Richard Fon
Chairman

Matthew J. Slater
Town Supervisor

TOWN OF YORKTOWN
PLANNING BOARD

Albert. A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone: (914) 962-6565, Fax: (914) 962-3986

PUBLIC MEETING AGENDA
YORKTOWN TOWN HALL BOARD ROOM
363 Underhill Avenue, Yorktown Heights, NY 10598

November 14, 2022
7:00 PM

1. **Correspondence**
2. **Meeting Minutes – October 17, 2022**

REGULAR SESSION

3. **Wendy's at Staples Plaza**
   Decision Statement
   Location: 36.06-2-76; 3399 Crompond Road
   Contact: Chiesa Shahinian & Giantomasi, PC
   Description: Proposed renovation of the approximately 3,500 SF Dunkin Donuts building for a Wendy's with drive-thru.

4. **Dell Avenue Solar Project**
   Public Hearing
   Location: 70.05-1-2; Dell Avenue
   Contact: Zarin & Steinmetz
   Description: Proposed 3,625 kWac fixed tilt ground mount solar energy system with associated gravel access roads, fence, electrical equipment, stormwater management, and landscaping on approximately 14 acres of a 62.33 acre site.

5. **Dorchester Glen Subdivision**
   Discussion Subdivision
   Location: 15.20-3-6; 1643 Maxwell Drive
   Contact: Site Design Consultants
   Description: Proposed 5 lot subdivision on 24.26 acres in the R1-20 zone.

WORK SESSION

6. **Underhill Farm**
   Planning Board Discussion
   Location: 48.06-1-30; 370 Underhill Avenue
   Description: Proposed mixed use development of 148 residential units, 11,000 SF retail, and recreational amenities. Original main structure to remain and to be used for a mix of uses. Development is proposed on a 13.78 acre parcel in the R1-40 with Planned Design District Overlay Zone authorization from the Town Board.

7. **LMDS Realty**
   Pre-preliminary Application
   Location: 35.08-1-11, 14, 15, 23; 3735 Crompond Road (Route 202)
   Contact: Reuben Buck
   Description: Proposed 2,913 square foot Dunkin with drive thru, parking, and associated site improvements.

8. **Town Board Referral**
   800 East Main Yorktown Dev AMC, LLC
   Location: 5.19-1-15; 800 East Main Street, Jefferson Valley (Contractors Register property)
   Contact: DelBello Donnellan Weingarten Wise & Wiederkehr, LLP
   Description: Petition for a rezone from OB to RSP-2 for a active adult residential community consisting of 250 units including a mix of rental and for-sale townhomes, together with amenities, parking, and related infrastructure.

9. **Lowes Pad C**
   Discussion Site Plan
   Location: 26.19-1-1; 3180 Crompond Road (Route 202)
   Contact: Site Design Consultants
   Description: Proposed 2,283 square foot Chipotle with drive-thru, parking, and associated site improvements.

Last revised: November 10, 2022

Correspondence

Draft Minutes

Wendy’s

NYC Environmental Protection

Rohit T. Aggarwala
Commissioner

Paul V. Rush, P.E.
Deputy Commissioner
prush@dep.nyc.gov

465 Columbus Ave.
Valhalla, New York
10595

Tel. (845) 340-7800
Fax (845) 334-7175

October 31, 2022

Mr. Daniel T. Sehnal, PE
Dynamic Engineering
245 Main Street, Suite 110
Chester, NJ 07930

Via Email: dsehnal@dynamicec.com

Re: Wenesco Yorktown, LLC
Proposed Drive- Thru Wendy's Restaurant SWPPP
3399 Crompond Road (US Route 202/NYSR 35)
Yorktown, NY
Tax Map# 36.06-2-76
Log # 2007-CNC-0369-SP.3

Dear Mr. Sehnal:

The New York City Environmental Protection (DEP) has determined that the above captioned application is complete. Upon review of the materials submitted, it has been identified that the following items must be satisfactorily addressed prior to approval.

1. A detailed SWPPP narrative must be provided with the following items:
   i) A brief explanation on the proposed project with the total disturbance proposed, square footage of new pervious and impervious areas created and how the new impervious areas will be treated.
   ii) Explain on the retrofit or stormwater management practice proposed for the new impervious surface created.
   iii) Provide briefly in the report on how the runoff is managed from start to finish during construction.

2. The net decrease of 190 square footage of impervious coverage mentioned in the letter dated October 17, 2022 addressed To C. Garcia is not consistent with what is shown in the impervious coverage exhibit. Please clarify.

3. Label the drainage area in acres on the existing and proposed drainage area maps.

4. Provide the sizing calculations for the proposed inlet filer shown on sheet 5. Clarify how many filters are being placed and the model number chosen for the filter.

5. Show the stabilized construction entrance on sheet 5 and provide a detail.

6. Please include a note in the sequence that Part 1.B. 1.b of the SPDES General Permit GP-020-002 must be adhered to regarding soil stabilization for East of Hudson Watershed. Accordingly, soil erosion & sediment control note 2 must be revised.

7. Explain the applicability of sediment control notes 14 to 16 in this project and indicate where those are applied on the plan.

8. Identify the responsible parties in charge of the inspection and maintenance of temporary and/ or permanent stormwater practices installed as part of this project. Give their names, addresses, and contact information on the report and plans.

9. DEP must be notified 48 hours prior to having a preconstruction meeting and shall be added on the construction sequence.

Should you have any questions regarding this letter, please call the undersigned at (914)749-5357.

Sincerely,

Mariyam Zachariah

Mariyam Zachariah
Associate Project Manager II
EOH Project Review Group
Regulatory & Engineering Programs

Cc: Nick P. leloia, nleloia@dynamicec.com
Town of Yorktown Planning Board, planning@yorktownny.org

Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (*ABACA*)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

To: Planning Department
From: ABACA
Date: October 19, 2022
Subject: **Wendy's Restaurant at BJ's/Staples Plaza**
3399 Crompond Road; 27.14-1-45

Documents Submitted and Reviewed:	Referred by:
CSG Law Letter dated 10/7/2022 Site plan set dated 10/5/2022 Landscape/Lighting Plan dated 10/5/2022 – Page 4 of plan set Cut Sheets for sconces and soffit lighting	Planning Department

The Advisory Board on Architecture and Community Appearance reviewed the above referenced subject at their meeting held on Tuesday, October 18, 2022. No representative was present.

The ABACA has the following comments:

Lighting Plan / Fixtures:
The Board reviewed the photometric lighting plan and have no issues.
The Board was pleased with the fixture selections for the wall sconces and soffit lighting.

Landscape Plan:
The landscape plan was revised to consolidate some of the plant types per the Board's previous comments. The Board has no objection to the revised landscape plan submitted and reviewed.

Christopher Taormina
Christopher Taormina, RA
Chairman

/nc; Attachments
cc: Applicant

Christopher Taormina, RA
Chairman

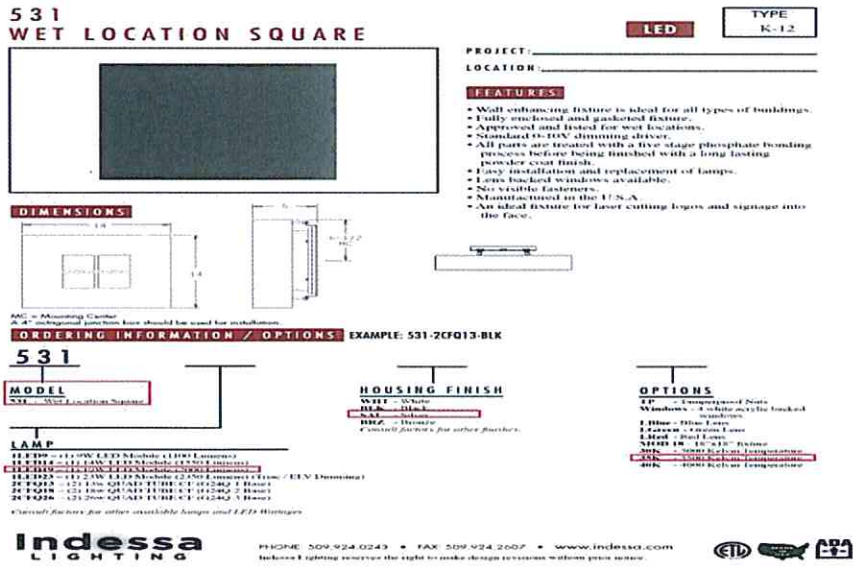
Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (*ABACA*)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

Wall Sconces



Christopher Taormina, RA
Chairman

Matthew Slater
Town Supervisor

TOWN OF YORKTOWN

ADVISORY BOARD ON ARCHITECTURE & COMMUNITY APPEARANCE (*ABACA*)

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565

Soffit Lighting

HALO®

Description

The Halo ML56 LED Downlighting System is a series of modular LED Light Modules for use with designated 5" or 6" ML56 LED trims in new construction, remodel and retrofit installation. Compatible with Halo 5" H550 and 6" H750, H2750 Series LED housings. And in retrofit of existing housings the ML56 Series fits 5" or 6" Halo, All-Pro, and others. ML56 system offers shallow trims for installation in Halo, All-Pro and others shallow housings. ML56 Light Modules are offered in 600 Series, 900 Series, and 1200 Series, 80CRI or 90CRI, and four color temperatures 2700K, 3000K, 3500K, 4000K. ML56 Light Modules are universal voltage 120V – 277V and dimmable at 120V. The ML56 lens provides uniform diffuse illumination standard.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

Specification Features

Mechanical

Light Module
- Module includes LED package, LED driver, heat sink, and lens
- Durable die-cast aluminum construction
- Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, including insulated ceiling environments

Lens
- Impact-resistant polycarbonate
- Convex form for lamp-like appearance
- High lumen transmission
- Diffusing for even illumination

Mounting
- Light Modules attach to reflector and baffle trims via locking tabs, and attach to eyeballs via keyed twist-to-lock mating bosses
- The complete light module and trim assembly installs into housings with precision formed torsion springs located on the trim
- Friction Blade mounting is an alternate option using the accessory 6" Friction Blade Kit model ML56CLIP (order separately). Friction blades provide alternative to torsion springs for retrofit in 6" housings without torsion mounting tabs. The stainless steel friction blades allow the ML56 to be installed in a wider range of housings, and allow rotation in the housing aperture (360 degrees)

Housing Compatibility
A complete ML56 system includes a LED Light Module, LED trim, and a compatible housing (new construction, remodel, or existing retrofit). Housing compatibility in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" – 59xx series and 6" – 69xx series trims). Refer to Housing – Trim Section in this document.

LED
- 600 Series – 600 design lumens typical.
- Delivered lumens vary depending upon CRI, color temperature, and trim finish.
- Color Temperature options: 2700K, 3000K, 3500K, 4000K
- CRI: 80
- L70 at 50,000 hours, projected in accordance with IES TM-21
- LED is a chip on board design consisting of a multiple LED package to create one virtual light source for a productive "cone of light"

Color Specification & Quality Standards
- A light chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED color uniformity of 3 SDCM, exceeds ENERGY STAR® color standards per ANSI C78.377- 2008.
- Every Halo LED Light Module is quality tested and performance measured, and then serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement process ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time
- Halo ML56 LED Light Modules include lumen, CRI, and CCT designations in the model number
- Example: **ML5606830**
  56 = 5" / 6" aperture series
  06 = 600 lumen series
  8 = >80 CRI
  30 = 3000K nominal CCT

Electrical Power Connections
- LED connector is a non-screw base luminaire disconnect offering easy installation with the matching Halo 5" H550 series and 6" H750 and H2750 series housings (housing selected depends upon LED trim 5" or 6").
- LED Connector is a non-screw base, and where required to qualify as a high-efficacy luminaire.
- The included E26 medium screw-base Edison adaptor provides easy retrofit of incandescent housings (see Housing Section)

Ground Connection
Separate grounding cable included on the module for attachment to the housing during installation.

LED Driver
- Driver is universal voltage 120V-277V, and may be controlled from a switch in this range of main inputs (switchable at 120V, 220V, 230V, 240V, and 277V)
- Driver is dimmable at 120V operation when connected to a compatible dimmer.
- Driver is a high efficiency, electronic power supply providing DC power to the LED.
- Driver meets FCC EMI/RFI Consumer Level limits on 120V main inputs, and is compliant for use in residential and commercial installations.
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable, if replacement should be required.

Dimming
Designed for dimming capability to nominal 5% in normal operation with standard 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. (Consult dimmer manufacturer for dimmer compatibility and details. Note, some dimmers require a neutral in the wallbox.)

Warranty
Cooper Lighting provides a (5) five year limited warranty on the Halo ML56 LED Light Module.

LED Module in New or Retrofit Existing Construction – Housings other than Halo or All-Pro
- If used in recessed housings other than Halo or All-Pro the Cooper Lighting 5-year limited warranty applies to the LED Light Module and Trim only.
- As with any electrical installation, a qualified electrician must ensure compatibility of use with a particular housing; this includes all applicable national and local electrical and building codes. Installer is responsible to properly and securely retain the LED Module and LED Trim in the housing at time of installation.

ML56 LED System

600 Series / 80 CRI

ML5606827
ML5606830
ML5606835
ML5606840

5-Inch and 6-Inch 600 Lumen LED Light Module for New Construction, Remodel and Retrofit

For use with 59x and 69x Series Trims

FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING RATED HOUSINGS

HIGH EFFICACY LED WITH INTEGRAL DRIVER - DIMMABLE

Energy Data	
ML56 600/80 Series	
(Values at non-dimming line voltage)	
Minimum Starting Temp. -30°C (-22°F)	
EMI/RFI: FCC Title 47 CFR, Part 15, (Consumer)	
Sound Rating: Class A	
Input Voltage: UNV 120V-277V	
Power Factor: >0.95 @ 120V and >0.9 @277V	
Input Frequency: 50/60Hz	
THD: <20%	
Max. Rated Wattage: 18W	
Input Power: 9.0W	
Input Current at 120V: 0.15A	
Input Current at 277V: 0.06A	
Driver Compliance: UL8750, Class II rated	
Maximum IC (Insulated Ceiling) Ambient Continuous Operating Temperature: 25°C (77°F)	
Maximum Non-IC Ambient Continuous Operating Temperature: 40°C (104°F)	

80 CRI 2700K
ML5606827
5" or 6" LED 600 Series

80 CRI 3000K
ML5606830
5" or 6" LED 600 Series

80 CRI 3500K
ML5606835
5" or 6" LED 600 Series

80 CRI 4000K
ML5606840
5" or 6" LED 600 Series

Cooper Lighting
by EATON

ADV141689
3/02/2015

CHIESA SHAHINIAN & GIANTOMASI PC

One Boland Drive, West Orange, NJ 07052
csglaw.com

JENNIFER M. PORTER
jporter@csglaw.com

O 973.530.2071 F 973.325.1501

October 7, 2022

Via FedEx and Email –ncalicchia@yorktownny.org
Ms. Nancy Calicchia
Town of Yorktown Planning Department
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598

Re: Preliminary and Final Site Plan Application of
Wenesco Yorktown, LLC
3399 Crompond Road
Section 36.06, Block 2, Lot 76
Yorktown, New York

Dear Ms. Calicchia:

We represent Wenesco Yorktown, LLC, in connection with its application to the Town of Yorktown Planning Board (the "Board") for preliminary and final site plan approval to renovate an existing drive-thru and replace it with a Wendy's drive-thru on the property located at 3399 Crompond Road and designated on the Town of Yorktown Tax Maps as Block 2, Lot 76 (the "Property").

In furtherance thereof, enclosed please find two (2) copies of the cut sheets for the new sconces and soffit lighting. The two (2) sconces are located on either side of the drive through window.

The exterior recessed downlights are located in the soffit of the covered walkway and the soffit of the drive through canopy. In total, there are sixteen (16) exterior recessed downlights.

Thank you for your courtesies extended in this matter. Please feel free to contact me if you have any questions or need any additional information.

Very truly yours,

/s/ Jennifer M. Porter

Jennifer M. Porter

JMP:dmf
Enclosures

Description

The Halo ML56 LED Downlighting System is a series of modular LED Light Modules for use with designated 5" or 6" ML56 LED trims in new construction, remodel and retrofit installation. Compatible with Halo 5" H550 and 6" H750, H2750 Series LED housings. And in retrofit of existing housings the ML56 Series fits 5" or 6" Halo, All-Pro, and others. ML56 system offers shallow trims for installation in Halo, All-Pro and others shallow housings. ML56 Light Modules are offered in 600 Series, 900 Series, and 1200 Series, 80CRI or 90CRI, and four color temperatures 2700K, 3000K, 3500K, 4000K. ML56 Light Modules are universal voltage 120V – 277V and dimmable at 120V. The ML56 lens provides uniform diffuse illumination standard.

Catalog #		Type
Project		
Comments		Date
Prepared by		

Specification Features

Mechanical

Light Module
- Module includes LED package, LED driver, heat sink, and lens
- Durable die-cast aluminum construction.
- Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, including insulated ceiling environments

Lens
- Impact-resistant polycarbonate
- Convex form for lamp-like appearance
- High lumen transmission
- Diffusing for even illumination

Mounting
- Light Modules attach to reflector and baffle trims via locking tabs, and attach to eyeballs via keyed twist-to-lock mating bosses
- The complete light module and trim assembly installs into housings with precision formed torsion springs located on the trim
- Friction Blade mounting is an alternate option using the accessory 6" Friction Blade Kit model ML56CLIP (order separately). Friction blades provide alternative to torsion springs for retrofit in 6" housings without torsion mounting tabs. The stainless steel friction blades allow the ML56 to be installed in a wider range of housings, and allow rotation in the housing aperture (360 degrees).

Housing Compatibility

A complete ML56 system includes a LED Light Module, LED trim, and a compatible housing (new construction, remodel, or existing retrofit). Housing compatibility in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing – Trim Section in this document.

LED
- 600 Series = 600 design lumens typical.
- Delivered lumens vary depending upon CRI, color temperature, and trim finish.
- Color Temperature options: 2700K, 3000K, 3500K, 4000K
- CRI: 80
- L70 at 50,000 hours, projected in accordance with IES TM-21
- LED is a chip on board design consisting of a multiple LED package to create one virtual light source for a productive "cone of light"

Color Specification & Quality Standards
- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED color uniformity of 3 SDCM, exceeds ENERGY STAR® color standards per ANSI C78.377- 2008.
- Every Halo LED Light Module is quality tested and performance measured, and then serialized in a permanent record to register lumens, wattage, CRI and CCT.
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- Halo ML56 LED Light Modules include lumen, CRI, and CCT designations in the model number
- Example: **ML5606830**
  56 = 5" / 6" aperture series
  06 = 600 lumen series
  8 = >80 CRI
  30 = 3000K nominal CCT

Electrical Power Connections
- LED connector is a non-screw base luminaire disconnect offering easy installation with the matching Halo 5" H550 series and 6" H750 and H2750 series housings (housing selected depends upon LED trim 5" or 6").
- LED Connector is a non-screw base, and where required to qualify as a high-efficacy luminaire.
- The included E26 medium screw-base Edison adapter provides easy retrofit of incandescent housings (see Housing Section).

Ground Connection

Separate grounding cable included on the module for attachment to the housing during installation.

LED Driver
- Driver is universal voltage 120V-277V, and may be controlled from a switch in this range of main inputs (switchable at 120V, 220V, 230V, 240V, and 277V)
- Driver is dimmable at 120V operation when connected to a compatible dimmer.
- Driver is a high efficiency, electronic power supply providing DC power to the LED.
- Driver meets FCC EMI/RFI Consumer Level limits on 120V main inputs, and is compliant for use in residential and commercial installations.
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable, if replacement should be required.

Dimming

Designed for dimming capability to nominal 5% in normal operation with standard 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. (Consult dimmer manufacturer for dimmer compatibility and details. Note, some dimmers require a neutral in the wallbox.)

Warranty

Cooper Lighting provides a (5) five year limited warranty on the Halo ML56 LED Light Module.

LED Module in New or Retrofit Existing Construction – Housings other than Halo or All-Pro
- If used in recessed housings other than Halo or All-Pro the Cooper Lighting 5-year limited warranty applies to the LED Light Module and Trim only.
- As with any electrical installation, a qualified electrician must ensure compatibility of use with a particular housing; this includes all applicable national and local electrical and building codes. Installer is responsible to properly and securely retain the LED Module and LED Trim in the housing at time of installation.

ML56 LED System

600 Series / 80 CRI

ML5606827
ML5606830
ML5606835
ML5606840

5-Inch and 6-Inch 600 Lumen LED Light Module for New Construction, Remodel and Retrofit

For use with 59x and 69x Series Trims

FOR USE IN INSULATED CEILING AND NON-INSULATED CEILING RATED HOUSINGS

HIGH EFFICACY LED WITH INTEGRAL DRIVER - DIMMABLE

Energy Data
ML56 600/80 Series
(Values at non-dimming line voltage)
Minimum Starting Temp: -30°C (-22°F)
EMI/RFI: FCC Title 47 CFR, Part 15, (Consumer)
Sound Rating: Class A
Input Voltage: UNV 120V-277V
Power Factor: >0.95 @ 120V and >0.9 @277V
Input Frequency: 50/60Hz
THD: <20%
Max. Rated Wattage: 10W
Input Power: 9.0W
Input Current at 120V: 0.15A
Input Current at 277V: 0.08A
Driver Compliance: UL8750, Class II rated
Maximum IC (Insulated Ceiling) Ambient Continuous Operating Temperature: 25°C (77°F)
Maximum Non-IC Ambient Continuous Operating Temperature: 40°C (104°F)

ML5606827
5" or 6" LED 600 Series

ML5606830
5" or 6" LED 600 Series

ML5606835
5" or 6" LED 600 Series

ML5606840
5" or 6" LED 600 Series

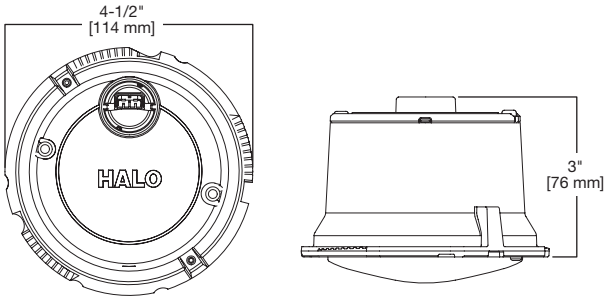
Compliance

- cULus listed 1598 Luminaire (Halo and All-Pro housings)
- UL Classified when used in retrofit (refer to housing section)
- cULus listed for damp locations
- cULus Wet location listed with baffle and reflector trims only
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- IP66 ingress protection rated with baffle and reflector trims only
- RoHS compliant
- May be used in IC (insulated ceiling) housings in direct contact with insulation* and combustible material
- Can be used as a California Title 24 compliant Non-Residential LED Luminaire
- Can be used for International Energy Conservation Code (IECC) high efficiency luminaire compliance.
- Can be used for Washington State Energy Code compliance
- ENERGY STAR® certified luminaire - consult ENERGY STAR® Certified product list
- EMI/RFI per FCC 47CFR Part 15 Class B Consumer limits (commercial and residential compliant)
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21
- CE Mark - "Conformité Européene" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with Halo H550, H750, and H2750 Series LED housings only

* Not for use with housings in direct contact with spray foam insulation.

Refer to ENERGY STAR® Certified Products List.
Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED Luminaire

Dimensions



Cooper Lighting by EATON

Ordering Information

Sample Number: **ML5606830 593WB**
Order LED Module and trim separately.
A complete system also includes a compatible housing (new construction, remodel, or existing retrofit). Housing aperture size in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing Section in this document.

ML56 LED Light Modules 600 Series / 80 CRI

ML5606827= 5"/6" LED light module, 600 lumen, 80CRI, 2700K
ML5606830= 5"/6" LED light module, 600 lumen, 80CRI, 3000K
ML5606835= 5"/6" LED light module, 600 lumen, 80CRI, 3500K
ML5606840= 5"/6" LED light module, 600 lumen, 80CRI, 4000K

ML56 LED 5" and 6" Trims

590 Series - 5" LED Trims
591WB=5" LED trim, polymer "dead-front", shallow white baffle & flange – shallow and standard housings (For use with 600 Series LED light modules only)
592SC=5" LED trim, specular reflector & white flange
592H=5" LED trim, haze reflector & white flange
592W=5" LED trim, white reflector & flange
593WB=5" LED trim, white micro-step baffle & flange
593BB=5" LED trim, black micro-step baffle & white flange
593SNB=5" LED trim, satin nickel micro-step baffle & flange
593TBZB=5" LED trim, tuscan bronze micro-step baffle & flange
594WB=5" LED directional trim, white eyeball, baffle & flange – shallow and standard housings
594SNB=5" LED directional trim, satin nickel eyeball, baffle & flange – shallow and standard housings
594TBZB=5" LED directional trim, tuscan bronze eyeball, baffle & flange – shallow and standard housings
595WW=5" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange
596WB=5" LED trim, white shallow baffle & flange – shallow and standard housings

690 Series - 6" LED Trims
691WB=6" LED trim, polymer "dead-front", white shallow baffle & flange – shallow and standard housings (For use with 600 Series LED light modules only)
692SC=6" LED trim, specular reflector & white flange
692H=6" LED trim, haze reflector & white flange
692W=6" LED trim, white reflector & flange
693WB=6" LED trim, white micro-step baffle & flange
693BB=6" LED trim, black micro-step baffle & white flange
693SNB=6" LED trim, satin nickel micro-step baffle & flange
693TBZB=6" LED trim, tuscan bronze micro-step baffle & flange
694WB=6" LED directional trim, white eyeball, baffle & flange – shallow and standard housings
694SNB=6" LED directional trim, satin nickel eyeball, baffle & flange – shallow and standard housings
694TBZB=6" LED directional trim, tuscan bronze eyeball, baffle & flange – shallow and standard housings
695WW=6" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange
696WB=6" LED trim, white shallow baffle & flange – for use with shallow and standard housings

ML56 System Accessories

ML56CLIP=Friction clip mounting kit - for retrofitting non-torsion spring housings, 6" clips*
WW595SC=5" Wall wash insert - kick reflector for 595WW (1-included with trim) double or corner wall wash**
WW695SC=6" Wall wash insert - kick reflector for 695WW (1-included with trim) double or corner wall wash**
TRM590WH=5" LED oversize trim ring for use with 59* series trims, white 6.3" I.D., 7.5" O.D. Ring slips over LED trim. Inset design allows 5" trim to fit into oversize ring for an even trim surface
TRM690WH=6" LED oversize trim ring for use with 69* series trims, white 6.9" I.D., 9.5" O.D. Ring slips over LED trim. Inset design allows 6" trim to fit into oversize ring for an even trim surface

*ML56CLIP is compatible with 6" baffle and reflector trims only (691, 692, 693, 695, 696 series).
For eyeball trim (694 series) use ML7RAB retrofit adpater band.

**Wall wash trims 595WW and 695WW feature an exclusive repositionable kick reflector for fine-tuning adjustment of the wall wash effect. The WW595SC and WW695SC are repositionable kick reflectors sold separately for addition to the wall wash trim when a double or corner wall wash is needed, or for replacement of original kick reflector included with the trim.

Lighting Facts

ML5606827

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	648
Watts	9
Lumens Per Watt (Efficacy)	72
Color Accuracy (CRI)	82
Light Color (CCT)	2700K
Correlated Color Temperature (CCT)	

MODEL# ML5606827

ML5606830

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	668
Watts	9
Lumens Per Watt (Efficacy)	74.2
Color Accuracy (CRI)	82
Light Color (CCT)	3000K
Correlated Color Temperature (CCT)	

MODEL# ML5606830

ML5606835

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	737
Watts	9
Lumens Per Watt (Efficacy)	81.9
Color Accuracy (CRI)	82
Light Color (CCT)	3500K
Correlated Color Temperature (CCT)	

MODEL# ML560683S

ML5606840

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	759
Watts	9
Lumens Per Watt (Efficacy)	84.3
Color Accuracy (CRI)	81
Light Color (CCT)	4000K
Correlated Color Temperature (CCT)	

MODEL# ML5606840

Housing – Trim Compatibility

Housing aperture size in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims).
Refer to ML56 TRIMS in this document. (Note "X" in the trim model number denotes finish code.)

Housing – Compatibility

The ML56 LED light module - trim combination is cULus Listed or UL Classified for use with any 5" or 6" diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 115 in^3 in addition to those noted below.

Housing and All-Pro UL Listed Compatibility

6" Trims: 691X, 692X, 693X, 694X, 695X, 696X
(Note shallow housings for use with 691X, 694X, 696X trims only)

HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant

Brand	Housing Type	Catalog Number	Description
Halo	**Standard Housings**	H750ICAT	6" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H750RICAT	6" LED, Insulated Ceiling, Air-Tite, Remodel Housing
		H750T	6" LED, Non-IC, Air-Tite, New Construction Housing
		H750TCP	6" LED, Non-IC, New Construction/Remodel Chicago Plenum Housing
Halo	**Shallow Housings**	H2750ICAT	6" LED, Shallow, Insulated Ceiling, Air-Tite, New Constr. (use with 691X, 694X, 696X trims only)

HALO and All-Pro - Incandescent E26 Screwbase Housings

Brand	Housing Type	Catalog Number	Description
Halo	**Standard Housings**	H7ICAT	6" Insulated Ceiling, Air-Tite New Construction Housing
		H7RICAT	6" Insulated Ceiling, Air-Tite Remodel Housing
		H7ICT	6" Insulated Ceiling, New Construction Housing
		H7RICT	6" Insulated Ceiling, Remodel Housing
		H7ICATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
		H7ICTNB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket
		H7T	6" Non-IC, New Construction Housing
		H7RT	6" Non-IC, Remodel Housing
		H7TNB	6" Non-IC, New Construction Housing, No Socket Bracket
		H7TCP	6" Non-IC, Chicago Plenum, New Construction/Remodel Housing
		H7UICT	6" Insulated Ceiling, Universal New Construction Housing
		H7UICAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing
All-Pro	**Standard Housings**	EI700AT	6" Insulated Ceiling, Air-Tite New Construction Housing
		EI700RAT	6" Insulated Ceiling, Air-Tite Remodel Housing
		EI700	6" Insulated Ceiling, New Construction Housing
		EI700R	6" Insulated Ceiling, Remodel Housing
		EI700ATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
		EI700NB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket
		EI700U	6" Insulated Ceiling, Universal New Construction Housing
		EI700UAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing
		ET700	6" Non-IC, New Construction Housing
		ET700R	6" Non-IC, Remodel Housing
Halo	**Shallow Housings**	H27ICAT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 691X, 694X, 696X trims only)
		H27RICAT	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 691X, 694X, 696X trims only)
		H27ICT	6" Shallow, Insulated Ceiling, New Construction Housing (use with 691X, 694X, 696X trims only)
		H27RICT	6" Shallow, Insulated Ceiling, Remodel Housing (use with 691X, 694X, 696X trims only)
		H27T	6" Shallow, Non-IC, New Construction Housing (use with 691X, 694X, 696X trims only)
		H27RT	6" Shallow, Non-IC, Remodel Housing (use with 691X, 694X, 696X trims only)
All-Pro	**Shallow Housings**	EI2700AT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 691X, 694X, 696X trims only)
		EI2700	6" Shallow, Insulated Ceiling, New Construction Housing (use with 691X, 694X, 696X trims only)
		EI2700R	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 691X, 694X, 696X trims only)
		ET2700	6" Shallow, Non-IC, New Construction Housing (use with 691X, 694X, 696X trims only)
		ET2700R	6" Shallow, Non-IC, Remodel Housing (use with 691X, 694X, 696X trims only)

Halo LED Retrofit Enclosures

Brand	Type	Catalog Number	Description
Halo	**Retrofit**	ML7BXRFK	6" Retrofit Enclosure, Non-IC, BX Whip
		ML7E26RFK	6" Retrofit Enclosure, Non-IC, E26 Screw base Interface

HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant

Brand	Housing Type	Catalog Number	Description

Housing Compatibility Continued

5" Trims: 591X, 592X, 593X, 594X, 595X, 596X
(Note shallow housings for use with 591X, 594X, 596X trims only)

Halo	**Standard Housings**	H550ICAT	5" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H550RICAT	5" LED, Insulated Ceiling, Air-Tite, Remodel Housing

HALO and All-Pro - Incandescent E26 Screwbase Housings

Brand	Housing Type	Catalog Number	Description
Halo	**Standard Housings**	H5ICAT	5" Insulated Ceiling, Air-Tite New Construction Housing
		H5RICAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		H5T	5" Non-IC, New Construction Housing
		H5RT	5" Non-IC, Remodel Housing
		H5TM	5" Non-IC, New Construction Housing (Canada)
All-Pro	**Standard Housings**	EI500AT	5" Insulated Ceiling, Air-Tite New Construction Housing
		EI500RAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		ET500	5" Non-IC, New Construction Housing
		ET500R	5" Non-IC, Remodel Housing
Halo	**Shallow Housings**	H25ICAT	5" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 591X, 594X, 596X trims only)

Housings - UL Classified for Retrofit Compatibility

6" Trims: 691X, 692X, 693X, 694X, 695X, 696X
(Note shallow housings for use with 691X, 694X, 696X trims only)

Brand	Housing Type	Catalog Number
Juno	**Standard Housings**	IC22, IC22R, IC22W, IC22S, IC23, IC23W, TC2, TC2R, IC2
	Shallow Housings	IC21, IC21R (use with 691X, 694X, 696X trims only)
Capri	**Standard Housings**	CR1, PR1, QL1
	Shallow Housings	R9ASIC/PS9RM (use with 691X, 694X, 696X trims only)
Elco		HL7ICA (EL7ICA)
Lithonia	**Standard Housings**	LC6, L7X
	Shallow Housings	L7XP (use with 691X, 694X, 696X trims only)
Thomas		PS1
Commercial Electric		C7ICA, H3
Progress	**Standard Housings**	P87-AT † *
	Shallow Housings	P86TG (use with 691X, 694X, 696X trims only)
Lightolier		1104ICS †*, 1104ICR †*

† Requires replacement of torsion springs with Friction Clips. Order Friction Clip Kit separately: ML56CLIP
* ML56CLIP is compatible with only baffle and reflector trims.

5" Trims: 591X, 596X

Brand	Housing Type	Catalog Number
Juno	**Standard Housings**	IC20, IC25S, IC25W, TC20

ML56 600 Series Compliance Table

80 CRI LED Modules with ML56 Trims

	ML5606827	ML5606830	ML5606835	ML5606840
593BB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC
693BB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC
593TBZB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC
693TBZB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
593SNB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693SNB	T24NR, WSEC, IECC	T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592H	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592W	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
593WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592SC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692H	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
595WW	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
695WW	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692SC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692W	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
596WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
696WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594WB-30	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694WB-30	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC

Code Descriptions:

ES = ENERGY STAR® Certified Luminaire
T24 = Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED Luminaire
IECC = International Energy Conservation Code "High Efficacy"
WSEC = Washington State Energy Code - "High Efficacy" Luminaire

ML56 600 Series Lumen Table

80 CRI LED Modules with ML56 trims

		ML5606827		ML5606830		ML5606835		ML5606840	
	Trim Catalog #	**Lumens**	**LPW**	**Lumens**	**LPW**	**Lumens**	**LPW**	**Lumens**	**LPW**
0° Tilt Angle	593BB	427.3	47.5	440.5	48.9	486.0	54.0	500.5	55.6
	693BB	473.0	52.6	487.6	54.2	537.9	59.8	554.0	61.6
	593TBZB	479.5	53.3	494.3	54.9	545.3	60.6	561.6	62.4
	693TBZB	496.9	55.2	512.2	56.9	565.1	62.8	582.0	64.7
	593SNB	531.7	59.1	548.1	60.9	604.7	67.2	622.7	69.2
	693SNB	549.1	61.0	566.0	62.9	624.5	69.4	643.1	71.5
	592H	599.1	66.6	617.6	68.6	681.4	75.7	701.7	78.0
	592W	617.6	68.6	636.6	70.7	702.4	78.0	723.3	80.4
	593WB	628.4	69.8	647.8	72.0	714.7	79.4	736.1	81.8
	592SC	632.8	70.3	652.3	72.5	719.7	80.0	741.2	82.4
	692H	635.0	70.6	654.6	72.7	722.2	80.2	743.7	82.6
	595WW	637.1	70.8	656.8	73.0	724.6	80.5	746.3	82.9
	695WW	638.2	70.9	657.9	73.1	725.9	80.7	747.5	83.1
	693WB	648.0	72.0	668.0	74.2	737.0	81.9	759.0	84.3
	692SC	648.0	72.0	668.0	74.2	737.0	81.9	759.0	84.3
	692W	650.2	72.2	670.2	74.5	739.5	82.2	761.5	84.6
	596WB	662.1	73.6	682.6	75.8	753.1	83.7	775.6	86.2
	694TBZB	667.6	74.2	688.2	76.5	759.3	84.4	781.9	86.9
	594TBZB	668.7	74.3	689.3	76.6	760.5	84.5	783.2	87.0
	696WB	673.0	74.8	693.8	77.1	765.4	85.0	788.3	87.6
	694SNB	681.7	75.7	702.7	78.1	775.3	86.1	798.5	88.7
	594SNB	683.9	76.0	705.0	78.3	777.8	86.4	801.0	89.0
	694WB	704.5	78.3	726.3	80.7	801.3	89.0	825.2	91.7
	594WB	706.7	78.5	728.5	80.9	803.8	89.3	827.8	92.0
30° Tilt Angle	594WB-30	685.0	76.1	706.1	78.5	779.0	86.6	802.3	89.1
	694WB-30	654.5	72.7	674.7	75.0	744.4	82.7	766.6	85.2

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 5" Trims • 600 Series • 80 CRI

Multiplier Table

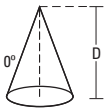
CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.970	1.000	1.103	1.136

Table based upon testing with 3000°K color temperature, 80CRI.
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5606830-592SC

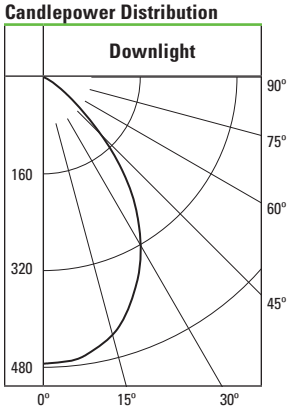
Test Number	P130228
Light Module	600 Series, 80CRI
Trim	5" Aperture, Specular Clear Trim
Lumens	652.0
Efficacy	72.5 Lm/W
SC	1.06

Cone of Light



D	FC	L	W
5.5	15.7	5.8	5.8
7	9.7	7.2	7.2
8	7.4	8.4	8.4
9	5.9	9.4	9.4
10	4.7	10.4	10.4
12	3.3	12.6	12.6

Candlepower Distribution

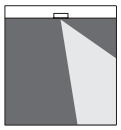


Zonal Lumen Summary

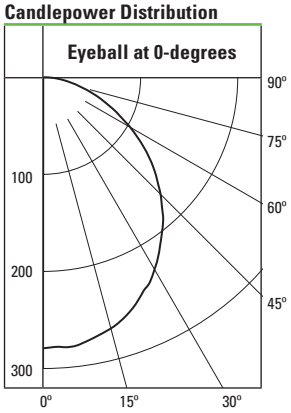
Zone	Lumens	%Fixture
0-30	337	51.7
0-40	502	77
0-60	644	98.7
0-90	652	100
90-180	0	0
0-180	652	100

ML5606830-594WB

Test Number	P130276
Light Module	600 Series, 80CRI
Trim	5" Aperture, Directional Eyeball
Lumens	729
Efficacy	80.9 Lm/W
SC	1.22



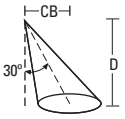
Candlepower Distribution



Zonal Lumen Summary

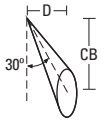
Zone	Lumens	%Fixture
0-30	214	29.4
0-40	346	47.5
0-60	590	81
0-90	729	100
90-180	0	0
0-180	729	100

30° Horizontal Plane



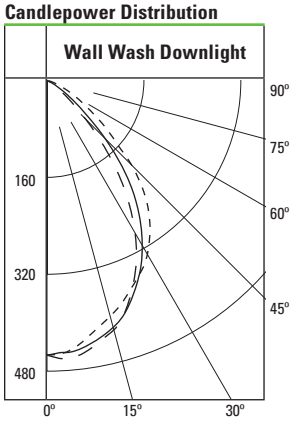
D	FC	L	W	CB
5.5	8.1	6.6	6.6	3.2
7	5	8.3	8.4	4
8	3.8	9.6	9.8	4.6
9	3	10.7	11	5.2
10	2.5	12	12.2	5.8
12	1.7	14.3	14.6	6.9

30° Vertical Plane



D	FC	L	W	CB
1'	159.1	1.1	1.2	1.7
2'	39.8	2.2	2.6	3.5
3'	17.7	3.3	3.8	5.2
4'	9.9	4.5	5.2	6.9
5'	6.4	5.6	6.6	8.7
6'	4.4	6.7	7.8	10.4

Candlepower Distribution

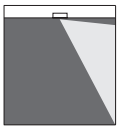


Legend

0-deg: — — — — — Wall
90-deg: ——————— Side
180-deg: —— —— —— Room

ML5606830-595WW

Test Number	P130300
Light Module	600 Series, 80CRI
Trim	5" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	657
Efficacy	73 Lm/W
SC	1.1



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	322	49
0-40	485	73.8
0-60	639	97.4
0-90	657	100
90-180	0	0
0-180	657	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	●	1'	2'	3'	4'	5'	6'
1'	2.8	1.8	0.7	0.2	0.1	0	0
2'	9.4	6.8	3	1	0.3	0.1	0
3'	10.8	8.9	4.8	2	0.7	0.2	0.1
4'	7.6	6.8	4.9	2.7	1.2	0.5	0.2
5'	5	4.6	3.7	2.5	1.5	0.7	0.3
6'	3.4	3.2	2.7	2.1	1.4	0.9	0.5
7'	2.3	2.2	2	1.6	1.2	0.8	0.5
8'	1.7	1.6	1.5	1.2	1	0.8	0.5
9'	1.2	1.2	1.1	1	0.8	0.6	0.5
10'	0.9	0.9	0.9	0.8	0.7	0.5	0.4

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	--3'--			--4'--		
1'	3	2.3	3	2.8	1.3	2.8
2'	10.3	9.5	10.3	9.6	5.9	9.6
3'	12.7	14	12.7	11.5	9.7	11.5
4'	10.3	11.9	10.3	8.7	9.7	8.7
5'	7.6	8.6	7.6	6.5	7.5	6.5
6'	5.4	6	5.4	4.8	5.5	4.8
7'	3.9	4.3	3.9	3.5	4	3.5
8'	2.9	3.1	2.9	2.7	3	2.7
9'	2.2	2.4	2.2	2	2.2	2
10'	1.7	1.8	1.7	1.6	1.7	1.6

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 6" Trims • 600 Series • 80 CRI

Multiplier Table

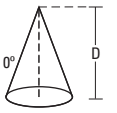
CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.97	1.00	1.10	1.14

Table based upon testing with 3000°K color temperature, 80CRI.
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5606830-692SC

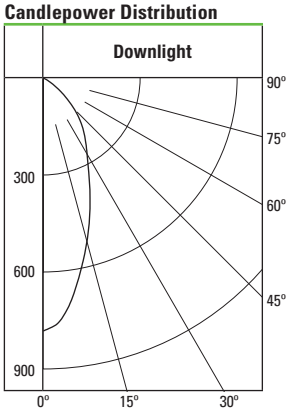
Test Number	P130316
Light Module	600 Series, 80CRI
Trim	6" Aperture, Specular Clear Trim
Lumens	668
Efficacy	74.2 Lm/W
SC	0.66

Cone of Light



D	FC	L	W
5.5	25.9	3.6	3.6
7	16	4.6	4.6
8	12.2	5.2	5.2
9	9.7	5.8	5.8
10	7.8	6.6	6.6
12	5.4	7.8	7.8

Candlepower Distribution

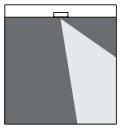


Zonal Lumen Summary

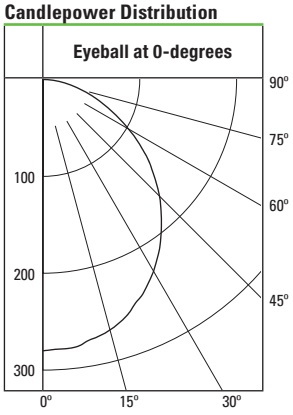
Zone	Lumens	%Fixture
0-30	368	55.1
0-40	509	76.3
0-60	659	98.7
0-90	668	100
90-180	0	0
0-180	668	100

ML5606830-694WB

Test Number	P130372
Light Module	600 Series, 80CRI
Trim	6" Aperture, Directional Eyeball
Lumens	726
Efficacy	80.7 Lm/W
SC	1.21



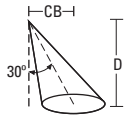
Candlepower Distribution



Zonal Lumen Summary

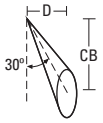
Zone	Lumens	%Fixture
0-30	214	29.5
0-40	346	47.6
0-60	589	81.1
0-90	726	100
90-180	0	0
0-180	726	100

30° Horizontal Plane



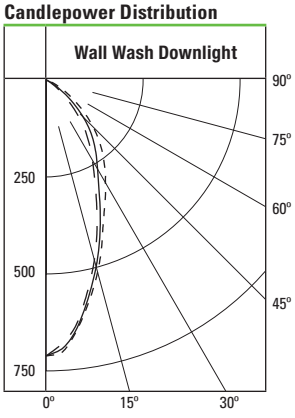
D	FC	L	W	CB
5.5	8.1	6.5	6.6	3.2
7	5	8.3	8.6	4
8	3.8	9.6	9.8	4.6
9	3	10.7	11	5.2
10	2.5	11.9	12.2	5.8
12	1.7	14.3	14.6	6.9

30° Vertical Plane



D	FC	L	W	CB
1'	158.1	1.1	1.2	1.7
2'	39.5	2.2	2.6	3.5
3'	17.6	3.3	3.8	5.2
4'	9.9	4.5	5.2	6.9
5'	6.3	5.6	6.6	8.7
6'	4.4	6.7	7.8	10.4

Candlepower Distribution

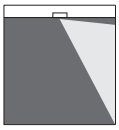


Legend

0-deg:	Wall
90-deg:	Side
180-deg:	Room

ML5606830-695WW

Test Number	P130396
Light Module	600 Series, 80CRI
Trim	6" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	658
Efficacy	73.1 Lm/W
SC	0.69



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	352	53.5
0-40	492	74.8
0-60	643	97.7
0-90	658	100
90-180	0	0
0-180	658	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	●	1'	2'	3'	4'	5'	6'
1'	1.9	1.2	0.4	0.1	0	0	0
2'	8.6	6.2	2.7	0.8	0.2	0.1	0
3'	9.2	7.5	4.4	1.9	0.7	0.2	0.1
4'	6.9	5.9	4.1	2.4	1.2	0.5	0.2
5'	4.9	4.4	3.3	2.2	1.3	0.7	0.4
6'	3.5	3.2	2.5	1.8	1.2	0.8	0.5
7'	2.6	2.4	1.9	1.5	1	0.7	0.5
8'	2	1.8	1.5	1.2	0.9	0.6	0.5
9'	1.5	1.4	1.2	1	0.7	0.6	0.4
10'	1.2	1.1	1	0.8	0.6	0.5	0.4

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	--3'--			--4'--		
1'	2	1.5	2	1.9	0.9	1.9
2'	9.5	8.5	9.5	8.9	5.3	8.9
3'	11.1	11.9	11.1	9.9	8.8	9.9
4'	9.3	10.1	9.3	8	8.2	8
5'	7.1	7.7	7.1	6.2	6.5	6.2
6'	5.3	5.8	5.3	4.7	5	4.7
7'	4.1	4.4	4.1	3.7	3.9	3.7
8'	3.2	3.4	3.2	2.9	3.1	2.9
9'	2.5	2.7	2.5	2.3	2.4	2.3
10'	2	2.1	2	1.8	2	1.8

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

LED

531
WET LOCATION
SQUARE

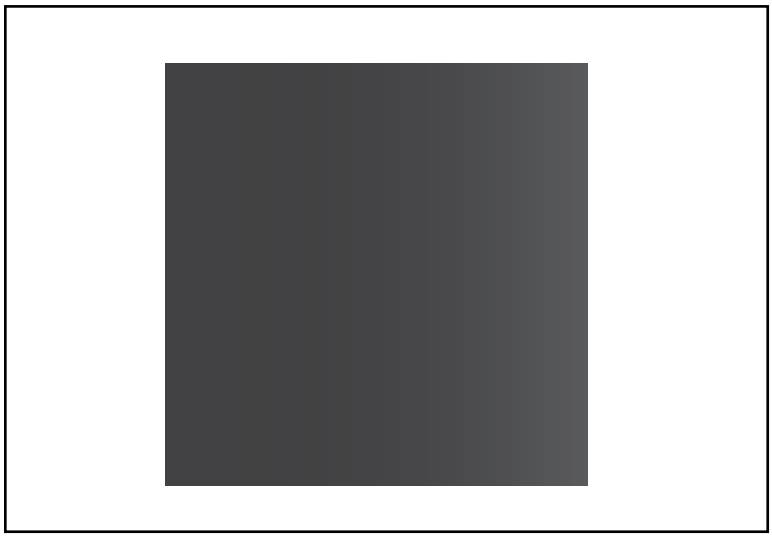
This enclosed and gasketed fixture provides a distinct accent to the building design. Constructed of metal and available with an assortment of lamps, the fixture is ideal for highlighting large walls.

Indessa
LIGHTING

531
WET LOCATION SQUARE

LED

TYPE
K-12



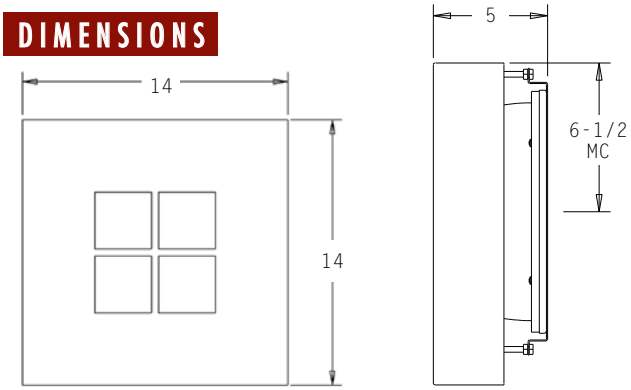
PROJECT: _____

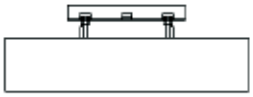
LOCATION: _____

FEATURES

- Wall enhancing fixture is ideal for all types of buildings.
- Fully enclosed and gasketed fixture.
- Approved and listed for wet locations.
- Standard 0-10V dimming driver.
- All parts are treated with a five stage phosphate bonding process before being finished with a long lasting powder coat finish.
- Easy installation and replacement of lamps.
- Lens backed windows available.
- No visible fasteners.
- Manufactured in the U.S.A.
- An ideal fixture for laser cutting logos and signage into the face.

DIMENSIONS





MC = Mounting Center
A 4" octagonal junction box should be used for installation.

ORDERING INFORMATION / OPTIONS

EXAMPLE: 531-2CFQ13-BLK

531

MODEL

531 - Wet Location Square

LAMP

1LED9 – (1) 9W LED Module (1100 Lumens)
1LED14 – (1) 14W LED Module (1550 Lumens)
1LED19 – (1) 19W LED Module (2000 Lumens)
1LED23 – (1) 23W LED Module (2350 Lumens) (Triac / ELV Dimming)
2CFQ13 – (2) 13w QUAD TUBE CF (G24Q-1 Base)
2CFQ18 – (2) 18w QUAD TUBE CF (G24Q-2 Base)
2CFQ26 – (2) 26w QUAD TUBE CF (G24Q-3 Base)

Consult factory for other available lamps and LED Wattages.

HOUSING FINISH

WHT - White
BLK - Black
SAL - Silver
BRZ - Bronze
Consult factory for other finishes.

OPTIONS

TP - Tamperproof Nuts
Windows - 4 white acrylic backed windows
LBlue - Blue Lens
LGreen - Green Lens
LRed - Red Lens
MOD 18 - 18"x18" fixture
30K - 3000 Kelvin Temperature
35K - 3500 Kelvin Temperature
40K - 4000 Kelvin Temperature

Indessa LIGHTING

PHONE: 509.924.0243 • FAX: 509.924.2607 • www.indessa.com

MADE IN USA

ADA

State Environmental Quality Review

NEGATIVE DECLARATION

Notice of Determination of Non-Significance

Project Number Date:

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Yorktown, Planning Board, as lead agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action:

Wendy's at Staples Plaza

SEQR Status: Type 1 ☐
Unlisted ☑

Conditioned Negative Declaration: ☐ Yes
☑ No

Description of Action:

It is proposed renovate the existing building to construct a Wendy's with drive-thru. The site is located at 3399 Crompond Road, Yorktown Heights.

Section 36.06, Block 2, Lot 76

Location: (Include street address and the name of the municipality/county. A location map of appropriate scale is also recommended.)

3399 Crompond Road, Town of Yorktown, Westchester County

Reasons Supporting This Determination:

(See 617.7(a)-(c) for requirements of this determination ; see 617.7(d) for Conditioned Negative Declaration)

1) This negative declaration is based on a Short Environmental Assessment Form dated July 1, 2022.

2) The plan renovates an existing building.

3) The proposed plan increases the pervious area and landscaping on the site.

If Conditioned Negative Declaration, provide on attachment the specific mitigation measures imposed, and identify comment period (not less than 30 days from date of pubication In the ENB)

For Further Information:

Contact Person: Robyn Steinberg, Town Planner

Address: 1974 Commerce Street, Yorktown Heights, NY 10598

Telephone Number: 914-962-6565

For Type 1 Actions and Conditioned Negative Declarations, a Copy of this Notice is sent to:

Chief Executive Officer , Town / City / Village of

Other involved agencies (If any)

Applicant (If any)

Environmental Notice Bulletin, 625 Broadway, Albany, NY 12233-1750 (Type One Actions only)

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING
SITE PLAN, SPECIAL USE PERMIT FOR A DRIVE-THRU,
AND SPECIAL USE PERMIT FOR OUTDOOR SEATING
AT THE WENDY'S AT STAPLES PLAZA

RESOLUTION NUMBER: #22-00 **DATE:**

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, Garrigan, and Phelan, the following resolution was adopted:

WHEREAS in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a site plan titled "Preliminary & Final Site Plan for Wenesco Yorktown, LLC Proposed Drive-Thru Wendy's Restaurant," prepared by Dynamic Engineering Consultants, P.C., dated June 27, 2022, and last revised October 5, 2022 was submitted to the Planning Board on behalf of Wenesco Yorktown, LLC (hereinafter referred to as "the Applicant"); and

WHEREAS the property owned by UB Yorktown, LLC is located at 3399 Crompond Road, also known as Section 36.06, Block 2, Lot 76 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"); and

WHEREAS an application fee has been received by this board; and

WHEREAS pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on <DATE>.
3. A negative declaration has been adopted on <DATE> on the basis of a Short EAF dated July 1, 2022.

WHEREAS the applicant has submitted as part of his application the following maps and documents:

1. A drawing, Sheet 1 of 5, titled "Cover Sheet," prepared by Dynamic Engineering Consultants, P.C., dated June 27, 2022, and last revised October 5, 2022; and

2. A drawing, Sheet 2 of 5, titled "Site Plan," prepared by Dynamic Engineering Consultants, P.C., dated June 27, 2022, and last revised October 5, 2022; and

3. A drawing, Sheet 3 of 5, titled "Grading, Drainage, and Utility Plan," prepared by Dynamic Engineering Consultants, P.C., dated June 27, 2022, and last revised October

5, 2022; and

4. A drawing, Sheet 4 of 5, titled "Landscape and Lighting Plan," prepared by Dynamic Engineering Consultants, P.C., dated June 27, 2022, and last revised October 5, 2022; and

5. A drawing, Sheet 5 of 5, titled "Construction Details," prepared by Dynamic Engineering Consultants, P.C., dated June 27, 2022, and last revised October 5, 2022; and

6. A drawing, Sheet 1, titled "Impervious Coverage Exhibit," prepared by Dynamic Engineering Consultants, P.C., and dated October 5, 2022; and

7. Architectural Plans, 63 sheets, titled "Wendy's - (2.0) Conversion New Build," prepared by The Chesapeake Design Group Architects, Incorporated, dated April 11, 2022; and

WHEREAS pursuant to Town Code Section 300-182(A)(5) the Applicant must provide at least one space for each 50 square feet of floor area devoted to patron use, plus one space for each 100 square feet of food preparation and ancillary use thereby requiring a total of 25 parking spaces, and the applicant has shown 33 parking spaces on the site plan; and

WHEREAS pursuant to Town Code Section 300-186, the Applicant must provide one loading space for the first 4,000 square feet of floor area or major portion thereof and whereas the proposed restaurant is approximately 3,600 square feet, however no designated loading space is provided because deliveries will take place when the restaurant is closed or during off-peak hours twice weekly and will take place in the parking aisle adjacent to the building; and

WHEREAS pursuant to Section 300-21(C)(8)(a)[1], the drive-thru is considered service conducted outside the premises and requires a special use permit issued by the Planning Board; and

WHEREAS a special use permit is required pursuant to Section 300-80 Sidewalk cafes for outdoor seating shown on the architect's site plan along the side of the building for 13 customers; and

WHEREAS pursuant to Section 300-182, there are 942 parking spaces required on the Property and 942 existing parking spaces. The proposed modifications will result in a loss of 7 parking spaces, however there are 95 conservation spaces shown on the master site plan for the property; and

WHEREAS the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	**Report Date**
ABACA	06/13/22, 09/26/22, 10/19/22
Planning Department	05/20/22
NYC DEP	10/05/22
Westchester County Planning Board	09/23/22

WHEREAS the Property is located within a NYCDEP Designated Main Street Area and therefore requires their approval of a Stormwater Pollution Prevention Plan for any change in the impervious surface; and

WHEREAS the requirements of this Board's Land Development Regulations, Town Code Chapter 195, have been met; and

WHEREAS a Public Informational Hearing was held in accordance with §195-39(B)(1) of the Yorktown Town Code on the said site plan application at the Town Hall in Yorktown Heights, New York on September 12, 2022; and

WHEREAS having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing held in accordance with §195-39(B)(2) of the Yorktown Town Code on the said site plan application commencing and closing on October 17, 2022 at Town Hall in Yorktown Heights, New York;

BE IT NOW RESOLVED that the application of Wenesco Yorktown, LLC for the approval of a site plan titled "Preliminary & Final Site Plan for Wenesco Yorktown, LLC Proposed Drive-Thru Wendy's Restaurant," prepared by Dynamic Engineering Consultants, P.C., dated June 27, 2022, and last revised October 5, 2022, be approved subject to the modifications and conditions listed below, and that the Chairman of this Board be and hereby is authorized to endorse this Board's approval of said plan upon compliance by the applicant with additional requirements as noted below; and

RESOLVED the Planning Board has determined the loss of 7 parking spaces adjacent to the Wendy's building is mitigated by the existing 95 conservation spaces located on the site and should there be a parking issue as a result of operation of the Wendy's, the Planning Board may require construction of conservation spaces at that time; and

RESOLVED, all new lighting installed on the site must comply with the standards as set forth in Chapter 200 Lighting that requires all free-standing and wall-mounted luminaires shall be fully shielded light fixtures; and

RESOLVED that a special use permit is hereby granted pursuant to Section 300-21(8)(a)[1] for the drive-thru window and digital ordering pickup window; and

RESOLVED a special use permit is hereby granted pursuant to Section 300-80 Sidewalk cafes for outdoor seating along the side of the building consisting for 13 customers shall be permitted for a period of three (3) years from said date of which a Certificate of Occupancy is granted and may be renewed in and up to five (5) year intervals; and

BE IT FURTHER RESOLVED, that this special use permit for outdoor seating is contingent on strict compliance with the provisions of this resolution and all applicable Town Ordinances. This Board reserves the right to revoke this permit for reasons of non-compliance, including but not limited to parking not being kept on-site, as stated in Section §300-33 of the Town Code, and as otherwise provided for under the approvals governing this site; in addition failure to comply with any of the aforementioned will result in a letter providing the applicant with notice to appear before the Planning Board which notice will be sent ten (10) days prior to such meeting/hearing and which notice will advise the applicant that the Planning Board will consider at that meeting a resolution rescinding and/or amending that special permit.

RESOLVED the operators of the Wendy's will keep the area of the Property under their control maintained in good order including the daily removal of litter and cleanliness and appearance of the trash enclosure; and

Additional requirements prior to signature by the Planning Board Chairman:

1. Obtain Stormwater Pollution Prevention Plan Permit approval from the NYC DEP.

2. Submission of a Final Stormwater Pollution Prevention Plan acceptable to the Town Engineer and approved by the Planning Board.

3. Submission of fees as per town requirements made payable to the Town of Yorktown:

Special Use Permit Outdoor Seating	$625.00
Special Use Permit Outdoor Service	$625.00
General Development Fee	$529.00

4. Submission of inspection fees and security, in a form satisfactory to the Town Attorney, to the Engineering Department as required by the Town Engineer. Fees to be determined after Planning Board approval and a complete final set of drawings are submitted to the Town Engineer.

Additional requirements:

5. Applicant must obtain all necessary permits from outside agencies

6. Proposed plan must comply with all current applicable ADA standards.

7. Upon completion of the project, the Applicant must submit an as-built survey showing all improvements on the site.

BE IT FURTHER RESOLVED that unless a building permit has been issued by **November 14, 2023**, or a time extension has been granted by the Planning Board, this approval will be null and void.

Dell Ave Solar

AFFIDAVIT OF MAILING

STATE OF NEW YORK)
) ss:
COUNTY OF WESTCHESTER)

Being duly sworn, Tracy A. Russo, hereby deposes and says as follows:

1. I am not party to this action and am over 18 years of age;

2. On November 1, 2022, I served the within Public Notice, via standard mail, addressed to the following people at the last known addresses set forth below:

See attached.

Tracy A. Russo

Sworn to and subscribed before me
this 1st day of November 2022

Laura McMahon
NOTARY PUBLIC

LAURA MCMAHON
NOTARY PUBLIC, STATE OF NEW YORK
NO. 01MC6017348
QUALIFIED IN ROCKLAND COUNTY
COMMISSION EXPIRES 12/14/2022

70.11-1-18
SORANGO, ROSA E. & SACA-GUAMAN,
PEDRO M.
249 DELL AVE
OSSINING, NY 10562

70.11-1-7
KHAN, M.I.
75 HOG HILL RD
CHAPPAQUA, NY 10514

70.14-1-3
CON EDISON OF N.Y. INC.
C/O STEPHANIE J. MERRITT
4 IRVING PL., 3RD FL NORTHWEST
NEW YORK, NY 10003

81.9-3-1
CON EDISON OF N.Y. INC.
C/O STEPHANIE J. MERRITT
4 IRVING PL., 3RD FL NORTHWEST
NEW YORK, NY 10003

81.6-2-6
RANDOM FARMS HOMEOWNERS ASSN INC
C/O KATONAH MGMT CORP
334 UNDERHILL AVE, SUITE 5D
YORKTOWN HEIGHTS, NY 10598

70.14-1-6
CITY OF N.Y. D.W.S.G. & E
BUREAU OF WATER SUPPLY
71 SMITH AVENUE
KINGSTON, NY 12401

70.15-1-1
YASKOVIC, RONALD
522 SAW MILL RIVER RD
YONKERS, NY 10701

70.14-1-4
NHST HOUSE, LLC.
66 EDGEWOOD RD
KATONAH, NY 10536

81.6-2-45
KINSTLINGER BRIAN D & JENNIFER
6 RANDOM FARMS DR
CHAPPAQUA, NY 10514

81.7-1-6
ROSENBLATT BRIAN & RANDI
36 RANDOM FARMS CIR
CHAPPAQUA, NY 10514

70.11-1-15
LANGONE, ALFONSE
256 DELL AVE
OSSINING, NY 10562

70.15-1-3
RIVERSIDE TRUST
C/O SHEPARD MCILWEE
11601 WILSHIRE BLVD SUITE 1
LOS ANGELES, CA 90025

70.14-1-5
NHST RESTAURANT, LLC.
66 EDGEWOOD RD
KATONAH, NY 10536

81.6-2-46
KALATHIL SHAIJU &
MALAICKAL LALENI
2 RANDOM FARMS DR
CHAPPAQUA, NY 10514

Town of New Castle
New Castle Town Office
200 S Greeley Avenue
Chappaqua, NY 10514

NOTICE TO INTERESTED PARTIES

TO: _____

_____

PLEASE TAKE NOTICE that a **Public Hearing** will be held by the Planning Board of the Town of Yorktown in Town Hall, 363 Underhill Avenue, Yorktown Heights, New York 10598 on **Monday, November 14, 2022 at 7:00 pm** or as soon thereafter as possible on the following matter:

Application of SCS Dell 014136 Yorktown, LLC for approval of a site plan, special use permit, stormwater pollution prevention plan, and tree permit with submitted plans titled, "Dell Avenue Solar Farm," prepared by TRC Engineers, Inc., dated September 21, 2022, on behalf of Sol Systems, LLC.

It is proposed to construct a 3,625 kWac fixed tilt ground mount solar energy system with associated gravel access roads, fence, electrical equipment, stormwater management, and landscaping on approximately 14 acres. The site, totaling 62.33 acres, is located on Dell Avenue, in the Town of Yorktown, also known as Section 70.11, Block 1, Lots 16 and 70.15, Block 1, Lot 2 on the Town of Yorktown Tax Map.

If any interested members of the public would like to provide comments on this application, written comments can be provided to the Board by mail sent to the Planning Department at 1974 Commerce Street, Yorktown Heights, NY 10598 or by email before the meeting to planning@yorktownny.org. Submitted written comments will be given to the Planning Board in advance of the meeting.

The above listed site plan may be viewed on the Town's website: http://www.yorktownny.org/planning/public-hearings. Please do not hesitate to call the Planning Department at 914-962-6565 with questions or for more information.

ALL PERSONS INTERESTED in the above matter may appear before the Board in person, or virtually if the meeting is held remotely, by agent or attorney and will be heard before any final determination is made.

This notice is being sent to you by regular first class mail, pursuant to Section '195-39B of the Yorktown Town Code requiring the undersigned to notify all interested parties as defined there under.

SCS Dell 014136 Yorktown, LLC
Name of Applicant
c/o Zarin & Steinmetz LLP
Jody T. Cross, as Attorney for Applicant
By (Name and Title)
11/01/2022

_____
Date

To: Yorktown Planning Board
From: Yorktown Tree Conservation Advisory Commission
Date: November 10, 2022
Re: Dell Ave Solar

Dear Chairman Fon and members of the Planning Dept

The TCAC does not believe that the proposed mitigation plan for this project is accurate.
First and foremost, please be aware that the continued use of trees planted for screening on solar projects are not to be used as credit in calculating tree removal mitigation.

The PB lawyer has determined that trees planted for screening do not count as mitigation. The 66 trees replacement trees to be planted are not credits towards mitigation and represent an additional $6,600 payable to the Yorktown Tree bank Fund.

The 17 Thuja occidentalis or Northern White Cedar are highly susceptible to deer damage. A substitute should be considered.

Although Green Giant Arborvitae is not a native species, the TCAC has allowed their use in previously approved site plans. Their use will help diversify the use of conifers in the screening of the solar panels.

Until the above issues are corrected and addressed, this project should not move forward in the approval process.

Sincerely,
Tree Conservation Advisory Commission
Lawrence W. Klein, P.E. Member
Keith Schepart, ISA Certified Arborist, Member
Tom Schmitt, Member
Jay Gussak, Member
Joe Verado, Member

Robyn Steinberg

From: Brian Rosenblatt <brianjrosenblatt@gmail.com>
Sent: Wednesday, November 9, 2022 5:28 PM
To: Planning Department; Robyn Steinberg; John Tegeder
Subject: Dell Avenue Solar Project – Line of Sight and Screening from Random Farms Neighborhood

November 9, 2022

VIA EMAIL

Town of Yorktown Planning Board
1974 Commerce St
Yorktown Heights, NY 10598

RE: Dell Avenue Solar Project – Line of Sight and Screening from Random Farms Neighborhood

Dear Planning Board Members:

We are in receipt of notice dated November 1, 2022 from Zarin & Steinmetz LLP on behalf of SCS Dell 014136 Yorktown, LLC ("the "Applicant") that a Public Hearing is to be held by the Planning Board on November 14, 2022 regarding large-scale solar energy system and related developments known as the Dell Avenue Solar Project (the "Project").

We live at 36 Random Farms Circle, Chappaqua, New York and are writing to you as concerned owners of residential property adjacent to the Project. We trust that the Planning Board received our email of September 22, 2022 requesting that the Planning Board require a comprehensive line of sight analysis / Viewshed Impact Assessment be conducted during the winter months (when the trees have no leaves) from all adjacent residential properties, including from our residential property, and require that the plans for the Project include the full screening, with mature landscaping, from adjacent residential properties, including our residence, in accordance with the Town Code, so that the Project is fully screened from inception of the Project's development.

The Town Code requires that "Large-scale solar energy systems shall be fully screened from adjacent residential properties." We have reviewed all of the materials relating to the Project that have been submitted to the Planning Board and are available online on the Planning Board's website. Line of sight analysis has been extremely limited and has not considered any of the adjacent residential properties in the Random Farms neighborhood, including our residential property at 36 Random Farms Circle. Further, the Project's site plans and applications do not include any visual mitigation plantings to screen the project from adjacent residential properties in the Random Farms neighborhood.

Based on a review of the materials, our knowledge of the topography, and our experience living in our home since 2017, the Project and its large-scale solar energy system would, as currently proposed, be visible from our home and not "fully screened" from our residential property, in direct contravention of the Town Code. The absence of (a) analysis regarding the visual impact / line of sight from our residential property and other residential in the Random Farms neighborhood and (b) plans to include visual mitigation plantings to fully screen the Project from our residential property and other adjacent residential properties in the Random Farms neighborhood is extremely troubling and is a significant oversight and deficiency by the Applicant.

We respectfully request that the Planning Board require a comprehensive line of sight analysis / Viewshed Impact Assessment be conducted during the winter months (when the trees have no leaves) from our residential property and the other adjacent residential properties in the Random Farms neighborhood, and require that the site plans for the Project include full screening from adjacent residential properties in accordance with the Town Code, including with

mature visual mitigation plantings to fully screen the Project from our residential property and the other adjacent residential properties in the Random Farms neighborhood from inception of the Project's development.

We would appreciate confirmation of receipt of this email. You can reach us at 818.590.1866 or brianjrosenblatt@gmail.com.

Thank you in advance.

Respectfully yours,

Brian & Randi Rosenblatt

From:	Clifford Davis <cdavis@clifforddavis.com>
Sent:	Wednesday, November 2, 2022 11:18 AM
To:	John Tegeder; Robyn Steinberg; Nancy Calicchia
Cc:	esrcool; Nan Stolzenburg; george@georgejanes.com
Subject:	Dell Avenue Solar Farm
Attachments:	Final Memo Dell Ave 11 2 22.pdf

Hi John, I am counsel for the Riverside Trust, 71 Hog Hill Road, the adjacent residential neighbor to the Dell Avenue Solar Farm application. I attach hereto for your review and that of the Planning Board for the public hearing our expert urban planning report. Please distribute to the Planning Board and all staff. Respectfully, Clifford L. Davis

Clifford L. Davis, Esq.
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Community Planning and Environmental Associates
152 Stolzenburg Road, Berne, NY 12023
518-248-8542 • planningbetterplaces.com

To: Clifford Davis, Counsel for Riverside Trust
From: Nan Stolzenburg, FAICP CEP
Re: Dell Avenue Solar Farm, 200 Dell Avenue, Yorktown, NY
Date: November 2, 2022

I am submitting this memo to you on behalf of the Riverside Trust. I have reviewed the submissions related to the Dell Avenue Solar Farm site plan and supporting materials (including the Tree Survey) provided by Sol Systems, LLC dated June 15, 2022. I have also read and considered (i) the Town of Yorktown Comprehensive Plan; (ii) the Town's Biodiversity Plan; (iii) the Croton to Highlands Biodiversity Area Study, (iv) the Weston and Sampson Memorandum related to the Habitat Evaluation; and (v) a variety of submissions and letters from the Planning Board, Conservation Advisory Committee, Westchester County, adjacent towns, and Town Building Department. I have also referred to various maps available from Westchester County, from the NYS DEC, The Nature Conservancy, and from the Hudson River Estuary Program. I have been asked to provide a thorough review of these materials in relation to the proposed removal of 12.3 acres (14.1 total limit of disturbance) of forested land cover for construction and operation of a solar farm.

I am the founder and Principal Planner at Community Planning & Environmental Associates in Berne, NY and specialize in the unique planning needs of small and rural communities throughout New York State. I have almost 30 years of planning experience and have consulted in over 70 communities in upstate NY, including throughout the Hudson Valley.[1]

[1] My experience centers around community and environmental planning including and land use. I am also often retained by Planning Boards to assist them in site plan, subdivision, or special use permit reviews. I have a bachelor's degree and master's degree in Wildlife Biology, a master's degree in Regional Planning, and have been inducted as a Fellow of the American Institute of Certified Planners (FAICP) and also as a Certified Environmental Planner (CEP). I am a Certified Wildlife Biologist (The Wildlife Society). My resume and client list are attached.

Observations and Concerns

A. Role of Woodlands in Yorktown:

Yorktown has clearly identified woodlands as an important environmental element in Town and has established policies to protect those resources. The Town's Comprehensive Plan, adopted in 2010, is Yorktown's policy statement and it clearly articulates the long-term vision and direction for the Town. Specifically, regarding woodlands in Yorktown, the Comprehensive Plan establishes the following policy and direction (emphasis added):

- 7.1 VISION STATEMENT Yorktown's natural resources are integral to the long-term health, safety, and well-being of not only Yorktown but also neighboring towns and the region. The Town should expand efforts to preserve open space and natural resources throughout Yorktown. *The ecological integrity of Yorktown's natural resources, including groundwater, streams and wetlands,* ***trees and woodlands****, steep slopes, and areas rich in biodiversity, must be maintained and protected, even as new development occurs.*
    - Goal 7-A: Protect the health, safety, and welfare of Yorktown residents by conserving natural resources to the greatest extent possible**, including woodlands**, water resources, wetlands, threatened and endangered species, and habitat areas for plants and wildlife.
    - Goal 7-I: Promote **biological diversity** by protecting open space that serves as habitat and/or breeding grounds for a wide range of species.
- Policy 7-14: *Strengthen the Town's anti-clear-cutting regulations*, particularly with respect to wetland buffers and steep slopes.
- Policy 7-17: The Town should support appropriate forest management techniques to *ensure that the quality of forested land is protected and maintained*.

As a comprehensive plan is a legally recognized document that establishes the long-term direction for a municipality, the above statements regarding woodlands are important and must be considered by the Planning Board. Section 300-2 (A) of the zoning code specifically ties zoning to the comprehensive plan, stating the zoning "is adopted for the protection and promotion of the public health, safety, morals and general welfare of the community, such as: (A) To guide the future growth and development of the Town in accordance with a comprehensive plan…"

The Planning Board needs to consider its comprehensive plan in its project reviews. In this case, removal of a significant amount of woodlands is in direct conflict with stated community goals.

The Town has further established its commitment to trees and woodlands by adopting Chapter 270 of the Yorktown Code (Preservation of Yorktown's Trees and Woodlands). The legislative intent of that portion of the Town Code establishes that preserving trees and woodlands is an important community goal and that there is a preference for preservation. While that chapter

envisions the need for some tree and woodlands removal, clear-cutting of large swaths of forest is not among the development activities envisioned. The tree and woodlands preservation chapter clearly identifies what the Town considers the ecological role woodlands play in the community and the consequences of woodlands disturbance.

B. Woodlands in the Ecosystem and General Impacts of Woodlands Removal.

The Town of Yorktown itself has clearly established the benefits of individual trees and woodlands in its Code, §270-3. This section of the code clearly articulates what Yorktown considers to be a wide range of ecological benefits including:

- providing oxygen;
- slowing climate change;
- mitigating air pollution;
- stabilizing soil;
- providing microclimates
- tempering noise;
- providing wildlife and natural habitats
- assisting in groundwater and reservoir recharge;
- contributing to community character and enhancing property values;
- promoting biodiversity; and
- enhancing ecosystem stability.

The Town further establishes the important role of woodlands by stating in §270-3 (A (7) that "*Woodlands function as vital ecological communities not just because of the presence of trees, but because the presence of canopy, shrub and ground cover layers of vegetation. Therefore, protecting the integrity of woodlands requires regulating the removal of any of these three layers in such communities."*

The Sol Solar Farm is proposed to remove 12.3 acres of mature woodlands (a mixed species forest made up of maple/beech/birch/oak/hickory tree species). NYS DEC (and as recognized in the TRC Tree Mitigation Plan and the September 20, 2022 Weston and Sampson memorandum) has mapped this site a "core forest" (See Figure 1). As per NYS DEC, core forests are interior forest areas surrounded by at least a 100-meter-wide buffer of edge forest habitat. They are especially important for sensitive wildlife, and fragmentation reduces or eliminates core forest and is a leading driver of biodiversity loss. Fragmentation decreases forest habitat quality, disrupts wildlife movement, and facilitates spread of invasive species. In its Forest Condition Index Fact Sheet[2], DEC notes that "Forest fragmentation occurs when large forests are divided into smaller patches, often by clearing for new roads or development. These divisions create new forest edges and reduce core forest habitat. Differences in microclimate, predation levels, invasive species, and other disturbance at forest edges produces effects that can extend 100 meters or more into forest

[2] Forest Condition Index. Conservation Data for the Hudson River Estuary Watershed. Hudson River Estuary Program. Fact Sheet. Can be found at: https://www.nynhp.org/projects/hudson-valley-forest-patches/

patches. The decline of many forest-breeding songbirds in eastern U.S. Forests has been linked in part to the loss of core forest habitat."

C. The Tree Mitigation Plan should incorporate factors to evaluate the significance of the core forest.

The ecological significance of "core forests" — forests surrounded by other forests — cannot be overstated. While the TRC Tree Mitigation Plan and the Weston and Sampson memorandum points out that the "forest condition index of the Project Site is in the bottom 20th percentile of forest patches within the Hudson River Estuary," their statement that "This forest condition index indicates that while the Project Site is part of a larger forest patch with a core forest, in comparison to larger forests removed from surrounding development, it *has limited connectivity with other large forest patches, provides limited habitat and ecosystem value, and has experienced environmental stressors from surrounding human activity and development*" is, in my opinion overstated and unsubstantiated.

No specific study has been done to inventory and characterize the habitat of this forest patch. There is no other information given as to its ecosystem value locally. It is disingenuous to simply use the NYS DEC Forest Index as an indicator that rationalizes that the forest patch has little significance. And, given the type of built environment in Yorktown, almost the entire area is stressed from surrounding human activity and development. The statement implies that the forest at this site is not 'worth' preserving because it is a 'low-quality forest.' It is important to note that no on-site studies have been done to evaluate the actual ecological role and health of that forest patch, and the forest condition index is just one evaluation tool and not a substitute for on-site evaluation.

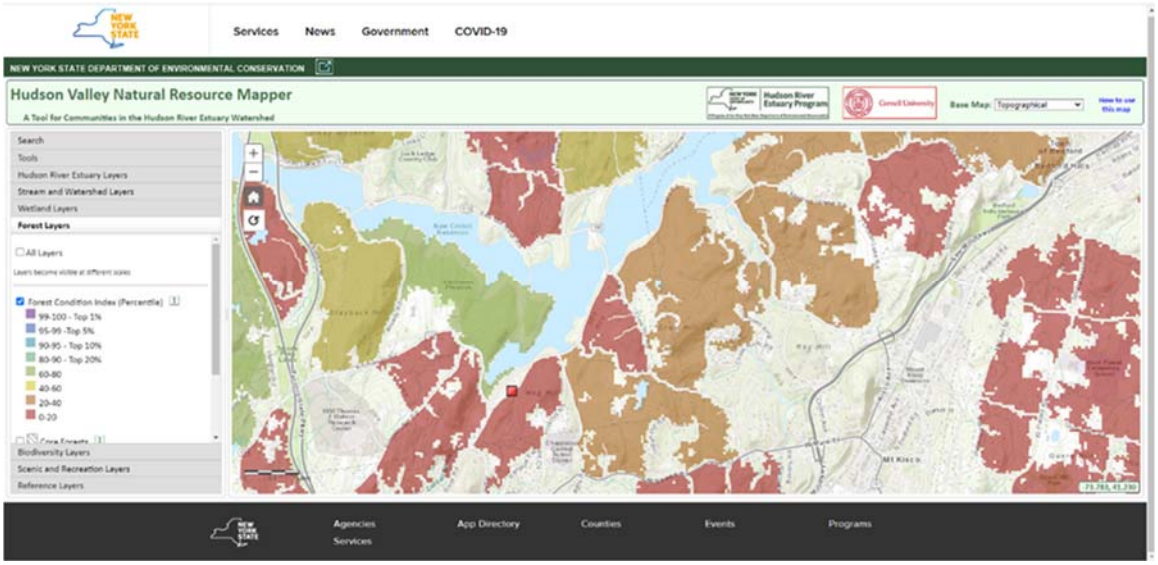

Figure 1: Forest Conditions Index for other Core Forest Patches Near Project site in Yorktown.

A broader look at the role this patch plays in the environment shows a series of forest patches that form 'steppingstones.' Fragmentation of this forest patch would further separate other forest patches to the east and north from those to the west.

That environmental impact has not been evaluated. The fact that this particular forest patch is ranked low should not be the rationale for clear-cutting and fragmenting it. In fact, the carbon sequestration value assigned by NYS DEC for the project site is 9 out of 12 points, or 75%, compared to the higher-ranking forest patch found at the Kitchawan Preserve whose carbon sequestration value is only 7 of 12 points, or 58%. [3]

In its own materials[4], NYS DEC says "The best way to assess the condition of a forest is to conduct field surveys and quantify the native species, invasive species, structural and habitat heterogeneity, forest health indicators, forest stress indicators, and other measures of forest condition." And NYS DEC also recognizes that regional connectivity among forest patches plays an important role in gene flow and maintaining population viability. There are other landscape features related to forests, such as the amount of forest lands within large watersheds, which contribute to ecosystem health.

TRC should incorporate this evaluation to have a more complete analysis.

[3] https://gisservices.dec.ny.gov/gis/hvnrm/

[4] Conley, Amy K, Emily Cheadle, and Timothy G. Howard. 2019. Hudson Valley Forest Patch Update and Assessment. New York Natural Heritage Program, State University of New York College of Environmental Science and Forestry, Albany, NY.

D. Concerns

1. Creation of more edge forest. The TRC Tree Mitigation Plan dated June 15, 2022, indicates that 12. 3 acres of existing forest protected at the project site will be converted to meadow habitat and infrastructure for the solar farm. 1,007 mature live and 48 dead trees are slated to be removed. The forest is further characterized as a mature mesophytic forest where the majority of trees are equal or greater than 12" dbh. The TRC report states that "Tree clearing will convert a portion of core forest at the Project Site to edge forest."

   An edge forest "fragments habitats that will reduce biodiversity by 13 to 75% and will impair key ecosystem functions by decreasing biomass and altering nutrient cycles. Effects are greatest in the smallest and most isolated fragments, and they magnify with the passage of time"[5]. Removal of 12.3 acres of forest will result in the remaining forest having no core and thus will all become edge. As the core forests get smaller and more isolated through activities such as this solar farm, the risk of losing biodiversity increases.

2. Loss of Other Forest Functions. In addition to the impacts discussed above, other impacts the proposed solar farm would be:
   i. A solar farm is a fenced in land use. It will not allow for use of that parcel for anything much larger than a rabbit. It will disrupt wildlife travel corridors.

   ii. The application materials discuss the benefits of solar generation to reduce carbon emissions. However, the existing forest sequesters carbon naturally and contributes to a resilient environment. Using The Nature Conservancy's Resilient Land Mapping Tool (tnc.org/resilientland) shows that a large portion of the site to be developed is recognized as a more resilient landcover. This tool scores land relative to all other sites in its ecoregion that have the same geophysical setting based on soils, bedrock geology, and elevation zone.

   The results identify land where high microclimatic diversity and low levels of human modification provide species with connected, diverse climatic conditions that need to persist and adapt to changing regional climates. This area has **Above Average Resilience** relative to all sites with the same geophysical setting in its ecoregion. This tool shows that by 2050, up to 114 metric tons/acre of carbon will be sequestered through the forest

[5] Habitat fragmentation and its lasting impact on Earth's ecosystems. Haddad, Nick, M, et al. Sci Adv. 2015 Mar 20;1(2):e1500052. doi: 10.1126/sciadv.1500052. eCollection 2015 Mar.

ecosystem. So, this site as a forest, is already successfully contributing to preventing climate change. A more specific amount of carbon sequestration can be calculated and there are a number of tools and methods available to do so. Any discussion of the benefits of a solar farm needs to be tempered with the loss of natural carbon sequestration that will be lost.

3. Tree Reforestation as Planned is Mostly Useful as Screening. The tree mitigation proposed is, at best, a landscape screening method. The species of trees chosen for replanting (Eastern Red Cedar, White Spruce, and Northern White Cedar) are all evergreens and used, in this context as screening, not as any ecological replacement. Further, Northern White Cedar is a preferred deer browse food and is likely to be heavily browsed – thus losing both its screening features and habitat functions. I object strongly to a mitigation plan showing 179 trees (or just 66, see #4 below) being called a mitigation plan.

   A true mitigation plan would be to replace 12.3 acres of forest land on another site to create a new forest patch. Will the $137,000 paid to the Tree Bank Fund allow for either purchase of new land to regrow forest, or for planting of an equivalent number of trees to replace that which is lost? A Tree Bank Fund is useful for mitigation of loss of individual or very small patches of trees, as outlined in the Tree and Woodlands law. While the use of $137,000 paid to the Tree Bank Fund will have some benefit, it will provide no benefit to the forest here. Mitigation by planting merely 179 new trees, especially in the manner they have proposed, will not provide anywhere near the same ecological benefits. There is no real mechanism proposed to allow for creation or regrowth of a mature forest, and so all the benefits and important roles of a mature forest will be lost forever.

4. Uncertainty as to the Actual Number of Trees to be Replanted. TRC proposes mitigation to be a replacement of 179 native evergreen trees along with a payment of approximately $137,000 to a Tree Bank Fund. However, Section 3.1 of the TRC Tree Mitigation Plan, Table 1 proposes just 66 trees, and the site plans show 120 trees (due to scale it was difficult to read exact numbers). What is the correct number of trees to be planted?

5. Lack of Field Studies. Although submissions showed field study for listed species (Indiana Bat, Bog Turtle, and Bald Eagle), there appears to have been no four-season wildlife inventory conducted. Without such an inventory, there is no data to understand the role this forest plays in regional wildlife communities and

statements indicating that there will be no impact on wildlife are thus seriously misleading.

6. Lack of Evaluation of Indirect Impacts on Water Quality and Water Quantity. Water, wetlands and forests are constantly interacting to produce healthy and productive ecosystems. Forests, for example, play a critical role in the well-being and proper function of the hydrological cycle.[6] The application did not include environmental analysis of any potential adverse impacts due to removal of a large area of trees to wetland health, water quality or water quantity. There is no information provided as to the contribution of this forest to water quality or quantity.

E. Summary. In summary, I offer the following points:

1. Woodlands are documented as important environmental resources in Yorktown and the Town has established both policy (Comprehensive Plan) and regulations (Zoning and Tree and Woodlands Preservation Law) to protect them.

2. Woodlands contribute to a myriad of critical ecological and community functions.

3. Woodlands in and of themselves contribute to climate resiliency due to natural carbon sequestration. This function should be equally considered.

4. The forest slated to be removed is a NYS DEC identified core forest, which has intrinsic ecological benefits that cannot be fully mitigated with 179 new trees planted.

5. It is unlikely that the mitigation fee paid to the Tree Bank Fund would ever create a comparable forest patch having similar ecological and community benefits as currently existing.

6. Application documents use the low Forest Index as calculated by the NYS DEC as a rationale for this forest patch being not significant. The description of this forest patch as having limited connectivity with other large forest patches (there are several nearby albeit separated by roads), and that it provides limited habitat and ecosystem value (no site specific studies were done at all to substantiate this claim), and that this area has experienced environmental stressors from surrounding human activity and development (as is the case with all other forest patches east of

[6] Blumenfeld, S., Lu, C., Christophersen, T. and Coates, D. (2009). Water, Wetlands and Forests. A Review of Ecological, Economic and Policy Linkages. Secretariat of the Convention on Biological Diversity and Secretariat of the Ramsar Convention on Wetlands, Montreal and Gland. CBD Technical Series No. 47.

the Hudson River in Westchester County) in no way offers any fact-based rationale for indicating this is a low quality forest easily removed without any environmental consequence.

As a Certified Wildlife Biologist and a Certified Environmental Planner, removal of large acreages of mature forest land is never a good planning practice. Solar farms have many benefits and should be promoted, but not on undeveloped forested areas. They should always be directed to already disturbed areas.

Nan C. Stolzenburg Principal Planner

SUMMARY OF QUALIFICATIONS

Ms. Stolzenburg is Principal Planner and founder of the consulting firm *Community Planning & Environmental Associates* in Berne, NY, Nan Stolzenburg has been inducted into the AICP College of Fellows and is a Certified Environmental Planner (American Institute of Certified Planners) with a Master's degree in Regional Planning. She also has degrees in Wildlife Biology (MS and BS). Ms. Stolzenburg has over 27 years of professional and technical experience in many areas of land use and the environment, with special interests in small town and rural planning, community revitalization, comprehensive planning, and public participation. Her specialty areas include land use planning techniques for rural and small communities, open space, environmental and agriculture land use planning, comprehensive plan development, community involvement strategies, and development of zoning and land use regulations. She has developed many comprehensive and strategic plans for over 70 upstate New York communities, some of which have won national and state-level planning awards, and has been involved in zoning and SEQR projects throughout New York State. Ms. Stolzenburg is among one of 33 people nationwide to have received the Certified Environmental Planner advanced certification in 2011, and one of 53 nationwide inducted into the AICP College of Fellows in 2022.

Ms. Stolzenburg also has been an adjunct professor in rural planning and environmental impact assessment and is a frequent instructor or panelist for community trainings across New York State.

In addition to dozens of comprehensive, strategic, and economic development plans, the following examples illustrate the breadth of planning expertise offered by Ms. Stolzenburg and CP&EA:

- Successful CFA grant application for the rehabilitation of the historic Hilton Barn in the Town of New Scotland.
- Primary author of the NYS DEC FEAF and SEAF SEQR workbooks.
- Town of New Paltz Natural Resource Inventory.
- Town of Nassau consultant on Special Use Permit for the Troy Sand and Gravel Mine.
- Town of Ancram consultant on zoning, subdivision, site plan, and for development of Town's Comprehensive Plan and local agricultural and farmland protection plan.

Education:

BS, Wildlife Biology and Environmental Studies, SUNY College of Environmental Science and Forestry, Syracuse, NY (1980)

MS, Wildlife and Fisheries, University of Massachusetts, Amherst, MA (1983)

MRP, Regional Planning, SUNY University at Albany. Albany, NY (1995)

Certified Planner and Certified Environmental Planner, American Institute of Certified Planners (AICP).

Years of Planning Experience:

27 years

Areas of Experience:

Comprehensive and Strategic Planning

Community Revitalization

Main Street Planning and Small Community Economic Development

Development of Land Use Regulations

Environmental Planning, including environmental assessment

Agriculture and Farmland Protection Planning

SEQRA

Community Input Strategies: focus groups, workshops, surveys, online technologies

Member Spotlight: Nan Stolzenburg, FAICP;
Community Planning & Environmental Associates

Name: Nan Stolzenburg, FAICP

Professional Position: Consulting Planner/Owner, Community Planning & Environmental Associates.

Education: BS SUNY College of Environmental Science & Forestry; MS (Wildlife Biology), University of Massachusetts; MRP (Regional Planning), University at Albany

APA Involvement: Upstate New York Chapter and STaR member.

How did you become interested in planning?

My first career was in natural resources. Much later, I took a course in environmental planning and found a second career that where I had a niche and where I could combine my environmental interests with my love of rural landscapes and communities.

What's the most interesting project you're working on?

Helping a black women's advocacy group navigate the planning process in a very rural community to create an environmentally-oriented retreat center.

What is one of your biggest successes?

Writing a workbook guide to help local communities understand the environmental review process required for projects in New York State (SEQR).

Have you had any projects that didn't work out?

Yes! I was hired to help develop a comprehensive plan that they ultimately did not adopt.

What did you learn from that experience?

That there are many people who have profoundly different attitudes about community, land use, and the environment than I, and that sometimes you can't change that. The experience helped me learn to better accept those differences.

Are you noticing any trends among small towns in your practice?

Yes, more interest in planning among rural communities which goes along with an uptick in development pressures (solar farms, short term rentals, second homes, loss of farms). I unfortunately, also see a lot of divisiveness that makes public engagement very stressful and challenging.

What's the best part of working in small towns & rural areas?

The people! It is very rewarding working with people who are passionate about their community. And, feeling like the planning we do contributes to helping people understand their rural assets which in turn leads to a better chance of protecting their natural resources.

American Institute of Certified Planners
AICP
AICP FELLOW

Four STaR Members were selected to join the College of Fellows of the American Institute of Certified Planners in 2022, and will be honored on May 1st at the National Planning Conference in San Diego:

- Stan Clausen
- Timothy Smith
- Michael Southard
- Nan Stolzenburg

Nan Stolzenburg, AICP CEP Client List, Volunteer Experience and Awards

►Comprehensive Plans, Updates to Plans, Strategic Plans, Plan Implementation

Albany County

Town of Rensselaerville (Comprehensive Plan)

Village of Altamont (Comprehensive Plan, Land Use Regulations, Project Review)

Village of Voorheesville (Comprehensive Plan, Land Use Regulations, Design Guidelines)

Town of Berne (Comprehensive Plan, Ag and Farmland Plan, Land Use Regulations, Project Review)

Clinton County

Town of Peru (Comprehensive Plan, Open Space Plan, Land Use Regulations)

Town of AuSable (Comprehensive Plan, Land Use Regulations, Training)

Columbia County

Town of Gallatin (Comprehensive Plan)

Town of Kinderhook (Comprehensive Plan, Land Use Regulations)

Village of Kinderhook (Comprehensive Plan, Plan Updates, Land Use Regulations, Project Review)

Town of Chatham (Comprehensive Plan, Ag and Farmland Plan, Land Use Regulations, Project Review)

Town of Stockport (Comprehensive Plan, Land Use Regulations)

Town of Copake (Ag and Farmland Protection Plan, Land Use Regulations)

Town of Claverack (Comprehensive Plan, Land Use Regulations)

Town of New Lebanon (Comprehensive Plan, Land Use Regulations, Update to Plan)

Town of Ancram (Comprehensive Plan, Update to Plan, CDBG Hamlet Strategy, Ag and Farmland Protection Plan, Land Use Regulations, Project Review, Training)

Town of Ghent (Comprehensive Plan, Land Use Regulations)

Town of Hillsdale (Natural Resource Inventory

Delaware County

Town of Meredith (Ag and Farmland Protection Plan, Site Plan Law)

Town of Stamford (Comprehensive Plan)

Town of Tompkins (Comprehensive Plan)

Town of Harpersfield (Comprehensive Plan, Land Use Regulations)

Town of Colchester (Comprehensive Plan)

Village of Stamford (Comprehensive Plan, Land Use Regulations)

Town of Middletown (Comprehensive Plan, Land Use Regulations)

Town of Roxbury (Comprehensive Plan)

Dutchess County

Town of North East (Comprehensive Plan)

Town of Pine Plains (Comprehensive Plan, Trail Plan, Land Use Regulations, Project Review)

Essex County

Town of Elizabethtown (Comprehensive Plan, Land Use Regulations)

Village of Port Henry (Comprehensive Plan, Consolidation of Town/Village Land Use Regulations)

Town of Moriah (Consolidation of Town/Village Land Use Regulations)

Fulton County

Town of Broadalbin (Comprehensive Plan)

Greene County

Town of Halcott (Comprehensive Plan, Ag and Farmland Protection Plan, Land Use Regulations, Project Review, Training)

Town of Cairo (Comprehensive Plan, Land Use Regulations)

Town of Hunter (Comprehensive Plan)

Town of Jewett (Comprehensive Plan, Land Use Regulations, GEIS)

Town of Durham (Comprehensive Plan)

Town of Lexington (Long Term Recovery Plan)

Town and Village of Athens (Comprehensive Plan, Land Use Regulations, Update to Plan)

Madison County

Town of Hamilton (Comprehensive Plan)

Montgomery County

Town of Minden (Comprehensive Plan, Land Use Regulations)

Oneida County

Village of Whitesboro (Comprehensive Plan, Land Use Regulations)

Town of Webb (Comprehensive Plan, Land Use Regulations)

Otsego County

Town of Springfield (Comprehensive Plan, Land Use Regulations)

Town of Butternuts (Comprehensive Plan)

Town of Cherry Valley (Comprehensive Plan)

Rensselaer County

Town of Pittstown (Comprehensive Plan)

Town of Schaghticoke (Comprehensive Plan, Land Use Regulations)

Village of Nassau (Land Use Regulations)

Saratoga County

Town of Providence (Comprehensive Plan)

Town of Galway (Comprehensive Plan, Land Use Regulations)

Town of Ballston (Land Use Regulations, Transfer of Development Rights Program)

Schenectady County

Town of Princetown (Comprehensive Plan)

Schoharie County

Town of Schoharie (Comprehensive Plan)

Village of Schoharie (Comprehensive Plan, Update to Plan, Long Range Recovery Strategy, NY Rising Plan, Land Use Regulations, Local Waterfront Revitalization Strategy, Project Review, Grant Writing, Grant Administration)

Village of Sharon Springs (SHARE IT Economic Development Plan, Comprehensive Plan, Land Use Regulations)

Village of Cobleskill (Comprehensive Plan)

Town and Village of Middleburgh (Joint Comprehensive Plan)

Seneca County

Town and Village of Seneca Falls (Joint Comprehensive Plan)

Ulster County

Town of New Paltz (Natural Resource Inventory)

Washington County

Town of White Creek (Comprehensive Plan, Ag and Farmland Protection Plan, Land Use Regulations)

►Regional Level or Topic-Oriented Plans Completed

Lewis County (Comprehensive Plan)

Esopus Delaware Local Waterfront Revitalization Plan (Five Towns)

Village of Schoharie Local Waterfront Revitalization Strategy

Cazenovia Partnership (Critical Land Identification)

Schoharie Land Trust (Site Plan Development for Farm Assessment Project)

Development Authority of the North Country (Model Land Use Laws for JLUS)

Tug Hill Tomorrow Land Trust Agricultural Prioritization and Farmland Protection Plan

Black Women's Blueprint, Site Analysis and Concept Site Design for Restore Forward Retreat Center

Town of Red Hook Local Waterfront Revitalization Plan (GEIS Mapping)

Town of New Paltz (Mill Brook Preserve Plan)

SHARE IT—Saving Historic Resources and Revitalizing the Economy, Village of Sharon Springs

Intermunicipal Generic Environmental Impact Statement on the Cooperstown Region, Otsego

Generic Environmental Impact Statement on the Manor Kill Watershed

Generic Environmental Impact Statement on the East Kill and Schoharie Watersheds, Jewett

East Berne Strategic Plan/Linkage Study, Albany County

Town of New Lebanon Housing Study

►Town Planner on Retainer

Town of East Greenbush—Consultant to Planning Board for Project Reviews

Town of Waterford—Consultant to Planning Board, Principal Consultant on Saratoga Ave. Streetscape Improvement Project

Town of New Scotland—Consultant to Planning Board, Grant Writing

Village of Schoharie—Consultant to Planning Board

►County-Level Agriculture and Farmland Protection Plans

Herkimer County

Putnam County

Sullivan County

Jefferson County

Schoharie County

Seneca County (In-progress)

Otsego County

Dutchess County

Orange County

Washington County

Lewis County

►Town-Level Agriculture and Farmland Protection Plans

Town of Chatham, Columbia County

Town of Bethel, Sullivan County

Town of Delaware, Sullivan County

Town of Berne, Albany County

Town of Ancram, Columbia County

Town of Copake, Columbia County

Town of Halcott, Greene County

Town of Liberty, Sullivan County

Town of Callicoon, Sullivan County

Town of Granville, Washington County

Town of White Creek, Washington County

►Development of Regulations, Design Standards, Adoption of Regulations/SEQR

Town of Pine Plains, Duchess County

Town of New Lebanon, Columbia County

Town of Stockport, Columbia County

Town of Halcott, Greene County

Town of Cairo, Greene County

Town of Middlefield, Otsego County

Town of Berne, Albany County

Village of Kinderhook, Columbia County

Town of Kinderhook, Columbia County

Town of Ancram, Columbia County

Town of Springfield, Otsego County

Town of Cherry Valley, Otsego County

Town of Sharon, Schoharie County

Town of Peru, Clinton County

Town of Elizabethtown, Essex County

Town of AuSable, Clinton County

Town of Minden, Montgomery County

Village of Sharon Springs, Schoharie County

Town of Otsego, Otsego County

Town of Meredith, Delaware County

Town of Ballston, Saratoga County

Town of Harpersfield, Delaware County

Town of Ballston, Saratoga County

Town of Waterford, Saratoga County

Village of Athens, Greene County

Town of Ghent, Columbia County

Village of Cobleskill, Schoharie County
Town of White Creek, Washington County

►Development of Regulations, Design Standards, Adoption of Regulations/SEQR, Cont.

Village of Schoharie, Schoharie County
Village of Altamont, Albany County
Town of Athens, Greene County
Village of Athens, Greene County
Village of Voorheesville, Albany County
Town of Granville, Washington County
Town of Callicoon, Sullivan County
Town of Ghent, Columbia County
Village of Stamford, Delaware County
Town of Chatham, Columbia County
Town of Hamilton, Madison County
Village of Nassau, Rensselaer County
Town of White Creek, Washington County

Nan Stolzenburg was the principal author for New York State Department of Environmental Conservation's SEQR Workbooks – two companion guides to the SEAF and FEAF forms (see http://www.dec.ny.gov/permits/6191.html). These workbooks received the 2014 Planning Excellence Award for Best Practice from the American Planning Association, Upstate New York Chapter.

►Planning Board and Other Agency/Organization Training

Nan has also been a frequent panelist, speaker, and trainer on various planning, SEQR, and environmental topics for:

New York Planning Federation
Upstate New York Chapter of American Planning Association
American Farmland Trust
Albany Law School
Capital District Regional Planning Commission
Columbia Land Conservancy
Tug Hill Commission
Resource Conservation Districts (RC&D)
Catskill Community Resource Day
Dutchess County Planning Federation
Schoharie County
Madison County
Otsego County
Broome County
Multiple towns and villages that hire Nan to conduct their mandatory 4-hour trainings for Planning Board and ZBA members.

►Volunteer and Community Involvement Experience

Catskill Center for Conservation and Development—Board Member

Schoharie Community Development Corporation—Board Member

Schoharie Economic Enterprise Corporation—Advisory Committee Member

Schoharie Land Trust—Former Board Member

Bender Farm Advisory Committee—Member

The Wildlife Society, New York Chapter, Former Board Member

Town of Wright Conservation Advisory Council—Past Chair

►Awards

New England Outdoor Writers Association Award and the Arthur Sullivan Memorial Writers Award (1982)

Outstanding Student Project (North Central Troy: GIS Mapping and Planning Alternatives) from the American Planning Association, New York Upstate Chapter, 1996

Excellence in Tutoring Award from Empire State College, September 1996

Outstanding Planning Project: Comprehensive Planning for a Regional Plan (Otsego County Agricultural and Farmland Protection Plan) from the American Planning Association, New York Upstate Chapter, October 1999

Award of Excellence in Comprehensive Planning (The Village of Kinderhook Comprehensive Plan) from the American Planning Association, Upstate New York Chapter, July 2000

Outstanding Small Town Planning Project (The Village of Kinderhook Comprehensive Plan) from the American Planning Association, Small Town and Rural Planning Division, May 2000

Outstanding Planning Project in the Current Topic: Smart Growth (Town of Warwick Zoning and Build-out Analysis) from the American Planning Association, Upstate New York Chapter, September 2002

Planning Excellence Award for Best Practice, SEQR EAF Workbooks and EAF Mapper, October 2014

Contact Information

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SCS Dell 014136 Yorktown, LLC
Dell Avenue Solar Farm
Yorktown, New York, 10514

Prepared For:

SOLSYSTEMS

Prepared By:

TRC

TRC Companies
650 Suffolk Street, Suite 200
Lowell, MA 01854

Visual Impact Assessment

Revision 1

September 30, 2022

Table of Contents

ATTACHMENTS

1.0 INTRODUCTION

The Dell Avenue Solar Farm (Project) is a 3,625 kWac fixed-tilt ground mount solar energy system proposed on a site just to the south of Dell Ave and east of its southern intersection with Saw Mill River Rd (Rt 100). A visual assessment for this project site was previously completed in 2010 as part of the Croton Overlook Development environmental review. In a July 18, 2022 letter to SCS Dell 014136 Yorktown, LLC (Applicant), the Town of Yorktown Planning Department requested the Croton Overlook assessment be updated to reflect the current proposed Project. The footprint of the Project vs. Croton Overlook is nearly the same. See Attachment 1 for an overlay comparison of facilities. There is a difference in proposed tree clearing and mitigation plantings. As well, the solar panels will be lower in height (no greater than 10 feet above ground surface) as opposed to the 2½ story residential buildings that were previously proposed for Croton Overlook. References to the 2010 Croton Overlook Visual Impact Assessment (Croton VIA) are made in this document.

2.0 METHODOLOGY

In completing the Line of Sight (LOS) Profiles, Light Detection and Ranging (LiDAR) point cloud data from the U.S. Geological Survey (USGS) Lidar Point Cloud NY FEMAR2 Central 2018 D19 dataset was used. The LiDAR data was acquired between January and April 2019 and published for public accessibility on May 18, 2021. Electronic datasets were obtained from the USGS National Map (https://apps.nationalmap.gov/viewer/). LiDAR data is the best available elevation data as it contains high resolution accurate ground elevations in addition to building and tree heights that offer realistic physical visual impediments as they occur in the landscape.

When built, the panel heights with a fixed racking system are expected to be between 6 to 8 feet above ground level. However, a conservative height of 10 feet was used for this analysis.

The LiDAR elevation data obtained for the Project was used for the terrain and vegetation data source. ESRI GIS Spatial Analysis was used to post-process the data to modify areas of proposed Project grading and tree clearing. ESRI GIS 3D Analyst was used to produce the linear elevation profiles sampled across select sight lines.

3.0 RESULTS AND DISCUSSION

LOS elevation profiles are provided as an update for the Dell Avenue Solar Farm. LOS are able to provide the reviewer with information that assists in examining the reasons why objects such as solar panels may have open or impeded views. The underlying topography of a sight line in addition to vegetative obstructions can be produced, as can an estimated amount of visibility of the upper portion of an object if it is visible.

The LOS viewpoint locations are those requested by the Yorktown Planning Department, most of which originated from the Croton VIA. Please refer to the Overall Plan View in Attachment 2 for profile locations. Bald Mountain and the Taconic State Parkway are not included in this update. The Croton VIA previously concluded that there will be no views from these locations, as both viewpoints are blocked by topography.

Upon examination of LOS and photographs from the Croton VIA, many of the views to the site were minimal to none. It is reasonable to conclude that visual impact of the Project is less than that represented by the Croton Overlook project, as the proposed vertical heights of buildings measured 28 feet tall at the top of roofline. There is also 9 years of additional vegetative growing seasons between data and photographs acquired in 2010 vs the published LiDAR data flown in 2019.

For the following discussion, distances are those from the viewer to the first panels encountered. “Views screened by vegetation” implies full obstruction of views, limited potential partial views, or limited partial fragmented views through leaf-on or leaf-off bare branched trees.

Also noted on the LOS profiles are distance measurements as they pass through an existing high voltage transmission utility right-of-way (power lines) that is in the area. These measurements were taken along the actual profile line where measured distances may be greater than the actual right-of-way (ROW) width because they may consist of oblique angles and diagonal lines. This explains the varying distances noted in the LOS profiles.

Several “rules of thumb” can be employed when reviewing line of sight profiles and have been considered in the conclusions:

1) For clear views through a tree-less, obstacle-free line of sight:

- Generally, visibility extends up to approximately 3 miles on flat ground until the horizon.

2) For views through forested tree cover with full foliage:

- Screened views up to 0-50 feet and probably little to no visibility over 150 feet Variational nuances will factor in a view such as varying tree density and respective heights, varying species (mixed forest vs deciduous vs coniferous) or foliage gaps in overstory, amount of understory as well as position of lowest branches.

3) For views through winter tree cover with less foliage:

- Screened views up to 300 feet and will fall off sharply up to 500 feet, provided favorable conditions A stand of leaf-off trees and shrubs can act as a solid mass that can preclude visibility. Variational nuances will factor in a view such as varying tree density and respective heights, varying species (mixed forest vs deciduous vs coniferous) or foliage gaps in overstory, amount of understory as well as position of lowest branches.

LOS profiles can be found in Attachment 3.

3.1 LOS 1 – Kitchawan Preserve (top of hill) – Distance to Arrays ~2,700 feet (0.5 miles), View South

Kitchawan Preserve is a 208-acre natural preserve bordered by Croton Reservoir and the North County Trailway. As noted in the aerial photo for LOS 1 in Attachment 3, the Preserve is wooded mainly with mature deciduous tree species. The viewpoint is positioned at a high point and overlooks a south-facing descending slope leading to Croton Reservoir. The LOS 1 viewpoint is higher than the Project. As the elevation profile shows, views are not anticipated because of the approximately 315 feet of existing vegetative screening from varying canopy levels in the forested environment. Prevalent along the profile environment also is the presence of a high voltage transmission utility corridor that is just north of the Project and Dell Avenue. The approximate 150-foot tall lattice towers (as measured by LiDAR data) provide a significant visual presence of their own in the general vicinity. The profile crosses 240 feet of ROW.

Previous photographs from the 2010 Croton Overlook submittal (Attachment 4) taken at the Kitchawan Preserve also show obstructed and screened views. While the photos mark out the Project location, one must also consider that perceived size and scale of an object is diminished with distance and will also show much less detail with less visual impact.

Adverse views to the Project are not expected due to approximately 315 feet of vegetative screening.

3.2 LOS 2 – Kitchawan Preserve (at North County Trailway) – Distance to Arrays ~1,450 feet (0.3 miles), View Southeast

LOS 2 shows a second elevation profile located further south closer to the Project but at a lower elevation that is located along the North County Trailway. This viewpoint is lower than the site location. There are no anticipated views of the Project from the trailway viewpoint due to a series of existing vegetative obstructions. As the LOS 2 profile shows, there is a thin section of trees that would provide approximately 60 feet of screening along the trailway north of Croton Reservoir. The majority of the screened views would mainly be derived from the trees located on the south side of the reservoir. There is tree canopy that provides 155, 190, and 110 feet of screening each, in three different areas in series. There is also another 25 feet of screening from vegetation in front of (north of) Dell Avenue.

Views are not expected due a cumulative 540 feet of vegetative screening. Previous photographs from the Croton VIA in Attachment 4 support the conclusion of no views, as the vegetation south of the reservoir can be seen obstructing views.

3.3 LOS 3 – Intersection Route 100 & Route 134 – Distance to Arrays ~350 feet (0.1 miles), View Southeast

LOS 3 is at the intersection of Route 100 and Route 134 and is a representative view for motorists at the intersection facing southeasterly towards the Project. There is a large high voltage transmission utility ROW that crosses at the intersection in front of the viewpoint. A Google Earth screenshot is provided below to assist in the narrative for this LOS. The viewpoint is essentially on Route 134 where the profile visual environment consists of several suspended traffic lights

strung perpendicular across Route 100 and three vertical elevation levels of transmission line. (The ROW contains 2 parallel lattice transmission towers approximately 150 high. Each lattice tower consists of 6 davit arms, 2 per level. Therefore, there is a series of 12 wire bundles associated with the davit arms of 2 towers). These transmission wires can be seen sweeping across the view at the LOS 3 intersection.

As also noted, left of center in the photograph below shows a topographic obstruction along Route 100 that serves to preclude views to the “left” side of the Project. The LOS profile line was pulled to the right of this topographic feature through lower elevation terrain on the right to show worse-case. As such, there is a narrow line of dense shrubs that exist on the south side of the ROW between the viewer and (north of) Dell Avenue that screens views in this area. More significant screening of the Project occurs from existing taller trees that are approximately 40 feet deep and located on the south side of Dell Avenue (far background). Visual impacts are not expected due to topography as well as vegetative screening north of the perimeter fence.

Views are expected to be non-existent or worse-case, minor fragmented views through vegetation. However, viewing experiences from vehicular traffic are typically intermittent and of short duration.

3.4 LOS 4 – Route 100 – Distance to Arrays ~300 feet (0.1 miles), View East

LOS 4 consists of a similar profile environment to LOS 3 without the suspended traffic lights in the view. Here, roadside shrubs along the south side of Route 100 serve to screen views to lower portions of the Project as seen in the LOS 4 elevation profile. As with LOS 3, there exists a narrow line of dense shrubs that exist on the south side of the ROW between the viewer and (north of) Dell Avenue that will also provide screening in this area. More significant and additional screening will occur from existing taller trees approximately 50 feet deep that is located on the south side of

Dell Avenue. Visual impacts are not expected due to vegetative screening north of the perimeter fence.

Views are expected to be non-existent or worse-case, minor fragmented views through vegetation. Viewing experiences from highway vehicular traffic are typically intermittent and of short duration.

3.5 LOS 5 – Hilltop Hanover Farm – Distance to Arrays ~13,400 feet (2.5 miles), View South

LOS 5 is a long-distance southerly view from Hilltop Hanover Farm. While views may vary within the property, views to the Project are not anticipated at this location. The LOS 5 aerial photograph shows dense forest groups along the profile elevation. The profile shows that approximately 1,340 feet of tree canopy is expected to screen views from vegetation located on the descending slope south of the farm. There is an additional 115 feet of screening from trees closer to the Project in front of the solar panels. The profile also intersects and parallels approximately 2,200 feet of high voltage transmission utility ROW where the lattice towers are also capable of adding an existing and interfering visual impact to the view.

Previous photographs from the Croton VIA seen in Attachment 4 support a conclusion of no views, as the Project would be set in and behind the distant trees located on the Project property. The photos also demonstrate how distance will provide reduced visibility from the Hilltop Hanover Farm by illustrating the muted and “fused” colors seen in the background, as well as if one considers how small 10-foot tall objects seen 2.5 miles away would be perceived. Within the Croton VIA photos, other development in open areas cannot generally be detected other than the tall lattice towers in the existing high voltage utility ROW. Typically at distance, development unless bright white, would be visually absorbed into the visual environment due to similar colors and contrasts with both surrounding leaf-off and leaf-on forested areas as well as the diminished size and scale as it appears embedded into landscape.

Views are not expected at this location due to a cumulative 1,455 feet of vegetative screening.

3.6 LOS 6 – Turkey Mountain – Distance to Arrays ~15,100 feet (~2.9 miles), View Southeast

Turkey Mountain is approximately 125 acres of land located on a land reserve and is currently maintained by the Yorktown Land Trust. It is the highest point in Westchester County. The LOS 6 viewpoint lies to the northwest of the Project site approximately 2.9 miles to the solar arrays.

Views from Turkey Mountain are not expected. There are two areas of natural forested screening along the elevation profile. There is approximately 290 feet of screening from the surrounding vegetation at the viewing point. A second area of screening consists of an additional 355 feet of screening from trees located north of the North County Trailway. Profile views also intersect approximately 170 feet of high voltage transmission utility ROW where lattice towers are capable of adding an existing visual impact in the environment.

Views are not expected due a cumulative 645 feet of vegetative screening. Previous photographs from the Croton VIA in Attachment 4 support the conclusion of no views, as the vegetation in the immediate vicinity can be seen obstructing views.

3.7 LOS 7 – Near Pinesbridge Road Residence – Distance to Arrays ~1,750 feet (0.3 miles), View Southeast

Views are not expected from the LOS 7 viewpoint location(s) located off Pinesbridge Road. The aerial profile for LOS 7 shows a forested area to the east between the viewer and the Project. The elevation profile shows that a location at the residence will have views blocked by topography. Views from the high point on the ridge located approximately 190 feet further east from the building location will have views screened by 310 feet of varying levels of tree canopy. The profile also crosses approximately 185 feet of high voltage transmission utility ROW where the lattice towers are also adding an existing visual impact to the environment.

Adverse views are not expected at this location due to 310 feet of vegetative screening.

3.8 LOS 8 – Near Evan Drive Residence – Distance to Arrays ~1,450 feet (0.3 miles), View East

The LOS viewpoint is on a high point of a ridge located off Evan Drive. Screened views may be possible from this location. Similar to LOS 7, the aerial profile shows a forested slope west of the Project. The elevation profile results show approximately 175 feet of screening from the tree canopy.

The profile also crosses approximately 185 feet of high voltage transmission utility ROW where the lattice towers are also capable of adding an existing visual impact to the environment.

Significant visual impacts are not expected due to 175 feet of vegetative screening.

3.9 LOS 9 – Random Farms Drive, Residence 1 – Distance to Arrays ~1,015 feet (0.2 miles), View Northeast

The LOS viewpoint is in the Random Farms community in the Town of New Castle, NY, approximately 1,015 feet from the nearest solar array along the profile view. The aerial profile shows a forested area to the northeast between the viewer located at Random Farms and the Project.

The profile, taken from the backyard of Residence 1, shows the Project is at a higher elevation than the viewpoint with approximately 800 feet of vegetative screening. Although the Project site's property line is 265 feet from the viewer, no trees will be cleared until at the Project perimeter fence which is an additional 610 feet approximately beyond the property line.

Views are not expected at this location due to 800 feet of vegetative screening.

3.10 LOS 10 – Random Farms Circle, Residence 2 – Distance to Arrays ~1,220 feet (0.2 miles), View Northwest

The LOS viewpoint is in the Random Farms community in the Town of New Castle, NY, approximately 1,220 feet from the nearest solar array along the profile view. The aerial profile shows a forested area to the northwest between the viewer located at Random Farms and the Project.

The profile, taken from the backyard of Residence 2, shows the Project is at a higher elevation than the viewpoint. There is vegetative screening that provides approximately 370, 400, and 125 feet of screening each, in three different areas in series. Although the Project site's property line is 290 feet from the viewer, no trees will be cleared until at the Project perimeter fence which is an additional 900 feet approximately beyond the property line.

Views are not expected at this location due to a cumulative 895 feet of vegetative screening.

3.11 LOS 11 – Random Farms Circle, Residence 3 – Distance to Arrays ~1,520 feet (0.3 miles), View Northwest

The LOS viewpoint is in the Random Farms community in the Town of New Castle, NY, approximately 1,520 feet from the nearest solar array along the profile view. The aerial profile shows a forested area to the northwest between the viewer located at Random Farms and the Project.

The profile, taken from the backyard of Residence 3, shows the Project is at a lower elevation than the viewpoint. There is vegetative screening that provides approximately 330, 475, and 165 feet of screening each, in three different areas in series. The Project site's property line is 900 feet from the viewer and no trees will be cleared until at the Project perimeter fence which is an additional 580 feet approximately beyond the property line.

Views are not expected at this location due to a cumulative 970 feet of vegetative screening.

4.0 CONCLUSIONS

Attachment 3 elevation profiles show that minimal to no views of the Project from the LOS viewpoints are expected. There are no clear open views. In all cases, there is one or more occurrence of intervening vegetation of varying distances along each elevation profile that will screen views. This existing vegetation serves as mitigation in and of itself. Additional coniferous landscape mitigation plantings are also proposed along the Project perimeter fence in three areas along Dell Avenue.

The Attachment 4 Croton VIA photos also support extremely limited to no views even under leaf-off conditions. As those photos demonstrate, forested landscape even without leaves appear as a solid mass that can obstruct views. The photos suggest that even in optimal best-case visibility conditions, views that might be obtained would be extremely minor and/or consist of partial fragmented views through existing vegetation from proximal locations.

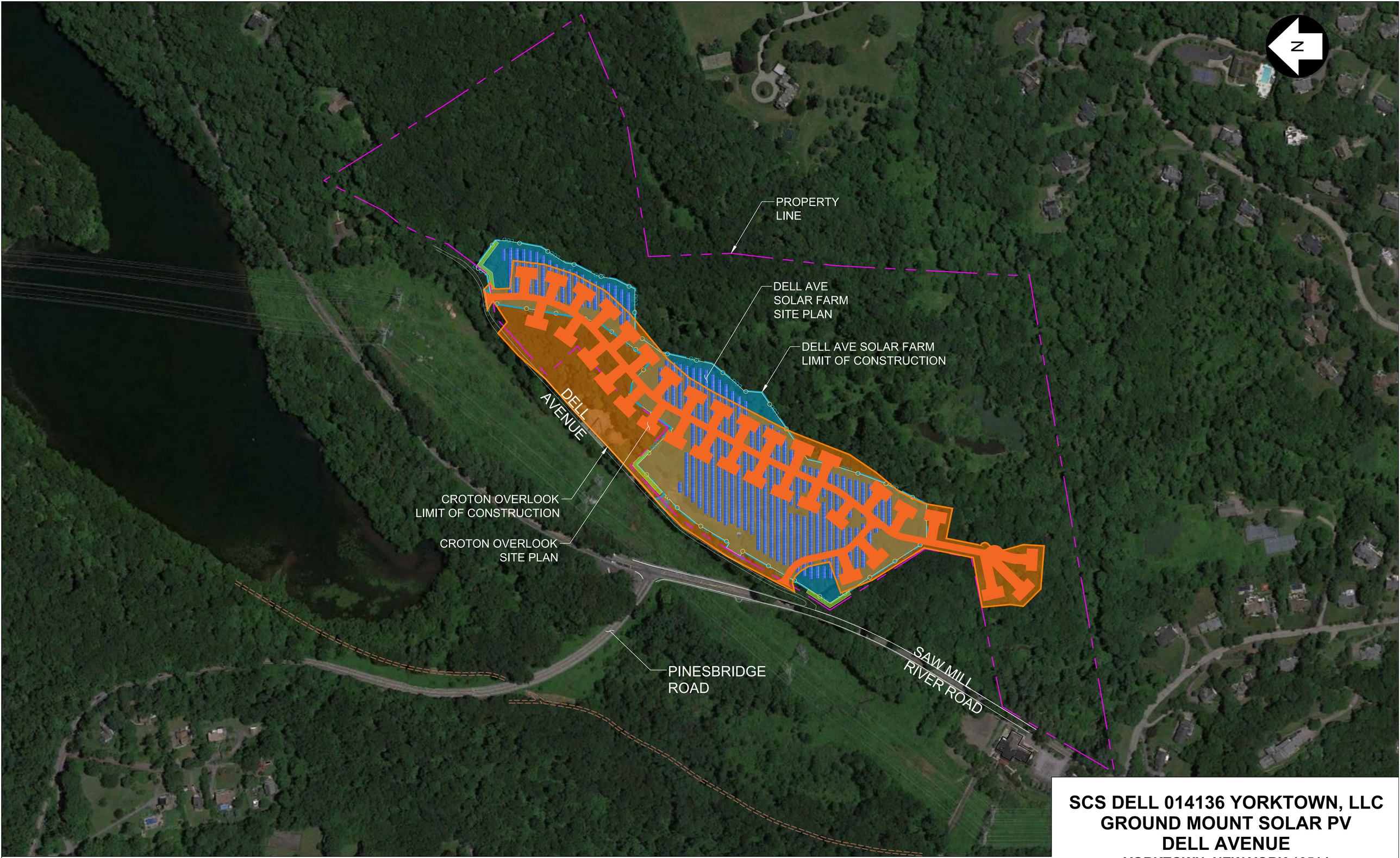
As noted in the *Resolution Approving Adopted SEQRA Findings for the Rezoning Petition and Proposal for the Croton Overlook Property and Development* dated December 12, 2011, the Town Board of the Town of Yorktown issued a Findings Statement in which it found "that the high tension power lines are presently quite visible from sensitive locations and have a greater existing visual impact than any potential view of the Project's roofline."

The Dell Avenue Solar Farm design, with a significantly lower vertical footprint than the Croton Overlook Development, includes the preservation of existing trees as natural buffers. Through appropriate siting and mitigation, the Applicant also has reasonably minimized or avoided adverse visual impacts to the maximum extent practicable, while also resolving to provide additional year-round evergreen landscape mitigation screening in several areas.

DELL AVENUE SOLAR FARM

ATTACHMENT 1

COMPARISON FOOTPRINT BETWEEN CROTON OVERLOOK AND DELL AVENUE SOLAR FARM



SITE PLAN OVERLAY: CROTON OVERLOOK AND YORKTOWN SOLAR SITE PLANS

PRELIMINARY DRAWINGS (08/01/2022)

0 150' 300' 600'

SCS DELL 014136 YORKTOWN, LLC
GROUND MOUNT SOLAR PV
DELL AVENUE
YORKTOWN, NEW YORK 10514
AUGUST 1, 2022 ◆ REVISION 0

DELL AVENUE SOLAR FARM

ATTACHMENT 2

OVERALL PLAN VIEW: LINE OF SIGHT PROFILES #1 THROUGH #11

1. KITCHAWAN PRESERVE (AT TOP OF HILL)
2. KITCHAWAN PRESERVE (ALONG NORTH COUNTY TRAILWAY)
3. INTERSECTION ROUTE 100 & ROUTE 134
4. ROUTE 100
5. HILLTOP HANOVER FARM
6. TURKEY MOUNTAIN
7. PINESBRIDGE ROAD RESIDENCE
8. EVAN DRIVE RESIDENCE
9. RANDOM FARMS DRIVE RESIDENCE 1
10. RANDOM FARMS CIRCLE RESIDENCE 2
11. RANDOM FARMS CIRCLE RESIDENCE 3

SCS DELL 014136 YORKTOWN, LLC
GROUND MOUNT SOLAR PV
DELL AVENUE
YORKTOWN, NEW YORK 10514
SEPTEMBER 30, 2022

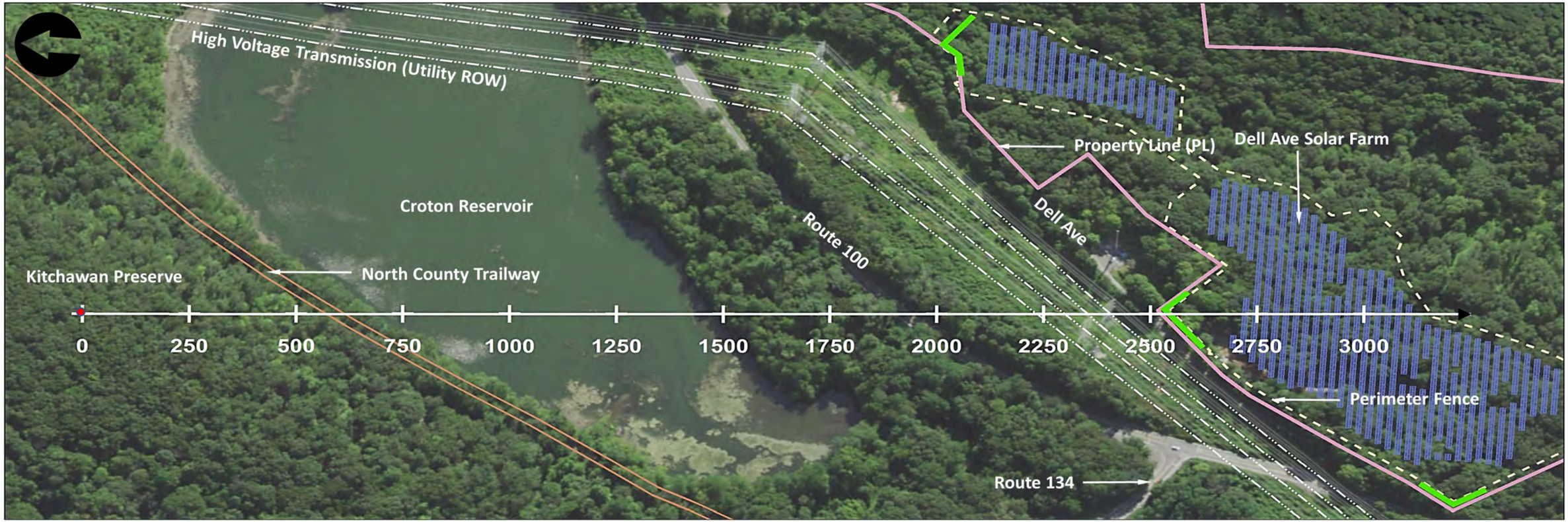
OVERALL PLAN VIEW: LINE OF SIGHT PROFILES #1 THROUGH #11

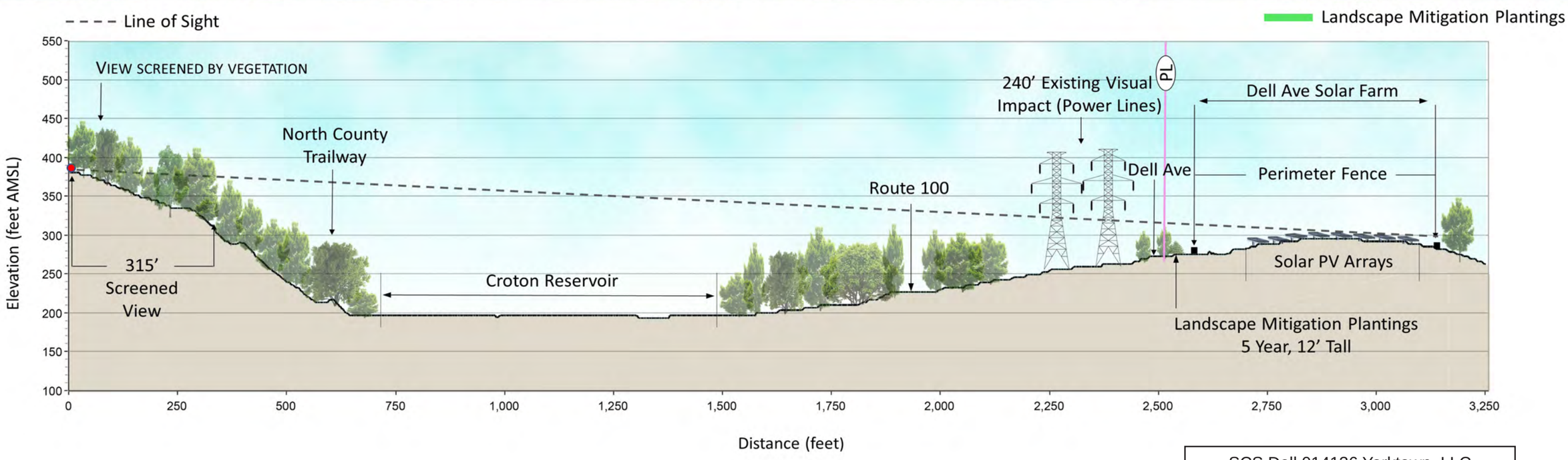
0 800 1,600 2,400
Feet

DELL AVENUE SOLAR FARM

ATTACHMENT 3

LINE OF SIGHT PROFILES

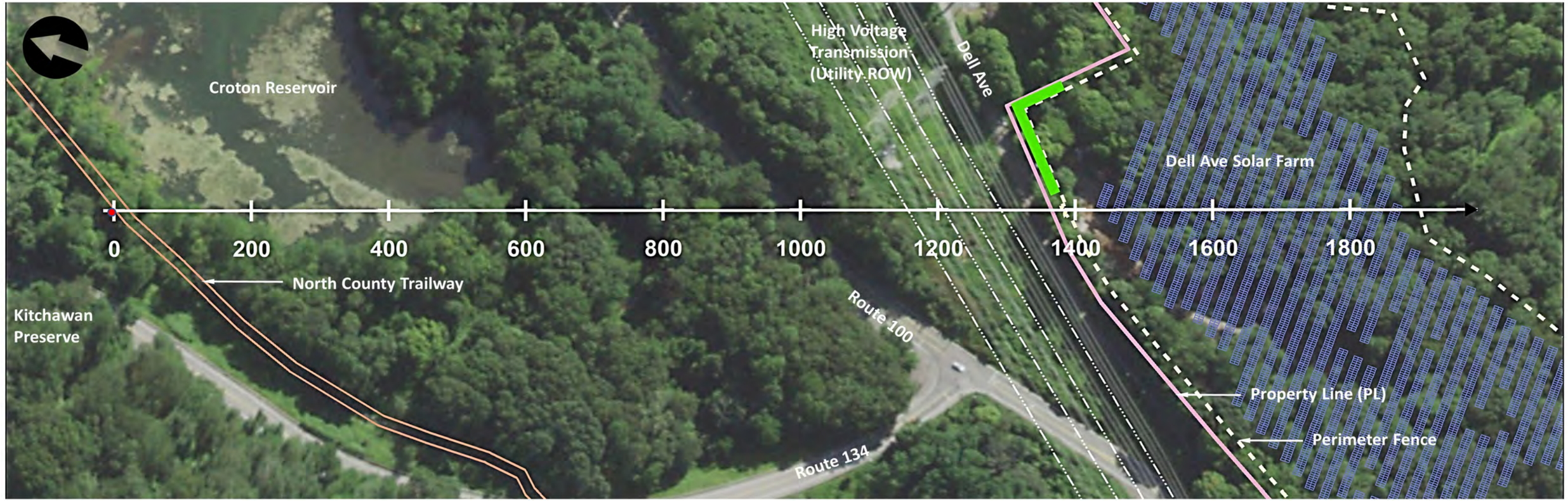


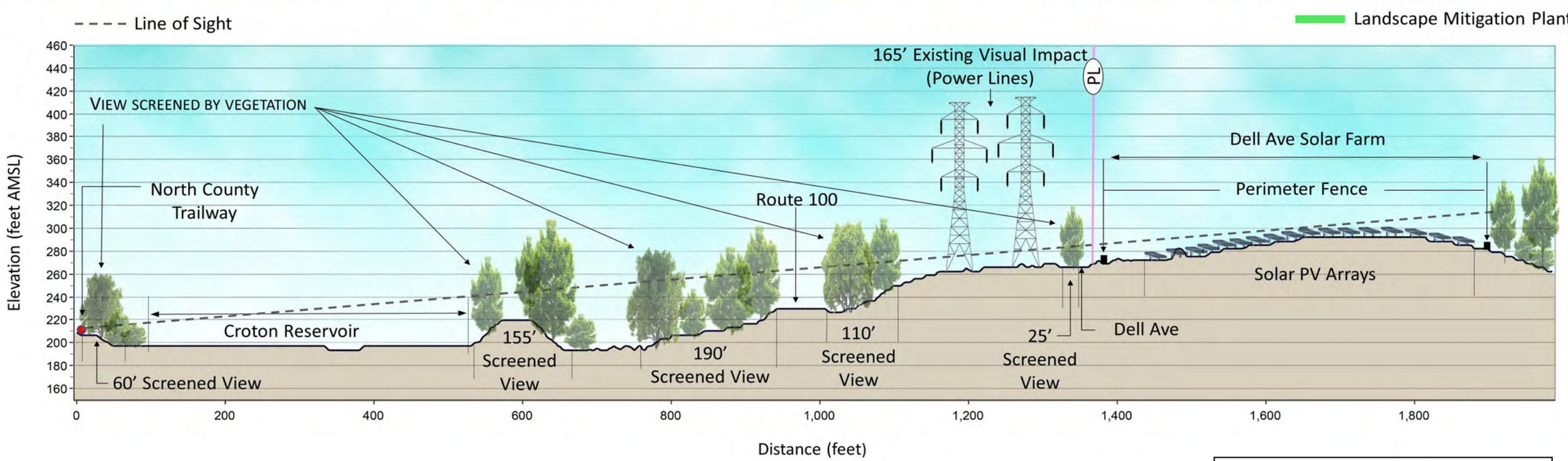


LOS 1- Kitchawan Preserve (top of hill)

DELL AVENUE SOLAR FARM

SCS Dell 014136 Yorktown, LLC
Visual Assessment - September 21, 2022





LOS 2- Kitchawan Preserve (North County Trailway)

DELL AVENUE SOLAR FARM

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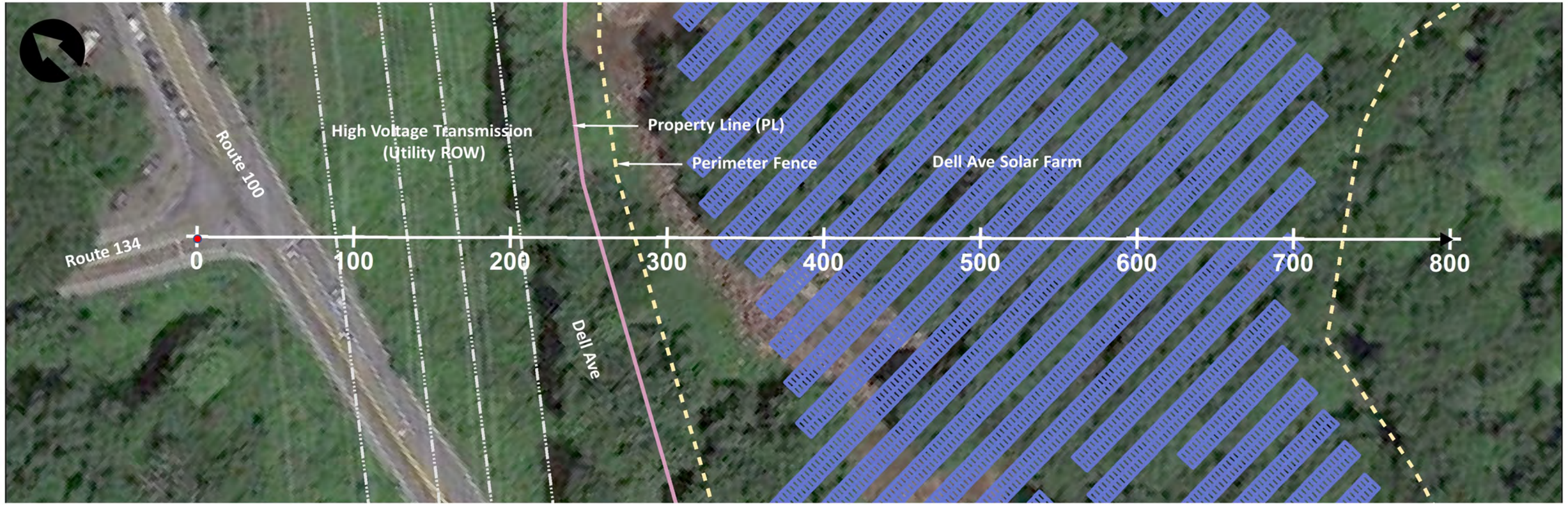

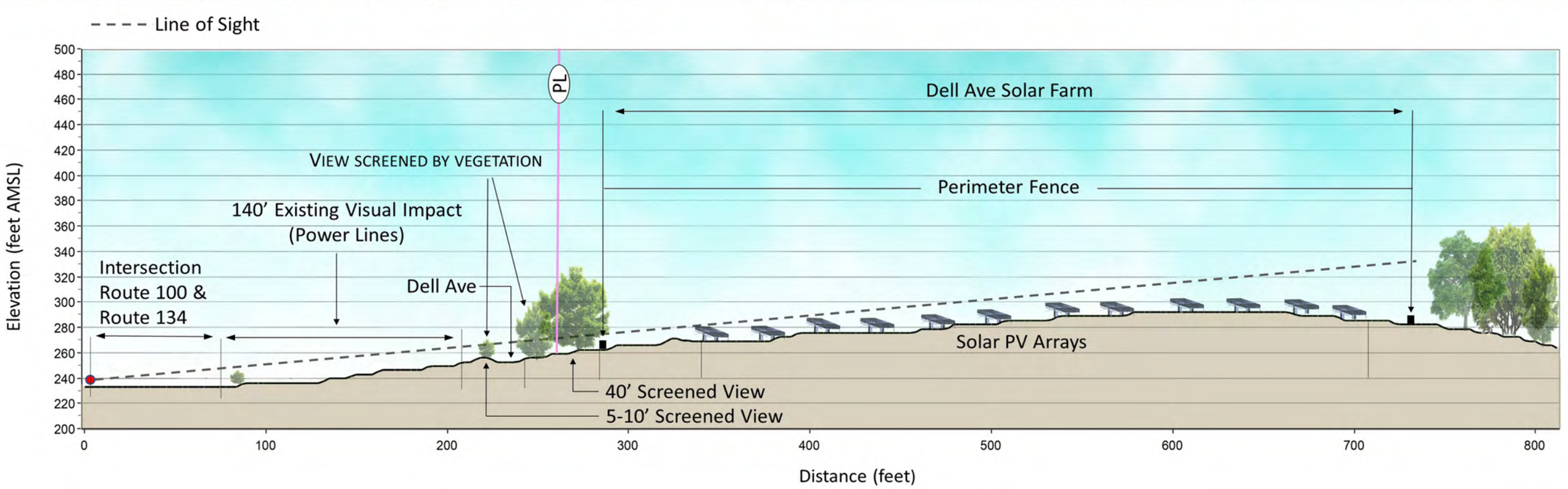

LOS 3- Intersection Route 100 & Route 134

DELL AVENUE SOLAR FARM

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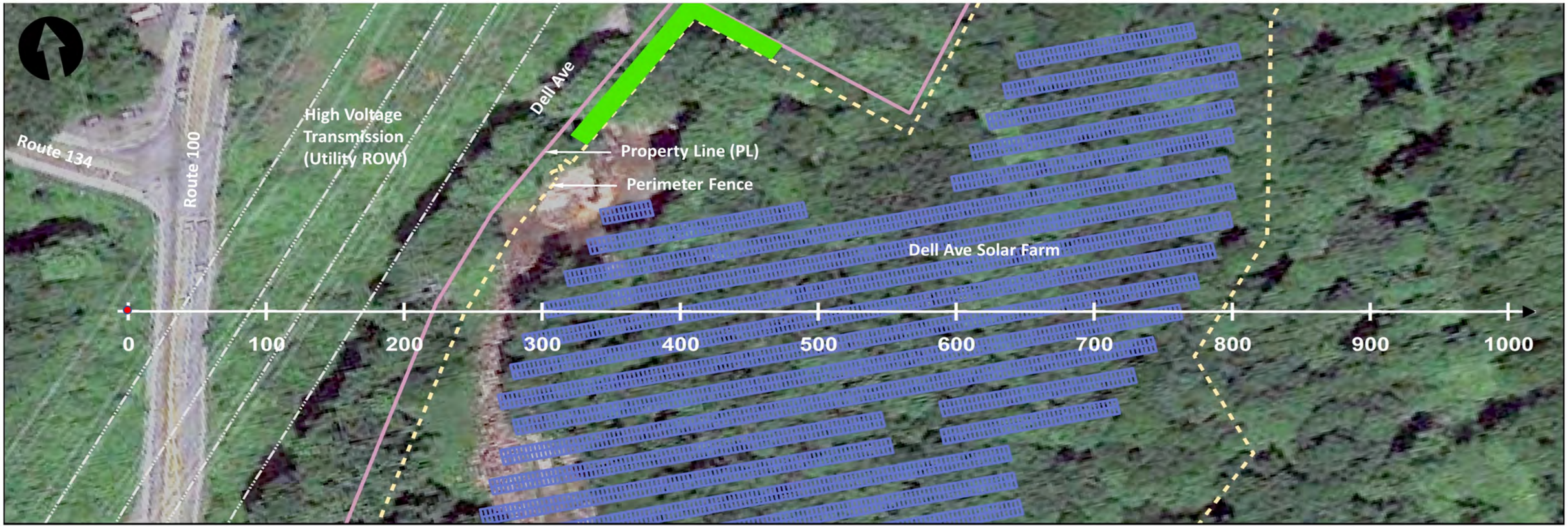

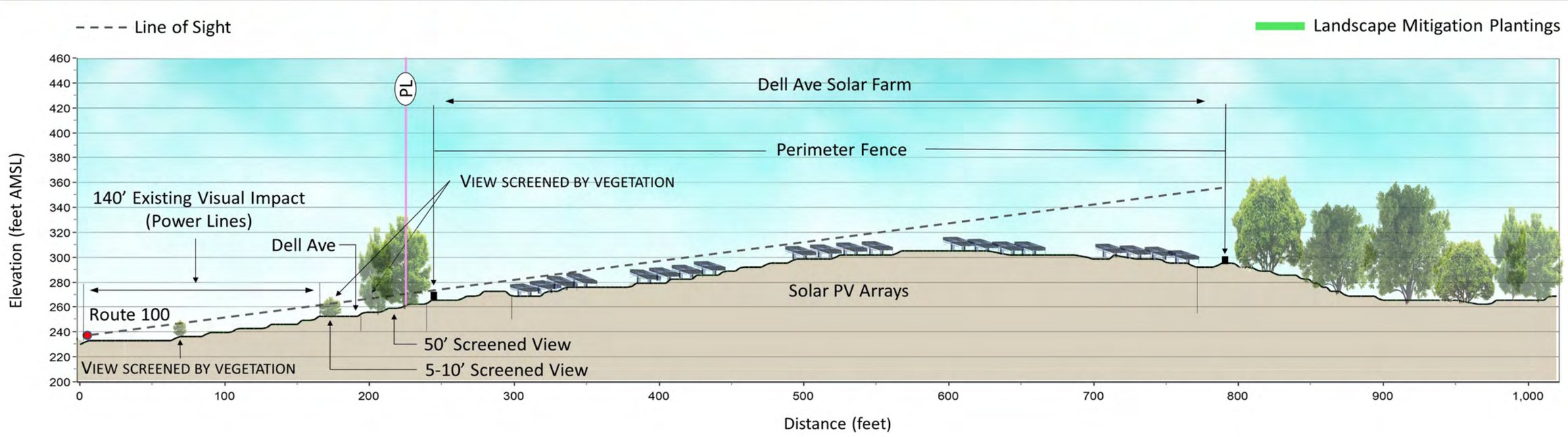

LOS 4 - Route 100

DELL AVENUE SOLAR FARM

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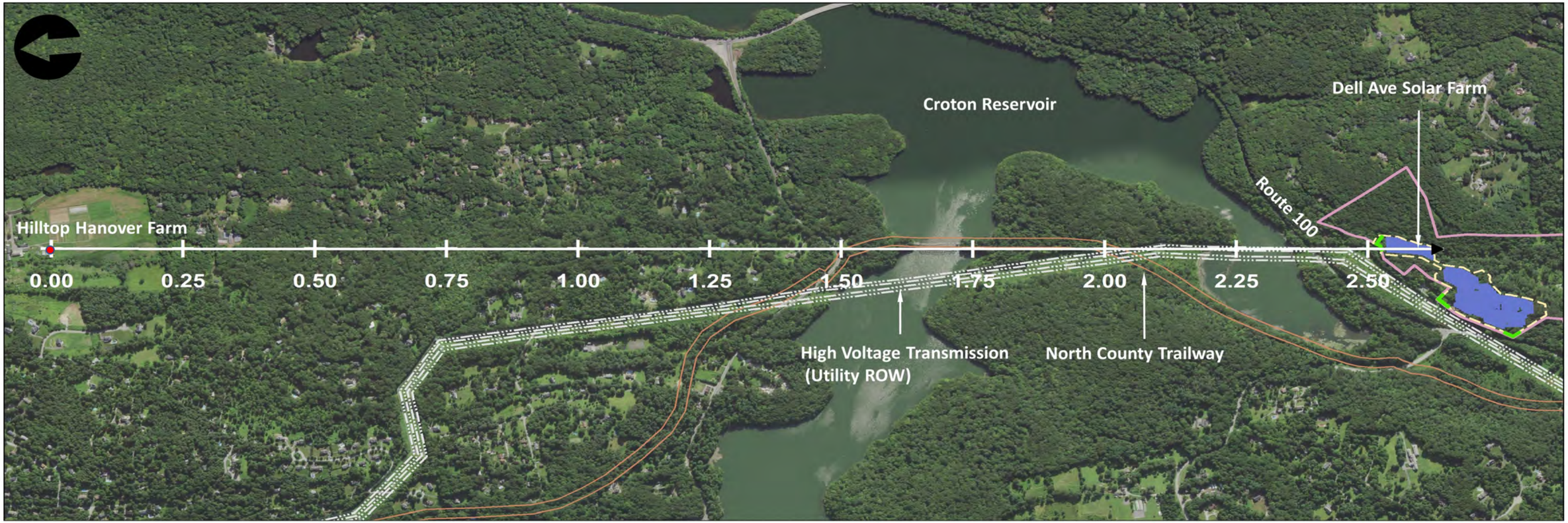
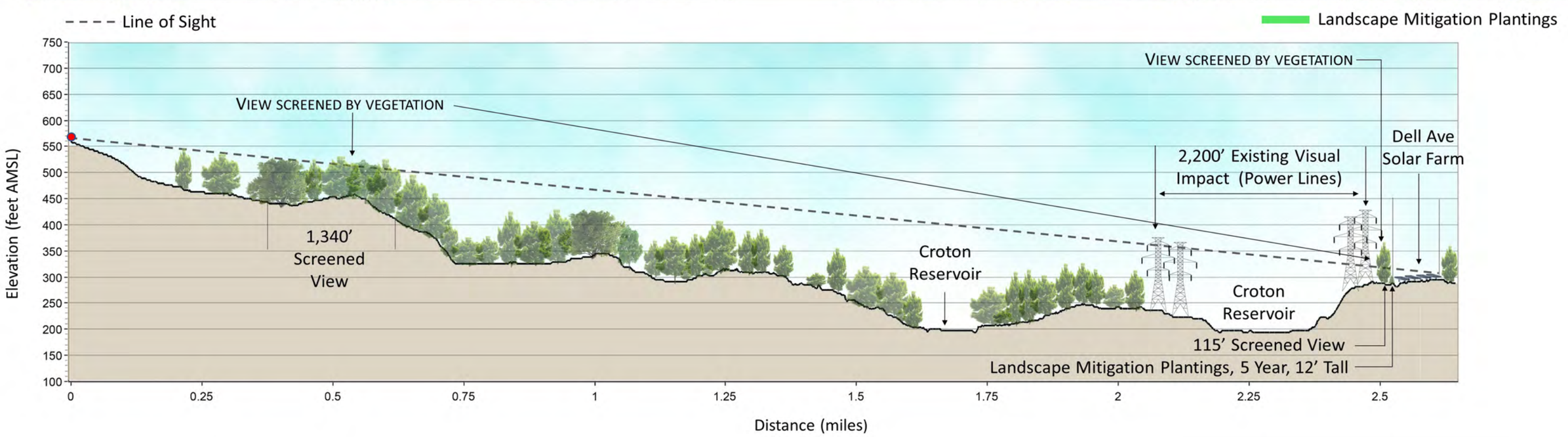
Visual Assessment - September 21, 2022





LOS 5 - Hilltop Hanover Farm

DELL AVENUE SOLAR FARM

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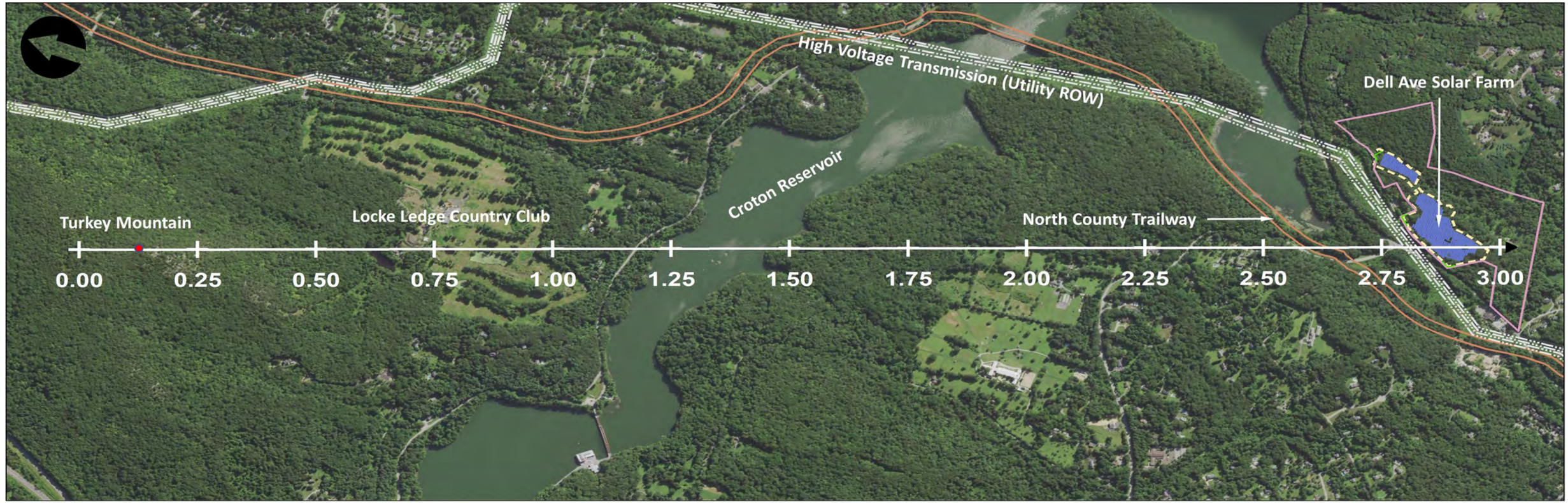
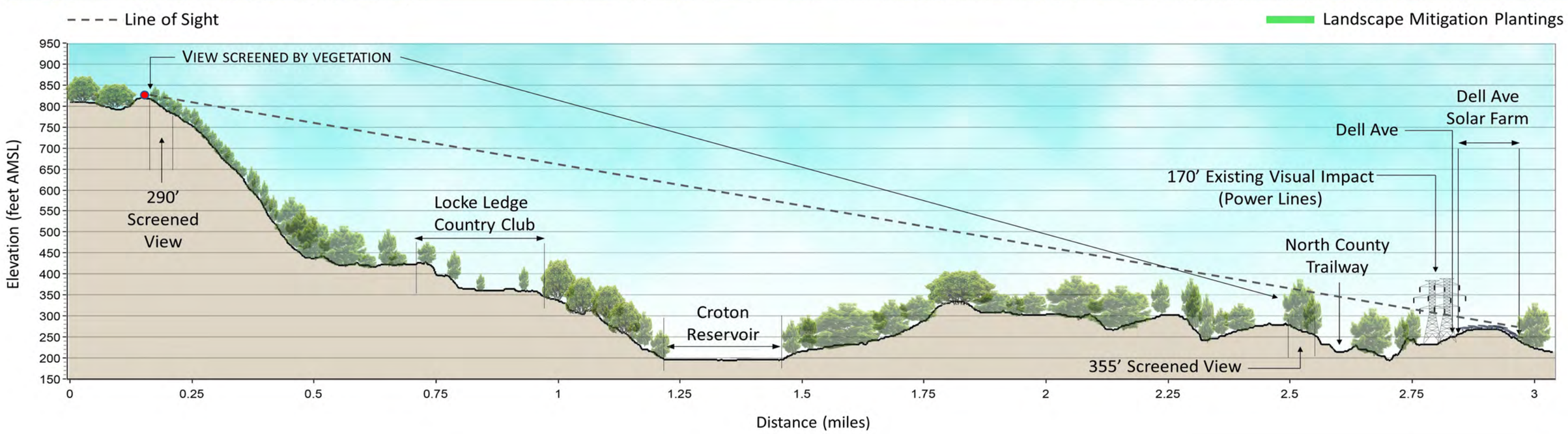
Visual Assessment - September 21, 2022

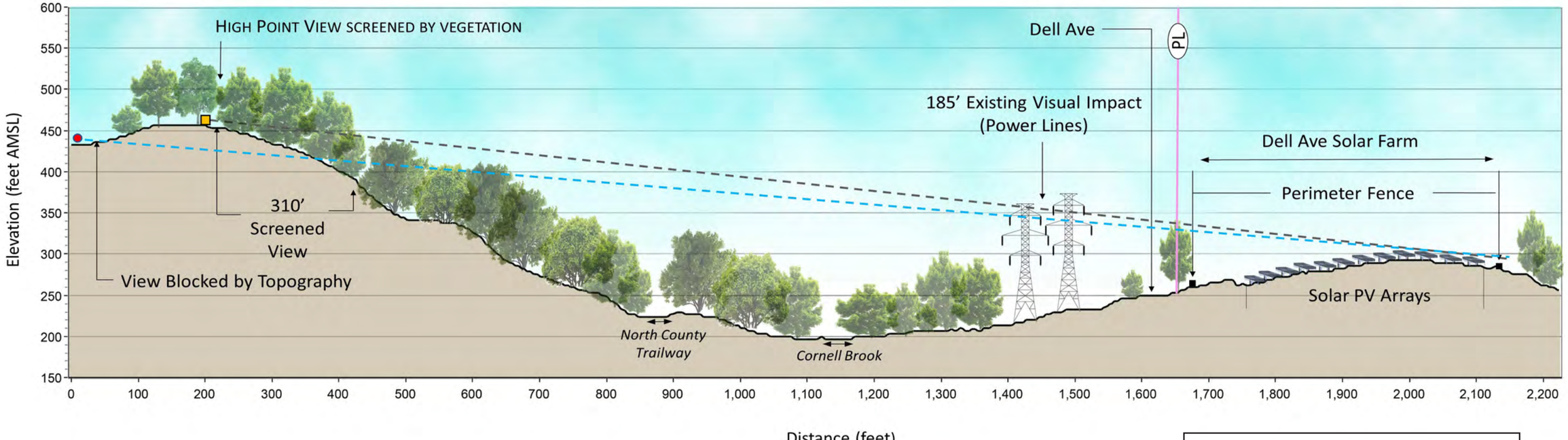




LOS 6 - Turkey Mountain

DELL AVENUE SOLAR FARM

SCS Dell 014136 Yorktown, LLC
Visual Assessment - September 21, 2022



LOS 7 - Near Pinesbridge Road Residence

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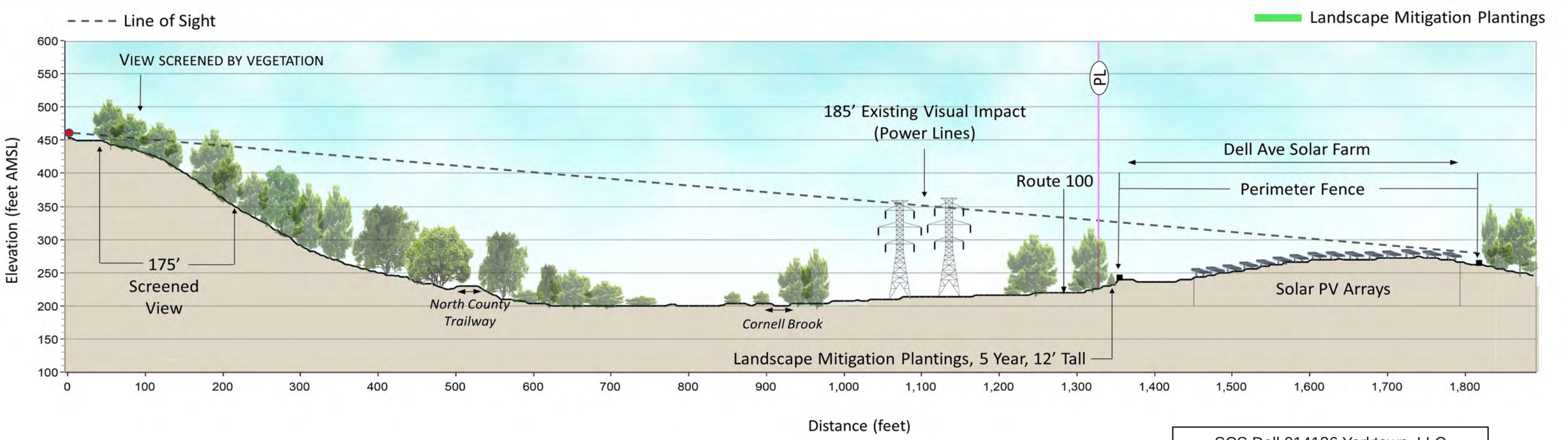
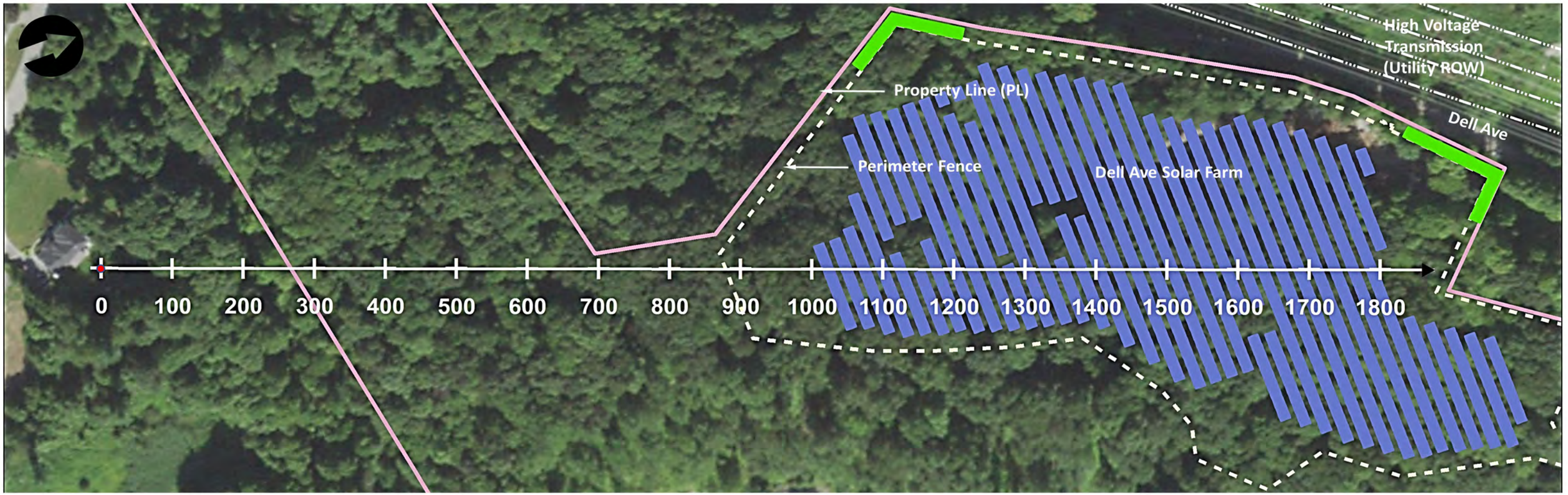
SCS Dell 014136 Yorktown, LLC
Visual Assessment - September 21, 2022

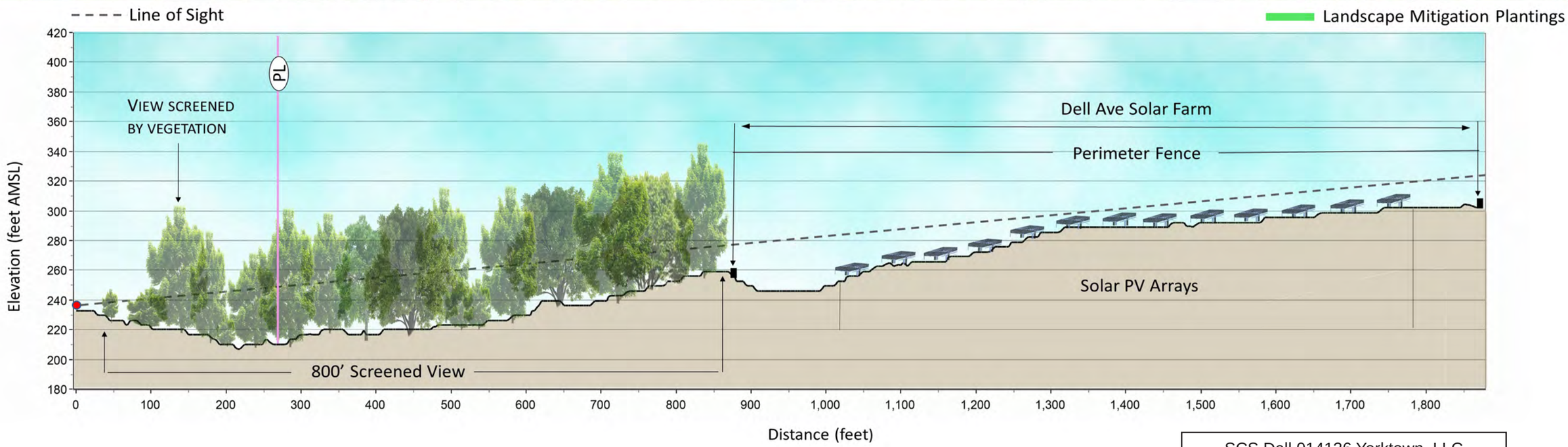


LOS 8 - Near Evan Drive Residence

DELL AVENUE SOLAR FARM

SCS Dell 014136 Yorktown, LLC
Visual Assessment - September 21, 2022

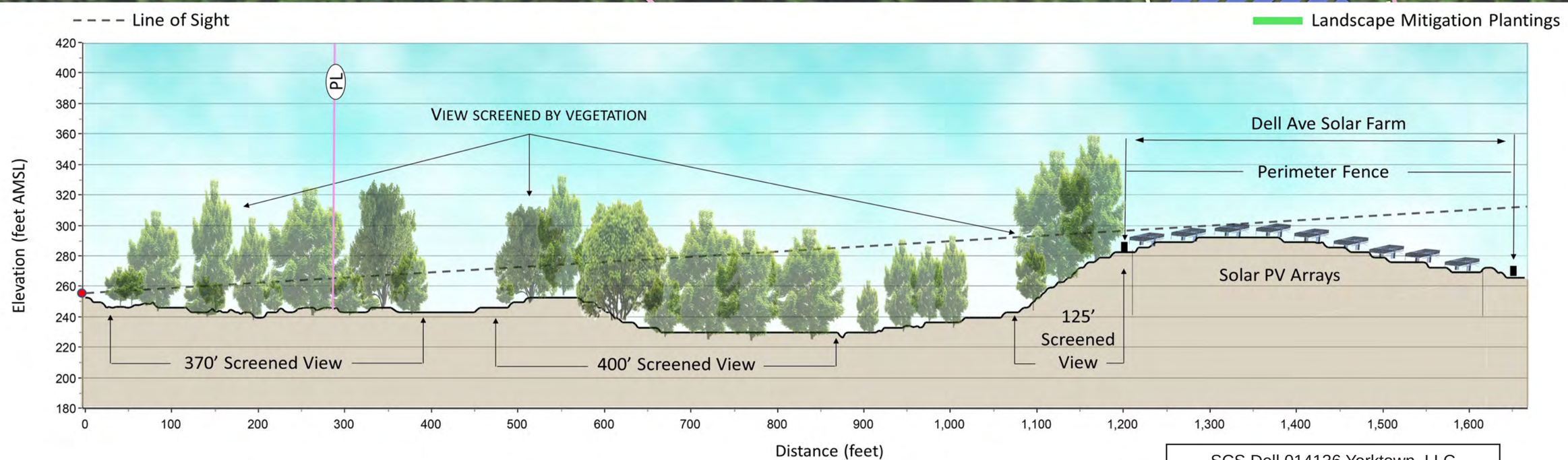




LOS 9 - Random Farms Drive, Residence 1

DELL AVENUE SOLAR FARM

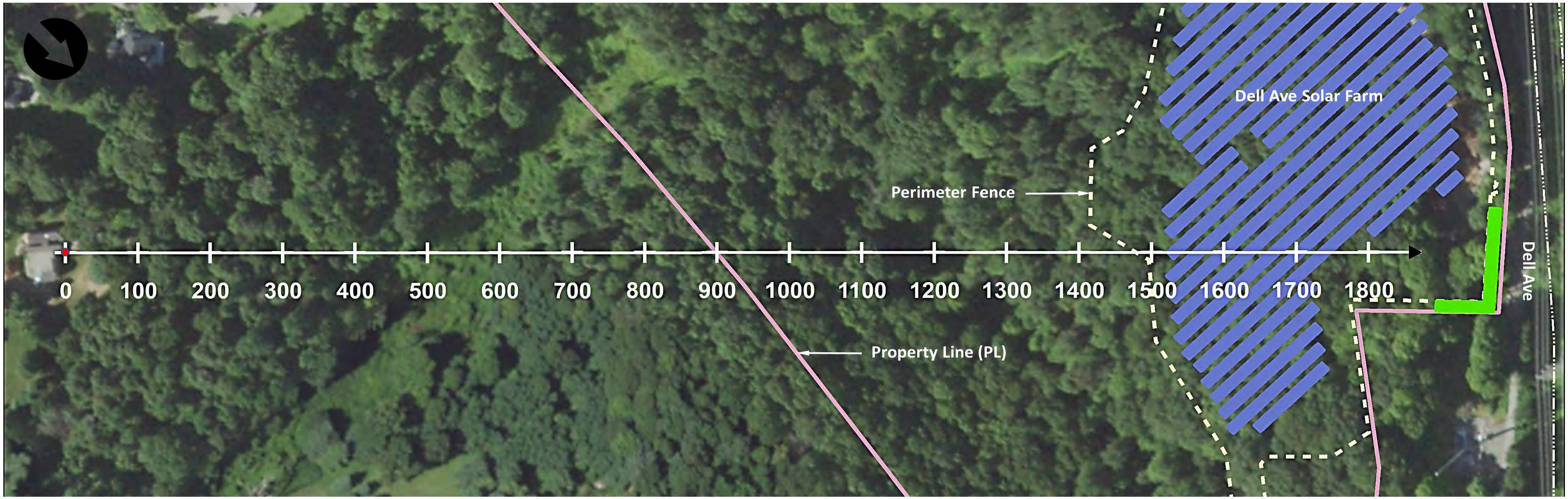
SCS Dell 014136 Yorktown, LLC
Visual Assessment - September 30, 2022

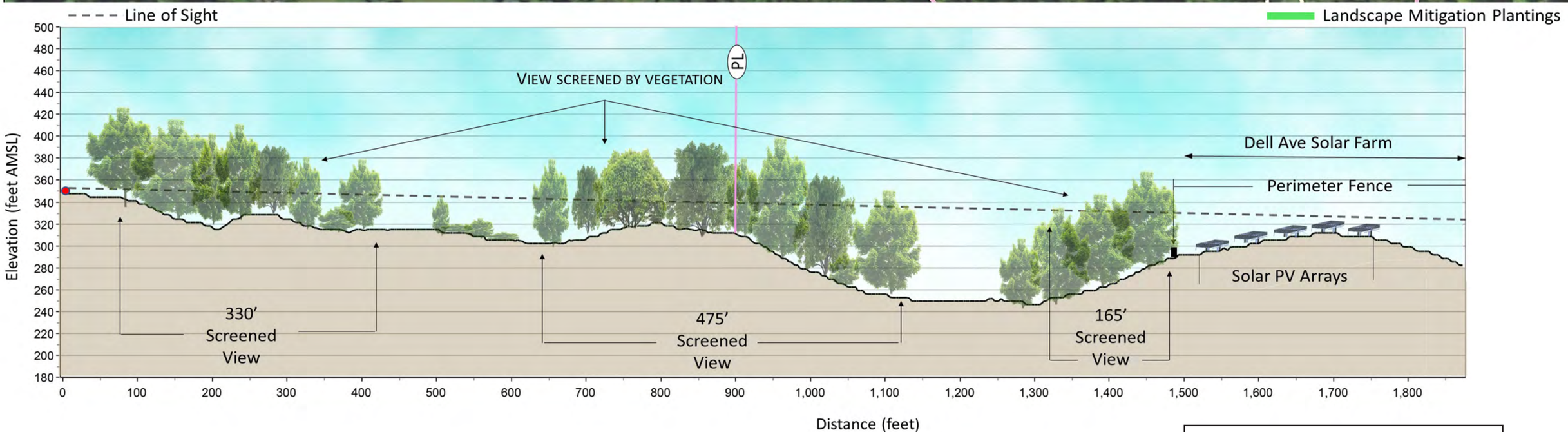


LOS 10 - Random Farms Circle, Residence 2

DELL AVENUE SOLAR FARM

SCS Dell 014136 Yorktown, LLC
Visual Assessment - September 30, 2022





LOS 11 - Random Farms Circle, Residence 3

DELL AVENUE SOLAR FARM

SCS Dell 014136 Yorktown, LLC
Visual Assessment - September 30, 2022

DELL AVENUE SOLAR FARM

ATTACHMENT 4

PHOTOS FROM CROTON OVERLOOK VIA

Kitchawan 11-20 - 1
Top of Hill

Kitchawan 11-20 - 2
Top of Hill

Power Lines

Project Site

Kitchawan 11-20 - 3
Top of Hill

Kitchawan 11-20 - 4
Along Path

Kitchawan 11-20 - 5
Along Path

Kitchawan 11-20 - 6
Along Path


Hog Hill
Project Site
Power Lines
Hanover Farm

Hanover 11-20 - 1

Hanover 11-20 - 2

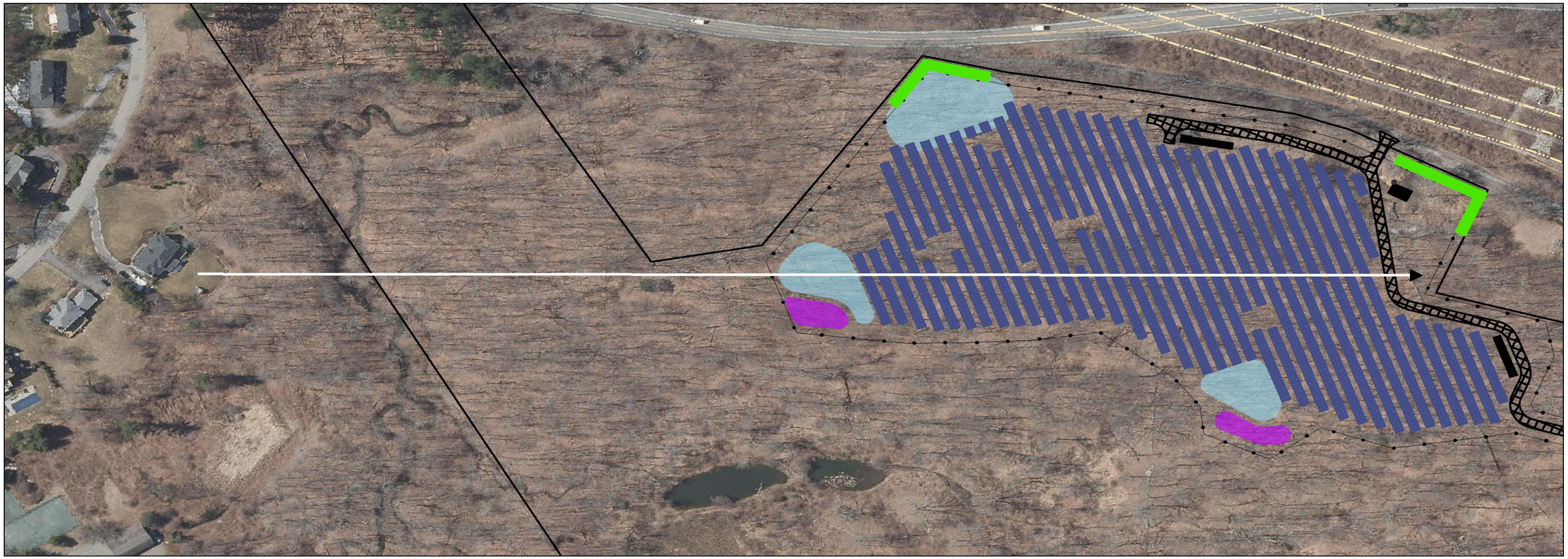
Turkey Mountain

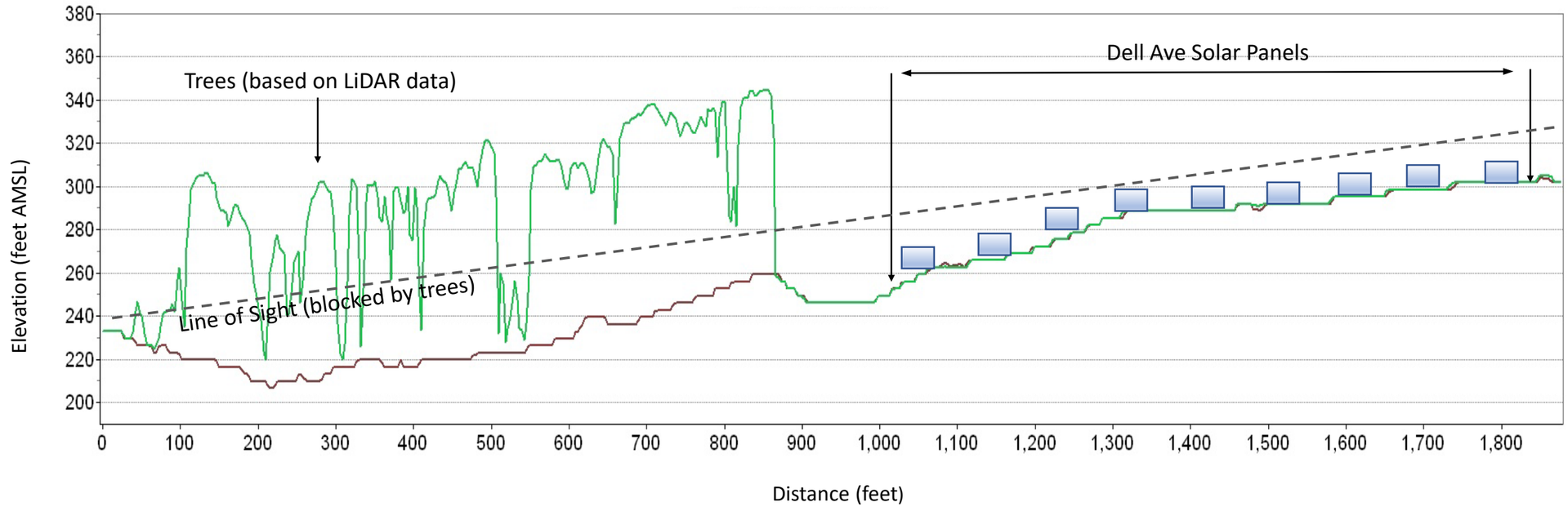
Turkey Mountain 2 Looking South- Southeast To site


Project Site
Turkey 11-20 - 2

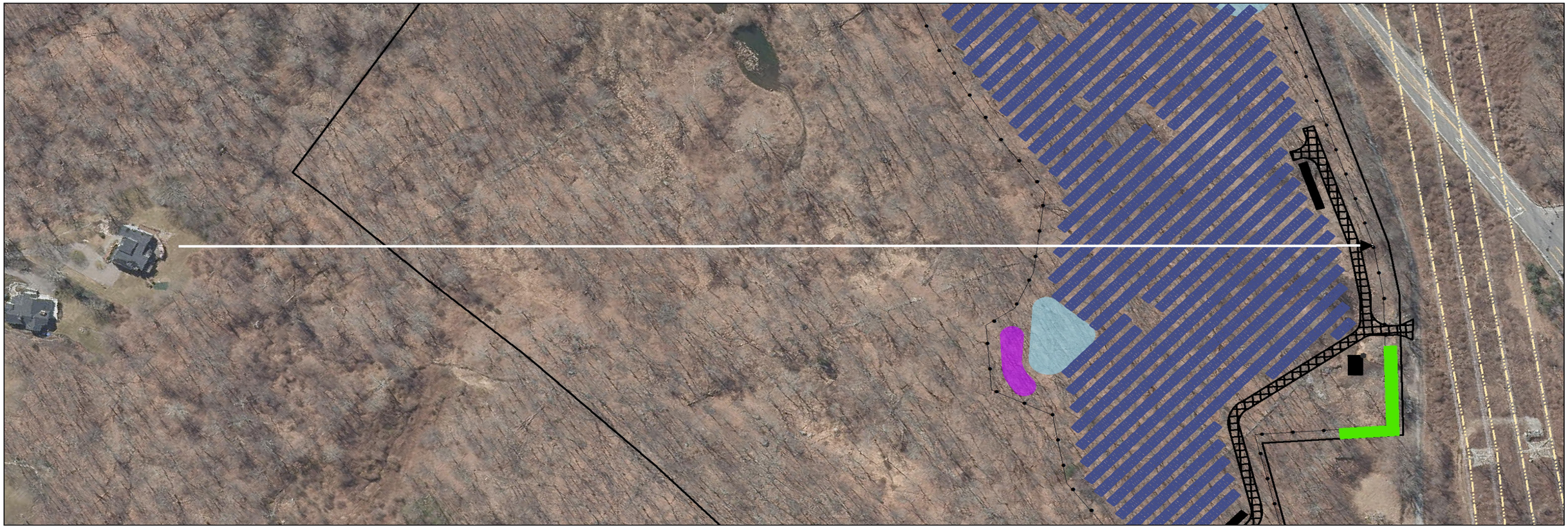

Project Site
Turkey 11-20 - 3

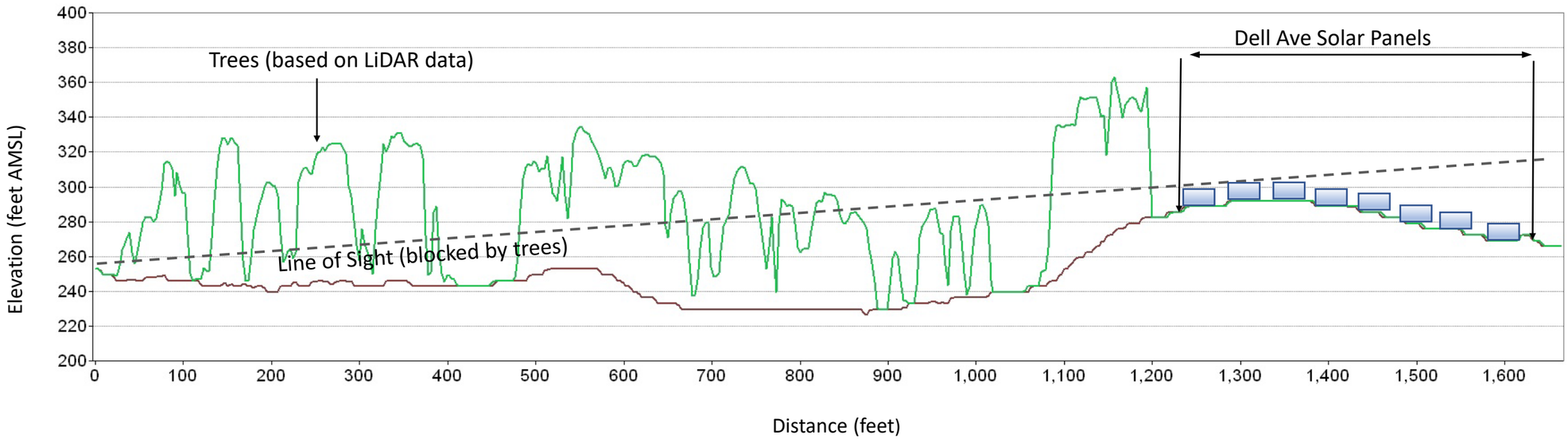
RANDOM FARMS DRIVE – RESIDENCE 1



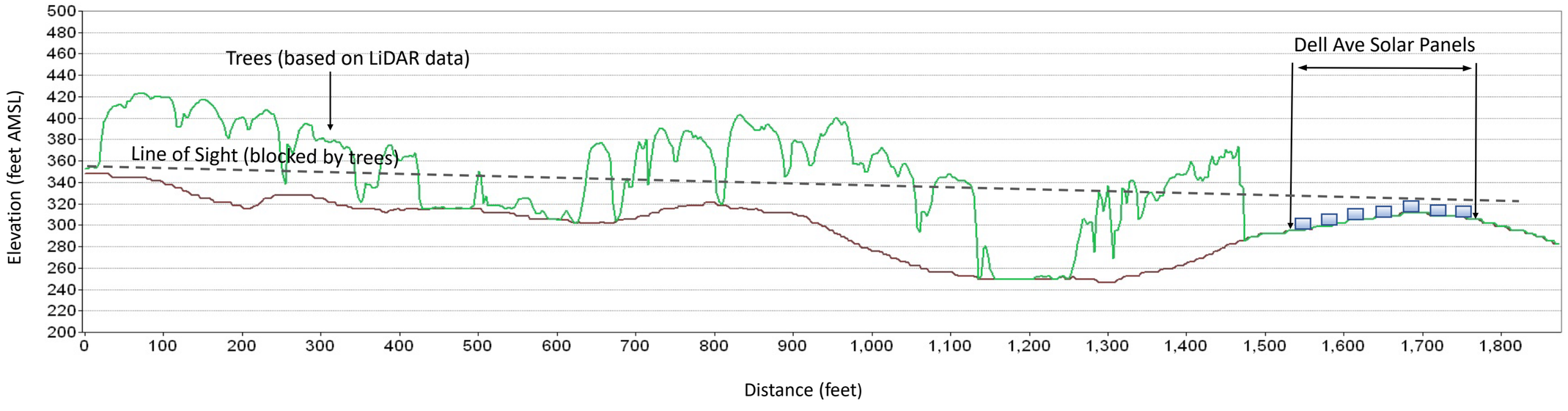


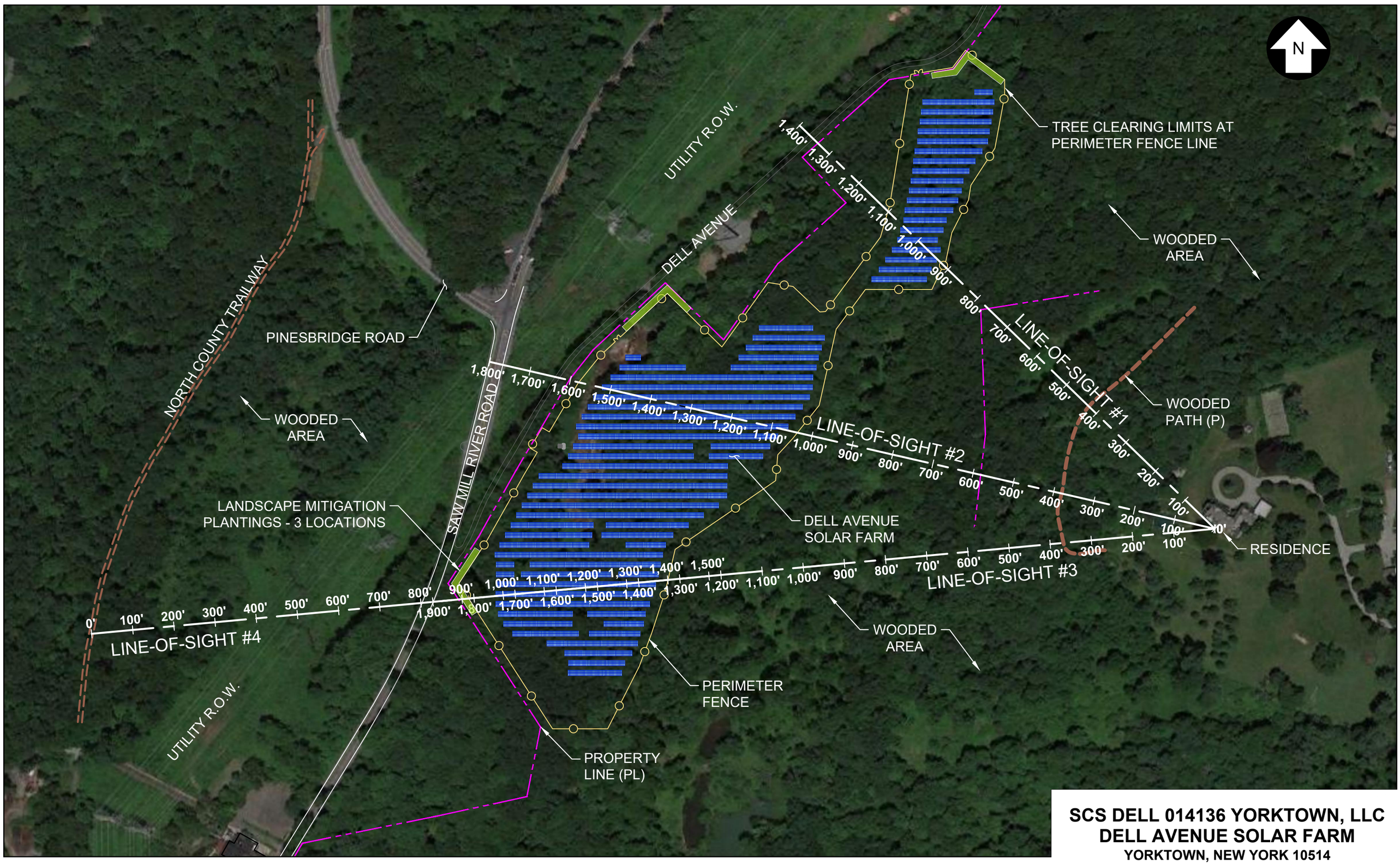
RANDOM FARMS CIRCLE – RESIDENCE 2





RANDOM FARMS CIRCLE – RESIDENCE 3

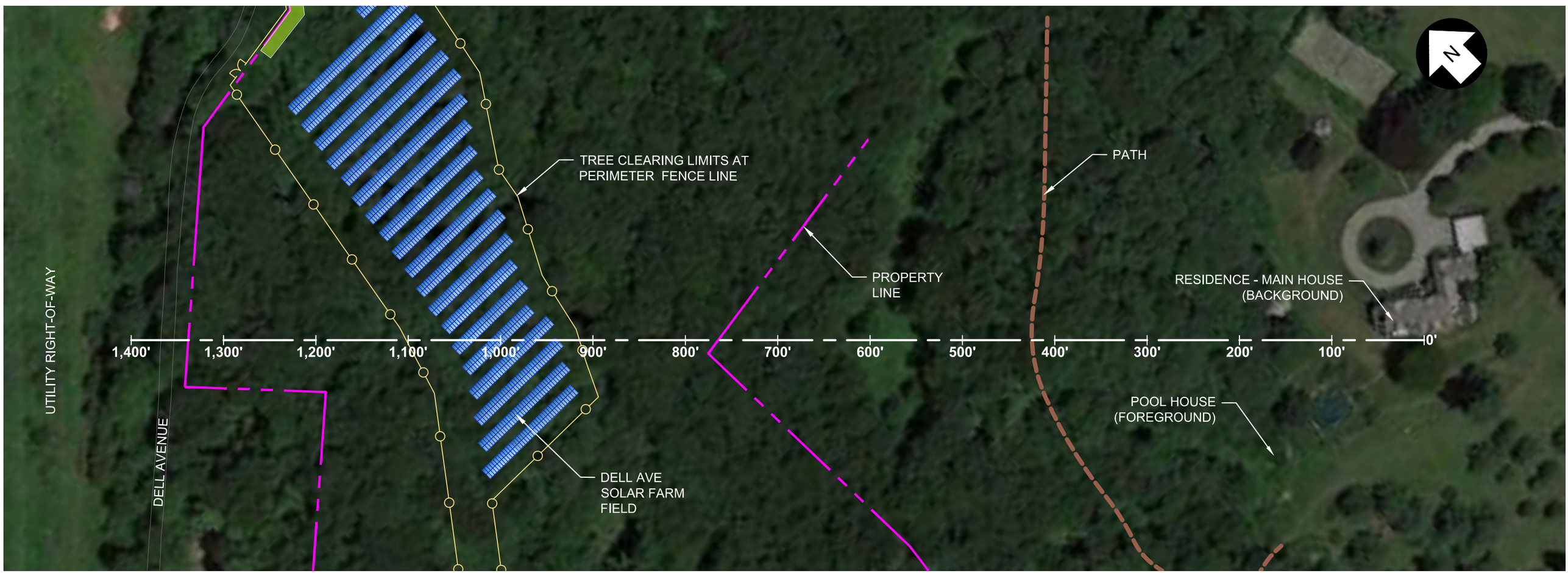




SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
YORKTOWN, NEW YORK 10514
JUNE 14, 2022 ◆ REVISION 0

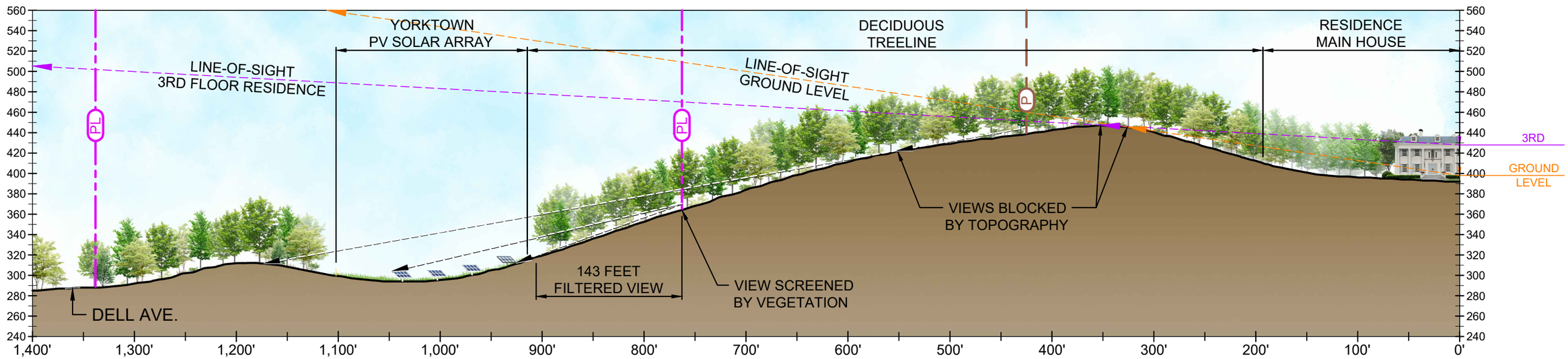
OVERALL PLAN VIEW: LINE-OF-SIGHT #1, #2, #3, & 4
PRELIMINARY DRAWINGS (06/14/2022)

0 200' 400'



PLAN VIEW: LINE-OF-SIGHT #1 (STA: 0 TO 1,400)

0 100' 200'



1 PROFILE VIEW: LINE-OF-SIGHT #1 (STA: 0 TO 1,400)

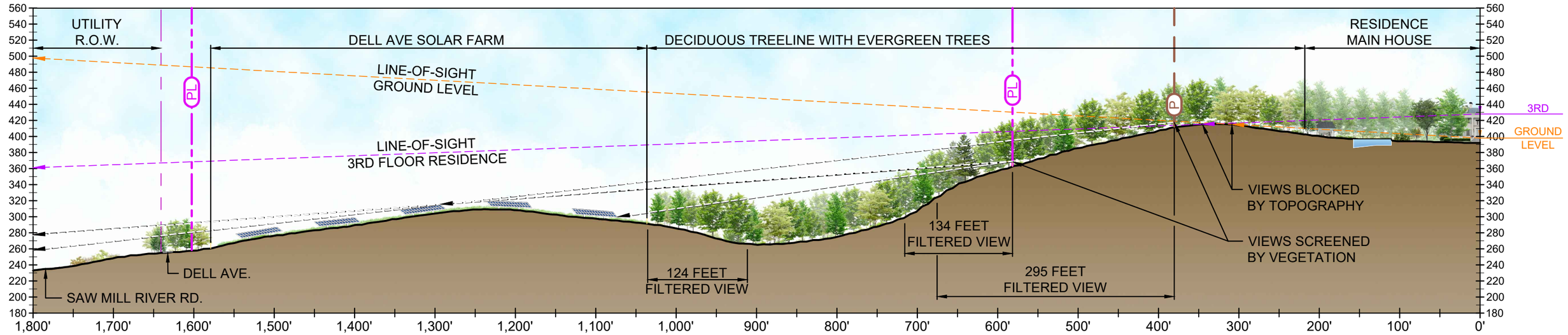
0 100' 200'

PRELIMINARY DRAWINGS (06/14/2022)

Horizontal and Vertical Scale - 1 : 1

PLAN VIEW: LINE-OF-SIGHT #2 (STA: 0 TO 1,800)

0 120' 240'

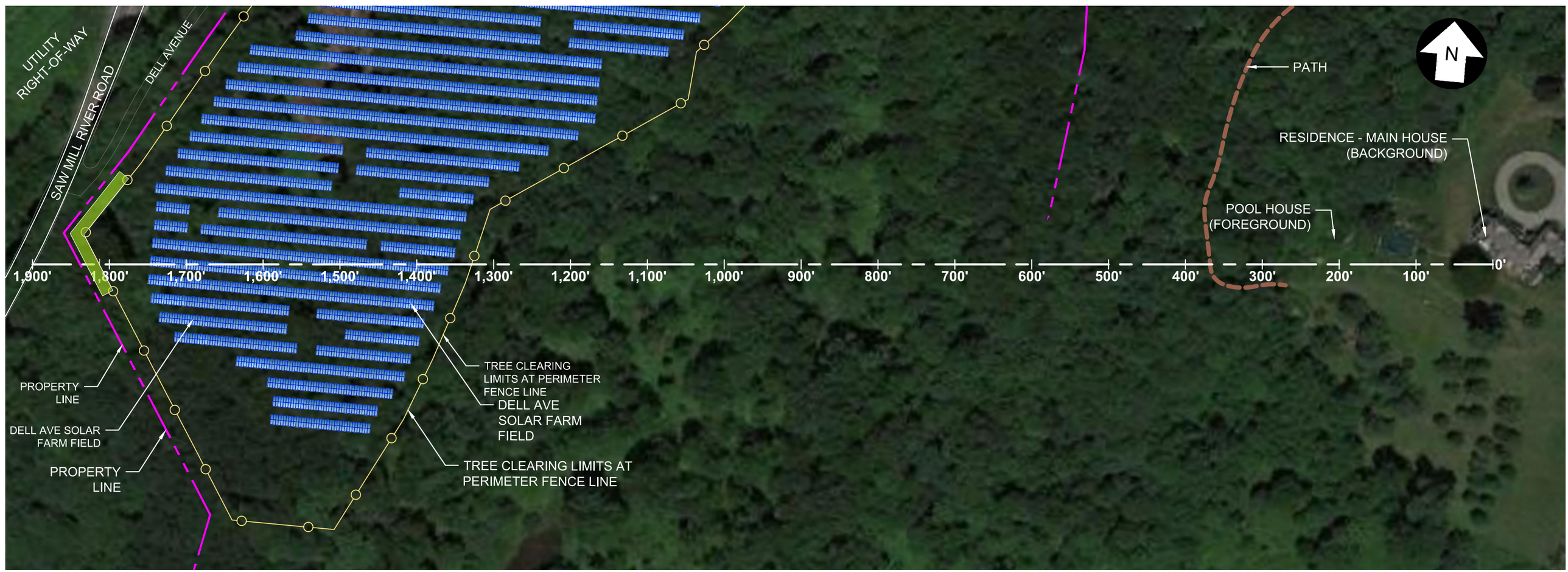


2 PROFILE VIEW: LINE-OF-SIGHT #2 (STA: 0 TO 1,800)

0 120' 240'

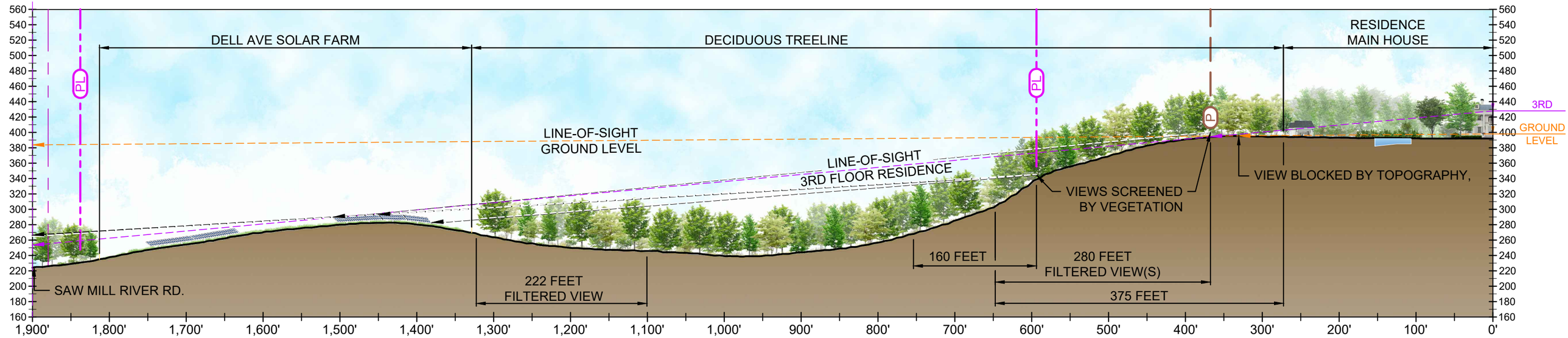
Horizontal and Vertical Scale - 1 : 1

PRELIMINARY DRAWINGS (06/14/2022)



PLAN VIEW: LINE-OF-SIGHT #3 (STA: 0 TO 1,900)

0 120' 240'



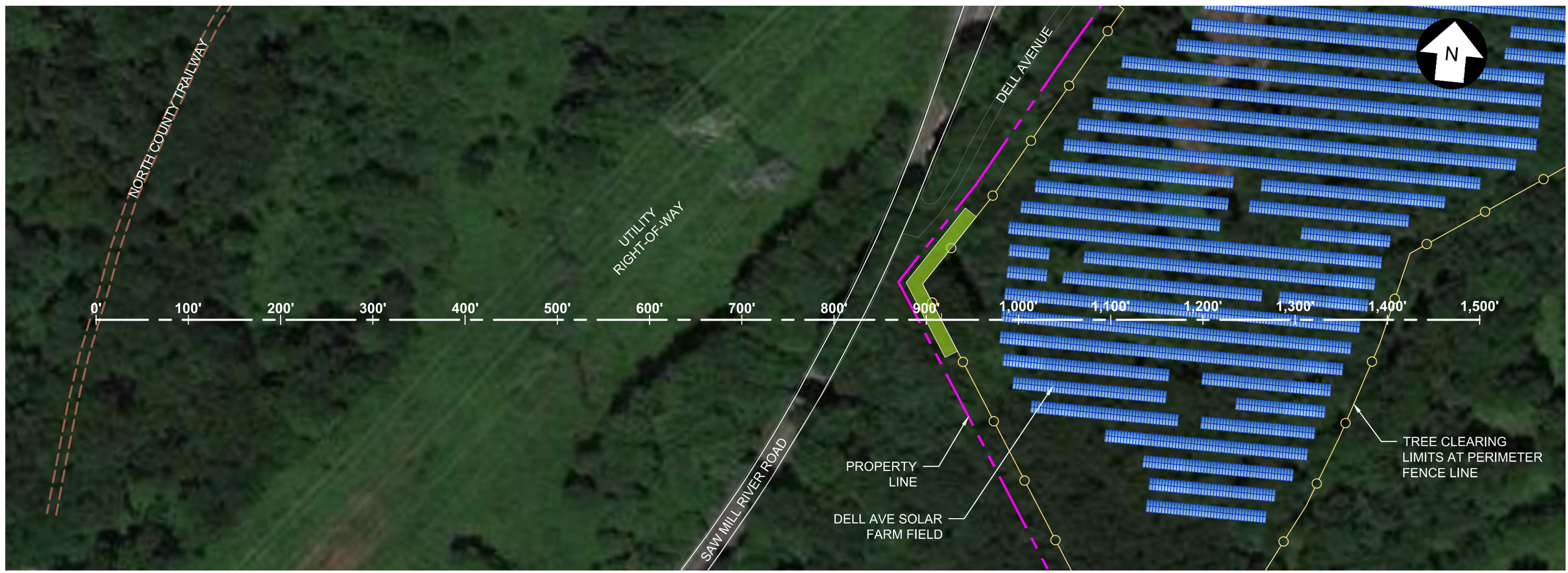
PROFILE VIEW: LINE-OF-SIGHT #3 (STA: 0 TO 1,900)

0 120' 240'

Horizontal and Vertical Scale - 1 : 1

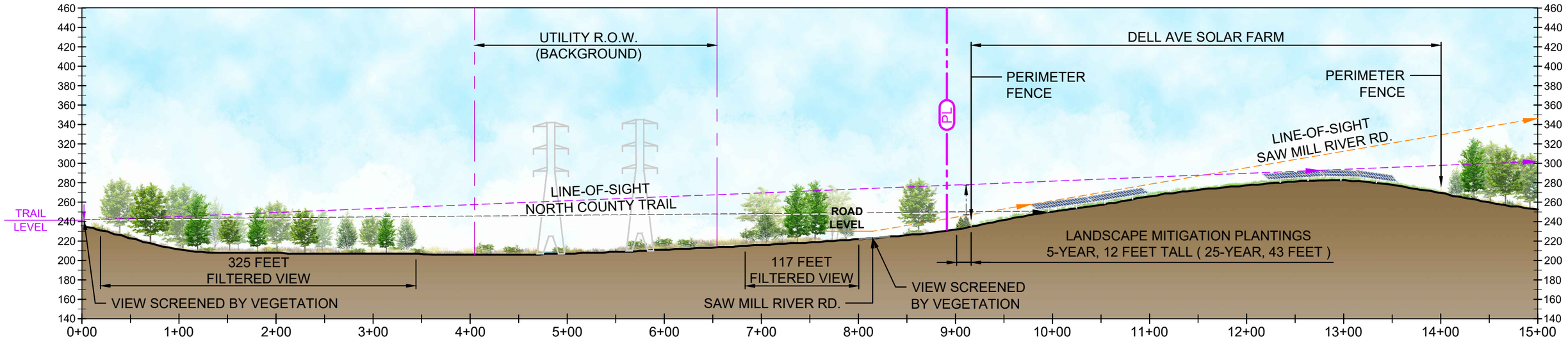
3

PRELIMINARY DRAWINGS (06/14/2022)



PLAN VIEW: LINE-OF-SIGHT #4 (STA: 0+00 TO 15+00)

0 100' 200'



4

PROFILE VIEW: LINE-OF-SIGHT #4 (STA: 0+00 TO 15+00)

0 100' 200'

PRELIMINARY DRAWINGS (06/14/2022)

Horizontal and Vertical Scale - 1 : 1

Examples of Fixed-Tilt Ground Mount Solar

SITE PLAN SET

DELL AVENUE SOLAR FARM

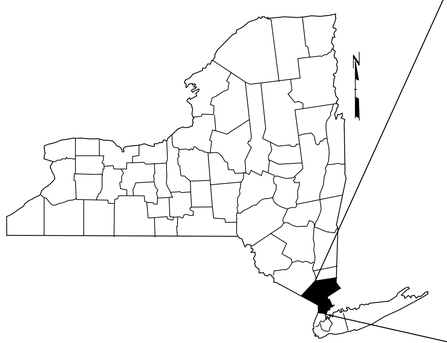
DELL AVENUE, YORKTOWN, NEW YORK 10514

PREPARED FOR: SCS DELL 014136 YORKTOWN, LLC
(SOL CUSTOMER SOLUTIONS, LLC)
1101 CONNECTICUT AVENUE NW, 2ND FLOOR
WASHINGTON, DC 20036

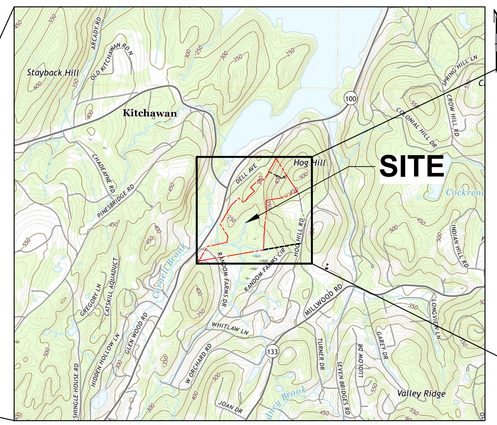
PREPARED BY: TRC ENGINEERS, INC.
1430 BROADWAY, 10TH FLOOR
NEW YORK, NEW YORK 10018

DATE: SEPTEMBER 21, 2022 (REV 1.)

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	LATEST DRAWING DATE
G-101	TITLE SHEET	SEPTEMBER 21, 2022
G-102	GENERAL NOTES	SEPTEMBER 21, 2022
C-101	EXISTING FEATURES	SEPTEMBER 21, 2022
C-102	DEMOLITION PLAN	SEPTEMBER 21, 2022
C-103	SITE PLAN - SOUTH	SEPTEMBER 21, 2022
C-104	SITE PLAN - NORTH	SEPTEMBER 21, 2022
C-105	GRADING PLAN - SOUTH	SEPTEMBER 21, 2022
C-106	GRADING PLAN - NORTH	SEPTEMBER 21, 2022
C-107	EROSION & SEDIMENT CONTROL PLAN - SOUTH	SEPTEMBER 21, 2022
C-108	EROSION & SEDIMENT CONTROL PLAN - NORTH	SEPTEMBER 21, 2022
L-101	LANDSCAPE PLAN - SOUTH	SEPTEMBER 21, 2022
L-102	LANDSCAPE PLAN - NORTH	SEPTEMBER 21, 2022
L-103	LANDSCAPE NOTES & DETAILS	SEPTEMBER 21, 2022
L-104	LANDSCAPE PLANTING TEMPLATE, SCHEDULES, & COORDINATE POINTS	SEPTEMBER 21, 2022
D-101	DETAILS SHEET 1	JUNE 14, 2022
D-102	DETAILS SHEET 2	SEPTEMBER 21, 2022
D-103	DETAILS SHEET 3	SEPTEMBER 21, 2022
D-104	DETAILS SHEET 4	JUNE 14, 2022
D-105	DETAILS SHEET 5	JUNE 14, 2022
D-106	DETAILS SHEET 6	JUNE 14, 2022
D-107	DETAILS SHEET 7	JUNE 14, 2022
D-108	DETAILS SHEET 8	AUGUST 30, 2022

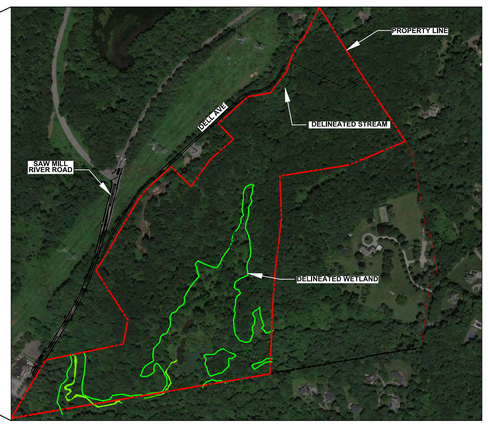


NEW YORK



USGS QUAD MAP

SCALE: 1=2000'
IMAGE SOURCE: U.S.GEOLOGICAL SURVEY MAPS
PARCEL DATA: WESTCHESTER TAX MAP



SITE LOCATION

SCALE: 1=500'
IMAGE SOURCE: GOOGLE EARTH PRO
PARCEL DATA: WESTCHESTER TAX MAP

NOTE: UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NOTE: THESE PLANS ARE ACCOMPANIED BY SUPPLEMENTAL DOCUMENTS. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR LOCAL APPROVAL PURPOSES ONLY.

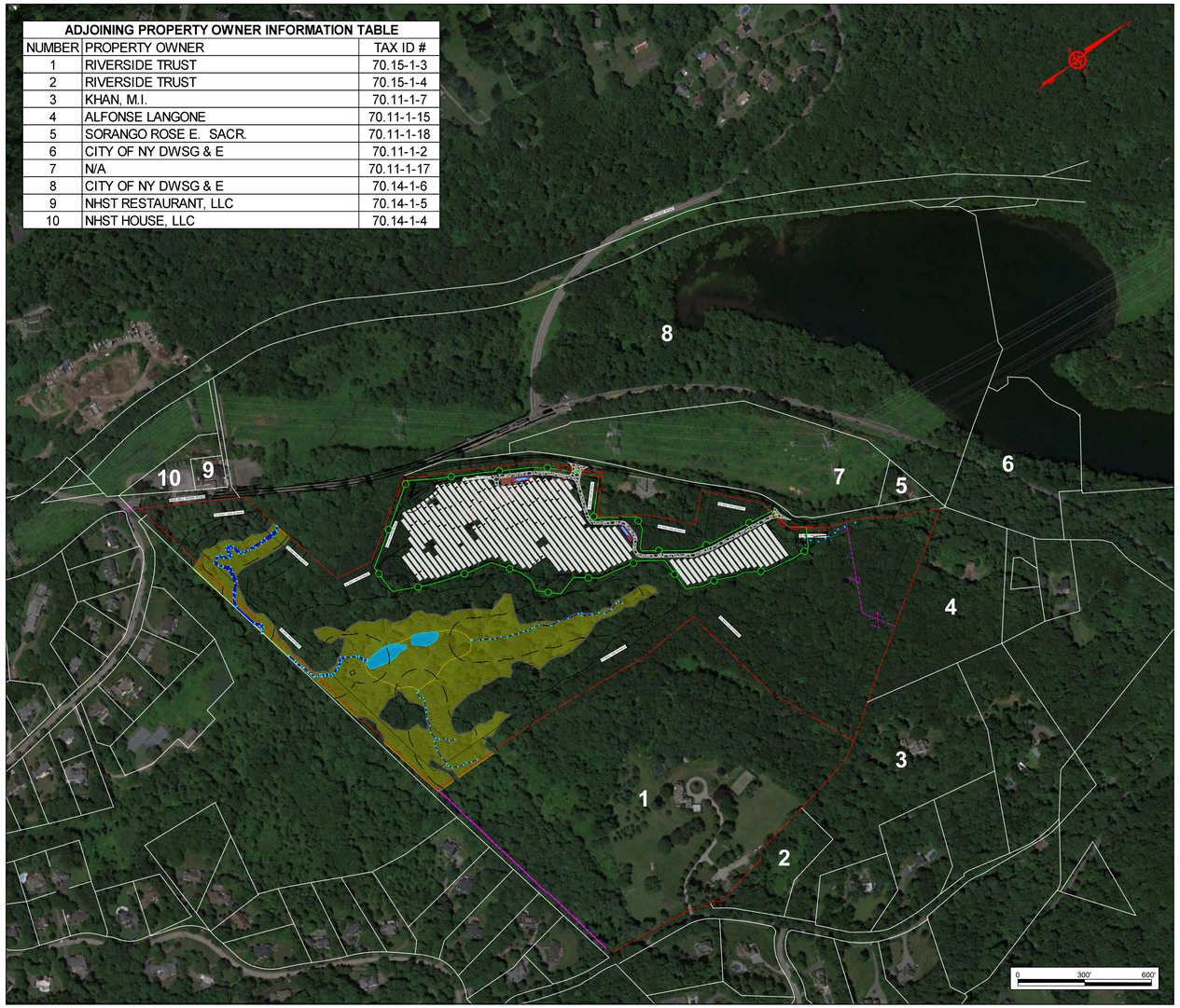
NOT FOR CONSTRUCTION

SOLSYSTEMS

TRC

1430 Broadway,10th Floor
New York, NY 10018
Phone: 212.221.7822
www.TRCcompanies.com

ADJOINING PROPERTY OWNER INFORMATION TABLE		
NUMBER	PROPERTY OWNER	TAX ID #
1	RIVERSIDE TRUST	70.15-1-3
2	RIVERSIDE TRUST	70.15-1-4
3	KHAN, M.I.	70.11-1-7
4	ALFONSE LANGONE	70.11-1-15
5	SORANGO ROSE E. SACR.	70.11-1-18
6	CITY OF NY DWSG & E	70.11-1-2
7	N/A	70.11-1-17
8	CITY OF NY DWSG & E	70.14-1-6
9	NHST RESTAURANT, LLC	70.14-1-5
10	NHST HOUSE, LLC	70.14-1-4



LAND USE INFORMATION			
LAND USE	UNIT	EXISTING	PROPOSED
TOTAL PARCEL AREA	ACRES	62.3	62.3
UNDISTURBED AREA	ACRES	62.3	47.4
DISTURBED AREA	ACRES	N/A	14.9
SOLAR AREA	ACRES	N/A	9.2
WETLAND AREA	ACRES	13.3	13.3

SITE DATA		
TAX ID #	PROPERTY OWNER	SITE ADDRESS
70.15-1-2 70.11-01-16	B & M MANAGEMENT CO.	70.15-01-02 & 70.11-01-16 DELL AVENUE YORKTOWN, NY, 10514

ZONING CONFORMANCE TABLE		
ZONING CODE DESCRIPTION	ZONING CODE REQUIREMENT	PROPOSED PROJECT
ZONING DESIGNATION	R1-160	R1-160
MINIMUM LOT AREA (SQUARE FEET)	160,000	2,663,201
MINIMUM LOT WIDTH (FEET)	200	2,890
MINIMUM LOT DEPTH (FEET)	200	416
MAXIMUM BUILDING HEIGHT (FEET)	MAIN BUILDING - 35 / ACCESSSORY BUILDING OR STRUCTURE -15	NOT APPLICABLE (EQUIPMENT HEIGHT IS NOT MORE THAN 10 FEET)
FRONT YARD DEPTH (FEET)	75	116
SIDE YARD DEPTH (FEET)	50	50
REAR YARD DEPTH (FEET)	75	147
ROAD FRONTAGE (FEET)	200	1,610

GENERAL NOTES

1. THE PROJECT HORIZONTAL COORDINATES SYSTEM IS BASED ON NAD83 NEW YORK STATE PLANE (US SURVEY FEET, EAST ZONE, NY83-E). ELEVATIONS ARE BASED ON NAVD88 (US SURVEY FEET).
2. TOPOGRAPHY SHOWN ON THESE PLANS WAS COMPLETED BY LAND DESIGN ASSOCIATES ENGINEERING, SURVEYING AND LAND ARCHITECTURE D.P.C. USING A BASE & ROVER RTKGPS SYSTEM TO DEVELOP CONTOURS AT A 2 FOOT INTERVAL.
3. PROJECT PROPERTY BOUNDARIES ARE BASED ON INFORMATION PROVIDED BY LAND DESIGN ASSOCIATES ENGINEERING, SURVEYING AND LAND ARCHITECTURE D.P.C. LAND SURVEYING FROM A SURVEY COMPLETED IN OCTOBER 2019.
4. EXISTING UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR. DIG SAFELY NEW YORK (811) SHALL BE NOTIFIED A MINIMUM OF 72-HOURS PRIOR TO COMMENCING ANY EXCAVATION.
5. THIS IS A PRELIMINARY DESIGN PLAN PROVIDED FOR PERMITTING ONLY. FINAL DESIGN SHALL BE MODIFIED TO SUPPORT CONSTRUCTION, MATCH FINAL ELECTRICAL INTERCONNECTION STUDIES, EQUIPMENT PURCHASED, AND POSSIBLE PERMIT CONSTRAINTS REVEALED DURING PROJECT'S REVIEW.
6. ALL WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND ANY OTHER APPLICABLE TECHNICAL REPORTS. WHERE INDICATED, STATE AND/OR LOCAL CODES AND STANDARD SPECIFICATIONS SHALL APPLY.
7. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING STATE AND FEDERAL REQUIREMENTS.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN OR ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
9. CONSTRUCTION SHALL NOT OCCUR IN ANY PUBLIC RIGHTS OF WAY, PUBLIC OR PRIVATE EASEMENTS, BEYOND THE LIMITS OF DISTURBANCE, OR OUTSIDE THE PROPERTY LIMITS WITHOUT NECESSARY PERMITS AND APPROVALS. ANY PUBLIC OR PRIVATE PROPERTY OR IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE COST OF THE CONTRACTOR.
10. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT OF WAY. OVERNIGHT PARKING OF CONSTRUCTION VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL PROPERTY CORNERS OR MONUMENTS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW YORK.
12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING DRAINAGE THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
13. CONTRACTOR SHALL FIELD FIT ALL PROPOSED CULVERT INVERTS TO PROVIDE POSITIVE DRAINAGE IN THE DIRECTION OF EXISTING SLOPES. ALL CULVERTS TO BE INSTALLED AT ADEQUATE DEPTHS AND TO DAYLIGHT. INLETS AND OUTLETS OF ALL CULVERTS TO BE STABILIZED WITH RIP RAP IN ACCORDANCE WITH EROSION CONTROL PLAN.
14. THE CONTRACTOR SHALL SECURE PERMITS FROM THE STATE, COUNTY, AND TOWN AUTHORITIES AS NECESSARY BEFORE DRIVING CONSTRUCTION EQUIPMENT OVER AND ACROSS STATE, COUNTY OR TOWN MAINTAINED ROADS.
15. ALL WORK IN THE PUBLIC RIGHT OF WAYS SHALL CONFORM WITH THE NEW YORK DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS", DATED JANUARY 1, 2019 OR CURRENT EDITION.
16. WETLANDS AND WATERCOURSES SHOWN IN THIS PLAN ARE SUBJECT TO FUTURE CONFIRMATION BY NYSDEC.
17. THE EROSION AND SEDIMENTATION CONTROL MEASURES FOR THIS PROJECT SHALL BE IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT.
18. TREES AND OTHER VEGETATION IN AREAS OF IDENTIFIED CLEARING AND GRUBBING MAY BE REDUCED TO CHIPS BY THE USE OF CHIPPING MACHINES OR STUMP GRINDER AND BE PREPARED FOR USE AS EROSION CONTROL MIX. ALL OTHER CHIPS AND WOOD WASTE RESULTING FROM CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF OFF-SITE AT AN APPROPRIATELY LICENSED FACILITY AND IN A MANNER AS APPROVED BY THE OWNER.
19. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING IMPROVEMENTS AND FACILITIES TO REMAIN IN PLACE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND REPLACEMENT OF DAMAGED ITEMS AS A RESULT OF CONSTRUCTION OF THE PROPOSED FACILITY.
20. THE WORK SHALL BE CARRIED OUT NEAR AND UNDER ENERGIZED EQUIPMENT. EXTREME CAUTION IS REQUIRED AT ALL TIMES. THE CONTRACTOR SHALL STRICTLY FOLLOW ALL APPLICABLE SAFETY REQUIREMENTS.
21. EARTHWORK: UNLESS EXPLICITLY STATED OTHERWISE, REFER TO THE LATEST EDITION OF THE STATE OF NEW YORK, DEPARTMENT OF TRANSPORTATION, STANDARDS SPECIFICATIONS, CONSTRUCTION AND MATERIALS, FOR GENERAL REQUIREMENTS, PRODUCTS, AND EXECUTION RELATED TO THE COMPLETION OF PROPOSED WORK.
22. THE LIMITS OF DISTURBANCE SHALL BE FIELD STAKED BY A LICENSED LAND SURVEYOR PRIOR TO THE START OF WORK. A COPY OF THE STAKEOUT SKETCH SHALL BE PROVIDED TO THE TOWN OF YORKTOWN.
23. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) TO THE NYSDEC AND PROVIDE PROOF OF COVERAGE UNDER THE SPDES GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES TO THE TOWN OF YORKTOWN.
24. ANY IMPORTED SOIL SHALL MEET THE NYSDEC STANDARDS OF UNRESTRICTED FILL AND BE SUITABLE FOR RESIDENTIAL USE. CONSTRUCTION DEBRIS IS NOT PERMITTED TO BE IMPORTED. ANY MATERIAL MEETING THE NYSDEC DEFINITION OF BENEFICIAL USE SHALL BE CERTIFIED AS SUCH BY THE DESIGN PROFESSIONAL OF RECORD. NOTIFY THE TOWN OF YORKTOWN PRIOR TO IMPORT. SOIL TESTING MAY STILL BE REQUIRED.
25. PRIOR TO THE BACKFILLING OF ANY STORM WATER BEST MANAGEMENT PRACTICE, DOTS-ENGINEERING SHALL BE NOTIFIED TO PERFORM AN INSPECTION. CONTACT ENGINEERING AT 914-734-1060 TO SCHEDULE AN INSPECTION.
26. THE APPLICANT IS AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY AND IN A TIMELY MANNER. APPLICANT SHALL SUBMIT A NOTICE OF TERMINATION FOR THE SPDES GENERAL PERMIT.
27. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN "AS-BUILT" SURVEY PREPARED BY A LICENSED PROFESSIONAL LAND SURVEYOR OF THE PROPERTY SHALL BE SUBMITTED TO THE DEPARTMENT OF TECHNICAL SERVICES.
28. ALL DEMOLITION DEBRIS INCLUDING FOUNDATIONS AND SLABS SHALL BE LAWFULLY DISPOSED OF OFF-SITE. ROCK FROM WALLS SHALL BE STOCKPILED ON-SITE.
29. ELECTRICAL DESIGN PROVIDED HEREON WAS PREPARED BY SOL SYSTEMS, LLC.
30. ABSOLUTELY NO RECYCLED MATERIAL SHALL BE PERMITTED ONSITE. ONLY EARTHEN MATERIAL OR NATURAL STONE IS PERMITTED TO BE USED AS FILL. ALL FILL SHALL BE TESTED IN ACCORDANCE WITH APPLICABLE NYSDEC RULES AND REGULATIONS AND SHALL BE CERTIFIED AS UNRESTRICTED FOR RESIDENTIAL USE, CERTIFIED BY A PROFESSIONAL ENGINEER PRIOR TO IMPORTATION ON SITE, AND SHALL BE FROM A CERTIFIED VIRGIN SOURCE.

TRC
1430 Broadway, 10th Floor
New York, NY 10018
Phone: 212.221.7822
www.TRCcompanies.com
TRC Project No: 431302.0000.0005

SOL SYSTEMS
Sol Systems, LLC
1101 Connecticut Avenue NW
2nd Floor
Washington, DC 20036

STEVEN MEERSMA — STATE OF NEW YORK — LICENSED PROFESSIONAL ENGINEER

Revisions:	
No.	Date:

Drawn by: A. REXROAT
Checked by: S. MEERSMA
Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: GENERAL NOTES
Drawing No: G-102

MAP REFERENCES:

1. SURVEY COMPLETED BY LAND DESIGN ASSOCIATES ENGINEERING, SURVEYING AND LAND ARCHITECTURE D.P.C OF HAUPPAGE, NEW YORK DATED MAY 29, 2021.
2. THE PROJECT HORIZONTAL COORDINATES SYSTEM IS BASED ON NAD83 NEW YORK STATE PLANE (US SURVEY FEET, EAST ZONE, NY83-E). ELEVATIONS ARE BASED ON NAVD88 (US SURVEY FEET).
3. TREE LOCATIONS AND NUMBERS REFERENCE THE TREE IDENTIFICATION REPORT BY TRC ENGINEERS, INC. DATED JUNE 2022.

LEGEND:

- 420 — EXISTING MAJOR CONTOUR (FEET)
- 418 — EXISTING MINOR CONTOUR (FEET)
- PARCEL LINE
- 100-FOOT NYSDEC ADJACENT WETLAND BUFFER
- 50-FOOT NYSDEC ADJACENT STREAM BUFFER
- 100-FOOT NYSDEC ADJACENT STREAM BUFFER
- STONE WALL
- TREE LINE
- TRAIL
- ROCKS
- DELINEATED STREAM LINE
- DELINEATED WETLAND
- DELINEATED SURFACE WATER
- TREE LOCATION AND TREE NUMBER

LEGAL DESCRIPTION
SECTION 70.11 BLOCK 1 LOT 16 AND SECTION 70.15 BLOCK 1 LOT 2
TOWN OF YORKTOWN, COUNTY OF WESTCHESTER, NY

ALL THAT CERTAIN PLOT, PIECES OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE SOUTHERLY SIDE OF SAW MILL RIVER ROAD IN THE TOWN OF YORKTOWN, COUNTY OF WESTCHESTER, STATE OF NEW YORK, AND BEING MORE PARTICULARLY DESCRIBED IN TWO (2) PARCELS AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY SIDE OF SAW MILL RIVER ROAD SAID POINT BEING DETERMINED AS FOLLOWS, STARTING AT A POINT ON THE SOUTHERLY SIDE OF SAW MILL RIVER ROAD SAID POINT BEING FORMED BY THE INTERSECTION OF THE DIVIDING LINE BETWEEN LANDS NOW OR FORMERLY OF GABRIEL AND LANDS OF CONSOLIDATED EDISON CO. WITH THE SAID SOUTHERLY SIDE OF SAW MILL RIVER ROAD;

THENCE from starting point in a northeasterly direction and along the southerly side of Saw Mill River Road;
North 44 degrees 40 minutes 30 seconds East for a distance of 104.35 feet to the aforementioned point of beginning;

THENCE from said point of beginning in a northeasterly direction and along the southerly side of Saw Mill River Road;
North 41 degrees 19 minutes 50 seconds East for a distance of 471.28 feet (deed) 473.56 feet (survey) to a corner and lands of the City of New York, said lands of the City of New York being shown as Parcel 160, Sheet 15, on Maps of New Croton Reservoir;

THENCE in an easterly direction and along the dividing line between lands of City of New York and lands of Gabriel;
North 88 degrees 59 minutes 00 seconds East for a distance of 554.57 feet (deed) North 88 degrees 57 minutes 25 seconds East 554.62 feet (survey) to a corner;

THENCE still along the aforementioned dividing line;
North 21 degrees 50 minutes 20 seconds (deed) 21 degrees 48 minutes 45 seconds (survey) East for a distance of 171.48 feet and North 22 degrees 06 minutes 10 seconds West for a distance of 413.59 feet (deed) North 22 degrees 06 minutes 45 seconds West for a distance of 413.21 feet (survey) to a corner and the southerly side of Dell Avenue;

THENCE in a northeasterly direction and along the southerly side of Dell Avenue, the following courses and distances;
North 43 degrees 56 minutes 40 seconds East for a distance of 133.90 feet;
North 40 degrees 07 minutes 10 seconds East for a distance of 186.22 feet;
North 41 degrees 15 minutes 50 seconds East for a distance of 258.22 feet;
North 49 degrees 26 minutes 30 seconds East for a distance of 88.58 feet;
North 57 degrees 50 minutes 10 seconds East for a distance of 237.07 feet to a corner and lands now or formerly of Adam;

THENCE in a southerly direction and along the dividing line between lands of Adam and lands of Gabriel;
South 34 degrees 53 minutes 30 seconds East for a distance of 196.79 feet to a corner;

THENCE in a northeasterly direction;
North 46 degrees 16 minutes 30 seconds East for a distance of 227.20 feet and
North 58 degrees 57 minutes 20 seconds East for a distance of 219.85 feet to a corner;

THENCE in a northwesterly direction, still along the aforementioned dividing line;
North 33 degrees 02 minutes 20 seconds West for a distance of 152.78 feet to a corner and the southerly side of Dell Avenue;

THENCE in a northeasterly direction and along the southerly side of Dell Avenue, the following courses;
North 58 degrees 55 minutes 20 seconds East for a distance of 281.76 feet;
South 88 degrees 36 minutes 50 seconds East for a distance of 157.46 feet;
North 47 degrees 33 minutes 10 seconds East for a distance of 185.48 feet;
North 30 degrees 17 minutes 30 seconds East for a distance of 105.27 feet;
North 33 degrees 00 minutes 30 seconds East for a distance of 90.62 feet;
North 49 degrees 43 minutes 00 seconds East for a distance of 70.52 feet;
North 37 degrees 32 minutes 30 seconds East for a distance of 242.23 feet to a corner and lands now or formerly of Dearborn;

THENCE to a southerly direction and along the dividing line between lands of Dearborn and lands of Gabriel;
South 22 degrees 47 minutes 00 seconds East for a distance of 111.57 feet;
South 21 degrees 05 minutes 10 seconds East for a distance of 400.52 feet;
South 22 degrees 12 minutes 30 seconds East for a distance of 310.32 feet;
South 23 degrees 53 minutes 10 seconds East for a distance of 113.24 feet to lands now or formerly of Mino;

THENCE still southerly direction and along the dividing line between lands of Mino and lands of Gabriel;
South 22 degrees 23 minutes 30 seconds East for a distance of 179.29 feet to a corner and lands now or formerly of Crawford;

THENCE in a westerly direction and along the dividing line between lands of Crawford and lands of Gabriel;
South 77 degrees 48 minutes 40 seconds West for a distance of 425.77 feet;
North 88 degrees 22 minutes 30 seconds West for a distance of 492.84 feet to a corner;

THENCE in a southerly direction still along the aforementioned dividing line, the following courses and distances;
South 08 degrees 32 minutes 10 seconds West for a distance of 302.15 feet;
South 17 degrees 26 minutes 30 seconds West for a distance of 378.44 feet;
South 14 degrees 56 minutes 50 seconds West for a distance of 261.92 feet;
South 12 degrees 20 minutes 50 seconds West for a distance of 181.34 feet;
South 13 degrees 33 minutes 50 seconds West for a distance of 212.08 feet;
South 11 degrees 28 minutes 50 seconds West for a distance of 54.91 feet to a corner;

THENCE in a westerly direction and through lands of Gabriel and approximately along the Town lines between the Towns of New Castle and Yorktown;
North 88 degrees 59 minutes 17 seconds (deed) West for a distance of 1837.73 feet;
North 89 degrees 02 minutes 22 seconds (calculated) West for a distance of 1839.27 feet to the southerly side of Saw Mill River Road and the point or place of BEGINNING.

WCTM#: 70.11-1-16 & 70.15-1-2

EXCEPTIONS:
1. Survey Attached
2. Boundary line agreement effects extreme southeast corner of parcel not part of current Deed of Record.
3. Assignment of leases and rents to bank to secure mortgage.
4. Matter of Foreclosure.
5. Matter of Foreclosure.
6. Matter of Foreclosure.
7. Tax search N/A see report.

NOTES:
1. NO PART OF THE SUBJECT PROPERTY LIES IN A SPECIAL FLOOD HAZARD AREA OR FLOOD HAZARD OR FLOOD PLAIN, HOWEVER DESIGNATED, AS DETERMINED BY OR IN ACCORDANCE WITH CRITERIA ESTABLISHED BY THE FEDERAL INSURANCE ADMINISTRATION OR AS DEFINED BY OR IN ACCORDANCE WITH CRITERIA ESTABLISHED BY ANY GOVERNMENTAL AUTHORITY HAVING JURISDICTION. (FLOOD ZONE X)
2. LOCATIONS AND EXISTENCE OF ANY SUBSURFACE UTILITIES AND/OR STRUCTURES, NOT READILY VISIBLE, ARE NOT CERTIFIED.
3. NO ENCROACHMENTS AFFECT SUBJECT PROPERTY EXCEPT AS SHOWN
4. THE USE OF THE PROPERTY IS PERMITTED IN ITS ZONE.
5. PROPERTY HAS PUBLIC ACCESS TO ALL ADJACENT STREETS AS PUBLIC

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NOT FOR CONSTRUCTION

0 120' 240'
SHEET SIZE: 24" BY 36"
(DRAWING MAY BE PRINTED AT REDUCED SIZE)

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www.TRCcompanies.com

TRC Project No: 431302.0000.0005

SOLSYSTEMS
Sol Systems, LLC
1101 Connecticut Avenue NW
2nd Floor
Washington, DC 20036

STEVEN MEERSMA — STATE OF NEW YORK — LICENSED PROFESSIONAL ENGINEER

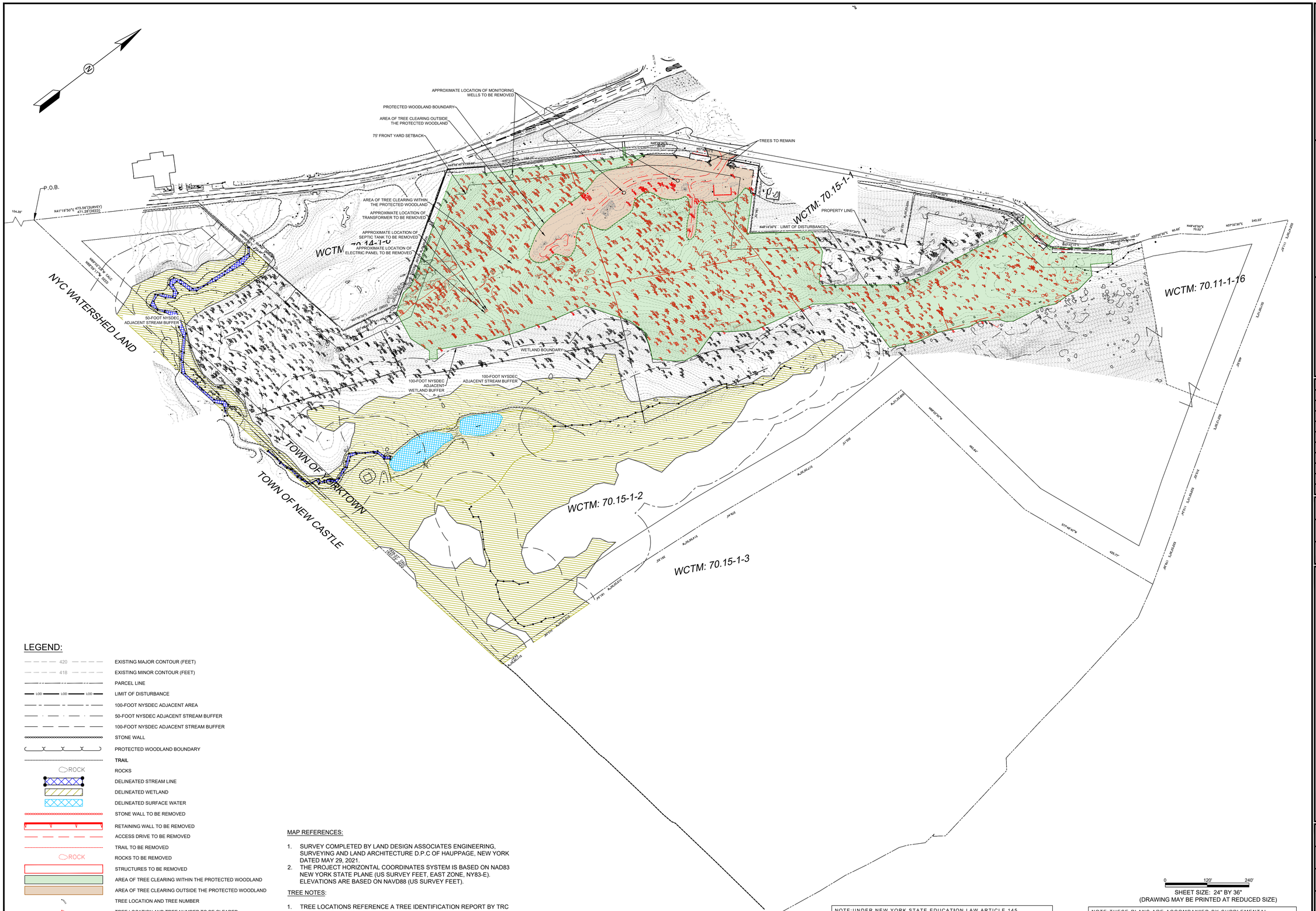
Revisions:

No.	Date:

Drawn by: A. REXROAT
Checked by: S. MEERSMA
Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: EXISTING FEATURES
Drawing No: C-101



LEGEND:

- EXISTING MAJOR CONTOUR (FEET)
- EXISTING MINOR CONTOUR (FEET)
- PARCEL LINE
- LIMIT OF DISTURBANCE
- 100-FOOT NYSDEC ADJACENT AREA
- 50-FOOT NYSDEC ADJACENT STREAM BUFFER
- 100-FOOT NYSDEC ADJACENT STREAM BUFFER
- STONE WALL
- PROTECTED WOODLAND BOUNDARY
- TRAIL
- ROCKS
- DELINEATED STREAM LINE
- DELINEATED WETLAND
- DELINEATED SURFACE WATER
- STONE WALL TO BE REMOVED
- RETAINING WALL TO BE REMOVED
- ACCESS DRIVE TO BE REMOVED
- TRAIL TO BE REMOVED
- ROCKS TO BE REMOVED
- STRUCTURES TO BE REMOVED
- AREA OF TREE CLEARING WITHIN THE PROTECTED WOODLAND
- AREA OF TREE CLEARING OUTSIDE THE PROTECTED WOODLAND
- TREE LOCATION AND TREE NUMBER
- TREE LOCATION AND TREE NUMBER TO BE CLEARED

MAP REFERENCES:

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TREE NOTES:

1. TREE LOCATIONS REFERENCE A TREE IDENTIFICATION REPORT BY TRC ENGINEERS, INC. DATED JUNE 2022.
2. APPROXIMATELY 1,055 TREES ARE TO BE REMOVED.

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STEVEN MEERSMA ... LICENSED PROFESSIONAL ENGINEER

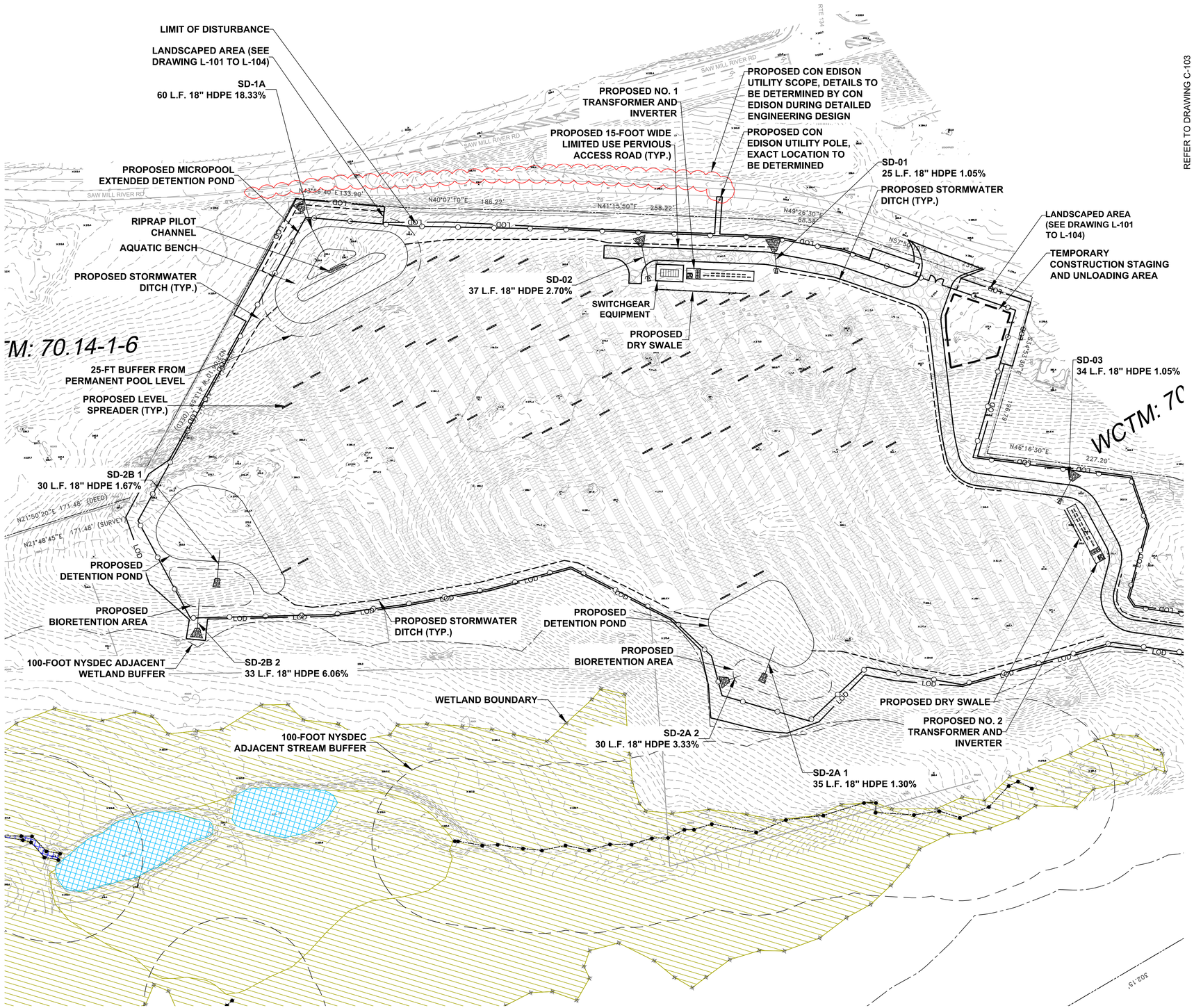
Revisions:

No.	Date:

Drawn by: A. REXROAT
Checked by: S. MEERSMA
Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: DEMOLITION PLAN
Drawing No: C-102



REFER TO DRAWING C-103

LEGEND:

- 420 — EXISTING MAJOR CONTOUR (FEET)
- 418 — EXISTING MINOR CONTOUR (FEET)
- PARCEL LINE
- LOD — LIMIT OF DISTURBANCE
- PROPOSED PERIMETER FENCE
- 100-FOOT NYSDEC ADJACENT AREA
- 50-FOOT NYSDEC ADJACENT STREAM BUFFER
- 100-FOOT NYSDEC ADJACENT STREAM BUFFER
- STONE WALL
- TREE LINE
- TRAIL
- ROCK — ROCKS
- DELINEATED STREAM LINE
- DELINEATED WETLAND
- DELINEATED SURFACE WATER
- 15' WIDE ACCESS ROAD

MAP REFERENCES:

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GENERAL NOTES:

1. LOCATIONS AND DIMENSIONS OF PHYSICAL FEATURES AND PROPERTY BOUNDARIES ARE APPROXIMATE.
2. THE PROJECT SHALL BE DESIGNED IN COMPLIANCE WITH ALL APPLICABLE CODES, STANDARDS, AND REQUIREMENTS, INCLUDING BUT NOT LIMITED TO:
   - TOWN OF YORKTOWN CODES
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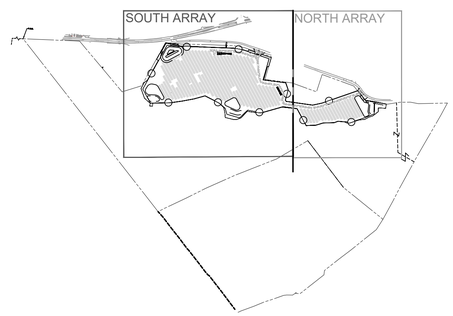
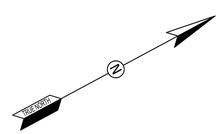
   - 2020 BUILDING CODE OF NEW YORK STATE (BCNYS 2020)
   - 2019 ENERGY STORAGE SYSTEM SUPPLEMENT - NEW YORK STATE
   - 2018 INTERNATIONAL BUILDING CODE (IBC 2018)
   - NATIONAL ELECTRICAL CODE - NFPA 70
   - NATIONAL ELECTRICAL SAFETY CODE - IEEE C2-2017
   - ANSI/UL STANDARD FOR ENERGY STORAGE SYSTEMS AND EQUIPMENT - STANDARD 9540
   - STANDARD FOR THE INSTALLATION OF STATIONARY ENERGY STORAGE SYSTEMS - NFPA 855
   - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE - ACI 318-14



KEY PLAN
NTS



0 60' 120'
SCALE: 1" = 60'
SHEET SIZE: 24" BY 36"

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Washington, DC 20036

STATE OF NEW YORK | STEVEN MEERSMA | LICENSED PROFESSIONAL ENGINEER

Revisions:

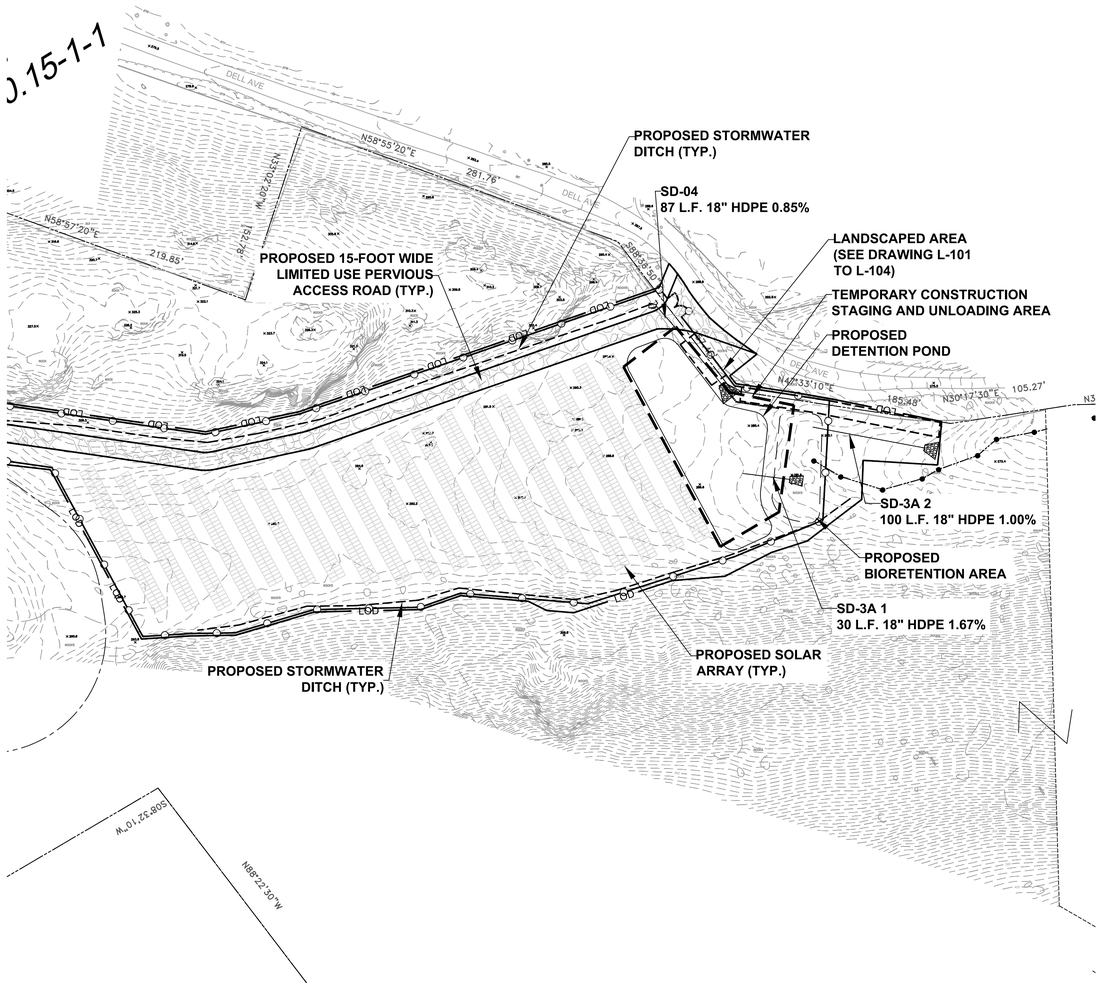
No.	Date:

Drawn by: A. REXROAT
Checked by: S. MEERSMA
Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: SITE PLAN - SOUTH
Drawing No: C-103

REFER TO DRAWING C-103



LEGEND:

- EXISTING MAJOR CONTOUR (FEET) (420)
- EXISTING MINOR CONTOUR (FEET) (418)
- PARCEL LINE
- LIMIT OF DISTURBANCE (LOD)
- PROPOSED PERIMETER FENCE
- 100-FOOT NYSDEC ADJACENT AREA
- 50-FOOT NYSDEC ADJACENT STREAM BUFFER
- 100-FOOT NYSDEC ADJACENT STREAM BUFFER
- STONE WALL
- TREE LINE
- TRAIL
- ROCKS (ROCK)
- DELINEATED STREAM LINE
- DELINEATED WETLAND
- DELINEATED SURFACE WATER
- 15' WIDE ACCESS ROAD

MAP REFERENCES:

1. SURVEY COMPLETED BY LAND DESIGN ASSOCIATES ENGINEERING, SURVEYING AND LAND ARCHITECTURE D.P.C OF HAUPPAGE, NEW YORK DATED MAY 29, 2021.
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GENERAL NOTES:

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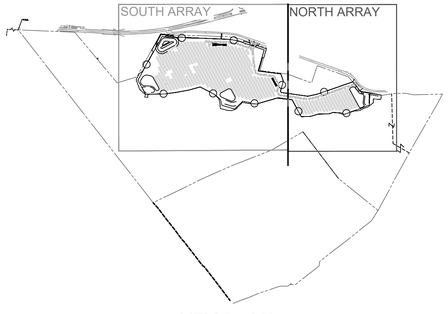
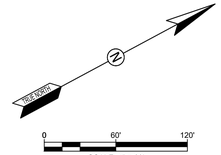
   - 2018 INTERNATIONAL BUILDING CODE (IBC 2018)
   - NATIONAL ELECTRICAL CODE - NFPA 70
   - NATIONAL ELECTRICAL SAFETY CODE - IEEE C2-2017
   - ANSI/UL STANDARD FOR ENERGY STORAGE SYSTEMS AND EQUIPMENT - STANDARD 9540
   - STANDARD FOR THE INSTALLATION OF STATIONARY ENERGY STORAGE SYSTEMS - NFPA 855
   - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE - ACI 318-14



KEY PLAN
NTS



SCALE: 1" = 60'
SHEET SIZE: 24" BY 36"

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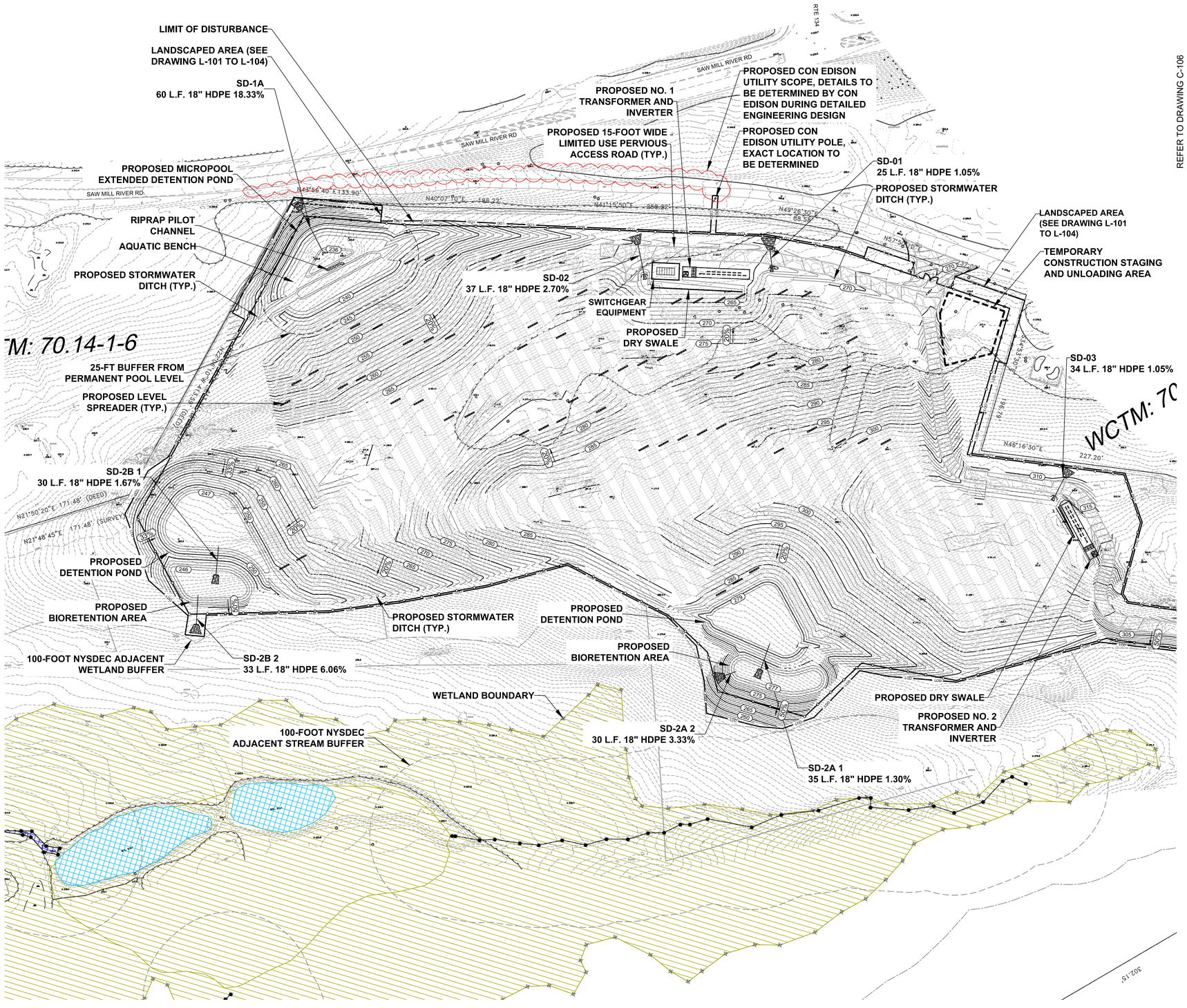
Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: SITE PLAN - NORTH
Drawing No: C-104



REFER TO DRAWING C-106

LEGEND:

- EXISTING MAJOR CONTOUR (FEET)
- EXISTING MINOR CONTOUR (FEET)
- PARCEL LINE
- LIMIT OF DISTURBANCE
- PROPOSED PERIMETER FENCE
- PROPOSED MAJOR CONTOUR (FEET)
- PROPOSED MINOR CONTOUR (FEET)
- 100-FOOT NYSDEC ADJACENT AREA
- 50-FOOT NYSDEC ADJACENT STREAM BUFFER
- 100-FOOT NYSDEC ADJACENT STREAM BUFFER
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- DELINEATED WETLAND
- DELINEATED SURFACE WATER
- 15' WIDE ACCESS ROAD

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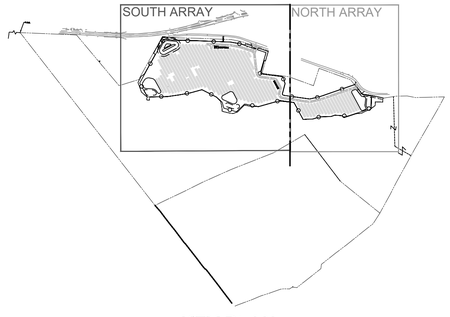
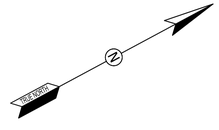
   - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE - ACI 318-14



KEY PLAN
NTS



0 60' 120'
SCALE: 1" = 60'
SHEET SIZE: 24" BY 36"

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DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302

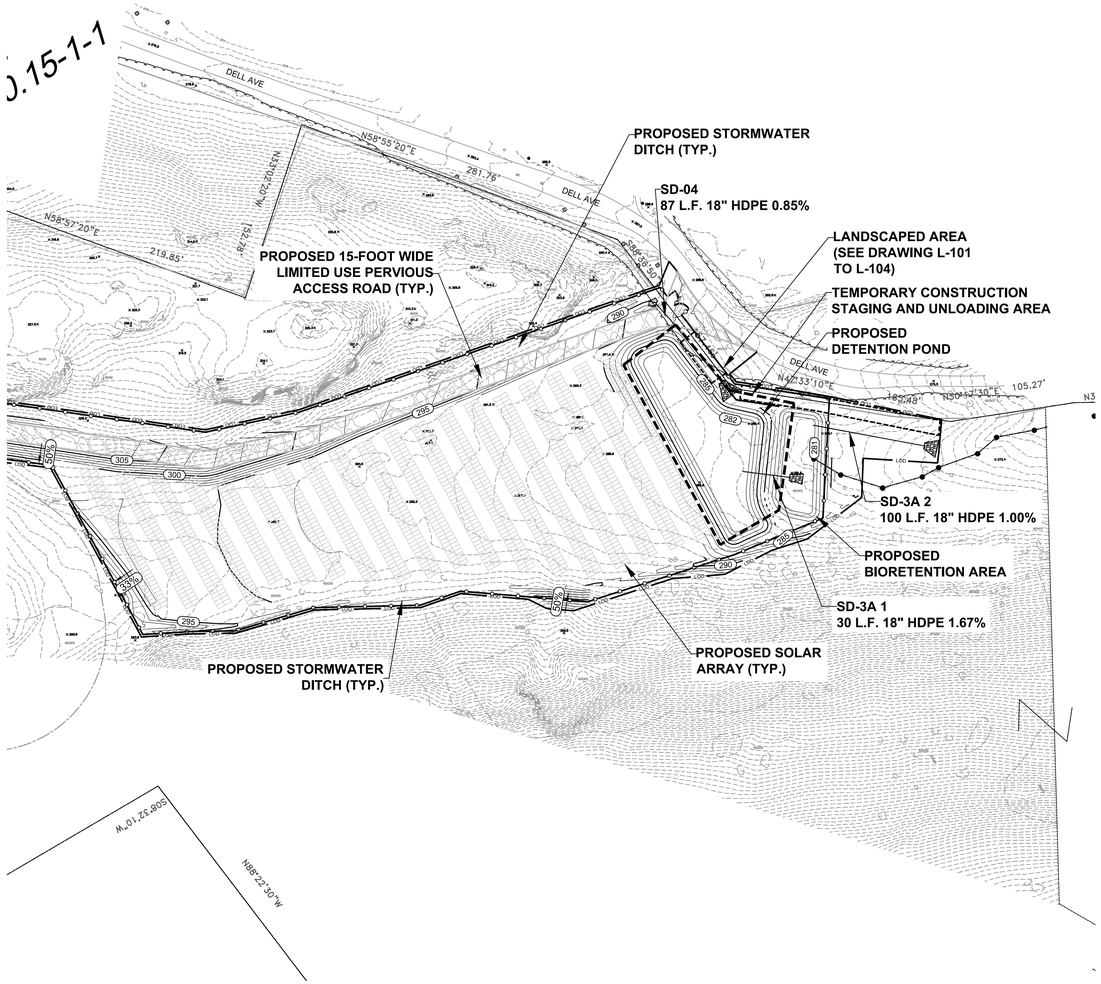
Scale: AS SHOWN

Date: SEPTEMBER 21, 2022

Sheet: GRADING PLAN - SOUTH

Drawing No: C-105

REFER TO DRAWING C-105



LEGEND:

- EXISTING MAJOR CONTOUR (FEET)
- EXISTING MINOR CONTOUR (FEET)
- PARCEL LINE
- LIMIT OF DISTURBANCE
- PROPOSED PERIMETER FENCE
- PROPOSED MAJOR CONTOUR (FEET)
- PROPOSED MINOR CONTOUR (FEET)
- 100-FOOT NYSDEC ADJACENT AREA
- 50-FOOT NYSDEC ADJACENT STREAM BUFFER
- 100-FOOT NYSDEC ADJACENT STREAM BUFFER
- STONE WALL
- TREE LINE
- TRAIL
- ROCKS
- DELINEATED STREAM LINE
- DELINEATED WETLAND
- DELINEATED SURFACE WATER
- 15' WIDE ACCESS ROAD

MAP REFERENCES:

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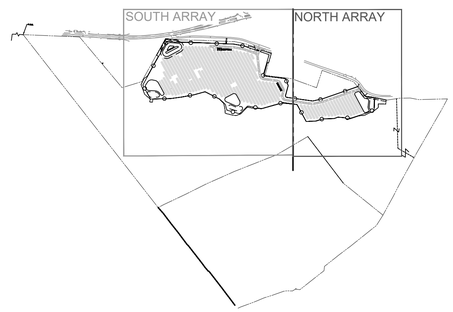
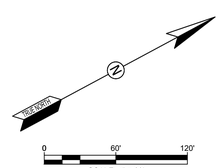
   - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE - ACI 318-14



KEY PLAN
NTS



SCALE: 1" = 60'
SHEET SIZE: 24" BY 36"

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Revisions:	
No.	Date:

Drawn by: A. REXROAT

Checked by: S. MEERSMA

Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

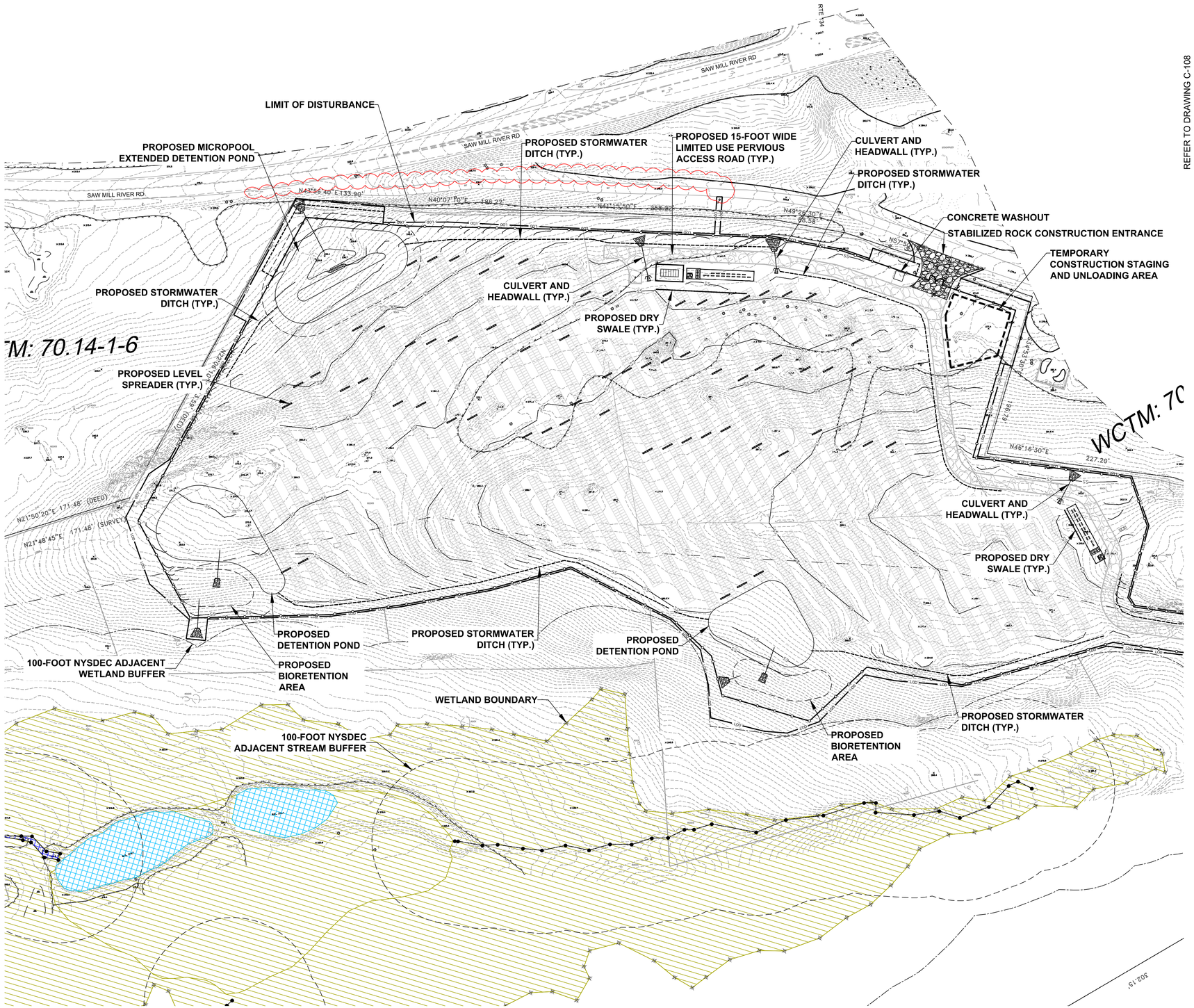
Contract No: 431302

Scale: AS SHOWN

Date: SEPTEMBER 21, 2022

Sheet: GRADING PLAN - NORTH

Drawing No: C-106



REFER TO DRAWING C-108

LEGEND:

- EXISTING MAJOR CONTOUR (FEET) — 420
- EXISTING MINOR CONTOUR (FEET) — 418
- PARCEL LINE
- LIMIT OF DISTURBANCE — LOD — LOD
- PROPOSED PERIMETER FENCE
- 100-FOOT NYSDEC ADJACENT AREA
- 50-FOOT NYSDEC ADJACENT STREAM BUFFER
- 100-FOOT NYSDEC ADJACENT STREAM BUFFER
- STONE WALL
- TREE LINE
- TRAIL
- ROCKS — ROCK
- DELINEATED STREAM LINE
- DELINEATED WETLAND
- DELINEATED SURFACE WATER
- 15' WIDE ACCESS ROAD
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY CONSTRUCTION STAGING AREA
- COMPOST FILTER SOCK — SF

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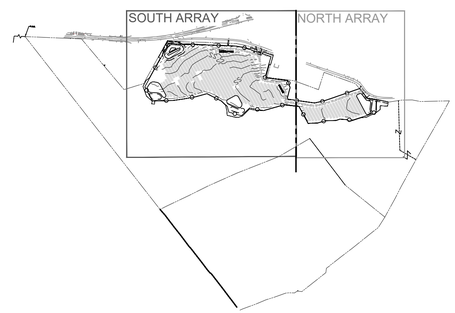
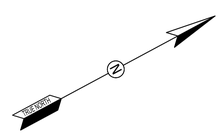


KEY PLAN
NTS



0 60' 120'
SCALE: 1" = 60'
SHEET SIZE: 24" BY 36"

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STATE OF NEW YORK | 090614 | STEVEN DONALD MEERSMA | LICENSED PROFESSIONAL ENGINEER

Revisions:	
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SCS DELL 014136 YORKTOWN, LLC
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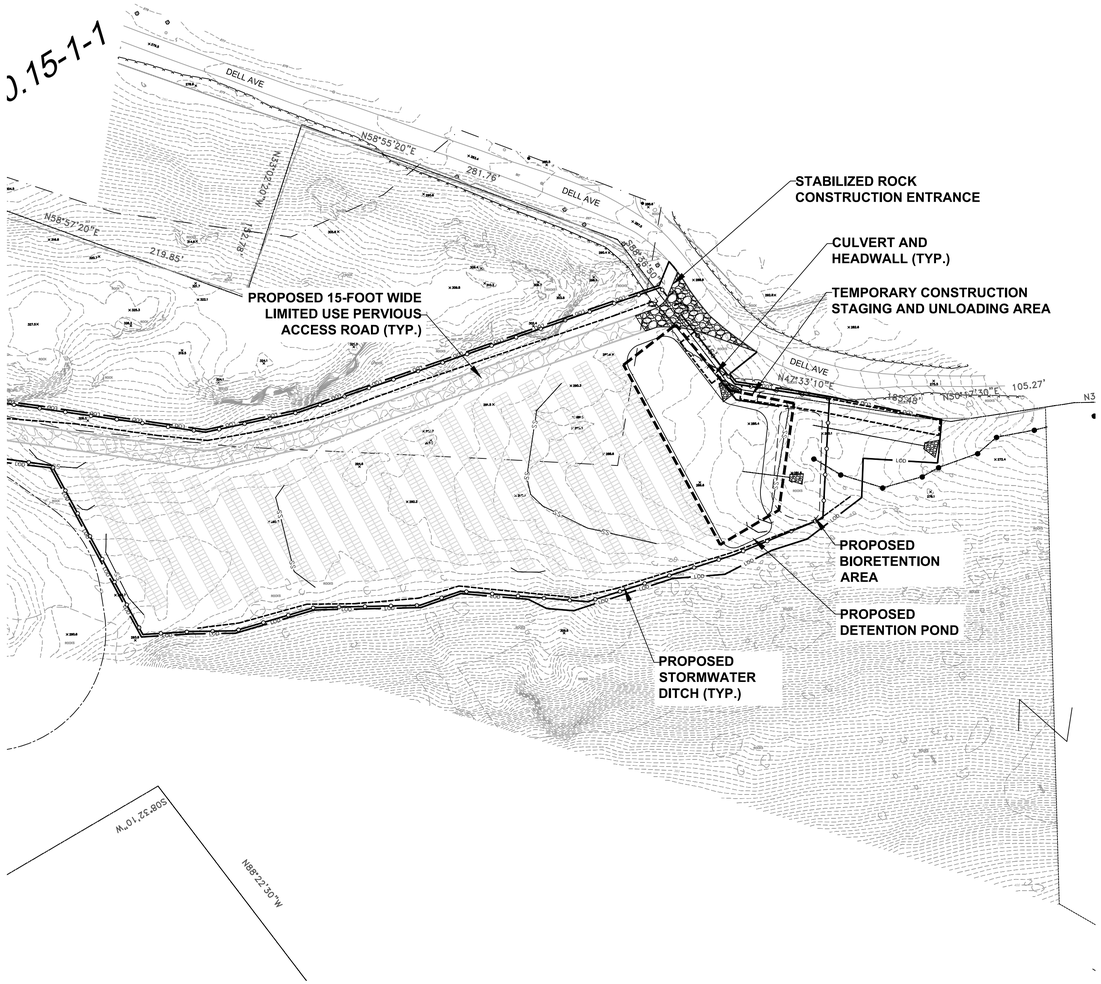
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: E&SC PLAN - SOUTH
Drawing No: C-107

REFER TO DRAWING C-107



LEGEND:

- EXISTING MAJOR CONTOUR (FEET) (420)
- EXISTING MINOR CONTOUR (FEET) (418)
- PARCEL LINE
- LIMIT OF DISTURBANCE (LOD)
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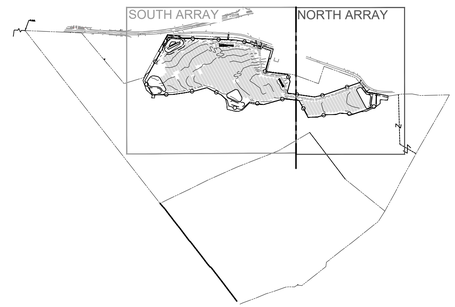
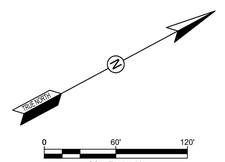


KEY PLAN
NTS



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Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: E&SC PLAN - NORTH
Drawing No: C-108

TYPICAL 15-FOOT-WIDE VISUAL MITIGATION PLANTINGS WITH NATIVE EVERGREENS

TYPICAL 15-FOOT-WIDE VISUAL MITIGATION PLANTINGS WITH NATIVE EVERGREEN TREES

VM1
E:689442.5172
N:867025.6424

VM1
E:689496.3927
N:867107.7535

VM1
TYPE A

VM1
E:689489.5216
N:866952.6692

SAW MILL RIVER RD

MICROPOOL EXTENDED DETENTION BASIN

STORMWATER BASIN

BIORETENTION AREA

DELL AVE SOLAR FARM PANEL ARRAY

STORMWATER BASIN

BIORETENTION AREA

VM2
E:689813.3783
N:867605.0219

VM2
E:689857.7105
N:867646.1304

VM2
TYPE A

VM3
E:689895.7809
N:867681.4667

VM3
TYPE A

VM3
E:689955.7688
N:867737.0893

VM3
E:690007.9618
N:867685.9175

ACCESS DRIVE

MATCH SHEET L-102

LOD

15.00

1.00

LEGEND

PROPOSED LANDSCAPING FEATURES

VISUAL MITIGATION TYPE A: VM-1, VM-2, AND VM-3

LANDSCAPING NOTES:

1. SEE LANDSCAPE NOTES & DETAILS SHEETS L-103 TO L-104 FOR GENERAL LANDSCAPE AND SEEDING NOTES; SOLAR SEED MIX; PLANTING DETAILS, TEMPLATES, AND SCHEDULES; AND COORDINATE VEGETATIVE BUFFER / SCREENING MITIGATION TABLES.

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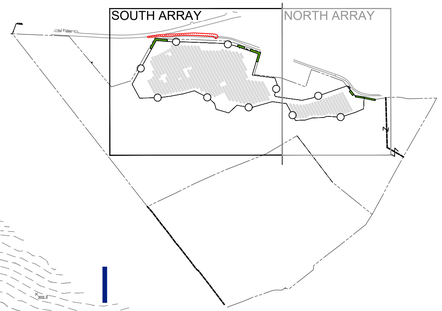

KEY PLAN
NTS

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- DELINEATED STREAM LINE
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- DELINEATED SURFACE WATER
- 15' WIDE ACCESS ROAD

0 50' 100'
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SHEET SIZE: 24" BY 36"

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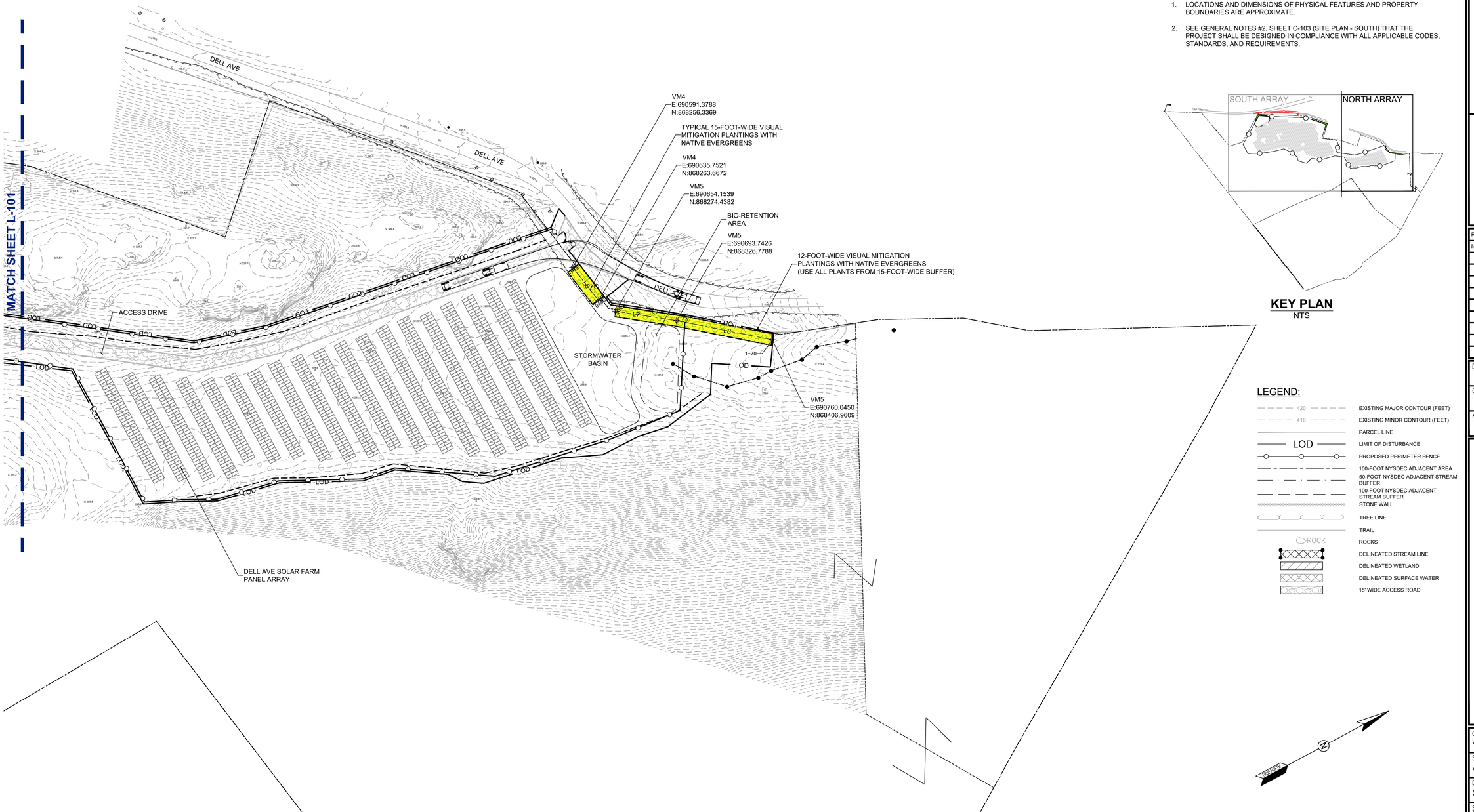
Contract No: 431302

Scale: AS SHOWN

Date: SEPTEMBER 21, 2022

Sheet: LANDSCAPE PLAN SOUTH

Drawing No: L-101



LEGEND

PROPOSED LANDSCAPING FEATURES

VISUAL MITIGATION TYPE A: VM-4

LANDSCAPING NOTES:

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Sheet: LANDSCAPE PLAN NORTH

Drawing No: L-102

GENERAL LANDSCAPE AND SEEDING NOTES

1. THE LANDSCAPE PLAN AND DETAILS ARE FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE LAYOUT PLAN, GRADING PLAN AND/OR UTILITIES PLAN FOR ALL OTHER INFORMATION.

2. THE CONTRACTOR SHALL MONITOR AND GUARANTEE THAT ALL PLANTS, TREES, AND SHRUBS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF (1) ONE YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE INVASIVE SPECIES MONITORING, REMOVAL, AND SUPPLEMENTATION. MONITORING OF THE PROJECT SITE SHALL OCCUR IN THE SPRING AND THE FALL TO DETERMINE THE PRESENCE OF INVASIVE SPECIES. SHOULD ANY INVASIVE SPECIES BE IDENTIFIED WITHIN THE PROJECT SITE, THE INVASIVE SPECIES SHALL BE REMOVED ACCORDING TO METHODS MOST LIKELY TO BE EFFECTIVE IN CONTROLLING THAT SPECIES AND SUPPLEMENTING ITS REPLACEMENT WITH APPROPRIATE VEGETATION AND SEED MIX IDENTIFIED (AND APPROVED) ON THIS PLAN AND/OR AN APPROVED EQUAL. ADDITIONAL MAINTENANCE RESPONSIBILITIES INCLUDE: APPROVED CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING OF TREE STRAP GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE. WATERING OF THE LANDSCAPE BUFFER AREAS SHALL BE IMPLEMENTED BY THE USE OF A WATERING TRUCK.

3. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, APPROVED SEEDING MIX, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWING(S) AND LISTED IN THE PLANT SCHEDULE(S) AND/OR SEEDING TABLE(S). IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND/OR SEEDING TABLE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF (2) TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT.

4. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, AND SITE FACTORS SUCH AS THE LOCATION OF ROCK OUTCROPS. PRIOR TO PLANTING THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS. THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT SHALL APPROVE THE FIELD LOCATIONS OR ADJUSTMENTS OF THE PLANT MATERIAL.

5. ALL SHRUB MASSING AREAS SHALL BE MULCHED TO A DEPTH OF 2" WITH SHREDDED HARDWOOD BARK MULCH.

6. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE CONTRACTOR. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT. STAKING OF THE INSTALLED TREE MUST BE COMPLETED THE SAME DAY AS IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED AS PER THE DETAIL. SEE LANDSCAPING PLAN(S) FOR PLANTING DETAILS.

7. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING AND/OR UTILITY PLANS FOR STORM, SANITARY, GAS, ELECTRIC, TELEPHONE AND WATER LINES. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.

8. LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED UNLESS RECOMMENDED OTHERWISE BY SOIL ANALYSIS.

   PLANTING SOIL MIXTURE:
   2 PARTS PEAT MOSS
   5 PARTS TOPSOIL
   MYCORRHIZA INOCULANT - "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR APPROVED EQUAL. USE PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS. FERTILIZER/LIME APPLY AS RECOMMENDED BY SOIL ANALYSIS

- TREES, AND SHRUBS: TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCATION OF THE PROJECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY AND WELL-DEVELOPED ROOT SYSTEMS. ALL TREES SHALL HAVE STRAIGHT SINGLE TRUNKS WITH THEIR MAIN LEADER INTACT. THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, LANDSCAPE ARCHITECT SHALL ONLY PERMIT SUBSTITUTIONS UPON WRITTEN APPROVAL. THEIR SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED ON THE DRAWINGS MAY BE USED IF APPROVED. THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL TREES AND SHRUBS SHALL BE MULCHED IN ACCORDANCE WITH THE RESPECTIVE PLANTING DETAIL(S) PROVIDED IN THE LANDSCAPING PLAN.
- ALL PRUNING SHALL CONFORM TO THE TREE CARE INDUSTRY ASSOCIATION (TCIA) ANSI A300 (PART 1) - 2017 PRUNING STANDARDS. PRUNING STANDARDS SHALL RECOGNIZE BUT, ARE NOT LIMITED TO, THE FOLLOWING PRUNING OBJECTIVES: MANAGE RISK, MANAGE HEALTH, DEVELOP STRUCTURE, PROVIDE CLEARANCE, MANAGE SIZE OR SHAPE, IMPROVE AESTHETICS, MANAGE PRODUCTION OF FRUIT, FLOWERS, OR OTHER PRODUCTS, AND/OR MANAGE WILDLIFE HABITAT. DEVELOPING STRUCTURE SHALL IMPROVE BRANCH AND TRUNK ARCHITECTURE, PROMOTE OR SUBORDINATE CERTAIN LEADERS, STEMS, OR BRANCHES; PROMOTE DESIRABLE BRANCH SPACING; PROMOTE OR DISCOURAGE GROWTH IN A PARTICULAR DIRECTION (DIRECTIONAL PRUNING); MINIMIZE FUTURE INTERFERENCE WITH TRAFFIC, LINES OF SIGHT, INFRASTRUCTURE, OR OTHER PLANTS; RESTORE PLANTS FOLLOWING DAMAGE; AND/OR REJUVENATE SHRUBS. PROVIDING CLEARANCE SHALL ENSURE SAFE AND RELIABLE UTILITY SERVICES; MINIMIZE CURRENT INTERFERENCE WITH TRAFFIC, LINES OF SITE, INFRASTRUCTURE, OR OTHER PLANTS; RAISE CROWN(S) FOR MOVEMENT OF TRAFFIC OR LIGHT PENETRATION; ENSURE LINES OF SIGHT OR DESIRED VIEWS; PROVIDE ACCESS TO SITES, BUILDINGS, OR OTHER STRUCTURES; AND/OR COMPLY WITH REGULATIONS.
- TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4 INCHES. CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE PH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL EXTENSION OFFICE OF USDA TO THE OWNER, CERTIFIED LANDSCAPE INSPECTOR, OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FROM THE TOPSOIL TEST.
- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS/GRASSES AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL APPLICABLE STANDARDS, REQUIREMENTS, AND/OR REGULATIONS.
- ALL SLOPES GREATER THAN 3:1 RECEIVING A WILDFLOWER, WETLAND, AND/OR GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
- ALL WILDFLOWERS AND GRASSES SOWED SHALL BE ALLOWED TO GROW TO THEIR NATURALLY OCCURRING HEIGHTS WHENEVER POSSIBLE. NATIVE WILDFLOWERS AND/OR GRASSES CAN BE MOWED/MAINTAINED (WITHIN ACCEPTABLE AREAS IDENTIFIED AND/OR APPROVED BY APPROPRIATE REGULATORY AGENCIES) AS OFTEN AS NEEDED TO KEEP THE VEGETATION AT A DESIRED AND/OR MANAGEABLE/MANICURED HEIGHT.

9. NON-NATIVE PLANT SPECIES SHALL NOT TOTAL MORE THAN 50% OF ALL PLANTINGS. INVASIVE SPECIES SHALL NOT BE PERMITTED.

10. PLANT MATERIALS SHALL NOT INCLUDE MORE THAN 25% OF ANY SINGLE SPECIES. THE PLANTINGS SHALL INCLUDE A MIX OF EVERGREEN AND DECIDUOUS TREES, UNDERSTORY TREES, SHRUBS, AND FLOWERING HERBACEOUS LAYER.

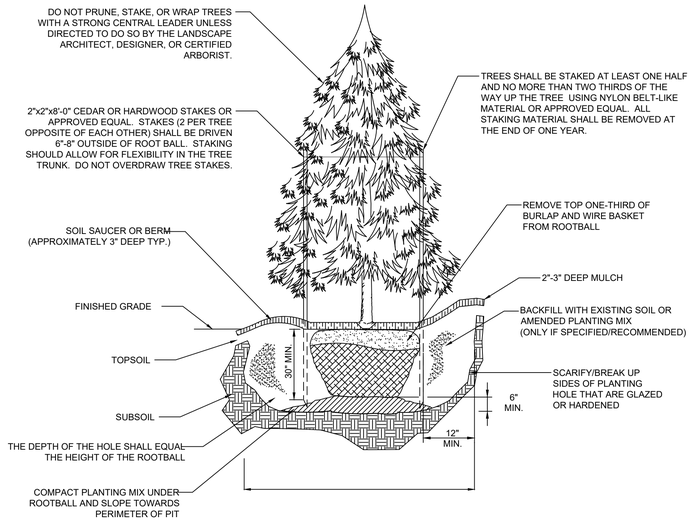
11. ALL PLANT MATERIAL SHALL CONFORM TO THE PLAN SIZE SPECIFICATIONS AS ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK LATEST EDITION.

LEGEND - OVERALL PLANTING TOTALS

LANDSCAPE PLANTING SCHEDULE — VISUAL MITIGATION PLANTING TEMPLATE TYPES A

EVERGREEN TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	25	5'-6' HT.	B&B	40'-50' HT.
PG	PICEA GLAUCA WHITE SPRUCE	28	5'-6' HT.	B&B	40'-60' HT.
TO	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	15	5'-6' HT.	B&B	40'-50' HT.



EVERGREEN TREE PLANTING DETAIL

N.T.S.

FLOWERING HERBACEOUS LAYER/NORTHEAST NATIVE POLLINATOR SEED MIXES

ERNST CONSERVATION SEEDS: FUZZ & BUZZ MIX - STANDARD - ERNMX-146

MIX CONCENTRATION	BOTANICAL NAME	COMMON NAME	RATE (LBS/ACRE)	RATE (LBS/1000 FT²)
26.40%	LOLIUM PERENNE, 'CRAVE' TETRAPLOID	PERENNIAL RYEGRASS, 'CRAVE', TETRAPLOID	40	.92
20.80%	DACTYLIS GLOMERATA, 'PENNLATE'	ORCHARDGRASS, 'PENNLATE'		
18.90%	POA PRATENSIS, 'GINGER'	KENTUCKY BLUEGRASS, 'GINGER' (PASTURE TYPE)		
17.00%	FESTUCA ELATIOR X LOLIUM PERENNE, DUO	FESTULOLIUM, 'DUO'		
5.70%	TRIFOLIUM HYBRIDUM	ALSIKE CLOVER		
4.80%	TRIFOLIUM PRATENSE, MEDIUM, VARIETY NOT STATED	RED CLOVER, MEDIUM, VARIETY NOT STATED		
2.00%	LOTUS CORNICULATUS, 'LEO'	BIRD'S FOOT TREFOIL, 'LEO'		
1.30%	CICHORIUM INTYBUS	BLUE CHICORY		
1.00%	CHRYSANTHEMUM LEUCANTHEMUM	OXEYE DAISY		
0.90%	COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS		
0.80%	CHAMAECRISTA FASCICULATA, PA ECOTYPE	PARTRIDGE PEA, PA ECOTYPE		
0.40%	SOLIDAGO NEMORALIS, PA ECOTYPE	GRAY GOLDENROD, PA ECOTYPE		
SEEDING RATE: EXPECT TO APPLY ABOUT 40 LBS PER ACRE WITH A COVER CROP OF ANNUAL RYEGRASS 12 LBS/ACRE				

NOTE:

NATIVE POLLINATOR SEED MIXES ARE INTENDED TO PROVIDE A EXCELLENT WILDLIFE FOOD AND SHELTER THAT WILL ATTRACT A VARIETY OF POLLINATORS AND SONGBIRDS. THE NATIVE WILDFLOWERS AND GRASSES IN THIS MIX PROVIDE AN ATTRACTIVE DISPLAY OF COLOR FROM SPRING TO FALL. POLLINATOR SEED MIXES ARE INTENDED TO PROVIDE NECTAR AND FOOD SOURCES FOR A VARIETY OF POLLINATORS AND LARVA. THESE MIXES ARE COMPRISED OF A FAIRLY EVEN MIX OF NATIVE AND/OR INDIGENOUS WILDFLOWERS AND GRASSES. THE POLLINATOR SEED MIX IS INTENDED TO BE SOWN INSIDE OF THE SOLAR ARRAY FIELD AND ADJACENT TO THE PERIMETER FENCE.

0 1' 2'
SCALE: 1" = 1'
SHEET SIZE: 24" BY 36"

NOTE: THESE PLANS ARE ACCOMPANIED BY SUPPLEMENTAL DOCUMENTS. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR LOCAL APPROVAL PURPOSES ONLY. NOT FOR CONSTRUCTION

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Revisions:

No.	Date:

Drawn by: A. REXROAT

Checked by: S. MEERSMA

Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302

Scale: AS SHOWN

Date: SEPTEMBER 21, 2022

Sheet: LANDSCAPE NOTES & DETAILS

Drawing No: L-103

VISUAL MITIGATION PLANTING TEMPLATE - TYPE A

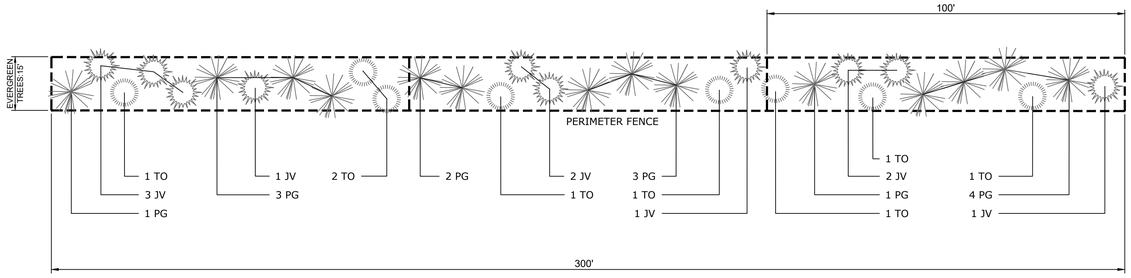
N.T.S.

LEGEND

VISUAL MITIGATION PLANTING TYPE "A":

BUFFER TYPE "A" NOTE:

1. SEE GENERAL SEEDING AND LANDSCAPE NOTES FOR ADDITIONAL PLANTING REQUIREMENTS AND SEED MIXTURES.
2. THE 15-FOOT-WIDE PROPOSED BUFFER TYPE "A" WILL BE A MIX OF NATIVE EVERGREEN TREES ARRANGED TO FORM A NATURAL APPEARANCE AND CONTINUOUS SOLID SCREEN. SEE THE PLANTING TEMPLATE FOR ARRANGE OF PLANTS AND THE PLANT SCHEDULES FOR TYPE AND SIZE.
3. THE PROPOSED BUFFER TREATMENT MEETS THE GENERAL LANDSCAPING REQUIREMENTS PER THE TOWN OF YORKTOWN CODE FOR SOLAR POWER GENERATION SYSTEM AND FACILITIES SECTION 300-81.4 - E. (3) (E).
   - A GROUND MOUNTED SOLAR ENERGY SYSTEM SHALL BE FULLY SCREENED FROM ADJACENT RESIDENTIAL PROPERTIES, STREETS OR ROADS ON WHICH IT FRONT OR IS VISIBLE FROM, AND ANY OTHER VIEWS WHICH THE PLANNING BOARD DETERMINES IS NECESSARY.
4. THIS BUFFER IS LOCATED ALONG THE FOLLOWING:
   - ALONG PUBLIC ROAD FRONTAGE/STREET RIGHT-OF-WAY
   - FACING A RESIDENTIAL PROPERTY
5. SEE SHEET L103 FOR PLANT MATERIAL TOTALS



LEGEND

VISUAL MITIGATION PLANTING TEMPLATE - TYPE A

LANDSCAPE PLANTING SCHEDULE (15' EVERGREEN VISUAL BUFFER/SCREENING EFFORT)

DECIDUOUS AND EVERGREEN TREES

JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	10	5'-6' HT.	B&B	40'-50' HT.
PG	PICEA GLAUCA WHITE SPRUCE	14	5'-6' HT.	B&B	40'-60' HT.
TO	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	8	5'-6' HT.	B&B	40'-50' HT.

VISUAL MITIGATION PLANTING SCHEDULE & COORDINATE TABLES - TYPE A

LEGEND - VM1

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A

TOTAL MITIGATION LENGTH = 185 LF

EVERGREEN TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	6	5'-6' HT.	B&B	40'-50' HT.
PG	PICEA GLAUCA WHITE SPRUCE	9	5'-6' HT.	B&B	40'-60' HT.
TO	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	5	5'-6' HT.	B&B	40'-50' HT.

VM1 - COORDINATES

VM1 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE					
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING
L1	TYPE A	87	N32° 47' 12.82"W	E:689489.5216, N:866952.6692	E:689442.5172, N:867025.6424
L2	TYPE A	98	N33° 16' 12.18"E	E:689442.5172, N:867025.6424	E:689496.3927, N:867107.7535

LEGEND - VM2

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A

TOTAL MITIGATION LENGTH = 60 LF

EVERGREEN TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	4	5'-6' HT.	B&B	40'-50' HT.
PG	PICEA GLAUCA WHITE SPRUCE	2	5'-6' HT.	B&B	40'-60' HT.
TO	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	1	5'-6' HT.	B&B	40'-50' HT.

VM2 - COORDINATES

VM2 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE					
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING
L3	TYPE A	60	N47° 09' 38.69"E	E:689813.3783, N:867605.0219	E:689857.7105, N:867646.1304

LEGEND - VM3

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A

TOTAL MITIGATION LENGTH = 155 LF

EVERGREEN TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	6	5'-6' HT.	B&B	40'-50' HT.
PG	PICEA GLAUCA WHITE SPRUCE	7	5'-6' HT.	B&B	40'-60' HT.
TO	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	4	5'-6' HT.	B&B	40'-50' HT.

VM3 - COORDINATES

VM3 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE					
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING
L4	TYPE A	82	N47° 09' 44.78"E	E:689895.7809, N:867681.4667	E:689955.7688, N:867737.0893
L5	TYPE A	73	S45° 33' 57.82"E	E:689955.7688, N:867737.0893	E:690007.9618, N:867685.9175

LEGEND - VM4

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A

TOTAL MITIGATION LENGTH = 45 LF

EVERGREEN TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	3	5'-6' HT.	B&B	40'-50' HT.
PG	PICEA GLAUCA WHITE SPRUCE	2	5'-6' HT.	B&B	40'-60' HT.
TO	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	1	5'-6' HT.	B&B	40'-50' HT.

VM4 - COORDINATES

VM4 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE					
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING
L6	TYPE A	45	N80° 37' 10.92"E	E:690591.3788, N:868256.3369	E:690635.7521, N:868263.6672

LEGEND - VM5

LANDSCAPE PLANTING SCHEDULE

PLANTING TEMPLATE TYPE A

TOTAL MITIGATION LENGTH = 170 LF

EVERGREEN TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT	MATURE HEIGHT
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	6	5'-6' HT.	B&B	40'-50' HT.
PG	PICEA GLAUCA WHITE SPRUCE	8	5'-6' HT.	B&B	40'-60' HT.
TO	THUJA OCCIDENTALIS NORTHERN WHITE CEDAR	4	5'-6' HT.	B&B	40'-50' HT.

VM5 - COORDINATES

VM5 - VEGETATIVE BUFFER / SCREEN MITIGATION TABLE					
NUMBER	MITIGATION TYPE	LENGTH	LINE/CHORD DIRECTION	START EASTING, NORTHING	END EASTING, NORTHING
L7	TYPE A	66	N37° 06' 09.33"E	E:690654.1539, N:868274.4382	E:690693.7426, N:868326.7788
L8	TYPE A	104	N39° 35' 14.14"E	E:690693.7426, N:868326.7788	E:690760.0450, N:868406.9609

0 1' 2'

SCALE: 1" = 1'
SHEET SIZE: 24" BY 36"

NOTE: THESE PLANS ARE ACCOMPANIED BY SUPPLEMENTAL DOCUMENTS. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR LOCAL APPROVAL PURPOSES ONLY.

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DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302

Scale: AS SHOWN

Date: SEPTEMBER 21, 2022

Sheet: LANDSCAPE PLANTING TEMPLATE, SCHEDULES, & COORDINATE POINTS

Drawing No: L-104

GENERAL NOTES:

1. USE OF THIS DETAIL/CRITERION IS LIMITED TO ACCESS ROADS USED ON AN OCCASIONAL BASIS ONLY (I.E. PROVIDE ACCESS FOR MOWING, EQUIPMENT REPAIR OR MAINTENANCE, ETC.).
2. LIMITED USE PERVIOUS ACCESS ROAD IS LIMITED TO LOW IMPACT IRREGULAR MAINTENANCE ACCESS ASSOCIATED WITH RENEWABLE ENERGY PROJECTS IN NEW YORK STATE.
3. REMOVE STUMPS, ROCKS AND DEBRIS AS NECESSARY. FILL VOIDS TO MATCH EXISTING NATIVE SOILS AND COMPACTION LEVEL.
4. REMOVED TOPSOIL MAY BE SPREAD IN ADJACENT AREAS AS DIRECTED BY THE PROJECT ENGINEER. COMPACT TO THE DEGREE OF THE NATIVE INSITU SOIL. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
5. GRADE ROADWAY, WHERE NECESSARY, TO NATIVE SOIL AND DESIRED ELEVATION. MINOR GRADING FOR CROSS SLOPE CUT AND FILL MAY BE REQUIRED.
6. REMOVE REFUSE SOILS AS DIRECTED BY THE PROJECT ENGINEER. DO NOT PLACE IN AN AREA THAT IMPEDES STORMWATER DRAINAGE.
7. ROADWAY WIDTH ABOVE MINIMUM TO BE DETERMINED BY CLIENT.
8. THE LIMITED USE PERVIOUS ACCESS ROAD CROSS SLOPE SHALL BE 2% IN MOST CASES AND SHOULD NOT EXCEED 6%. THE LONGITUDINAL SLOPE OF THE ACCESS DRIVE SHOULD NOT EXCEED 15%.
9. THE LIMITED USE PERVIOUS ACCESS ROAD IS NOT INTENDED TO BE UTILIZED FOR CONSTRUCTION WHICH MAY SUBJECT THE ACCESS TO SEDIMENT TRACKING. THIS SPECIFICATION IS TO BE DEVELOPED FOR POST-CONSTRUCTION USE. SOIL RESTORATION PRACTICES MAY BE APPLICABLE TO RESTORE CONSTRUCTION RELATED COMPACTION TO PRE-EXISTING CONDITIONS AND SHOULD BE VERIFIED BY SOIL PENETROMETER READINGS. THE PENETROMETER READINGS SHALL BE COMPARED TO THE RESPECTIVE RECORDED READINGS TAKEN PRIOR TO CONSTRUCTION, EVERY 100 LINEAR FEET ALONG THE PROPOSED ROADWAY.
10. TO ENSURE THAT SOIL IS NOT TRACKED ONTO THE LIMITED USE PERVIOUS ACCESS ROAD, IT SHALL NOT BE USED BY CONSTRUCTION VEHICLES TRANSPORTING SOIL, FILL MATERIAL, ETC. IF THE LIMITED USE PERVIOUS ACCESS IS COMPLETED DURING THE INITIAL PHASES OF CONSTRUCTION, A STANDARD NEW YORK STATE STABILIZED CONSTRUCTION ACCESS SHALL BE CONSTRUCTED AND UTILIZED TO REMOVE SEDIMENT FROM CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO ENTERING THE LIMITED USE PERVIOUS ACCESS ROAD FROM ANY LOCATION ON, OR OFF SITE. MAINTENANCE OF THE PERVIOUS ACCESS ROAD WILL BE REQUIRED IF SEDIMENT IS OBSERVED WITHIN THE CLEAN STONE.
11. THE LIMITED USE PERVIOUS ACCESS ROAD SHALL NOT BE CONSTRUCTED OR USED UNTIL ALL AREAS SUBJECT TO RUNOFF ONTO THE PERVIOUS ACCESS HAVE ACHIEVED FINAL STABILIZATION.
12. PROJECTS SHOULD AVOID INSTALLATION OF THE LIMITED USE PERVIOUS ACCESS ROAD IN POORLY DRAINED AREAS, HOWEVER IF NO ALTERNATIVE LOCATION IS AVAILABLE, THE PROJECT SHALL UTILIZE WOVEN GEOTEXTILE MATERIAL AS DETAILED IN FOLLOWING NOTES.
13. THE DRAINAGE DITCH IS OFFERED IN THE DETAIL FOR CIRCUMSTANCES WHEN CONCENTRATED FLOW COULD NOT BE AVOIDED. THE INTENTION OF THIS DESIGN IS TO MINIMIZE ALTERATIONS TO HYDROLOGY, HOWEVER WHEN DEALING WITH 5%-15% GRADES NOT PARALLEL TO THE CONTOUR, A ROADSIDE DITCH MAY BE REQUIRED. THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR GRASSED WATERWAYS AND VEGETATED WATERWAYS ARE APPLICABLE FOR SIZING AND STABILIZATION. DIMENSIONS FOR THE GRASSED WATERWAY SPECIFICATION WOULD BE DESIGNED FOR PROJECT SPECIFIC HYDROLOGIC RUNOFF CALCULATIONS, AND A SEPARATE DETAIL FOR THE SPECIFIC GRASSED WATERWAY WOULD BE INCLUDED IN THIS PRACTICE. RUNOFF DISCHARGES WILL BE SUBJECT TO THE OUTLET REQUIREMENTS OF THE REFERENCED STANDARD. INCREASED POST-DEVELOPMENT RUNOFF FROM THE ASSOCIATED ROADSIDE DITCH MAY REQUIRE ADDITIONAL PRACTICES TO ATTENUATE RUNOFF TO PRE-DEVELOPMENT CONDITIONS.
14. IF A ROADSIDE DITCH IS NOT UTILIZED TO CAPTURE RUNOFF FROM THE ACCESS ROAD, THE PERVIOUS ACCESS ROAD WILL HAVE A WELL-ESTABLISHED PERENNIAL VEGETATIVE COVER, WHICH SHALL CONSIST OF UNIFORM VEGETATION (I.E. BUFFER), 20 FEET WIDE AND PARALLEL TO THE DOWN GRADIENT SIDE OF THE ACCESS ROAD. POST-CONSTRUCTION OPERATION AND MAINTENANCE PRACTICES WILL MAINTAIN THIS VEGETATIVE COVER TO ENSURE FINAL STABILIZATION FOR THE LIFE OF THE ACCESS ROAD.
15. THE DESIGN PROFESSIONAL MUST ACCOUNT FOR THE LIMITED USE PERVIOUS ACCESS ROAD IN THEIR SITE ASSESSMENT/HYDROLOGY ANALYSIS. IF THE HYDROLOGY ANALYSIS SHOWS THAT THE HYDROLOGY HAS BEEN ALTERED FROM PRE- TO POST-DEVELOPMENT CONDITIONS (SEE APPENDIX A OF GP-0-20-001 FOR THE DEFINITION OF "ALTER THE HYDROLOGY..."), THE DESIGN MUST INCLUDE THE NECESSARY DETENTION/RETENTION PRACTICES TO ATTENUATE THE RATES (10 AND 100 YEAR EVENTS) TO PRE-DEVELOPMENT CONDITIONS.

GEOGRID MATERIAL NOTES:

1. THE GEOGRID, OR COMPARABLE PRODUCT, IS INTENDED FOR USE FOR ALL CONDITIONS, IN ORDER TO ASSIST IN MATERIAL SEPARATION FROM NATIVE SOILS AND PRESERVE ACCESS LOADS.
2. GRAVEL FILL MATERIAL SHALL CONSIST OF 1-2" CLEAN, DURABLE, SHARP-ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATIONS OF NYSDOT ITEM 703-02, SIZE DESIGNATION 3-5 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF, AND SPREAD WITH, A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
3. GEOGRID SHALL BE MIRAFI BXG110 OR APPROVED EQUAL. GEOGRID SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
4. IF MORE THAN ONE ROLL WIDTH IS REQUIRED, ROLLS SHOULD OVERLAP A MINIMUM OF NINE INCHES.
5. REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER TYING AND CONNECTIONS.
6. LIMITED USE PERVIOUS ACCESS ROAD SHALL BE TOP DRESSED AS REQUIRED WITH ONLY 1-2" CRUSHED STONE MEETING NYSDOT ITEM 703-02 SPECIFICATIONS.

BASIS OF DESIGN: TENCATE MIRAFI BXG110 GEOGRIDS; 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA;800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM

GEOWEB MATERIAL NOTES:

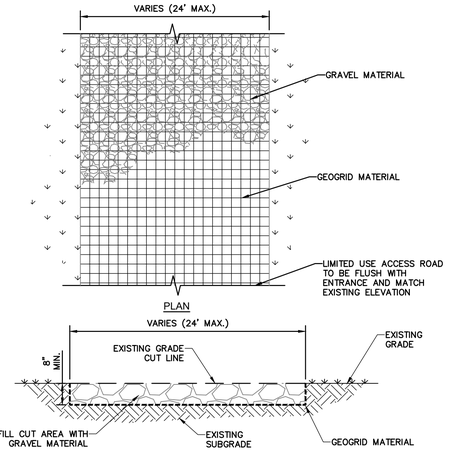
1. THE GEOWEB, OR COMPARABLE PRODUCT, IS SUGGESTED FOR USE ON ROAD PROFILES EXCEEDING 10%. THE GEOWEB PRODUCT IS INTENDED TO LIMIT SHIFTING STONE MATERIAL DURING USE.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. WHERE REQUIRED, A NATIVE SOIL WEDGE SHALL BE PLACED TO ACCOMMODATE ROAD CROSS SLOPE OF 2%. NATIVE SOIL SHALL BE COMPACTED TO MATCH EXISTING SOIL CONDITIONS.
4. GRAVEL FILL MATERIAL SHALL CONSIST OF 1-2" CLEAN, DURABLE, SHARP-ANGLED CRUSHED STONE OF UNIFORM QUALITY, MEETING THE SPECIFICATIONS OF NYSDOT ITEM 703-02, SIZE DESIGNATION 3-5 OF TABLE 703-4. STONE MAY BE PLACED IN FRONT OF, AND SPREAD WITH, A TRACKED VEHICLE. GRAVEL SHALL NOT BE COMPACTED.
5. GEOWEB SYSTEM SHALL BE PRESTO GEOSYSTEM GEOWEB OR APPROVED EQUAL. GEOWEB SHALL BE DESIGNED BASED ON EXISTING SOIL CONDITIONS AND PROPOSED HAUL ROAD SLOPES.
6. LIMITED USE PERVIOUS ACCESS ROAD SHALL BE TOP DRESSED AS REQUIRED WITH ONLY 1-2" CRUSHED STONE, SIZE 3A, MEETING NYSDOT ITEM 703-02 SPECIFICATIONS.
7. THE TOP EDGES OF ADJACENT CELL WALLS SHALL BE FLUSH WHEN CONNECTING. ALIGN THE I-SLOTS FOR INTERLEAF AND END TO END CONNECTIONS. THE GEOWEB PANELS SHALL BE CONNECTED WITH ATRA KEYS AT EACH INTERLEAD AND END TO END CONNECTIONS. REFER TO MANUFACTURER'S SPECIFICATION FOR PROPER INSTALLATION, TYING, ANCHORING, AND CONNECTIONS.

BASIS OF DESIGN: PRESTO GEOSYSTEMS GEOWEB; 670 NORTH PERKINS STREET, APPLETON, WI; 800-548-3424 OR 920-738-1222; INFO@PRESTOGEO.COM; WWW.PRESTOGEO.COM

WOVEN GEOTEXTILE MATERIAL NOTES:

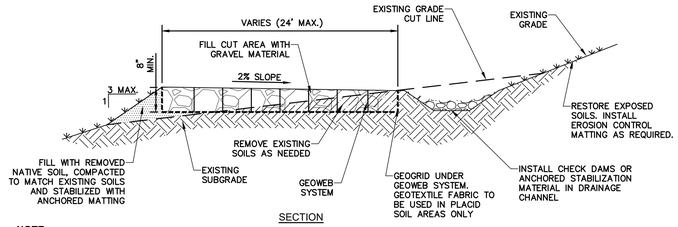
1. SPECIFIED GEOTEXTILE WILL ONLY BE UTILIZED IN PLACID SOILS. PLACID SOILS CONSIST OF POORLY DRAINED SOILS COMPOSED OF FINELY TEXTURED PARTICLES AND ARE PRONE TO RUTTING. PLACID SOILS ARE TYPICALLY PRESENT IN LOW-LYING AREAS WITH HYDROLOGIC SOILS GROUP (HSG) OF C OR D, OR AS SPECIFIED BY AN ENGINEER, ENVIRONMENTAL SCIENTIST, SOIL SCIENTIST, OR GEOTECHNICAL DATA.
2. THE CONCERN FOR POTENTIAL REDUCTION OF NATIVE INFILTRATION RATES DUE TO THE GEOTEXTILE MATERIAL WOULD NOT BE A SIGNIFICANT CONCERN IN POORLY DRAINED SOILS WHERE SEGREGATION OF PERVIOUS STONE AND NATIVE MATERIALS IS CRUCIAL FOR LONG TERM OPERATION AND MAINTENANCE.

BASIS OF DESIGN: TENCATE MIRAFI RSI-SERIES WOVEN GEOSYNTHETICS; 365 SOUTH HOLLAND DRIVE, PENDERGRASS, GA;800-685-9990 OR 706-693-2226; WWW.MIRAFI.COM



LIMITED USE PERVIOUS ACCESS ROAD – 0% TO 10% SLOPES

NOT TO SCALE

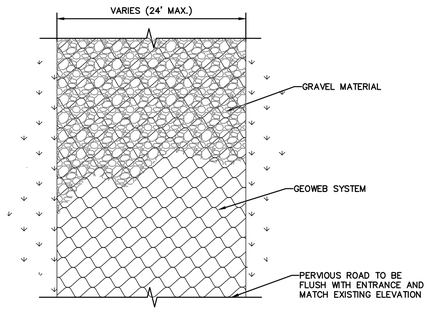


NOTE:

1. THE ROADSIDE DITCH SHALL BE DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS FOR GRASSED AND VEGETATED WATERWAYS. ADDITIONAL DETAILS WILL BE PROVIDED SPECIFIC TO THE SITE DESIGN.

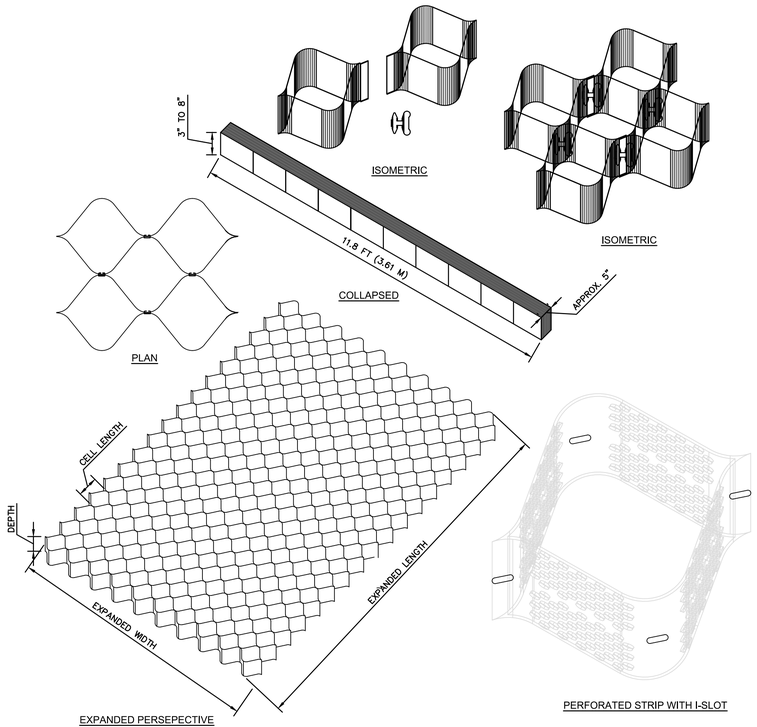
LIMITED USE PERVIOUS ACCESS ROAD – 10% AND GREATER SLOPES WITH DITCH

NOT TO SCALE



LIMITED USE PERVIOUS ACCESS ROAD – 10% AND GREATER SLOPES

NOT TO SCALE



GEOWEB SYSTEM

NOT TO SCALE

NOTE: THESE PLANS ARE ACCOMPANIED BY A SUPPLEMENTAL DOCUMENTS. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR LOCAL APPROVAL PURPOSES ONLY. NOT FOR CONSTRUCTION

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STEVEN MICHAEL MEERSMA — STATE OF NEW YORK — LICENSED PROFESSIONAL ENGINEER

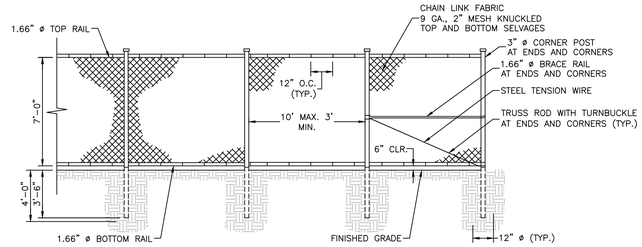
Revisions:

No.	Date:

Drawn by: A. REXROAT
Checked by: S. MEERSMA
Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: JUNE 14, 2022
Sheet: DETAIL SHEET 1
Drawing No: D-101



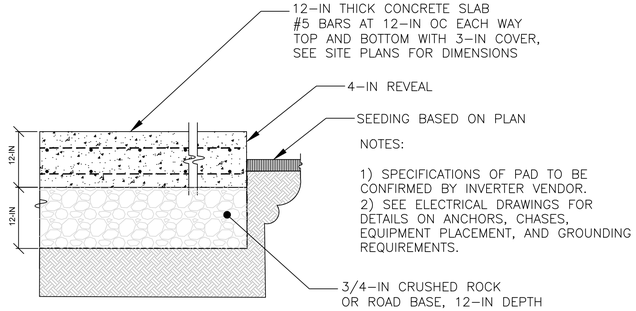
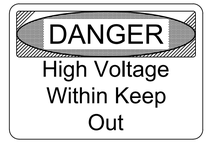


Figure 6.1 Micropool Extended Detention Pond (P-1)



NOTES

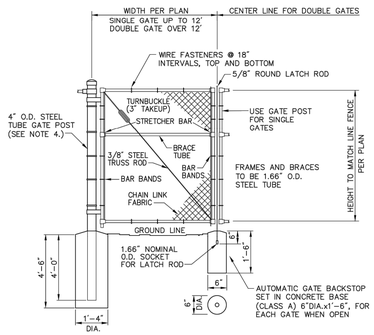
1. SIGNS SHALL CONFORM TO THE 2013 OSHA AND ANSI REQUIREMENTS.
2. SIGNS SHALL BE 20" WIDE BY 14" HIGH.
3. SIGNS SHALL HAVE A MOUNTING HEIGHT OF BETWEEN 45 TO 66 INCHES.
4. SIGN PANELS SHALL BE 10 GAUGE ALUMINUM WITH HIGH VISIBILITY REFLECTIVE SHEETING.
5. MOUNT A SET OF SIGNS NOT MORE THAN EVERY 100 FEET ALONG PERIMETER FENCING.

FENCE WARNING SIGNS
NOT TO SCALE

FENCE INSTALLATION NOTES

- **THE OPENINGS IN THE LINKS SHALL BE A MAXIMUM OF 2"**

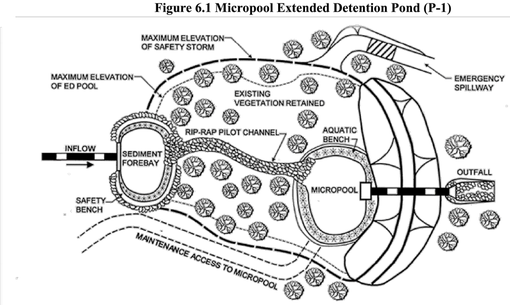
CHAIN LINK FENCE DETAIL
NOT TO SCALE



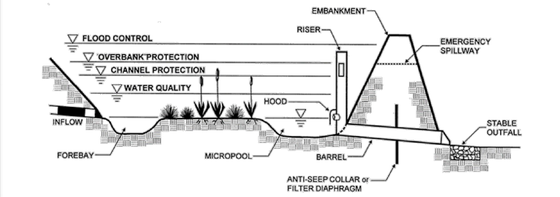
Notes:

1. CHAIN LINK FABRIC FOR GATES TO BE THE SAME AS REQUIRED FOR FENCE.
2. GATE POST BASE–PORTLAND CEMENT CONCRETE (3000 PSI).
3. FENCE FABRIC, POSTS, FRAMEWORKS, AND HARDWARE SHALL BE GALVANIZED STEEL WITH COLORED VINYL COATING, COLOR PER OWNER
4. GATE POSTS TO BE USED ON EACH SIDE OF SINGLE AND DOUBLE GATE OPENINGS.

CHAIN LINK GATE DETAIL
NOT TO SCALE



PLAN VIEW

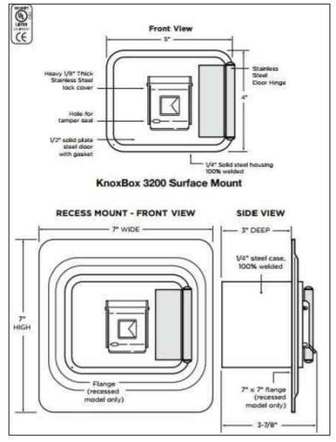


PROFILE

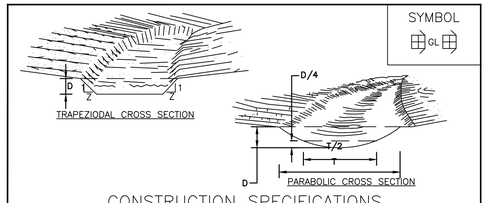
MICROPOOL EXTENDED DETENTION POND
NOT TO SCALE

MICROPOOL – PLANTINGS
1. PLANTINGS WILL BE BASED ON APPENDIX H IN THE NYS STORMWATER DESIGN MANUAL. NATIVE ZONE 1 AND ZONE 2 PLANTINGS ON THE AQUATIC BENCH, BETWEEN APPROXIMATELY ELEVATIONS 237 FT AND 238 FT. NO WOODY PLANTS WILL BE PLANTED IN THE INFLOW SIDE OF THE MICROPOOL. PLANTINGS WILL BE DIVERSE AND RANDOM TO RESEMBLE NATURAL PLANT LAYOUTS.

CONCRETE PAD (ELECTRICAL EQUIP. TYP.)
NOT TO SCALE



KNOX BOX
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

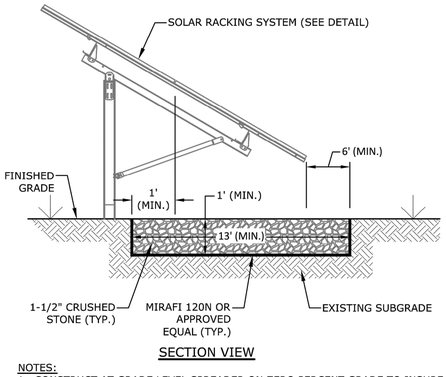
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE WATERWAY.
4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
   A. FOR DESIGN VELOCITIES OF LESS THAN 3.5 FT. PER. SEC., SEEDING AND MULCHING MAY BE USED FOR THE ESTABLISHMENT OF THE VEGETATION. IT IS RECOMMENDED THAT, WHEN CONDITIONS PERMIT, TEMPORARY WATERWAYS OR OTHER MEANS SHOULD BE USED TO PREVENT WATER FROM ENTERING THE WATERWAY DURING THE ESTABLISHMENT OF THE VEGETATION.
   B. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER. SEC., THE WATERWAY SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELSIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.
   C. STRUCTURAL – VEGETATIVE PROTECTION
   SUBSURFACE DRAIN FOR BASE FLOW SHALL BE CONSTRUCTED AS SHOWN ON THE STANDARD DRAWING AND AS SPECIFIED IN THE STANDARD AND SPECIFICATIONS FOR SUBSURFACE DRAIN.

ADAPTED FROM DETAILS PROVIDED BY: USDA – NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	GRASSED WATERWAY

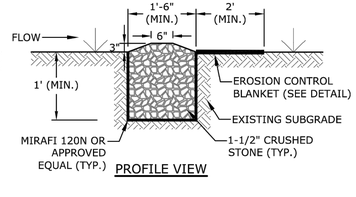
DELL AVENUE
YORKTOWN, NY

SITE OPERATOR: SOL SYSTEMS, LLC.
SITE OPERATOR NUMBER: 202.519.3375

CONTACT PLAQUE
NOT TO SCALE



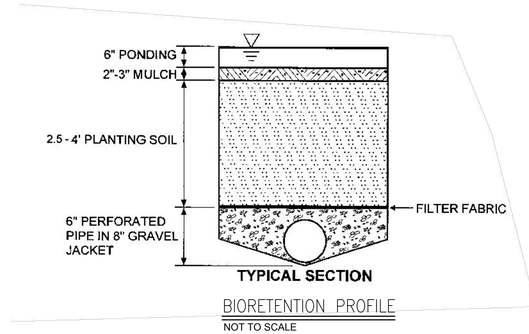
SECTION VIEW



PROFILE VIEW

NOTES:
1. CONSTRUCT AT GRADE LEVEL SPREADER ON ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUNOFF (CONVERTING CHANNEL FLOW TO SHEET FLOW).
2. AT GRADE LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL (NOT ON FILL).
3. STORM RUNOFF CONVERTED TO SHEET FLOW SHALL OUTLET ONTO STABILIZED AREAS. WATER SHALL NOT BE RECONCENTRATED IMMEDIATELY BELOW THE POINT OF DISCHARGE.

LEVEL SPREADER
NOT TO SCALE



BIORETENTION PROFILE
NOT TO SCALE

BIORETENTION – SOIL SPECIFICATIONS
1. SOIL MEDIA COMPOSITION SHALL BE A UNIFORM MIXTURE OF 50% TO 70% SAND (ASTM C–33) AND 50% TO 30% ORGANIC MATERIAL (TOPSOIL) BY VOLUME. THE MEDIA BLEND SHALL CONTAIN SHALL AVERAGE OF 5% ORGANIC MATTER SUCH AS COMPOST OR PEAT, AND BE FREE OF STONES, STUMPS, ROOTS, WOODY MATERIAL OVER 2" IN DIAMETER, ANIMAL WASTE, BRUSH, OR SEEDS FROM NOXIOUS WEEDS.
2. THE SOIL MEDIA SHALL CONTAIN LESS THAN 5% CLAY, HAVE A pH RANGE OF 5.2 TO 7.6, AND A LOW PHOSPHORUS INDEX (BETWEEN 0 AND 25). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED. ONLY COMPOST OR PEAT SHALL BE USED AS A SOIL AMENDMENT TO INCREASE ORGANIC CONTENT AS REQUIRED.
3. THE SOIL MEDIA SHALL BE TESTED FOR TOTAL PHOSPHORUS CONTENT AT A QUALIFIED LABORATORY, ONE THAT IS CERTIFIED BY THE NEW YORK STATE DEPARTMENT OF HEALTH (NYSDOH) ENVIRONMENTAL LABORATORY APPROVAL PROGRAM (ELAP) TO TEST SOIL FOR TOTAL PHOSPHORUS.
4. ACCEPTANCE OF THE SOIL MEDIA SHALL BE BASED UPON THE CONTRACTOR OR SUPPLIER PROVIDING TO THE ENGINEER COPIES OF TESTING RESULTS CERTIFYING THAT THE SAND GRADATION, TOPSOIL GRADATION, ORGANIC MATTER CONTENT, pH, PERMEABILITY, AND TOTAL PHOSPHORUS CONTENT ALL CONFORM TO THE STATED REQUIREMENTS.

BIORETENTION – PLANTINGS
1. PLANTINGS WILL CONSIST OF TWO DIFFERENT ZONES BASED ON APPENDIX H IN THE NYS STORMWATER DESIGN MANUAL. ON THE BOTTOM OF THE BIO–AREA TO APPROXIMATELY 0.75 FT FROM THE BOTTOM, THERE WILL BE NATIVE ZONE 3 PLANTINGS. FROM THE TOP OF ZONE 3 PLANTINGS TO THE EDGE OF THE BIO–AREA GRADING, THERE WILL BE ZONE 5 PLANTINGS. OUTSIDE OF THE BIO–AREA, THERE WILL BE EXISTING VEGETATION COVER ON THE DOWN SLOPE SIDE AND MEADOW GRASSES ON THE UP–SLOPE SIDE. NO WOODY PLANTS WILL BE PLANTED IN THE UP–SLOPE/INFLOW SIDE OF THE BIO–AREA. PLANTINGS WILL BE DIVERSE AND RANDOM TO RESEMBLE NATURAL PLANT LAYOUTS.

NOTE: UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NOTE-THESE PLANS ARE ACCOMPANIED BY SUPPLEMENTAL DOCUMENTS. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR LOCAL APPROVAL PURPOSES ONLY. NOT FOR CONSTRUCTION

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NOTARY PUBLIC, STATE OF NEW YORK
NO. 01ME6359110
QUALIFIED IN NASSAU COUNTY
LICENSED PROFESSIONAL ENGINEER

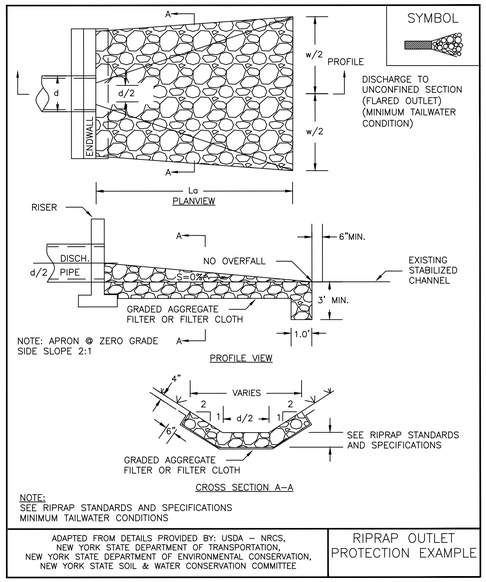
Revisions:

No.	Date:

Drawn by: A. REXROAT
Checked by: S. MEERSMA
Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: SEPTEMBER 21, 2022
Sheet: DETAIL SHEET 2
Drawing No: D-102



NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

RIP RAP OUTLET PROTECTION

NOT TO SCALE

RIPRAP APRON SCHEDULE

ID	LENGTH (FT.)	WIDTH AT DISCHARGE (FT.)	WIDTH AT OUTLET (FT.)	REQ'D RIPRAP DIAMETER (FT.)
SD–01	15	5	19	0.5
SD–02	11	5	16	0.5
SD–03	11	5	15	0.5
SD–04	14	5	18	0.9
SD–1A	11	5	15	0.5
SD–2A 1	11	5	9	0.5
SD–2A 2	11	5	15	0.5
SD–2B 1	11	5	9	0.5
SD–2B 2	11	5	15	0.5
SD–3A 1	11	5	9	0.5
SD–3A 2	11	5	15	0.5

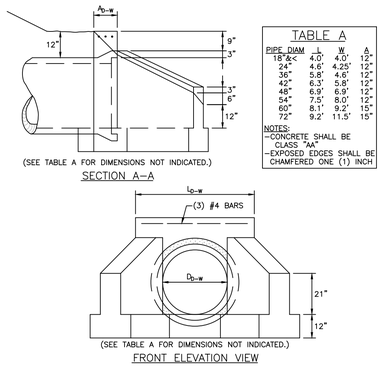


TABLE A

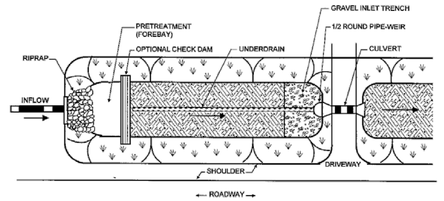
PIPE DIAM	L	W	A
18"<	4.0'	4.0'	12"
24"	4.6'	4.25'	12"
36"	5.8'	4.6'	12"
42"	6.3'	5.8'	12"
48"	6.9'	6.9'	12"
54"	7.5'	8.0'	12"
60"	8.1'	9.2'	15"
72"	9.2'	11.5'	15"

NOTES:
–CONCRETE SHALL BE CLASS "AA".
–EXPOSED EDGES SHALL BE CHAMFERED ONE (1) INCH

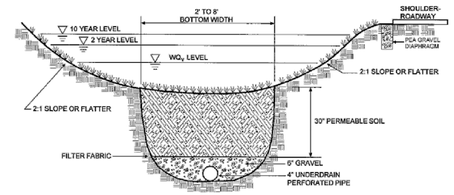
NOTE: ALL ENDWALLS AND HEADWALLS SHALL HAVE A TRASH SCREEN (SEE DETAIL)

ENDWALL AND HEADWALL DETAIL

NOT TO SCALE



PLAN VIEW



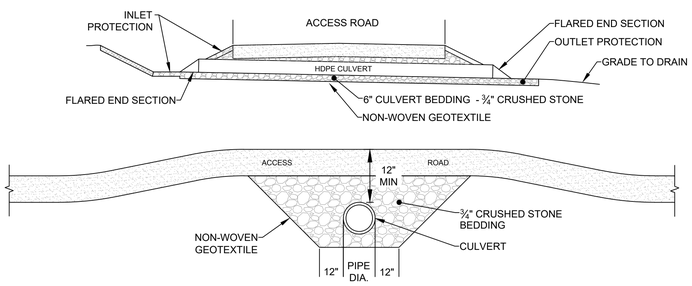
SECTION

NOTES:

1. PERMEABLE SOIL TO MEET REQUIREMENTS IN NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL APPENDIX H.
2. MAINTAIN GRASS HEIGHT OF 4" TO 6" WITHIN DRY SWALE.
3. GRAVEL BEDDING TO CONSIST OF AASHTO NO. 2 STONE.
4. FILTER FABRIC TO BE MIRAFI 140N OR EQUAL.

DRY SWALE SECTION

NOT TO SCALE



CULVERT SCHEDULE

ID	DESCRIPTION	INV. IN	INV. OUT	LENGTH (FT)	SLOPE
SD–01	18" HDPE	263.36	263.10	25	0.01
SD–02	18" HDPE	261.00	260.00	37	0.03
SD–03	18" HDPE	309.00	308.64	34	0.01
SD–04	18" HDPE	287.75	287.01	87	0.01
SD–1A	18" HDPE	236.00	225.00	60	0.18
SD–2A 1	18" HDPE	277.50	277.00	35	0.01
SD–2A 2	18" HDPE	273.00	272.00	30	0.03
SD–2B 1	18" HDPE	246.50	246.00	30	0.02
SD–2B 2	18" HDPE	242.00	240.00	33	0.06
SD–3A 1	18" HDPE	281.50	281.00	30	0.02
SD–3A 2	18" HDPE	277.00	276.00	100	0.01

TYPICAL PERMANENT CULVERT

NOT TO SCALE

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1101 Connecticut Avenue NW
2nd Floor
Washington, DC 20036

STEVEN J. MEERSMA — LICENSED PROFESSIONAL ENGINEER — STATE OF NEW YORK

Revisions:

No.	Date:

Drawn by: A. REXROAT

Checked by: S. MEERSMA

Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

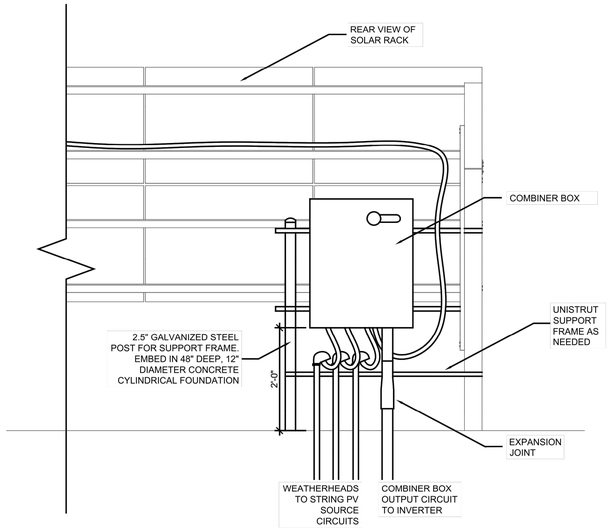
Contract No: 431302

Scale: AS SHOWN

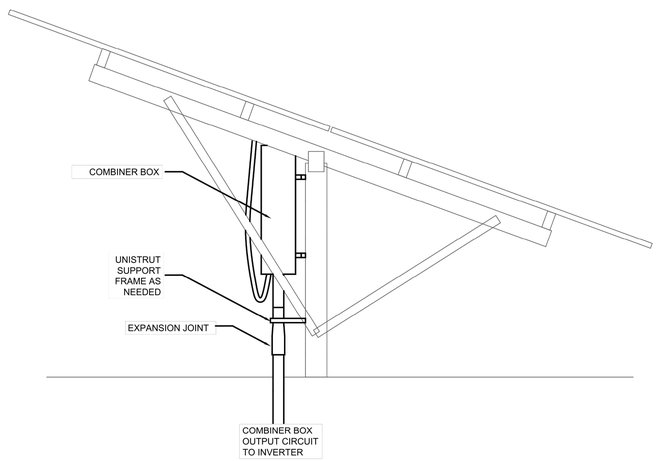
Date: SEPTEMBER 21, 2022

Sheet: DETAIL SHEET 3

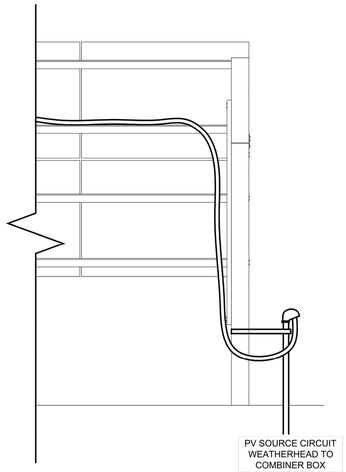
Drawing No: D-103



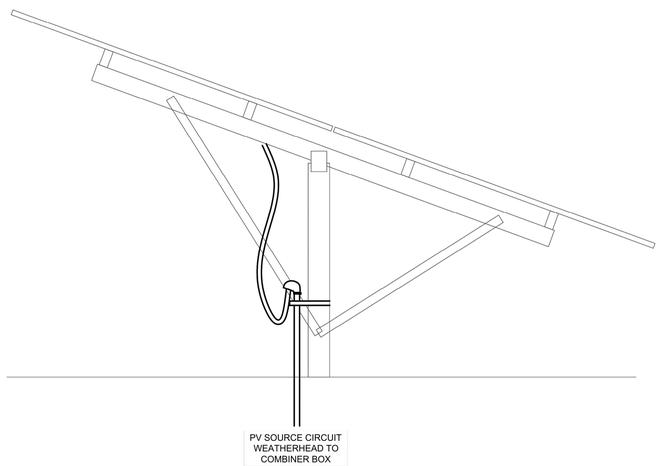
1 / E-412 — COMBINER BOX FRONT
3/4" = 1'-0"



2 / E-412 — COMBINER BOX SIDE
3/4" = 1'-0"



3 / E-412 — STRING CONDUIT WEATHERHEAD
3/4" = 1'-0"



4 / E-412 — STRING CONDUIT WEATHERHEAD SIDE
3/4" = 1'-0"

NOTE: UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

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TRC
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New York, NY 10018
Phone: 212.221.7822
www.TRCcompanies.com

TRC Project No: 431302.0000.0005

SOLSYSTEMS
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Washington, DC 20036

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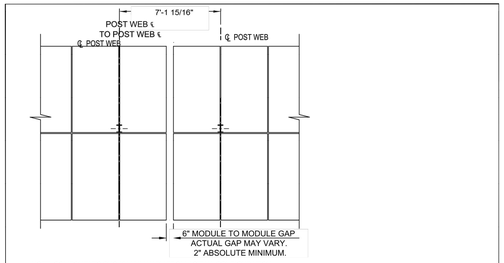
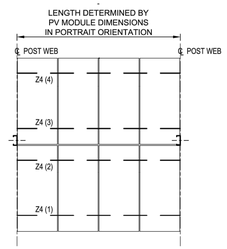
Contract No: 431302
Scale: AS SHOWN
Date: JUNE 14, 2022
Sheet: DETAIL SHEET 4
Drawing No: D-104

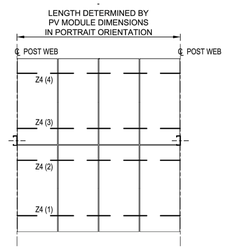


NOTE: COMPONENTS SHOWN MAY VARY FROM ACTUAL CONFIGURATION.
SEE INDIVIDUAL BAY PLANS THIS SHEET FOR MORE DETAILED PLANS.
INSTALL EXTENDED POST TOP ASSEMBLY AT EITHER SIDE OF ROW BREAK PER DETAIL A1/SG501.

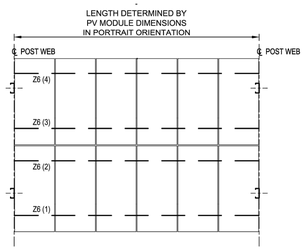
G9 SCALE: NONE — **"B" ROW BREAK DETAIL**

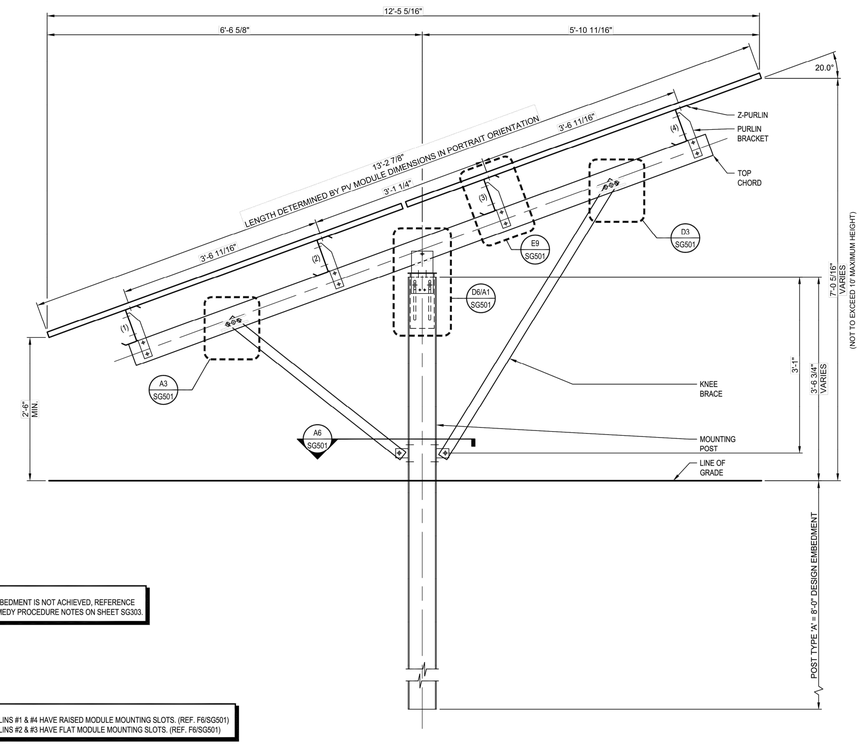


E3 SCALE: 1/4" = 1'-0" — **4P2 BAY PLAN VIEW**



C3 SCALE: 1/4" = 1'-0" — **5P2 BAY PLAN VIEW**





NOTE:
IF DESIGN EMBEDMENT IS NOT ACHIEVED, REFERENCE REFUSAL REMEDY PROCEDURE NOTES ON SHEET SG303.

NOTE:
1. Z-PURLINS #1 & #4 HAVE RAISED MODULE MOUNTING SLOTS. (REF. F6/SG501)
2. Z-PURLINS #2 & #3 HAVE FLAT MODULE MOUNTING SLOTS. (REF. F6/SG501)

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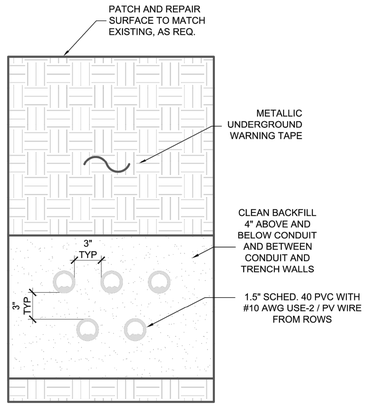
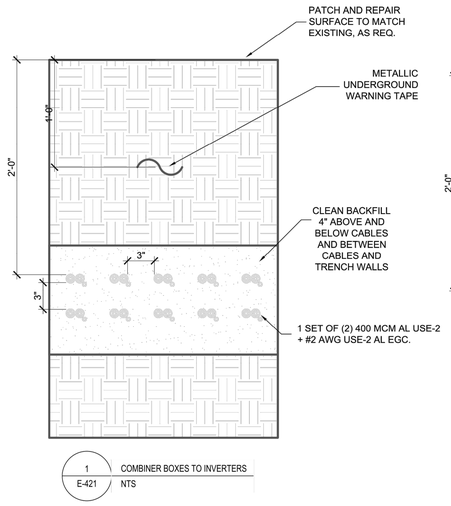
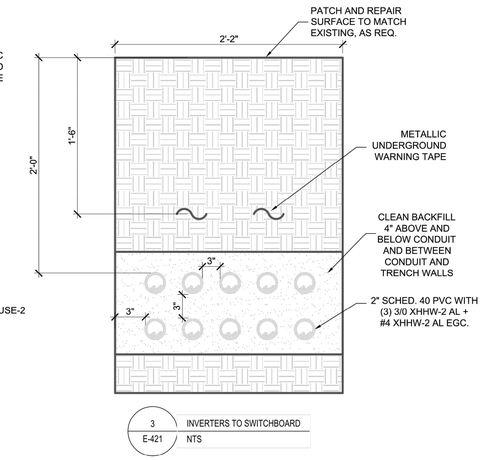
Contract No: 431302
Scale: AS SHOWN
Date: JUNE 14, 2022
Sheet: DETAIL SHEET 5
Drawing No: D-105



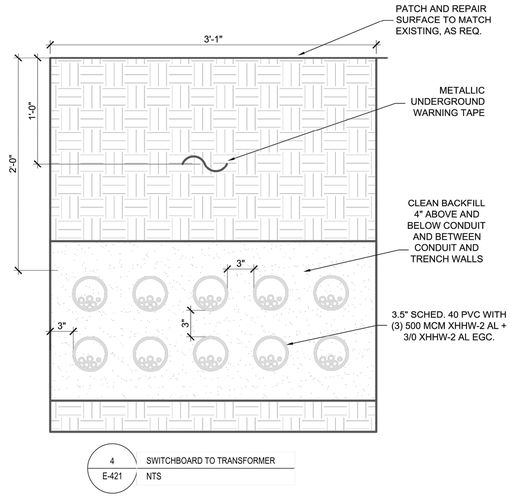
1 E-421 STRINGS TO COMBINER BOXES NTS



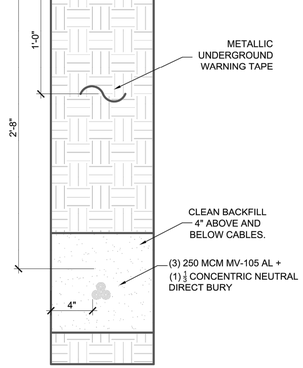
1 E-421 COMBINER BOXES TO INVERTERS NTS



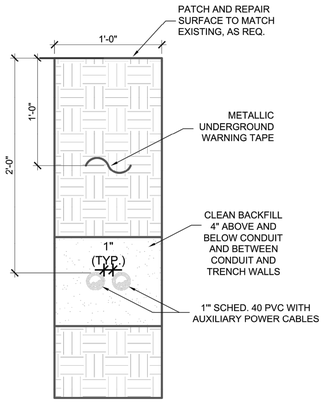
3 E-421 INVERTERS TO SWITCHBOARD NTS



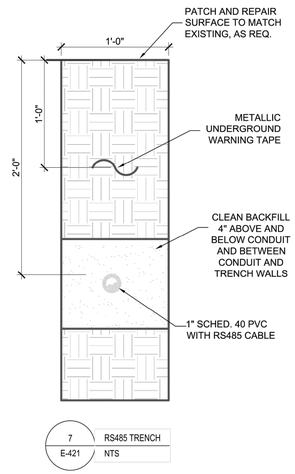
4 E-421 SWITCHBOARD TO TRANSFORMER NTS



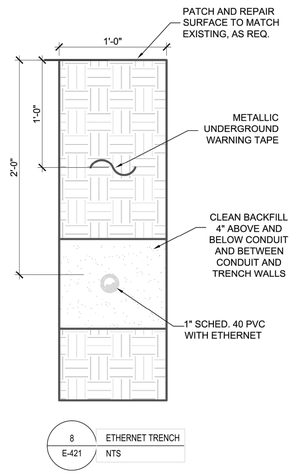
9 E-421 TRANSFORMER TO POLE NTS



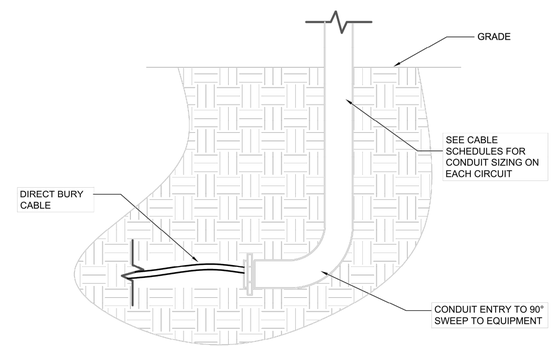
5 E-421 AUXILIARY POWER TRENCH NTS



7 E-421 RS485 TRENCH NTS



8 E-421 ETHERNET TRENCH NTS



6 E-421 CONDUIT SWEEP AND EXPANSION COUPLING NTS

GENERAL NOTES:

1. THE BEDDING AND PADDING BACKFILL MATERIAL SHALL BE EXCAVATED SOIL FREE OF ROCKS AND ORGANIC MATERIAL (NO ROCKS THAN WHAT WILL PASS THROUGH A 3/8" SCREEN).
2. FINAL BACKFILL SHALL BE COMPACTED TO NO LESS THAN 95% STANDARD PROCTOR DENSITY. COMPACTION SHALL BE ACHIEVED THROUGH MECHANICAL MEANS IN LIFTS AS NECESSARY TO MEET REQUIRED DENSITY. MAXIMUM DENSITY AND IN PLACE DENSITY SHALL BE DETERMINED BY ASTM D--698 AND D-1556 RESPECTIVELY. NATIVE FILL FOR TRENCH SHALL BE SCREENED WITH NO GREATER THAN 2" WITH SUFFICIENT GRADATION TO ACHIEVE THE TARGET COMPACTION WITHOUT VOIDS.
3. SELECT SCREENED BACKFILL WILL BE REQUIRED IN ROCKY AREAS WHERE NATIVE MATERIAL IS NOT AVAILABLE.
4. CUT CABLE ENDS SHALL BE CAPPED DURING STORAGE AND CONSTRUCTION BEFORE TERMINATED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATION TO PREVENT WATER INTRUSION.
5. ACTUAL CONDUIT ROUTING SHALL BE SHOWN ON THE "AS BUILT" DOCUMENTATION.
6. ALL CABLE AND CONDUIT ROUTING SHALL COMPLY WITH MINIMUM BEND RADII REQUIREMENTS IN NEC CH 9 TABLE 2.
7. ALL CONDUIT TO BE SEALED WITH STANDARD NEOPRENE OR RUBBER PLUG.
8. ANY TRENCHING OR EXCAVATION WITHIN 36" OF ANY RACK SUPPORT POST REQUIRES THE ORIGINAL SOIL AND COMPACTION TO 95% STANDARD PROCTOR DENSITY.
9. ROUTE ALL COMMUNICATIONS CABLE RUNS AT LEAST 8 INCHES FROM ANY POWER CABLE RUNS.

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Contract No: 431302
Scale: AS SHOWN
Date: JUNE 14, 2022
Sheet: DETAIL SHEET 6
Drawing No: D-106

CPS

Datasheet

100/125kW, 1500Vdc String Inverters for North America

CPS SCH100/125KTL-DO/US-600

The 100 & 125kW high power CPS three phase string inverters are designed for ground mount applications. The units are high performance, advanced and reliable inverters designed specifically for the North American environment and grid. High efficiency at 99.1% peak and 98.5% CEC, wide operating voltages, broad temperature ranges and a NEMA Type 4X enclosure enable this inverter platform to operate at high performance across many applications. The CPS 100/125kW products ship with the Standard or Centralized Wire-box, each fully integrated and separable with AC and DC disconnect switches. The Standard Wire-box includes touch safe fusing for up to 20 strings. The CPS Flex Gateway enables communication, controls and remote product upgrades.

Key Features

- NFPA 70, NEC 2014 and 2017 compliant
- Touch safe DC Fuse holders adds convenience and safety
- CPS Flex Gateway enables remote FW upgrades
- Integrated AC & DC disconnect switches
- 1 MPPT with 20 fused inputs for maximum flexibility
- Copper and Aluminum compatible AC connections
- NEMA Type 4X outdoor rated, tough tested enclosure
- Advanced Smart-Grid features (CA Rule 21 certified)
- kVA Headroom yields 100kW @ 0.9PF and 125kW @ 0.95PF
- Generous 1.87 and 1.5 DC/AC Inverter Load Ratios
- Separable wire-box design for fast service
- Standard 5 year warranty with extensions to 20 years

100/125KTL Standard Wire-box

100/125KTL Centralized Wire-box

c SP us

FC This device complies with part 15 of the FCC Rules

Chint Power Systems America
6800 Koll Center Parkway, Suite 235 Pleasanton, CA 94566
Tel: 855-584-7168 Mail: AmericaSales@chintpower.com Web: www.chintpowersystems.com

CPS

Technical Data

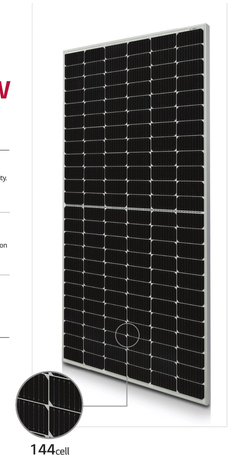
Model Name	CPS SCH100KTL-DO/US-600	CPS SCH125KTL-DO/US-600
DC Input		
Max. PV Power	187.5kW	
Max. DC Input Voltage	1500V	
Operating DC Input Voltage Range	860-1450Vdc	
Start-up DC Input Voltage / Power	900V / 250W	
Number of MPP Trackers	1	
MPPT Voltage Range[1]	870-1300Vdc	
Max. PV Input Current (Isc x1.25)	275A	
Number of DC Inputs	20 PV source circuits, pos. & neg. fused (Standard Wire-box) 1 PV output circuit, 1-2 terminations per pole, non-fused (Centralized Wire-box)	
DC Disconnection Type	Load-rated DC switch	
DC Surge Protection	Type II MOV (with indicator/remote signaling), Up=2.5kV, In=20kA (8/20uS)	
AC Output		
Rated AC Output Power	100kW	125kW
Max. AC Output Power[2]	100kVA (111KVA @ PF>0.9)	125kVA (132KVA @ PF>0.95)
Rated Output Voltage	600Vac	
Output Voltage Range[3]	528-660Vac	
Grid Connection Type[4]	3Φ / PE / N (Neutral optional)	
Max. AC Output Current @600Vac	96.2/106.8A	120.3/127.0A
Rated Output Frequency	60Hz	
Output Frequency Range[5]	57-63Hz	
Power Factor	>0.99 (±0.8 adjustable)	>0.99 (±0.8 adjustable)
Current THD	<3%	
Max. Fault Current Contribution (1-cycle RMS)	41.47A	
Max. OCPD Rating	150A	175A
AC Disconnection Type	Load-rated AC switch	
AC Surge Protection	Type II MOV (with indicator/remote signaling), Up=2.5kV, In=20kA (8/20uS)	
System		
Topology	Transformerless	
Max. Efficiency	99.1%	
CEC Efficiency	98.5%	
Stand-by / Night Consumption	<4W	
Environment		
Enclosure Protection Degree	NEMA Type 4X	
Cooling Method	Variable speed cooling fans	
Operating Temperature Range	-22°F to +140°F / -30°C to +60°C (derating from +113°F / +45°C)	
Non-Operating Temperature Range[6]	-40°F to +158°F / -40°C to +70°C maximum	
Operating Humidity	0-100%	
Operating Altitude	8202ft / 2500m (no derating)	
Audible Noise	<65dBA@1m and 25°C	
Display and Communication		
User Interface and Display	LED Indicators, WiFi + APP	
Inverter Monitoring	Modbus RS485	
Site Level Monitoring	CPS Flex Gateway (1 per 32 inverters)	
Modbus Data Mapping	SunSpec/CPS	
Remote Diagnostics / FW Upgrade Functions	Standard / (with Flex Gateway)	
Mechanical		
Dimensions (WxHxD)	45.28x24.25x9.84in (1150x616x250mm) with Standard Wire-box 39.37x24.25x9.84in (1000x616x250mm) with Centralized Wire-box	
Weight	Inverter: 121lbs / 55kg; Wire-box: 55lbs / 25kg (Standard Wire-box); 33lbs / 15kg (Centralized Wire-box)	
Mounting / Installation Angle	15 - 90 degrees from horizontal (vertical or angled)	
AC Termination	M10 Stud Type Terminal [3Φ] (Wire range:1/0AWG - 500kcmil CU/AL, Lugs not supplied) Screw Clamp Terminal Block [N] (#12 - 1/0AWG CU/AL)	
DC Termination	Screw Clamp Fuse Holder (Wire range: #12 - #6AWG CU) - Standard Wire-box Busbar, M10 Bolts (Wire range: #1AWG - 500kcmil CU/AL (1 termination per pole), #1AWG - 300kcmil CU/AL (2 terminations per pole), Lugs not supplied) - Centralized Wire-box	
Fused String Inputs	20A fuses provided (Fuse values of 15A or 20A acceptable)	
Safety		
Safety and EMC Standard	UL1741-SA-2016, CSA-C22.2 NO.107.1-01, IEEE1547a-2014; FCC PART15	
Selectable Grid Standard	IEEE 1547a-2014, CA Rule 21, ISO-NE	
Smart-Grid Features	Volt-RideThru, Freq-RideThru, Ramp-Rate, Specified-PF, Volt-VAr, Freq-Watt, Volt-Watt	
Warranty		
Standard[7]	5 years	
Extended Terms	10, 15 and 20 years	

1) See user manual for further information regarding MPPT Voltage Range when operating at non-unity PF
2) "Max. AC Apparent Power" rating valid within MPPT voltage range and temperature range of -30°C to +40°C (-22°F to +104°F) for 100kW PF ≥0.9 and 125KW PF ≥0.95
3) The "Output Voltage Range" and "Output Frequency Range" may differ according to the specific grid standard.
4) Wye neutral-grounded, Delta may not be corner-grounded.
5) See user manual for further requirements regarding non-operating conditions.
6) 5 year warranty effective for units purchased after October 1st, 2019.

LG NeON®H

The LG NeON®H is one of the most powerful and versatile modules on the market today. The LG NeON®H is equipped with N-type cells and half-cut technology to increase power and efficiency. The LG NeON®H includes a 25-year product and 90.6% performance warranty for higher performance and reliability.

450W | 445W | 440W



FEATURES

Enhanced Performance Warranty
LG NeON®H comes with an enhanced performance warranty. After 25 years of use, the LG NeON®H is guaranteed to provide at least 90.6% of initial performance.

Industry-Leading Product Warranty
LG offers an industry-leading 25 year product warranty on the NeON®H.

Reliable Quality
LG NeON®H offers reliable and proven quality through rigorous testing*.

* LG is subject to rigorous quality verification through PVEL PQP test. The PVEL PQP includes test sequences examining both the reliability and performance characteristics of PV modules.

About LG Electronics
LG is transforming today's solar landscape, offering high-efficiency solar panels for customers who demand high performance, reliability and consistently strong energy yield from a brand they can trust. LG's modules feature high power outputs, outstanding durability, appealing aesthetics and high-efficiency technology.

LG Life's Good

LG NeON®H

LG450N2W-E6 / LG445N2W-E6 / LG440N2W-E6

General Data

Cell Properties (Material / Type)	Monocrystalline / N-type
Cell Maker	LG
Cell Configuration	144 Cells (6 x 24)
Number of Busbars	9 EA
Module Dimensions (L x W x H)	2,110 x 1,042 x 40 mm
Weight	22 kg
Glass (Material)	Tempered Glass with AR coating
Backsheet (Color)	White
Frame (Material)	Anodized Aluminium
Junction Box (Protection Degree)	IP 68 with 3 Bypass Diodes
Cables (Length)	1,400 mm x 2 EA
Connector (Type / Maker)	MC4 / Stäubli

Certifications and Warranty

Certifications	IEC 61215-1 / -1-1 / 2:2016, IEC 61730-1 / 2:2016, UL 61730-1:2017, UL 61730-2:2017
	ISO 9001, ISO 14001
	OHSAS 18001
Salt Mist Corrosion Test	IEC 61701 : 2011 Severity 6
Ammonia Corrosion Test	IEC 62716 : 2013
Module Fire Performance	Type 1 (UL 61730)
Fire Rating	Class C (UL 790)
Solar Module Product Warranty	25 Years
Solar Module Output Warranty	Linear Warranty*

* 1) First years : 98.5%, 2) After 1st year : -0.33% / year, 3) 90.6% for 25 years

Temperature Characteristics

NMOT*	[℃]	42 ± 3
Pmax	[%/℃]	-0.33
Voc	[%/℃]	-0.26
Isc	[%/℃]	0.04

* NMOT (Nominal Module Operating Temperature)
: Irradiance 800W/m², Ambient temperature 20℃, Wind speed 1m/s, Spectrum AM 1.5

Electrical Properties (NMOT)

Model		LG450N2W-E6	LG445N2W-E6	LG440N2W-E6
Maximum Power (Pmax)	[W]	341	336	332
MPP Voltage (Vmpp)	[V]	39.40	39.10	38.80
MPP Current (Impp)	[A]	8.64	8.60	8.57
Open Circuit Voltage (Voc)	[V]	46.90	46.60	46.30
Short Circuit Current (Isc)	[A]	9.13	9.08	9.02

I-V Curves

Electrical Properties (STC*)

Model		LG450N2W-E6	LG445N2W-E6	LG440N2W-E6
Maximum Power (Pmax)	[W]	450	445	440
MPP Voltage (Vmpp)	[V]	41.8	41.5	41.2
MPP Current (Impp)	[A]	10.79	10.74	10.70
Open Circuit Voltage (Voc, ± 5%)	[V]	49.7	49.4	49.1
Short Circuit Current (Isc, ± 5%)	[A]	11.34	11.27	11.20
Module Efficiency	[%]	20.5	20.2	20.0
Power Tolerance	[%]	0 ~ +3		

* STC (Standard Test Condition)
: Irradiance 1,000W/m², Cell temperature 25℃, AM 1.5 , Measure Tolerance : ± 3 %

Operating Conditions

Operating Temperature	[℃]	-40 ~ +85
Maximum System Voltage	[V]	1,000(IEC) / 1,500(UL)
Maximum Series Fuse Rating	[A]	20
Mechanical Test Load* (Front)	[Pa]	5,400
Mechanical Test Load* (Rear)	[Pa]	3,000

* Based on IEC 61215-2 : 2016 (Test Load = Design Load x Safety Factor(1.5))

Packaging Configuration

Number of Modules Per Pallet	[EA]	25
Number of Modules Per 40ft HQ Container	[EA]	550
Packaging Box Dimensions (L x W x H)	[mm]	2,160 x 1,120 x 1,213
Packaging Box Gross Weight	[kg]	588

Dimensions (mm/inch)

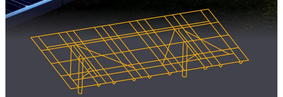
LG Life's Good

LG Electronics Inc.
Energy Business Division
LG Twin Towers, 128 Yeoui-daero, Yeongdeungpo-gu, Seoul 07336, Korea
www.lg-solar.com

SOLAR FLEXRACK
A Division of Northern States Metals

THE FLEXRACK SERIES G3-X

15G FlexRack Series G3P-X racks
1.8MW Nixon Farms Project | West Friendship, MD



+ TURN-KEY SERVICES

We're here for you because we care about your projects. From engineering to installation, you can also leverage our expert turn-key services on any job from start to finish.

Contact us to see how our team of project engineers, field techs, geologists and other specialists can help make sure your next project is a success.

Experience the Flex

CALL US TO FIND OUT HOW THIS GROUNDBREAKING RACK CAN IMPROVE HOW YOU DO SOLAR
1.888.380.8138 | SOLARFLEXRACK.COM

Pick your preference

Solar Developers and EPCs demand choices and continued innovation to maintain their leadership position. The Field Assembled G3-X Ground Rack joins our flagship Pre-assembled G3L and G2P series as the latest advancement in our ongoing quest to provide products which meet project-specific needs. Solar FlexRack stands alone as the only racking company able to provide you with these options.

Easy assembly

The G3-X system is easily staged on the jobsite, can be assembled in the field by crews of nearly any skill level, and has been third-party verified for speed of installation by The Industrial Time Study Institute, Inc. Multiple pre-drilled holes, slot to slot connections, and generous construction tolerances make the G3-X an efficient and adaptable model on the jobsite.

Seamless flexibility

The G3-X, available in both Portrait and Landscape orientations, leverages the knowledge gained in delivering nearly 1 GW of pre-assembled ground mounts into a racking system which is assembled in the field. This product is a perfect fit for projects where labor costs are low and field assembly is preferred.

Intelligent design

The series G3-X is value-engineered by our professional team of best-in-class engineers to optimize materials and limit components to create a cost-effective solution. Our field engineering team will work with you personally to ensure that whatever system you choose will be the most cost effective solution for your project needs.

Bankability

Solar FlexRack is a product of Northern States Metals, a full service manufacturer with over 40 years of experience. With close to 1 GW of installed capacity Solar FlexRack has the experience and sustainability to be a reliable partner for your next successful solar project. The G3-X series also comes standard with a 20 year warranty.

SOLAR FLEXRACK
A Division of Northern States Metals

FLEXRACK SERIES G3-X | Specifications

MATERIALS	
Hardware	Mounting hardware is Magni 560 coated standard. Stainless available upon request.
Racking Structure	G 90 galvanized steel standard. Higher coatings available for high corrosion areas
Foundations	Hot Dipped Galvanized
DESIGN	
Orientation	Landscape or Portrait
Tilt Angle	5° - 45° (custom tilts can be accommodated)
Adjustability	20% E/W Landscape, 20% E/W Portrait
Wind Speed	Any
Snow Load	Any
Module Accommodation	Any 60 or 72 cell framed module along with any frameless module
Module Mounting Type	Direct bolt to vertical rails (bonded connection)
Foundation Accommodation	W-Section, SmartPost, Round Post, Helical Pier, Ballast
Warranty	20 Years
CERTIFICATIONS AND TESTING	
UL Compliance	UL 2703 (Issue 2) compliant.
Wind Tunnel Testing	CPP third party testing laboratory
Structural Connection Testing	Accutek Testing Laboratory
Code Compliance	Racks are designed using local environmental loads (wind, snow, and seismic) per the governing and/or local building codes
Finite Element Modeling	Risa 3D
Engineering	PE stamped drawings and calculations
SERVICES	
Geotechnical Engineering	Field investigation and engineering, laboratory testing, engineering analysis, push/pull tests, foundation design
Structural/Civil Engineering	Preliminary investigation, engineering, layout
Installation	Foundation, racking, module, and module pre-wiring

Solar FlexRack, a division of Northern States Metals, is an integrated solar company that offers custom-designed, fixed tilt ground mount and single-axis solar tracking systems in the commercial, community solar and utility-scale solar mounting industries. Solar FlexRack offers full turnkey packages including engineering, geotechnical, pullout testing, field, layout, and installation services to address the actual site conditions of an installation and provide a full scope of services from design to delivery and installation. Solar FlexRack has completed over 2 GW of solar racking installations in 40 states across America and five countries globally.

For more information on Solar FlexRack visit: www.solarflexrack.com

NOTE:

NOTE:
FINAL EQUIPMENT SELECTIONS TO BE DETERMINED DURING DETAILED ENGINEERING DESIGN.

NOTE: UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NOTE: THESE PLANS ARE ACCOMPANIED BY A SUPPLEMENTAL DOCUMENTS. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR LOCAL APPROVAL PURPOSES ONLY.
NOT FOR CONSTRUCTION

TRC
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TRC Project No: 431302.0000.0005

SOLSYSTEMS

Sol Systems, LLC
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Washington, DC 20036

Revisions:

No.	Date:

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A. REXROAT

Checked by:
S. MEERSMA

Approved by:
C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No:
431302

Scale:
AS SHOWN

Date:
JUNE 14, 2022

Sheet:
DETAIL SHEET 7

Drawing No:
D-107

EROSION CONTROL MEASURES

EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIST OF NON–WOVEN FILTER FABRIC MATERIAL WITH A WIRE MESH BACKING, OR A WOVEN FABRIC (SILT FENCE). ALL MATERIAL SHALL BE NEW AND FREE FROM DEFECTS THAT WOULD COMPROMISE THE EFFECTIVENESS OF THE CONTROL MEASURES, AFTER COMPLETION, ALL MATERIAL SHALL BE DISPOSED PROPERLY. LOCATION OF EROSION AND SEDIMENT CONTROL STRUCTURES CAN BE SEEN ON THE SITE PLAN. NOTE: ALL WATER CONTROL MEASURES ARE LOCATED DOWN–GRADIENT FROM DISTRIBUTED STREET. IF TOPSOIL IS TO BE STORED IN AN AREA NOT SHOWN ON THE SITE PLAN, DUE TO UNFORESEEN EVENTS, PRIOR TO STORING, THE DOWN–GRADIENT PERIMETER OF THE STORAGE AREA SHALL BE PROPERLY PROTECTED PER THE SPECIFICATIONS DETAILED ON THIS PLAN.

CONSTRUCTION HOUSEKEEPING

CONTRACTOR SHALL MAINTAIN THE PROJECT SITES IN ACCORDANCE WITH THE FOLLOWING PERFORMANCE STANDARDS:

MATERIAL STOCKPILING: MATERIAL RESULTING FROM CLEARING AND GRUBBING, GRADING, AND OTHER CONSTRUCTION ACTIVITIES, OR NEW MATERIAL DELIVERED TO THE SITE, SHALL BE STOCKPILED UPSLOPE OF DISTURBED AREAS. THE STOCKPILE AREAS SHALL HAVE THE PROPER EROSION AND SEDIMENT CONTROLS INSTALLED TO PREVENT MIGRATION OF SEDIMENTS AND MATERIALS.

STAGING, STORAGE, AND MARSHALLING AREAS: CONSTRUCTION MATERIALS AND EQUIPMENT SHALL BE STORED IN DESIGNATED STAGING AREAS AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, OR ENGINEER. STAGING, STORAGE, AND MARSHALLING AREAS SHALL BE LOCATED IN AN AREA THAT MINIMIZES IMPACTS TO STORMWATER QUALITY. CHEMICALS, SOLVENTS FERTILIZERS, AND OTHER TOXIC MATERIALS SHALL BE COLLECTED AND DISPOSED OF AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY. BULK STORAGE OF FUEL MATERIALS WILL BE STAGED AT THE PROJECT MARSHALLING YARD PER SAFETY DATA SHEET (SDS) SPECIFICATION AND ENVIRONMENTAL HEALTH AND SAFETY STANDARDS, WHICHEVER IS MORE RESTRICTIVE.

EQUIPMENT CLEANING AND MAINTENANCE: ALL ONSITE CONSTRUCTION VEHICLES SHALL BE MONITORED FOR LEAKS AND SHALL RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE RISK OF LEAKAGE. ANY EQUIPMENT LEAKING OIL, FUEL, OR HYDRAULIC OIL SHALL BE REPAIRED OR REMOVED FROM THE PROJECT SITE IMMEDIATELY. STORAGE, PARKING, MAINTENANCE, AND SERVICING OF CONSTRUCTION VEHICLES SHALL BE A MINIMUM OF 200–FEET FROM A WETLAND , WATERBODY, OR OTHER ECOLOGICALLY SENSITIVE AREA AND STORMWATER CONVEYANCE FEATURES OR WATER QUALITY TREATMENT BMPS. PETROLEUM PRODUCTS AND HYDRAULIC FLUIDS THAT ARE NOT IN VEHICLES SHALL BE STORED IN TIGHTLY SEALED CONTAINERS THAT ARE CLEARLY LABELED. ALL GASOLINE, DIESEL FUEL, OR OTHER FUEL STORAGE VESSELS WITH GREATER THAN 25–GALLON SHELL CAPACITY MUST HAVE SECONDARY CONTAINMENT CONSTRUCTED OF AN IMPERVIOUS MATERIAL CAPABLE OF CONTAINING A MINIMUM OF 110% OF THE SHELL CAPACITY.

DEBRIS AND OTHER MATERIALS: CONTRACTOR SHALL MANAGE ALL LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER TO PREVENT MATERIALS FROM BECOMING A SOURCE OF POLLUTION. ALL DEMOLITION WASTE, DEBRIS, AND RUBBISH GENERATED DURING CONSTRUCTION OF THE PROJECT SHALL BE PROPERLY REMOVED FROM THE SITE AS IT OCCURS. ALL MATERIALS SHALL BE PROPERLY DISPOSED OF OFF–SITE IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THE PROPER HANDLING, STORAGE, AND DISPOSAL OF HAZARDOUS SUBSTANCES.

TRENCH OR FOUNDATION DEWATERING: TRENCH DEWATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, SUMPS, BASINS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE CONTRACTOR SHALL REMOVE COLLECTED WATER FROM THE PONDED AREAS, EITHER THROUGH GRAVITY OR PUMPING, IN A MANNER THAT SPREADS IT THROUGH NATURAL WOODED OR VEGETATED BUFFERS OR TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT LADEN WATER FROM DEWATERING TO FLOW OVER DISTURBED AREAS OF THE PROJECT SITES. OTHER MEASURES OR METHODS MAY BE UTILIZED AS REVIEWED AND APPROVED BY THE ENGINEER.

NON–STORMWATER DISCHARGES: CONTRACTOR SHALL IDENTIFY AND PREVENT CONTAMINATION BY NON–STORMWATER DISCHARGES.

CONCRETE WASHOUT AREAS: DESIGNATED CONCRETE WASHOUT AREAS SHALL BE PROVIDED AS NEEDED TO ALLOW CONCRETE TRUCKS TO WASHOUT OR DISCHARGE SURPLUS CONCRETE AND WASH WATER ONSITE. CONCRETE WASHOUT AREAS SHALL BE A DIKED IMPERVIOUS AREA LOCATED A MINIMUM OF 100 FEET FROM A DRAINAGE WAY, WATERBODY, WETLAND AREA, OR INFILTRATION BMP. CONCRETE WASHOUT AREAS SHALL HAVE PROPER SIGNAGE AND BE CONSTRUCTED TO PREVENT CONTACT BETWEEN WASHWATER AND STORMWATER. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF CONCRETE WASHOUT AREAS. CONCRETE WASHOUT AREAS SHALL NOT BE FILLED BEYOND 95 OF DESIGN CAPACITY AND SHALL BE CLEANED OUT ONCE 75% CAPACITY HAS BEEN MET UNLESS A NEW FACILITY HAS BEEN CONSTRUCTED.

ADDITIONAL REQUIREMENTS: COMPLETION OF THE WORK WILL REQUIRE FREQUENT ACCESS TO VARIOUS PORTIONS OF THE PROJECT AREA FROM STATE AND LOCAL ROADWAYS. CONTRACTOR SHALL MONITOR PUBLIC ROADWAYS AND SHALL CLEAN PAVEMENT BY MEANS NECESSARY IN THE EVENT THAT SEDIMENT OR TRACKING IS OBSERVED. SIGNAGE SHALL BE POSTED AT INTERSECTIONS OF PROJECT ACCESS ROADS AND PUBLIC WAYS, STATING COMPANY NAME AND 24–HOUR CONTACT PHONE NUMBER.

TEMPORARY STABILIZATION FOR FROZEN CONDITIONS

SITE STABILIZATION: MULCHING SHOULD BE TRACKED INTO SOIL PRIOR TO FROZEN CONDITIONS, OR ANCHORED WITH NATURAL FIBER NETTING. APPLICATION OF MULCHING SHOULD BE PERFORMED PRIOR TO SIGNIFICANT SNOW FALL. IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES SHOULD BE APPLIED AT DOUBLE THE MANUFACTURER'S RECOMMENDED RATE. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTS CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF NEXT BUSINESS DAY AND COMPLETED WITHIN THREE DAYS. ACCUMULATED SNOW AND FROZEN CONDITIONS ALONE ARE NOT CONSIDERED STABILIZATION.

SLOPES: ALL SLOPES AND GRADES MUST BE PROPERLY STABILIZED WITH APPROVED METHODS. ROLLED EROSION CONTROL PRODUCTS MUST BE USED ON ALL SLOPES GREATER THAN 3H:1V, OR WHERE CONDITIONS FOR EROSION DICTATE SUCH MEASURES.

SETBACKS: A MINIMUM 25–FOOT BUFFER SHALL BE MAINTAINED FROM ALL PERIMETER CONTROLS SUCH AS SILT FENCE. MARK SILT FENCE WITH TALL STAKES THAT ARE VISIBLE ABOVE THE SNOW PACK. EDGES OF DISTURBED AREAS THAT DRAIN TO A WATERBODY WITHIN 100–FEET WILL HAVE 2 ROWS OF SILT FENCE, 5–FEET APART, INSTALLED ALONG THE CONTOUR.

SOIL STOCKPILES: STOCKPILED SOILS MUST BE PROTECTED BY THE USE OF ESTABLISHED VEGETATION, ANCHORED –DOWN MULCH, ROLLED EROSION CONTROL PRODUCTS, OR OTHER DURABLE COVERING. SEDIMENT CONTROLS MUST BE INSTALLED DOWNSLOPE OF THE PILE TO CONTROL SEDIMENTATION TO UNDISTURBED LOCATIONS.

CONSTRUCTION ENTRANCE: ALL ENTRANCE AND EXIT LOCATIONS TO THE SITE MUST BE PROPERLY STABILIZED AND MUST BE MAINTAINED TO ACCOMMODATE SNOW MANAGEMENT AS SET FORTH IN THE NEW YORK SSESC.

SNOW MANAGEMENT: SNOW MANAGEMENT SHALL NOT DESTROY OR DEGRADE EROSION AND SEDIMENT CONTROL PRACTICES. PLOWING PERFORMED SHOULD NOT MIGRATE PLACED CRUSHED STONE OR ACCUMULATED MATTING DEBRIS WITHIN WATERBODIES, CONVEYANCES OR PROTECTED AREAS. PREPARE A SNOW MANAGEMENT PLAN WITH ADEQUATE STORAGE FOR SNOW AND CONTROL OF MELT WATER, REQUIRING CLEARED SNOW TO BE STORED IN A MANNER NOT AFFECTING ONGOING CONSTRUCTION ACTIVITIES. ENLARGE AND STABILIZE ACCESS POINTS TO PROVIDE FOR SNOW MANAGEMENT AND STOCKPILING. DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS. ALL DEBRIS OR ICE DAMS FROM PLOWING OPERATIONS THAT RESTRICT FLOW OF RUNOFF AND MELT WATER SHALL BE REMOVED.

FROST HEAVES: HEAVING FROST, FROZEN GROUND, WINTER CONDITIONS AND EQUIPMENT CAN AFFECT EROSION AND SEDIMENTATION CONTROL PRACTICES. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE CHECKED FOR DAMAGE BY TRAINED CONTRACTOR AND QUALIFIED INSPECTORS. DEFICIENCIES SHALL BE REPAIRED AND OR INSTALLED MEASURES SHALL BE REPLACED AS DEEMED NECESSARY. THIS IS ESPECIALLY IMPORTANT DURING THAWING PERIODS AND PRIOR TO SPRING RAIN EVENTS.

WINTER SHUTDOWN: IN THE EVENT OF TEMPORARY SHUTDOWN TO SOIL DISTURBING ACTIVITIES UNDER WINTER CONDITIONS, TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED TO ALL DISTURBED AREAS AND SWPPP INSPECTIONS CAN BE REDUCED TO A MONTHLY FREQUENCY. THE CONTRACTOR SHALL REFER TO SOIL STABILIZATION MEASURES IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NOVEMBER 2016) AND SPDES GENERAL PERMIT GP–0–20–001.

PERMANENT CONSTRUCTION AREA SEEDING

FINAL STABILIZATION SHOULD BE IMPLEMENTED AT THE COMPLETION OF EACH PHASE. ONCE CONSTRUCTION IS COMPLETE, EXPOSED SOILS REQUIRE FINAL AND PERMANENT STABILIZATION. SOILS SHOULD BE GRADED SMOOTH AND LEVEL TO ELIMINATE RUTTING AND CONCENTRATED FLOWS, PONDING AND UNEVEN SURFACES FOR FUTURE MAINTENANCE ACTIVITIES. UNIMPROVED AREAS SHOULD BE RESTORED TO ORIGINAL GRADE UNLESS PERMITTED AND PLANNED FOR REQUIRED FUTURE MAINTENANCE. CONSERVED STOCKPILED TOPSOIL SHOULD BE UTILIZED FOR TOPDRESSING GRADED SUB–SOILS AT EXCAVATION LOCATIONS. ANY SEVERELY COMPACTED SECTIONS WILL REQUIRE TILLING OR DISKING TO PROVIDE AN ADEQUATE ROOTING ZONE, TO A MINIMUM DEPTH OF 12". THE SEEDBED MUST BE PREPARED TO ALLOW GOOD SOIL TO SEED CONTACT, WITH THE SOIL NOT TOO SOFT AND NOT TOO COMPACT. ADEQUATE SOIL MOISTURE MUST BE PRESENT TO ACCOMPLISH THIS. IF SURFACE IS POWDER DRY OR STICKY WET, POSTPONE OPERATIONS UNTIL MOISTURE CHANGES TO A FAVORABLE CONDITION. REMOVE ALL STONES AND OTHER DEBRIS FROM THE SURFACE THAT ARE GREATER THAN 4 INCHES, OR THAT WILL INTERFERE WITH FUTURE MOWING OR MAINTENANCE.

SOIL AMENDMENTS SHOULD BE INCORPORATED INTO THE UPPER 2 INCHES OF SOIL WHEN FEASIBLE. THE SOIL SHOULD BE TESTED TO DETERMINE THE AMOUNTS OF AMENDMENTS NEEDED. APPLY GROUND AGRICULTURAL LIMESTONE TO ATTAIN A PH OF 6.0 IN THE UPPER 2 INCHES OF SOIL. IF SOIL MUST BE FERTILIZED BEFORE RESULTS OF A SOIL TEST CAN BE OBTAINED TO DETERMINE FERTILIZER NEEDS, APPLY COMMERCIAL FERTILIZER AT 600 LBS. PER ACRE OF 5–5 –10 OR EQUIVALENT.

IF SOILS ARE SOFT, MECHANICAL MULCHING MAY NOT BE AVAILABLE DUE TO THE INEVITABLE RUTTING WITH MULCHING EQUIPMENT.

ANY UPLAND AREAS THAT ARE DISTURBED SHALL BE STABILIZED USING PERMANENT SEED MIX AS SPECIFIED IN THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (SSESC), UNLESS DIRECTED OTHERWISE IN ASSOCIATED PERMITTING DOCUMENTS.

PROJECT CONSTRUCTION SEQUENCING NOTES

THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SEQUENCING OR CONSTRUCTION PHASING PLAN FOR OWNER APPROVAL THAT COMPLIES WITH THE PERMITTING REQUIREMENTS, THE PROJECT SWPPP, AND OTHER REQUIREMENTS AS IDENTIFIED BY LOCAL AND STATE AUTHORITIES. THE PLAN SHALL SHOW THAT ACTIVE LAND DISTURBANCE WILL BE LIMITED TO LESS THAN FIVE (5) CONTIGUOUS ACRES AND SHALL ADEQUATELY DISCUSS, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

1. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS FOR TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES AS OUTLINED IN THE PROJECT SWPPP OR AS DIRECTED BY THE OWNER.
2. PRIOR TO STARTING ANY WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, NOTIFY CITY OFFICIALS OF CONSTRUCTION COMMENCEMENT, AND SUBMIT CONSTRUCTION TIMETABLE.
3. PRIOR TO COMMENCING ONSITE EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL ESTABLISH THE CONSTRUCTION WORKSPACE LIMITS AND IDENTIFY AND MARK SENSITIVE RESOURCES.
4. THE CONTRACTOR SHALL INSTALL ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO PROTECT DOWN GRADIENT AREAS. WHERE APPROPRIATE, DIVERSION BMPs SHALL BE IMPLEMENTED TO DIRECT RUNOFF FROM UPGRADIENT AREAS AROUND THE PROJECT SITE.
5. ON–SITE CONSTRUCTION SEQUENCE SHALL START WITH THE MINIMUM AMOUNT OF CLEARING REQUIRED TO INSTALL EROSION CONTROL MEASURES. THIS INCLUDES, SILTATION FENCING, ANTI–TRACK PADS (STABILIZED CONSTRUCTION ENTRANCE), AND OTHER MEASURES NOTED ON THE PLAN. NO WORK SHALL TAKE PLACE UNTIL THE OWNER'S REPRESENTATIVE HAS INSPECTED AND APPROVED INSTALLED MEASURES.
6. AFTER PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE CURRENT PHASE OF WORK ARE INSTALLED AND FUNCTIONING, THE CONTRACTOR SHALL OBTAIN OWNER APPROVAL BEFORE BEGINNING EARTHWORK IN THE SUBSEQUENT PHASE.
7. AFTER EROSION CONTROL MEASURES ARE INSTALLED THE TYPICAL SEQUENCE SHALL BE AS FOLLOWS:

a. REMOVE VEGETATION FROM PROPOSED DEVELOPMENT AREA. ALL STUMPS AND WOOD SHALL BE TAKEN OFF–SITE AND DISPOSED ACCORDINGLY.
b. REMOVE AND STOCKPILE TOPSOIL AFTER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE TOPSOIL SHALL BE SEEDED IMMEDIATELY AFTER STOCKPILING IN ORDER TO STABILIZE THE SLOPE AND LIMIT SEDIMENT RUNOFF. STOCKPILED TOPSOIL SHALL BE SEEDED AND MULCHED WHEN IT IS TO BE STORED MORE THAN 30 DAYS FROM TIME OF STOCKPILING. THE SITE CAN NOW BE REFORMED TO PROPOSED FINAL ELEVATIONS (LESS TOPSOIL DEPTH).
c. PROCEED WITH ALL WORK DEPICTED ON THE DEMOLITION PLAN, IF ANY.
d. PREPARE AND COMPACT SUBGRADE (IF AND AS DIRECTED) AND INSTALL DRAINAGE AND STORMWATER BMP'S IN ACCORDANCE WITH "GRADING AND STORMWATER MANAGEMENT PLAN".
e. EXCAVATE SOIL TO THE DEPTH NECESSARY TO CONSTRUCT GRAVEL ACCESS ROAD AND POROUS ASPHALT PAVEMENT. ALL REMOVED TOPSOIL SHALL BE UTILIZE ON SITE AS LOAM FOR GRASS AREAS. NO SOILS SHALL BE REMOVED FROM THE SUBJECT PROPERTY.
f. COMPLETE REMAINING GRADING REQUIRED AS SHOWN ON THE GRADING PLANS. INSTALL EROSION CONTROL MATTING ON ALL SLOPES OF 3H:1V OR GREATER (IF ANY), THEN SEED AND MULCH THE AREA.
g. INSTALL CONCRETE UTILITY PADS, FOOTINGS, PHOTOVOLTAIC PANELS, UTILITY POLES, FENCE AND GATES AND OTHER IMPROVEMENTS PER THE PLAN.
h. LOAM AND SEED FRONT YARD AND ALL REMAINING DISTURBED AREAS. UTILIZE EXISTING SITE SOIL WHERE POSSIBLE.
i. REMOVE ALL EROSION AND SEDIMENT STRUCTURES AFTER FINAL STABILIZATION AND ACCEPTANCE. IF STABILIZATION DOES NOT OCCUR (INCLUDING DUE TO SEASONAL CONDITIONS) IN ALL AREAS BEFORE CONTRACTOR HAS SATISFIED ALL OTHER CONDITIONS TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE A PLAN (INCLUDING APPROPRIATE PERFORMANCE ASSURANCES) TO THE OWNER'S REPRESENTATIVE TO REMOVE SUCH EROSION CONTROL MEASURES AFTER STABILIZATION (AND ALLOWING CONTRACTOR TO ACHIEVE FINAL ACCEPTANCE), FOR ACCEPTANCE IN THE SOLE AND ABSOLUTE DISCRETION BY THE OWNER'S REPRESENTATIVE.
j. DURING THIS TIME ALL EROSION AND SEDIMENT STRUCTURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL ONLY TAKE PLACE WHERE IMMEDIATELY REQUIRED TO FURTHER CONSTRUCTION. IT IS DESIRABLE FOR AN EROSION PREVENTION TO MINIMIZE DISTURBED AREAS. FINAL GRADING AND SEEDING SHALL TAKE PLACE AS SOON AS PRACTICAL.

MULCH ANCHORING REQUIREMENTS

ON SLOPES GREATER THEN 3 PERCENT, STRAW MULCH WILL BE FIRMLY ANCHORED INTO SOIL UTILIZING ONE OF THE FOLLOWING METHODS:

– CRIMPING WITH A STRAIGHT OR NOTCHED MULCH CRIMPING TOOL;
– TRACK WALKING WITH DEEP–CLEATED EQUIPMENT OPERATING UP AND DOWN THE SLOPE (MULCH CRIMPED PERPENDICULAR TO THE SLOPE) ON SLOPES <25 PERCENT;
– APPLICATION OF MULCH NETTING;
– APPLICATION OF 500 LB./ACRE OF WOOD FIBER MULCH OVER STRAW/HAY MULCH; AND
– COMMERCIALLY AVAILABLE TACKIFIERS (EXCEPT WITHIN 100 FEET OF WATERBODIES OR WETLANDS).

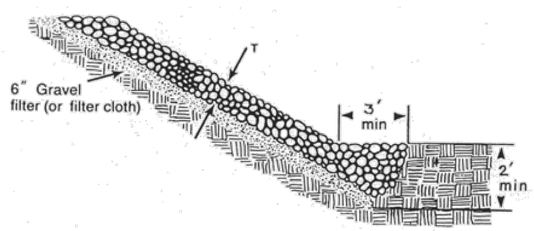
CONSTRUCTION LITTER CONTROL

DURING CONSTRUCTION, ALL WRAPPING, BOXES, SCRAPS OF BUILDING MATERIAL, AND OTHER LITTER ITEMS SHALL BE DISPOSED OF PROPERLY BY USE OF DUMPSTER OR CARTED AWAY. THE SITE SHALL BE INSPECTED AND CLEANED DAILY DURING CONSTRUCTION.

PROTECTION OF POST–CONSTRUCTION STORMWATER BMPs

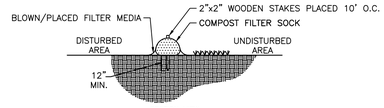
POST–CONSTRUCTION STORMWATER BMPs DESIGNED FOR WATER QUALITY TREATMENT SHALL NOT BE USED AS A SEDIMENT CONTROL DEVICES DURING CONSTRUCTION PHASE OF THE PROJECT. WHEN POSSIBLE, POST CONSTRUCTION STORMWATER BMP INSTALLATION SHALL OCCUR AFTER FINAL STABILIZATION IS ACHIEVED IN UPGRADIENT AREAS.

CONSTRUCTION PHASE STORMWATER SHALL BE DIVERTED AROUND POST–CONSTRUCTION STORMWATER QUALITY BMPs UNTIL FINAL STABILIZATION IS ACHIEVED IN UPGRADIENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF BMP FILTER MATERIAL IN THE EVENT CONSTRUCTION PHASE STORMWATER IS DISCHARGED TO CONSTRUCTED BMPs. NATURE AND DEGREE OF REPAIR SHALL BE AS DIRECTED BY THE OWNER.



RIPRAP SLOPE PROTECTION DETAIL
NOT TO SCALE

NOTE:
1. STABILIZATION REQUIRED ON SLOPES GREATER THAN 3H:1V (33%).



COMPOST FILTER SOCK
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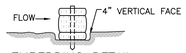
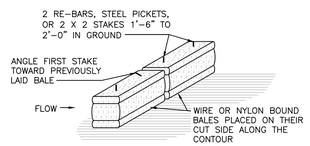
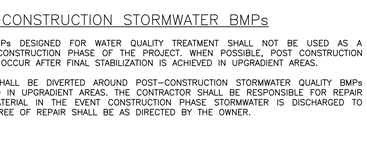


EMBEDDING DETAIL



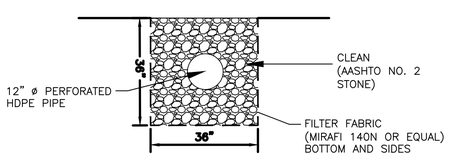
ANCHORING DETAIL

STRAW BALE BARRIER
NOT TO SCALE

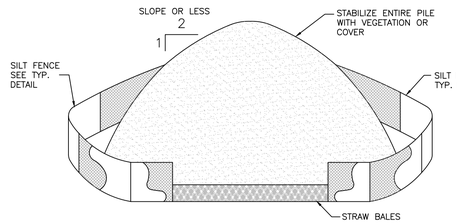


NOTES:
1. SUMP(S) SHALL BE LOCATED NEAR WORK SITES BUT SHALL BE PLACED AS FAR AWAY FROM WETLANDS, BUFFERS AND DRAINAGE SWALES AS PRACTICAL.
2. SUMP(S) SHALL BE CLEANED AND WASTE CONCRETE REMOVED AND PROPERLY DISPOSED OF PERIODICALLY AND UPON COMPLETION OF WORK.
3. A SIGN SHALL BE INSTALLED INDICATING "CONCRETE WASHOUT".

CONCRETE WASHOUT AREA
NOT TO SCALE

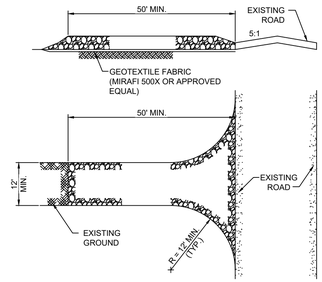


STORMWATER DIAPHRAGM
NOT TO SCALE



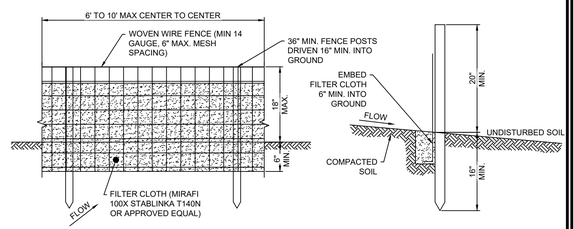
INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2H:1V.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVERED.

TYPICAL SOIL STOCKPILE
NOT TO SCALE



1. WIDTH OF STABILIZED CONSTRUCTION ENTRANCE VARIES PER LOCATION. PROVIDE WIDTHS AS INDICATED ON PLAN SET.
2. STONE SIZE - USE 1" - 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
3. LENGTH - NOT LESS THAN 50 FEET.
4. THICKNESS - NOT LESS THAN SIX (6) INCHES.
5. WIDTH - TWELVE (12) FOOT MIN. BUT NOT LESS THAN THE FULL ROAD WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. PROVIDE TWENTY-FOUR (24) FOOT WIDTH IF THERE IS ONLY A SINGLE ENTRANCE TO SITE.
6. GEOTEXTILE - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
7. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
8. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
9. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



ELEVATION

1. WOVEN WIRE FENCE SHALL BE FASTENED TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MIDSECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BUILD-UP REACHES ½ THE HEIGHT OF THE FENCE.

SECTION

POSTS:	STEEL "T" OR "U" TYPE OR 2" HARDWOOD.
FENCE:	WOVEN WIRE. 14½ GA 6" MAX MESH OPENING.
FILTER CLOTH:	FILTER X, MIRAFI 100X. STABLINKA T140N OR APPROVED EQUAL.
PREFABRICATED UNIT:	ENVIROFENCE OR APPROVED EQUAL

SILT FENCE DETAILS
NOT TO SCALE

NOTE: UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NOTE: THESE PLANS ARE ACCOMPANIED BY SUPPLEMENTAL DOCUMENTS. THESE DOCUMENTS ARE INTERRELATED AND ARE INTENDED TO BE USED TOGETHER. THESE DOCUMENTS ARE INTENDED TO BE USED FOR LOCAL APPROVAL PURPOSES ONLY.
NOT FOR CONSTRUCTION

TRC
1430 Broadway, 10th Floor
New York, NY 10018
Phone: 212.221.7822
www.TRCcompanies.com
TRC Project No: 431302.0000.0005

SOLSYSTEMS
Sol Systems, LLC
1101 Connecticut Avenue NW
2nd Floor
Washington, DC 20036

STEVEN HOWARD MEISMA — STATE OF NEW YORK — LICENSED PROFESSIONAL ENGINEER

Revisions:

No.	Date:

Drawn by: A. REXROAT
Checked by: S. MEERSMA
Approved by: C. DUNCAN

SCS DELL 014136 YORKTOWN, LLC
DELL AVENUE SOLAR FARM
FIXED-TILT GROUND MOUNT SOLAR ENERGY SYSTEM
DELL AVENUE, YORKTOWN, NEW YORK 10514

Contract No: 431302
Scale: AS SHOWN
Date: AUGUST 30, 2022
Sheet: DETAIL SHEET 8
Drawing No: D-108

Dorchester Glen Subdivision

TOWN OF YORKTOWN PLANNING DEPARTMENT
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Yorktown Heights, NY 10598
(914) 962-6565, www.yorktownny.org/planning

N W E S

0 250 500 1,000 Feet

TITLE: Dorchester Glen Proposed Open Space
DATE: November 10, 2022

FILE: F:\ArcGIS\PROJECTS\Dorchester Glen Area Open Space.mxd
BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2020.

YORKTOWN TRAILTOWN

RECEIVED
PLANNING DEPARTMENT
OCT 27 2022
TOWN OF YORKTOWN

MEMO

TO: Planning Board
FROM: Yorktown Trail Town Committee
RE: Dorchester subdivision
DATE: October 27, 2022

The Yorktown Trail Town Committee (YTTC) appreciates the opportunity to provide input regarding subdivision and site plans that have the potential to expand Yorktown's existing network of trails, one of Yorktown's valuable assets.

Regarding the Dorchester subdivision, it is YTTC's recommendation that until the Planning Board has more information about the potential for a linear park/trail, including a site visit, it postpone any decision to substitute a land donation for the $40,000 recreation fee included in the Board's approval resolution. However, as set forth below, our preliminary assessment is that the undisturbed 12-acre portion of the Dorchester subdivision has extremely limited trail development potential.

This recommendation is based on YTTC having reviewed the

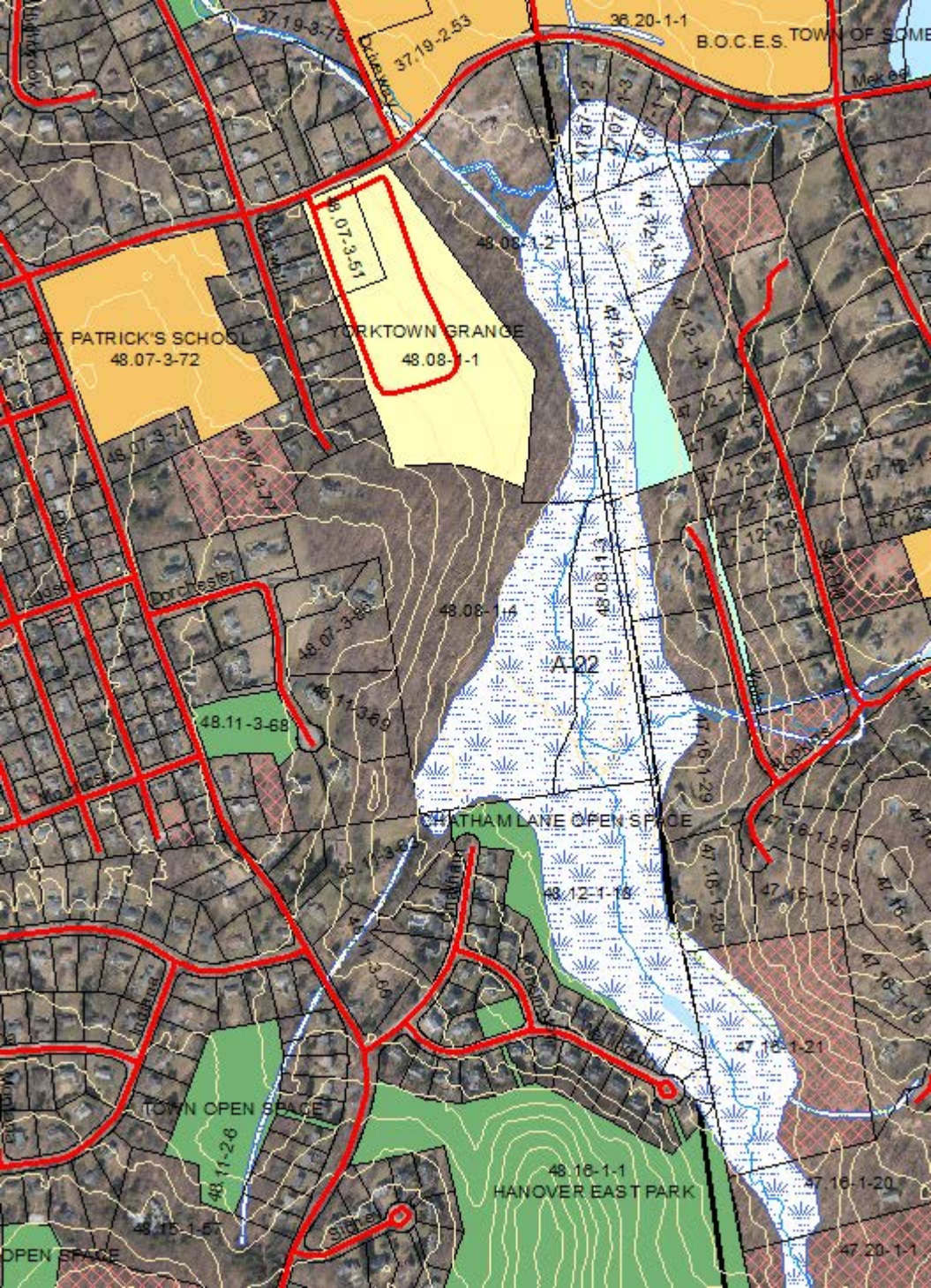
- Dorchester subdivision plan
- Attached map that shows abutting properties and the likely presence of wetlands
- Comments from YTTC member Walt Daniels who did a site visit of the area

Note: When YTTC requested a copy from the Planning Department of the map that Mr. Kincart showed the Planning Board at the October 12th meeting, we were advised that the Department had not received a copy of the map.

In his site visit report to the YTTC, Mr. Daniels confirmed the existence of wetland areas that are shown on the attached map, some of which, he thought, could be problematical for constructing a trail in the spring. He also called attention to access issues linking some of the parcels identified by Mr. Kincart, e.g., there did not appear to be a connection to the north as the Grange is fenced and would need a long easement on the property to the east. Also, once on Moseman, BOCES is not accessible to the public. Access easements would also be needed from several private properties.

As a possible alternative plan, the Board may want to consider adding a provision to the Dorchester conservation easement that could accommodate a future trail if circumstances on the other abutting sites changed.

While the YTTC is always interested in expanding the town's trail network as undeveloped parcels come before the Planning Board, not all parcels lend themselves to future trails. The Colangelo (Featherbed) subdivision DID make sense, as the easement connected to an existing trail, and there was public access. The Woodlands acquisition equally made sense as the Woodlands was a very large parcel that had the potential of being developed; the undisturbed 12-acre portion of the Dorchester subdivision has extremely limited trail development potential.


37.19-3-75
37.19-2.53
36.20-1-1
B.O.C.E.S.
TOWN OF SOME
Mek 66
48.07-3-51
48.08-1-2
ST. PATRICK'S SCHOOL
48.07-3-72
YORKTOWN GRANGE
48.08-1-1
48.07-3-74
48.07-3-73
Dorchester
48.08-1-4
48.08-1-3
A-22
48.07-3-66
48.11-3-68
48.11-3-69
CHATHAM LANE OPEN SPACE
48.12-1-15
47.16-1-29
47.16-1-28
47.16-1-27
47.16-1-21
TOWN OPEN SPACE
48.11-2-6
48.16-1-1
HANOVER EAST PARK
47.16-1-20
48.15-1-57
OPEN SPACE
47.20-1-1

Yorktown Department of Parks and Recreation

Superintendent
Jim Martorano Jr.

Memo

10.06.2022

MEMO TO: Planning Board

MEMO FROM: James J. Martorano Jr. – Superintendent of Parks

DATE: Thursday, October 6th, 2022

RE: Planning Board - Dorchester Glen Subdivision

Please be advised Parks and Recreation Commission would like the applicant of the Dorchester Glen project to provide a fiscal contribution to the Parks and Recreation Commissions Trust and Agency T account in lieu of donating designated parkland. We reviewed the applicant's proposal and do not believe the proposed land is suitable for the departments needs at this time or in the future. Recreation Fees continue to be the preference of the Yorktown Parks and Recreation Commission & the Department as a whole.

CC: Parks & Recreation Chairman Matt Talbert
Parks & Recreation Assistant Chairman Patrick Cumiskey

NOTE:

1. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XX/XX/XX, LAST REVISED XX/XX/XX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

PROJECT # 00-16

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

Engineer:
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:

No.	Date	Comments:
1.	9/29/22	PB Accept Layout
2.	10/17/22	Trail Relocation

SCALE: 1" = 60'

DRAWN BY: CS

DATE: 7/6/22

FLEXIBILTY SUBDIVISION PLAN

PRELIMINARY SUBDIVISION PLAN
PREPARED FOR

DORCHESTER GLEN

1643 MAXWELL DRIVE

Town of Yorktown — Westchester County

Sheet 1 of ---

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION RESCINDING
RESOLUTION #22-24 APPROVING
THE SUBDIVISION TITLED
DORCHESTER GLEN SUBDIVISION

RESOLUTION NUMBER: #00-00 **DATE:**

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, Garrigan, and Phelan the following resolution was adopted:

RESOLVED, the Planning Board hereby rescinds Resolution #22-24 dated October 3, 2022 in order to reconsider satisfaction of the recreation requirement for the subdivision.

PLANNING BOARD
TOWN OF YORKTOWN

RESOLUTION APPROVING
SUBDIVISION TITLED
DORCHESTER GLEN SUBDIVISION

RESOLUTION NUMBER: #00-00 DATE:

On motion of _____, seconded by _____, and unanimously voted in favor by Fon, LaScala, Bock, Garrigan, and Phelan the following resolution was adopted:

WHEREAS, on November 14, 2022 the Planning Board rescinded Resolution #22-24 dated October 3, 2022; and

WHEREAS, in accordance with the Planning Board's Land Development Regulations, Town of Yorktown Town Code Chapter 195, adopted February 4, 1969 and as amended, a formal application for the approval of a subdivision titled "Dorchester Glen," prepared by Site Design Consultants, dated July 6, 2022, and last revised October 17, 2022, was submitted to the Planning Board on behalf of John and Elaine Kincart (hereinafter referred to as "the Applicant"); and

WHEREAS, the property owned by the Applicant is located at 1643 Maxwell Drive, Yorktown Heights, also known as Section 15.20, Block 3, Lot 6 on the Town of Yorktown Tax Map (hereinafter referred to as "the Property"), and the applicant has represented to this Board that they are the lawful owners of the land within said subdivision; and

WHEREAS, an application fee of $2,430 covering 5 lots on 24.26 acres has been received by this Board; and

WHEREAS, pursuant to SEQRA:

1. The action has been identified as an Unlisted action.
2. The Planning Board has been declared lead agency on October 3, 2022.
3. A negative declaration has been adopted on October 3, 2022 on the basis of a Short Environmental Assessment Form dated March 29, 2022.

WHEREAS, the applicant has submitted as part of his application the following maps and documents:

<u>Improvement Plans</u>

1. A drawing, titled "Flexibility Subdivision Plan," prepared by Site Design Consultants, dated July 6, 2022, and last revised September 29, 2022;

2. A drawing, Sheet 1 of 1, titled "Site Plan," prepared by Site Design Consultants, dated July 6, 2022, and last revised September 29, 2022;

3. A drawing, Sheet 2 of 7, titled "Existing Conditions," prepared by Site Design Consultants, dated July 6, 2022;

4. A drawing, Sheet 3 of 7, titled "Erosion and Sediment Control Plan," prepared by Site Design Consultants, dated July 6, 2022;

5. A drawing, Sheet 4 of 7, titled "Erosion Details," prepared by Site Design Consultants, dated July 6, 2022;

6. A drawing, Sheet 5 of 7, titled "Water Main Details," prepared by Site Design Consultants, dated July 6, 2022;

7. A drawing, Sheet 6 of 7, titled "Driveway Profiles," prepared by Site Design Consultants, dated July 6, 2022;

8. A drawing, Sheet 7 of 7, titled "Site Details," prepared by Site Design Consultants, dated July 6, 2022;

9. A drawing with signed NYSDEC Freshwater Wetland Boundary Validation block, Sheet 1 of 1, titled "Existing Conditions & Wetland Delineation Plan," prepared by Site Design Consultants, dated July 6, 2022;

Additional Documents & Reports

10. A wetland delineation report prepared by Environmental Compliance Services, Inc. and dated July 25, 2022;

WHEREAS, the Planning Board has reviewed the recreation needs created by the subject subdivision as well as the present and anticipated future needs of the surrounding area as analyzed and planned for in the Town's Recreation Plan adopted in 1978; and

WHEREAS, pursuant to Town Code Section §195-35(A)(1), approximately 10% of the total area of a subdivision is required to be dedicated by the subdivider for a playground or active recreation use;

WHEREAS, to satisfy this requirement, the Applicant has proposed to donate 11.12 acres of the 24.3 acre property to the Town in order to connect existing open space parcels to other adjacent parcels in the future; and

WHEREAS, on July 19, 2022, the Town Board approved the use of Town Code Section §300-

22 Flexibility standards to eliminate the requirement that the proposed building lots have frontage on a public street and to modify the requirement for the 24 foot wide road pavement to not less than 16 feet for the private road; and
WHEREAS, the Planning Board has referred this application to the following boards and agencies and has received and considered reports of the following:

Boards & Agencies	**Report Date**
Conservation Board	04/21/2022
Environmental Consultant	08/11/2022
Highway Superintendent	07/22/2022
Planning Department	07/22/2022
Recreation Commission	10/06/2022
Tree Conservation Advisory Committee	04/13/2022
NYC DEP	06/28/2022

WHEREAS, the requirements of this Board's Land Development Regulations, *inter alia* Town Code Chapter 195, have been met; and

WHEREAS, a Public Informational Hearing was held in accordance with Town Code Section §195-22A(5) of the Yorktown Town Code on the said subdivision application and plat at the Town Hall in Yorktown Heights, New York on May 23, 2022; and

WHEREAS, having reviewed all current site plans, building plans, environmental plans and reports, comments and reports from Town professional staff, the public, and other interested and involved agencies associated with the application before it; and having conducted a public hearing on the said site plan application in accordance with Town Code Section §195-22E commencing and closing on August 15, 2022 at Town Hall in Yorktown Heights, New York;

BE IT THEREFORE NOW RESOLVED that the application of John and Elaine Kincart for approval of a subdivision titled "Dorchester Glen," prepared by Site Design Consultants, and last revised September 29, 2022, be approved subject to the following modifications and conditions and that the Chairman and Secretary of this board be and hereby are authorized to endorse this board's approval on a plat upon compliance by the applicant with such modification and additional requirements as noted. If such modifications are not made and such conditions are not fulfilled within 180 days from the date of this resolution the plat shall be deemed disapproved.

RESOLVED, a plat shall be prepared for the proposed subdivision and reviewed by the Planning Department and Town Assessor prior to signature by the Westchester County Health Department; and

RESOLVED, the improvement plans shall be modified to show:

1. Revise Sheets 3 and 6 to reflect the revised site plan.

RESOLVED, based on an assessment of the recreation needs created by the subject subdivision and the recreation needs of the surrounding area reflected in the Town's Recreation Plan, the Planning Board has determined to accept the proposed 11.12 acre donation of land because this land is located adjacent to Town owned open space and additional parcels that could potentially provide a connected trail network for the surrounding neighborhoods in the future; and

BE IT FURTHER RESOLVED, said plat map shall not be endorsed by the Planning Board until:

1. The deed, offer of dedication, and certificate of title, insured by an approved title company, for land reserved in fee to the town for recreational purposes has been tendered to the Town.

2. Approval of a Stormwater Pollution Prevention Permit from the NYCDEP.

3. Submission of a Stormwater Pollution Prevention Plan acceptable to the Town Engineer and to the satisfaction of the Planning Board.

4. Submission of a Tree Survey and review and approval of a Tree Mitigation Plan.

5. Approval of Stormwater Pollution Prevention Plan Permit and Tree Permit #T-FSWPPP-010-22 by the Planning Board.

6. Submission of fees as per town requirements in the form of separate checks made payable to the Town of Yorktown:

ABACA	$500.00
General Development	$2,880.00

7. Submission of a statement signed by the Town's Tax Collector that all taxes due on this parcel have been paid.

8. The plat has been reviewed by the Town Assessor.

9. Submission of the plat signed by the Westchester County Health Department.

BE IT FURTHER RESOLVED, the following additional requirements shall be met:

1. Applicant must submit final plat in AutoCAD DWG readable format.

2. Provide monuments at all points of curvature and points of tangency as directed by the Town Engineer at right-of-way/property line, for all lots.

BE IT THEREFORE RESOLVED, said plat shall not be endorsed by the Planning Board until the improvements shown on the construction detail improvement plans, as modified, are completed by the applicant to the satisfaction of the Superintendent of Highway, Town Engineer and Town Board within one (1) year from the date of this resolution or alternatively:

The applicant shall post 5% of the estimated costs of improvements in the form of a letter of credit or other security acceptable by the Town Board and additionally a letter credit for 95% of the estimated costs of improvements with the term of one year approved by the Town Board as to manner of execution, form and sufficiency to guarantee and assure full compliance by the applicant with all the terms, conditions, requirements and provisions as set forth in this resolution.

RESOLVED, that Letters of Credit shall have an automatic renewal for additional terms of one (1) year. Both the issuing agent for the Letter of Credit and the applicant must notify the Town of Yorktown if Letter of Credit will not be renewed for any reason, and

BE IT FURTHER RESOLVED, that the Letter of Credit shall contain language requiring its issuing agent to notify the Town, in writing, at least thirty (30) days prior to the letter's expiration date if the drawer of the letter will not renew it. (Letter to be mailed to the Town of Yorktown Engineering Department, 363 Underhill Avenue, Yorktown Heights, NY 10598.)

BE IT THEREFORE RESOLVED, that: said letter of credit should contain the provisions that when the principals have fully and properly completed all of the work and improvements as required by this resolution and the work has been accepted by the Town Board for maintenance and repair, after recommendation of the Highway Superintendent and the Town Engineer and upon the request of the applicant the same be canceled in the manner provided for by law. Said letter of credit shall not be cancelled or reduced to less than 5% of the estimated cost of improvements and that the letter of credit so reduced and the deposit of cash surety remain in full force and effect to assure the satisfactory condition of said work and improvements until released by the town at the request of the applicant. Such release shall not be earlier than one (1) year from the date of acceptance of the work and improvements. The taking over of the roads in the subdivision as town highways shall in no way impede the effectiveness of either or both letter(s) of credit.

RESOLVED, the Applicant will retain an independent third-party Environmental Systems Planner, a "Qualified Inspector" as defined by the New York State Department of Environmental Conservation in the SPDES General Permit for Stormwater Discharges from Construction Activity, to supervise and be present during the construction of the erosion control measures, and which Environmental Systems Planner will provide bi-weekly inspection reports regarding the status of erosion control measures to the approval authority via the Environmental Inspector and the Planning Department throughout construction; and

RESOLVED, the Applicant must notify the Planning Board in writing stating the name of the Environmental Systems Planner or Firm that will be completing the bi-weekly inspection reports and shall notify the Planning Board in writing if this Planner or Firm changes; and

BE IT FURTHER RESOLVED, that upon submission of a building permit for each lot of this subdivision, the owner shall submit a site plan or plot plan, to ABACA, at a minimum scale of 1" = 20' showing the following:

a. The location of the proposed house.
b. The proposed finished floor elevation of the first floor, garage, and basement.
c. The proposed grade at the garage entrance.
d. The percentage slope of the proposed driveway.
e. All existing and proposed topographic contour lines. All contour lines must extend a minimum of 10'-0" beyond the property line.
f. The line of all delineated wetland, wetland buffers, easements, etc.
g. A line indicating the limit of the area which will be disturbed by construction.
h. Any other pertinent information as shown on the subdivision and improvement plan.

BE IT FURTHER RESOLVED, that no tree cutting on individual lots shall be permitted unless and until each lot has been reviewed by the ABACA; and

BE IT FURTHER RESOLVED that upon application for a Building Permit for lots in this subdivision, the Building Inspector shall review the proposed building elevations to determine the requisite grading. Should the Building Inspector determine that the requisite grading exceeds by plus or minus two (2) feet the finished floor elevations the Planning Board approved on the signed improvement plans, the applicant shall apply to the Planning Board for approval of the proposed building plan. The Planning Board shall review such application to determine whether the proposed excavation is limited to the greatest extent practicable and does not create adverse environmental or aesthetic impacts. The Board shall approve or deny the proposed grading by resolution.

BE IT FURTHER RESOLVED, that no building permit for individual lots which require driveways in excess of ten (10) percent shall be issued by the Building Department unless approved by the Town Board; and

BE IT FURTHER RESOLVED, that no building permits be issued for any lot unless and until the Environmental Inspector has reported that all required erosion control measures are in place and functioning properly on entire site; and

BE IT FURTHER RESOLVED, that no certificate of occupancy will be issued unless an as-built survey of lot is filed with the Building Inspector; and

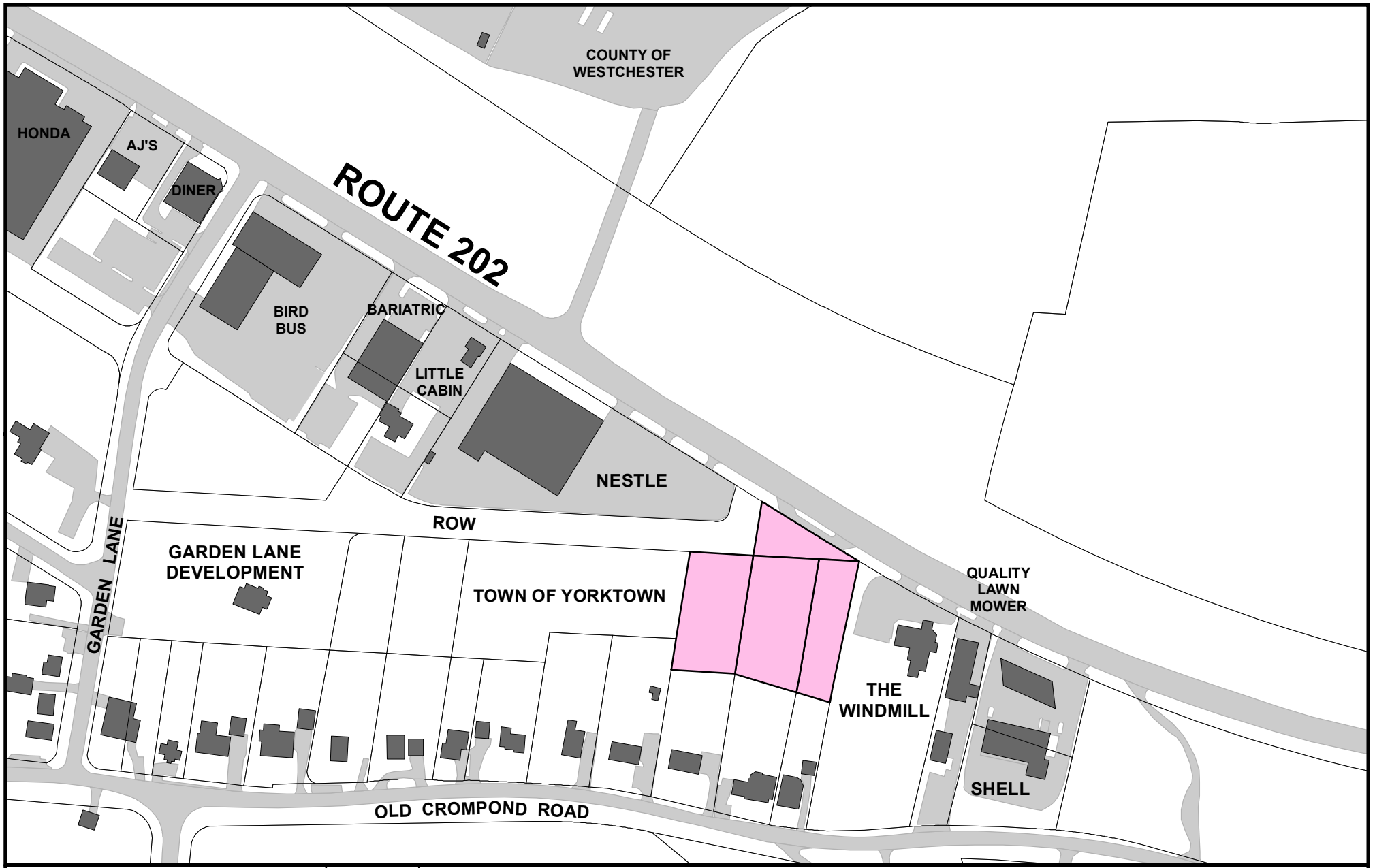
BE IT FURTHER RESOLVED, that upon consideration by the Board the installation of street trees and sidewalks required by Town Code Sections §195-15 and §195-31 respectively, are hereby waived; and

BE IT FURTHER RESOLVED, that upon due consideration by the Board no other requirements of these regulations be modified; and

BE IT FURTHER RESOLVED, that the approved plat shall be recorded and filed in the County Clerk's office within 30 days from the signature on the plat, otherwise said approval shall become null and void.

Underhill Farm

LMDS Realty Dunkin



TOWN OF YORKTOWN PLANNING DEPARTMENT
Albert A. Capellini Community & Cultural Center
1974 Commerce Street, Yorktown Heights, NY 10598
(914) 962-6565, www.yorktownny.org/planning

TITLE: Dunkin Route 202 Location Map
DATE: November 9, 2022

FILE: F:\ArcGIS\PROJECTS\Dunkin Route 202.mxd
BY: RAS

Sources: Town of Yorktown GIS and Westchester County GIS: 2020.

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Montgomery, NY 12549
phone: (845) 457-7727
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Warwick Office:
17 River Street
Warwick, NY 10990
phone: (845) 986-7737
fax: (845) 986-0245

www.EngineeringPropertiesPC.com

October 11, 2022

Town of Yorktown Planning Board
1974 Commerce Street, Room 222
Yorktown Heights, NY 10598

ATTN: Richard Fon, Chairman

RE: WO 1932.01
LMDS YORKTOWN DUNKIN DONUTS
3735 CROMPOND ROAD
TAX LOT # 35.08-1-11, 14, 15 & 23

Dear Mr. Fon:

Please find attached 8 copies of the completed pre-preliminary application form and sketch plans for the proposed application of LMDS Yorktown Dunkin Donuts. The project is located at 3735 Crompond Road. The proposed application is for a Dunkin Donuts drive-thru establishment. The proposed establishment will be accessed via US-202 (aka Crompond Road). Sketch Plan #1 (SK-1) proposes a mixture of perpendicular and angled parking while Sketch Plan #2 (SK-2) proposes only angled parking. The establishment will be serviced by public water and sewer services. The proposed plan has been prepared to conform with the bulk requirements specified in §300 Attachment 2 of the Town of Yorktown zoning code.

If you have any additional questions and/or comments, please don't hesitate to contact this office.

Sincerely,
Engineering & Surveying Properties, PC

Ross Winglovitz, P.E.
Principal

Reuben Buck
Project Engineer

TOWN OF YORKTOWN
PLANNING BOARD

RECEIVED
PLANNING DEPARTMENT
SEP 1 2022
TOWN OF YORKTOWN

Albert A. Capellini Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6363, Fax (914) 962-3986

PRE-PRELIMINARY APPLICATION

Date 09/01/2022

1. Tax Map Designation: Section 35.08 Block 1 Lot 11, 14, 15, 23

2. Zone: C-4 Acreage: ±1.4

3. Type of Development: ☑ Site Plan ☐ Subdivision

4. If subdividing, how many total lots are proposed? _____

5. A brief description of the proposed development:

The proposed action consists of a lot consolidation of tax lots 35.08-1-11, 14, 15 & 23 and the construction of a ±2913 square-foot Dunkin Donuts establishment with associated parking, drive-thru and loading area.

6. Applicant:

Name	Paul Sardinha
Firm	LMDS Realty, LLC
Address	121 Paulding Lane
	Crompond NY, 10517
Phone	914-844-3978
Fax	
Email	dunkinyorktown@gmail.com

7. Owner of Record:

Name	J.E.S. Land Developers
Address	3735 Crompond Road
	Cortlandt, NY 10567
Phone	
Fax	
Email	

8. Designated contact person for this application:

Name	Reuben Buck
Fax #	845-457-1899
Email	reuben@ep-pc.com

Applicant

SIGNATURE

PAULO H. SARDINHA
PRINT NAME

9/30/2022
DATE

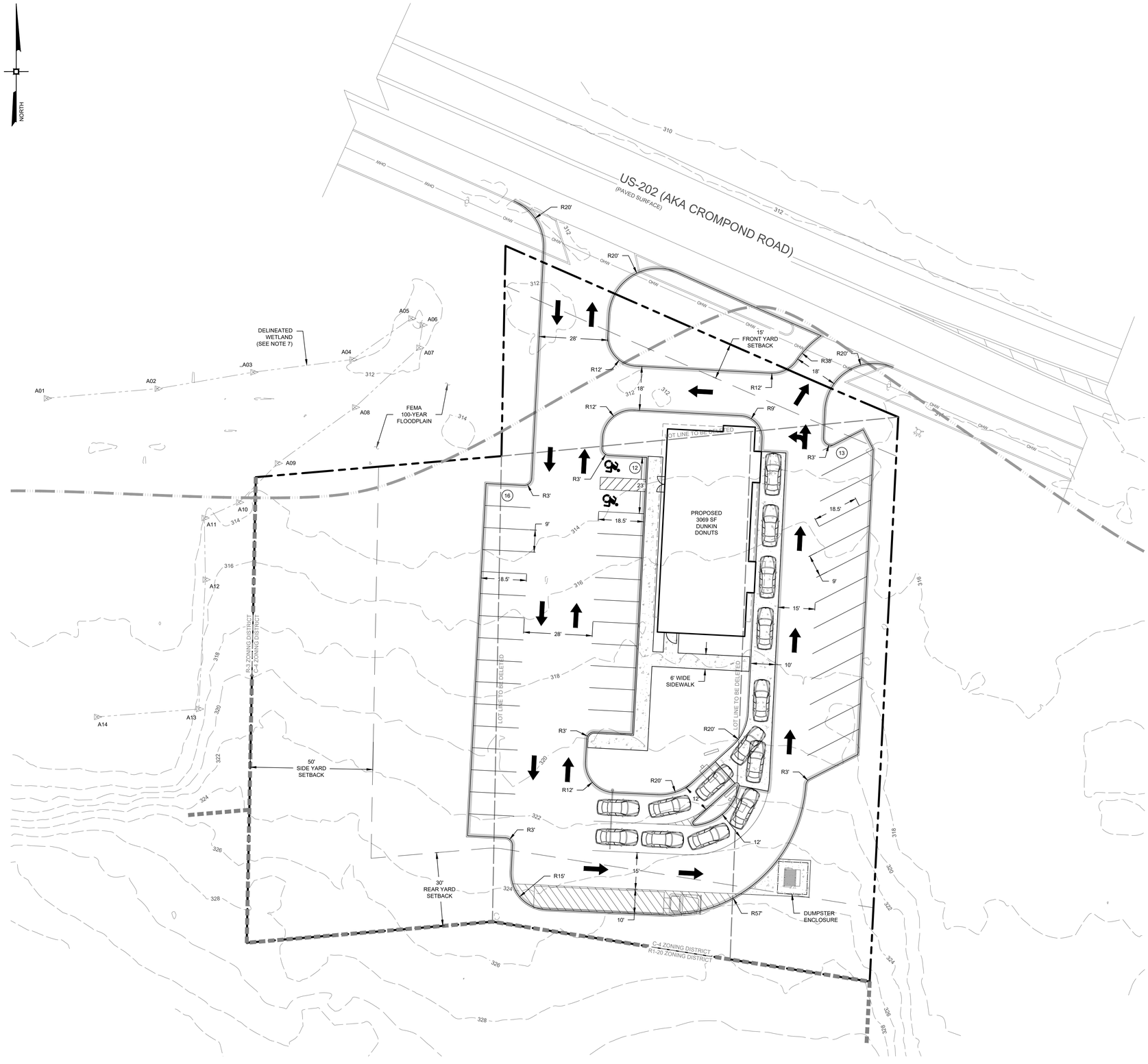
Owner of Record

SIGNATURE

CHARLES CARTALEMI
PRINT NAME

9-28-2022
DATE

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.



GENERAL NOTES

1. TAX MAP IDENTIFICATION NUMBER: SECTION 35.08 BLOCK 1 LOTS 11, 14, 15 & 23
2. TOTAL AREA OF SUBJECT PARCELS: 1.357± ACRES.
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5. OWNER: J.E.S. LAND DEVELOPERS
   3735 CROMPOND ROAD
   CORTLANDT, NY 10567
6. APPLICANT: LMDS REALTY, LLC
   PO BOX 755
   121 PAULDING LANE
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7. THE PROPOSED LOT SHALL BE SERVICED BY PUBLIC WATER AND SEWER SERVICES.
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BULK REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300 ATCH 2)

MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	NONE	59,110 SF
LOT WIDTH	25 FEET	173.5 FEET
LOT DEPTH	100 FEET	263.9 FEET
FRONT YARD	15 FEET	29.1 FEET
REAR YARD	30 FEET	131.8 FEET
SIDE YARD (ONE / BOTH)	50 FEET	67.5 FEET
MAXIMUM ALLOWABLE		
BUILDING HEIGHT	35 FT	< 35 FT
LOT COVERAGE (BUILDINGS)	30 %	5.2 %

PARKING REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300-182(A)(5))

BUILDING AREA:
- AREA DEVOTED TO PATRON USE 1,130 SF
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- TOTAL BUILDING AREA 2,913 SF

PARKING SPACES REQUIRED:
- 1,130 SF x 1 SPACE PER 50 SF = 23 SPACES
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TOTAL SPACES REQUIRED: 41 SPACES

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TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300-186(A)(1))

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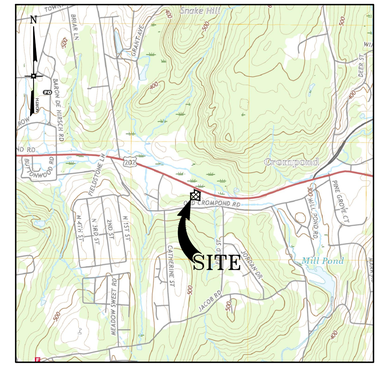

LOCATION MAP

SCALE: 1" = 2000'

No.	DATE	DESCRIPTION

DRAWING STATUS	ISSUE DATE: 09/01/22		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☑ CONCEPT APPROVAL	1	OF	1
☐ PLANNING BOARD APPROVAL	N/A	OF	N/A
☐ WCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ WCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

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1 inch = 20 ft.

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SKETCH PLAN

LMDS YORKTOWN DUNKIN DONUTS
3735 CROMPOND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #:	DRAWN BY:	
1932.01	RMB	SK-1
DATE: 09/01/22	SCALE: 1" = 20'	
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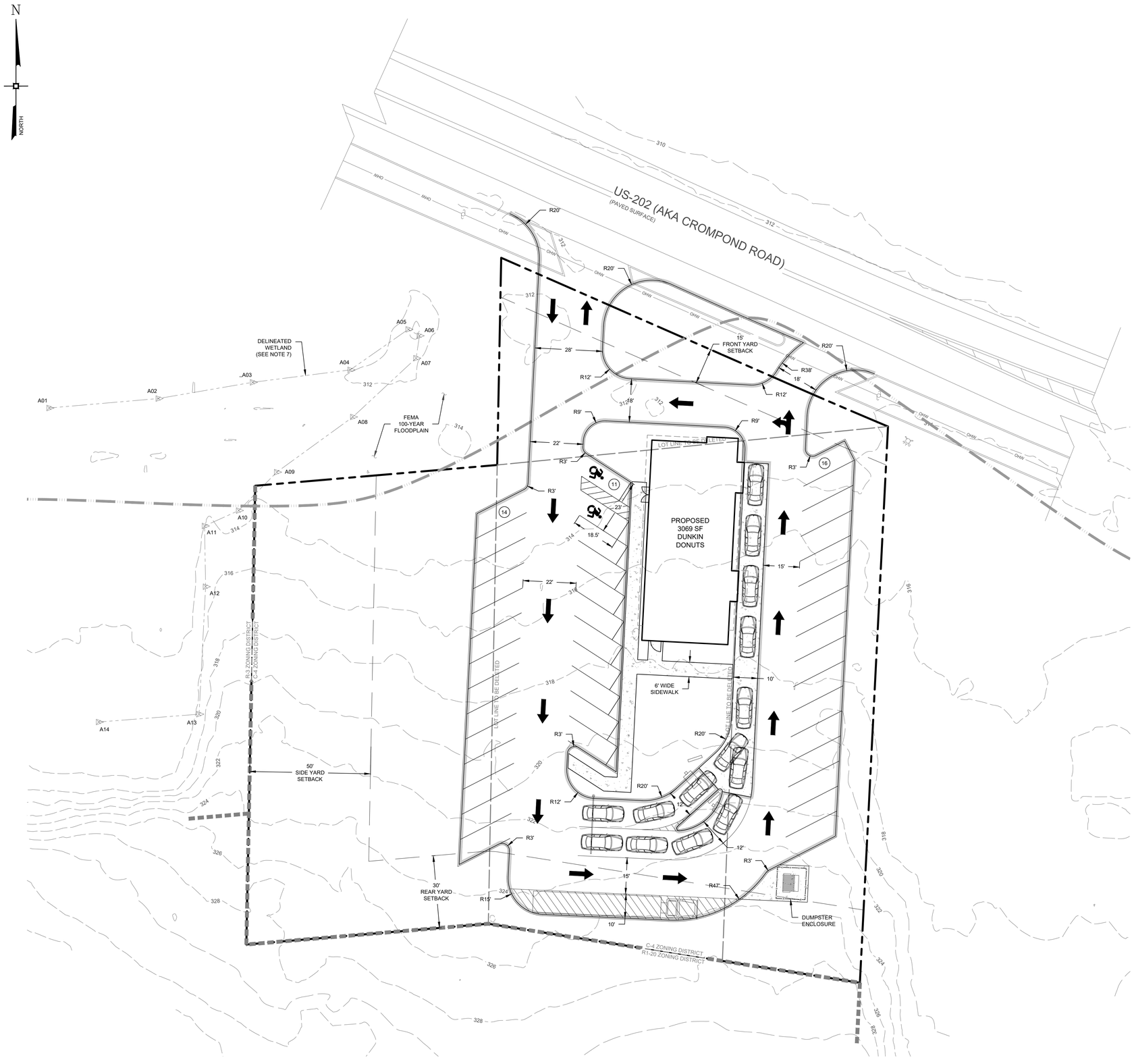

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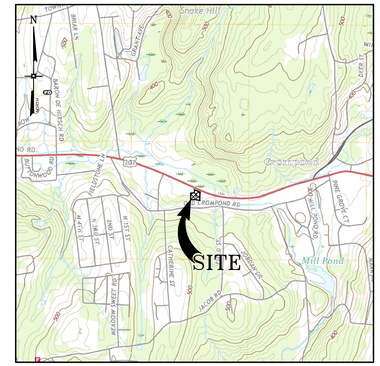

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JOB #:	DRAWN BY:	
1932.01	RMB	SK-2
DATE: 09/01/22	SCALE: 1" = 20'	
REVISION: 0	TAX LOT: 35.08-1-11, 14, 15 & 23	

TB Referral
800 East Main St

From: Maura Weissleder
Sent: Tuesday, November 8, 2022 6:16 AM
To: 'phyllisabock@gmail.com'; 'dianedri@aol.com'; John Tegeder; Robyn Steinberg; 'archipose@aol.com'; 'richfon@aol.com'; 'Lawrence Klein'; 'Herbert, Lukas'; Adam Rodriguez; Adam Rodriguez; Ed lachterman; Ed Lachterman (edlachterman@gmail.com); Luciana Haughwout; Matthew Slater; Sergio Esposito; Thomas Diana
Cc: Jenna Belcastro; Kim Hughes; Nancy Calicchia
Subject: 800 Main Street Yorktown Dev AMC LLC Petition for Zoning Code Amendment
Attachments: Letter to Town Clerk with EAF.pdf; Petition of 800 E Main Yorktown Dev AMC LLC.pdf; 800 E Main Yorktown - EAF.pdf

Attached please find documents submitted for the above project. This will need to be scheduled for an upcoming work session.

Advisory Boards: please send any comments/suggestions to the Town Clerk, Diana L. Quast at dquast@yorktownny.org.

Maura Weissleder

Deputy Town Clerk
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, NY 10598
Ph: (914)962-5722, ext. 210
Fax: (914)962-6591

DELBELLO DONNELLAN WEINGARTEN WISE & WIEDERKEHR, LLP

Janet J. Giris
Partner
jjg@ddw-law.com

COUNSELLORS AT LAW
THE GATEWAY BUILDING
ONE NORTH LEXINGTON AVENUE
WHITE PLAINS, NEW YORK 10601
(914) 681-0200
FACSIMILE (914) 684-0288

Connecticut Office
1111 SUMMER STREET
STAMFORD, CT 06905
(203) 298-0000

November 1, 2022

By Email and Federal Express

Honorable Diana L. Quast, Town Clerk
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, New York 10598

Re: Petition of 800 E Main Yorktown Dev AMC LLC for Amendments to the Zoning Code of the Town of Yorktown Affecting the RSP-2 Senior Citizens District of the Town and an Amendment to the Zoning Map of the Town of Yorktown to re-zone property known as 800 East Main Street.

Dear Ms. Quast:

On behalf of 800 E Main Yorktown Dev AMC LLC, we respectfully submit twelve (12) copies of a completed full Environmental Assessment Form (FEAF) in connection with the above-referenced matter. We respectfully request that the FEAF be distributed to the Town Board and placed on the next available agenda of the Town Board for action as requested in the accompanying letter.

Thank you for your consideration.

Very truly yours,

JANET J. GIRIS

Enclosures

1641652
0182620-006

DELBELLO DONNELLAN WEINGARTEN WISE & WIEDERKEHR, LLP

Janet J. Giris
Partner
jjg@ddw-law.com

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STAMFORD, CT 06905
(203) 298-0000

November 1, 2022

By Email and Federal Express

Honorable Matthew J. Slater, Supervisor
and Members of the Town Board
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, New York 10598

Re: Petition of 800 E Main Yorktown Dev AMC LLC for Amendments to the Zoning Code of the Town of Yorktown Affecting the RSP-2 Senior Citizens District of the Town and an Amendment to the Zoning Map of the Town of Yorktown to re-zone property known as 800 East Main Street.

Dear Supervisor Slater and Members of the Town Board:

On behalf of 800 E Main Yorktown Dev AMC LLC, we respectfully submit twelve (12) copies of a completed full Environmental Assessment Form (FEAF) in connection with the above-referenced matter. We respectfully request that this matter be placed on the Town Board's next agenda for purposes of: 1) declaring intent to be lead agency for coordinated review of the Petition and all related actions under the State Environmental Quality Review Act (SEQRA); 2) authorizing and directing the circulation of the Petition and FEAF to all potential involved agencies; and 3) if the Town Board so chooses, referral of the Petition to the Town Planning Board for its report in accordance with Section 300-206 of the Zoning Code of the Town.

We look forward to your continued review of the Petition. Thank you for your consideration.

Very truly yours,

JANET J. GIRIS

Enclosure
cc: Michael Mitnick, AMS
Peter Feroe, AICP, AKRF
Mark P. Weingarten, Esq.

1641608
0182620-006

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: 800 East Main Street		
Project Location (describe, and attach a general location map): 800 East Main Street, Yorktown, New York (see attached location map)		
Brief Description of Proposed Action (include purpose or need): The Project Sponsor, 800 E Main Yorktown Dev AMS LLC, proposes to redevelop a 35.53-acre (1,548,227 sf) parcel located at 800 East Main Street (SBL: 5.19-1-15) in the Town of Yorktown, NY (the "Project Site") and within the Research Laboratory and Office (OB-2) Zoning District. The Project Site is currently improved with two, 2-story office buildings totaling approximately 60,000 sf with related parking and infrastructure. The Project Sponsor proposes to demolish the existing improvements and redevelop the Site with an active senior residential community (age 55+) consisting of 250 dwelling units, including approximatley 200 rentals and approximately 50 for-sale townhomes, amenities (including a clubhouse and fitness/wellness amenities, as well as outdoor active and passive recreational spaces), and approximately 378 parking spaces (the "Proposed Project"). To facilitate the Proposed Project, the Project Sponsor proposes a Zoning Map Amendment to change the Site's zoning from OB-2 to RSP-2 and a Text Amendment to increase certain allowable building dimensions within parcels greater than 25 acres in the RSP-2 District.		
Name of Applicant/Sponsor: 800 E Main Yorktown Dev AMS LLC	Telephone: E-Mail:	
Address: c/o AMS Acquisitions LLC, 1 Bridge Plaza North, Suite 840		
City/PO: Fort Lee	State: NJ	Zip Code: 07024
Project Contact (if not same as sponsor; give name and title/role): Ryan Sutherland, Director of Design and Development, AMS Acquisitions	Telephone: 212-695-7585 E-Mail: rsutherland@amsacquisitions.com	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	**If Yes: Identify Agency and Approval(s) Required**	**Application Date (Actual or projected)**
a. City Counsel, Town Board, or Village Board of Trustees ☑Yes☐No	Zoning Text and Map Amendments	Nov 2022
b. City, Town or Village Planning Board or Commission ☑Yes☐No	Site Plan and Special Permit	tbd
c. City, Town or Village Zoning Board of Appeals ☐Yes☑No		
d. Other local agencies ☑Yes☐No	Engineering & Sewer Department; Water Department (utility connections)	tbd
e. County agencies ☑Yes☐No	GML 239 referrals, DOH private water/sewer connection	tbd
f. Regional agencies ☐Yes☑No		
g. State agencies ☑Yes☐No	NYSDEC 5-acre waiver	tbd
h. Federal agencies ☐Yes☑No		

i. Coastal Resources.
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? ☐Yes☑No

ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? ☐Yes☑No

iii. Is the project site within a Coastal Erosion Hazard Area? ☐Yes☑No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐Yes☑No

- **If Yes,** complete sections C, F and G.
- **If No,** proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☑Yes☐No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☑Yes☐No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐Yes☑No

If Yes, identify the plan(s):

_____

_____

_____

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐Yes☑No

If Yes, identify the plan(s):

_____

_____

_____

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☑ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Research Laboratory and Office (OB-2) Zoning District

b. Is the use permitted or allowed by a special or conditional use permit? ☐ Yes ☑ No

c. Is a zoning change requested as part of the proposed action? ☑ Yes ☐ No
If Yes,
i. What is the proposed new zoning for the site? Senior Citizens (RSP-2) Zoning District

C.4. Existing community services.

a. In what school district is the project site located? Lakeland Central School District

b. What police or other public protection forces serve the project site?
Yorktown Police Department

c. Which fire protection and emergency medical services serve the project site?
Mohegan FD, Mohegan EMS

d. What parks serve the project site?
DJT State Park; Danner Family Preserve, Shrub Oak Memorial Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? senior citizen development - residential (primarily) and related amenities

b. a. Total acreage of the site of the proposed action? 35.53 acres
b. Total acreage to be physically disturbed? 22.5 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 35.53 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☑ No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☑ No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? **TBD** ☐ Yes ☐ No
i. If No, anticipated period of construction: **TBD** _____ months
ii. If Yes:
- Total number of phases anticipated **TBD** _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? ☑ Yes ☐ No

If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase				
At completion of all phases	50			200

g. Does the proposed action include new non-residential construction (including expansions)? ☑ Yes ☐ No

If Yes,

i. Total number of structures 25

ii. Dimensions (in feet) of largest proposed structure: 55 height; 80 width; and 318 length

iii. Approximate extent of building space to be heated or cooled: 844,895 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☑ Yes ☐ No

If Yes,

i. Purpose of the impoundment: Stormwater management and aesthetic feature

ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☑ Other specify: Preliminary concept is stormwater pond that becomes aesthetic feature of community.

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: tbd million gallons; surface area: 0.5 acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? ☐ Yes ☐ No
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) **TBD**

If Yes:

i. What is the purpose of the excavation or dredging? Excavation and grading activities associated with building, road, and utility construction.

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): TBD
- Over what duration of time? TBD

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

Amount of excavation and relative balance of site grading activities is not yet known.

iv. Will there be onsite dewatering or processing of excavated materials? **TBD** ☐ Yes ☐ No
If yes, describe.

v. What is the total area to be dredged or excavated? TBD acres

vi. What is the maximum area to be worked at any one time? TBD acres

vii. What would be the maximum depth of excavation or dredging? TBD feet

viii. Will the excavation require blasting? **TBD** ☐ Yes ☐ No

ix. Summarize site reclamation goals and plan:

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐ Yes ☑ No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description):

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐Yes ☐No
If Yes, describe:

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐Yes ☐No
If Yes:

- acres of aquatic vegetation proposed to be removed:
- expected acreage of aquatic vegetation remaining after project completion:
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):
- proposed method of plant removal:
- if chemical/herbicide treatment will be used, specify product(s):

v. Describe any proposed reclamation/mitigation following disturbance:

c. Will the proposed action use, or create a new demand for water? ☑Yes ☐No
If Yes:

i. Total anticipated water usage/demand per day: 44,000 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☑Yes ☐No
If Yes:

- Name of district or service area: Yorktown
- Does the existing public water supply have capacity to serve the proposal? **TBD** ☐Yes ☐No
- Is the project site in the existing district? ☑Yes ☐No
- Is expansion of the district needed? ☐Yes ☑No
- Do existing lines serve the project site? ☑Yes ☐No

iii. Will line extension within an existing district be necessary to supply the project? ☐Yes ☑No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project:
- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐Yes ☑No
If, Yes:

- Applicant/sponsor for new district:
- Date application submitted or anticipated:
- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project:
n/a

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: n/a gallons/minute.

d. Will the proposed action generate liquid wastes? ☑Yes ☐No
If Yes:

i. Total anticipated liquid waste generation per day: 44,000 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):
sanitary waste

iii. Will the proposed action use any existing public wastewater treatment facilities? ☑Yes ☐No
If Yes:

- Name of wastewater treatment plant to be used: Peekskill
- Name of district: Peekskill
- Does the existing wastewater treatment plant have capacity to serve the project? ☑Yes ☐No
- Is the project site in the existing district? ☑Yes ☐No
- Is expansion of the district needed? ☐Yes ☑No

- Do existing sewer lines serve the project site? ☑ Yes ☐ No
- Will a line extension within an existing district be necessary to serve the project? ☐ Yes ☑ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐ Yes ☑ No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

n/a

vi. Describe any plans or designs to capture, recycle or reuse liquid waste:

TBD

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☑ Yes ☐ No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or 11.45 acres (impervious surface)

_____ Square feet or 35.53 acres (parcel size)

ii. Describe types of new point sources. TBD

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

The stormwater management design will serve to maintain existing drainage patterns to the maximum extent practical and reduce proposed runoff rates when compared to pre-development runoff rates for areas of new development and maintain runoff rates for areas of redevelopment.

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? **TBD** ☐ Yes ☐ No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☐ Yes ☐ No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☑ Yes ☐ No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

Delivery vehicles typical for residential uses

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

TBD: Potential for generators during construction

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

TBD: HVAC systems fuel source is not yet known.

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐ Yes ☑ No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐ Yes ☐ No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____ Tons/year (short tons) of Carbon Dioxide (CO_2)
- _____ Tons/year (short tons) of Nitrous Oxide (N_2O)
- _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____ Tons/year (short tons) of Sulfur Hexafluoride (SF_6)
- _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)
- _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐Yes ☑No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐Yes ☑No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

_____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐Yes ☑No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☑ Morning ☑ Evening ☐ Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing 288 Proposed 378 Net increase/decrease +90

iv. Does the proposed action include any shared use parking? ☐Yes ☑No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:
TBD

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☑Yes ☐No

vii Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐Yes ☐No **TBD**

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐Yes ☐No **TBD**

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? **N/A** ☐Yes ☐No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐Yes ☐No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: TBD; Compliant with Town Code
- Saturday: TBD; Compliant with Town Code
- Sunday: TBD; Compliant with Town Code
- Holidays: TBD; Compliant with Town Code

ii. During Operations:

- Monday - Friday: typical residential hours
- Saturday: typical residential hours
- Sunday: typical residential hours
- Holidays: typical residential hours

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☑ Yes ☐ No

If yes:

i. Provide details including sources, time of day and duration:

Certain construction activities will produce noise in excess of ambient levels.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? **TBD** ☐ Yes ☐ No

Describe: Project will require vegetation removal in certain areas.

n. Will the proposed action have outdoor lighting? ☑ Yes ☐ No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

TBD: Site lighting would designed to minimize potential impacts to offsite occupied structures.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? **TBD** ☐ Yes ☐ No

Describe: TBD: Project will require vegetation removal in certain areas.

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☑ No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☑ No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? **N/A** ☐ Yes ☐ No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? **N/A** ☐ Yes ☐ No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☑ Commercial ☑ Residential (suburban) ☐ Rural (non-farm)
☑ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	± 226,533	±498,851	+272,318
• Forested	±956,250	±443,983	-512,267
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	±353,391	±573,210	+219,819
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)	TBD	TBD	
• Other Describe: Pond	0	±20,130	+20,130

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☑ No

i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☑ No

If Yes,

i. Identify Facilities:

_____

_____

e. Does the project site contain an existing dam? ☐ Yes ☑ No

If Yes:

i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____

iii. Provide date and summarize results of last inspection:

_____

_____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Has the facility been formally closed? ☐ Yes ☐ No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

_____

_____

iii. Describe any development constraints due to the prior solid waste activities: _____

_____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

_____

_____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☑ Yes ☐ No

If Yes:

i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☑ Yes ☐ No

☑ Yes – Spills Incidents database — Provide DEC ID number(s): 1108736

☐ Yes – Environmental Site Remediation database — Provide DEC ID number(s): Spill ID associated with a failed tank tightness test. After replacement of fill and vent pipes/fitting, tank passed second tightness test and "spill" was closed.

☐ Neither database

ii. If site has been subject of RCRA corrective activities, describe control measures: _____

_____

_____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☑ No

If yes, provide DEC ID number(s): _____

iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

_____

_____

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☑ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? TBD feet

b. Are there bedrock outcroppings on the project site? **TBD** ☐ Yes ☐ No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

ChB	36 %
ChC	28 %
ChD	23 %

d. What is the average depth to the water table on the project site? Average: TBD feet

e. Drainage status of project site soils:

☐ Well Drained:	98 % of site
☐ Moderately Well Drained:	% of site
☐ Poorly Drained	2 % of site

f. Approximate proportion of proposed action site with slopes:

☑ 0-10%:	22 % of site
☑ 10-15%:	31 % of site
☑ 15% or greater:	47 % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☑ No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☐ Yes ☑ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☑ Yes ☐ No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☑ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☑ No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? ☐ Yes ☑ No

j. Is the project site in the 100-year Floodplain? ☐ Yes ☑ No

k. Is the project site in the 500-year Floodplain? ☐ Yes ☑ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☑ Yes ☐ No
If Yes:

i. Name of aquifer: Principal Aquifer

m. Identify the predominant wildlife species that occupy or use the project site:
TBD

n. Does the project site contain a designated significant natural community? ☐Yes ☑No
If Yes:
i. Describe the habitat/community (composition, function, and basis for designation):
ii. Source(s) of description or evaluation:
iii. Extent of community/habitat:
- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☐ Yes ☑No

If Yes:
i. Species and listing (endangered or threatened):

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☑Yes ☐No

If Yes:
i. Species and listing:
New England Cottontail - Habitat assessment prepared for Applicant indicates no habitat present on-Site for Cottontail

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐Yes ☑No
If yes, give a brief description of how the proposed action may affect that use:

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐Yes ☑No
If Yes, provide county plus district name/number:

b. Are agricultural lands consisting of highly productive soils present? ☐Yes ☑No
i. If Yes: acreage(s) on project site?
ii. Source(s) of soil rating(s):

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐Yes ☑No
If Yes:
i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature
ii. Provide brief description of landmark, including values behind designation and approximate size/extent:

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐Yes ☑No
If Yes:
i. CEA name:
ii. Basis for designation:
iii. Designating agency and date:

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☑ Yes ☐ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: Taconic State Parkway

iii. Brief description of attributes on which listing is based:

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☑ Yes ☐ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☑ No

If Yes:

i. Describe possible resource(s):

ii. Basis for identification:

h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☑ Yes ☐ No

If Yes:

i. Identify resource: Taconic State Parkway

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Scenic Byway

iii. Distance between project and resource: 0 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☑ No

If Yes:

i. Identify the name of the river and its designation:

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

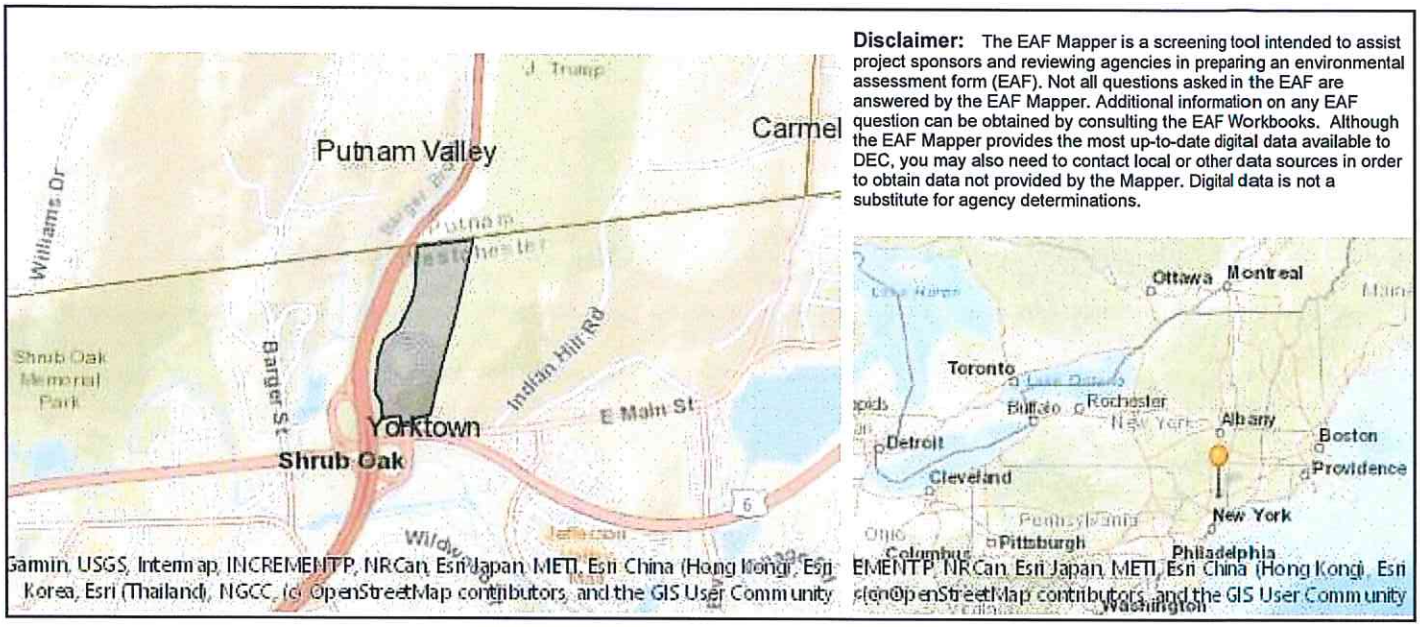
Applicant/Sponsor Name 800 E Main Yorktown Dev AMS LLC Date 11/1/2022

Signature Raymond Hedaya Title Authorized Signatory

PRINT FORM

EAF Mapper Summary Report

Tuesday, October 25, 2022 1:16 PM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	Yes
E.2.p. [Rare Plants or Animals - Name]	New England Cottontail
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Taconic State Parkway
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

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October 24, 2022

By Hand Delivery

Honorable Diana L. Quast, Town Clerk
Town of Yorktown
363 Underhill Avenue
Yorktown Heights, New York 10598

Re: Petition of 800 E Main Yorktown Dev AMC LLC for Amendments to the Zoning Code of the Town of Yorktown Affecting the RSP-2 Senior Citizens District of the Town and an Amendment to the Zoning Map of the Town of Yorktown to re-zone property known as 800 East Main Street.

Dear Ms. Quast:

On behalf of 800 E Main Yorktown Dev AMC LLC, we respectfully submit twelve (12) copies of a Petition to the Town Board for: (i) amendments to the Zoning Code of the Town of Yorktown affecting the RSP-2 Senior Citizens District of the Town (the "RSP-2" District"); and (ii) an amendment to the Zoning Map of the Town to rezone property located at as 800 East Main Street (also designated on the Tax Map of the Town of Yorktown as Tax ID: 5.19-1-15) from OB District to RSP-2 District, together with a check in the amount of $3,500 made payable to the Town of Yorktown representing the application fee. We respectfully request that the Petition be distributed accordingly and placed on the next available agenda of the Town Board for commencement of review.

Thank you for your consideration.

Very truly yours,

JANET J. GIRIS

cc: Michael Mitnick, AMS
Mark P. Weingarten, Esq.

1641094
0182620-006

TOWN BOARD: TOWN OF YORKTOWN
COUNTY OF WESTCHESTER: STATE OF NEW YORK

----------X

In the Matter of the Application of

800 E MAIN YORKTOWN DEV AMS LLC

For (i) amendments to the Zoning Code of the Town of Yorktown generally affecting the RSP-2 Senior Citizens District of the Town; and (ii) an amendment to the Zoning Map of the Town of Yorktown to re-zone property known as 800 East Main Street and designated on the Tax Map of the Town of Yorktown as Tax ID: 5.19-1-15 from OB Research Laboratory and Office District to RSP-2 Senior Citizens District of the Town.

----------X

PETITION

800 E Main Yorktown Dev AMS LLC (the "Petitioner"), by and through its attorneys, DelBello Donnellan, Weingarten Wise & Wiederkehr, LLP, hereby petitions the Town Board of the Town of Yorktown (the "Town Board") pursuant to Section 300-206 of the Zoning Code of the Town of Yorktown (the "Zoning Code") and New York Town Law Section 265, as follows:

THE PETITIONER

1. Petitioner is a New York limited liability company, duly organized and existing under the laws of the State of New York, having a principal place of business at c/o AMS Acquisitions LLC, 1 Bridge Plaza North, Suite 840, Fort Lee, New Jersey. Petitioner is a related entity of AMS Acquisitions ("AMS"), a real estate investment firm that focuses on the acquisition and development of retail, residential and office properties. Founded in 2012, AMS has built a portfolio of more than 1 million square feet, with an aggregate transaction volume in excess of $1 billion.

2. Petitioner is the contract vendee of the property located at 800 East Main Street in the Town of Yorktown (the "Town") which is also known and designated on the tax assessment

map of the Town as Tax Map ID: 5.19-1-15 (the "Property"). Attached as **Exhibit "A"** is a map depicting the Property and the surrounding area and a metes and bound description of the Property.

3. The Site is owned by Contractors Register, LLC ("Owner"). This Petition is made with the knowledge and consent of the Owner.

THE PROPERTY

4. The Property consists of approximately 35.53 acres and is located at the north side of U.S. Route 6 at its intersection with the Taconic State Parkway. It is located in the OB Research Laboratory and Office District of the Town (the "OB District"). The Property is bordered on the east and north by the Donald J. Trump State Park and, although separated by the Taconic State Parkway, to its west are the Trump Park Residences, located in the RSP-2 Senior Citizens District of the Town (the "RSP-2 District"). In addition to the RSP-2 District to the west of the Property, other zoning districts in the vicinity of the Property include R1-160 One-Family Residential District (the "R1-160 District") immediately to the east of the Property, and the R1-20 One-Family Residential District (the "R-20 District") to the west of the Property, with commercial districts to the immediate south and east of the Property.

5. The Property is currently improved with an approximately 63,617 square foot office building, together with related parking and infrastructure. The office building is currently vacant.

THE PROPOSED PROJECT

6. Petitioner seeks to demolish the existing improvements on the Property and to redevelop the Property with an active adult residential community available to adults aged 55 and over, consisting of 250 dwelling units including a mix of rental units and for-sale townhomes, together with amenities, 383 parking spaces and related infrastructure, generally in accordance with the Concept Plan attached hereto as **Exhibit "B**" (the "Project").

7. As shown on the Concept Plan, the Project has been designed with a range of housing types promoting a sense of planned community. The proposed residential buildings include "apartment-style" buildings and "villa" buildings which are intended to be offered as rental units (proposed to be constructed in the southern portion of the Property), and town-home style buildings which are intended to be offered as for-sale (and proposed to be constructed to the north of the rental buildings).

8. A significant portion of the Property will be allocated to common areas for use by residents of the Project which will feature numerous passive and active recreational spaces, and social and fitness-oriented on-site amenities.

9. The Project has been thoughtfully designed not only to be constructed into the existing landscape, preserving and highlighting significant natural and aesthetic qualities, but also to preserve views from the Taconic Sate Parkway which is a New York State Scenic Byway. Petitioner intends to preserve and enhance the existing approximately 150-foot-wide vegetative buffer that provides a natural visual screen of the Property from the Taconic Sate Parkway, as shown in the drawing attached hereto as **Exhibit "C"**. In addition, approximately 6.25 acres of the Property adjacent to the Donald J. Trump State Park will be preserved as open space. A rendering of the proposed Project is attached hereto as **Exhibit "D."** A viewshed analysis has been prepared for the Project and will be submitted under separate cover in due course.

CURRENT ZONING

10. As previously stated, the Property is currently located in an OB District of the Town. There are currently three areas of the Town located in the OB District which was tailored to allow specific uses which the economic climate once demanded. Review of the permitted uses

in the OB District as stated in Section 300-21(C)(14) of the Zoning Code further shows its highly specialized intent:

> (a) Permitted main uses shall be as follows:
> [1] Research laboratories and offices…
> [2] Living quarters within each main building for custodian and security personnel.
>
> (b) Main uses permitted by special permit shall be as follows:
> [1] The same special uses as specified by Subsection C(1)(b) et al, and [14] in the R1 District.
> [2] Day-care facilities and nursery schools...
> [3] Colleges and seminaries.
>
> (c) Permitted accessory uses shall be as follows:
> [1] Research laboratory and office accessory uses...
> [2] Lodging house accessory to a laboratory-office use.
>
> (d) Accessory uses permitted by special permit (in accordance with provisions of Article VII) in OB Districts shall be as follows:
> [1] Radio, television and other electronic transmission stations or towers, including wireless telecommunications facilities.
> [2] Helistops.

11. It is evident that the current zoning of the Property was created for large-campus end-users which are becoming less predominant in an evolving real estate market and as the amount of available office space in the Town and in Westchester County has outpaced the needs of existing and potential office tenants.

PROPOSED ZONING AMENDMENTS

12. The Project is not currently permitted in the OB District which restricts residential uses. The proposed Project which is intended to be an active adult community is classified under the Zoning Code as an "senior citizen development," and is a permitted main use in the RSP-2 District, however, the Project does not comply with all of the RSP-2 dimensional regulations. Accordingly, the Petitioner seeks amendments to the Zoning Code and the Zoning Map of the

Town to: (i) reclassify and redesignate the Property from OB District to RSP-2 District; and (ii) amend the Schedule of Regulations for the RSP-2 District (300 Attachment 1, Appendix A, entitled "Residence Zone Standards") to: (a) increase floor area ratio from 0.35 to 0.55 on sites greater than 25 acres; and (b) increase maximum height from 45 feet to 55 feet on sites greater than 25 acres to facilitate the development of the Project on the Property. The completed "Application for Change of Zone" is attached hereto as **Exhibit "E"** and the proposed amendments to the Zoning Code are attached hereto as **Exhibit "F."**

13. The Petitioner respectfully submits that the Project is an appropriate transitional use between the one-family districts immediately adjacent to the Property and the commercial districts to the south of the Property and is more consistent with the surrounding environs than if further developed with the uses allowed in the current OB District, even if such a demand existed.

14. The Petitioner further respectfully submits that: (a) there is a need for the Project in the Town and the surrounding community as "empty-nesters" or those seeking to downsize from their single-family homes wish to remain in the community in which they have lived and raised their families; (b) adequate utilities and services, including roads, exist or can be reasonably expect to be created to serve the needs of the Project; and (c) the Project and the proposed amendments to the Zoning Code and the Zoning Map are consistent with the land use objectives of the Town.

15. The Project and the Proposed amendments would allow for the development of a well-planned, intentional, sustainable community utilizing modern standards and responsive to the unique needs of an older population which is still active and seeking environments that promote long-term wellness.

16. If the Town Board grants this Petition and adopts the proposed amendments, the Project will also require site plan and special permit approvals from the Planning Board of the Town in accordance with Article VIII of the Zoning Code.

COMPLIANCE WITH THE STATE ENVIRONMENTAL QUALITY REVIEW ACT

17. Under the requirements of the State Environmental Quality Review Act ("SEQRA") the actions directly and indirectly proposed by this Petition are classified as "Type I" under Section 617.4(b)(2) of the SEQRA regulations. Accordingly, Petitioner will comply with the requirements of SEQRA as regards a Type I Action. A completed full environmental assessment form Part 1 will be submitted shortly under separate cover. Petitioner respectfully submits that the actions directly and indirectly proposed by this Petition are not reasonably expected to result in any significant adverse environmental impacts.

WHEREFORE, Petitioner respectfully requests that the Town Board grant this Petition and amend the Zoning Code and the Zoning Map as set forth herein.

Dated: October 21, 2022
White Plains, New York

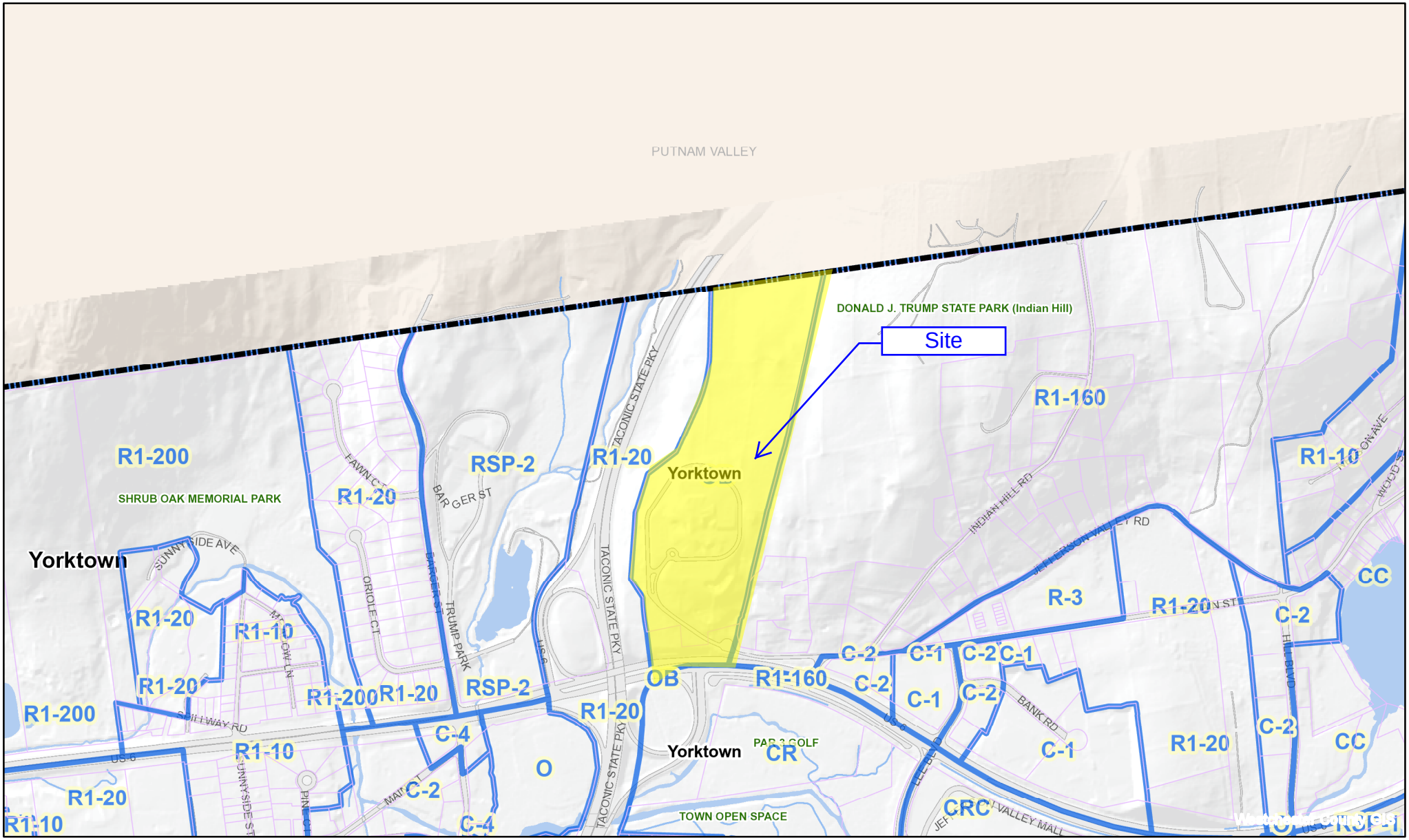
Respectfully submitted,

DELBELLO DONNELLAN WEINGARTEN WISE & WIEDERKEHR, LLP
Attorneys for Petitioner
One North Lexington Avenue, 11th floor
White Plains, New York 10601

Exhibit "A"

Area Map and Metes and Bounds Description

(Yorktown)



October 21, 2022

1:10,000

0 475 950 1,900 ft

N

Westchester County GIS

http://giswww.westchestergov.com
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

Old Republic National Title Insurance Company

Title No.: MTANY-176456

SCHEDULE A CONTINUED

LEGAL DESCRIPTION

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Yorktown, County of Westchester and State of New York, and being on the northerly line of public highway leading from Peekskill to Lake Mahopac, known as U.S. Route No. 6, also known as Jefferson Valley Road; and lying easterly of the easterly boundary line of the lands of the People of the State of New York described as the Bronx Parkway Extension, which said parcel of land is bounded and described as follows:

BEGINNING at a point on the said northerly line of State Highway No. 1309, Route 6, where it is intersected by the easterly line of said Bronx Parkway Extension as shown on map entitled, "State of New York acting by Westchester County Park Commission, Map of land to be acquired for Bronx Parkway Extension Sheet No. 56", filed in the office of the Clerk of the County of Westchester, Division of Land Records, on September 12, 1930 as Map No. 3692;

RUNNING THENCE along the easterly side of the Bronx Parkway Extension, the following 6 courses and distances:

1. On a curve to the right having a radius of 1300.18 feet a distance of 212.96 feet;

2. North 32 degrees 52 minutes 40 seconds west 140.80 feet;

3. North 4 degrees 21 minutes 50 seconds east 429.87 feet;

4. North 17 degrees 35 minutes 40 seconds east 250.52 feet;

5. North 52 degrees 55 minutes 50 seconds east 231.01 feet;

6. North 25 degrees 22 minutes 00 seconds east 323.60 feet;

THENCE on a curve to the left having a radius of 771.94 feet, a distance of 321.22 feet;

THENCE north 01 degree 31 minutes 30 seconds east 430.03 feet to the dividing line between the counties of Putnam and Westchester;

THENCE easterly along said dividing line the following 3 courses and distances:

1. North 83 degrees 44 minutes 00 seconds east 198.11 feet;

2. North 82 degrees 13 minutes 00 seconds east 272.53 feet;

3. North 84 degrees 25 minutes 00 seconds east 240.57 feet to the land now or formerly of Samuel Smith:

THENCE southerly along land now or formerly of Samuel Smith the following 2 courses and distances:

1. South 11 degrees 46 minutes 00 seconds west 312.80 feet; and

2. South 12 degrees 35 minutes 00 seconds west 368.48 feet;

THENCE continuing southerly and along land now or formerly of Sarah D. Onderdonk the following 8 courses and distances:

1. South 14 degrees 14 minutes 00 seconds west 426.47 feet;

2. South 17 degrees 15 minutes 00 seconds west 122.04 feet;

3. South 13 degrees 47 minutes 00 seconds west 78.05 feet;

4. South 16 degrees 18 minutes 00 seconds west 125.17 feet;

5. South 14 degrees 56 minutes 00 seconds west 126.90 feet;

6. South 13 degrees 18 minutes 00 seconds west 214.64 feet;

7. South 14 degrees 24 minutes 00 seconds west 404.00 feet;

8. South 15 degrees 38 minutes 00 seconds west 93.82 feet to the northerly side of State Highway No. 1309, Route 6;

THENCE along the same the following 5 courses and distances:

1. South 76 degrees 29 minutes 10 seconds west 197.04 feet;

2. Due south 81.22 feet;

3. South 85 degrees 02 minutes 10 seconds west 167.60 feet;

4. Along a stone wall north 03 degrees 22 minutes 40 seconds west 136.74 feet; and

5. South 79 degrees 04 minutes 44 seconds west 214.399 feet to the point or place of BEGINNING.

NOTE: Being Section 5.19, Block(s) 1, Lot(s) 15, Tax Map of the Town of Yorktown, County of Westchester.

NOTE: Lot and Block shown for informational purposes only.

Issued by:
Madison Title Agency, LLC
1125 Ocean Avenue, Lakewood, NJ 08701
Telephone: 732-905-9400 Fax: 732-905-9420

Exhibit “B”

Concept Plan

SITE PLAN

	Building Type	Units			Estimated Parking Count	
		Quantity of Building Type	No. Floors per Bldg	Total Units	Resident Parking Spaces	Staff Parking Spaces
Rental	Villa	4	4	96	144	0
	Flats	7	2	32	50	0
	Building	1	4	72	108	5
	Clubhouse				0	0
	SUBTOTAL	12		200	302	5
For Sale	Townhomes	12	2	50	76	0
	Clubhouse				0	0
	SUBTOTAL	12		50	76	0
GRANDTOTAL		24		250	378	5

1.5 Ratio

Exhibit “C”

Buffer

SITE PLAN / EXISTING TO REMAIN GREEN BUFFER

Exhibit “D”

Rendering


AMS YORKTOWN | ACTIVE ADULT COMMUNITY
CONCEPTUAL RENDERING

Exhibit “E”

Application for Change of Zone

Application No. _____
Fee Received $_____

APPLICATION FOR CHANGE OF ZONE

TOWN BOARD OF THE TOWN OF YORKTOWN
363 Underhill Avenue
Yorktown Heights, NY 10598

1. **Name and Address of Applicant:** 800 E Main Yorktown Dev AMC LLC
c/o Michael Mitnick **Daytime Phone:** 645-561-8194
2. **Name and Address of Contact Person (if different from above):** _____
_____ **Daytime Phone:** _____
3. **Location of Property:** 800 East Main Street, Yorktown, NY 10588
4. **Description of Property to be rezoned:** Please refer to attached petition
5. **Acres:** ±35.53
6. **Tax Map Section** 5.19 **Parcel** 1 **Lot** 15
7. **Present zoning:** OB District
8. **Proposed zoning:** RSP-2 District
9. **Applicant's signature:** 800 E Main Yorktown Dev AMS LLC
by its attorneys, DelBello Donnellan Weingarten Wise & Wiederkehr, LLP
by: Janet J. Giris, Esq.
10. **Date of this application:** 10/24/2022

This application shall be considered official when the following items are submitted to the Town Clerk, 363 Underhill Avenue, Yorktown Heights, NY 10598:

1. **Application**
2. **Filing fee: One hundred dollars per acre to be rezoned but not less than $500 and not more than $3,500.**
3. **One (1) set of paper plans; one (1) set of plans sent electronically to the Town Clerk, Diana L. Quast, at dquast@yorktownny.org**
4. **One (1) set of the written metes and bounds description; one (1) set sent electronically to the Town Clerk, Diana L. Quast, at dquast@yorktownny.org**

FOR OFFICIAL USE
Date Received: _____
By: _____
Town Clerk's Office

Exhibit “F”

Proposed Zoning Amendments

Exhibit "F"

300 Attachment 1 (Appendix A) of the Zoning Code (shown in abbreviated form below) is hereby amended as follows (text in ~~strike through~~ is deleted; <u>underlined</u> text is added):

300 Attachment 1

Town of Yorktown
Appendix A
RESIDENCE ZONE STANDARDS[3]
(Standards shown are minimum requirements unless otherwise indicated)
[Amended 2-1-1977 by L.L. No. 1-1977; 8-15-1982 by L.L. No. 6-1982; 3-3-1987 by L.L. No. 5-1987; 9-1-1987 by L.L. No. 24-1987; 9-16-1987 by L.L. No. 25-1987; 11-4-1987 by L.L. No. 32-1987; 7-5-1994 by L.L. No. 21-1994; 12-19-2000 by L.L. No. 21-2000; 11-15-2011 by L.L. No. 18-2011]

	RSP-2
Lot area (square feet)	Up to 3-room living unit (2-bedroom apts.) – 2,400; over 2-bedroom or over 4-room living units – 10,000
Floor area ratio, usable (with public sewers) (square feet)[10]	**0.35**[11]
Minimum site area (acres)	5
Lot width at main building line (feet)	150
Lot depth (feet)	150
Front yard (feet)[1]	50
Side yard (feet)	
Main or accessory building, minimum either side	50
Two combined	100
Rear yard (feet)	Same as side yards
Main building	
Accessory building[4]	
Maximum height (feet)	
Main Building	**45**[12]
Accessory building or structure	**15**[12]
Minimum usable floor area of dwelling unit (square feet)	Studio – 350 1-bedroom – 450 2 bedrooms or more – 550
Maximum building coverage of actual lot area (all buildings)	-
Required off-street parking spaces per dwelling unit	0.5, plus a minimum of 10 additional for staff
Road frontage (feet)	-

NOTES:

1 On streets with less than a 50-foot right-of-way, the front yard setback shall be measured from the center line of the existing roadway and 25 feet shall be added to the required front yard setback.

2

3 All multifamily or apartment developments shall be as specified on a site plan approved in accordance with the provisions of §§300-82 through 300-85.

4 The required rear and side yard setbacks for an accessory building in an R1-40, R1-20, R1-10 or R-2 Zone shall be no less than 20 feet where the accessory building is (a) located wholly or partly in a rear yard and (b) has a footprint 50% or greater than that of the main building.

10 In all multifamily districts, including R-3, R-2A, RSP-1, RSP-2 and R-3A, the floor area ratio, usable and the lot area (square feet) shall be calculated on the basis of net area, which shall be determined by subtracting from the gross area of the site all wetlands and controlled area as defined in Chapter 178, Freshwater Wetlands.

11 <u>On sites greater than 25 acres, Floor area ratio, usable (with public sewer) may be increased up to 0.55.</u>

12 <u>On sites greater than 25 acres, Maximum height (feet) may be increased to 55 feet for main buildings and to 45 feet for accessory buildings.</u>

Lowes Pad C Chipotle

Site Design Consultants

Civil Engineers • Land Planners

November 3, 2022

Robyn Steinberg, AICP
Yorktown Planning Department
1974 Commerce Street
Yorktown Heights, NY 10598

Re: Yorktown Jaz #3, LLC
Lowes – Pad C
3200 Crompond Road

Dear Robyn:

Enclosed herewith please find the following, which are signed and notarized as indicated:

- Application for Sign Permit;
- Site Plan Application; and
- Short EAF.

Also enclosed are the revisions to the Plans submitted yesterday. We will also send you digital copies.

If you have any questions or need additional information, please contact us. Thank you.

Yours Truly,

Joseph C. Riina, P.E.

JCR / cm / Enc. / sdc 19-11

251-F Underhill Avenue • Yorktown Heights, New York 10598
60 Walnut Grove Road • Ridgefield, Connecticut 06877
(914) 962-4488 (203) 431-9504 Fax (914) 962-7386

TOWN OF YORKTOWN
PLANNING BOARD

Yorktown Community and Cultural Center, 1974 Commerce Street, Yorktown Heights, New York 10598, Phone (914) 962-6565, Fax (914) 962-3986

APPLICATION FOR SITE PLAN APPROVAL

Date November 3, 2022

1. **Name of Project:** Yorktown Jaz #3, LLC

2. **Tax Map Designation (Section, Block, Lot)** 26.19-1-1

3. **Zone:** Commercial **Total Acreage:** 0.95

4. **Is a statement of easements relating to property attached?** ☐ Yes ☑ To be Provided / None exist

5. **Project narrative (brief description of proposed development):**

It is proposed for a one-tenant commercial building on what is known as "Pad C" of the Lowes complex.

Proposed building to be 2,283 SF, with 26 parking spaces, plus 6 shared parking spaces totaling 32.

6. **Contact Person - CHOOSE ONLY ONE:**

☐ Applicant	☐ Owner	☐ Architect	☐ Wetland Scientist
☐ Attorney	☑ Engineer	☐ Surveyor	☐ Landscape Architect

7. **Applicant**

Name: Wilbur Breslin
Firm: Breslin Realty Development Corp.
Address: 500 Old Country Road, Suite 200, Garden City, NY 11530
Phone: 516-741-7400
Fax:
Email: rrosenberg@breslinrealty.com

8. **Owner of Record**

Name: Same as Applicant.
Firm:
Address:
Phone:
Fax:
Email:

9. **Attorney**

Name	Michael Grace, Esq.
Firm	Grace & Grace
Address	360 Underhill Avenue, Yorktown Heights, NY 10598
Phone	914-962-6100
Fax	
Email	gracelaw1@aol.com

10. **Engineer**

Name	Joseph C. Riina, P.E.
Firm	Site Design Consultants
Address	251-F Underhill Avenue, Yorktown Heights, NY 10598
Phone	914-962-4488
Fax	914-962-7386
Email	jriina@sitedesignconsultants.com
Lic. No.	64431

11. **Surveyor**

Name	Donald P. Schel, L.S.
Firm	Collier
Address	18 Computer Drive East, Suite 203, Albany, NY 12205
Phone	518-459-3252
Fax	518-459-3284
Email	
Lic. No.	050820

12. **Architect**

Name	Frank Campione, Principal
Firm	Create Architectural Planning and Design PLLC
Address	45 West 34th Street, Penthouse, New York, NY 10001
Phone	212-297-0880 x 150
Fax	
Email	fcampione@createapd.com
Lic. No.	

13. Wetland Scientist/Specialist

Name _____

Firm _____

Address _____

Phone _____

Fax _____

Email _____

14. Landscape Architect

Name Abigail Adams

Firm A2 Land Consulting LLC

Address 30 Rocky Hill Road, New Fairfield, CT 06812

Phone 845-531-1504

Fax _____

Email abigail@a2land.com

Lic. No. _____

15. Is this project within 500 feet of the Town line?	☐ Yes	☑ No
16. Is this project within 500 feet of the Putnam County line?	☐ Yes	☑ No
17. Is this project within the Sustainable Development Study Area?	☐ Yes	☐ No

18. Is this project within 500 feet of:

The right-of-way of any existing or proposed state or county road?	☑ Yes	☐ No
The boundary of an existing or proposed state or county park or any state or county recreation area?	☐ Yes	☑ No
The boundary of state or county-owned land on which a public building/ institution is located?	☐ Yes	☑ No
An existing or proposed county drainage line?	☐ Yes	☑ No
The boundary of a farm located in an agricultural district?	☐ Yes	☑ No

19. Does the entire development plan for this project propose the disturbance of more than 5,000 SF of land? Note: If project is phased, include all phases in determination. ☑ Yes ☐ No

20. This project requires the following permits or approvals from the Town of Yorktown:

☐ Wetland Permit

☐ Stormwater Permit

☐ Tree Permit

☑ Planning Board special permit: Site Plan Approval; SWPPP Approval

☐ Town Board variance or approval: _____

☐ Zoning Board of Appeals variance or special permit: _____

21. This project requires the following permits or approvals from other outside agencies:

- ☐ Westchester County Board of Health
- ☑ NYC DEP
- ☐ NYS DEC
- ☑ Other: NYC DEP Permit requirement has not been determined.

22. This parcel is in the following districts:

School District	Yorktown Central	Water District	Yorktown Consolidated
Fire District	Yorktown Heights	Sewer District	Hunterbrook Sewer District

A Long Form/Full EAF with the original signature of the applicant must be attached to this application when submitted. The signature of the applicant's design professional or attorney is not acceptable.

The applicant agrees to comply with the requirements of the Road Specifications, the Land Use Regulations, Zoning Ordinance, Tree Removal and Excavation ordinance, and any additions or amendments thereto.

The applicant agrees to execution and delivery of deeds and required documents for reserved parks/recreation/open space/drainage control, roads and road widening strips and descriptions of easements at the time of the public hearing. Such execution and delivery shall not operate to vest title of said property in the Town of Yorktown until such dedication is accepted in the form of a resolution adopted by the Town Board at a regular meeting of said Board.

The execution and delivery of the deeds to the roads in the proposed subdivision as provided for by the terms of the deeds to the roads in the proposed subdivision as provided for by the terms of the approving resolution shall not operate to vest title of said roads in the Town of Yorktown until such deed is accepted in the form of a resolution adopted by the Town Board at regular meeting of said Board.

This application shall be considered complete when all plans and data required by Town of Yorktown Town Code Chapter 195: Land Development Regulations, including final reports from the Director of Planning and Town Engineer, are received by the Board.

Applicant	Owner of Record
Wilbur Breslin	Wilbur Breslin
NAME (PLEASE PRINT)	NAME (PLEASE PRINT)
SIGNATURE	SIGNATURE
11/3/22	11/3/22
DATE	DATE

Note: If the property owner is not the applicant for this application, in addition to the signature above, the owner of the property must also complete and have notarized one of the owner affidavits on the following page.

Note: By signing this document the owner of the subject property grants permission for Town Officials to enter the property for the purpose of reviewing this application.

REFER TO AFFIDAVITS ON THE FOLLOWING PAGES

ONE OF THE FOLLOWING AFFIDAVITS MUST BE COMPLETED

****

AFFIDAVIT TO BE COMPLETED BY OWNER, OTHER THAN CORPORATION

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

Wilbur F. Breslin, being duly sworn, deposes and says that he is the owner in fee of the property described in the foregoing application for consideration of preliminary plat, and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this
3rd date of November, 2022

Notary Public

ANGELIKA PIKE
Notary Public, State of New York
No. 5039019
Qualified in Nassau County
Commission Expires February 13, 2023

****

AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER

STATE OF NEW YORK; COUNTY OF WESTCHESTER SS.:

_____, being duly sworn, deposes and says that he resides at _____ in the County of _____ and State of _____. That he is the _____ of _____ the corporation which is owner in fee of the property described in the foregoing application for _____ and that the statements contained therein are true to the best of his knowledge and belief.

Sworn before me this
_____ date of _____, 20__

Notary Public

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Lowes Pad C

Name of Action or Project:
Lowes Pad C

Project Location (describe, and attach a location map):
3200 Crompond Road, Yorktown Heights, NY 10598 aka 26.19-1-1

Brief Description of Proposed Action:
It is proposed for a one-tenant commercial building on what is known as "Pad C" of the Lowes complex on Crompond Road aka Route 202. The building proposed is 2,383 SF with 26 parking spaces plus 6 shared parking spaces for a total of 32.

Name of Applicant or Sponsor:	Telephone: 914-962-4488
Joseph C. Riina, P.E., Site Design Consultants	E-Mail: jriina@sitedesignconsultants.com

Address:
251-F Underhill Avenue

City/PO:	State:	Zip Code:
Yorktown Heights	NY	10598

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYC DEP requirement is to be determined.	☐	☑

3.a. Total acreage of the site of the proposed action? 0.95 acres
b. Total acreage to be physically disturbed? 0.95 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 25.15 acres

4. Check all land uses that occur on, adjoining and near the proposed action.
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☑ Commercial ☐ Residential (suburban)
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____
☐ Parkland

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☑	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑

	NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	☑	☐

	NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☐	☑
b. Are public transportation service(s) available at or near the site of the proposed action?	☐	☑
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	☐	☑

	NO	YES
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: All new construction will be in accordance with NYS Code.	☐	☑

	NO	YES
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	☐	☑

	NO	YES
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	☐	☑

	NO	YES
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	☑	☐
b. Is the proposed action located in an archeological sensitive area?	☑	☐

	NO	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☑	☐
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	☑	☐

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional
☐ Wetland ☑ Urban ☑ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	☑	☐

	NO	YES
16. Is the project site located in the 100 year flood plain?	☑	☐

	NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? ☑ NO ☐ YES	☐	☑
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: ☐ NO ☑ YES On site stormwater managment system.		

	NO	YES
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	☑	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	☑	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	☑	☐

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Joseph C. Riina, P.E. Date: _____

Signature: _____

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	☐	☐
2. Will the proposed action result in a change in the use or intensity of use of land?	☐	☐
3. Will the proposed action impair the character or quality of the existing community?	☐	☐
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	☐	☐
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	☐	☐
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	☐	☐
7. Will the proposed action impact existing: a. public / private water supplies?	☐	☐
b. public / private wastewater treatment utilities?	☐	☐
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	☐	☐
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	☐	☐

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	☐	☐
11. Will the proposed action create a hazard to environmental resources or human health?	☐	☐

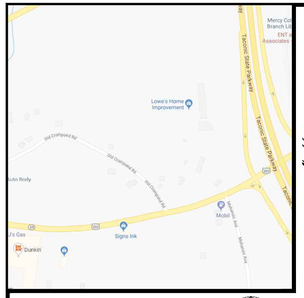
Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT



LOCATION MAP
NOT TO SCALE

N

PARKING SCHEDULE

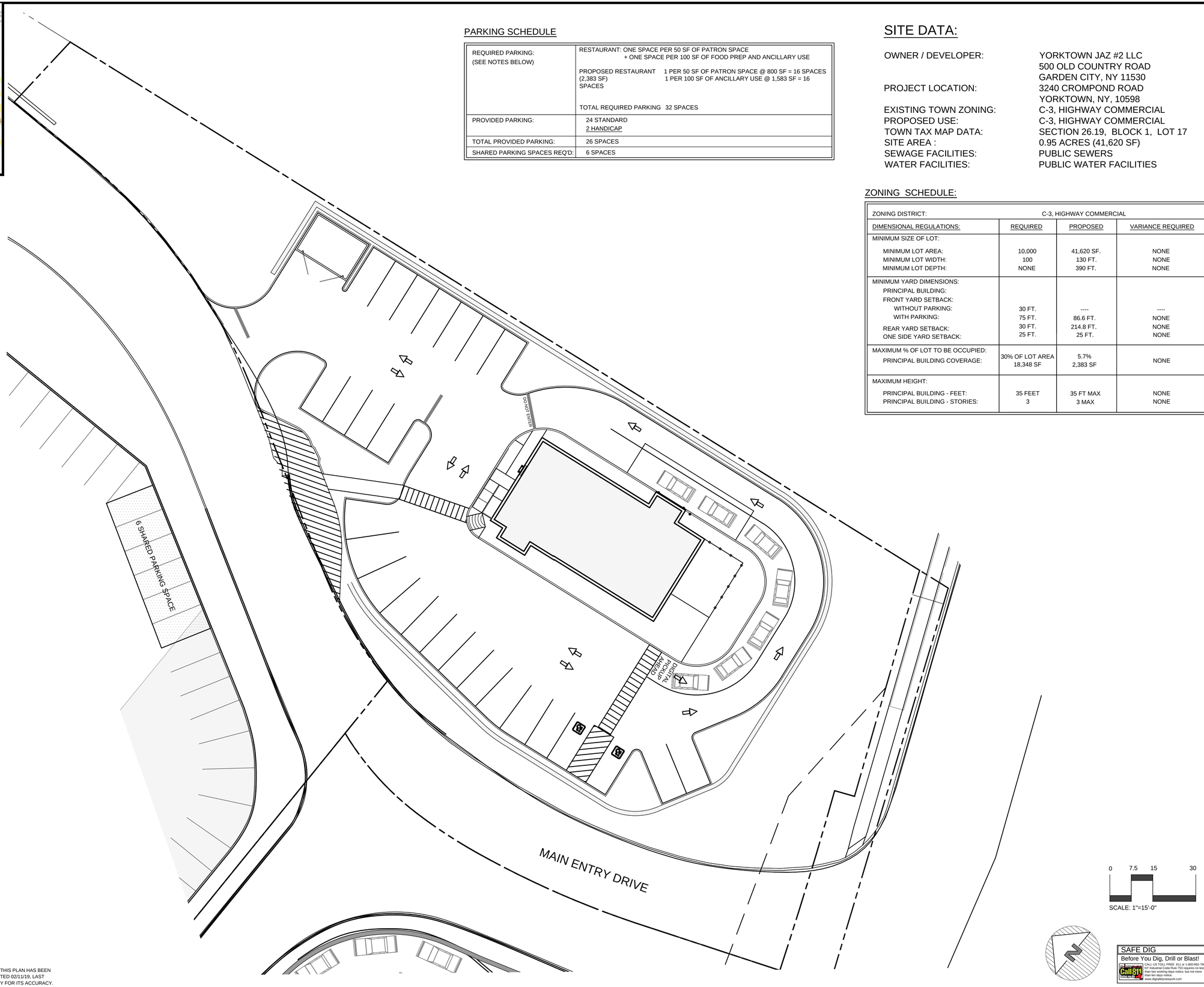
REQUIRED PARKING: (SEE NOTES BELOW)	RESTAURANT: ONE SPACE PER 50 SF OF PATRON SPACE + ONE SPACE PER 100 SF OF FOOD PREP AND ANCILLARY USE PROPOSED RESTAURANT (2,383 SF) SPACES: 1 PER 50 SF OF PATRON SPACE @ 800 SF = 16 SPACES 1 PER 100 SF OF ANCILLARY USE @ 1,583 SF = 16 TOTAL REQUIRED PARKING 32 SPACES
PROVIDED PARKING:	24 STANDARD 2 HANDICAP
TOTAL PROVIDED PARKING:	26 SPACES
SHARED PARKING SPACES REQ'D:	6 SPACES

SITE DATA:

OWNER / DEVELOPER:	YORKTOWN JAZ #2 LLC 500 OLD COUNTRY ROAD GARDEN CITY, NY 11530
PROJECT LOCATION:	3240 CROMPOND ROAD YORKTOWN, NY, 10598
EXISTING TOWN ZONING:	C-3, HIGHWAY COMMERCIAL
PROPOSED USE:	C-3, HIGHWAY COMMERCIAL
TOWN TAX MAP DATA:	SECTION 26.19, BLOCK 1, LOT 17
SITE AREA :	0.95 ACRES (41,620 SF)
SEWAGE FACILITIES:	PUBLIC SEWERS
WATER FACILITIES:	PUBLIC WATER FACILITIES

ZONING SCHEDULE:

ZONING DISTRICT:	C-3, HIGHWAY COMMERCIAL		
DIMENSIONAL REGULATIONS:	REQUIRED	PROPOSED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	10,000	41,620 SF.	NONE
MINIMUM LOT WIDTH:	100	130 FT.	NONE
MINIMUM LOT DEPTH:	NONE	390 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:			
WITHOUT PARKING:	30 FT.	----	----
WITH PARKING:	75 FT.	86.6 FT.	NONE
REAR YARD SETBACK:	30 FT.	214.8 FT.	NONE
ONE SIDE YARD SETBACK:	25 FT.	25 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	30% OF LOT AREA 18,348 SF	5.7% 2,383 SF	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	35 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	3	3 MAX	NONE



0 7.5 15 30
SCALE: 1"=15'-0"

NOTE:
1. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY MARC J. CIFFONE, DATED 02/11/19, LAST REVISED 02/11/19. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

PROJECT # 19-11

Engineer:
STATE OF NEW YORK JOSEPH D'ARCO RUINA 076410 LICENSED PROFESSIONAL ENGINEER
Joseph D'Arco Ruina, P.E.
NYS Lic. No. 64431

Revisions:

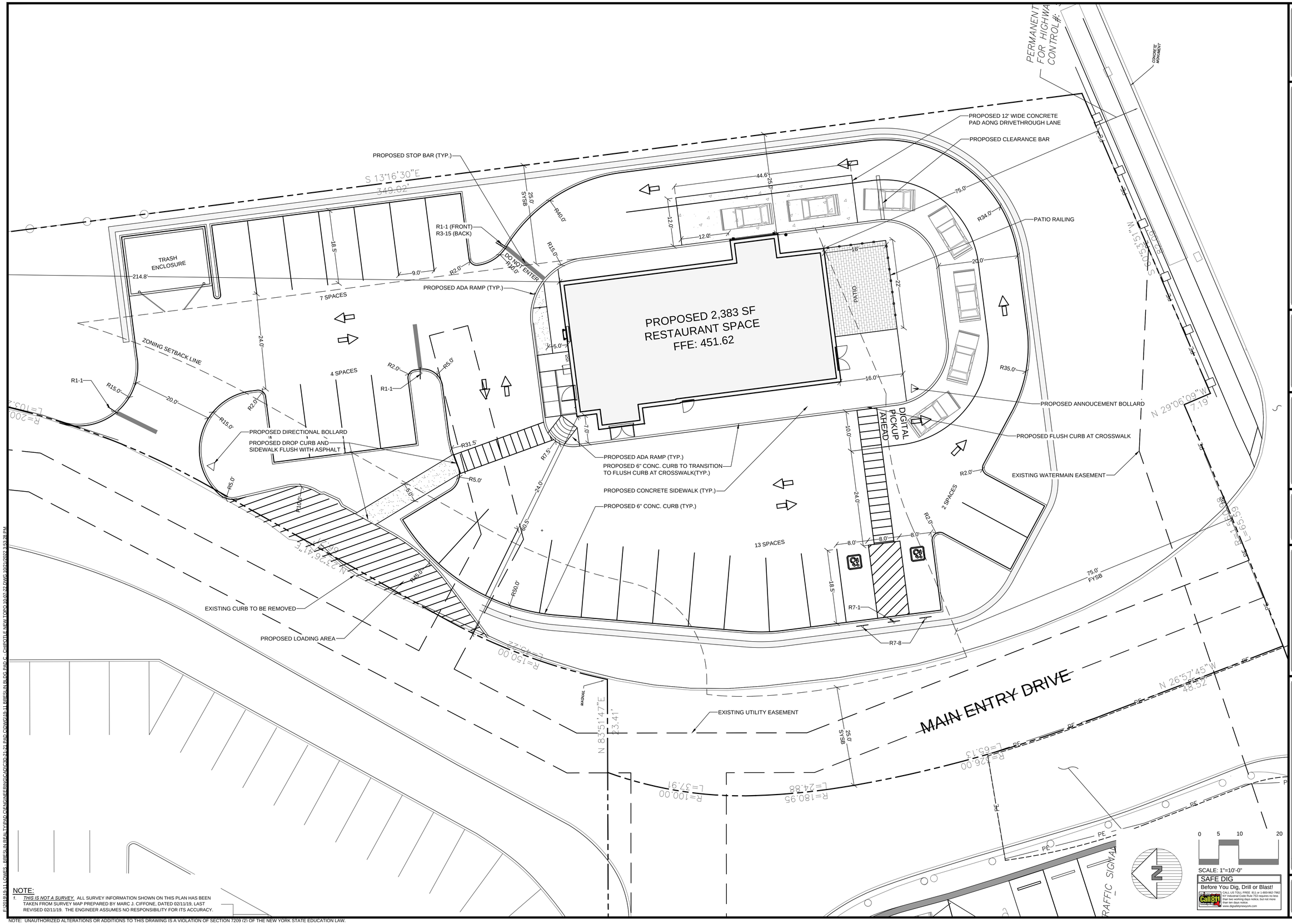
No.	Date	Comments:

SCALE: 1" = 15'
DRAWN BY: TK
DATE: 10/21/22

TITLE SHEET

SITE PLAN
PREPARED FOR
PAD C
CROMPOND ROAD
Town of Yorktown Westchester County, New York

Sheet T-1



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NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

E:\2019\19-111 OWES - BRESLIN REALTY\PAD C\ENGINEERING\CAD\C3D-21-21 PAD C\DWG\19-111 BRESLIN BLDG PAD C - CHIPOTLE NEW TOPO 10-07-22.DWG 10/21/2022 3:53:28 PM

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(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

PROJECT # 19-11

STATE OF NEW YORK JOSEPH CARLO RIINA 076429 LICENSED PROFESSIONAL ENGINEER

Engineer: Joseph C. Riina, P.E.
NYS Lic. No 64431

Revisions:

No.	Date	Comments:

SCALE: 1" = 10'

DRAWN BY: TK

DATE: 10/21/22

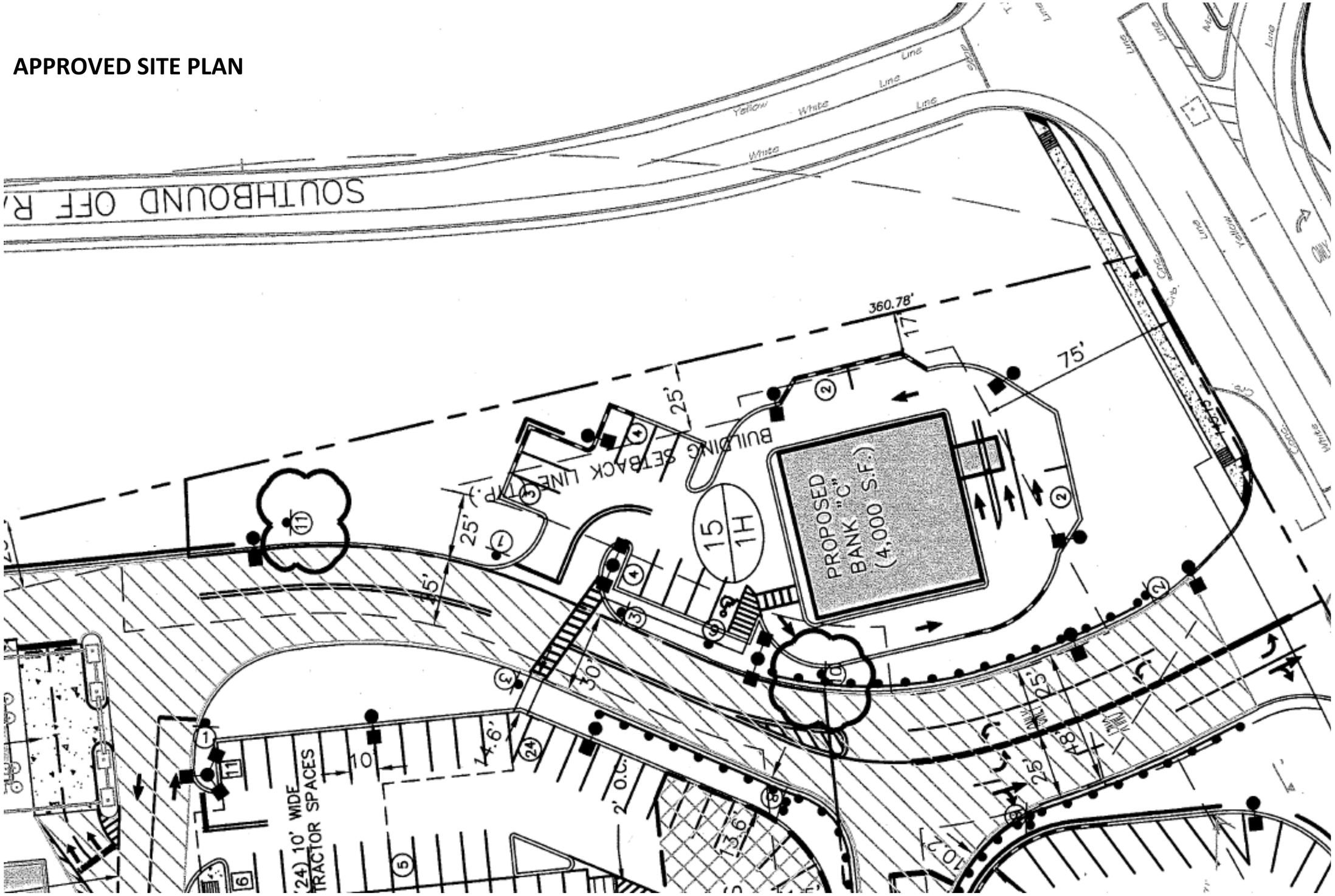
SITE PLAN

SITE PLAN
PREPARED FOR
PAD C

CROMPOND ROAD
Town of Yorktown Westchester County, New York

Sheet C-101

APPROVED SITE PLAN



RECEIVED
PLANNING DEPARTMENT
NOV 3 _ 2022
TOWN OF YORKTOWN

Town of Yorktown *www.yorktownny.org*

Building Department
Town Hall, 363 Underhill Avenue, Yorktown Heights, NY 10598
Tel. (914) 962-5722 ext.233 Fax (914) 962-1731

Application for a Sign Permit

(Office use only)

Application #:_____ **Application Fee:** _____ **Date:** _____

Received by: _____ **Sign size (Total Square feet):** _____

Permit #:_____ **Date:** _____

Applicant: Complete all lines legibly, in blue or black ink, except those marked "Office use only".

Name of Applicant: Yorktown Jaz. #3, LLC

Address: 500 Old Country Road, Suite 200

Garden City, NY 11530

Phone: (516) 741-7400 **Fax:** (____)_____

Project Name: Pad C

Project Address: 3200 Crompond Road

Tax Designation: Section 26.19 **Block** 1 **Lot(s)** 1

Proposed sign: Monument Sign - Location to be Determined
(Describe sign)

Name of Contractor: John Panzarella - PCCI Builders Corp. **Phone#:** 516-467-7229

The undersigned applicant hereby agrees to comply with all applicable provisions of the Code of the Town of Yorktown, and all other Laws, Codes, Rules and Regulations applicable to the proposal.

Wilbur F. Breslin
Applicant's Name (Print Clearly)

Applicant's Signature

Wilbur F. Breslin
Property Owner's Name (Print Clearly)

(Please see page 2 for required application documents.)

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

Applications for sign permits must include 3 complete sets of all of the following:

1. A site plan and elevation drawing indicating the location of the proposed sign.
2. Scaled drawings of the proposed sign that clearly indicate the size of the sign, and the size, design and colors of all sign lettering and features. For wall-mounted signs, Indicate the length (in linear feet) of the wall the sign is to be mounted on. Drawings must also indicate the proposed construction and anchorage of the sign and the method of illumination.
3. Color "chips" of samples of sign face, lettering and features.
4. Photographs of the existing building and existing sign, where applicable, with sufficient view to indicate surrounding conditions and signs.
5. In the event that the applicant is not the owner, written letter of consent of the owner of the building, structure or land on which the sign is to be placed.
6. Data, as required, to indicate compliance with the quantitative standards of the sign ordinance.
7. A filing fee of $5.00 per square foot of sign face.

Contractor's Proof of Insurance:

Proof of contractor's **Liability**, **Workers Compensation** Insurance and **Disability** Insurance, or exemption there from, must be submitted with every application for a sign permit.
For information on specific insurance or exemption forms, please see the Town's web site or request an information handout at the Building Department.

(Office use only)

Sent to A.B.A.C.A. (date): _____

Approval by A.B.A.C.A (date): _____

Permit #: _____ **Issued:** _____ **Expires:** _____

_____ _____

Building Inspector **Date**

BRESLIN REALTY

Monument Sign

Yorktown, New York

October 26, 2022

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