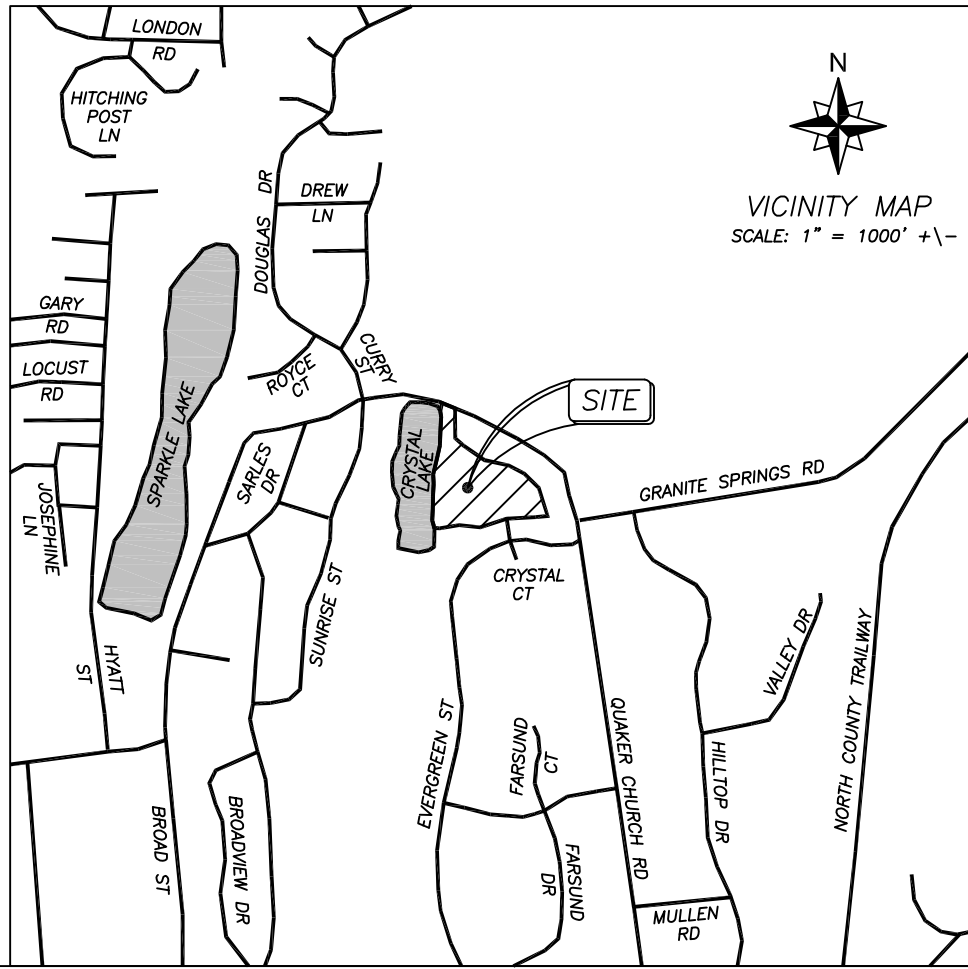


**ZONING SCHEDULE**

TM # 27.11-2-43  
R 1-20 RESIDENTIAL

	REQUIRED	PROPOSED
MIN LOT AREA (SF)	20,000	90,515 98,267 22,697
MIN LOT WIDTH (FT)	100	140 180 130
MIN LOT DEPTH (FT)	100	350 435 125
MIN YARD DIMENSIONS (FT)		
FRONT	40	47.3 55.6 52.0
SIDE BLDG	15	40.9 38.3 20.5
2 COMB	40	88.1 81.6 85.4
REAR	40	255.0 343.5 56.1
MAX BUILDING HEIGHT (FT)	35	< 35 < 35 < 35
MIN FLOOR AREA (SF)	800	2100 2100 2100
MAX BLDG COVERAGE (%)	20	
ROAD FRONTAGE (FT)	100	112 70* 140

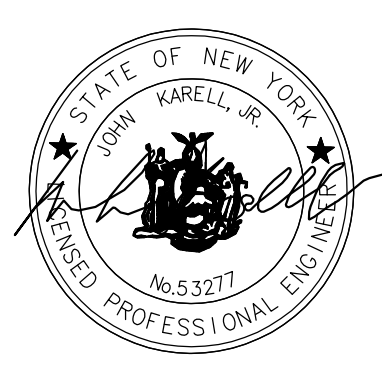
\* Minimum 60 ft road frontage required on a cul de sac



**ADJOINING PROPERTY OWNERS**  
NAME AND ADDRESS

NAME AND ADDRESS	TAX MAP NUMBER
Roger Tsai 2773 Evergreen Street, Yorktown Heights, New York, 10598	27.11-2-40
Gino Letizia 2777 Evergreen Street, Yorktown Heights, New York, 10598	27.11-2-41
Robert Harris 2783 Evergreen Street, Yorktown Heights, New York, 10598	27.11-2-42
Lisa Vanderwerker 2811 Evergreen Street, Yorktown Heights, New York, 10598	27.11-2-45
Elizabeth Wohlbecker 7 Granite Springs Road, Yorktown Heights, New York, 10598	27.11-2-11
c/o County of Westchester	
55 South Broadway, Tarrytown, NY, 10591	27.11-2-12
Tonia Ivacic 25 Granite Springs Road, Yorktown Heights, New York, 10598	27.11-2-13
John Barry 33 Granite Springs Road, Yorktown Heights, New York, 10598	27.11-2-14
Jeanne Pollock 41 Granite Springs Road, Yorktown Heights, New York, 10598	27.11-2-15
John Czapewski 47 Granite Springs Road, Yorktown Heights, New York, 10598	27.11-2-16
Henry Clark 51 Granite Springs Road, Yorktown Heights, New York, 10598	27.11-2-17
Andrew Gaglio 2797 Quaker Church Road, Yorktown Heights, New York, 10598	27.11-2-10

**SITE PLAN**  
1" = 30'



SURVEY AND TOPO PREPARED BY LINK LAND SURVEYORS, P.C. FOR PANBAR REALTY LLC

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No.	DATE	COMMENTS
5	11-15-19	COMMENTS
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3	10-5-18	COMMENTS
2	5-3-18	TREE REPLACEMENT LAYOUT
1	5-31-17	PROPOSED HOUSE REVISED
6	11-22-19	COMMENTS FROM PLANNING BOARD

**JOHN KARELL, JR. P.E.**  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563

OWNER: PANBAR REALTY, LLC  
LOUIS PANNY, PRESIDENT  
CRYSTAL COURT, YORKTOWN (T)

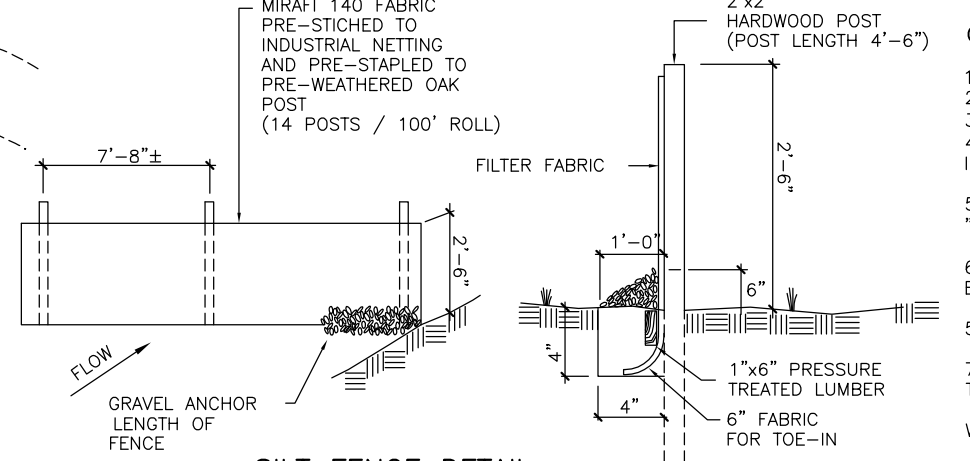
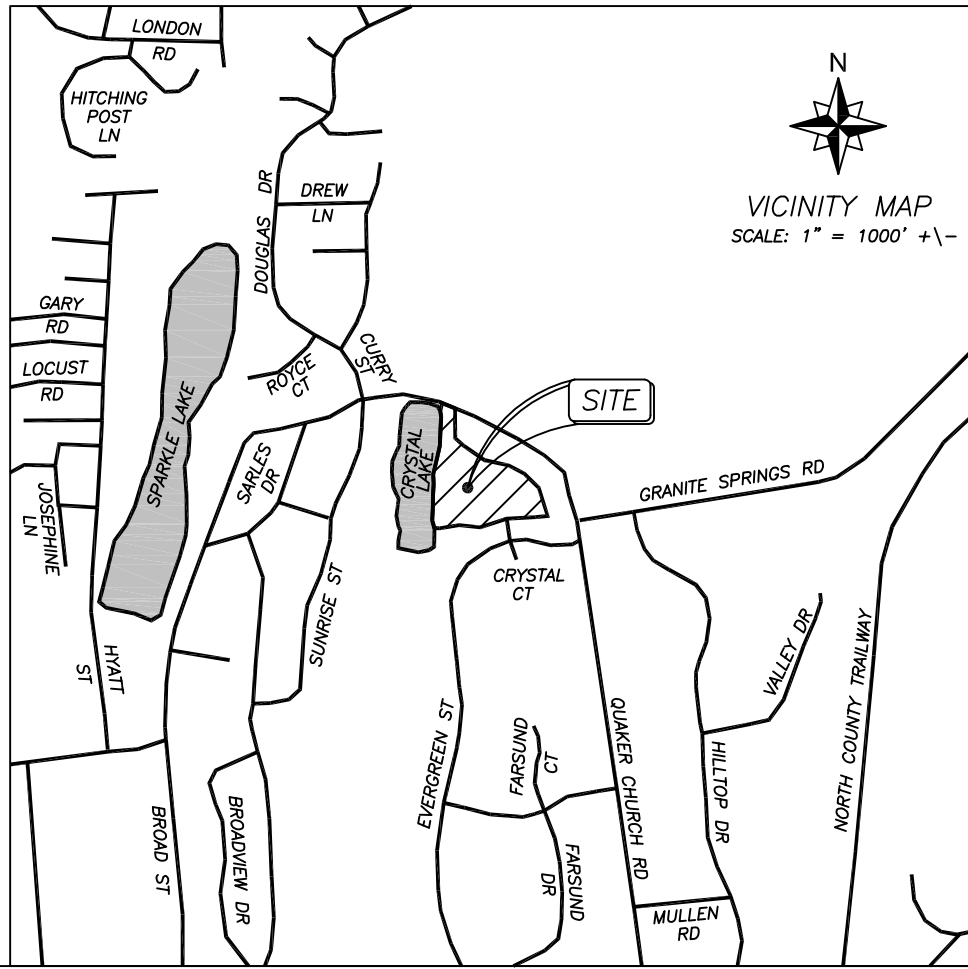
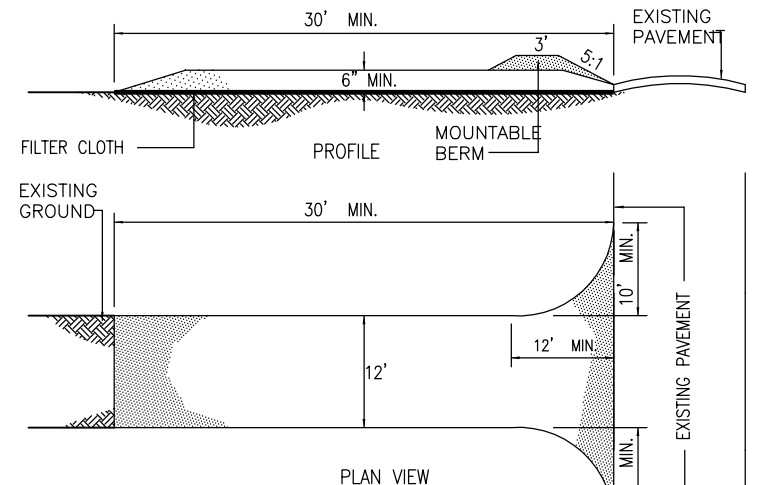
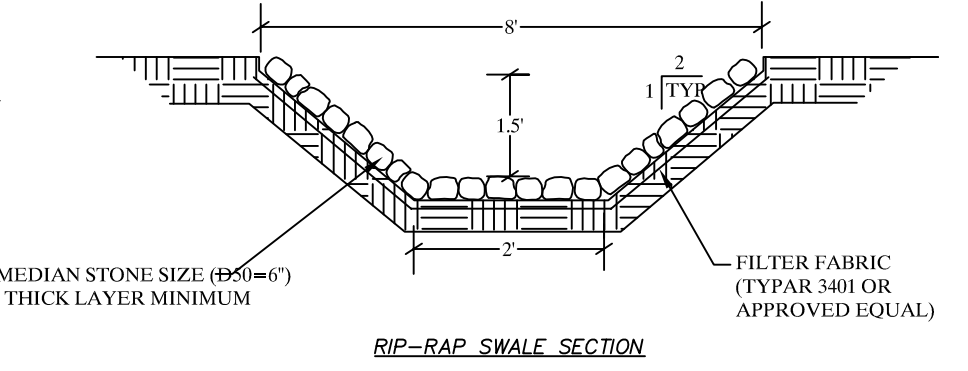
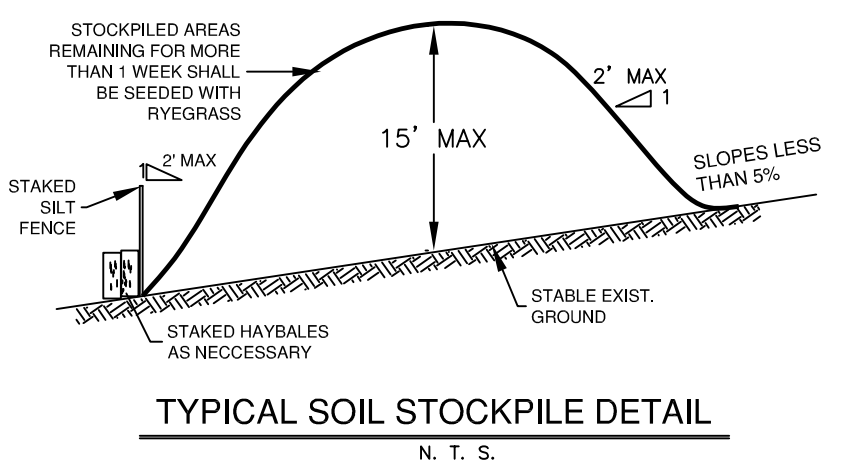
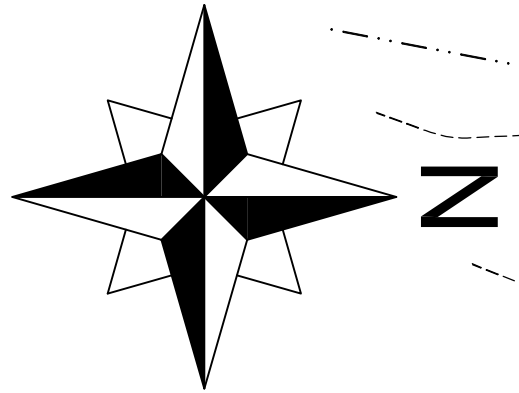
PRELIMINARY INTEGRATED PLOT PLAN  
3 LOT SUBDIVISION

SCALE: AS SHOWN  
LATEST REVISION: S-1

DATED: AUGUST 27, 2016  
CHECKED: SHEET No. S-1

945-878-7294 phone  
945-878-9339 fax  
jack4811@yahoo.com

NOTES:  
WETLAND FLAGGED BY TED KOWSLOWSKI, JUNE 22, 2016  
AND LOCATED BY LINK LAND SURVEYORS AUGUST 27, 2016



- CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - NOT LESS THAN 30 FEET.
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
  5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND REPAIRED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- CONSTRUCTION SPECIFICATIONS:
1. FILTER FABRIC TO BE EMBEDDED IN SOIL A MIN. OF 6".
  2. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  3. SILT FENCE TO BE REMOVED AT END OF CONSTRUCTION BUT NOT BEFORE ALL DISTURBED AREAS ARE STABILIZED AND VEGETATED.

- EROSION SEDIMENT PLAN**  
SITE & EROSION CONTROL NOTES
1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN.
  2. DISTURBED AREA SHALL NOT EXCEED ONE ACRE OF LAND, AND NO WORK SHALL BE DONE WITHIN 100 FEET OF A WETLAND OR WATERCOURSE.
  3. ADJOINING PROPERTY SEPTIC SYSTEMS WILL NOT BE IMPACTED OR DISTURBED BY CONSTRUCTION, ACCESS TO CONSTRUCTION, OR POST CONSTRUCTION.
  4. THERE WILL BE NO POST CONSTRUCTION INCREASE IN WATER LEAVING THE SITE.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
  6. EXCAVATING OR FILLING DOES NOT EXCEED A TOTAL OF 100 CUBIC YARDS OF MATERIAL. CUT AND FILL WILL BE UNDER 80 CUBIC YARDS.
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  9. ALL TOP SOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOP SOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
  10. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL BE IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING. IF THE SLOPE OF THE DISTURBED AREA IS GREATER THAN 1:3 EROSION BLANKETS SHALL BE USED.
  11. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
  12. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
  13. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
  14. SPECIAL ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES, AS WARRANTED BY FIELD CONDITIONS, AND AS SPECIFIED BY THE TOWN BUILDING INSPECTOR OR THE TOWN ENGINEER SHALL BE INSTALLED BY THE CONTRACTOR WHEN SO DIRECTED.

SITE PLAN  
1" = 30'

NOTES:  
WETLAND FLAGGED BY TED KOOSLOWSKI, JUNE 22, 2016  
AND LOCATED BY LINK LAND SURVEYORS AUGUST 27, 2016



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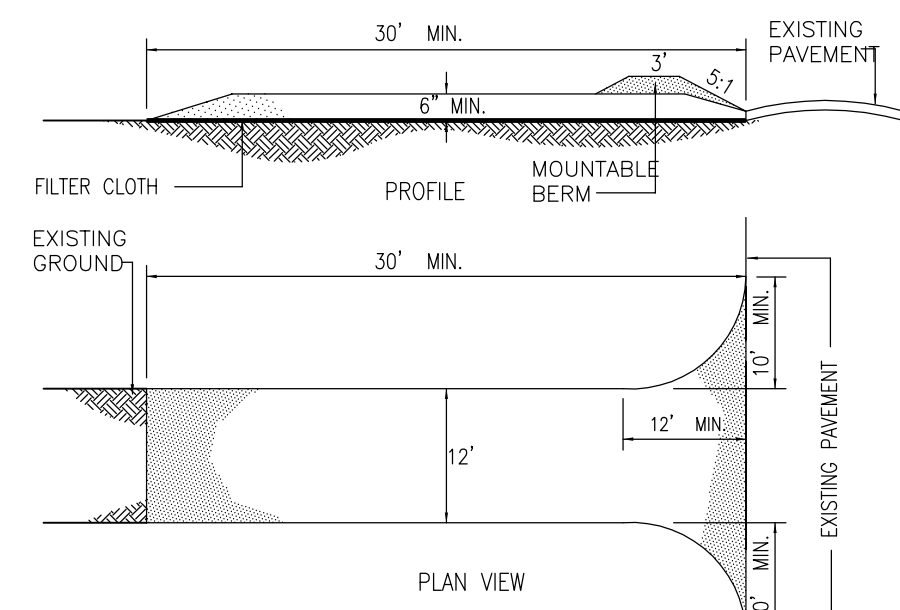
**JOHN KARELL, JR. P.E.**  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563

OWNER: PANBAR REALTY, LLC  
LOUIS PANNY, PRESIDENT  
CRYSTAL COURT, YORKTOWN (T)

SCALE: AS SHOWN  
LATEST REVISION: SHEET No. E-1

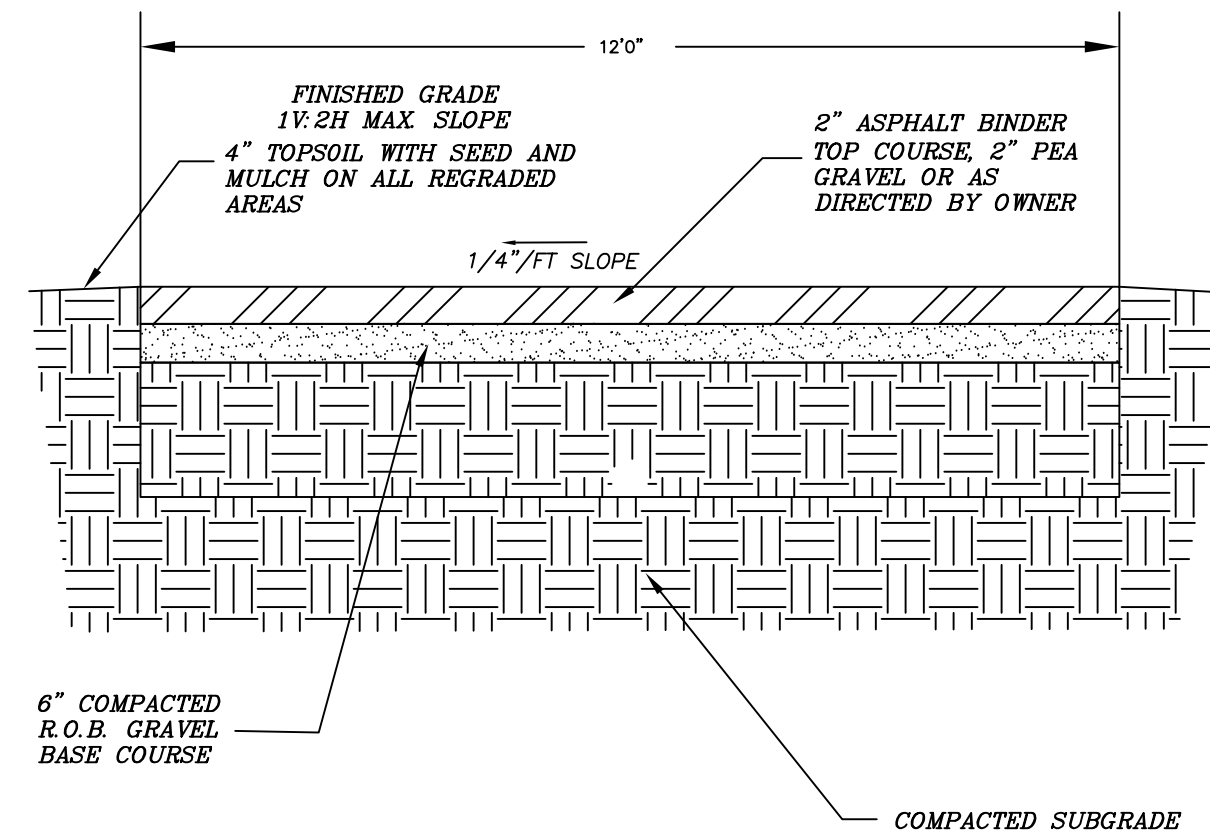
945-878-7284 phone  
945-878-9339 fax  
jack@11@yahoo.com

DECEMBER 29, 2016  
CHECKED:

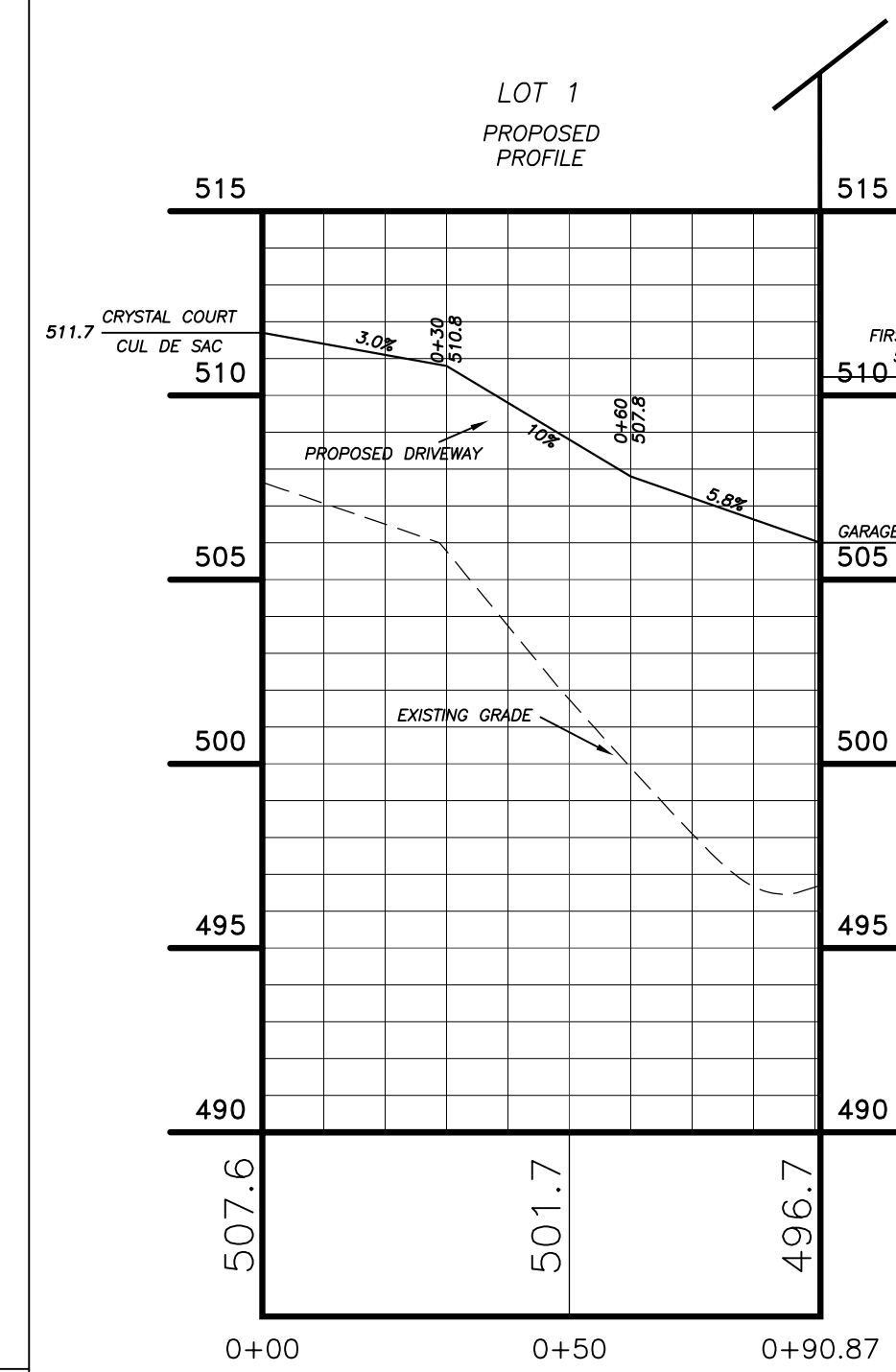


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  - 700X, OR APPROVED EQUAL.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
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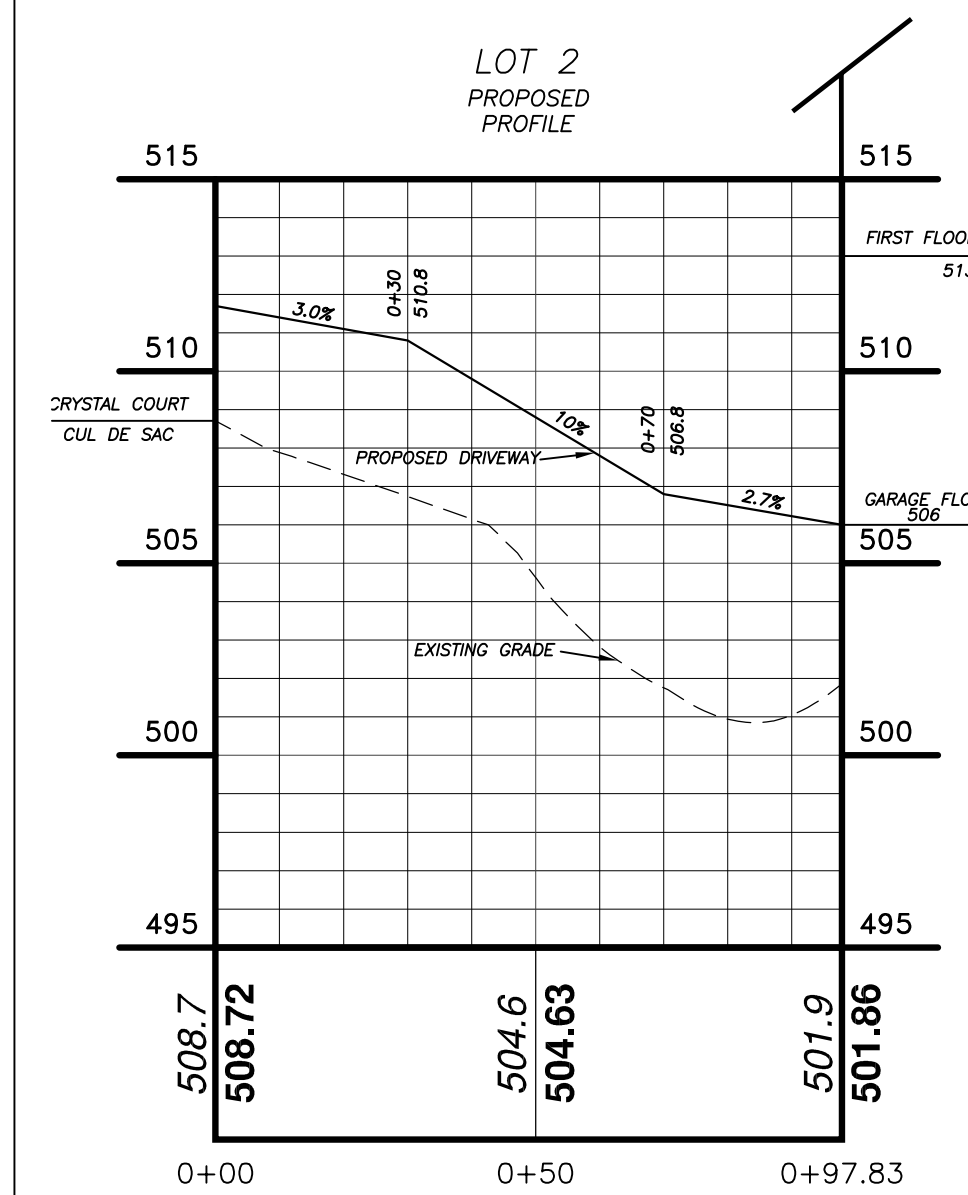
**STABILIZED CONSTRUCTION ENTRANCE  
N.T.S.**



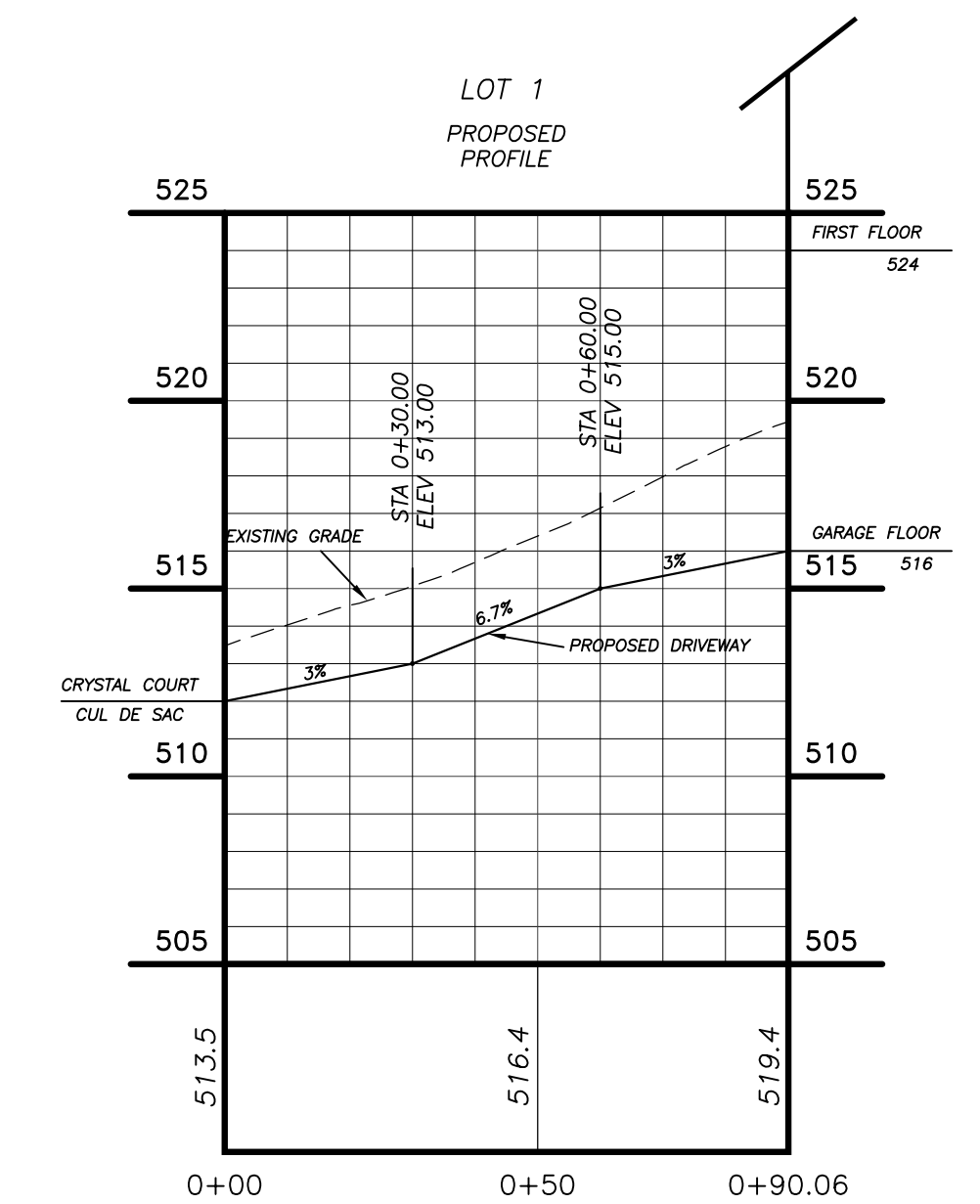
**DRIVEWAY DETAIL  
(N.T.S.)**



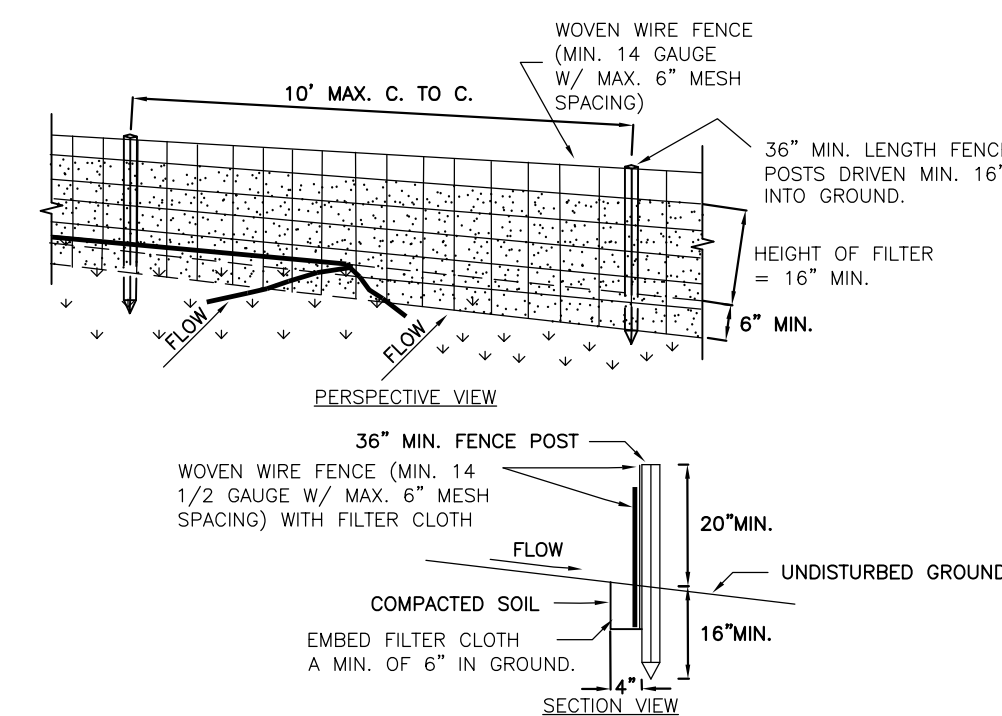
**PROFILE SCALE:  
HORIZ: 1"=30'  
VERT: 1"=5'**



**PROFILE SCALE:  
HORIZ: 1"=30'  
VERT: 1"=5'**



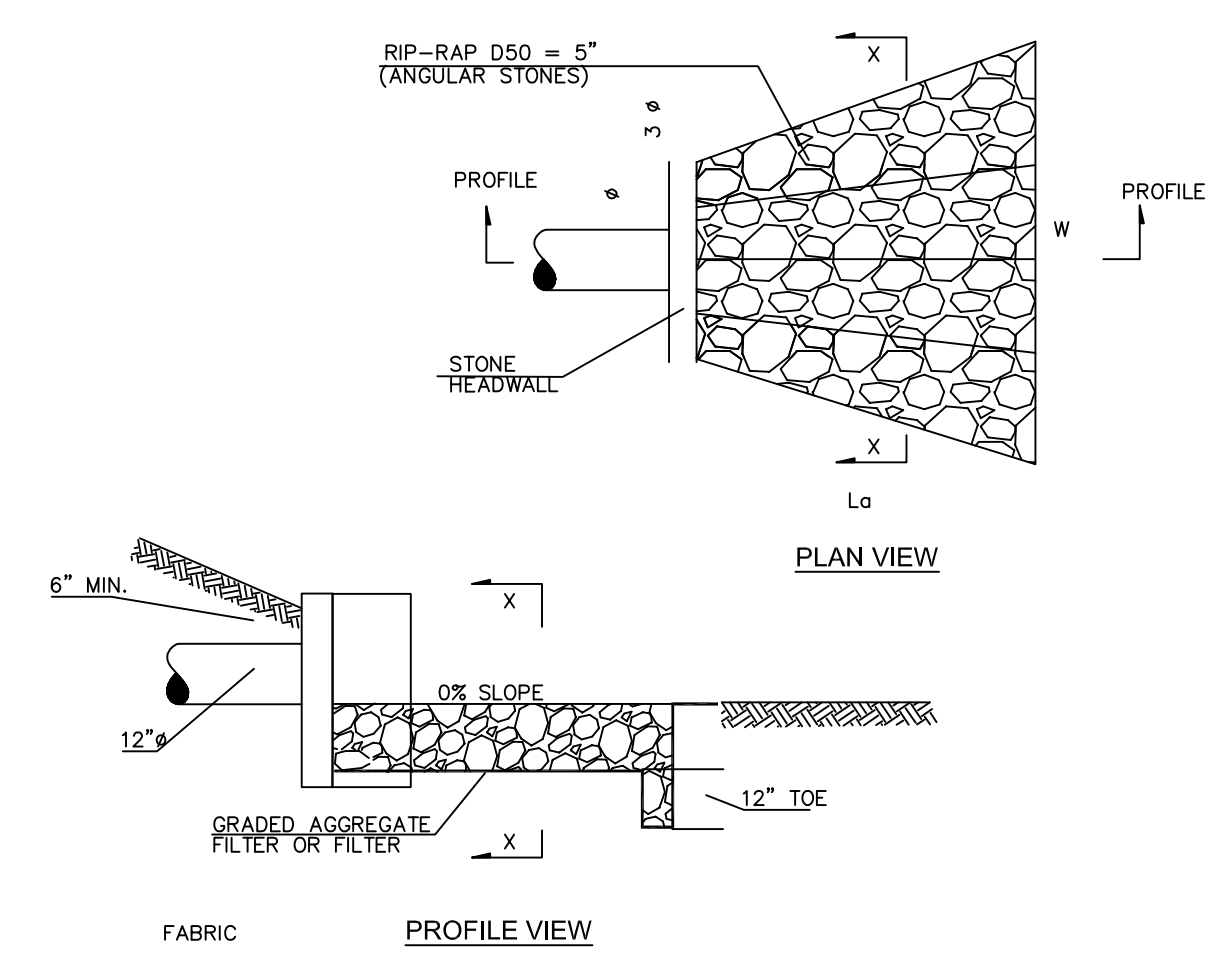
**PROFILE SCALE:  
HORIZ: 1"=30'  
VERT: 1"=5'**



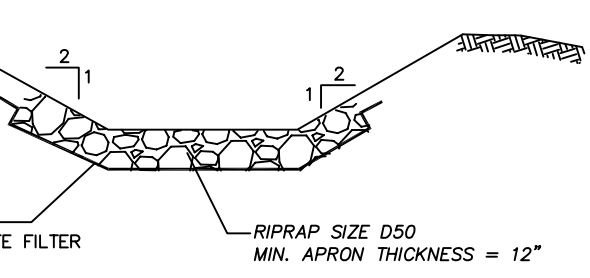
**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENAROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE**

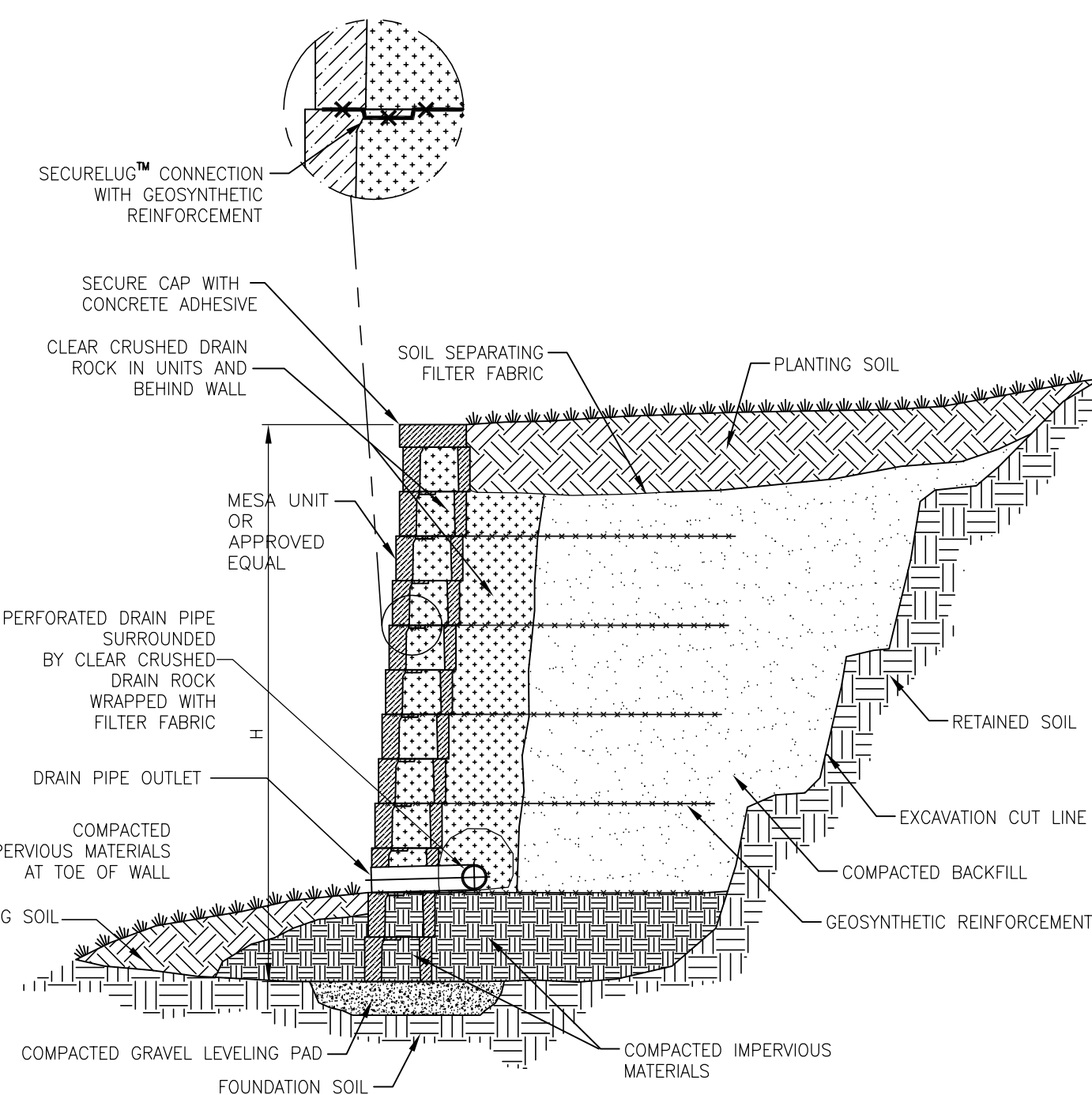


**PROFILE VIEW**

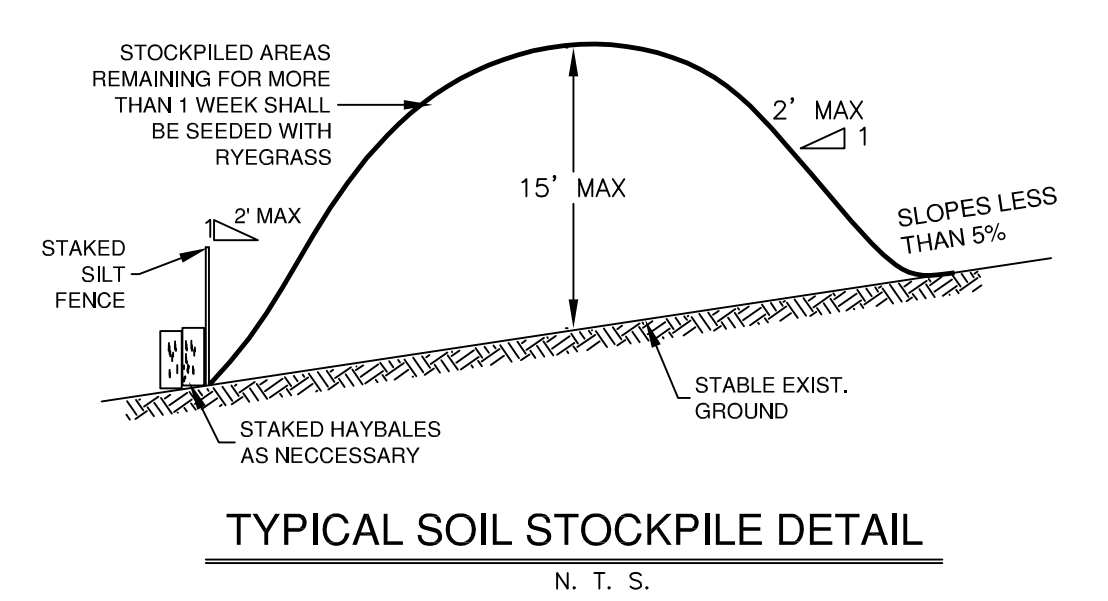


**CROSS SECTION X-X**

**RIP-RAP OUTLET PROTECTION (N.T.S.)**



**1.3 CORNERSTONE MODULAR RETAINING WALL  
SCALE: N.T.S.**



**TYPICAL SOIL STOCKPILE DETAIL  
N. T. S.**

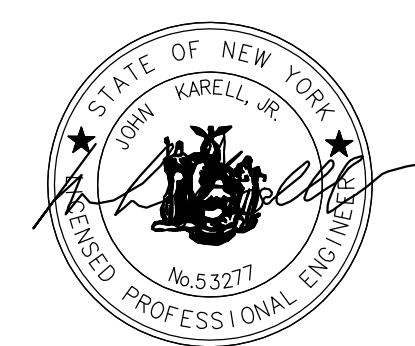
- EROSION SEDIMENT PLAN  
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- NOTES:**
- SOILS - PnB - PAXTON FINE SANDY LOAM, ENTIRE LOT
  - WATERLINE LOCATED PER TOWN MARKOUT
  - WETLAND FLAGGED BY TED KOWSLOWSKI, JUNE 22, 2016 AND LOCATED BY LINK LAND SURVEYORS AUGUST 27, 2016
  - TAX LOT No. 27.11-2-43
  - 5.0743 ACRES
  - ZONE R1-20

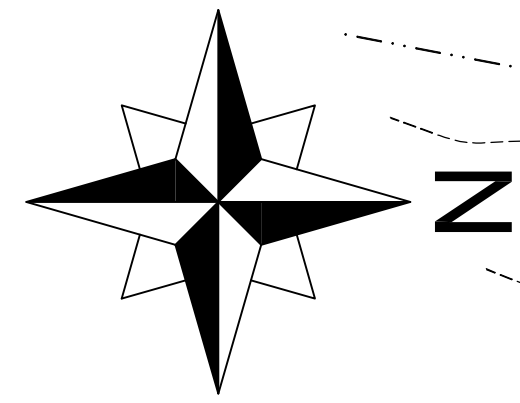
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**JOHN KARELL, JR. P.E.**  
121 CUSHMAN ROAD  
PATTERSON, NEW YORK 12563



OWNER:	PANBAR REALTY, LLC LOUIS PANNY, PRESIDENT CRYSTAL COURT, YORKTOWN (T)	SCALE:	AS SHOWN	LATEST REVISION:
	DETAILS 3 LOT SUBDIVISION	DATED:	AUGUST 27, 2016	SHEET No.
		CHECKED:		D-1



50' CONSERVATION EASEMENT

CRYSTAL LAKE  
now or formerly Town of Yorktown  
Liber 7132 page 277

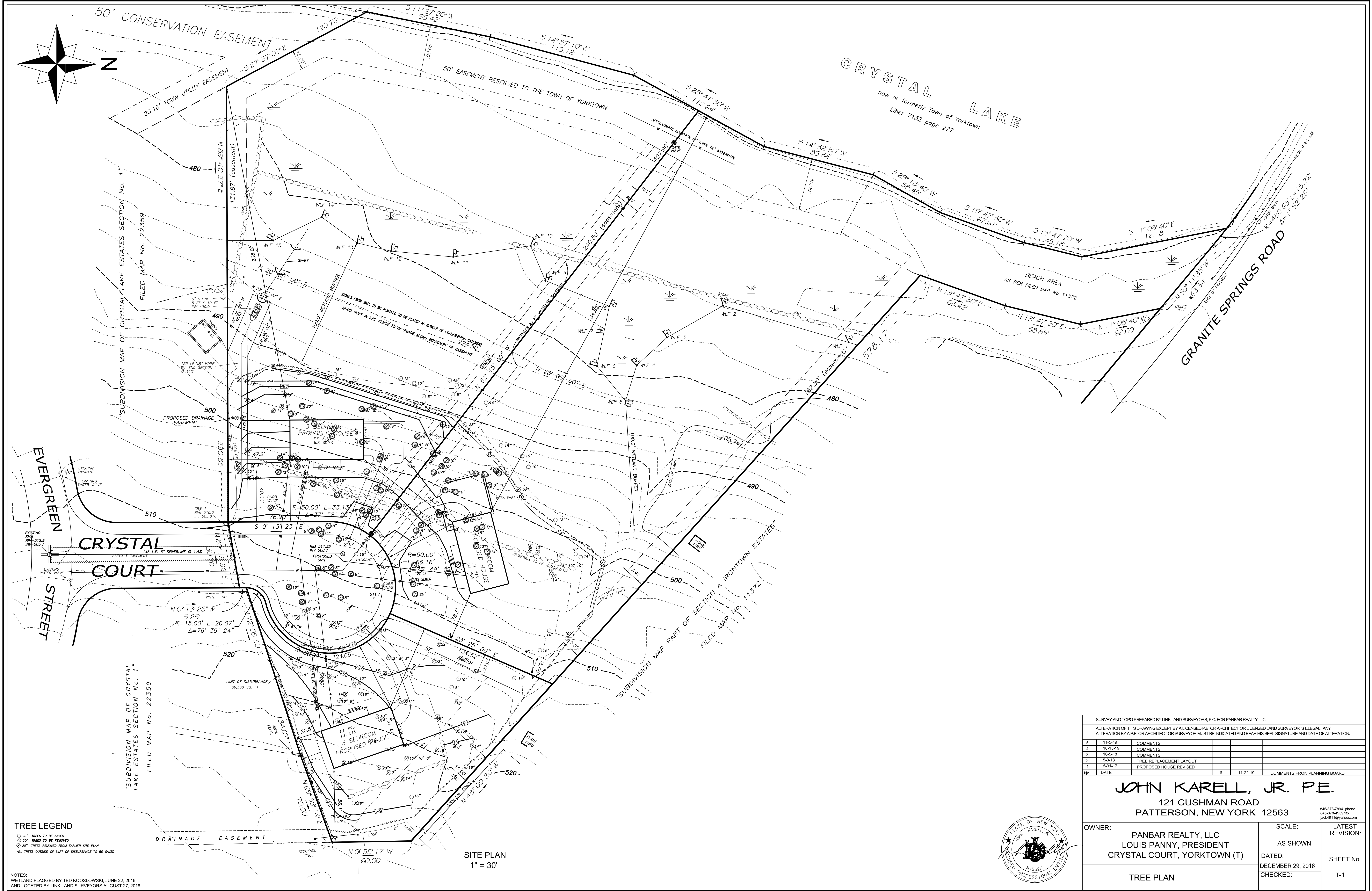
GRANITE SPRINGS ROAD

EVERGREEN STREET

CRYSTAL COURT

**TREE LEGEND**  
 ○ 20" TREES TO BE SAVED  
 ⊗ 20" TREES TO BE REMOVED  
 ⊙ 20" TREES REMOVED FROM EARLIER SITE PLAN  
 ALL TREES OUTSIDE OF LIMIT OF DISTURBANCE TO BE SAVED

NOTES:  
 WETLAND FLAGGED BY TED KOOSLOWSKI, JUNE 22, 2016  
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SITE PLAN  
1" = 30'

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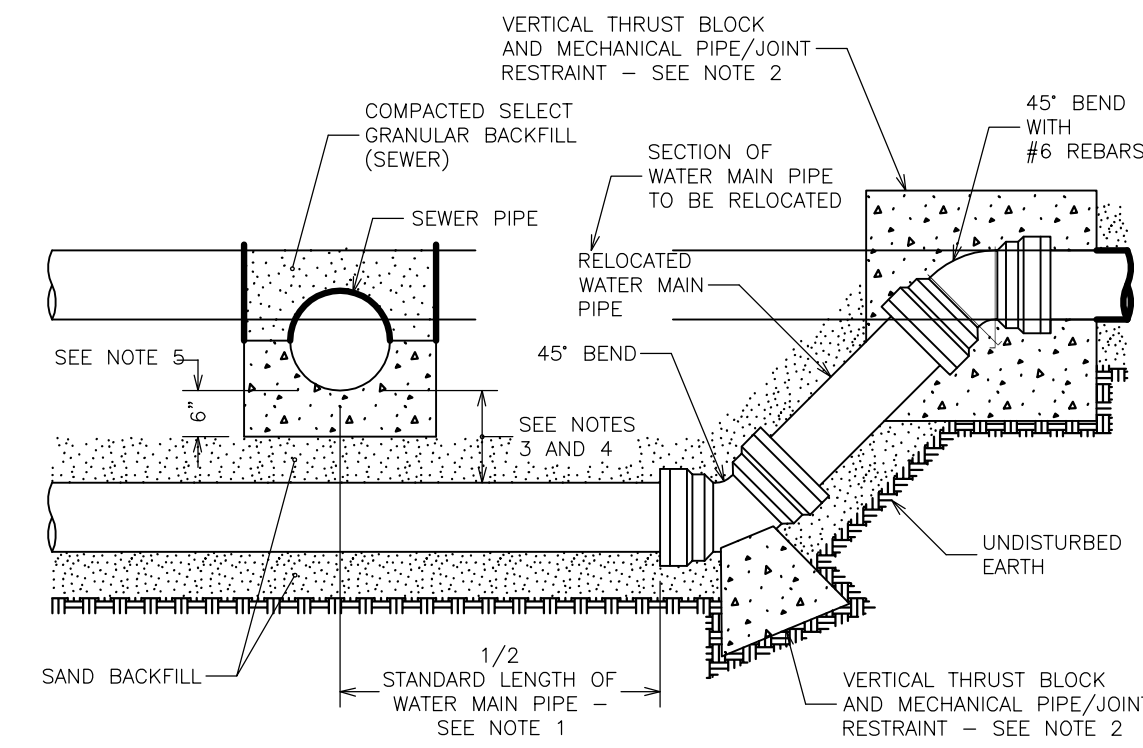
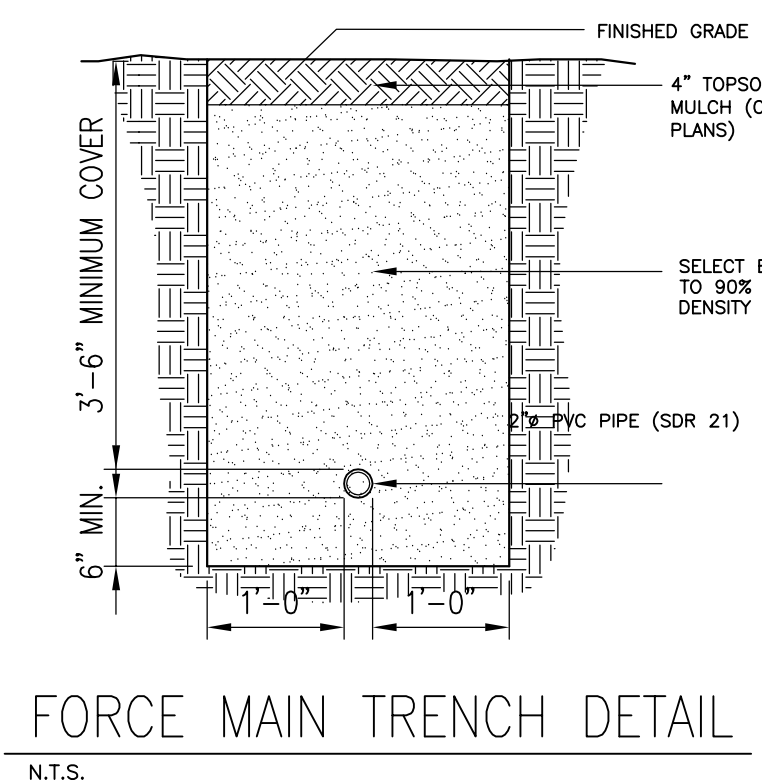
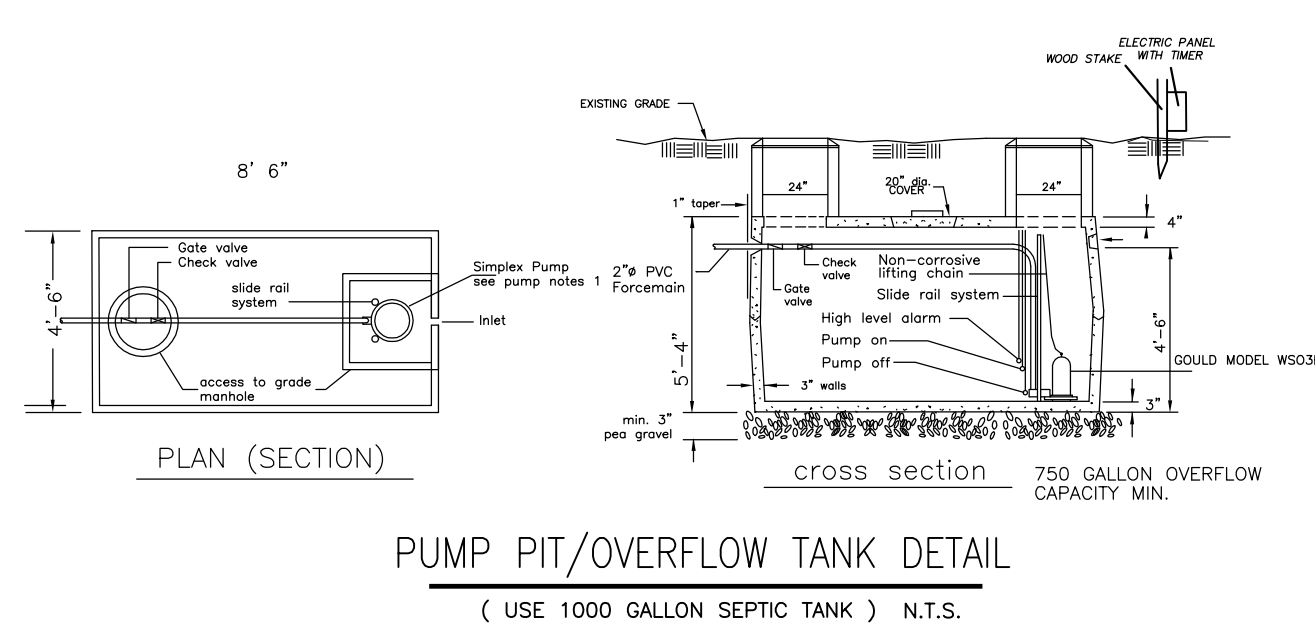
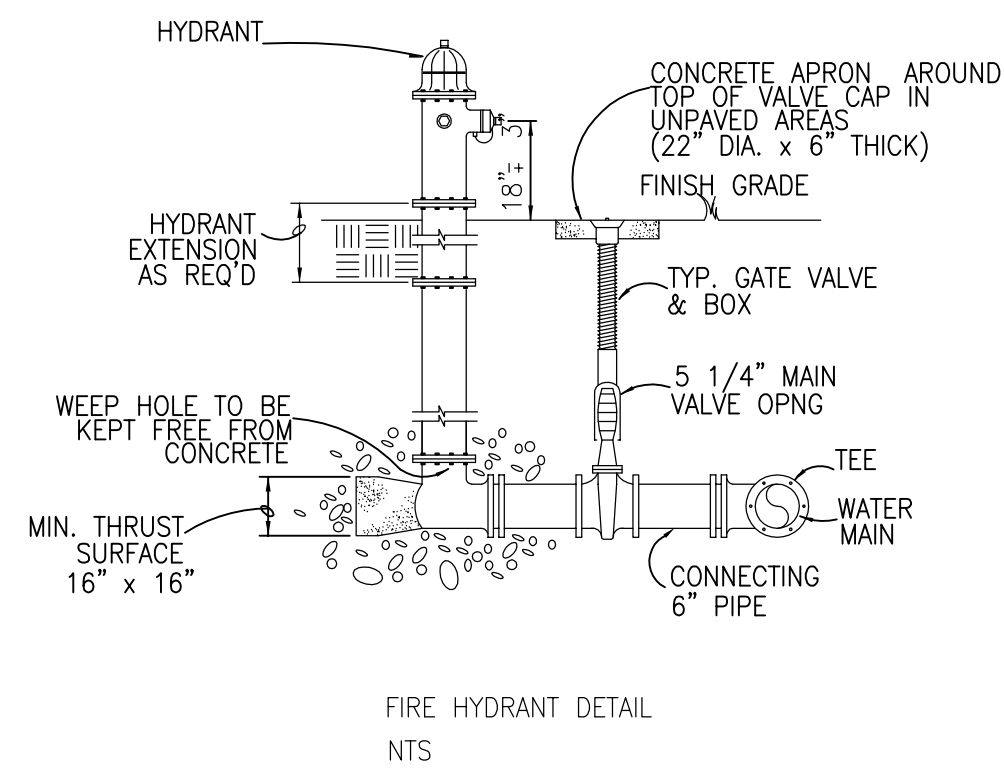
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 PATTERSON, NEW YORK 12563

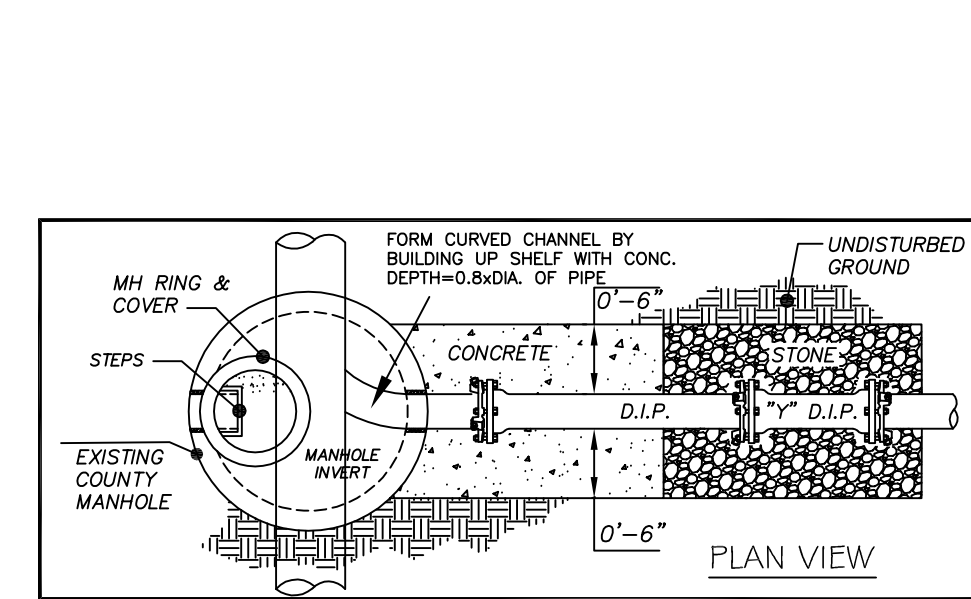
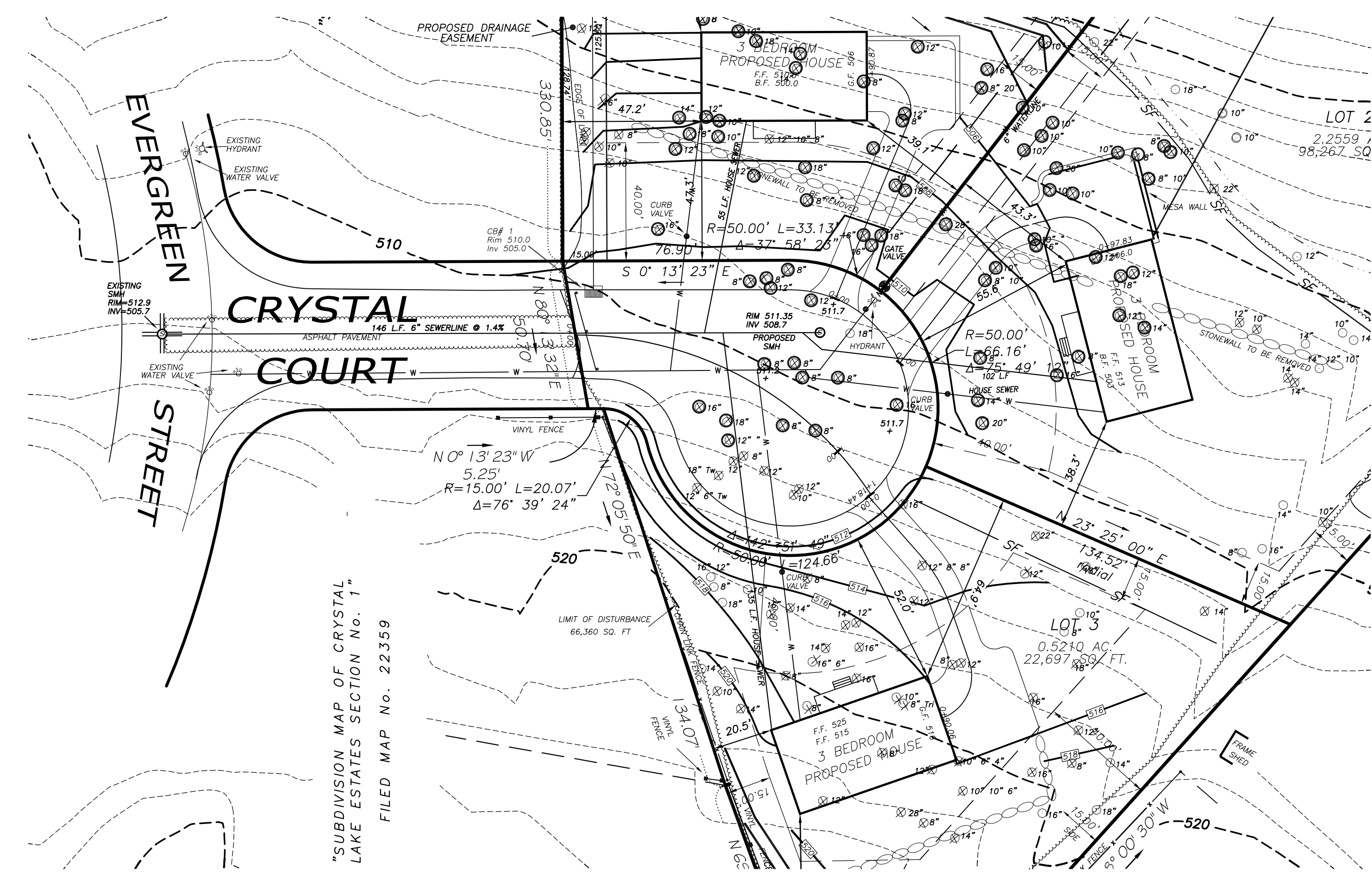
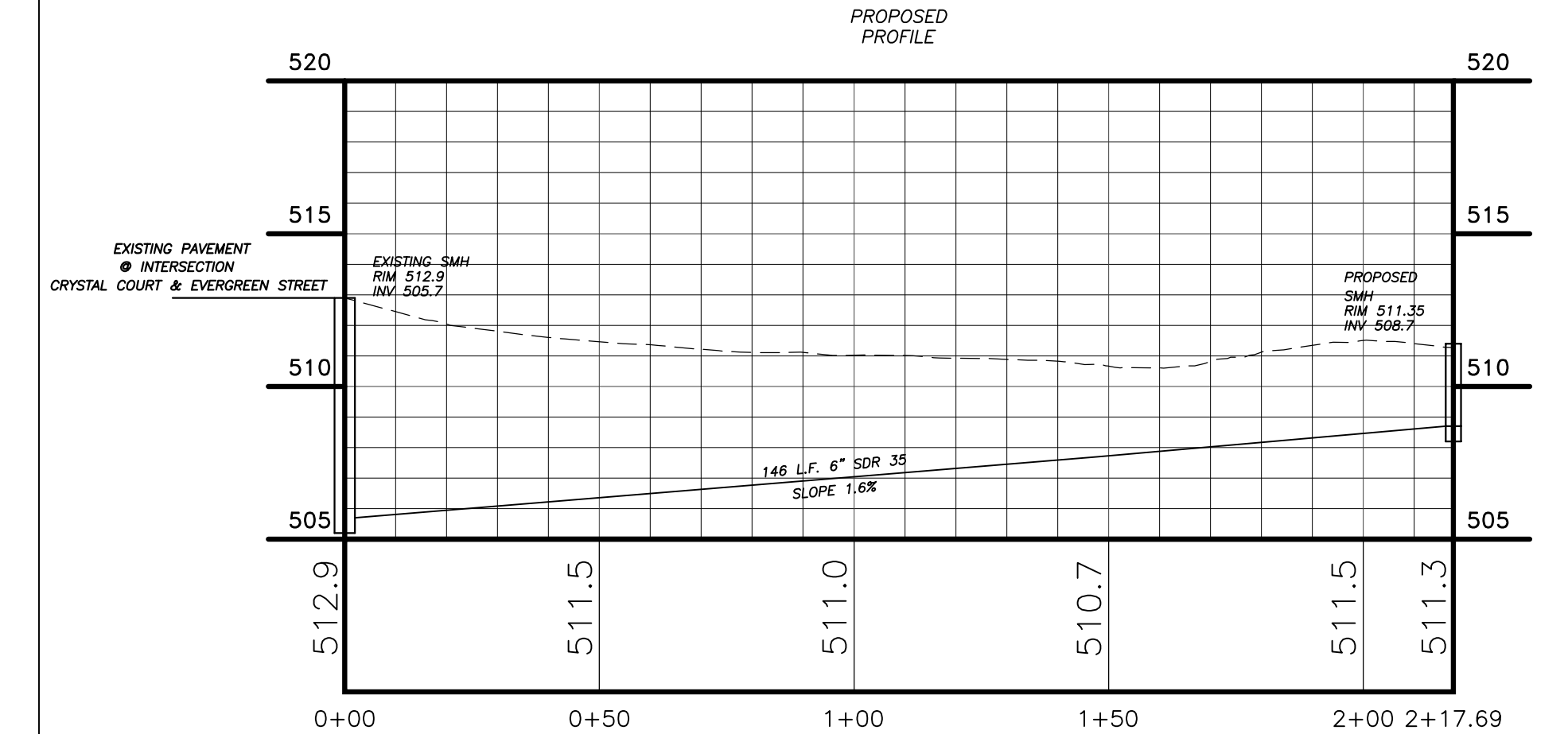
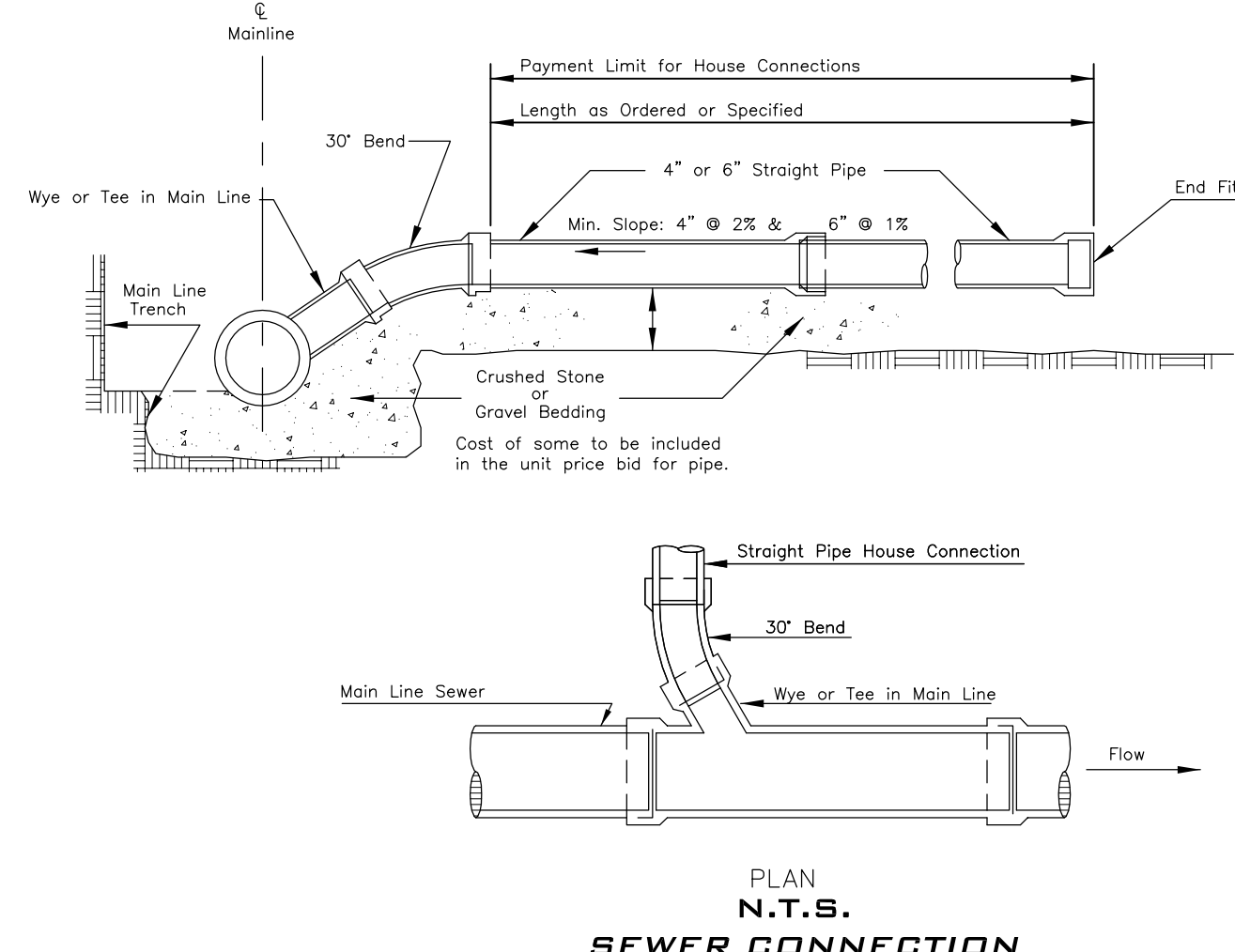
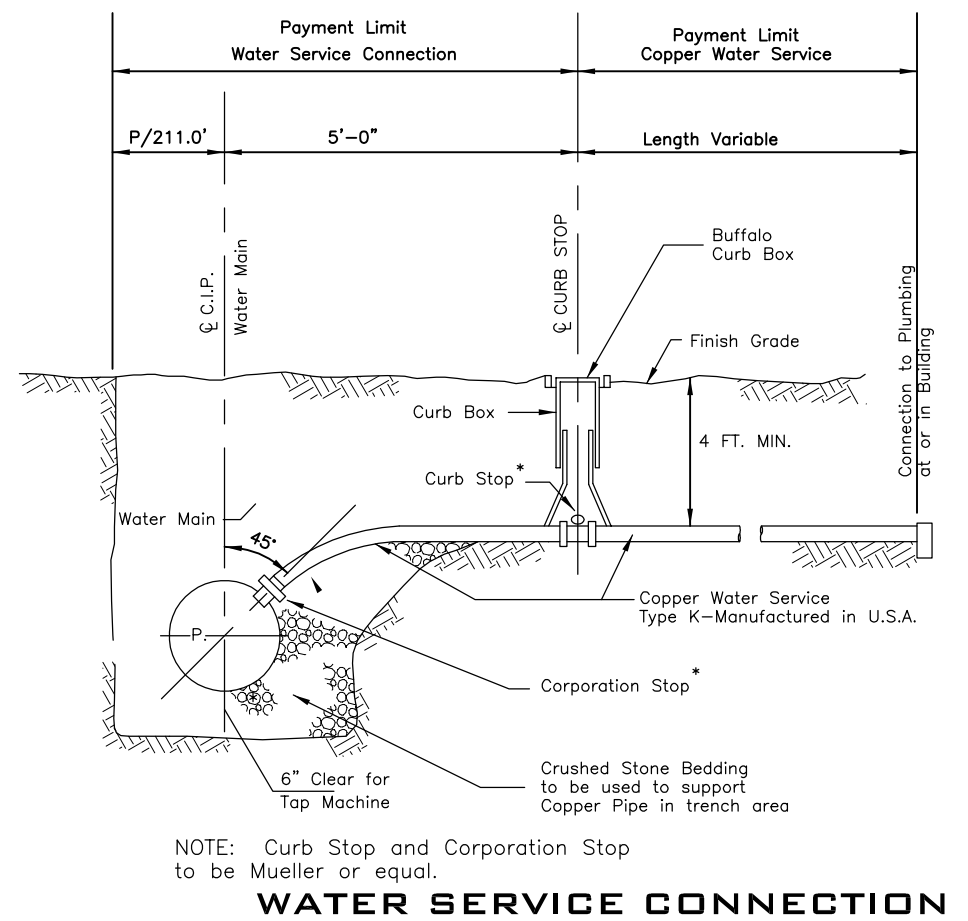
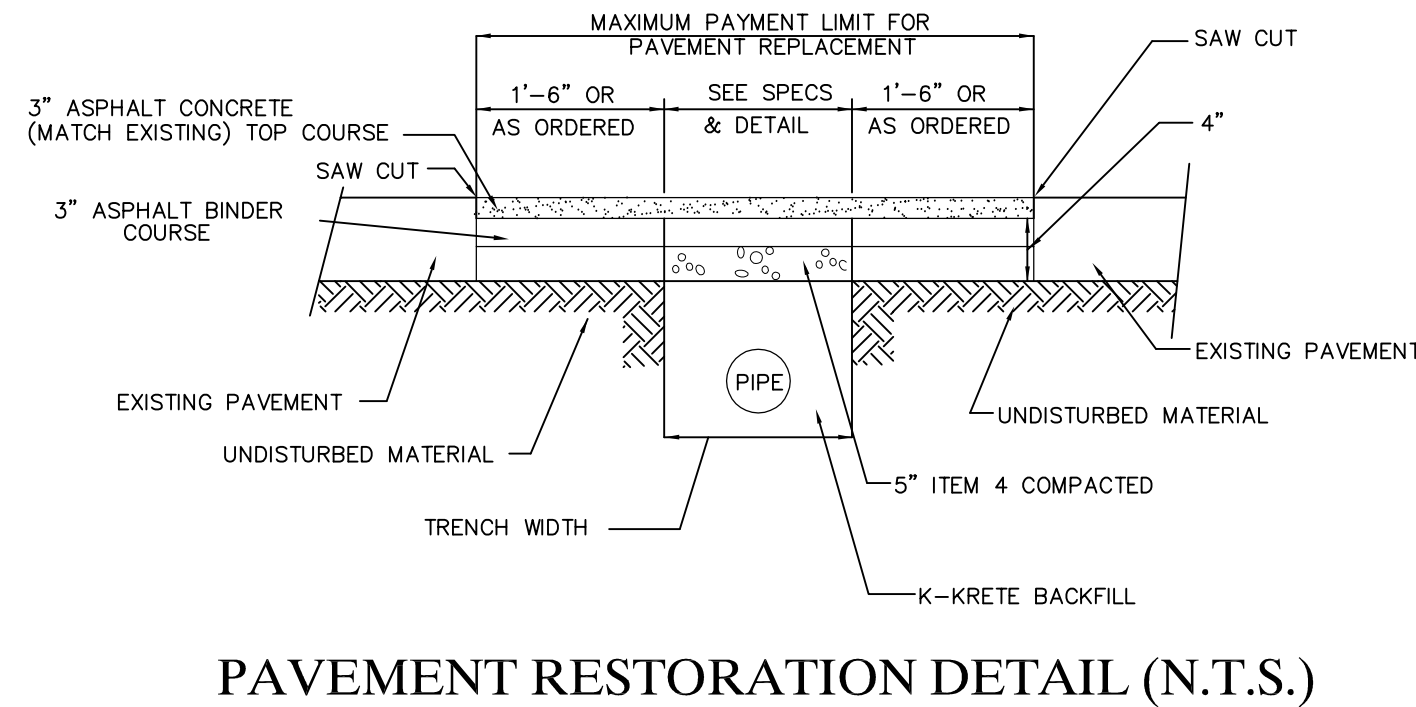
945-878-7294 phone  
 945-878-6939 fax  
 jack4911@yahoo.com

OWNER:	PANBAR REALTY, LLC LOUIS PANNY, PRESIDENT CRYSTAL COURT, YORKTOWN (T)	SCALE:	AS SHOWN	LATEST REVISION:	
		DATED:	DECEMBER 29, 2016	CHECKED:	SHEET No.
					T-1

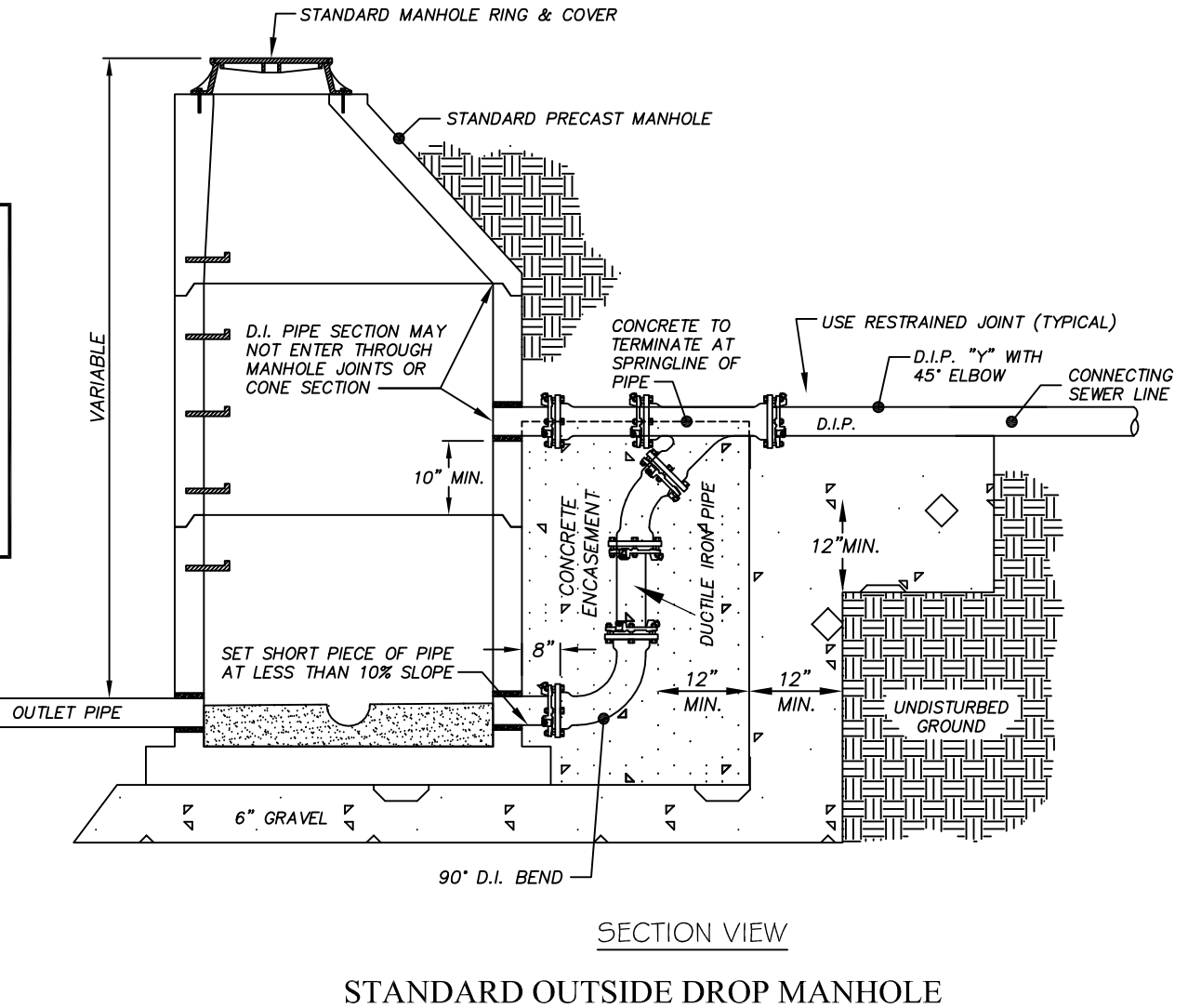




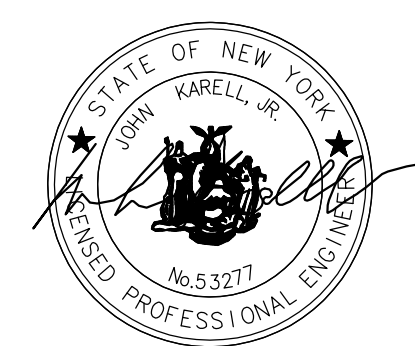
- NOTES:
- ONE STANDARD FULL LENGTH OF WATER MAIN PIPE IS TO BE CENTERED ON SEWER PIPE SO THAT BOTH JOINTS OF WATER MAIN PIPE WILL BE AS FAR FROM SEWER PIPE AS POSSIBLE.
  - THRUST BLOCKS AND PIPE/JOINT RESTRAINTS ARE TO BE PROVIDED AT ALL BENDS; SEE DETAILS S900-5, S900-7, S900-8 AND S900-10.
  - WHERE WATER MAIN PIPE PASSES UNDER SEWER PIPE THERE IS TO BE MINIMUM 18 INCHES OF VERTICAL SEPARATION BETWEEN WATER MAIN PIPE AND SEWER PIPE.
  - WHERE VERTICAL SEPARATION IS LESS THAN 18 INCHES, WATER MAIN PIPE JOINTS LOCATED WITHIN 18 FEET OF BOTH SIDES OF SEWER PIPE MUST BE ENCASED WITHIN CONTROLLED DENSITY FILL MATERIAL, OR SEWER PIPE CONSTRUCTED WITH WATER MAIN STANDARD PIPE AND TESTED TO 150 PSI.
  - WHERE WATER MAIN PIPE PASSES UNDER SEWER PIPE THERE IS TO BE MINIMUM OF 8 INCHES OF CLASS K CONCRETE OR CRUSHED STONE BEDDING MATERIAL FOR SEWER PIPE.



- NOTES:
- A COUNTY INSPECTOR MUST BE PRESENT DURING ALL WORK AT OR NEAR A COUNTY MANHOLE
  - PUMP TO REMAIN IN OPERATION FOR MIN OF 5 HOURS AFTER PLACING CONCRETE
  - CONCRETE MIX 1:2:4 USING BROKEN STONE
  - OPENINGS IN COUNTY MANHOLES SHALL NOT BE MADE UNLESS A COUNTY INSPECTOR IS PRESENT AND UNTIL PUMPING AND TRENCHING DETAILS SHOWN HEREON ARE COMPLETE.
  - LIME SHALL NOT BE USED IN MOTOR OR CONCRETE IN OR AT A COUNTY MANHOLE



- NOTES:
- SOILS - PnB - PAXTON FINE SANDY LOAM, ENTIRE LOT
  - WATERLINE LOCATED PER TOWN MARKOUT
  - WETLAND FLAGGED BY TED KOWSLOWSKI, JUNE 22, 2016 AND LOCATED BY LINK LAND SURVEYORS AUGUST 27, 2016
  - TAX LOT No. 27.11-2-43
  - 5.0743 ACRES
  - ZONE R1-20



ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL, SIGNATURE AND DATE OF ALTERATION.

No.	DATE	COMMENTS
5	11-5-19	COMMENTS
4	10-15-19	COMMENTS
3	10-5-18	COMMENTS
2	5-3-18	TREE REPLACEMENT LAYOUT
1	5-31-17	PROPOSED HOUSE REVISED
No.	DATE	COMMENTS FROM PLANNING BOARD
6	11-22-19	COMMENTS FROM PLANNING BOARD

**JOHN KARELL, JR. P.E.**  
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jck4911@panyn.com

OWNER: PANBAR REALTY, LLC  
LOUIS PANNY, PRESIDENT  
CRYSTAL COURT, YORKTOWN (T)

SCALE: AS SHOWN  
LATEST REVISION:

DATED: AUGUST 27, 2016  
CHECKED:

SHEET No. WS-1

WATER & SEWER PLAN