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY EV CHARGING STATION VENDOR TO SITE HOST SPECIFICATION.
 - WHERE LANDSCAPING IS IMPACTED, IT IS THE RESPONSIBILITY OF EV CHARGING STATION VENDOR TO REPOSITION OR PROVIDE NEW LANDSCAPING WITHIN THE SITE HOST PROPERTY TO ENSURE COMPLIANCE WITH ANY CODE REQUIREMENTS.
 - WHERE PARKING LOT, SIDEWALK OR OTHER PAVED AREAS ARE IMPACTED OR DAMAGED, IT IS THE RESPONSIBILITY OF THE EV CHARGING STATION VENDOR TO REPAIR THE AREA TO LIKE NEW CONDITION. REPAIR SHOULD EXTEND BEYOND DAMAGED AREA TO NEAREST CLEAN BREAK THAT ALIGNS WITH ARCHITECTURAL BREAKS, MATERIAL JOINTS, PAVEMENT MARKINGS, ETC.
- WHERE APPLICABLE, UTILITY SERVICE PROVIDER TO USE SITE HOST APPROVED ROE (RIGHT OF ENTRY) AGREEMENT. SITE HOST PROGRAM MANAGER WILL PROVIDE TEMPLATE WHEN NECESSARY.
 - ASPHALT PAVEMENT REMOVAL AND REPLACEMENT
 - SAW CUT THE PAVEMENT TO NEAT, STRAIGHT LINES TO THE FULL DEPTH OF THE PAVEMENT. PAVEMENT REMOVAL SHALL EXTEND A MINIMUM OF TWELVE INCHES (12") BEYOND THE EDGES OF THE REMOVAL AREA. ANY OTHER PAVEMENT AREAS DAMAGED DURING REMOVAL SHALL ALSO BE REPAIRED OR REPLACED AS NECESSARY
 - REMOVE THE PAVEMENT WITHOUT DAMAGING THE PAVEMENT THAT IS TO REMAIN IN-PLACE.
 - IF BASE REPLACEMENT IS REQUIRED, COMPACT THE IN-SITU SOILS TO NINETY-FIVE PERCENT (95%) ASTM D698 AND PLUS OR MINUS TWO PERCENT (2%) OF OPTIMUM MOISTURE CONTENT. REMOVE AND REPLACE ANY UNSUITABLE IN-SITU SOILS.
 - PLACE AND COMPACT BASE MATERIAL TO NINETY-FIVE PERCENT (95%) OF ASTM D698.
 - APPLY PRIME COAT TO AGGREGATE BASE IN COMPLIANCE WITH THE DOT SPECS. PRIME COAT SHALL NOT BE APPLIED MORE THAN TWENTY-FOUR (24) HOURS BEFORE ASPHALT PAVEMENT IS PLACED. APPLICATION RATE TO BE PER THE DOT SPEC.
 - CLEAN AND APPLY TACK COAT TO THE ENDS OF CURBS, EDGES OF CONCRETE SURFACES, EDGES OF MANHOLES AND INLETS AND EDGES OF SAW CUT PAVEMENT THAT WILL REMAIN IN-PLACE.
 - PLACE AND COMPACT HOT-MIX ASPHALT. HOT-MIX ASPHALT THICKNESS SHALL BE THE GREATER OF THE IN-PLACE ASPHALT OR THREE AND ONE-HALF INCHES (3.5"). ASPHALT MIX DESIGN SHALL BE BY THE CONTRACTOR.
 - PLANT MIXED ASPHALT BASE/BINDER COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF TWO INCHES (2").
 - PLANT MIXED ASPHALT SURFACE COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF ONE AND ONE-HALF INCHES (1-1/2").
 - FOR SMALLER JOBS, IT MAY NOT BE FEASIBLE TO INSTALL BINDER AND SURFACE COURSES, IN WHICH CASE SURFACE COURSE, PLACED AND COMPACTED IN TWO LIFTS, WILL BE ACCEPTED.
 - IF PLACING HOT MIX ASPHALT WITH A SHOVEL, BEGIN PLACING HMA AGAINST THE EDGES OF THE PATCH AND WORKING INWARD. HMA SHOULD NOT BE PLACED IN THE CENTER OF THE PATCH AND RAKED TOWARDS THE EDGES.
 - THE FIRST PASS OF THE ROLLER OR COMPACTION EQUIPMENT SHOULD BE ALONG THE EDGES OF THE PATCH TO PROPERLY FORM THE JOINT. THE ROLLER WHEEL OR COMPACTION EQUIPMENT SHOULD OVERHANG THE EXISTING PAVEMENT ONTO THE PATCH BY SIX INCHES (6"). AFTER THE PERIMETER OF THE PATCH HAS BEEN COMPACTED BEGIN TO WORK TOWARDS THE CENTER OF THE PATCH WITH SUCCESSIVE PASSES OFFSET BY SIX INCHES (6").
 - THE CONTRACTOR SHALL UTILIZE THE APPROPRIATE HEAVY COMPACTION EQUIPMENT TO ACHIEVE THE REQUIRED COMPACTION OF THE ASPHALT.
 - SEAL THE AREA AROUND THE EDGES WITH AN ELASTOMERIC LIQUID ASPHALT SEALER TO PROTECT AGAINST WATER INFILTRATION, INCLUDING ANY INADVERTENT OVERCUTS DURING THE SAW CUTTING PROCEDURE.

PROJECT LEGEND:

(SCALE VARIES PER SHEET)

	DETAIL NO. / SHEET NO.
	PROPERTY LINE
	BREAK LINE
	EXISTING CURB AND GUTTER
	EXISTING PARKING STRIPE
	EXISTING CONCRETE PAD
	EXISTING TREE
	EXISTING SHRUB
	EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN / MANHOLE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING STRUCTURE / UTILITY
	EXISTING ELECTRICAL ROOM / PANEL
	PROPOSED ELECTRICAL CONDUIT
	PROPOSED ELECTRICAL JUNCTION BOX
	PROPOSED COMMUNICATIONS CONDUIT
	PROPOSED COMMUNICATIONS JUNCTION BOX
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE WHEEL STOP
	PROPOSED CONCRETE PAD
	PROPOSED TREE PROTECTION
	PROPOSED VOLTA V4 L2 CHARGING STATION
	PROPOSED VOLTA V4 L2 POST-INSTALLED CHARGING STATION
	PROPOSED VOLTA V4 L2 DCFC CHARGING STATION
	PROPOSED VOLTA V4 L2 EVCS W/ 4" PIPE BOLLARDS
	PROPOSED VOLTA V3 L2 CHARGING STATION
	PROPOSED V3 L2 EVCS FOUNDATION W/ 4" PIPE BOLLARDS
	PROPOSED PCS FOUNDATION
	PROPOSED PCS FOUNDATION W/ 4" BOLLARDS
	PROPOSED L2 REMOTE CHARGING UNIT FOUNDATION
	PROPOSED eBOX & eCLICK
	PROPOSED SIGN POST
	PROPOSED SIGN POST W/ BOLLARD
	PROPOSED POST INSTALLED SIGN POST
	PROPOSED POST INSTALLED SIGN POST W/ BOLLARD
	PROPOSED WALL MOUNTED SIGN
	PROPOSED 4" ISOLATED PIPE BOLLARD

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STAPLES PLAZA

**3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598**

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
C0-01

DC Fast Media Station

Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they drive.

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.



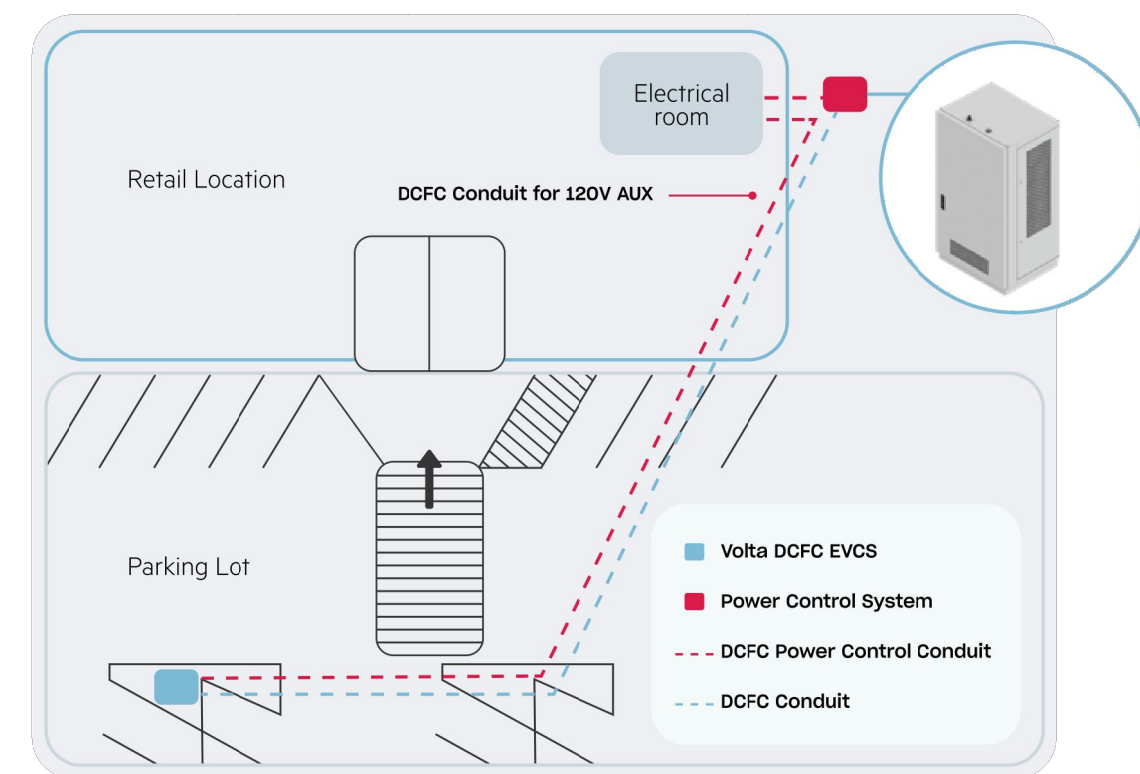
Power Control System (PCS)

Supports up to 2 DC Fast stations

- Single 50 kW station: 90A/3P, 480V breaker
- (2) 50 kW stations: 175A/3P, 480V breaker
- Certification: UL ® 2202, 2231, 50E
- Dimensions: 82"H x 42"L x 35"D
- Weight range: 1350-1900 lbs

Installation Requirements

- Foundation requirements: 48"D x 48"L x 48"W
 - Clearance: 96"H x 75"D x 114"W
 - Conduit diameter: size varies based on run lengths
- Contact engpm@voltacharging.com



DC Fast Media Station

Charger Specs

- Output power: 50 kW max (DC)
- Safety certification: ETL safety certified

Power Requirements

- Input voltage: 480 VAC
- Output voltage: 50 - 500 VDC
- Circuit size: 90A/3P @ 480V (50kW) or 175/3P @ 480V (50kW x 2)
- Network connectivity: Cell connection or LAN access

Display Screen Specs

- Size: 55" Outdoor LED back light system x2
- Picture: Full HD 1080p resolution
- Power requirements: 20A/1P, 120V breaker
- File type: JPEG or PNG

Installation Requirements

- Foundation requirements: 36"D x 36"L x 36"W approx.
- Conduit diameter: 3" power conduit / 1" communication conduit approx.

voltacharging.com

770-00003

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STAPLES PLAZA

**3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598**

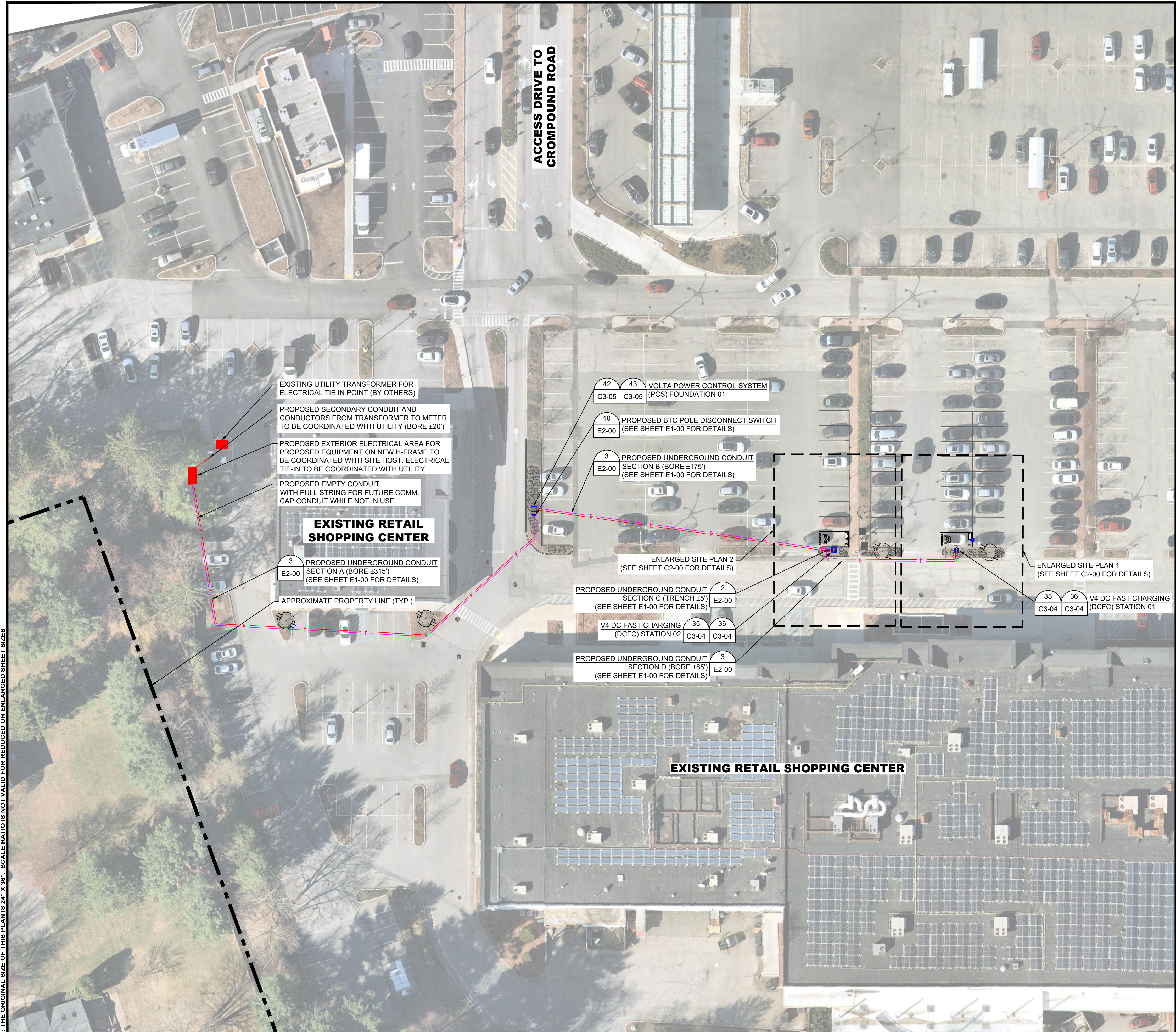
SHEET TITLE

**VOLTA STATION
OVERVIEW**

SHEET NUMBER

C0-02

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



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OVERALL SITE PLAN

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CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND VOLTA OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH VOLTA PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

CONSTRUCTION NOTES:

- CONTRACTOR RESPONSIBILITIES CONSISTS OF, BUT NOT LIMITED TO, CHARGING STATION MOUNTING, FOUNDATION CONSTRUCTION, CONDUIT INSTALLATION, AND WIRING.
- CONTRACTOR TO PAINT PROPOSED EV PARKING STALLS PER JURISDICTIONAL REQUIREMENTS.
- CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY CONSTRUCTION ACTIVITY. SEE SHEET C3-00 FOR DETAILS.
- EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.
- CONTRACTOR TO FIELD VERIFY ALL STALL DIMENSIONS AND ALL EQUIPMENT LOCATIONS TO ENSURE SUFFICIENT SPACE IS AVAILABLE.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN DRILLING INTO EXISTING CIP SLAB AND CIP DROP PANELS TO AVOID DAMAGE TO ANY REINFORCING AND EXISTING STRUCTURAL COMPONENTS.
- USE APPROVED ASTM METHOD (X-RAY, PACOMETER, GPR, ETC.) TO LOCATE MILD STEEL AND PRE-STRESSING TENDONS PRIOR TO DRILLING. DO NOT CUT OR DRILL THROUGH ANY EXISTING REINFORCING. ADJUST LOCATION AS NECESSARY TO AVOID EXISTING REINFORCING. ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
- VOLTA WILL MAKE EVERY EFFORT TO FOLLOW, WITH THEIR PROPOSED CONDUIT, AN EXISTING CONDUIT ROUTE FROM ELECTRICAL ROOM TO PROPOSED STATION PLACEMENTS. WHEN AN EXISTING ROUTE IS NOT AVAILABLE, VOLTA WILL MAKE EVERY EFFORT TO CONCEAL/HIDE, PAINT AND MINIMIZE VISUAL IMPACT OF CONDUITS ANYWHERE THEY MAY BE VISIBLE TO THE PUBLIC.
- CONTRACTOR IS RESPONSIBLE TO LOCATE ALL VERTICAL AND HORIZONTAL UTILITIES PRIOR TO DIRECTIONAL BORING. ANY ALTERATIONS TO THE PROPOSED CONDUIT ROUTE ARE TO BE COORDINATED WITH THE PROFESSIONAL ENGINEER(S) PRIOR TO CONSTRUCTION.
- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO LOCATE JUNCTION BOX OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.

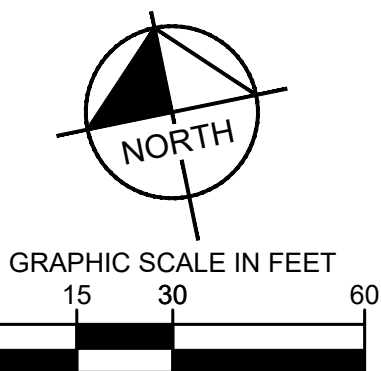
PARKING NOTE:

- THIS PROJECT PROPOSES TO UPGRADE (2) STANDARD PARKING STALLS TO (2) EV PARKING STALLS FOR EV READINESS. NO PARKING REDUCTION IS PROPOSED.
- NO NET CHANGE IN PARKING COUNT

REFERENCE NOTE:

- SEE PROJECT LEGEND ON SHEET C0-01 FOR SYMBOLS AND LINE TYPE DESCRIPTIONS.

IMAGE REFERENCE:
AERIAL IMAGE(S) PROVIDED BY NEARMAP
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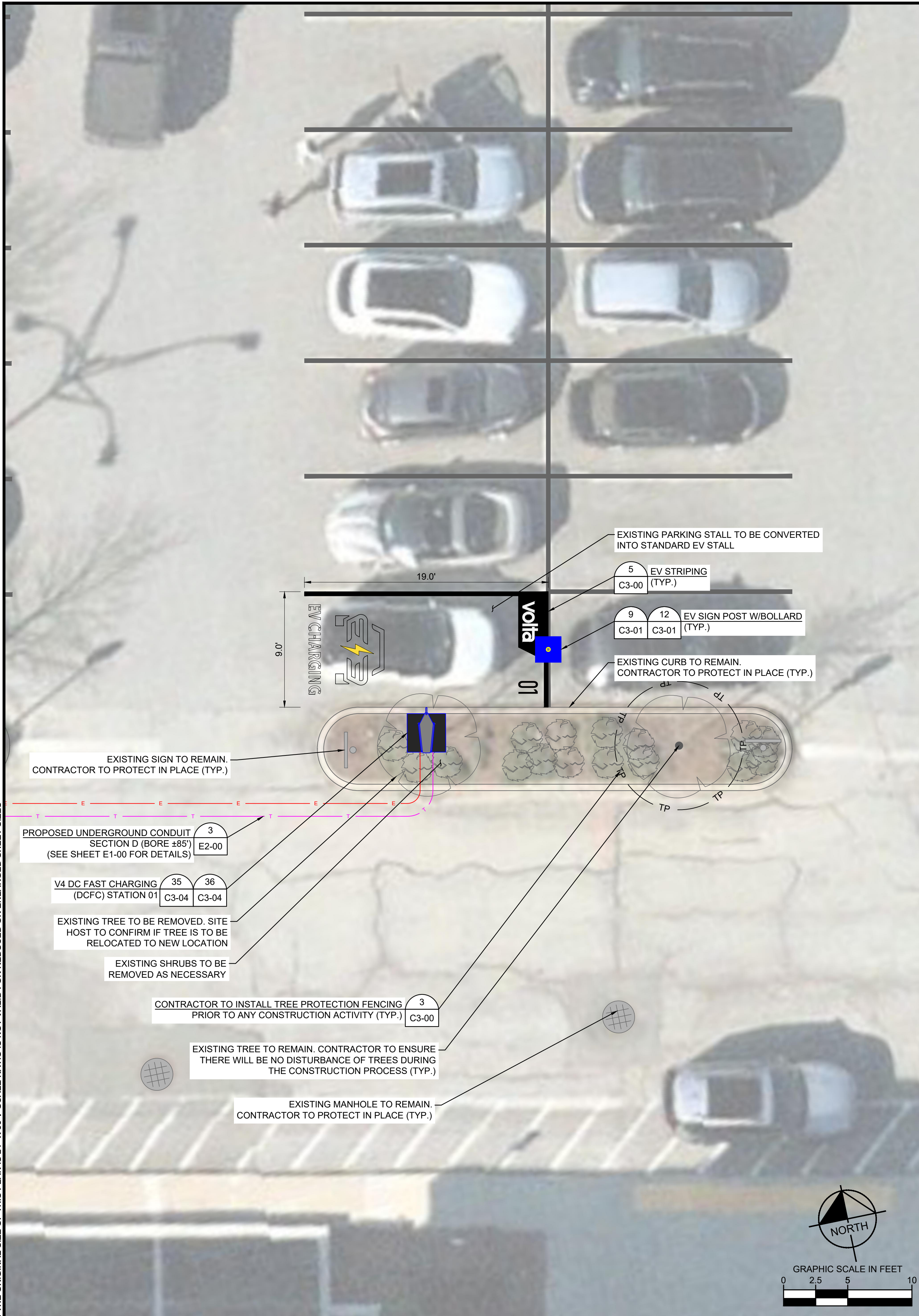
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STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
C1-00

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ENLARGED SITE PLAN

1



ENLARGED SITE PLAN

2

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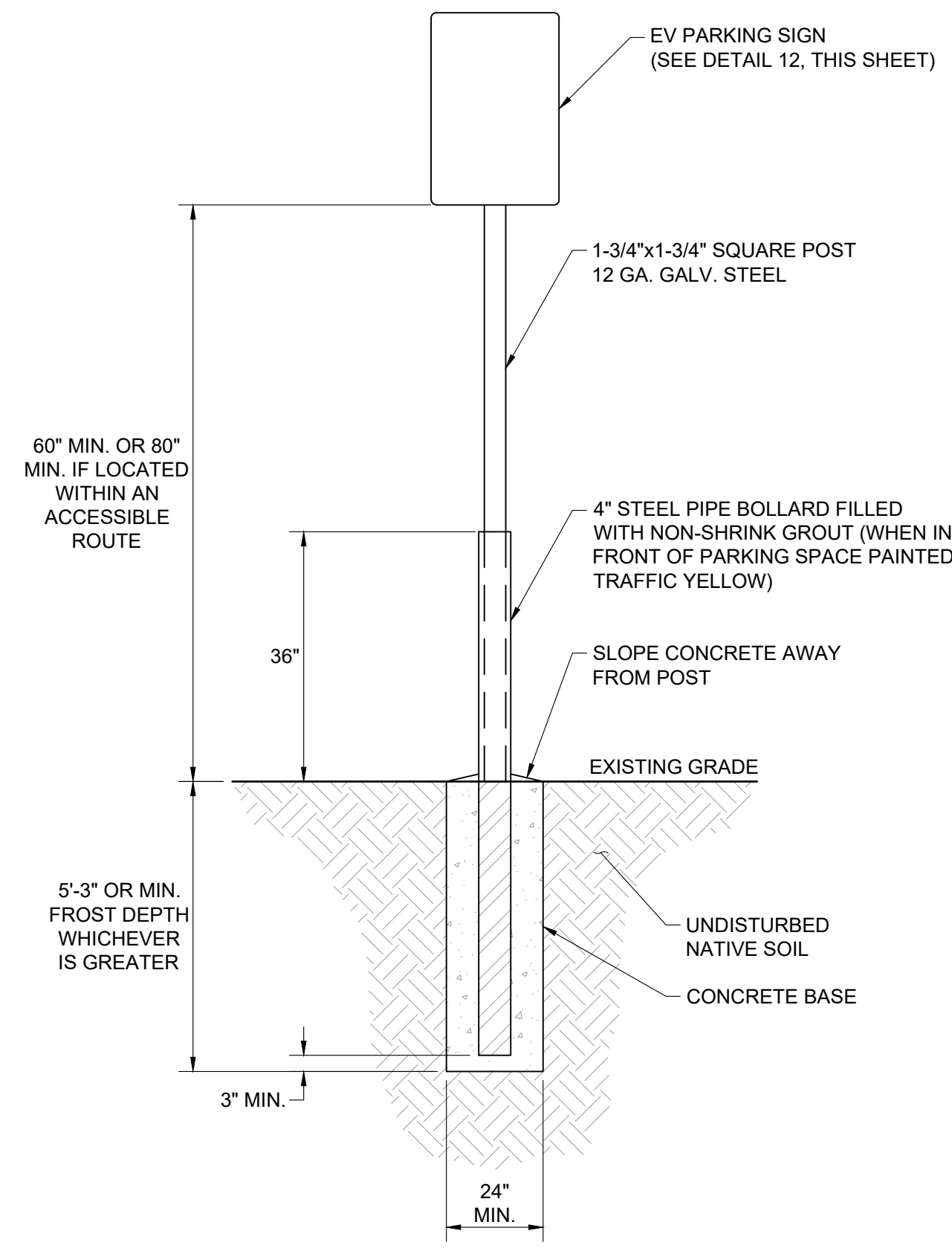


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STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C2-00



- NOTES:
- SIGN TO BE GREEN (PANTONE 355C) WITH WHITE LETTERING AND MUST BE REFLECTIVE LETTERING.
 - TO BE PLACED AT HEAD OF PARKING STALL.
 - POST MOUNTED OBJECTS PER ADA CODE SECTION 11B-307.3.
 - THIS DETAIL SHALL BE USED WHEN SIGN POST IS LOCATED IN PARKING LOT PAVEMENT, OR WITHIN 2' CAR OVERHAND ZONE.
 - REFER TO NOTES FOR ASSUMED GEOTECHNICAL 164 PARAMETERS. THIS SIGN DESIGN ASSUMES ASCE 7-10 WIND SPEED AND AN EXPOSURE CATEGORY B. IF EITHER OF THESE GEOTECHNICAL PROPERTIES OR ASCE 7-10 WIND PARAMETERS DIFFER BASED ON LOCATION THE DESIGN MUST BE UPDATED BY A STRUCTURAL ENGINEER.

NOT USED SCALE N.T.S. 10

NOT USED SCALE N.T.S. 11

NOT USED SCALE N.T.S. 8

SIGN POST W/BOLLARD SCALE N.T.S. 9

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.

- NO TIME LIMIT SIGN**
STADIUMS, OTHER VENUES, ECT.
- 45 MIN. TIME LIMIT SIGN**
FAST FOOD RESTAURANTS, ECT.
- 1 HR. TIME LIMIT SIGN**
DRUG STORES OR SIMILAR QUICK/CONVENIENCE SITES
- 2 HR. TIME LIMIT SIGN**
GROCERY STORES, MALLS, ECT.
- 3 HR. TIME LIMIT SIGN**
MOVIE THEATERS, ENTERTAINMENT CENTERS, ECT.
- 30 MIN. TIME LIMIT SIGN**
DCFC STALLS

SIGN INSTALLATION TYPE:
CONTRACTOR SHALL COORDINATE WITH VOLTA TO DETERMINE EVCS SIGN TYPE PRIOR TO INSTALLATION.

SIGN INSTALLATION HEIGHT:
ALL SIGNS TO BE INSTALLED AT 60" ABOVE FINISH FLOOR. IF SIGNS ARE LOCATED WITHIN AN ACCESSIBLE ROUTE, THEY WILL BE INSTALLED AT 80" ABOVE FINISHED FLOOR. MEASUREMENTS ARE TAKEN FROM BOTTOM OF LOWEST SIGN.

SIGN REQUIREMENTS SCALE N.T.S. 12

NOT USED SCALE N.T.S. 13

NOT USED SCALE N.T.S. 14

NOT USED SCALE N.T.S. 15

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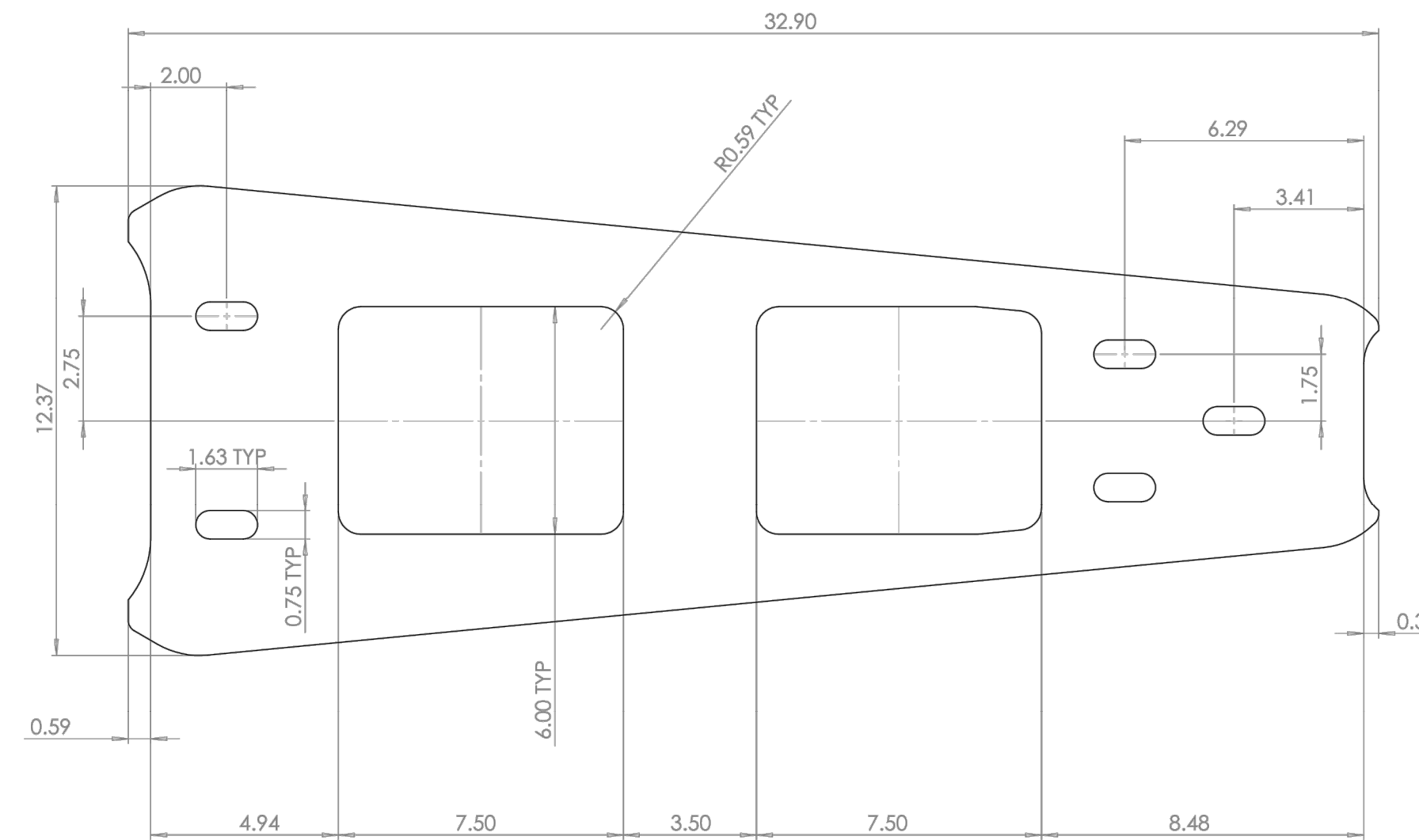
STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
SITE DETAILS

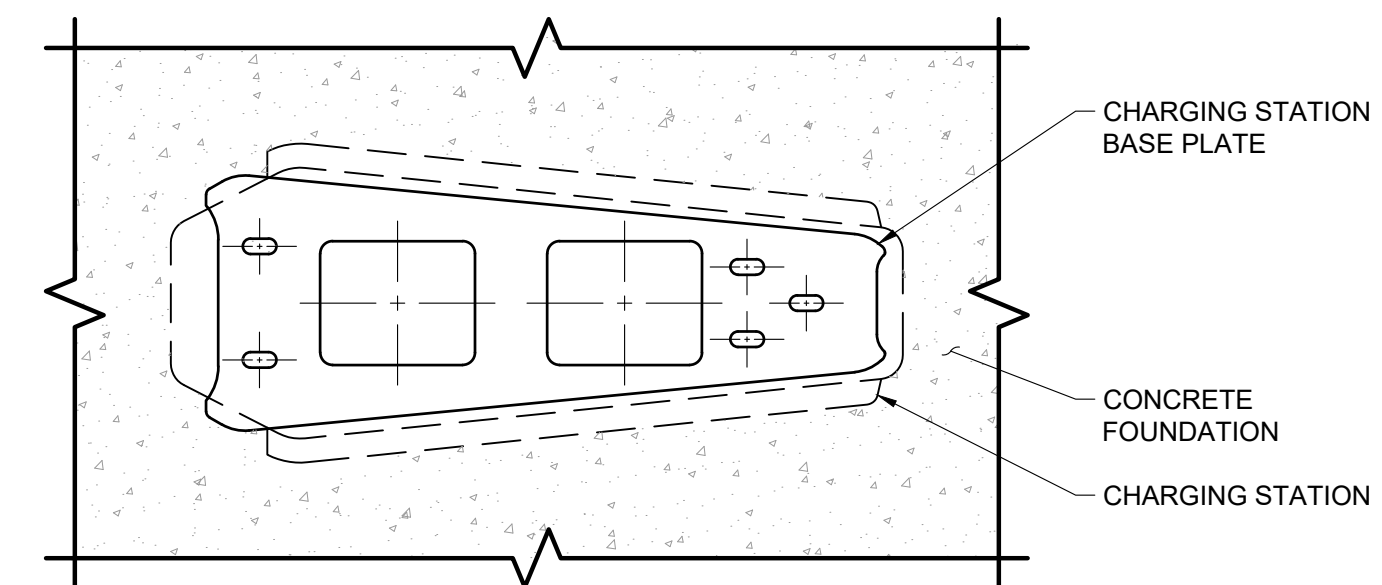
SHEET NUMBER
C3-01

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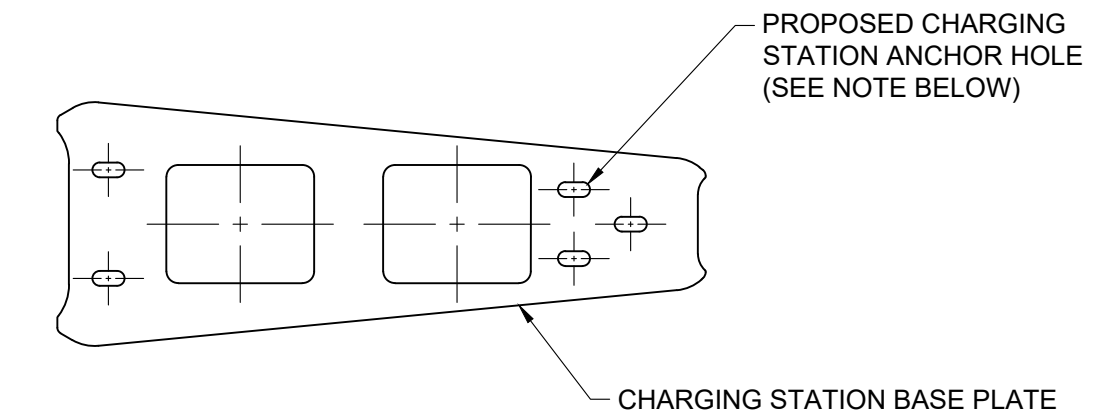
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NOTE:
1. REFER TO DETAIL 18 FOR BASE PLATE ANCHORAGE.



CHARGING STATION BASE PLAN VIEW



CHARGING STATION BASE PLATE PLAN VIEW

NOTES:
1. CONTRACTOR TO VERIFY POST INSTALLATION OR CAST IN PLACE ANCHOR AS LISTED BELOW BASED ON FIELD MEASUREMENTS AND JURISDICTIONAL REQUIREMENTS.
2. CONTRACTOR TO VERIFY EXISTING CONCRETE SLAB THICKNESS AND MAINTAIN 2" MINIMUM COVER OF CONCRETE BELOW EMBEDDED ANCHORS.
3. REFER TO DETAIL 17 FOR BASE PLATE DIMENSIONS.

CAST IN PLACE ANCHOR:
MINIMUM EFFECTIVE EMBEDMENT OF 2" OR ENGINEER APPROVED EQUAL.

POST INSTALLATION MECHANICAL ANCHOR:
(4) 5/8" DIAMETER HILTI KWIK BOLT TZ-SS304 ANCHOR ROD WITH MINIMUM EFFECTIVE EMBEDMENT OF 3-1/4" OR ENGINEERING APPROVED EQUAL.

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NOT USED SCALE N.T.S. 16

VOLTA V4 BASE PLATE SCALE N.T.S. 17

VOLTA BASE PLATE ANCHORAGE SCALE N.T.S. 18

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STAPLES PLAZA
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YORKTOWN HEIGHTS, NY
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SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-02

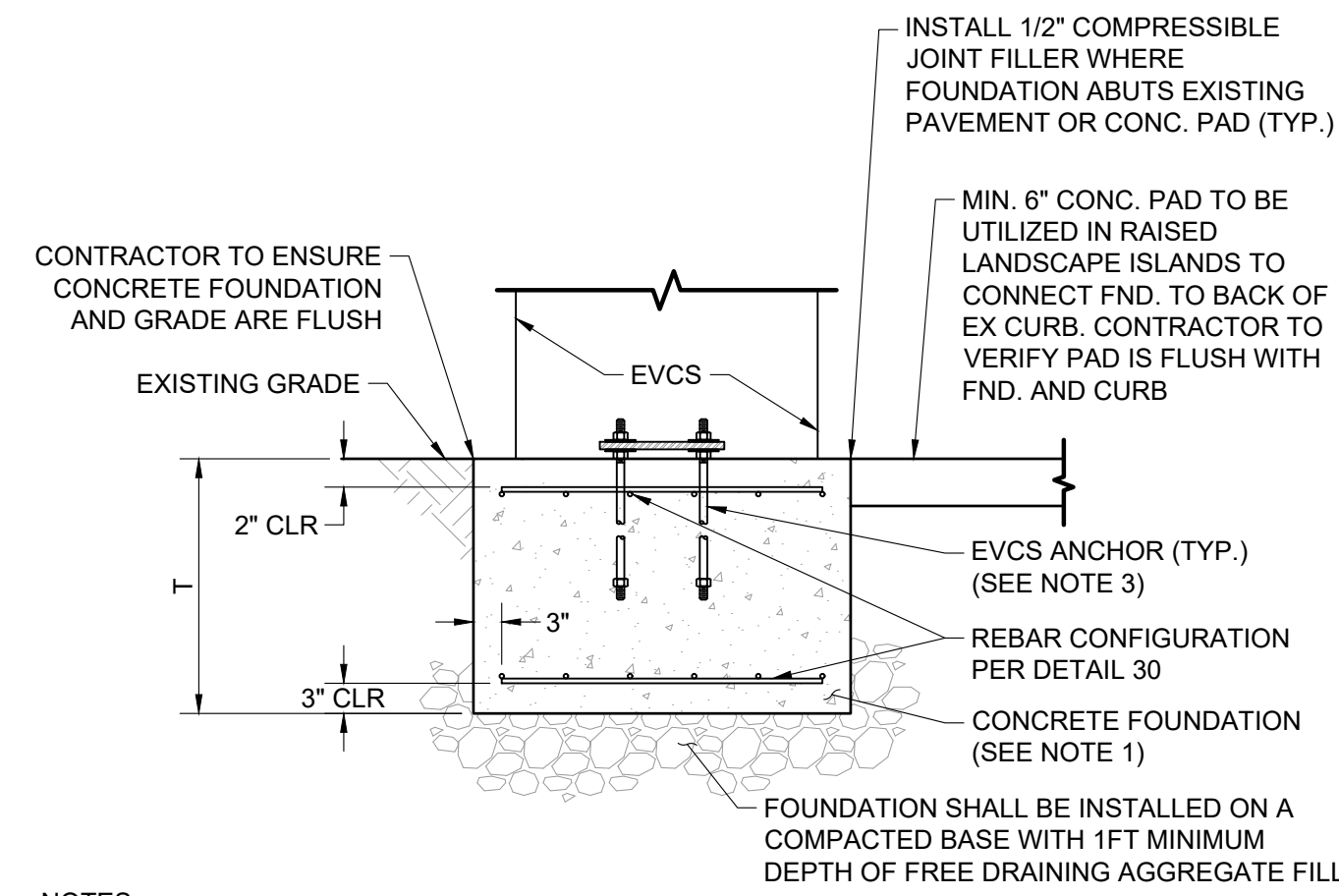
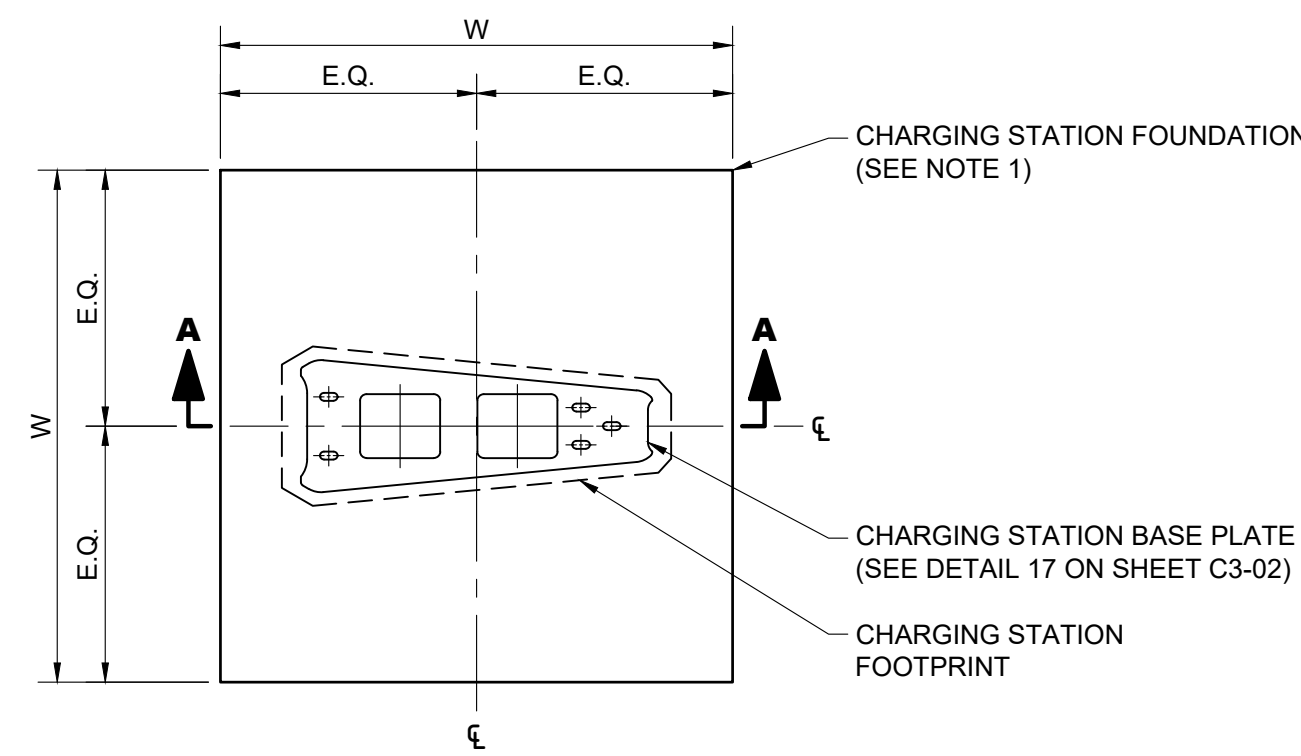
NOT USED SCALE N.T.S. 19

NOT USED SCALE N.T.S. 20

NOT USED SCALE N.T.S. 21

NOT USED SCALE N.T.S. 22

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NOTES:
 1. SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 2. EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12" O.C. PROVIDE 1/2" COMPRESSIBLE JOINT FILLER AND POURED SEPARATELY.
 3. KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29.

NOTES:
 1. SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 2. SEE DETAIL 24 - FOR PARKING LOT INSTALLATIONS.
 3. SEE DETAIL 29 - FOR PARKING GARAGE INSTALLATIONS.
 3. CHARGING STATION FOUNDATION TO EXTEND FROM BACK OF CURB TO BACK OF CURB WHEN PLACED IN LANDSCAPE ISLAND.

V4 EVCS FOUNDATION SCALE N.T.S. **23**

V4 EVCS FOUNDATION SECTION A-A SCALE N.T.S. **24**

NOT USED SCALE N.T.S. **25**

NOT USED SCALE N.T.S. **26**

EVCS PAD FOUNDATIONS					
CONFIGURATION	WIDTH (W)	THICKNESS (T)	REBAR LAYERS	REBAR SIZE	REBAR QTY. (PER LAYER)
4	3.50	2.50	2	#5	4

NOTES:
 1. FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
 2. PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
 3. FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH BASE WITH 1FT MINIMUM DEPTH OF FREE DRAINING AGGREGATE FILL (UNLESS OTHERWISE SPECIFIED).
 4. VOLTA V4 ELECTRIC VEHICLE CHARGING STATION (EVCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
 5. ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

NOT USED SCALE N.T.S. **27**

NOT USED SCALE N.T.S. **28**

NOT USED SCALE N.T.S. **29**

EVCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. **30**

NOT USED SCALE N.T.S. **31**

NOT USED SCALE N.T.S. **32**

NOT USED SCALE N.T.S. **33**

NOT USED SCALE N.T.S. **34**

volta

155 DE HARO STREET
 SAN FRANCISCO, CA 94103

Kimley»Horn
 New York

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 1 N LEXINGTON AVE, SUITE 505
 WHITE PLAINS, NY 10601
 PHONE: 914.368.9200
 WWW.KIMLEY-HORN.COM

REV	DATE	DESCRIPTION	BY
1	04/01/2022	CD100s	TAS

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STAPLES PLAZA

**3379 CROMPOUND ROAD
 YORKTOWN HEIGHTS, NY
 10598**

SHEET TITLE

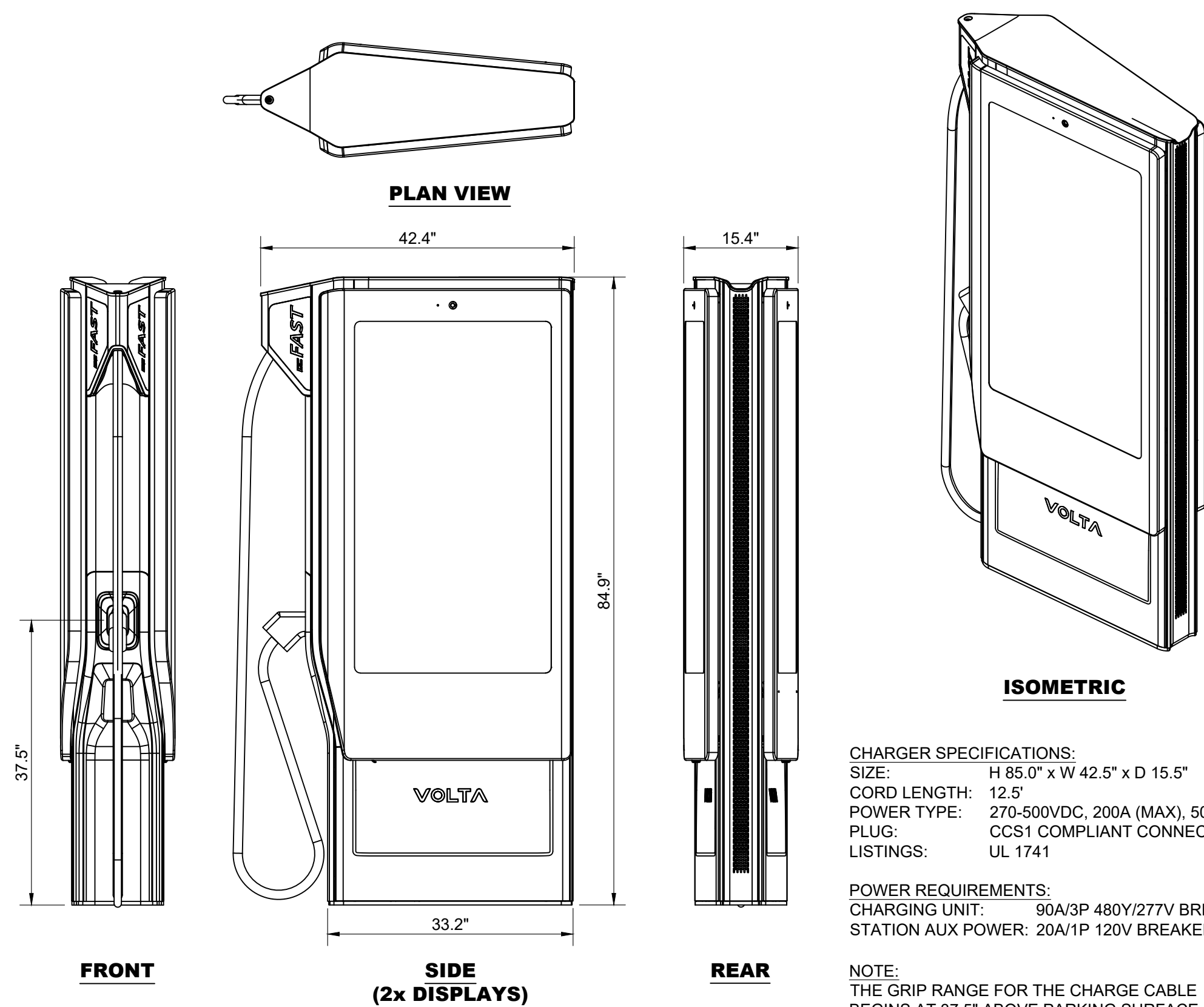
SITE DETAILS

SHEET NUMBER

C3-03

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

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DC Fast Media Station

Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they drive.

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.

DC Fast Media Station

- Charger Specs**
- Output power: 50 kW max (DC)
 - Safety certification: ETL safety certified

- Power Requirements**
- Input voltage: 480 VAC
 - Output voltage: 50 - 500 VDC
 - Circuit size: 90A/3P @ 480V (50kW) or 175/3P @ 480V (50kW x 2)
 - Network connectivity: Cell connection or LAN access

- Display Screen Specs**
- Size: 55" Outdoor LED back light system x2
 - Picture: Full HD 1080p resolution
 - Power requirements: 20A/1P, 120V breaker
 - File type: JPEG or PNG

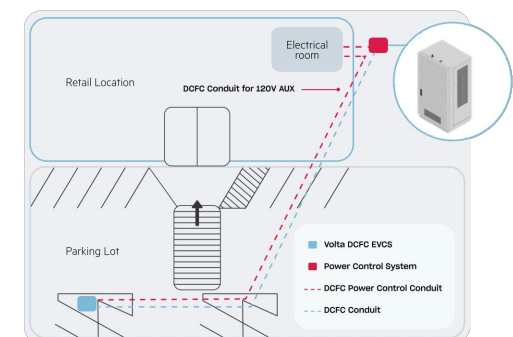
- Installation Requirements**
- Foundation requirements: 36"D x 36"L x 36"W approx.
 - Conduit diameter: 3" power conduit / 1" communication conduit approx.



Power Control System (PCS)

- Supports up to 2 DC Fast Stations
- Single 50 kW station: 90A/3P, 480V breaker
 - 2) 50 kW stations: 175A/3P, 480V breaker
 - Certification: UL * 2202, 2231, 50E
 - Dimensions: 82"H x 42"L x 35"D
 - Weight range: 1350-1900 lbs

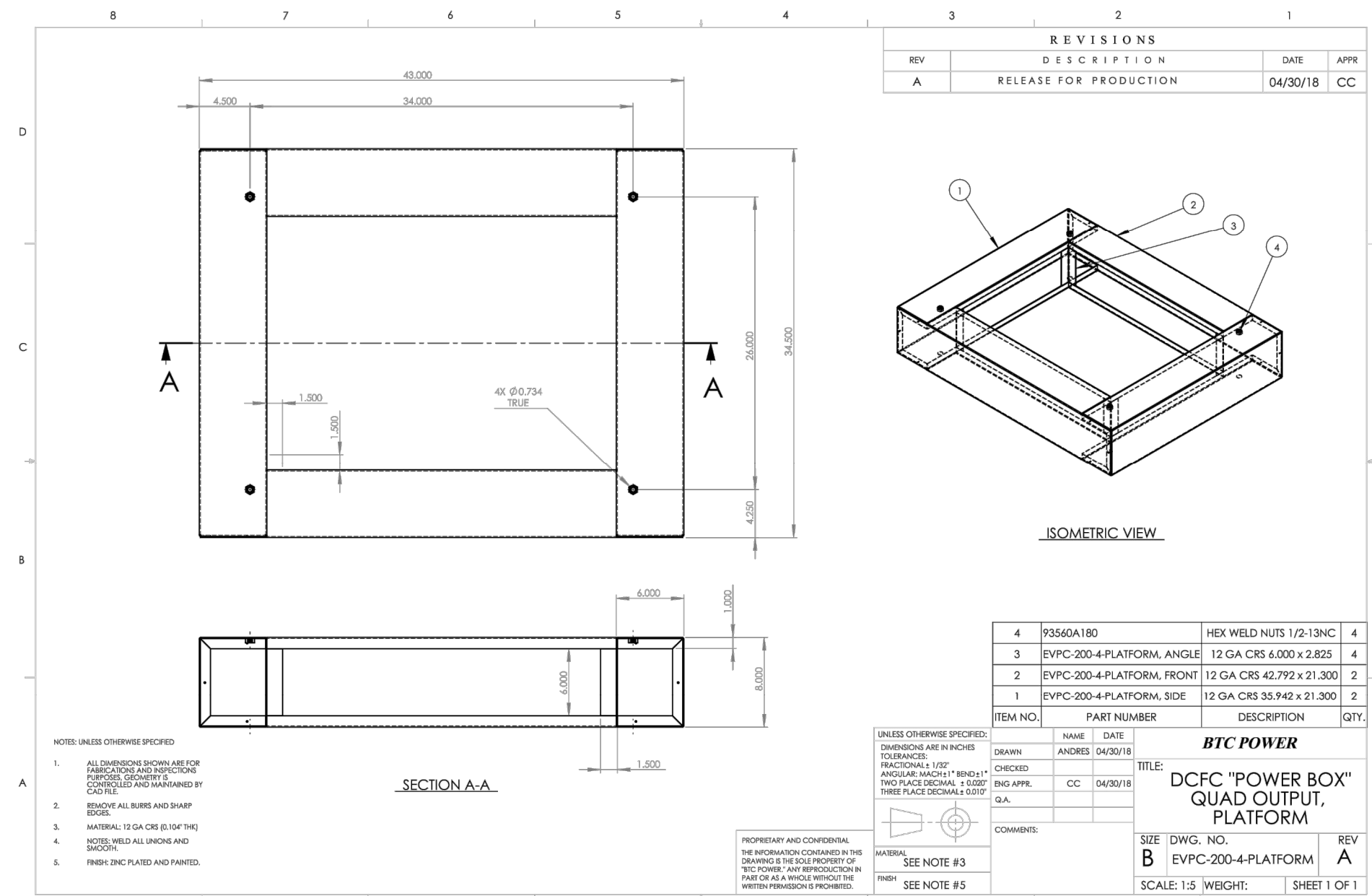
- Installation Requirements**
- Foundation requirements: 48"D x 48"L x 48"W
 - Clearance: 90"H x 75"D x 114"W
 - Conduit diameter: size varies based on run lengths
 - Contact engpm@voltacharging.com



voltacharging.com

770-00003

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V4 DC FAST CHARGING STATION

SCALE N.T.S. 35

DCFC STATION CUT SHEET

SCALE N.T.S. 36

DCFC QUAD OUTPUT PLATFORM

SCALE N.T.S. 37

NOT USED

SCALE N.T.S. 38

NOT USED

SCALE N.T.S. 39

NOT USED

SCALE N.T.S. 40

NOT USED

SCALE N.T.S. 41

volta

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SAN FRANCISCO, CA 94103

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STAPLES PLAZA

**3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598**

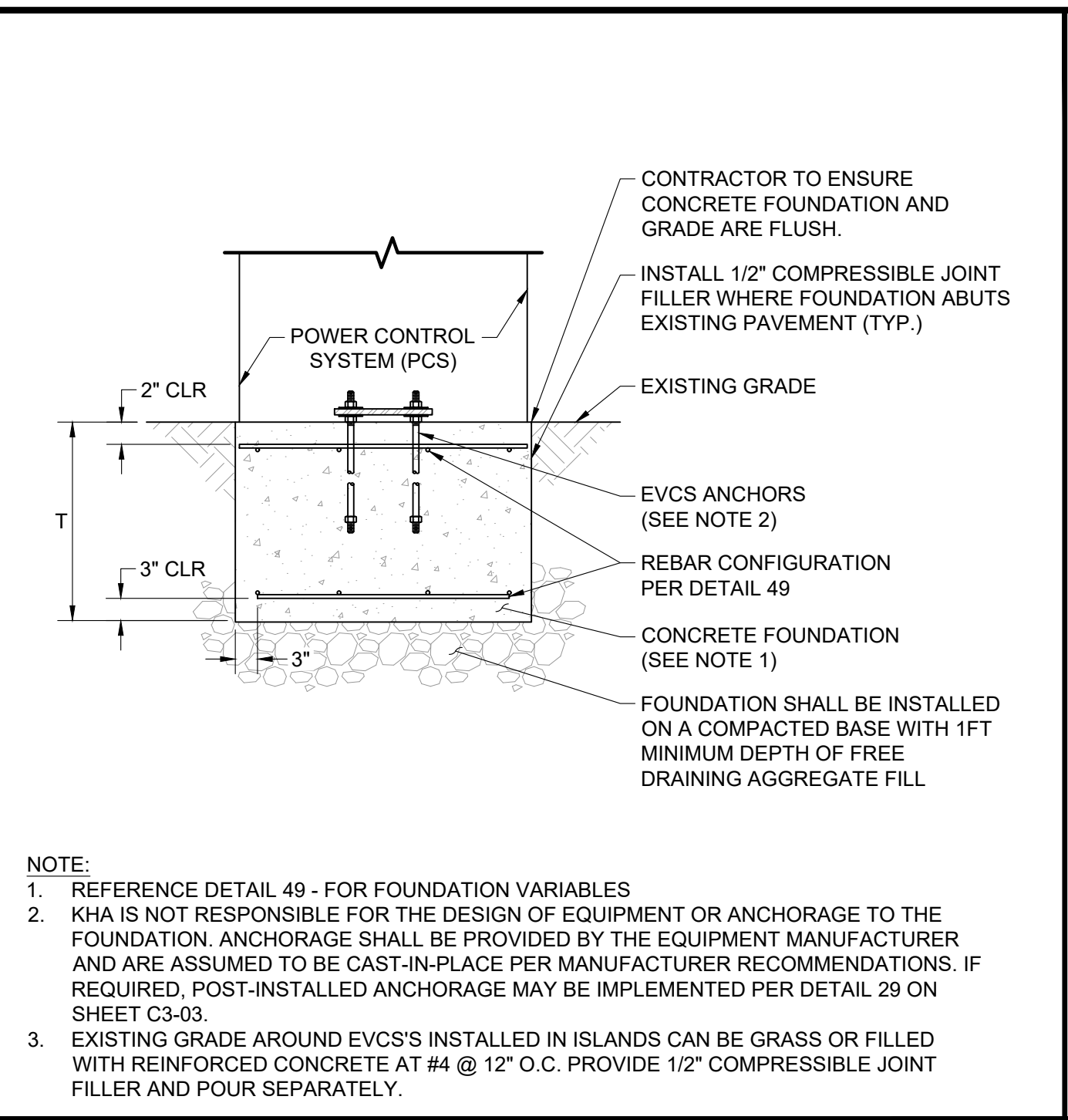
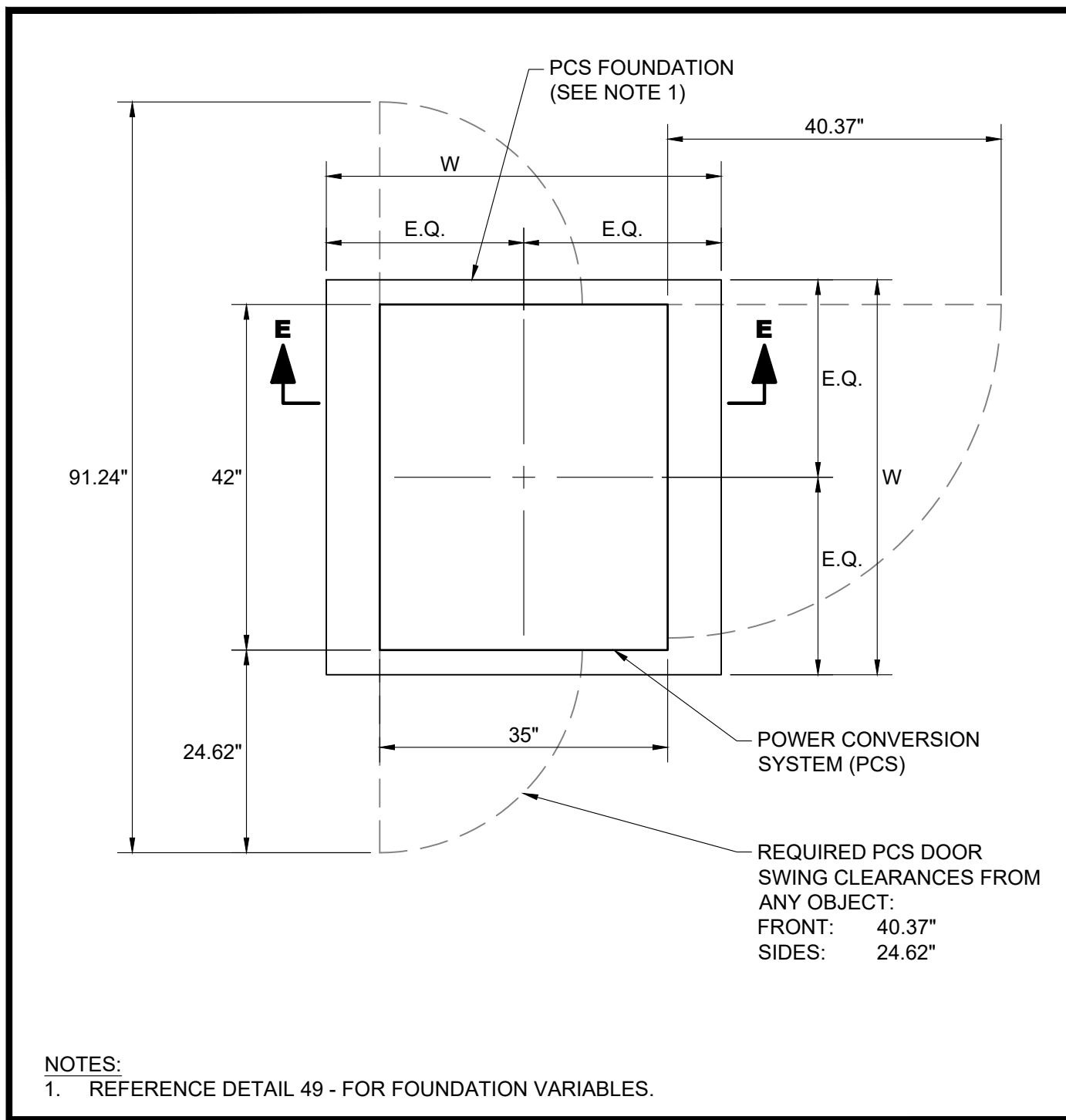
SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3-04

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



NOTES:
1. REFERENCE DETAIL 49 - FOR FOUNDATION VARIABLES.

NOTE:
1. REFERENCE DETAIL 49 - FOR FOUNDATION VARIABLES
2. KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29 ON SHEET C3-03.
3. EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12\"/>

PCS FOUNDATION SCALE N.T.S. **42**

PCS FOUNDATION SECTION E-E SCALE N.T.S. **43**

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Modular HPC System: 50, 100, 150, 200, 350 kW

PARAMETERS	POWER ENGINE CABINET MODEL				
	HPCT-50-480-2	HPCT-100-480-2	HPCT-150-480-2	HPCT-200-480-2	HPCT-350-480-2
Power Rating	50 kW	100 kW	150 kW	200 kW	350 kW
Number of Power Engines	1	2	3	4	8 (4 from each power cabinet)
Input Power	480VAC-3P				
Input Power AC Current (I _{PA})	66 A	132 A	198 A	264 A	2 x 264 A
Power Stage Efficiency Rating	> 92% (Full Load)				
Max. Out DC Current up to 920 VDC	62A	125 A	187A	250 A	500 A
Max. Out DC Current up to 500 VDC	125	250 A	375 A	500 A	500 A
Max. Output DC Voltage	50- 950 VDC				
Max # of Dispensers	1	2	2	2	2
Dimension & Weight	42"W x 35"D x 82"H, 1900 lbs				

ENVIRONMENTAL AND COMPLIANCE (SYSTEM)

Ambient Condition: -30 °C to +50 °C, 95% Humidity, 6000 ft Altitude, NEMA 3R

Safety Compliance: ETL Listed for USA and Canada; Complies with UL 2202, UL 2231, UL50E, NEC Article 625, CSA STD C22.2 No. 107.1 FCC Part 15 Class A

BTC POWER
1719 S Grand Ave, Santa Ana, CA 92705 | www.btcpower.com | sales@btcpower.com

PCS CUT SHEET SCALE N.T.S. **46**

100kW High Power DC Charger INSTALLATION AND USER'S MANUAL

Page 20 of 41

6.2. Mounting Procedures

6.2.1. Clearance Around the Unit

Clearance surrounding the unit must be considered for proper ventilation and service accessibility. Refer to the installation drawings as illustrated below.

Power Box / Tower Installation Drawing

BTC POWER
Initial Release: 10-Jun-19

PCS MIN. CLEARANCES CUT SHEET SCALE N.T.S. **47**

100kW High Power DC Charger INSTALLATION AND USER'S MANUAL

Page 22 of 41

Power Box / Tower Footer Drawing

The illustration below shows the drilling layout for the Power Box / Tower. Only four (4) points are needed to fix the unit on the concrete pad. The conduit entry to the unit is also shown.

BTC POWER
Initial Release: 10-Jun-19

PCS BASE PLATE CUT SHEET SCALE N.T.S. **48**

PCS PAD FOUNDATIONS

CONFIGURATION	WIDTH (W)	THICKNESS (T)	REBAR LAYERS	REBAR SIZE	REBAR QTY. (PER LAYER)
4	3.50	2.00	2	#5	4

NOTES:
1. FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
2. PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
3. FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH BASE WITH 1FT MINIMUM DEPTH OF FREE DRAINING AGGREGATE FILL (UNLESS OTHERWISE SPECIFIED).
4. VOLTA POWER CONTROL SYSTEM (PCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
5. ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

PCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. **49**

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PCS CUT SHEET SCALE N.T.S. **50**

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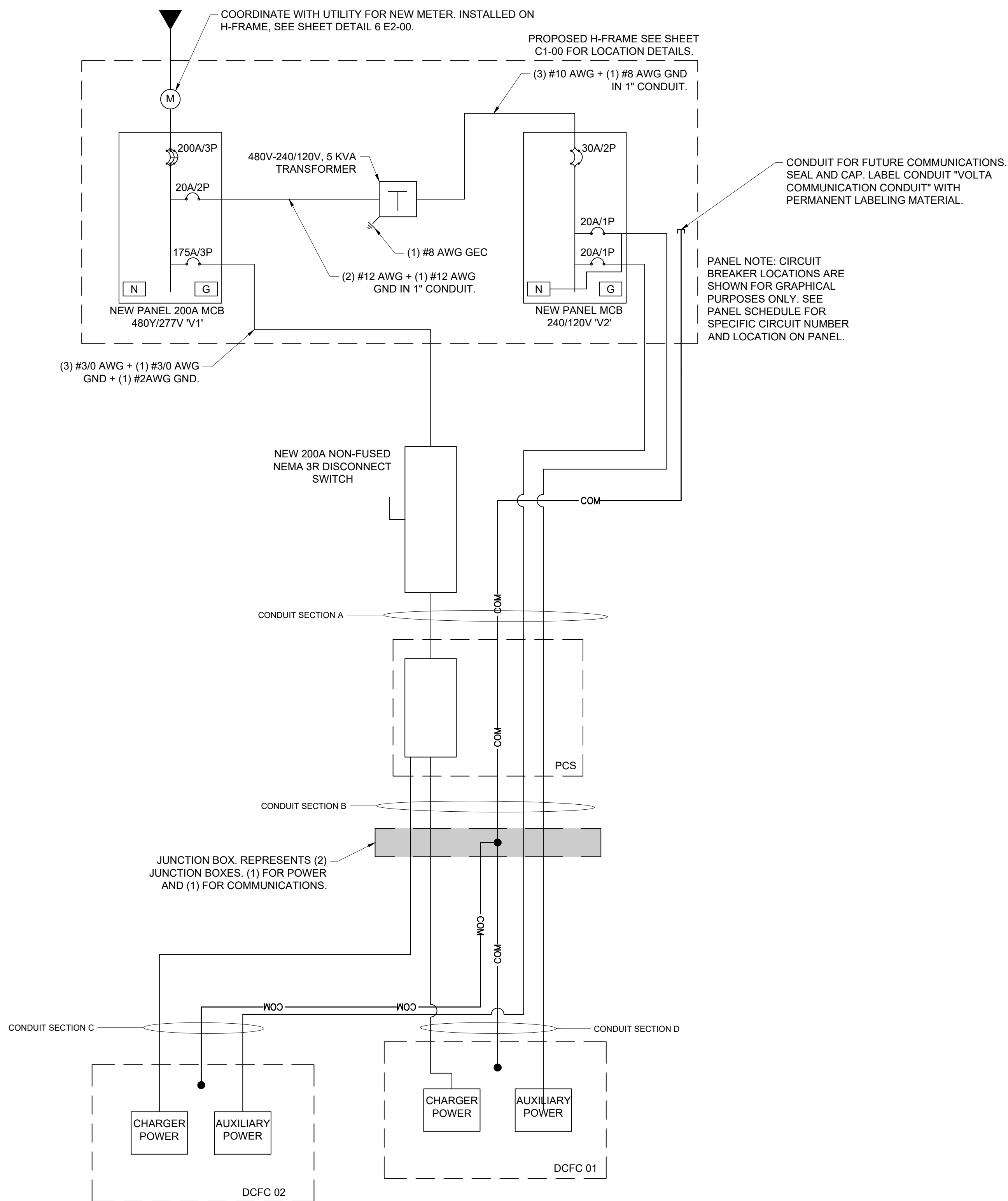
STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-05

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VERIFICATION NOTES:

1. THIS IS A NEW UTILITY SERVICE. NO VERIFICATIONS NEEDED.

NOTES:

1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
2. ANY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
3. CONTRACTOR SHALL USE THWN COPPER CONDUCTORS.
4. CONTRACTOR SHALL USE EMT INSIDE AND OUTSIDE ABOVE GRADE WHERE NOT SUBJECT TO DAMAGE. CONTRACTOR SHALL USE RGS INSIDE AND OUTSIDE ABOVE GRADE WHERE SUBJECT TO DAMAGE. CONTRACTOR SHALL USE PVC SCHEDULE 80 UNDER PAVED OR SIDEWALK AREAS AND PVC SCHEDULE 40 IN DIRT OR LANDSCAPED AREAS.
5. SEE SHEETS C1-00 AND C2-00 FOR CONDUIT STUB UP LOCATIONS.
6. CONTRACTOR TO LOCATE JUNCTION BOX, LINE BOX (LB), OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.

Panel Schedule															
Proposed New Panel 'V1' Location: Exterior Area for Electrical Equipment Volts: 480Y/277V Phase: 3 Wire: 4 Hertz: 60															
200A MCB Main AIC: AWAITING UTILITY PROVIDES FAULT CURRENT LETTER Branch AIC: TBD ENCL (NEMA): 3R MTG: H-Frame															
Description of Load Served	Breaker		Wire	A/Phase			CKT No			A/Phase			Breaker		Description of Load Served
	Amp	Pole		A	B	C	1	2	A	B	C	Amp	Pole		
PROPOSED VOLTA L3 EVCS 01 & 02	175	3	#3/0	132.0			1	2	4.3			#12	20	2	STEP DOWN TRANSFORMER FOR PROPOSED VOLTA PANEL 'V2'
SPACE							3	4							SPACE
SPACE							5	6							SPACE
SPACE							7	8							SPACE
SPACE							9	10							SPACE
SPACE							11	12							SPACE
SPACE							13	14							SPACE
SPACE							15	16							SPACE
SPACE							17	18							SPACE
SPACE							19	20							SPACE
SPACE							21	22							SPACE
SPACE							23	24							SPACE
SPACE							25	26							SPACE
SPACE							27	28							SPACE
SPACE							29	30							SPACE
SPACE							31	32							SPACE
SPACE							33	34							SPACE
SPACE							35	36							SPACE
SPACE							37	38							SPACE
SPACE							39	40							SPACE
SPACE							41	42							SPACE
Total A/Phase				132.0	132.0	132.0			4.3	4.3	0.0	Total A/Phase			

Notes:

1. Connected KVA (New): 112.1
2. Demand KVA (New): 140.1
3. Contractor shall match existing AIC Rating.
4. Where load is labeled 'EX' the load is unknown.

Panel Schedule															
Proposed New Panel 'V2' Location: Exterior Area for Electrical Equipment Volts: 240/120 Phase: 1 Wire: 3 Hertz: 60															
30A MCB Main AIC: 10K Branch AIC: 10K ENCL (NEMA): 3R MTG: H-Frame															
60 Amp Frame, Ground Bar, Locking Cover, Panel Card															
Description of Load Served	Breaker		Wire	A/Phase			CKT No			A/Phase			Breaker		Description of Load Served
	Amp	Pole		A	B	C	1	2	A	B	C	Amp	Pole		
EVCS 01 AUX POWER	20	1	See Note 3	10.0			1	2							SPACE
EVCS 02 AUX POWER	20	1	See Note 3		10.0		3	4							SPACE
SPACE							5	6							SPACE
SPACE							7	8							SPACE
SPACE							9	10							SPACE
SPACE							11	12							SPACE
SPACE							13	14							SPACE
SPACE							15	16							SPACE
SPACE							17	18							SPACE
SPACE							19	20							SPACE
SPACE							21	22							SPACE
SPACE							23	24							SPACE
SPACE							25	26							SPACE
SPACE							27	28							SPACE
SPACE							29	30							SPACE
Total A/Phase				10.0	10.0	0.0			0.0	0.0	0.0	Total A/Phase			

Notes:

1. Connected KVA (New): 2.4
2. Demand KVA (New): 3.0
3. See Voltage Drop Table for conductor sizing.

Conduit Schedule				
Conduit Section	Conduit #	Conduit Size	Conductors	Installation Method
A	1	3"	(3) #3/0 AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Directional Bore
	2	1"	Future Communications w/ Pull String	
B	1	3"	(4) 250 MCM AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Directional Bore
	2	1"	(4) 1 Pair OM3 multimode fiber optic cable with ST connectors + (4) #18 AWG STP	
C	1	3"	(2) 250 MCM AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Hand Trench
	2	1"	(2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP	
D	1	3"	(2) 250 MCM AWG + (1) #4 AWG GND + (See DCFC AUX Voltage Drop Table)	Directional Bore
	2	1"	(2) 1 Pair OM3 multimode fiber optic cable with ST connectors + (2) #18 AWG STP	

DCFC Conductor Voltage Drop Table Per Dispenser (AUX Component)					
≤85FT	86FT-135FT	136FT-220FT	221FT-350FT	351FT-550FT	551FT-880FT
(2) #12 AWG + (1) #12 AWG GND	(2) #10 AWG + (1) #10 AWG GND	(2) #8 AWG + (1) #8 AWG GND	(2) #6 AWG + (1) #6 AWG GND	(2) #4 AWG + (1) #4 AWG GND	(2) #2 AWG + (1) #2 AWG GND

VOLTAGE DROP TABLE NOTES

1. DISTANCE BASED ON LOCATION OF SUPPLYING PANEL TO LOCATION OF DISPENSER
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DE-RATING CONDUCTORS WHEN 4 OR MORE CURRENT CARRYING CONDUCTORS ARE CARRIED IN THE SAME CONDUIT PER THE NEC.
3. THE DISTANCES IN THIS TABLE ARE TOTAL DISTANCES, NOT HORIZONTAL DISTANCES. INCLUDE VERTICAL RUNS AND JUNCTION BOX COIL LENGTH IN THE TOTAL CONDUCTOR DISTANCE.
4. WHEN MORE THAN ONE CIRCUIT IS IN THE CONDUIT, USE ONLY ONE SHARED EQUIPMENT GROUND CONDUCTOR.

volta

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STAPLES PLAZA
3379 CROMPOUND ROAD
YORKTOWN HEIGHTS, NY
10598

SHEET TITLE
ELECTRICAL ONE
LINE DIAGRAM &
PANEL SCHEDULE

SHEET NUMBER
E1-00

NOTES:

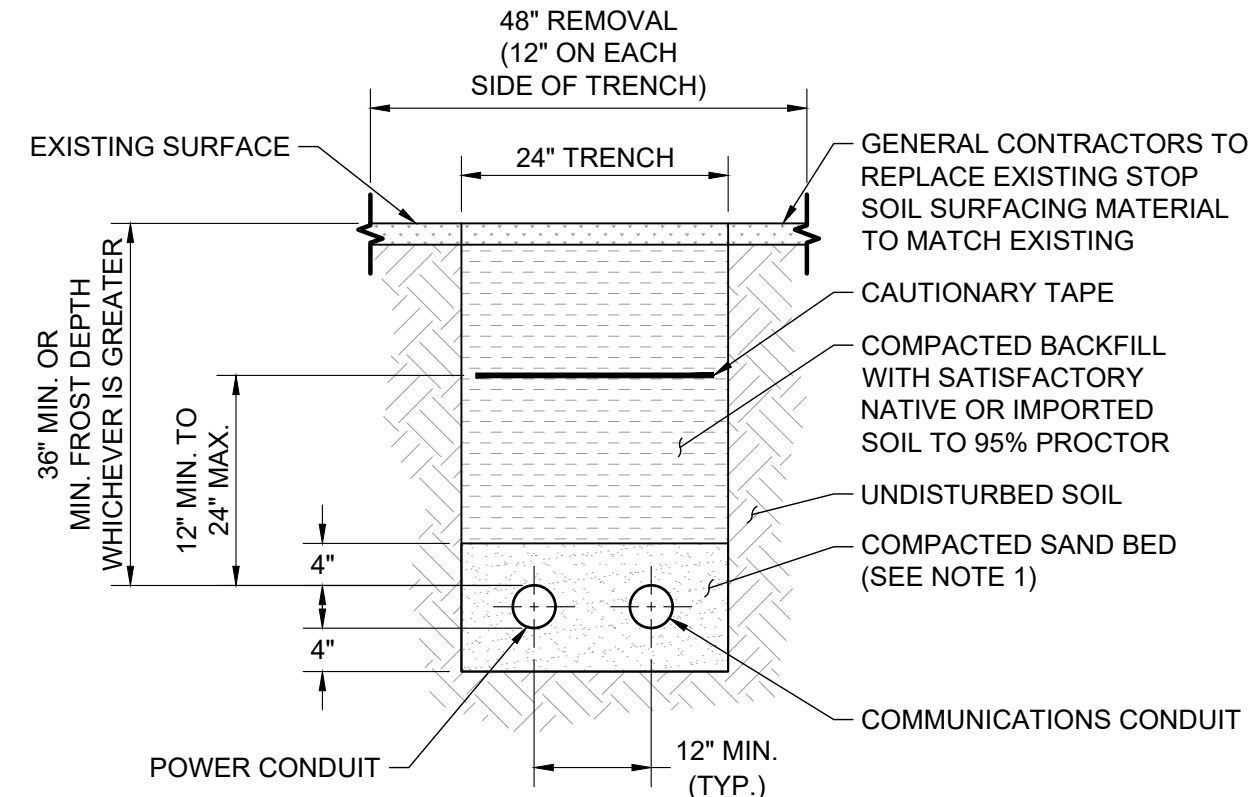
1. A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART110.3.
2. ALL EXTERIOR EQUIPMENT SHALL BE RAIN TIGHT AND APPROVED FOR USE IN WET CONDITIONS.
3. ALL CONDUCTORS SHALL BE PROVIDED WITH STRAIN RELIEF UPON ENTRY INTO ENCLOSURES.
4. EACH UNGROUNDED CONDUCTOR SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5.
5. ALL METALLIC COMPONENTS SHALL BE GROUNDED VIA EQUIPMENT GROUNDING CONDUCTORS.
6. CHARGING UNITS ARE EQUIPPED WITH AN INTEGRATED CONTACTOR TO PREVENT BACK FEEDING OF POWER TO THE SOURCE.

ABBREVIATIONS:

- A AMPERE
- AC ALTERNATING CURRENT
- AL ALUMINUM
- ART ARTICLE
- AUX AUXILIARY
- BLDG BUILDING STRUCTURE
- CONC CONCRETE
- CU COPPER
- DC DIRECT CURRENT
- EGC EQUIPMENT GROUNDING CONDUCTOR
- (E) EXISTING
- EMT ELECTRIC METALLIC TUBING
- EV ELECTRIC VEHICLE
- EVSE ELECTRIC VEHICLE SUPPLY EQUIPMENT
- GALV GALVANIZED
- GND GROUND
- HDG HOT DIPPED GALVANIZED
- I CURRENT
- KVA KILOVOLT AMPERE
- KW KILOWATT
- M METER
- MAX MAXIMUM
- MIN MINIMUM
- N NEUTRAL
- NEC NATIONAL ELECTRIC CODE
- NTS NOT TO SCALE
- (N) NEW
- OC ON CENTER
- PL PROPERTY LINE
- PVC POLYVINYL CHLORIDE
- RMC RIGID METALLIC CONDUIT
- SCH SCHEDULE
- SS STAINLESS STEEL
- TYP TYPICAL
- V VOLT
- W WATT
- XFMR TRANSFORMER

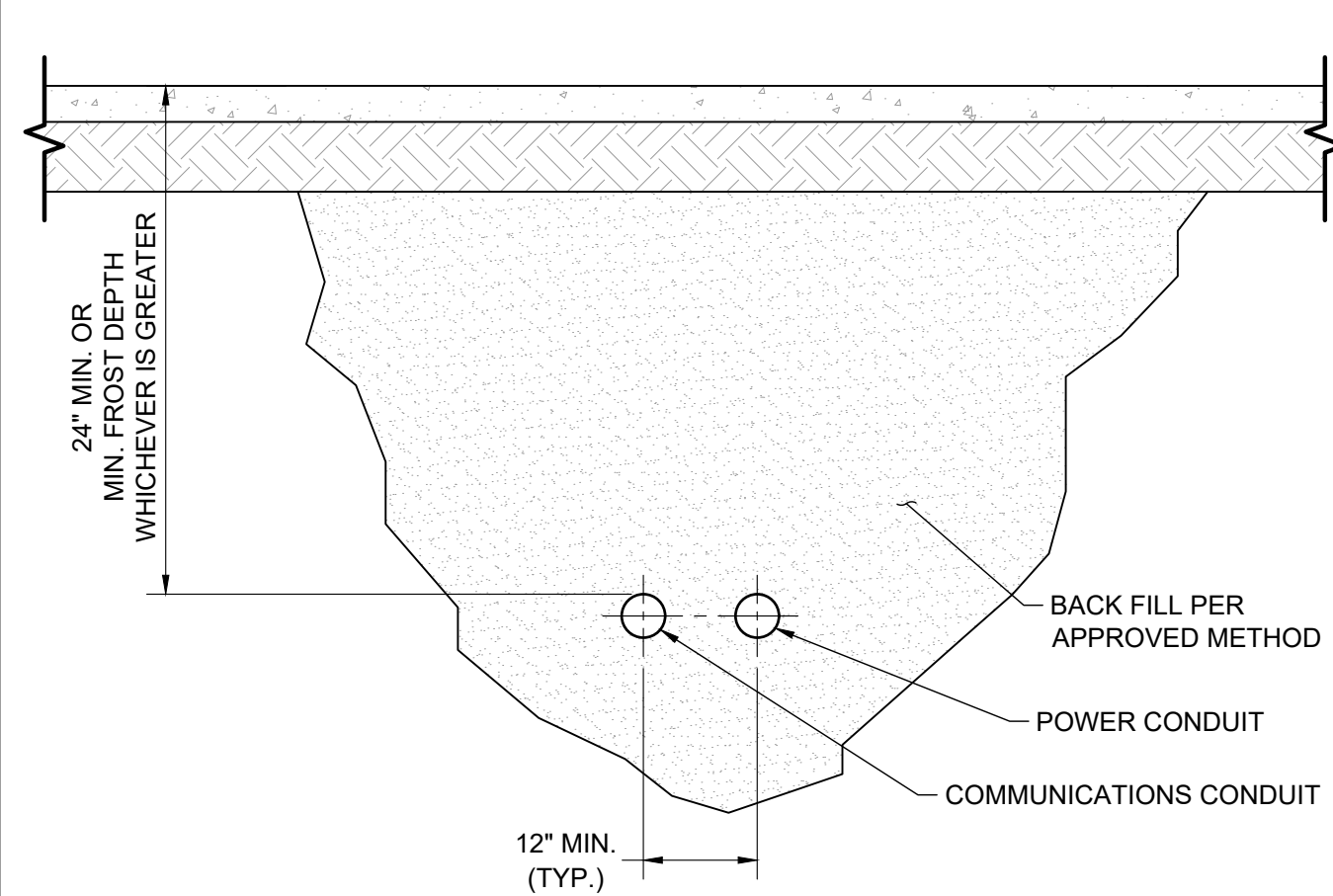
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2. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRECONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATIONS.
3. CONDUIT PATHS ARE REPRESENTATIVE ONLY. EXACT CONDUIT PLACEMENT TO BE DETERMINED ON SITE BASED ON FIELD CONDITIONS.



NOTES:

1. LEAN CONCRETE RED-COLORED TOP, MAY BE USED IN PLACE OF COMPACTED SAND.
2. BURY CONDUITS 36\"/>



NOTE:

1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.

POWER TRENCH

SCALE
N.T.S.

2

BORE SECTION

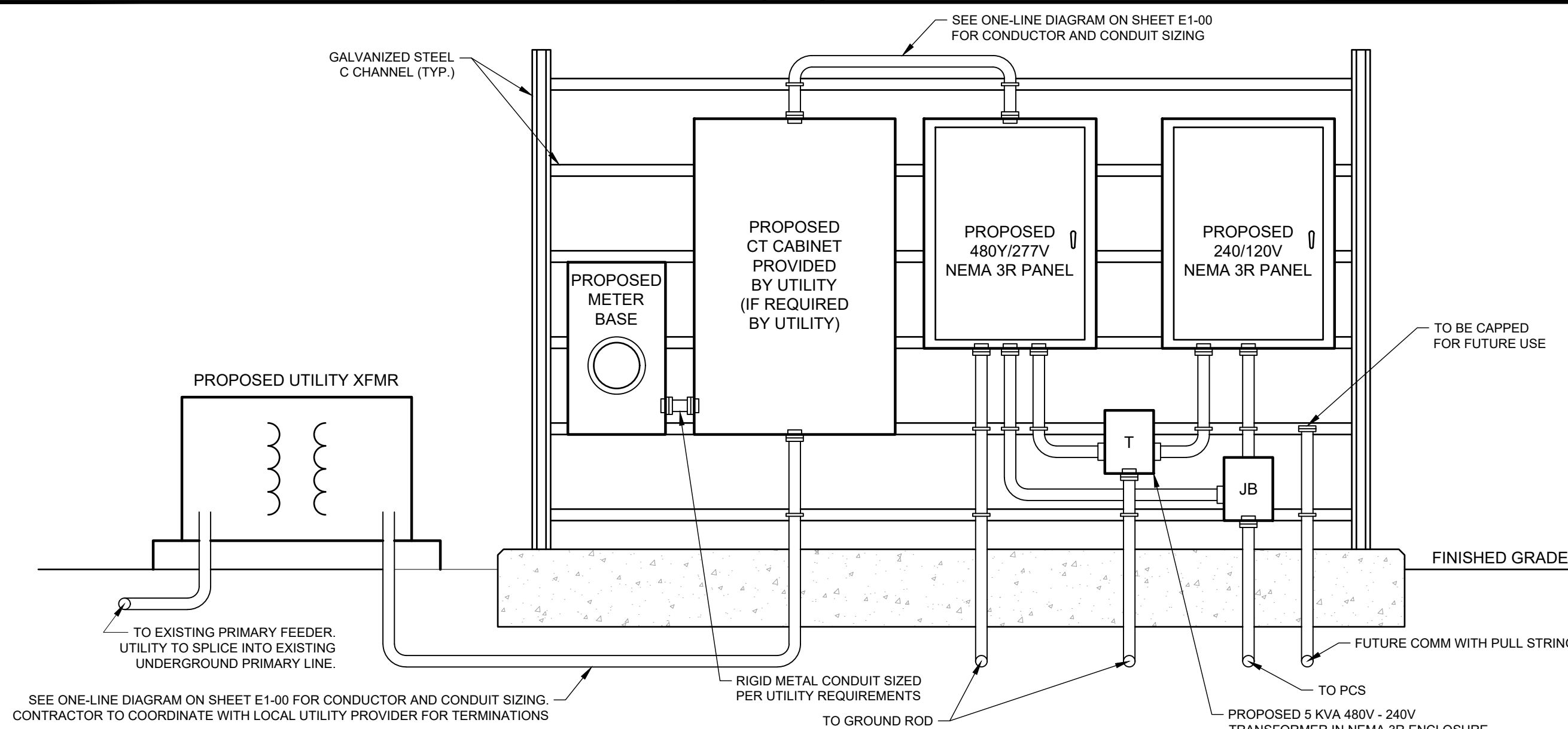
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N.T.S.

3

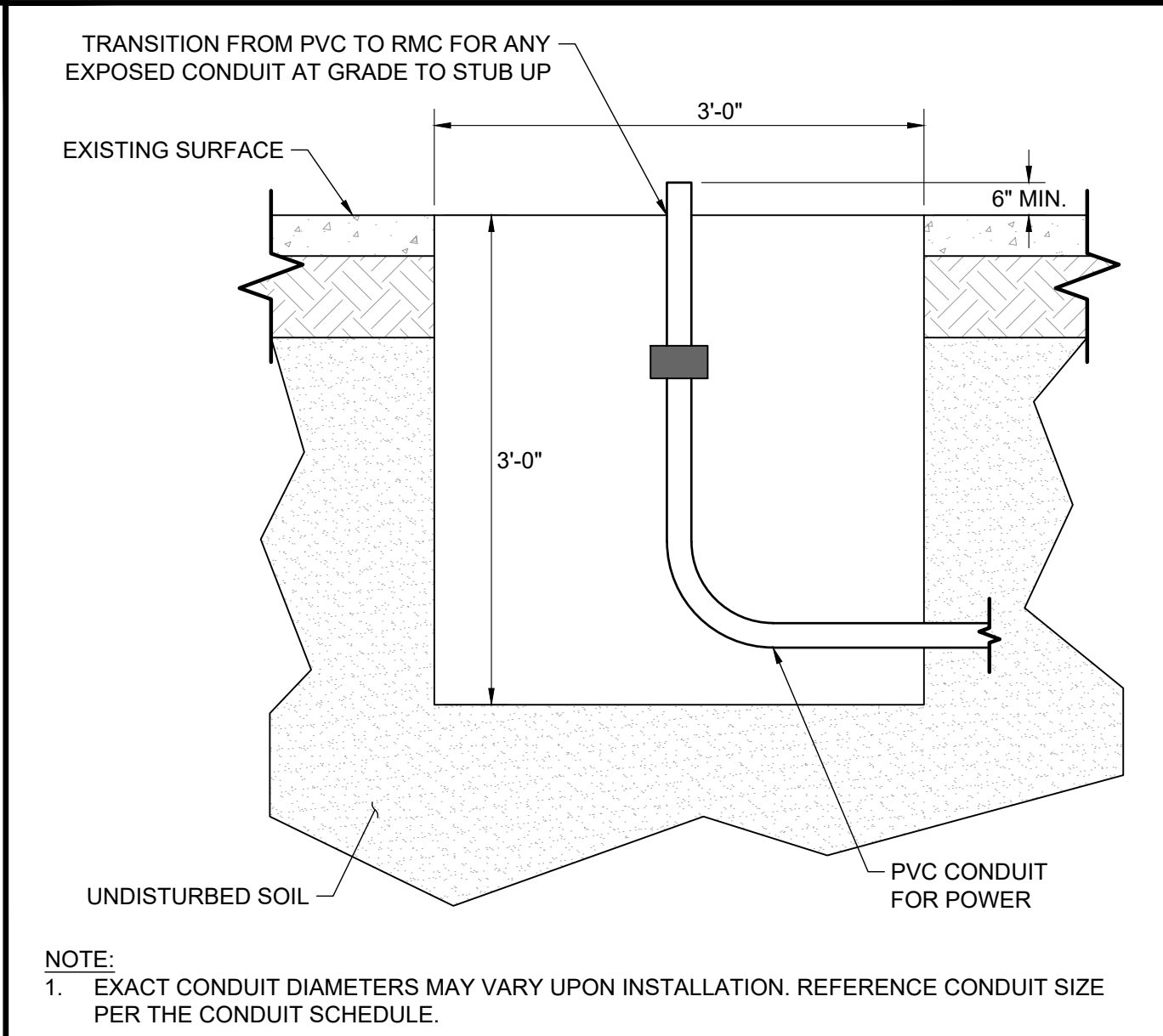
NOT USED

SCALE
N.T.S.

4



NOT USED



NOTE:

1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.

ELECTRICAL NOTES & ABBREVIATIONS

1

H-FRAME DETAIL

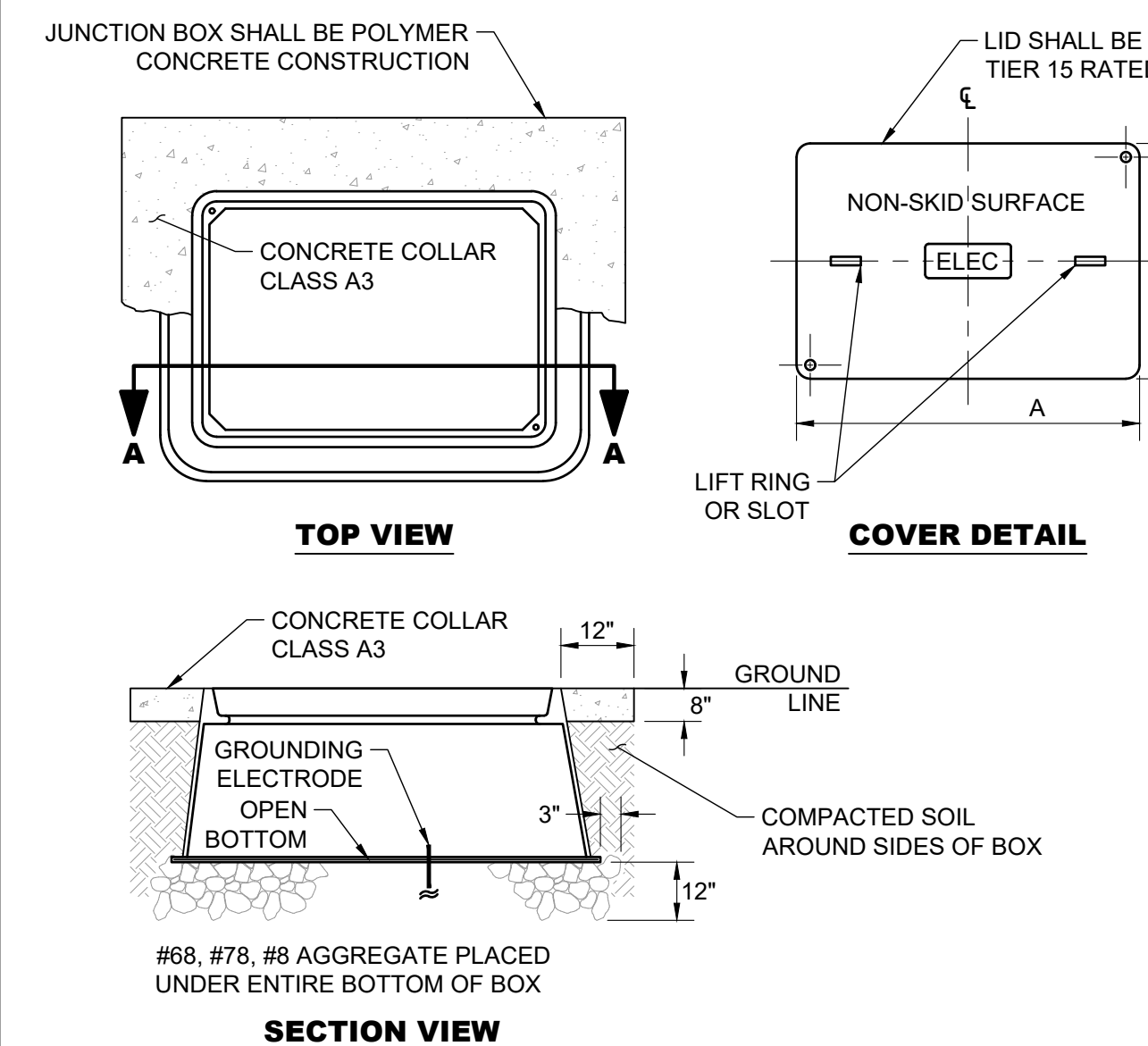
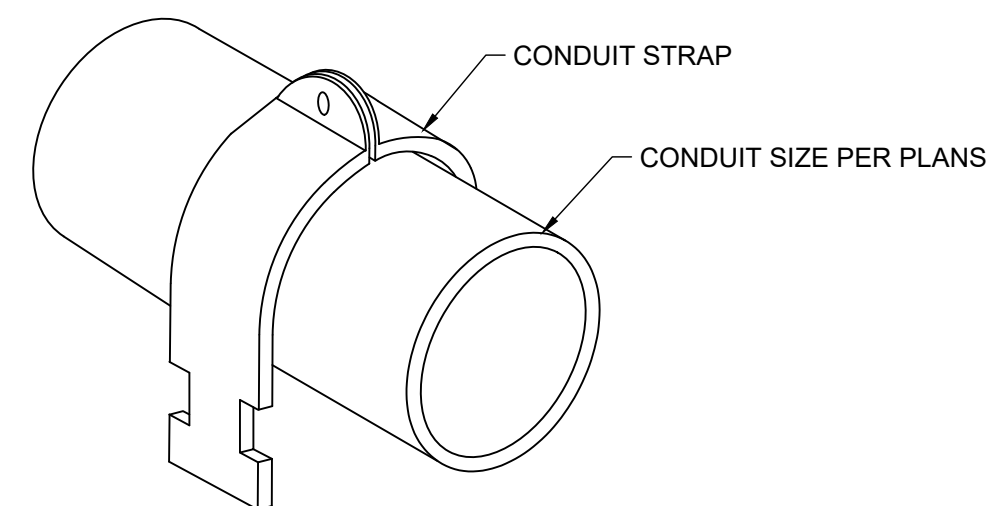
SCALE
N.T.S.

5

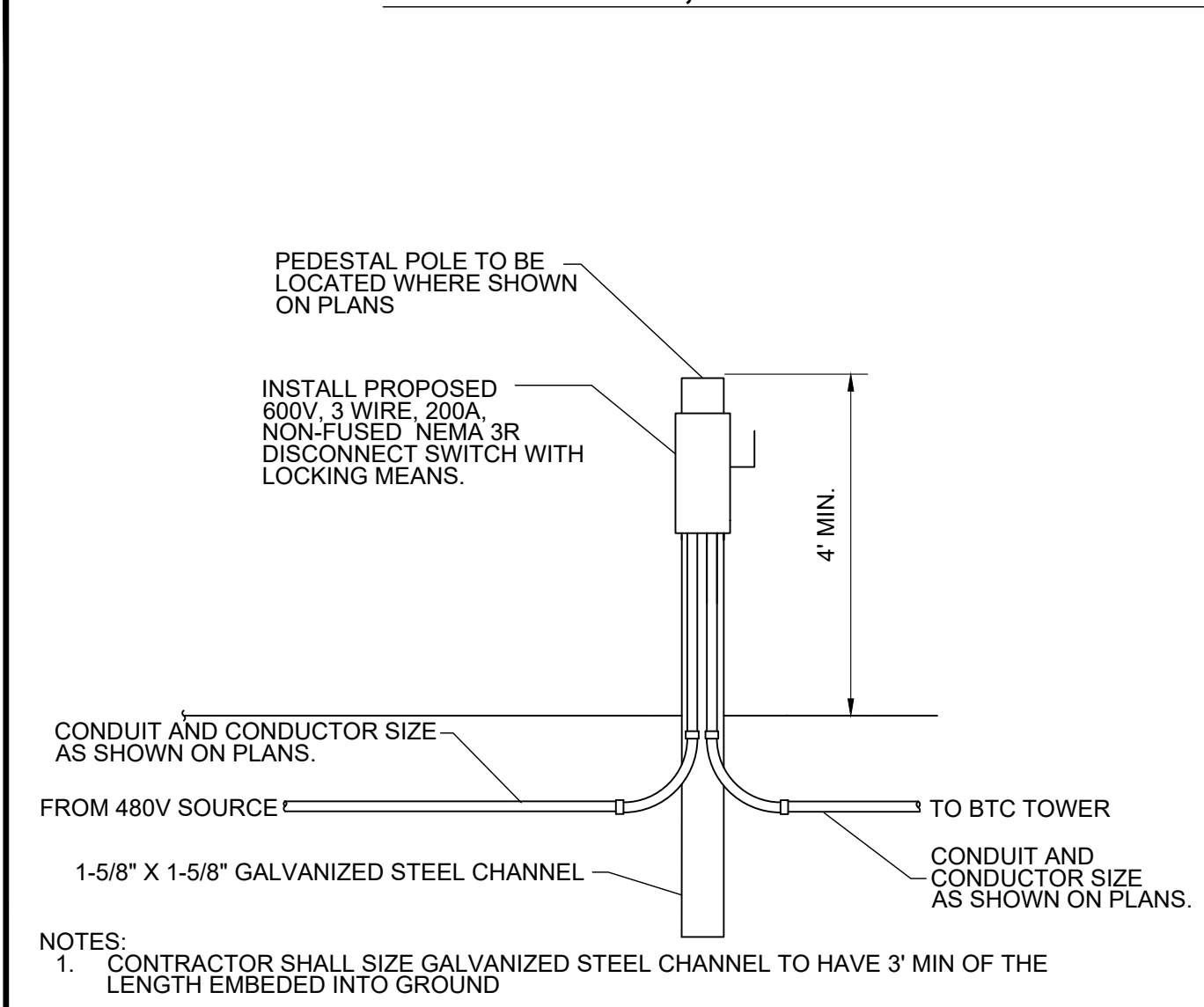
BORE PIT

SCALE
N.T.S.

6



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NOTES:

1. CONTRACTOR SHALL SIZE GALVANIZED STEEL CHANNEL TO HAVE 3\"/>

NOT USED

SCALE
N.T.S.

7

UNISTRUT CONDUIT MOUNT STRAP

SCALE
N.T.S.

8

NON-TRAFFIC RATED JUNCTION BOX

SCALE
N.T.S.

9

BTC POLE DISCONNECT SWITCH

SCALE
N.T.S.

10

volta

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YORKTOWN HEIGHTS, NY
10598**

SHEET TITLE

**ELECTRICAL
NOTES & DETAILS**

SHEET NUMBER

E2-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

**PLANNING BOARD
TOWN OF YORKTOWN**

**RESOLUTION APPROVING A SITE PLAN FOR A
VOLTA EV CHARGING STATIONS AT STAPLES PLAZA**

RESOLUTION NUMBER: #22-00

DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Garrigan, Phelan, and Waterhouse the following resolution was adopted:

WHEREAS the Applicant, Volta Charging, LLC, has submitted site plans for the addition of electric vehicle charging stations that will be set up in front of 2 parking as shown on the approved site plan titled, "Volta Staples Plaza," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and

WHEREAS the property, owned by UB Yorktown, LLC, is located at 3333-3399 Crompond Road, Yorktown Heights, also known as Section 36.06, Block 2, Lot 76 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this board that they have permission from the owner of the land within said site plan; and

WHEREAS pursuant to SEQRA, the action has been identified as a Type II action and requires no further review; and

WHEREAS the applicant has submitted as part of his application the following maps and documents:

Site Plans

1. A drawing, Sheet C0-00, titled "Cover Sheet," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
2. A drawing, Sheet C0-01, titled "General Notes," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
3. A drawing, Sheet C0-02, titled "Volta Station Overview," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
4. A drawing, Sheet C1-00, titled "Overall Site Plan," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
5. A drawing, Sheet C2-00, titled "Cover Sheet," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
6. A drawing, Sheet C3-00, titled "Site Details," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
7. A drawing, Sheet C3-01, titled "Site Details," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and

8. A drawing, Sheet C3-02, titled "Site Details," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
9. A drawing, Sheet C3-03, titled "Site Details," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
10. A drawing, Sheet C3-04, titled "Site Details," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
11. A drawing, Sheet C3-05, titled "Site Details," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
12. A drawing, Sheet E1-00, titled "Electrical One Line Diagram & Panel Schedule," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and
13. A drawing, Sheet E2-00, titled "Site Details," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022; and

Additional Documents & Reports

14. Photos of installed charging stations, 5 Sheets, titled "Volta EV Charging, LLC."

WHEREAS a notification only form was received back from the Westchester County Planning Board on July 18, 2022; and

WHEREAS the Volta EV charging stations will be placed at existing parking spaces and other vehicles not using the charging stations will not be prohibited from parking in these parking spaces; and

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application at the Town Hall in Yorktown Heights, New York on July 25, 2022; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing and closing on August 15, 2022 at Town Hall in Yorktown Heights, New York;

BE IT NOW RESOLVED that the application of Volta Charging, LLC for the approval of a site plan titled, "Volta Staples Plaza," prepared by Kimley-Horn Engineering and Landscape Architecture of New York, P.C., dated April 1, 2022, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized

to endorse this Board's approval of said plan upon compliance by the applicant with such modifications and requirements as noted below:

Modify plans to show:

1. Relocation of the Modular HPC System to the landscape island where the charging stations will be installed.

Additional requirements:

1. Proposed plan must comply with all current applicable ADA standards.
2. Applicant must obtain all necessary permits from outside agencies.

RESOLVED the Volta EV charging stations will be placed at existing parking spaces and other vehicles not using the charging stations will not be prohibited from parking in these parking spaces; and

BE IT FURTHER RESOLVED that unless a building permit has been issued by [DATE], or a time extension has been granted by the Planning Board, this approval will be null and void.

Dorchester Glen Subdivision

Site Design Consultants

Civil Engineers • Land Planners

August 3, 2022

RECEIVED
PLANNING DEPARTMENT

AUG 5 - 2022

TOWN OF YORKTOWN

Robyn A. Steinberg, AICP
Town of Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

Re: Dorchester Glen Subdivision
1643 Maxwell Drive, Yorktown Heights

Dear Robyn:

As required by the Town of Yorktown, we have sent copies of the attached "Notice to Interested Parties" as provided by your Office, to the adjoining property owners for the above referenced project.

These Notices are regarding the Planning Board Public Hearing scheduled for August 15, 2022, and have been sent in accordance with the Town of Yorktown Code.

Enclosed please find the following items regarding this submission:

- Sample of the "Notice to Interested Parties" which reflect the project's information as detailed in the Town of Yorktown's Public Notice;
- List of adjoining property owners;
- Copy of the Yorktown Map indicating the adjoiners;
- USPS "Confirmation of Mailing" indicating confirmation of the mailing and date;
- 2 photos of "Notice" signs; and
- Sign Notification Certification.

Please review our submission and contact us as soon as possible if you have any concerns. Thank you.

Yours Truly,


Joseph C. Riina, P.E.

/cm /Enc./ sdc 00-16

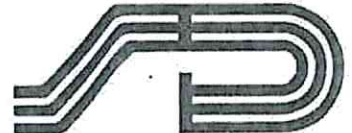
251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386



NOTICE TO INTERESTED PARTIES

TO: _____

PLEASE TAKE NOTICE that a **Public Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday August 15, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of John and Elaine Kincart for approval of a subdivision with submitted plans titled, "Preliminary Subdivision Plan prepared for Dorchester Glen," 7 sheets, prepared by Site Design Consultants, and dated July 6, 2022.

The applicant has proposed a 5 lot subdivision on 24.3 acres in the R1-20 zone where one home is existing. The site is located at 1643 Maxwell Drive, Yorktown Heights, also known as Section 15.20, Block 3, Lot 6 on the Town of Yorktown Tax Map.

The above listed site plan may be viewed on the Town's website: <http://www.yorktownny.org/planning/public-hearings>. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

ALL PERSONS INTERESTED in the above matter may appear before the Board in person, by agent, or attorney and will be heard before any final determination is made. Comments may also be sent by mail to the Planning Department at 1974 Commerce Street, Room 222, Yorktown Heights, NY 10598 or by email to planning@yorktownny.org.

This notice is being sent to you by first class mail, under '195-22A(5) of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined thereunder.

Name of Applicant

By (Name and Title)

Date

48.07-3-80
CICINELLI, FRANK & MARIA
114 DORCHESTER DR.
YORKTOWN HGTS., NY 10598

48.08-1-1
YORKTOWN GRANGE 862
P.O. BOX 254
YORKTOWN HGTS., NY 10598

48.07-3-77
MADDEN, JOHN & LISA
1640 HANOVER STREET
YORKTOWN HGTS., NY 10598

48.08-1-3
TOWN OF YORKTOWN
363 UNDERHILL AVE
YORKTOWN HGTS, NY 10598

48.11-3-71
STEWART, TIMOTHY &
ROSEMARY
144 DORCHESTER DR.
YORKTOWN HEIGHTS, NY 10598

48.07-3-86
D'IPPOLITO, PIERO &
JOSEPHINE
128 DORCHESTER DR.
YORKTOWN HEIGHTS, NY 10598

~~48.07-3-67
CSASZAR, JOSEPH &
LORRAINE
1660 MAXWELL DR.
YORKTOWN HGTS., NY 10598~~

48.07-3-64
DI MAGGIO, FRANK &
CARMELA
1651 MAXWELL DR.
YORKTOWN HGTS., NY 10598

48.07-3-83
DONATELLI, THOMAS &
EILEEN
120 DORCHESTER DR.
YORKTOWN HGTS, NY 10598

48.12-1-18
✓ TOWN OF YORKTOWN
363 UNDERHILL AVE.
YORKTOWN HGTS., NY 10598

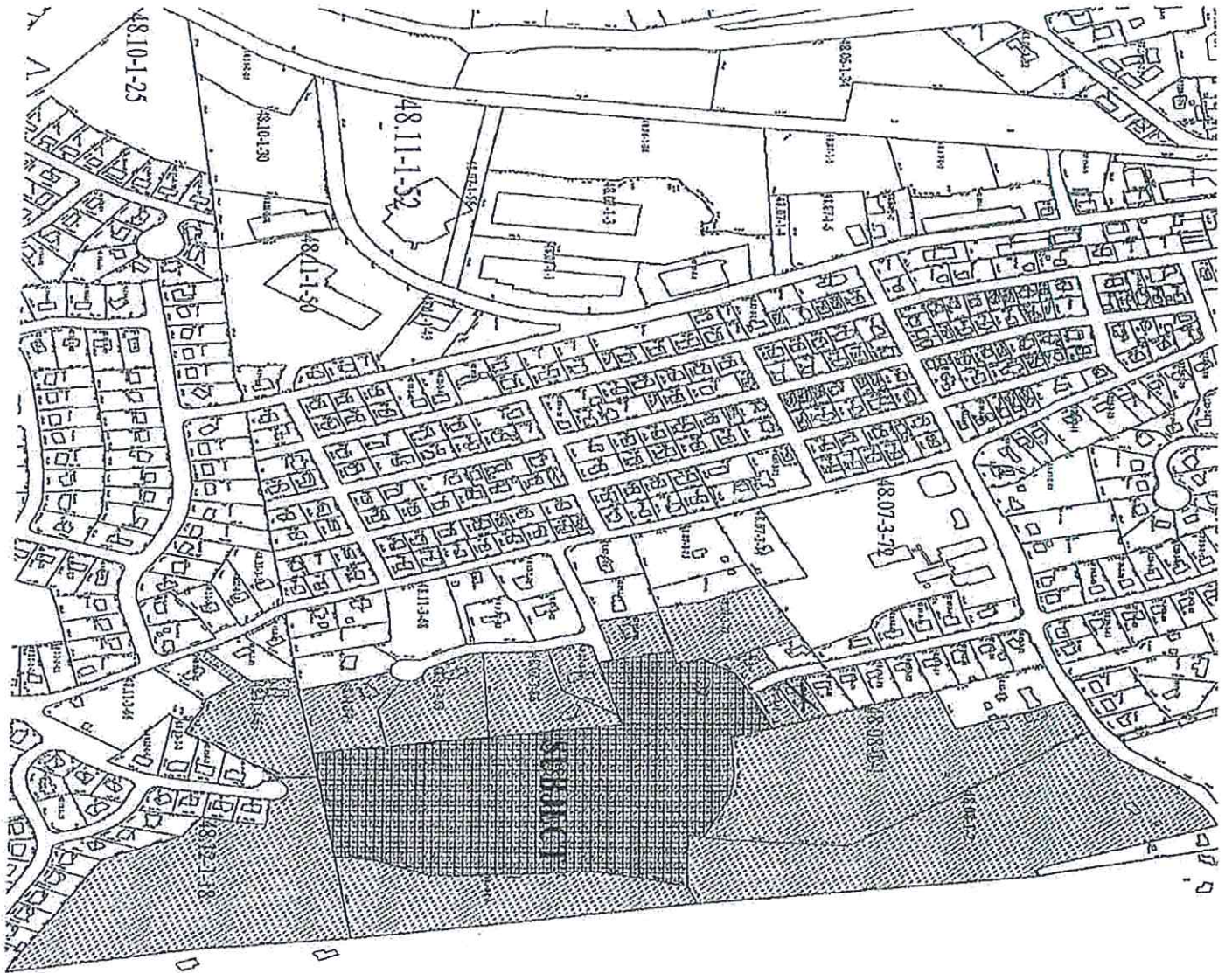
48.08-1-2
RAFFONE, PAUL & ALLISSA
25 MOSEMAN RD.
YORKTOWN HGTS., NY 10598-48

48.07-3-62
LATTIS, RICHARD L &
SHARON L
1650 MAXWELL DR.
YORKTOWN HGTS., NY 10598

48.08-1-4
KINCART, JOHN & ELAINE
1643 MAXWELL DR.
YORKTOWN HGTS, NY 10598

48.11-3-69
TINGER, DAWN M.
136 DORCHESTER DRIVE
YORKTOWN HGTS, NY 10598

48.11-3-63
BRADY, GERARD & LISA
1502 HANOVER ST.
YORKTOWN HGTS., NY 10598



Name and Address of Sender

Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

- Check type of mail or service
- Adult Signature Required
 - Adult Signature Restricted Delivery
 - Certified Mail
 - Certified Mail Restricted Delivery
 - Collect on Delivery (COD)
 - Insured Mail
 - Priority Mail
 - Priority Mail Express
 - Registered Mail
 - Return Receipt for Merchandise
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

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U.S. POSTAGE PAID
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USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

		Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	Frank & Maria Cicinelli 114 Dorchester Drive Yorktown Heights, NY 10598													
2.	Piero & Josephine D'Ippolito 128 Dorchester Drive Yorktown Heights, NY 10598													
3.	Paul & Allissa Raffone 25 Moseman Road Yorktown Heights, NY 10598													
4.	Yorktown Grange 862 P.O. Box 254 Yorktown Heights, NY 10598													
5.	Richard L. & Sharon L. Lattis 1650 Maxwell Court Yorktown Heights, NY 10598													
6.	John & Lisa Madden 1640 Hanover Street Yorktown Heights, NY 10598													
7.	Frank & Carmela Di Maggio 1651 Maxwell Drive Yorktown Heights, NY 10598													
8.	John & Elaine Kincart 1643 Maxwell Drive Yorktown Heights, NY 10598													
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)												

Complete in Ink

Name and Address of Sender
Site Design Consultants
251-F Underhill Avenue
Yorktown Heights, New York 10598

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 - Adult Signature Restricted Delivery
 - Certified Mail
 - Certified Mail Restricted Delivery
 - Collect on Delivery (COD)
 - Insured Mail
 - Priority Mail
 - Priority Mail Express
 - Registered Mail
 - Return Receipt for Merchandise
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

Affix Stamp Here
 (for additional copies of this receipt).
 Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	Town of Yorktown 363 Underhill Avenue Yorktown Heights, NY 10598													
2.	Thomas & Eileen Donatelli 120 Dorchester Drive Yorktown Heights, NY 10598													
3.	Dawn M. Tinger 136 Dorchester Drive Yorktown Heights, NY 10598													
4.	Timothy & Rosemary Stewart 144 Dorchester Drive Yorktown Heights, NY 10598													
5.	Gerard & Lisa Brady 1502 Hanover Street Yorktown Heights, NY 10598													
6.														
7.														
8.														
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)												



Complete in Ink

Sign Notification Certification

Per Section §205-7 of the Town of Yorktown Town Code, every applicant that submits an application to an approval authority empowered to approve or deny said application must post one or more notification signs on the property which is the subject of said application.

Section 15.20 Block 3 Lot 6

Project Name: DORCHESTER GLEN

Address: _____

Applicant's Name: JOHN + ECAINE KINCART

Address: 1643 MAXWELL DRIVE, YORKTOWN

Phone: 914-384-3385 HEIGHTS NY 10598

No. Signs Posted: 2

Sign #1 Location: 1643 MAXWELL DRIVE

Sign #2 Location: DORCHESTER DRIVE R.O.W.

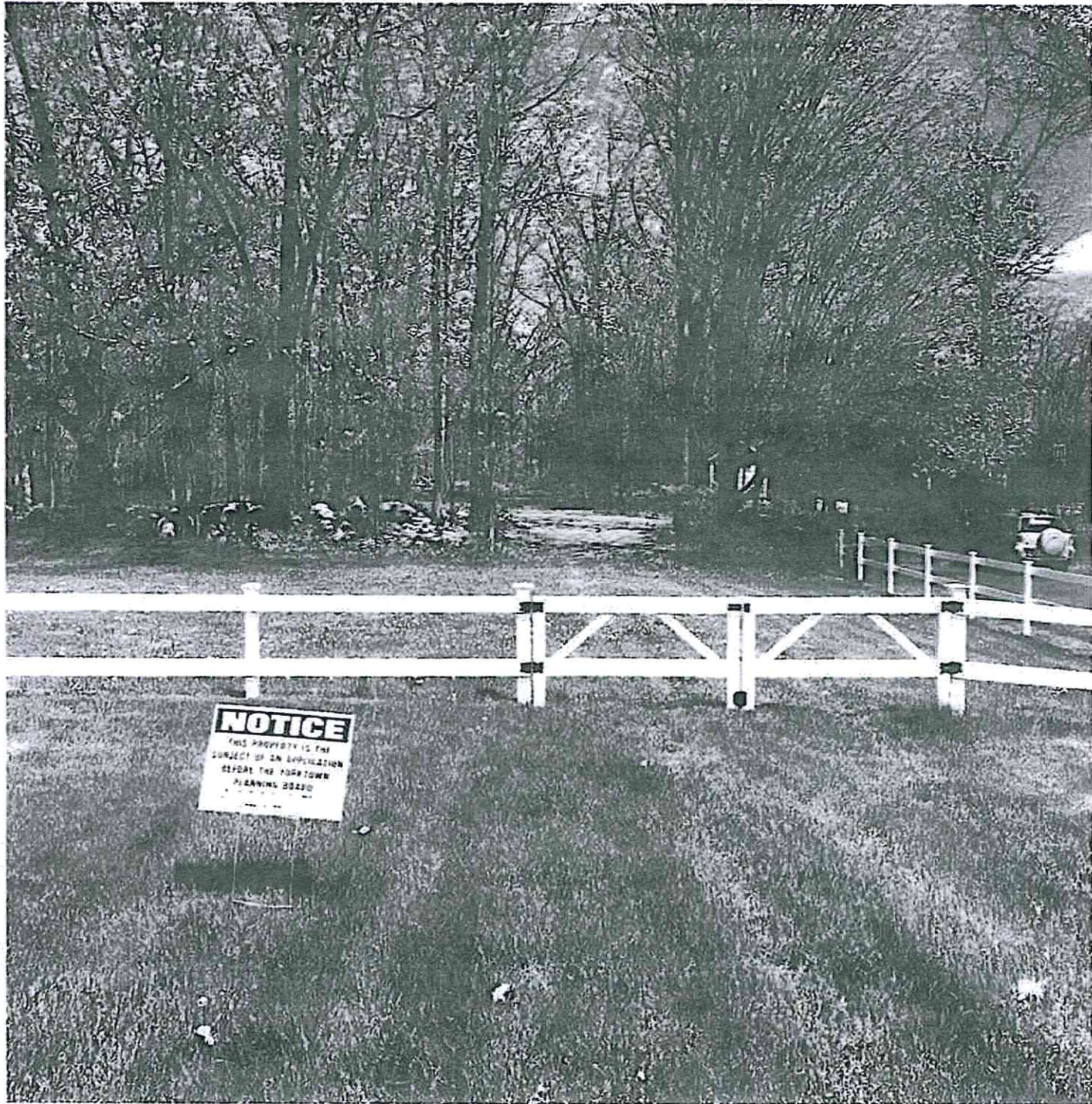
Sign #3 Location: _____

- Please Attach and Label Photos on Additional Sheets -

Applicant's Signature: John P. Kincart

Land Owner's Signature: Glenn M. Kincart





Robyn Steinberg

From: Edward Kolisz
Sent: Friday, July 22, 2022 10:28 AM
To: Robyn Steinberg
Subject: RE: Dorchester Glen Subdivision

The next meeting will be in September, we will look at it then. Working on a memo for Dell solar right now.

Edward W. Kolisz
Assistant Building and Fire Inspector, Town of Yorktown, NY
363 Underhill Ave.
Yorktown Heights, NY 10598
Office: 914-962-5722 Ext. 254
Fax: 914-962-1731
www.yorktownny.org

From: Robyn Steinberg <rsteinberg@yorktownny.org>
Sent: Friday, July 22, 2022 10:17 AM
To: Edward Kolisz <edward@yorktownny.org>
Subject: Dorchester Glen Subdivision

Ed,

When is the Fire Board's next meeting? They should review the Dorchester Glen Subdivision at that meeting, right?

Thanks,
Robyn

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598
Phone | 914-962-6565
Email | rsteinberg@yorktownny.org
Web | <http://www.yorktownny.org/planning>

From: Robyn Steinberg <rsteinberg@yorktownny.org>
Sent: Friday, July 22, 2022 10:30 AM
To: David Paganelli <dpaganelli@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>
Subject: Routing Referral - Dorchester Glen Subdivision / 1643 Maxwell Drive; 15.20-3-6

Dave,

Yes, I saw what you said at the Town Board meeting. We had sent it to the Fire Advisory Board already, but Ed said they don't have a meeting until September.

Robyn

RECEIVED
PLANNING DEPARTMENT

JUL 25 2022

TOWN OF YORKTOWN

Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598
Phone | 914-962-6565
Email | rsteinberg@yorktownny.org
Web | <http://www.yorktownny.org/planning>

From: David Paganelli <dpaganelli@yorktownny.org>
Sent: Friday, July 22, 2022 9:59 AM
To: Nancy Calicchia <ncalicchia@yorktownny.org>
Cc: Robyn Steinberg <rsteinberg@yorktownny.org>
Subject: Routing Referral - Dorchester Glen Subdivision / 1643 Maxwell Drive; 15.20-3-6

Good Morning All, the width of the road seems to be of some concern. I have spoken to Commissioner Martin McGannon and he is checking code . My feeling is if there are specifics necessary for adequate fire response we might prefer to not go thru this process and have the Fire Advisory Board not approve at the eleventh hour. Please let me know what is the appropriate time to address this, Thanks, Dave

Be Safe & Healthy

Dave Paganelli
Supt. of Highways
Town of Yorktown
914-962-5781
dpaganelli@yorktownny.org

MEMORANDUM

RECEIVED
PLANNING DEPARTMENT

AUG 11 2022

TOWN OF YORKTOWN

TO: Robyn A. Steinberg, AICP, CPESC
Town of Yorktown, New York

FROM: Daniel P. Biggs, RLA, ISA, CERP

DATE: August 11, 2022

SUBJECT: Dorchester Glen Subdivision – Wetland Verification
Town of Yorktown, New York

As requested, Daniel Biggs of Weston & Sampson PE, LS, LA, ARCHITECTS, PC (Weston & Sampson) completed a review of the wetland boundary delineated by Anthony Russo of Environmental Compliance Services, Inc. A field visit with Anthony Russo and Sarah Pawliczak (NYSDEC) was conducted on August 9th, 2022, to inspect the wetland boundary flagging. Wetland flagging was in place and easily visible. Flag numbers A1 through A41 were accounted for in the site review and illustrated on the Existing Conditions & Wetland Delineation Plan dated 7/6/22.

As a result, the wetland delineation in the field and on the above referenced maps accurately depicts the limits of the wetlands on the site.

It should be noted that the subdivision plans (Conventional & Flexibility Subdivision Plans) dated 3/30/22 by Site Design Consultants, provided for review do not accurately illustrate the wetland limits and associated 100-ft buffer. As a result, the subdivision plans should be revised to correctly illustrate the wetland limits reviewed and depicted on the Existing Conditions & Wetland Delineation Plan dated 7/6/22.

Please do not hesitate to reach out with any comments or questions regarding our findings and summary of work for this project.

Certification

I certify that all the statements of fact in this appraisal are true, complete, and correct to the best of my knowledge and belief, and that they are made in good faith.

David P. Biggs

8/11/2022

Daniel P. Biggs, RLA, ISA (MA-5119A), CERP
Registered Landscape Architect NY-002443-01

Date
exp. 1/31/2023

Attachments:

Existing Conditions & Wetland Delineation Plan dated 7/6/22.

westonandsampson.com
Offices in: MA, CT, NH, VT, NY, NJ, PA, SC & FL

Weston & Sampson



NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

NOTE: THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XX/XX/XX. LAST REVISED XXXXXX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

PROJECT: 1643 MAXWELL DRIVE, WESTCHESTER, NY 10598
 DATE: 7/6/22
 DRAWN BY: CS
 SCALE: 1"=50'
 SHEET: 1 OF 1

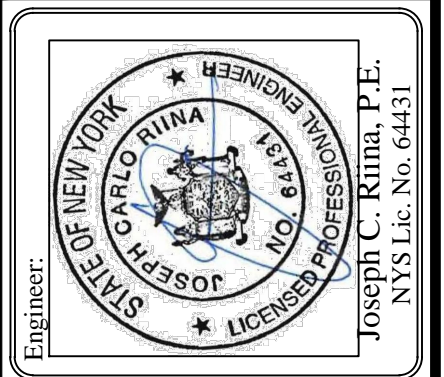
Sheet 1 of 1

PRELIMINARY SUBDIVISION PLAN
 PREPARED FOR
DORCHESTER GLEN
 1643 MAXWELL DRIVE
 Town of Yorktown
 Westchester County

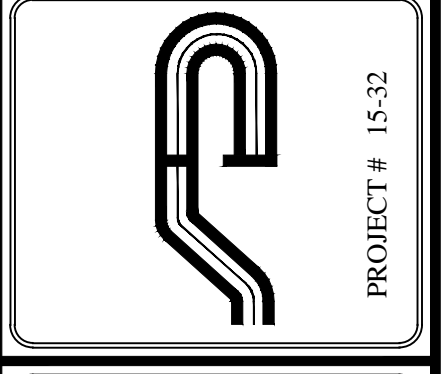
**EXISTING
 CONDITIONS &
 WETLAND
 DELINEATION PLAN**

SCALE: 1"=50'
 DRAWN BY: CS
 DATE: 7/6/22

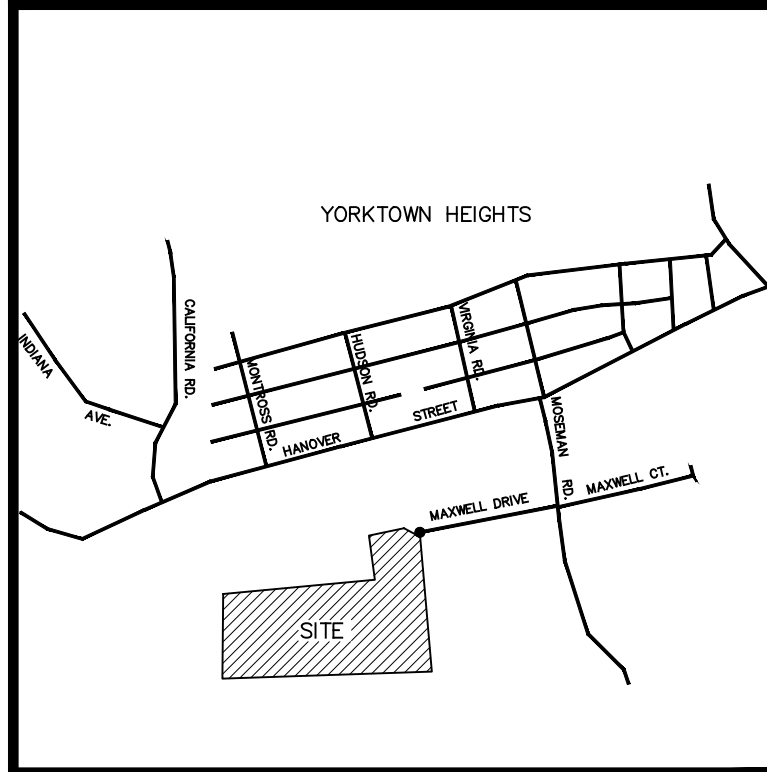
NO.	DATE	COMMENTS



Site Design Consultants
 Civil Engineers • Land Planners
 251-F Underhill Avenue, Yorktown Heights, NY 10598
 (914) 962-4488 - Fax: (914) 962-7386
 www.sitedesignconsultants.com



PROJECT # 15-32
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LOCATION MAP
NOT TO SCALE

SITE DATA:

OWNER / DEVELOPER: JOHN AND ELAINE KINCART
1643 MAXWELL DRIVE
YORKTOWN, NY 10598

PROJECT LOCATION: 1643 MAXWELL DRIVE
YORKTOWN, NY 10598

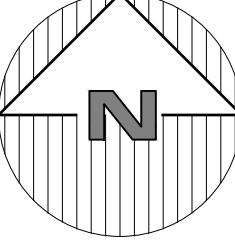
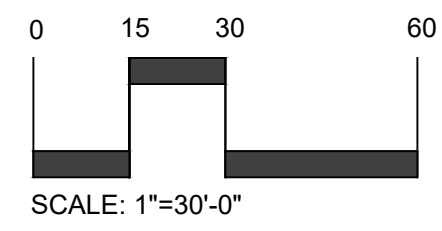
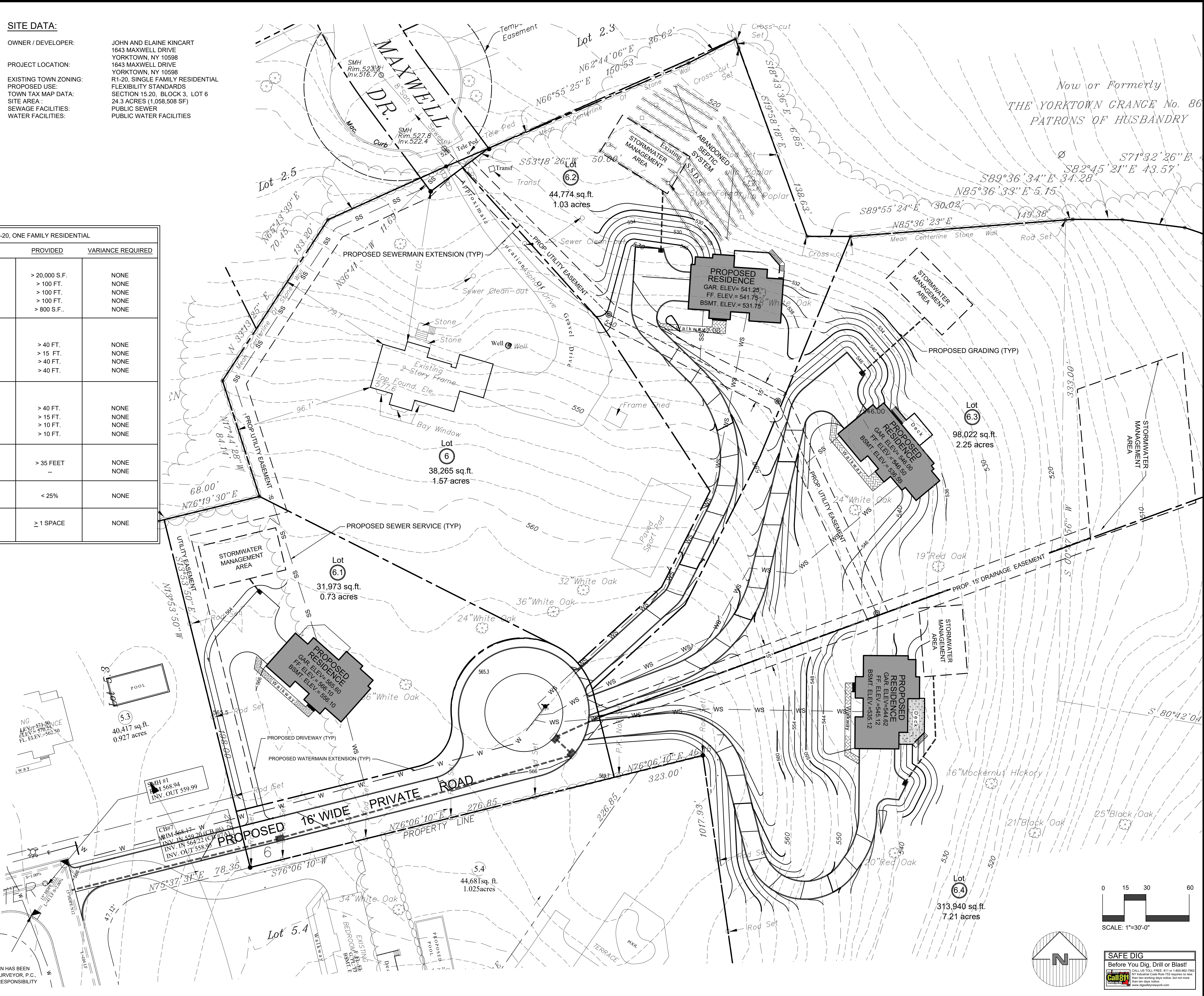
EXISTING TOWN ZONING: R1-20, SINGLE FAMILY RESIDENTIAL
FLEXIBILITY STANDARDS

PROPOSED USE: SECTION 15.20, BLOCK 3, LOT 6
24.3 ACRES (1,058,508 SF)

TOWN TAX MAP DATA: PUBLIC SEWER
WATER FACILITIES: PUBLIC WATER FACILITIES

ZONING SCHEDULE:

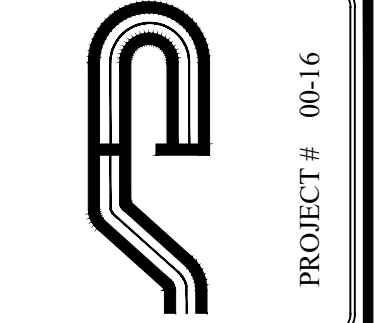
ZONING DISTRICT: R1-20, ONE FAMILY RESIDENTIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA :	20,000 S.F.	> 20,000 S.F.	NONE
MINIMUM LOT WIDTH:	100 FT.	> 100 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	> 100 FT.	NONE
MINIMUM ROAD FRONTAGE:	100 FT.	> 100 FT.	NONE
MINIMUM USABLE FLOOR AREA:	800 S.F.	> 800 S.F.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:	40 FT.	> 40 FT.	NONE
FRONT YARD SETBACK:	15 FT.	> 15 FT.	NONE
SIDE YARD SETBACK:	40 FT.	> 40 FT.	NONE
COMBINED SIDE YARD SETBACK:	40 FT.	> 40 FT.	NONE
REAR YARD SETBACK:	40 FT.	> 40 FT.	NONE
SUPPLEMENTARY YARD DIMENSIONS:			
ACCESSORY BUILDING:	40 FT.	> 40 FT.	NONE
FRONT YARD SETBACK:	15 FT.	> 15 FT.	NONE
SIDE YARD SETBACK:	10 FT.	> 10 FT.	NONE
COMBINED SIDE YARD SETBACK:	10 FT.	> 10 FT.	NONE
REAR YARD SETBACK:	10 FT.	> 10 FT.	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	> 35 FEET	NONE
ACCESSORY BUILDING - FEET:	15 FEET	-	NONE
MAXIMUM LOT AREA TO BE OCCUPIED:			
BUILDING COVERAGE:	25%	< 25%	NONE
SUPPLEMENTARY REGULATIONS			
MINIMUM OFF-STREET PARKING:	1 SPACE	≥ 1 SPACE	NONE



SAFE DIG
Before You Dig, Drill or Blast!
Call 811
www.digbeforeyoudig.com

NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DONALD J. DONNELLY LAND SURVEYOR, P.C. DATED 6/18/1992, LAST REVISED 5/3/2007. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.



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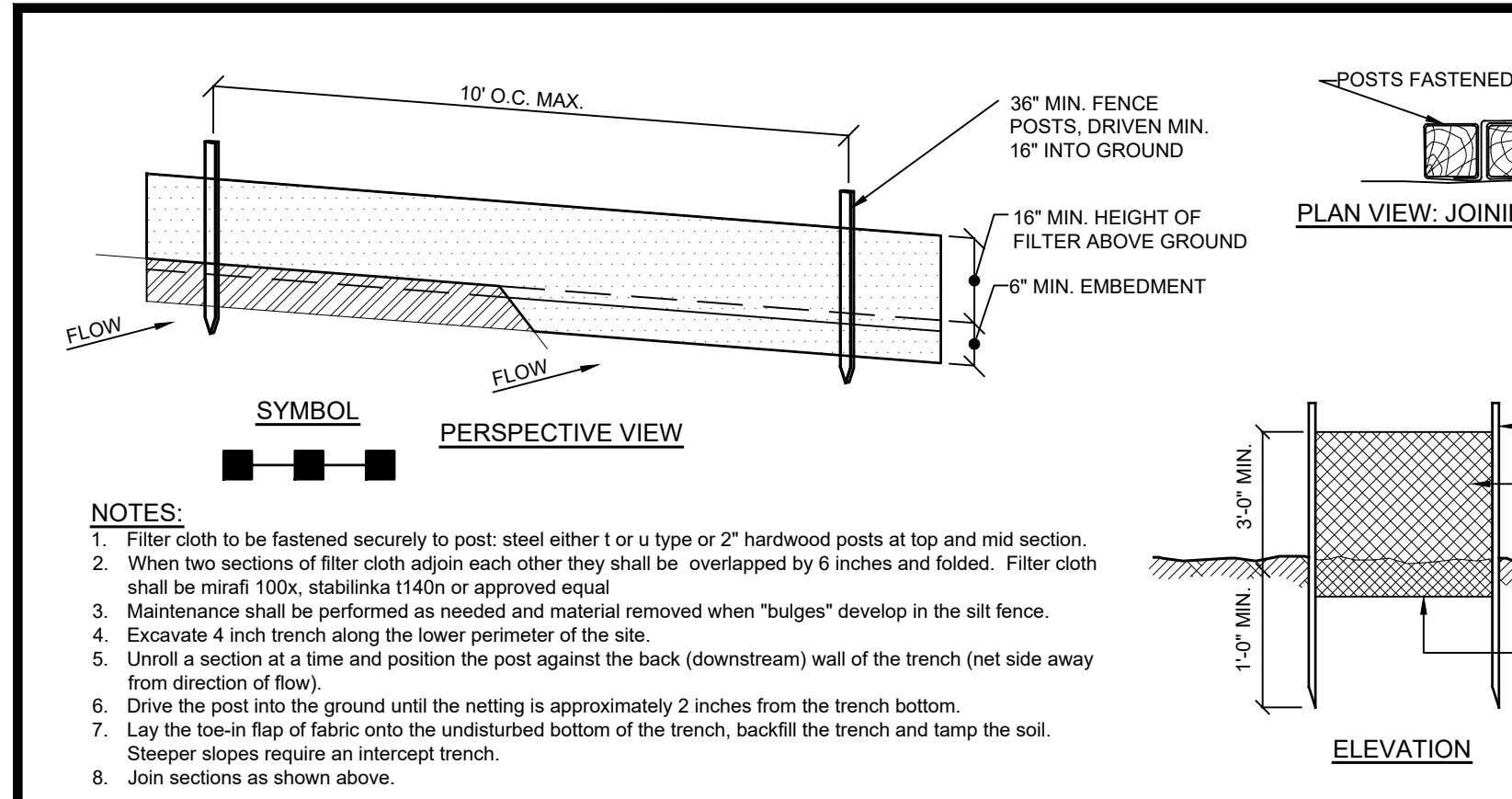
Revisions:	No.	Date	Comments

SCALE: 1" = 30'
DRAWN BY: CS
DATE: 7/6/22

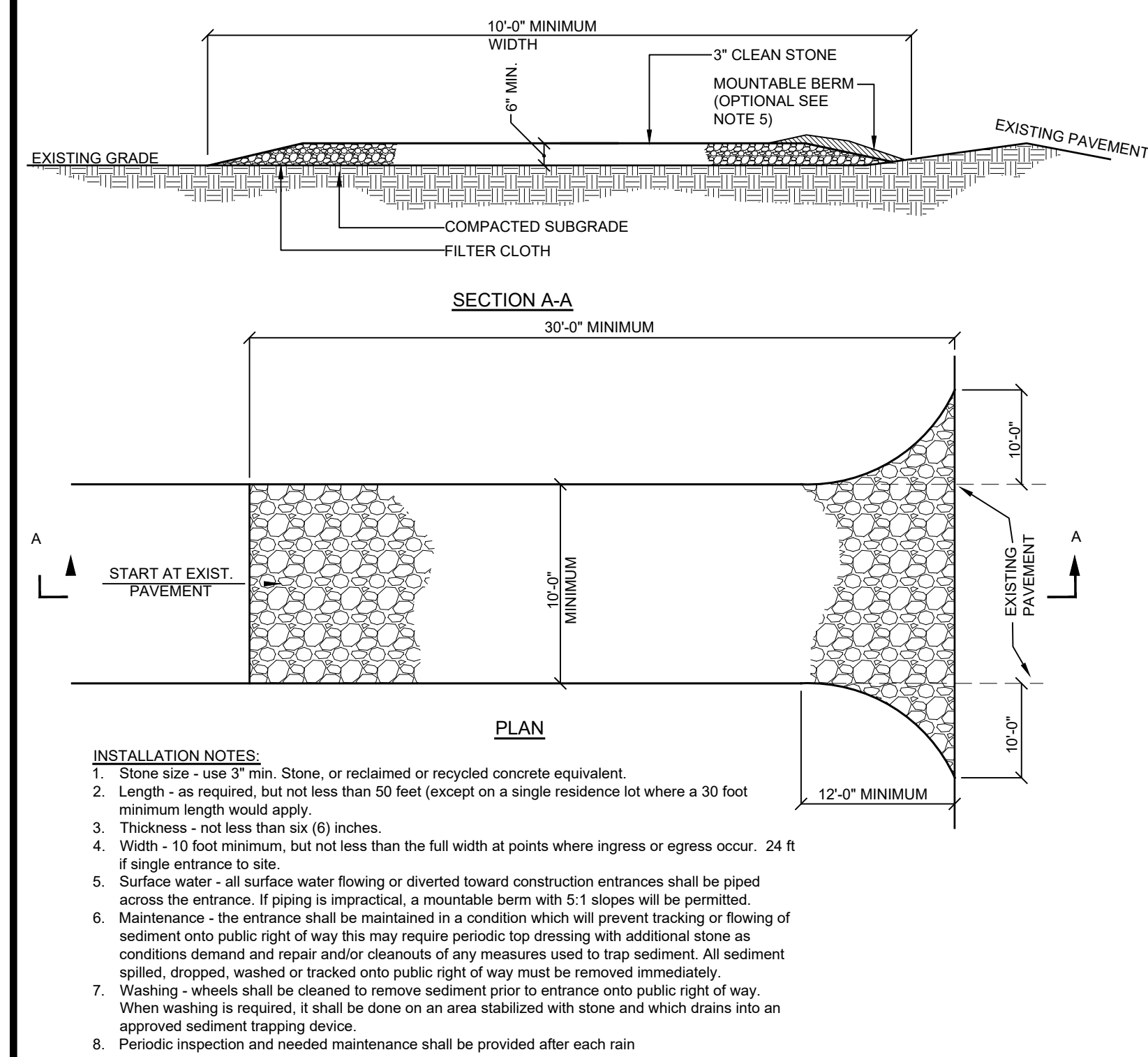
SITE PLAN

PRELIMINARY SUBDIVISION PLAN
PREPARED FOR
DORCHESTER GLEN
1643 MAXWELL DRIVE
Town of Yorktown
Westchester County

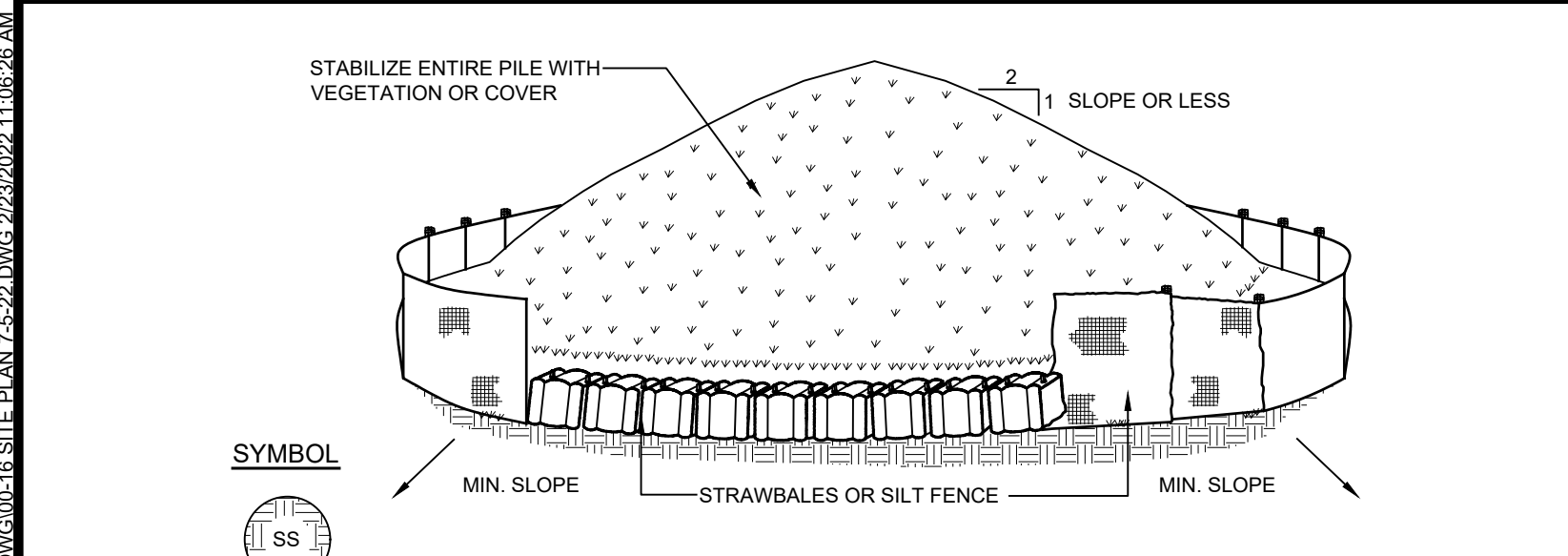
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E-1 SILT FENCE DETAIL
NOT TO SCALE



E-2 STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



E-3 SOIL STOCKPILE DETAIL
NOT TO SCALE



E-4 INLET PROTECTION DETAIL
NOT TO SCALE



E-5 EROSION CONTROL DETAILS

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufacturers requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a previous crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-15-002 and Town of Yorktown Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.

- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and stormwater practices.
- Prior to the start of the project, an on-site pre-construction meeting will be held, this will be attended by the project owner, the operator responsible for complying with the approved construction drawings including the erosion and sediment control (E&SC) plan and details, the design engineer, the engineer responsible for E&SC monitoring during construction, and town representatives from the engineering department and code enforcement.
- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal. The extents of the stormwater management system shall be cordoned off to minimize the disturbance on this area.
- Install all perimeter erosion control measures, construction entrance as shown on the Erosion and Sediment Control Plan and the associated Details. Install silt fencing at the bottom of slopes. The standards established in Part 1.B 1.b of the GP-015-002 included in appendix B of this SWPPP must be adhered to.
- Strip site, clear vegetation, and place topsoil in stockpile locations shown on the plan.
- Begin rough grading the site. Contractor to limit exposure of denuded soils by providing temporary stabilization for work areas that will remain undisturbed for over seven (7) days. Chipped rock that is not suitable to remain on site shall be hauled away and properly disposed of. An area has been provided for the stockpiling of removed soil and rock which is to be removed from the site.
- Rough grade building and driveway.
- Begin construction of building.
- Begin the excavation and installation of the drainage and stormwater management system. Protect trenches and open excavations from erosion. Entry into the system shall be blocked off until site has reached final stabilization. Once system has been installed, backfill, seed where necessary, and reinstall measures to cordon off the system from disturbance.
- During site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Excavate to the sub-grade level. Scarify the existing soil to a depth of 12-inches by rototilling or other means acceptable to the Engineer. Install all courses of stone as per the specifications given on the Plan.
- Install base course of Item 4 in all pavement areas. Stabilize all open areas with seed and mulch.
- Construct remainder of building, driveway and parking areas. First install curbs, asphalt binder, and concrete sidewalk. Once binder course is installed, drainage outlet may be unblocked.
- Backfill curbs, grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds, slopes, etc.
- Once site stabilization has taken place (An area shall be considered to have achieved final stabilization when it has a minimum uniform 80% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements), remove all temporary erosion and sediment controls, unplug the drainage system to allow runoff to enter the stormwater management system.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20
	CREeping RED FESCUE 28
	RYE GRASS OR REDTOP 5
ALT. B	CREeping RED FESCUE 20
	REDTOP 2
	TALL FESCUE/SMOOTH BLOOMGRASS 20

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20
	CREeping RED FESCUE 28
	RYE GRASS OR REDTOP 5
ALT. B	CREeping RED FESCUE 20
	REDTOP 2
	TALL FESCUE/SMOOTH BLOOMGRASS 20

SEEDING

- Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
- Apply soil amendments and integrate into soil.
- Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
- Stabilize seeded areas in drainage swales.
- Irrigate to fully saturate soil layer, but not to dislodge planting soil.
- Seed between April 1st and May 15th or August 15th and October 15th.
- Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to pH 6.5.

SEED SPECIES:	LBS./ACRE
MIXTURE	
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

Same as permanent vegetative cover

CONTRACTOR CERTIFICATION STATEMENT

Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 29, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

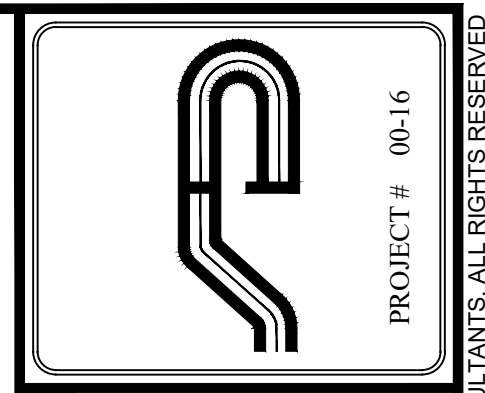
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: _____
Name and Title (please print): _____
Signature of Contractor: _____
Company / Contracting Firm: _____
Name of Company: _____
Address of Company: _____
Telephone Number / Cell Number: _____
Site Information: _____
Address of Site: _____
Today's Date: _____

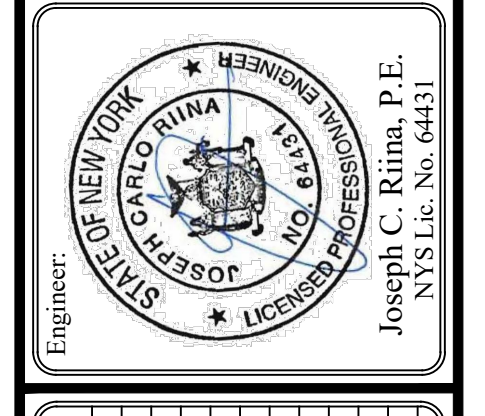
OWNER / OPERATOR CERTIFICATION

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): _____
Title: _____
Date: _____
Address: _____
Phone: _____
Signature: _____
E-mail: _____



Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

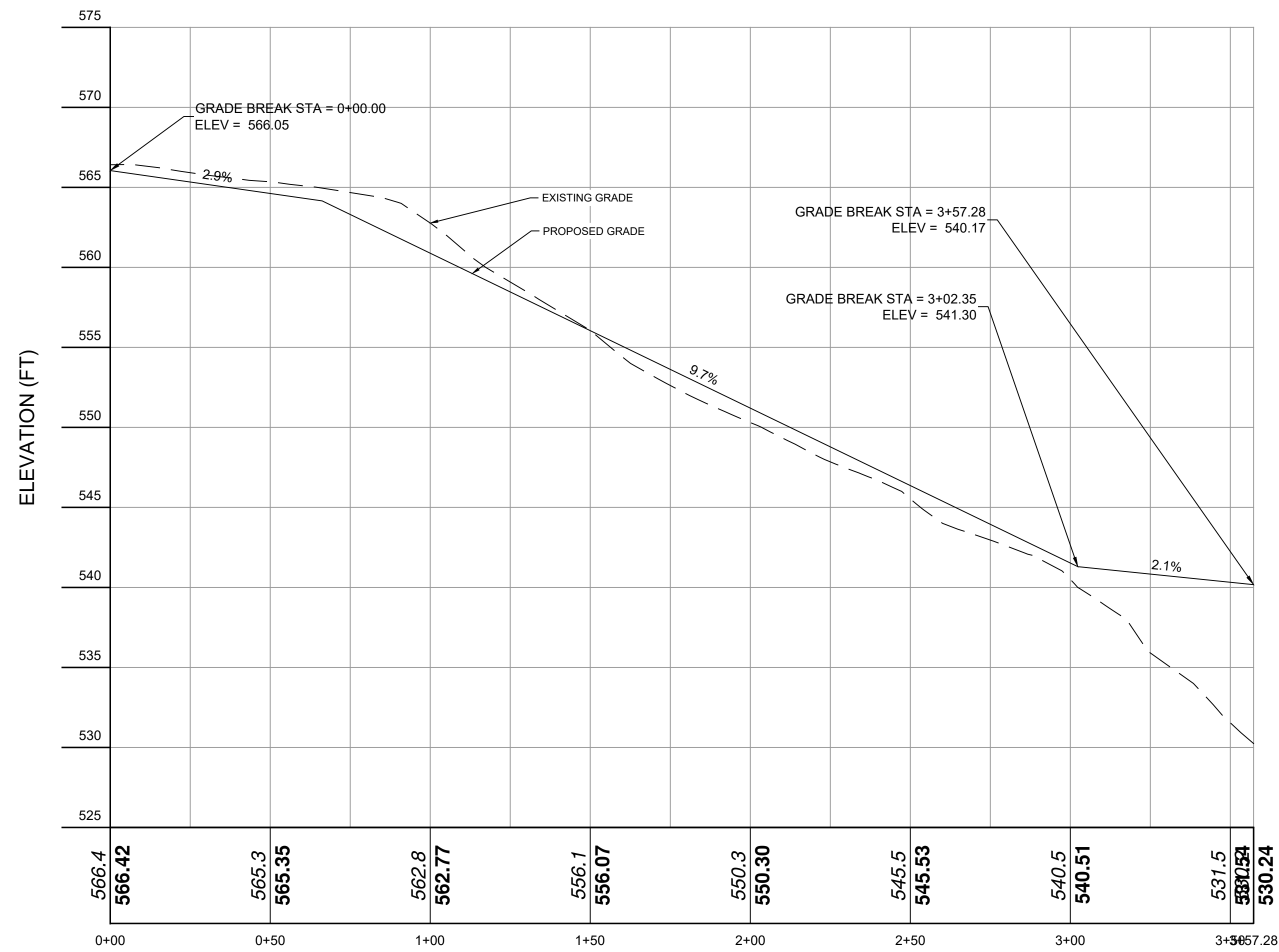


Revisions:	No.	Date	Comments

SCALE: N.T.S.	DRAWN BY: CS	DATE: 7/6/22
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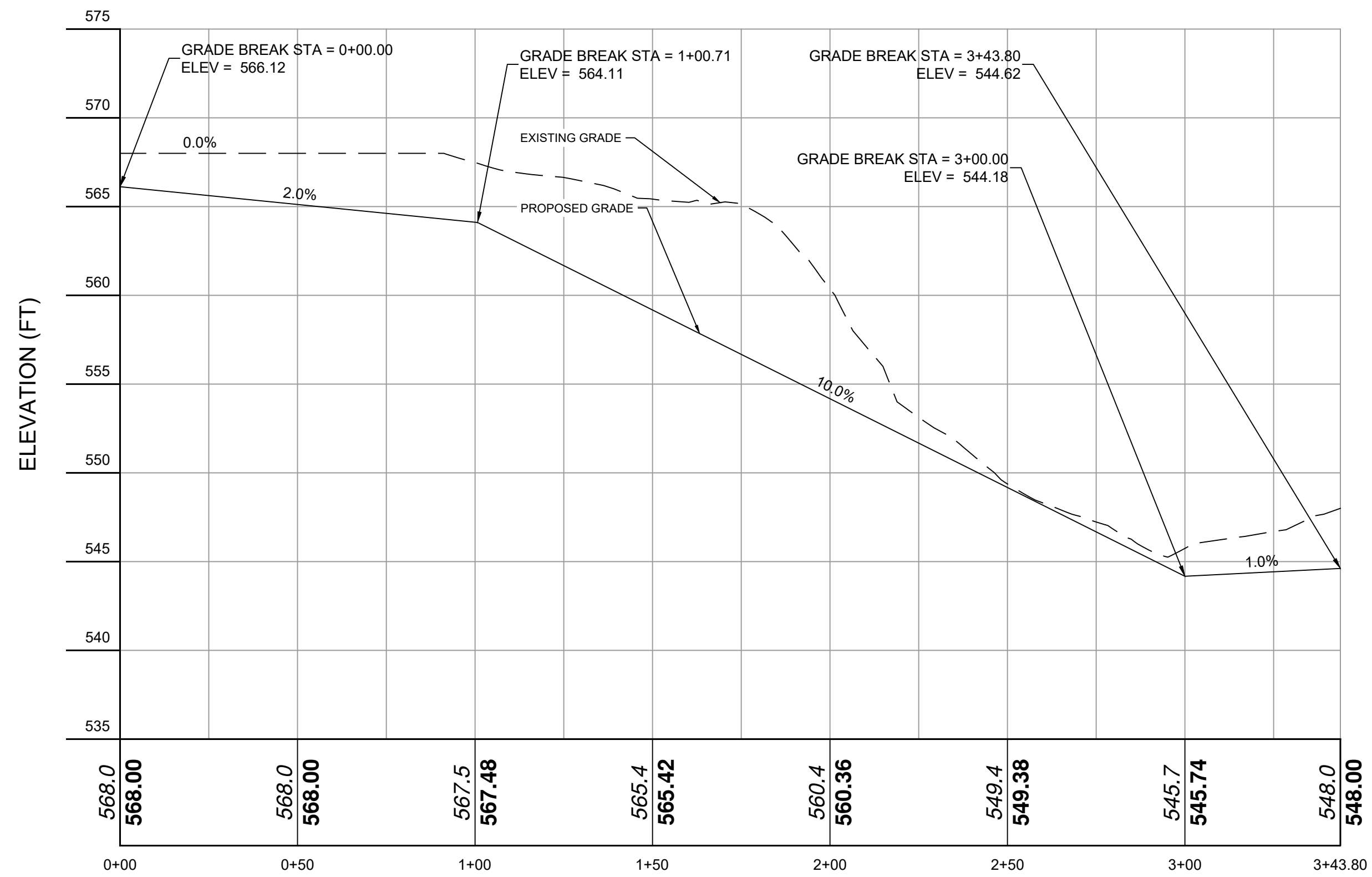
EROSION CONTROL DETAILS

PRELIMINARY SUBDIVISION PLAN
PREPARED FOR
DORCHESTER GLEN
1643 MAXWELL DRIVE
Yorktown
Westchester County



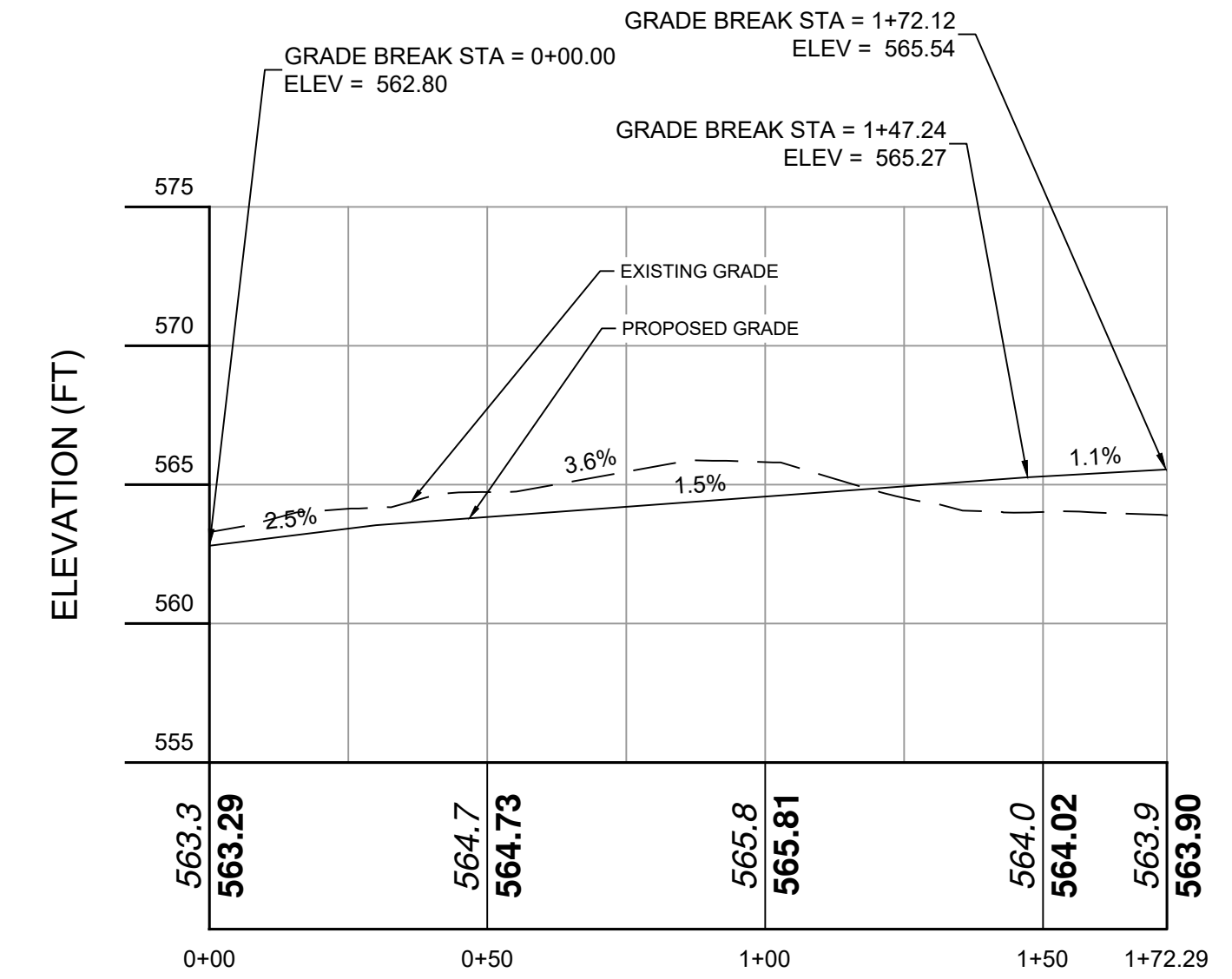
DISTANCE ALONG BASELINE (FT)

Lot 6.2
 VERT. SCALE: 1" = 10
 HORIZ. SCALE: 1" = 50



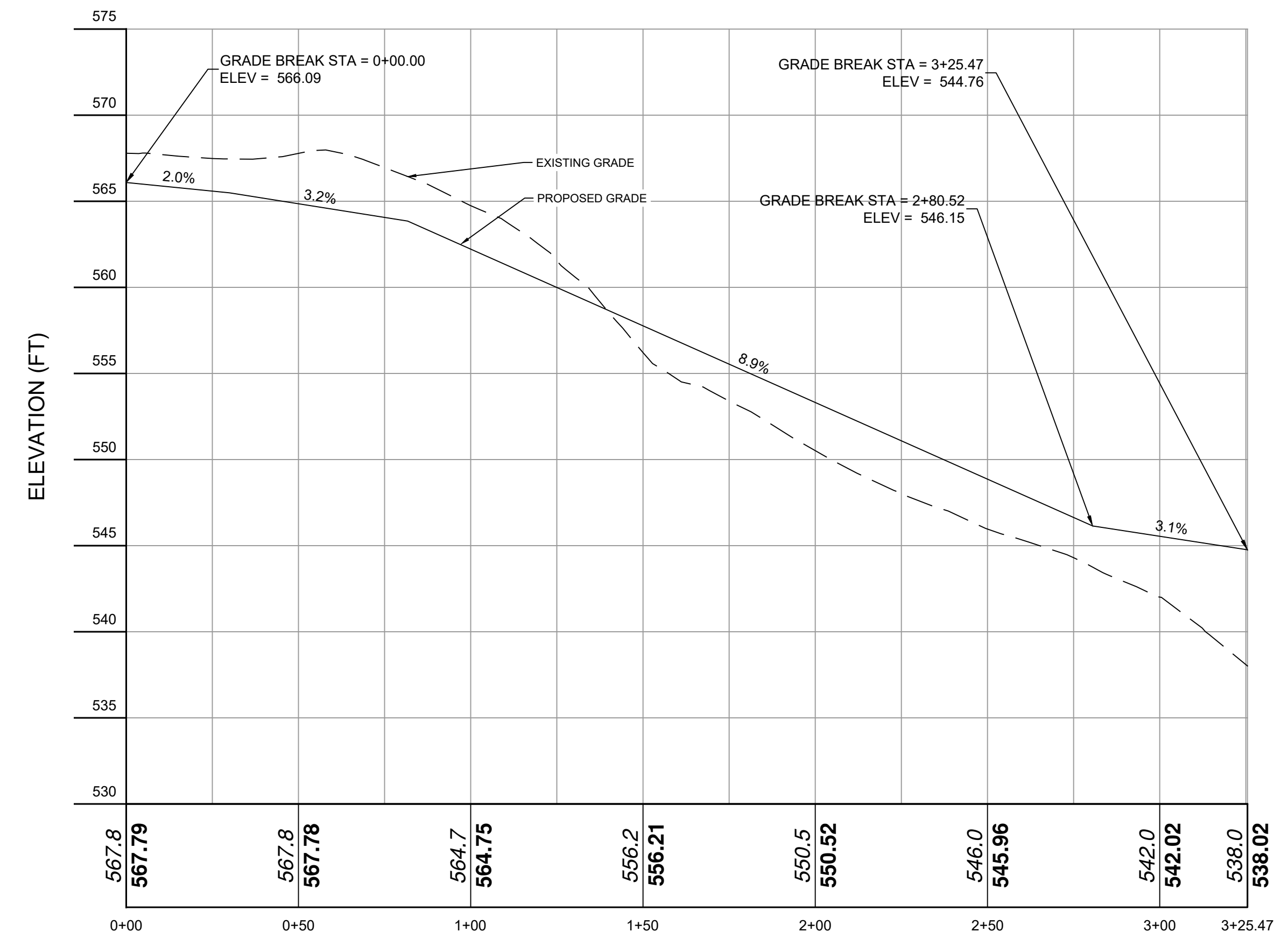
DISTANCE ALONG BASELINE (FT)

PROPOSED DRIVEWAY - LOT 6.4
 VERT. SCALE: 1" = 10
 HORIZ. SCALE: 1" = 50



DISTANCE ALONG BASELINE (FT)

PROPOSED DRIVEWAY - LOT 6.1
 VERT. SCALE: 1" = 10
 HORIZ. SCALE: 1" = 50

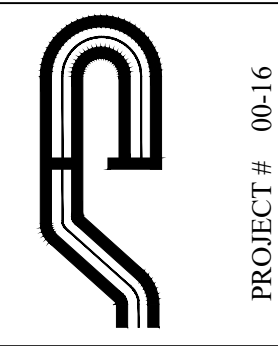


DISTANCE ALONG BASELINE (FT)

Lot 6.3
 VERT. SCALE: 1" = 10
 HORIZ. SCALE: 1" = 50

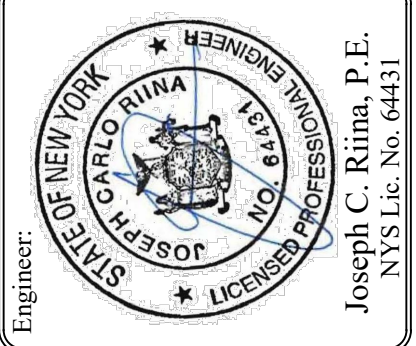
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NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(f) OF THE NEW YORK STATE EDUCATION LAW.



PROJECT # 00-16

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 (914) 962-4488 - Fax: (914) 962-7386
 www.sitedesignconsultants.com



Engineer:
 Joseph C. Rinn, P.E.
 NYS Lic. No. 64431

Revisions:	No.	Date	Comments

SCALE:
1" = 30'

DRAWN BY:
CS

DATE:
7/6/22

DRIVEWAY
 PROFILES

PRELIMINARY SUBDIVISION PLAN
 PREPARED FOR
DORCHES GLEN
 1643 MAXWELL DRIVE
 Town of Yorktown
 Westchester County

Sheet
6

of
7

**Wendy's at
Staples Plaza**

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: June 13, 2022
Subject: Wendy's Restaurant at BJ's/Staples Plaza
3399 Crompond Road; 27.14-1-45

RECEIVED
PLANNING DEPARTMENT

JUN 13 2022

TOWN OF YORKTOWN

Documents Received:	Produced By:
Plan Set dated 4/11/22 Architectural Renderings dated 4/11/22 -Sheets A2.1, A2.2, A2.3, A6.2, EQ1.1 -Sign Detail	Chesapeake Design Group (CDG)

The Advisory Board on Architecture and Community Appearance reviewed the above referenced at their meeting held on Tuesday, June 7, 2022. Jennifer Porter of CSG Law and Warren Nagy, Architect, were present. The proposal is for Wendy's to occupy the current Dunkin Donuts/York Pizza space in the BJs/Staples plaza. The applicant explained that the building will be renovated to accommodate this change.

The ABACA has the following comments:

Site Plan

- The Board looks forward to reviewing the updated site plan when submitted.

Architecture

- The existing building does not have much of a parapet so any new or existing rooftop mechanical equipment should be equipped with screening to conceal it from view.
- The Board liked the color and materials proposed but requested for a material board to be submitted for review and approval.
- The existing shed at the rear is proposed to be removed and a new metal clad wrapped refrigerator unit will be constructed in its place.
- The window size and spacing will match the existing with new glass and frames.
- The Board liked the proposed mesh pane railing design for the walkway and stairs.

Lighting

- The building as proposed would have lit channel letter signs, a soft glow linear accent light along the cap of the parapet, and wash uplighting of the new blade walls.
- The applicant explained that the recessed lights are proposed to be included under the soffit, covered walkway, and seating area. Additionally, they are considering adding down lighted sconces on the blank walls adjacent to the drive-through window.
- The Board is not in favor of replacing the existing flood lights on top of the building and hopes that the integration of site lighting will help to assist in the removal of these lights.

Landscape Plan

- The Board looks forward to reviewing a landscape plan if proposed.

Signage

- The Board informed the applicant that the signage would have to be formally submitted to the Building Department but it seems as though the quantity would be less than permitted by the variance.
- Signage locations as shown would have to be coordinated with the approved master sign plan.
- The Board suggested lowering the Wendy cameo on the blades to be centered on the top panel.

Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Wendy's
June 13, 2022
Page 2 of 4

The Board feels that the proposal will be a huge improvement to what is existing and looks forward to reviewing the project as it progresses.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

Attachments

cc: Applicant

Planning Board

Building Inspector

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – Wendy’s Restaurant

Page 3 of 4

June 13, 2022

Proposed Wendy’s Restaurant at BJs/Staple Plaza

01 SIDE ELEVATION MAIN ENTRY

02 DRIVE THRU ELEVATION

01 FRONT ELEVATION-CROMPOUND ROAD

02 REAR ELEVATION

EXTERIOR FINISH SCHEDULE	
01	TECHNICAL SPECIFICATIONS
02	INTERIOR FINISH SCHEDULE
03	MECHANICAL FINISH SCHEDULE
04	PAINT FINISH SCHEDULE
05	LANDSCAPE FINISH SCHEDULE
06	ROOF FINISH SCHEDULE
07	WALL FINISH SCHEDULE
08	FLOOR FINISH SCHEDULE
09	CEILING FINISH SCHEDULE
10	MECHANICAL FINISH SCHEDULE
11	MECHANICAL FINISH SCHEDULE
12	MECHANICAL FINISH SCHEDULE
13	MECHANICAL FINISH SCHEDULE
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50	MECHANICAL FINISH SCHEDULE

A2.1

A2.2

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

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ABACA Memo – Wendy’s Restaurant

Page 4 of 4

June 13, 2022

Proposed Wendy’s Restaurant at BJ’s/Staple Plaza

01 SIDE ELEVATION MAIN ENTRY

02 GUARD RAILING ELEVATION

03 REAR ELEVATION

04 HAND RAIL DETAIL

CONVERSION NEW BUILD

Wendy's

A2.3

FOURTH SET 04/1/22

U1201-IA-36NR-WHT-RC

32.5 SqFt TOTAL

21.75 SqFt

9.75 SqFt

SECTION/MOUNTING DETAILS

UL LISTED E122574

custom SIGN Center, Inc.

FILENAME: U1201-IA-36NR-WHT-RC DATE: 5/2/18

REV# REVDATE: 1

SCALE: 3/8" = 1'

Customer: DATE:

Landlord: DATE:

July 7, 2022

RECEIVED
PLANNING DEPARTMENT

JUL 8 2022

TOWN OF YORKTOWN

Via FedEx and Email – rsteinberg@yorktownny.org

Ms. Robyn A. Steinberg, AICP, CPESC
Town of Yorktown Planning Department
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598

Re: Preliminary and Final Site Plan Application of
Wenesco Yorktown, LLC
3399 Crompond Road
Section 36.06, Block 2, Lot 76
Yorktown, New York

Dear Ms. Steinberg:

We represent Wenesco Yorktown, LLC, in connection with its application to the Town of Yorktown Planning Board (the “Board”) for preliminary and final site plan approval to renovate an existing drive-thru and replace it with a Wendy’s drive-thru on the property located at 3399 Crompond Road and designated on the Town of Yorktown Tax Maps as Block 2, Lot 76 (the “Property”).

In furtherance thereof, enclosed please find:

- 1) One (1) original signed copy of the Board Application for Site Plan Approval, together with the Site Plan Checklist, Short Environmental Assessment Form, and the required certifications and attachments thereto;
- 2) Seven (7) copies of the Site Plans prepared by Dynamic Engineering Consultants, P.C. dated June 27, 2022 and consisting of four (4) sheets;
- 3) Seven (7) copies of the Architectural Plans prepared by The Chesapeake Design Group Architects, Incorporated dated April 11, 2022 and consisting of eight (8) sheets;
- 4) Seven (7) copies of the Survey prepared by J. Henry Carpenter & Co. dated August 26, 2002, last revised October 25, 2002, and consisting of one (1) sheet;
- 5) Seven (7) copies of the Final As-Built Plan prepared by Line & Grade Surveyors D. P.C. dated January 5, 2021 and consisting of one (1) sheet; and

July 7, 2022

Page 2

- 6) Check made payable to the Town of Yorktown in the amount of \$4,733.00 representing the formal application and final project fees.

The original signed owner application page and affidavit will be sent under separate cover.

Thank you for your courtesies extended in this matter. Please feel free to contact me if you have any questions or need any additional information.

We look forward to appearing before the Board at their July 25, 2022 meeting.

Very truly yours,



Jennifer M. Porter

JMP:dmf
Enclosures

TOWN OF YORKTOWN
PLANNING BOARD

RECEIVED
PLANNING DEPARTMENT

JUL 8 2022

TOWN OF YORKTOWN

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date _____

1. Name of Project: _____

2. Tax Map Designation (Section, Block, Lot) 36.06, 2, 76

3. Zone: C-1 Total Acreage: 15.95

4. Is a statement of easements relating to property attached? Yes None exist

5. Project narrative (brief description of proposed development):
site plan approval for Wendy's drive-thru restaurant to replace existing drive-thru
restaurant on the subject property

6. Contact Person - CHOOSE ONLY ONE:

Applicant Owner Architect Wetland Scientist
 Attorney Engineer Surveyor Landscape Architect

7. Applicant

Name Kevin Woodside
Firm Wenesco Yorktown LLC
Address 920 Sylvan Avenue, Suite 120, Englewood Cliffs, NJ 07632
Phone 201.567.4900
Fax _____
Email Kevin@wenesco.biz

8. Owner of Record

Name Andrew Albrecht
Firm UB Yorktown, LLC
Address 312 Railroad Avenue, Greenwich, CT 06832
Phone 203.863.8200
Fax _____
Email aalbrecht@ubproperties.com

9. Attorney

Name Jennifer Porter, Esq.
Firm Chiesa Shahinian & Giantomasi PC
Address One Boland Drive, West Orange, NJ 07052
Phone 973.530.2071
Fax _____
Email jporter@csglaw.com

10. Engineer

Name Daniel T. Sehnam, PE
Firm Dynamic Engineering
Address 245 Main Street, Suite 110, Chester, NJ 07930
Phone 908.879.9229
Fax 908.879.0222
Email dsehna@dynamicec.com
Lic. No. 099106

11. Surveyor

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

12. Architect

Name Warren Nagey, AIA
Firm The Chesapeake Design Group Architects, Incorporated
Address 419 N Charles St, Baltimore, MD 21201
Phone 410.837.3622
Fax 410.837.3621
Email warren@cdgarchitects.com
Lic. No. 20040-1

13. Wetland Scientist/Specialist

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____

14. Landscape Architect

Name _____
Firm _____
Address _____
Phone _____
Fax _____
Email _____
Lic. No. _____

15. Is this project within 500 feet of the Town line? Yes No

16. Is this project within 500 feet of the Putnam County line? Yes No

17. Is this project within the Sustainable Development Study Area? Yes No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road? Yes No

The boundary of an existing or proposed state or county park or any state or county recreation area? Yes No

The boundary of state or county-owned land on which a public building/ institution is located? Yes No

An existing or proposed county drainage line? Yes No

The boundary of a farm located in an agricultural district? Yes No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. Yes No

20. This project requires the following permits or approvals from the Town of Yorktown:

Wetland Permit

Stormwater Permit

Tree Permit

Planning Board special permit: _____

Town Board variance or approval: _____

Zoning Board of Appeals variance or special permit: Parking/Loading Variance

21. This project requires the following permits or approvals from other outside agencies:

- Westchester County Board of Health
- NYC DEP
- NYS DEC
- Other: _____

22. This parcel is in the following districts:

School District	<u>Yorktown Central</u>	Water District	<u>Yorktown Consolidated</u>
Fire District	<u>Lake Mohegan</u>	Sewer District	<u>Hunterbrook</u>

A Short or Full EAF with the original signature of the applicant must be attached to this application when submitted.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

Applicant	Owner of Record
<u>Wenesc Yorktown LLC</u> NAME (PLEASE PRINT)	<u>UB Yorktown, LLC</u> NAME (PLEASE PRINT)
BY <u>[Signature]</u> SIGNATURE	_____ SIGNATURE
<u>6/30/2022</u> DATE	_____ DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

21. This project requires the following permits or approvals from other outside agencies:

Westchester County Board of Health

NYC DEP

NYS DEC

Other: _____

22. This parcel is in the following districts:

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Applicant

Owner of Record

Wenesco Yorktown LLC
NAME (PLEASE PRINT)

UB Yorktown, LLC
NAME (PLEASE PRINT)

By: Urstadt Biddle Properties Inc., its sole member

BY [Signature]
SIGNATURE

[Signature]
SIGNATURE

6/30/2022
DATE

7/7/2022
DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

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REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20 ____

Notary Public

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

~~Connecticut~~ Connecticut ~~Fairfield~~ Fairfield
STATE OF ~~NEW YORK~~; COUNTY OF ~~WESTCHESTER~~ SS.: Greenwich

Linda Lacey, being duly sworn, deposes and says that she ^{is employed} ~~resides~~ at 321 Railroad Ave.
in the County of Fairfield and State of Connecticut. That she is the Sr. Vice President of Urstadt Biddle
of UB Yorktown, LLC the corporation which is owner in fee of the property described in the Properties Inc.,
foregoing application for site plan approval and that the statements contained therein
are true to the best of his knowledge and belief.

UB Yorktown, LLC By: Urstadt Biddle Properties Inc., its sole member

Linda Lacey

Sworn before me this 7th date of July, 20 22

Joanne Phillips
Notary Public

JOANNE PHILLIPS
NOTARY PUBLIC
STATE OF CONNECTICUT
MY COMMISSION EXPIRES 11/30/25

AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS. :

_____, being duly sworn, deposes and says that he is the agent named in the foregoing application for _____ and that he has been duly authorized by the owner in fee to make such application and that foregoing statements are true to the best of his knowledge and belief.

Sworn before me this _____ date of _____, 20__

Notary Public

F:\Office\WordPerfect\APPLICATION FORMS\APPSITEPLAN.wpd
Last updated: December 2011

JUL 8 2022

TOWN OF YORKTOWN

Preliminary and Final Site Plan Application
Wenesco Yorktown, LLC
3399 Crompond Road, Yorktown

Statement of Easements

Below please find a list of easements affecting the subject property:

1. Utility Company Agreement recorded in Liber 6134 cp 156 and in Liber 6134 cp 158 (Affects streets only with the right to trim trees 18 inches)
2. Utility Easement recorded in Liber 7658 cp 370
3. Terms, Provisions, Covenants, Restrictions, Easements and Charges as contained in Reciprocal Easement and Operating Agreement recorded in Liber 10769 cp 149 and as amended by a certain amendment as recorded in Control No. 410260353
4. General Easement Agreement granted to the Town of Yorktown recorded in Liber 11181 cp 45.
5. Terms, Provisions, Covenants, Restrictions and Charges as contained in Waiver in Miscellaneous Liber 349 page 203 and repeated in Miscellaneous Liber 349 cp 217
6. Permanent Easement for traffic control devices as taken by Notice of Appropriation recorded in Liber 11445 cp 201 and as shown on Filed Map No. 25733
7. Terms, covenants, conditions, easements, recitals and option to purchase, if any, as set forth in a certain lease by and between Best/Newmark Real Estate Associates and Staples, Inc. a Memorandum of which was recorded in Liber 11189 cp 317
8. Terms, covenants, conditions, easements, recitals and option to purchase, if any, as set forth in a certain lease by and between Best/Newmark Real Estate Associates and The Party Experience, Inc., a Memorandum of which was recorded in Liber 11355 cp 77
9. Reciprocal Easement and Operating Agreement as recorded in Liber 10769 cp 149 and as amended
10. Terms, covenants, conditions, easements, recitals and option to purchase, if any, as set forth in a certain lease by and between Celestial/Newmark Associates, LLC and Staples, the Office Superstore East, Inc. a Memorandum of which was recorded in Liber 11189 cp 317 which Lease was amended by a certain Memorandum of Lease as recorded in Control No. 410260332
11. Terms, covenants, conditions, easements, recitals and option to purchase, if any, as set forth in a certain Lease by and between Celestial/Newmark Associates, LLC and Bed, Bath & Beyond, Inc. as recorded in Control No. 421270478.

Short Environmental Assessment Form

Part 1 - Project Information

RECEIVED
PLANNING DEPARTMENT

JUL 8 2022

TOWN OF YORKTOWN

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed Drive-Thru Wendy's Restaurant			
Project Location (describe, and attach a location map): 3399 Crompond Road, Yorktown, NY			
Brief Description of Proposed Action: Site plan approval for Wendy's drive-thru restaurant to replace existing drive-thru restaurant on the subject property.			
Name of Applicant or Sponsor: Wenesco Yorktown LLC		Telephone: 201.567.4900 E-Mail: Kevin@wenesco.biz	
Address: 920 Sylvan Avenue, Suite 120			
City/PO: Englewood Cliffs		State: NJ	Zip Code: 07632
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		15.95 acres	
b. Total acreage to be physically disturbed?		0.04 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

GENERAL NOTES

- G.C. SHALL COORDINATE REQUIREMENTS OF MILLWORK, SPECIALTIES, EQUIPMENT, AND FURNISHINGS WITH OWNER PRIOR TO START OF WORK.
- ELECTRICAL & PLUMBING REQUIREMENTS FOR THE INSTALLATION OF MILLWORK, SPECIALTIES, EQUIPMENT, AND FURNISHINGS IS THE RESPONSIBILITY OF THE G.C.
- EQUIPMENT LISTED IS TO BE FURNISHED BY THE KITCHEN EQUIPMENT DISTRIBUTOR UNLESS NOTED OTHERWISE.
- KITCHEN EQUIPMENT DISTRIBUTOR PROVIDES LABOR FOR UNCRATING, ASSEMBLY AND SETTING OF EQUIPMENT.
- KITCHEN EQUIPMENT DISTRIBUTOR WILL SUPPLY CRITICAL DIMENSIONS, PLUMBING AND ELECTRICAL SPECIFICATIONS FOR EQUIPMENT SUPPLIED BY THE KITCHEN EQUIPMENT SUPPLIER.
- ELECTRICAL AND PLUMBING CONTRACTOR TO MAKE FINAL CONNECTION TO EQUIPMENT
- SEE INTERIOR ELEVATIONS FOR ARTPACK GRAPHIC LOCATIONS.
- SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT.
- THE GENERAL CONTRACTOR SHALL PROVIDE A CONTINGENCY BID FOR WORK IN THE BACK OF HOUSE/KITCHEN AREA BEYOND THE SCOPE OF THIS REMODEL SHOWN ON THESE DOCUMENTS. COORDINATE ANY/ALL WORK BID, PROPOSED, OR REQUIRED WITH THE OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO PURCHASING OR BEGINNING ANY WORK BEYOND THE LIMITED SCOPE SHOWN ON THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL SOLID WOOD BLOCKING FOR ALL WALL MOUNTED ITEMS, SIGNAGE, EQUIPMENT, MILLWORK, ETC.. COORDINATE LOCATIONS WITH OWNER'S CONSTRUCTION REPRESENTATIVE AS NECESSARY.
- EXISTING EQUIPMENT TO REMAIN UNLESS NOTED OTHERWISE.

ARTPACK & WAYFINDING LEGEND

MARK	DESCRIPTION
AP-23	WENDY'S LOCAL LOVE (CUSTOM STATE AND STAR LOCATOR)
AP24E2	WINK WALL FRAMED GRAPHIC (FROSTY IN SPACE)
AP-24	WINK WALL FRAMED GRAPHIC (30"x30")
AP-29	WE DON'T CUT CORNERS
AP-30	FRESH SINCE DAY ONE
AP-33	IN A HURRY? ORDER HERE
NP-S	NUTRITION POSTER
WF-20	TACTILE EXIT SIGN
WF-21	HAND WASHING SIGN
WF-22	FAMILY RESTROOM SIGN ACCESSIBLE (BRAILLE)
WF-23	MEN'S ROOM SIGN ACCESSIBLE (BRAILLE)
WF-25	WOMEN'S ROOM SIGN ACCESSIBLE (BRAILLE)
WF-31	EMPLOYEE ONLY
WF-32	NOT AN ENTRANCE

REFER TO RESPONSIBILITY SCHEDULE FOR ARTPACK INFORMATION

PROPOSED INTERIOR SEATING TOTAL
 PROPOSED INTERIOR SEATING = 63
 PROPOSED EXTERIOR SEATING TOTAL
 PROPOSED EXTERIOR SEATING = 13
 TOTAL = 76

ACCESSIBILITY:
 4 HANDICAP SEATS (DINING AREA) = 5% ACCESSIBLE
 1 HANDICAP SEATS (EXTERIOR) = 5% ACCESSIBLE

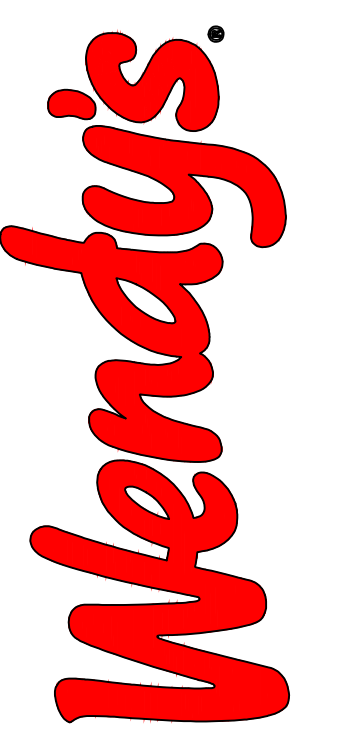
SITE NUMBER: 13729
 BASE MODEL: CONVERSION
 ASSET TYPE: FRANCHISE
 CLASSIFICATION: FREESTANDING
 OWNER: WENESCO RESTAURANTS
 BASE VERSION: 2021
 UPGRADE CLASSIFICATION:
 NEW BUILD
 PROJECT YEAR: 2022
 DESIGN TYPE: 2.0 (UM BRIGHT)
 DRAWING RELEASE: SPRING 2021



419 North Charles Street
 Baltimore, Maryland 21201
 t: 410.837.3622 f: 410.837.3621

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF NY.
 LICENSE NO. 20040-1
 EXPIRATION DATE 7/31/24

PROJECT TYPE:
 CONVERSION
 NEW BUILD



REV. DATE	DESCRIPTION

ISSUE DATE 04/11/22
 PROJECT NUMBER 22101
 DRAWN BY CDG
 CHECKED BY CDG

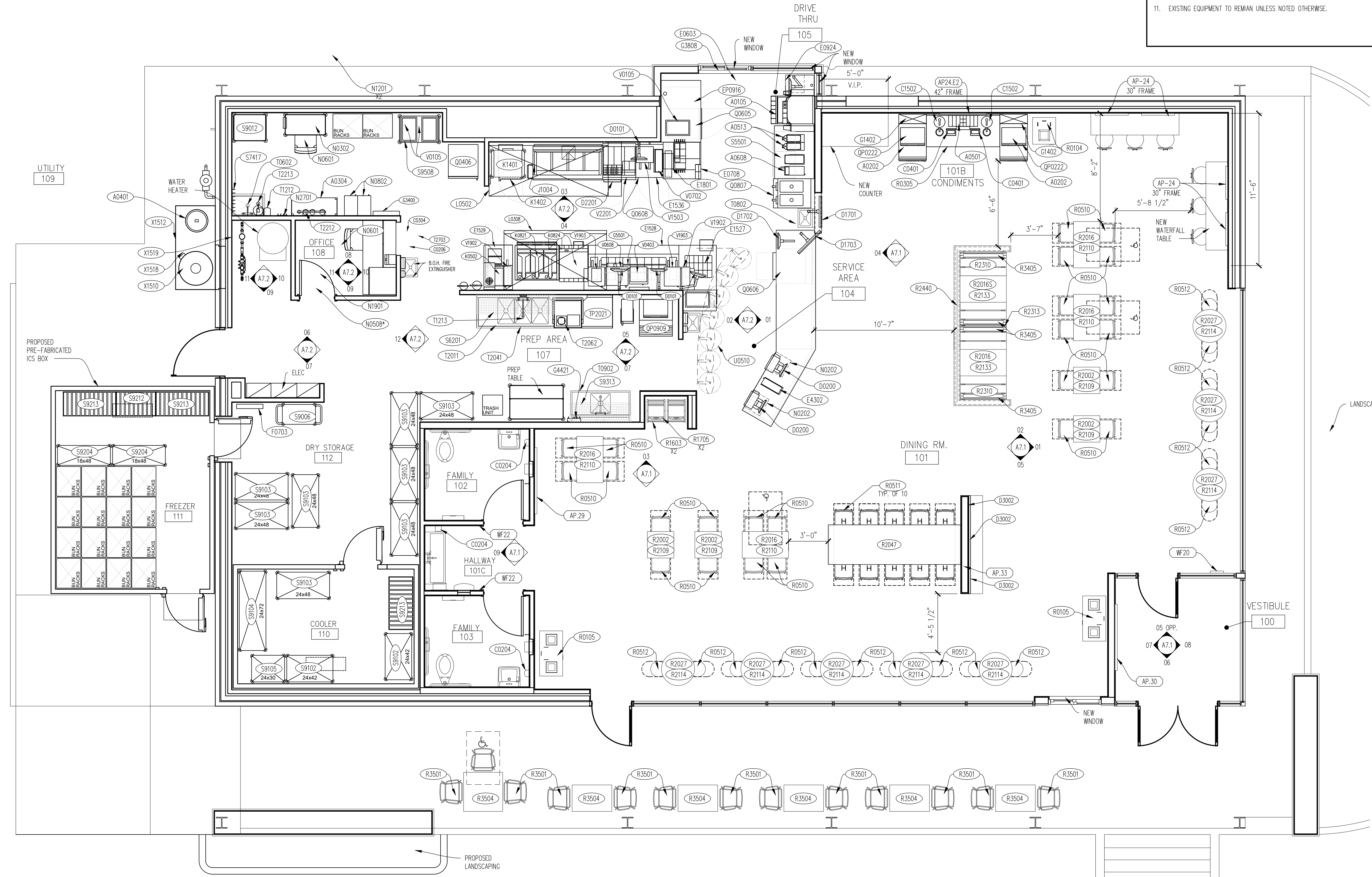
WENDY'S STORE NO: 13729
 3339 CROMPOD ROAD
 YORKTOWN HEIGHTS, NY 10598

GAS HEAT / GAS WATER HEATER
 GAS FRYERS / ELECTRIC GRILLES

SHEET NAME
 EQUIPMENT PLAN

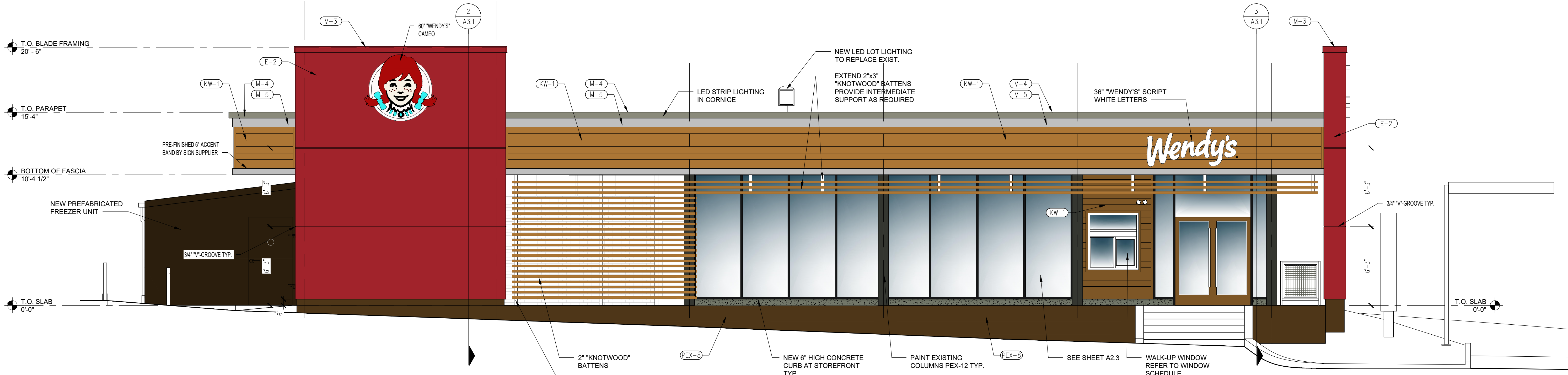
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EQ1.1

PERMIT SET 04/11/22

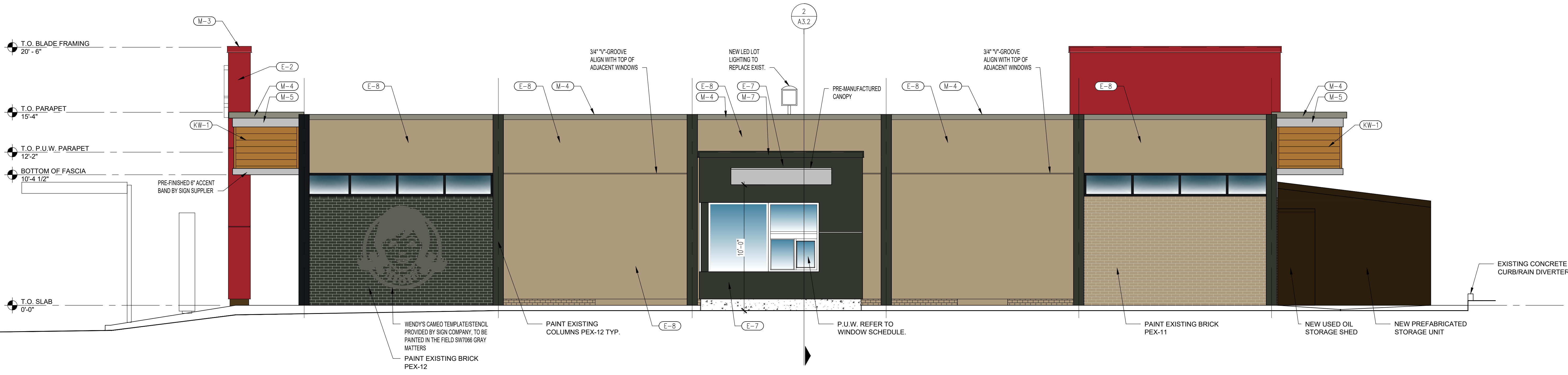


01 EQUIPMENT PLAN
 SCALE: 1/4" = 1'-0"

3303 Crompond Rd., Yorktown Heights, NY, EQUIP.dwg 6/2/2022 WARREN ED1.1



01 SIDE ELEVATION MAIN ENTRY
SCALE: 1/4" = 1'-0"



02 DRIVE THRU ELEVATION
SCALE: 1/4" = 1'-0"

SITE NUMBER:	13729
BASE MODEL:	CONVERSION
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	FREESTANDING
OWNER:	WENESCO RESTAURANTS
BASE VERSION:	2021
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2022
DESIGN TYPE:	2.0 (UM BRIGHT)
DRAWING RELEASE:	SPRING 2021

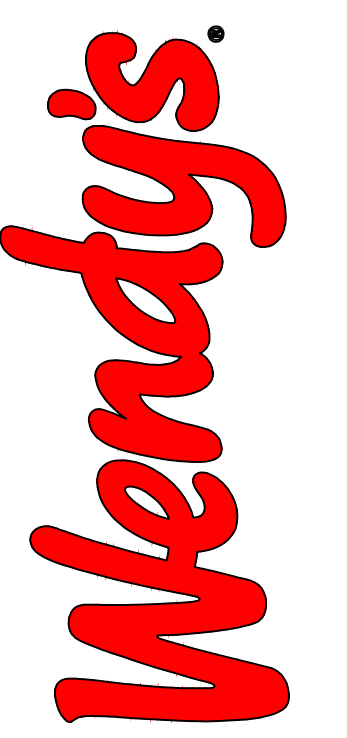


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Baltimore, Maryland 21201
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SEAL

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ISSUE DATE 04/11/22
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DRAWN BY CDG
CHECKED BY CDG
WENDY'S STORE NO: 13729
3339 CROMPOD ROAD
YORKTOWN HEIGHTS, NY 10598

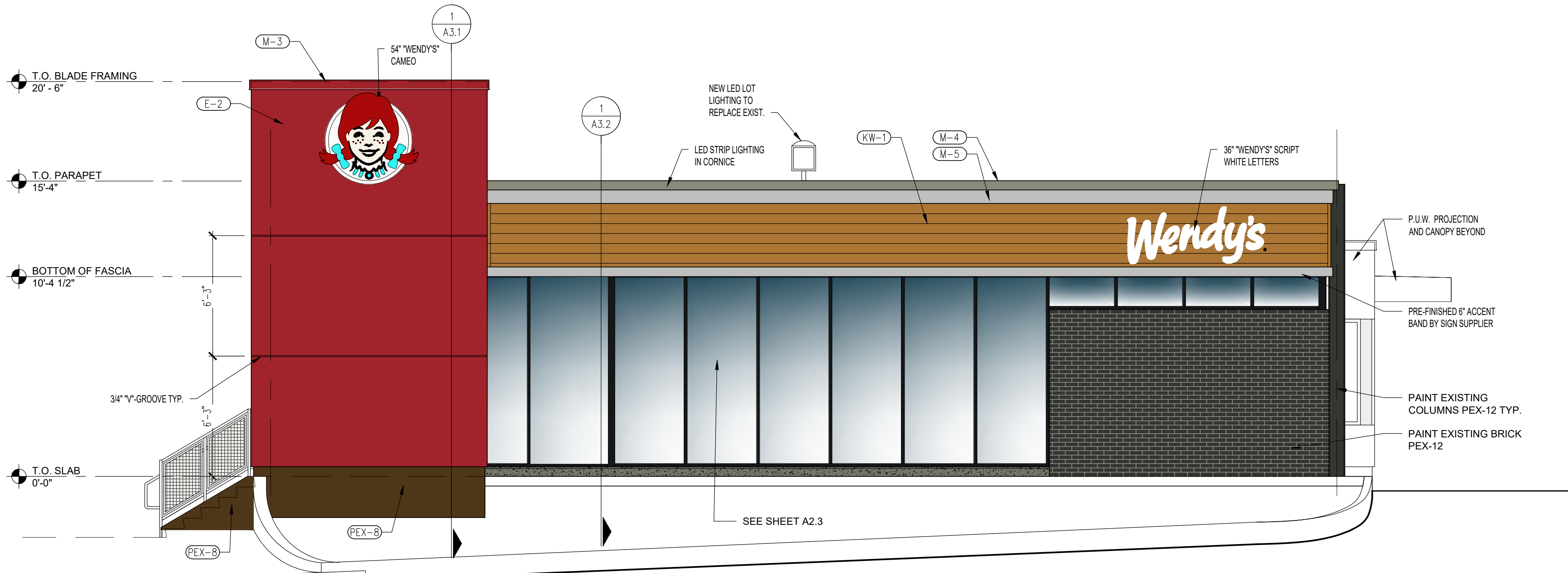
GAS HEAT / GAS WATER HEATER
GAS FRYERS / ELECTRIC GRILLES

SHEET NAME:
**EXTERIOR
ELEVATIONS**

SHEET NUMBER:
A2.1

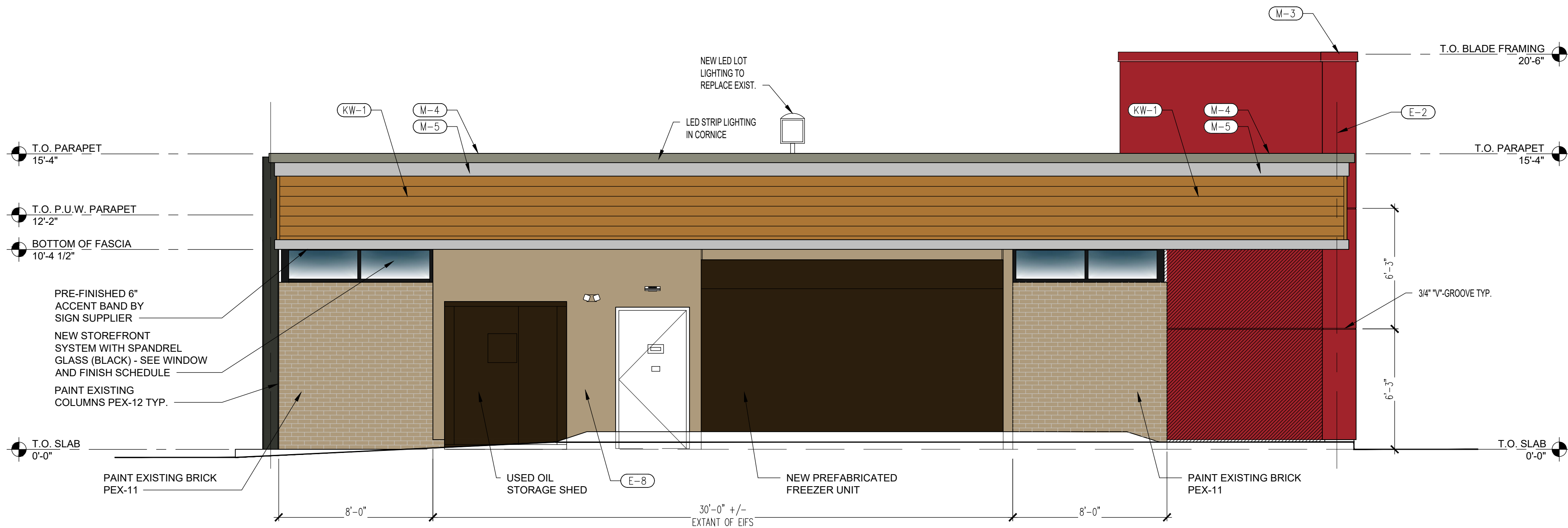
PERMIT SET 04/11/22

6/2/2022 WARREN A2.1 3339 Crompond Rd., Yorktown Heights, NY, ELEV=EXT.DWG



EXTERIOR FINISH SCHEDULE	
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRAKE METAL - "CLEAR ANNOZIDED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
KW-1	KNOTWOOD PREFINISHED ALUMINUM SIDING MATERIAL "LIGHT OAK"
E-2	EIFS - "WENDY'S" RED
E-7	EIFS - DARK GRAY
E-8	EIFS - TAN
PEX-11	PAINT - TAN (SEE PAINT SCHEDULE)
PEX-12	PAINT - DARK GREY (SEE PAINT SCHEDULE)

01 FRONT ELEVATION-CROMPOUND ROAD
SCALE: 1/4" = 1'-0"



02 REAR ELEVATION
SCALE: 1/4" = 1'-0"

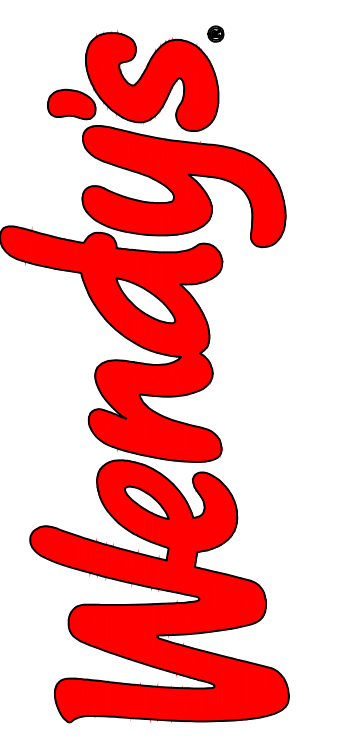
SITE NUMBER: 13729
 BASE MODEL: CONVERSION
 ASSET TYPE: FRANCHISE
 CLASSIFICATION: FREESTANDING
 OWNER: WENESCO RESTAURANTS
 BASE VERSION: 2021
 UPGRADE CLASSIFICATION:
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 PROJECT YEAR: 2022
 DESIGN TYPE: 2.0 (UM BRIGHT)
 DRAWING RELEASE: SPRING 2021



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 LICENSE NO. 20040-1
 EXPIRATION DATE 7/31/24

PROJECT TYPE:
 CONVERSION
 NEW BUILD



REV. DATE	DESCRIPTION

ISSUE DATE 04/11/22
 PROJECT NUMBER 22101
 DRAWN BY CDG
 CHECKED BY CDG
 WENDY'S STORE NO: 13729
 3339 CROMPOUND ROAD
 YORKTOWN HEIGHTS, NY 10598

GAS HEAT / GAS WATER HEATER
 GAS FRYERS / ELECTRIC GRILLES

SHEET NAME:
 EXTERIOR ELEVATIONS

SHEET NUMBER:
A2.2

PERMIT SET 04/11/22

6/2/2022 WARREN AZ.2 3339 Crompond Rd., Yorktown Heights, NY, ELEV=EXT.DWG

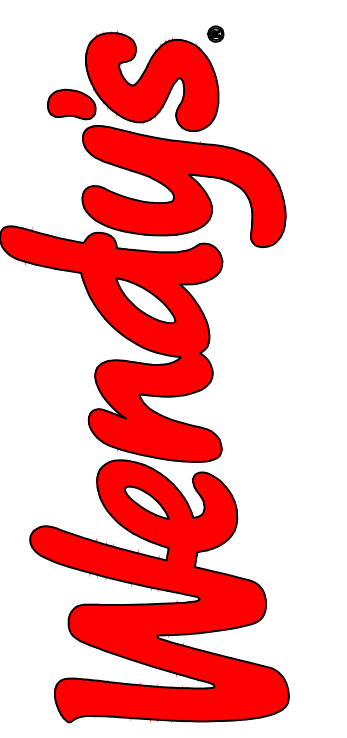
SITE NUMBER:	13729
BASE MODEL:	CONVERSION
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	FREESTANDING
OWNER:	WENESCO RESTAURANTS
BASE VERSION:	2021
UPGRADE CLASSIFICATION:	NEW BUILD
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PROJECT TYPE:
CONVERSION
NEW BUILD



REV.	DATE	DESCRIPTION
▲		
▲		
▲		
▲		

ISSUE DATE 04/11/22
 PROJECT NUMBER 22101
 DRAWN BY CDG
 CHECKED BY CDG

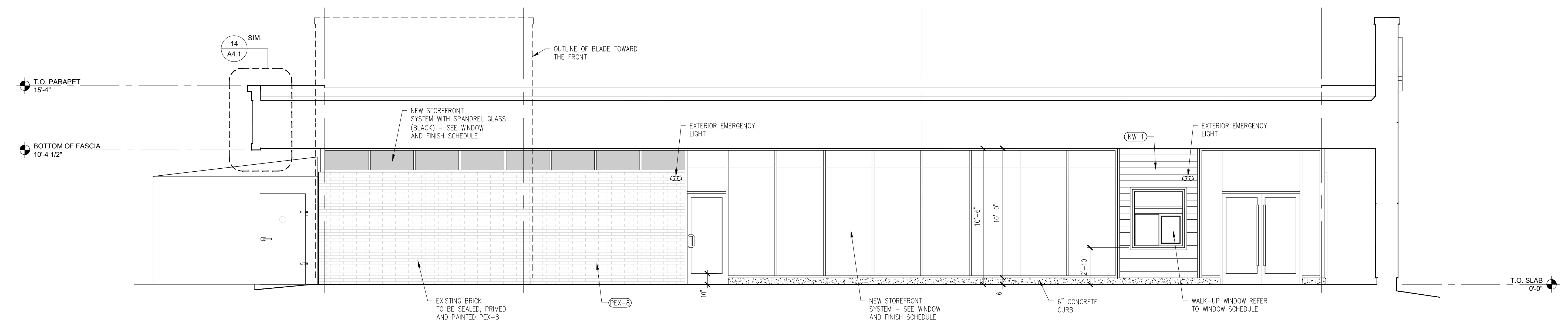
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GAS HEAT / GAS WATER HEATER
 GAS FRYERS / ELECTRIC GRILLES

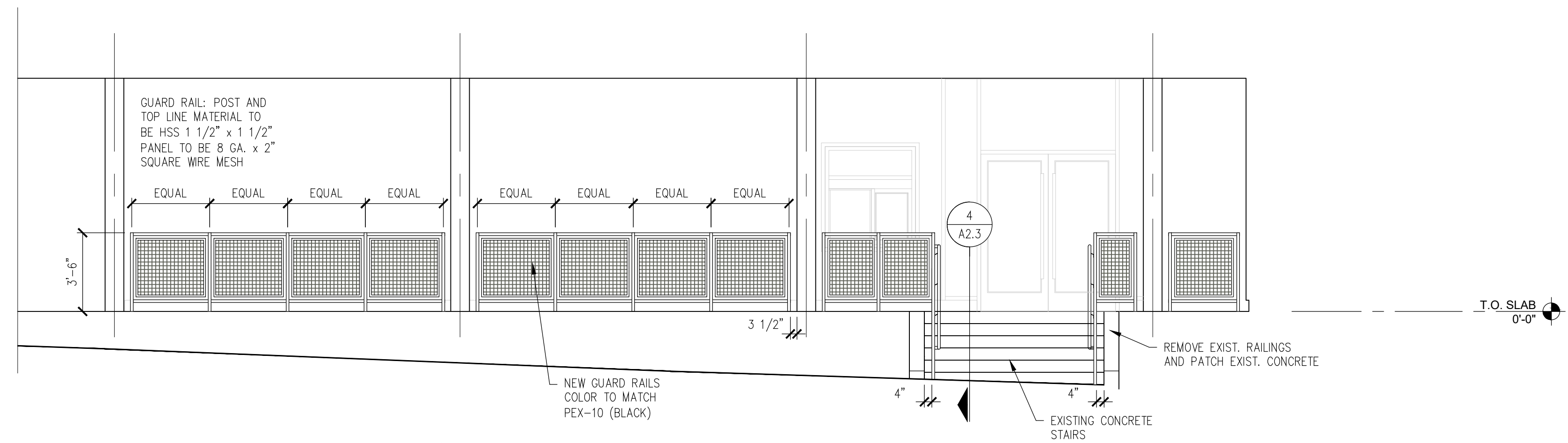
SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A2.3

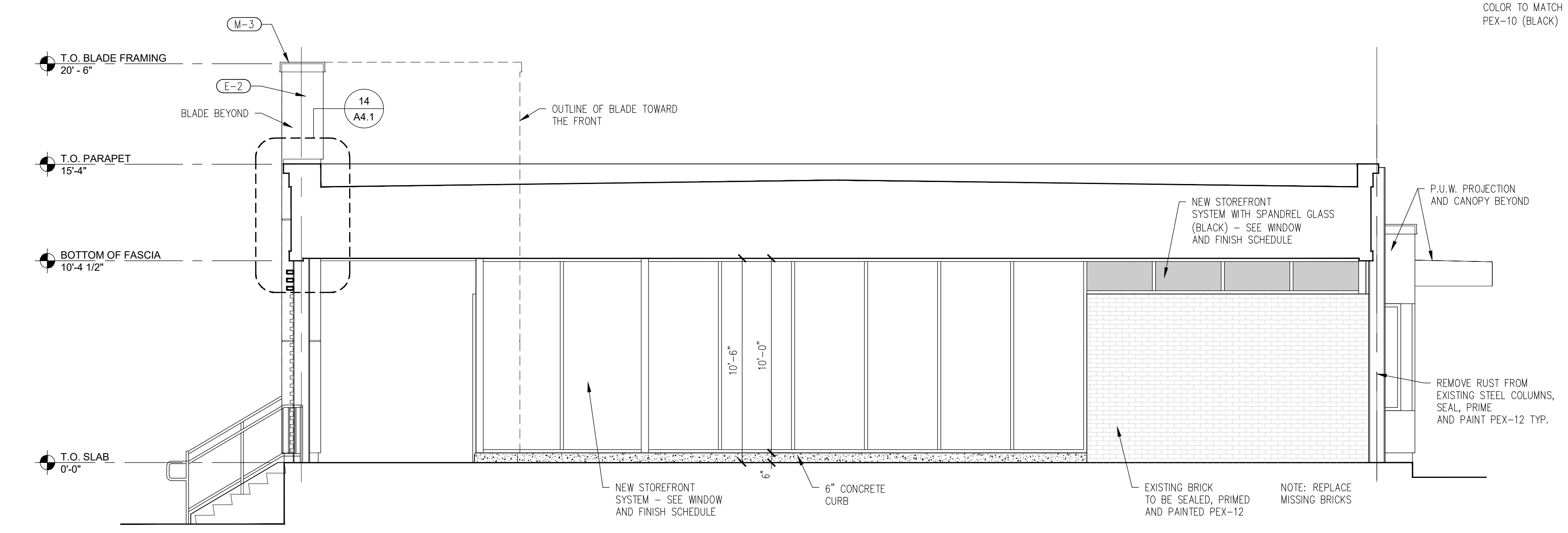
PERMIT SET 04/11/22



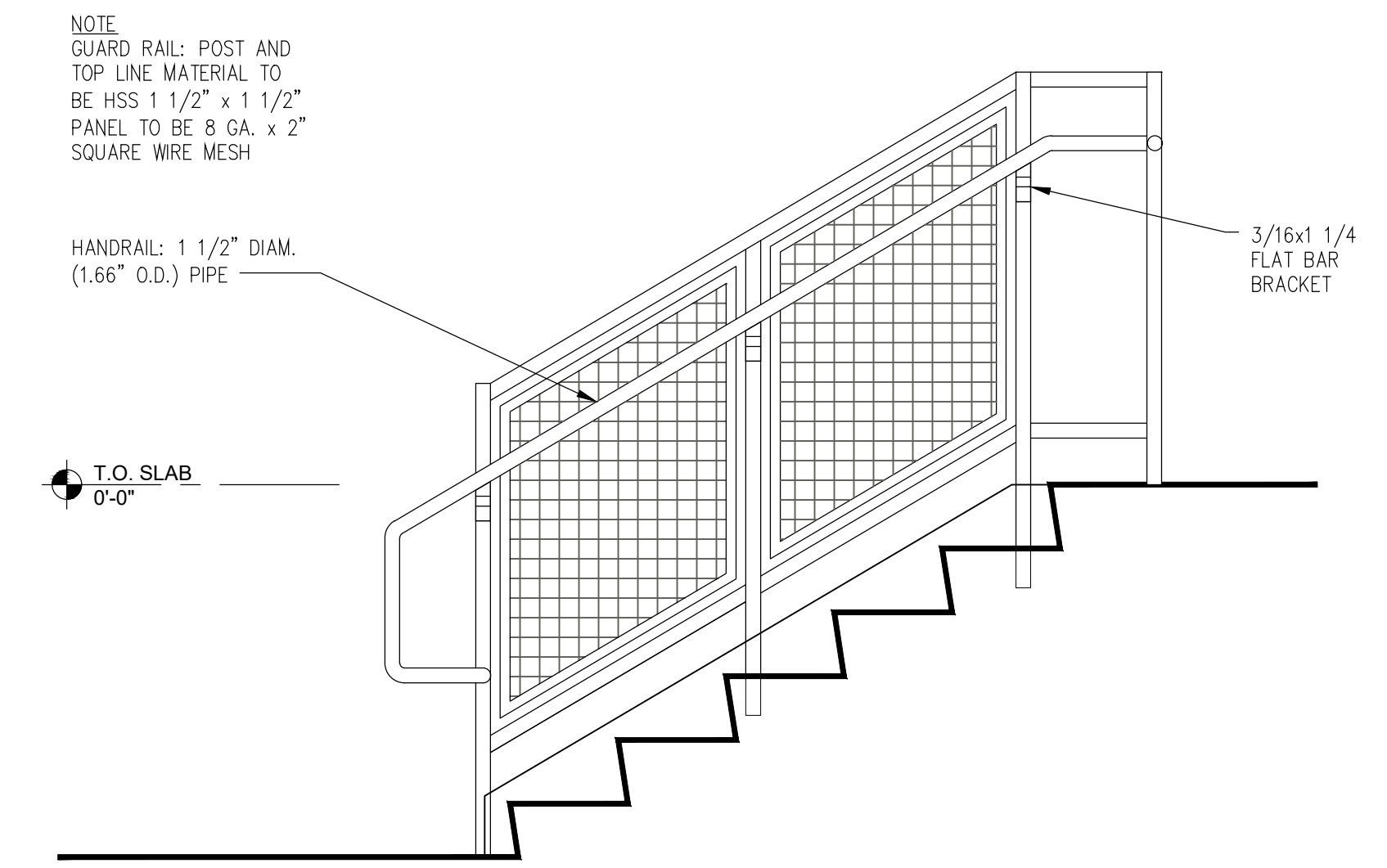
01 SIDE ELEVATION MAIN ENTRY
 SCALE: 1/4" = 1'-0"



02 GUARD RAILING ELEVATION
 SCALE: 1/4" = 1'-0"



03 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



04 HAND RAIL DETAIL
 SCALE: 3/4" = 1'-0"

3339 Crompod Rd., Yorktown Heights, NY, ELEV=EXT.DWG
 6/2/2022
 WARREN
 A2.3

INTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION	PRODUCT INFO
FLOORS		
F1-1	FLOOR TILE (BACK OF HOUSE)	PRODUCT: CROSSVILLE: CROSSGRIP: A790 'BURGUNDY SMOKE' SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8"
F1-2	FLOOR TILE (DINING, RESTROOM)	PRODUCT: CROSSVILLE: SWIG 'BELT BUCKLE BROWN' SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8" ALTERNATE: TRANSCERAMICA PLANKED WOOD SERIES FLOOR TILE 'RAW COPPER RUST'; MATTE FINISH SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8"
F1-3	FLOOR TILE (DINING, RESTROOM)	PRODUCT: CROSSVILLE: 'CEMENTED RELATIONSHIP' SWIRL 12x12UPS, MATTE FINISH SIZE: 24" x 24" GROUT: GR-7 (GR-10 AT RESTROOM FLOORS) MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8" TRIM: SCHLUTER, QUADREC (SATIN NICKEL ANOD. ALUM.)
F1-4	FLOOR TILE (BACK OF HOUSE)	PRODUCT: CROSSVILLE: 'GROSS TREAD (CTS); ROOY 'GREY MINGLE' SIZE: 6" x 6" GROUT: GR-5 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS AND UNDER FULL EXTENT OF MOD. SINK JOINTS: 1/8"
FC-1	QUARTZ FLOORING (BACK OF HOUSE)	PRODUCT: SILKAL: CUSTOM COLOR QUARTZ FLOORING: 'WENDYS ULTRA MODERN BLEND'; MATCHES FT-2 COLOR: 10% FWN, 30% LGRY, 30% SRY, 30% SNDY FINISH: SUNDY 5/2
FC-2	QUARTZ FLOORING (BACK OF HOUSE)	PRODUCT: SILKAL: CUSTOM COLOR QUARTZ FLOORING: 'WENDYS UL BRIGHT BLEND'; MATCHES FT-3 COLOR: 10% FWN, 30% LGRY, 30% SRY, 30% SNDY FINISH: SILKAL R-71
CP1-1	CARPET (DINING)	PRODUCT: MOHAWK GROUP/LEIS: 'ENTWINE' BROADLOOM #2121 CARPET: 0908 TRANSITION STRIP: NATIONAL METAL STRIP, PROFILE: 3/8" SQUARE (SAT. COLO. BROWN)
WALL BASE		
B-1	TILE COVE BASE (KITCHEN)	PRODUCT: CROSSVILLE: COVE BASE: A790 'BURGUNDY SMOKE' SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8"
B-2	TILE COVE (DINING, RESTROOM)	PRODUCT: CROSSVILLE: MAIN STREET (PLANKED); AV213 'BISTRO BROWN' SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8"
B-3	TILE COVE (DINING, RESTROOM)	PRODUCT: CROSSVILLE: BASE TILE: 'GRILLE MARKS' SWGM 1012UPS SIZE: 6" x 12" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8" TRIM: SCHLUTER, QUADREC w/ CORNER INSERTS (SATIN NICKEL ANOD. ALUM.)
B-4	TILE COVE BASE (KITCHEN)	PRODUCT: CROSSVILLE: COVE BASE: R001 'GREY MINGLE'; CROSS SHEEN FINISH SIZE: 6" x 6" GROUT: GR-5 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8"
WALLS		
ACM-1	ALUMINUM COMPOSITE MATERIAL	(SEE EXTERIOR FINISH SCHEDULE FOR PRODUCT INFORMATION)
FRP-1	FRP (BACK OF HOUSE)	PRODUCT: MARLITE: FRP: CLASS C (CLASS A WHERE REQUIRED) SIZE: 4' x 8' FINISH: BEBBLED WHITE TRIM: WHITE PVC (STANDARD TRIM PROFILES TO MATCH)
FRP-2	FRP (BACK OF HOUSE)	PRODUCT: MARLITE: FRP: CLASS C (CLASS A WHERE REQUIRED) SIZE: 4' x 8' FINISH: BEBBLED WHITE TRIM: WHITE PVC (STANDARD TRIM PROFILES TO MATCH)
FRP-3	FRP (BACK OF HOUSE)	PRODUCT: MARLITE: ENVALE FRP: CLASS C SIZE: 4' x 8' FINISH: SMOOTH H-BES PRINT: 8"X8" STACKED TILE PATTERN (WHITE TILE, GRAY GROUT) TRIM: WHITE PVC (STANDARD TRIM PROFILES TO MATCH)
WC-1	WALL COVERING (HALLWAY, DINING, RESTROOM)	PRODUCT: MDC LEX-TEX: STYLE: 'CORONADO LIX' COLOR: 'OYSTER' (#8603CR4734); 54" WIDE ALTERNATE: P-1 (SEE PAINT SCHEDULE) CORNER PROTECTION: CP-3
WC-2	WALL COVERING (DINING)	PRODUCT: PARTERRE: LVT (LUXURY VINYL TILE) PLANKS; COLOR: 'MERBAU' ALTERNATE: KA SIZE: 6" x 12" FINISH: (SEE PRODUCT INFO)
WC-3	WALL COVERING (DINING)	PRODUCT: KOROSAL: STYLE: 'DESERT SAND'; COLOR: 'ROASTED PEPPER' ALTERNATE: P-2 (SEE PAINT SCHEDULE) CORNER PROTECTION: CP-3
WC-4	WALL COVERING (HALLWAY)	PRODUCT: CUSTOM PRINT: WENDYS GRAPHIC MURAL: 72" WIDE ALTERNATE: P-2 (SEE PAINT SCHEDULE) CORNER PROTECTION: CP-3
WC-5	WALL COVERING (FEATURE WINDOW)	PRODUCT: MDC LEX-TEX: STYLE: 'CORONADO LIX' COLOR: 'WHITE' (#6603CR4734) ALTERNATE: P-2 (SEE PAINT SCHEDULE) CORNER PROTECTION: CP-3
WC-6	WALL COVERING (DINING)	PRODUCT: ASPHETRA: METROFORM VERCADE WALL FASHION WOODLOOK PVC PANELS; COLOR: 7255 'BLACK FOREST ROY' SIZE: 6" x 8" FINISH: TEXTURED; PALLEDD EDGE CORNER PROTECTION: CP-1
WT-1	WALL TILE (SERVICE AREA)	PRODUCT: CROSSVILLE: COLOR BY NUMBERS: TEA FOR TWO (WT02 1002S) SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8" TRIM: SCHLUTER, QUADREC w/ CORNER INSERTS (SATIN NICKEL ANOD. ALUM.)
WT-2	WALL TILE (DINING, HALLWAY, RESTROOM)	PRODUCT: CROSSVILLE: COLOR: 'WENDYS SPECIAL WORY' SWIS SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8" TRIM: SCHLUTER, QUADREC w/ CORNER INSERTS (SATIN NICKEL ANOD. ALUM.)
WT-3	WALL TILE (DINING, HALLWAY, RESTROOM)	PRODUCT: CROSSVILLE: COLOR: 'WENDYS SPECIAL WORY' SWIS SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8" TRIM: SCHLUTER, QUADREC w/ CORNER INSERTS (SATIN NICKEL ANOD. ALUM.)
WT-4	WALL TILE (DINING, HALLWAY, RESTROOM)	PRODUCT: CROSSVILLE: COLOR: 'WENDYS SPECIAL WORY' SWIS SIZE: 6" x 6" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8" TRIM: SCHLUTER, QUADREC w/ CORNER INSERTS (SATIN NICKEL ANOD. ALUM.)
WT-5	WALL TILE	PRODUCT: DALTILE: P125; MATCH POINT COLOR: PURE WHITE UNPOLISHED SIZE: 24" x 24" GROUT: GR-7 MORTAR: MR-1 WATERPROOFING: WM-1; EXTEND 6" UP & 6" OUT PERIMETER WALLS (RESTROOM AREAS ONLY) JOINTS: 1/8"
WT-6	WALL TILE (RESTROOM)	PRODUCT: CROSSVILLE: 'FROST CALIBRATED' (AV241:1224UPS) SIZE: 12" x 24" PATTERN: STACK BOND GROUT: GR-7 MORTAR: MR-1 JOINTS: 1/8" TRIM: HORIZONTAL; SCHLUTER, SHEINE (SATIN NICKEL ANOD. ALUM.) ALTERNATE: KAWNEER TRIFAB VG 4517451; #40 'DARK BRONZE' ANODIZED ALUMINUM EQUALS BY OLDCASTLE
WT-7	WALL TILE (RESTROOM, HALLWAY, DINING)	PRODUCT: CROSSVILLE: 'START A FIRE' (SWF1:1042UPS) SIZE: 6" x 12" PATTERN: STACK BOND GROUT: GR-7 MORTAR: MR-1 JOINTS: 1/8" TRIM: SCHLUTER, QUADREC (SATIN NICKEL ANOD. ALUM.)
WT-8	WALL TILE	PRODUCT: CROSSVILLE: COLORS BY NUMBERS TEA FOR TWO (WT02: 1002S) SIZE: 6" x 6" FINISH: SATIN PATTERN: STACK BOND GROUT: GR-7 MORTAR: MR-1 JOINTS: 1/8" TRIM: SCHLUTER, QUADREC (SATIN NICKEL ANOD. ALUM.)
CP-2	CORNER PROTECTION	PRODUCT: KOROGARD: G875 CORNER GUARD; 3/4" x 3/4"; COLOR: PLUMICE
CP-3	CORNER PROTECTION	PRODUCT: KOROGARD: G875 CORNER GUARD; 3/4" x 3/4"; COLOR: MATCH WC-3 (RED)
CP-4	CORNER PROTECTION	PRODUCT: KOROGARD: OC12 OUTSIDE CORNER GUARD; 1 1/2" x 1 1/2"; COLOR: MATCH L-1 (RED)
CP-5	CORNER PROTECTION (FOR WC-6)	PRODUCT: KOROGARD: G875 CORNER GUARD; 3/4" x 3/4"; CUSTOM COLOR: MATCH WC-6
CP-6	CORNER PROTECTION	PRODUCT: KOROGARD: OC12, OUTSIDE CORNER GUARD; 1 1/2" x 1 1/2"; COLOR: CLEAR ANODIZED ALUMINUM
CP-7	CORNER PROTECTION (BACK OF HOUSE)	PRODUCT: STAINLESS STEEL CORNER GUARD SIZE: 1" x 2" WITH 1/4" OR 3/8" SLIGHT BEND TOWARDS WALL AT EACH LEG MATERIAL: MIN. 18GA. TYPE 304 #4 SATIN STAINLESS STEEL NOTE: INSTALL WITH TIGHTBOND PROVANTAGE HEAVY DUTY CONSTRUCTION ADHESIVE (OR APPROVED EQUAL)
GROUT, MORTAR, WATERPROOFING MEMBRANE		
GR-1	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'AVALANCHE' #38 JOINTS: 1/8"
GR-2/GR-3	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'STRAW' #94 JOINTS: 1/8"
GR-4	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'ALABASTER' #01 JOINTS: 1/8"
GR-5	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'CHARCOAL' #47 JOINTS: 1/8"
GR-6	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'CHARCOAL' #47 JOINTS: 1/8"
GR-7	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'GRAY' #09 JOINTS: 1/8"
GR-8	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'COCOCA' #79 JOINTS: 1/8"
GR-9	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'GRAY' #09 JOINTS: 1/8"
GR-10	GROUT	PRODUCT: MAPEL ULTRACOLOR PLUS FA (25 LBS.) COLOR: 'GRAY' #09 JOINTS: 1/8"
GR-11	GROUT	PRODUCT: ULTRACOLOR PLUS FA (25LBS.) COLOR: 'GRAY' #09 JOINTS: 1/8"
MR-1	MORTAR	PRODUCT: MAPEL KERAPLEX SUPER (44 LBS.)
WM-1	WATERPROOFING MEMBRANE	PRODUCT: MAPEL MAPELASTIC AQUADEFENSE 5 GALLON (#168)
CEILING		
CT-1	CEILING TILE (KITCHEN / FOOD PREP AREAS)	PRODUCT: ARMSTRONG VINYLCLAD SQUARE LAY-IN; BP70; 24" x 24" x 1/2"; COLOR: WHITE GRID: PRELUDE 1516; WHITE
CT-2	CEILING TILE (DINING ROOM PERIMETER)	PRODUCT: ARMSTRONG: ULTIMA 1911: 24" x 24" x 3/4" OR ULTIMA 1914: 24" x 48" x 3/4"; COLOR: WHITE GRID: PRELUDE 1516; WHITE
CT-3	CEILING TILE (DINING ROOM - CENTRAL ACCENT AREA)	PRODUCT: ARMSTRONG: CURRUS REGULAR 984M: 24" x 24" x 3/4"; COLOR: CAMEL GRID: PRELUDE 1516; CAMEL
CT-4	CEILING TILE (SERVING AREA, CONDIMENT AREA (ONLY IF REQUIRED BY HEALTH DEPT.))	PRODUCT: ARMSTRONG VINYLCLAD SQUARE LAY-IN; BP71; 24" x 24" x 1/2"; COLOR: WHITE GRID: PRELUDE 1516; WHITE
CT-5	CEILING TILE (KITCHEN FRYER AREA, WASHABLE NON-COMBUSTIBLE)	PRODUCT: ARMSTRONG: CERAMQUARD 605: 24" x 48" x 5/8"; COLOR: WHITE GRID: PRELUDE 1516; WHITE
LAMINATE		
L-1	PLASTIC SHEET WALLCOVERING	PRODUCT: KOROGARD PROTECTIVE WALL COVERINGS; COLOR: REGIMENTAL RED; 0.06MM
L-2	LAMINATE	PRODUCT: WILSONART; COLOR: 'AMBER CHERRY' (#7919-38-107)
L-3	LAMINATE	PRODUCT: WILSONART; COLOR: 'REGIMENTAL RED' (W02K-66)
L-4	LAMINATE	PLANKED PEAR
L-5	LAMINATE	PRODUCT: PIONTE; COLOR: 'MORCHELLA HUNT'; TEXTURE: LINE Z; W040-L2-G49
SOLID SURFACE		
SS-1	SOLID SURFACE	PRODUCT: CORIAN; 'WENDYS' CUSTOM REP
SS-2	SOLID SURFACE	PRODUCT: CORIAN; 'CANYON'
SS-3	SOLID SURFACE	PRODUCT: CORIAN; 'LINEY'
SS-4	SOLID SURFACE	PRODUCT: CORIAN; CONCRETE; 'NEUTRAL CONCRETE' (C1)
MISCELLANEOUS		
TM-1	TRIM (MISCELLANEOUS)	FINISH: SATIN FINISH STAINLESS STEEL
WS-1	DINING ROOM WINDOW SHADES (OPTIONAL)	PRODUCT: ROLL-A-SHADE SIGNATURE SERIES 5% OPENNESS; COLOR: 1241 CHARCOAL/BRONZE SIZE: 4" FASCIA AND BRACKETS TO MATCH STOREFRONT NOTE: INCLUDE STAINLESS STEEL BEADED ADJUSTMENT CHAIN WITH SAFETY TENSION DEVICE

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION	PRODUCT INFO
STOREFRONT & GLAZING		
SF-1	STOREFRONT	PRODUCT: TUBELITE T14000 2" x 4 1/2" CLASS 1 'DARK BRONZE' ANODIZED ALUMINUM ALTERNATE: KAWNEER TRIFAB VG 4517451; #40 'DARK BRONZE' ANODIZED ALUMINUM EQUALS BY OLDCASTLE
SF-2	STOREFRONT (IMPACT RATED)	PRODUCT: TUBELITE T34000 2 1/2" x 5" CLASS 1 'DARK BRONZE' ANODIZED ALUMINUM ALTERNATE: KAWNEER IR 501UT; #40 'DARK BRONZE' ANODIZED ALUMINUM EQUALS BY OLDCASTLE
SF-3	STOREFRONT	PRODUCT: TUBELITE T14000 2" x 4 1/2" CLASS 1 'CLEAR ANODIZED ALUMINUM' ALTERNATE: KAWNEER TRIFAB VG 4517451; #14 'CLEAR' ANODIZED ALUMINUM EQUALS BY TUBELITE & OLDCASTLE
SF-4	STOREFRONT (IMPACT RATED)	PRODUCT: TUBELITE T34000 2 1/2" x 5" CLASS 1 'CLEAR ANODIZED ALUMINUM' ALTERNATE: KAWNEER IR 501UT; #14 'CLEAR' ANODIZED ALUMINUM EQUALS BY TUBELITE & OLDCASTLE
SF-5	STOREFRONT (REFINISH)	PRODUCT: REFINISH EXISTING STOREFRONT (REMODEL ONLY); OPTIONAL FOR REFRESH & REFRESH LITE OPTION #1: PAINT; PEX-1 (SEE PAINT SCHEDULE) OPTION #2: BRUSH METAL; CAR AMERICAN PRODUCT; INC.
SF-6	STOREFRONT (CENTER GLAZED)	PRODUCT: TUBELITE VERSTERM 2" x 2 1/4" CLASS 1 'CLEAR ANODIZED ALUMINUM' ALTERNATE: KAWNEER TRIFAB VG 450 (2" SIGHTLINE); 2-1/4" FRAME DEPTH; CLEAR ANODIZED ALUMINUM EQUALS BY TUBELITE & OLDCASTLE
OW-1	CURTAIN WALL	PRODUCT: TUBELITE 600T SERIES 2" x 7 1/4" CLASS 1 'DARK BRONZE' ANODIZED ALUMINUM ALTERNATE: KAWNEER 1500 L.R. 7-25; DEEP; #40 'DARK BRONZE' EQUALS BY TUBELITE & OLDCASTLE
OW-2	CURTAIN WALL (IMPACT RATED)	PRODUCT: TUBELITE FORCEFRONT STORM 2 1/2" x 7 1/4" CLASS 1 'DARK BRONZE' ANODIZED ALUMINUM ALTERNATE: KAWNEER 1500 WALL SYSTEM 1.7 5'-DEEP; #40 'DARK BRONZE' EQUALS BY TUBELITE & OLDCASTLE
G-1	1" INSULATED GLASS (ECC CLIMATE ZONES 4-8 (NORTH))	OPTION #1: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: GUARDIAN 'SN 88' (#2) ON 1/4" CLEAR GLASS INBOARD LITE: GUARDIAN 'SATIN DECO' (ACID ETCHED) (#3) ON 1/4" 'EXTRA CLEAR' GLASS SPACE: 1/2" AIR OPTION #2: VITRO (PPG) ARCHITECTURAL GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: VITRO ARCHITECTURAL GLASS 'SOLARBAN 67' (#2) ON 1/4" CLEAR GLASS INBOARD LITE: GUARDIAN 'SN 88' (#2) ON 1/4" CLEAR GLASS SPACE: 1/2" AIR OPTION #3: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: GUARDIAN 'SN 5123' (#2) ON 1/4" CLEAR GLASS INBOARD LITE: GUARDIAN 'SATIN DECO' (ACID ETCHED) (#3) ON 1/4" 'EXTRA CLEAR' GLASS SPACE: 1/2" AIR OPTION #4: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: GUARDIAN 'SN 6227' (#2) ON 1/4" GREEN GLASS INBOARD LITE: VITRO ARCHITECTURAL GLASS '1/4" CLEAR GLASS' (#3) ON 1/4" CLEAR GLASS SPACE: 1/2" AIR
PW	PICK-UP WINDOW	FINISH: MATCH STOREFRONT
M-1	PARAPET CAP	PRODUCT: EXCEPTIONAL METALS SPECIFICATION: 24 GA GALVALUME STEEL COLOR: PRE-FINISHED 'DARK BRONZE' REFINISH: PEX-1 (SEE PAINT SCHEDULE)
M-2	BREAK METAL (FASCIA, TRIM, CANOPY ETC.)	PRODUCT: EXCEPTIONAL METALS SPECIFICATIONS: 24 GA GALVALUME STEEL COLOR: MATCH SF (LOW 1) (PRE-FINISHED) REFINISH: PEX-1 (SEE PAINT SCHEDULE)
M-3	DRIP EDGE	PRODUCT: EXCEPTIONAL METALS SPECIFICATIONS: 24 GA GALVALUME STEEL COLOR: PRE-FINISHED 'BRIGHT RED'
M-4	PARAPET CAP	PRODUCT: EXCEPTIONAL METALS SPECIFICATIONS: 24 GA GALVALUME STEEL COLOR: MILL FINISH 'SILVER METALLIC'
M-5	ALTERNATE FOR M-4	PRODUCT: BRASS METAL COLOR: CLEAR ANODIZED
M-6	CORRUGATED METAL PANELS (REFINISH LITE ONLY)	PRODUCT: ALCOA REYNOLDBOND SPECIFICATIONS: 7.2" RIB PANEL; 0.030" THICKNESS COLOR: PRE-FINISHED; COLORWELD 500; 'CLASSIC BRONZE' (R94CWC8; B97N1949) ALTERNATE: STO STOTHERS ESSENCE NEXT SYSTEM (ONLY WHEN METAL IS NOT ALLOWED BY CODE)
M-7	COPING	PRODUCT: EXCEPTIONAL METALS COLOR: CUSTOM DARK GREY
M-8	COPING	PRODUCT: EXCEPTIONAL METALS COLOR: MID-NIGHT BRONZE
M-9	FABRICATED COVE LIGHTS	PRODUCT: PRE-FABRICATED COVE LIGHTS COLOR: CLEAR ALUMINUM
EXTERIOR CLADDING		
NP-1	NICHHA FIBER CEMENT PANEL	PRODUCT: NICHHA VINTAGE WOOD SERIES COLOR: CEDAR SIZE: 24" x 10" x 5/8" SEALANT: JOFAST JOSEAL 4580 SERIES
NP-2	NICHHA FIBER CEMENT PANEL	PRODUCT: NICHHA LUMINATION SERIES COLOR: BIRCH (RED) SIZE: 24" x 10" x 5/8" SEALANT: JOFAST JOSEAL 4580 SERIES
NP-3	NICHHA FIBER CEMENT PANEL	PRODUCT: NICHHA LUMINATION SERIES COLOR: KNIGHTS 4580 (GRN) SIZE: 24" x 10" x 5/8" SEALANT: JOFAST JOSEAL 4580 SERIES
KW-1	PREFINISHED ALUMINUM CLADDING MATERIAL	PRODUCT: KNOTWOOD COLOR: LIGHT OAK SIMULATED WOOD NOTE: REFER TO FINISH DETAILS SHEET FOR PENETRATION DETAILS.
KW-2	PREFINISHED ALUMINUM CLADDING MATERIAL	PRODUCT: KNOTWOOD COLOR: ARMOUR GREY (17PD2182) NOTE: REFER TO FINISH DETAILS SHEET FOR PENETRATION DETAILS.
KW-3	PREFINISHED ALUMINUM CLADDING MATERIAL	PRODUCT: KNOTWOOD COLOR: BRITE RED MATT (17PD2172) NOTE: REFER TO FINISH DETAILS SHEET FOR PENETRATION DETAILS.
G-3	1/4" CLEAR GLASS	PRODUCT: 1/4" CLEAR FLOAT GLASS; EQUALS THRU GUARDIAN & VITRO (PPG) ARCHITECTURAL GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED)
G-4	1/4" SPANDREL GLASS (ECC CLIMATE ZONES 4-8 (NORTH))	OPTION #1: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED) GLAZING: 1/4" CLEAR, OLDCASTLE BLACK FRIT (#4) OPTION #2: VITRO (PPG) ARCHITECTURAL GLASS (HEAT STRENGTHENED AS REQUIRED) GLAZING: 1/4" CLEAR, OLDCASTLE BLACK FRIT (#4) OPTION #3: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED) GLAZING: 1/4" CLEAR, OLDCASTLE BLACK FRIT (#4) OPTION #4: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED) GLAZING: 1/4" CLEAR, OLDCASTLE BLACK FRIT (#4)
G-5	1" INSULATED GLASS (FROSTED) (ECC CLIMATE ZONES 4-8 (NORTH))	OPTION #1: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: GUARDIAN 'SN 88' (#2) ON 1/4" CLEAR GLASS INBOARD LITE: GUARDIAN 'SATIN DECO' (ACID ETCHED) (#3) ON 1/4" 'EXTRA CLEAR' GLASS SPACE: 1/2" AIR OPTION #2: VITRO (PPG) ARCHITECTURAL GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: VITRO ARCHITECTURAL GLASS 'SOLARBAN 67' (#2) ON 1/4" CLEAR GLASS INBOARD LITE: WALKER TEXTURES 'VELOUR' (ACID ETCHED) (#3) ON 1/4" CLEAR GLASS SPACE: 1/2" AIR OPTION #3: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: GUARDIAN 'SN 5123' (#2) ON 1/4" CLEAR GLASS INBOARD LITE: GUARDIAN 'SATIN DECO' (ACID ETCHED) (#3) ON 1/4" 'EXTRA CLEAR' GLASS SPACE: 1/2" AIR OPTION #4: GUARDIAN GLASS (HEAT STRENGTHENED AS REQUIRED, TEMPERED WHERE INDICATED) OUTBOARD LITE: GUARDIAN 'SN 6227' (#2) ON 1/4" GREEN GLASS INBOARD LITE: VITRO ARCHITECTURAL GLASS '1/4" CLEAR GLASS' (#3) ON 1/4" CLEAR GLASS SPACE: 1/2" AIR
ACM-1	ALUM. COMPOSITE MATERIAL	PRODUCT: ALCOA REYNOLDBOND PE 4MM ROUTE & RETURN COLOR: PRE-FINISHED; COLORWELD 500; 'BRITE RED' (R94CWC8B) ALTERNATE: ALCOBOND PE-1 ROUTE & RETURN COLOR: PVD-3; 'RED FIRE COOL' (COLOR LEVEL: 3)
ACM-2	ALUM. COMPOSITE MATERIAL	PRODUCT: ALCOA REYNOLDBOND PE 4MM ROUTE & RETURN COLOR: PRE-FINISHED; COLORWELD 500; 'CLASSIC BRONZE' (R94CWC8B) ALTERNATE: ALCOBOND PE-1 ROUTE & RETURN COLOR: MATCH ALCOA SPEC (ABOVE)
ACM-3	ALUM. COMPOSITE MATERIAL	PRODUCT: ALCOA REYNOLDBOND PE 4MM ROUTE & RETURN COLOR: PRE-FINISHED; COLORWELD 500; 'BONE WHITE' (R94CWC8B) ALTERNATE: ALCOBOND PE-1 ROUTE & RETURN COLOR: MATCH ALCOA SPEC (ABOVE)
ACM-4	ALUM. COMPOSITE MATERIAL	PRODUCT: ALCOA REYNOLDBOND PE 4MM ROUTE & RETURN COLOR: PRE-FINISHED; COLORWELD 500; 'CLEAR ANODIC CLEAR' ALTERNATE: ALCOBOND PE-1 ROUTE & RETURN COLOR: MATCH ALCOA SPEC (ABOVE)
E-1 THRU E-9	EIPS (EXTERIOR INSULATION FINISH SYSTEM)	PRODUCT: STO, SOTHERS ESSENCE NEXT SYSTEM TEXTURE: FINE SAND (U.N.O.); SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION COATING: TOP COAT WITH 2 COATS OF STO COAT01; PLUS IN SPECIFIED COLOR; TWO ADDITIONAL COATS OF STO COAT 40V1; PLUS CLEAR MATT. IMPACT PROTECT 'ARMOR MATT' REINFORCING MESH UP TO 6'-9" ABOVE GRADE COLORS: E-1: LIGHT GRAY (STO #N413-0042); SEE 'X1-2' FOR APPROVED ALTERNATE (FEATURE WINDOW ONLY) E-2: WENDYS RED (STO #N413-0040); SEE ACM-1 FOR APPROVED ALTERNATE E-3: (ORSOLE) E-4: FIELD BROWN (STO #N414-0011) E-5: ACCENT BROWN (STO #N414-0012) E-6: DARK BRONZE (STO #N414-0014) E-7: DARK GREY (STO #N418-0004) E-8: TAN (STO #N417-0047) E-9: SILVER (STO #N419-0003); 'SMOOTH' TEXTURE ALTERNATE (AS APPROVED BY OWNER): DRYTIT, 'OUTSULATION PLUS M2 SYSTEM' TEXTURE: SAND/PERBLE FINE (U.N.O.) COATING: OUTSULATION PLUS M2 SYSTEM; HIGH-IMPACT 'PANZER MESH' REINFORCING COLORS: MATCH STO COLORS (ABOVE)
BR-0	FACE BRICK	EXISTING BRICK TO REMAIN OPTION #1: BERKSHIRE SHALE COMPANY SERIES: 'OLD ENGLISH' (MODULAR) OPTION #2: CLEN GARY SERIES: 'OCEAN DETROIT' (MODULAR) OPTION #3: BELDEN SERIES: 'BELCREST' (3/8" (MODULAR))
BR-1	MORTAR	PRODUCT: CEMEX RICH COLOR 654 'LIMESTONE' (OR APPROVED EQUAL)
BR-2	EIPS ALTERNATE	PRODUCT: STO; SOTHERS ESSENCE NEXT SYSTEM FIELD COLORS: STO #N41801 DRYTIT; WENDY-59-1095 ACCENT COLOR: STO #N41402 DRYTIT; WENDY-59-1095 ALTERNATE (AS APPROVED BY OWNER): DRYTIT, 'OUTSULATION PLUS M2 SYSTEM'
EXTERIOR MISC.		
BL-1	BOLLARD SLEEVE	PRODUCT: PAWLING, PROTEK COLOR: SAFETY YELLOW SIZE: 6" DIA. 48" HEIGHT NOTE: CONTACT HVC
CF-1	CONCRETE FINISH (PATIO)	PRODUCT: SCOFIELD, LITHOCHROME: A-33 'CLASSIC GREY' FINISH: ARCHITECTURAL CONCRETE DESIGN 24" x 24" SLATE, LIGHT TEXTURE (OR APPROVED EQUAL) SEALER: SCOFIELD, CEMENTONE, CLEAR SEALER
CF-2	CONCRETE FINISH (PATIO)	PRODUCT: SCOFIELD, LITHOCHROME COLOR HARDENER FINISH: BROOM; APPLY TWO COATS SCOFIELD CURESEAL-W
CF-3	CONCRETE FINISH (PW, TRASH ENCLOSURE)	PRODUCT: SCOFIELD COLOR (OPTIONAL); SCOFIELD, LITHOCHROME: A-33 'CLASSIC GREY' SEALER: SCOFIELD, CEMENTONE, CLEAR SEALER

SITE NUMBER: 13729
 BASE MODEL: CONVERSION
 ASSET TYPE: FRANCHISE
 CLASSIFICATION: FREESTANDING
 OWNER: WENESCO RESTAURANTS
 BASE VERSION: 2021
 UPGRADE CLASSIFICATION: NEW BUILD
 PROJECT YEAR: 2022
 DESIGN TYPE: 2.0 (UM BRIGHT)
 DRAWING RELEASE: SPRING 2021

CDG
 The Chesapeake Design Group
 Architects, Incorporated

419 North Charles Street
 Baltimore, Maryland 21201
 t: 410.837.3622 f: 410.837.3621

SEAL

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF NY

LICENSE NO. 20040-1
 EXPIRATION DATE 7/31/24

PROJECT TYPE:
**CONVERSION
 NEW BUILD**

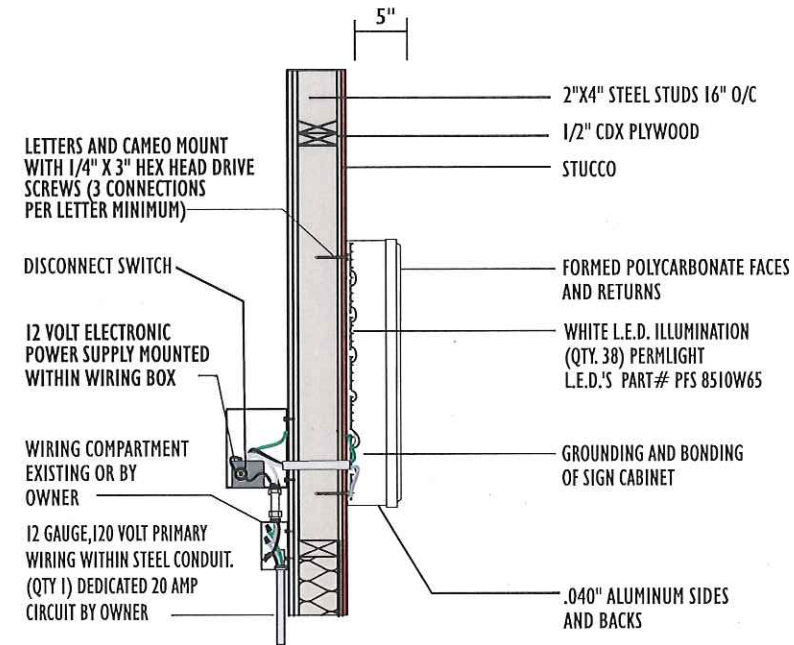
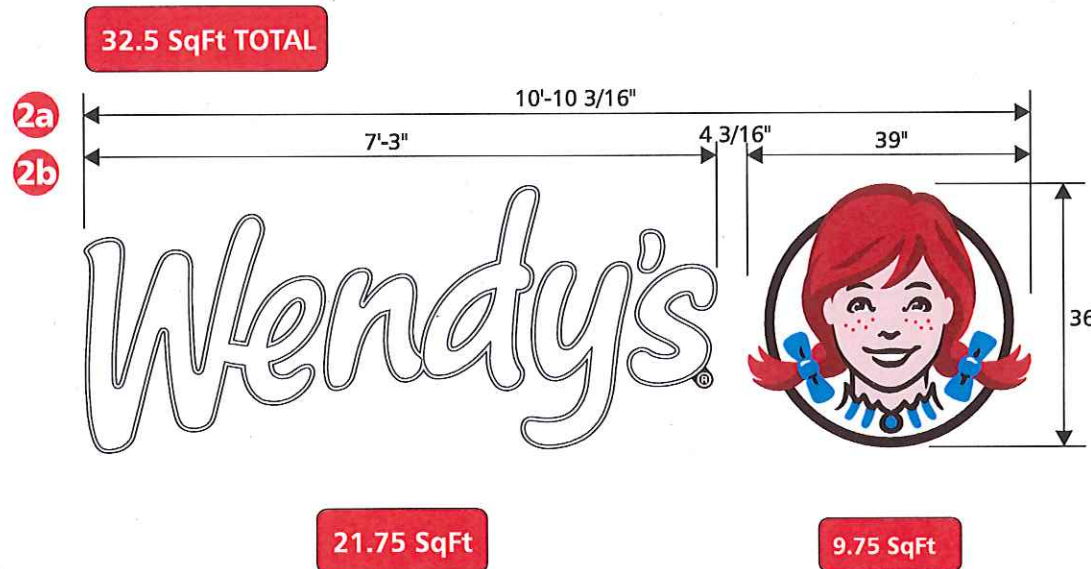
Wendys

REV.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

ISSUE DATE: 04/11/22
 PROJECT NUMBER: 22041
 DRAWN BY: CDG
 CHECKED BY: CDG

WENDYS STORE NO: 13729
 3339 CROMPOND ROAD
 YORKTOWN HEIGHTS, NY 10598

U1201-IA-36NR-WHT-RC



SECTION/MOUNTING DETAILS

ALL WIRING MEETS NEC 2014 SPECIFICATIONS.
SIGN TO BE WIRED TO A STANDARD 120 VOLT / 20 AMP CIRCUIT.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



SIGN TYPE	SPECIFICATIONS	COLORS	SIGN SURVEY	ARTWORK
<input type="checkbox"/> SINGLE FACE <input type="checkbox"/> ILLUMINATED <input type="checkbox"/> WALL	- .040" ALUMINUM SIDES AND BACKS PAINTED CLASSIC BRONZE - "WENDY'S" - EMBOSSED #7328 WHITE POLYCARBONATE FACES WITH WHITE L.E.D. ILLUMINATION - CAMEO - FORMED POLYCARBONATE FACE WITH PRINTED GRAPHICS SECOND SURFACE WITH WHITE LED ILLUMINATION.	<input type="checkbox"/> CLASSIC BRONZE <input type="checkbox"/> WHITE <input type="checkbox"/> PMS 186 RED HAIR <input type="checkbox"/> PMS 201 BURGUNDY HAIR <input type="checkbox"/> PMS 299 BLUE <input type="checkbox"/> PMS 698 PINK <input type="checkbox"/> PMS 439 BROWN	<input type="checkbox"/> FACE TRIMS <input type="checkbox"/> FASCIA COLOR <input type="checkbox"/> RADIUS DIM. <input type="checkbox"/> BUILDING DIM. <input type="checkbox"/> FACADE ANGLE <input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> REQUIRED If required, customer to provide Custom Sign Center, Inc. with camera ready or appropriate digital file. Please contact your salesperson or Design Staff for appropriate file types.

3200 Valleyview Drive Columbus, OH 43204
 PH: 614-279-6700 FX: 614-279-7525

FILENAME: U1201-IA-36NR-WHT-RC REV# _____ SCALE: 3/8"=1' Approval Signatures Required to insure that all spelling, colors, and specifications for sign(s) rendered meets customer & landlord approvals. CUSTOMER: _____ LANDLORD: _____
 DATE: 5/2/18 REV.DATE: _____ DGNR: JLB SALES: T. SHEEHY DATE: _____ DATE: _____

This original design and all information herein are the property of Custom Sign Center, Inc. Artwork is subject to return if not purchased. Any unauthorized use is forbidden. © Copyright 2007 All rights reserved.

SITE NUMBER:	13729
BASE MODEL:	CONVERSION
ASSET TYPE:	FRANCHISE
CLASSIFICATION:	FREESTANDING
OWNER:	WENESCO RESTAURANTS
BASE VERSION:	2021
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2022
DESIGN TYPE:	2.0 (UM BRIGHT)
DRAWING RELEASE:	SPRING 2021

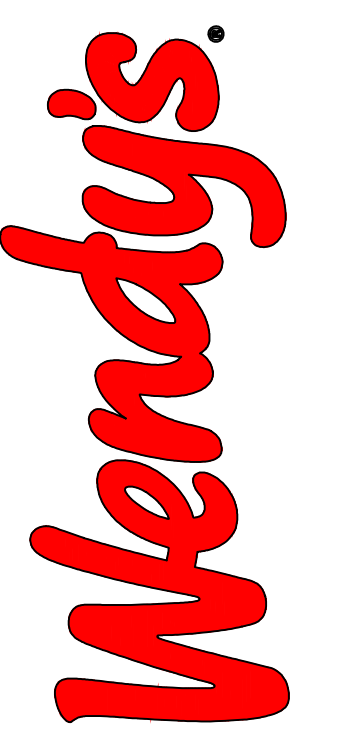


419 North Charles Street
 Baltimore, Maryland 21201
 t: 410.837.3622 f: 410.837.3621



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF NY.
 LICENSE NO. 020040-1
 EXPIRATION DATE 1/31/24

PROJECT TYPE:
**CONVERSION
 NEW BUILD**



REV. DATE	DESCRIPTION

ISSUE DATE 04/11/22
 PROJECT NUMBER 22101
 DRAWN BY CDG
 CHECKED BY CDG
 WENDY'S STORE NO: 13729
 3399 CROMPOD ROAD
 YORKTOWN HEIGHTS, NY 10598

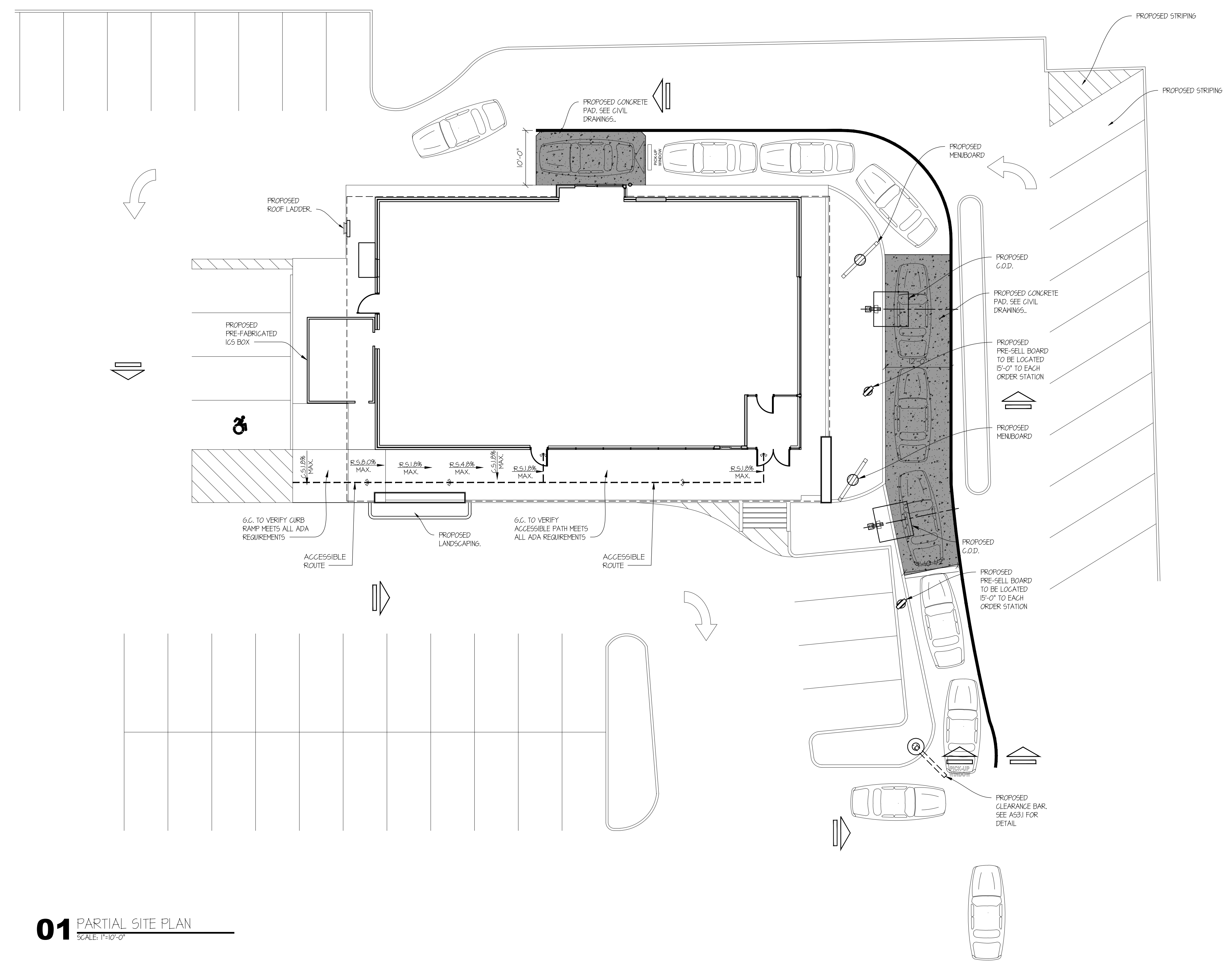
GAS HEAT / GAS WATER HEATER
 GAS FRYERS / ELECTRIC GRILLES

SHEET NAME
**ARCHITECTURAL
 SITE PLAN**

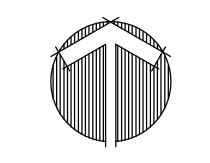
SHEET NUMBER

AS1.0

PERMIT SET 04/11/22

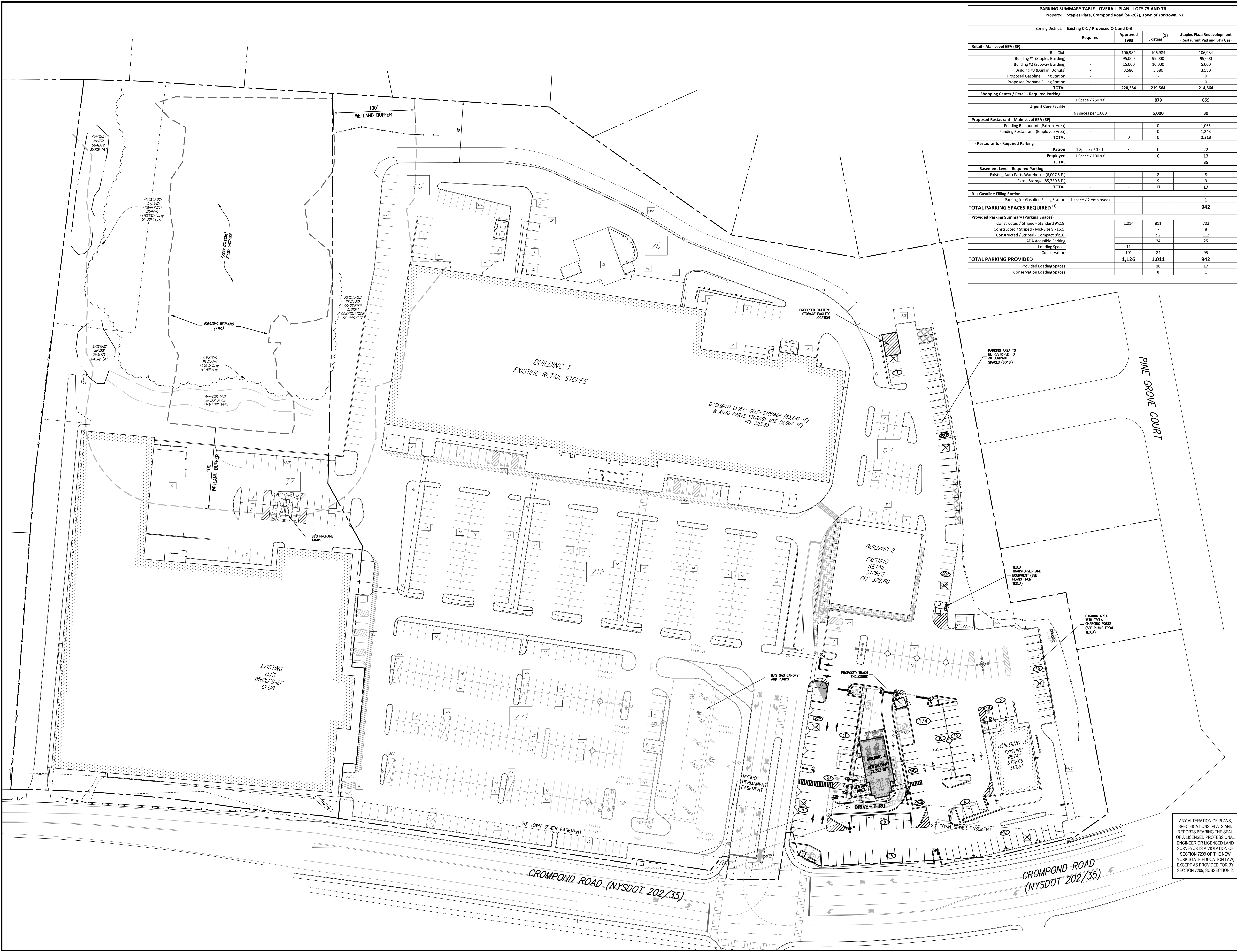


01 PARTIAL SITE PLAN
 SCALE: 1"=10'-0"



NOT FOR CONSTRUCTION

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PARKING SUMMARY TABLE - OVERALL PLAN - LOTS 75 AND 76				
Property: Staples Plaza, Crompond Road (SR-202), Town of Yorktown, NY				
Zoning District:	Existing C-1 / Proposed C-1 and C-3			
	Required	Approved 1993	Existing (1)	Staples Plaza Redevelopment (Restaurant Pad and B's Gas)
Retail - Mail Level GFA (SF)				
B/S Club	-	106,984	106,984	106,984
Building #1 (Staples Building)	-	95,000	99,000	99,000
Building #2 (Subway Building)	-	15,000	10,000	5,000
Building #3 (Dunkin' Donuts)	-	3,580	3,580	3,580
Proposed Gasoline Filling Station	-	-	-	0
Proposed Propane Filling Station	-	-	-	0
TOTAL		220,564	219,564	214,564
Shopping Center / Retail - Required Parking				
1 Space / 250 s.f.	-	-	879	859
Urgent Care Facility				
6 spaces per 1,000	-	-	5,000	30
Proposed Restaurant - Main Level GFA (SF)				
Pending Restaurant (Patron Area)	-	-	0	1,065
Pending Restaurant (Employee Area)	-	-	0	1,248
TOTAL				2,313
Restaurants - Required Parking				
Patron 1 Space / 50 s.f.	-	-	0	22
Employee 1 Space / 100 s.f.	-	-	0	13
TOTAL				35
Basement Level - Required Parking				
Existing Auto Parts Warehouse (6,007 S.F.)	-	-	8	8
Extra Storage (85,730 S.F.)	-	-	9	9
TOTAL				17
B/S Gasoline Filling Station				
Parking for Gasoline Filling Station 1 space / 2 employees	-	-	-	1
TOTAL PARKING SPACES REQUIRED (1)				942
Provided Parking Summary (Parking Spaces)				
Constructed / Striped - Standard 9'x18'	1,014	811	702	
Constructed / Striped - Mid-Size 9'x16.5'	-	-	8	
Constructed / Striped - Compact 8'x18'	-	92	112	
ADA Accessible Parking	-	24	25	
Loading Spaces	11	84	95	
Conservation	101	84	95	
TOTAL PARKING PROVIDED	1,126	1,011	942	
Provided Loading Spaces				17
Conservation Loading Spaces				1

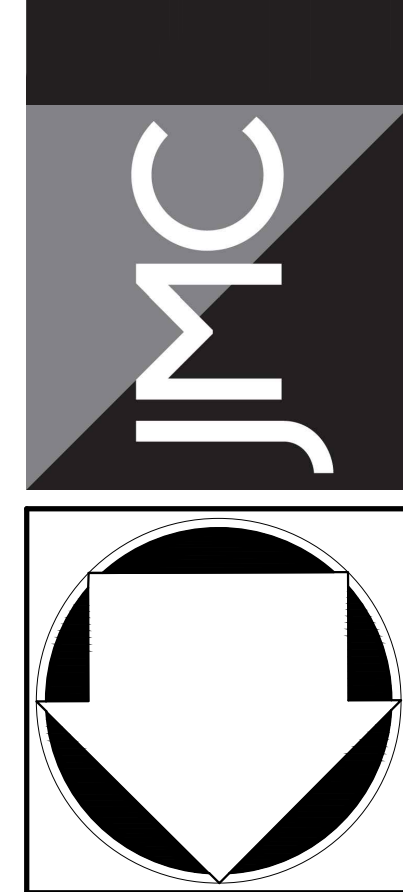
DATE: _____
 REVISION: _____
 NO: _____

AVS FOODS, INC. (DBA POPEYES)
 135 TIMBER LAKE COURT
 YORKTOWN HEIGHTS, NY 10598

UB YORKTOWN, LLC
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

Prepared: Eileen Obasogie

JMC Planning, Engineering, Landscaping, Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Mayer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcplic.com



MASTER PLAN
 STAPLES PLAZA REDEVELOPMENT
 3303 CROMPOND ROAD
 YORKTOWN HEIGHTS, NY 10598

PROGRESS PLOTTING

Drawing: 18061-SITE
 Date: 2022-07-15
 Time: 2:37 PM
 By: _____

DATE:	BMS	APPROVED:	RA
SCALE:	1"=40'		
DATE:	02/25/2019		
PROJECT NO:	12148		
DATE:	1800-SITE	DATE:	MASTER
DRAWING NO:	M-1		

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

TB Referral Guiding Eyes

Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 942-6565

PLANNING DEPARTMENT

AUG 11 2022

TOWN OF YORKTOWN

To: Diana Quast, Town Clerk *for the Town Board*
From: ABACA
Date: August 10, 2022
Subject: Town Board Referral – Guiding Eyes for the Blind – Crompond Road
Proposed amendment to the Zoning Code to allow the Guiding Eyes for the Blind program and new kennel facility.

Documents Reviewed:

Title:	Date:	Produced By:
Town Board Email Referral with associated materials	7/18/2022v	Diana Quast, Town Clerk

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their meeting held on Tuesday, August 9, 2022. The Board has no objection to the proposed amendment.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

cc: Planning Department
Planning Board
Town Board *via Town Clerk*

Nancy Calicchia

From: Maura Weissleder
Sent: Monday, July 18, 2022 12:42 PM
To: 'archipose@aol.com'; John Landi; 'phyllisabock@gmail.com'; 'dianedri@aol.com'; Kim Hughes; 'tmentrasti@yorktownfire.org'; 'cgravius@moheganfire.com'; David Paganelli; John Tegeder; Robyn Steinberg; Nancy Calicchia; 'richfon@aol.com'; Robert Noble; John Delulio; Dan Ciarcia; 'Lawrence Klein'; Kenny Rundle; 'Herbert, Lukas'; 'DEP.R3@dec.ny.gov'; 'akhter.shareef@dot.ny.gov'; 'Garcia, Cynthia'; 'cenan.publicnotices@usace.army.mil'; 'laroues@townofcortlandt.com'; 'sdonnelly@townofossining.com'; 'townclerk@somersny.com'; 'showard13@aol.com'; 'showard@putnamvalley.com'; g.finelaw@verizon.net; Adam Rodriguez; Adam Rodriguez; Ed Lachterman; Ed Lachterman (edlachterman@gmail.com); Luciana Haughwout; Matthew Slater; Sergio Esposito; Thomas Diana
Subject: Referral: Guiding Eyes for the Blind Rezone Petition / 3241 Crompond Road
Attachments: July 12, 2022_Referral of Rezone Application_Guiding Eyes.pdf; Cover Letter - Guiding Eyes Text Amendment Petition.pdf; Guiding Eyes - Zoning Petition.pdf

RECEIVED
PLANNING DEPARTMENT

JUN 18 2022

TOWN OF YORKTOWN

Attached is a referral for a rezone petition for property located at 3241 Crompond Road, made by Guiding Eyes for the Blind.

We respectfully request your review and ask that any comments be made directly to Diana Quast, Town Clerk (dquast@yorktownny.org), no later than Friday, August 12, 2022.

Thank you for your review.

Maura Weissleder

Deputy Town Clerk
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598
Ph: (914)962-5722, ext. 210
Fax: (914)962-6591

Note: This e-mail message is intended only for the use of the individual or entity to whom it is addressed, and may contain information that is privileged or confidential. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering this message to the identified addressee, you are hereby notified that any unauthorized use, disclosure, reproduction, dissemination or disruption of this communication is strictly prohibited. Please note that it is your responsibility to scan this e-mail for viruses. If you receive this e-mail message in error, please delete all copies of this message and notify the sender immediately by telephone at (914) 962-5722 x210. Thank you.

Diana L. Quast, Town Clerk
dquast@yorktownny.org



Registrar of Vital Statistics
Telephone: (914) 962-5722 x 208
Fax: (914) 962 6591

TOWN OF YORKTOWN
363 Underhill Avenue, P.O. Box 703
Yorktown Heights, NY 10598

This is a resolution adopted by the Town Board of the Town of Yorktown at its regular meeting held on Tuesday, July 12, 2022.

RESOLVED, the Town Clerk is authorized to refer to the appropriate agencies the petition for rezoning submitted by Guiding Eyes for the Blind for property located at 3241 Crompond Road.

Diana L. Quast, Town Clerk
Certified Municipal Clerk

Date: July 13, 2022

To: Diana L. Quast, Town Clerk

cc: Matthew J. Slater, Town Supervisor
Adam Rodriguez, Town Attorney
file

June 10, 2022

By Email

Supervisor Matthew J. Slater,
Members of the Yorktown Town Board
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598

***Re: Guiding Eyes for the Blind's Petition for
Amendment of Zoning Code for Property at
3241 Crompond Road, Yorktown, New York, SBL 68.06- 4- 39.42***

Dear Supervisor Slater and Members of the Town Board:

As you know, our firm represents Guiding Eyes for the Blind (“Guiding Eyes” or “Petitioner”), the contract vendee for the above referenced property, located at 3241 Crompond Road, Yorktown, New York (the “Property”). Petitioner submits this letter in connection with its proposal to amend the Town of Yorktown’s (the “Town”) Zoning Code (the “Zoning Code”) to permit the Petitioner to redevelop the Property to accommodate its program and facilitate a new kennel facility for Guiding Eyes dogs. We are pleased to present your Board with the enclosed Verified Petition for a Zoning Text Amendment (“Petition”), and associated application materials. We respectfully request that this Petition be placed on your Board’s next available agenda to commence the review process.

As set forth in more detail in the Petition, Guiding Eyes intends to amend the Zoning Code to incorporate “Non-Commercial Kennel” as an enumerated permitted principal or special permit use within the Town’s Planned Interchange Zoning (the “IN District”) in which the Property is located. We submit that the proposed rezoning and redevelopment would be fully consistent with the 2010 Yorktown Comprehensive Plan. Specifically, the Project would provide an easily accessible use and orderly development of the Property. In addition, Petitioner expects the final design, which will be forthcoming during the review process, to be similar in design,

colors and materials to other examples of Guiding Eyes' buildings, as demonstrated in our attached materials.

In connection with Guiding Eyes' Petition, enclosed please find the following materials:

- (i) Verified Petition, dated June 10, 2022.
- (ii) Conceptual Site Plan, dated May 10, 2022, prepared by Site Design Consultants.
- (iii) Short Part I Environmental Assessment Form, dated June 3, 2022, prepared by Site Design Consultants.
- (iv) Photos of other Guiding Eyes buildings.

We look forward to appearing before the Town Board to commence the formal review process and to bringing this exciting Project to the Town. If you have any questions or require further information, do not hesitate to contact us. Thank you for your attention to this matter.

Respectfully Submitted,

ZARIN & STEINMETZ

By: David S. Steinmetz (DGA)
David S. Steinmetz
Dominique G. Albano

Encls.

Cc: John Tegeder, AICP
Joseph Riina, P.E.
Bill Ma
Temple Israel
Diana L. Quast, Town Clerk
Adam Rodriguez, Esq., Town Attorney

Photos of other Guiding Eyes buildings



361 Rt 164, Patterson, NY - Kennel



361 Rt 164, Patterson, NY - Kennel



361 Rt 164, Patterson, NY - Kennel



611 Granite Springs Rd, Yorktown Heights, NY - Carriage House



1961 Commerce Street, Yorktown Heights, NY – Outreach Center

TOWN BOARD OF THE TOWN OF YORKTOWN
WESTCHESTER COUNTY, STATE OF NEW YORK

----- X
In the Application of :
GUIDING EYES FOR THE BLIND : **VERIFIED PETITION**
For an Amendment to the Zoning Code of : **FOR A ZONING**
the Town of Yorktown Pursuant to Section 300-206 : **TEXT AMENDMENT**
----- X

Petitioner **GUIDING EYES FOR THE BLIND** (“Petitioner”), by its attorneys, Zarin & Steinmetz, 81 Main Street, Suite 415, White Plains, New York 10601, as and for its Verified Petition requesting an Amendment (the “**Text Amendment,**” **Exhibit “A”**) to the Town of Yorktown (the “**Town**”) Zoning Code (the “**Zoning Code**”), respectfully alleges as follows:

I. INTRODUCTION

1. Guiding Eyes for the Blind (“**Guiding Eyes**”) is a 501(C)(3) tax exempt charitable organization, founded in 1954, providing services to those in the community who suffer from vision loss. Guiding Eyes is an accredited member of the International Guide Dog Federation (“**IGDF**”), the organization that establishes worldwide standards for the breeding and training of guide dogs.

2. Guiding Eyes presently maintains its headquarters at 611 Granite Springs Road, Yorktown Heights, New York (“**Headquarters**”). Currently, Guiding Eyes has approximately 90 employees at Headquarters, all committed to the many ways Guiding Eyes provides assistance to the visually impaired community.

3. Due to the Covid-19 Pandemic, people are in greater need of guide dogs and the services provided by Guiding Eyes. To accomplish this, Guiding Eyes intends to keep its current Headquarters, and to relocate certain aspects of its operations to the subject Property (as defined, *supra*).

4. More specifically, Headquarters will remain the heart of the entity's operations and training venues, while the new location would be operated as a non-commercial kennel where the dogs will be housed, fed, exercised, cared for, and trained.

5. "Non-Commercial Kennel," however, is not presently an enumerated permitted principal or special permit use anywhere within the Town, much less in the Planned Interchange Zoning (the "**IN District**") in which the Property is located. Accordingly, the instant Petition seeks an amendment to the Town of Yorktown Zoning Code (the "**Zoning Code**") to permit the use as a Special Permit Use in the IN District.

II. THE PROPERTY

6. Petitioner is the contract vendee of 3241 Crompond Road, Yorktown, New York, also designated on the Town Tax Map as Section 68.06, Block 4, Lot 39.42 (the "**Property**"). (See Town Tax Map, **Exhibit "B"**). The Property is ±12.23 acres, and is of suitable size to accommodate the needs and functions of the program. A Site Drawing of the Property is annexed hereto for illustrative purposes as **Exhibit "C."**

7. Petitioner submits this Petition with the express consent of Temple Israel, the owner of the Property (the "**Current Owner**"). (See Letter of Authorization, **Exhibit "D"**). The Current Owner previously obtained the necessary approvals from the Town to develop a synagogue with a school, event space, and associated parking on the Property. The Property is not currently occupied and has a small, vacant structure.

8. As noted, *supra*, the Property is in the Town's IN District. (See Excerpt of Town Zoning Map, **Exhibit "E"**). The legislative intent of the IN District is to provide access to existing public streets and highways, while providing orderly development. See Zoning Code § 300-153(1-6).

III. THE PROPOSED USE

9. Petitioner is seeking to redevelop the Property to accommodate its program and provide the dogs with housing, feeding, private veterinary care, and dog training (the “Proposed Use”).

10. The Petitioner plans to have kennels, offices and veterinary care capability for roughly 200 dogs.

IV. BENEFITS OF THE PROPOSED USE

11. Guiding Eyes is a nonprofit committed to improving the lives of those who are visually impaired and providing a social service to people in surrounding communities. Petitioner respectfully submits that the adoption of the Text Amendment would be beneficial to those both living and working in the Town, as well as the surrounding region.

12. Guiding Eyes currently operates its Headquarters in the Town. If this site is approved, there will be a significant reduction of dogs housed at the Granite Springs Road location.

13. The Proposed Use would result in a reduction of impacts compared to the use previously approved on the Property by the Town. As your Board will recall, Temple Israel previously secured approvals for a synagogue, school, and event space. Guiding Eyes maintains there will be less traffic, reduced water and sewer demand, and less site disturbance.

14. The Proposed Use would be consistent with the Comprehensive Plan and the legislative intent of the IN District by providing an easily accessible use and orderly development of the Property.

15. The Property will also be able to provide adequate parking for staff, volunteers, and individuals and will not result in a significant, let alone adverse, traffic increase in the area or at the Property.

V. THE PROPOSED TEXT AMENDMENT

16. Presently, the Zoning Code permits “dog kennels” as a Permitted Special Use under Section 300-56. The current Zoning Code does not define “dog kennels.” Also, the Zoning Code does not permit “dog kennels” in the IN District.

17. Petitioner is seeking the instant Zoning Text Amendment to provide a Permitted Special Use for “Non-Commercial Dog Kennels” in the IN District to facilitate and allow Guiding Eyes to conduct the Proposed Use.

18. Accordingly, to facilitate the establishment of the Proposed Use on the Property, the Petitioner’s proposed Text Amendment would:

- a. Define “Non-Commercial Dog Kennels”;
- b. Include in the Schedule of Regulations in the IN District, “Non-Commercial Dog Kennels” as a use permitted by a special use permit to be reviewed and issued by the Planning Board; and
- c. Amend Section 300-56 to include “Non-Commercial Dog Kennels” as a special use permit in the IN District, along with specific special permit criteria.

VI. SEQRA

19. In accordance with the New York State Environmental Quality Review Act (“SEQRA”), the proposed action is a Type I Action. See 6 N.Y.C.R.R. § 617.4(b)(1); Town Code § 92-6(A)(8). Accordingly, Petitioner submits herewith a Short Environmental Assessment Form (“EAF”) (See Exhibit “F”).

20. Petitioner submits that all relevant areas of environmental concern will be identified, analyzed, and where appropriate, mitigated.

VII. REQUESTED RELIEF

21. In order to accommodate the Project, Petitioner respectfully requests that the Town Board:

- (i) Accept this Petition and refer this matter to the to the Town of Yorktown Planning Board for a report and recommendation pursuant to Section 300-206(C) of the Zoning Ordinance and determine which Board shall serve as Lead Agency;
- (ii) Schedule, notice, and conduct a public hearing on the Petition at the earliest possible date;
- (iii) Resolve to adopt the Text Amendment annexed hereto as **Exhibit A**.

WHEREFORE, it is respectfully requested the instant matter be placed on the next possible agenda of the Town Board of Yorktown, and that the relief sought herein be, in all respects, granted.

Dated: June 10, 2022
White Plains, New York

Respectfully submitted,

ZARIN & STEINMETZ

By: David S. Steinmetz (DGA)
David S. Steinmetz
Dominique G. Albano

EXHIBIT A

PROPOSED TEXT AMENDMENT

§ 300-3(b) – Terms Defined

NON-COMMERCIAL DOG KENNEL - Any use on a lot, whether such use is primary or otherwise, wherein fifty (50) or more dogs are kept or maintained for a purpose other than compensation of any kind. This use may supply a private veterinary clinic, as well as training for those dogs on site only.

§ 300-21 Schedule of Regulations

(C) Use regulations.

(18) IN Planned Interchange District

(b) Main uses permitted by special permit shall be as follows:

[2] Non-Commercial Dog Kennels

Part II General Legislation; § 300 Zoning; Article VII Permitted Special Uses

§ 300-56 Private stables; dog kennels

B. The Board of Appeals may permit, as an accessory to a residence use on a site at least one acre in area, a private dog kennel for five or more dogs, but not including boarding or training kennels operated for business purposes. Kennels shall be located in the rear yard at least 75 feet from all property lines and shall be suitably fenced and landscaped. Use of the kennel shall be limited to one dog for every 5,000 square feet of lot area. No special permit is required for keeping fewer than five dogs.

C. The Planning Board may permit Non-Commercial Dog Kennels on a site of at least 12 acres in the Planned Interchange District for the sole purpose of raising dogs to be trained as guide dogs for the visually impaired and not for sale, boarding, breeding, grooming, letting for hire or any other purpose involving compensation, whether monetary or otherwise.

(1) Non-Commercial Dog Kennels will be permitted to hold classes and training sessions with future dog owners.

(2) Veterinary services shall be permitted on the property strictly for the care of the dogs affiliated with the non-commercial use. These services will not be open to the public.

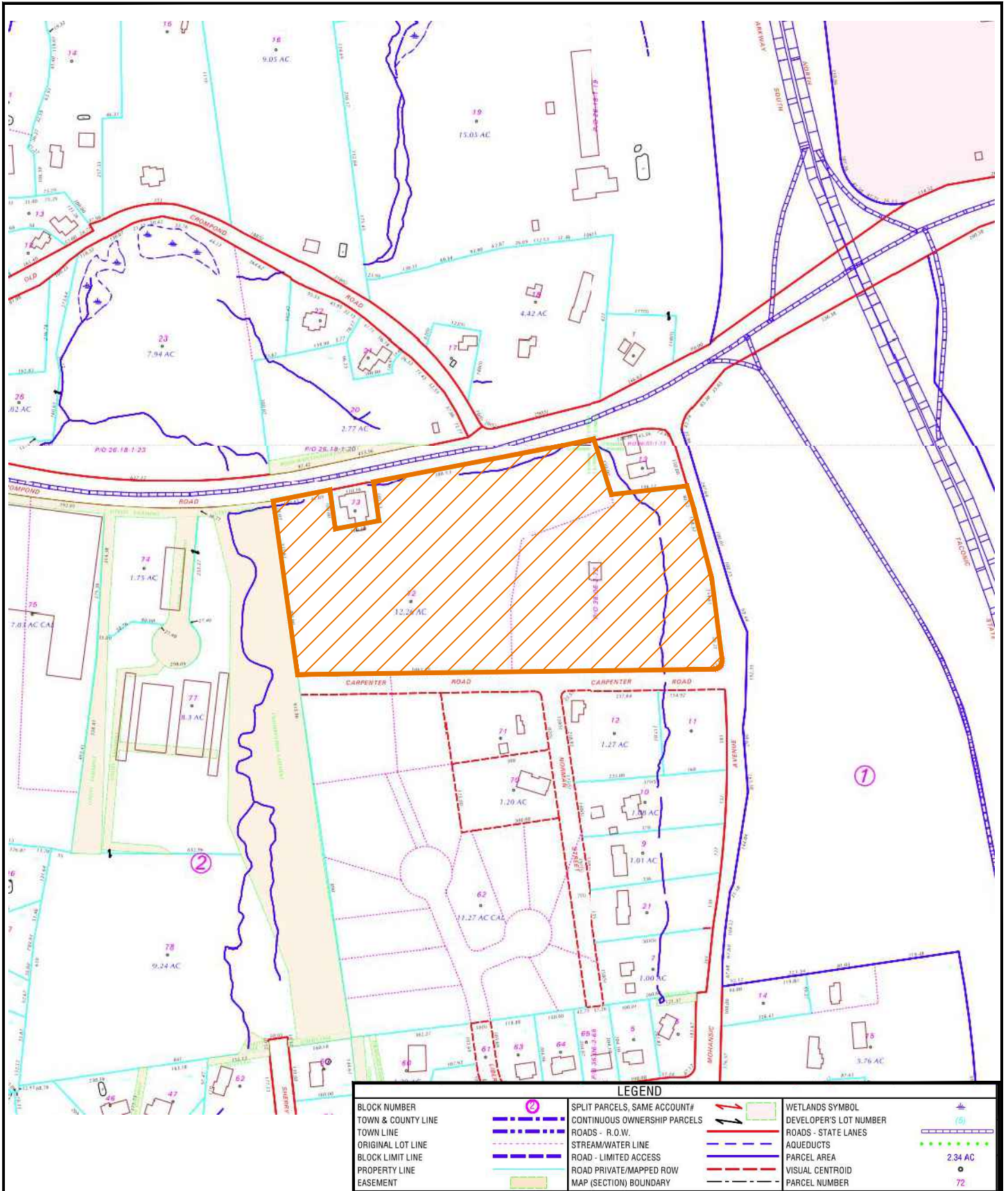
(3) The facility shall be operated so as to cause no disruption to neighboring properties.

(4) The facility shall have the necessary and proper screening to reduce noise and protect nearby properties from any sound increases.

(5) The facility shall have the requisite parking, lodging and drop-off areas suitable for all staff, volunteers and students on site.

(6) Non-Commercial kennels may permit up to 20 dogs per acre, provided the facilities are designed, arranged and operated in such fashion as to safety and appropriately accommodate that capacity.

EXHIBIT B
TOWN TAX MAP



LEGEND	
BLOCK NUMBER	SPLIT PARCELS, SAME ACCOUNT#
TOWN & COUNTY LINE	CONTINUOUS OWNERSHIP PARCELS
TOWN LINE	ROADS - R.O.W.
ORIGINAL LOT LINE	STREAM/WATER LINE
BLOCK LIMIT LINE	ROAD - LIMITED ACCESS
PROPERTY LINE	ROAD PRIVATE/MAPPED ROW
EASEMENT	MAP (SECTION) BOUNDARY
WETLANDS SYMBOL	WETLANDS SYMBOL
DEVELOPER'S LOT NUMBER	DEVELOPER'S LOT NUMBER
ROADS - STATE LANES	ROADS - STATE LANES
AQUEDUCTS	AQUEDUCTS
PARCEL AREA	PARCEL AREA
VISUAL CENTROID	VISUAL CENTROID
PARCEL NUMBER	PARCEL NUMBER

EXHIBIT B
TAX MAP

26.17	26.18	26.19
36.05	36.06	36.07
36.09	36.10	36.11

GRID NORTH ↑
TAX MAP
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

MAP 36.06
DATE OF AERIAL PHOTOGRAPHY 3-31-88 DATE OF MAP 07/23/13
NY STATE PLANE COORDINATES ARE NAD83 IN FEET

EXHIBIT C
SITE DRAWING



LOCATION MAP
NOT TO SCALE



SITE DATA:

OWNER : TEMPLE OF ISRAEL
3241 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

DEVELOPER: GUIDING EYES FOR THE BLIND
611 GRANITE SPRINGS ROAD
YORKTOWN HEIGHTS, NY 10598

PROJECT LOCATION: 3241 CROMPOND ROAD
YORKTOWN HEIGHTS, NY 10598

EXISTING TOWN ZONING: IN, PLANNED INTERCHANGE DISTRICT

PROPOSED USE: IN, PLANNED INTERCHANGE DISTRICT

TOWN TAX MAP DATA: SECTION 36.06, BLOCK 2, LOT 72

SITE AREA: 12.2 ACRES (532,231 SF)

SEWAGE FACILITIES: PUBLIC SEWERS

WATER FACILITIES: PUBLIC WATER FACILITIES

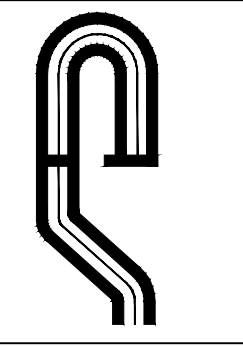
ZONING SCHEDULE:

DIMENSIONAL REGULATIONS:	IN, PLANNED INTERCHANGE DISTRICT (1)		
	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	10 ACRES	12.2 ACRES	NONE
MINIMUM LOT FRONTAGE:	100 FT.	462 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	100 FT.	274 FT.	NONE
REAR YARD SETBACK:	100 FT.	609 FT.	NONE
ONE SIDE YARD SETBACK:	100 FT.	110 FT.	NONE
COMBINED SIDE YARD SETBACK:	100 FT.	447 FT.	NONE
ACCESSORY BUILDINGS:			
FRONT YARD SETBACK:	100 FT.	N/A	NONE
REAR YARD SETBACK:	100 FT.	N/A	NONE
ONE SIDE YARD SETBACK:	100 FT.	N/A	NONE
COMBINED SIDE YARD SETBACK:	100 FT.	N/A	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	15% OF LOT AREA	3.8 % OF LOT AREA	NONE
ACCESSORY BUILDING COVERAGE:	15% OF LOT AREA	N/A	NONE
MAXIMUM FLOOR RATIO:	0.4	0.04 FT.	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	35 FEET	NONE
ACCESSORY BUILDING - FEET:	35 FEET	35 FEET	NONE

ZONING REGULATION NOTES:
1. REGULATIONS AS STATED IN 300-154 OF THE TOWN CODE OF THE TOWN OF YORKTOWN.

PARKING SCHEDULE

REQUIRED PARKING:	2 PARKING SPACES PER 3 EMPLOYEES
TRAINING SCHOOL KENNEL:	89 EMPLOYEES = 89 EMPLOYEES (2 SPACES/ 3 EMPLOYEES) = 59 SPACES
PROVIDED PARKING:	70 STANDARD 2 HANDICAP
TOTAL PROVIDED PARKING:	72 SPACES
PARKING VARIANCE REQUIRED:	0 SPACES



PROJECT # 22-03

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

Engineer:
Joseph C. Rima, P.E.
NYS Lic. No. 6451

**TRAINING SCHOOL KENNEL
ZONING AMENDMENT
SITE PLAN**

PRELIMINARY PLAN
PREPARED FOR
GUIDING EYES FOR THE BLIND
3241 CROMPOND ROAD
Town of Yorktown Heights
Westchester County, New York

Scale: 1"=40'
Drawn by: CS
Date: 5/10/2022

Sheet 1 of 1

NOTE: 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XX/XX/XX, LAST REVISED XXXXXX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

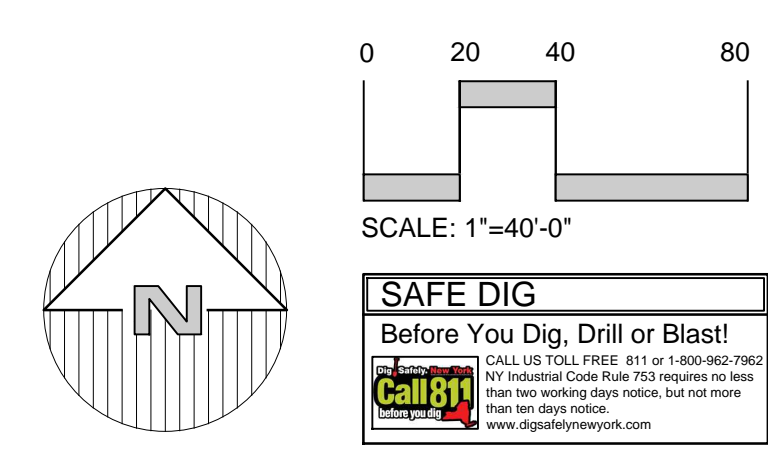


EXHIBIT D

LETTER OF AUTHORIZATION

OWNER AUTHORIZATION

Temple Israel of Northern Westchester is the owner of the property located at 3241 Crompond Road, Section 68.06, Block 4, Lot 39.42 in the Town of Yorktown, New York. I, Lisabeth G. Dashman, am the President of Temple Israel of Northern Westchester. By signing below, I authorize Guiding Eyes for the Blind to apply for a rezoning and to process such Zoning Petition with the Town of Yorktown.


Signature of Authorized Representative

LISABETH G. DASHMAN
Print Name
President, Temple Israel of Northern Westchester

Sworn to before me this 8th
day of JUNE 2022:

JAMES D. RICE
NOTARY PUBLIC, STATE OF NEW YORK
NO. 02R16108104
QUALIFIED IN WESTCHESTER COUNTY
MY COMMISSION EXPIRES APRIL 12, 2024

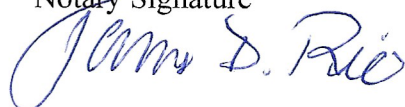
Notary Signature


EXHIBIT E

TOWN ZONING MAP

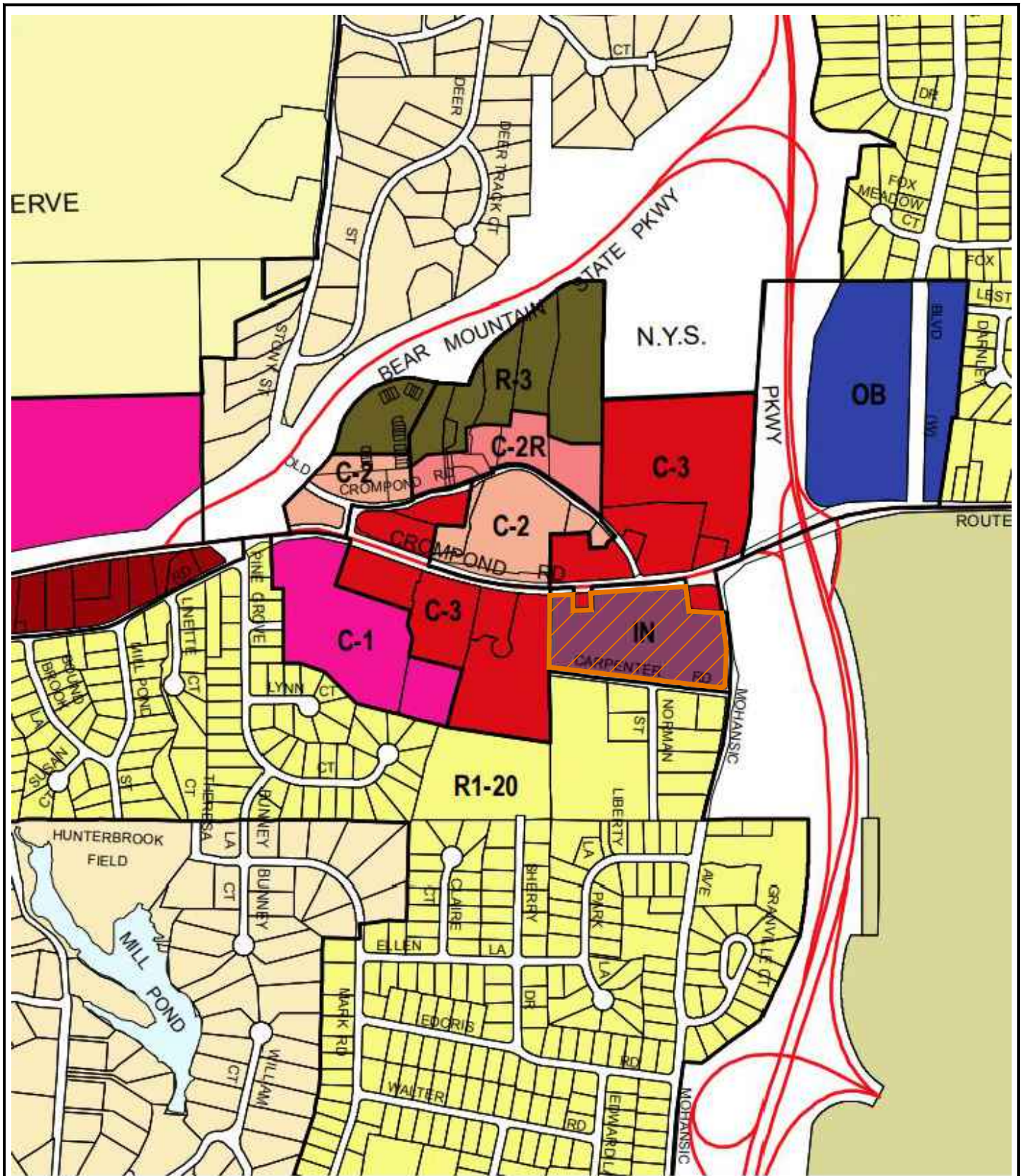


EXHIBIT E
TOWN ZONING MAP

R1-160	One-Family Residential	R-3	Multifamily Residential	C-3	Commercial Limited
R1-80	One-Family Residential	C-1	Commercial Shopping Center	C-4	Commercial General
R1-40	One-Family Residential	C-2	Commercial Hamlet Center	OB	Research Laboratory and Office
R1-20	One-Family Residential	C-2R	Commercial Hamlet Center	IN	Planned Interchange

EXHIBIT F

SHORT ENVIRONMENTAL ASSESSMENT FORM

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Guiding Eyes For The Blind - Dog Training Kennel Facility			
Project Location (describe, and attach a location map): 3241 Crompond Road Town of Yorktown, Westchester County, NY			
Brief Description of Proposed Action: The proposed action is to request an amendment to the Town zoning requirements for this site to permit Dog Kennels as an allowed use.			
Name of Applicant or Sponsor: Guiding Eyes for the Blind - Thomas Panek, President and CEO		Telephone: 914-243-2257 E-Mail: tpanek@guidingeyes.org	
Address: 611 Granite Springs Road			
City/PO: Yorktown Heights		State: NY	Zip Code: 10598
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town Board Town of Yorktown - zoning code amendment			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		12.2 +/- acres	
b. Total acreage to be physically disturbed?		6 +/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		12.2 +/- acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>The project will meet or exceed local and state energy codes</u>	<input type="checkbox"/>	<input type="checkbox"/>	NO YES <input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	NO YES <input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	NO YES <input checked="" type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? <small>There are wetlands and waterbodies on the site which will not be affected</small>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		

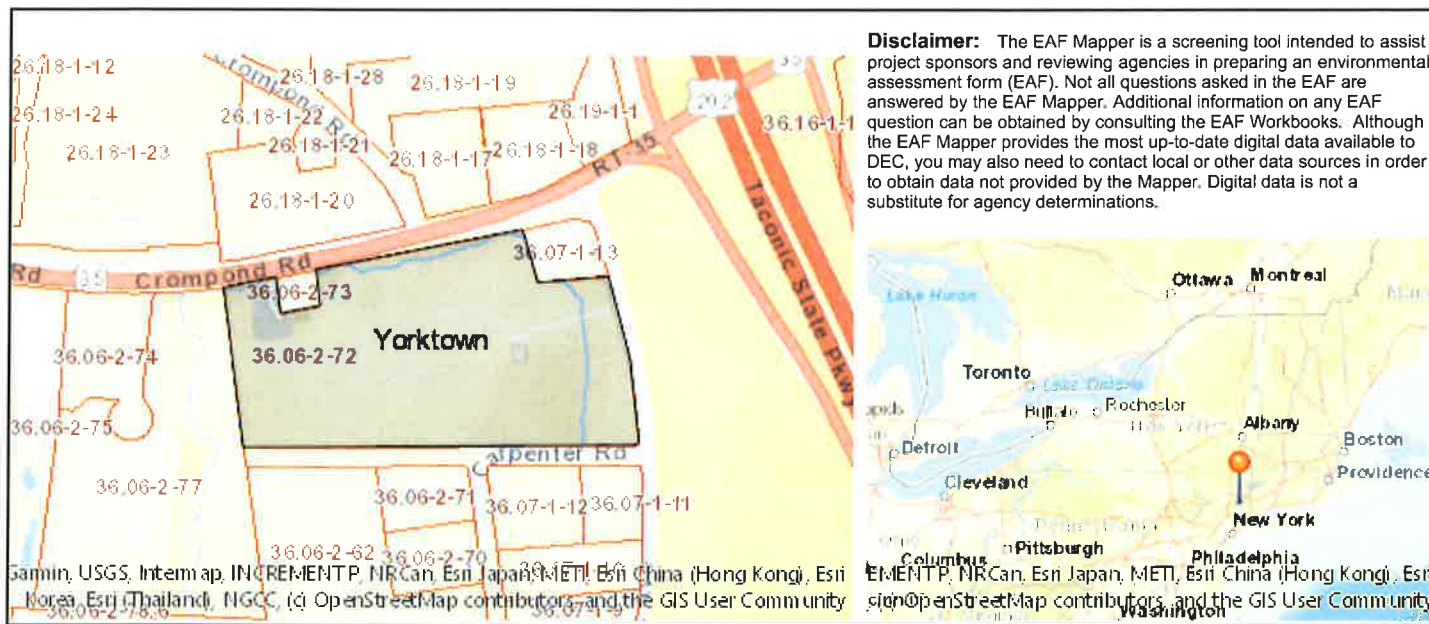
The project will have a built in Stormwater Management System		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The property has been identified by the NYS DEC to contain a landfill area which is being investigated for any contamination potential.		

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Joseph C. Reina, P.E.</u> Date: <u>6/3/22</u> Signature: _____ Title: <u>PROJECT ENGINEER</u>		



- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] No
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] No
- Part 1 / Question 15 [Threatened or Endangered Animal] No
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] No

Uncle Giuseppe's



August 2, 2022

via e-mail to: jtegeder@yorktownny.org

John A. Tegeder, R.A.

Director of Planning
Town of Yorktown, N.Y.
1974 Commerce Street
Yorktown Heights, N.Y. 10598
Tel. (914)962-6565 x 326

**RE: UGM Yorktown
Pedestrian Walks
Jarmel Kizel Project Number: UNCLEG-S-21-132**

Dear Mr. Tegeder,

This letter is in response to inquiries made regarding the existing pedestrian walks within the parking areas at 335 Downing Drive, more specifically, fronting the proposed Uncle Giuseppe's Marketplace. As you know, on January 10, 2022, our office presented to the Yorktown Planning Board a construction plan to amend a portion of the parking lot in front of the proposed Uncle Giuseppe's which was being undertaken to improve the grade pursuant to ADA requirements. Subsequent to the approval by the Town Board, the concrete pedestrian paths that traverse sections of the parking lot and access drives, were observed to be in a state of disrepair. As such, the owner has proposed removal of the existing concrete pedestrian paths and reconstruction of the paths with full depth asphalt supplemented with sufficient crosswalk striping\pavement markings to delineate the new walks. The width\locations of the new pedestrian paths will match the existing paths.

Should you have any questions or require additional information at this time, please do not hesitate to contact our office.

Very truly yours,
Jarmel Kizel Architects and Engineers, Inc.

A handwritten signature in black ink, appearing to read 'Gerard P. Gesario', is written over a light blue horizontal line.

Gerard P. Gesario, PE
Director of Civil Engineering

S:\Projects\UNCLEG-S-21-132 335 Downing Dr. Yorktown Heights, NY\Construction\2022-08-02 Director of Planning Letter.docx

ARCHITECTURE
ENGINEERING
SPACE PLANNING
INTERIOR DESIGN
IMPLEMENTATION SERVICES

PRINCIPALS
MARVIN JARMEL, IIDA
MATTHEW B. JARMEL, AIA, MBA
IRWIN H. KIZEL, AIA, PP
RICHARD A. JARMEL, PE

NJ STATE BOARD OF
ARCHITECTS CERTIFICATE OF
AUTHORIZATION NUMBER 161

NJ STATE BOARD OF
PROFESSIONAL ENGINEERS
AND LAND SURVEYORS
CERTIFICATE OF
AUTHORIZATION NUMBER
GA278177

42 Okner Parkway
Livingston, NJ 07039

TEL: (973) 994-9669
FAX: (973) 994-4069

www.jarmelkizel.com

From: John Tegeder <jtegeder@yorktownny.org>

Sent: Friday, July 29, 2022 1:44 PM

To: Mario Vergara <mv@mvarchitects.biz>

Cc: Richard Hoffner <richardh@uncleg.com>; Gerry Gesario <ggesario@jkarch.com>; Matthew Jarmel <mbjarmel@jkarch.com>; John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>

Subject: RE: UGM Yorktown

Mr. Vergara and Mr. Gesario,

On January 10, 2022 your offices presented to the Yorktown Planning Board a construction plan to amend a portion of the parking lot in front of the proposed Uncle Giuseppe's which was being undertaken to improve the grade pursuant to ADA requirements. Those plans presented a graphic boundary of the scope of work proposed to be undertaken. We have observed that those boundaries have been exceeded and are in areas of work that have NOT been considered by the Yorktown Planning Board. Noteworthy is the removal of concrete pedestrian paths that traverse sections of the parking lot and access drives, none of which were presented as being proposed for alteration. Those paths are part of the functional characteristics of the approved site plan. Before proceeding further with whatever construction for these areas, outside of what has been presented and accepted by the Planning Board, we request that your office contact this department and provide details as to these additional constructions as soon as possible.

Thank you for your prompt attention.

John A. Tegeder, R.A.

Director of Planning

Town of Yorktown, N.Y.

1974 Commerce Street

Yorktown Heights, N.Y. 10598

Tel. (914)962-6565 x 326

Fax (914)962-3986

www.yorktownny.org

jtegeder@yorktownny.org

From: Marty Maguire <martym@uncleg.com>

Sent: Wednesday, August 3, 2022 1:11 PM

To: Dan Ciarcia <dciarcia@yorktownny.org>; Eden Kongoli <ekongoli@osterproperties.com>; Gerry Gesario <ggesario@jkarch.com>; John Tegeder <jtegeder@yorktownny.org>

Cc: John Landi <jlandi@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Kenny Rundle <krundle@yorktownny.org>

Subject: **RE: UGM Yorktown**

Permit was done today

From: Dan Ciarcia <dciarcia@yorktownny.org>

Sent: Wednesday, August 3, 2022 10:37 AM

To: Eden Kongoli <ekongoli@osterproperties.com>; Gerry Gesario <ggesario@jkarch.com>; John Tegeder <jtegeder@yorktownny.org>

Cc: John Landi <jlandi@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Marty Maguire <martym@uncleg.com>; Kenny Rundle <krundle@yorktownny.org>

Subject: **RE: UGM Yorktown**

Eden:

Please advise the contractor that the Engineering Department needs to be notified when the vaults are being installed. They also need to file for a sewer permit for this work.

Dan Ciarcia, P.E.
Town Engineer
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598
(914) 962-5722 x218

From: Dan Ciarcia <dciarcia@yorktownny.org>

Sent: Wednesday, August 3, 2022 8:26 AM

To: Gerry Gesario <ggesario@jkarch.com>; Eden Kongoli <ekongoli@osterproperties.com>; John Tegeder <jtegeder@yorktownny.org>

Cc: John Landi <jlandi@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Marty Maguire <martym@uncleg.com>; Kenny Rundle <krundle@yorktownny.org>

Subject: **RE: UGM Yorktown**

Gerry:

The contractor needs to file for a sewer permit for the modifications to the sewer connection.

Dan Ciarcia, P.E.
Town Engineer
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598
(914) 962-5722 x218

From: Gerry Gesario <ggesario@jkarch.com>
Sent: Wednesday, August 03, 2022 7:02 AM
To: Eden Kongoli <ekongoli@osterproperties.com>; Dan Ciarcia <dciarcia@yorktownny.org>;
John Tegeder <jtegeder@yorktownny.org>
Cc: John Landi <jlandi@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia
<ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Marty Maguire
<martym@uncleg.com>; Kenny Rundle <krundle@yorktownny.org>
Subject: **RE: UGM Yorktown**

Dan,

The “vaults” are the grease traps which were part of the approved plans.

Very truly yours,

Gerry Gesario, PE

Director of Civil Engineering
Jarmel Kizel Architects and Engineers, Inc.
42 Okner Parkway
Livingston , NJ 07039
973-994-9669 x167

From: Eden Kongoli <ekongoli@osterproperties.com>
Sent: Tuesday, August 2, 2022 8:17 PM
To: Dan Ciarcia <dciarcia@yorktownny.org>; Gerry Gesario <ggesario@jkarch.com>; John Tegeder
<jtegeder@yorktownny.org>
Cc: John Landi <jlandi@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia
<ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Marty Maguire
<martym@uncleg.com>; Kenny Rundle <krundle@yorktownny.org>
Subject: **Re: UGM Yorktown**

Dan,

The water break was fixed, repaired and coordinated with Water Department.

Best,

EDEN KONGOLI
Vice President
OSTER PROPERTIES
429 Sylvan Aven
Englewood Cliffs, NJ 07632
Office: 201-567-8807
Fax: 201-567-2428
Cell: 201-888-7898
ekongoli@osterproperties.com

From: Dan Ciarcia <dciarcia@yorktownny.org>

Sent: Tuesday, August 2, 2022 8:14:01 PM

To: Gerry Gesario <ggesario@jkarch.com>; John Tegeder <jtegeder@yorktownny.org>

Cc: John Landi <jlandi@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Eden Kongoli <ekongoli@osterproperties.com>; Marty Maguire <martym@uncleg.com>; Kenny Rundle <krundle@yorktownny.org>

Subject: **Re: UGM Yorktown**

Gerry:

There is utility work going on behind the building, and we have no plans for this. We also require a sewer permit for the new sewer connection. What is the purpose of the precast concrete vault, and where is it going to be installed?

Was the watermain repair over the weekend coordinated with the Water Department?

Dan Ciarcia, P.E.
Town Engineer
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598
(914) 962-5722 x218

From: Gerry Gesario <ggesario@jkarch.com>

Sent: Tuesday, August 2, 2022 4:34 PM

To: John Tegeder

Cc: John Landi; Dan Ciarcia; Robyn Steinberg; Nancy Calicchia; Richard Fon (richfon@aol.com); Eden Kongoli; Marty Maguire

Subject: **RE: UGM Yorktown**

I will provide the additional requested information by end of day tomorrow.

Very truly yours,

Gerry Gesario, PE
Director of Civil Engineering
Jarmel Kizel Architects and Engineers, Inc.
42 Okner Parkway
Livingston, NJ 07039
973-994-9669 x167

From: John Tegeder <jtegeder@yorktownny.org>

Sent: Tuesday, August 2, 2022 4:28 PM

To: Gerry Gesario <ggesario@jkarch.com>

Cc: John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Eden Kongoli <ekongoli@osterproperties.com>; Marty Maguire <martym@uncleg.com>

Subject: **RE: UGM Yorktown**

Gerry, Thank you. The plan does not show the extent of the proposed removal and replacement of the concrete walks. Please reference attached photos. There are two walks that are approximately 200 feet long and several additional typical crosswalks.

Please show all of the proposed removals and replacement sections in plan and please represent them graphically at least as to their length and width.

John A. Tegeder, R.A.
Director of Planning
Town of Yorktown, NY
1974 Commerce Street
Yorktown Heights, NY 10598
Tel: (914)962-6565 x326
Fax: (914)962-3986
www.yorktownny.org
jtegeder@yorktownny.org

From: Gerry Gesario <ggesario@jkarch.com>

Sent: Tuesday, August 2, 2022 2:28 PM

To: John Tegeder <jtegeder@yorktownny.org>

Cc: John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Eden Kongoli <ekongoli@osterproperties.com>; Marty Maguire <martym@uncleg.com>

Subject: **RE: UGM Yorktown**

John,

Attached are 2 drawings from the approved plan set which indicate the pedestrian walk reconstruction as a field change. The change has been clouded on the site plan and the striping detail clouded on the detail sheet attached.

Very truly yours,

Gerry Gesario, PE
Director of Civil Engineering
Jarmel Kizel Architects and Engineers, Inc.
42 Okner Parkway
Livingston, NJ 07039
973-994-9669 x167

From: John Tegeder <jtegeder@yorktownny.org>
Sent: Tuesday, August 2, 2022 1:28 PM
To: Gerry Gesario <ggesario@jkarch.com>
Cc: John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Eden Kongoli <ekongoli@osterproperties.com>; Marty Maguire <martym@uncleg.com>
Subject: **RE: UGM Yorktown**

Gerry please submit a plan showing the treatment.

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www.yorktownny.org
jtegeder@yorktownny.org

From: Gerry Gesario <ggesario@jkarch.com>
Sent: Tuesday, August 2, 2022 1:17 PM
To: John Tegeder <jtegeder@yorktownny.org>
Cc: John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>; Eden Kongoli <ekongoli@osterproperties.com>; Marty Maguire <martym@uncleg.com>
Subject: **RE: UGM Yorktown**

John,

Please see attached letter regarding the crosswalks\pedestrian paths.

Very truly yours,

Gerry Gesario, PE
Director of Civil Engineering
Jarmel Kizel Architects and Engineers, Inc.
42 Okner Parkway
Livingston, NJ 07039
973-994-9669 x167

From: Gerry Gesario <ggesario@jkarch.com>
Sent: Tuesday, August 2, 2022 10:58 AM
To: John Tegeder <jtegeder@yorktownny.org>
Cc: John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>
Subject: **RE: UGM Yorktown**

Hello John,

Following up from last Friday. I am told the property owner spoke with someone in the Town about removing these concrete walks due to the level of disrepair they were exhibiting. I am trying to find out who talked to who on this issue and will circle back as soon as I get an answer.

Very truly yours,
Gerry Gesario, PE
Director of Civil Engineering

Jarmel Kizel Architects and Engineers, Inc.
42 Okner Parkway
Livingston , NJ 07039
973-994-9669 x167

From: John Tegeder <jtegeder@yorktownny.org>
Sent: Friday, July 29, 2022 3:15 PM
To: Gerry Gesario <ggesario@jkarch.com>; Mario Vergara <mv@mvarchitects.biz>
Cc: Richard Hoffner <richardh@uncleg.com>; Matthew Jarmel <mbjarmel@jkarch.com>; John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>
Subject: **RE: UGM Yorktown**

Thank You, Gerry. I look forward to your further response on Monday.
Have a nice weekend.

John A. Tegeder, R.A.
Director of Planning
Town of Yorktown, N.Y.
1974 Commerce Street
Yorktown Heights, N.Y. 10598
Tel. (914)962-6565 x 326
Fax (914)962-3986
www.yorktownny.org
jtegeder@yorktownny.org

From: John Tegeder <jtegeder@yorktownny.org>
Sent: Friday, July 29, 2022 1:44 PM
To: Mario Vergara <mv@mvarchitects.biz>
Cc: Richard Hoffner <richardh@uncleg.com>; Gerry Gesario <ggesario@jkarch.com>; Matthew Jarmel <mbjarmel@jkarch.com>; John Landi <jlandi@yorktownny.org>; Dan Ciarcia <dciarcia@yorktownny.org>; Robyn Steinberg <rsteinberg@yorktownny.org>; Nancy Calicchia <ncalicchia@yorktownny.org>; Richard Fon (richfon@aol.com) <richfon@aol.com>
Subject: **RE: UGM Yorktown**

Mr. Vergara and Mr. Gesario,

On January 10, 2022 your offices presented to the Yorktown Planning Board a construction plan to amend a portion of the parking lot in front of the proposed Uncle Giuseppe's which was being undertaken to improve the grade pursuant to ADA requirements. Those plans presented a graphic boundary of the scope of work proposed to be undertaken. We have observed that those boundaries have been exceeded and are in areas of work that have NOT been considered by the Yorktown Planning Board. Noteworthy is the removal of concrete pedestrian paths that traverse sections of the parking lot and access drives, none of which were presented as being proposed for alteration. Those paths are part of the functional characteristics of the approved site plan. Before proceeding further with whatever construction for these areas, outside of what has been presented and accepted by the Planning Board, we request that your office contact this department and provide details as to these additional constructions as soon as possible.

Thank you for your prompt attention.

John A. Tegeder, R.A.
Director of Planning
Town of Yorktown, N.Y.
1974 Commerce Street
Yorktown Heights, N.Y. 10598
Tel. (914)962-6565 x 326
Fax (914)962-3986
www.yorktownny.org
jtegeder@yorktownny.org

SURVEY REFERENCE:

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, 331-379 DOWNING DRIVE, SECTION 3718, BLOCK 2, LOT 56, TOWN OF YORKTOWN, COUNTY OF WESTCHESTER, NEW YORK", BY SUBURBAN ENGINEERING, 7 COKEBURY CALIFON ROAD, LEBANON, NJ, DATED DECEMBER 16, 2020, WITH NO REVISION DATE.
- ORTHOPHOTOGRAPHY - NY STATE DIGITAL ORTHOMAGERY PROGRAM (NYSDDP), OFFICE OF GEOGRAPHIC INFORMATION SYSTEMS (OGIS), AND U.S. GEOLOGICAL SURVEY, 20160224, NEW YORK 2018 HIGH RESOLUTION ORTHOPHOGRAPHY, NAD83(2011) NY STATE PLANE COORDINATE SYSTEM (FEET).

N.Y.S.P.C.S.
(NAD-83)

GENERAL NOTES:

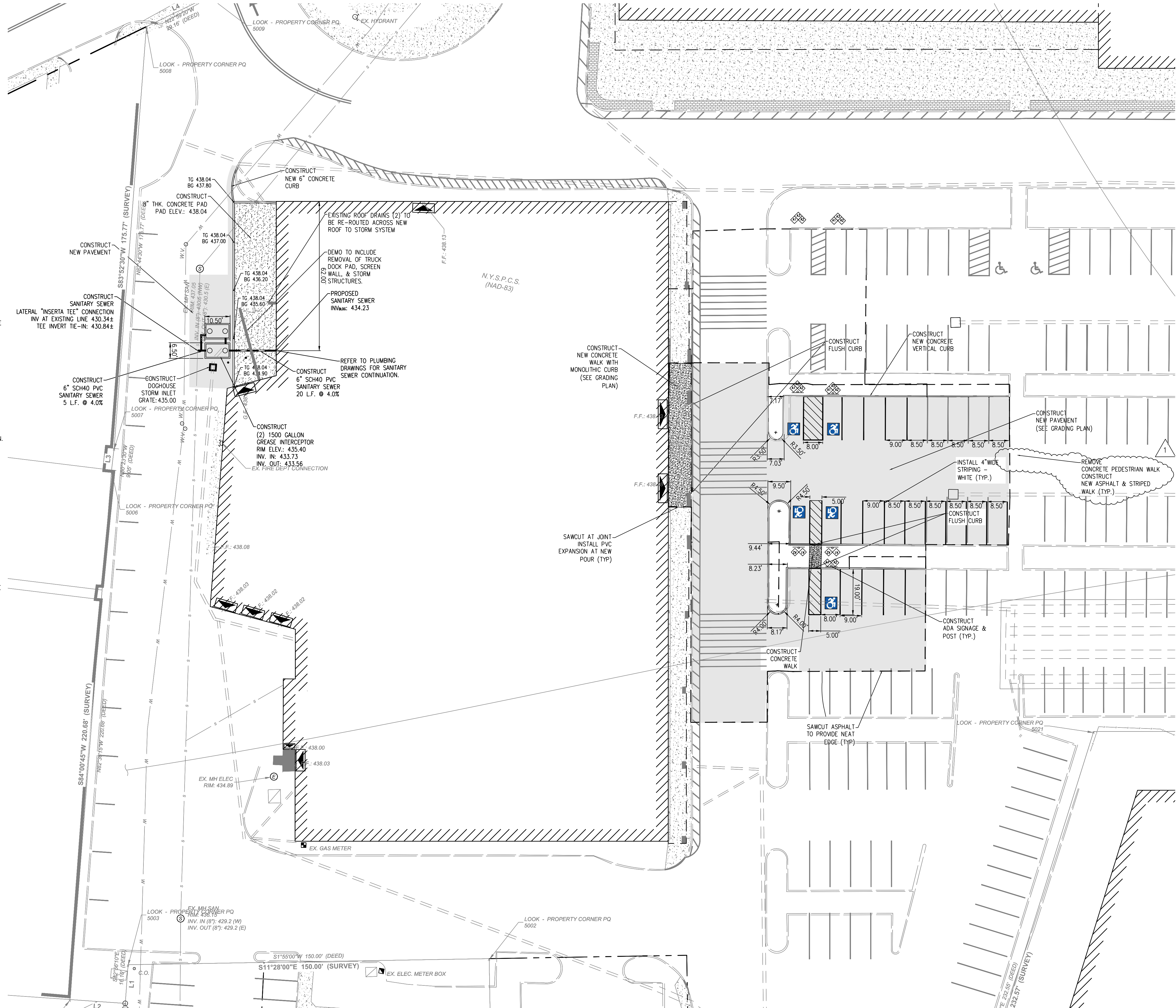
- CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NYS DOT STANDARD SPECIFICATIONS (LATEST EDITION AND AMENDMENTS).
- THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
- CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC., SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- THE CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC FROM THE CONSTRUCTION SITE ONTO OTHER SITES, ROW, PUBLIC OR PRIVATE STREET.
- SHOULD CONSTRUCTION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS IS NECESSARY TO AVOID DAMAGE THERETO, TO PROVIDE FOR THE PROPOSED USE. THE LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE BASED ON DESIGN DRAWINGS, NOT AS-BUILTS. THE CONTRACTOR MUST VERIFY THE EXACT LOCATIONS OF ALL EXISTING UTILITIES INCLUDING THOSE THAT ARE CUSTOMER OWNED.

CONSTRUCTION NOTES AND SPECIFICATIONS:

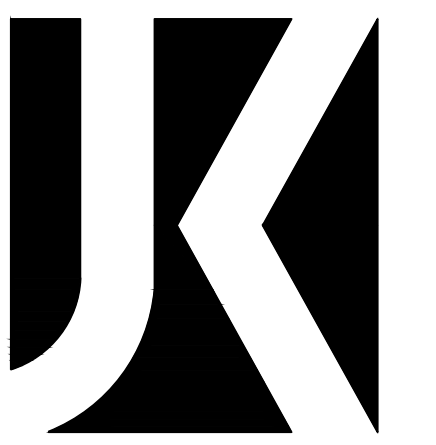
- MILLING AND/OR PAVEMENT REMOVAL SHALL BE TO A MINIMUM DEPTH OF 2 INCHES.
- CONTRACTOR SHALL SAW CUT ASPHALT TO PROVIDE A NEAT EDGE WHERE NEW ASPHALT WILL MEET EXISTING ASPHALT.
- AREAS OF FULL DEPTH RECONSTRUCTION SHALL BE BOXED OUT A MINIMUM OF 12 INCHES AND MAXIMUM OF 18 INCHES BEYOND LIMITS OF DETERIORATED PAVEMENT.
- AFTER MILLING, ANY SURFACE CRACKS IN THE REMAINING ASPHALT COURSE SHALL BE SEALED WITH A RUBBERIZED COLD-APPLIED ASPHALT EMULSION CRACK SEALANT SUCH AS "SEALMASTER" POURABLE CRACK SEALANT OR EQUAL.
- AFTER MILLING AND PRIOR TO APPLYING THE SURFACE COURSE, EXISTING REMAINING ASPHALT COURSE SHALL RECEIVE AN EMULSIFIED ASPHALT TACK COAT (RS-1) APPLIED AT A RATE OF 0.15 GALLONS PER SQUARE YARD. TACK COAT SHALL BE APPLIED ONLY TO AREAS TO BE PAVED IN THE SAME DAY.
- AFTER MILLING, CONTRACTOR SHALL INSTALL AN HMA LEVELING COURSE AT IDENTIFIED LOW SPOTS. CONTRACTOR SHALL PROVIDE A SEPARATE PRICE FOR SQUARE YARDS OF LEVELING COURSE. FOR BIDDING, CONTRACTOR SHALL PROVIDE A PRICE BASED ON 500 SQUARE YARDS OF LEVELING COURSE INSTALLED. FEE WILL BE ADJUSTED AS A CREDIT OR EXTRA DEPENDING ON THE ACTUAL QUANTITY OF CONSTRUCTION.
- STRIPING SHALL BE LATEX PAINT, TWO (2) COATS APPLIED IN THE COLOR TO MATCH EXISTING.

SOIL NOTES:

- DURING EXCAVATION FOR PLACEMENT OF THE GREASE TRAPS, IF ORGANICS ARE DISCOVERED IN THIS AREA, IT WILL BE NECESSARY TO REMOVE AND REPLACE THE ORGANIC MATERIAL WITH NEW FILL. THE ORGANIC LAYER IS APPROXIMATELY 5 FEET BELOW EXISTING GRADE.
- IF GROUNDWATER IS ENCOUNTERED, EXCAVATION AREA SHALL BE OVER-EXCAVATED, DEWATERED, AND FILLED WITH 1/2" CLEAN STONE, MINIMUM 12 INCHES THICK, PRIOR TO PLACEMENT OF THE GREASE TRAPS.



SITE PLAN
SCALE: 1"=20'



Jarmel Kizel

ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069

www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1	11-30-2021	FOR BUILDING PERMIT	GPG
2	07-13-2022	FOR FIELD CHANGE	GPG
3	08-02-2022	PED WALK APPROVAL	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	07-13-2022	ADDED DIMENSIONS	GPG
2	08-02-2022	ADDED PED WALK WORK	GPG

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA
RICHARD A. JARMEL, PE

ARCHITECTS & ENGINEERS

JASMINE ALCAIDE, AIA
RONALD A. BROKENSHIRE, PE
JEROME LESLIE EBEN, P.A., P.P.
GERARD P. GESSARIO, PE
FREDERICK KINGAID, AIA
DAVID L. LESINSKI, P.A.
KAROLINA PODKONOWICZ, AIA
CHERYL SCHWEIKER, AIA

Project:
UNCLE GIUSEPPE'S MARKETPLACE
335 DOWNING DRIVE
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK
SECTION 37.18, BLOCK 2, LOT 56

Project Number: **UNCLEG-S-21-132** Scale: **1" = 20'**
Drawn By: **A.P.P.** Approved By: **G.P.G.**

Drawing Name: **SITE PLAN**

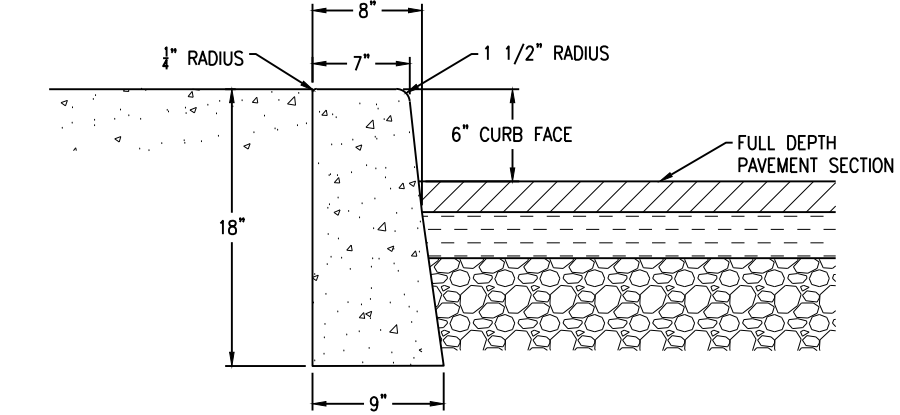
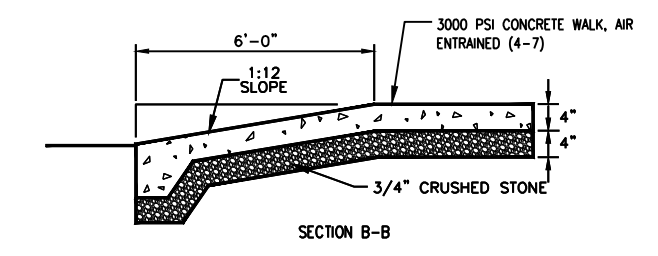
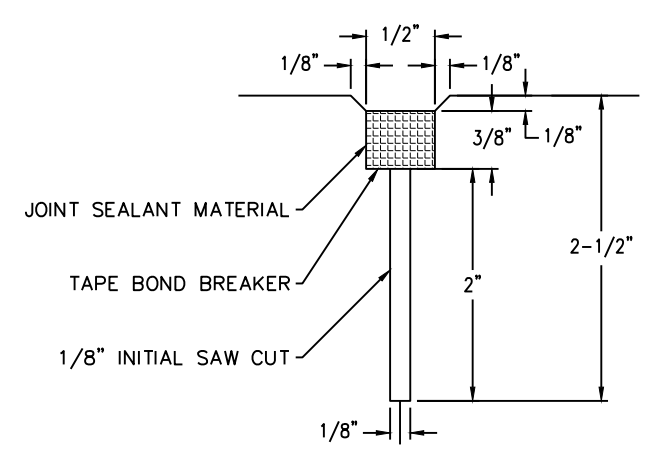
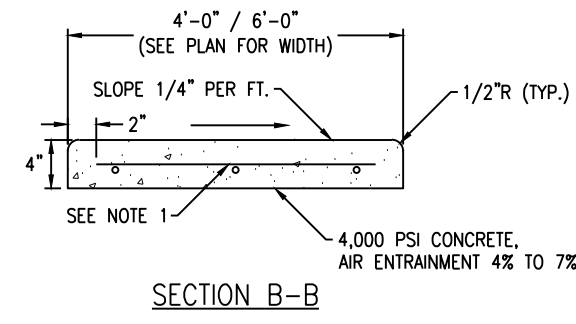
Drawing Number:
C-200
3 OF 8

Initial Date: OCTOBER 4, 2021

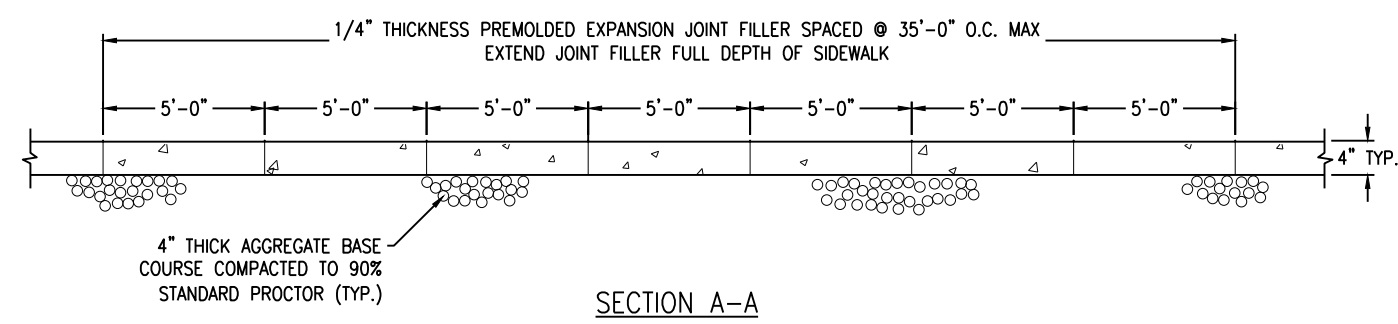
ENGINEER OF RECORD

Richard A. Jarmel
RICHARD A. JARMEL, PE
NY LIC 073898-1 EXP. 10/31/22

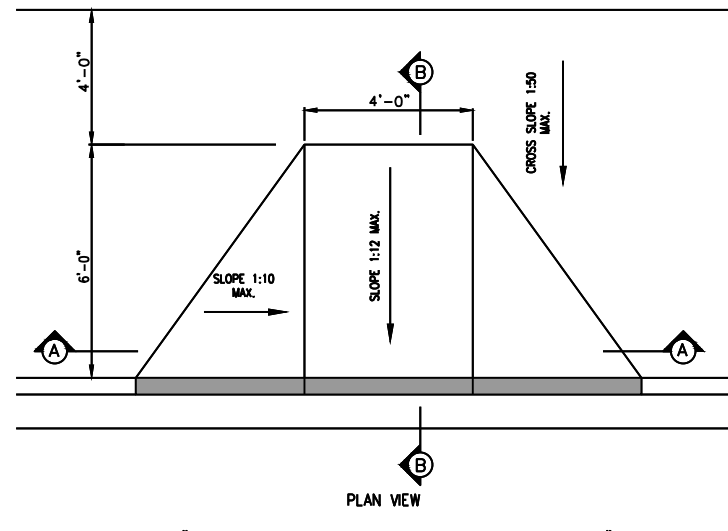
S:\PROJECTS\UNCLEG-S-21-132-335 DOWNING DR. YORKTOWN HEIGHTS, NY\CAD\21-132 C-900 CONSTRUCTION DETAILS.DWG GGS:ARI0 PLOTTED: 8/22/2022 1:54 PM



- NOTES:
- SUBGRADE SHALL BE COMPACTED IN A MANNER SUITABLE TO THE TOWNSHIP / COUNTY ENGINEER (WHERE APPLICABLE).
 - CONCRETE TO TEST 4,000 PSI MINIMUM ON 28 DAY DAY TEST, AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3" MAX.
 - EXPANSION JOINTS 1/2" WIDE SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE 1" BELOW THE OUTSIDE OF THE CURB SURFACE. EXPANSION JOINTS SHALL BE LOCATED 30' ON CENTER.
 - CONTRACTION JOINTS ARE TO BE CONSTRUCTED WITH 1" STEEL DIVISION PLATES SET 10' ON CENTER.
 - ALL EXPOSED SURFACES ARE TO BE COATED WITH A TRANSLUCENT CURING COMPOUND NDOT STD. SPEC 504.03.02.F IMMEDIATELY FOLLOWING FINAL FINISHING. COVERAGE SHALL NOT BE LESS THAN ONE GALLON PER 200 SQUARE FEET.
 - 6" CURB FACE SHALL BE CONSTRUCTED WITHIN PRIVATE COMMERCIAL PARKING AREAS.
 - 8" CURB FACE SHALL BE CONSTRUCTED ON COUNTY ROADS.

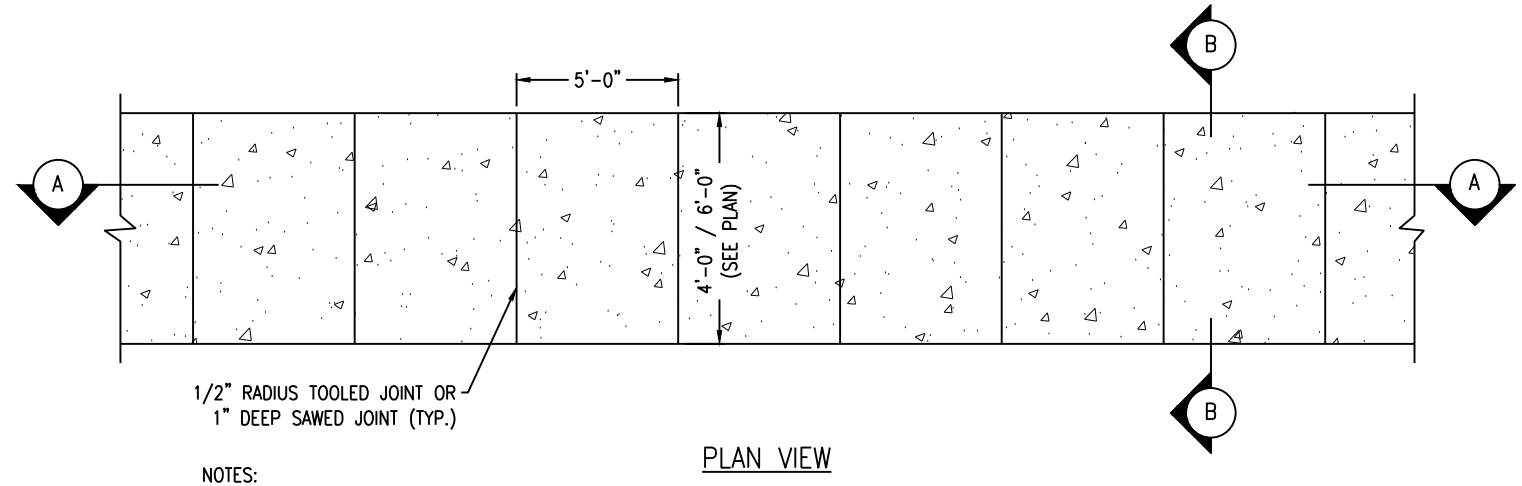


CONSTRUCTION JOINT (MAX 20'-0" O.C.)
N.T.S.

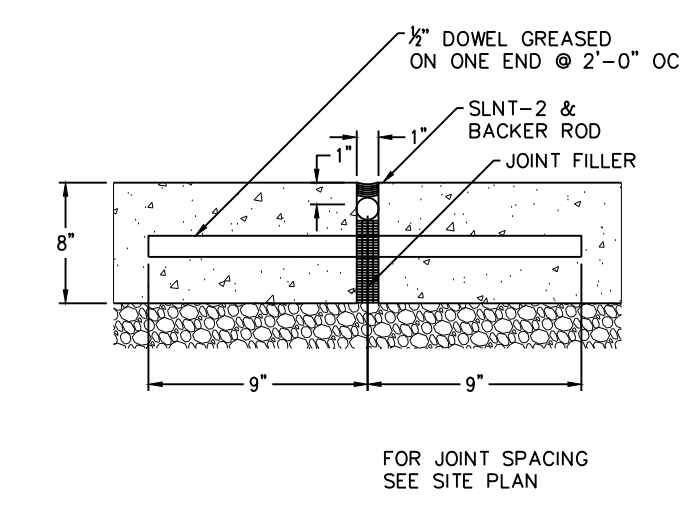


HANDICAP CURB AT SIDEWALK
N.T.S.

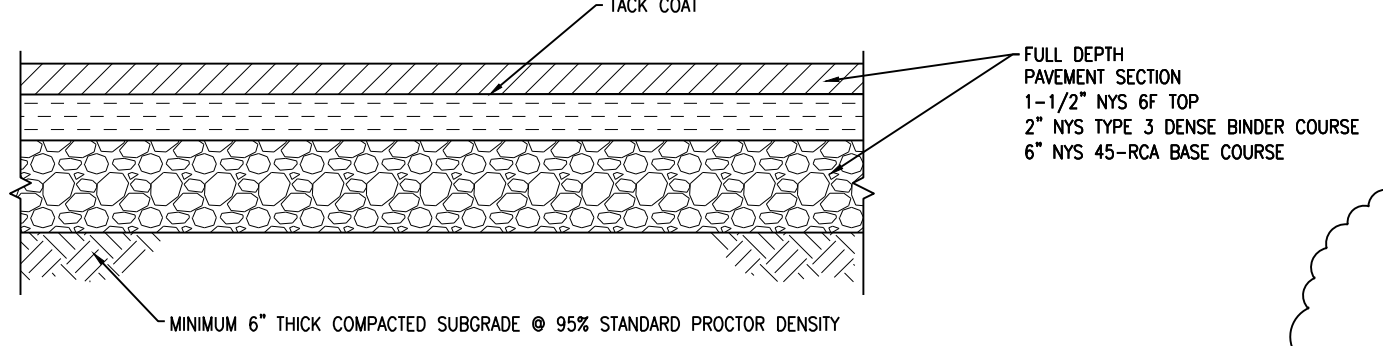
6" CONCRETE CURB
N.T.S.



CONCRETE SIDEWALK
N.T.S.

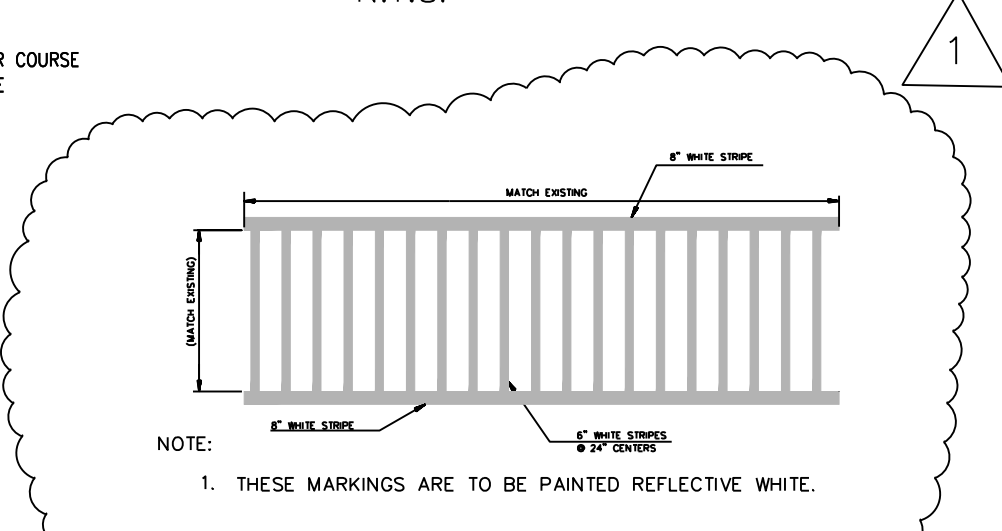


EXPANSION JOINT (MAX 20'-0" O.C.)
N.T.S.

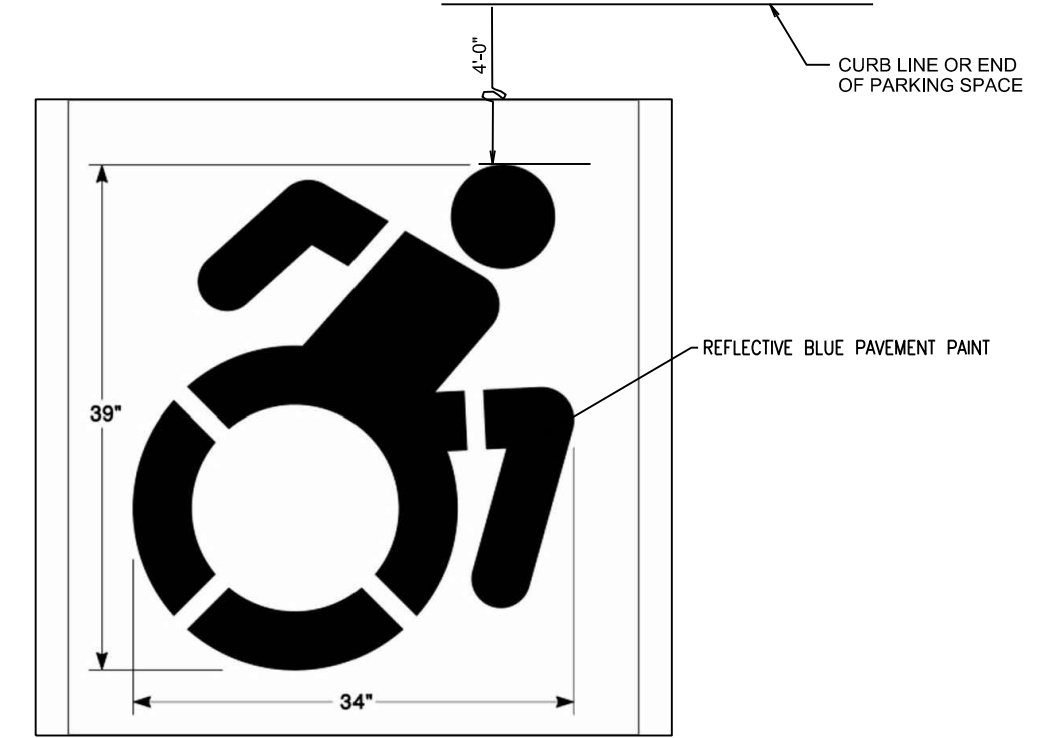


- NOTES:
- THE ASPHALT BINDER COURSE SHALL MEET THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 403 HOT MIX ASPHALT (HMA) PAVEMENTS FOR MUNICIPALITIES - TYPE 3 BINDER COURSE.
 - THE ASPHALT TOP COURSE SHALL MEET THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 403 HOT MIX ASPHALT (HMA) PAVEMENTS FOR MUNICIPALITIES - TYPE 6F TOP COURSE.

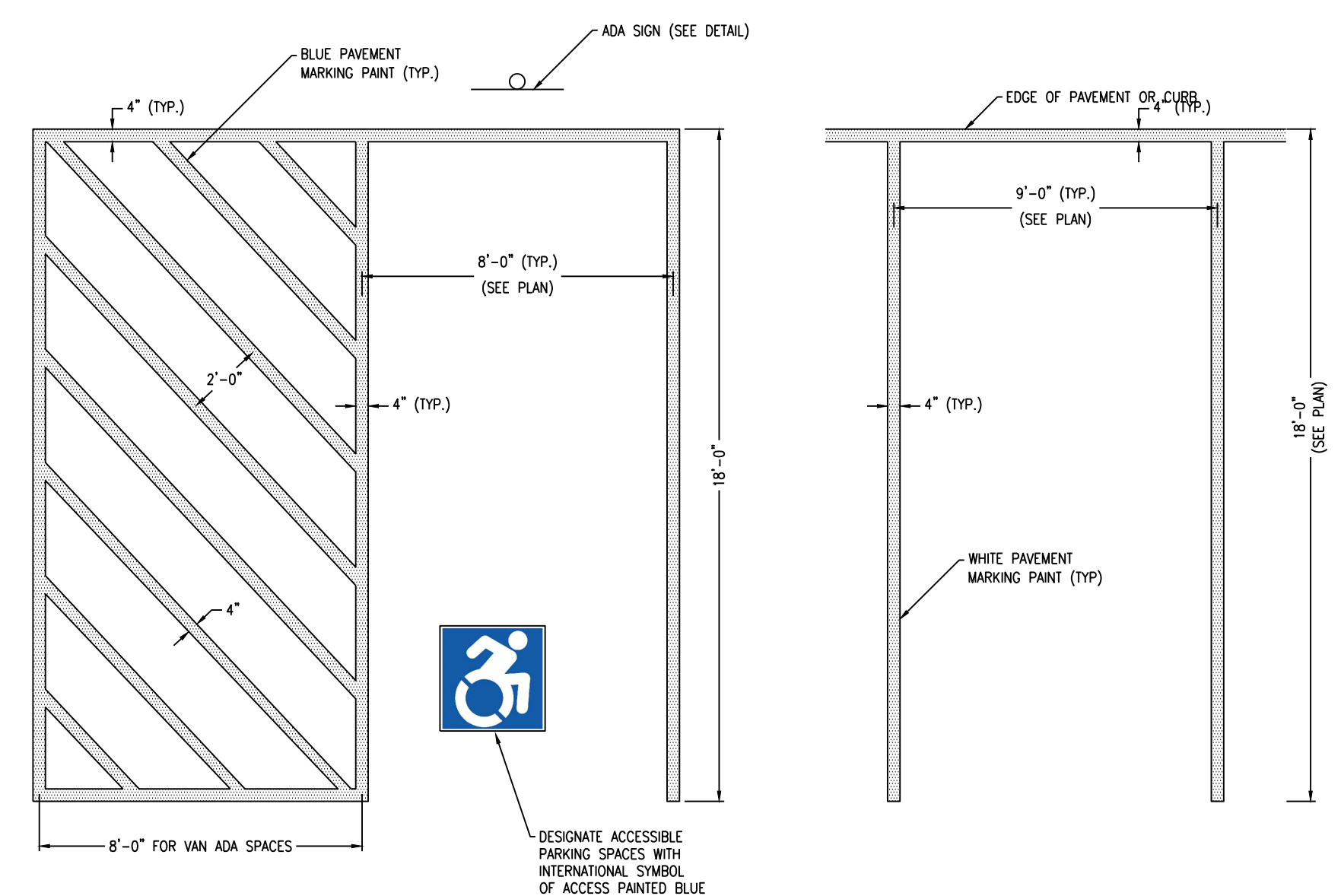
ASPHALT PAVEMENT SECTION
N.T.S.



PEDESTRIAN CROSSWALK DETAIL
N.T.S.

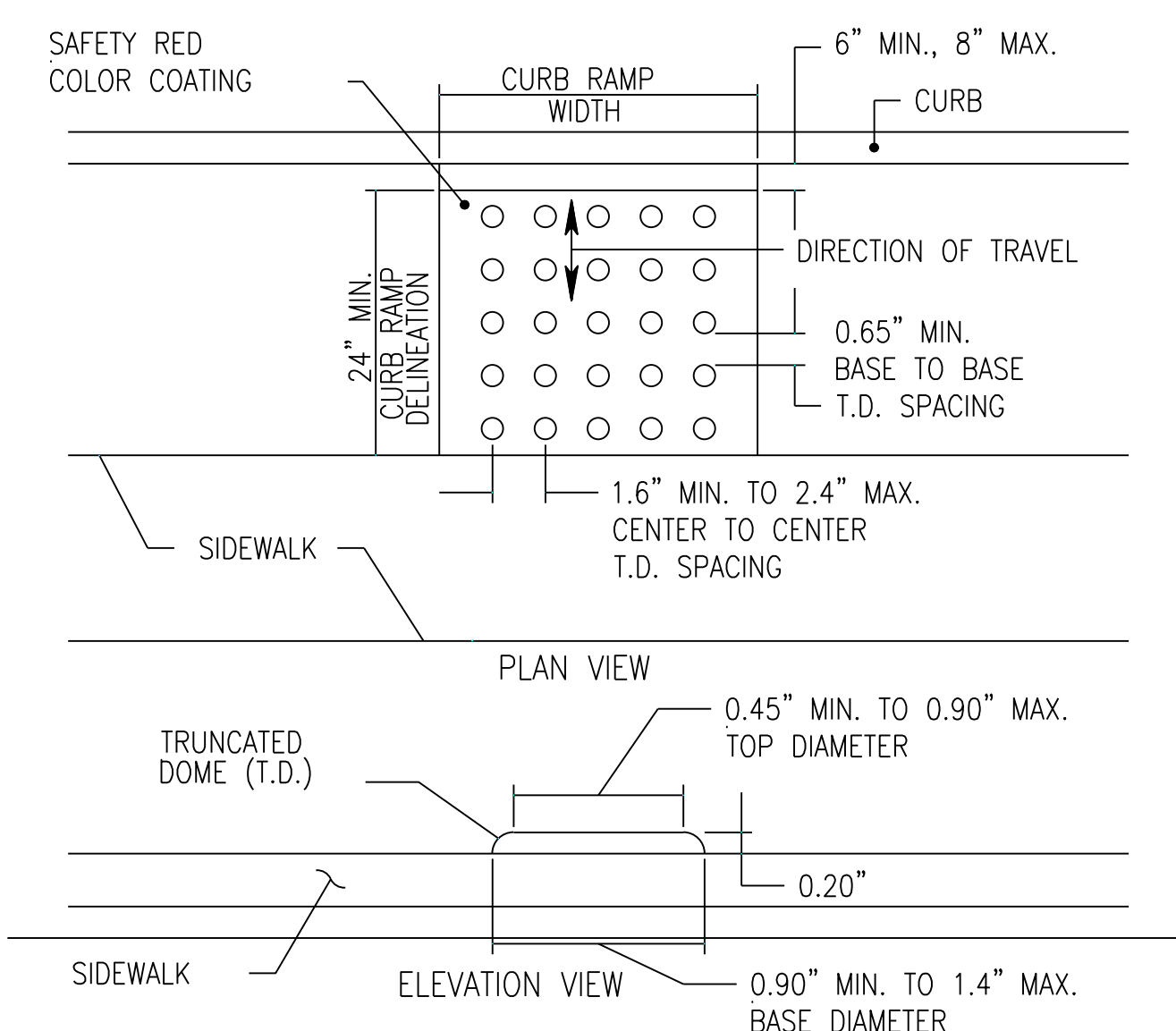


ADA PAVEMENT MARKING
N.T.S.

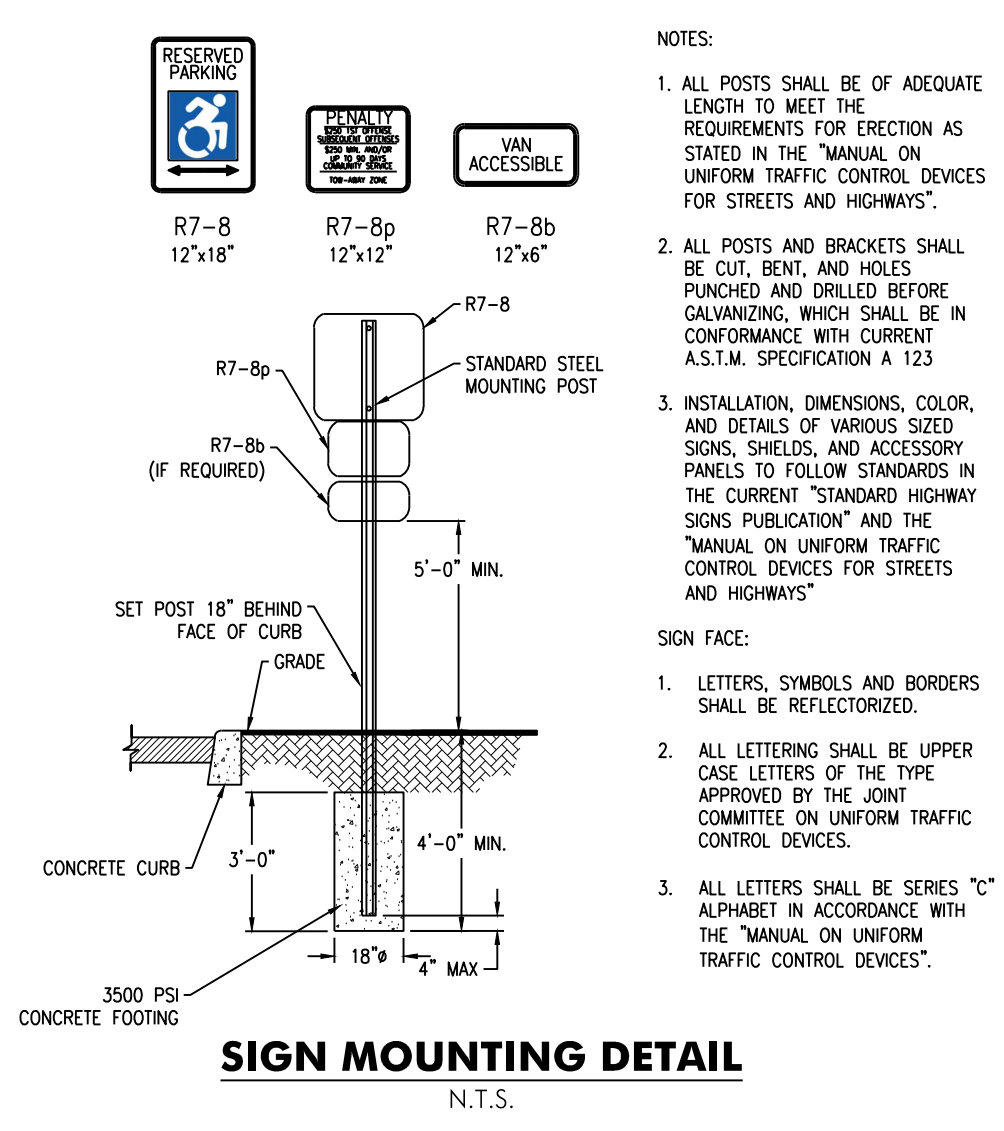


ADA PARKING SPACE STRIPING
N.T.S.

STANDARD PARKING SPACE STRIPING
N.T.S.



DETECTABLE WARNING SURFACE
N.T.S.



SIGN MOUNTING DETAIL
N.T.S.

- NOTES:
- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 - ALL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A 123.
 - INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZED SIGNS, SHIELDS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT "STANDARD HIGHWAY SIGNS PUBLICATION" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
- SIGN FACE:
- LETTERS, SYMBOLS AND BORDERS SHALL BE REFLECTORIZED.
 - ALL LETTERING SHALL BE UPPER CASE LETTERS OF THE TYPE APPROVED BY THE JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.
 - ALL LETTERS SHALL BE SERIES "C" ALPHABET IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

Jarmel Kizel
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FAX: 973-994-4069
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Architecture
Engineering
Interior Design
Implementation Services

ISSUE			
NO.	DATE	DESCRIPTION	INT.
1	11-30-2021	FOR BUILDING PERMIT	GPG
2	07-13-2022	FOR FIELD CHANGE	GPG
Δ	08-02-2022	PED WALK APPROVAL	GPG

REVISION			
NO.	DATE	DESCRIPTION	INT.
Δ	08-02-2022	ADDED PED WALK WORK	GPG

PRINCIPALS
MATTHEW B. JARMELE, AIA, MBA
RICHARD A. JARMELE, PE
IRWIN H. KIZEL, AIA, PP

ARCHITECTS & ENGINEERS
JASMINE ALCAIDE, AIA
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FREDERICK KINGAID, AIA
DAVID L. LESINSKI, P.A.
KAROLINA POOKANOWICZ, AIA
CHERYL SCHWEIKER, AIA

Project: **UNCLE GIUSEPPE'S MARKETPLACE**
335 DOWNING DRIVE
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK
SECTION 37.18, BLOCK 2, LOT 56

Project Number: **UNCLEG-S-21-132** Scale: **AS NOTED**

Drawn By: **A.P.P.** Approved By: **G.P.G.**

Drawing Name: **DETAIL SHEET 1**

Drawing Number: **C-900**
5 OF 8

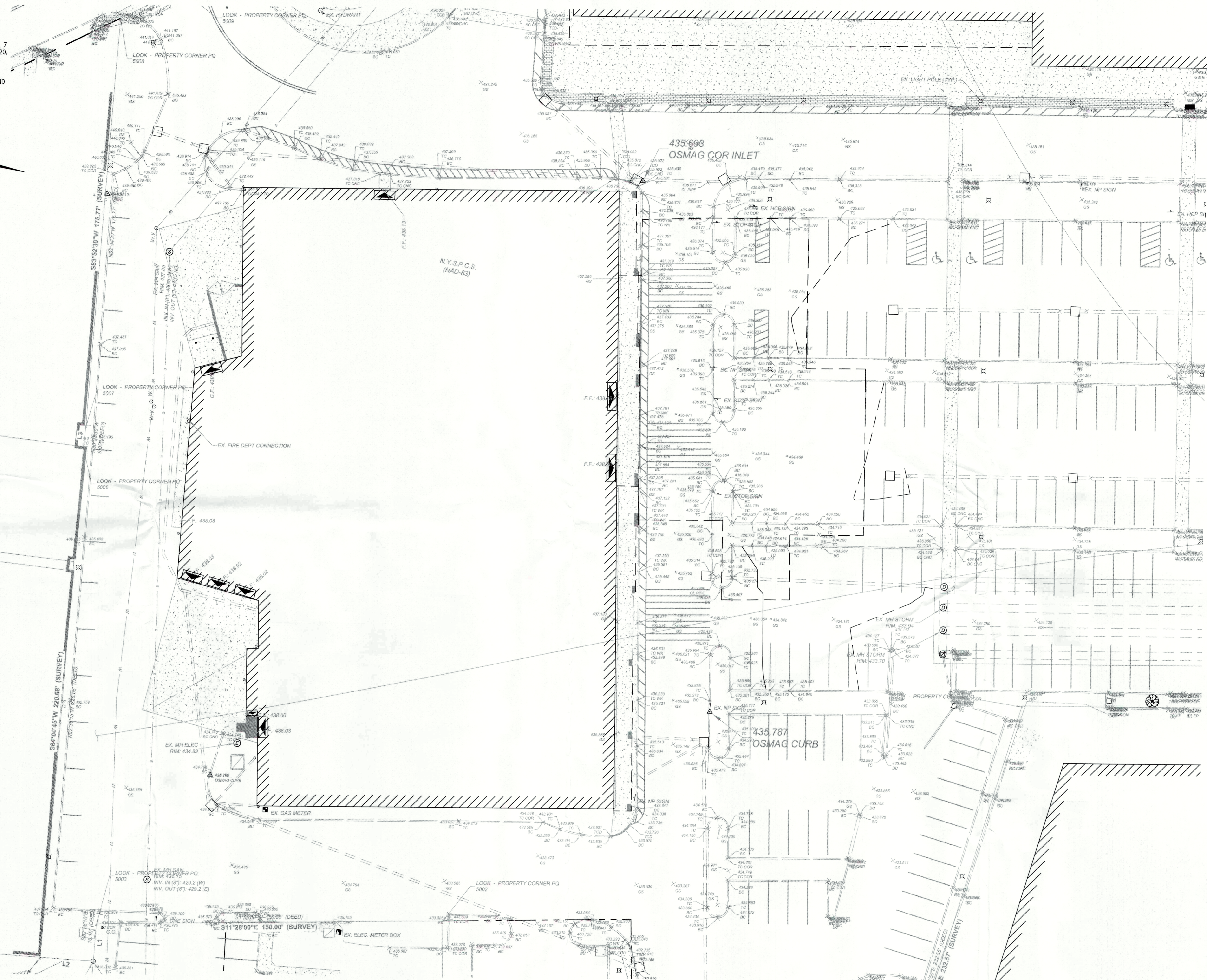
Initial Date: OCTOBER 4, 2021

ENGINEER OF RECORD

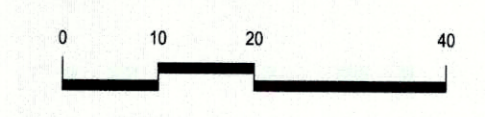
SURVEY REFERENCE:

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, 331-379 DOWNING DRIVE, SECTION 37.18, BLOCK 2, LOT 56, TOWN OF YORKTOWN, COUNTY OF WESTCHESTER, NEW YORK", BY SUBURBAN ENGINEERING, 7 COKESBURY CALIFORN ROAD, LEBANON, NJ, DATED DECEMBER 16, 2020, WITH NO REVISION DATE.
- ORTHOPHOTOGRAPHY - NY STATE DIGITAL ORTHOMAGERY PROGRAM (NYS-DOP), OFFICE OF GEOGRAPHIC INFORMATION SYSTEMS (OGIS), AND U.S. GEOLOGICAL SURVEY, 20160224, NEW YORK 2018 HIGH RESOLUTION ORTHOPHOGRAPHY, NAD83(2011) NY STATE PLANE COORDINATE SYSTEM (FEET).

N.Y.S.P.C.S.
(NAD-83)



EXISTING CONDITIONS PLAN
SCALE: 1"=20'



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ISSUE

NO.	DATE	DESCRIPTION	INT.
1	11-30-2021	FOR BUILDING PERMIT	PGP

REVISION

NO.	DATE	DESCRIPTION	INT.
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FREDERICK KINGMA, AA
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CHERYL SCHNEIDER, AIA

Project:
UNCLE GIUSEPPE'S MARKETPLACE
335 DOWNING DRIVE
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK
SECTION 37.18, BLOCK 2, LOT 56

Project Number: **UNCLE-G-S-21-132** Scale: **1" = 20'**
Drawn By: **A.P.P.** Approved By: **G.P.G.**
Drawing Name:

EXISTING CONDITIONS

Drawing Number:
C-100
2 OF 8

Initial Date: **OCTOBER 4, 2021**

ENGINEER OF RECORD
RICHARD A. JARMEL, PE
NY Lic. 07000001

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N.Y.S.P.C.S.
(NAD-83)

GENERAL NOTES:

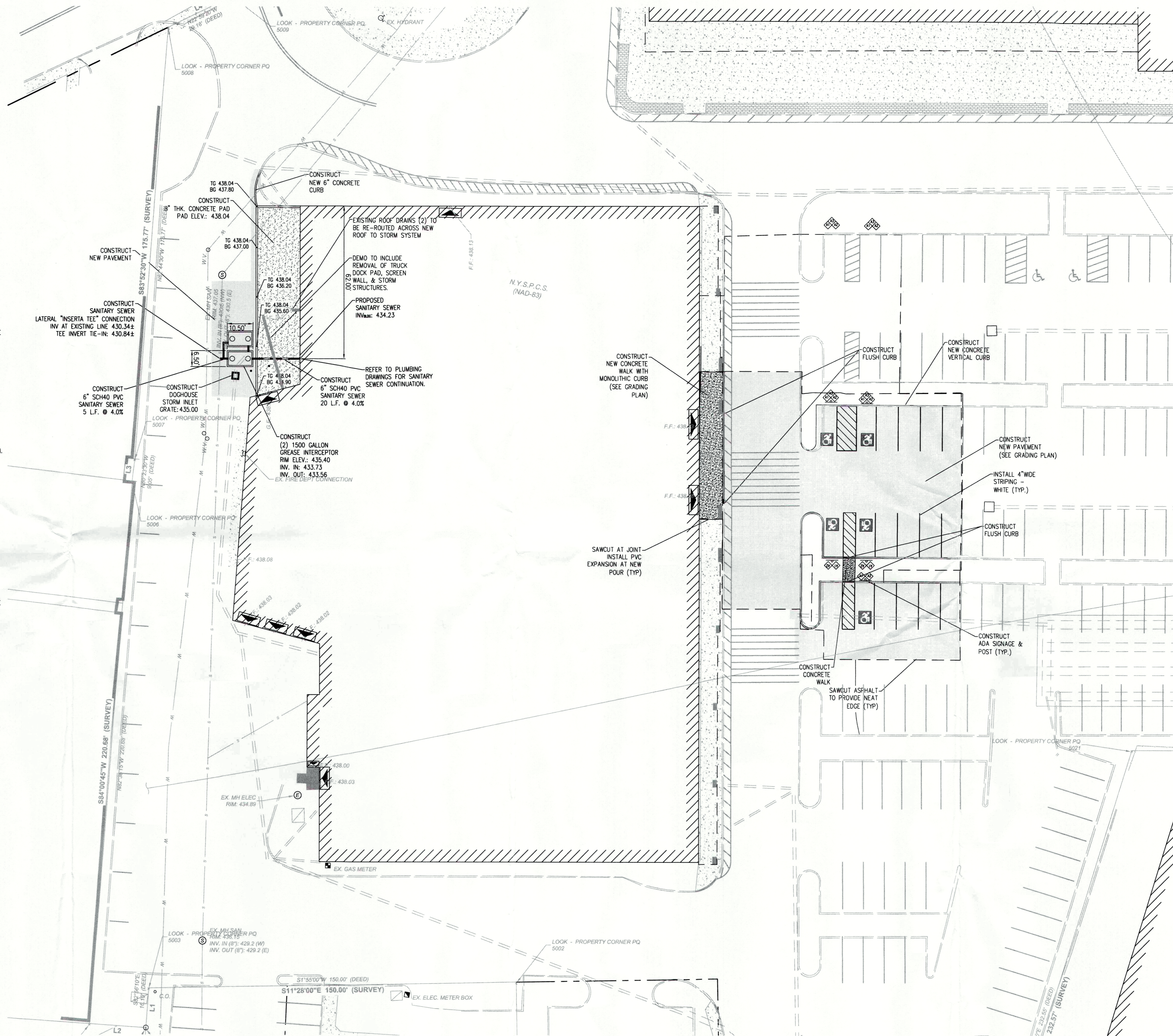
- CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NYSDOT STANDARD SPECIFICATIONS (LATEST EDITION AND AMENDMENTS).
- THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
- CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC, SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- THE CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC FROM THE CONSTRUCTION SITE ONTO OTHER SITES, ROW, PUBLIC OR PRIVATE STREET.
- SHOULD CONSTRUCTION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS IS NECESSARY TO AVOID DAMAGE THERETO, TO PROVIDE FOR THE PROPOSED USE. THE LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE BASED ON DESIGN DRAWINGS, NOT AS-BUILTS. THE CONTRACTOR MUST VERIFY THE EXACT LOCATIONS OF ALL EXISTING UTILITIES INCLUDING THOSE THAT ARE CUSTOMER OWNED.

CONSTRUCTION NOTES AND SPECIFICATIONS:

- MILLING AND/OR PAVEMENT REMOVAL SHALL BE TO A MINIMUM DEPTH OF 2 INCHES.
- CONTRACTOR SHALL SAW CUT ASPHALT TO PROVIDE A NEAT EDGE WHERE NEW ASPHALT WILL MEET EXISTING ASPHALT.
- AREAS OF FULL DEPTH RECONSTRUCTION SHALL BE BOXED OUT A MINIMUM OF 12 INCHES AND MAXIMUM OF 18 INCHES BEYOND LIMITS OF DETERIORATED PAVEMENT.
- AFTER MILLING, ANY SURFACE CRACKS IN THE REMAINING ASPHALT COURSE SHALL BE SEALED WITH A RUBBERIZED COLD-APPLIED ASPHALT EMULSION CRACK SEALANT SUCH AS "SEALMASTER" POURABLE CRACK SEALANT OR EQUAL.
- AFTER MILLING AND PRIOR TO APPLYING THE SURFACE COURSE, EXISTING REMAINING ASPHALT COURSE SHALL RECEIVE AN EMULSIFIED ASPHALT TACK COAT (RS-1) APPLIED AT A RATE OF 0.15 GALLONS PER SQUARE YARD. TACK COAT SHALL BE APPLIED ONLY TO AREAS TO BE PAVED IN THE SAME DAY.
- AFTER MILLING, CONTRACTOR SHALL INSTALL AN HMA LEVELING COURSE AT IDENTIFIED LOW SPOTS. CONTRACTOR SHALL PROVIDE A SEPARATE PRICE FOR SQUARE YARDS OF LEVELING COURSE. FOR BIDDING, CONTRACTOR SHALL PROVIDE A PRICE BASED ON 500 SQUARE YARDS OF LEVELING COURSE INSTALLED. FEE WILL BE ADJUSTED AS A CREDIT OR EXTRA DEPENDING ON THE ACTUAL QUANTITY OF CONSTRUCTION.
- STRIPING SHALL BE LATEX PAINT, TWO (2) COATS APPLIED IN THE COLOR TO MATCH EXISTING.

SOIL NOTES:

- DURING EXCAVATION FOR PLACEMENT OF THE GREASE TRAPS, IF ORGANICS ARE DISCOVERED IN THIS AREA, IT WILL BE NECESSARY TO REMOVE AND REPLACE THE ORGANIC MATERIAL WITH NEW FILL. THE ORGANIC LAYER IS APPROXIMATELY 5 FEET BELOW EXISTING GRADE.
- IF GROUNDWATER IS ENCOUNTERED, EXCAVATION AREA SHALL BE OVER-EXCAVATED, DEWATERED, AND FILLED WITH 2" CLEAN STONE. MINIMUM 12 INCHES THICK, PRIOR TO PLACEMENT OF THE GREASE TRAPS.



SITE PLAN
SCALE: 1"=20'



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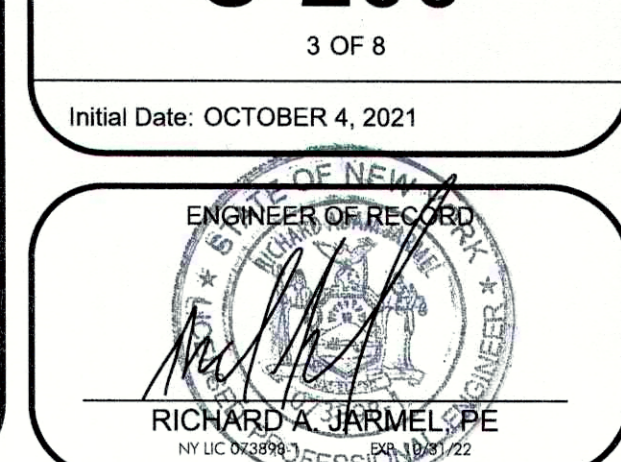
Project:
UNCLE GIUSEPPE'S MARKETPLACE
335 DOWNING DRIVE
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK
SECTION 37.18, BLOCK 2, LOT 56

Project Number: UNCLEG-S-21-132
Scale: 1" = 20'
Drawn By: A.P.P.
Approved By: G.P.G.

Drawing Name: **SITE PLAN**

Drawing Number: **C-200**
3 OF 8

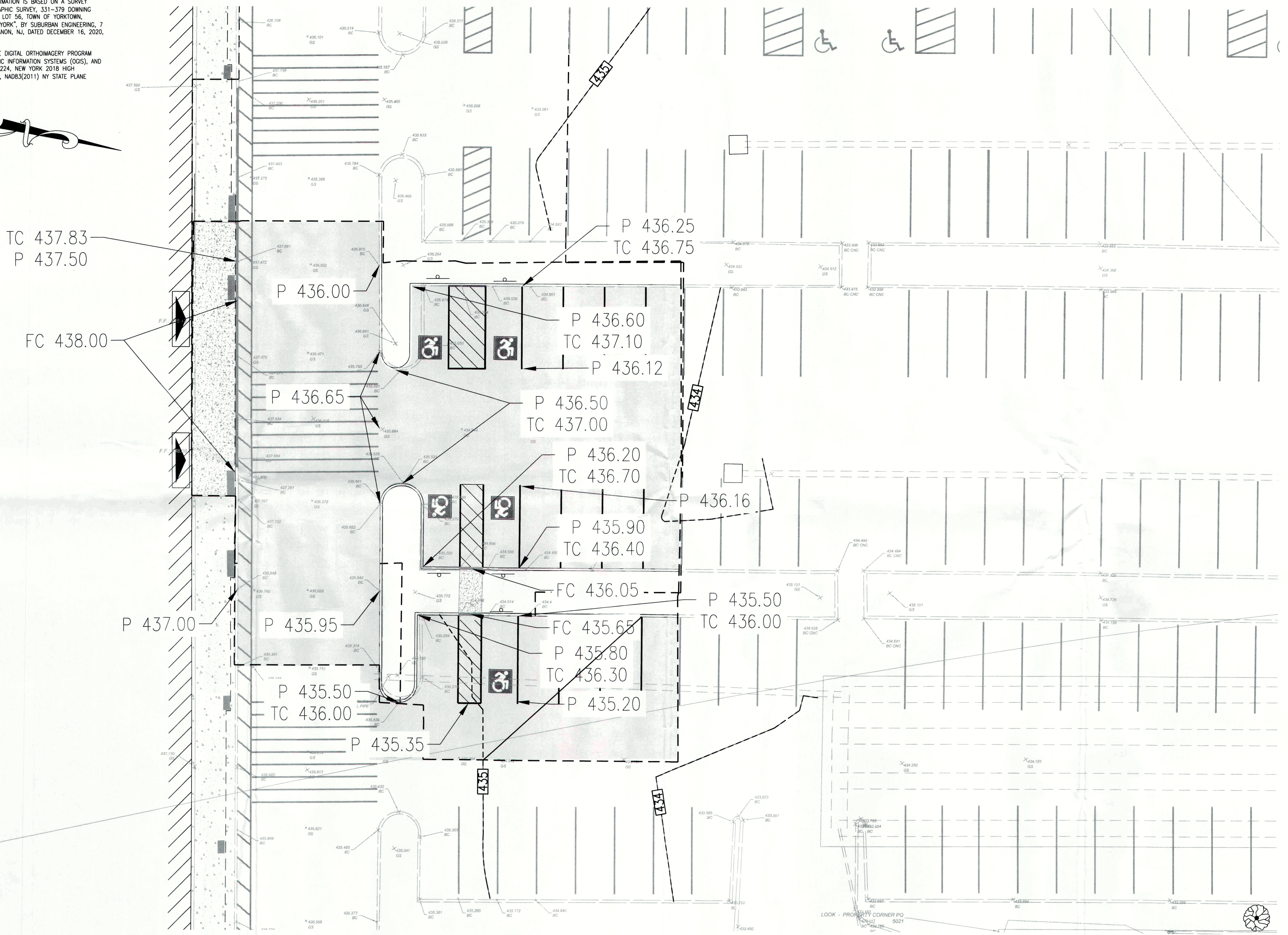
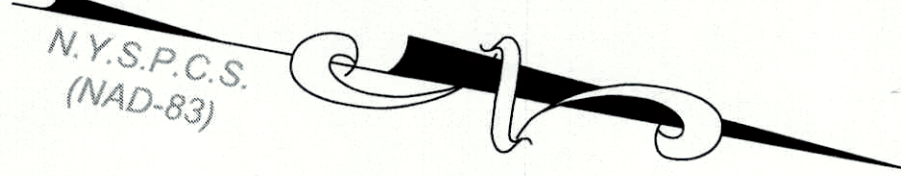
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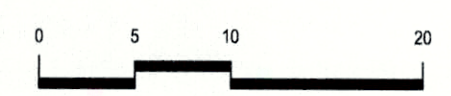
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GRADING PLAN
SCALE: 1"=10'



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Project:
UNCLE GIUSEPPE'S MARKETPLACE
335 DOWNING DRIVE
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK
SECTION 37.18, BLOCK 2, LOT 56

Project Number: UNCLEG-S-21-132
Scale: 1" = 10'
Drawn By: A.P.P.
Approved By: G.P.G.

GRADING PLAN

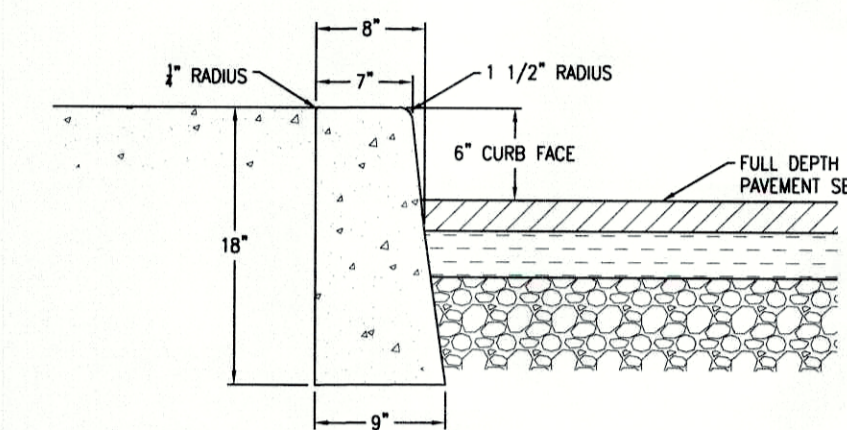
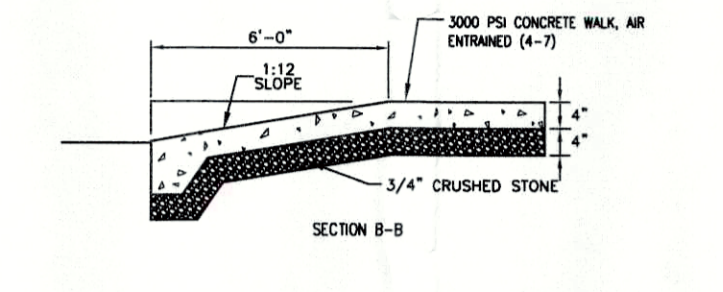
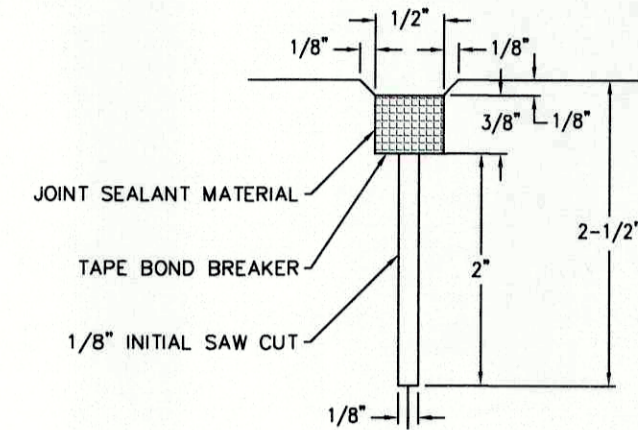
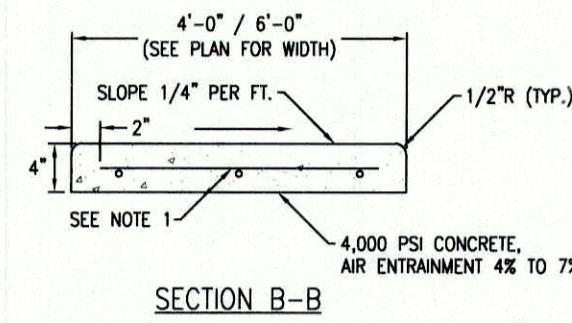
Drawing Number:
C-400
4 OF 8

Initial Date: OCTOBER 4, 2021

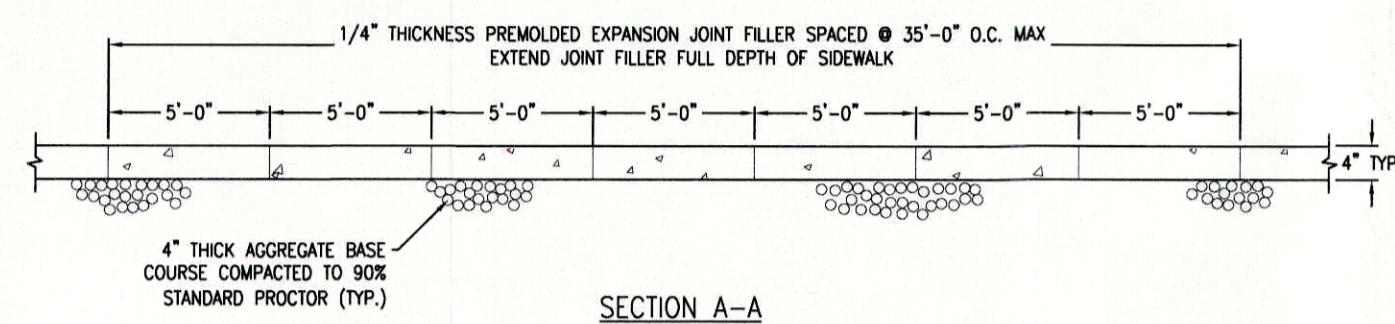


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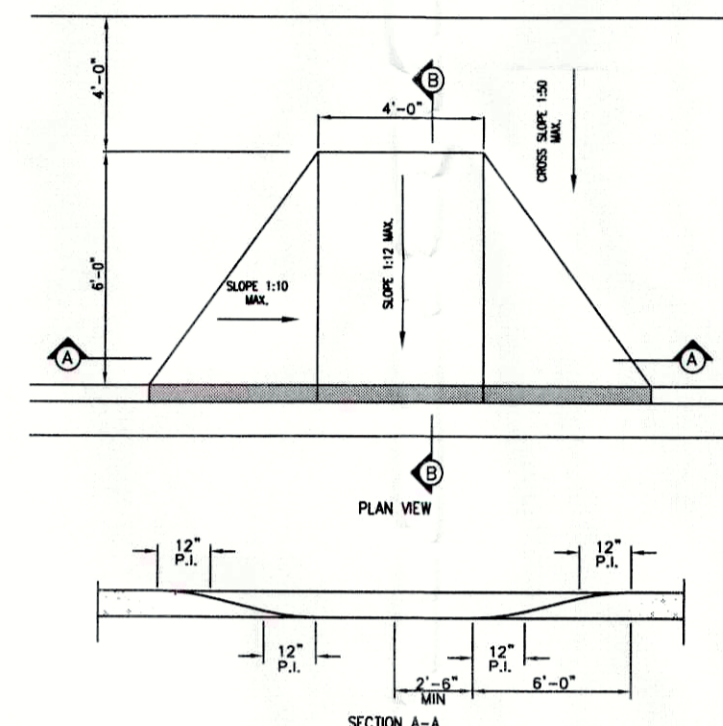
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- NOTES:
- SUBGRADE SHALL BE COMPACTED IN A MANNER SUITABLE TO THE TOWNSHIP / COUNTY ENGINEER (WHERE APPLICABLE).
 - CONCRETE TO TEST 4,000 PSI MINIMUM ON 28 DAY DAY TEST, AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3" MAX.
 - EXPANSION JOINTS 3" WIDE SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE 1" BELOW THE OUTSIDE OF THE CURB SURFACE. EXPANSION JOINTS SHALL BE LOCATED 30' ON CENTER.
 - CONTRACTION JOINTS ARE TO BE CONSTRUCTED WITH #1 STEEL DIVISION PLATES SET 10' ON CENTER.
 - ALL EXPOSED SURFACES ARE TO BE COATED WITH A TRANSLUCENT CURING COMPOUND NJDOT STD. SPEC 504.03.02.F.1 IMMEDIATELY FOLLOWING FINAL FINISHING. COVERAGE SHALL NOT BE LESS THAN ONE GALLON PER 200 SQUARE FEET.
 - 6" CURB FACE SHALL BE CONSTRUCTED WITHIN PRIVATE COMMERCIAL PARKING AREAS.
 - 6" CURB FACE SHALL BE CONSTRUCTED ON COUNTY ROADS.

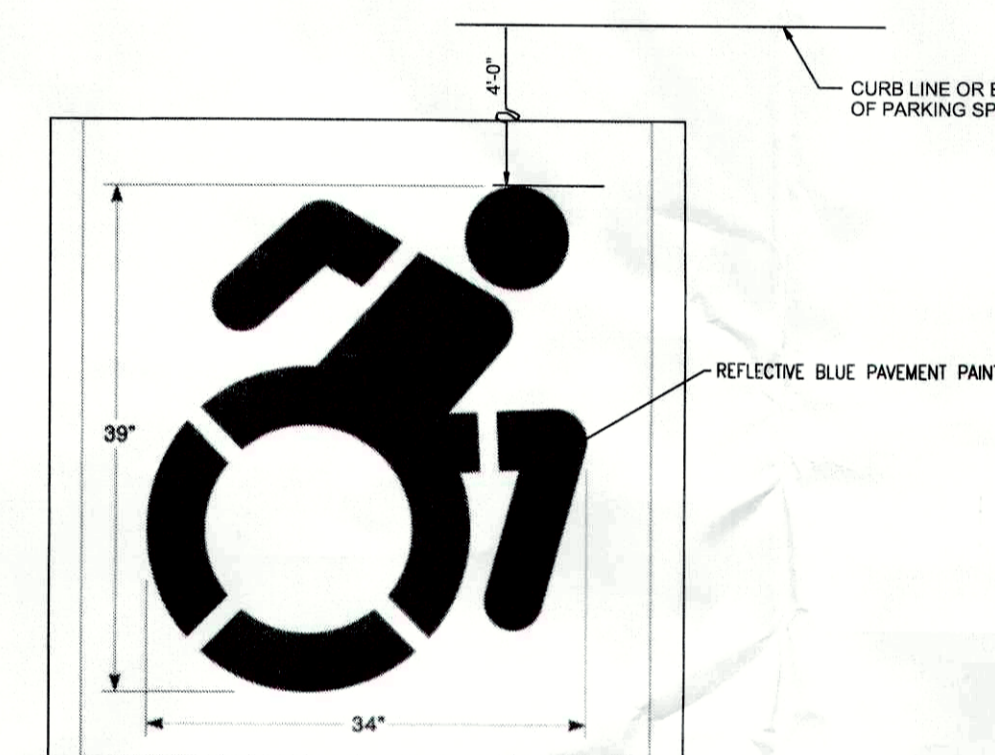


CONSTRUCTION JOINT
(MAX 20'-0" O.C.)
N.T.S.

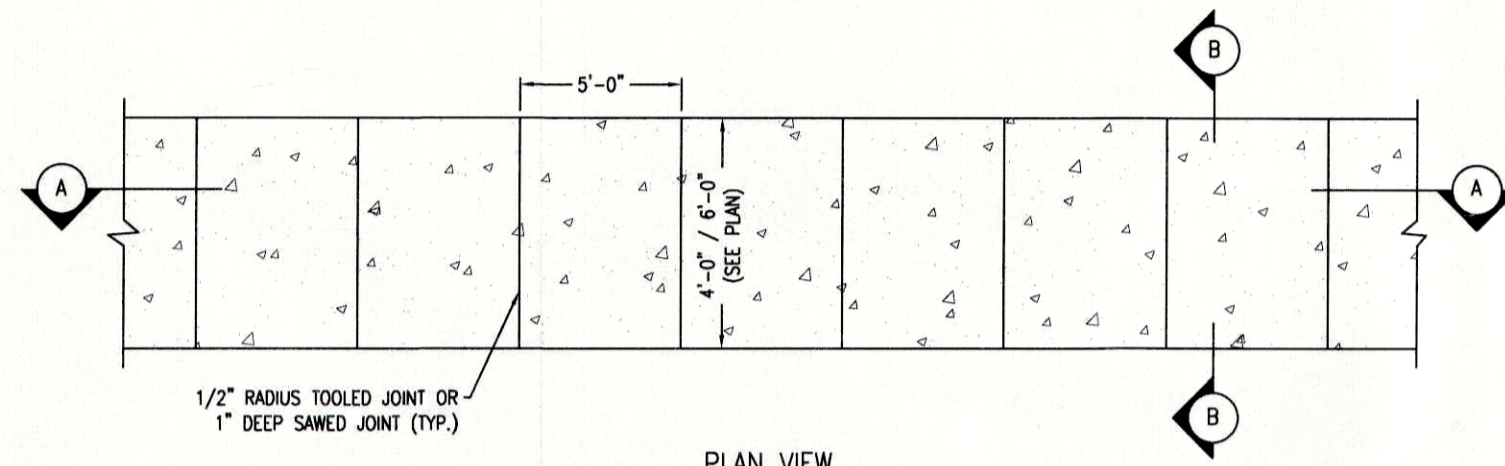


HANDICAP CURB AT SIDEWALK
N.T.S.

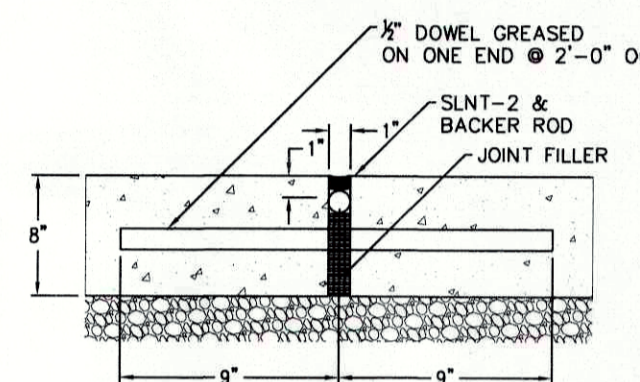
6" CONCRETE CURB
N.T.S.



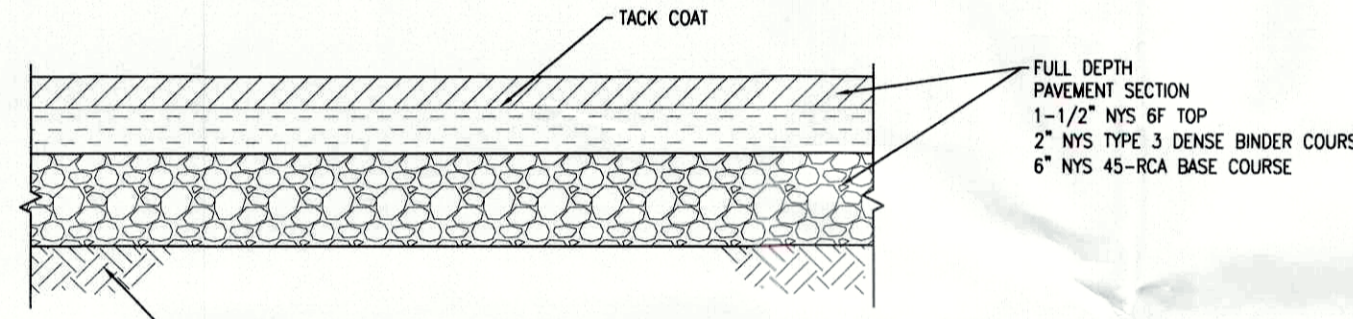
ADA PAVEMENT MARKING
N.T.S.



CONCRETE SIDEWALK
N.T.S.

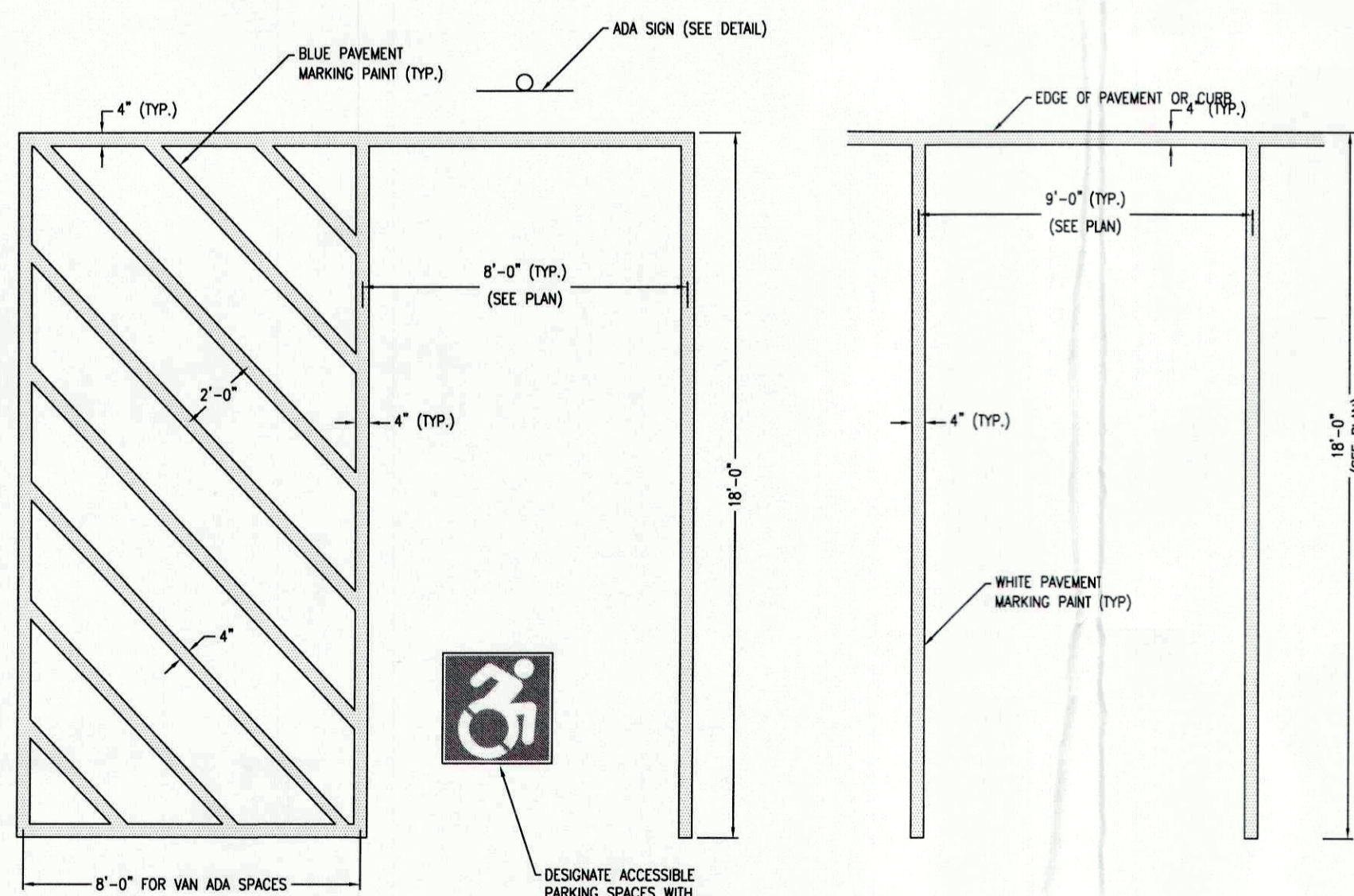


EXPANSION JOINT
(MAX 20'-0" O.C.)
N.T.S.



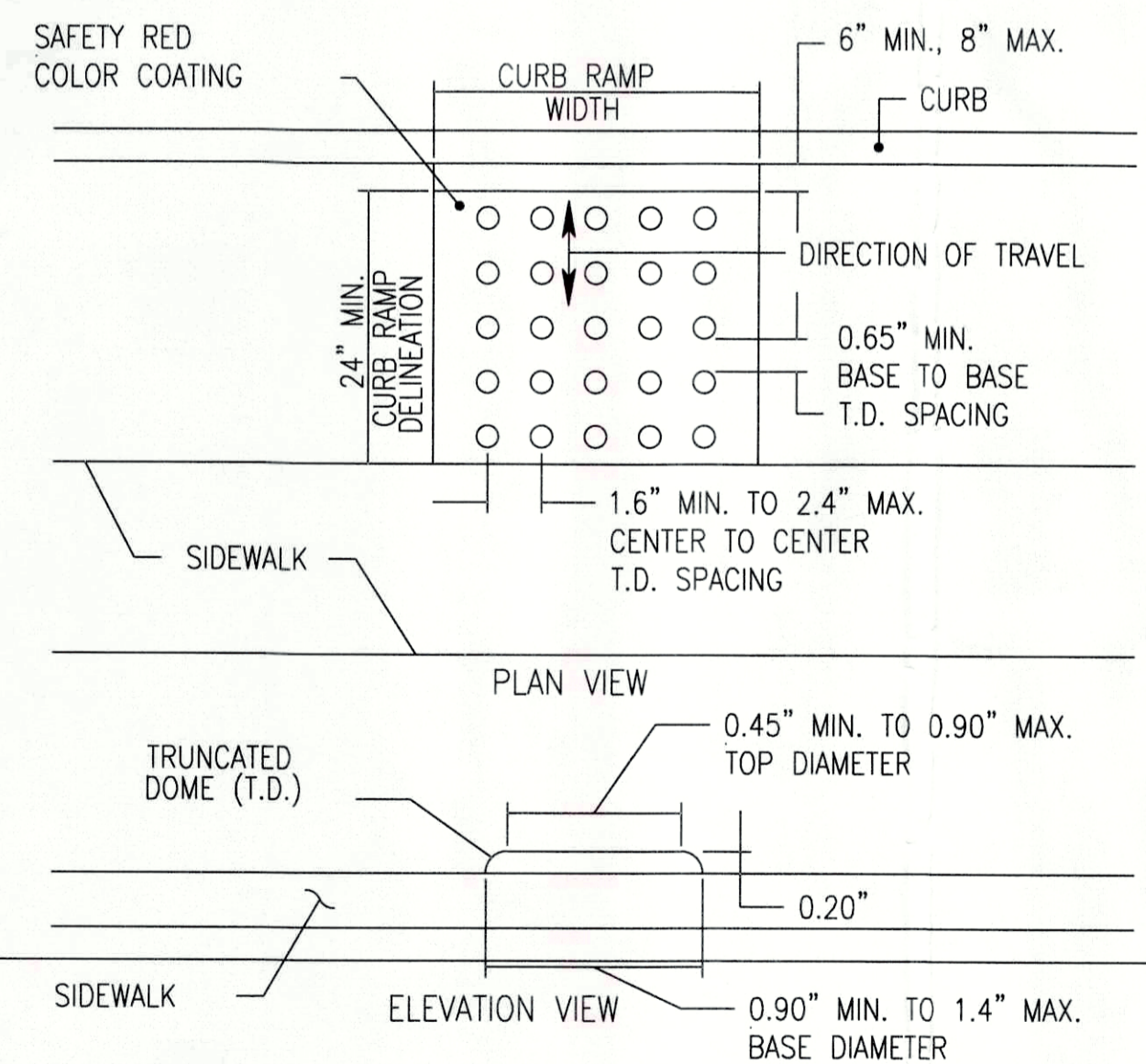
- NOTES:
- THE ASPHALT BINDER COURSE SHALL MEET THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 403 HOT MIX ASPHALT (HMA) PAVEMENTS FOR MUNICIPALITIES - TYPE 3 BINDER COURSE.
 - THE ASPHALT TOP COURSE SHALL MEET THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 403 HOT MIX ASPHALT (HMA) PAVEMENTS FOR MUNICIPALITIES - TYPE 6F TOP COURSE.

ASPHALT PAVEMENT SECTION
N.T.S.

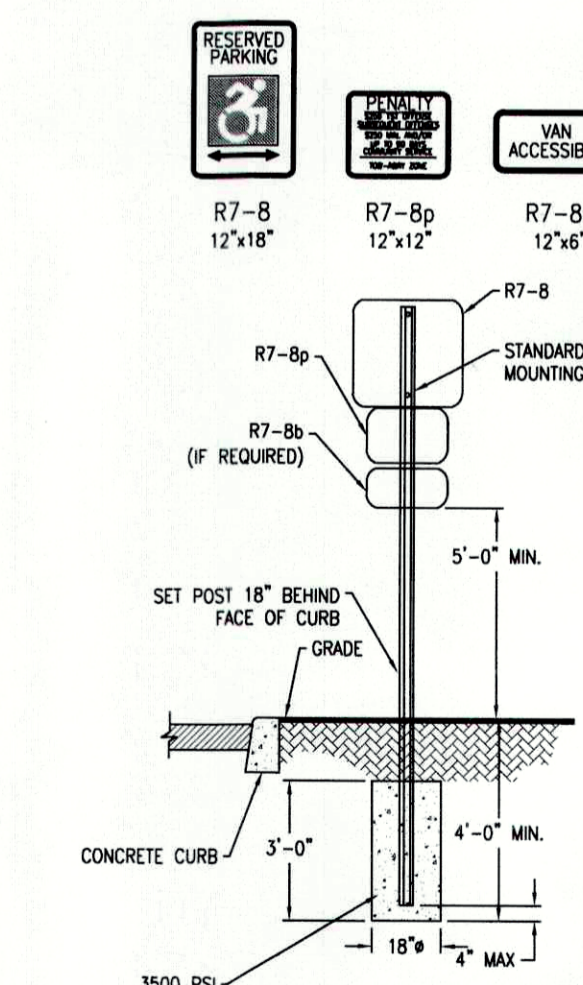


ADA PARKING SPACE STRIPING
N.T.S.

STANDARD PARKING SPACE STRIPING
N.T.S.



DETECTABLE WARNING SURFACE
N.T.S.



SIGN MOUNTING DETAIL
N.T.S.

- NOTES:
- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 - ALL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING, WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A-123.
 - INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZES SIGNS, SHIELDS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT "STANDARD HIGHWAY SIGNS PUBLICATION" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
- SIGN FACE:
- LETTERS, SYMBOLS AND BORDERS SHALL BE REFLECTORIZED.
 - ALL LETTERING SHALL BE UPPER CASE LETTERS OF THE TYPE APPROVED BY THE JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.
 - ALL LETTERS SHALL BE SERIES "C" ALPHABET IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".



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Project:
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SECTION 37.18, BLOCK 2, LOT 56

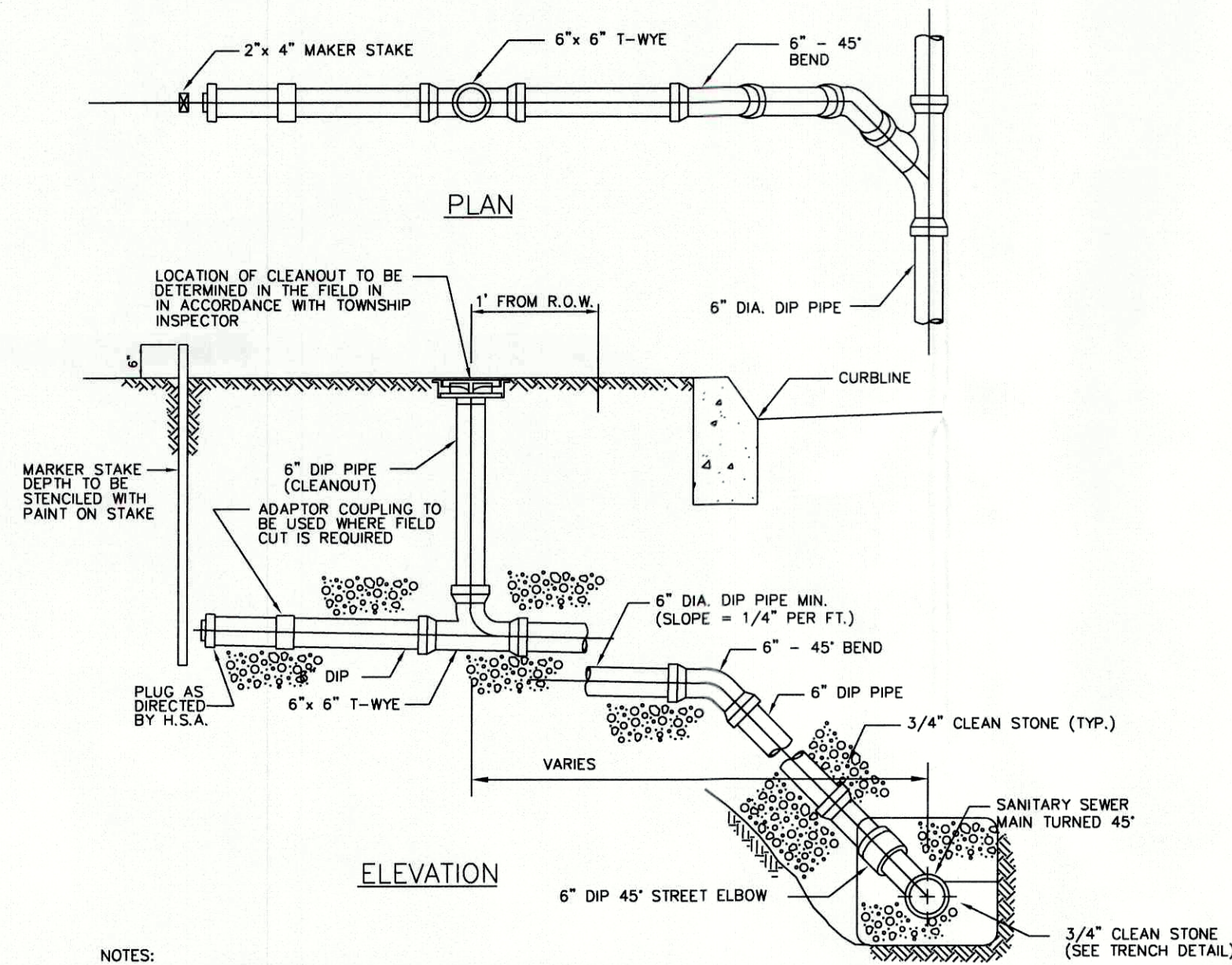
Project Number: Scale:
UNCLEGS-21-132 AS NOTED
Drawn By: A.P.P. Approved By: G.P.G.

Drawing Name:
DETAIL SHEET 1

Drawing Number:
C-900
5 OF 8

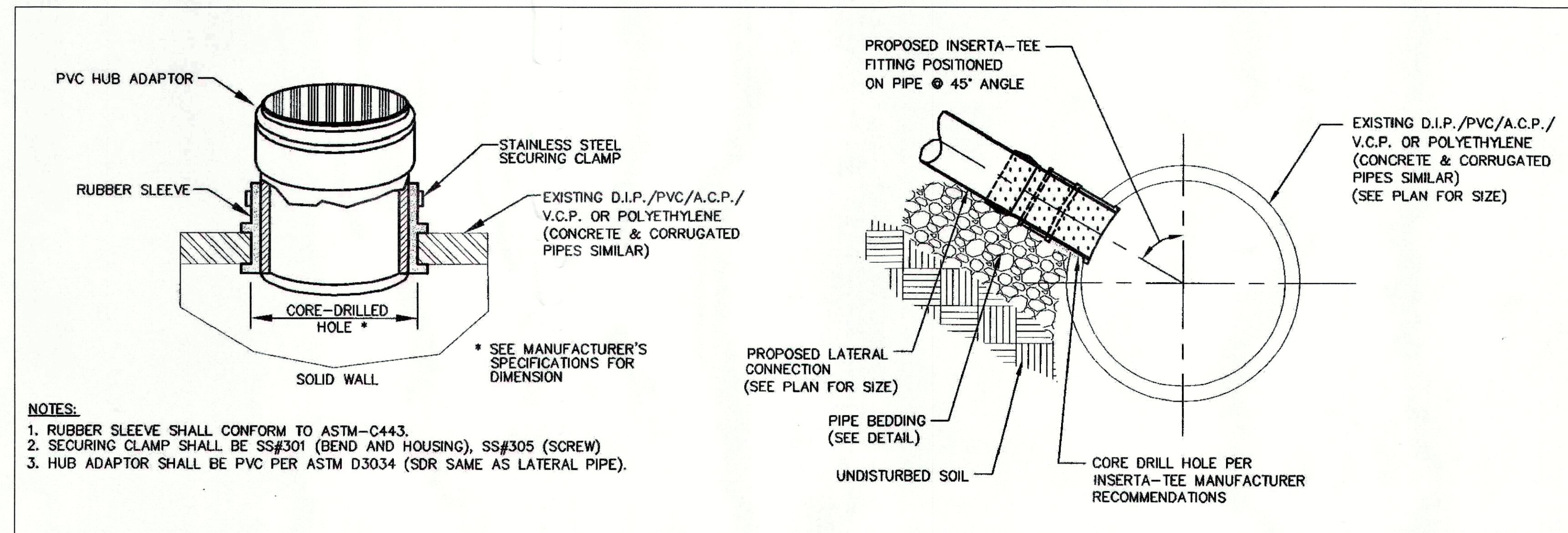
Initial Date: OCTOBER 4, 2021





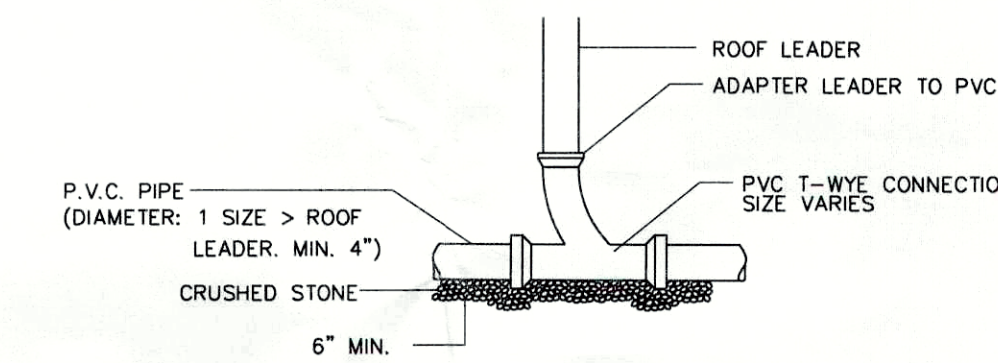
- NOTES:
1. ALL COUPLINGS, PLUGS, SOIL PIPES & CAPS TO BE STANDARD FOR TYPE OF PIPE USED. INSTALLATION TO BE WATERTIGHT.
 2. CLEANOUTS & INSPECTION TEES ARE TO BE LOCATED 1'-0" FROM R.O.W.
 3. CONNECTIONS ARE TO BE 6" D.I.P.
 4. ALL PLUG THREADS SHALL BE GREASED AT TIME OF INSTALLATION.
 5. D.I.P. AND FITTINGS FOR LATERALS SHALL CONFORM TO A.S.T.M. D-3034.
 6. PROVIDE ADEQUATE PROTECTION FOR SEWER DURING INSTALLATION OF BUILDING CONNECTION.

SANITARY SEWER BUILDING CONNECTION
N.T.S.



- NOTES:
1. RUBBER SLEEVE SHALL CONFORM TO ASTM-C443.
 2. SECURING CLAMP SHALL BE SS#301 (BEND AND HOUSING), SS#305 (SCREW)
 3. HUB ADAPTOR SHALL BE PVC PER ASTM D3034 (SDR SAME AS LATERAL PIPE).

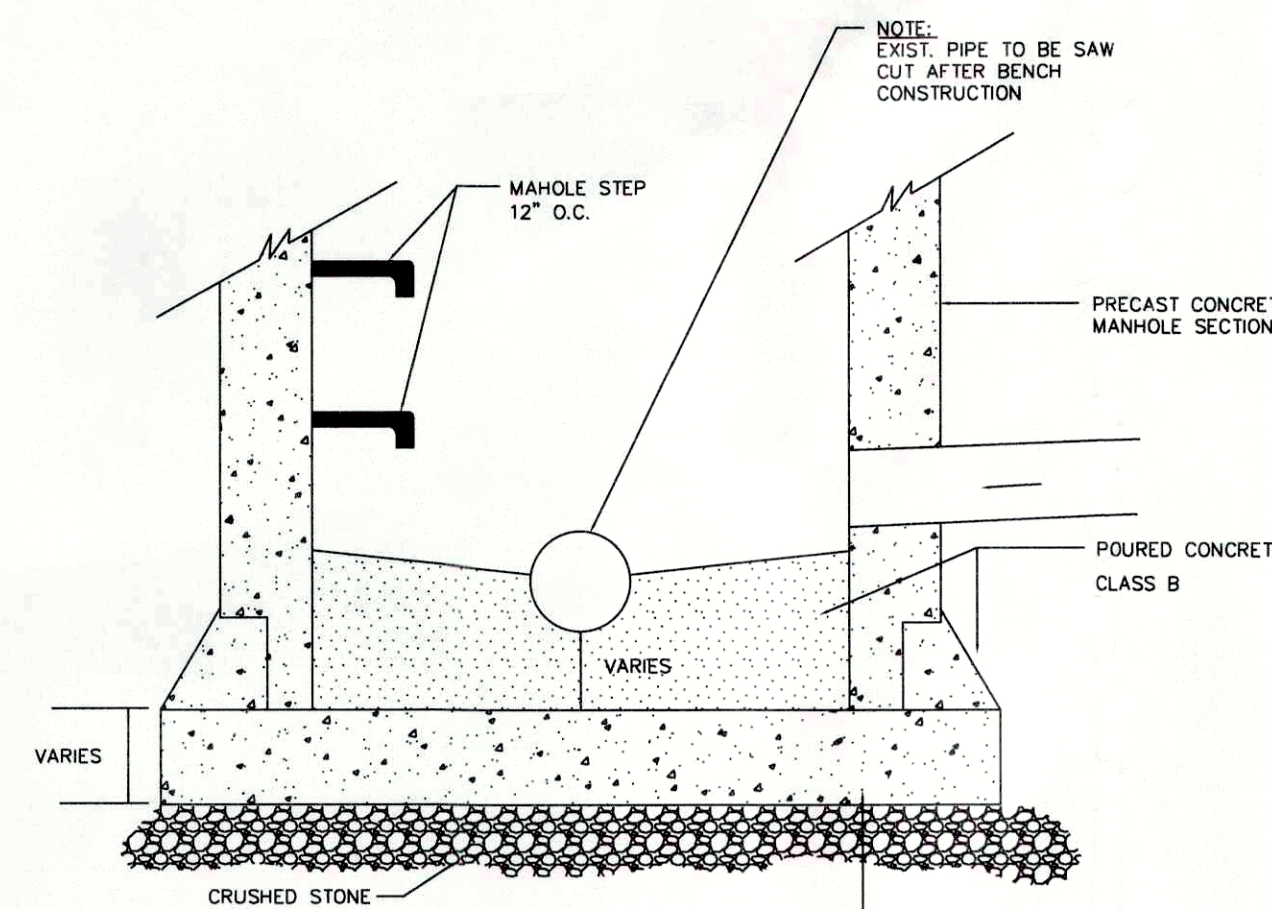
'INSERTA TEE' DETAIL
N.T.S.



DOWNSPOUT CONNECTION DETAIL
N.T.S.

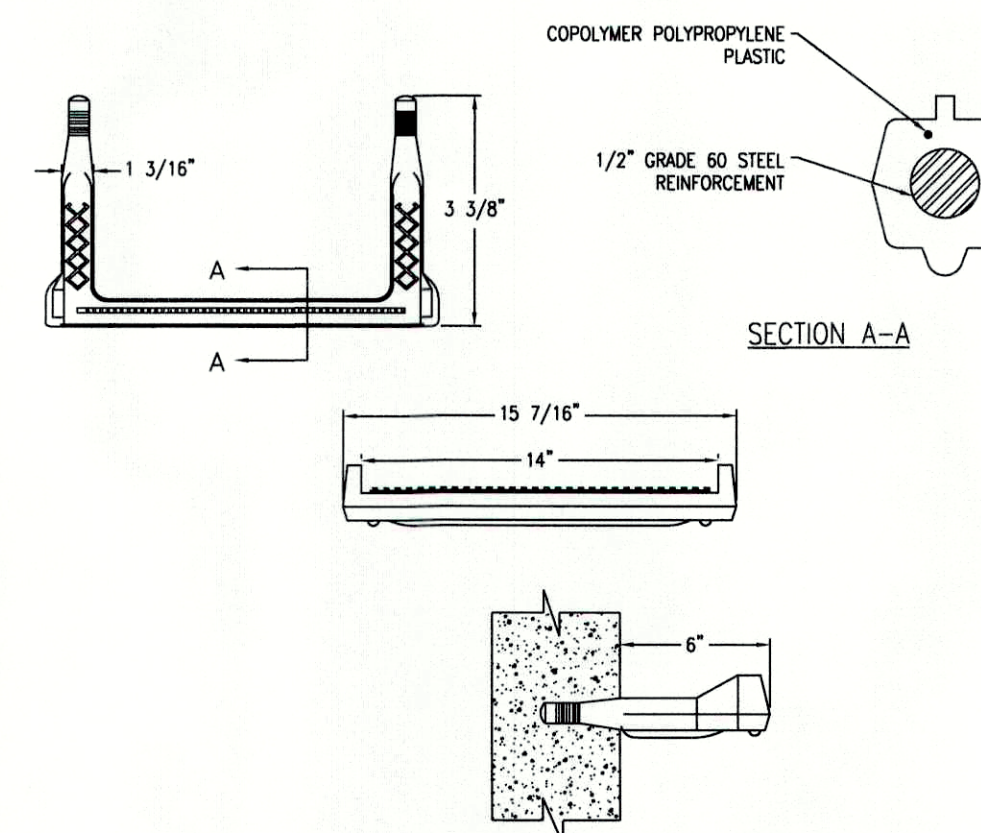
Rockford Sanitary Systems, Inc. ROCKFORD, IL 61105-0965 (815) 229-5077 - (800) 747-5077 - FAX (815) 229-5108 WEB SITE - www.rkfseparators.com E MAIL - rseem@rkfseparators.com		MODEL NO. GREASE INTERCEPTOR
DRAWN BY: QUOTE # JOB NAME:	Note: Standard unit shown with 6" riser. Manway height can be made to customers specified requirements.	
	OPTIONAL FEATURES (ADDITIONAL COST) <input type="checkbox"/> EPOXY COATING <input type="checkbox"/> STAINLESS STEEL CONSTRUCTION <input type="checkbox"/> MANWAY HEIGHT REQUIRED <input type="checkbox"/> INLET & OUTLET SIZE INCHES <input type="checkbox"/> ALUMINUM COVER <input type="checkbox"/> ANCHOR FLANGE <input type="checkbox"/> HOLD DOWN PADS	
Specifications Rockford Model RG-1500 all welded steel gravity grease interceptor, with 1500 gallon capacity, 7500 LBS greasy sludge capacity, 4" threaded inlet/outlet and 3" vent connections, removable 3/8" nonskid treadplate cover for flush with grade installation suitable for heavy traffic loading (14/20), secured with stainless steel flat head screws, heavy duty lock-proof gasket, with bituminous coating outside. Approx ship weight of 2800 lbs.		

1500 GALLON GREASE TRAP DETAIL
N.T.S.

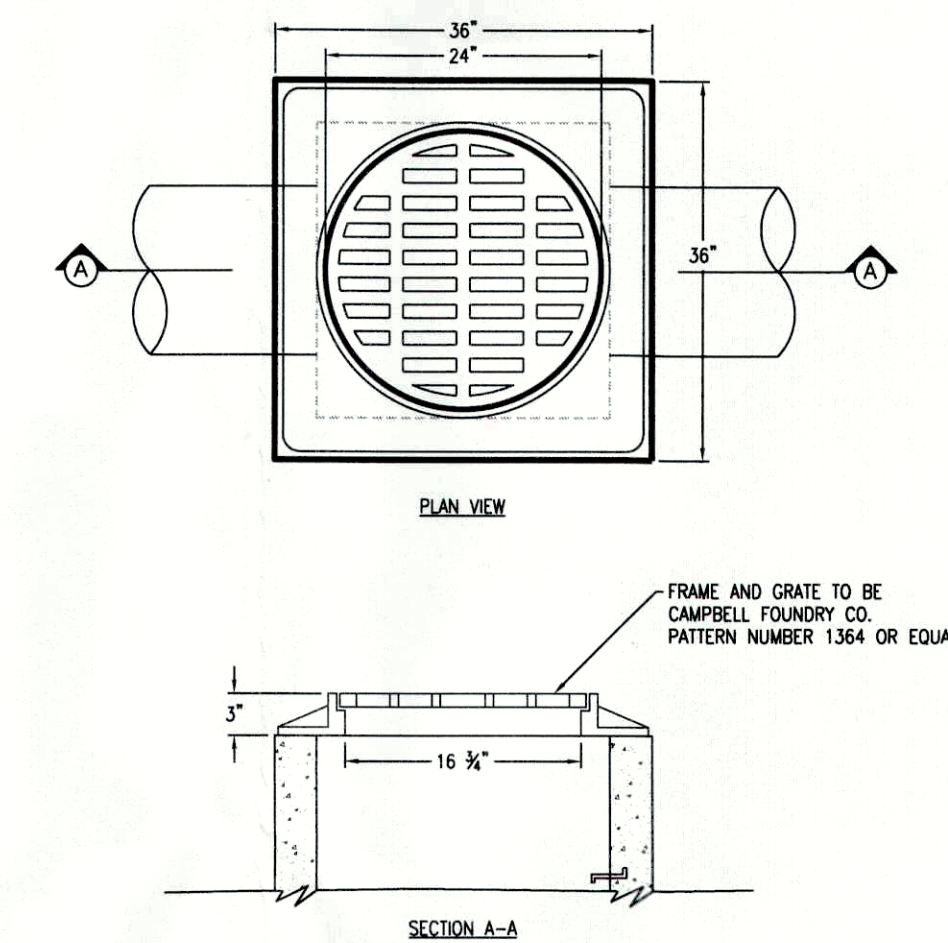


- NOTE: CONSTRUCTION MANHOLE BY USING PRECAST SLAB AND POURING CONCRETE AROUND THE PIPE AFTER CONCRETE SETS CUT TOP OF EXIST. PIPE.

DOGHOUSE INLET STRUCTURE
N.T.S.



PLASTIC LADDER RUNG
N.T.S.



DOGHOUSE INLET GRATE
N.T.S.

Jarmel Kizel
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Architecture
Engineering
Interior Design
Implementation Services

ISSUE		
NO.	DATE	DESCRIPTION
1	11-30-2021	FOR BUILDING PERMIT

REVISION		
NO.	DATE	DESCRIPTION

PRINCIPALS
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 KAROLINA PODKONCOWICZ, AIA
 CHERYL SCHWEIKER, AIA

Project:
UNCLE GIUSEPPE'S MARKETPLACE
 335 DOWNING DRIVE
 TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK
 SECTION 37.18, BLOCK 2, LOT 56

Project Number: Scale:
UNCLEG-S-21-132 AS NOTED
 Drawn By: Approved By:
 A.P.P. G.P.G.

Drawing Name:
DETAIL SHEET 2

Drawing Number:
C-901
 6 OF 8

Initial Date: OCTOBER 4, 2021



GENERAL NOTES

- ALL STRUCTURAL ITEMS FOR THIS PROJECT HAVE BEEN DESIGNED IN ACCORDANCE WITH APPROPRIATE PROVISIONS OF EACH OF THE FOLLOWING:
 - BUILDING CODE: THE BUILDING CODE OF NEW YORK STATE, 2020 EDITION
 - CONCRETE: A.C.I. "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", ACI 318.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND THE ARCHITECTURAL AND MECHANICAL DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO PERFORMING WORK. IN ANY CASE OF CONFLICT BETWEEN THE NOTES, DETAILS, AND SPECIFICATIONS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
- DETAILS DESIGNATED AS "TYPICAL" APPLY TO ALL AREAS OF SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- MECHANICAL/PLUMBING/ELECTRICAL OPENINGS SHALL BE COORDINATED BY CONTRACTOR. FINAL SIZES AND LOCATIONS TO BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR AND SHALL VERIFY AND COORDINATE ALL DIMENSIONS, DETAILS, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND/OR STRUCTURAL ENGINEER.
- CONTRACTOR SHALL FULLY BRACE AND OTHERWISE PROTECT ALL WORK IN PROGRESS UNTIL THE STRUCTURE IS COMPLETED.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR CONCRETE AND STRUCTURAL STEEL.
- THE OWNER SHALL ENGAGE AN INDEPENDENT TESTING AND INSPECTION AGENCY ACCEPTABLE TO THE ARCHITECT AND/OR STRUCTURAL ENGINEER TO INSPECT THE FOLLOWING:
 - SOIL
 - CONCRETE - INSPECT REINFORCING PLACEMENT, INSPECT AND TEST CONCRETE QUALITY

- CONTRACTOR SHALL COORDINATE INSPECTIONS REQUIRED FOR THIS AGENCY. ALL REQUESTS FOR SUBSTITUTIONS OF MATERIALS OR DETAILS SHOWN IN THE CONTRACT DOCUMENTS SHALL BE SUBMITTED FOR APPROVAL DURING THE BIDDING PERIOD. ONCE BIDS ARE ACCEPTED, PROPOSED SUBSTITUTIONS WILL BE CONSIDERED ONLY WHEN THEY ARE OFFICIALLY SUBMITTED WITH AN IDENTIFIED SAVINGS TO BE DEDUCTED FROM THE CONTRACT.
- THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SUBMITTALS EXCEPT THAT THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS. UNLESS THE CONTRACTOR HAS SPECIFICALLY NOTIFIED THE ARCHITECT OF SUCH DEVIATION AT THE TIME OF SUBMITTAL AND (1) THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION AS A MINOR CHANGE WORK, OR (2) A CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVE HAS BEEN ISSUED AUTHORIZING THE DEVIATION, THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS. BY THE ARCHITECT'S APPROVAL THEREOF.

DESIGN LOADS

- SEE PLANS FOR FLOOR AND ROOF DEAD AND LIVE LOADS
- SNOW LOADS:

GROUND SNOW LOAD, $P_g = 30$ PSF
 FLAT ROOF SNOW LOAD, $P_f = 23.1$ PSF *
 MINIMUM SNOW LOAD USED FOR DESIGN = 30 PSF
 SNOW EXPOSURE FACTOR, $C_e = 1.0$
 SNOW LOAD IMPORTANCE FACTOR, $I = 1.0$
 THERMAL FACTOR, $C_t = 1.1$

* FLAT ROOF SNOW LOAD TO BE ADJUSTED PER CODE FOR DRIFT, SLIDING, UNBALANCED LOADING, ETC.

- WIND LOADS:

BASIC WIND SPEED, $V_{ult} = 114$ MPH
 $V_{asd} = 89$ MPH
 RISK CATEGORY - II
 WIND EXPOSURE - B
 INTERNAL PRESSURE COEFFICIENT $GCP_i = \pm 0.18$

- SEISMIC LOADS:

SEISMIC RISK CATEGORY - II
 SEISMIC IMPORTANCE FACTOR, $I = 1.0$
 MAPPED SPECTRAL RESPONSE ACCELERATIONS:
 $S_s = 0.278g$
 $S_1 = 0.06g$
 SITE CLASS - C
 SPECTRAL RESPONSE COEFFICIENTS:
 $S_{ds} = 0.241g$
 $S_{d1} = 0.06g$
 SEISMIC DESIGN CATEGORY - B

FOUNDATION CONSTRUCTION NOTES

- FOUNDATIONS FOR THIS PROJECT CONSIST OF GRADE BEAMS AND HELICAL PILES AS SPECIFIED IN "LIMITED GEOTECHNICAL REPORT" AND DESIGNED FOR AN ALLOWABLE LOAD OF 10 TONS. PILES SHALL REACH A DEPTH OF 25 FEET PER "LIMITED GEOTECHNICAL INVESTIGATION" BY WHITESTONE ASSOCIATES ENGINEERING & GEOLOGY NY PLLC DATED AUGUST 27, 2021. INSTALLATION OF PILES SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NEW YORK.
- HELICAL PILES ARE TO BE INSTALLED TO DEPTHS OF APPROXIMATELY 20 TO 25 FEET BELOW EXISTING GRADES. PER THE GEOTECHNICAL REPORT, IT IS RECOMMENDED TO INSTALL A MINIMUM OF ONE INDICATOR PILE PRIOR TO INSTALLING AND ORDERING PRODUCTION PILES IN ORDER TO VERIFY THE ESTIMATED PILE DEPTH.
- HELICAL PILE COMPONENTS SHOULD BE MANUFACTURED BY CHANCE HELICAL PILE FOUNDATION SYSTEM OR ENGINEERING EQUIVALENT FOR AN ALLOWABLE CAPACITY OF 10 TONS. HELICAL PILES SHOULD CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - HELICAL PILE SHAFT: ANCHOR TYPE RS 2875 203, ROUND SHAFT, 5.500 ft-lb MAXIMUM TORQUE RATING, 2.875 INCHES OUTSIDE DIAMETER STEEL SHAFT CONFORMING TO THE GENERAL REQUIREMENTS OF ASTM A29 MEDIUM CARBON STEEL GRADE WITH IMPROVED STRENGTH DUE TO FINE GRAIN SIZE.
 - EXTENSION SECTIONS: THE HELICAL PILE EXTENSION SECTIONS SHOULD BE AS AN INTEGRAL PART OF THE PLAIN EXTENSION SHAFT MATERIAL. COUPLING SHOULD BE HOT UPSET EXPANDED SOCKETS.
 - HELICES: THREE HELICES OF 10 INCHES, 12 INCHES, AND 14 INCHES IN DIAMETER, SPACED MINIMUM FOUR DIAMETERS APART (LARGEST HELIX DIAMETER FROM CENTER LINE TO CENTER LINE) AND HAVE A MINIMUM THICKNESS OF 1/2 INCH WELDING. ALL WELDING SHALL BE IN CONFORMANCE WITH AWS D1.1, LATEST VERSION.
 - CORROSION PROTECTION: ALL HELICAL PILE COMPONENTS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153 AFTER FABRICATION.
- DESIGN, FURNISH, AND PLACE ALL TEMPORARY OR PERMANENT SUPPORTS, WHETHER SHORING, SHEETING, OR BRACING, SO THAT NO HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT OCCURS TO EXISTING STRUCTURES, STREETS, OR UTILITIES ADJACENT TO PROJECT SITE.
- CONTROL SURFACE AND SUBSURFACE WATER DURING CONSTRUCTION SO THAT FOUNDATION WORK WILL BE PERFORMED IN DRY CONDITIONS AND ON UNDISTURBED SOIL.
- FOUNDATION CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- ALL STRUCTURAL COMPACTED FILL SHALL CONSIST OF CLEAN, WELL- GRADED SAND OR GRAVEL WITH A MAXIMUM PARTICLE SIZE OF THREE INCHES AND NO MORE THAN 14% NOR LESS THAN 5% BY WEIGHT OF MATERIAL, PASSING THE #200 SIEVE. SILTS, CLAYS, AND SILTY OR CLAYEY SANDS AND GRAVEL WITH HIGHER PERCENTAGE OF FINES AND WITH A LIQUID LIMIT LESS THAN 40 AND A PLASTICITY INDEX LESS THAN 20 MAY BE CONSIDERED SUBJECT TO THE OWNER'S APPROVAL, PROVIDED THAT THE REQUIRED MOISTURE CONTENT AND COMPACTION CONTROLS ARE MET. MATERIAL SHALL BE FREE FROM CLAY LUMPS, ORGANICS AND DELETERIOUS MATERIAL. EXISTING ON SITE FILL/EXCAVATED MATERIAL MAY BE USED FOR BACKFILLING PROVIDED IT IS INSPECTED BY THE SOILS ENGINEER AND MEETS THE CRITERIA ABOVE.

FOUNDATION CONSTRUCTION NOTES (CONT'D)

- ALL STRUCTURAL COMPACTED FILL AND BACKFILL IN BUILDING AND WITHIN 5'-0" OF BUILDING SHALL BE PLACED IN 12" MAXIMUM LOOSE LIFTS AND COMPACTED WITH A HEAVY VIBRATORY COMPACTOR TO AT LEAST 95% OF THE MAXIMUM MODIFIED PROCTOR DENSITY AS PER ASTM D-1557-91 UNDER THE SUPERVISION OF A LICENSED SOILS ENGINEER.
- ALL FILL AND BACKFILL SHALL BE PLACED ON VIRGIN SOIL THAT DOES NOT CONTAIN ANY ORGANIC MATERIAL. STRIP ALL TOP SOIL AS REQUIRED. PRIOR TO PLACING FILL OR BACKFILL, PROOF-COMPACT SUBGRADE WITH A HEAVY VIBRATORY COMPACTOR TO AT LEAST 95% OF THE MAXIMUM MODIFIED PROCTOR DENSITY AS PER ASTM D-1557-91 UNDER THE SUPERVISION OF A LICENSED SOILS ENGINEER.
- EVERY EFFORT MUST BE MADE TO MAINTAIN DRAINAGE OF SURFACE WATER RUNOFF AWAY FROM CONSTRUCTION AREAS BY GRADING AND LIMITING THE EXPOSURE OF EXCAVATIONS TO RAINFALL. OVEREXCAVATION OF SATURATED SOILS AND REPLACEMENT WITH CONTROLLED STRUCTURAL FILL AND/OR ONE FOOT TO TWO FEET OF OPEN GRADED GRAVEL (SUCH AS 3/4 INCH CLEAN CRUSHED STONE) MAY BE REQUIRED PRIOR TO RESUMING WORK ON DISTURBED SUBGRADE SOILS.
- FOUNDATION ELEMENTS SHALL BE CONSIDERED CENTERED UNDER COLUMN CENTERLINES UNLESS OTHERWISE NOTED.
- NO FOUNDATIONS SHALL BE PLACED ABOVE 1 VERTICAL ON 2 HORIZONTAL SLOPE EXTENDED FROM THE CLOSEST EDGE OF ANY UNDISTURBED SOIL OR OTHER FOUNDATION STRUCTURE. BOTTOM OF EXTERIOR FOUNDATIONS SHALL NOT BE LESS THAN 3'-6" BELOW FINISHED GRADE.

CONCRETE CONSTRUCTION NOTES

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE A.C.I. "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318).
- CONCRETE DESIGN MIXES SHALL CONFORM WITH ASTM C94, AND HAVE PROPERTIES AS INDICATED BELOW.

GRADE BEAMS AND STRUCTURAL SLAB:	$f_c = 4,000$ psi AT 28 DAYS MAX. W/C RATIO: 0.50 AIR CONTENT: 5% \pm 1 1/2%
----------------------------------	--
- SLUMP SHALL BE LIMITED TO 4 INCHES. FOR CONCRETE WITH HRWR (SUPER-P), SLUMP SHALL BE LIMITED TO 2-4 INCHES PRIOR TO ADDITION OF HRWR, AND A MAXIMUM OF 8 INCHES AFTER ADDITION OF HRWR.
- ADMIXTURES USED IN CONCRETE SHALL BE AS ALLOWED BY THE SPECIFICATIONS AND ONLY WITH LABORATORY DESIGN MIX APPROVAL. ALL ADMIXTURES SHALL CONTAIN NO MORE CHLORIDE IONS THAN ARE PRESENT IN MUNICIPAL DRINKING WATER.
- CONCRETE MATERIALS SHALL BE AS INDICATED BELOW:
 - PORTLAND CEMENT: ASTM C150, TYPE III
 - FLY ASH: ASTM C618 - 15% - 25% OF CEMENTITIOUS MATERIAL
 - NORMAL-WEIGHT AGGREGATES: ASTM C33, 3/4" MAXIMUM
 - WATER: ASTM C94 AND POTABLE
- ADMIXTURES SHALL BE AS INDICATED BELOW:
 - AIR-ENTRAINING ADMIXTURE: ASTM C260
 - WATER REDUCING ADMIXTURE: ASTM C494, TYPE A
 - WATER REDUCING AND RETARDING ADMIXTURE: ASTM C494 TYPE D
 - WATER-REDUCING, ACCELERATING ADMIXTURE: ASTM C494 TYPE E
 - HIGH RANGE WATER REDUCING ADMIXTURE (SUPER-PLASTICIZER): ASTM C494, TYPE F
 - HIGH RANGE WATER REDUCING AND RETARDING ADMIXTURE: ASTM C494 TYPE G
- EPOXY JOINT FILLER SHALL BE A TWO-COMPONENT SEMI RIGID RESIN, 100% SOLIDS, AND HAVE A MINIMUM SHORE A HARDNESS OF 80 WHEN MEASURED IN ACCORDANCE WITH ASTM D 2240.
- ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE, NEW BILLET STEEL, DEFORMED BARS, CONFORMING TO ASTM A-615, GRADE 60. ALL BARS SHALL BE SECURELY SUPPORTED AND WIRED IN PLACE PRIOR TO CONCRETE PLACEMENT.
- ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A-185.
- FIBER REINFORCING SHALL BE MONOFILAMENT POLYPROPYLENE FIBERS FOR SECONDARY REINFORCEMENT, ASTM C1116, TYPE III.
- VAPOR RETARDER SHALL CONFORM TO ASTM E1745, CLASS C, WITH MINIMUM 10 MIL THICKNESS.
- REINFORCING STEEL SHOWN IN SECTIONS ARE SCHEMATIC INDICATIONS THAT REINFORCING EXISTS. SEE SECTION NOTES, SCHEDULES, PLAN NOTES, ETC. FOR ACTUAL REINFORCING REQUIRED.
- UNLESS OTHERWISE NOTED, ALL BARS MARKED CONT. SHALL BE SPLICED AT ALL LAP POINTS AND CORNERS AND DEVELOPED AT NON-CONTINUOUS ENDS AS TYPICAL DETAILS. SPLICE CONTINUOUS TOP BARS AT CENTER BETWEEN SUPPORTS AND SPLICE CONTINUOUS BOTTOM BARS AT SUPPORTS. WELDED WIRE FABRIC SHALL BE LAPPED 12 INCHES OR TWO SPACES, WHICHEVER IS LONGER. SHEETS SHALL BE WIRED TOGETHER. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS SHOWN IN DETAILS.
- AT OPENINGS IN CONCRETE WALLS, PROVIDE ADDED REINFORCEMENT IN ACCORDANCE WITH THE TYPICAL DETAILS UNLESS OTHERWISE NOTED.
- REINFORCEMENT SHALL NOT BE WELDED OR HEATED IN ANY WAY.
- SLEEVES, MECHANICAL OPENINGS, CONDUITS, PIPES, RECESSES, DEPRESSIONS, CURBS, AND ALL EMBEDDED ITEMS SHALL BE PROVIDED FOR AS SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS AND AS REQUIRED BY EQUIPMENT MANUFACTURERS.
- MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6". INSTALLATION OF THESE ITEMS SHALL BE COORDINATED WITH SHOP DRAWINGS OF TRADES REQUIRING THESE ITEMS.
- SET FORMS TO FOLLOW SLOPES AND GRADES DEFINED ON PLAN, KEEPING MEMBER DEPTHS CONSTANT AS DETAILED OR SCHEDULED, UNLESS NOTED OTHERWISE. SLOPE UNIFORMLY BETWEEN ELEVATIONS GIVEN.
- REINFORCING, INCLUDING WELDED WIRE FABRIC, FOR SLABS ON GRADE AND FOOTINGS SHALL BE SUPPORTED ON SOLID CONCRETE BLOCKS AT 5'-0" ON CENTER MAXIMUM EACH WAY. REINFORCING, INCLUDING WELDED WIRE FABRIC, FOR OTHER SLABS SHALL BE SUPPORTED ON CHAIRS AND BOLSTERS AT ALL SUPPORTS AND AT 5'-0" ON CENTER MAXIMUM BETWEEN SUPPORTS.
- VERTICAL CONSTRUCTION JOINTS IN CONCRETE WALLS SHALL BE LOCATED AT MIDPOINT BETWEEN ANY SUPPORTING PIERS OR BUTTRESSES, AND AT LEAST 4'-0" FROM ANY WALL OPENING EXCEPT WHERE SPECIFICALLY SHOWN ON THE DRAWINGS. HORIZONTAL CONSTRUCTION JOINTS SHALL NOT BE PERMITTED, EXCEPT WHERE SHOWN ON DETAILS.
- PROVIDE SHEAR KEY IN ALL CONSTRUCTION JOINTS IN WALLS.
- ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED AND TREATED WITH THE SPECIFIED BONDING COMPOUND JUST BEFORE PLACING NEW CONCRETE.
- SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF WEEPHOLES, FLASHING REGLETS, FASCIA DETAILS, ETC.
- UNDER NO CIRCUMSTANCES SHALL CONCRETE BE PUMPED THROUGH ALUMINUM PIPES. CONCRETE SHALL NOT BE PLACED IN CONTACT WITH ALUMINUM, ALUMINUM MIXING DRUMS, TRUCK MIXERS, BUGGLES, CHUTES, CONVEYORS, TREMIE PIPES, AND OTHER EQUIPMENT MADE OF ALUMINUM SHALL NOT BE USED ON THIS PROJECT.
- WHERE CONCRETE ABUTS MASONRY, PROVIDE VERTICAL METAL SLOTS TO RECEIVE GALVANIZED METAL DOVETAIL ANCHORS. SLOTS SHALL BE SPACED AT 24" ON CENTER.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FABRICATION, BENDING, AND PLACEMENT OF CONCRETE REINFORCEMENT. SHOP DRAWINGS SHALL COMPLY WITH ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
- ALL CONCRETE REINFORCING IS SUBJECT TO INSPECTION BY THE DESIGN ENGINEER PRIOR TO CONCRETE PLACEMENT. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCY FROM ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
- COLD OR HOT WEATHER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CODE REQUIREMENTS.
- INSTALLATION OF POST-INSTALLED ADHESIVE ANCHORS MUST BE INTO CONCRETE THAT HAS A MINIMUM AGE OF 21 DAYS AT THE TIME OF INSTALLATION.

SHOP DRAWING SUBMITTALS

- GENERAL CONTRACTOR SHALL SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. ALL REQUIRED INFORMATION AS INDICATED IN THE DRAWINGS AND SPECIFICATIONS, PRIOR TO ANY FABRICATION.
- NO PORTION OF THE STRUCTURAL DRAWINGS SHALL BE REPRODUCED FOR USE AS SHOP DRAWINGS.
- ALL DIMENSIONS SHALL BE COORDINATED BY THE CONTRACTOR AND/OR THE DETAILER.
- DETAILER SHALL USE THE SAME GRID IDENTIFICATIONS AS THOSE SHOWN ON THE CONTRACT DRAWINGS.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED PRIOR TO PROCEEDING WITH ANY ASSOCIATED WORK AND SHALL ALLOW FOR SUFFICIENT REVIEW TIME. SUBMIT A MINIMUM OF TWO (2) WEEKS PRIOR TO START OF FABRICATION.
- SHOP DRAWINGS SHALL BE SUBMITTED WITH CONTRACTOR'S STAMP OF APPROVAL, CERTIFYING THE CONTRACTOR HAS COORDINATED AND VERIFIED ALL DIMENSIONS, MATERIALS, AND ANY ADDITIONAL INFORMATION AFFECTING STRUCTURAL WORK. THE CONTRACTOR'S REVIEW INCLUDES BUT IS NOT LIMITED TO COORDINATION AND VERIFICATION OF ACTUAL FIELD CONDITIONS, DIMENSIONS, ELEVATIONS, AND SUPPORTS AND OPENINGS FOR ACTUAL EQUIPMENT PURCHASED.

SHOP DRAWING SUBMITTALS (CONT'D)

- SHOP DRAWINGS NOT COMPLYING WITH THE ABOVE SHALL BE RETURNED FOR CORRECTION WITHOUT REVIEWING.
- RESUBMITTED SHOP DRAWINGS SHALL INCLUDE ALL CHANGES ON THE DRAWINGS CLOUDED AND MARKED WITH REVISION TAG NUMBER.
- CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE ENGINEER.

SPECIAL INSPECTIONS CONCRETE CONSTRUCTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE
INSPECTION OF REINFORCING STEEL AND PLACEMENT.	-	X	ACI 318: Ch. 20, 25.2, 25.3, 26.8.1-26.6.3	1908.4
INSPECT ANCHORS CAST IN CONCRETE.	-	X	ACI 318: 17.8.2	-
INSPECT ANCHOR POST-INSTALLED IN HARDENED CONCRETE MEMBERS.				
A. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS. B. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.A.	X	X	ACI 318: 17.8.2.4 ACI 318: 17.8.2	-
VERIFY USE OF REQUIRED DESIGN MIX.	-	X	ACI 318: CH. 19, 26.4.3, 26.4.4	1904.1, 1904.2 1908.2, 1908.3
PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	-	ASTM C172 ASTM C31 ACI 318: 26.4-26.5.5	1908.10
INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	-	ACI 318: 26.5	1908.6, 1908.7, 1908.8
VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-	X	ACI 318: 26.5.3-26.5.5	1908.9
INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	X	ACI 318: 26.11.1.2(b)	-

SPECIAL INSPECTIONS REQUIRED AND TESTS OF SOILS	CONTINUOUS	PERIODIC
1. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	X
2. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	-	X
3. VERIFY THE USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	-
4. PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	X

SPECIAL INSPECTIONS REQUIRED FOR HELICAL PILE FOUNDATIONS	CONTINUOUS	PERIODIC
CONTINUOUS SPECIAL INSPECTIONS SHALL BE PERFORMED DURING INSTALLATION OF HELICAL PILE FOUNDATIONS. THE INFORMATION RECORDED SHALL INCLUDE INSTALLATION EQUIPMENT USED, PILE DIMENSIONS, TIP ELEVATIONS, FINAL DEPTH, FINAL INSTALLATION TORQUE AND OTHER PERTINENT INSTALLATION DATA AS REQUIRED BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. THE APPROVED GEOTECHNICAL REPORT AND THE CONSTRUCTION DOCUMENTS PREPARED BY THE REGISTERED DESIGN PROFESSIONAL SHALL BE USED TO DETERMINE COMPLIANCE.		



Jarmel Kizel
 ARCHITECTS AND ENGINEERS INC.
 42 OKNER PARKWAY
 LIVINGSTON, NEW JERSEY 07039
 TEL: 973-994-9669
 FAX: 973-994-4069
 www.jarmelkizel.com
 Architecture
 Engineering
 Interior Design
 Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1	11-30-2021	FOR BUILDING PERMIT	RAB

REVISION

NO.	DATE	DESCRIPTION	INT.
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PRINCIPALS

- MATTHEW B. JARMEL, AIA, MBA
 RICHARD A. JARMEL, PE
 IRWIN H. KIZEL, AIA, PP
ARCHITECTS & ENGINEERS
 JASMINE ALCAIDE, AIA
 RONALD A. BROKENSHIRE, PE
 JEROME LEBLANC, EREN, FAIA, PP
 GERARD P. GESARIO, PE
 FREDERICK KING, AIA
 DAVID L. LESBINE, RA
 KAROLINA PODKANOWICZ, AIA
 CHERYL SCHWEIKER, AIA

Project:
UNCLE GIUSEPPE'S MARKETPLACE
 335 DOWNING DRIVE
 TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK
 SECTION 37.18, BLOCK 2, LOT 56

Project Number: Scale:
UNLEG-S-21-132 AS NOTED
 Drawn By: Approved By:
 SC RAB

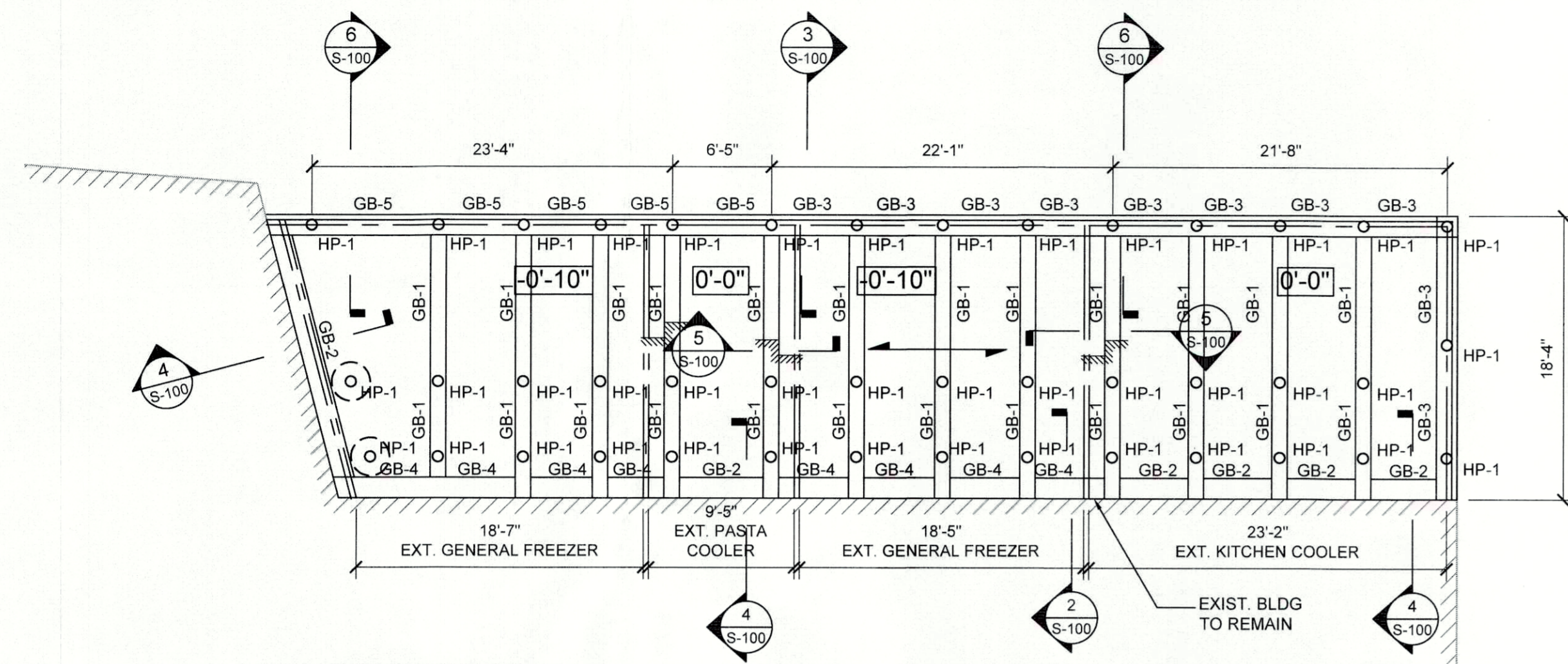
Drawing Name:
**GENERAL NOTES AND
 SPECIAL INSPECTIONS**

Drawing Number:
S-001
 7 OF 8

Initial Date: OCTOBER 4, 2021

ENGINEER OF RECORD

RONALD A. BROKENSHIRE, PE
 NY LIC 104673 EXP 7/31/24



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

NOTES:

1. TOP OF SLAB ELEVATION IS SET AS DATUM 0'-0", UNLESS OTHERWISE NOTED THUS [X'-X"] ON PLAN, AND IS ACTUAL ELEVATION 438.04'.
2. SLAB SHALL BE 5" NORMAL WEIGHT ONE-WAY CONCRETE SLAB REINFORCED WITH #5 @ 12" O.C. EACH WAY CENTERED IN SLAB.
3. TOP OF GRADE BEAM ELEVATIONS SHALL BE AT BOTTOM OF SLAB UNLESS NOTED THUS [X'-X"] ON PLAN AND IS REFERENCED FROM THE DATUM ELEVATION.
4. EVERY EFFORT MUST BE MADE TO MAINTAIN DRAINAGE OF SURFACE WATER RUNOFF AWAY FROM CONSTRUCTION AREAS BY GRADING AND LIMITING THE EXPOSURE OF EXCAVATIONS TO RAINFALL. OVEREXCAVATION OF SATURATED SOILS AND REPLACEMENT WITH CONTROLLED STRUCTURAL FILL AND/OR ONE FOOT TO TWO FEET OF OPEN GRADED GRAVEL (SUCH AS 3/4 INCH CLEAN CRUSHED STONE) MAY BE REQUIRED PRIOR TO RESUMING WORK ON DISTURBED SUBGRADE SOILS.
5. HP-1 - INDICATES HELICAL PILE LOCATION. HELICAL PILES SPECIFIED IN GEOTECHNICAL REPORT TO HAVE AN ALLOWABLE LOAD CAPACITY OF 10 TONS.
6. GB-X - INDICATES GRADE BEAM TYPE. SEE GRADE BEAM SCHEDULE FOR SIZE AND REINFORCING.
7. SEE DRAWING S-001 FOR GENERAL NOTES.

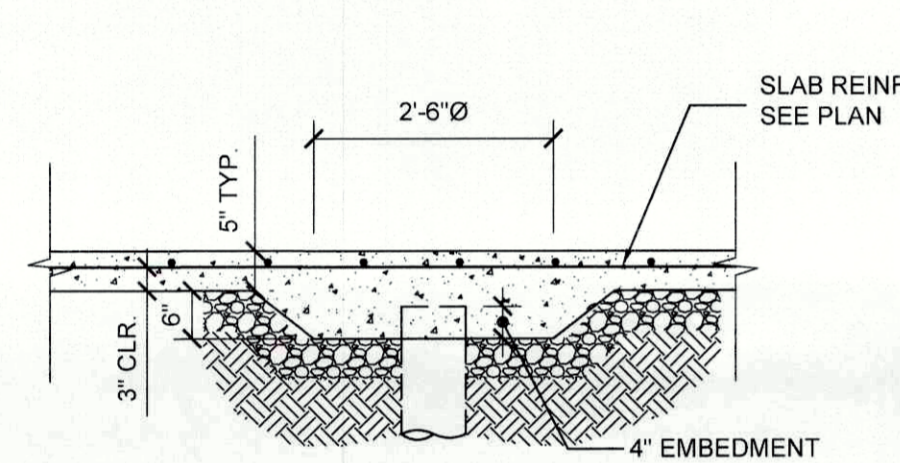
GRADE BEAM SCHEDULE								
BEAM MARK	WIDTH (IN)	DEPTH (IN)	LONGITUDINAL REINFORCING			STIRRUPS		REMARKS
			TOP	BOTT.	EA. SIDE	SIZE	SPACING	
GB-1	12"	34"	2-#6	2-#6	2-#4	#4	12"	
GB-2	16"	34"	3-#6	2-#6	2-#4@18" O.C.	#4	12"	
GB-3	16"	38"	3-#6	3-#6	2-#4@18" O.C.	#4	12"	
GB-4	16"	24"	3-#6	2-#6	2-#4	#4	12"	
GB-5	16"	72"	3-#6	3-#6	2-#4@18" O.C.	#4	12"	

* INDICATES DEPTH OF GRADE BEAMS TO BE COORDINATED BASED ON EXISTING FOUNDATION CONDITIONS
 ^ INDICATES DEPTH OF GRADE BEAMS TO BE COORDINATED BASED ON EXISTING GRADE CONDITIONS

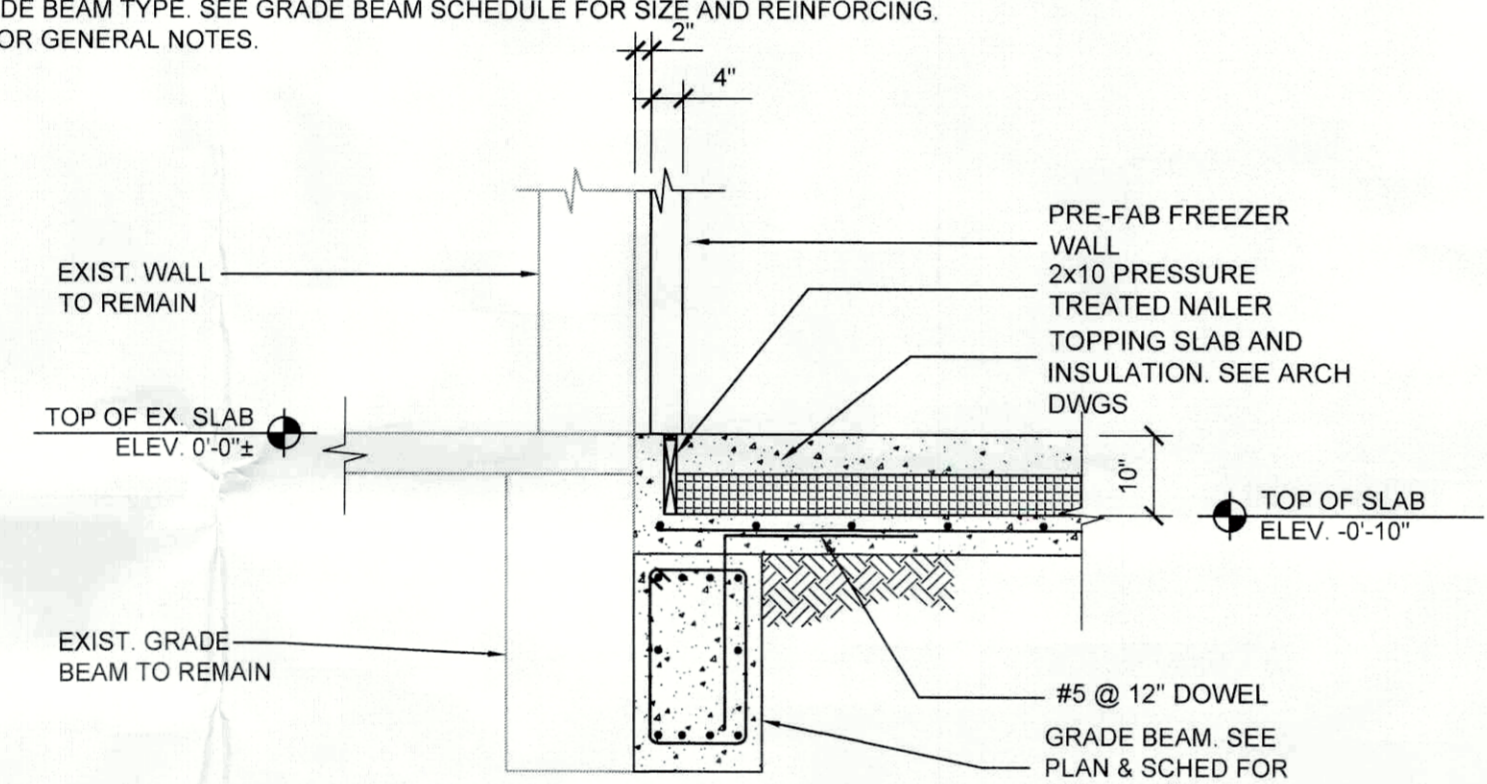
FLOOR LOAD SCHEDULE	
DEAD LOAD:	
5" NWT CONCRETE SLAB	63 PSF
SUPERIMPOSED DEAD LOAD	20 PSF
TOTAL DEAD LOAD	83 PSF
LIVE LOAD	
STORAGE	125 PSF

ROOF LOAD SCHEDULE	
ROOF DEAD LOAD:	15 PSF
DESIGN FLAT ROOF SNOW LOAD	30 PSF*
TOTAL ROOF LOAD	45 PSF

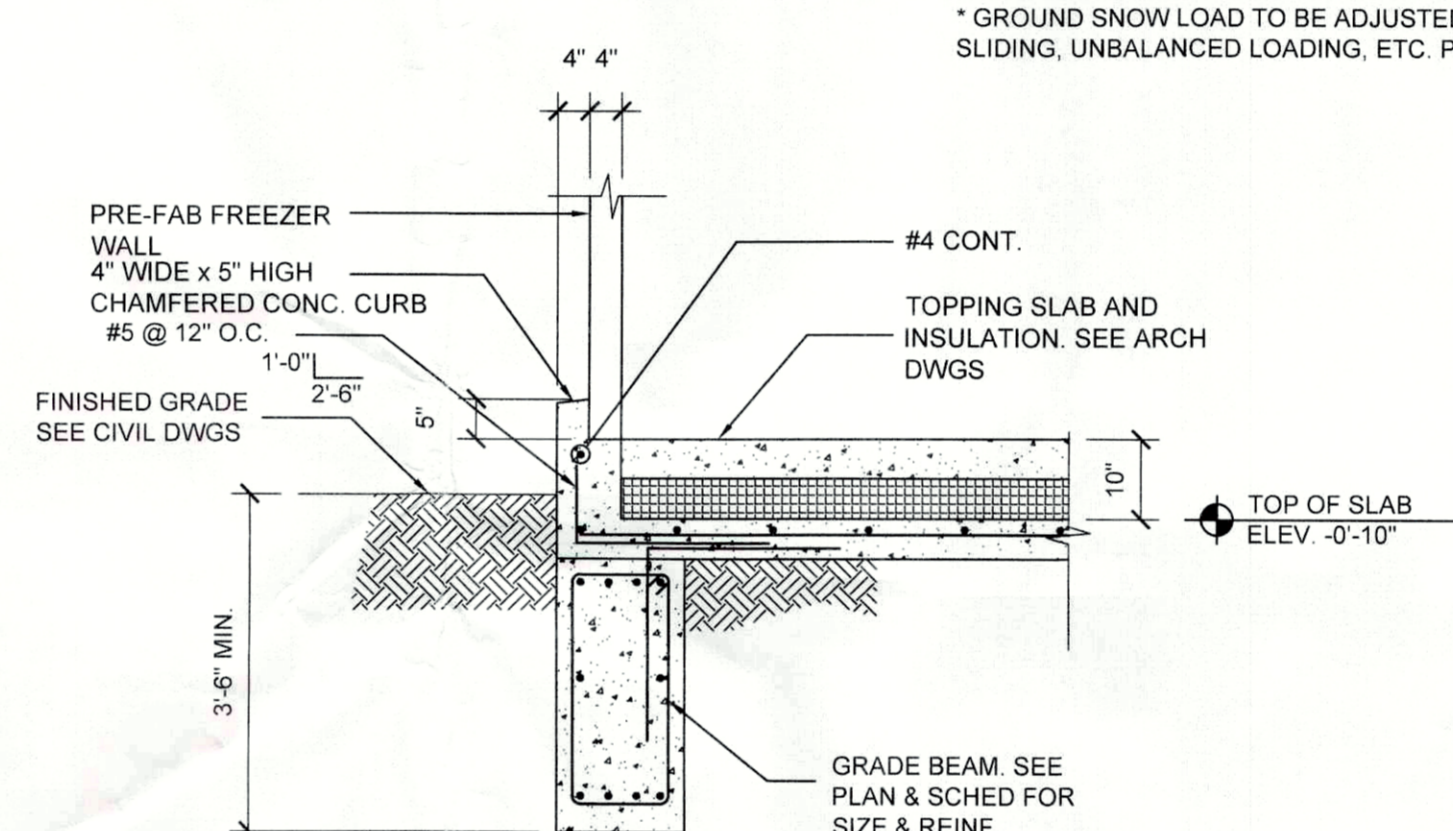
* GROUND SNOW LOAD TO BE ADJUSTED FOR DRIFT, SLIDING, UNBALANCED LOADING, ETC. PER CODE.



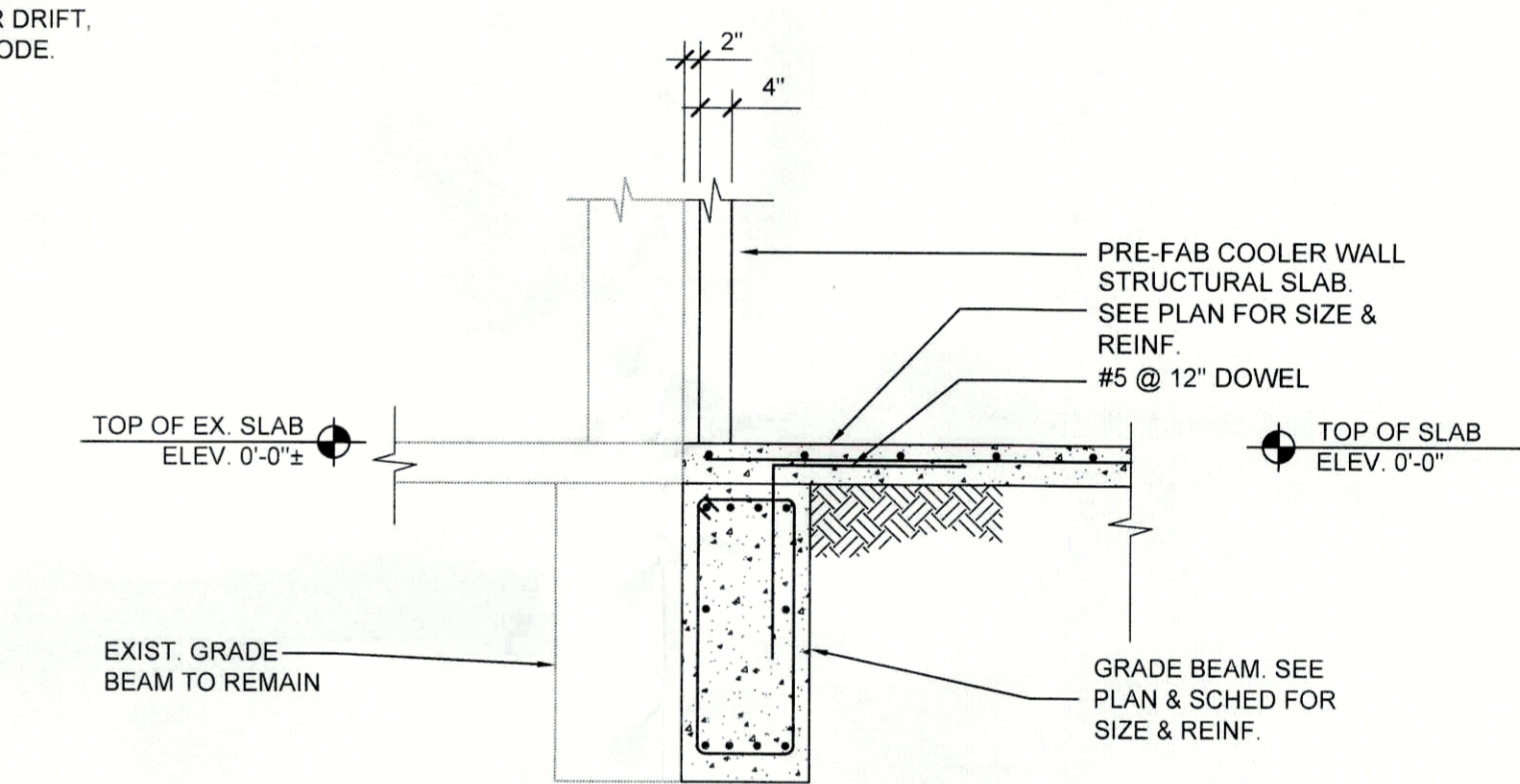
1 SECTION AT HELICAL PILE
SCALE: 1/2" = 1'-0"



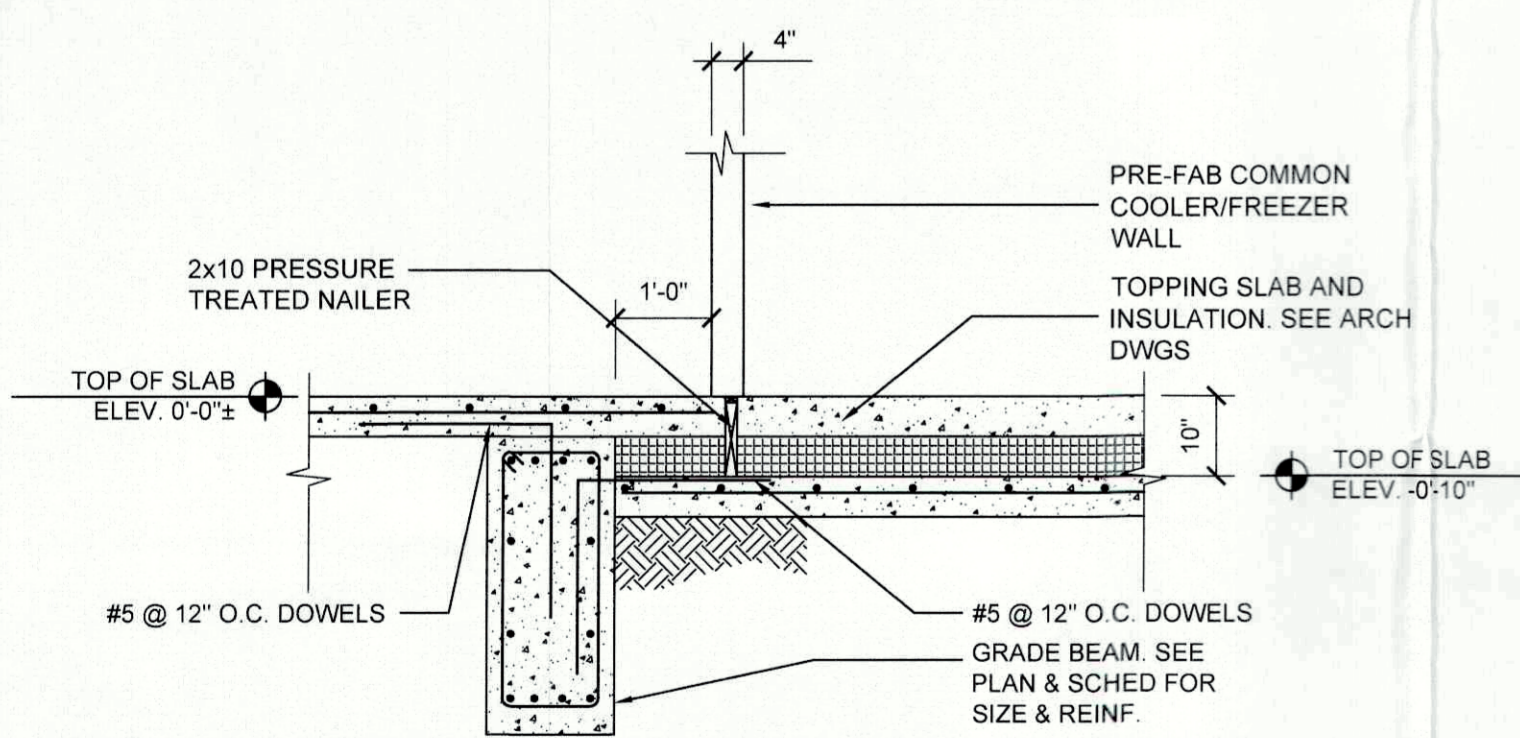
2 SECTION AT FREEZER
SCALE: 1/2" = 1'-0"



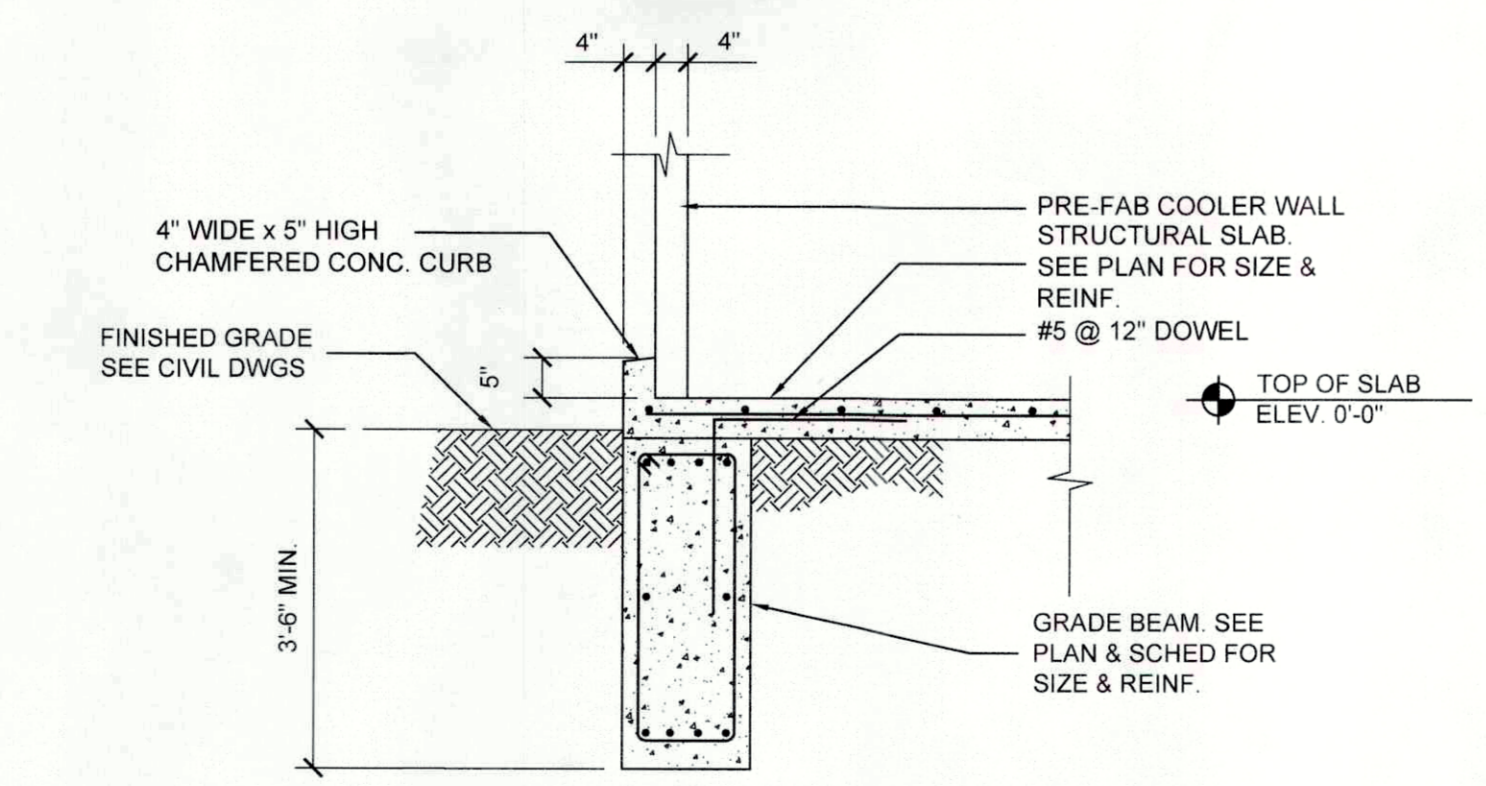
3 SECTION AT FREEZER
SCALE: 1/2" = 1'-0"



4 SECTION AT COOLER
SCALE: 1/2" = 1'-0"



5 SECTION AT FREEZER
SCALE: 1/2" = 1'-0"



6 SECTION AT COOLER
SCALE: 1/2" = 1'-0"



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NO.	DATE	DESCRIPTION	INT.
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 - KAROLINA PODKONOWICZ, AIA
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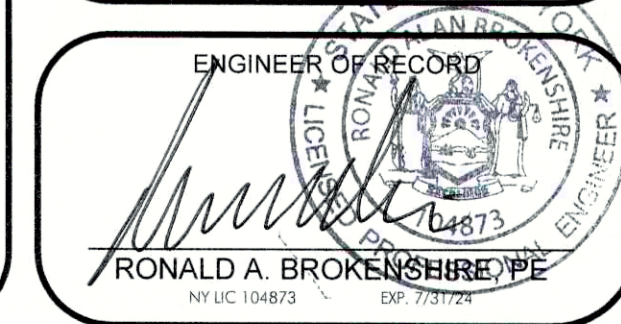
Project: **UNCLE GIUSEPPE'S MARKETPLACE**
 335 DOWNING DRIVE
 TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK
 SECTION 37.18, BLOCK 2, LOT 56

Project Number: **UNCLEG-S-21-132** Scale: **AS NOTED**
 Drawn By: **SC** Approved By: **RAB**

Drawing Name: **FOUNDATION PLAN AND DETAILS**

Drawing Number: **S-100**
 8 OF 8

Initial Date: **OCTOBER 4, 2021**



S:\PROJECTS\UNCLES-S-21-132-335-DOWNING-DR.-YORKTOWN-HEIGHTS.-NY\CAD\STRUCTURAL\UNCLEGG21-132-S-100-STRUCTURAL.DWG CGESARIO PLOTTED: 11/20/2021 3:57 PM

ZBA Referral Elezaj

JUN 27 2022

TOWN OF YORKTOWN

Interoffice MEMORANDUM

TO: Planning

FROM: Kyra Brunner, on behalf of the Zoning Board of Appeals

DATE: June 24, 2022

RE: Zoning Board of Appeals Referrals

The Zoning Board of Appeals has requested a report from you with respect to the attached applications:

- Marsocci #37/22
- Marsocci #38/22
- Elezaj #39/22
- Elezaj #40/22

I have attached any plans and/or pertinent materials that were submitted with the applications to assist in your review.

Please submit all reports with the original.

These files are presently in the Town Attorney's office. If any further information is needed, please do not hesitate to call.

The Zoning Board of Appeals will be taking these matters up at the July 28, 2022 meeting.

Thank you for your cooperation.

KB
Attachments



Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 | Fax (914) 962-1731 | Email: building@yorktownny.org

Application for a Special Use Permit - Accessory Dwelling

(Please legibly complete all lines on the application)

Office use only
Application #: 39/22 Fee Paid: Date: Received by:

A total of 6 copies of the following are to be submitted to the Legal Assistant:

- Application Form
Floor plan of the house, showing the location of the main units, accessory units, and parking plans
Property Survey
*Please check with the Building Department to determine if you need to fill out an Environmental Assessment Form

Fee of \$187.00

All items (1-24) must be completed

DATE: 6/13/2022

- 1. [X] New Application or [] Renewal (check one)
1a: If renewal: Expiration of previous grant
1b: If renewal: Have conditions changed since previous grant? [] Yes [] No (check one)
If yes, please specify
2. Is the accessory dwelling unit [X] existing or [] proposed (check one)
3. Name of Applicant Michael Piccirillo, AIA
4. Address of Property 1658 Amazon Road, Mohegan Lake, NY
5. Address of Applicant (if different than property) 371 North Avenue, New Rochelle, NY 10801
6. Tax Designation Section 25.12 Block 2 Lot(s) 32
7. Lot Area 1.276 Acres
8. Portion of Dwelling occupied by owner:
Location in Dwelling None
of Rooms # of Bedrooms
Square Feet
9. Portion of Dwelling occupied by tenant:
Location in Dwelling Cottage House & 2nd Floor Unit in 3 Family Structure
of Rooms 2nd Floor Unit = 3 Rooms Cottage House = 4 Rooms # of Bedrooms 2nd Floor Unit = 1 Bedroom Cottage House = 2 Bedrooms
Square Feet 2nd Floor Unit = 576 sq ft & Cottage House = 1,500 sq ft
10. Total Square Feet of Dwelling 2,221 sq ft = 3 Family; 1,500 = Cottage Total # of Bedrooms 5 Bedrooms = 3 Family 2 Bedrooms = Cottage House

11. The accessory dwelling unit will be occupied by Owner Tenant (check one)
12. Number of Vehicles in use for entire residence 3
13. Number of Off Street spaces provided 0
14. Owner of Title (if different from applicant) 1658 Amazon Road LLC
15. Date owner received title to the property 03/12/2020
16. Date owner actually occupied the residence Property was already occupied
17. Has owner continuously occupied the residence since date of initial occupancy?
 Yes No (check one)
 If no, please explain Owner has never occupied the property. Property is and has been tenant occupied
18. Has the house been enlarged by construction of an addition? Yes No (check one)
 If yes, on what date was addition completed? _____
19. Does owner have any boarders living in the premises? Yes No (check one)
20. Telephone Number (Home) 646-326-4444 (Work) 646-504-3255
21. Email alex.elezaj@gmail.com

22. As applicant, I hereby acknowledge that:

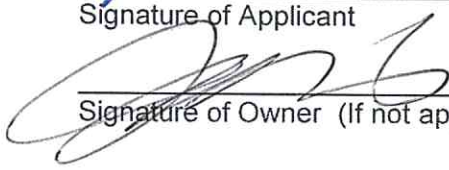
- A. The request is for a permit for a period of up to three years.
- B. The permit must be renewed at the end of such time.
- C. The property will be maintained in a neat and orderly manner.
- D. The peace and tranquility of the neighborhood will be insured.
- E. If conditions change or the property is sold, this permit shall be null and void.
- F. The permit is not transferable.
- G. If the application is approved, the applicant agrees to comply with all the requirements of Section 300-38 of the Zoning Ordinance of the Town of Yorktown, and the New York State Fire Prevention and Building Code.
- H. If I do not continue to comply with the requirements of the permit, it may be revoked.



 Signature of Applicant

6/13/22

 Date



 Signature of Owner (If not applicant)

06/13/2021

 Date

NOTICE: Smoke detectors and Carbon monoxide detectors are now required in all homes. The detectors may be battery operated (in existing dwellings and apartments only) or direct-wired, and must be located as follows:

- **SMOKE DETECTORS:** 1 in every bedroom, 1 outside the bedrooms, and 1 on every floor level. This includes the accessory dwelling and the main dwelling.
- **CARBON MONOXIDE DETECTORS:** On the lowest floor level containing a bedroom in each dwelling unit (accessory and main dwelling).
- Please have the smoke detectors and carbon monoxide detectors installed and operational at the time of your accessory dwelling inspection.



Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 | Fax (914) 962-1731 | Email: building@yorktownny.org

Application for a Zoning Variance
(Please legibly complete all lines on the application)

Office use only
Application #: 40/22 Fee Paid: _____ Date: _____ Received by: _____

A total of 6 copies of the following are to be submitted to the Legal Assistant:

- Application Form
- Notice of Denial
- A survey map or plot plan showing all existing and proposed buildings and structures
- All data relating to the variance
- *Please check with the Building Department to determine if you need to fill out an Environmental Assessment Form

Fee of \$210.00

Date: 6-13-22

All items (1-9) must be completed

1. Premises located on the North side of Arrow Road
(North, South, East, West) (Street, Road, Drive)

near MAQUA TRAIL

2. Section 25.12 Block 2 Lot 32

3. Date the title of premise was acquired by the applicant 3/13/2020 *

4. The same premises is now improved with a 2 WOOD FRAME BUILDINGS & GARAGE
(Type of Building or Structure)

5. The Variance Requested is as follows: THIS IS AN APPLICATION TO LEGALIZE 3
ACCESSORY APARTMENTS IN A SINGLE FAMILY HOME WITH AN EXISTING NON-
CONFORMING COTTAGE MAKING FOR 4 DWELLING UNITS ON THE PROPERTY
VARIANCES PERM.D. FROM SECTION 300-21C(1)(2)(3) &
SECTION 300-38B(5),(8),(9) OF THE ZONING CODE
_____ in a(n) R1-4D zoning district.

6. Telephone Number (Home) 646 324 4444 (Work) 646 504 3255

7. Email Alex.Elezaj@gmail.com

8. Address of Subject Property: 1658 Amazon Road
MONTICAN LAKE, NY 10547

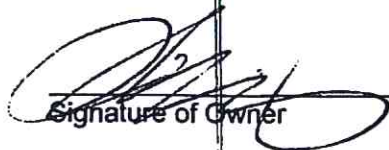
9. Address of Applicant/Owner: Alex Elezaj
371 North Avenue
New Rochelle, NY 10801

MICHAEL PICCINELLO
Name of Applicant (please print)


Signature of Applicant

6.13.22
Date

Alex Elezaj
Name of Owner (If not applicant)


Signature of Owner

6/13/2022
Date



Town of Yorktown

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 Fax (914) 962-1731

Notice of Denial

To: Alex Elezaj

Date: May 19, 2022

Regarding: Accessory Apartments

Name of Applicant: 1658 Amazon Road LLC / Alex Elezaj

Proposed Use/ Development: N/A

Location of Proposed Use/ Development: 1658 Amazon Rd

Tax#: Section: Block: Lot(s): 25-12-2-32

Type of Application:

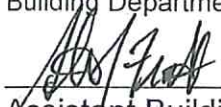
- Building Permit (X)
- Special Use Permit (X) Type of Proposed Use: ()
- Other

Zoning District: R1-40

Please Take Notice that your application is denied on the following grounds:

This is an application to legalize three (3) accessory apartments in a single family home with an existing non-conforming cottage making the total of four (4) dwelling units in a single family district. Variances will be required from 300-21C(1)(a)[1] and 300-38B(5),(8) and (9) of the Towns Zoning Code as well as a special permit.

Please Take Further Notice that it is the right of the property owner or his/her authorized representative to appeal this determination to the Town of Yorktown Zoning Board of Appeals by applying for a use variance, area variance, or interpretation of the applicable section of local law. Appeals applications are available at the Building Department and at the Town web site at www.yorktownny.org.



Assistant Building Inspector
Steven Fraietta

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLAN PREPARED PURSUANT TO SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. SUBJECT TO THE FINDINGS OF AN UP TO DATE TITLE SEARCH, UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL APPEARS RAISED ON THIS MAP, IT SHOULD NOT BE CONSIDERED A TRUE AND CORRECT COPY OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

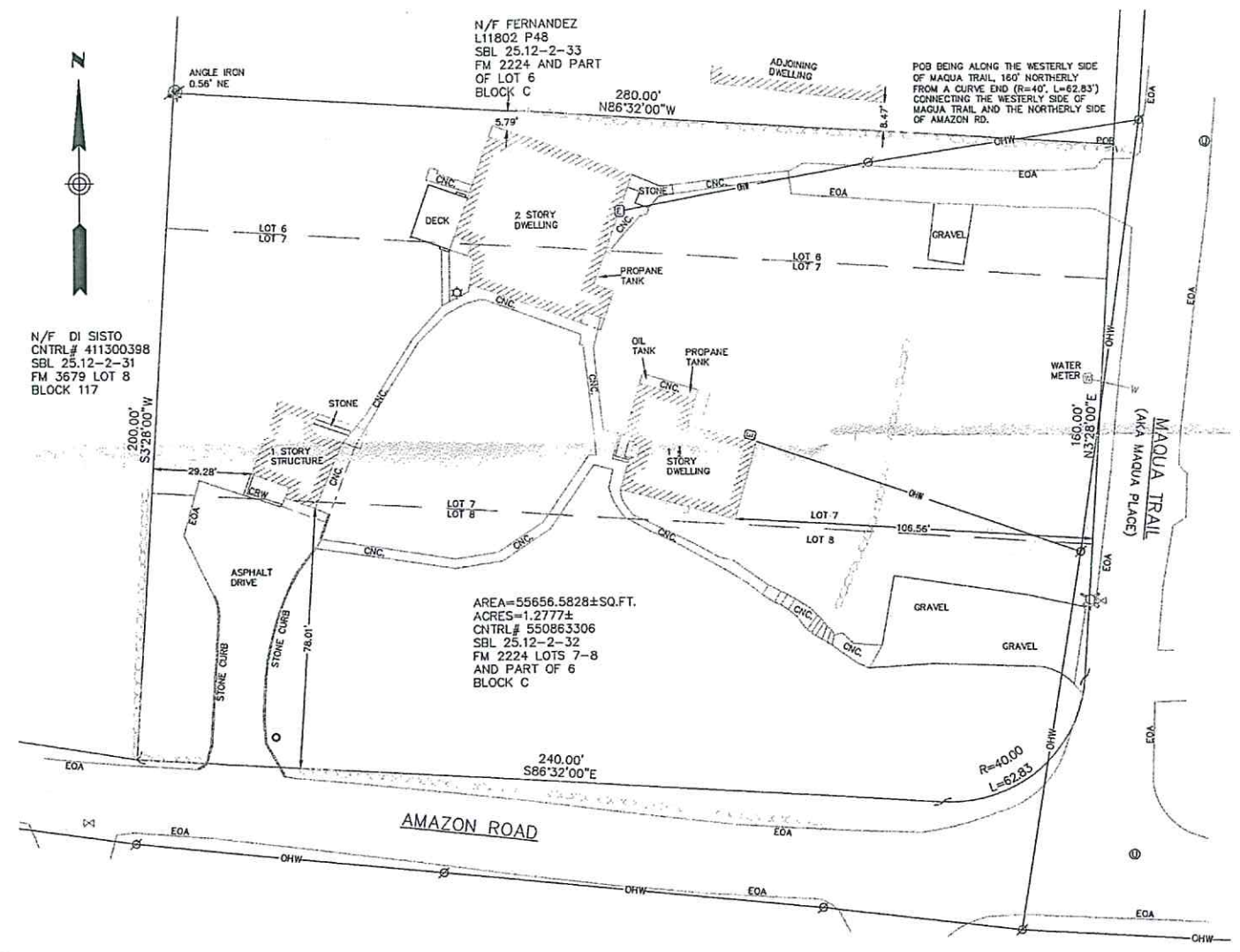


LOCUS MAP (N.T.S.)

SURVEY NOTES

- THIS PLAN WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY CONDUCTED BY RLS ON MARCH 7, 2020 AND ON THE FOLLOWING DATUM -
 MERIDIAN: FM 2224
 HORIZONTAL: ASSUMED
 VERTICAL: ASSUMED
- REFERENCES
 STREET NAMES, R.O.W. WIDTHS, PROPERTY IDENTIFICATION NUMBERS, OWNER NAMES, EASEMENTS, AND ANY ADDITIONAL INFORMATION SHOWN HEREON ARE REFERENCED FROM THE FOLLOWING MAPS AND DOCUMENTS -
 A. LAND CONVEYED TO JALAG, LLC BY CNTRL# 550863306, FILED IN THE WESTCHESTER CO. CLERKS OFFICE ON MARCH 25, 2015.
 B. MAP 2224 ENTITLED, "MAP OF AMAZON PARK", PREPARED BY REYNOLDS & CHASE AND FILED IN THE WESTCHESTER CO. CLERKS OFFICE ON DECEMBER 29, 1919.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
- THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION.
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT, (OR) WERE LOCATED AS MARKED AT THE TIME OF THE SURVEY.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS PLAN NOT VALID UNLESS ORIGINAL STAMP AND SIGNATURE OF A LICENSED SURVEYOR ARE LOCATED HEREON.
- OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES ARE SURVEY REFERENCES ONLY, AND NOT INTENDED TO MONUMENT THE PROPERTY LINES, NOR ARE THEY TO BE USED IN OR GUIDE CONSTRUCTION OF ANY TYPE.

MAP CERTIFIED TO:
 1658 AMAZON ROAD, LLC
 FIDELITY NATIONAL TITLE INSURANCE COMPANY
 ABSOLUTE TITLE AGENCY, LLC
 TITLE# ABS-18335-NY



LEGEND

- ⊙ ANGLE IRON
- ⊙ UNKNOWN MANHOLE
- ⊙ ELECTRIC METER
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ LIGHT POLE
- POST
- PROPERTY LINE
- - - FILED MAP LOT
- WATER LINE
- - - OVERHEAD WIRES
- STONE WALL
- POINT OF BEGINNING
- PROPERTY LINE
- EDGE OF ASPHALT
- CONCRETE
- CONCRETE RETAINING WALL

RECEIVED *KB*
 Zoning Board of Appeals Office
 JUN 16 2022
 TOWN OF YORKTOWN, NY



PROPERTY SURVEY
 1658 AMAZON ROAD
 YORKTOWN, NEW YORK
 PREPARED FOR
 1658 AMAZON ROAD, LLC

ROWAN LAND SURVEYING, PLLC

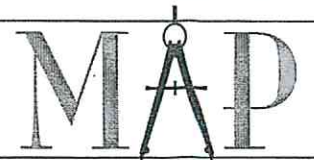
330 OLD ALBANY POST ROAD
 GARRISON, NY 10524
 914 815 3986
 rowanlandsurveying@outlook.com

Drawn By PR	Date MARCH 11, 2020	Job No. 020-024
Surveyed By PR	Scale 1" = 30'	Sheet No. 1 OF 1

1658 AMAZON ROAD LLC

RENOVATION

1658 AMAZON ROAD
MOHEGAN LAKE, NEW YORK 10547



Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2021 MICHAEL PICCIRILLO ARCHITECTURE PLLC

ABBREVIATIONS

AB	ANCHOR BOLT	DJAM	DIAMETER	INCL	INCLUDING	PTD	PAINTED	TELE	TELEPHONE
AT	ACOUSTICAL TILE	DN	DIMENSION	ID.	INSIDE DIAMETER	P.LAM	PLASTIC LAMINATE	TV	TELEVISION
A.F.F.	ABOVE FINISHED FLOOR	DN	DOWN	INSUL	INSULATION	PLVD	PLYWOOD	THK	THICKNESS
ADD.	ADDENDUM	DWG	DRAWING	INT	INTERIOR	PVC	POLYVINYL CHLORIDE	T&G	TONGUE AND GROOVE
A/C	AIR CONDITIONING	D.F.	DRINKING FOUNTAIN	INV	INVERT	P.C.F.	POUNDS PER CUBIT FOOT	T&B	TOP AND BOTTOM
ALT	ALTERNATE	ELEC	ELECTRICAL	JT	JOINT	P.S.F.	POUNDS PER SQUARE FOOT	T.O.S.	TOP OF SLAB
ALUM	ALUMINUM	E.W.C.	ELEC. WATER COOLER			P.S.I.	POUNDS PER SQUARE INCH	T.O.STL	TOP OF STEEL
ANOD	ANODIZED	ELEV	ELEVATION	LAM	LAMINATE	PLAS	PLASTER	T.O.W.	TOP OF WALL
ARCH	ARCHITECTURAL	EQ	EQUAL	LAV	LAVATORY			T	TREAD (S)
BSMT	BASEMENT	EXP	EXPOSED	L.F.	LINEAR FOOT	QT	QUARRY TILE	TYP	TYPICAL
BIT	BITUMINOUS	EXT.	EXTERIOR					T.O.C.	TOP OF CURB
BLKG	BLOCKING	EXP. JT.	EXPANSION JOINT	MTL	METAL	RCP	REFLECTED CEILING PLAN	UL	UNDERWRITERS LABORATORY
BD	BOARD	MFR	MANUFACTURER	MAS	MASONRY	REF	REFERENCE	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	FIN	FINISH	MFR	MASONRY	REIN	REINFORCED	URINAL	URINAL
		F.F.E.	FINISHED FLOOR ELEV.	MECH	MASONRY OPENING	REQ	REQUIRED	V.C.T.	VINYL COMPOSITION TILE
CAB	CABINET	F.P.S.C.	FIRE-PROOF, SELF-CLOSING	M.O.	MECHANICAL	R	RISER	VB	VAPOR BARRIER
CIP	CAST IN PLACE	FTG	FOOTING	MIN	MINIMUM	RM	ROOM	VERT	VERTICAL
CPT	CARPET	FND	FOUNDATION	NOM	NOMINAL	R.O.	ROUGH OPENING		
C.B.	CATCH BASIN							WF	WITH
CLG	CEILING	GALV	GALVANIZED	N.I.C.	NOT IN CONTRACT	SIM	SIMILAR	WC	WATER CLOSET
CEM	CEMENT	GA	GAUGE	N.T.S.	NOT TO SCALE	SPEC	SPECIFICATION	WCOT	WAINSCOT
C.T.	CERAMIC TILE	GYP. BD.	GYP. BOARD	O.A.I.	OUTSIDE AIR INTAKE	SO	SQUARE	WP	WATERPROOFING
COL	COLUMN			O.C.	ON CENTER	S.F.	SQUARE FOOT	WR	WEATHER RESISTANT
CONC	CONCRETE	HD. WD.	HARDWOOD	O.H.	OVERHANG	S.Y.	SQUARE YARD	WS	WEATHER STRIPPING
CMU	CONC. MASONRY UNIT	HDR	HEADER	OPNG	OPENING	S.S.	STAINLESS STEEL	WT	WEIGHT
CONST	CONSTRUCTION	HT	HEIGHT	OPP	OPPOSITE	STD	STANDARD	W.W.F.	WELDED WIRE FABRIC
CONT	CONTINUOUS	HM	HOLLOW METAL	O.D.	OUTSIDE DIAMETER	STL	STEEL	W	WIDE WIDTH
C.F.	CUBIC FEET	HB	HOSE BIB	OPT	OPTION OR OPTIONAL	SYM	SYMBOL	WD	WOOD
C.Y.	CUBIC YARD								

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE AND LOCAL CODES. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.
- THIS LAYOUT WAS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISTING STRUCTURE. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WITHIN THE EXISTING STRUCTURE. THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR SHALL CAREFULLY SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN ESTABLISHING LAYOUT, CONTRACTOR SHALL CONTACT ARCHITECT FOR APPROVAL BEFORE COMMENCING WITH CONSTRUCTION.
- BEFORE SUBMITTING A PROPOSAL THE CONTRACTOR SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS & SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK & THE DIFFICULTIES THAT ATTEND TO ITS EXECUTION.
- MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MANUFACTURERS PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
- CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION.
- IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
- TIME REQUIRED TO COMPLETE THE PROJECT SHALL BE SET BY THE CONTRACTOR'S PROPOSAL. AFTER AWARD OF JOB, CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR REVIEW, INDICATING THE SEQUENCE OF OPERATIONS AND TIME REQUIRED FOR EACH, ESTABLISHING A TARGET DATE.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.
- NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SUBMITTED IN WRITING TO ARCHITECT/OWNER & APPROVED BY ARCHITECT/OWNER.
- CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED. WHEN EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED WITH WATER TIGHT PROTECTION AT THE END OF THE DAY'S WORK.
- REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.
- PROPERLY PREPARE ALL SURFACES BEFORE APPLICATION OF FINISHES, IN STRICT ACCORDANCE WITH THE PRINTED RECOMMENDATIONS.
- EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. CLEAN FIXTURES AND CABINETRY TO A SANITARY CONDITION.
- PERMITS: A. GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL, SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR CONSTRUCTION. B. GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER. C. GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER. D. CLEANING: A. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS. B. AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.
- WARRANTIES: A. CONTRACTOR SHALL WARRANT THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.
- THE CONTRACTORS' EXPERIENCE, EXPERTISE AND PROFESSIONAL JUDGMENT SHALL NOT BE DISREGARDED DURING THE CONSTRUCTION PROCESS. THE CONTRACTORS' INPUT, COMMENTS AND RECOMMENDATIONS WILL BE WELCOMED AND EXPECTED BY THE OWNER AND THE ARCHITECT. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED AND EMBRACED IF THEY HAVE MERIT AND A BETTER RESULT CAN BE ACHIEVED. SUCH CHANGES MAY NOT TAKE PLACE WITHOUT THE EXPRESS APPROVAL OF THE ARCHITECT.

ALL NEW INTERIOR FINISHES SHALL COMPLY WITH 2020 NYS RESIDENTIAL CODE - INTERIOR WALL AND CEILING FINISHES & CORRIDOR FINISHES SHALL BE A MIN CLASS "C" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
-EXIT PASSAGE FINISHES SHALL BE A MIN CLASS "B" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
-INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOC FF "PILL TEST"

PORTABLE FIRE EXTINGUISHERS
-EXTINGUISHERS SHALL BE SELECTED, INSTALLED, MAINTAINED IN ACCORDANCE WITH NFPA 10. -PROVIDE (1) 2-A. EXTINGUISHER FOR EACH RETAIL SPACE, AND (2) 2-A. EXTINGUISHER FOR WAREHOUSE SPACE
-EXISTING SPRINKLER SYSTEM SHALL BE MODIFIED PER NEW CONSTRUCTION TO PROVIDE THE REQUIRED COVERAGE FOR NEWLY CREATED SPACES. ALL SPRINKLER WORK/MODIFICATIONS SHALL BE DONE IN ACCORDANCE WITH NFPA 72.

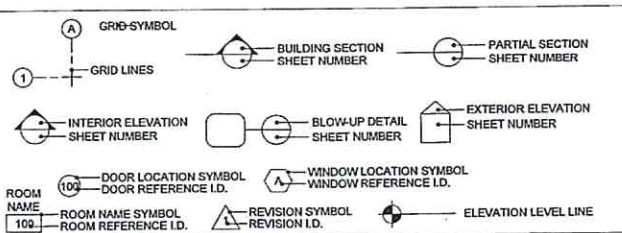
HVAC
-NEW MECHANICAL WORK AND ALTERATIONS TO EXISTING MECHANICAL INSTALLATIONS SHALL CONFORM TO CHAPTER 12 OF THE 2020 NYS RESIDENTIAL CODE.
-HEATING AND COOLING LOADS SHALL BE DETERMINED IN ACCORDANCE WITH THE PROCEDURES DESCRIBED IN THE ASHRAE/ACCA 183.
-HVAC EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE.
-THE HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68 DEG. F AT A POINT 3'-0" ABOVE THE FLOOR ON THE DESIGN HEATING DAY.
-G.C. SHALL PROVIDE SYSTEM SPECIFICATIONS FOR ARCHITECT REVIEW. -EACH HEATING/COOLING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC CONTROLS
-SUPPLY AND RETURN AIR DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH MIN. R-5 INSULATION -ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
-PROPER CLEARANCES SHALL BE MAINTAINED TO ALL INSPECTION, SERVICE, REPAIR, OR REPLACEMENT WITHOUT REMOVING ELEMENTS OF PERMANENT CONSTRUCTION.

PLUMBING
-SERVICE WATER HEATING EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE.
-ALL PLUMBING FIXTURES AND DRAINS USED TO RECEIVE OR DISCHARGE LIQUID WASTE SHALL BE DIRECTLY CONNECTED TO THE SANITARY DRAINAGE SYSTEM IN ACCORDANCE WITH 2020 NYS RESIDENTIAL CODE. -ALL PLUMBING FIXTURES AND APPLIANCES USING WATER SHALL BE CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH 2020 NYS RESIDENTIAL CODE.
-THE SUPPLY LINES AND FITTINGS FOR EVERY PLUMBING FIXTURE SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW IN ACCORDANCE WITH ASME A 112.18.1 -STRAINER PLATES AND DRAIN INLETS SHALL BE DESIGNED AND INSTALLED SO THAT ALL OPENINGS ARE NOT GREATER THAN 0.5" IN LEAST DIMENSION
-OPENINGS FOR PIPES MADE IN FLOORS, WALL, AND CEILINGS SHALL BE CLOSED AND PROTECTED BY INSTALLATION OF APPROVED METAL COLLARS THAT ARE FASTENED TO THE STRUCTURE. EXTERIOR WALL AND ROOF OPENINGS SHALL BE MADE WATER TIGHT WITH APPROVED FLASHING. -BURIED PIPING SHALL BE SUPPORTED THROUGHOUT ITS ENTIRE LENGTH. PIPE TRENCHES SHALL BE LINED WITH FINE GRAVEL.
-THE DESIGN OF WATER DISTRIBUTION SYSTEM SHALL CONFORM TO ACCEPTED ENGINEERING PRACTICE. METHODS UTILIZED TO DETERMINE PIPE SIZES SHALL BE APPROVED.
-WATER SERVICE AND DISTRIBUTION PIPE SHALL CONFORM TO NSF 61.

ELECTRICAL
-NEW ELECTRICAL COMPONENT, EQUIPMENT, AND SYSTEMS AND ALTERATIONS TO EXISTING ELECTRICAL INSTALLATIONS SHALL CONFORM TO NFPA 70.

FUEL AND GAS
-NEW FUEL GAS WORK AND ALTERATIONS TO EXISTING FUEL GAS INSTALLATIONS SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE.

REFERENCE SYMBOLS



ENERGY CODE COMPLIANCE:

2020 NYS RESIDENTIAL CODE, CHAPTER 4: RESIDENTIAL ENERGY EFFICIENCY
-CLIMATE ZONE 4
-CLIMATE ZONE 4 DESCRIPTIVE REQUIREMENTS:
FENESTRATION U-FACTOR- 0.32
CEILING R-VALUE- 49
WALL R-VALUE- 20
FLOOR R-VALUE- 19
(REFER TO PLANS FOR PROJECT INSULATION VALUES)

-THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION.
-ALL JOINTS, SEAMS, AND PENETRATIONS -JOINTS AROUND DOORS/WINDOWS AND THEIR FRAMING
-UTILITY PENETRATIONS
-WALLS AND CEILINGS SEPARATING CONDITIONED FROM NON CONDITIONED SPACE
-ATTIC ACCESS OPENINGS
-RIM JOIST JUNCTION, SILL PLATES AND HEADERS

-BUILDING ENVELOPE AIR TIGHTNESS SHALL BE TESTED IN ACCORDANCE WITH ASHRAE/ASTM E779
-PROVIDE A MINIMUM OF ONE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING SPACE TEMPERATURE PER 2020 NYS RESIDENTIAL CODE
-DUCTS IN ATTIC SHALL BE INSULATED TO MIN. R-8. ALL OTHER DUCTS SHALL BE INSULATED TO MIN. R-6 (EXCEPT DUCTS LOCATED COMPLETELY WITHIN THE BUILDING THERMAL ENVELOPE)
-ALL DUCTS SHALL BE SEALED AND COMPLY WITH M1501.3.1 OF 2020 NYS RESIDENTIAL CODE -HOT AND COLD WATER PIPES SHALL BE INSULATED TO MIN. R-3
-HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL J. GC SHALL PROVIDE SYSTEM SPECIFICATIONS SHOWING COMPLIANCE WITH ABOVE.
-A MINIMUM OF 90% OF LAMPS SHALL BE IN LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	SPECIAL WIND REGION	SEISMIC DESIGN CATEGORY	WEATHERING	FROST DEPTH LINE	TERMITES	DECAY	WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIREMENT	FLOOD HAZARDS
30 PSF	115 MPH	B	SEVERE	4"	MODERATE HEAVY	SLIGHT MODERATE	7°F	YES	NO

INSULATION AND FENESTRATION REQUIREMENTS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH
4A	0.32	0.55	49	20	5/16"	19	10/16"	10, 2 FT 4"

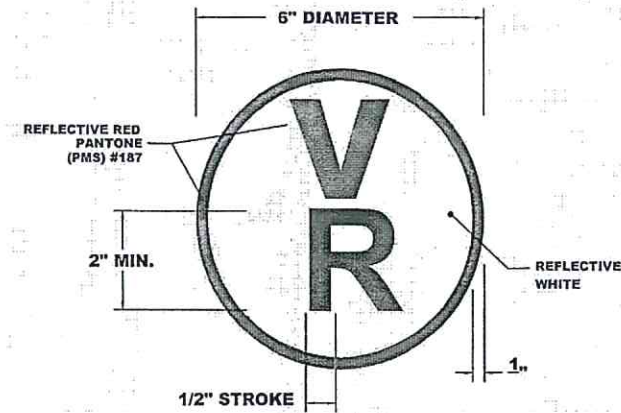
THIS PROJECT MEETS THE PRESCRIPTIVE METHOD FOR ENERGY CODE COMPLIANCE: CLIMATE ZONE 4

ENERGY CODE NOTE:

I CERTIFY THAT I AM A LICENSED PROFESSIONAL, I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THE BUILDING PLANS SUBMITTED HEREIN ARE IN COMPLIANCE WITH THE 2020 NYS RESIDENTIAL CODE.

LIGHT AND SOUND TRANSMISSION NOTE:

THE BUILDING PLANS SUBMITTED HEREIN ARE IN COMPLIANCE WITH RESIDENTIAL CODE OF NEW YORK STATE. THE BUILDING PLANS DESCRIBED HEREIN COMPLY WITH CHAPTER 3 INCLUDING PARAGRAPH R903.1 OF THE 2020 NYS RESIDENTIAL CODE.
ALL HABITABLE ROOMS HAVE BEEN PROVIDED WITH AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. THE MINIMUM OPERABLE AREA FOR VENTILATION TO THE OUTDOORS HAVE BEEN PROVIDED AT NOT LESS THAN 4 PERCENT OF FLOOR AREA.



No.	DATE	ISSUE
1	08/11/21	ISSUED FOR PERMIT
2	09/13/21	ISSUED PER COMMENTS

PROJECT NAME:
1658 AMAZON ROAD LLC RENOVATION

PROJECT ADDRESS:
1658 AMAZON ROAD
MOHEGAN LAKE, NY 10547



MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET SUITE #203
YORKTOWN HEIGHTS, NEW YORK 10598

TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

TITLE SHEET
NOTES

SCALE: AS NOTED DATE: 05-10-22
DRAWN BY: MAP
CHKD BY: MAP
1 OF 11
T-100

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JUN 16 2022
TOWN OF MOHEGAN LAKE

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2010 MICHAEL PICCIRILLO ARCHITECTURE

WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED

No.	DATE	ISSUE

PROJECT NAME:
1658 AMAZON ROAD LLC
RENOVATION

PROJECT ADDRESS:
1658 AMAZON ROAD
MOHEGAN LAKE, NY 10547

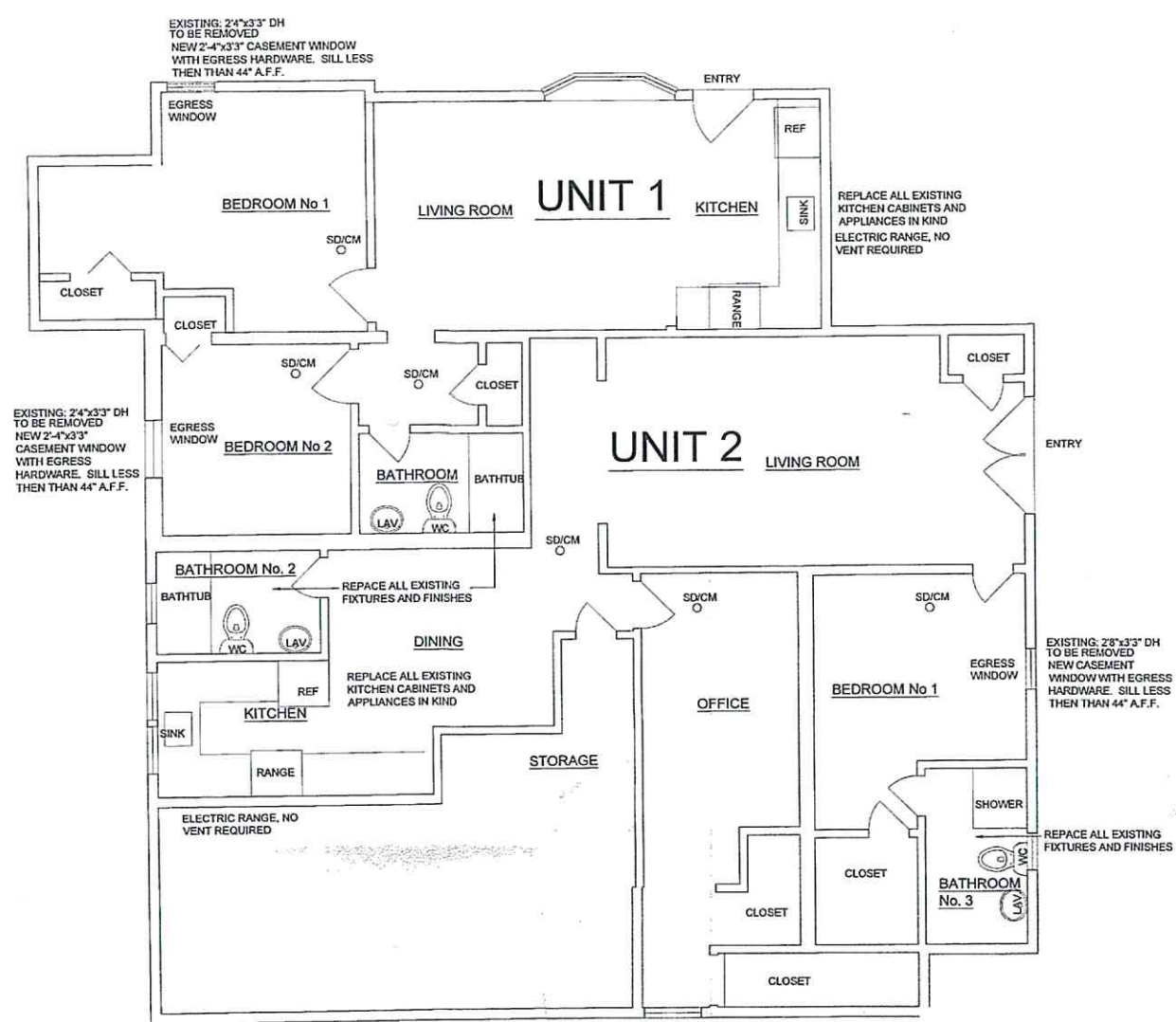


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FACSIMILE: 914-302-2933
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

PROPOSED PLANS

SCALE: AS NOTED DATE: 05-10-22

DRAWN BY: MAP
CHKD BY: MAP
A-100
1 OF 1



A UNIT 1 & 2 FIRST FLOOR PLAN
SCALE: 1/4 = 1'-0"

CONSTRUCTION PLAN NOTES

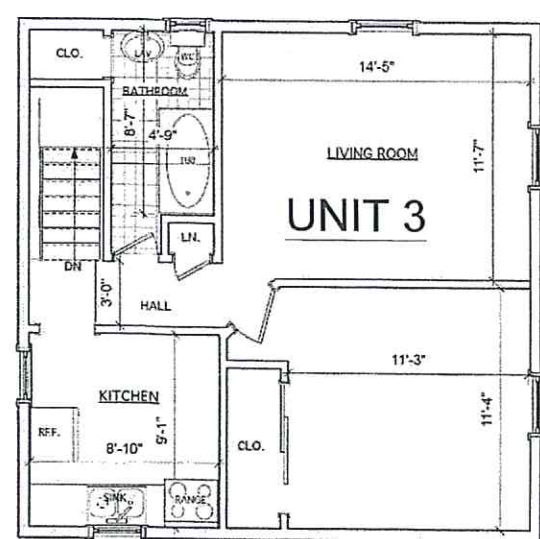
1. PREPARE EXISTING SUBFLOOR FOR NEW FLOOR FINISHES PATCH AND REPAIR ALL WALLS DAMAGED BY DEMOLITION TO APPEAR INTEGRAL WITH NEW WORK.
2. PROVIDE SADDLES AND WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
3. ALL PARTITIONS WITH WALL HUNG CABINET, WALL HUNG FIXTURES, WALL TILE OR COAT RACKS TO HAVE 2x WOOD STUDS AT 12" o.c. OR AS REQUIRED.
4. ALL PARTITIONS WITH WALL HUNG CABINET, WALL HUNG FIXTURES, WALL TILE OR COAT RACKS TO HAVE 2x WOOD STUDS AT 12" o.c. OR AS REQUIRED.
5. SHELVING TO BE PAINT GRADE BIRCH PLYWOOD WITH 1 1/4" HARDWOOD EDGE TYP. IN EVERY CLOSET. PROVIDE 5 ADJUSTABLE SHELVES IN STORAGE OR PROVIDE COAT ROD, BRACKETS AND SHELVING IN EVERY COAT CLOSET.

SPRAY FOAM INSULATION NOTES

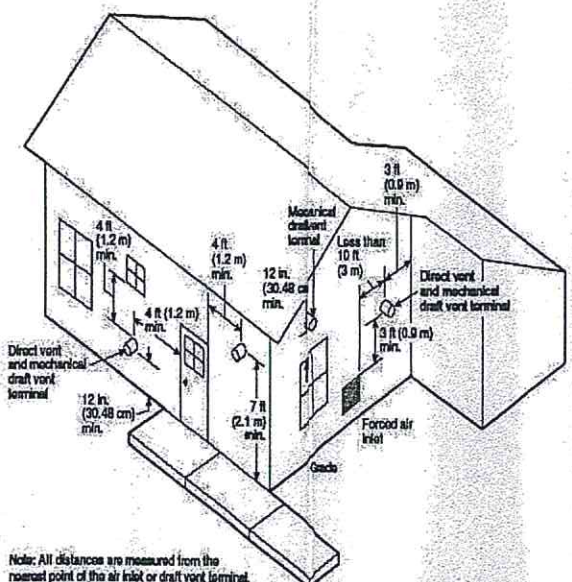
1. PROVIDE CLOSED CELL SPRAY FOAM INSULATION FOR NEW AND ACCESSIBLE FRAMED AREAS. INSTALL IN ALL WALL CAVITIES, INCLUDING CAVITIES AROUND WINDOWS.
2. INSULATION TO BE R-21 IN ALL EXTERIOR WALLS.
3. INSULATION TO BE R-49 IN ATTICS AND FLOORS.
4. FIBERGLASS ACoustICAL ATTENUATION BLANKETS (3 1/2") TO BE INSTALLED IN ALL INTERIOR WALLS AS SHOWN AND CEILINGS. BLANKETS TO BE UNFACED WITH NO VAPOR BARRIER.
5. ALL INSULATION SHALL CONFORM TO 2020 NY RESIDENTIAL CODE.
6. PROVIDE INTUMESCENT PAINT TO ALL EXPOSED SPRAY FOAM INSULATION

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO NYSRC2020, AND LOCAL ZONING CODES.
2. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT. O.C. SHALL SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. DO NOT SCALE DRAWINGS.
3. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
4. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES.
5. CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THINATURE AND LOCATION OF THE WORK.
6. ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED IN THIS DRAWING

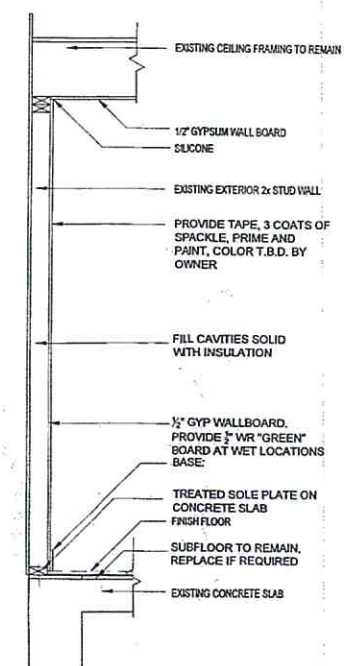


B UNIT 3 SECOND FLOOR PLAN
SCALE: 1/4 = 1'-0"



Note: All distances are measured from the nearest point of the air inlet or draft vent terminal.

B TYPICAL VENTING DIAGRAM
SCALE: N.T.S.



1 TYP. EXTERIOR PARTITION
SCALE: N.T.S.

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLAN PREPARED PURSUANT TO SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. SUBJECT TO THE FINDINGS OF AN UP TO DATE TITLE SEARCH, UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL APPEARS RAISED ON THIS MAP, IT SHOULD NOT BE CONSIDERED A TRUE AND CORRECT COPY OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

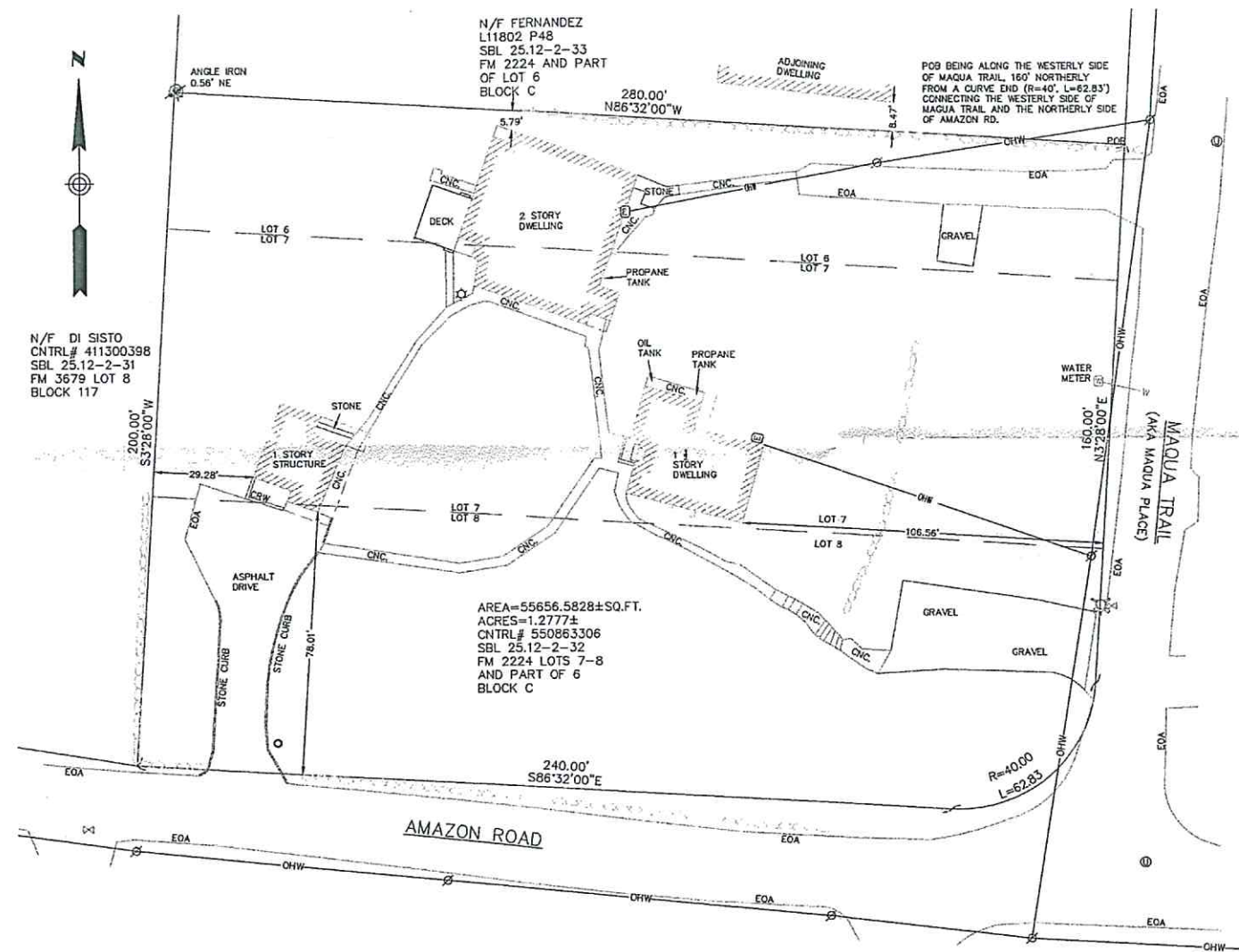


LOCUS MAP (N.T.S.)

SURVEY NOTES

- THIS PLAN WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY CONDUCTED BY RLS ON MARCH 7, 2020 AND ON THE FOLLOWING DATUM -
 MERIDIAN: FM 2224
 HORIZONTAL: ASSUMED
 VERTICAL: ASSUMED
- REFERENCES
 STREET NAMES, R.O.W. WIDTHS, PROPERTY IDENTIFICATION NUMBERS, OWNER NAMES, EASEMENTS, AND ANY ADDITIONAL INFORMATION SHOWN HEREON ARE REFERENCED FROM THE FOLLOWING MAPS AND DOCUMENTS -
 A. LAND CONVEYED TO JALAG, LLC BY CNTRL# 550863306, FILED IN THE WESTCHESTER CO. CLERKS OFFICE ON MARCH 25, 2015.
 B. MAP 2224 ENTITLED, "MAP OF AMAZON PARK", PREPARED BY REYNOLDS & CHASE AND FILED IN THE WESTCHESTER CO. CLERKS OFFICE ON DECEMBER 29, 1919.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AND ACCURATE AND CURRENT TITLE REPORT.
- THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION.
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT. [OR] WERE LOCATED AS MARKED AT THE TIME OF THE SURVEY.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS PLAN NOT VALID UNLESS ORIGINAL STAMP AND SIGNATURE OF A LICENSED SURVEYOR ARE LOCATED HEREON.
- OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES ARE SURVEY REFERENCES ONLY, AND NOT INTENDED TO MONUMENT THE PROPERTY LINES, NOR ARE THEY TO BE USED IN OR GUIDE CONSTRUCTION OF ANY TYPE.

MAP CERTIFIED TO:
 1658 AMAZON ROAD, LLC
 FIDELITY NATIONAL TITLE INSURANCE COMPANY
 ABSOLUTE TITLE AGENCY, LLC
 TITLE# ABS-18335-NY



LEGEND

- | | |
|----------------------|-----------------------------|
| ⊙ ANGLE IRON | POB POINT OF BEGINNING |
| ⊙ UNKNOWN MANHOLE | PL PROPERTY LINE |
| ⊙ ELECTRIC METER | EOA EDGE OF ASPHALT |
| ⊙ WATER VALVE | CNC CONCRETE |
| ⊙ FIRE HYDRANT | CRW CONCRETE RETAINING WALL |
| ⊙ LIGHT POLE | |
| ⊙ POST | |
| — PROPERTY LINE | |
| — FILED MAP LOT | |
| — WATER LINE | |
| — OHW OVERHEAD WIRES | |
| — STONE WALL | |

PROPERTY SURVEY
 1658 AMAZON ROAD
 YORKTOWN, NEW YORK
 PREPARED FOR
 1658 AMAZON ROAD, LLC

ROWAN LAND SURVEYING, PLLC

330 OLD ALBANY POST ROAD
 GARRISON, NY 10524
 914 815 3986
 rowanlandsurveying@outlook.com

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Drawn By PR	Date MARCH 11, 2020	Job No. 020-024
Surveyed By PR	Scale 1" = 30'	Sheet No. 1 OF 1

ZBA Referral Pied Piper Sign

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PLANNING DEPARTMENT

AUG 1 - 2022

TOWN OF BROOKFIELD

Interoffice MEMORANDUM

TO: Planning

FROM: Kyra Brunner, on behalf of the Zoning Board of Appeals

DATE: July 29, 2022

RE: Zoning Board of Appeals Referrals

The Zoning Board of Appeals has requested a report from you with respect to the attached applications:

- Dineen-Carey #50/22

I have attached any plans and/or pertinent materials that were submitted with the applications to assist in your review.

Please submit all reports with the original.

These files are presently in the Town Attorney's office. If any further information is needed, please do not hesitate to call.

The Zoning Board of Appeals will be taking these matters up at the September 22, 2022 meeting.

Thank you for your cooperation.

KB
Attachments



Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 | Fax (914) 962-1731 | Email: building@yorktownny.org

Application for a Special Use Permit

(Please legibly complete all lines on the application)

Office use only

Application #: 50/22 Fee Paid: _____ Date: _____ Received by: _____

A total of **6 copies** of the following are to be submitted to the Legal Assistant:

- Application Form
- A site plan of the premises, including existing and proposed structures for which relief is requested, location of watercourses and other topographical features if applicable
- Elevation drawings of all buildings and structures involved in the application
- A survey map of premises, prepared by a Licensed Land Surveyor
- Any supporting documents as required by the specific application (Please see Chapter 300, "Zoning", of the Code of the Town of Yorktown for documentation by specific use)
- *Please check with the Building Department to determine if you need to fill out an Environmental Assessment Form

Fee of \$625.00 New, \$312.00 Renewal

Date: July 19, 2022

All items (1-8) must be completed

1. New Application or Renewal (check one)

2. Premises located on the Northeast side of Crompond Road
(North, South, East, West) (Street, Road, Drive)

near Baldwin Road

3. Section 37.14 Block 2 Lot 8

4. The Special Use Requested is as follows: _____

This is an application to allow an 18 square foot wall sign on the side of the building where 4 square feet is allowed, as per section 300-2) and appendix C of the Town Zoning Code.

5. Telephone Number (Home) _____ (Work) (914)962-5196

6. Email DineenCareyHoldingsLLC@gmail.com

7. Address of Subject Property: 2090 Crompond Road
Yorktown Heights, NY 10598

8. Address of Applicant/Owner: 2090 Crompond Road
Yorktown Heights, NY 10598


In the event the permit is issued, the undersigned applicant will comply with all provisions of the Code of the Town of Yorktown and all other applicable laws, codes, rules and regulations of any Federal, State, or County Government, bureau or department thereof, having jurisdiction over said premises and the use to be conducted thereat.

Pied Piper
Name of Applicant (please print)


Signature of Applicant
Kathleen S. Dineen-Carey, Owner/Member

7/19/2022
Date

Dineen-Carey Holdings LLC
Name of Owner (If not applicant)


Signature of Owner
Kathleen S. Dineen-Carey, Owner/Member

7/19/2022
Date



Town of Yorktown

Building Department

Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 Fax (914) 962-1731

Notice of Denial

To: James Polinsley

Date: July 18, 2022

Regarding: Wall Sign

Name of Applicant: Pied Piper

Location of Proposed Use/ Development: 2090 Crompond Rd

Tax#: Section: Block: Lot(s): 37.14-2-8

Type of Application:

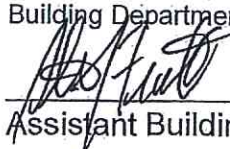
- Building Permit ()
- Special Use Permit ()
- Other (Sign):()

Zoning District: R1-10

Please Take Notice that your application is denied on the following grounds:

This is an application to allow an 18 square foot wall sign on the side of the building were 4 square feet is allowed, as per section 300-21 and appendix C of the Town Zoning Code.

Please Take Further Notice that it is the right of the property owner or his/her authorized representative to appeal this determination to the Town of Yorktown Zoning Board of Appeals by applying for a use variance, area variance, or interpretation of the applicable section of local law. Appeals applications are available at the Building Department and at the Town web site at www.yorktownny.org.


Assistant Building Inspector

Sign Location



ONE WAY

2086

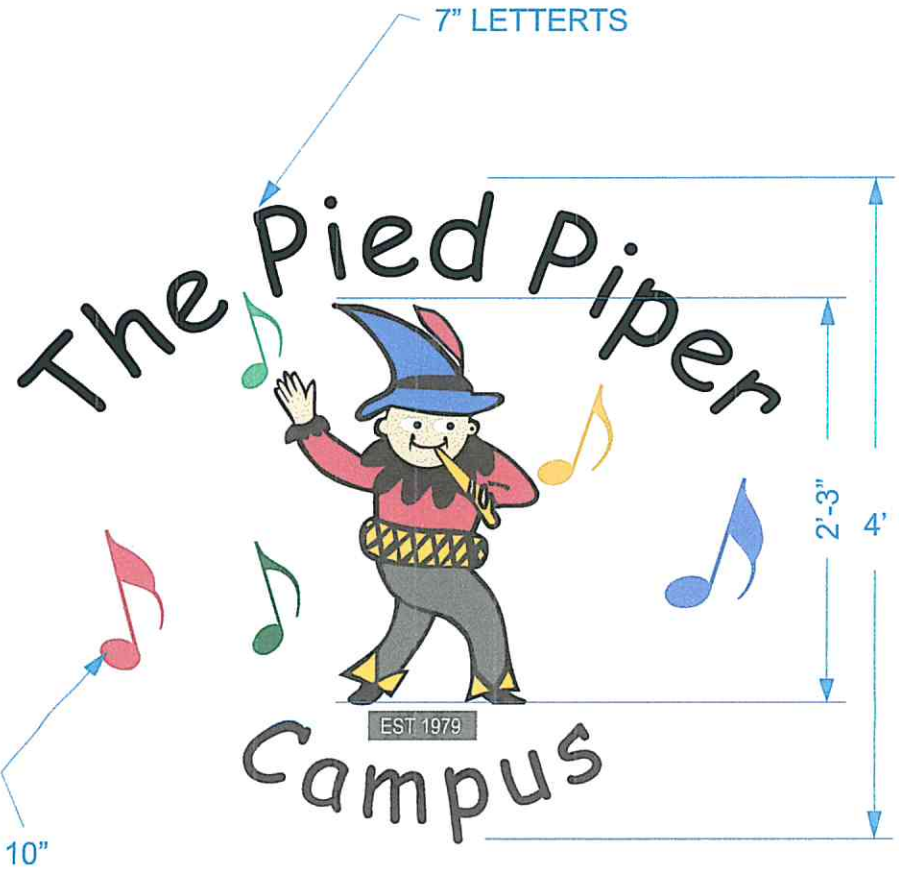
Northtown
Vineyard
Community Church

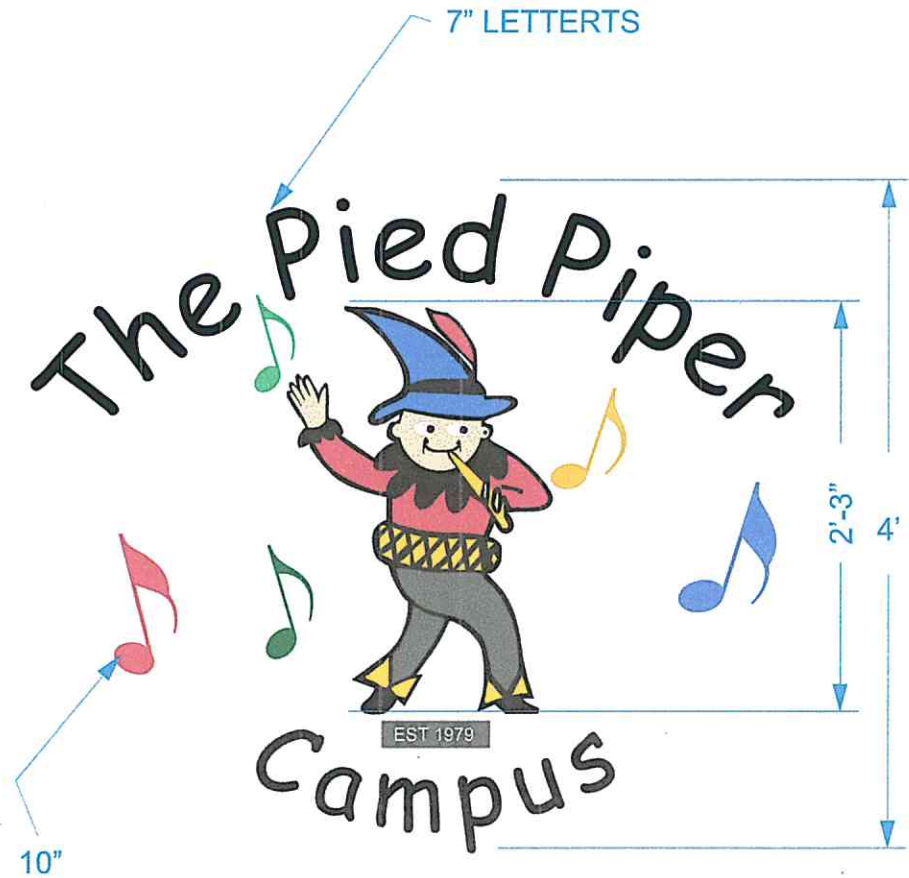


18 SQ FT

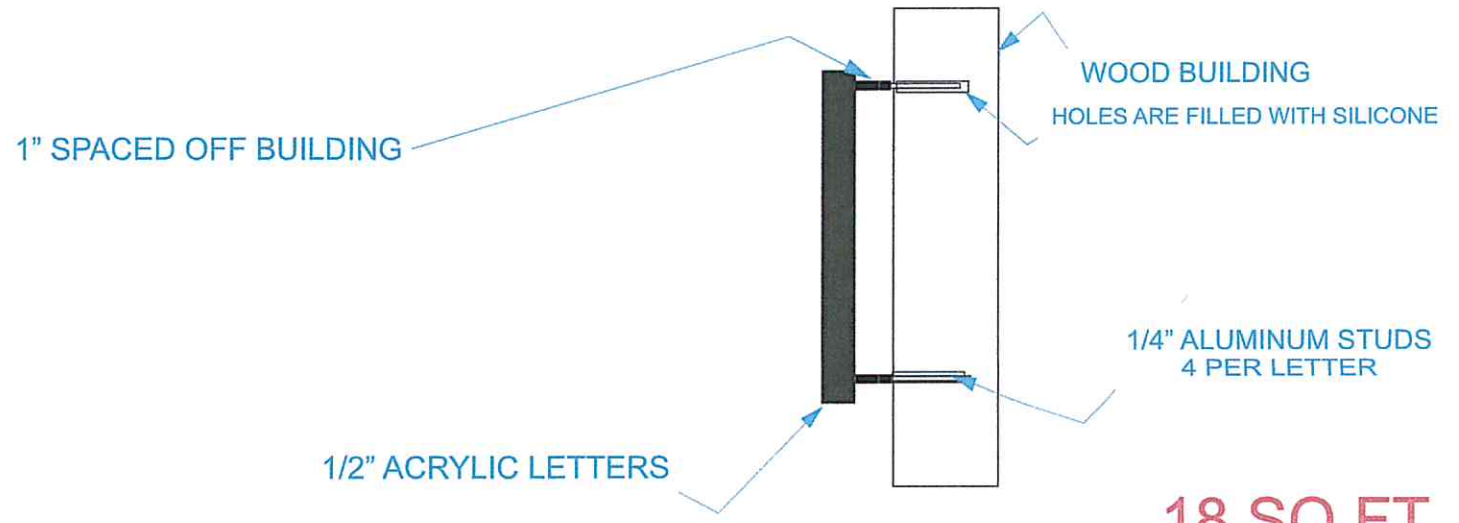


3255 CROMPOND RD YORKTOWN NY 10598
914-739-9059 WWW.SIGNSINK.COM





PIN LETTER INSTALLATION



18 SQ FT



Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Zoning Board of Appeals
From: ABACA
Date: August 11, 2022
Subject: ZBA Referral #50/22 – Pied Piper Preschool
37.14-2-8; 2090 Crompond Road

RECEIVED
PLANNING DEPARTMENT

AUG 11 2022

TOWN OF YORKTOWN

Drawings Reviewed:

Title:	Date:	Produced By:
ZBA Referral #50/22 – Application for Zoning Variance and Sign Application	7/29/2022	Kyra Brunner, ZBA

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their meeting held on Tuesday, August 9, 2022. The application is for a variance request to allow an 18-sf wall sign on the side of the building where 4-sf is allowed per the code.

The ABACA has no objection to the variance request and signage as presented.

Christopher Taormina

Christopher Taormina, RA
Chairman

/nc

Attachments

cc: Applicant
Building Department
Planning Department
Planning Board

Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – ZBA Referral #50/22 – Pied Piper

August 11, 2022

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Sign Location



Christopher Taormina, RA
Chairman

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (ABACA)

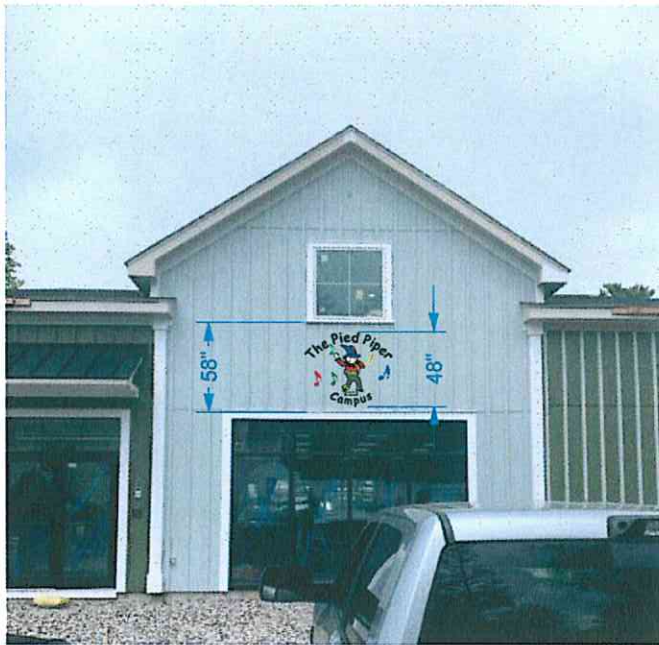
Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

ABACA Memo – ZBA Referral #50/22 – Pied Piper

August 11, 2022

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Sign Details



18 SQ FT

