

LOCATION MAP SCALE: 1" = 1,000'±

**OWNER/APPLICANT:**  
COLUMBIA PACIFIC ADVISORS  
1910 FAIRVIEW AVENUE EAST, SUITE 200  
SEATTLE WA 98102

**SITE DATA:**  
Zone: C-1  
Total Acreage: 3.6 AC. ±  
Tax Map No.: 16.08-1-14

- GENERAL NOTES:**
- All property lines, topography and site features shown herein are taken from "ALTA/ASCM Land Title Survey of Property Prepared for Columbia/Wegman Acquisition III Other, LLC" by Insite Engineering, Land Surveying & Landscape Architecture, P.C. dated December 1, 2020.
  - Trees to be removed are 8" DBH or greater based on field observation by Insite Engineering, Land Surveying & Landscape Architecture, P.C. on November 23, 2020.

**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING UNDERGROUND WATER SERVICE
	EXISTING UNDERGROUND SEWER SERVICE
	EXISTING CATCH BASIN
	EXISTING MANHOLE (type unidentified)
	EXISTING SEWER MANHOLE
	EXISTING POST MOUNTED LIGHT
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	EXISTING TREE (GREATER THAN 8" DIA.)
	EXISTING TREE TO BE REMOVED (GREATER THAN 8" DIA.)
	EXISTING TREE LINE
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING DRAINAGE STRUCTURES
	EXISTING MANHOLE (type unidentified)
	EXISTING SEWER MANHOLE
	EXISTING POST MOUNTED LIGHT
	EXISTING PARKING STRIPING TO BE REMOVED
	EXISTING ITEM TO BE REMOVED

NO.	DATE	REVISION	REVISOR	MEU
1	12-4-20	REVISED PER TOWN COMMENTS		MEU

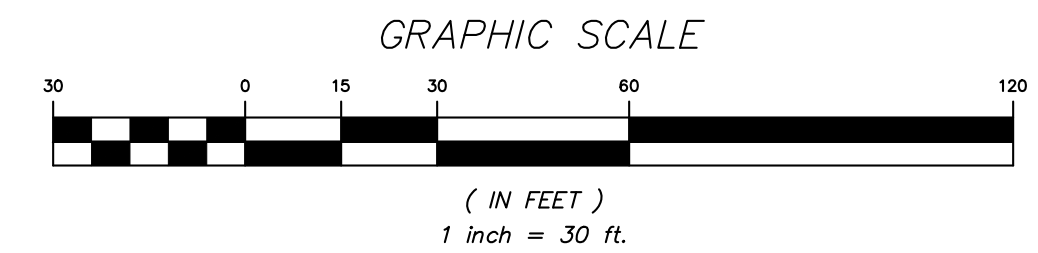
**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**  
621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING: **EXISTING CONDITIONS & REMOVALS PLAN**

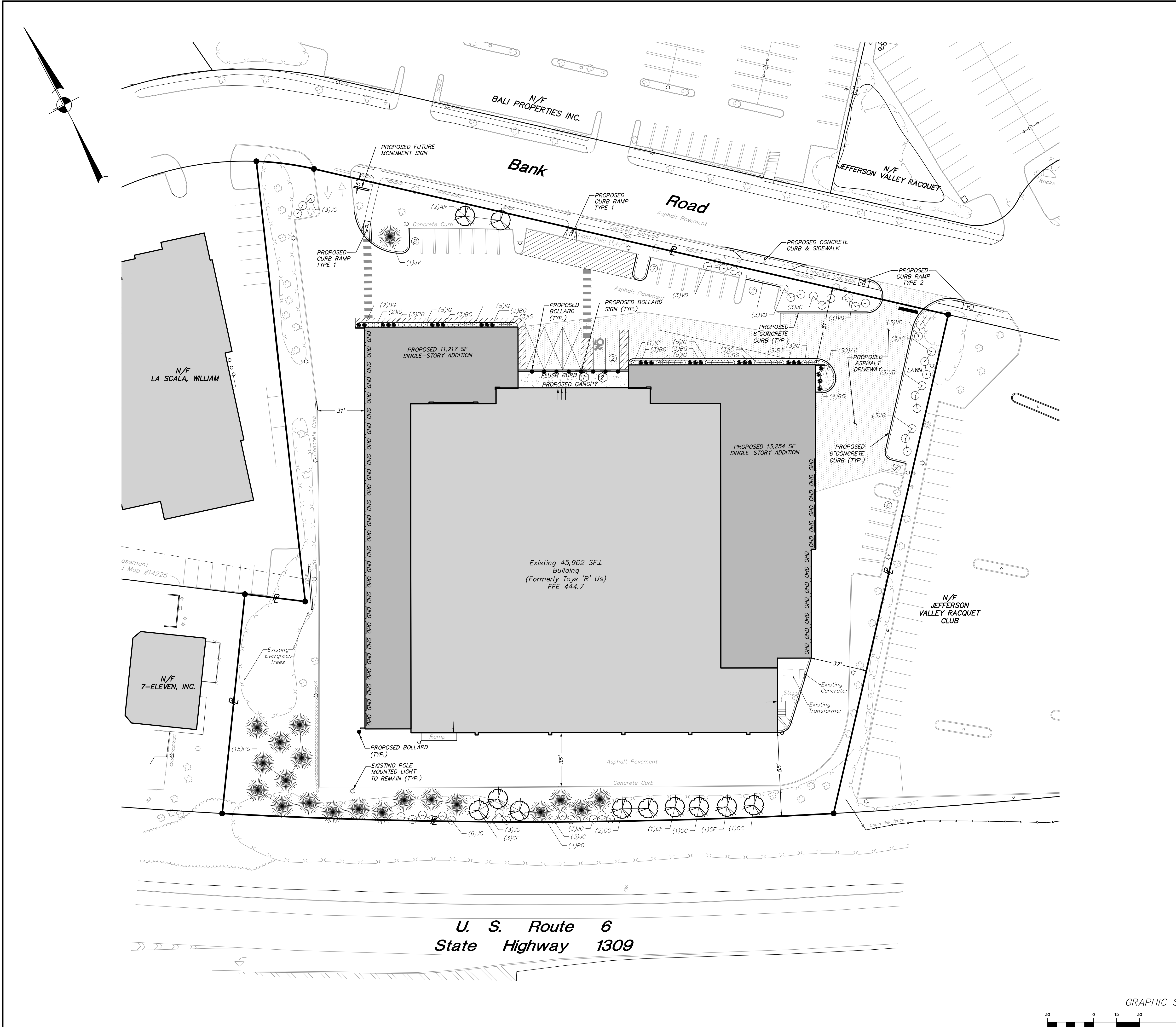
PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	9-25-20	DRAWN BY	E.R.A.	EX-1	1/6
SCALE	1" = 30'	CHECKED BY	A.D.T.		



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.

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**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
	EXISTING TREE (GREATER THAN 8" DIA.)
	PROPOSED # OF PARKING SPACES
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED EDGE OF SIDEWALK
	PROPOSED NEW ASPHALT PAVEMENT
	PROPOSED PAINTED STOPBAR
	PROPOSED PAINTED DIRECTIONAL ARROW
	PROPOSED PAINTED HANDICAP PARKING SYMBOL
	PROPOSED CROSSWALK
	PROPOSED STRIPED ISLAND
	PROPOSED LOADING SPACE
	PROPOSED SINGLE POLE SIGN
	EXISTING POST MOUNTED LIGHT TO REMAIN
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED DOOR LOCATION
	PROPOSED OVERHEAD DOOR LOCATION
	PROPOSED BOLLARD

**C-1 ZONE REQUIREMENTS**

	REQUIRED	EXISTING	PROPOSED
Minimum Lot Area:	2 AC.	3.6 AC.	NO CHANGE
Minimum Lot Width:	175'	392'±	NO CHANGE
Minimum Lot Depth:	175'	386'±	NO CHANGE
Minimum Setbacks:			
Principal Bldg: Front Yard:	30' WITHOUT PARKING	N/A	--
Front Yard:	75' WITH PARKING	90'±	51'± **
Front Yard (Accessory Bldg):	50'	N/A	NO CHANGE
Side Yard:	NONE*	46'±	37'
Rear Yard:	30'	55'±	NO CHANGE
Rear Yard (Accessory Bldg):	30'	N/A	NO CHANGE
Maximum Building Height (Main Bldg):	30'	LESS THAN 30'	NO CHANGE
Maximum Building Height (Accessory Bldg):	20'	N/A	NO CHANGE
Maximum Building Coverage:	45%	29.3%±	44.9%
Maximum F.A.R.:	0.6	0.29	0.45

\* None, but if provided will be 10 feet; if used as one-way vehicular access, shall be 17 feet; two-way vehicular access, 25 feet; if adjoining an R District shall be 50 feet.  
 \*\* The Planning Board may permit the self-storage center to be constructed with a front yard setback of not less than 40 feet. See Chapter 300-79-C-2.

**PARKING REQUIREMENTS:**  
 • NY - Self Storage - Approx. 72,300 s.f. @ 1 parking space/10,000 S.F. = 8 spaces required  
 • Spaces Provided = 27

**PLANT LIST**

SYMBOL	QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT
<b>SHADE TREES</b>					
	2	AR	Acer rubrum / Red Maple	2.5" CAL.	B&B
<b>FLOWERING TREES</b>					
	4	CC	Cercis canadensis / Redbud	2" CAL.	B&B
	5	CF	Cornus florida / Flowering Dogwood		
<b>EVERGREEN TREES</b>					
	1	JV	Juniperus virginia / Eastern Redcedar	8'-10" HT.	B&B
	19	PG	Picea glauca / White Spruce	8'-10" HT.	B&B
<b>SHRUBS</b>					
	21	JC	Juniperus chinensis "Sea Green" / Sea Green Juniper		#3 CONT./6' O.C.
	15	VD	Viburnum dentatum / Leatherleaf Viburnum		#3 CONT./6' O.C.
	38	IG	Ilex gabra "Shamrock" / Inkberry Holly		#3 CONT./6' O.C.
	27	BG	Buxus x "Green Mountain" / Green Mountain Boxwood		#3 CONT./6' O.C.
<b>PERENNIALS/GROUND COVERS</b>					
	50	AC	Aquilegia canadensis / Columbine		#1 CONT./18" O.C.

2	12-4-20	REVISED PER TOWN COMMENTS	MEU
1	10-28-20	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

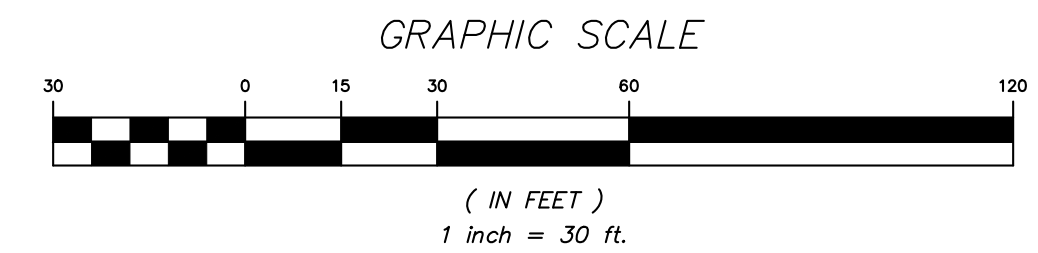
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PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**  
 621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING: **LAYOUT AND LANDSCAPE PLAN**

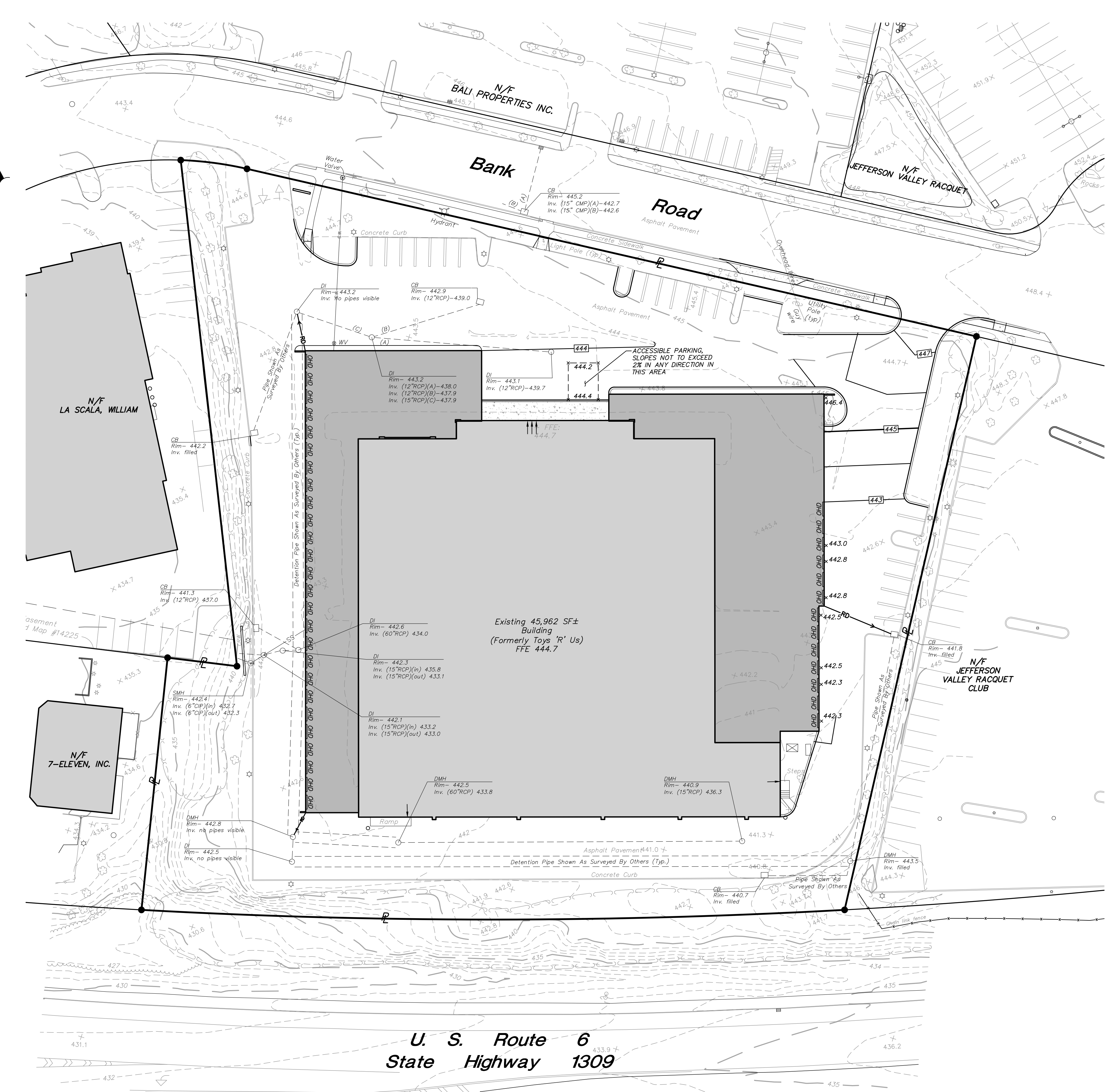
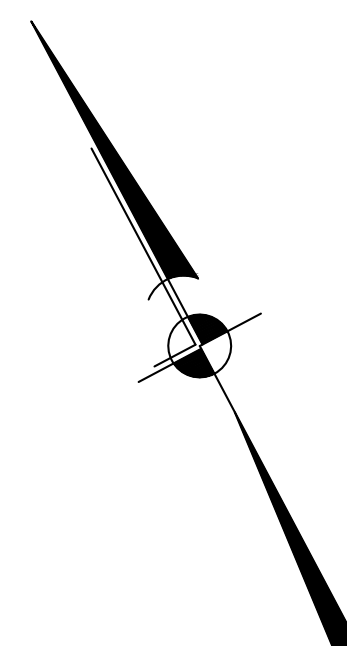
PROJECT NUMBER: 20217.100 PROJECT MANAGER: J.J.C. DRAWING NO.: SHEET: SP-1 / 2 / 6  
 DATE: 9-25-20 DRAWN BY: E.R.A. BY: A.D.T.  
 SCALE: 1" = 30' CHECKED BY: A.D.T.



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LEGEND	
	EXISTING PROPERTY LINE
	EXISTING WIRE FENCE
	EXISTING CONCRETE CURB
	EXISTING DROP IN CONCRETE CURB
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	EXISTING 1' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED CATCH BASIN
	PROPOSED DRAINAGE PIPE
	PROPOSED ROOF DRAIN CONNECTION

Asessment  
7 Map #14225

Existing 45,962 SF±  
Building  
(Formerly Toys 'R' Us)  
FFE 444.7

N/F  
7-ELEVEN, INC.

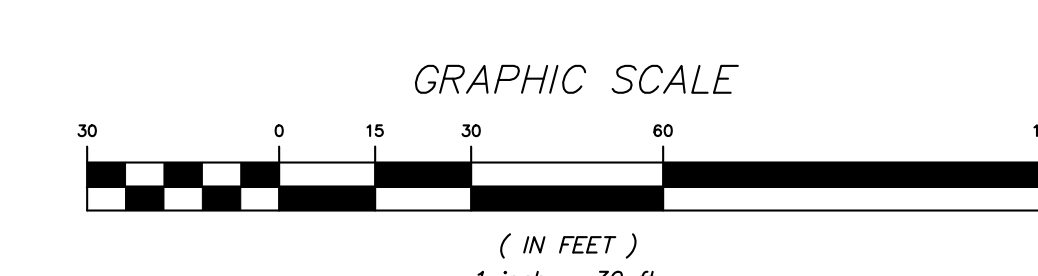
N/F  
LA SCALA, WILLIAM

N/F  
BALI PROPERTIES INC.

N/F  
JEFFERSON VALLEY RACQUET

N/F  
JEFFERSON VALLEY RACQUET CLUB

U. S. Route 6  
State Highway 1309



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PROJECT:  
**NY SELF STORAGE -  
JEFFERSON VALLEY**

621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

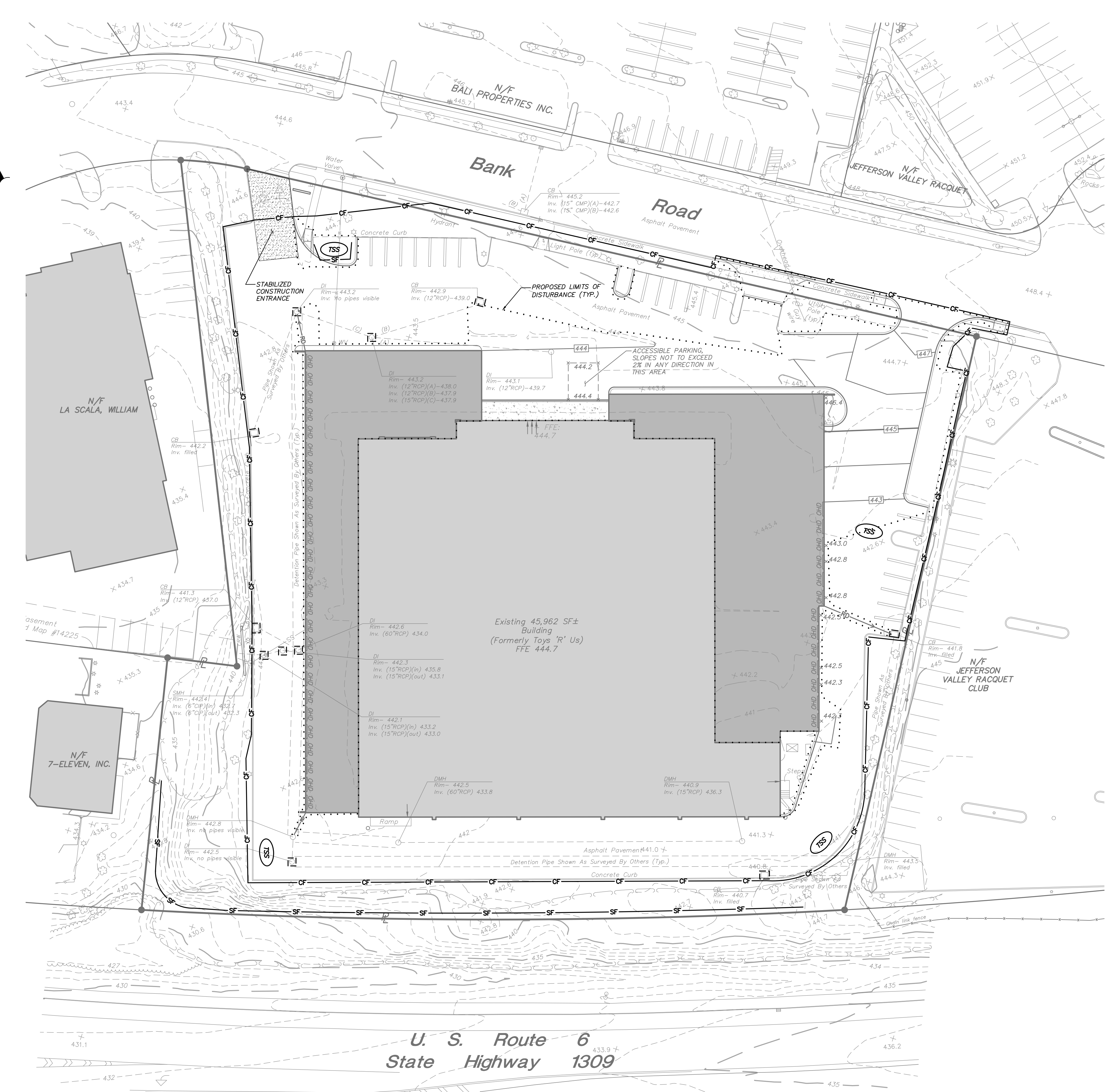
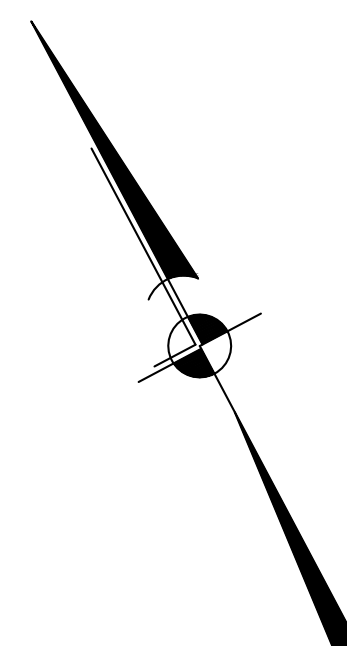
DRAWING:  
**GRADING AND UTILITIES PLAN**

STATE OF NEW YORK  
JEFFREY J. CONTESSO  
1993  
LICENSED PROFESSIONAL ENGINEER

PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	9-25-20	DRAWN BY	E.R.A.	SP-2	3
SCALE	1" = 30'	CHECKED BY	A.D.T.		

Z:\16\2021700 Columbia Pacific Bank and Yorktown\035 SP-2.dwg, 12/4/2020 2:29:38 PM, mwhr, 11





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	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION
	PROPOSED DRAINAGE PIPE
	PROPOSED SILT FENCE
	PROPOSED CONSTRUCTION FENCE
	PROPOSED TEMPORARY SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED LIMITS OF DISTURBANCE

NO.	DATE	REVISION	MEU
1	12-4-20	REVISED PER TOWN COMMENTS	MEU

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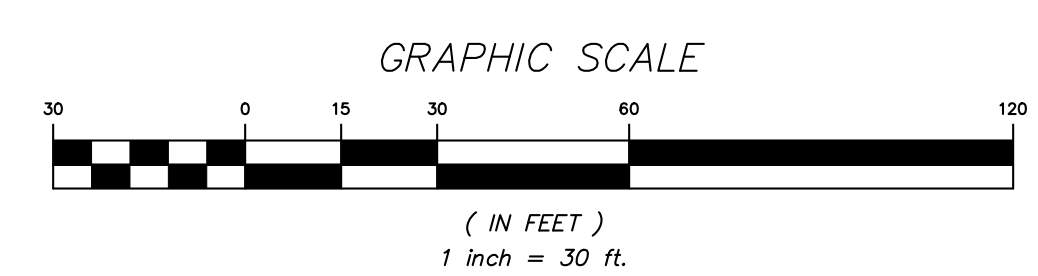
3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**  
621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING: **EROSION & SEDIMENT CONTROL PLAN**



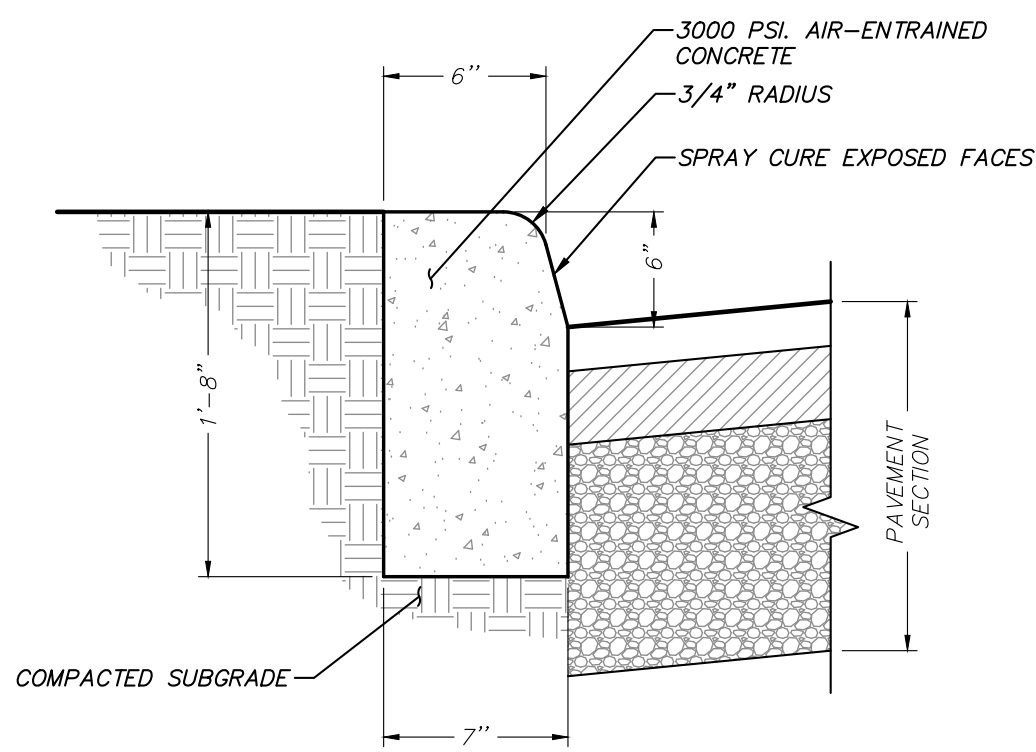
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20217.100	J.J.C.	SP-3	4
DATE	DRAWN BY	CHECKED BY	BY
9-25-20	E.R.A.	A.D.T.	6
SCALE	1" = 30'		



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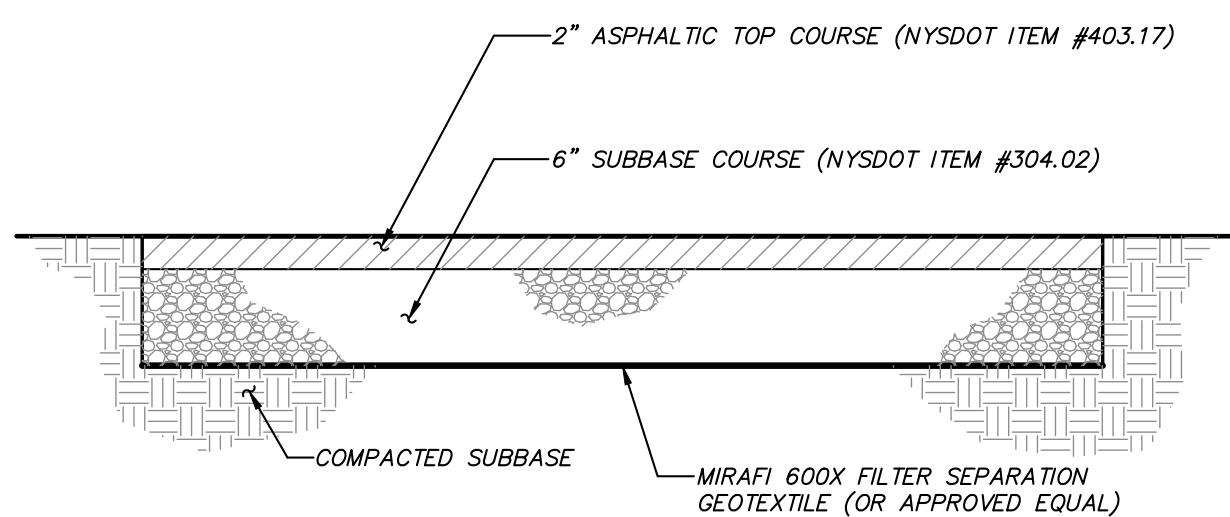
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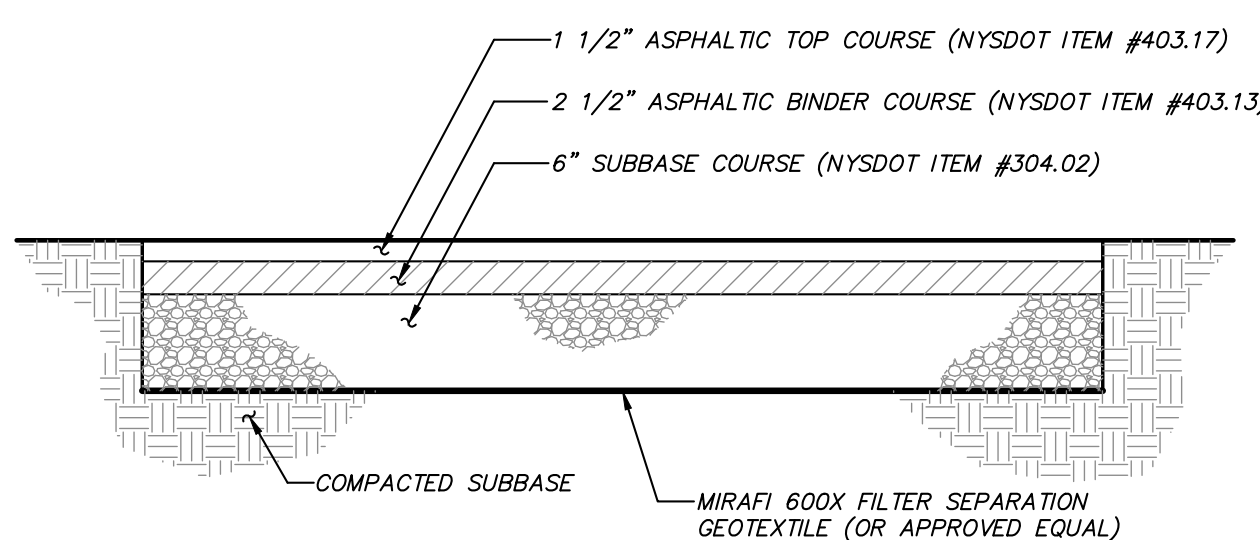


NOTE:  
ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

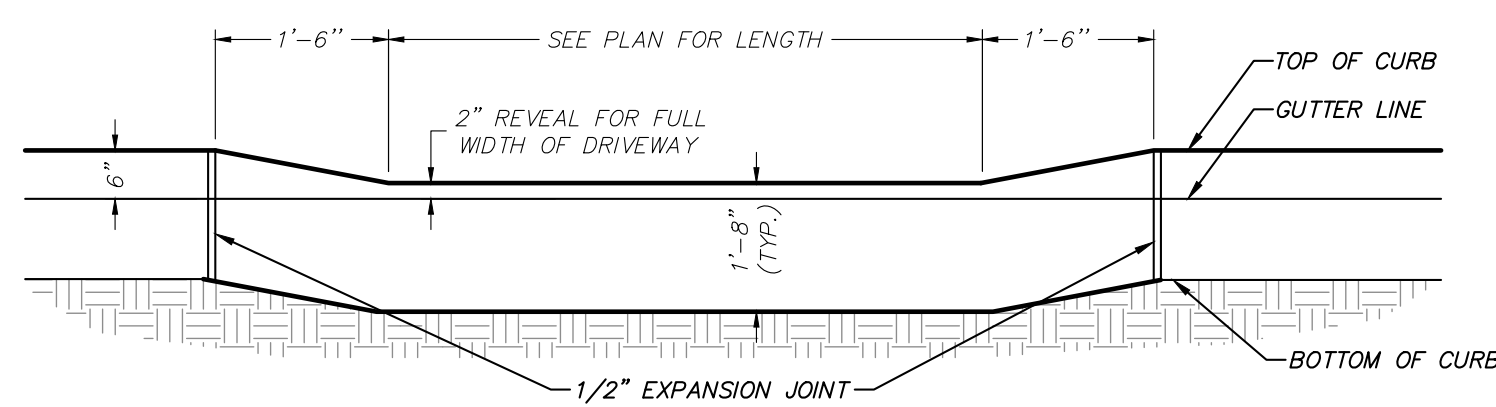
CONCRETE CURB DETAIL  
(N.T.S.)



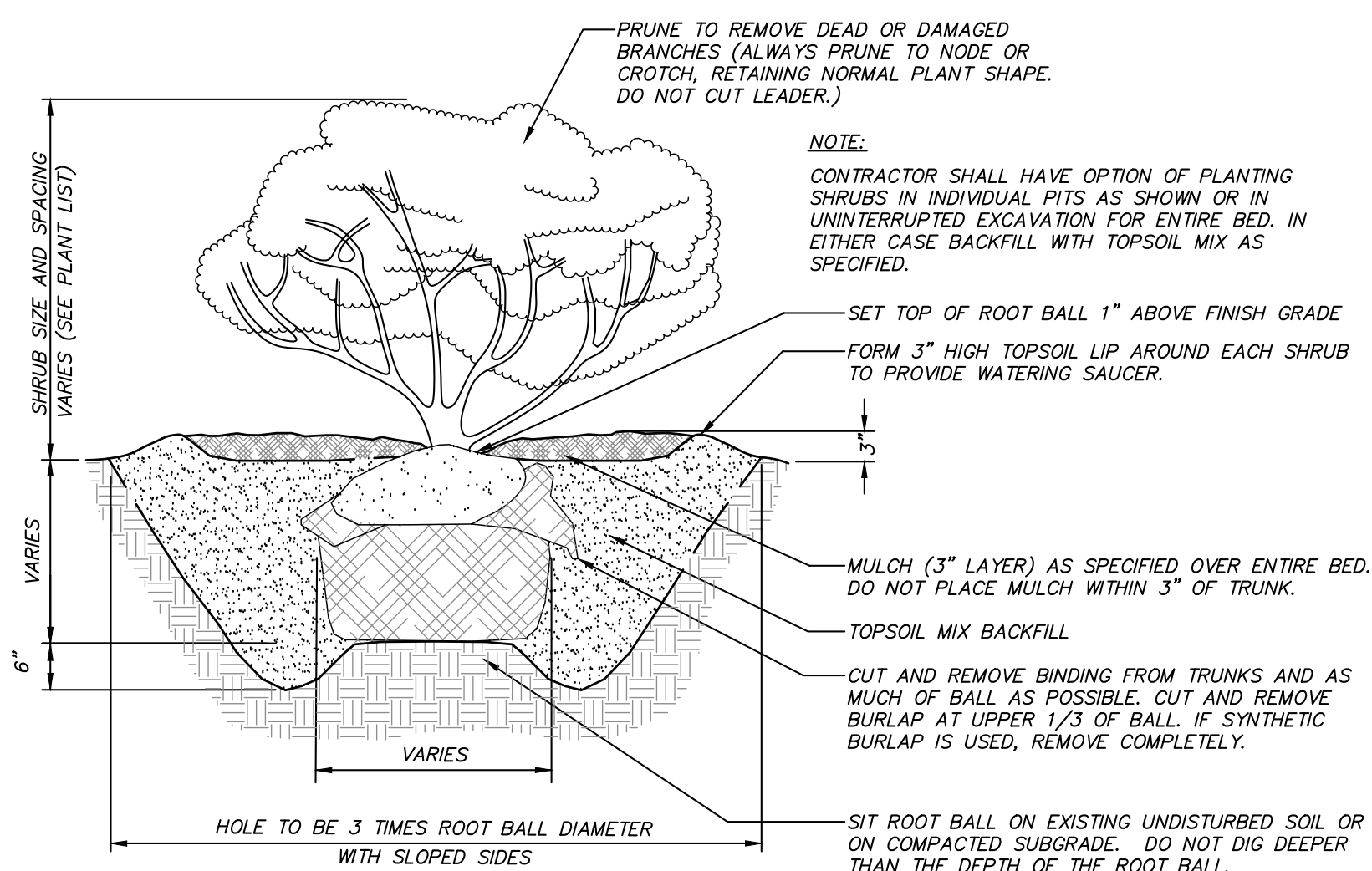
LIGHT ASPHALT PAVEMENT DETAIL  
(N.T.S.)



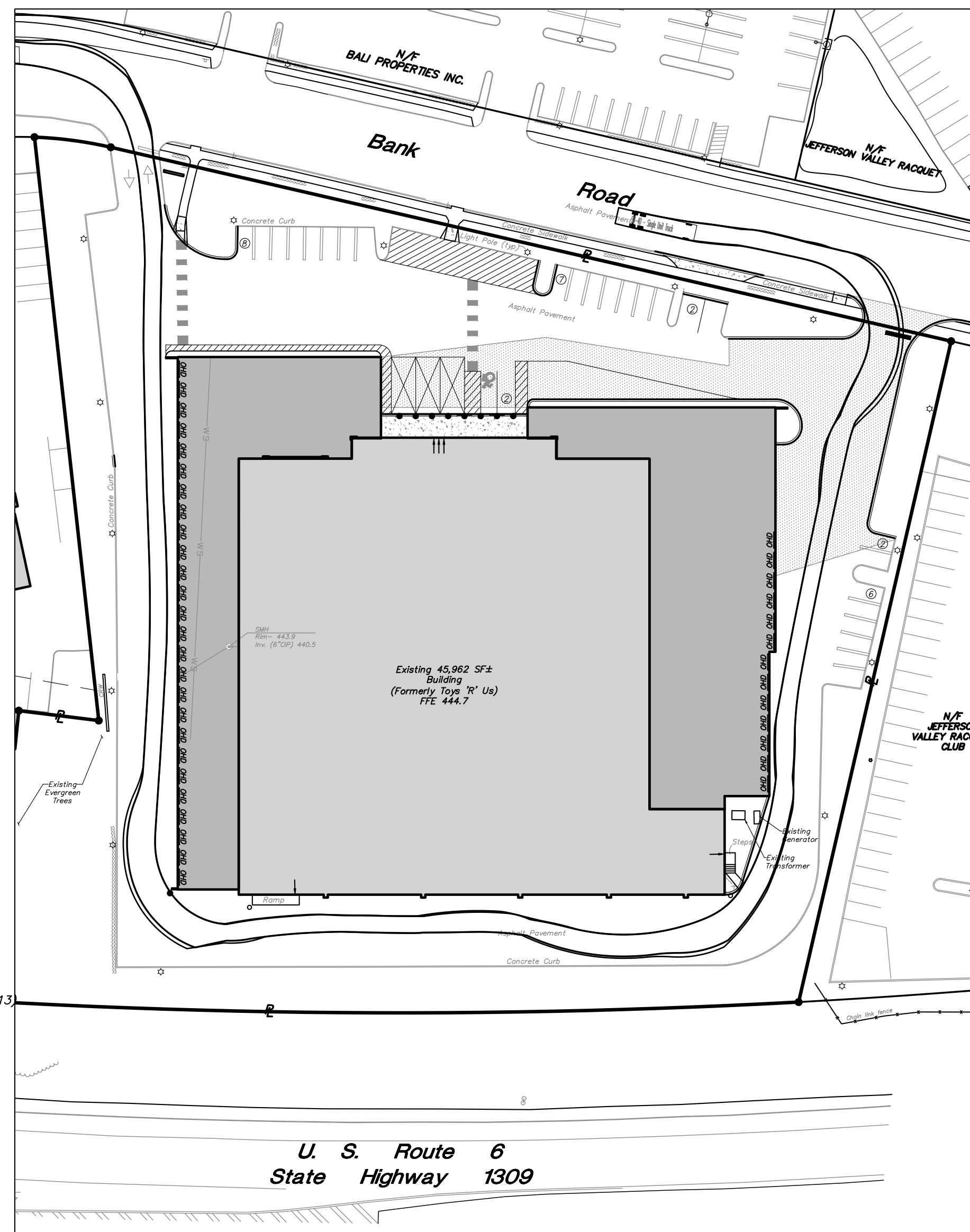
HEAVY ASPHALT PAVEMENT DETAIL  
(N.T.S.)



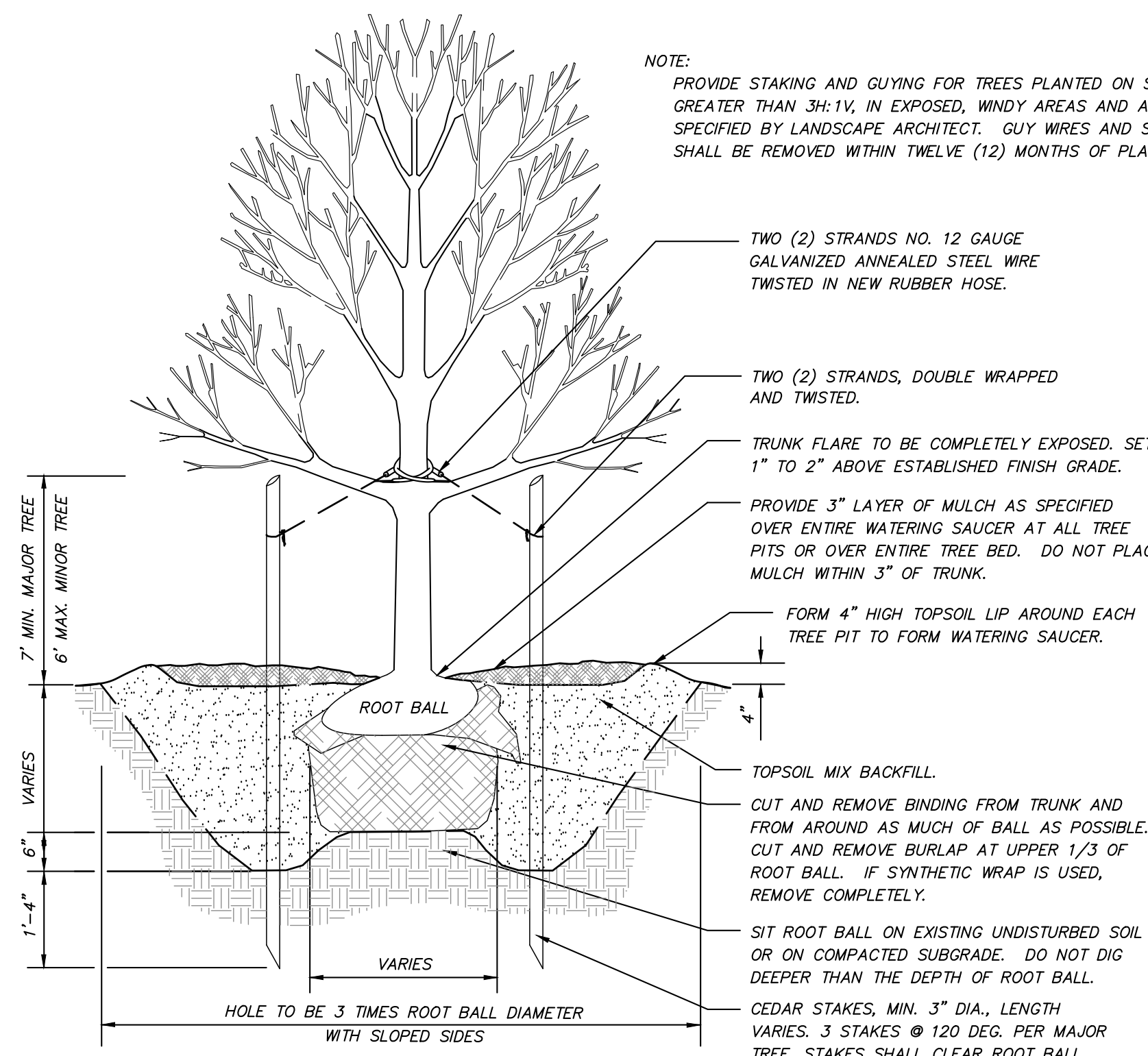
DROP CURB DETAIL  
(N.T.S.)



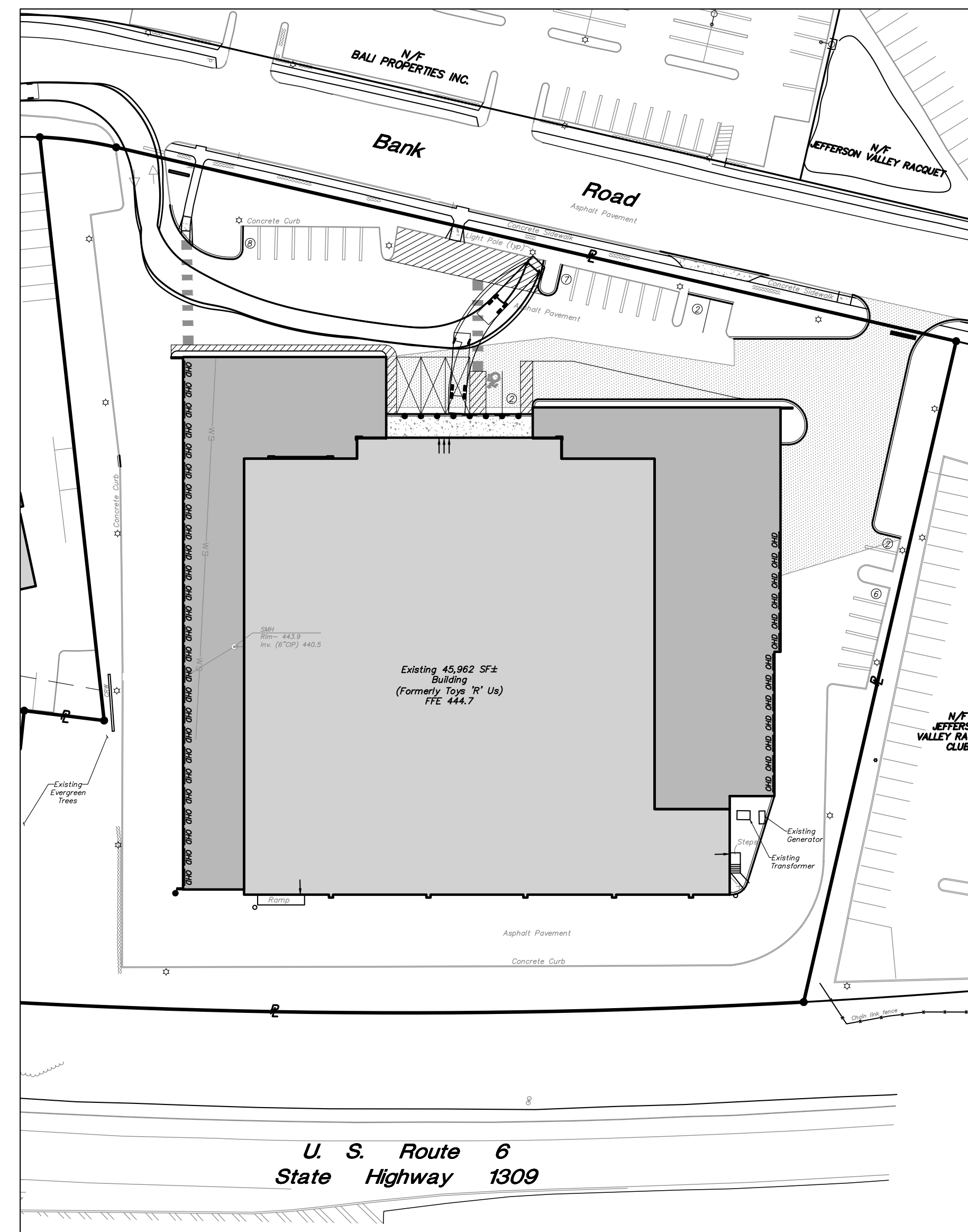
SHRUB PLANTING DETAIL  
(N.T.S.)



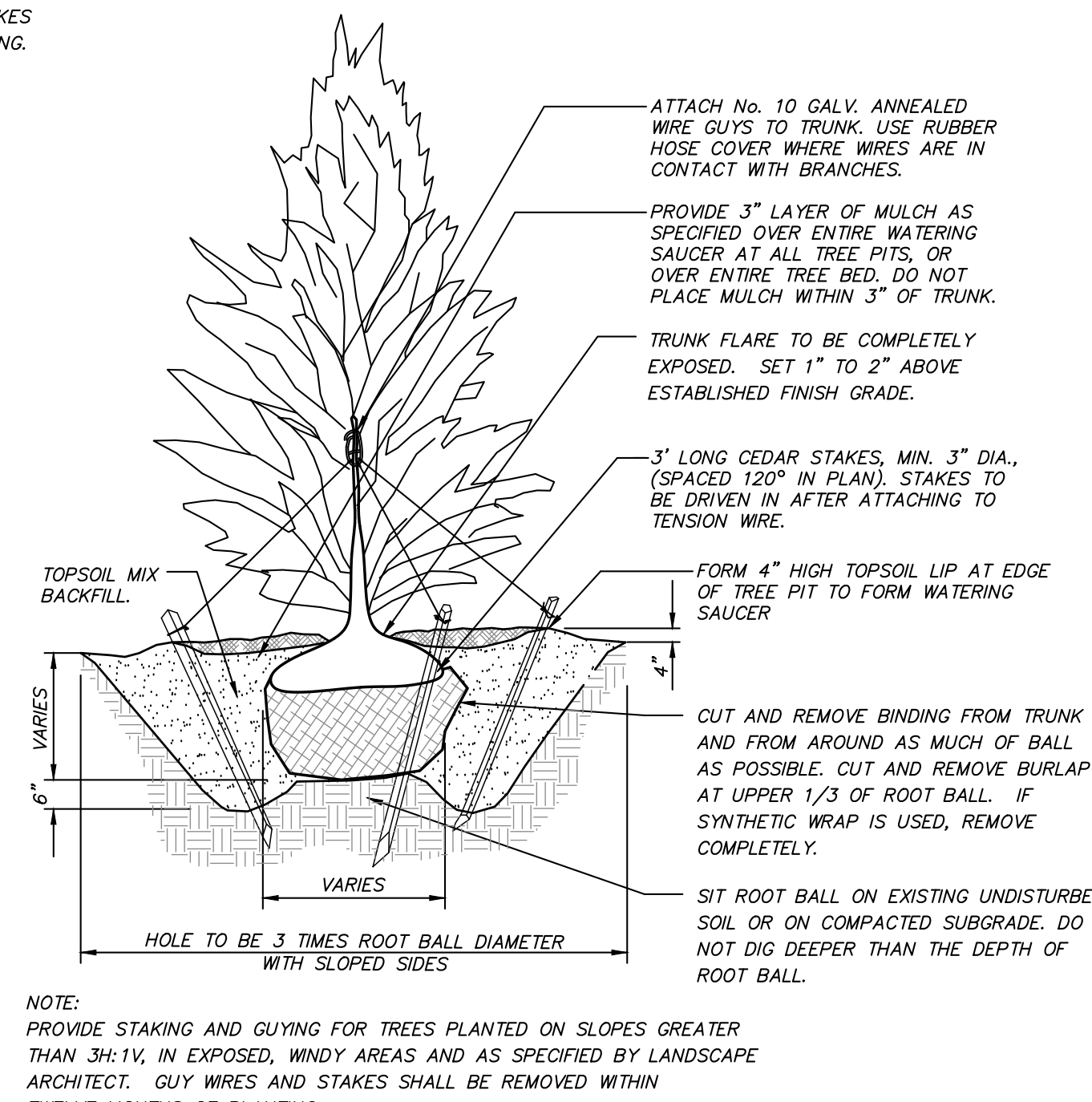
VEHICLE MANEUVERING PLAN  
SU-40 TRUCK  
SCALE: 1" = 50'



TREE PLANTING DETAIL  
(N.T.S.)



VEHICLE MANEUVERING PLAN  
SU-40 TRUCK  
SCALE: 1" = 50'



EVERGREEN TREE PLANTING DETAIL  
(N.T.S.)

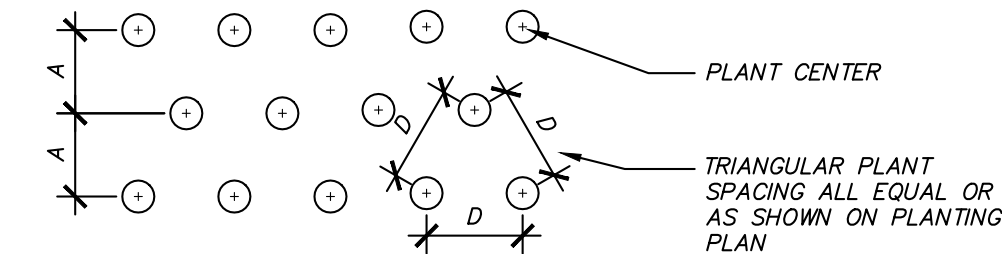
GENERAL SITE SEEDING NOTES:

- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
  - select seed mixture per drawings and seeding notes.
  - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorus) fertilizer or equivalent.
  - mulch: soil hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005. If the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- The seed mixes as specified on these drawings are as follows:
 

A. Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:	
Kentucky Bluegrass	20%
Creeping Red Fescue	40%
Perennial Ryegrass	20%
Annual Ryegrass	20%

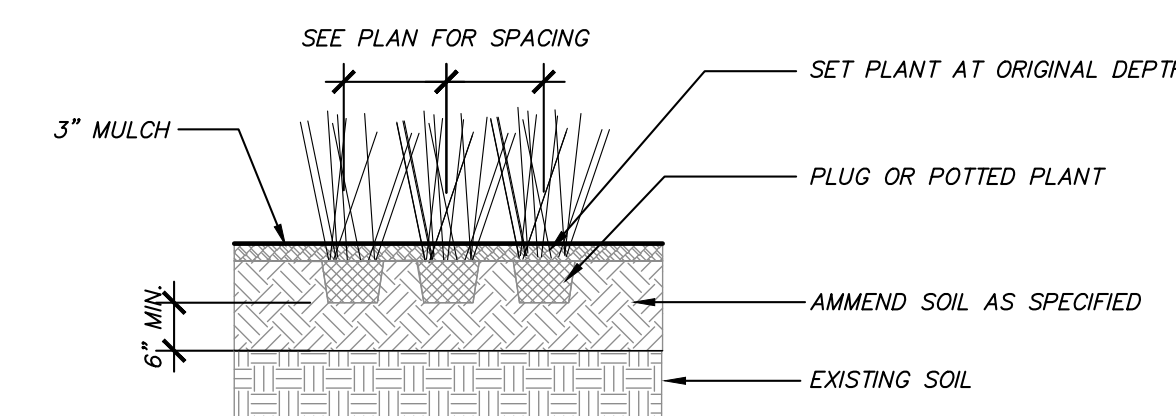
GENERAL PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



GRASS PLANT SPACING PLAN

SPACING "D"	ROW "A"	PLANTS PER SQ. FT.	NOTES:
24" O.C.	20.8"	0.29	PLANT QUANTITIES WERE DETERMINED BY MULTIPLYING AREA (SQ. FT.) BY NUMBER OF PLANTS PER SQ. FT. FOR REQUIRED SPACING
18" O.C.	15.6"	0.50	
12" O.C.	10.4"	1.15	
10" O.C.	8.7"	1.66	
8" O.C.	6.9"	2.60	QUANTITY OF PLANTS AND SPACING AS NOTED IN PLANTING SCHEDULE



PERENNIAL / ORNAMENTAL GRASS PLANTING DETAIL  
(N.T.S.)

NO.	DATE	REVISED PER TOWN COMMENTS	MEU
1	12-4-20		MEU
		REVISION	BY

PROJECT:  
**NY SELF STORAGE - JEFFERSON VALLEY**

621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING:  
**DETAILS SHEET**

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SCALE	AS NOTED	CHECKED BY	A.D.T.		



**REQUIRED EROSION CONTROL SWPPP CONTENTS:**

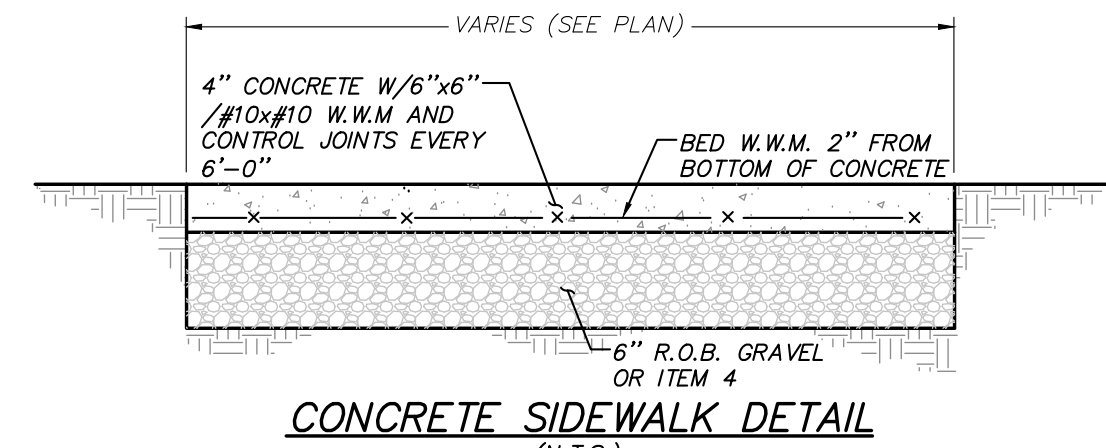
Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plans (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:

- Background information: The subject project consists of the expansion of an existing building and appurtenances.
- Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
- Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Urban land (U1) & Charlton fine sandy loam (ChB), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B".
- Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Erosion and Sediment Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
- Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.
- Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
- Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
- The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
- An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-20-001. In addition the NYSDEC trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
- A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
- A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
- Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control." All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

**EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE**

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
INLET PROTECTION	-	Inspect	Inspect	Clean/Repair/Replace	Remove

\* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is: Columbia Pacific Advisors 1910 Fairview Ave. E., Suite 200, Seattle, WA 98102 and/or the current owner(s) of the subject property.



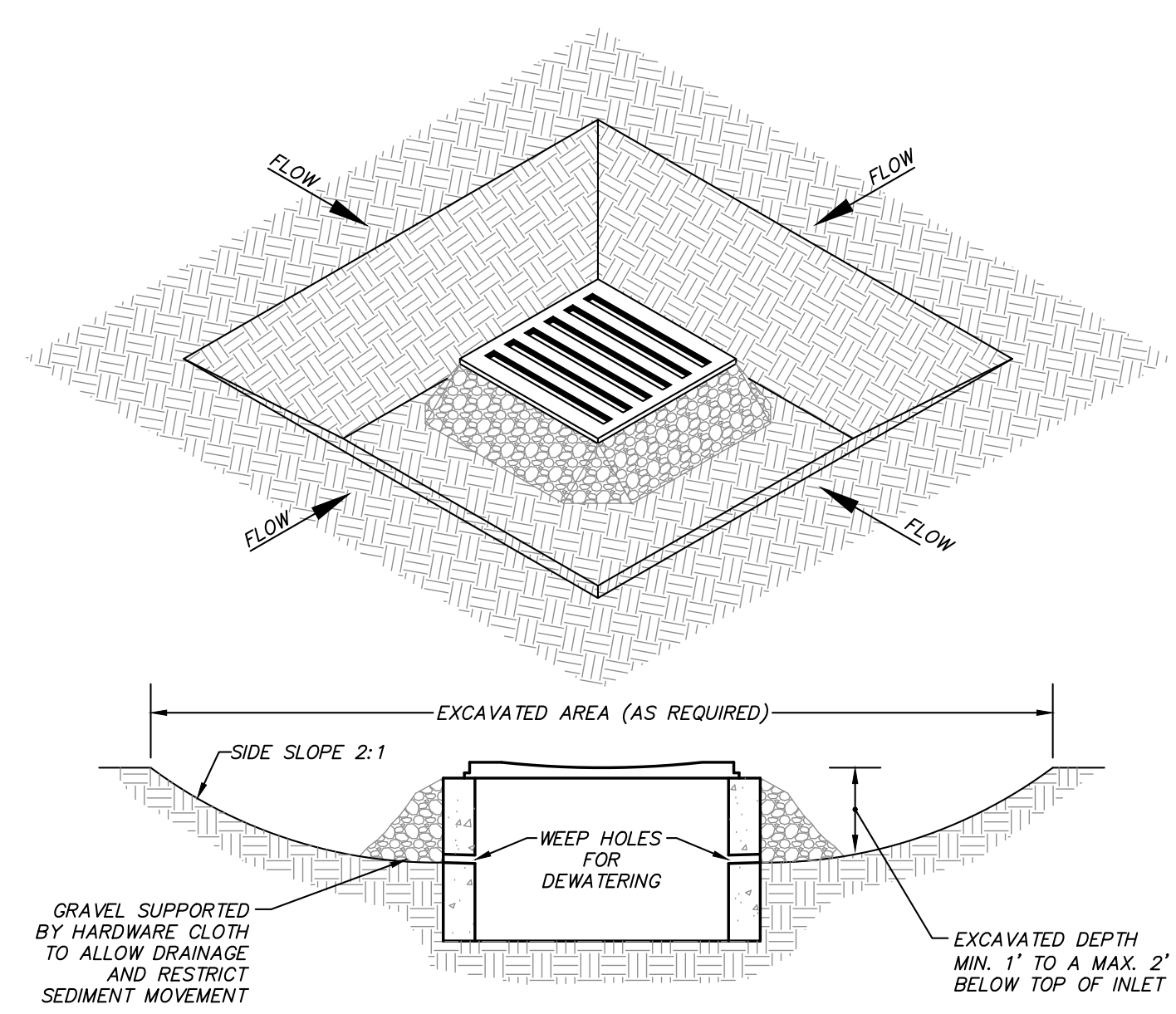
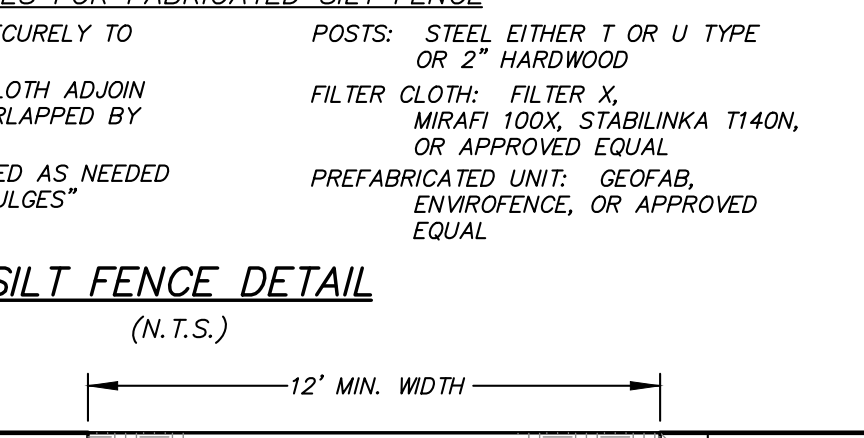
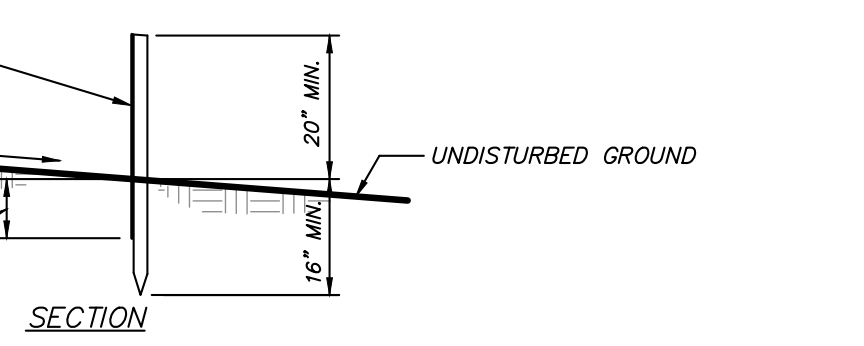
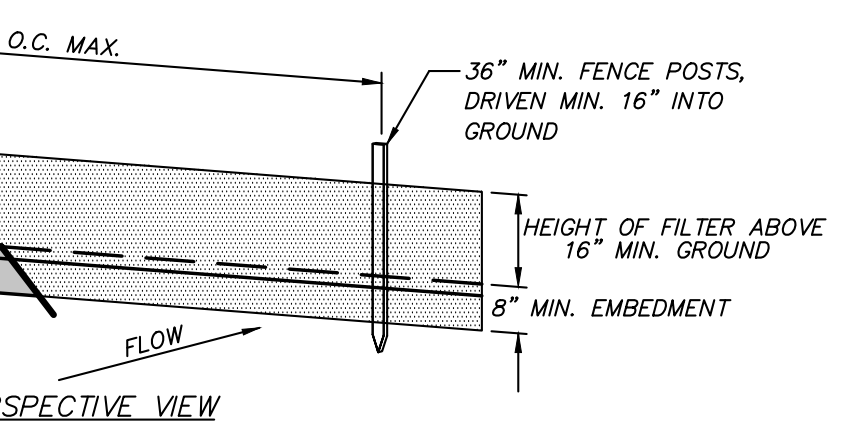
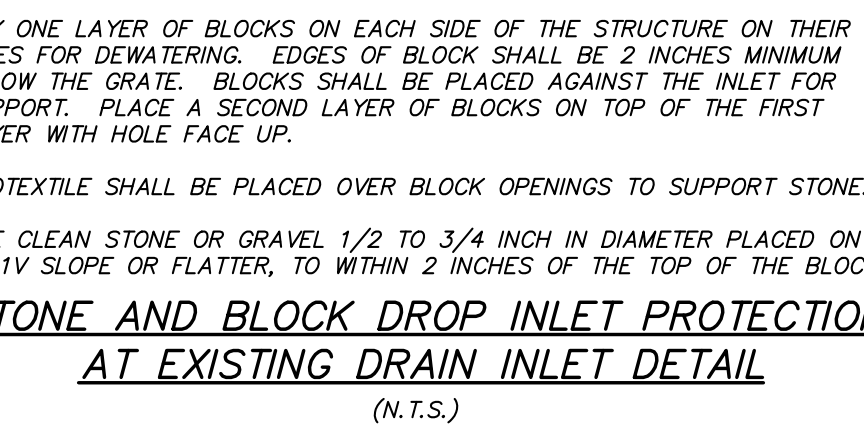
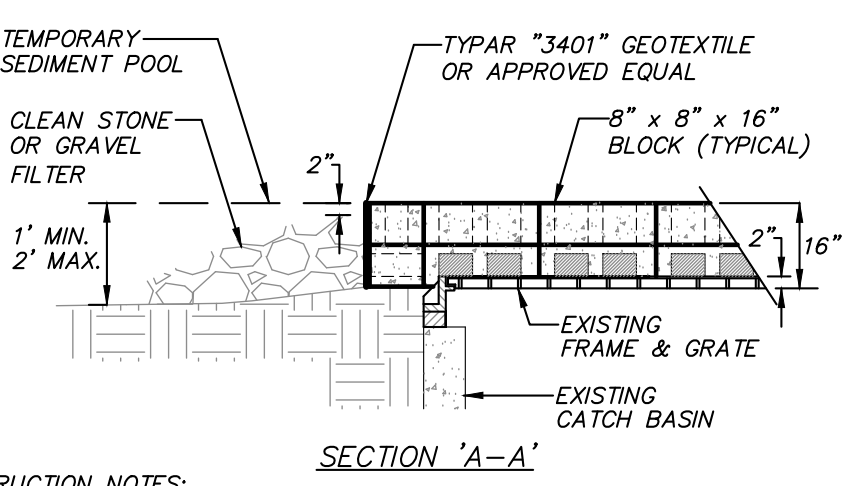
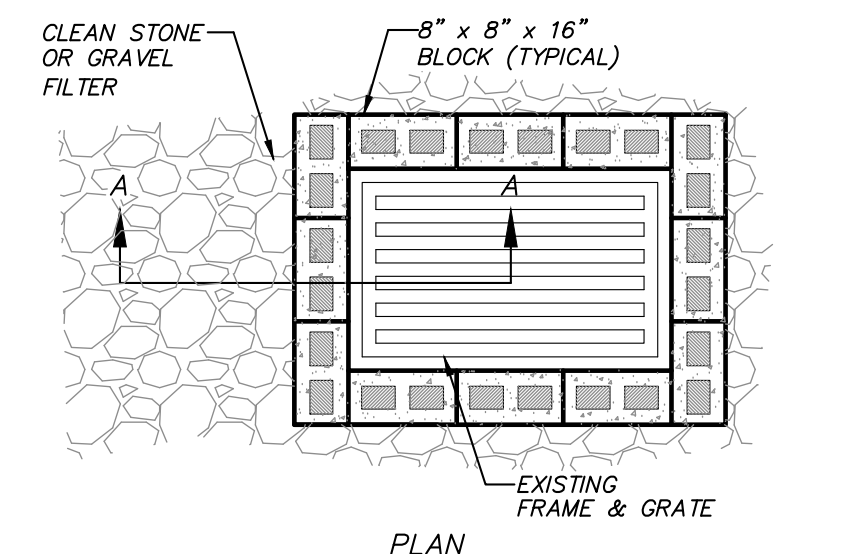
1	12-4-20	REVISED PER TOWN COMMENTS	MEU
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place  
Cornell, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

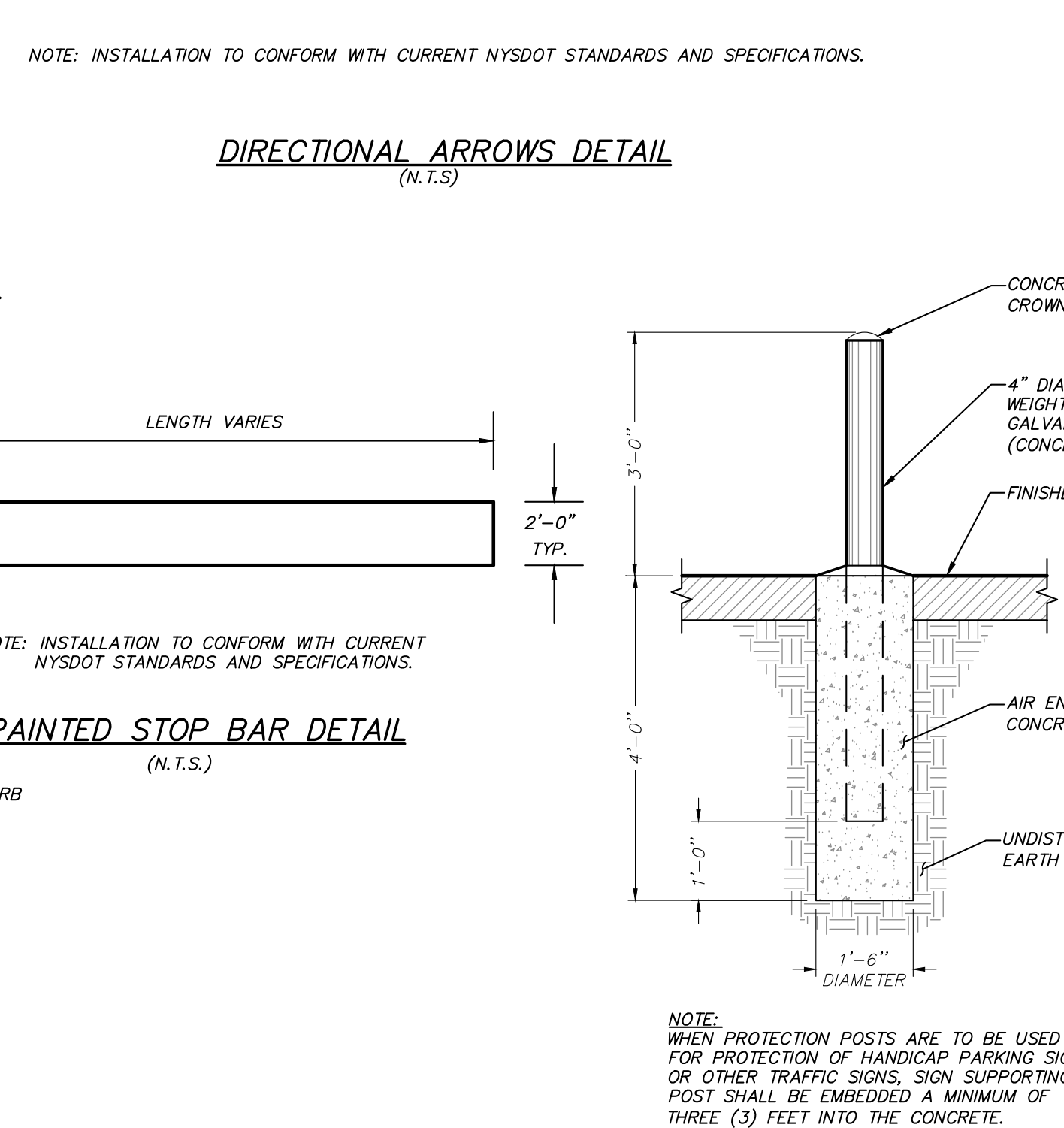
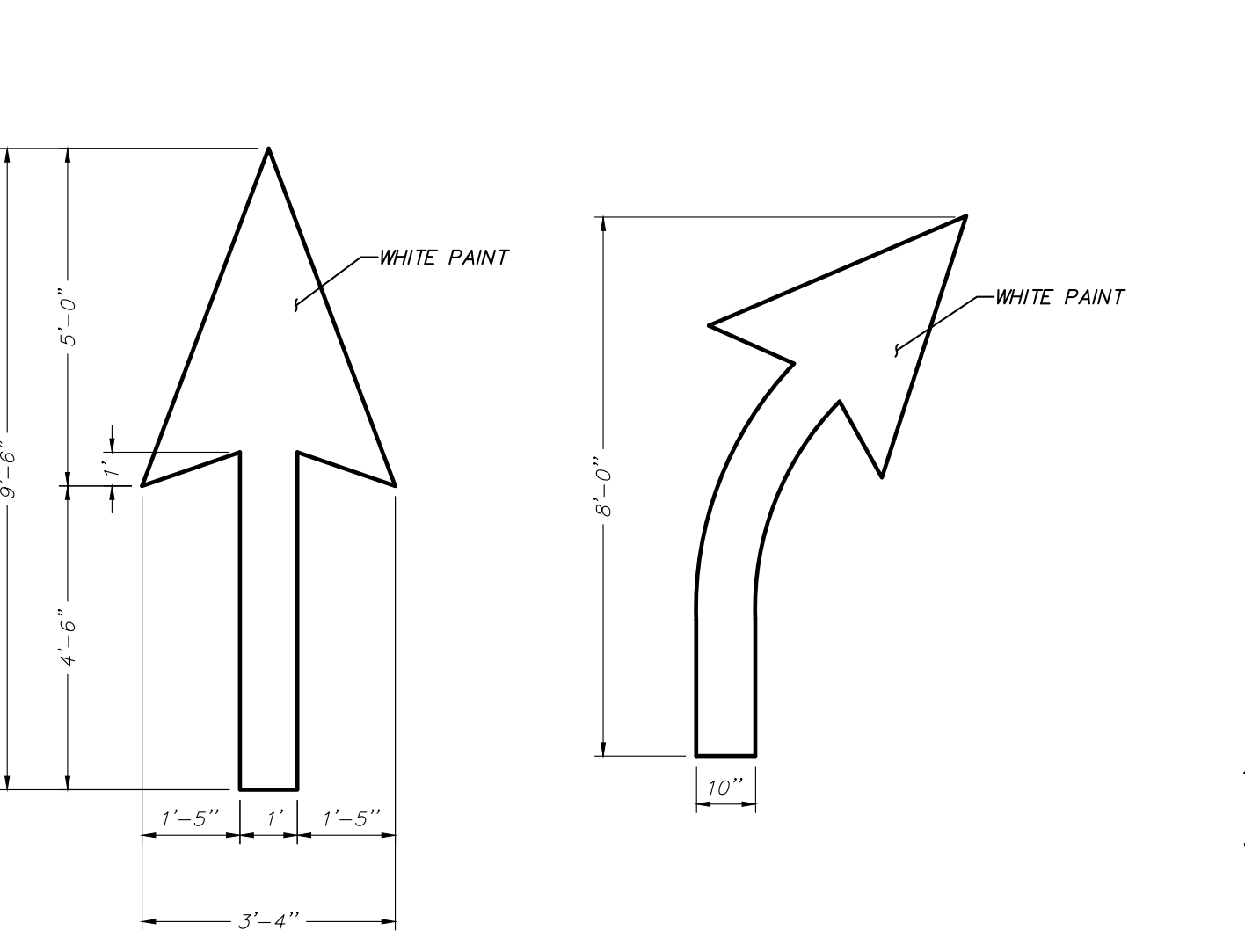
PROJECT: **NY SELF STORAGE - JEFFERSON VALLEY**  
621 BANK ROAD, TOWN OF YORKTOWN, WESTCHESTER CO., NY

DRAWING: **EROSION CONTROL DETAILS SHEET**

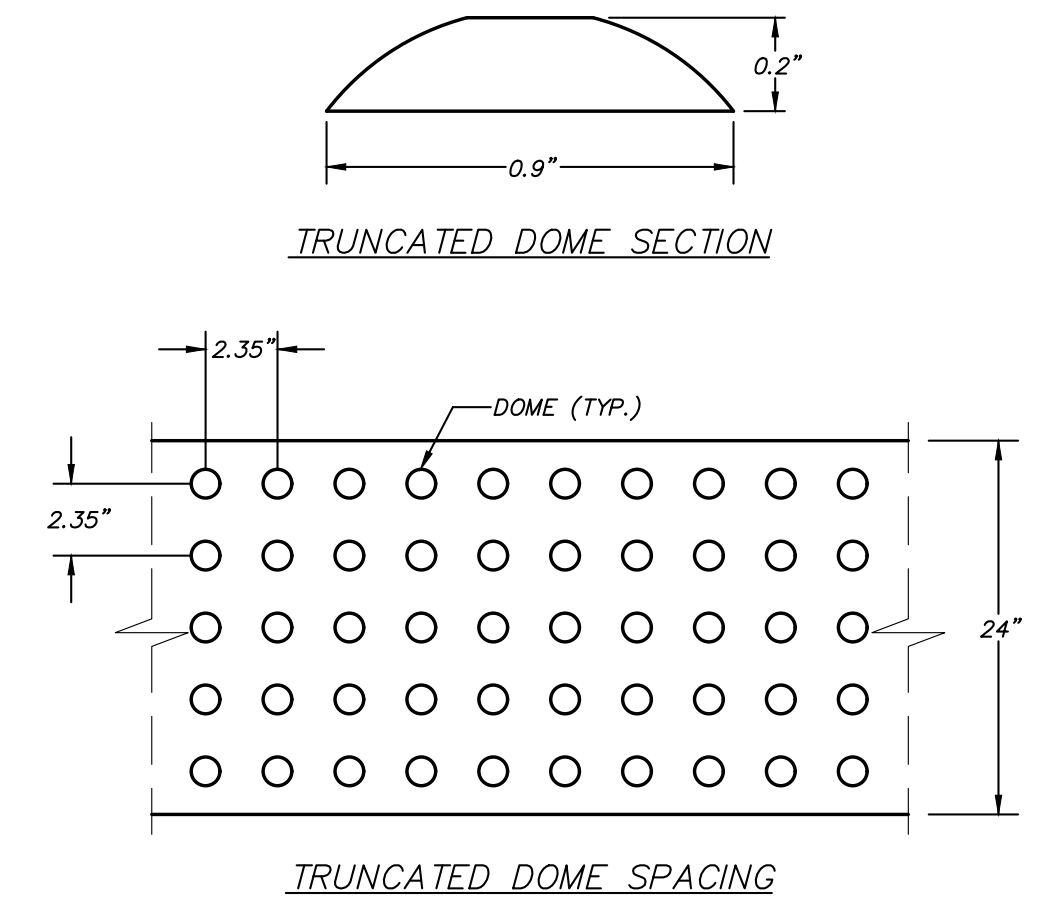
PROJECT NUMBER	20217.100	PROJECT MANAGER	J.J.C.	DRAWING NO.	SHEET
DATE	9-25-20	DRAWN BY	E.R.A.	D-2	6
SCALE	AS NOTED	CHECKED BY	A.D.T.		6



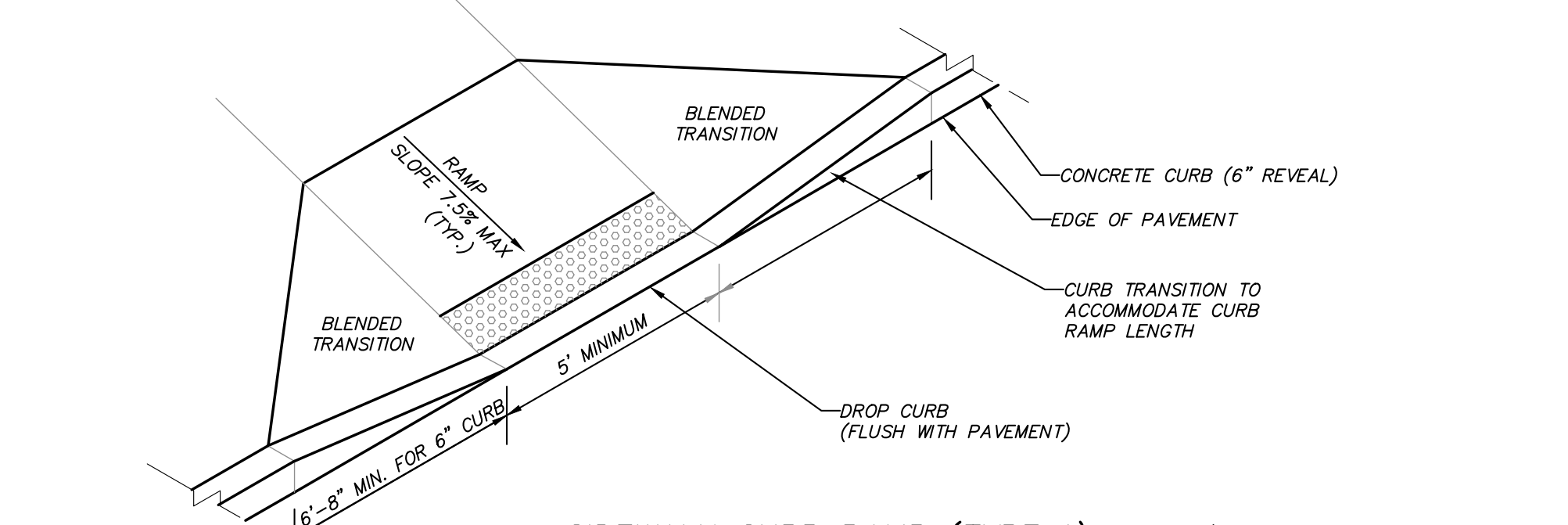
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
- MAXIMUM DRAINAGE AREA = 1 ACRE



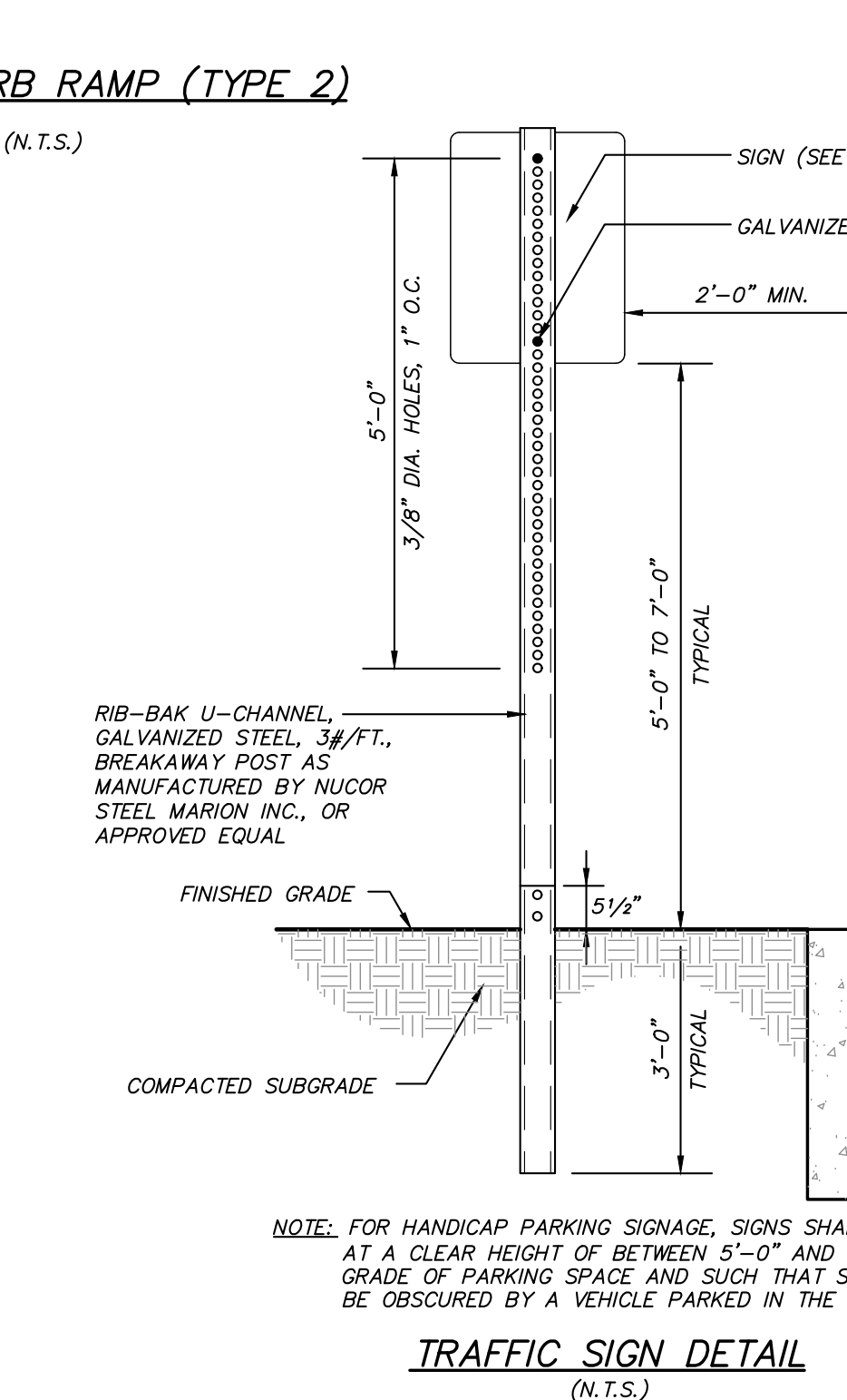
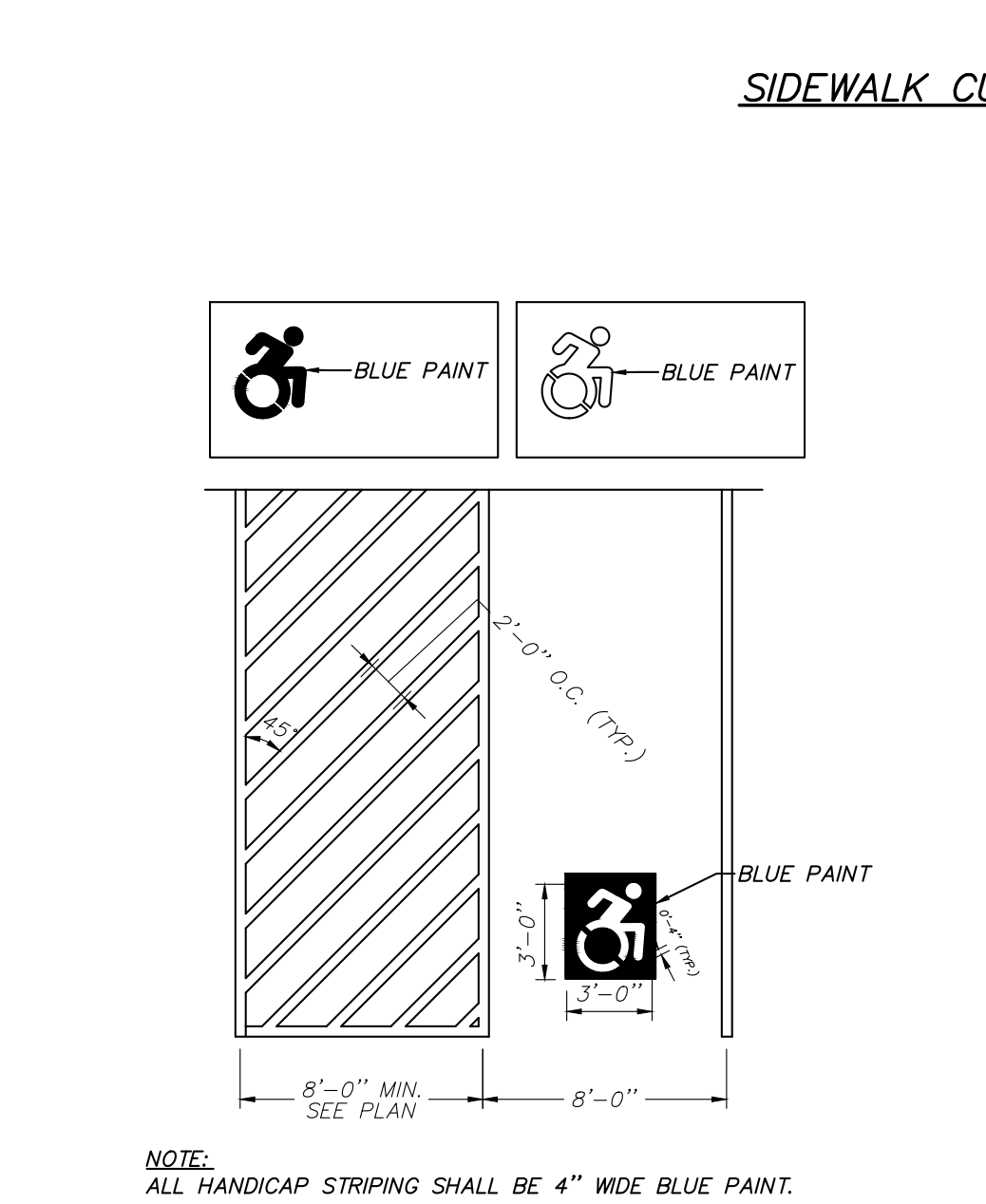
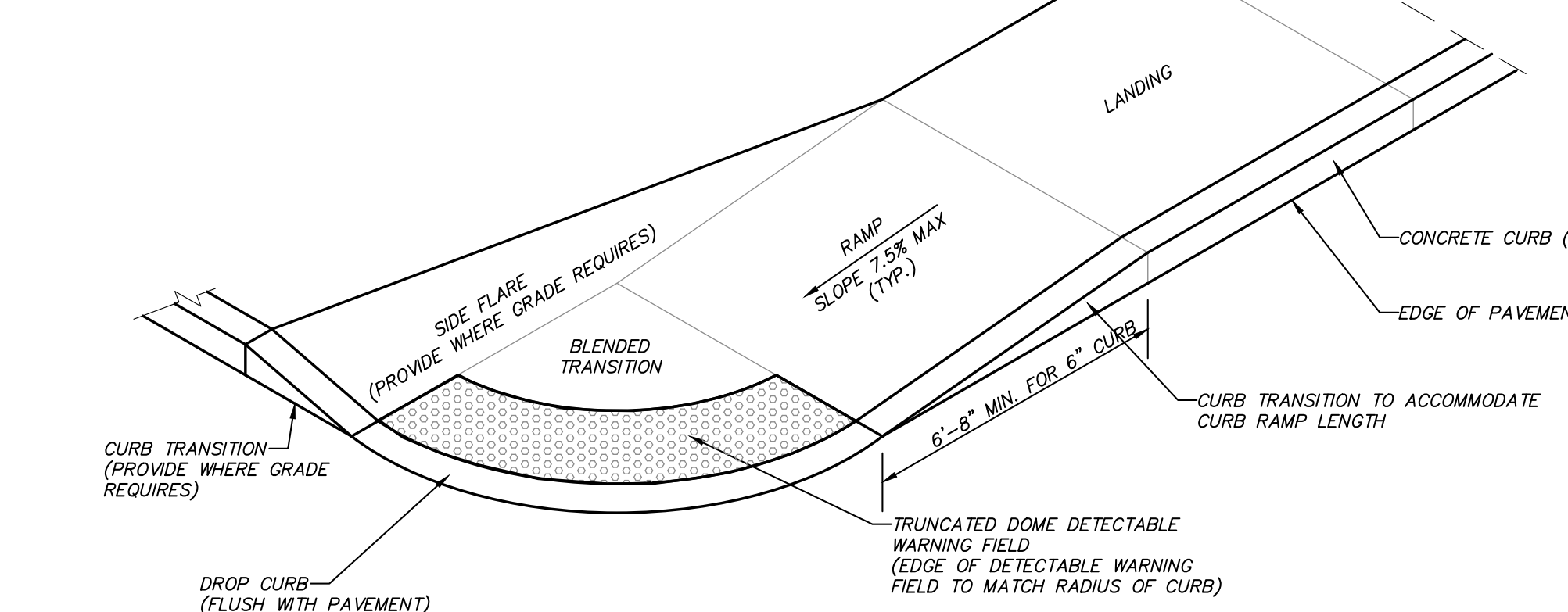
- NOTES:**
- The detectable warning field shall consist of raised truncated domes with a nominal diameter of 0.9 inches, a nominal height of 0.2 inches, and a nominal spacing of 2.35 inches on center in accordance with the Department of Justice-Code of Federal Regulations, 28 CFR Part 36, Chapter 4 "ADA Standards for Accessible Design", revised as of July 1, 1994.
  - The details provided are not drawn to scale. The quantity of domes depicted on the detectable warning field (the domes and the entire 24 inch level surface) is for illustration only.
  - The size of the detectable warning field shall be 24 inches in the direction of travel and shall extend the full width of the curb ramp or flush surface, exclusive of side flares.
  - Detectable warnings shall be located so that the edge of the warning field nearest to the roadway or street surface is 6 inches to 9 inches from the edge of the roadway/street, or from the front of the dropped curb, where a dropped curb continues across the bottom of the sidewalk curb ramp.
  - Domes shall be aligned on a square grid in the predominant direction of travel.
  - The detectable warning field shall be the color specified in the contract documents. Detectable warning surfaces shall contrast visually with adjacent gutter, street, highway, or pedestrian access route surface, either light-on-dark or dark-on-light.
  - Payment lines are the 24 inch dimension shown in the details extending the full width of the curb ramp and/or applicable surfaces.
  - The detectable warning shall be a non-skid liquid applied truncated dome field as manufactured by Vanguard ADA Systems of America, or approved equal.
  - Provide a broom finish, flush to adjacent sidewalk/curb, on all areas to receive the detectable warning fields.



**TRUNCATED DOME DETAIL**  
(N.T.S.)



**SIDEWALK CURB RAMP (TYPE 2)**  
(N.T.S.)



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 7209 OF ARTICLE 145 OF THE EDUCATION LAW.