

VI. OTHER SEQRA REQUIRED CHAPTERS

VI. Other SEQR Required Chapters

A. Growth Inducement

The Proposed Action involves redevelopment of the existing site containing two retail uses (Zino's Wholesale Nursery and King Gates and Fence), two private residences and the former Yorktown Motor Lodge. Redevelopment of the site would result in an estimated 350 short-term construction related jobs created during the construction period. After completion of the project, an approximate 250 permanent full time and part time jobs would be created.

There is likely to be short term growth associated with the local increased spending on the project materials, spending on local labor and the effects of outside laborers purchasing goods and services within the Town. It is expected that this economic activity will not be permanent. It is not expected that this activity will result in any demand for housing.

The Proposed Action will provide a permanent increase in wages and income to the Town, which is expected to have a multiplier effect on the local economy. It is expected that the local economy will absorb the economic activity utilizing existing underutilized capacity.

The Proposed Action will result in the development of the Costco Warehouse along with its related offsite infrastructure improvements. These improvements include extension of the sanitary sewer and natural gas main in Old Crompond Road between Stoney Street and the Project Site and most notably the roadway improvements to Route 202/35. With these improvements, it is likely to induce further development in the immediate area. Figure VI.A-1 identifies nearby vacant lands that are more likely to be developed as a result of the Project's improvements.

No adverse effects are expected in the short term or long term from the project with respect to growth inducement.

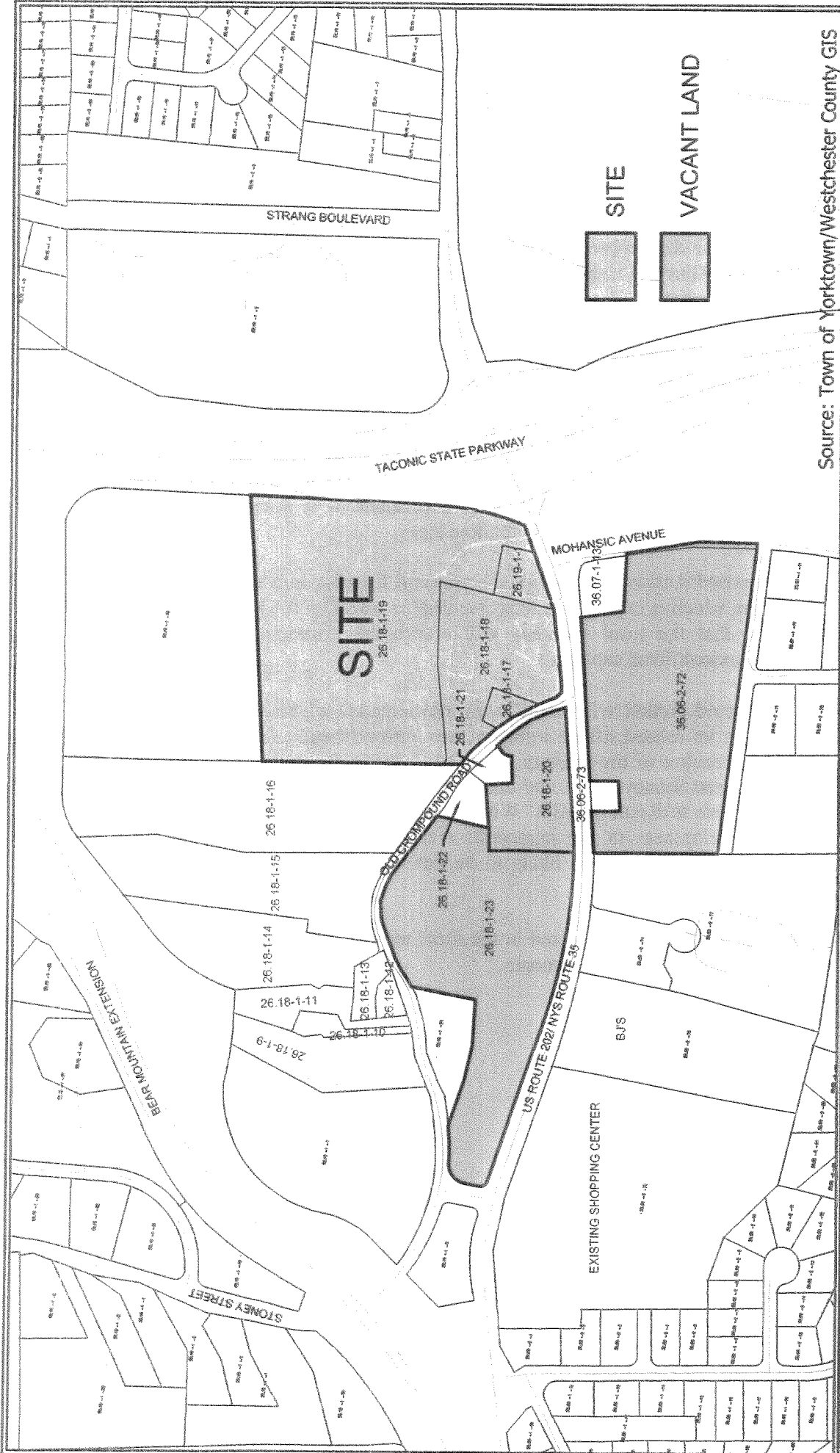


Exhibit VI.A-1
 Vacant Land with Potential
 for Growth Inducement



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COSTCO WHOLESAL
 Town of Yorktown, New York

B. Commitment of Resources

Construction of the project would result in the commitment of land currently vegetated, abandoned or underutilized. Development of the vegetated land would result in a loss of around 7.61 vegetated acres which includes approximately 4.2 acres of woods.

Construction of the proposed development would involve the commitment of a variety of natural and manmade resources. These resources include but are not necessarily limited to steel, plastics, paint, asphalt, concrete, gravel, topsoil and water. The operation of construction equipment would also involve consumption of fossil fuels while the completed buildings would require electricity and natural gas.

Construction of the project would require the temporary commitment of labor. This need for construction workers can be viewed as a beneficial impact to the construction industry as employment would be provided throughout the duration of the construction. Other short and long-term labor commitments include the services of police and fire department personnel.