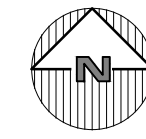


LOCATION MAP
NOT TO SCALE



AERIAL VIEW



VIEW LOOKING UP EXISTING DRIVEWAY



VIEW LOOKING UP NORTHERN PROPERTY LINE

SITE DATA:

OWNER / DEVELOPER: PRESTIGE RENOVATIONS AND REMODELING
12 MAURICE AVENUE
OSSINING, NY, 10562

PROJECT LOCATION: 3511 BUCKHORN STREET
TOWN OF YORKTOWN, NY

EXISTING TOWN ZONING: R1-20, SINGLE FAMILY RESIDENTIAL

PROPOSED USE: R1-20, SINGLE FAMILY RESIDENTIAL

TOWN TAX MAP DATA: SECTION 16.10, BLOCK 4, LOT 8

SITE AREA: 0.947 ACRES (103100 SF)

SEWAGE FACILITIES: PUBLIC SEWERS

WATER FACILITIES: PUBLIC WATER FACILITIES

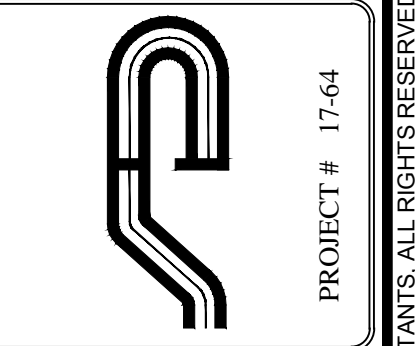
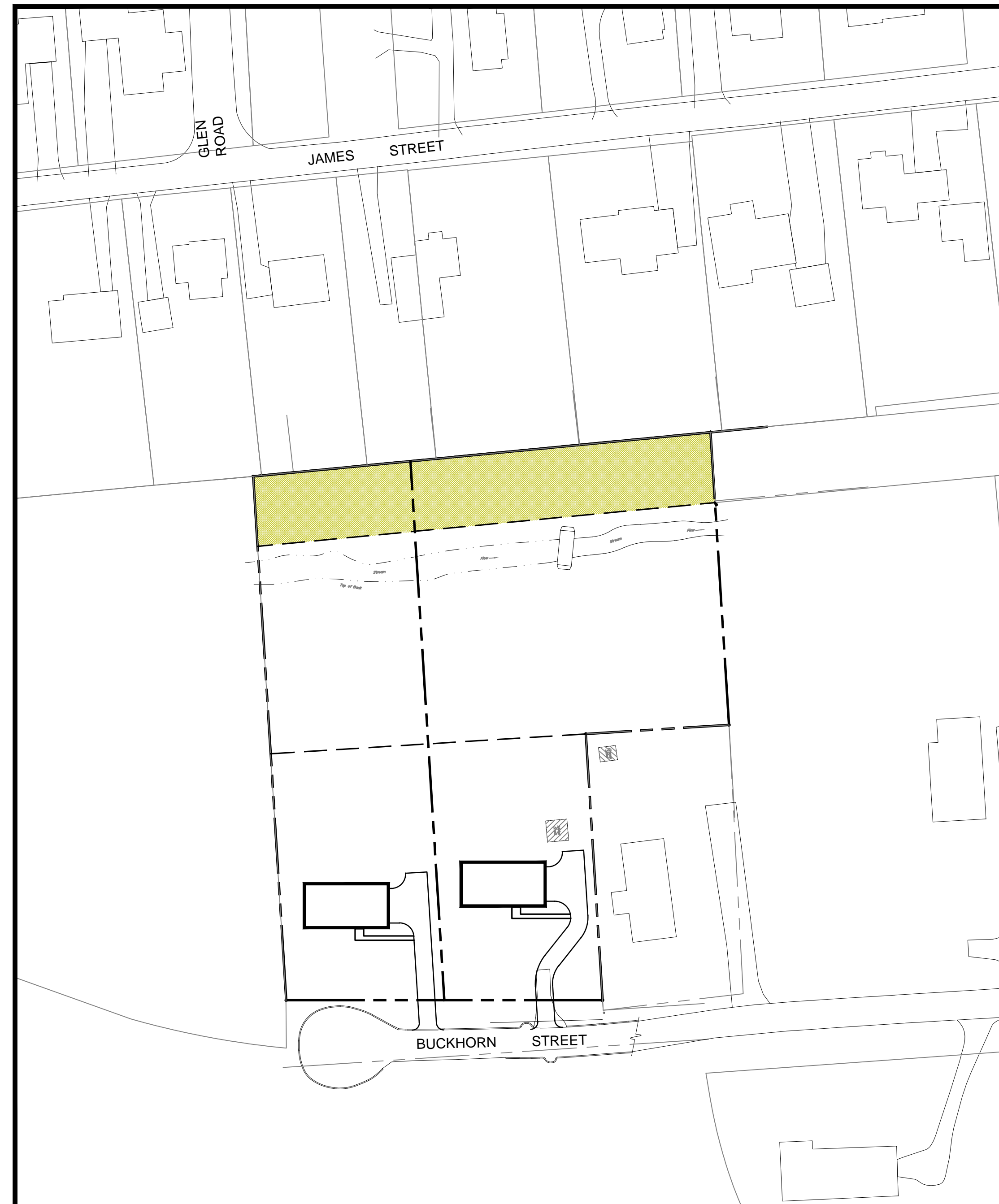
ZONING SCHEDULE:

ZONING DISTRICT: R1-20, SINGLE FAMILY RESIDENTIAL				
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED LOT 8	PROVIDED LOT 8.1	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	20,000 SF.	40,832 SF.	62,268 SF.	NONE
MINIMUM LOT WIDTH:	100 FT.	110 FT.	110 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	366 FT.	376 FT.	NONE
MINIMUM ROAD FRONTAGE:	100 FT.	110 FT.	110 FT.	NONE
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:				
FRONT YARD SETBACK:	40 FT.	49.8 FT.	65.0 FT.	NONE
REAR YARD SETBACK:	40 FT.	285.4 FT.	280.8 FT.	NONE
ONE SIDE YARD SETBACK:	15 FT.	15.0 FT.	15.0 FT.	NONE
COMBINED SIDE YARD SETBACK:	40 FT.	48.1 FT.	48.1 FT.	NONE
ACCESSORY BUILDINGS:				
FRONT YARD SETBACK:	40 FT.	-----	-----	-----
REAR YARD SETBACK:	10 FT.	-----	-----	-----
SIDE YARD SETBACK:	15 FT.	-----	-----	-----
MAXIMUM % OF LOT TO BE OCCUPIED:				
TOTAL BUILDING COVERAGE:	20% OF LOT AREA	4.7 % OF LOT AREA	3.1 % OF LOT AREA	NONE
MINIMUM USABLE FLOOR AREA OF D.U.:	800 SF	1920 SF	1920 SF	NONE
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	35 FT.	35 FT MAX	35 FT MAX	NONE
ACCESSORY BUILDING - FEET:	15 FT.	-----	-----	-----

PARKING SCHEDULE

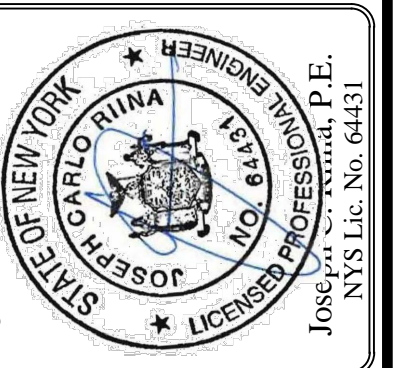
REQUIRED PARKING	
RESIDENTIAL BUILDING:	1 DWELLING UNIT = 1 SPACE
TOTAL PROVIDED PARKING:	2 SPACES PER DWELLING UNIT
PARKING VARIANCE REQUIRED:	0 SPACES

NOTE: WETLAND BOUNDARY FLAGS AS SET BY STEVE MARINO, FROM TIM MILLER ASSOCIATES ON NOVEMBER 18, 2016, AND LOCATED BY BADEY & WATSON ON DECEMBER 22, 2016



PROJECT # 17-64

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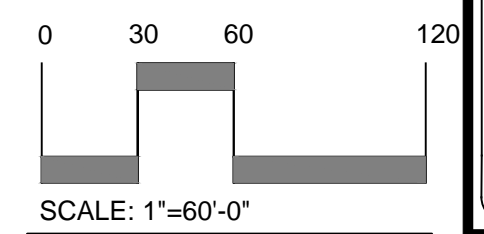
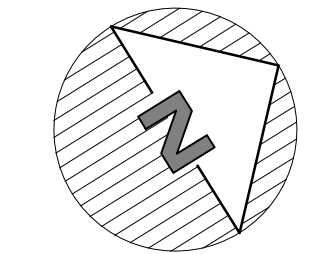
Revisions:	No.	Date	Comments
	1.	3/14/18	Plan Update
	2.	4/12/18	Rec. Area Update
	3.	5/29/18	ABACA

SCALE: 1"=60'	DRAWN BY: MD	DATE: 12-6-17
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ZONING & VICINITY PLAN

PROPOSED SUBDIVISION PREPARED FOR
PRESTIGE RENOVATIONS AND REMODELING
3511 BUCKHORN STREET
Town of Yorktown
Westchester County, NY

Sheet 1 of 7



SCALE: 1"=60'-0"

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NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY BADEY & WATSON ENGINEERING & SURVEYING, DATED 11/30/17. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

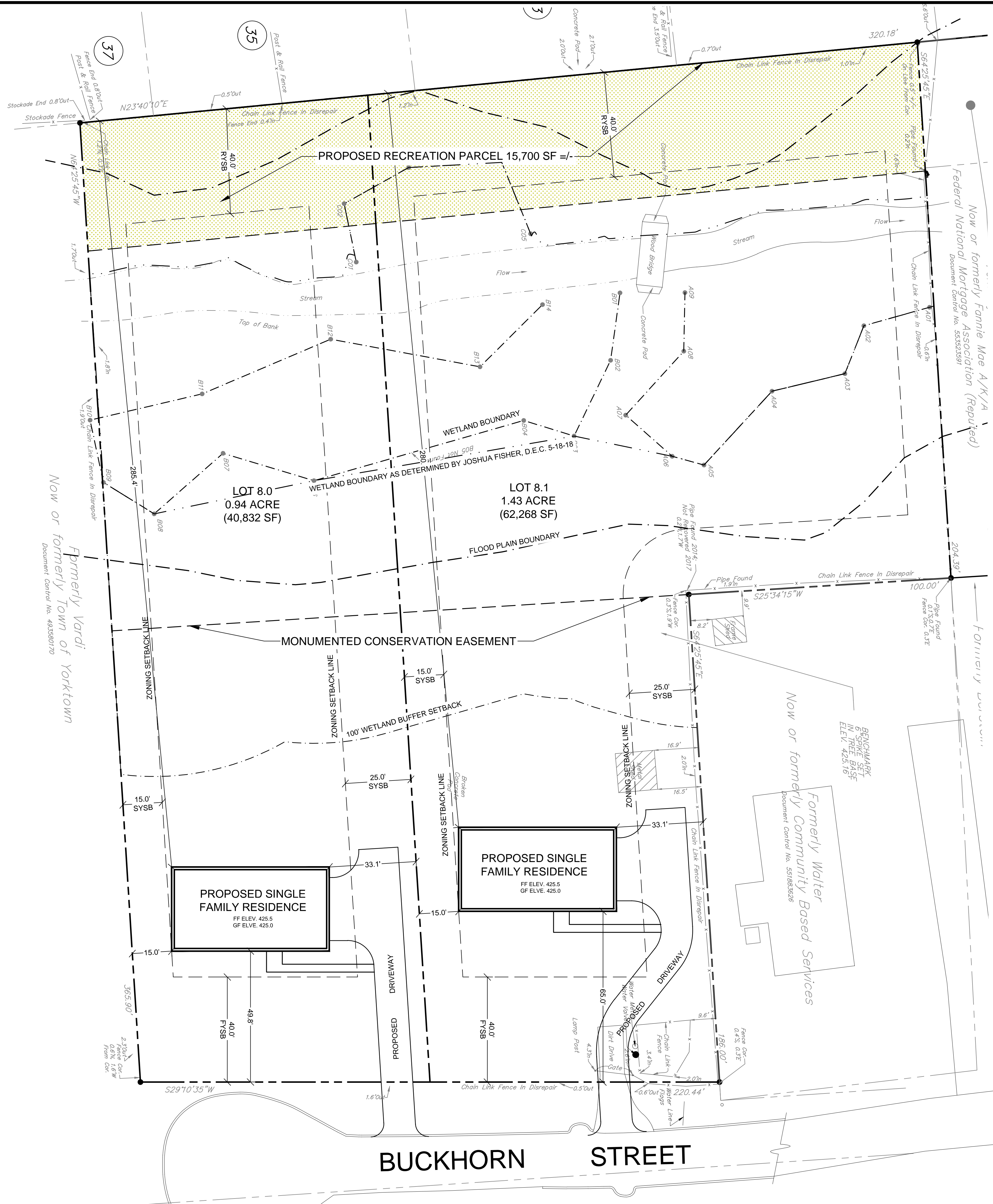
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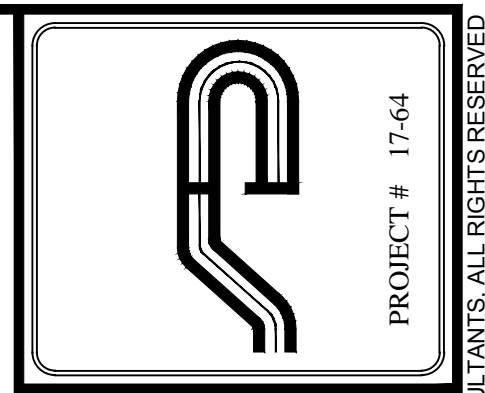
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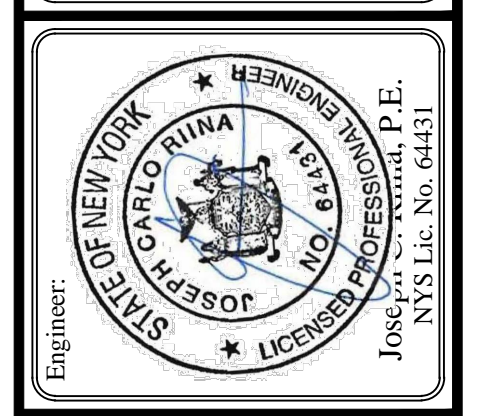
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Revisions:	No.	Date	Comments
1.	3/14/18	Plan Update	
2.	4/12/18	Rev. Area Update	
3.	5/29/18	ABACA	

SCALE: 1"=20'
 DRAWN BY: MD
 DATE: 12-6-17

PRELIMINARY SUBDIVISION PLAN

PROPOSED SUBDIVISION PREPARED FOR
PRESTIGE RENOVATIONS AND REMODELING
 3511 BUCKHORN STREET
 Town of Yorktown Westchester County, NY

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NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

THE FRESHWATER WETLAND BOUNDARY AS REPRESENTED ON THESE PLANS ACCURATELY DEPICTS THE LIMITS OF FRESHWATER WETLAND AS DELINEATED BY ENVIRONMENTAL COMPLIANCE SERVICES, INC. ON AND FIELD INSPECTED

BY _____ ON _____, 2018.

DEC STAFF _____ SURVEYOR/ENGINEER _____ N.Y.S. LICENSE NO. _____

DATE: _____

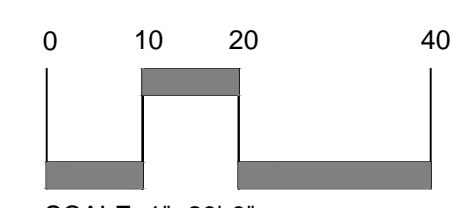
WETLAND BOUNDARY AS VALIDATED BY DEC REMAINS VALID FOR TEN YEARS FROM DATE OF FLAGGING OR REVALIDATION. FOR OFFICIAL USE OF THE WETLAND BOUNDARY AFTER THIS TEN YEAR PERIOD, THE BOUNDARY MUST BE REVALIDATED BY DEC STAFF. THIS MAY INCLUDE RE-FLAGGING AND SURVEY OF THE WETLAND BOUNDARY IF CHANGES ARE NOTED.

ANY PROPOSED CONSTRUCTION, GRADING, FILLING, EXCAVATING, CLEARING OR OTHER REGULATED ACTIVITY IN THE FRESHWATER WETLAND OR WITHIN 100 FEET OF THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN REQUIRES A PERMIT FROM THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION UNDER ARTICLE 24 OF THE ENVIRONMENTAL CONSERVATION LAW (FRESHWATER WETLANDS ACT) PRIOR TO COMMENCEMENT OF WORK.



LEGEND

- 222 EXISTING GRADING
- X 222.8 EXISTING SPOT GRADE
- PROPERTY LINE / RIGHT OF WAY
- EDGE OF WETLAND
- 100' WETLAND BUFFER
- EXISTING STONE WALL
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY LINE
- EXISTING DRAINAGE INLET



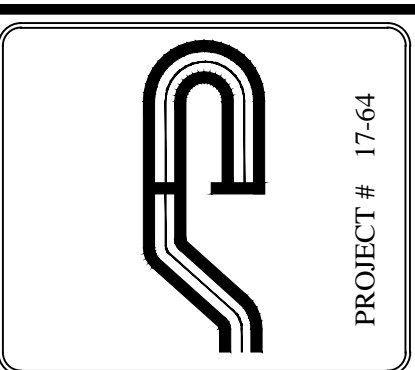
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To find out how to dig safely, visit our website at www.call811.com
Plan has working data index, but not more than the dig depth.

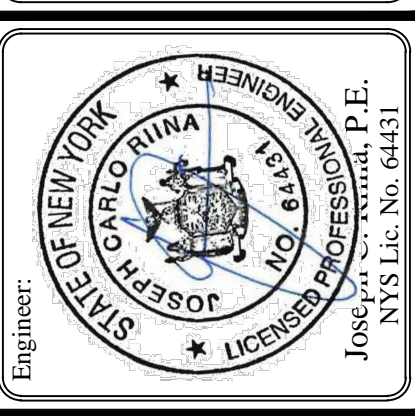
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	2	4/12/18	Rev. Area Update
	3	5/29/18	ABACA

SCALE: 1"=20'
DRAWN BY: MD
DATE: 12-6-17

EXISTING CONDITION PLAN

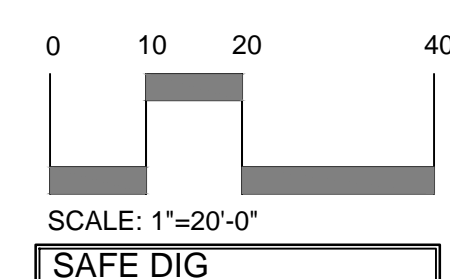
PROPOSED SUBDIVISION PREPARED FOR
PRESTIGE RENOVATIONS AND REMODELING
3511 BUCKHORN STREET
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Westchester County, NY

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LEGEND

- EXISTING GRADING
- EXISTING SPOT GRADE
- PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- PROPOSED DRIVEWAY CENTERLINE
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER
- EXISTING STONE WALL
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY LINE
- EXISTING DRAINAGE INLET
- PROPOSED WATER SERVICE CONNECTION
- PROPOSED SEWER SERVICE CONNECTION
- PROPOSED FOOTING DRAIN
- PROPOSED ROOF DRAIN
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED SOIL STOCKPILES
- PROPOSED SILT FENCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED



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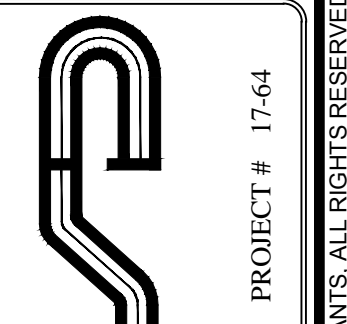
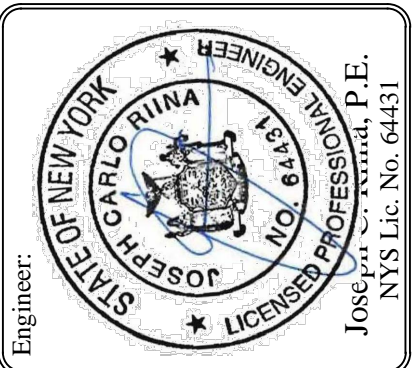
SCALE: 1"=20'
 DRAWN BY: MD
 DATE: 12-6-17

**PRELIMINARY
 EROSION &
 SEDIMENT
 CONTROL PLAN**

PROPOSED SUBDIVISION
 PREPARED FOR
**PRESTIGE RENOVATIONS
 AND REMODELING**
 3511 BUCKHORN STREET
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Sheet 4 of 7

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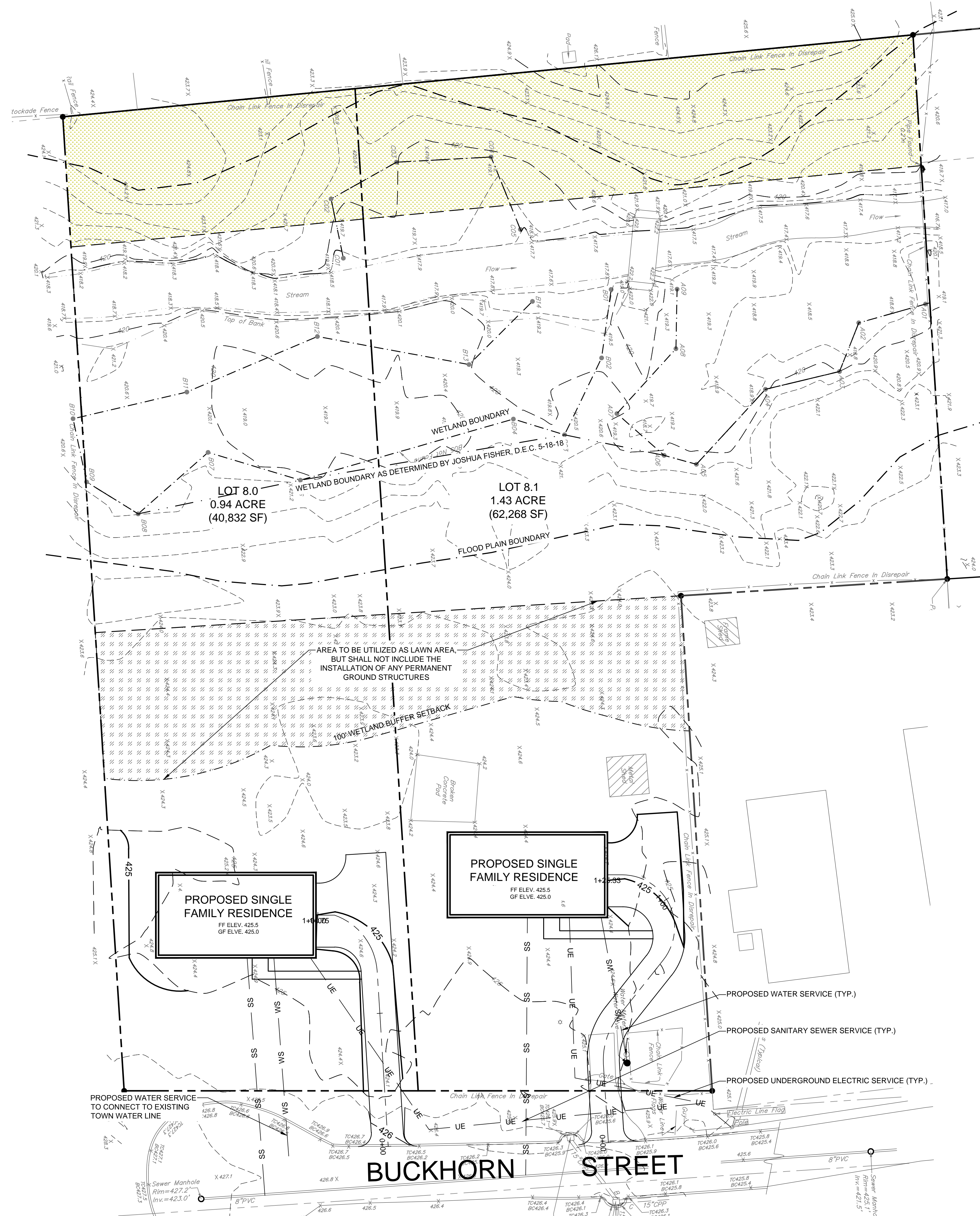
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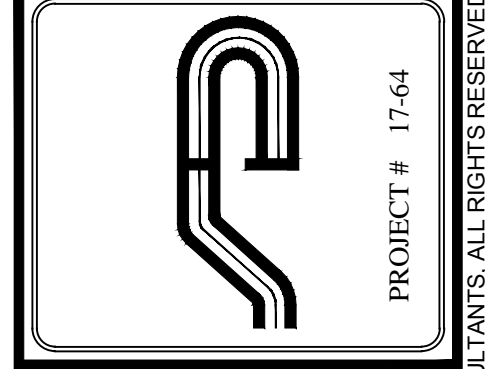
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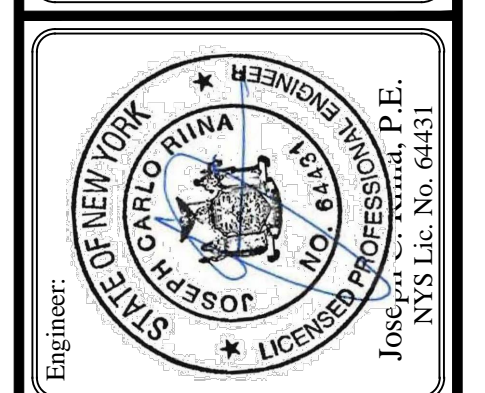
LEGEND

- 222 --- EXISTING GRADING
- X 222.8 EXISTING SPOT GRADE
- 200 — PROPOSED GRADING
- — — PROPERTY LINE / RIGHT OF WAY
- — — PROPOSED DRIVEWAY CENTERLINE
- — — PROPOSED CURB
- — — EDGE OF WETLAND
- — — 100' WETLAND BUFFER
- — — EXISTING STONE WALL
- W — — — EXISTING WATER LINE
- ⊕ — — — EXISTING FIRE HYDRANT
- S — — — EXISTING SANITARY LINE
- — — EXISTING DRAINAGE INLET
- WS — — — PROPOSED WATER SERVICE CONNECTION
- SS — — — PROPOSED SEWER SERVICE CONNECTION
- FD — — — PROPOSED FOOTING DRAIN
- RD — — — PROPOSED ROOF DRAIN
- UE — — — PROPOSED UNDERGROUND ELECTRIC SERVICE

0 10 20 40
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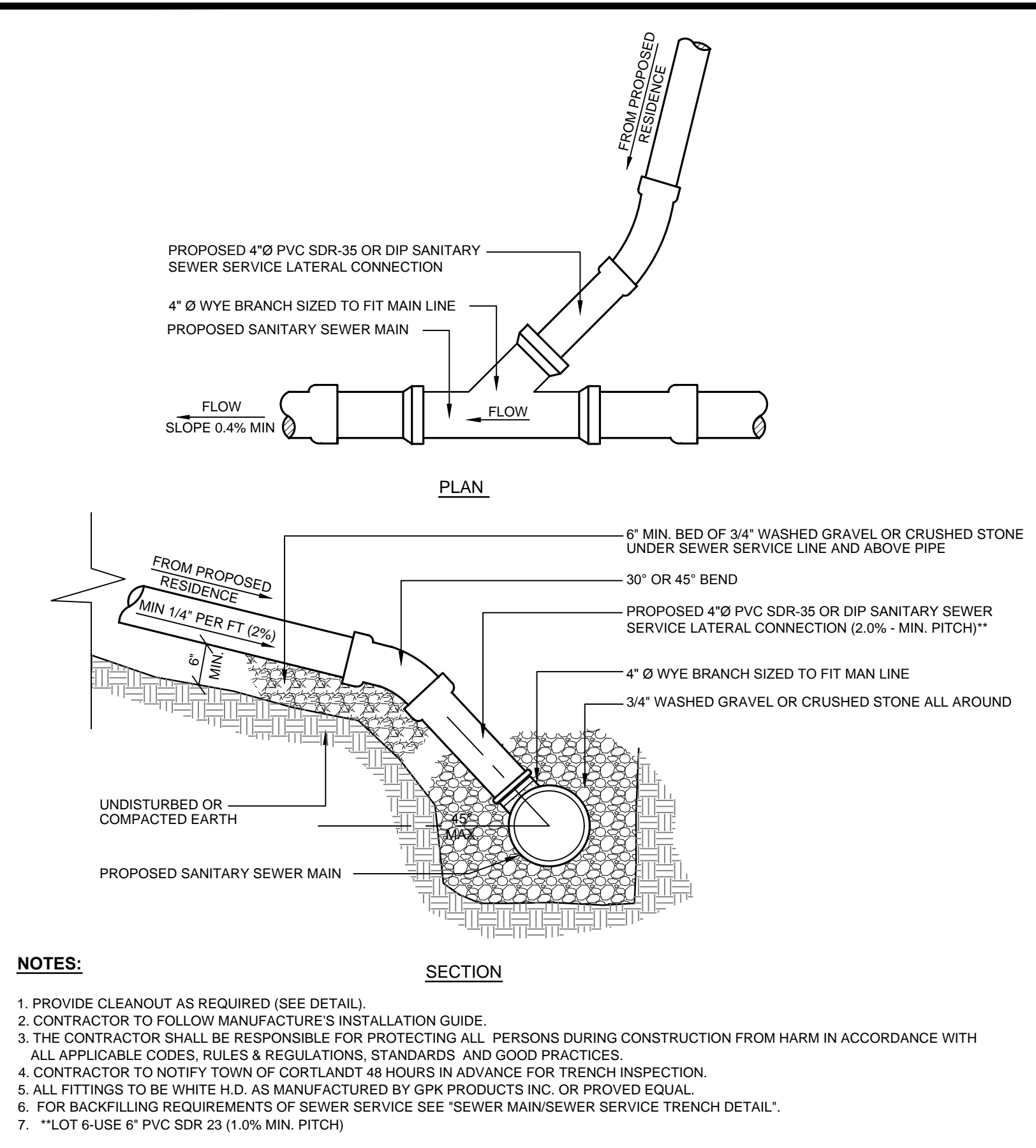
Revisions:	No.	Date	Comments
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SCALE: 1"=20'
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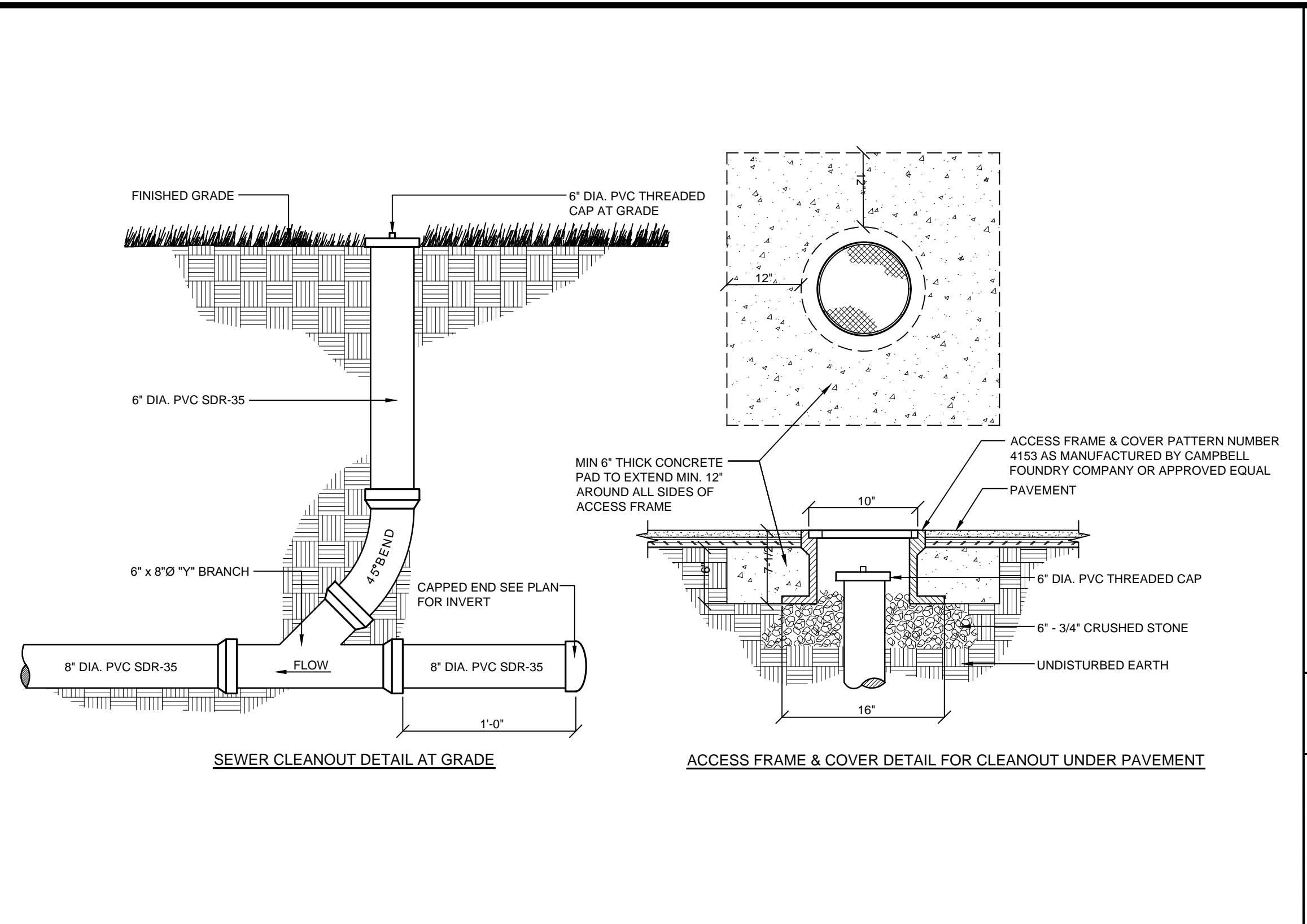
**PRELIMINARY
 SUBDIVISION
 IMPROVEMENT
 PLAN**

PROPOSED SUBDIVISION
 PREPARED FOR
**PRESTIGE RENOVATIONS
 AND REMODELING**
 3511 BUCKHORN STREET
 Town of Yorktown
 Westchester County, NY

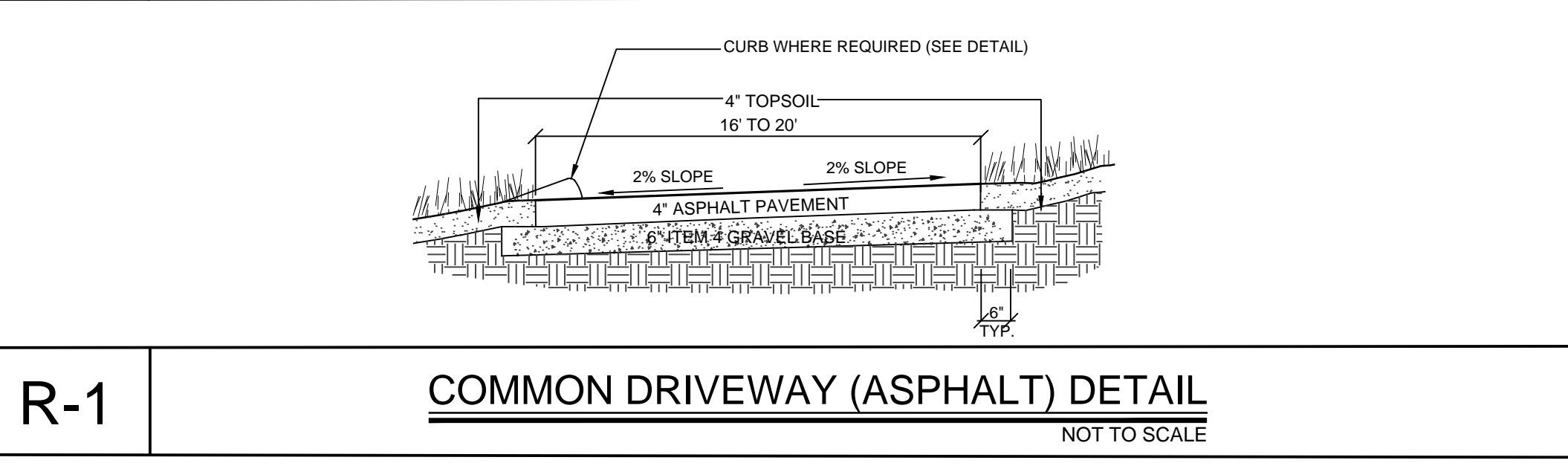
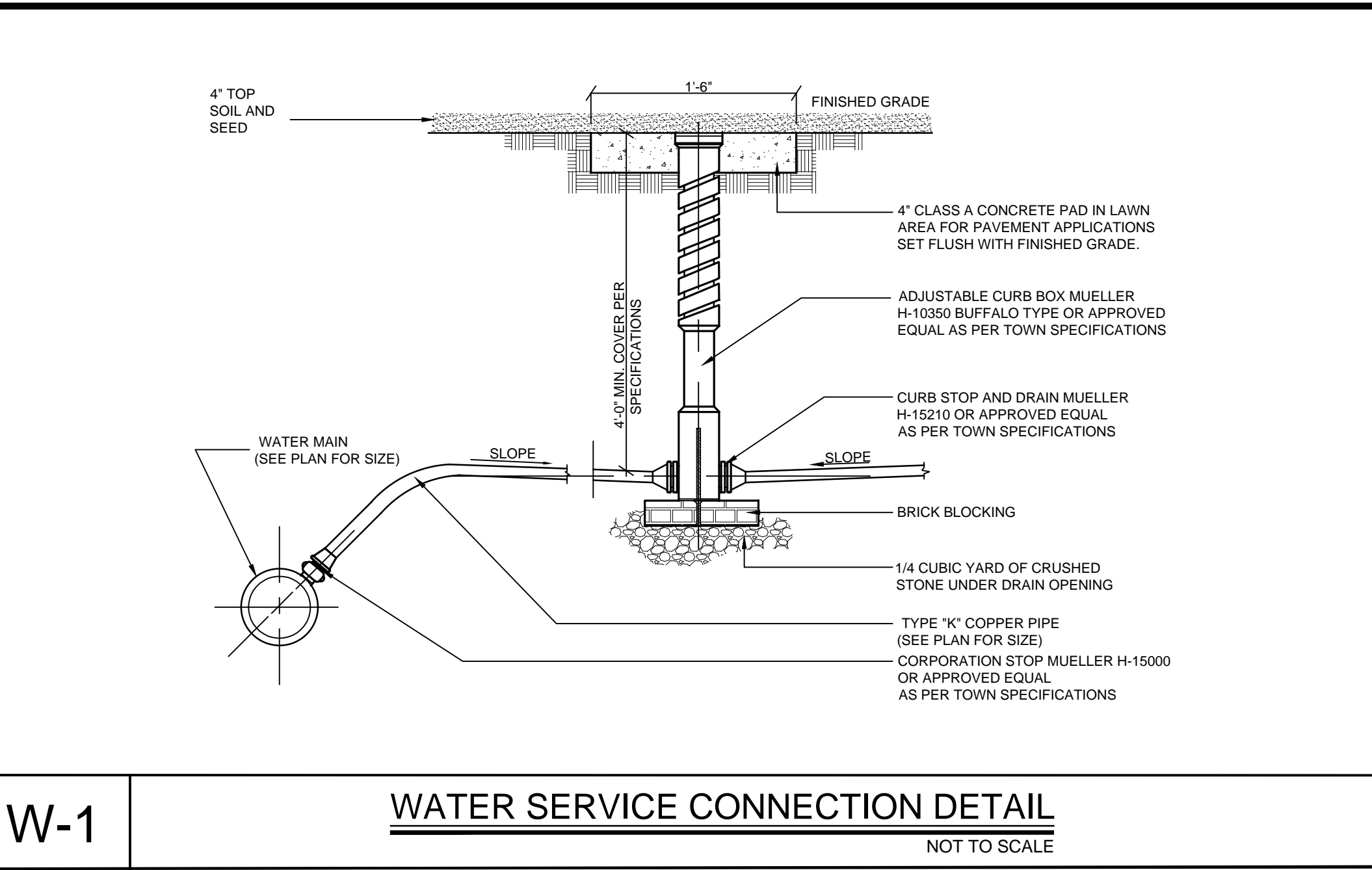
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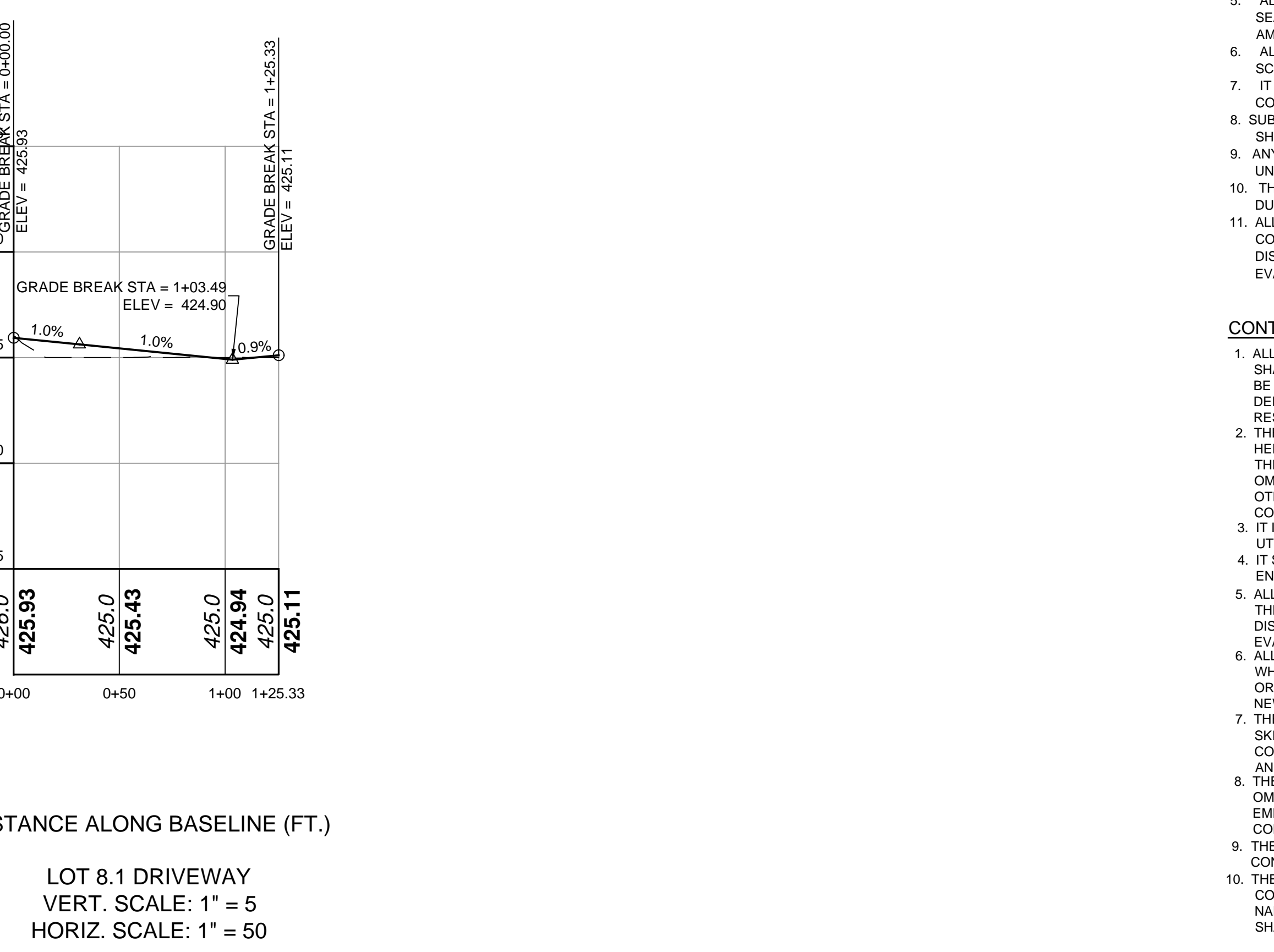
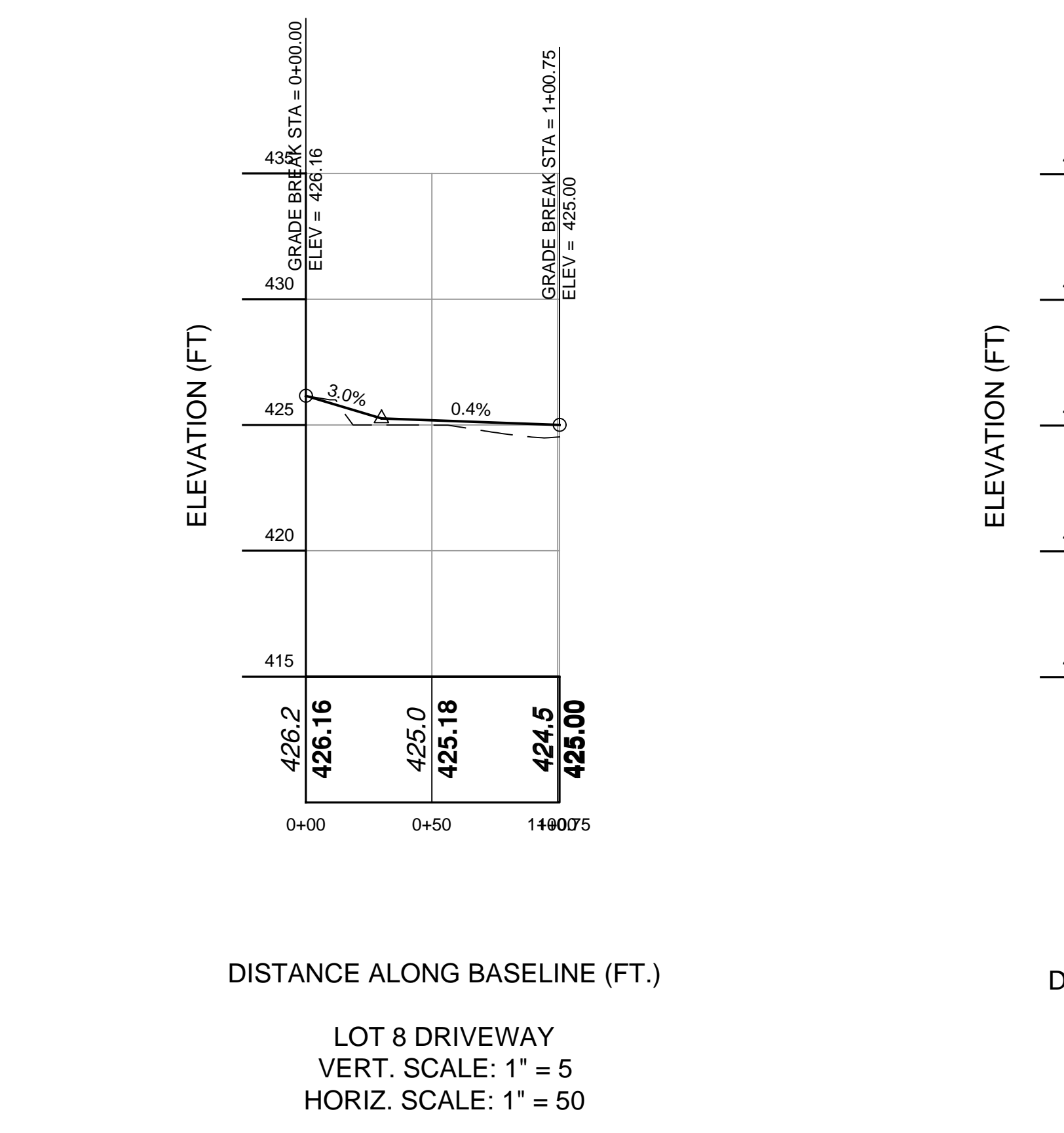
S-1 SEWER CONNECTION TO PROPOSED MAIN-LINE DETAIL
 NOT TO SCALE



S-2 GRAVITY SEWER LATERAL CLEAN-OUT DETAIL
 NOT TO SCALE



R-1 COMMON DRIVEWAY (ASPHALT) DETAIL
 NOT TO SCALE



GENERAL NOTES:

1. THE ENGINEER WHOSE SEAL APPEARS HEREON IF NOT RETAINED FOR SUPERVISION OF CONSTRUCTION, IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.
2. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE OR HELD ACCOUNTABLE FOR THE INTEGRITY OF ANY STRUCTURES CONSTRUCTED OR UNDER CONSTRUCTION PRIOR TO THE APPROVAL OF THE PLANS.
3. ALL WORK IS TO BE IN ACCORDANCE WITH THE YORKTOWN TOWN CODE AND NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE STORMWATER POLLUTION PREVENTION PLAN.
6. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL IN A "CODE 753" PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS.
8. SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN.
9. ANY PROPOSED ELECTRIC AND/OR TELEPHONE SERVICE LINES ARE TO BE PLACED UNDERGROUND.
10. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION.
11. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.

CONTRACTOR RESPONSIBILITIES:

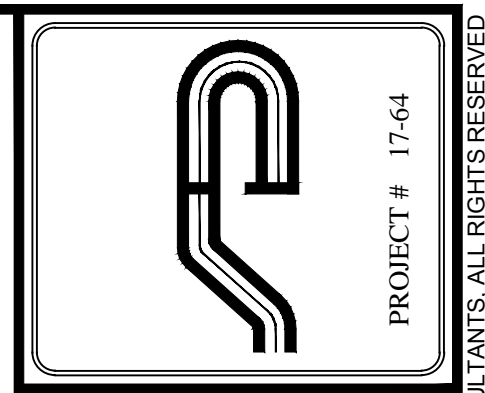
1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGES DUE TO HIS ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEE, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A SEPARATE CONTRACT WITH THE CONTRACTOR.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES IF REQUIRED BY CONSTRUCTION.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE TOWN ENGINEER IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS APPROPRIATE.
5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.
6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
9. THE CONTRACTOR SHALL VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NAMED AS ADDITIONAL INSURED. ALL CONTRACTORS EMPLOYED AT THE SITE SHALL BE COVERED BY WORKMAN'S COMPENSATION.

GENERAL CONSTRUCTION NOTES:

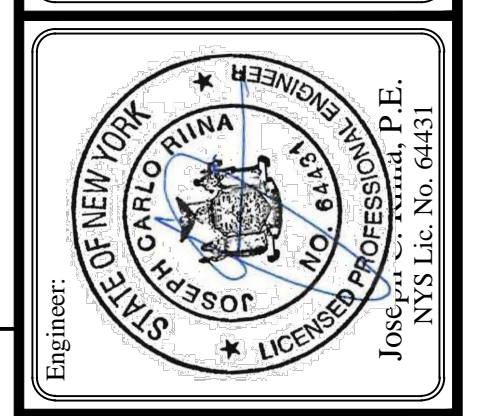
1. THE CONTRACTOR SHALL REQUEST A BENCH MARK FROM THE SURVEYOR IN THE SAME DATUM AS THE DESIGN PLANS.
2. FINISHED GRADES SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS.
3. CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS. WHERE BLASTING IS NECESSARY, IT SHALL OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. NO BLASTING SHALL OCCUR ON HOLIDAYS, SATURDAY OR SUNDAY. ALL BLASTING SHALL ALSO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF YORKTOWN AND NEW YORK STATE BLASTING ORDINANCES.
4. ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED AND SHALL BE DISPOSED OF WITHIN THE SITE IN NEW EMBANKMENTS WHERE STRUCTURAL LOADING, I.E. A BUILDING OR ROADWAY, WILL NOT TAKE PLACE. WHEN CONSTRUCTION IS PROPOSED TO OCCUR IN SPECIFIC AREAS WHERE SOILS ARE OF QUESTIONABLE SUITABILITY, THE OWNER SHALL RETAIN A SOILS ENGINEER TO EVALUATE AND PREPARE A DESIGN FOR THE CONDITION.
5. ROCK CUT STABILITY IS TO BE FIELD VERIFIED BY A GEOTECHNICAL ENGINEER AND SHALL BE MODIFIED IF REQUIRED.
6. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, OR LOCAL STANDARDS. IF NECESSARY THE REMOVAL SHALL BE DONE BY A CONTRACTOR LICENSED TO REMOVE AND DISPOSE OF VARIOUS MATERIALS.

GENERAL STORM DRAINAGE & UTILITY NOTES

1. ALL UTILITIES, INCLUDING ELECTRIC LINES, TELEPHONE LINES SHALL BE LOCATED UNDERGROUND AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF YORKTOWN AND THE UTILITY COMPANIES HAVING JURISDICTION.
2. EACH BUILDING CONSTRUCTED HEREON SHALL BE OF SUCH AN ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS. IN THE EVENT THAT THIS IS NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL TYPICAL YARD DRAINS AS REQUIRED AND CONNECT THEM TO THE STORM DRAINAGE SYSTEM OR AS DIRECTED BY THE PROJECT ENGINEER.
3. ROOF LEADERS AND FOOTING DRAINS SHALL EMPTY INTO THE STORM DRAINAGE SYSTEM OR DISCHARGE DIRECTLY TO STORMWATER MANAGEMENT SYSTEMS IF GRADES PERMIT, AND CONNECTION TO THE STORM SYSTEM IS NOT FEASIBLE. FOOTING DRAINS ONLY MAY DISCHARGE TO DAYLIGHT. FOOTING DRAINS SHALL EXTEND A MINIMUM OF 30 FT. FROM THE REAR FACE OF THE BUILDING WHEN POSSIBLE. UNDER NO CIRCUMSTANCES SHALL THE DISCHARGE OF GROUND WATER OR STORM WATER, EITHER BY GRAVITY OR BY PUMPING, BE DISCHARGED TO ANY SANITARY SEWER SYSTEM.



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Revisions:	No.	Date	Comments
	1.	3/14/18	Plan Update
	2.	4/12/18	Rec. Area Update
	3.	5/29/18	ABA/CA

SCALE: 1"=20'
 DRAWN BY: MD
 DATE: 12-6-17

DETAILS

PROPOSED SUBDIVISION PREPARED FOR
PRESTIGE RENOVATIONS AND REMODELING
 3511 BUCKHORN STREET
 Town of Yorktown
 Westchester County, NY

E:\2017\17-64\ANTHONY_VERRINO_PRECISIONENGINEERING\CADD\17-64 SITE PLAN DWG\11/16/2017\17-64.DWG

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-15-002 and Town of Yorktown Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
 - Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
 - Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
 - Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
 - For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
 - All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
 - All sites shall be stabilized with erosion control materials within 7 days of final grading.
 - Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE
WHEEL CLEANER	CLEAN	---	---	---	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal. The extents of all of the stormwater management systems shall be cordoned off to minimize the disturbance on the area.
- Install all perimeter erosion control measures, construction access as shown on the Erosion and Sediment Control Plan and the associated details. Install silt fencing at the bottom of slopes.
- Strip site and place topsoil in stockpile locations shown on the plan.
- Begin rough grading the site. Contractor to limit exposure of denuded soils by providing temporary stabilization for work areas that will remain undisturbed for over seven (7) days. Excess material shall be stockpiled in the location shown on the plan as grades allow. Material unable to be stockpiled shall be removed from the site.
- Rough grade building and driveway.
- Begin construction of building.
- Begin the excavation and installation of stormwater management system. Protect trenches and open excavations from erosion. Entry into the system shall be blocked off until site has reached final stabilization. Once system has been installed, backfill, seed where necessary, and reinstall measures to cordon off the system from disturbance.
- During site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Excavate to the sub-grade level. Scarify the existing soil to a depth of 12-inches by rototilling or other means acceptable to the Engineer. Install all courses of stone as per the specifications given on the Plan.
- Install base course of Item 4 in all pavement areas. Stabilize all open areas with seed and mulch.
- Construct remainder of building, driveway and parking areas. Install asphalt binder. Once binder course is installed, drainage outlet may be unlocked.
- Grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds, slopes, etc.
- Once site stabilization has taken place (An area shall be considered to have achieved final stabilization when it has a minimum uniform 80% permanent vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements), remove all temporary erosion and sediment controls, unplug the drainage system to allow runoff to enter the stormwater management system.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to ph 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20 CREEPING RED FESCUE 28 RYE GRASS OR REDTOP 5
ALT. B	CREEPING RED FESCUE 20 REDDOP 2 TALL FESCUE/SMOOTH BLOOMGRASS 20
- SEEDING
 - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
 - Apply soil amendments and integrate into soil.
 - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
 - Stabilize seeded areas in drainage swales.
 - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
 - Seed between April 1st and May 15th or August 15th and October 15th.
 - Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to ph 6.5.

SEED SPECIES:

MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

Same as permanent vegetative cover

CONTRACTOR CERTIFICATION STATEMENT

Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 29, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

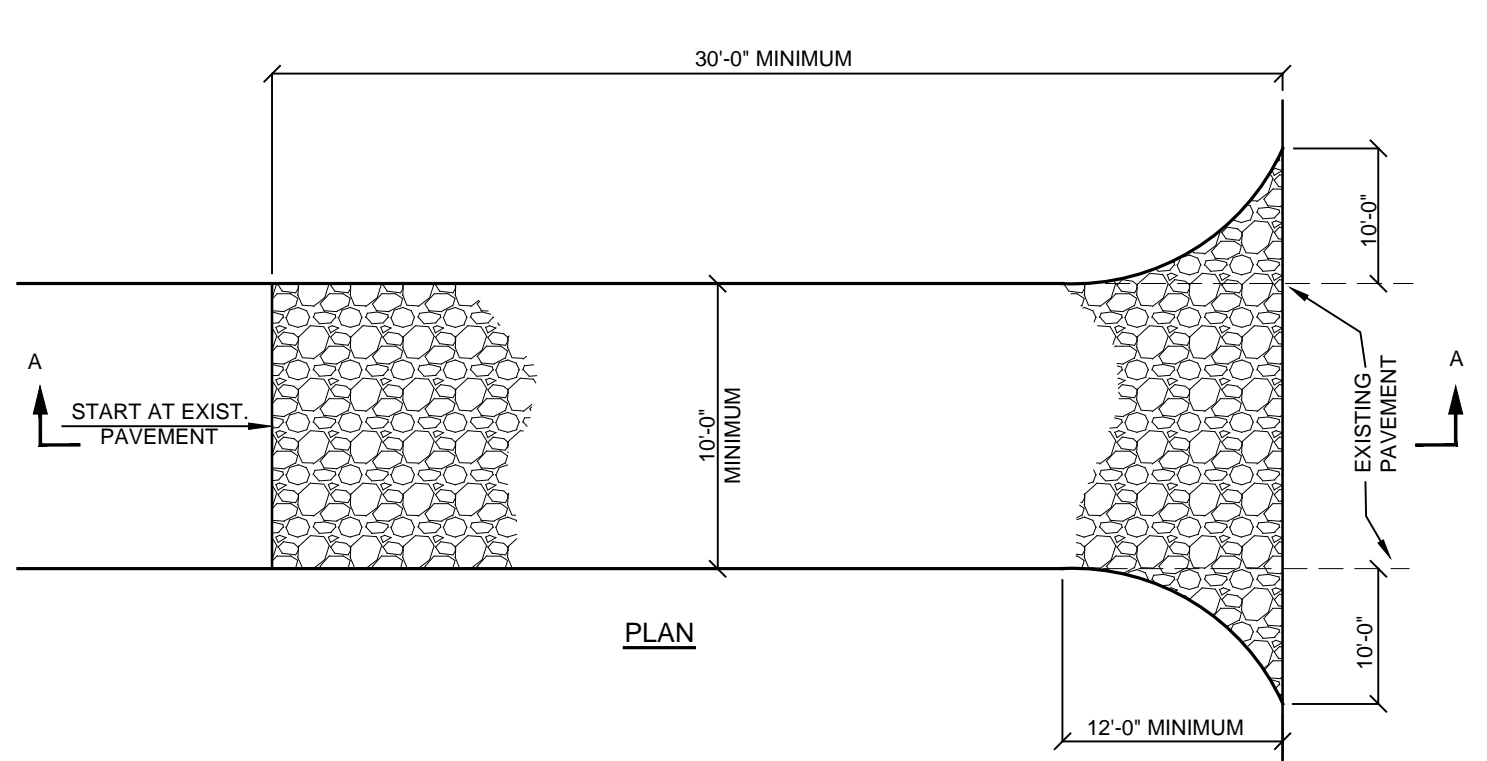
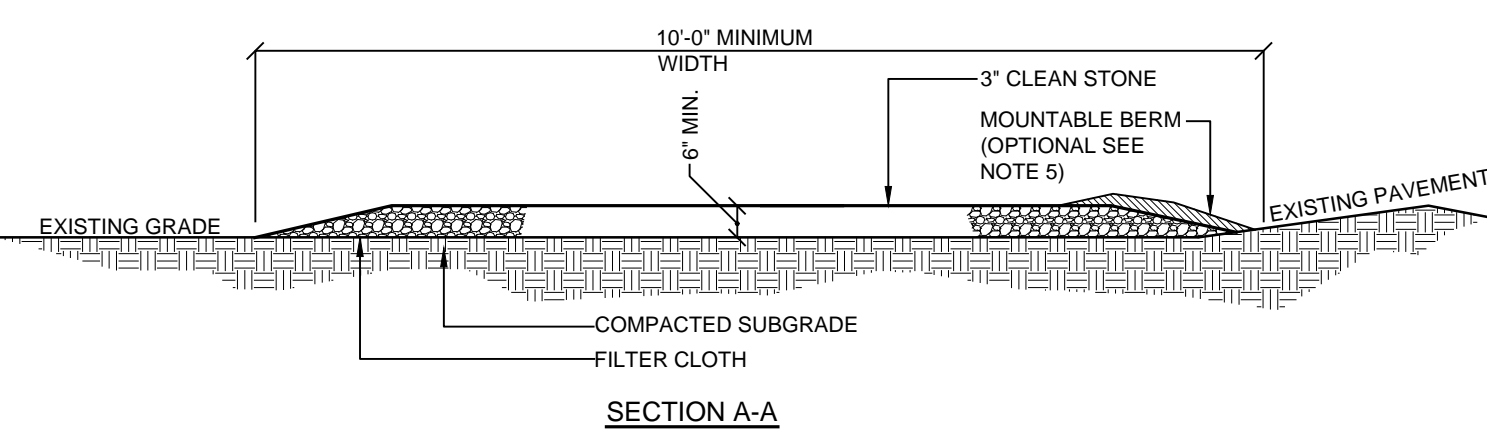
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: _____
 Name and Title (please print): _____
 Signature of Contractor: _____
 Company / Contracting Firm: _____
 Name of Company: _____
 Address of Company: _____
 Telephone Number / Cell Number: _____
 Site Information: _____
 Address of Site: _____
 Today's Date: _____

OWNER / OPERATOR CERTIFICATION

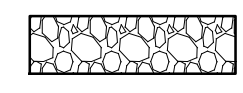
"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): _____
 Title: _____
 Date: _____
 Address: _____
 Phone: _____
 E-mail: _____
 Signature: _____

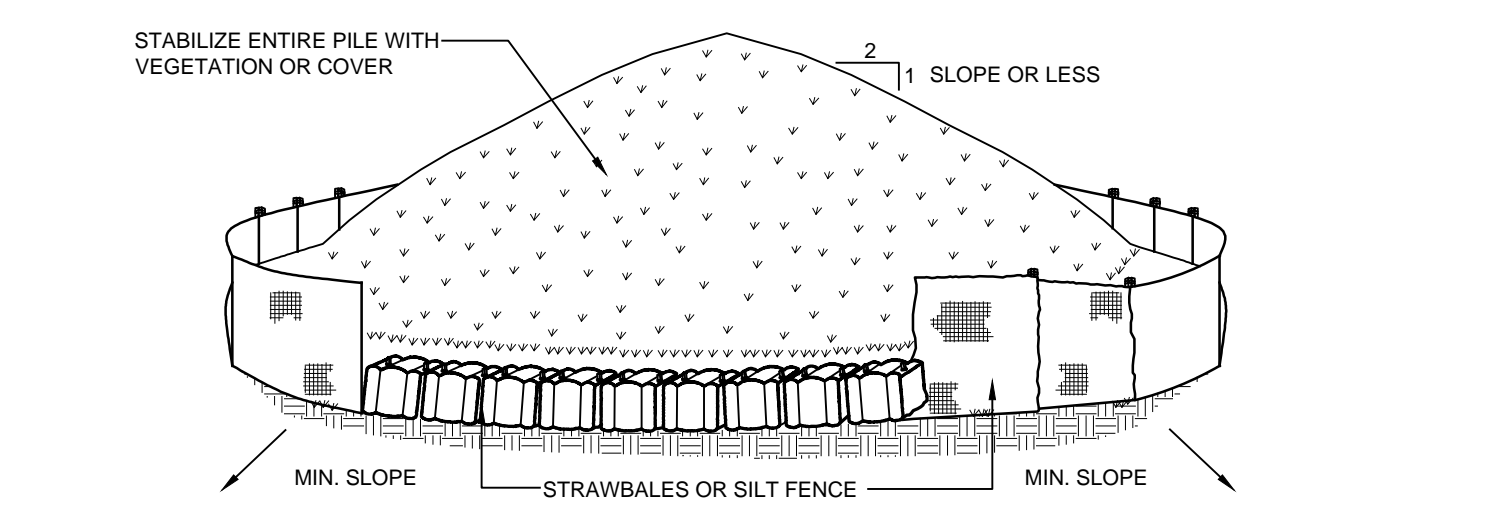


- INSTALLATION NOTES:**
- Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent.
 - Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 - Thickness - not less than six (6) inches.
 - Width - 10 foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
 - Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right of way must be removed immediately.
 - Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain

SYMBOL

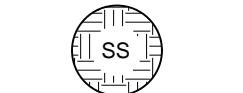


E-1 STABILIZED CONSTRUCTION ACCESS DETAIL
NOT TO SCALE

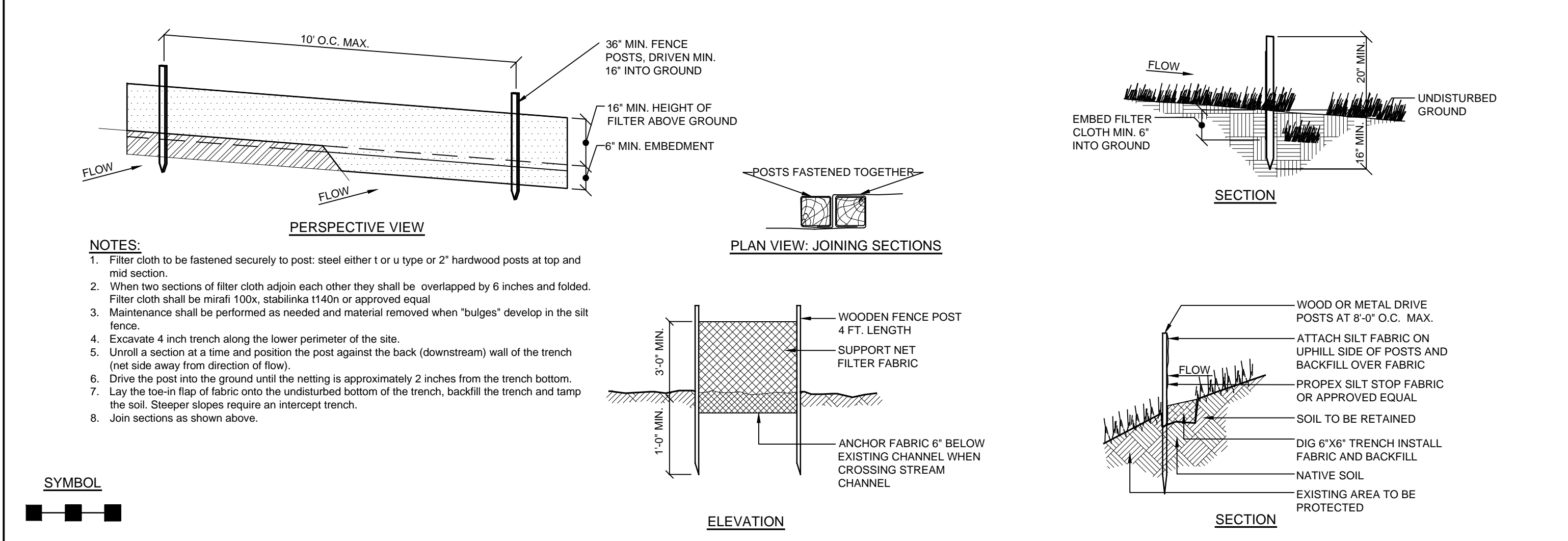


- NOTES:**
- Area chosen for stockpiling operations shall be dry and stable.
 - Maximum slope of stockpile shall be 1:2.
 - Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
 - See detail for installation of silt fence.

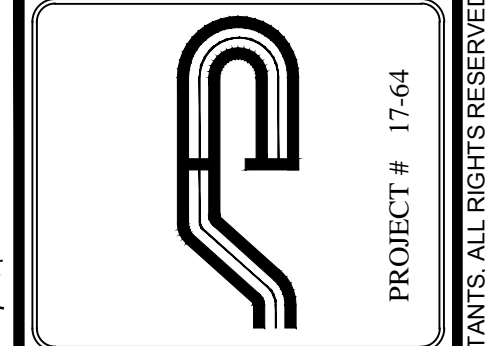
SYMBOL



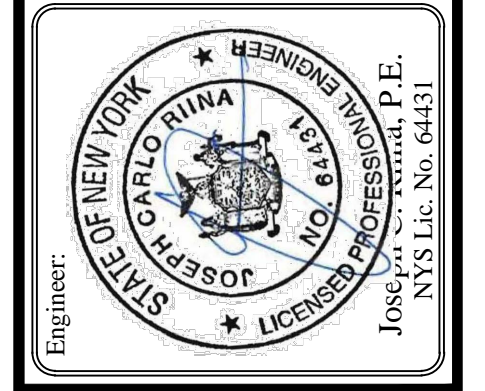
E-2 SOIL STOCKPILE DETAIL
NOT TO SCALE



E-3 SILT FENCE DETAIL
NOT TO SCALE



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No.	Date	Comments
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2.	4/12/18	Rec. Area Update
3.	5/29/18	ABACA

SCALE: 1"=20'

DRAWN BY: MD

DATE: 12-6-17

EROSION & SEDIMENT CONTROL DETAILS

PROPOSED SUBDIVISION PREPARED FOR
PRESTIGE RENOVATIONS AND REMODELING
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 Westchester County, NY
 Town of Yorktown

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