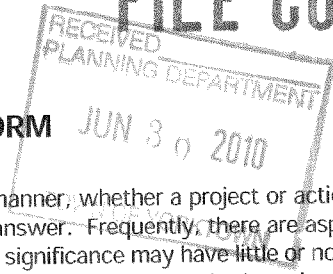


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Appendix A
State Environmental Quality Review
FULL ENVIRONMENTAL ASSESSMENT FORM



Purpose: The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially-large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially-large, then Part 3 is used to evaluate whether or not the impact is actually important.

THIS AREA FOR LEAD AGENCY USE ONLY

DETERMINATION OF SIGNIFICANCE -- Type 1 and Unlisted Actions

Identify the Portions of EAF completed for this project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

- A. The project will not result in any large and important impact(s) and, therefore, is one which **will not** have a significant impact on the environment, therefore **a negative declaration will be prepared.**
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore **a CONDITIONED negative declaration will be prepared.***
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore **a positive declaration will be prepared.**

*A Conditioned Negative Declaration is only valid for Unlisted Actions

Costco Wholesale

Name of Action

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

PART 1--PROJECT INFORMATION
Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

Name of Action Costco Wholesale

Location of Action (include Street Address, Municipality and County)

Town of Yorktown, Westchester County

Name of Applicant/Sponsor Retail Store Construction Co., Inc.

Address c/o Breslin Realty Development Corp., 500 Old Country Road

City / PO Garden City State NY Zip Code 11530

Business Telephone 914-741-7400

Name of Owner (if different) See attached Schedule A to Full EAF

Address _____

City / PO _____ State _____ Zip Code _____

Business Telephone _____

Description of Action:

Construction of a 147,487 square foot Costco Wholesale retail store, 3,605 square foot enclosed entrance, club member filling station and related improvements, for a total of 151,092 square feet.

Please Complete Each Question--Indicate N.A. if not applicable

A. SITE DESCRIPTION

Physical setting of overall project, both developed and undeveloped areas.

1. Present Land Use: Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Other _____

2. Total acreage of project area: 18.75 acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
Meadow or Brushland (Non-agricultural)	_____ acres	_____ acres
Forested	<u>7.23</u> acres	<u>3.07</u> acres
Agricultural (Includes orchards, cropland, pasture, etc.)	<u>3.13</u> acres	_____ acres
Wetland (Freshwater or tidal as per Articles 24,25 of ECL)	<u>1.42</u> acres	<u>1.42</u> acres
Water Surface Area	_____ acres	_____ acres
Unvegetated (Rock, earth or fill)	_____ acres	_____ acres
Roads, buildings and other paved surfaces	<u>2.95</u> acres	<u>10.65</u> acres
Other (Indicate type) <u>Landscaped Area</u>	<u>4.02</u> acres	<u>3.61</u> acres

3. What is predominant soil type(s) on project site? ChC, Ub, PnB

- a. Soil drainage: Well drained 62 % of site Moderately well drained 27 % of site.
 Poorly drained 11 % of site

b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? 2.66 acres (see 1 NYCRR 370).

4. Are there bedrock outcroppings on project site? Yes No

a. What is depth to bedrock Varies (in feet) 4' to >15'

5. Approximate percentage of proposed project site with slopes:

- 0-10% 55 % 10- 15% 17 % 15% or greater 28 %

6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or National Registers of Historic Places? Yes No

7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No

8. What is the depth of the water table? Varies (in feet) 0' in wetlands areas 1.5' to <7' in areas to be developed

9. Is site located over a primary, principal, or sole source aquifer? Yes No

10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No

11. Does project site contain any species of plant or animal life that is identified as threatened or endangered? Yes No

According to:

NYSDEC New York State Online Nature Explorer; Letter of verification received from NYS Natural Heritage Program on 6/21/10.

Identify each species:

12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations?)

Yes No

Describe:

13. Is the project site presently used by the community or neighborhood as an open space or recreation area?

Yes No

If yes, explain:

14. Does the present site include scenic views known to be important to the community? Yes No

15. Streams within or contiguous to project area:

None

a. Name of Stream and name of River to which it is tributary

Tributary to Hunter Brook

16. Lakes, ponds, wetland areas within or contiguous to project area:

Two (2) separate wetlands areas

b. Size (in acres):

Wetland A = 1.21 Acres
Wetland B = 0.21 Acres

17. Is the site served by existing public utilities? Yes No
- a. If YES, does sufficient capacity exist to allow connection? Yes No
- b. If YES, will improvements be necessary to allow connection? Yes No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No
20. Has the site ever been used for the disposal of solid or hazardous wastes? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate).
- a. Total contiguous acreage owned or controlled by project sponsor: 18.75 acres.
- b. Project acreage to be developed: 14.50 acres initially; 14.50 acres ultimately.
- c. Project acreage to remain undeveloped: 4.25 acres.
- d. Length of project, in miles: n/a (if appropriate)
- e. If the project is an expansion, indicate percent of expansion proposed. n/a %
- f. Number of off-street parking spaces existing 84; proposed 610
- g. Maximum vehicular trips generated per hour: 758 (upon completion of project)? Source: John Collins Engineers, P.C.
- h. If residential: Number and type of housing units:
- | | One Family | Two Family | Multiple Family | Condominium |
|------------|------------|------------|-----------------|-------------|
| Initially | _____ | _____ | _____ | _____ |
| Ultimately | _____ | _____ | _____ | _____ |
- i. Dimensions (in feet) of largest proposed structure: 31 height; 376 width; 427 length.
- j. Linear feet of frontage along a public thoroughfare project will occupy is? _____ ft. Route 202/35 - 605 ft.
Old Crompond Road - 495 ft.
2. How much natural material (i.e. rock, earth, etc.) will be removed from the site? 0 tons/cubic yards.
3. Will disturbed areas be reclaimed Yes No N/A
- a. If yes, for what intended purpose is the site being reclaimed?
-
- b. Will topsoil be stockpiled for reclamation? Yes No
- c. Will upper subsoil be stockpiled for reclamation? Yes No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 11.36 acres.

5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?

Yes No

6. If single phase project: Anticipated period of construction: 18 months, (including demolition)

7. If multi-phased: Not Applicable

a. Total number of phases anticipated n/a (number)

b. Anticipated date of commencement phase 1: n/a month n/a year, (including demolition)

c. Approximate completion date of final phase: n/a month n/a year.

d. Is phase 1 functionally dependent on subsequent phases? Yes No Not Applicable

8. Will blasting occur during construction? Yes No

9. Number of jobs generated: during construction 150; after project is complete 300

10. Number of jobs eliminated by this project 15.

11. Will project require relocation of any projects or facilities? Yes No

If yes, explain:

12. Is surface liquid waste disposal involved? Yes No

a. If yes, indicate type of waste (sewage, industrial, etc) and amount _____

b. Name of water body into which effluent will be discharged _____

13. Is subsurface liquid waste disposal involved? Yes No Type _____

14. Will surface area of an existing water body increase or decrease by proposal? Yes No

If yes, explain:

15. Is project or any portion of project located in a 100 year flood plain? Yes No

16. Will the project generate solid waste? Yes No

a. If yes, what is the amount per month? 39 tons

b. If yes, will an existing solid waste facility be used? Yes No

c. If yes, give name Charles Point Resource Recovery Facility; location Peekskill, New York

d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? Yes No

e. If yes, explain:

Cardboard, plastic shrink wrap, plastic bottles and all aluminum products will be recycled. All food grease and waste from prep kitchen, mostly chicken grease from rotisserie chickens and meat scraps, will be trapped and recycled. As a company average, approximately 50% of solid waste is recycled in one way or another.

17. Will the project involve the disposal of solid waste? Yes No

a. If yes, what is the anticipated rate of disposal? _____ tons/month.

b. If yes, what is the anticipated site life? _____ years.

18. Will project use herbicides or pesticides? Yes No

19. Will project routinely produce odors (more than one hour per day)? Yes No

20. Will project produce operating noise exceeding the local ambient noise levels? Yes No

21. Will project result in an increase in energy use? Yes No

If yes, indicate type(s)

Natural Gas and electric.

22. If water supply is from wells, indicate pumping capacity N/A gallons/minute.

23. Total anticipated water usage per day 10,000 gallons/day.

24. Does project involve Local, State or Federal funding? Yes No

If yes, explain:

25. Approvals Required:

			Type	Submittal Date
City, Town, Village Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Amended Sewer District	_____
			Special Use Permit for	_____
			Fueling Station	_____
City, Town, Village Planning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Site Plan Approval	_____
			Parking Waiver	_____
			Wetland/Excavation Permit	_____
City, Town Zoning Board	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		_____	_____
			_____	_____
			_____	_____
City, County Health Department	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Amended Sewer District	_____
			Public Sewer Extension	_____
			_____	_____
Other Local Agencies	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		NYC DEP	_____

			_____	_____
Other Regional Agencies	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Westchester County Board	_____
			of Legislators - Sewer	_____
			District Extension	_____
State Agencies	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Dept. of Transportation	_____
			Dept. of Agriculture	_____
			_____	_____
Federal Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			_____

			_____	_____

C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? Yes No

If Yes, indicate decision required:

- | | | | |
|---|--|--|--------------------------------------|
| <input type="checkbox"/> Zoning amendment | <input type="checkbox"/> Zoning variance | <input type="checkbox"/> New/revision of master plan | <input type="checkbox"/> Subdivision |
| <input checked="" type="checkbox"/> Site plan | <input checked="" type="checkbox"/> Special use permit | <input type="checkbox"/> Resource management plan | <input type="checkbox"/> Other |

2. What is the zoning classification(s) of the site?

C-3 Highway Commercial

3. What is the maximum potential development of the site if developed as permitted by the present zoning?

Maximum Building Coverage = 30% of 816,806 square foot lot = 245,042 square feet

4. What is the proposed zoning of the site?

Not Applicable

5. What is the maximum potential development of the site if developed as permitted by the proposed zoning?

Not Applicable

6. Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No

7. What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action?

C-3, Highway Commercial adjacent to the property to the north, west and east.
R1-20, 1/2 Acre One-Family Residential adjacent to the property at the northwest corner.
R1-40, 1 Acre One-Family Residential to the northwest.
R1-80, 2 Acre One-Family Residential to the southeast.
I-1, Planned Interchange adjacent to the property to the south.
C-1, Planned Business District to the southwest.
M-1, Planned Light-Industrial to the east.

8. Is the proposed action compatible with adjoining/surrounding land uses with a ¼ mile? Yes No

9. If the proposed action is the subdivision of land, how many lots are proposed? Not Applicable

a. What is the minimum lot size proposed? _____

10. Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No

Extend existing County Sewer District
Extend existing Town Sewer District

11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)?
 Yes No

a. If yes, is existing capacity sufficient to handle projected demand? Yes No

12. Will the proposed action result in the generation of traffic significantly above present levels? Yes No

a. If yes, is the existing road network adequate to handle the additional traffic. Yes No

Improvements to Route 202 will be required to accommodate the development of the project.

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name Retail Store Construction Co., Inc Date 6/23/10

Signature By: 

Title PRESIDENT

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

Schedule A to Full EAF

Owner of Record #1:

Name: 3220 Crompond, Ltd
Address: c/o Robert Covino and Richard E. Leahy
50 Triangle Center
Yorktown Heights, NY 10598
c/o: Albert A. Capellini, Esq.

Attorney - Owner of Record #1:

Name: Albert A. Capellini, Esq.
Address: 1767 Front Street
Yorktown Heights, NY 10598
Phone: (914) 962-3311
Fax: (914) 962-8145

Owner of Record #2:

Name: Best Rent Properties 202, LLC
Address: c/o Maled Nesheiwat, Member – S. Aljawal, Member
c/o Attorney Jon H. Adams

Attorney - Owner of Record #2:

Name: Jon H. Adams, Esq.
Corbally, Garland & Rappleyea
Address: 35 Market Street
Poughkeepsie, NY 12601
Phone: (845) 454-1110 x 225
Fax: (845) 454-4857

Owner of Record #3:

Name: Jhonny Herrera
Address: c/o Attorney Joseph Colasurdo

Attorney - Owner of Record #3:

Name: Joseph Colasurdo, Esq.
Law Office of Joseph Colasurdo
Address: 2900 Westchester Avenue, Suite 206
Purchase, NY 10577
Phone: (914) 251-1111
Fax: (914) 251-0011