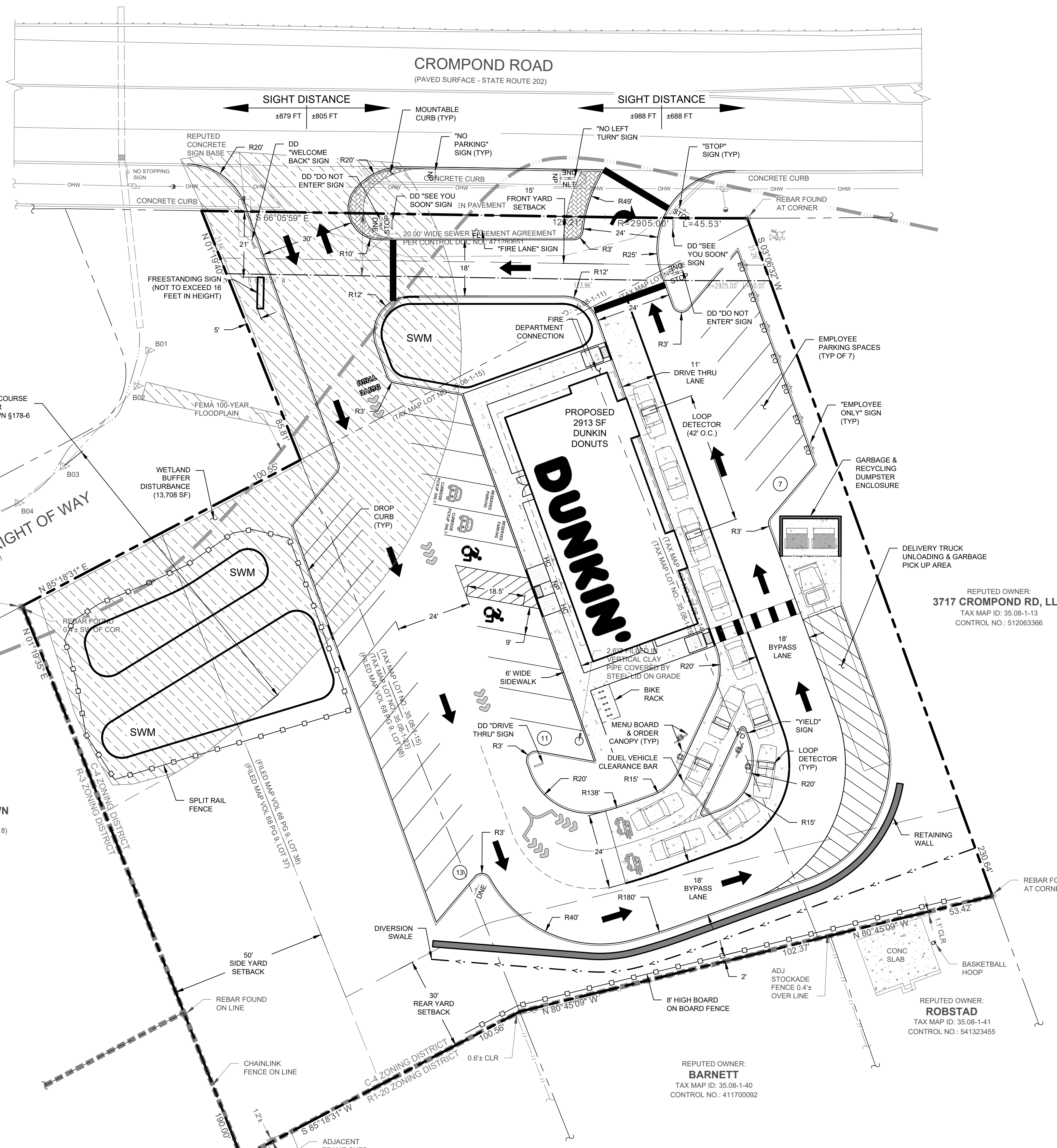


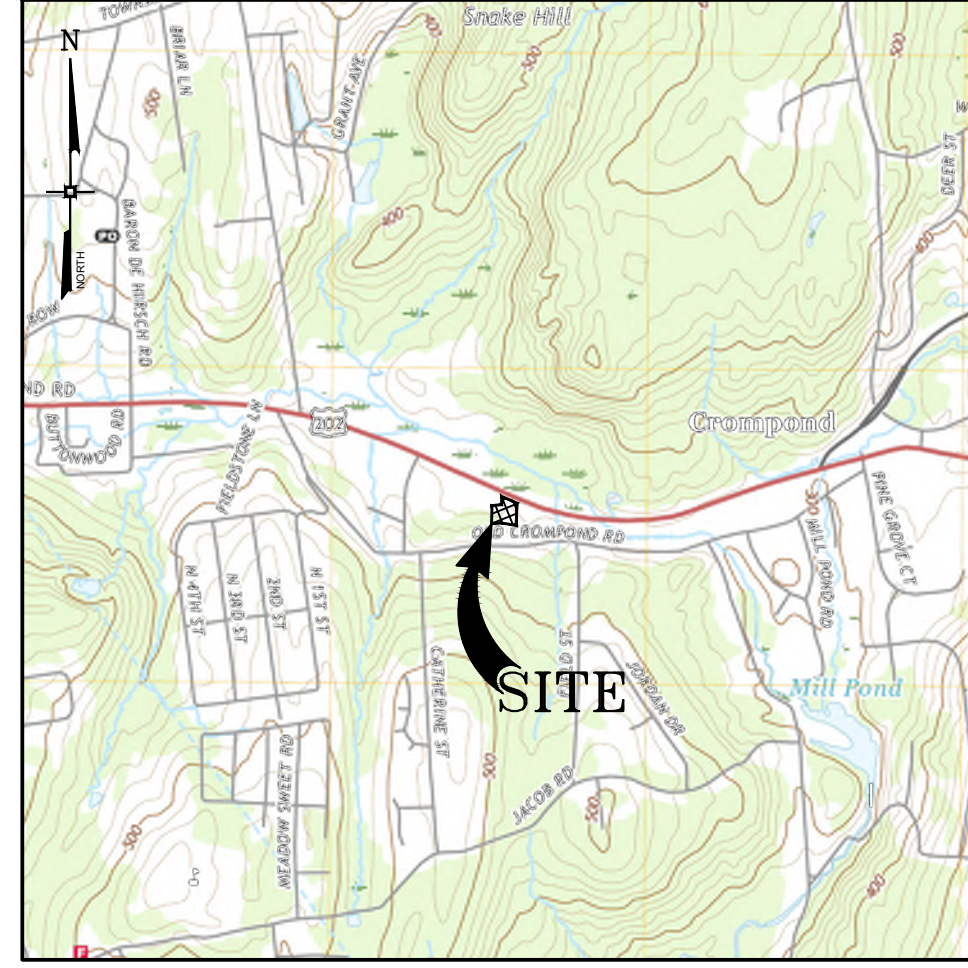
LIST OF DRAWINGS

DRAWING #	TITLE	SHEET #
C-101	SITE PLAN	1
C-102	EXISTING CONDITIONS & DEMOLITION PLAN	2
C-103	GRADING & DRAINAGE PLAN	3
C-104	UTILITY PLAN	4
C-105	EROSION & SEDIMENT CONTROL PLAN	5
C-106	LIGHTING PLAN	6
C-107	LANDSCAPING PLAN	7
C-201	LINE OF SIGHT PROFILES	8
C-301	DETAILS	9
C-302	DETAILS	10
C-303	DETAILS	11
C-304	DETAILS	12



GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: SECTION 35.08 BLOCK 1 LOTS 11, 14, 15 & 23
- TOTAL AREA OF SUBJECT PARCELS: 1.357± ACRES.
- BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON FIELD SURVEY AS PERFORMED BY ENGINEERING & SURVEYING PROPERTIES PC ON OCTOBER 21, 2022.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS.GIS.GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- OWNER / APPLICANT: SDML REALTY, LLC
PO BOX 755
CROMPOND, NY 10517
- THE PROPOSED LOT SHALL BE SERVICED BY PUBLIC WATER AND SEWER SERVICES.
- WETLAND BOUNDARY AS PER FIELD DELINEATION BY ECOLOGICAL ANALYSIS, LLC ON DECEMBER 1, 2022 AND FIELD LOCATED BY ENGINEERING & SURVEYING PROPERTIES, PC ON DECEMBER 6, 2022.
- APPROXIMATE SIZE AND LOCATION OF FEMA 100-YEAR FLOODPLAIN TAKEN FROM THE FEDERAL EMERGENCY MANAGEMENT (FEMA) FLOOD INSURANCE RATE MAP, WESTCHESTER COUNTY, COMMUNITY: TOWN OF CORTLANDT AND YORKTOWN, NUMBER 35119C0303F, PANEL NUMBER 36 OF 426, EFFECTIVE DATE SEPTEMBER 29, 2007.
- FOOD DELIVERY SHALL TAKE PLACE BETWEEN THE HOURS OF 7 AM AND 4 PM.
- BOX TRUCK DELIVERY OF DONUTS SHALL TAKE PLACE DAILY BETWEEN THE HOURS OF 12 AM AND 2 AM.
- GARBAGE PICK UP SHALL TAKE PLACE BETWEEN THE HOURS OF 7 AM AND 4 PM.
- PER LOCAL LAW, A FIRE SPRINKLER SYSTEM WILL BE REQUIRED.



LOCATION MAP

SCALE: 1" = 200'

BULK REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300 ATCH 2)

MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	NONE	59,110 SF
LOT WIDTH	25 FEET	173.5 FEET
LOT DEPTH	100 FEET	263.9 FEET
FRONT YARD	15 FEET	31.4 FEET
REAR YARD	30 FEET	130.5 FEET
SIDE YARD	50 FEET	63.8 FEET

MAXIMUM ALLOWABLE	REQUIRED	PROPOSED
BUILDING HEIGHT	35 FT	28.0 FT
LOT COVERAGE (BUILDINGS)	30 %	5.2 %

* NONE, BUT IF PROPERTY ADJOINS AN R DISTRICT, SHALL BE 50 FEET.

PARKING REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300-182(A)(5))

BUILDING AREA:	1,130 SF
AREA DEVOTED TO PATRON USE	1,130 SF
AREA DEVOTED TO FOOD PREPARATION	1,783 SF
TOTAL BUILDING AREA	2,913 SF

PARKING SPACES REQUIRED:
1,130 SF x 1 SPACE PER 50 SF = 23 SPACES
1,783 SF x 1 SPACE PER 100 SF = 18 SPACES

TOTAL SPACES REQUIRED: 41 SPACES
TOTAL SPACES PROVIDED: 31 SPACES

* WAIVER REQUESTED FROM TOTAL REQUIRED PARKING SPACES.

LOADING REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300-186(A)(1))

BUILDING AREA:	2,913 SF
----------------	----------

LOADING SPACES REQUIRED:
FIRST 4,000 SF x 1 SPACE = 1 SPACE
1 ADDITIONAL SPACE FOR EACH 40,000 SF = 0 SPACES

TOTAL SPACES REQUIRED: 1 SPACE
TOTAL SPACES PROVIDED: 1 SPACE

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
3	04/06/23	REVISED PER PLANNING BOARD COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	04/06/23
CONCEPT APPROVAL	N/A OF N/A
PLANNING BOARD APPROVAL	1 OF 12
WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
NYSDEC APPROVAL	N/A OF N/A
NYSDOT APPROVAL	N/A OF N/A
OTHER	N/A OF N/A
FOR BID	N/A OF N/A
FOR CONSTRUCTION	N/A OF N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.
THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

1 inch = 20 ft.

RECEIVED
PLANNING DEPARTMENT
APR 12 2023
TOWN OF YORKTOWN

ENGINEERING & SURVEYING PROPERTIES
Achieving Successful Results with Innovative Designs

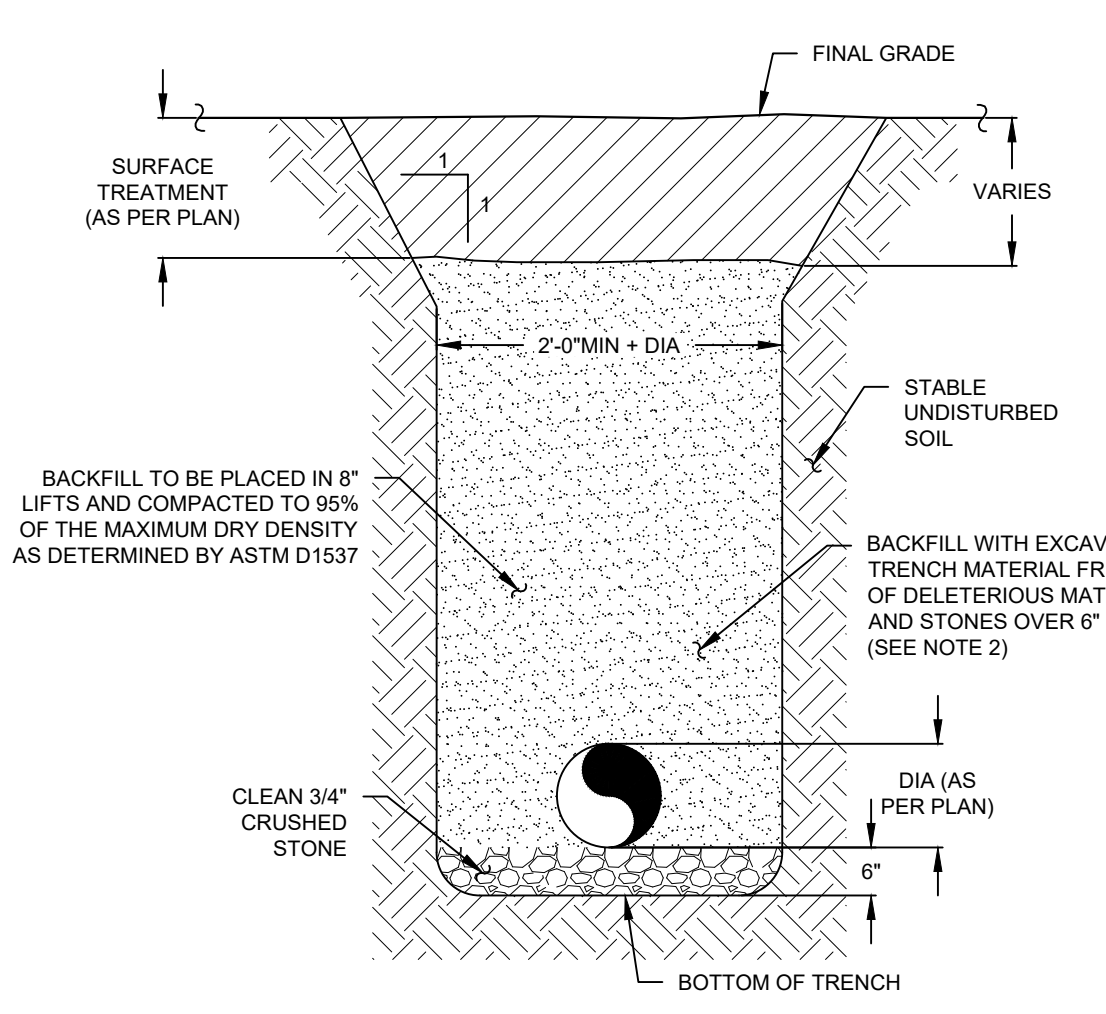
MONTGOMERY OFFICE
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
WWW.EP-PC.COM

SITE PLAN

SDML REALTY, LLC.
3735 CROMPOND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

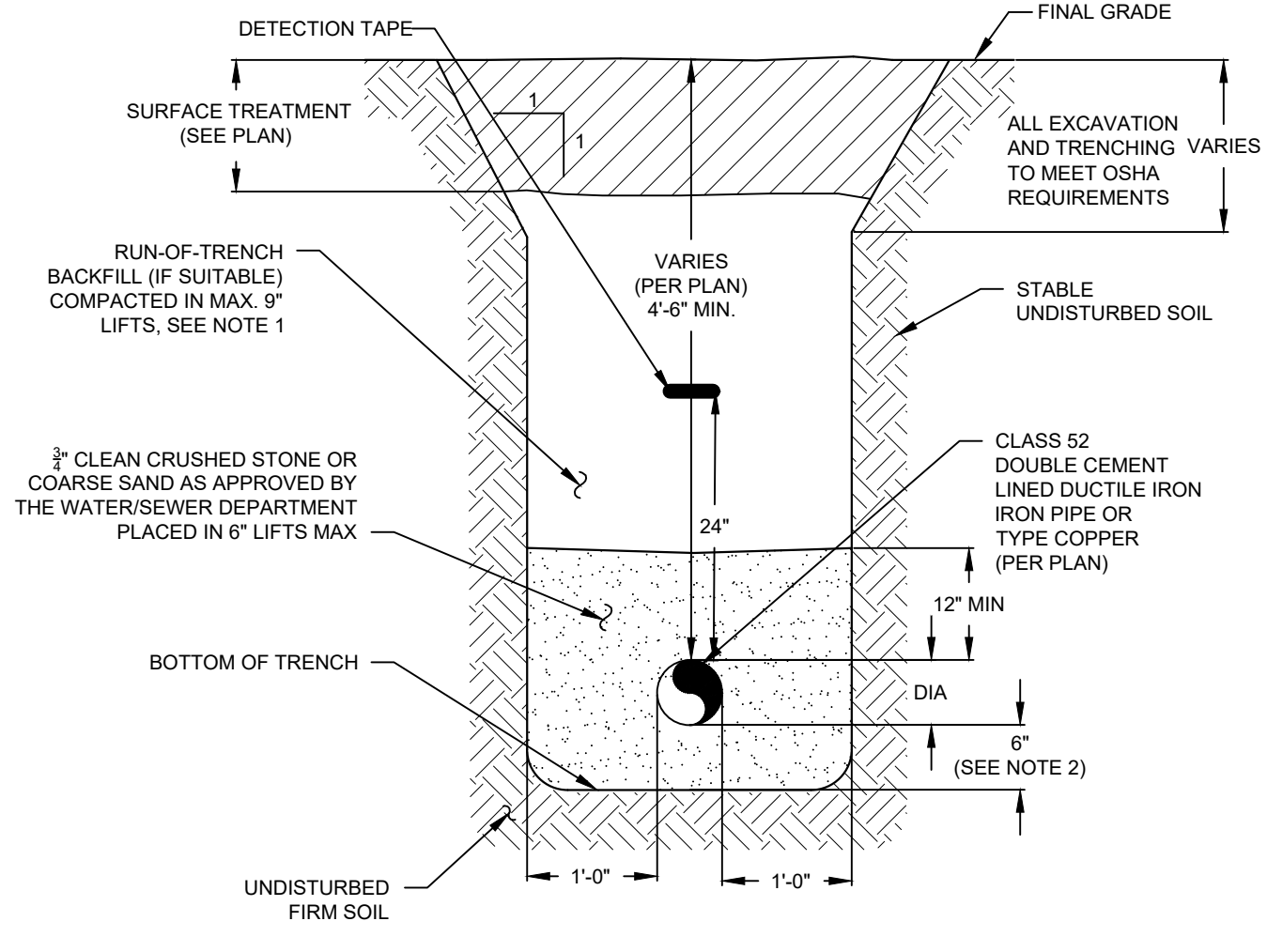
JOB #:	1932.01	DRAWN BY:	RMB
DATE:	12/16/22	SCALE:	1" = 20'
REVISION:	3 - 04/06/23	TAX LOT:	35.08-1-11, 14, 15 & 23

C-101



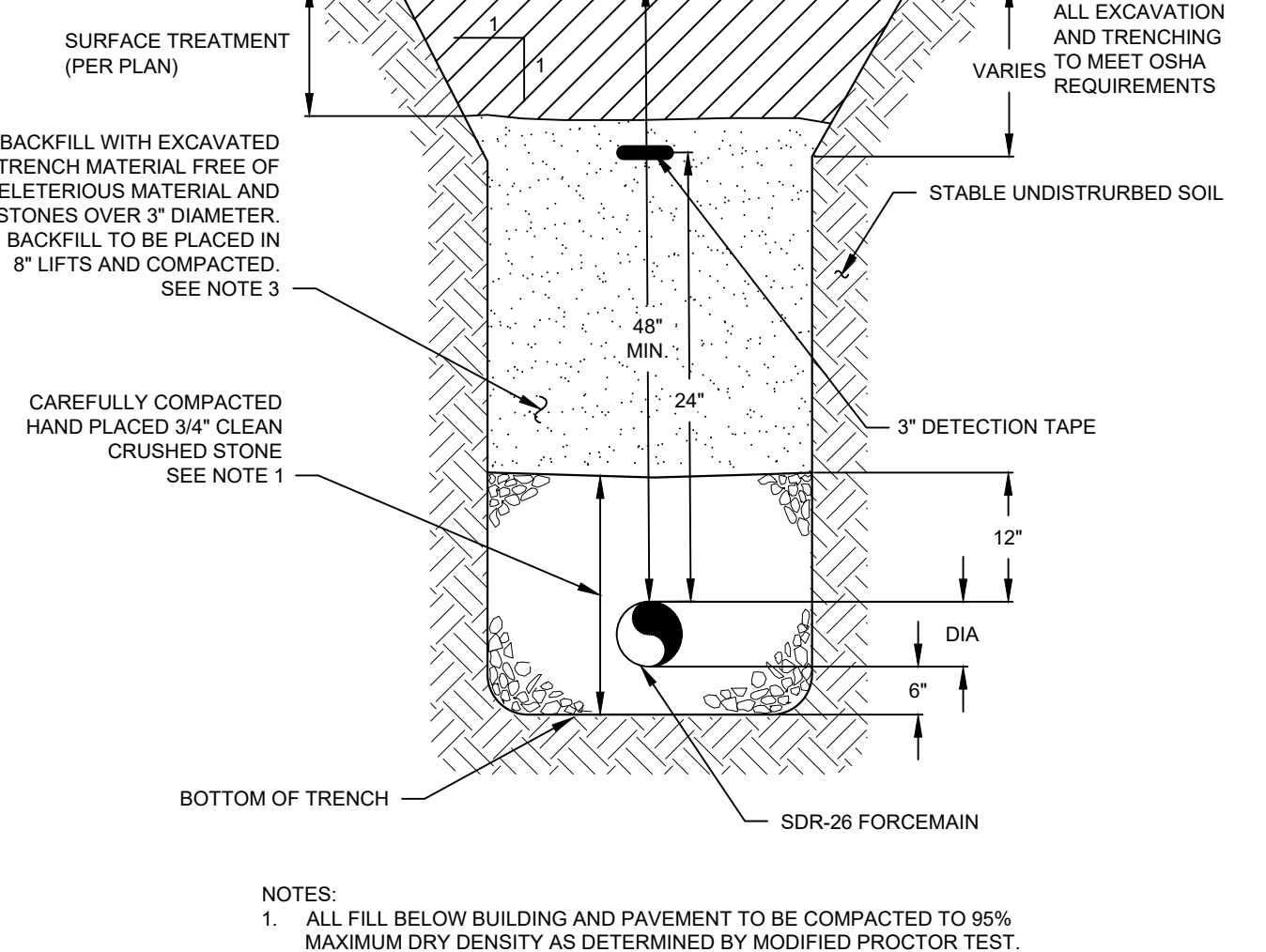
- NOTES:
- ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. OR WITHIN THE TOWN OF YORKTOWN RIGHT-OF-WAY SHALL BE WITH R.O.B. GRAVEL (NYS DOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - ALL DRAINAGE PIPE SHALL BE HDPE WITH A SMOOTH INVERT.
 - ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS.

DRAINAGE PIPE TRENCH
SCALE: N.T.S.



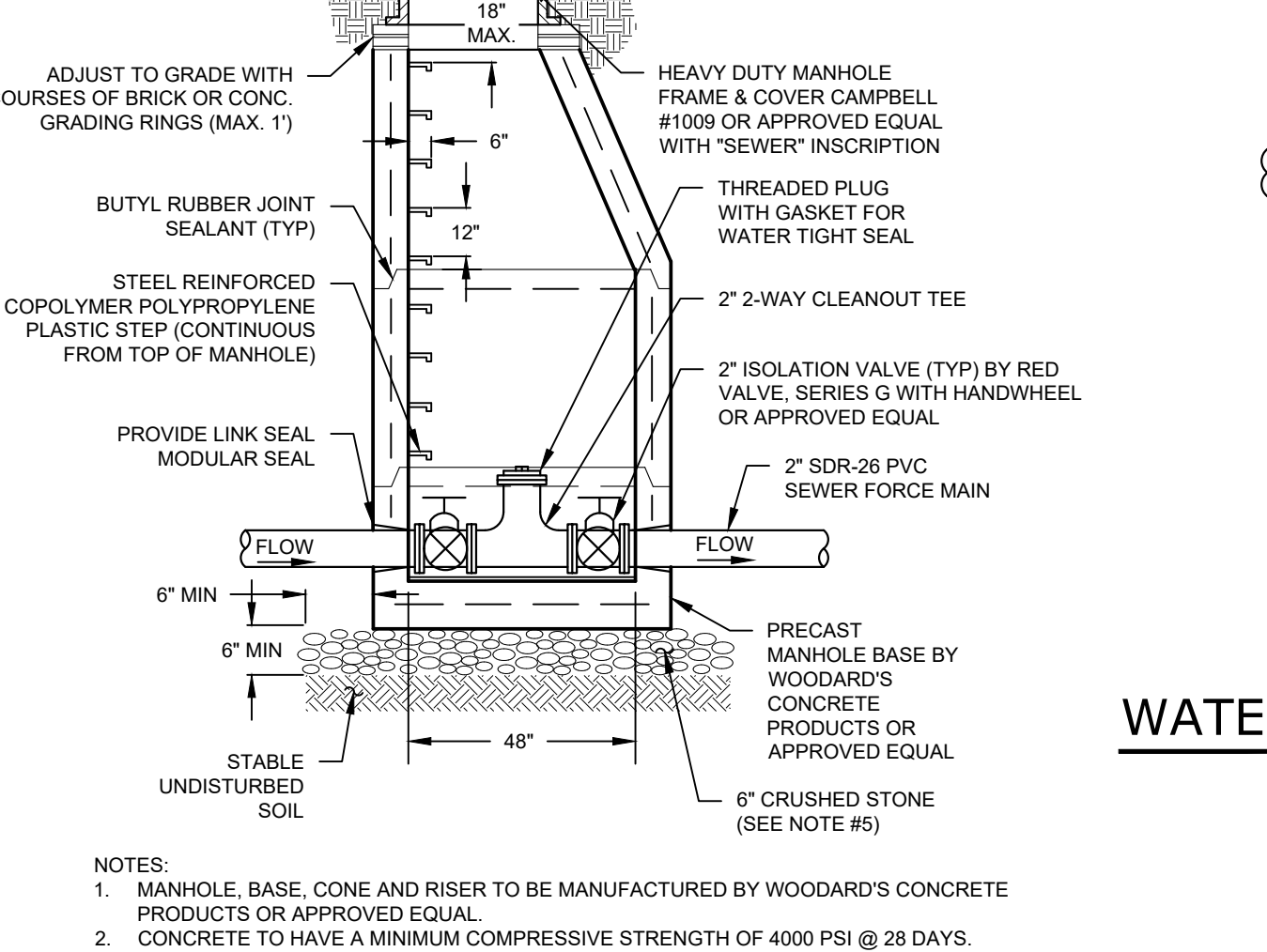
- NOTES:
- ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH NYS DOT ITEM #4 FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 9" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE TRENCH, THE PIPE BEDDING SHALL BE INCREASED TO 8" THICK.

WATER PIPE TRENCH
SCALE: N.T.S.



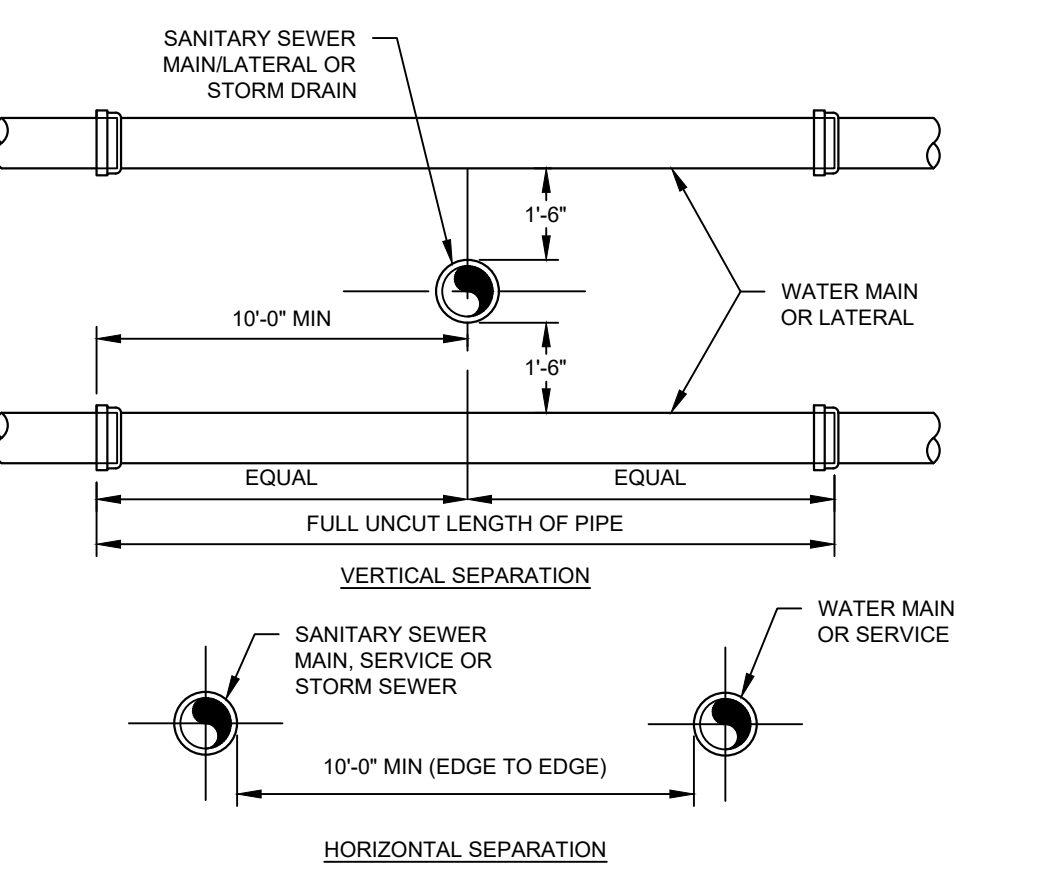
- NOTES:
- ALL FILL BELOW BUILDING AND PAVEMENT TO BE COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 - ALL SEWER MAINS SHALL BE 8" OR 10" SDR 35 PVC. ALL SEWER HEADERS SHALL BE 6" SDR 35 AND ALL SEWER LATERAL TO BE 4" SDR 35 PVC.
 - ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH ITEM 4 (NYS DOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.

SEWER PIPE TRENCH
SCALE: N.T.S.



- NOTES:
- MANHOLE, BASE, CONE AND RISER TO BE MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS OR APPROVED EQUAL.
 - CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
 - CONCRETE REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60 AND ASTM A185 GRADE 65.
 - CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
 - FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.
 - ANY STRUCTURE LOCATED WITHIN THE PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADING.

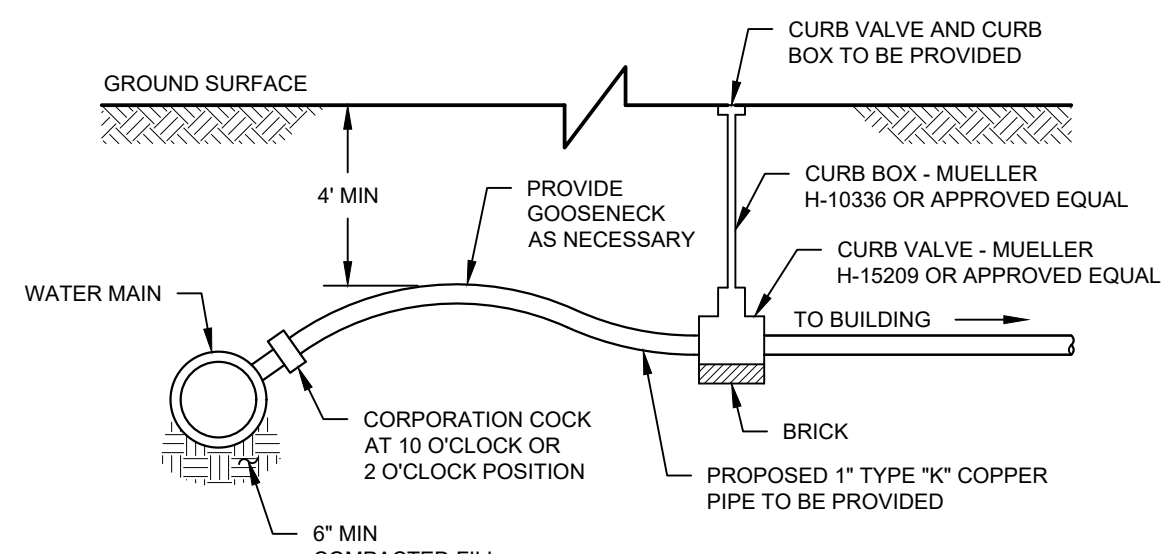
FORCEMAIN FITTING MANHOLE
SCALE: N.T.S.



- NOTES:
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS
SCALE: N.T.S.

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
3	04/06/23	REVISED PER PLANNING BOARD COMMENTS



WATER SERVICE CONNECTION
SCALE: N.T.S.

PUMP STATION CALCULATIONS

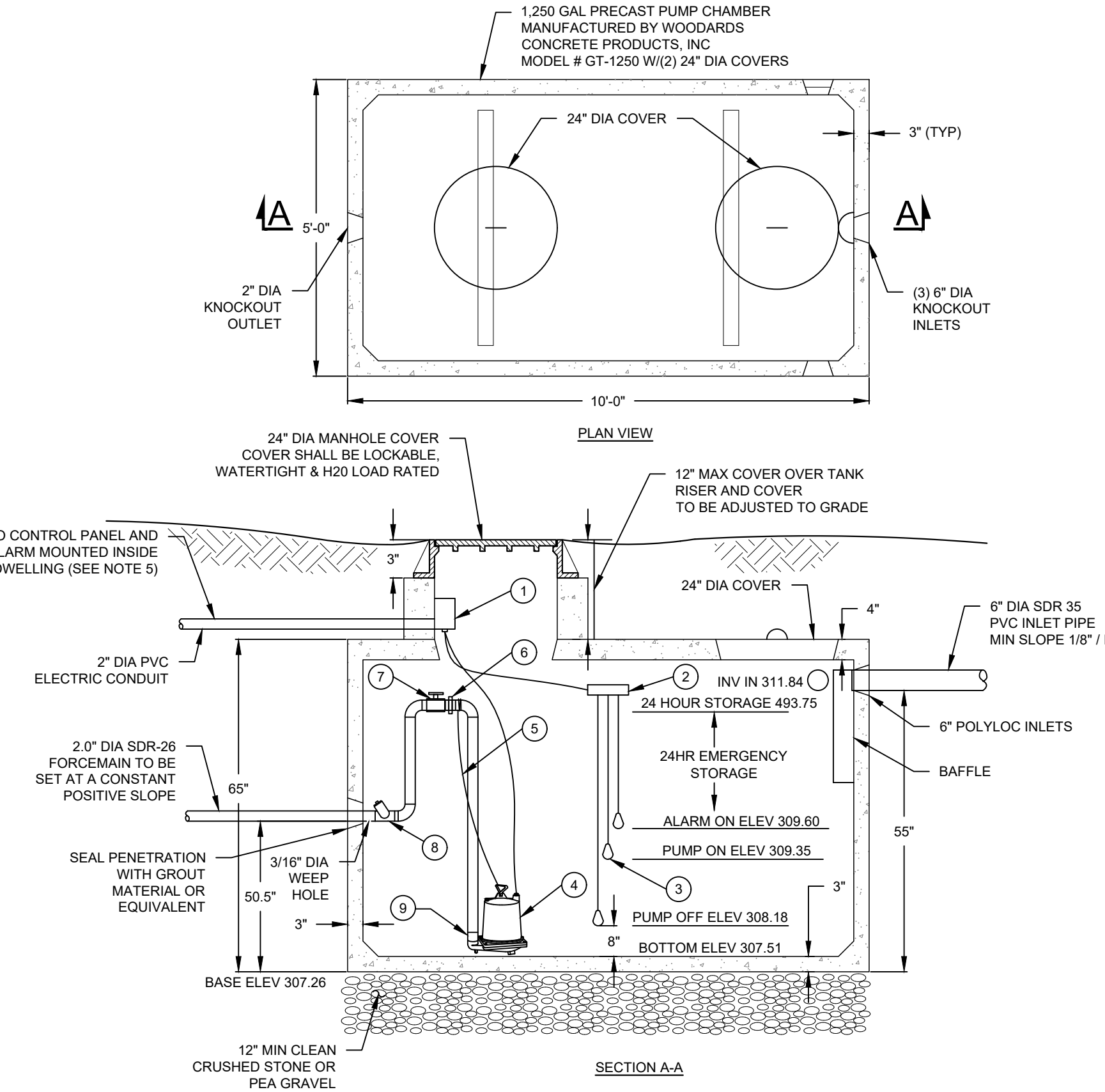
SEWER USAGE CALCULATION:
28 SEATS x 25 GPD / SEAT = 700 GPD
* CALCULATION BASED UPON NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS DATED MARCH 5, 2014.

PUMP VOLUME CALCULATIONS:
ELEVATION BETWEEN PUMP OFF TO PUMP ON TRY 14" OR 1.17'
9.5 FT x 4.5 FT x 1.17 FT = 49.9 CF = 373 GAL

24 HOUR STORAGE CALCULATIONS:
24 HOUR STORAGE = 700 GAL / 7.48 GAL/CF = 93.6 CF
24 HOUR STORAGE HEIGHT = 93.6 CF / (9.5 FT x 4.5 FT) = 2.19 FT
24 HOUR STORAGE AVAILABLE TO INVERT IN = 2.24 FT

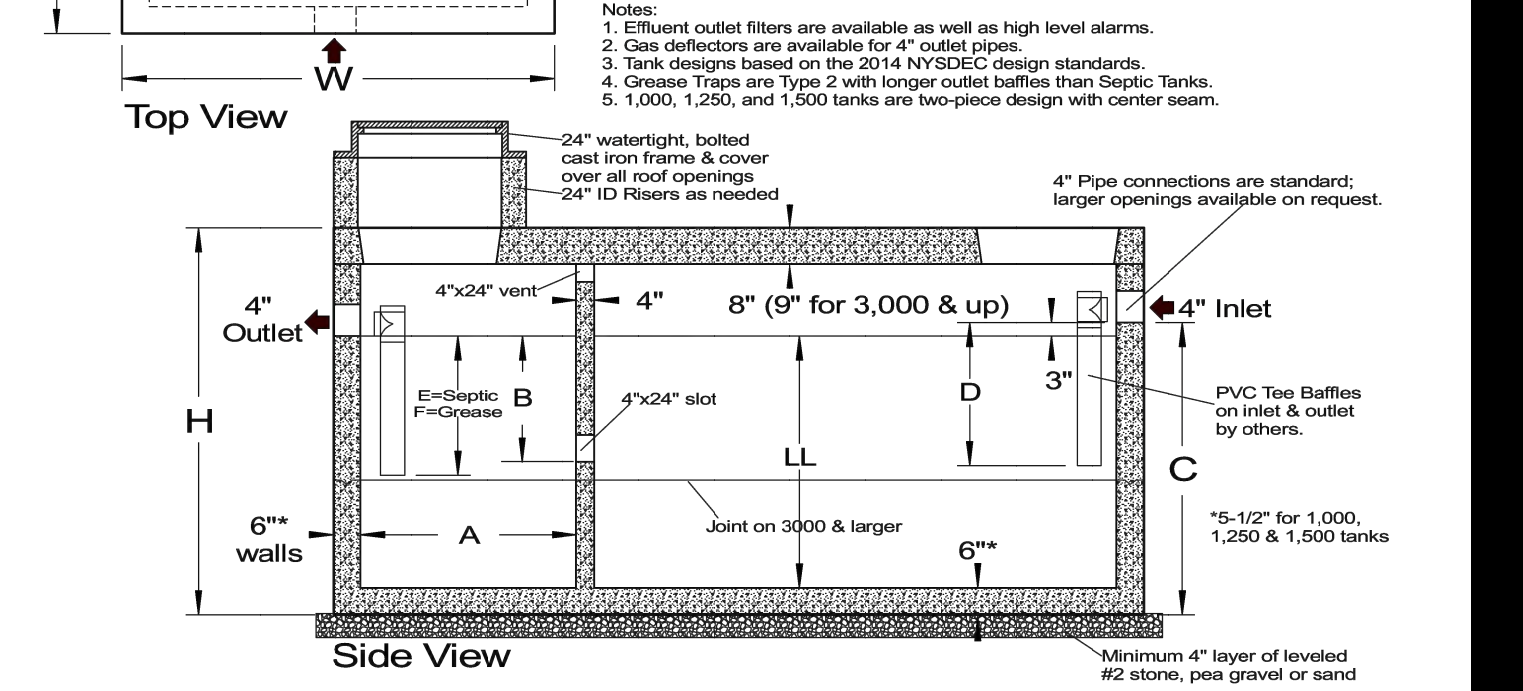
- NOTES:
- PRECAST CONCRETE PUMP CHAMBER AS MFG. BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL GT 1250, W/ (2) 24" DIA COVERS OR APPROVED EQUAL.
 - CONCRETE - 4,000 PSI AT 28 DAYS
 - REINFORCEMENT - WWW #4 REBAR
 - CONSTRUCTION JOINT TO BE SEALED WITH BUTYL RUBBER SEALANT
 - CONTROL PANEL AS MFG. GOULDS PUMPS, INC. MODEL SES SERIES CUSTOMIZED CONTROL PANEL-NEMA 1 SIMPLEX CONTROLLER WITH ALARM. CONTROL PANEL IS TO BE MOUNTED INDOORS AND WIRED TO CIRCUIT BREAKER.
 - ALL ELECTRICAL WORK SHALL MEET WITH THE NATIONAL ELECTRICAL CODE LATEST EDITION
 - PUMP STATION(S) SHOULD BE INSPECTED PERIODICALLY BY A PROPERLY TRAINED PERSON FOR PROPER OPERATION, INCLUDING HIGH WATER ALARMS, VENTING AND ANY PHYSICAL DAMAGE.

REF#	QTY.	DESCRIPTION & WOODARD'S MODEL #	A	O	D
1	1	ELECTRICAL JUNCTION BOX - AB-1J			
2	1	STAINLESS STEEL FLOAT BRACKET - FSB1			
3	3	MERCURY FLOAT SWITCH - A2K23			
4	1	GOULDS 3885 SUBMERSIBLE EFFLUENT PUMP- WOODARDS MODEL # - GP-WE05H			
5	1	10' LIFT CABLE - ACBL-10			
6	1	2.0" UNION - FUNION-2			
7	1	2.0" BALL VALVE - FBALLVALVE-2			
8	1	2.0" FLAP CHECK VALVE - FLAPCHECK-2			
9	1	2.0" NPT THREADED ADAPTER - FMA-2			
10	1	GOULDS SIMPLEX CONTROL PANEL W/ALARM - WOODARDS MODEL # S10020N1			



1,250 GAL PUMP CHAMBER
SCALE: N.T.S.

Gallons	L	W	H	LL	A	B	C	D	E	F
750	9'-6"	4'-6"	5'-11"	42"	34"	23"	51"	24"	21"	30"
1,000	10'-9"	5'-11"	4'-8"	35"	38"	16"	43"	21"	18"	23"
1,250	10'-9"	5'-11"	5'-2"	41"	38"	19"	49"	24"	21"	29"
1,500	10'-9"	5'-11"	5'-10"	49"	38"	22"	57"	27"	24"	37"
2,000	12'-6"	6'	7'-2"	58"	46"	31"	67"	32"	29"	46"
2,500	14'	6'-6"	7'-2"	58"	46"	31"	67"	32"	29"	46"
3,000	15'-6"	7'	7'-3"	58"	52"	31"	67"	32"	29"	46"
3,500	15'-6"	8'	7'-3"	58"	52"	31"	67"	32"	29"	46"
4,000	17'-2"	8'	7'-3"	58"	58"	31"	67"	32"	29"	46"
5,000	18'-8"	9'	7'-3"	58"	70"	31"	67"	32"	29"	46"
6,000	20'-0"	9'-6"	7'-3"	60"	70"	33"	69"	32"	30"	48"



SPECIFICATIONS
Concrete Min. Strength: 4,000 psi at 28 days
Reinforcement: #4 & #5 Rebar / ASTM A615
Air Entrainment: 6%
Construction Joint: Butyl Rubber Sealant
Pipe Connection: Polylok Seal or as needed
Load Rating: HS20-44 + 30% / ASTM C857

**PRECAST TRAFFIC DUTY TANKS
750 TO 6,000 GALLONS
SEPTIC TANKS & GREASE TRAPS**
Woodard's Concrete Products, Inc.
629 Lybolt Road, Bullville, NY 10915
(845) 361-3471 / Fax 361-1050
Page 4A 7/28/20
www.woodardsconcrete.com

1,500 GAL SEPTIC TANK
SCALE: N.T.S.

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		04/06/23
PLANNING BOARD APPROVAL		11 OF 12
WCDOH REALTY SUBDIVISION APPROVAL		N/A OF N/A
WCDOH WATERMAIN EXTENSION APPROVAL		N/A OF N/A
NYSDEC APPROVAL		N/A OF N/A
NYS DOT APPROVAL		N/A OF N/A
OTHER		N/A OF N/A
FOR BID		N/A OF N/A
FOR CONSTRUCTION		N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

ORIGINAL SCALE IN INCHES

ENGINEERING & SURVEYING PROPERTIES
Achieving Successful Results with Innovative Designs

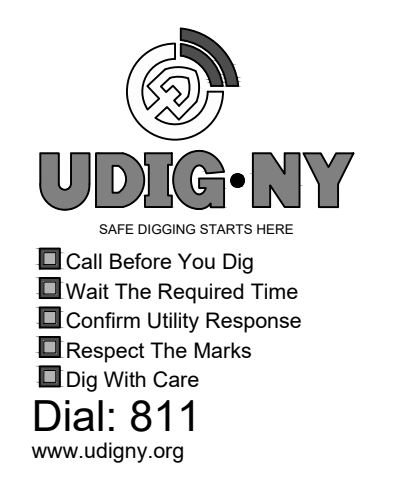
MONTGOMERY OFFICE
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
WWW.EP-PC.COM

DETAILS
SDML REALTY, LLC.
3735 CROMPOD ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #: 1932.01
DATE: 12/16/22
REVISION: 3 - 04/06/23

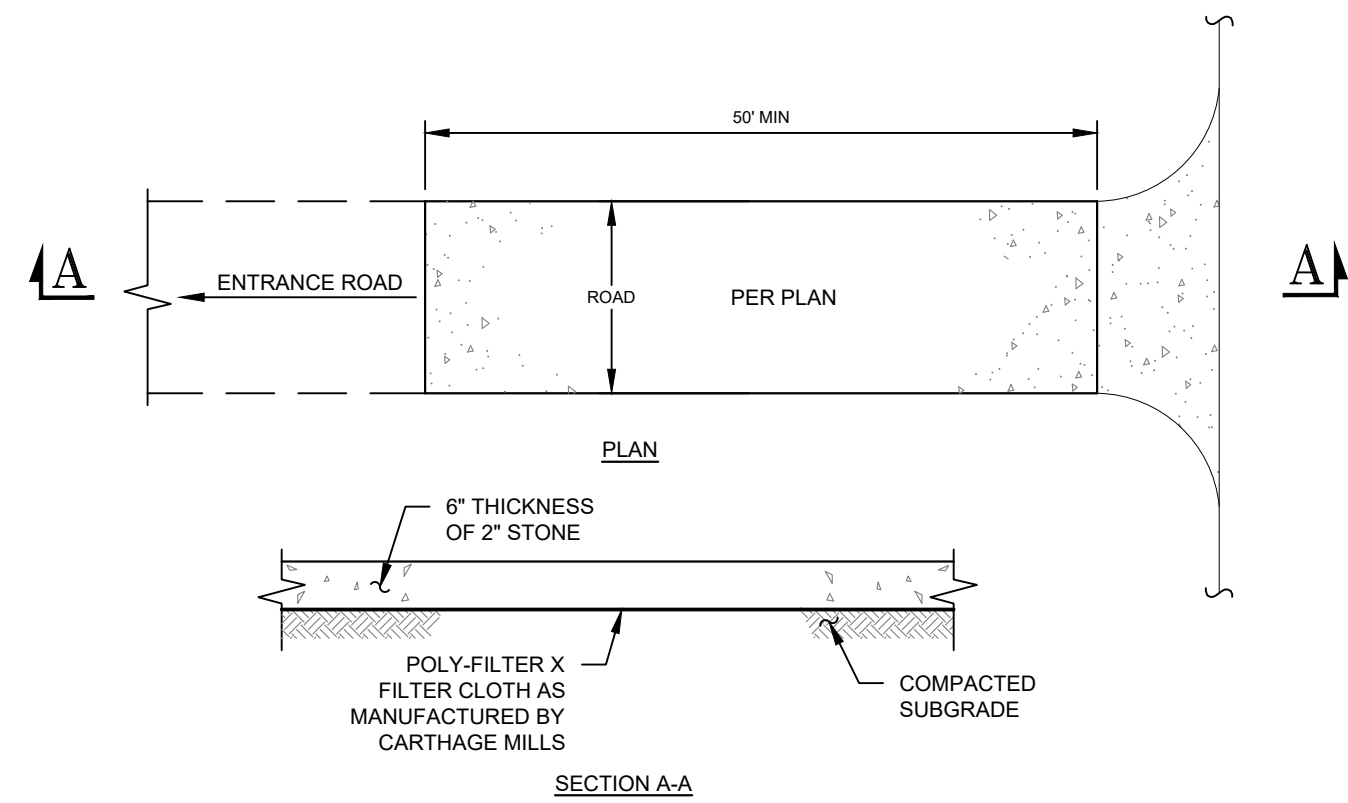
DRAWN BY: RMB
SCALE: AS NOTED
TAX LOT: 35.08-1-11, 14, 15 & 23

C-303



SEQUENCE OF CONSTRUCTION ACTIVITY

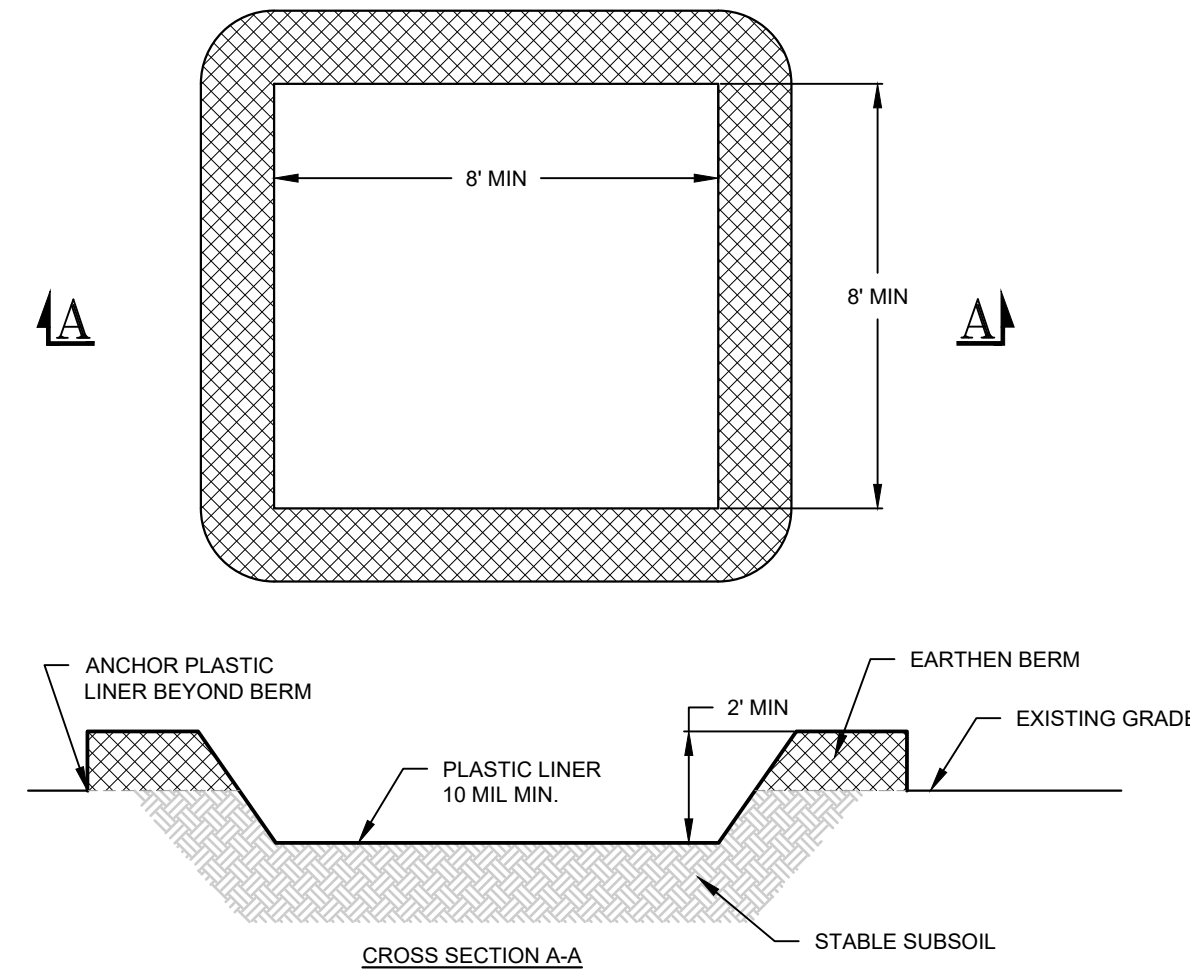
1. PRE-CONSTRUCTION: NOTIFY APPROPRIATE MUNICIPAL AND UTILITY OFFICIALS 3 DAYS PRIOR TO START OF CONSTRUCTION
2. CONSTRUCTION STAGING: STAKE OUT LIMIT OF DISTURBANCE. INSTALL SILT FENCE DOWNHILL OF PROPOSED CONSTRUCTION. INSTALL ORANGE CONSTRUCTION FENCING ALONG THE LIMITS OF DISTURBANCE. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
3. CLEARING AND GRUBBING: REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
4. ROUGH GRADING: CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABILIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABILIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
5. DRIVEWAY / BUILDING CONSTRUCTION AND UTILITY INSTALLATION: FINAL GRADING AND CONSTRUCTION OF DRIVEWAYS, BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
6. FINAL GRADING AND LANDSCAPING: COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS. INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
7. POST CONSTRUCTION: UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE. REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.



- NOTES:
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 3. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 4:1 SLOPES WILL BE PERMITTED.
 4. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 5. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 6. PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

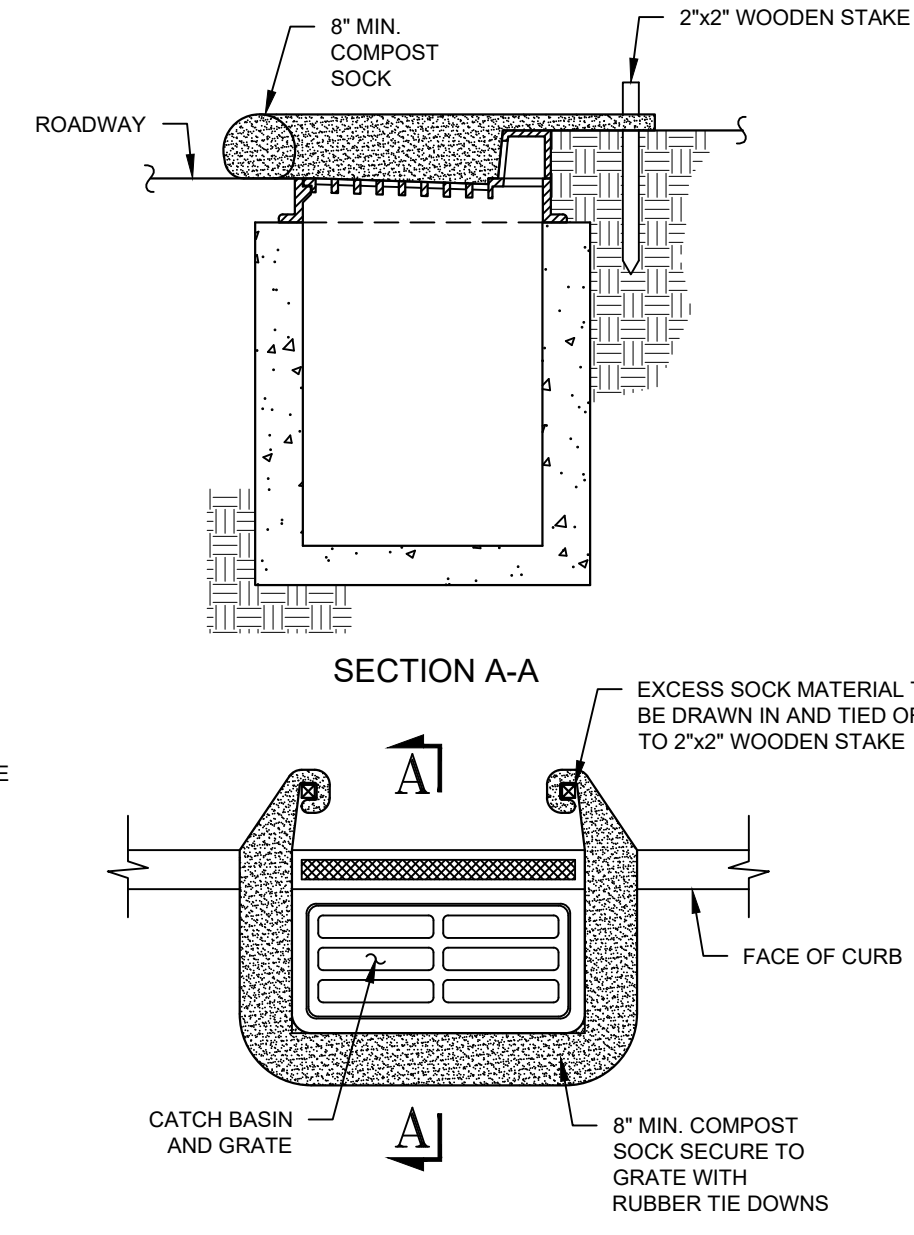
SCALE: N.T.S.



- NOTES:
1. PLASTIC LINER SHALL BE INSPECTED DAILY TO ENSURE THAT THERE ARE NO HOLES OR TEARS. IF ANY HOLES OR TEARS ARE FOUND THE LINER SHALL BE REPLACED AND CLEANED IMMEDIATELY. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
 2. WASHOUT FACILITY SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS OR OTHER SURFACE WATERS.
 3. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF.
 4. DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL.

CONCRETE WASHOUT

SCALE: N.T.S.



- NOTES:
1. COMPOST SOCK BY FILTREXX SILT SOCK 6" DIAMETER, OR APPROVED EQUAL.
 2. ALL MATERIAL AND FILTER MEDIA FILL TO MEET MANUFACTURER'S SPECIFICATIONS.
 3. SEDIMENT SHALL BE REMOVED AND THE COMPOST SOCK REPAIRED OR REPLACED WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE SOCK. REMOVED SEDIMENT SHALL BE DISPOSED OF IN A SUITABLE MANNER.
 4. THE COMPOST SOCK SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
 6. THE COMPOST SOCK SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE TRIBUTARY DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

INLET PROTECTION

SCALE: N.T.S.

EARTHWORK CONSTRUCTION NOTES

1. ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF YORKTOWN.
2. ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL (IF ANY) SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
3. ANY FILL BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
4. FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.2%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
5. COMPLETION OF GRADING AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
6. STABILIZATION OF ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL NOTES".
7. SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PERVIOUS SURFACES WITH A SLOPE LESS THAN 10% SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
 - 7.A. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - 7.B. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
 - 7.C. ROCK PILES UNTIL UPLIFTED STONEROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - 7.D. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - 7.E. VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.

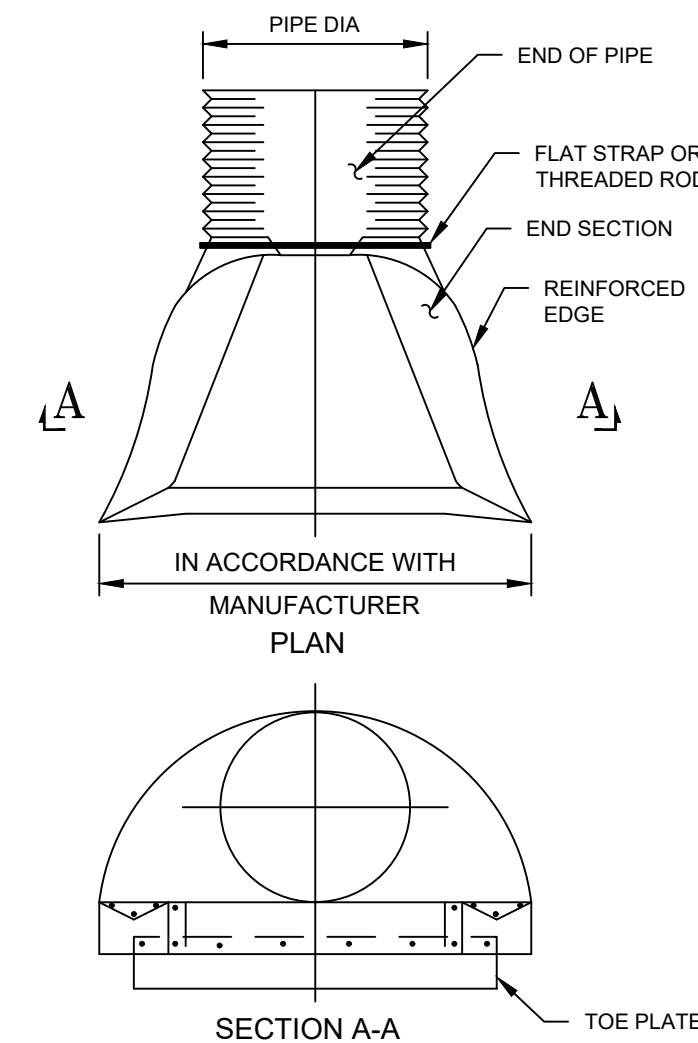
EROSION & SEDIMENTATION CONTROL NOTES

1. SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS.
2. TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES, TEMPORARY SWALES, STONE CHECK DAMS SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION OF THE PROPOSED ROADWAY OR DWELLING UNITS.
3. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION.
 - 3.1. AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
 - 3.2. LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
 - 3.3. FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED FOR ESTABLISHING NEW LAWNS PER SITE SPECIFIC SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
 - 3.4. DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE. DURING THE WINTER, USE 100 LBS. CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) PER ACRE.
 - 3.5. PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE:
 - 4 LBS EMPIRE BIRDFOOT TREFLE OR COMMON WHITE CLOVER PER ACRE PLUS
 - 20 LBS TALL FESCUE PER ACRE PLUS
 - 2 LBS REDTOP OR 5 LBS RYEGRASS (PERENNIAL) PER ACRE
 - 3.6. ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
 - 3.7. ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
5. TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
6. ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
7. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
8. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE. OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
9. STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:

MATERIAL	lbs/Acre
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	29
10. OPTIMUM SEEDING PERIODS ARE 3/15-6/1 AND 8/1-10/15.
11. FOR CONSTRUCTION THAT OCCURS DURING WINTER MONTHS (I.E. NOVEMBER 15 - APRIL 1) ADDITIONAL MEASURES SHALL BE TAKEN IN ACCORDANCE WITH THE STANDARD & SPECIFICATIONS FOR WINTER STABILIZATION SECTION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL, LATEST EDITION AS PUBLISHED BY THE NYSDEC SUCH AS BUT NOT LIMITED TO THE FOLLOWING:
 - 11.1. ENSURING COMPLIANCE WITH SNOW STORAGE STOCKPILE AREAS.
 - 11.2. SNOW STOCKPILES AT CONSTRUCTION ENTRANCE SHALL BE OUTSIDE THE STABILIZED CONSTRUCTION ENTRANCE TO ENSURE THE FUNCTIONALITY OF THE EROSION CONTROL MEASURE.
 - 11.3. MAINTAIN BUFFERS TO ALL PERIMETER SILT FENCES.
 - 11.4. INSTALL ADDITIONAL SILT FENCE AS NECESSARY FOR ANY DISTURBED AREAS UP GRADIENT OF A WATER BODY.
 - 11.5. PROVIDE MAINTENANCE OF ALL DRAINAGE STRUCTURE TO KEEP CLEAR OF SNOW, ICE, DEBRIS, ETC.
 - 11.6. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN THREE (3) DAYS. ROLLED EROSION CONTROL BLANKETS MUST BE USED ON ALL SLOPES 3 HORIZONTAL TO 1 VERTICAL OR STEEPER.
 - 11.7. IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE APPLICATION RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES SHOULD BE APPLIED AT DOUBLE THE MANUFACTURER'S RECOMMENDED RATE.
 - 11.8. TO ENSURE ADEQUATE STABILIZATION OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL SHOULD BE STABILIZED AT THE END OF EACH WORK DAY UNLESS:
 - 11.8.1. WORK WILL RESUME WITHIN 24 HOURS IN THE SAME AREA AND NO PRECIPITATION IS FORECAST OR
 - 11.8.2. THE WORK IS IN DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS OPEN UTILITY TRENCHES, FOUNDATIONS, EXCAVATIONS, OR WATER MANAGEMENT AREAS.

ROOF LEADER AND SPLASH PAD

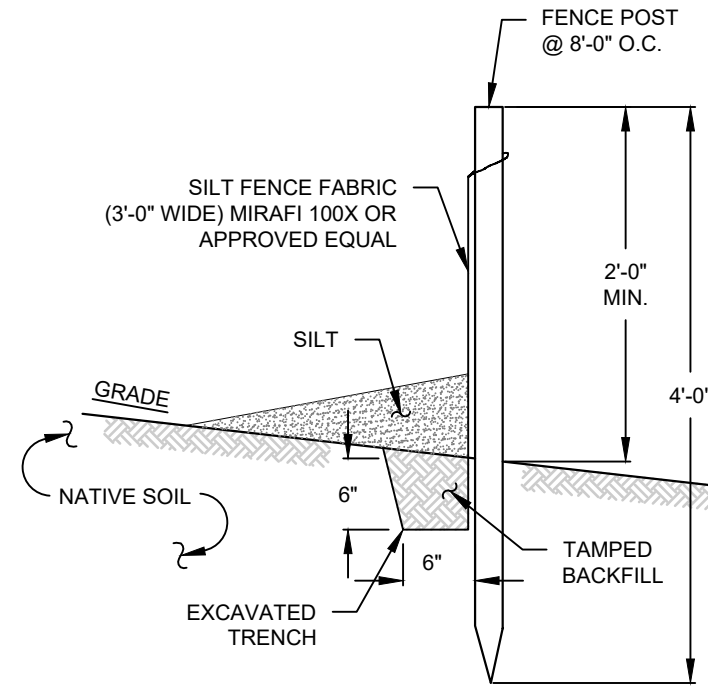
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- NOTES:
1. RIP-RAP TO BE PROVIDED AT THE END OF THE FLARED END SECTION AS PER PLANS.
 2. ALL DRAINAGE END SECTIONS SHALL BE HOPE WITH A SMOOTH INVERT.

FLARED END SECTION

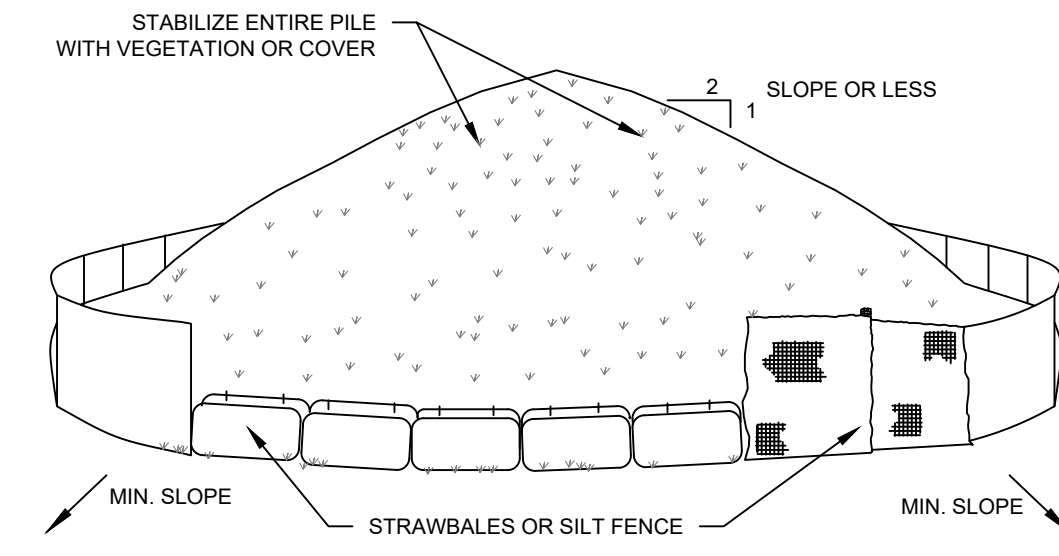
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- NOTES:
1. SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.
 2. SILT SHALL BE REMOVED WHEN HEIGHT OF SILT EXCEEDS 1/2 OF THE EXPOSED SILT FENCE HEIGHT.

SILT FENCE

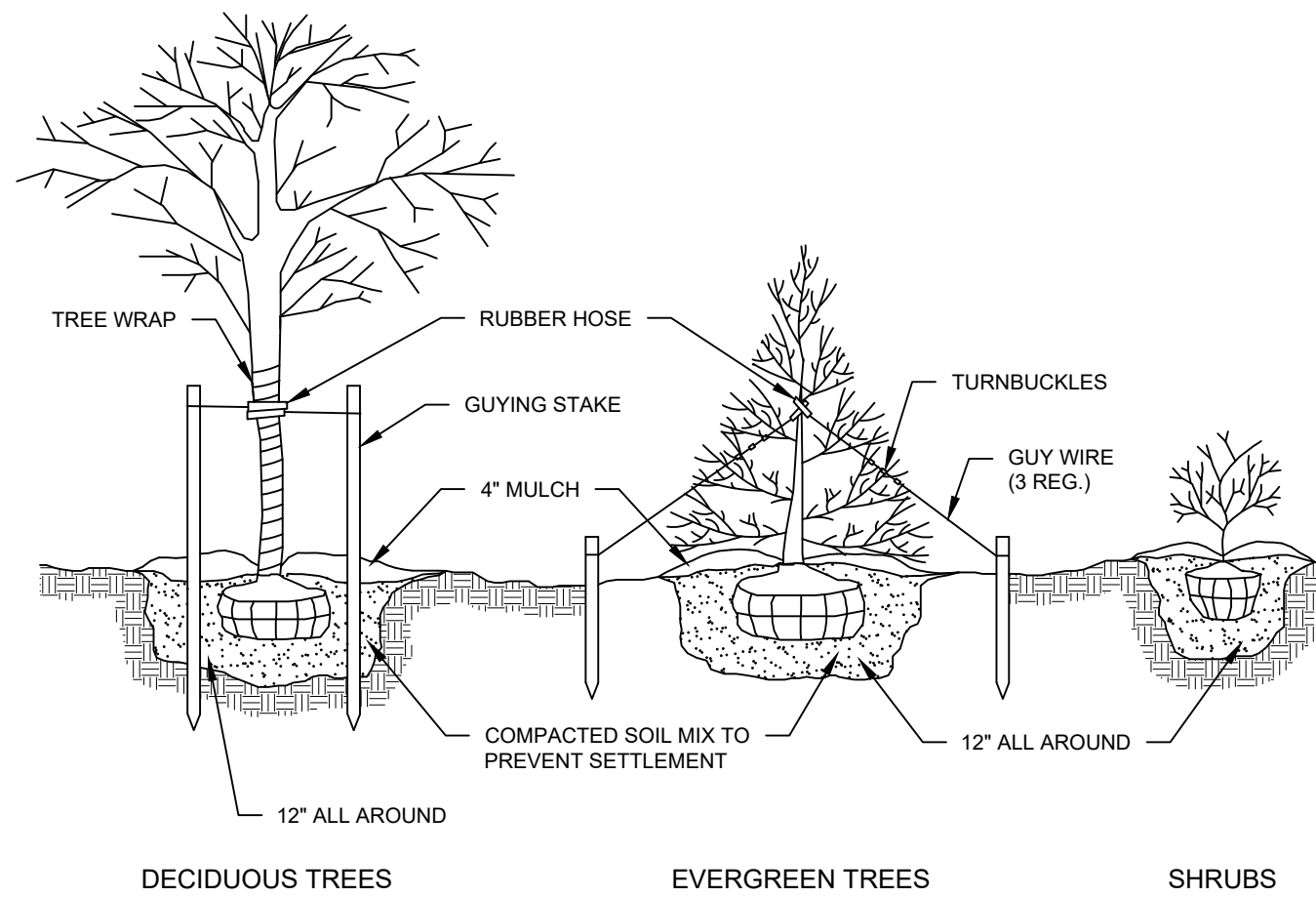
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- NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILE

SCALE: N.T.S.



PLANTING & GUYING DETAIL

SCALE: N.T.S.

SOIL RESTORATION NOTES

Table 5.3 Soil Restoration Requirements			
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples	
No soil disturbance	Restoration not permitted	Preservation of Natural Features	
Minimal soil disturbance	Restoration not required	Clearing and grubbing	
Areas where topsoil is stripped only - no change in grade	HSG A & B apply 6 inches of topsoil	HSG C & D Aerate* and apply 6 inches of topsoil	Protect area from any ongoing construction activities.
Areas of cut or fill	HSG A & B Aerate and apply 6 inches of topsoil	HSG C & D Apply full Soil Restoration **	
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)		
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.		Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.		

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
3	04/06/23	REVISED PER PLANNING BOARD COMMENTS

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	04/06/23
	SHEET NUMBER
	11 OF 12
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	N/A OF N/A
<input type="checkbox"/> WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

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DATE: 12/16/22
REVISION: 3 - 04/06/23

DRAWN BY: RMB
SCALE: AS NOTED
TAX LOT: 35.08-1-11, 14, 15 & 23

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