

# AMENDED SITE PLAN APPROVAL DRAWINGS

# PROPOSED BUILDING AND SITE RENOVATIONS

TAX MAP SECTION 37.14 | BLOCK 2 | LOT 63  
 1961 COMMERCE STREET  
 TOWN OF YORKTOWN, NEW YORK

**JMC** Site Planner, Civil Engineer,  
 Surveyor and Landscape Architect:  
 120 BEDFORD ROAD  
 ARMONK, NY 10504  
 (914) 273-5225

**Applicant/Owner:**  
 1961 COMMERCE STREET, LLC  
 2333 COLONY TRAIL  
 BEAVERCREEK, OH 45434  
 (937) 271-2084

**Architect:**  
 AXIS ARCHITECTURAL GROUP, LLC  
 16 HIGHWOOD AVENUE  
 ENGLEWOOD, NJ 07631  
 (201) 816-1818



**PERSPECTIVE RENDERING**  
 SOURCE: AXIS ARCHITECTURAL GROUP, LLC

**JMC Drawing List:**

- C-000 COVER SHEET
- C-010 EXISTING CONDITIONS MAP
- C-020 DEMOLITION PLAN
- C-100 LAYOUT AND LANDSCAPING PLAN
- C-300 GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS

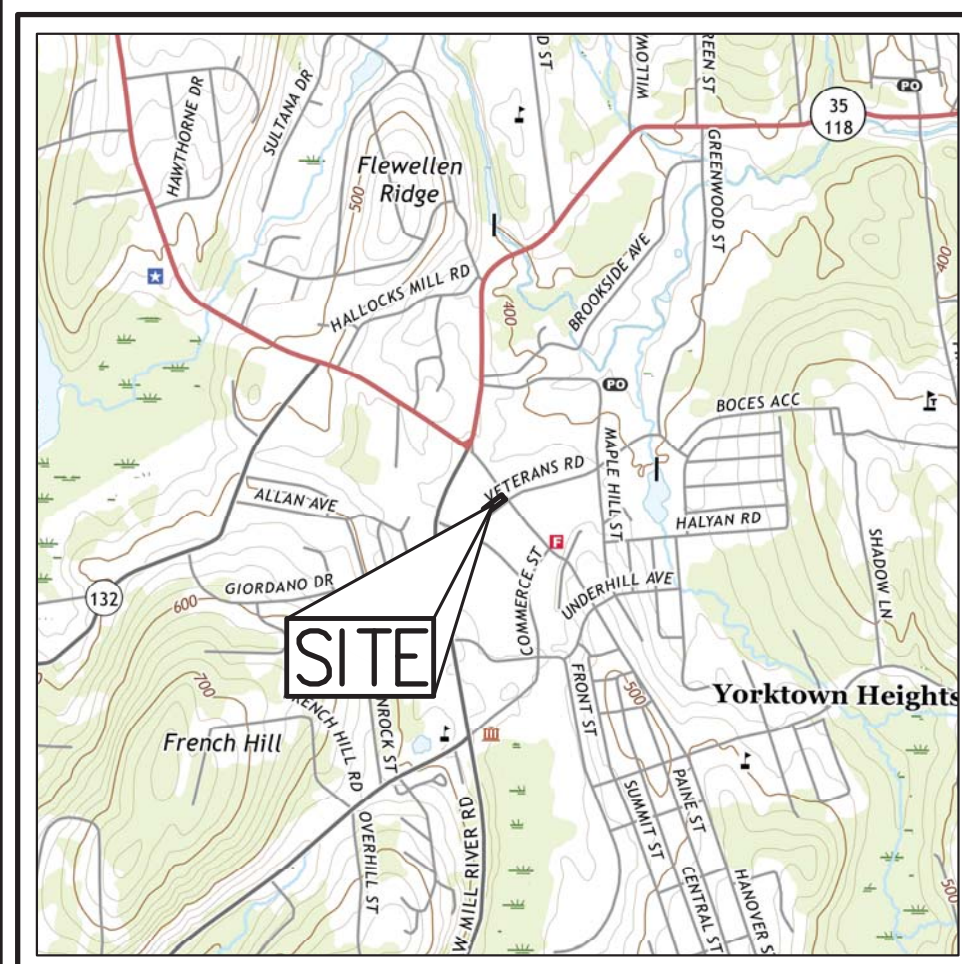
**TABLE OF LAND USE**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
SECTION 37.14, BLOCK 2, LOT 63 ZONE "C-2R" - "COMMERCIAL HAMLET CENTER" DISTRICT PROPOSED USE: RETAIL FIRE DISTRICT: YORKTOWN HEIGHTS FIRE DISTRICT WATER DISTRICT: YORKTOWN CONSOLIDATED WATER DISTRICT #1 SCHOOL DISTRICT: YORKTOWN CENTRAL SCHOOL DISTRICT SEWER DISTRICT: HALLOCKS MILL SEWER DISTRICT			
LOT AREA (ACRES)	N/A	0.34	0.34
LOT WIDTH (FEET)	25	60	60
LOT DEPTH (FEET)	N/A	249.18	249.18
BUILDING HEIGHT (FEET)	35	19.5	19.5
LOT COVERAGE BY BUILDING (PERCENT)	30	27.5	27.5
<b>YARDS</b>			
FRONT BUILDING SETBACK (FEET)	75 <sup>(9)</sup>	8.3 <sup>(9)</sup>	8.3 <sup>(9)</sup>
REAR BUILDING SETBACK (FEET)	30	0.0 <sup>(9)</sup>	0.0 <sup>(9)</sup>
SIDE BUILDING SETBACK (FEET)	N/A	N/A	N/A
<b>PARKING SUMMARY</b>			
TOTAL SPACES PROVIDED (SPACES)	17 <sup>(9)</sup>	20	17
STANDARD SPACES PROVIDED (SPACES)	16	18	16
HANDICAP SPACES PROVIDED (SPACES)	1	2	1

**NOTES:**

- PER SECTION 300 ATTACHMENT 2 OF THE TOWN OF YORKTOWN CODE, THE FRONT YARD SETBACK SHALL BE 15 FEET WITHOUT PARKING, AND 75 FEET WITH PARKING.
- EXISTING NON-COMFORMITY.
- PER SECTION 300-182(A)(3) OF THE TOWN OF YORKTOWN ZONING CODE, FOR RETAIL USES, 4 PARKING SPACES ARE REQUIRED FOR EACH 1,000 S.F. OF GROSS FLOOR AREA (1 SPACE PER 250 S.F.).

RETAIL USE: 4,118 S.F. / 250 = 16.5 OR 17 PARKING SPACES.



**VICINITY MAP**  
 SCALE: 1" = 2,000'  
 SOURCE: USGS / 2019

**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED INCLUDING ARRANGING FOR A PRIVATE MARKOUT ON-SITE WHERE APPLICABLE. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	03/11/2020	PD

*Previous Editions Obsolete*

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: RB	Approved: JAR
Scale: NOT TO SCALE	
Date: 02/14/2020	
Project No: 17205	
17205-01E COVER	COVER.scr
Drawing No: C-000	

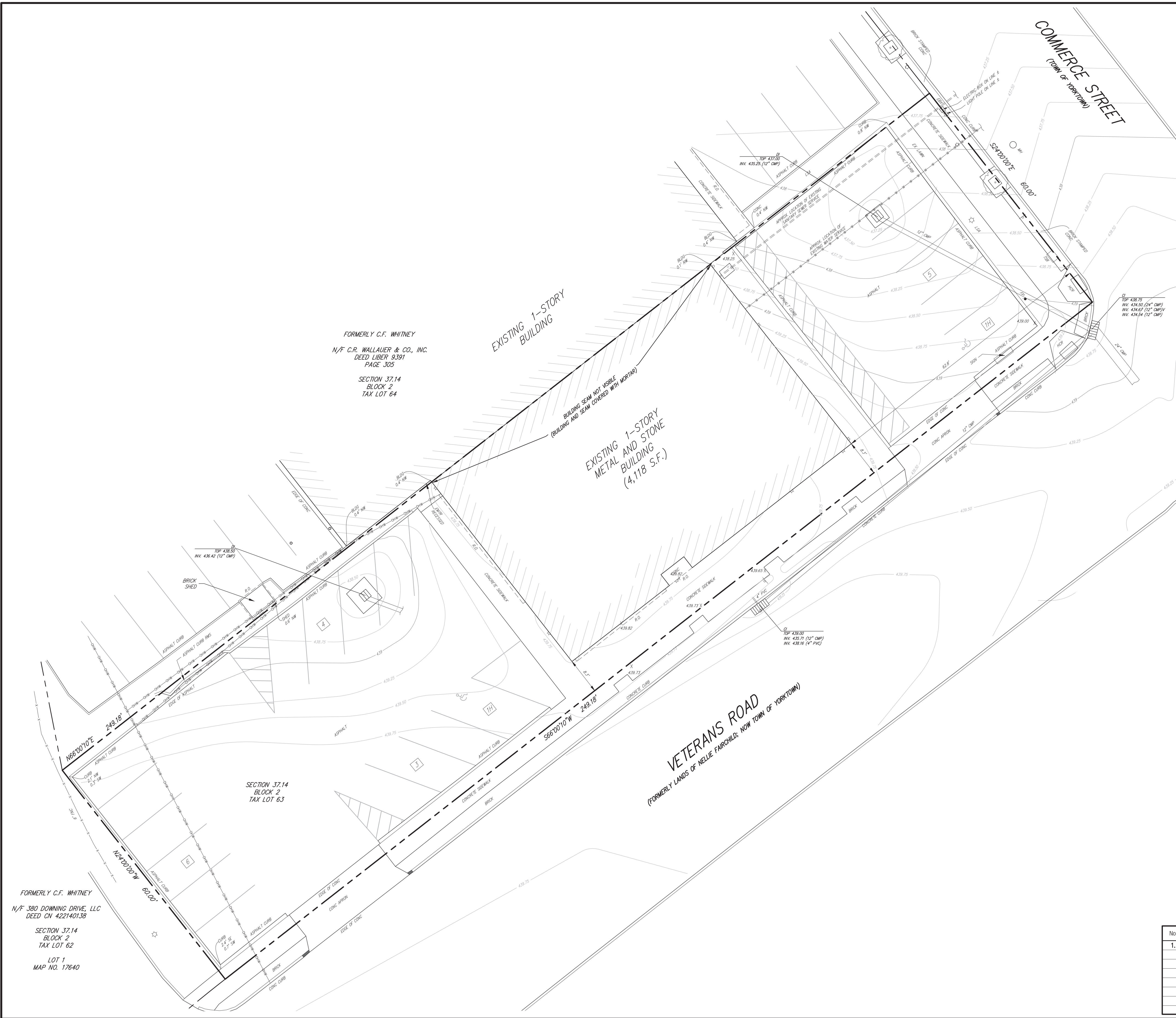
**JMC** Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD • ARMONK, NY 10504  
 voice 914.273.5225 • fax 914.273.2102  
[www.jmcpllc.com](http://www.jmcpllc.com)

NOT FOR CONSTRUCTION

COPYRIGHT © 2019 BY JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of JMC. JMC, JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC, JMC SITE DEVELOPMENT CONSULTANTS, LLC, JOHN MEYER CONSULTING, INC., JMC, JMC CONSULTANTS, INC. are trademarks or registered trademarks of JMC. All other marks are the property of their respective owners.

NOT FOR CONSTRUCTION

COPYRIGHT © 2020 BY JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC. ANY SITE DEVELOPMENT SHALL BE SUBJECT TO THE TOWN OF YORKTOWN ZONING REGULATIONS AND ANY OTHER APPLICABLE REGULATIONS.



FORMERLY C.F. WHITNEY  
N/F C.R. WALLAUER & CO., INC.  
DEED LIBER 9.391  
PAGE 305  
SECTION 37.14  
BLOCK 2  
TAX LOT 64

SECTION 37.14  
BLOCK 2  
TAX LOT 63

FORMERLY C.F. WHITNEY  
N/F 380 DOWNING DRIVE, LLC  
DEED CN 422140138  
SECTION 37.14  
BLOCK 2  
TAX LOT 62  
LOT 1  
MAP NO. 17640

**LEGEND**

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING DEPRESSED CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT GRADE
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING BRICK PAVERS
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING DRAIN INLET
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER VALVE

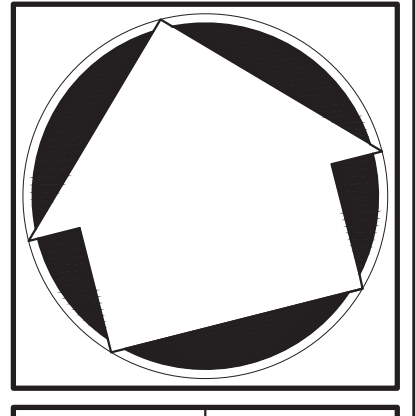
- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY", PREPARED BY JMC, DATED 02/11/2020.
  - EXISTING TOPOGRAPHY AND UTILITY INFORMATION DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A 3D SCAN PERFORMED BY JMC, ON DECEMBER 15, 2017 IN ADDITION TO FIELD MEASUREMENTS.
  - CONTOURS SHOWN ON THIS PLAN ARE IN 3" INCREMENTS.

APPLICANT/OWNER:  
**1961 COMMERCE STREET, LLC**  
2333 COLONY TRAIL  
BEAVERCREEK, OH 45434

ARCHITECT:  
**AXIS ARCHITECTURAL GROUP, LLC**  
16 HIGHWOOD AVENUE  
ENGLEWOOD, NJ 07631

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.

120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
[www.jmcpllc.com](http://www.jmcpllc.com)



**EXISTING MAP CONDITIONS**  
**PROPOSED BUILDING AND SITE RENOVATIONS**  
1961 COMMERCE STREET  
TOWN OF YORKTOWN, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

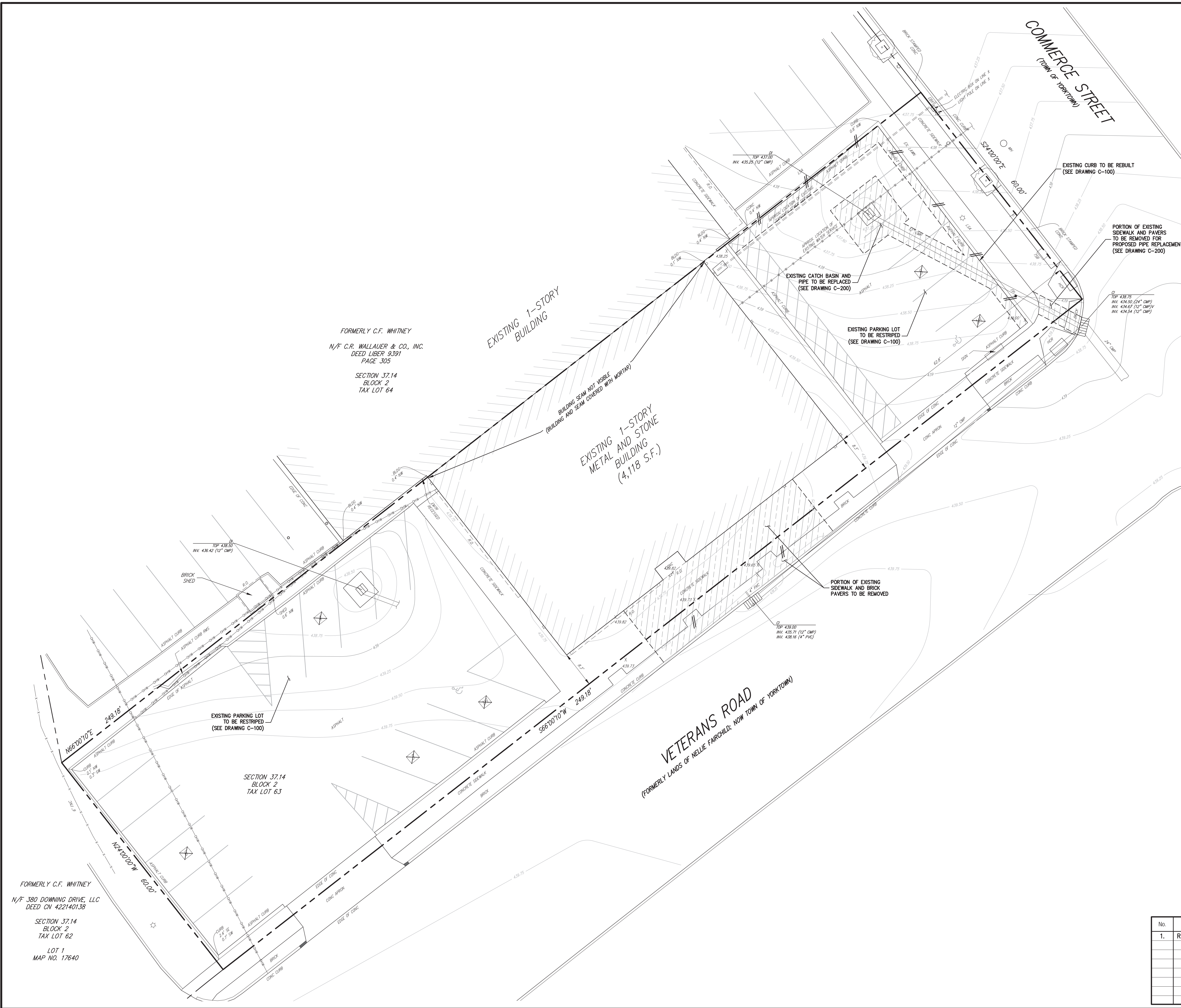
No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	03/11/2020	PD

Drawn: RB	Approved: JAR
Scale: 1" = 10'	Date: 02/14/2020
Project No: 17205	
1726-SITE	EXIST
EXIST	EXIST
Drawing No: <b>C-010</b>	

Previous Editions Obsolete

NOT FOR CONSTRUCTION

COPYRIGHT © 2020 BY JMC. All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC. ANY SITE DEVELOPMENT OR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF YORKTOWN ZONING ORDINANCES AND ANY OTHER APPLICABLE REGULATIONS.



FORMERLY C.F. WHITNEY  
N/F C.R. WALLAUER & CO., INC.  
DEED LIBER 9.391  
PAGE 305  
SECTION 37.14  
BLOCK 2  
TAX LOT 64

SECTION 37.14  
BLOCK 2  
TAX LOT 63

FORMERLY C.F. WHITNEY  
N/F 380 DOWNING DRIVE, LLC  
DEED CN 422140138  
SECTION 37.14  
BLOCK 2  
TAX LOT 62  
LOT 1  
MAP NO. 17640

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING DEPRESSED CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT GRADE
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING BRICK PAVERS
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING DRAIN INLET
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER VALVE
	EXISTING FEATURE TO BE REMOVED
	EXISTING PAVEMENT / SIDEWALK / PAVERS TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY", PREPARED BY JMC, DATED 02/11/2020.
  - EXISTING TOPOGRAPHY AND UTILITY INFORMATION DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A 3D SCAN PERFORMED BY JMC, ON DECEMBER 15, 2017 IN ADDITION TO FIELD MEASUREMENTS.
  - CONTOURS SHOWN ON THIS PLAN ARE IN 3" INCREMENTS.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
  - PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF YORKTOWN AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE TOWN OF YORKTOWN BUILDING DEPARTMENT.
  - ALL DEMOLITION AND/OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, INCLUDING STREETS AND SIDEWALKS, SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF YORKTOWN.
  - PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH JMC DRAWING C-200, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF YORKTOWN OR JMC.
  - EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
  - ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
  - THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE, INFORMATION AND COORDINATION. ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

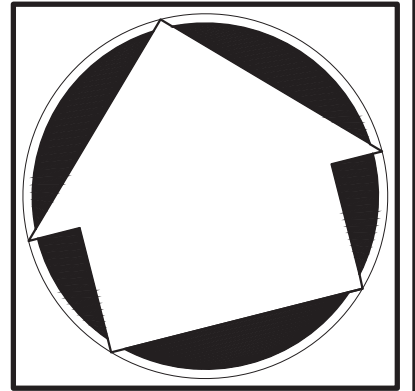
No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	03/11/2020	PD

Previous Editions Obsolete

APPLICANT/OWNER:  
**1961 COMMERCE STREET, LLC**  
2333 COLONY TRAIL  
BEAVERCREEK, OH 45434

ARCHITECT:  
**AXIS ARCHITECTURAL GROUP, LLC**  
16 HIGHWOOD AVENUE  
ENGLEWOOD, NJ 07631

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
[www.jmcpllc.com](http://www.jmcpllc.com)

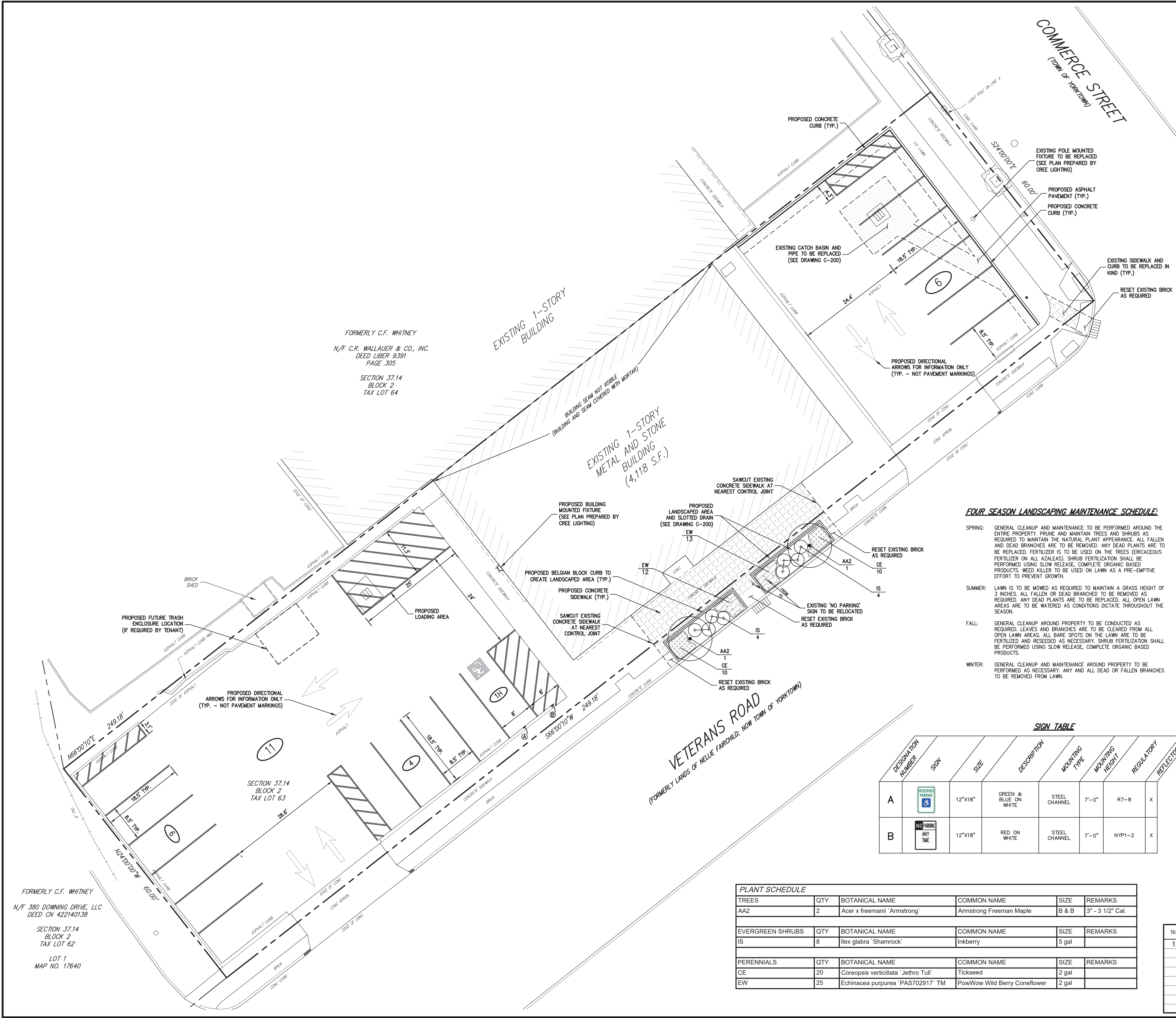


**DEMOLITION PLAN**  
**PROPOSED BUILDING AND SITE RENOVATIONS**  
1961 COMMERCE STREET  
TOWN OF YORKTOWN, NEW YORK

Drawn: RB	Approved: JAR
Scale: 1" = 10'	Date: 02/14/2020
Project No: 17205	
17205-SITE	DEMOLITION DEMO.scr
Drawing No:	
<b>C-020</b>	

NOT FOR CONSTRUCTION

COPYRIGHT © 2020 BY JMC. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without prior written permission from JMC. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF JMC IS STRICTLY PROHIBITED. JMC, JMC PLANNING, ENGINEERING, ARCHITECTURE & LAND SURVEYING, PLLC, JMC SITE DEVELOPMENT CONSULTANTS, LLC, JMC CONSTRUCTION CONSULTANTS, LLC. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF JMC IS STRICTLY PROHIBITED.



FORMERLY C.F. WHITNEY  
N/F C.R. WALLAUER & CO., INC.  
DEED LIBER 9391  
PAGE 305  
SECTION 37.14  
BLOCK 2  
TAX LOT 64

FORMERLY C.F. WHITNEY  
N/F 380 DOWNING DRIVE, LLC  
DEED CN 422140138  
SECTION 37.14  
BLOCK 2  
TAX LOT 62  
LOT 1  
MAP NO. 17640

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING DEPRESSED CURB LINE
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING BRICK PAVERS
	PROPOSED SLOTTED DRAIN
	PROPOSED CONCRETE CURB
	PROPOSED SAWCUT LINE
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ASPHALT PAVEMENT
	TRAFFIC SIGN LOCATION & DESIGNATION

**NOTES:**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY", PREPARED BY JMC, DATED 02/11/2020.

**LANDSCAPING NOTES:**

- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN HORTICULTURE SOCIETY (ANSI Z60.1)", LATEST EDITION.
- ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
- ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDDED HARDWOOD, ROOT MULCH SHREDDED CEDAR, OR BARK CHIPS, AS APPROVED BY THE OWNERS FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
- PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANT(S) AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
- ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECTS EGGS; AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
- ALL LAWN AREAS (SOIL OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOIL OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
- ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTORS WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
- CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.

**FOUR SEASON LANDSCAPING MAINTENANCE SCHEDULE:**

**SPRING:** GENERAL CLEANUP AND MAINTENANCE TO BE PERFORMED AROUND THE ENTIRE PROPERTY. PRUNE AND MAINTAIN TREES AND SHRUBS AS REQUIRED TO MAINTAIN THE NATURAL PLANT APPEARANCE. ALL FALLEN AND DEAD BRANCHES ARE TO BE REMOVED. ANY DEAD PLANTS ARE TO BE REPLACED. FERTILIZER IS TO BE USED ON THE TREES (ERICACEOUS FERTILIZER ON ALL AZALEAS). SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS. WEED KILLER TO BE USED ON LAWN AS A PRE-EMPTIVE EFFORT TO PREVENT GROWTH.

**SUMMER:** LAWN IS TO BE MOWED AS REQUIRED TO MAINTAIN A GRASS HEIGHT OF 3 INCHES. ALL FALLEN OR DEAD BRANCHED TO BE REMOVED AS REQUIRED. ANY DEAD PLANTS ARE TO BE REPLACED. ALL OPEN LAWN AREAS ARE TO BE WATERED AS CONDITIONS DICTATE THROUGHOUT THE SEASON.

**FALL:** GENERAL CLEANUP AROUND PROPERTY TO BE CONDUCTED AS REQUIRED. LEAVES AND BRANCHES ARE TO BE CLEARED FROM ALL OPEN LAWN AREAS. ALL BARE SPOTS ON THE LAWN ARE TO BE FERTILIZED AND RESEED AS NECESSARY. SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS.

**WINTER:** GENERAL CLEANUP AND MAINTENANCE AROUND PROPERTY TO BE PERFORMED AS NECESSARY. ANY AND ALL DEAD OR FALLEN BRANCHES TO BE REMOVED FROM LAWN.

**SIGN TABLE**

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY REFLECTORIZED
A		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-B X
B		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2 X

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AA2	2	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	B & B	3" - 3 1/2" Cal.
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
IS	8	Ilex glabra 'Shamrock'	Inkberry	5 gal	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CE	20	Coreopsis verticillata 'Jethro Tull'	Tickseed	2 gal	
EW	25	Echinacea purpurea 'PAS702917' TM	PowWow Wild Berry Coneflower	2 gal	

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	03/11/2020	PD

APPLICANT/OWNER:  
**1961 COMMERCE STREET, LLC**  
2333 COLONY TRAIL  
BEAVERCREEK, OH 45434

ARCHITECT:  
**AXIS ARCHITECTURAL GROUP, LLC**  
16 HIGHWOOD AVENUE  
ENGLEWOOD, NJ 07631

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10504  
voice 914.273.5225 - fax 914.273.2102  
www.jmcplic.com

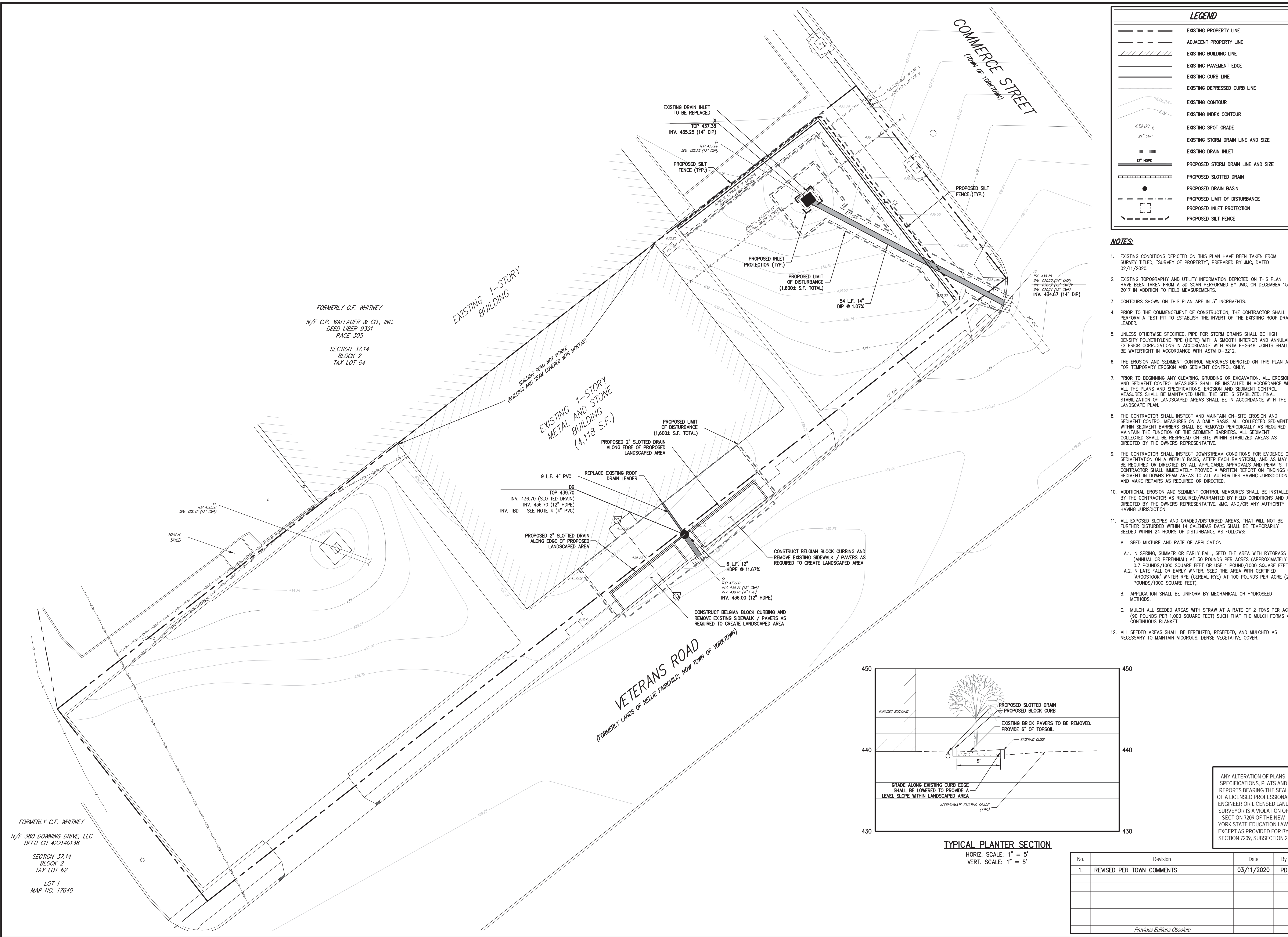


**LAYOUT AND LANDSCAPING PLAN**  
**PROPOSED BUILDING AND SITE RENOVATIONS**  
1961 COMMERCE STREET  
TOWN OF YORKTOWN, NEW YORK

Drawn: RAR Approved: JAR  
Scale: 1" = 10'  
Date: 02/14/2020  
Project No: 17205  
1725-0E LAY & LAND LAYLAND.ssr  
Drawing No: **C-100**  
Previous Editions Obsolete

NOT FOR CONSTRUCTION

COPYRIGHT © 2020 BY JMC. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC. ANY SITE DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE TOWN OF YORKTOWN ZONING REGULATIONS AND ANY APPLICABLE PERMITS AND REGULATIONS.

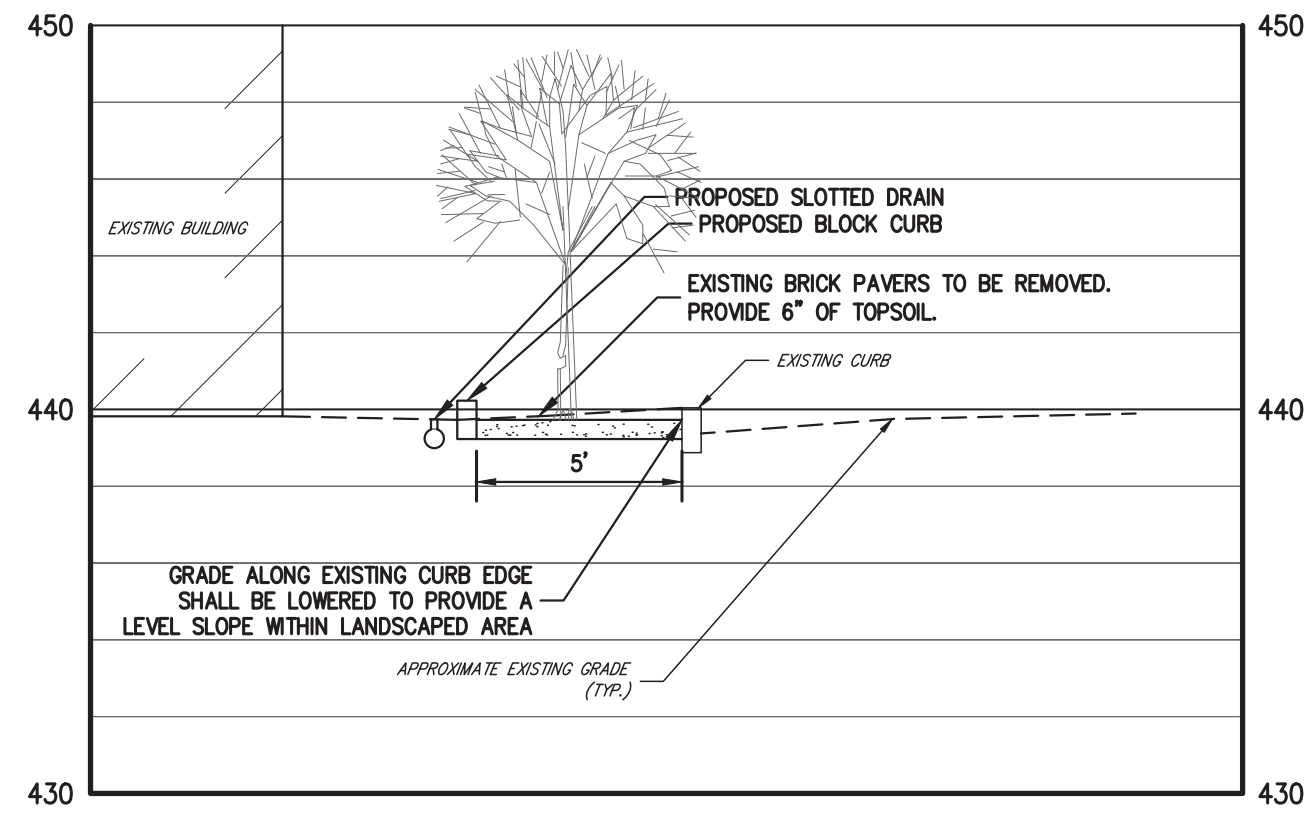


FORMERLY C.F. WHITNEY  
N/F C.R. WALLAUER & CO., INC.  
DEED LIBER 9.391  
PAGE 305  
SECTION 37.14  
BLOCK 2  
TAX LOT 64

FORMERLY C.F. WHITNEY  
N/F 380 DOWNING DRIVE, LLC  
DEED CN 422140138  
SECTION 37.14  
BLOCK 2  
TAX LOT 62  
LOT 1  
MAP NO. 17640

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING DEPRESSED CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT GRADE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING DRAIN INLET
	PROPOSED STORM DRAIN LINE AND SIZE
	PROPOSED SLOTTED DRAIN
	PROPOSED DRAIN BASIN
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY", PREPARED BY JMC, DATED 02/11/2020.
  - EXISTING TOPOGRAPHY AND UTILITY INFORMATION DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A 30 SCAN PERFORMED BY JMC, ON DECEMBER 15, 2017 IN ADDITION TO FIELD MEASUREMENTS.
  - CONTOURS SHOWN ON THIS PLAN ARE IN 3" INCREMENTS.
  - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A TEST PIT TO ESTABLISH THE INVERT OF THE EXISTING ROOF DRAIN LEADER.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2668. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH ASTM D-3212.
  - THE EROSION AND SEDIMENT CONTROL MEASURES DEPICTED ON THIS PLAN ARE FOR TEMPORARY EROSION AND SEDIMENT CONTROL ONLY.
  - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
  - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE RESEED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
  - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINSTORM, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON FINDINGS OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNERS REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
    - SEED MIXTURE AND RATE OF APPLICATION:
      - IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET OR USE 1 POUND/1000 SQUARE FEET).
      - IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "ARROSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
    - APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
    - MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
  - ALL SEEDED AREAS SHALL BE FERTILIZED, RESEED, AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.



**TYPICAL PLANTER SECTION**  
HORIZ. SCALE: 1" = 5'  
VERT. SCALE: 1" = 5'

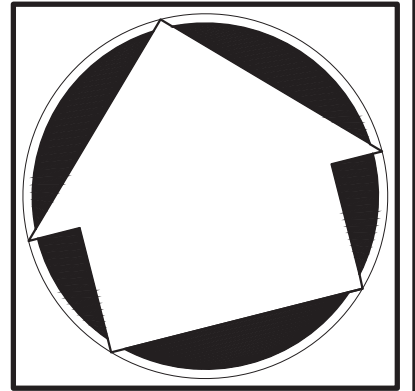
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	03/11/2020	PD

APPLICANT/OWNER:  
**1961 COMMERCE STREET, LLC**  
2333 COLONY TRAIL  
BEAVERCREEK, OH 45434

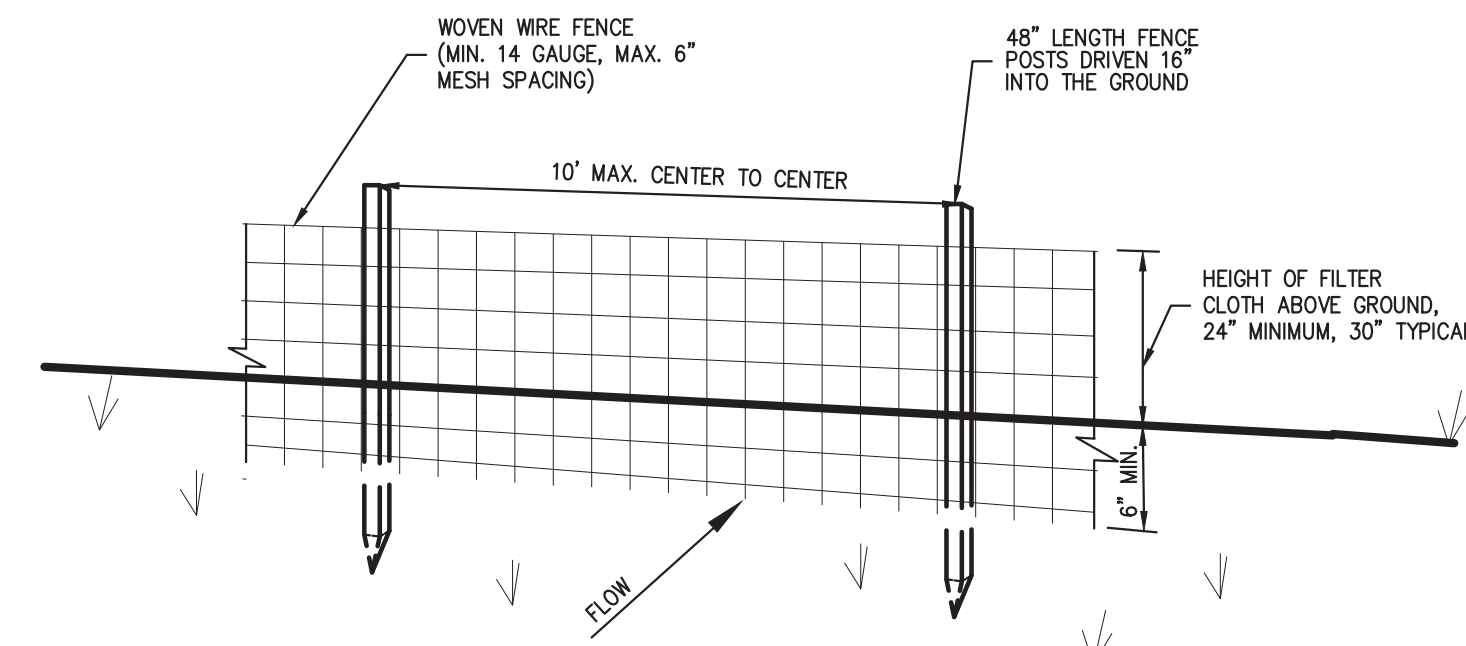
ARCHITECT:  
**AXIS ARCHITECTURAL GROUP, LLC**  
16 HIGHWOOD AVENUE  
ENGLEWOOD, NJ 07631

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
www.jmcpllc.com

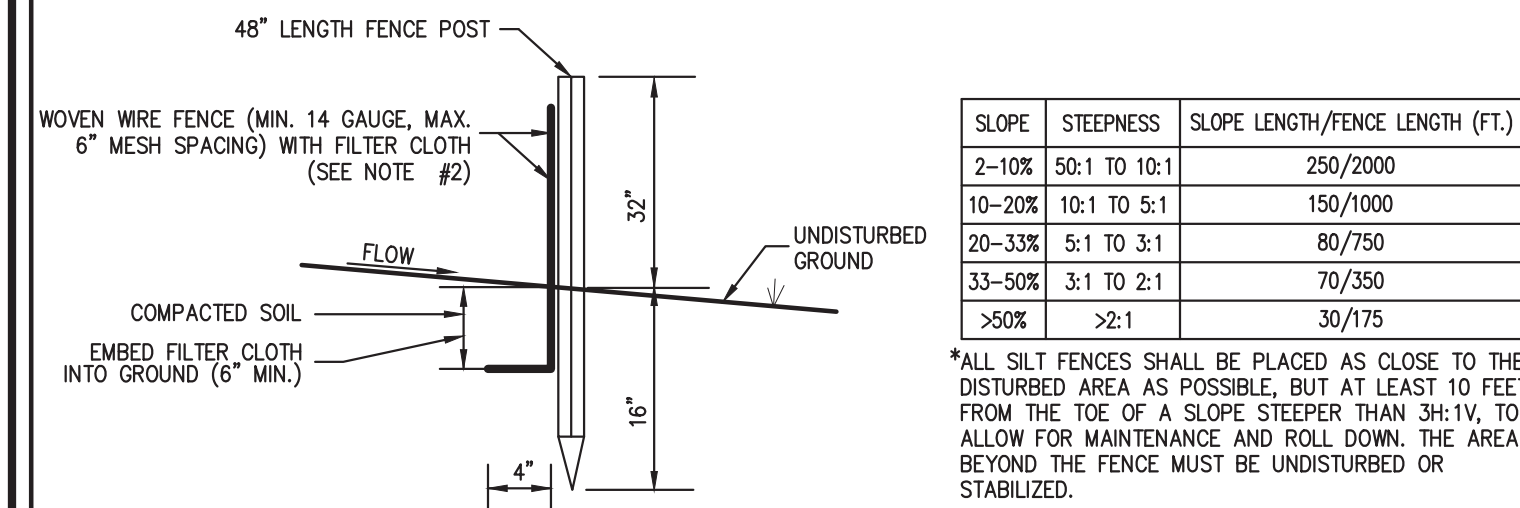


**GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN**  
**PROPOSED BUILDING AND SITE RENOVATIONS**  
1961 COMMERCE STREET  
TOWN OF YORKTOWN, NEW YORK

Drawn: RB Approved: JAR  
Scale: 1" = 10'  
Date: 02/14/2020  
Project No: 17205  
17205-SIT G-U-SE G-U-SE.sxd  
Drawing No: **C-300**  
Previous Editions Obsolete



PERSPECTIVE VIEW



SECTION

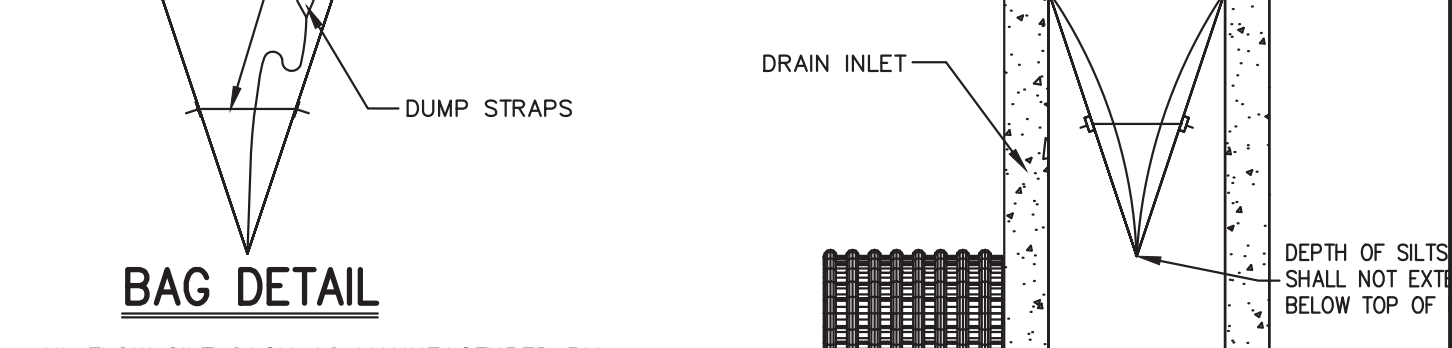
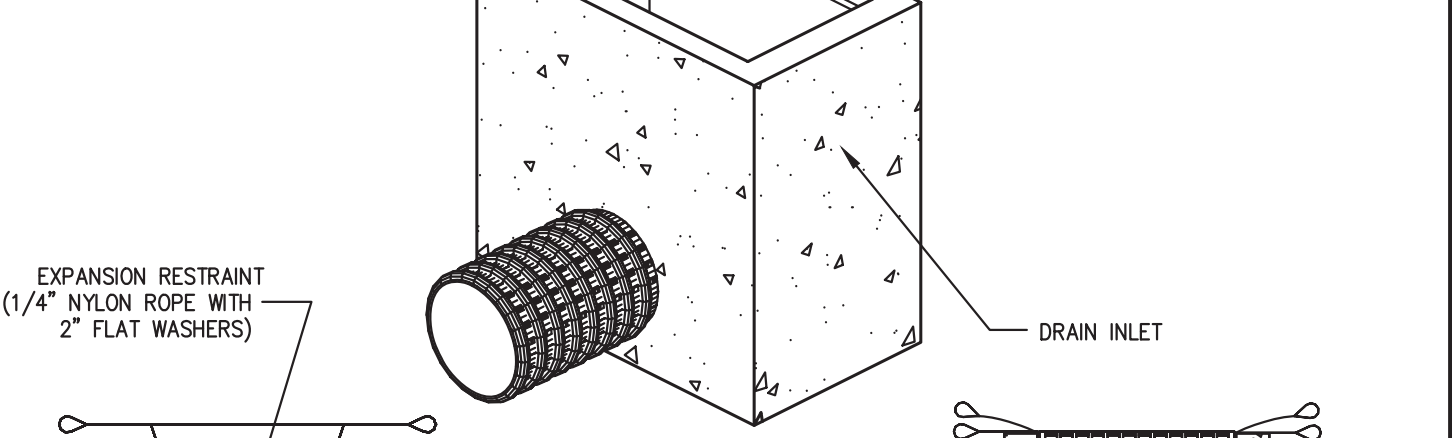
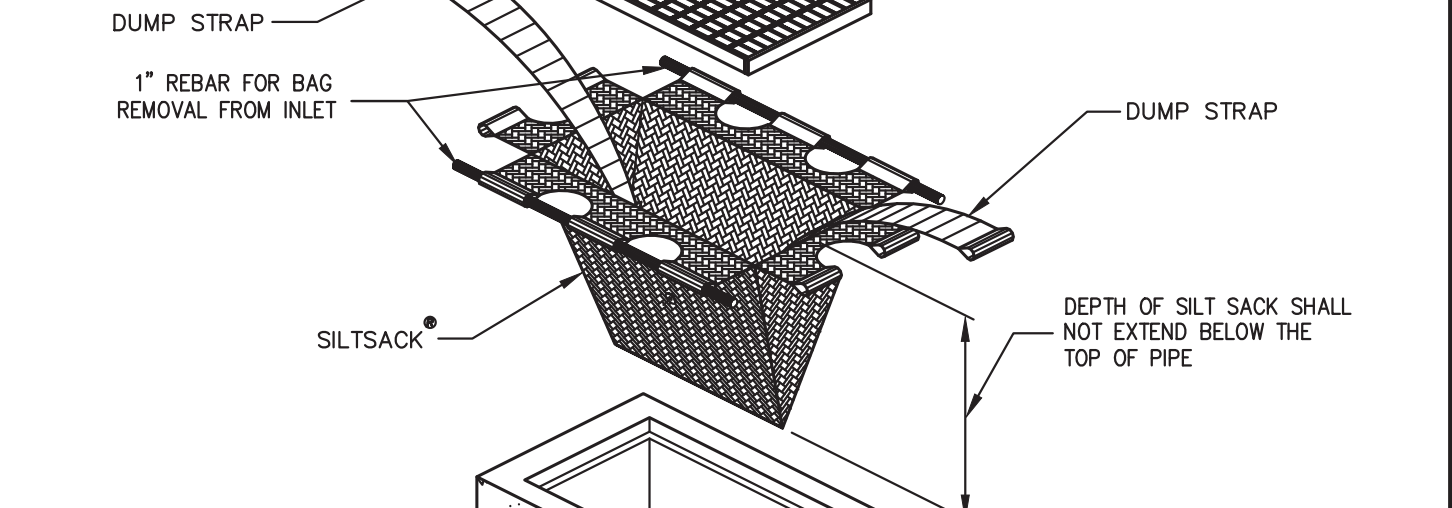
SLOPE	STEEPNESS	SLOPE LENGTH/FENCE LENGTH (FT.)
2-10%	50:1 TO 10:1	250/2000
10-20%	10:1 TO 5:1	150/1000
20-33%	5:1 TO 3:1	80/750
33-50%	3:1 TO 2:1	70/350
>50%	>2:1	30/175

\*ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE, BUT AT LEAST 10 FEET FROM THE TOE OF A SLOPE STEEPER THAN 3H:1V. TO ALLOW FOR MAINTENANCE AND ROLL DOWN, THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.

- NOTES:
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFL 100X, STABILUNKA T140N, OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUAL.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

1



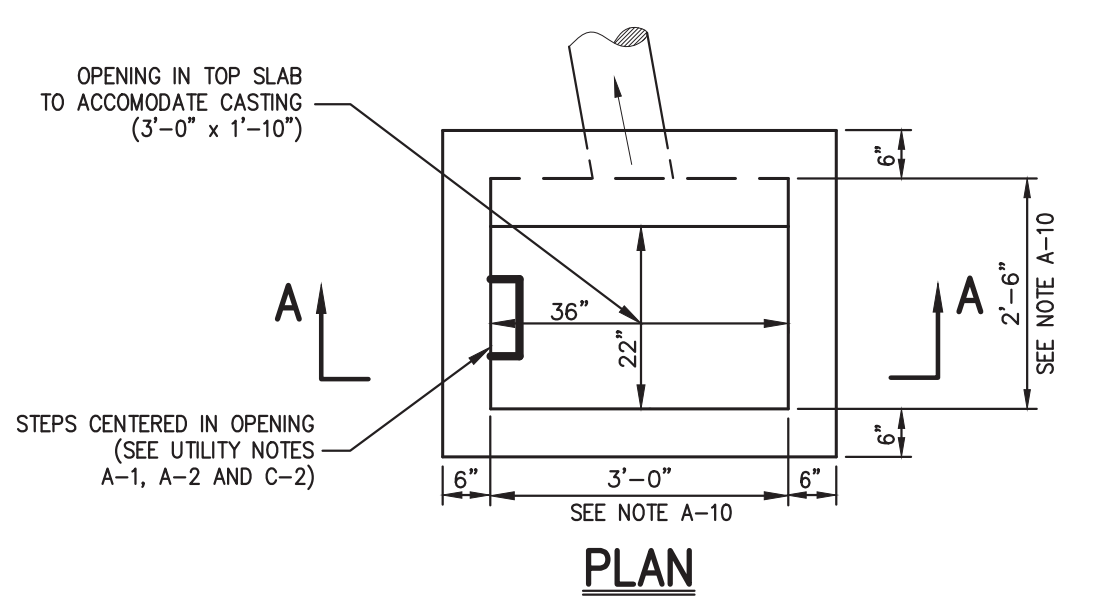
HI-FLOW SILT SACK AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
FUNCTURE	ASTM D-4833	135 LBS
MILLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4325	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4481	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4481	1.5 SEC -1

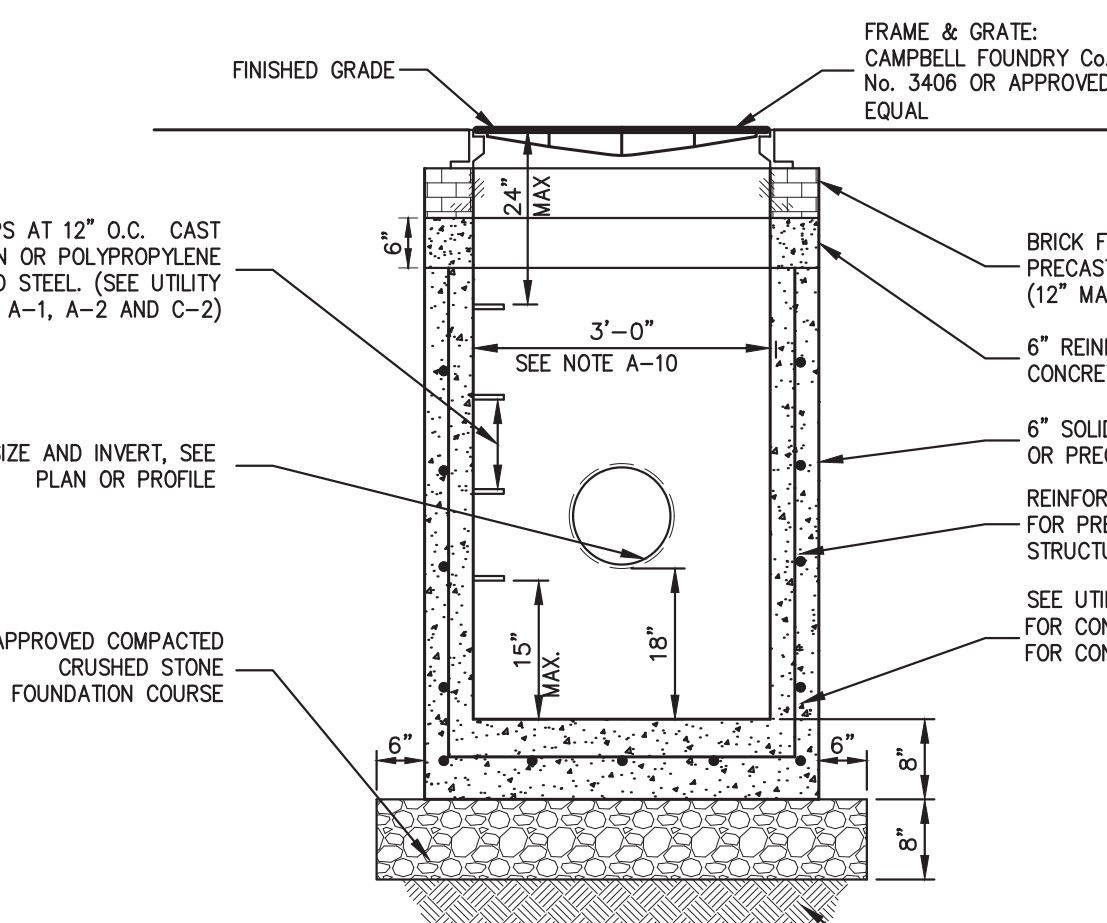
NOTE: CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

INLET PROTECTION

2



PLAN

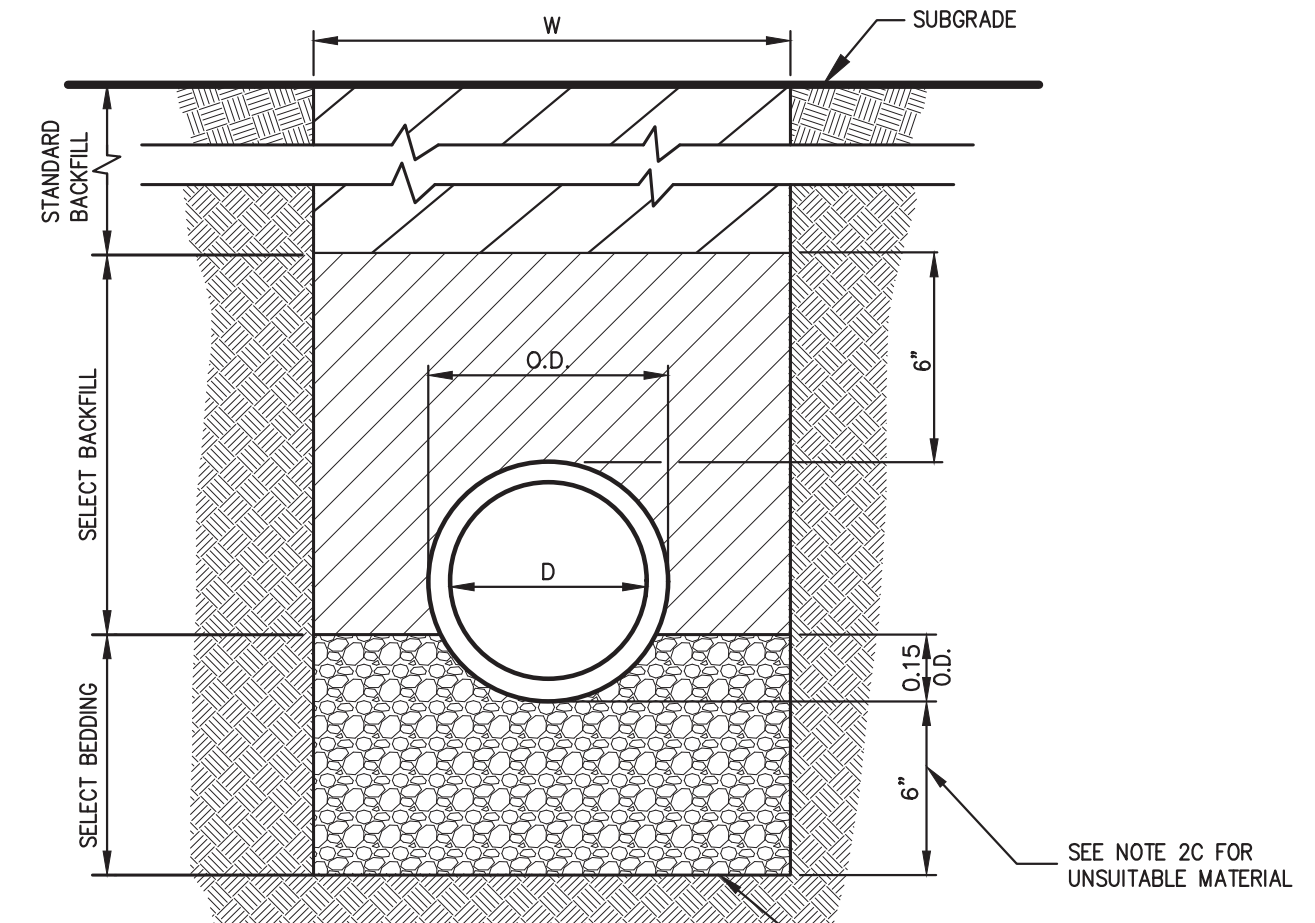


SECTION A-A

- NOTE:
- REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
  - SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON THIS DRAWING.

DRAIN INLET (TYPE DI)

3



- NOTES:
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
    - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
    - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
  - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
    - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
    - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
    - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
  - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
  - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 95% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

4

NOTES PERTAINING TO DRAIN INLETS

- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A" (4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

NOTES PERTAINING TO MANHOLES

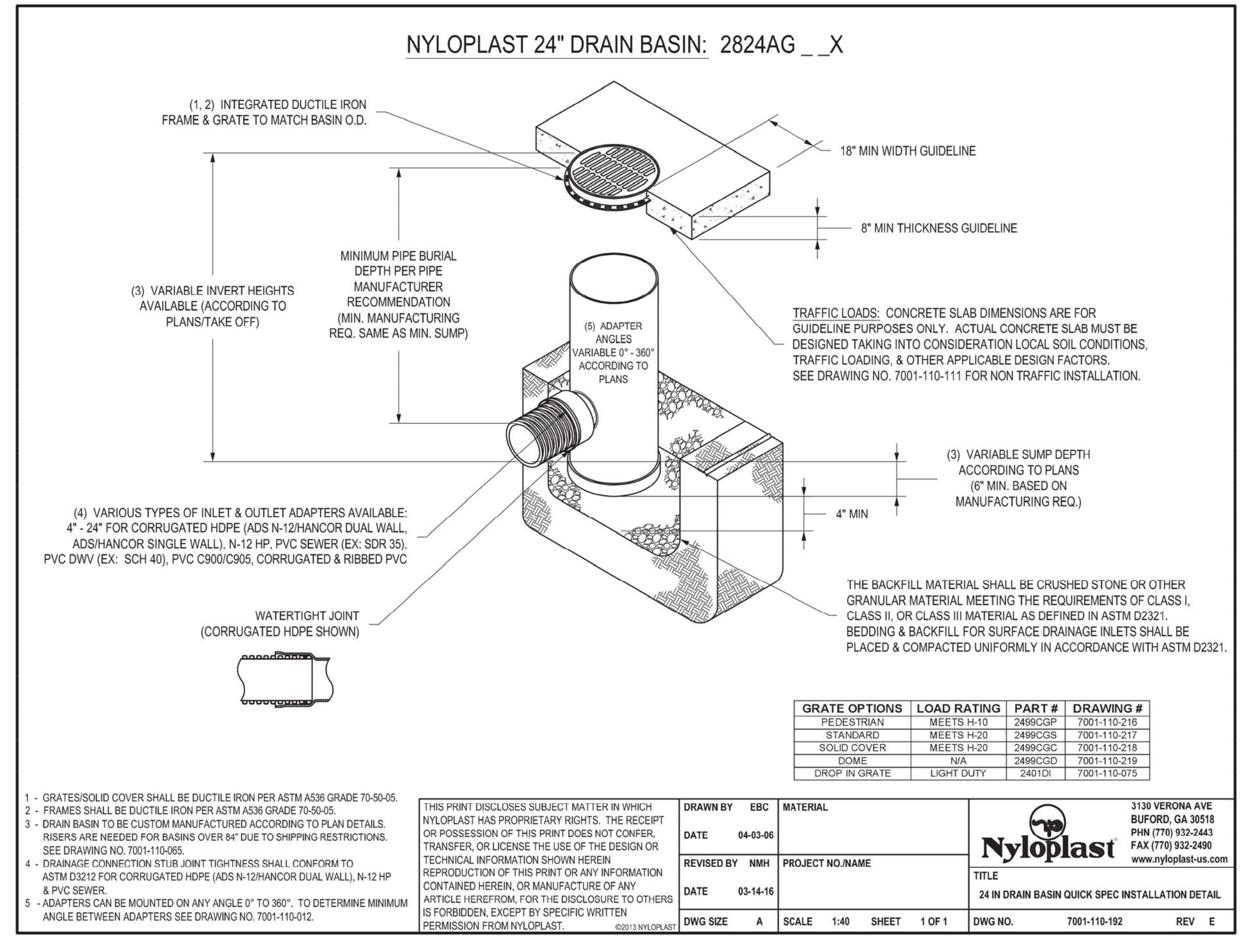
- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES

- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

UTILITY NOTES

5



NYLOPLAST 24" DRAIN BASIN: 2824AG \_ X

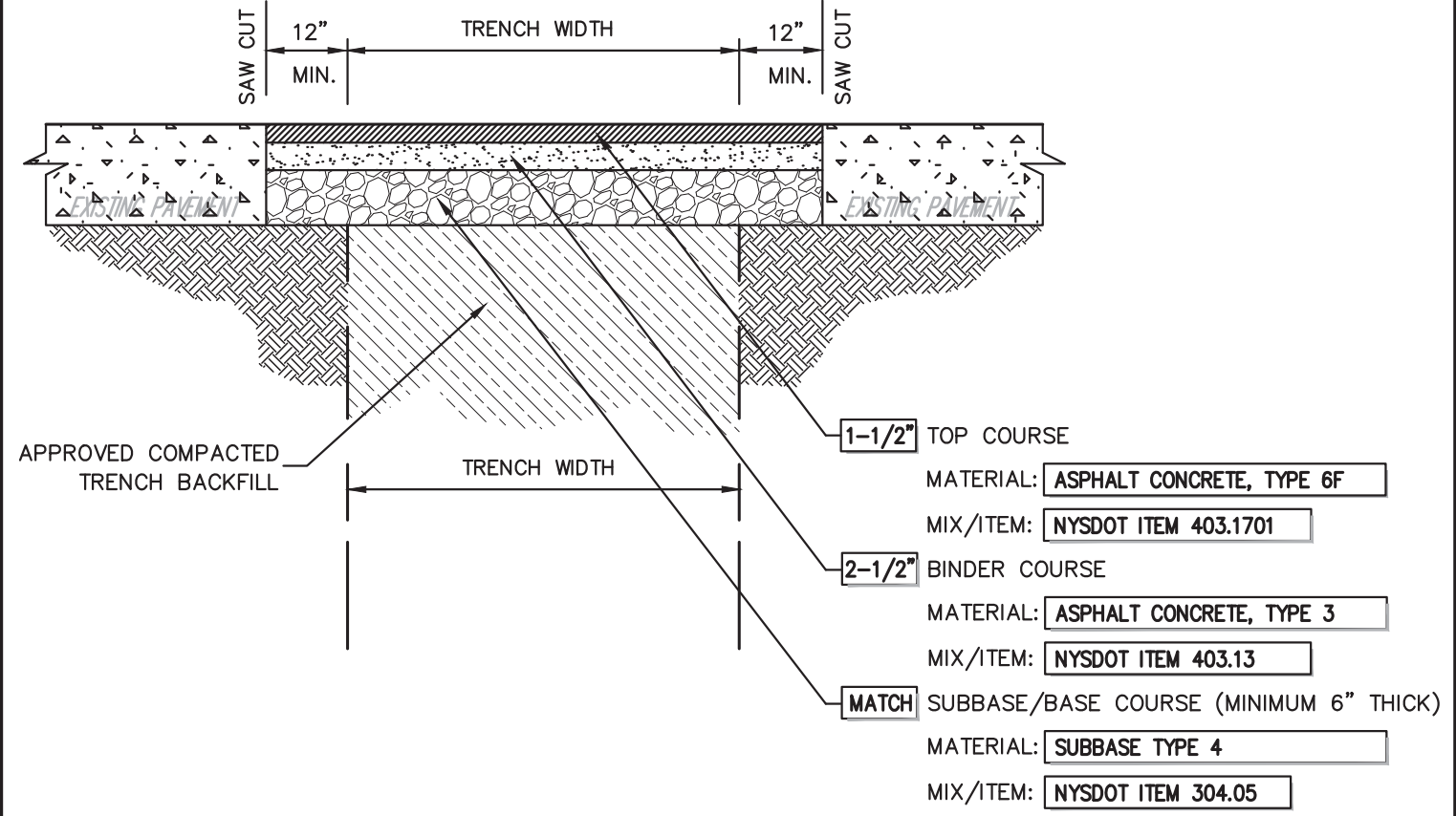
GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	2496CGP	7001-110-218
STANDARD	MEETS H-20	2496CGS	7001-110-217
SOLID COVER	MEETS H-20	2496CGC	7001-110-219
FOGME	N/A	2496CGD	7001-110-219
DROP IN GRATE	LIGHT DUTY	2401DI	7001-110-075

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-005.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12) HANCOR DUAL WALL, N-12 HP & PVC SEWER.
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

3130 VERONA AVE  
BURLINGTON, GA 30618  
PHN (770) 932-2443  
FAX (770) 932-2490  
www.nyloplast-us.com

24 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL

DWG NO. 7001-110-192 REV E



- NOTES:
- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
  - ITEM NUMBERS REFER TO:
- NEW YORK STATE  
DEPARTMENT OF TRANSPORTATION  
STANDARD SPECIFICATIONS

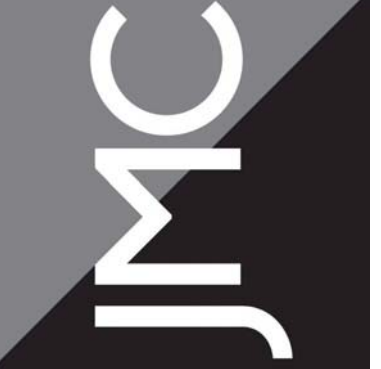
PAVEMENT REPLACEMENT

7

NOT FOR CONSTRUCTION

Date	03/17/2020
Revision	
REVISION PER TOWN COMMENTS	
No.	1.

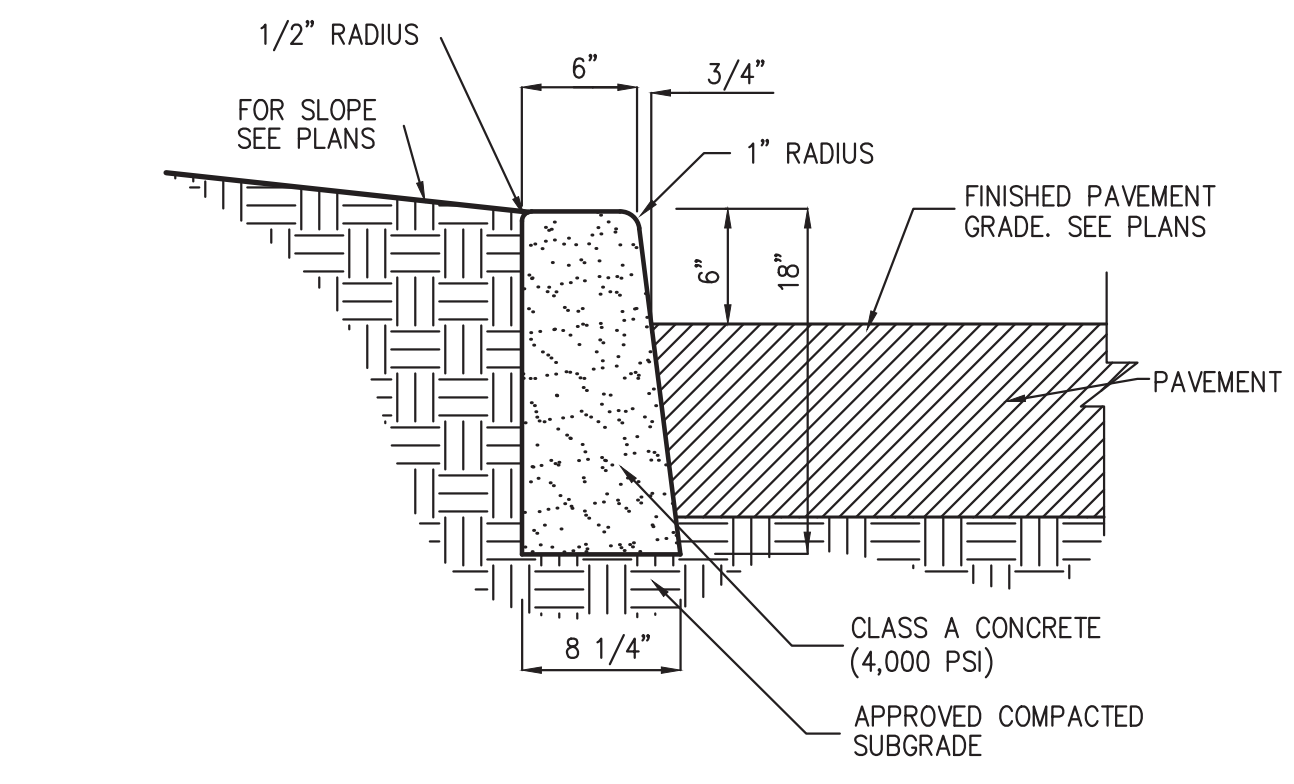
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD - ARMONK, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
www.jmcplic.com



CONSTRUCTION DETAILS  
PROPOSED BUILDING AND SITE RENOVATIONS  
1961 COMMERCE STREET  
TOWN OF YORK TOWN, NEW YORK

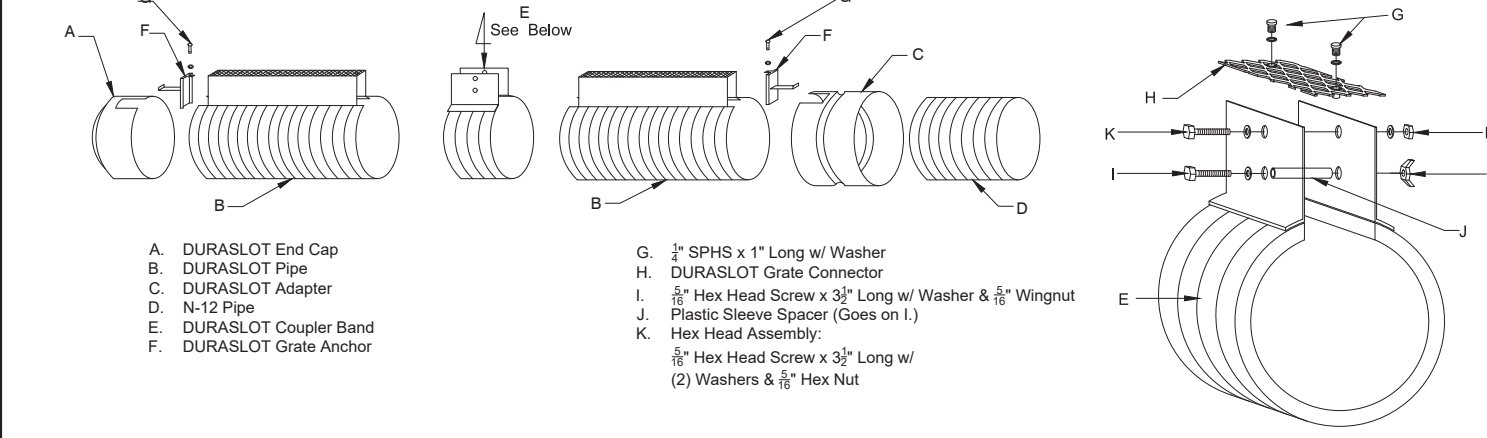
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn:	RB	Approved:	JAR
Scale:	NOT TO SCALE		
Date:	02/14/2020		
Project No.:	17205		
1725-RTMS	C-900		
Drawing No.:	C-900		



- NOTES:**
1. INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
  2. UNLESS DIRECTED OTHERWISE, EXPANSION JOINTS SHALL ALSO BE INSTALLED AT THE PC AND PT OF ALL RADIUS CURB.
  3. EACH EXPANSION JOINT SHALL BE LEFT EXPOSED AND NOT COVERED WITH A SKIM COAT OF CONCRETE.
  4. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
  5. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
  6. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

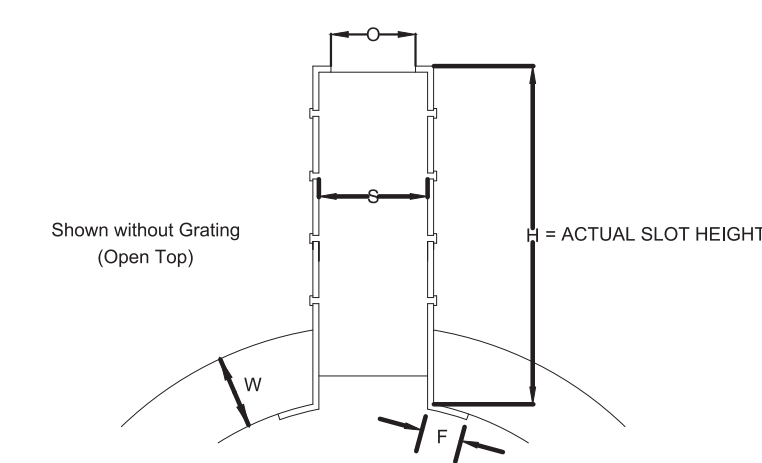
6"-24" DURASLOT® System Assembly With 6" Slot Riser - Grated



**NOTE:** - Each Cap (A) & Adapter (C) comes with an Anchor (F).  
 - Each Coupler Band (E) comes with hardware - G, H, I & J.  
 - (K) is not used w/ 6" - 10" DIAM.

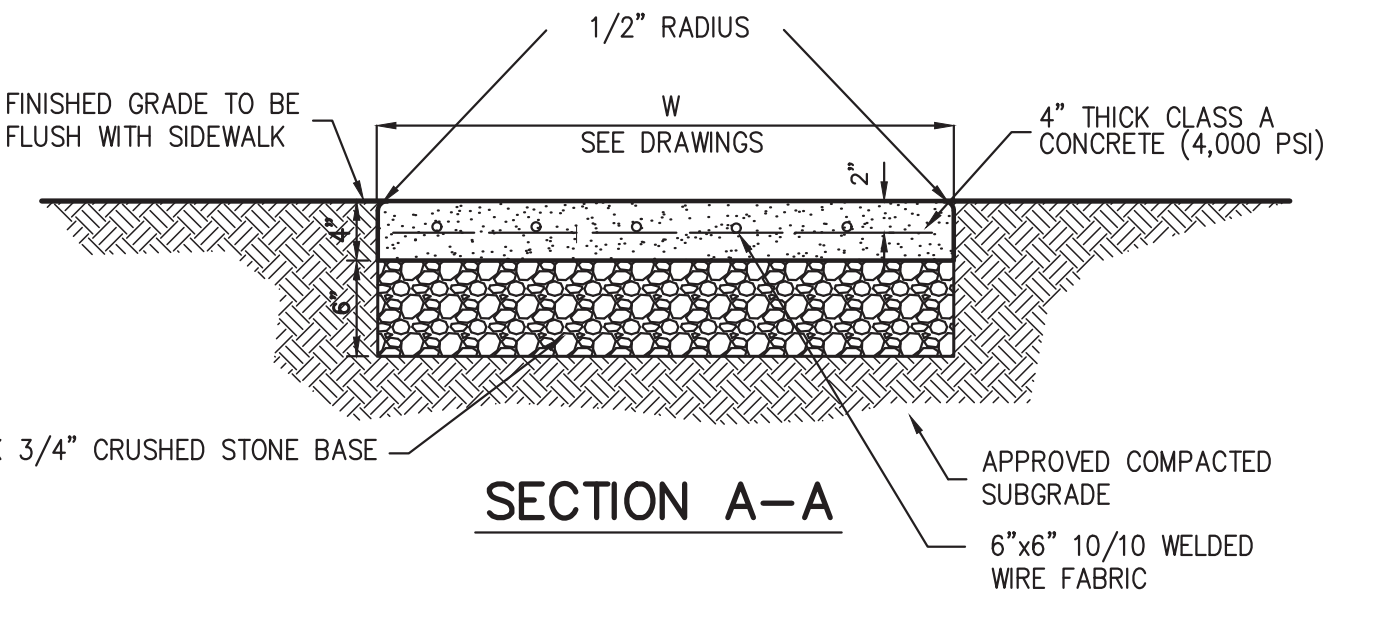
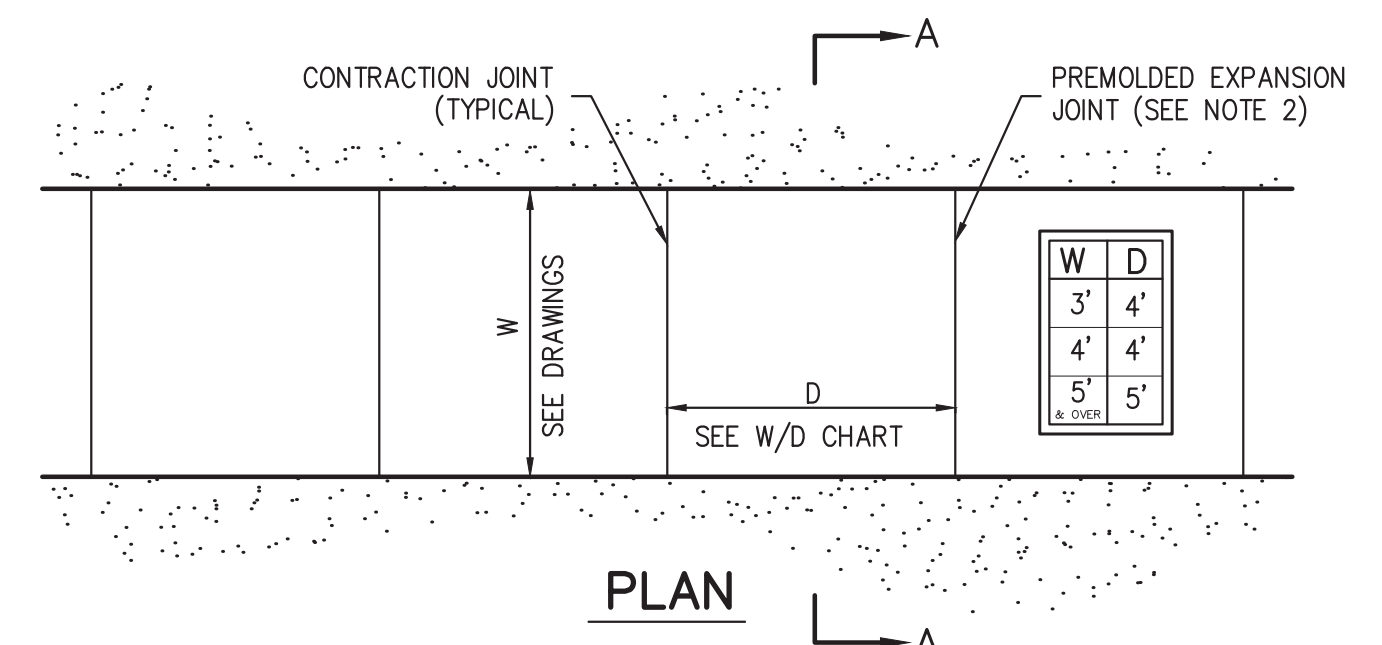
-Heel Proof Grate

6"-24" DURASLOT® Pipe Dimensions For 6" Slot Riser

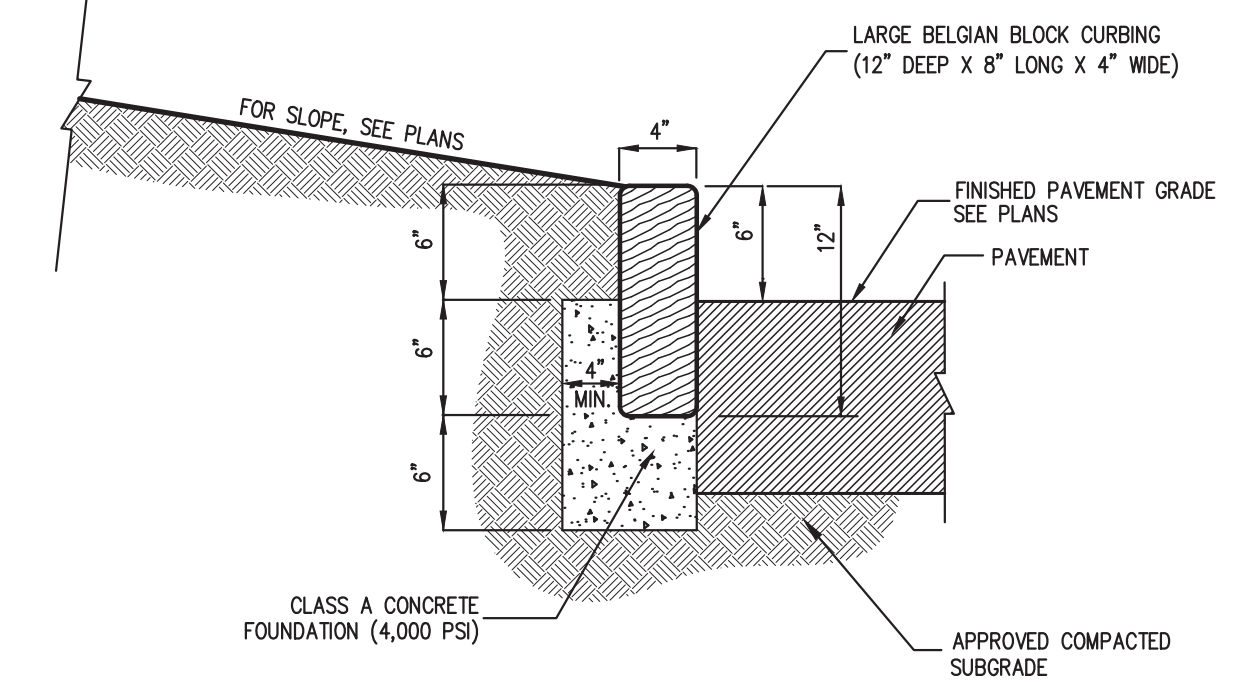


PIPE DIAM.	PRODUCT DESCRIPTION	H	W	F	O	S	PRODUCT # (Grated)
10"	6" Slot Riser (250mm)	6.5" (165mm)	0.75" (19mm)	0.75" (19mm)	1.75" (44mm)	2.25" (57mm)	1060DS

Dimension from grade to pipe invert:  
 $H(\text{ACTUAL SLOT HEIGHT}) = \text{PIPE DIAMETER} + \text{RECESS}(\frac{1}{2} \times S)$



- NOTES:**
1. SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
  2. PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
  3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
  4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH



- NOTES:**
1. JOINTS SHALL BE NO WIDER THAN 3/4" AND SHALL BE MORTARED. JOINTS SHALL BE FULLY FILLED WITH 1:2 CEMENT MORTAR, NEATLY POINTED AND CLEANED OF EXCESS MORTAR.

CAST-IN-PLACE CONCRETE CURB 8

DURASLOT SLOTTED DRAIN 9

CONCRETE SIDEWALK 10

STONE CURB (BELGIAN BLOCK) 11

X

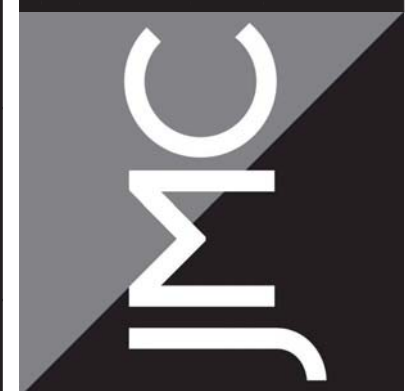
X

X

X

Date	03/11/2020
Revision	
No.	1. REVISED PER TOWN COMMENTS

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEDFORD ROAD - ARMONK, NY 10504  
 voice 914.273.5225 • fax 914.273.2102  
 www.jmcplic.com



CONSTRUCTION DETAILS  
 PROPOSED BUILDING AND SITE RENOVATIONS  
 1961 COMMERCE STREET  
 TOWN OF YORKTOWN, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn:	RB	Approved:	JAR
Scale:	NOT TO SCALE		
Date:	02/14/2020		
Project No.:	17205		
17205-REIMS	C-901		
Drawing No.:	C-901		