

#### GENERAL NOTES

- 1. TAX MAP IDENTIFICATION NUMBER: SECTION 35.08 BLOCK 1 LOTS 11, 14, 15 & 23
- 2. TOTAL AREA OF SUBJECT PARCELS: 1.357± ACRES.
- 3. BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON FIELD SURVEY AS PERFORMED BY ENGINEERING & SURVEYING PROPERTIES PC ON OCTOBER 21,
- 4. THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS.GIS.GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- 5. OWNER / APPLICANT: SDML REALTY, LLC PO BOX 755 CROMPOND, NY 10517
- 6. THE PROPOSED LOT SHALL BE SERVICED BY PUBLIC WATER AND SEWER SERVICES.
- 7. WETLAND BOUNDARY AS PER FIELD DELINEATION BY ECOLOGICAL ANALYSIS, LLC ON DECEMBER 1, 2022 AND FIELD LOCATED BY ENGINEERING & SURVEYING PROPERTIES, PC ON DECEMBER 6, 2022.
- 8. APPROXIMATE SIZE AND LOCATION OF FEMA 100-YEAR FLOODPLAIN TAKEN FROM THE FEDERAL EMERGENCY MANAGEMENT (FEMA) FLOOD INSURANCE RATE MAP, WESTCHESTER COUNTY, COMMUNITY: TOWN OF CORTLANDT AND YORKTOWN, NUMBER 36119C0036F, PANEL NUMBER 36 OF 426, EFFECTIVE DATE SEPTEMBER 38, 2007.
- 9. FOOD DELIVERY SHALL TAKE PLACE BETWEEN THE HOURS OF 7 AM AND 4 PM.
- 10. BOX TRUCK DELIVERY OF DONUTS SHALL TAKE PLACE DAILY BETWEEN THE HOURS OF 12 AM AND 2 AM.
- 11. GARBAGE PICK UP SHALL TAKE PLACE BETWEEN THE HOURS OF 7 AM AND 4 PM.

# 12. PER LOCAL LAW, A FIRE SPRINKLER SYSTEM WILL BE REQUIRED. BULK REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300 ATCH 2)

| MINIMUM BUILDING REQUIREMENTS | REQUIRED | PROPOSED   |
|-------------------------------|----------|------------|
| LOT AREA                      | NONE     | 59,110 SF  |
| LOT WIDTH                     | 25 FEET  | 173.5 FEET |
| LOT DEPTH                     | 100 FEET | 263.9 FEET |
| FRONT YARD                    | 15 FEET  | 31.4 FEET  |
| REAR YARD                     | 30 FEET  | 130.5 FEET |
| SIDE YARD *                   | 50 FEET  | 63.8 FEET  |
|                               |          |            |

MAXIMUM ALLOWABLE

BUILDING HEIGHT 35 FT 28.0 FT

LOT COVERAGE (BUILDINGS) 30 % 5.2 %

\* NONE, BUT IF PROPERTY ADJOINS AN R DISTRICT, SHALL BE 50 FEET.

# PARKING REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4 PROPOSED USE: DRIVE-THRU (USE §300-182(A)(5))

 BUILDING AREA:

 AREA DEVOTED TO PATRON USE
 1,130 SF

 AREA DEVOTED TO FOOD PREPARATION
 1,783 SF

 TOTAL BUILDING AREA
 2,913 SF

PARKING SPACES REQUIRED:

1,130 SF x 1 SPACE PER 50 SF = 23 SPACES

 1,130 SF x 1 SPACE PER 50 SF =
 23 SPACES

 1,783 SF x 1 SPACE PER 100 SF =
 18 SPACES

 TOTAL SPACES REQUIRED:
 41 SPACES

 TOTAL SPACES PROVIDED:
 31 SPACES \*

\* WAIVER REQUESTED FROM TOTAL REQUIRED PARKING SPACES.

#### LOADING REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300-186(A)(1))

BUILDING AREA: 2,913 SF

LOADING SPACES REQUIRED:
FIRST 4,000 SF x 1 SPACE = 1 SPACES
1 ADDITIONAL SPACE FOR EACH 40,000 SF = 0 SPACES

TOTAL SPACES REQUIRED:

TOTAL SPACES PROVIDED:

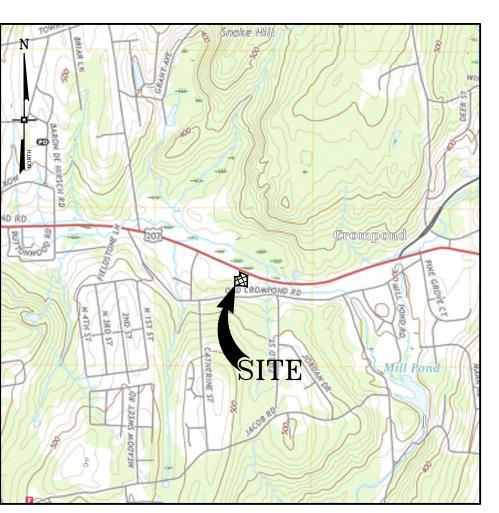
1 SPACES

1 SPACES

PLANNING DEPARTMENT

APR 1 2 2023

TOWN OF YORKTOWN



LOCATION MAP

SCALE: 1" = 2000'

| No. | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 0   | 12/16/22 | INITIAL SUBMISSION                  |
| 1   | 01/10/23 | REVISED PER PLANNING BOARD COMMENTS |
| 2   | 02/13/23 | REVISED PER PLANNING BOARD COMMENTS |
| 3   | 04/06/23 | REVISED PER PLANNING BOARD COMMENTS |
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| DRAWING STATUS SSUE DATE: 04/06/23               |                 |    |     |
|--|-----------------|----|-----|
| THIS SHEET IS PART OF<br>THE PLAN SET ISSUED FOR | SHEET<br>NUMBER |    |     |
| CONCEPT APPROVAL                                 | N/A             | OF | N/A |
| ☑ PLANNING BOARD APPROVAL                        | 1               | OF | 12  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL              | N/A             | OF | N/A |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL             | N/A             | OF | N/A |
| NYSDEC APPROVAL                                  | N/A             | OF | N/A |
| NYSDOT APPROVAL                                  | N/A             | OF | N/A |
| OTHER  | N/A             | OF | N/A |
| ☐ FOR BID  | N/A             | OF | N/A |
| FOR CONSTRUCTION                                 | N/A OF N/A      |    |     |
| THIS DLAN SET HAS BEEN ISSUED SPECIFICAL         | I V EOD T       | HE |     |

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.
THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

| COPIES OF THIS DOCUM WITHOUT AN ACTUAL OF FACSIMILE OF THE ENGINEER'S SIGNATURE AND AN ORIGINAL STAM RED OR BLUE INK SHALL CONSIDERED INVALID.    | P IN     | Z  | a  | 17                              |
|---|----------|----|----|---------------------------------|
| UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THI SEAL OF A LICENSED PROFESSIONAL ENGINEE IS A VIOLATION OF SECTION 7209 SUBSECT | R<br>ION |    | 6  |                                 |
| 2 OF THE NEW YORK STA<br>EDUCATION LAW.   | AIE      |    |    | GLOVITZ, P.E.<br>CENSE # 071701 |
| 20  | 0        | 10 | 20 | 40                              |

| **SURVEYING **SURVEYING **SURVEYING **POPERTIES **Achieving Successful Results **with Innovative Designs** | MONTGOMERY OFFICE 71 CLINTON STREET MONTGOMERY, NY 12549 — Ph: (845) 457-7727 WWW.EP-PC.COM |
|--|---|
| SITE PLA   | AN  |

SITE PLAN
SDML REALTY, LLC.

1 inch = 20 ft.

3735 CROMPOND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #: DRAWN BY:

1932.01 RMB

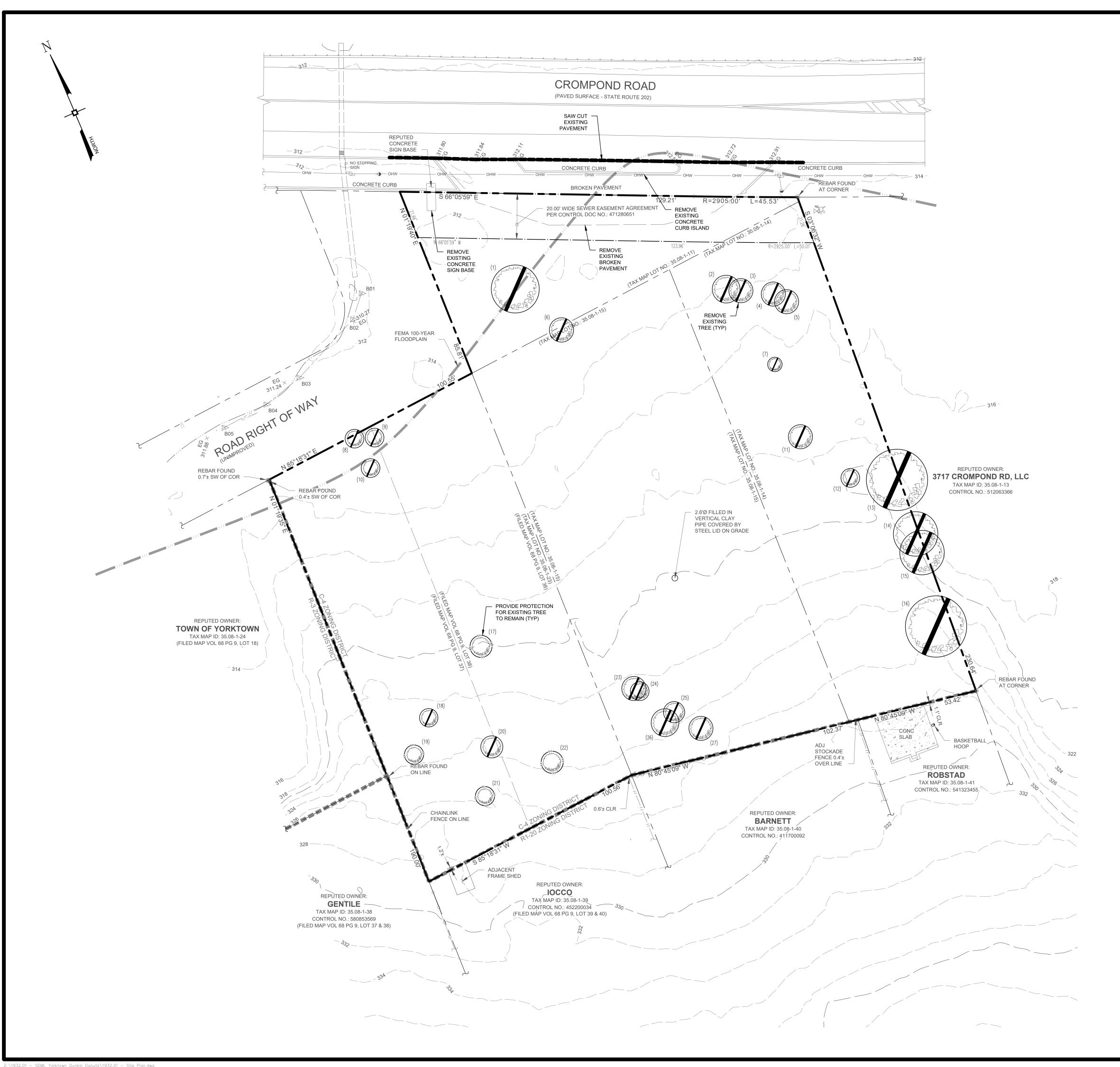
DATE: SCALE:

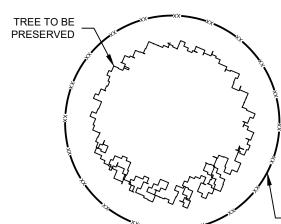
12/16/22 1" = 20'

REVISION: TAX LOT:

3 - 04/06/23 35.08-1-11, 14, 15 & 23

Z:\1932.01 — SDML Yorktown Dunkin Donuts\1932.01 — Site Plan.dwg Date Printed: Apr 06, 2023, 12:05pm





ORANGE CONSTRUCTION FENCING 4'-0" HIGH FENCING SHALL BE PLACED AROUND TREE TO BE PRESERVED AT AN APPROXIMATE DISTANCE OF 1 FOOT FOR EACH INCH OF TREE TRUNK DIAMETER AT THE BREAST HEIGHT BUT NO CLOSED THAN THE DRIP LINE OF THE TREE.

> TREE PROTECTION SCALE: N.T.S.

# TREE INVENTORY

| TREE NUMBER | SPECIES  | DBH (INCHES) | STATUS        |
|-------------|----------|--------------|---------------|
| 1           | POPLAR   | 28           | TO BE REMOVED |
| 2           | OAK      | 16           | TO BE REMOVED |
| 3           | OAK      | 14           | TO BE REMOVED |
| 4           | OAK      | 14           | TO BE REMOVED |
| 5           | CHESTNUT | 14           | TO BE REMOVED |
| 6           | ASH      | 14           | TO BE REMOVED |
| 7           | CHERRY   | 8            | TO BE REMOVED |
| 8           | POPLAR   | 10           | TO BE REMOVED |
| 9           | POPLAR   | 10           | TO BE REMOVED |
| 10          | POPLAR   | 10           | TO BE REMOVED |
| 11          | ASH      | 14           | TO BE REMOVED |
| 12          | ASH      | 10           | TO BE REMOVED |
| 13          | OAK      | 36           | TO BE REMOVED |
| 14          | MAPLE    | 26           | TO BE REMOVED |
| 15          | OAK      | 26           | TO BE REMOVED |
| 16          | OAK      | 36           | TO BE REMOVED |
| 17          | POPLAR   | 12           | TO REMAIN     |
| 18          | POPLAR   | 10           | TO BE REMOVED |
| 19          | POPLAR   | 10           | TO REMAIN     |
| 20          | POPLAR   | 12           | TO BE REMOVED |
| 21          | POPLAR   | 10           | TO REMAIN     |
| 22          | POPLAR   | 12           | TO REMAIN     |
| 23          | POPLAR   | 14           | TO BE REMOVED |
| 24          | POPLAR   | 10           | TO BE REMOVED |
| 25          | POPLAR   | 12           | TO BE REMOVED |
| 26          | POPLAR   | 16           | TO BE REMOVED |
| 27          | POPLAR   | 14           | TO BE REMOVED |

| No. | DATE     | DESCRIPTION                         |
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| DRAWING STATUS  | ISSUE DATE:     |    |     |  |
|---|-----------------|----|-----|--|
| DRAWING STATUS  | 04/06/23        |    |     |  |
| THIS SHEET IS PART OF<br>THE PLAN SET ISSUED FOR  | SHEET<br>NUMBER |    |     |  |
| CONCEPT APPROVAL  | N/A             | OF | N/A |  |
| ☑ PLANNING BOARD APPROVAL   | 2               | OF | 12  |  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL   | N/A             | OF | N/A |  |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL  | N/A             | OF | N/A |  |
| NYSDEC APPROVAL   | N/A             | OF | N/A |  |
| NYSDOT APPROVAL   | N/A             | OF | N/A |  |
| OTHER   | N/A             | OF | N/A |  |
| ☐ FOR BID   | N/A             | OF | N/A |  |
| ☐ FOR CONSTRUCTION  | N/A             | OF | N/A |  |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED |                 |    |     |  |

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1 inch = 20 ft.

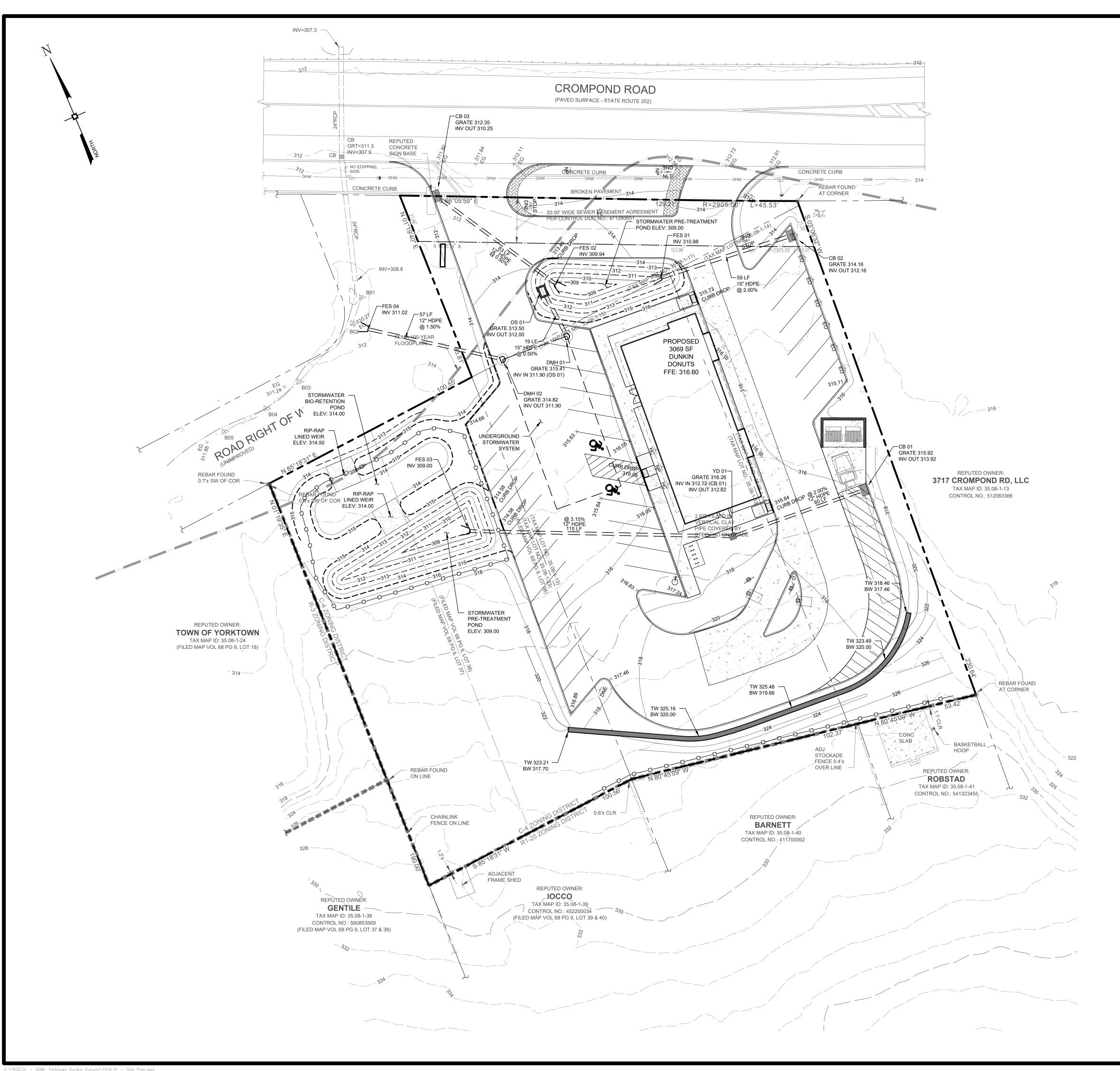
\*\*MONTGOMERY OFFICE 71 CLINTON STREET MONTGOMERY, NY 12549

\*\*Ph: (845) 457-7727 WWW.EP-PC.COM

**EXISTING CONDITIONS &** 

**DEMOLITION PLAN** SDML REALTY, LLC. 3735 CROMPOND ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

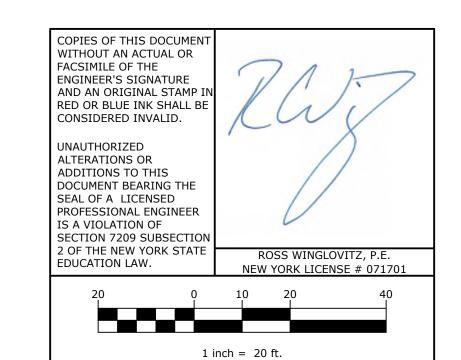
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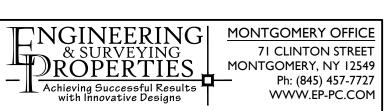


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| DRAWING STATUS                                     | 04/06/23        |             |     |  |  |
| THIS SHEET IS PART OF<br>THE PLAN SET ISSUED FOR   | SHEET<br>NUMBER |             |     |  |  |
| CONCEPT APPROVAL                                   | N/A             | OF          | N/A |  |  |
| ☑ PLANNING BOARD APPROVAL                          | 3               | OF          | 12  |  |  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL                | N/A             | OF          | N/A |  |  |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL               | N/A             | OF          | N/A |  |  |
| NYSDEC APPROVAL                                    | N/A             | OF          | N/A |  |  |
| NYSDOT APPROVAL                                    | N/A             | OF          | N/A |  |  |
| OTHER  | N/A             | OF          | N/A |  |  |
| ☐ FOR BID  | N/A             | OF          | N/A |  |  |
| ☐ FOR CONSTRUCTION                                 | N/A OF N/A      |             |     |  |  |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE |                 |             |     |  |  |

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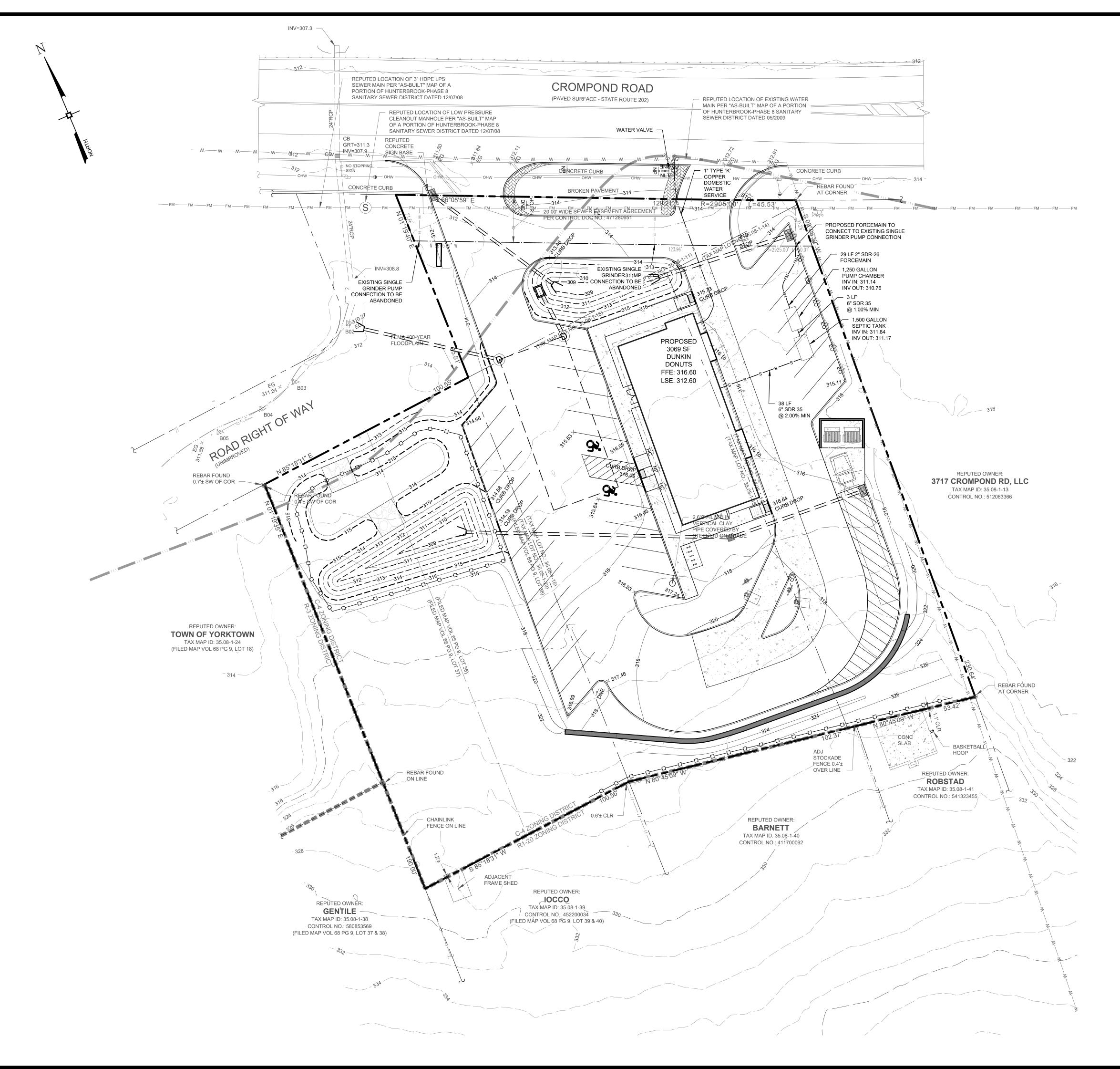
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
WWW.EP-PC.COM

GRADING & DRAINAGE PLAN

SDML REALTY, LLC. 3735 CROMPOND ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

1932.01 12/16/22

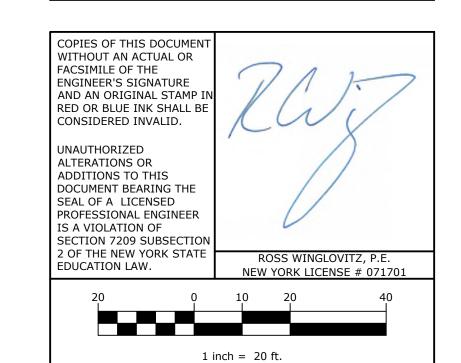
1" = 20' C-103 3 - 04/06/23 35.08-1-11, 14, 15 & 23



| No. | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 0   | 12/16/22 | INITIAL SUBMISSION                  |
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| DRAWING STATUS                                     | ISSUE DATE: |        |     |  |
|--|-------------|--------|-----|--|
| DRAWING STATES                                     | 04/06/23    |        |     |  |
| THIS SHEET IS PART OF                              | SHEET       |        |     |  |
| THE PLAN SET ISSUED FOR                            | NU          | NUMBER |     |  |
| ☐ CONCEPT APPROVAL                                 | N/A         | OF     | N/A |  |
| ☑ PLANNING BOARD APPROVAL                          | 4           | OF     | 12  |  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL                | N/A         | OF     | N/A |  |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL               | N/A         | OF     | N/A |  |
| ☐ NYSDEC APPROVAL                                  | N/A         | OF     | N/A |  |
| □ NYSDOT APPROVAL                                  | N/A         | OF     | N/A |  |
| OTHER  | N/A         | OF     | N/A |  |
| ☐FOR BID   | N/A         | OF     | N/A |  |
| ☐ FOR CONSTRUCTION                                 | N/A OF N/A  |        |     |  |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE |             |        |     |  |

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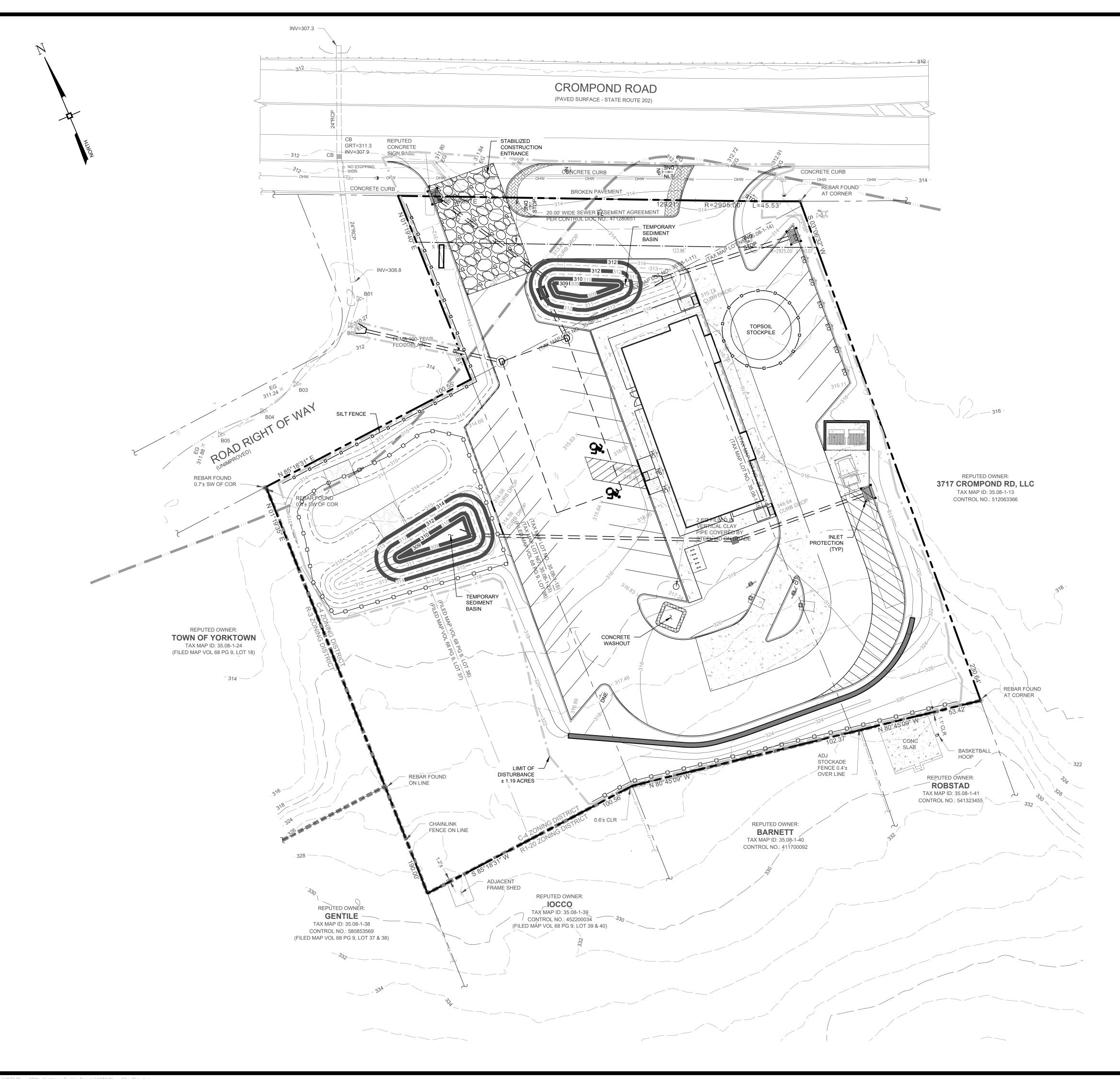


UTILITY PLAN

SDML REALTY, LLC. 3735 CROMPOND ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

1932.01 1" = 20' C-104 12/16/22

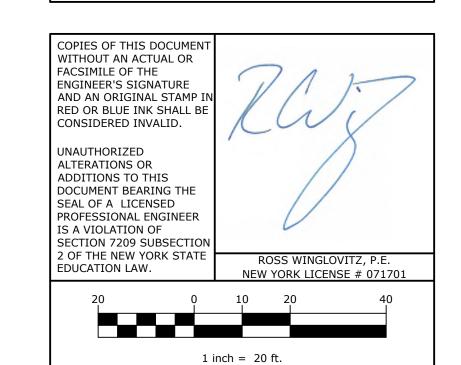
3 - 04/06/23 35.08-1-11, 14, 15 & 23

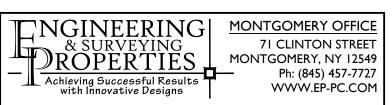


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| DRAWING STATUS                                     | ISSUE DATE: |     |     |  |  |
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| DIAWING STATES                                     | 04/06/23    |     |     |  |  |
| THIS SHEET IS PART OF                              | S           | HEE | Т   |  |  |
| THE PLAN SET ISSUED FOR                            | NU          | JMB | ER  |  |  |
| CONCEPT APPROVAL                                   | N/A         | OF  | N/A |  |  |
| ☑ PLANNING BOARD APPROVAL                          | 5           | OF  | 12  |  |  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL                | N/A         | OF  | N/A |  |  |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL               | N/A         | OF  | N/A |  |  |
| ☐ NYSDEC APPROVAL                                  | N/A         | OF  | N/A |  |  |
| ☐ NYSDOT APPROVAL                                  | N/A         | OF  | N/A |  |  |
| OTHER  | N/A         | OF  | N/A |  |  |
| ☐ FOR BID  | N/A         | OF  | N/A |  |  |
| ☐ FOR CONSTRUCTION                                 | N/A         | OF  | N/A |  |  |
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EROSION & SEDIMENT
CONTROL PLAN
SDML REALTY, LLC.
3735 CROMPOND ROAD
TOWN OF YORKTOWN

WESTCHESTER COUNTY, NEW YORK

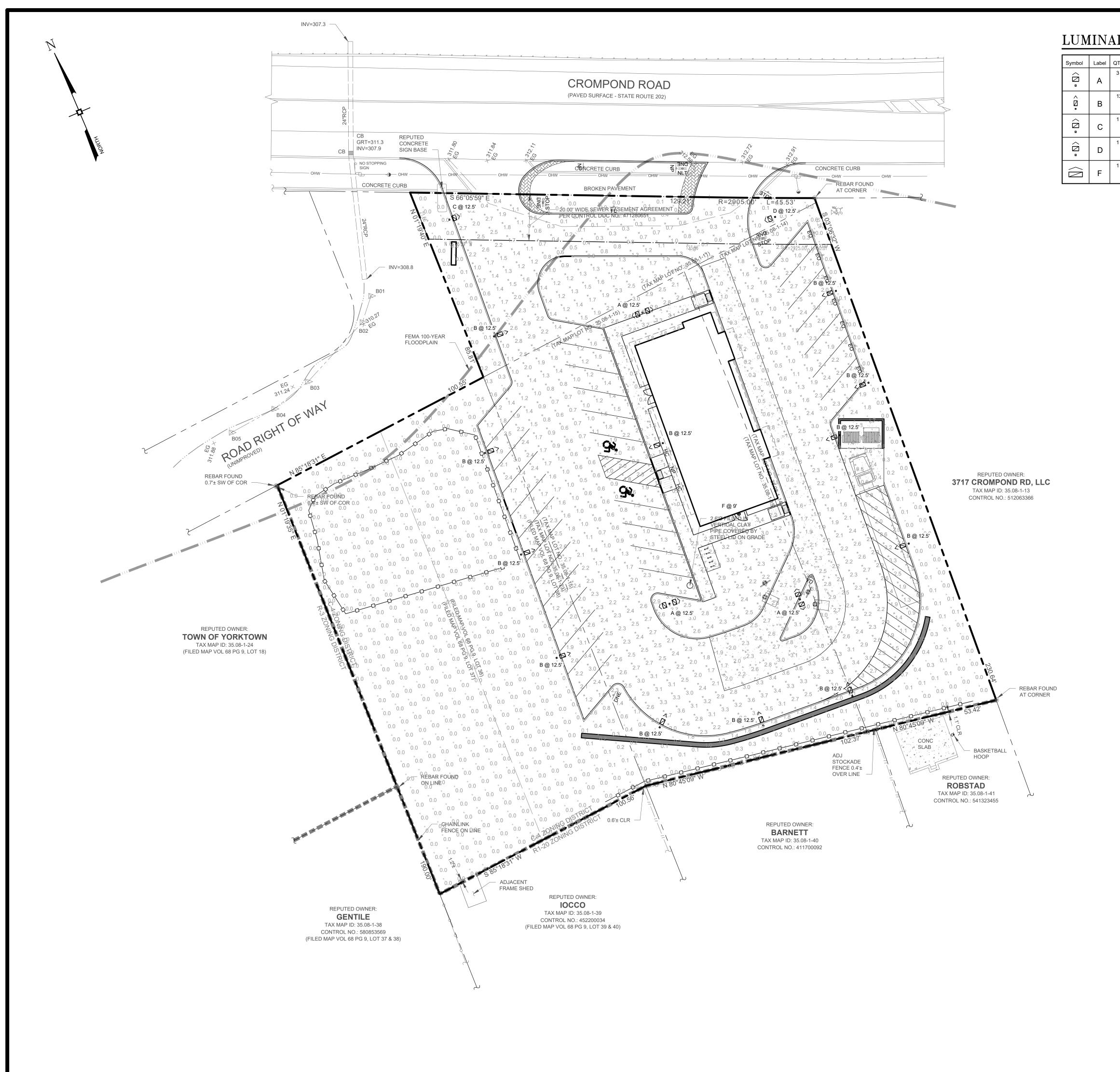
#: 1932.01 RMB

3 - 04/06/23 35.08-1-11, 14, 15 & 23

12/16/22

RMB
1" = 20'
T:

C-105



## LUMINAIRE SCHEDULE

| Symbol | Label | QTY | Manufacturer         | Catalog Number                       | Description  | Lumens Per Lamp | Light Loss Factor | Wattage | Distribution                                 | Finish        |
|--------|-------|-----|----------------------|--------------------------------------|--|-----------------|-------------------|---------|--|---------------|
| ⟨□ □   | А     | 3   | LITHONIA<br>LIGHTING | DSX0 LED P1 40K 80CRI T5M            | D-Series Size 0 Area Luminaire P1<br>Performance Package 4000K CCT 80 CRI<br>Type 5 Medium   | 4,590           | 0.89              | 66.42   | TYPE VS, BUG RATING:<br>B3 - U0 - G1         | DBLXD (Black) |
| ^      | В     | 12  | LITHONIA<br>LIGHTING | DSX0 LED P1 40K 80CRI BLC3 EGS       | D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control External Glare Shield              | 2,976           | 0.89              | 33.21   | TYPE III, SHORT, BUG<br>RATING: B0 - U2 - G1 | DBLXD (Black) |
|        | С     | 1   | LITHONIA<br>LIGHTING | DSX0 LED P1 40K 80CRI LCCO EGS       | D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield  | 2,019           | 0.89              | 33.21   | TYPE I, SHORT, BUG<br>RATING: B0 - U0 - G1   | DBLXD (Black) |
|        | D     | 1   | LITHONIA<br>LIGHTING | DSX0 LED P1 40K 80CRI RCCO EGS       | D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield | 2,019           | 0.89              | 33.21   | TYPE IV, SHORT, BUG<br>RATING: B0 - U0 - G1  | DBLXD (Black) |
|        | F     | 1   | HOLOPHANE            | HLWPC2 P10 40K XX<br>T4M XXXXX 80CRI | Wallpack Full Cutoff LED, LED Performance<br>Package P10, 4000 series CCT, Voltage<br>Type IV Medium with 80 CRI LEDs                      | 2,728           | 0.95              | 28      | TYPE IV, MEDIUM, BUG<br>RATING: B1 - U0 - G1 | BKSDP (Black) |

| No. | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 0   | 12/16/22 | INITIAL SUBMISSION                  |
| 1   | 01/10/23 | REVISED PER PLANNING BOARD COMMENTS |
| 2   |          | REVISED PER PLANNING BOARD COMMENTS |
| 3   | 04/06/23 | REVISED PER PLANNING BOARD COMMENTS |
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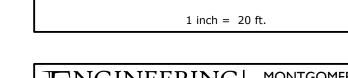
| DRAWING STATUS                                     |                 | JE D |     |  |
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|  | 04/06/23        |      |     |  |
| THIS SHEET IS PART OF<br>THE PLAN SET ISSUED FOR   | SHEET<br>NUMBER |      |     |  |
| ☐ CONCEPT APPROVAL                                 | N/A OF N/A      |      |     |  |
| ☑ PLANNING BOARD APPROVAL                          | 6               | OF   | 12  |  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL                | N/A             | OF   | N/A |  |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL               | N/A             | OF   | N/A |  |
| NYSDEC APPROVAL                                    | N/A             | OF   | N/A |  |
| NYSDOT APPROVAL                                    | N/A             | OF   | N/A |  |
| OTHER  | N/A             | OF   | N/A |  |
| ☐ FOR BID  | N/A             | OF   | N/A |  |
| ☐ FOR CONSTRUCTION                                 | N/A OF N/A      |      |     |  |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE |                 |      |     |  |

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THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

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PROFESSIONAL ENGINEER
IS A VIOLATION OF
SECTION 7209 SUBSECTION
2 OF THE NEW YORK STATE
EDUCATION LAW.

ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701



\*\*MONTGOMERY OFFICE 71 CLINTON STREET MONTGOMERY, NY 12549

\*\*Ph: (845) 457-7727 WWW.EP-PC.COM

LIGHTING PLAN

SDML REALTY, LLC.
3735 CROMPOND ROAD
TOWN OF YORKTOWN

WESTCHESTER COUNTY, NEW YORK

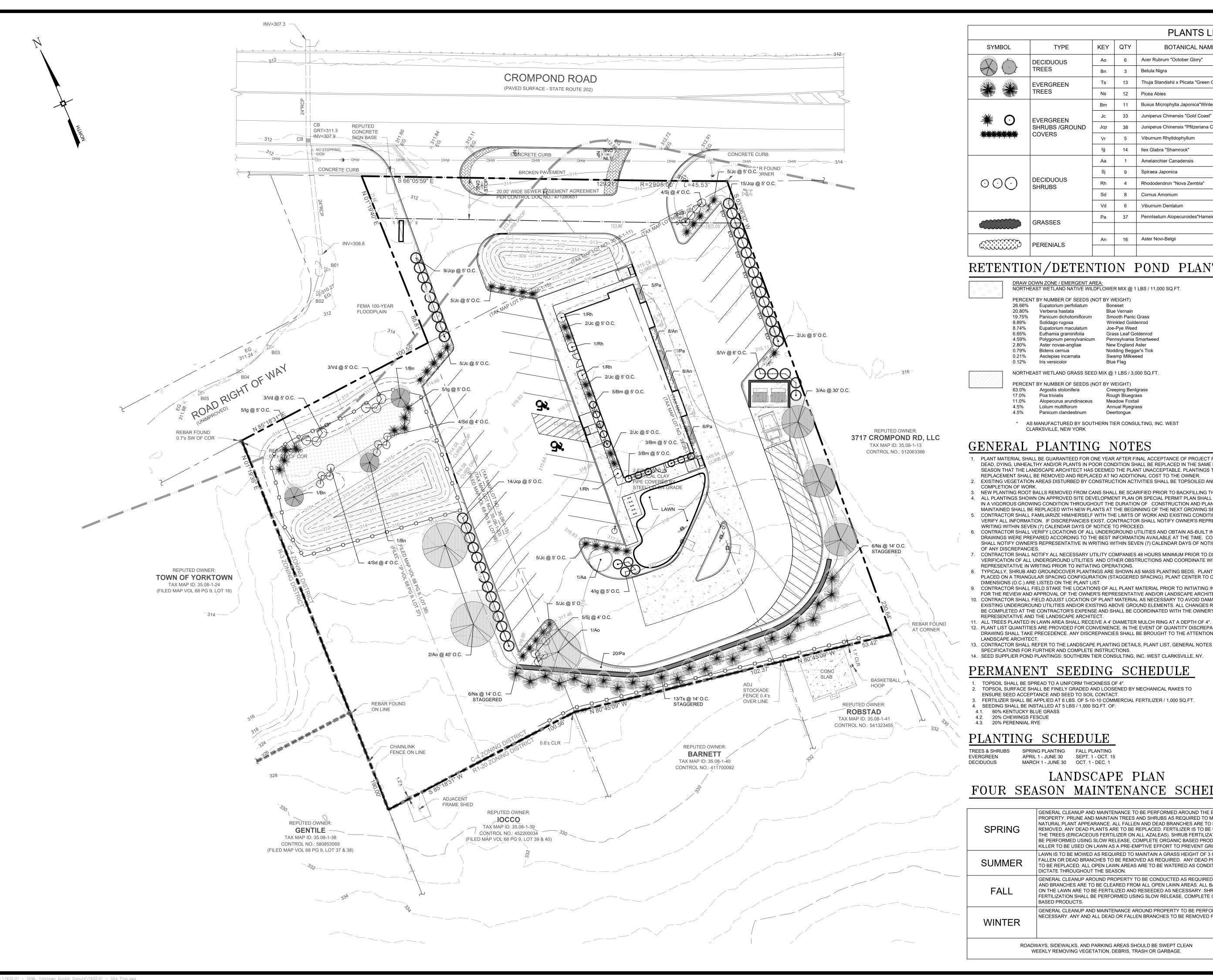
JOB #: DRAWN BY: 1932.01 RMB

DATE: SCALE: 12/16/22 1" = 20'

REVISION: TAX LOT:

3 - 04/06/23 35.08-1-11, 14, 15 & 23

Z:\1932.01 — SDML Yorktown Dunkin Donuts\1932.01 — Site Plan.dwg Date Printed: Apr 06, 2023, 10:19am



|                               |                                       |     |     | PLANTS LIST                                |                            |             |           |
|-------------------------------|---------------------------------------|-----|-----|--|----------------------------|-------------|-----------|
| SYMBOL                        | TYPE                                  | KEY | QTY | BOTANICAL NAME                             | COMMON NAME                | MIN. SIZE   | REMARKS   |
|                               | DECIDUOUS                             | Ao  | 6   | Acer Rubrum "October Glory"                | October Glory Red Maple    | 3"-3-1/2"c  | B&B       |
|                               | TREES                                 | Bn  | 3   | Betula Nigra                               | River Birch                | 14'-16' hgt | B&B       |
|                               | EVERGREEN                             | Ts  | 13  | Thuja Standishii x Plicata "Green Giant"   | Green Giant Arborvitae     | 10' hgt     | B&B       |
|                               | TREES                                 | Ns  | 12  | Picea Abies                                | Norway Spruce              | 10' hgt     | B&B       |
|                               |                                       | Bm  | 11  | Buxus Microphylla Japonica"Winter Gem"     | Winter Gem Boxwood         | 34"-36"     | Container |
|                               | EVERGREEN<br>SHRUBS /GROUND<br>COVERS | Jc  | 33  | Juniperus Chinensis "Gold Coast"           | Gold Coast Juniper         | 30"-34"     | Container |
|                               |                                       | Jcp | 38  | Juniperus Chinensis "Pfitzeriana Compacta" | Compacta Pfitzer's Juniper | 30"-34"     | Container |
| The proposition of the second |                                       | Vr  | 5   | Viburnum Rhytidophyllum                    | Leather Leaf Viburnum      | 34"-36"     | B&B       |
|                               |                                       | lg  | 14  | llex Glabra "Shamrock"                     | Shamrock Inkberry Holly    | 34"-36"     | B&B       |
|                               | DECIDUOUS<br>SHRUBS                   | Aa  | 1   | Amelanchier Canadensis                     | Shadblow Serviceberry      | 7'-8' hgt   | B&B       |
| _                             |                                       | Sj  | 9   | Spiraea Japonica                           | Little Princess Spiraea    | 24"-30"     | Container |
| (.)(.)(.)                     |                                       | Rh  | 4   | Rhododendron "Nova Zembla"                 | Nova Zembla Rhododendron   | 34"-36"     | B&B       |
|                               |                                       | Sd  | 8   | Cornus Amomum                              | Silky Dogwood              | 30"-34"     | Container |
|                               |                                       | Vd  | 6   | Viburnum Dentatum                          | Arrowwood Viburnum         | 34"-36"     | B&B       |
|                               | CDACCEC                               | Pa  | 37  | PennIsetum Alopecuroides"Hamein"           | Dwarf Fountain Grass       | 24" oc      | 2 gal.    |
|                               | GRASSES                               |     |     |  |                            |             |           |
| ووووووووو                     | PERENIALS                             | An  | 16  | Aster Novi-Belgii                          | New York Aster             | 24" oc      | 1 gal.    |
|                               | FEREINIALS                            |     |     |  |                            |             |           |

## RETENTION/DETENTION POND PLANTINGS

|         | WN ZONE / EMERGENT AREA<br>ST WETLAND NATIVE WILDFL | <u>x:</u><br>LOWER MIX @ 1 LBS / 11,000 SQ.FT. |
|---------|---|--|
| PERCENT | BY NUMBER OF SEEDS (NOT                             | BY WEIGHT)                                     |
| 26.66%  | Eupatorium perfoliatum                              | Boneset  |
| 20.80%  | Verbena hastata                                     | Blue Vernain                                   |
| 19.75%  | Panicum dichotomiflorum                             | Smooth Panic Grass                             |
| 8.89%   |   | Wrinkled Goldenrod                             |
| 8.74%   | Eupatorium maculatum                                | Joe-Pye Weed                                   |
| 6.65%   | Euthamia graminifolia                               | Grass Leaf Goldenrod                           |
| 4.59%   | Polygonum pensylvanicum                             | Pennsylvania Smartweed                         |
| 2.80%   | Aster novae-angliae                                 | New England Aster                              |
| 0.79%   | Bidens cernua                                       | Nodding Beggar's Tick                          |
| 0.21%   | Asclepias incarnata                                 | Swamp Milkweed                                 |
| 0.12%   | Iris versicolor                                     | Blue Flag                                      |
| NORTHEA | AST WETLAND GRASS SEED N                            | MIX @ 1 LBS / 3,000 SQ.FT.                     |
| PERCENT | BY NUMBER OF SEEDS (NOT                             | BY WEIGHT)                                     |
| 63.0%   | Argostis stolonifera                                | Creeping Bentgrass                             |
| 17.0%   | Poa trivialis                                       | Rough Bluegrass                                |
| 11.0%   | Alopecurus arundinaceus                             | Meadow Foxtail                                 |
| 4.5%    | Lolium multiflorum                                  | Annual Ryegrass                                |
| 4.5%    | Panicum clandestinum                                | Deertongue                                     |
|         | MANUFACTURED BY SOUTHE<br>RKSVILLE, NEW YORK        | ERN TIER CONSULTING, INC. WEST                 |

# GENERAL PLANTING NOTES

- 1. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT. 4. ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION. DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- 7. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- 8. TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- 9. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- 10. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- 12. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- 13. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS. 14. SEED SUPPLIER POND PLANTINGS: SOUTHERN TIER CONSULTING, INC. WEST CLARKSVILLE, NY.

#### PERMANENT SEEDING SCHEDULE

- 1. TOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4". TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO
- ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT. FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 5-10-10 COMMERCIAL FERTILIZER / 1,000 SQ.FT
- 4. SEEDING SHALL BE INSTALLED AT 5 LBS / 1,000 SQ.FT. OF:
- 4.1. 60% KENTUCKY BLUE GRASS 4.2. 20% CHEWINGS FESCUE

### PLANTING SCHEDULE

SPRING PLANTING
APRIL 1 - JUNE 30
MARCH 1 - JUNE 30
OCT. 1 - DEC. 1

## LANDSCAPE PLAN FOUR SEASON MAINTENANCE SCHEDULE

| / |        |   |
|---|--------|---|
|   | SPRING | GENERAL CLEANUP AND MAINTENANCE TO BE PERFORMED AROUND THE ENTIRE PROPERTY. PRUNE AND MAINTAIN TREES AND SHRUBS AS REQUIRED TO MAINTAIN THE NATURAL PLANT APPEARANCE. ALL FALLEN AND DEAD BRANCHES ARE TO BE REMOVED. ANY DEAD PLANTS ARE TO BE REPLACED. FERTILIZER IS TO BE USED ON THE TREES (ERICACEOUS FERTILIZER ON ALL AZALEAS). SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS. WEED KILLER TO BE USED ON LAWN AS A PRE-EMPTIVE EFFORT TO PREVENT GROWTH. |
|   | SUMMER | LAWN IS TO BE MOWED AS REQUIRED TO MAINTAIN A GRASS HEIGHT OF 3 INCHES. ALL FALLEN OR DEAD BRANCHES TO BE REMOVED AS REQUIRED. ANY DEAD PLANTS ARE TO BE REPLACED. ALL OPEN LAWN AREAS ARE TO BE WATERED AS CONDITIONS DICTATE THROUGHOUT THE SEASON.   |
|   | FALL   | GENERAL CLEANUP AROUND PROPERTY TO BE CONDUCTED AS REQUIRED. LEAVES AND BRANCHES ARE TO BE CLEARED FROM ALL OPEN LAWN AREAS. ALL BARE SPOTS ON THE LAWN ARE TO BE FERTILIZED AND RESEEDED AS NECESSARY. SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS.   |
| _ | WINTER | GENERAL CLEANUP AND MAINTENANCE AROUND PROPERTY TO BE PERFORMED AS NECESSARY. ANY AND ALL DEAD OR FALLEN BRANCHES TO BE REMOVED FROM LAWN.  |

ROADWAYS, SIDEWALKS, AND PARKING AREAS SHOULD BE SWEPT CLEAN WEEKLY REMOVING VEGETATION, DEBRIS, TRASH OR GARBAGE.

| No. | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 0   | 12/16/22 | INITIAL SUBMISSION                  |
| 1   | 01/10/23 | REVISED PER PLANNING BOARD COMMENTS |
| 2   | 02/13/23 | REVISED PER PLANNING BOARD COMMENTS |
| 3   | 04/06/23 | REVISED PER PLANNING BOARD COMMENTS |
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| DRAWING STATUS                           | ISSUE DATE: |     |     |  |  |
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| DRAWING STATUS                           | 04/06/23    |     |     |  |  |
| THIS SHEET IS PART OF                    | S           | HEE | Т   |  |  |
| THE PLAN SET ISSUED FOR                  | NU          | JMB | ER  |  |  |
| CONCEPT APPROVAL                         | N/A OF N/A  |     |     |  |  |
| ☑ PLANNING BOARD APPROVAL                | 7           | OF  | 12  |  |  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL      | N/A         | OF  | N/A |  |  |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL     | N/A         | OF  | N/A |  |  |
| NYSDEC APPROVAL                          | N/A         | OF  | N/A |  |  |
| NYSDOT APPROVAL                          | N/A         | OF  | N/A |  |  |
| OTHER                                    | N/A         | OF  | N/A |  |  |
| ☐ FOR BID                                | N/A         | OF  | N/A |  |  |
| ☐ FOR CONSTRUCTION                       | N/A OF N/A  |     |     |  |  |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICAL | I Y FOR T   | HF  |     |  |  |

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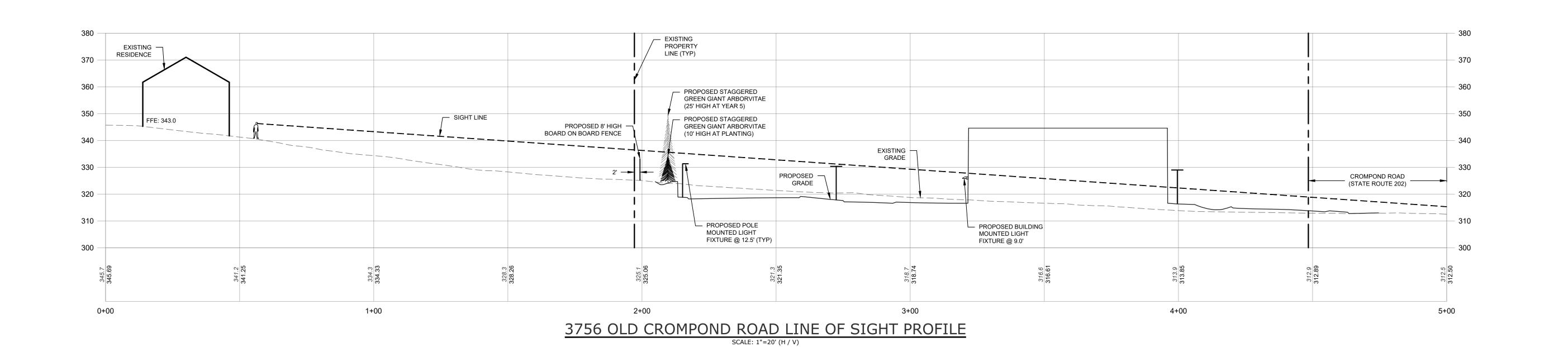
71 CLINTON STREET MONTGOMERY, NY 12549 Ph: (845) 457-7727 Achieving Successful Results with Innovative Designs WWW.EP-PC.COM

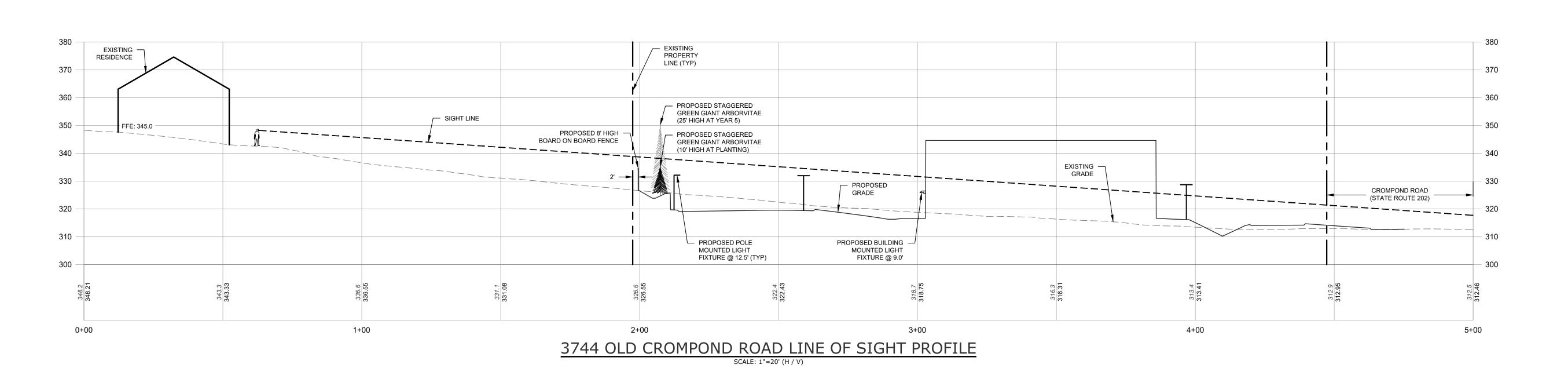
### LANDSCAPING PLAN

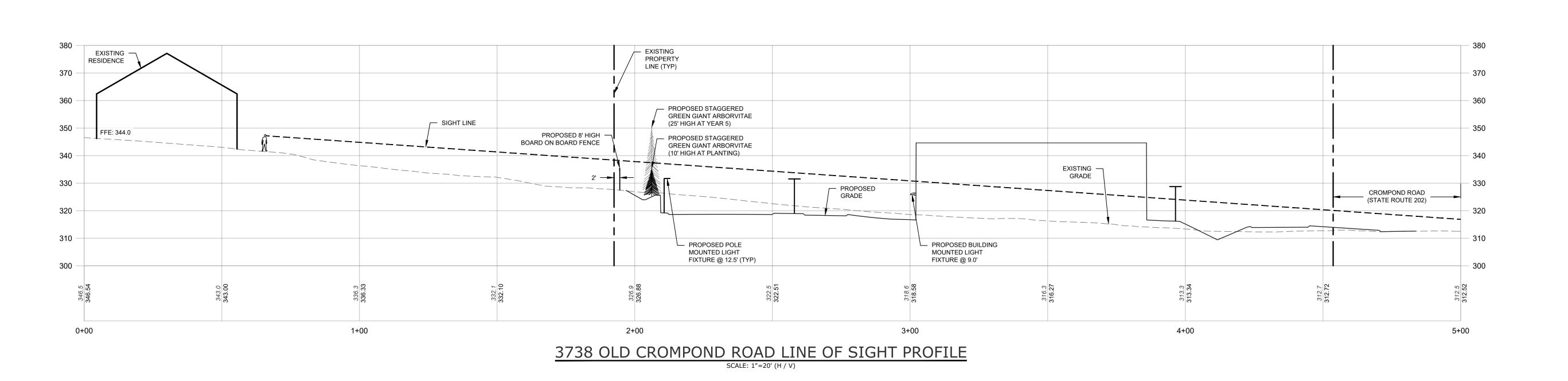
SDML REALTY, LLC. 3735 CROMPOND ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

| JOB #:  |          | DRAWN BY     | :  |       |   |
|---------|----------|--------------|----|-------|---|
|         | 1932.01  |              |    | RMB   |   |
| DATE:   |          | SCALE:       |    |       | 1 |
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**3 - 04/06/23** 35.08-1-11, 14, 15 & 23





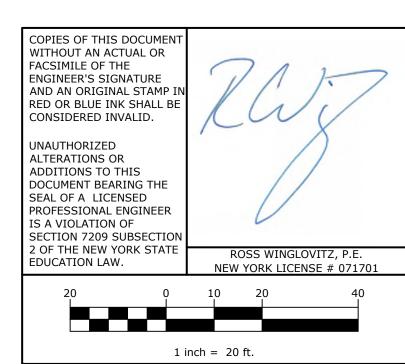


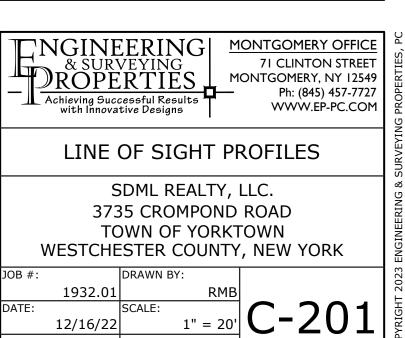
| No. | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 0   | 12/16/22 | INITIAL SUBMISSION                  |
| 1   | 01/10/23 | REVISED PER PLANNING BOARD COMMENTS |
| 2   | 02/13/23 | REVISED PER PLANNING BOARD COMMENTS |
| 3   | 04/06/23 | REVISED PER PLANNING BOARD COMMENTS |
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| CONCEPT APPROVAL  | N/A | OF            | N/A |
| ☑ PLANNING BOARD APPROVAL   | 8   | OF            | 12  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL   | N/A | OF            | N/A |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL  | N/A | OF            | N/A |
| ☐ NYSDEC APPROVAL   | N/A | OF            | N/A |
| NYSDOT APPROVAL   | N/A | OF            | N/A |
| OTHER   | N/A | OF            | N/A |
| ☐FOR BID  | N/A | OF            | N/A |
| ☐ FOR CONSTRUCTION  | N/A | OF            | N/A |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICAL APPROVAL OR ACTION NOTED ABOVE AND SHA |     |               | SED |

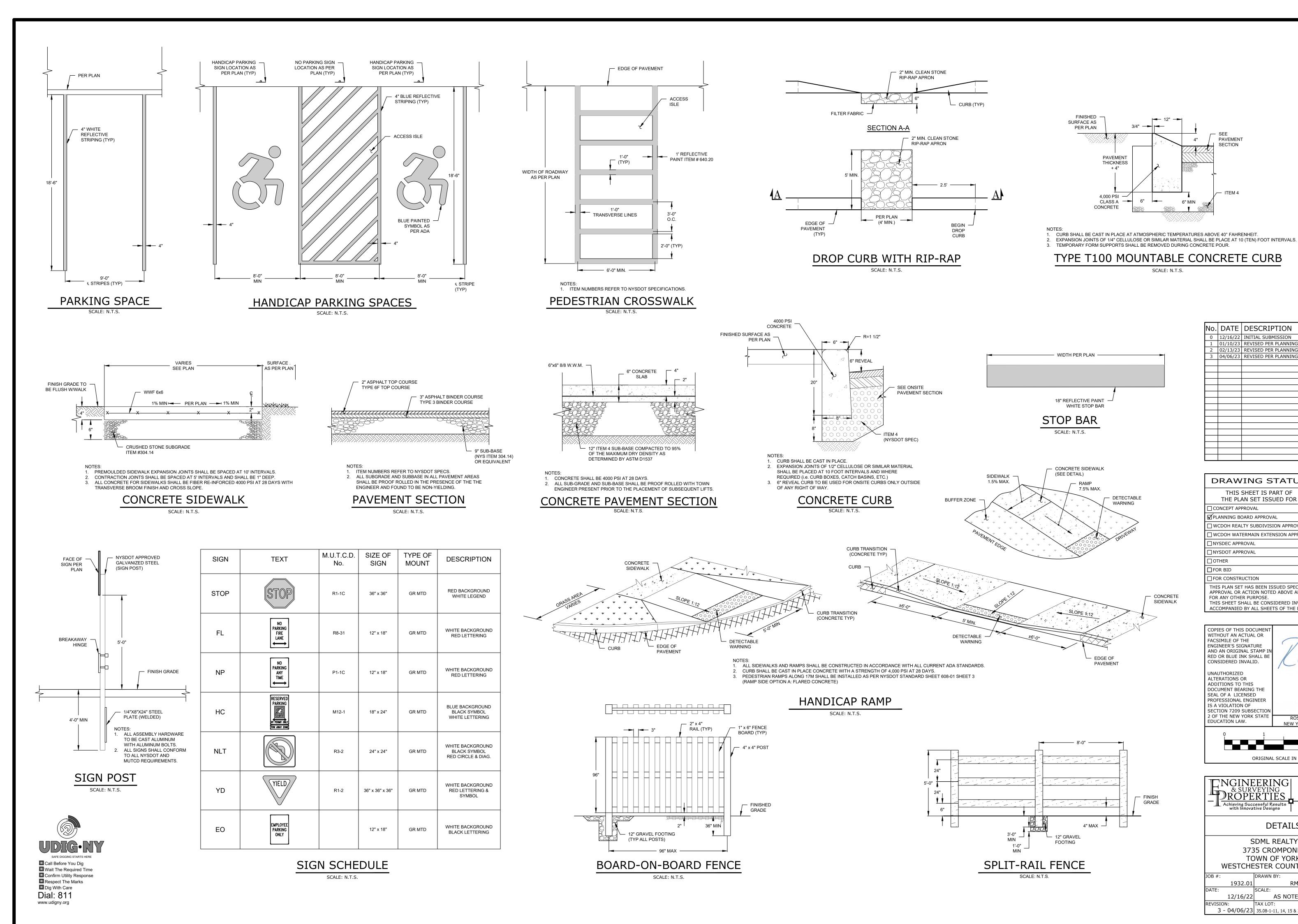
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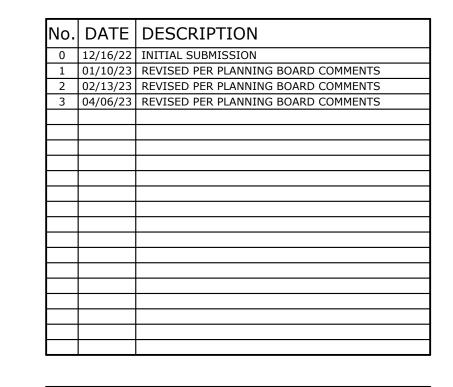
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3 - 04/06/23 35.08-1-11, 14, 15 & 23





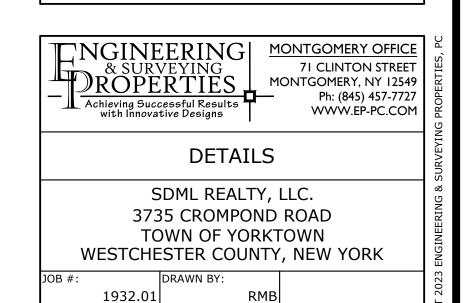
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| DRAWING STATUS                                     |                 | ISSUE DATE: |     |  |
|--|-----------------|-------------|-----|--|
| DRAWING STATUS                                     | 04/06/23        |             |     |  |
| THIS SHEET IS PART OF<br>THE PLAN SET ISSUED FOR   | SHEET<br>NUMBER |             |     |  |
| ☐ CONCEPT APPROVAL                                 | N/A             | OF          | N/A |  |
| ☑ PLANNING BOARD APPROVAL                          | 9               | OF          | 12  |  |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL                | N/A             | OF          | N/A |  |
| ☐ WCDOH WATERMAIN EXTENSION APPROVAL               | N/A             | OF          | N/A |  |
| □ NYSDEC APPROVAL                                  | N/A             | OF          | N/A |  |
| NYSDOT APPROVAL                                    | N/A             | OF          | N/A |  |
| OTHER  | N/A             | OF          | N/A |  |
| ☐ FOR BID  | N/A             | OF          | N/A |  |
| ☐ FOR CONSTRUCTION                                 | N/A             | OF          | N/A |  |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE |                 |             |     |  |

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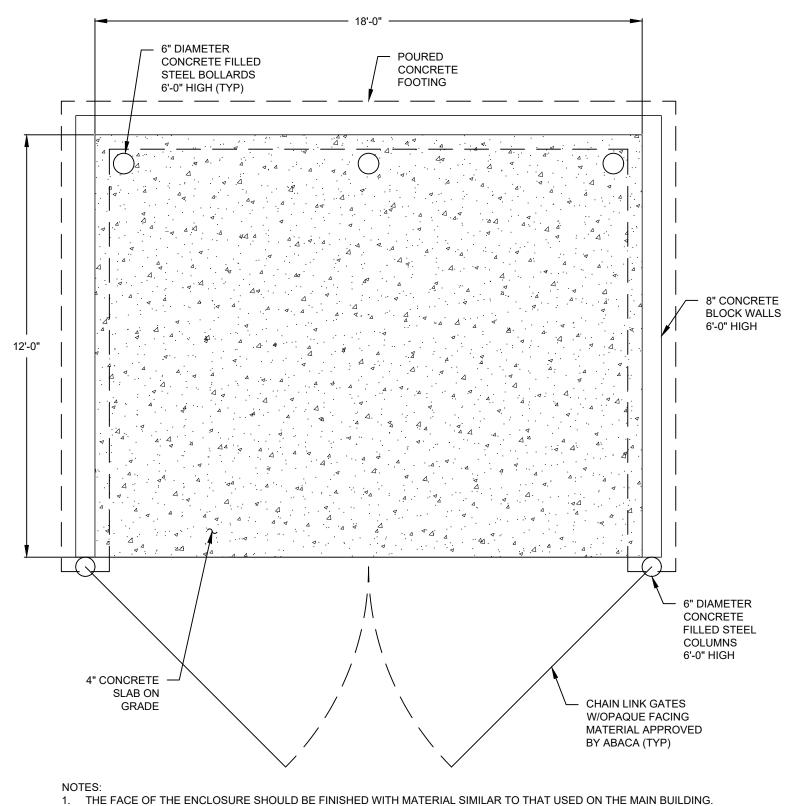
12/16/22

**3 - 04/06/23 35.08-1-11, 14, 15 & 23** 

AS NOTED C-30

ORIGINAL SCALE IN INCHES

Z:\1932.01 — SDML Yorktown Dunkin Donuts\1932.01 — Details.dwg Date Printed: Apr 06, 2023, 10:19am

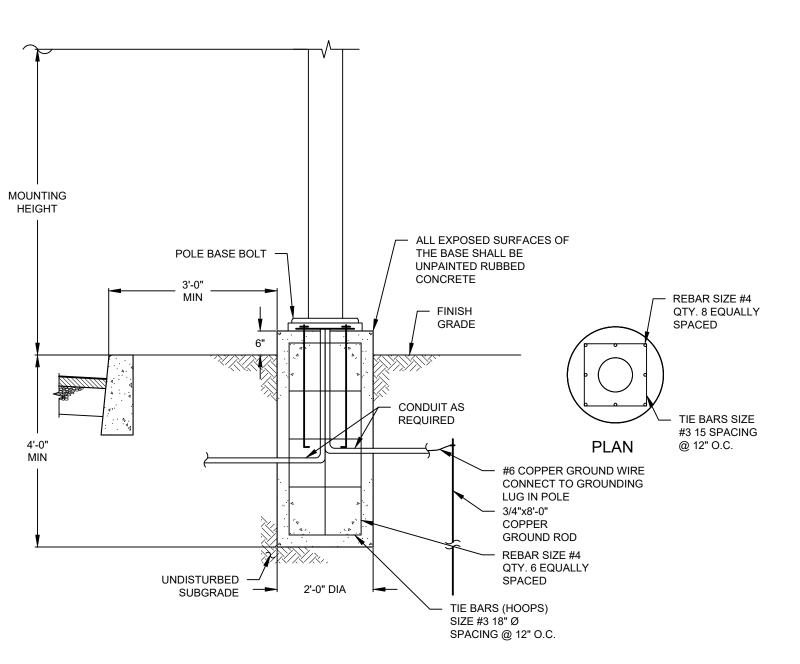


2. THE BUILDING INSPECTOR SHALL APPROVE THE CONSTRUCTION METHODS AND CODE COMPLIANCE OF ALL STRUCTURES ERECTED IN YORKTOWN.

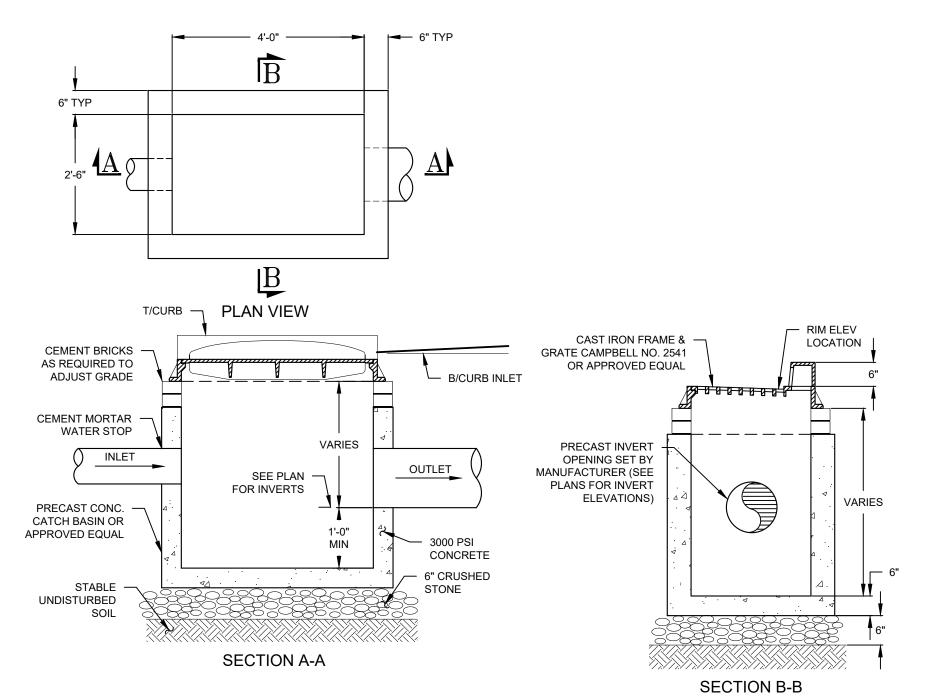
3. A MECHANISM FOR LOCKING THE GATES IN THE OPEN AND CLOSED POSITION MUST BE PROVIDED. 4. ALL CONCRETE SHALL BE 4000 PSI AT 28 DAYS.

#### **DUMPSTER ENCLOSURE**

SCALE: N.T.S.

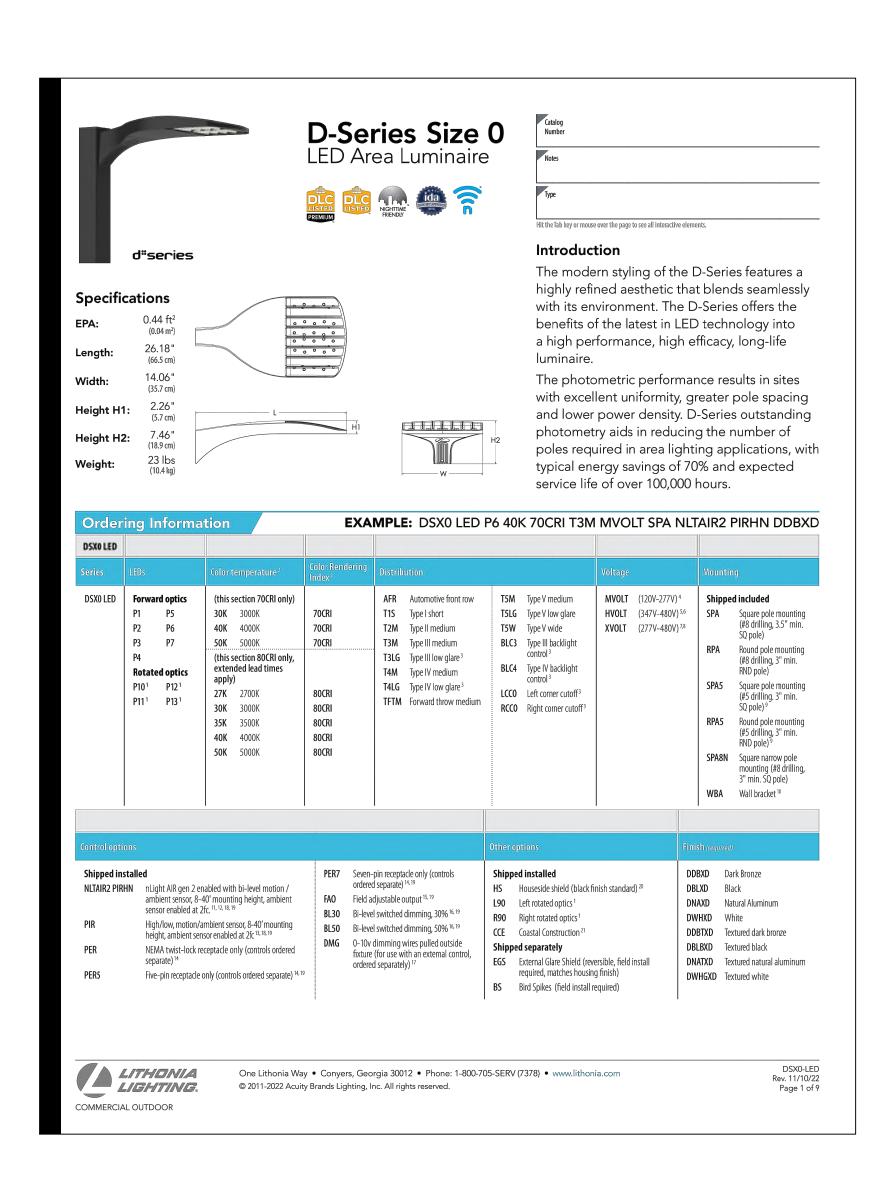


LIGHT POLE BASE BEHIND CURB

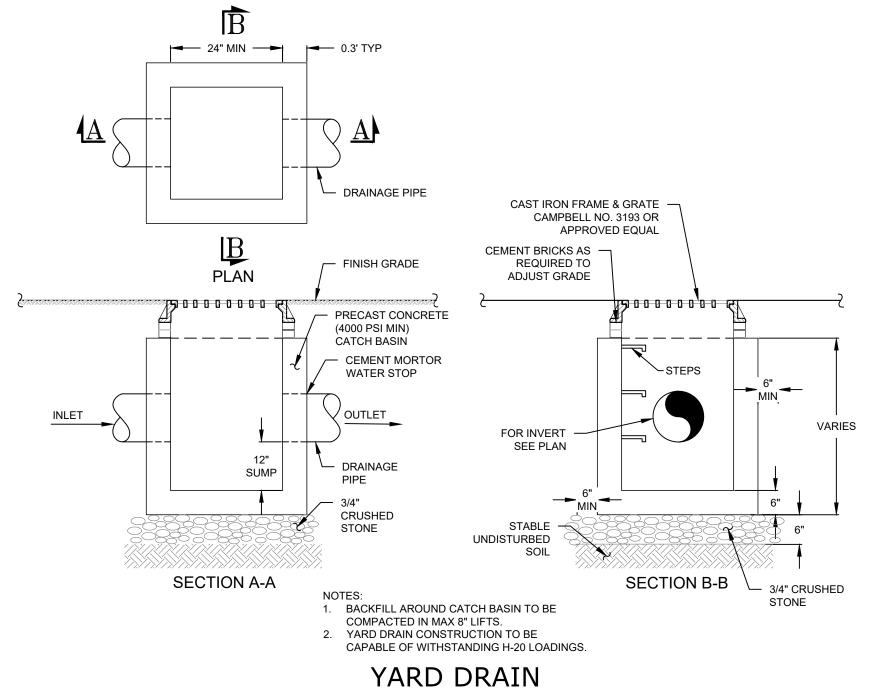


1. BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX 9" LIFTS. PRECAST ALUMINUM STEPS SHALL BE PROVIDED FOR ALL BASINS

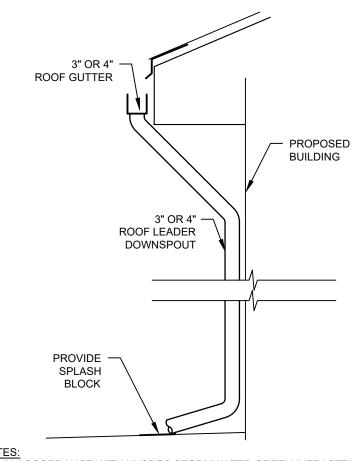
# **CATCH BASIN**







SCALE: N.T.S.



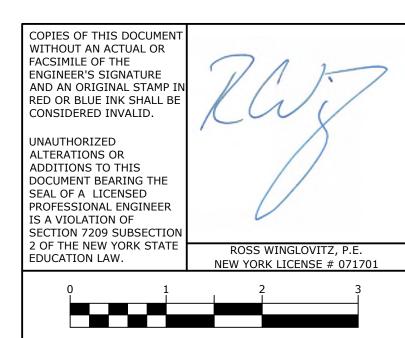
IN ACCORDANCE WITH NYSDEC STORMWATER GREEN INFRASTRUCTURE REQUIREMENTS, ALL ROOF LEADER DOWNSPOUTS SHALL DISCHARGE EFFLUENT ALONG THE SURFACE FOR INFILTRATION. CONNECTION OF ROOF LEADERS TO CLOSED SYSTEMS IS PROHIBITED. HOMEOWNERS SHALL MAINTAIN SPLASH BLOCK LAWN AREA AS SHOWN ON THE PLANS TO PROVIDE INFILTRATION OF STORMWATER ROOF RUNOFF.

#### ROOF LEADER AND SPLASH PAD

| No. | DATE     | DESCRIPTION                         |
|-----|----------|-------------------------------------|
| 0   | 12/16/22 | INITIAL SUBMISSION                  |
| 1   | 01/10/23 | REVISED PER PLANNING BOARD COMMENTS |
| 2   | 02/13/23 | REVISED PER PLANNING BOARD COMMENTS |
| 3   | 04/06/23 | REVISED PER PLANNING BOARD COMMENTS |
|     |          |                                     |
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| DRAWING STATUS                                     | ISS             | JE D   | ATE: |
|--|-----------------|--------|------|
| DRAWING STATUS                                     | 04,             | /06/23 |      |
| THIS SHEET IS PART OF THE PLAN SET ISSUED FOR      | SHEET<br>NUMBER |        |      |
| CONCEPT APPROVAL                                   | N/A             | OF     | N/A  |
| ☑ PLANNING BOARD APPROVAL                          | 10              | OF     | 12   |
| ☐ WCDOH REALTY SUBDIVISION APPROVAL                | N/A             | OF     | N/A  |
| $\ \square$ WCDOH WATERMAIN EXTENSION APPROVAL     | N/A             | OF     | N/A  |
| ☐ NYSDEC APPROVAL                                  | N/A             | OF     | N/A  |
| NYSDOT APPROVAL                                    | N/A             | OF     | N/A  |
| OTHER  | N/A             | OF     | N/A  |
| ☐ FOR BID  | N/A             | OF     | N/A  |
| FOR CONSTRUCTION                                   | N/A             | OF     | N/A  |
| THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE |                 |        | SED  |

APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).



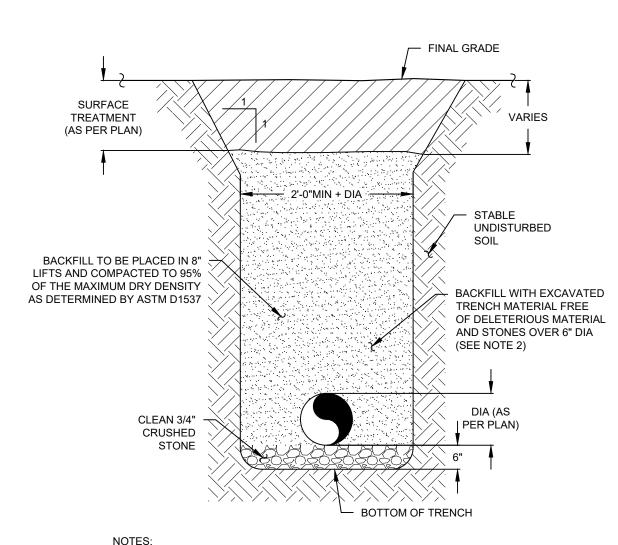


**3 - 04/06/23 35.08-1-11, 14, 15 & 23** 



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1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC;

SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF

2. ALL DRAINAGE PIPE SHALL BE HDPE WITH A SMOOTH INVERT.

3. ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS

DRAINAGE PIPE TRENCH

SCALE: N.T.S.

MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.

OR WITHIN THE TOWN OF YORKTOWN RIGHT-OF-WAY SHALL BE WITH R.O.B.

GRAVEL (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL

DETECTION TAPE-SURFACE TREATMENT ALL EXCAVATION (SEE PLAN) AND TRENCHING VARIES TO MEET OSHA REQUIREMENTS RUN-OF-TRENCH -BACKFILL (IF SUITABLE) (PER PLAN) COMPACTED IN MAX. 9" 4'-6" MIN. UNDISTURBED SOIL LIFTS, SEE NOTE 1 CLASS 52  $\frac{3}{4}$ " CLEAN CRUSHED STONE OR DOUBLE CEMENT COARSE SAND AS APPROVED BY LINED DUCTILE IRON THE WATER/SEWER DEPARTMENT IRON PIPE OR PLACED IN 6" LIFTS MAX TYPE COPPER (PER PLAN) BOTTOM OF TRENCH (SEE NOTE 2) UNDISTURBED FIRM SOIL

— FINAL GRADE

1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC; SHALL BE WITH NYSDOT ITEM #4 FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 9" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR

WATER PIPE TRENCH

SCALE: N.T.S.

3. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC; SHALL BE WITH ITEM 4 (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND 2. IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE TRENCH, THE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST PIPE BEDDING SHALL BE INCREASED TO 8" THICK.

SURFACE TREATMENT

(PER PLAN)

**BACKFILL WITH EXCAVATED** 

TRENCH MATERIAL FREE OF

DELETERIOUS MATERIAL AND

STONES OVER 3" DIAMETER.

BACKFILL TO BE PLACED IN

8" LIFTS AND COMPACTED.

CAREFULLY COMPACTED

HAND PLACED 3/4" CLEAN

CRUSHED STONE

SEE NOTE 1

BOTTOM OF TRENCH

- 1,250 GAL PRECAST PUMP CHAMBER

SEE NOTE 3

SEWER PIPE TRENCH SCALE: N.T.S.

1. ALL FILL BELOW BUILDING AND PAVEMENT TO BE COMPACTED TO 95%

2. ALL SEWER MAINS SHALL BE 8" OR 10" SDR 35 PVC. ALL SEWER

MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.

HEADERS SHALL BE 6" SDR 35 AND ALL SEWER LATERAL TO BE 4" SDR

PIPE DIA. + 2'-0" MAX →

FINAL GRADE

- 3" DETECTION TAPE

- SDR-26 FORCEMAIN

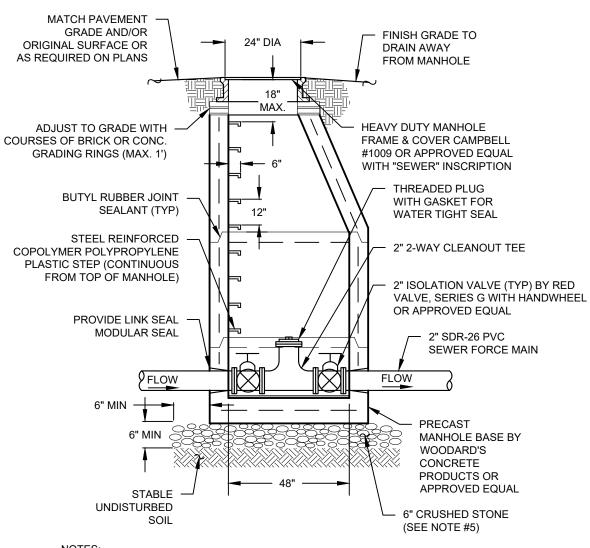
ALL EXCAVATION

AND TRENCHING

REQUIREMENTS

VARIES TO MEET OSHA

- STABLE UNDISTRURBED SOIL



SCALE: N.T.S.

AND ASTM A185 GRADE 65. 4. CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.

5. FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.

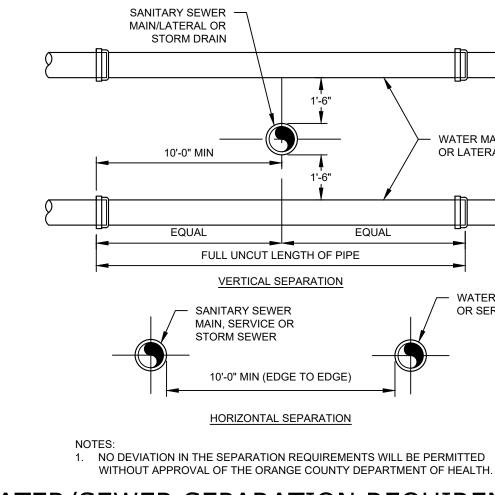
1. MANHOLE, BASE, CONE AND RISER TO BE MANUFACTURED BY WOODARD'S CONCRETE

CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS. CONCRETE REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60 AND

PRODUCTS OR APPROVED EQUAL.

6. ANY STRUCTURE LOCATED WITHIN THE PAVEMENT AREA SHALL BE CAPABLE OF

FORCEMAIN FITTING MANHOLE



WATER/SEWER SEPARATION REQUIREMENTS

No. DATE DESCRIPTION

0/23 REVISED PER PLANNING BOARD COMMENTS

02/13/23 REVISED PER PLANNING BOARD COMMENTS

3 | 04/06/23 | REVISED PER PLANNING BOARD COMMENTS

WATER MAIN

OR LATERAL

WATER MAIN

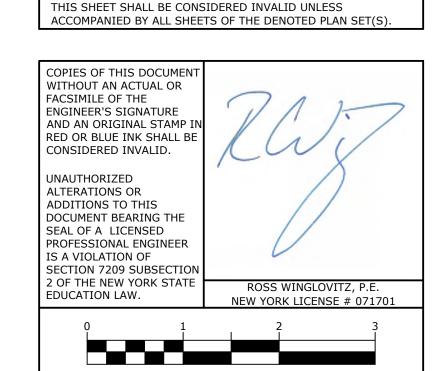
OR SERVICE

DRAWING STATUS 04/06/23 THE PLAN SET ISSUED FOR NUMBER CONCEPT APPROVAL N/A OF N/A ▼ PLANNING BOARD APPROVAL 11 OF 12 N/A OF N/A WCDOH REALTY SUBDIVISION APPROVAL ☐ WCDOH WATERMAIN EXTENSION APPROVAL N/A OF N/A N/A OF N/A NYSDEC APPROVAL N/A OF N/A ☐ NYSDOT APPROVAL N/A OF N/A OTHER ☐FOR BID N/A OF N/A ☐ FOR CONSTRUCTION N/A OF N/A THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED

FOR ANY OTHER PURPOSE.

12/16/22

3 - 04/06/23 35.08-1-11, 14, 15 & 23



ORIGINAL SCALE IN INCHES

NGINEERING 71 CLINTON STREET MONTGOMERY, NY 12549 Ph: (845) 457-7727 Achieving Successful Results WWW.EP-PC.COM **DETAILS** SDML REALTY, LLC. 3735 CROMPOND ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK DRAWN BY: 1932.01

AS NOTED

 CURB VALVE AND CURB BOX TO BE PROVIDED **GROUND SURFACE** CURB BOX - MUELLER H-10336 OR APPROVED EQUAL GOOSENECK AS NECESSARY CURB VALVE - MUELLER H-15209 OR APPROVED EQUAL WATER MAIN · TO BUILDING ──► CORPORATION COCK AT 10 O'CLOCK OR 2 O'CLOCK POSITION PROPOSED 1" TYPE "K" COPPER PIPE TO BE PROVIDED COMPACTED FILL

# WATER SERVICE CONNECTION

#### PUMP STATION CALCULATIONS

**SEWER USAGE CALCULATION:** 

28 SEATS x 25 GPD / SEAT = 700 GPD \* CALCULATION BASED UPON NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS DATED MARCH 5, 2014.

PUMP VOLUME CALCULATIONS:

ELEVATION BETWEEN PUMP OFF TO PUMP ON TRY 14" OR 1.17' 9.5 FT x 4.5 FT x 1.17 FT = 49.9 CF = 373 GAL

24 HOUR STORAGE CALCULATIONS:

24 HOUR STORAGE = 700 GAL / 7.48 GAL/CF = 93.6 CF 24 HOUR STORAGE HEIGHT = 93.6 CF / (9.5 FT x 4.5 FT) = 2.19 FT

24 HOUR STORAGE AVAILABLE TO INVERT IN = 2.24 FT

1. PRECAST CONCRETE PUMP CHAMBER AS MFG. BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL GT 1250, W/ (2) 24" DIA COVERS OR APPROVED EQUAL

2. CONCRETE - 4,000 PSI AT 28 DAYS REINFORCEMENT - WWM. #4 REBAR

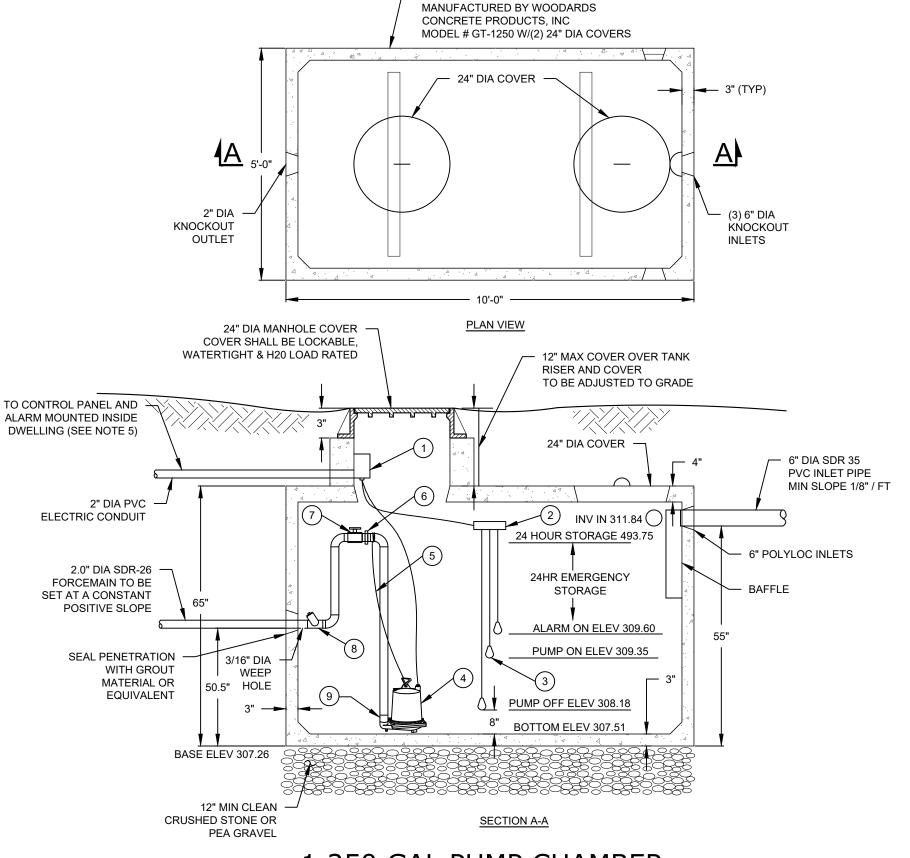
CONSTRUCTION JOINT TO BE SEALED WITH BUTYL RUBBER SEALANT CONTROL PANEL AS MFG. GOULDS PUMPS, INC. MODEL SES SERIES CUSTOMIZED CONTROL PANEL-

NEMA 1 SIMPLEX CONTROLLER WITH ALARM. CONTROL PANEL IS TO BE MOUNTED INDOORS AND WIRED TO CIRCUIT BREAKER.

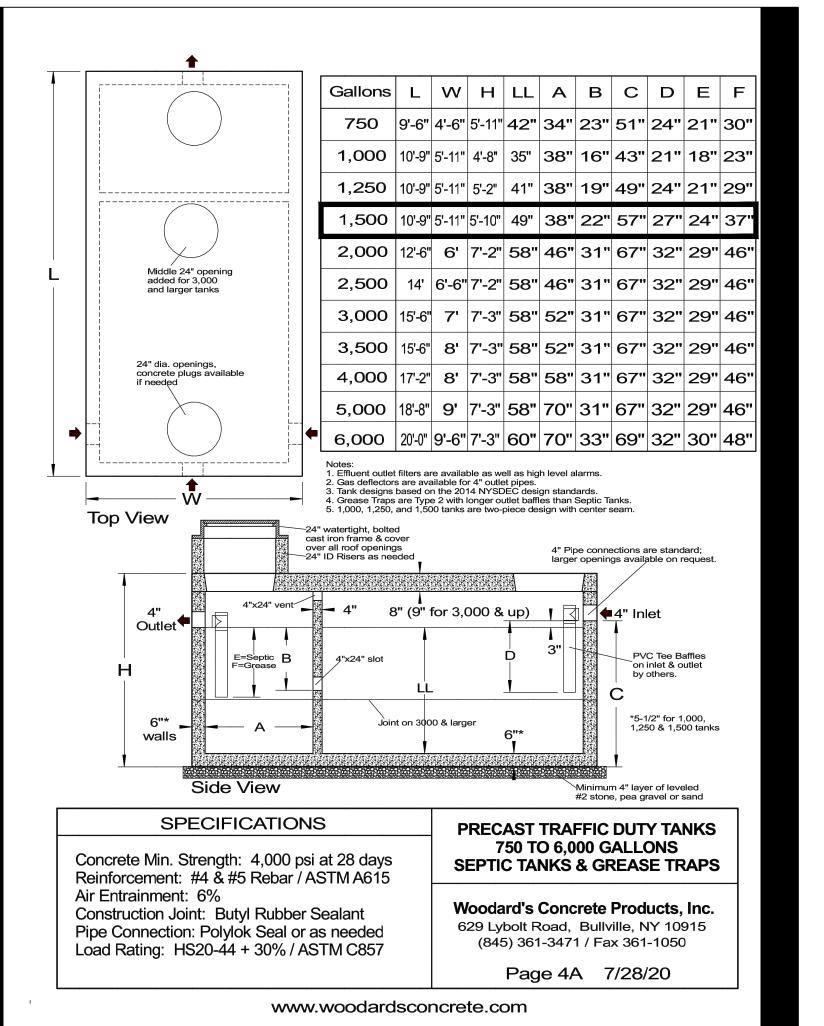
ALL ELECTRICAL WORK SHALL MEET WITH THE NATIONAL ELECTRICAL CODE LATEST EDITION PUMP STATION(S) SHOULD BE INSPECTED PERIODICALLY BY A PROPERLY TRAINED PERSON FOR PROPER OPERATION, INCLUDING HIGH WATER ALARMS, VENTING AND ANY PHYSICAL DAMAGE.

#### SCHEDULE OF MECHANICAL EQUIPMENT

| REF# | QTY. | DESCRIPTION & WOODARD'S MODEL #                                    | Α | 0 |  |
|------|------|--|---|---|--|
| 1    | 1    | ELECTRICAL JUNCTION BOX - A8-1J                                    |   |   |  |
| 2    | 1    | STAINLESS STEEL FLOAT BRACKET - FSB1                               |   |   |  |
| 3    | 3    | MERCURY FLOAT SWITCH - A2K23                                       |   |   |  |
| 4    | 1    | GOULDS 3885 SUBMERSIBLE EFFLUENT PUMP- WOODARDS MODEL # - GP-WE05H |   |   |  |
| 5    | 1    | 10' LIFT CABLE - ACBL-10   |   |   |  |
| 6    | 1    | 2.0" UNION - FUNION-2  |   |   |  |
| 7    | 1    | 2.0" BALL VALVE - FBALLVALVE-2                                     |   |   |  |
| 8    | 1    | 2.0" FLAP CHECK VALVE - FFLAPCHECK-2                               |   |   |  |
| 9    | 1    | 2.0" NPT THREADED ADAPTER - FMA-2                                  |   |   |  |
| 10   | 1    | GOULDS SIMPLEX CONTROL PANEL W/ALARM - WOODARDS MODEL # S10020N1   |   |   |  |



,250 GAL PUMP CHAMBER



1,500 GAL SEPTIC TANK



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#### SEQUENCE OF CONSTRUCTION ACTIVITY

- 1. PRE-CONSTRUCTION: NOTIFY APPROPRIATE MUNICIPAL AND UTILITY OFFICIALS 3 DAYS PRIOR TO START OF
- 2. CONSTRUCTION STAGING: STAKE OUT LIMIT OF DISTURBANCE. INSTALL SILT FENCE DOWNHILL OF PROPOSED CONSTRUCTION. INSTALL ORANGE CONSTRUCTION FENCING ALONG THE LIMITS OF DISTURBANCE. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
- CLEARING AND GRUBBING: REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT SEDIMENT BARRIERS AROUND AND
- ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES. ROUGH GRADING: CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABLIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABLIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21
- DAYS FROM LAST DISTURBANCE. DRIVEWAY / BUILDING CONSTRUCTION AND UTILITY INSTALLATION: FINAL GRADING AND CONSTRUCTION OF DRIVEWAYS. BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. ENSURE ALL EROSION
- CONTROL MEASURES ARE IN WORKING ORDER. 6. FINAL GRADING AND LANDSCAPING: COMPLETE FINE GRADING OF SITE, SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS, INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
- POST CONSTRUCTION: UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE. REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.

#### EARTHWORK CONSTRUCTION NOTES

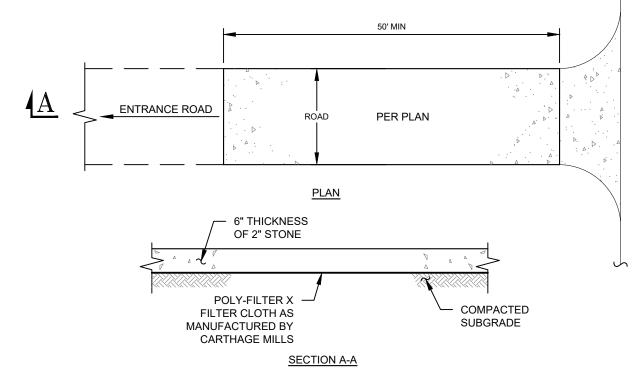
- ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF YORKTOWN. ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL (IF ANY) SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS
- ANY FILL BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557. FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A
- MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING. COMPLETION OF GRADING AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
- STABILIZATION OF ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL NOTES" SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PERVIOUS SURFACES
- WITH A SLOPE LESS THAN 10%. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING: APPLY 3 INCHES OF COMPOST OVER SUBSOIL
- TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER. TRACTOR MOUNTED DISC. OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
- ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED
- APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
- VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.

#### **EROSION & SEDIMENTATION CONTROL NOTES**

- 1. SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS.
- TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES, TEMPORARY SWALES, STONE CHECK DAMS SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION OF THE PROPOSED ROADWAY OR DWELLING UNITS.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION: 3.1. AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND
- 3.2. LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
- 3.3. FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED FOR ESTABLISHING NEW LAWNS PER SITE SPECIFIC SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
- 3.4. DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE. DURING THE WINTER, USE 100 LBS. CERTIFIED "AROOSTOOK" WINTER RYE (CEREAL RYE) PER ACRE. 3.5. PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE:
- 8 LBS EMPIRE BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER PER ACRE PLUS 20 LBS TALL FESCUE PER ACRE <u>PLUS</u> 2 LBS REDTOP OR 5 LBS RYEGRASS (PERENNIAL) PER ACRE
- 3.6. ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE
- 3.7. ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER OR TUCKING THE MUI CH WITH SMOOTH DISCS OR OTHER MUI CH ANCHORING TOOLS TO A DEPTH OF 3'
- MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. RAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
- TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE. ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
- SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE. OVER HAY OR
- STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED. STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND
- SEEDING WITH THE FOLLOWING MIXTURE: PERENNIAL RYE GRASS
- CROWN VETCH SPREADING FESCUE
- 10. OPTIMUM SEEDING PERIODS ARE 3/15-6/1 AND 8/1-10/15.
- 11. FOR CONSTRUCTION THAT OCCURS DURING WINTER MONTHS (i.e. NOVEMBER 15 APRIL 1) ADDITIONAL MEASURES SHALL BE TAKEN IN ACCORDANCE WITH THE STANDARD & SPECIFICATIONS FOR WINTER STABILIZATION SECTION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL, LATEST EDITION AS PUBLISHED BY THE NYSDEC SUCH AS BUT NOT LIMITED TO THE FOLLOWING
- 11.1.ENSURING COMPLIANCE WITH SNOW STORAGE STOCKPILE AREAS.
- 11.2.SNOW STOCKPILES AT CONSTRUCTION ENTRANCE SHALL BE OUTSIDE THE STABILIZED CONSTRUCTION ENTRANCE TO ENSURE THE FUNCTIONALITY OF THE EROSION CONTROL MEASURE.
- 11.3 MAINTAIN BUFFERS TO ALL PERIMETER SILT FENCES

FOUNDATIONS, EXCAVATIONS, OR WATER MANAGEMENT AREAS.

- 11.4.INSTALL ADDITIONAL SILT FENCE AS NECESSARY FOR ANY DISTURBED AREAS UP GRADIENT OF A WATER BODY 11.5.PROVIDE MAINTENANCE OF ALL DRAINAGE STRUCTURE TO KEEP CLEAR OF SNOW, ICE, DEBRIS, ETC.
- 11.6.IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED. THE APPLICATION OF SOIL STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN THREE (3) DAYS. ROLLED EROSION CONTROL BLANKETS MUST BE USED ON ALL SLOPES 3 HORIZONTAL TO 1 VERTICAL OR
- 11.7.IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE APPLICATION RATE OF 2 TONS PER ACRE, MAKING THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES
- SHOULD BE APPLIED AT DOUBLE THE MANUFACTURER'S RECOMMENDED RATE. 11.8.TO ENSURE ADEQUATE STABILIZATION OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL SHOULD BE STABILIZED AT THE END OF EACH WORK DAY UNLESS:
- 11.8.1. WORK WILL RESUME WITHIN 24 HOURS IN THE SAME AREA AND NO PRECIPITATION IS FORECAST OR; 11.8.2. THE WORK IS IN DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS OPEN UTILITY TRENCHES,

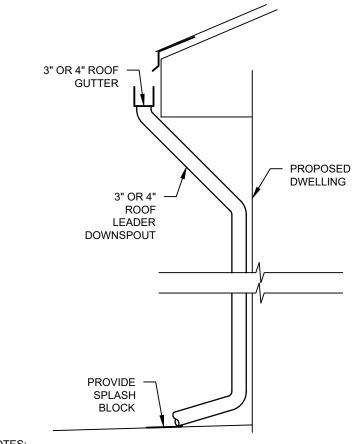


1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT 2. WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR **FGRESS OCCURS** 

- 3. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 4. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF- WAY. THIS MAY REQUIRED PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED
- 5. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA
- STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE 6. PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

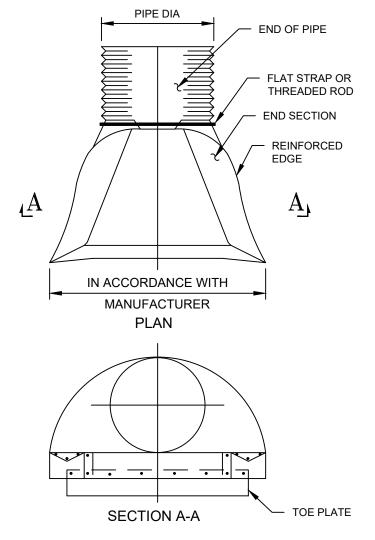
#### STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



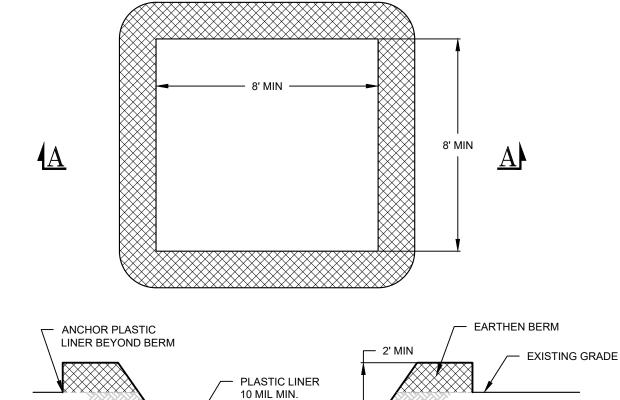
- 1. IN ACCORDANCE WITH NYSDEC STORMWATER GREEN INFRASTRUCTURE REQUIREMENTS, ALL ROOF LEADER DOWNSPOUTS SHALL DISCHARGE
- EFFLUENT ALONG THE SURFACE FOR INFILTRATION. 2. CONNECTION OF ROOF LEADERS TO CLOSED SYSTEMS IS PROHIBITED.
- 3. PROPERTY OWNER SHALL MAINTAIN SPLASH BLOCK LAWN AREA AS SHOWN ON THE PLANS TO PROVIDE INFILTRATION OF STORMWATER ROOF RUNOFF.

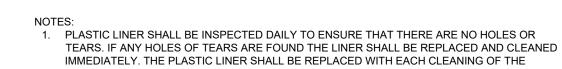
## ROOF LEADER AND SPLASH PAD



1. RIP-RAP TO BE PROVIDED AT THE END OF THE FLARED END SECTION AS PER PLANS. 2. ALL DRAINAGE END SECTIONS SHALL BE

FLARED END SECTION





**CROSS SECTION A-A** 

- 2. WASHOUT FACILITY SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS OR OTHER SURFACE WATERS. 3. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE
- CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF.

# CONCRETE WASHOUT

4. DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL.

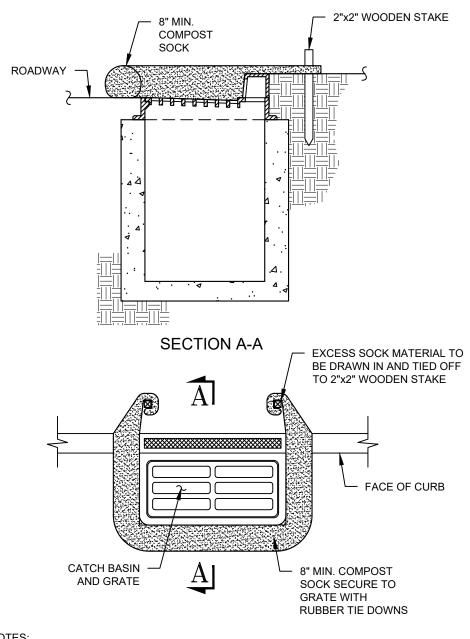
SCALE: N.T.S.

FENCE POST

@ 8'-0" O.C.

2'-0"

BACKFILL



. COMPOST SOCK BY FILTREXX SILTSOXX 8" DIAMETER. OR APPROVED EQUAL. ALL MATERIAL AND FILTER MEDIA FILL TO MEET MANUFACTURER'S SPECIFICATIONS.

- SEDIMENT SHALL BE REMOVED AND THE COMPOST SOCK REPAIRED OR REPLACED WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE SOCK. REMOVED SEDIMENT SHALL BE DISPOSED OF IN A SUITABLE MANNER. 4. THE COMPOST SOCK SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- 6. THE COMPOST SOCK SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE TRIBUTARY DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

#### INLET PROTECTION

SHALL BE DRY AND STABLE.

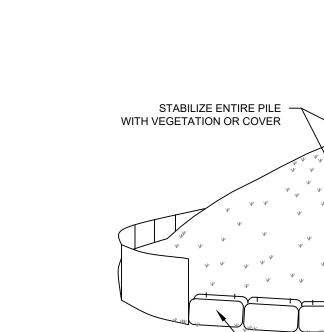
INSTALLATION OF SILT FENCE.

MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.

EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

EACH PILE SHALL BE SURROUNDED WITH

SEE SPECIFICATIONS (THIS MANUAL) FOR



STABLE SUBSOIL

1. SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD. SILT SHALL BE REMOVED WHEN HEIGHT OF SILT EXCEEDS 1/2 OF THE EXPOSED SILT FENCE HEIGHT

SILT FENCE FABRIC

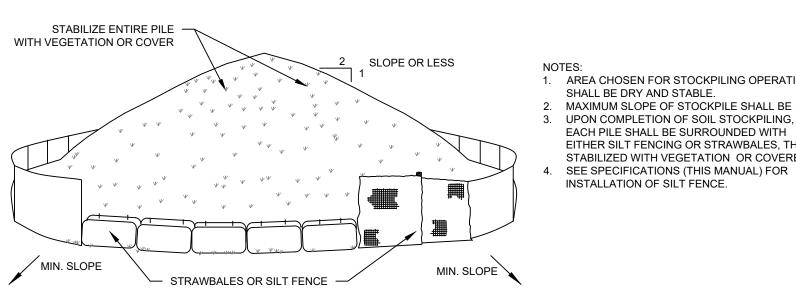
APPROVED EQUAL

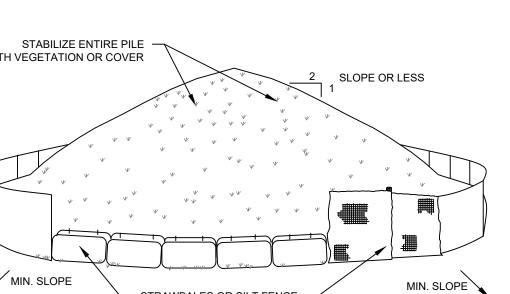
SILT

(3'-0" WIDE) MIRAFI 100X OR

EXCAVATED —

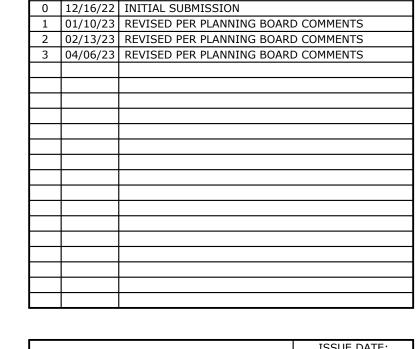
TRENCH





AS NEEDED.

SOIL STOCKPILE



SOIL RESTORATION NOTES

**Table 5.3 Soil Restoration Requirements** 

HSG C&D

Aerate\* and apply 6

inches of topsoil

Apply full Soil

Restoration \*\*

Apply full Soil Restoration (de-

Restoration not required, but may be

specified for appropriate practices.

applied to enhance the reduction

Soil Restoration is required on

be converted to pervious area.

redevelopment projects in areas

where existing impervious area will

compaction and compost

HSG C & D

Comments/Examples

reservation of Natural Features

Protect area from any ongoing

Keep construction equipment from

crossing these areas. To protect

newly installed practice from any

construct a single phase operation

ongoing construction activities

fence area

No. DATE DESCRIPTION

Clearing and grubbing

construction activities.

**Soil Restoration Requirement** 

Restoration not permitted

HSG A &B

apply 6 inches

of topsoil

HSG A &B

Aerate and

of topsoil

apply 6 inches

enhancement)

Type of Soil Disturbance

Minimal soil disturbance Restoration not required

No soil disturbance

Areas where topsoil is

Areas of cut or fill

in grade

stripped only - no change

Heavy traffic areas on site

(especially in a zone 5-25

feet around buildings but

not within a 5 foot

perimeter around

foundation walls)

Areas where Runoff

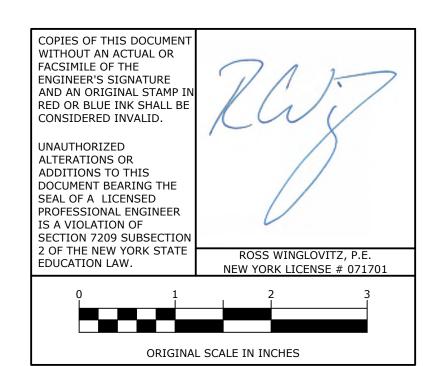
Infiltration practices are

Redevelopment projects

Reduction and/or

| DRAWING STATUS                                    | ISSUE DATE:     |    |     |  |
|---|-----------------|----|-----|--|
|   | 04/06/23        |    |     |  |
| THIS SHEET IS PART OF<br>THE PLAN SET ISSUED FOR  | SHEET<br>NUMBER |    |     |  |
| CONCEPT APPROVAL                                  | N/A             | OF | N/A |  |
| PLANNING BOARD APPROVAL                           | 11              | OF | 12  |  |
| WCDOH REALTY SUBDIVISION APPROVAL                 | N/A             | OF | N/A |  |
| WCDOH WATERMAIN EXTENSION APPROVAL                | N/A             | OF | N/A |  |
| NYSDEC APPROVAL                                   | N/A             | OF | N/A |  |
| NYSDOT APPROVAL                                   | N/A             | OF | N/A |  |
| OTHER   | N/A             | OF | N/A |  |
| FOR BID   | N/A             | OF | N/A |  |
| FOR CONSTRUCTION                                  | N/A             | OF | N/A |  |
| HIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE |                 |    |     |  |

APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S)





AS NOTED

1932.01

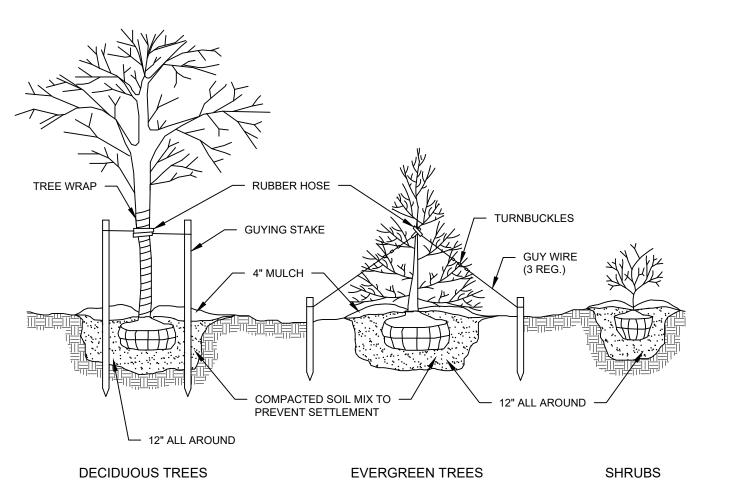
12/16/22

**3 - 04/06/23** 35.08-1-11, 14, 15 & 23



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