

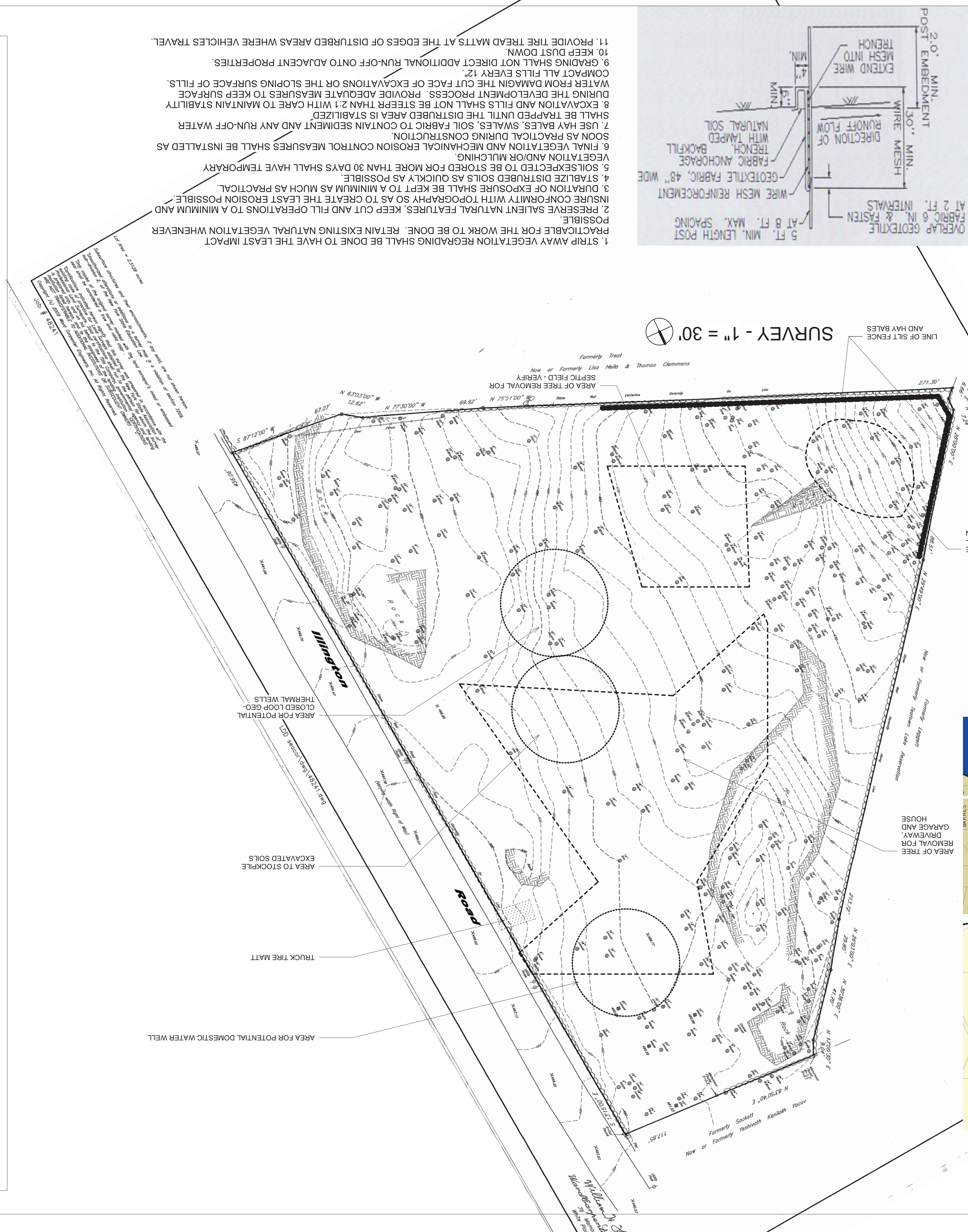
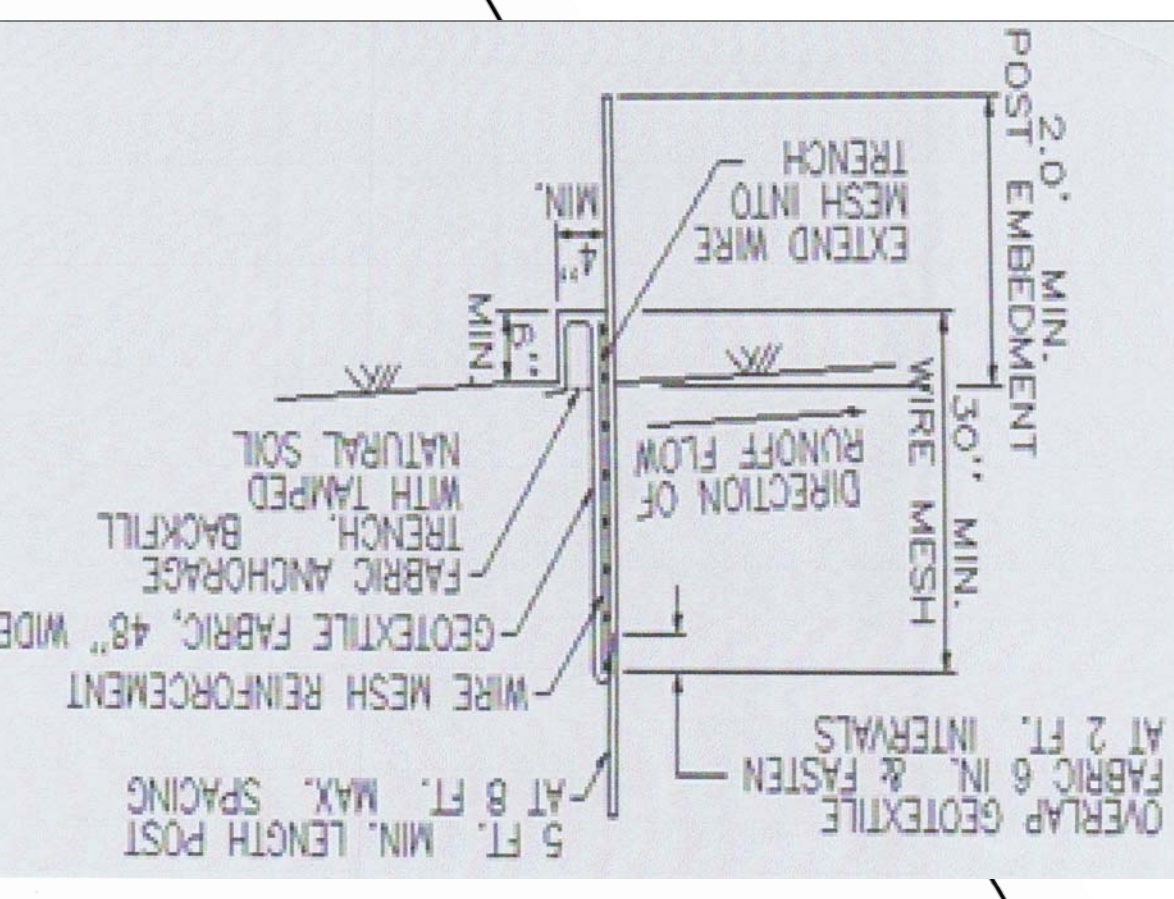
**ZONING MAP - NO SCALE**

**ENERGY CODE**

Energy Code: For Zone 4A with the following requirements according to Table R402.1.2 of the 2015 IECC and NYS 2017 Energy Code Supplement:  
 Framed Wall R20 or R13 between studs and R5oa required; R=37.8 provided (R=6.5 ca)  
 Mass Walls: R=9 required; R=19.54 provided  
 Exterior Windows Operable: U=0.35 required; U=0.26, argon filled low e provided  
 Exterior Windows Fixed: U=0.45 required; U=0.26, argon filled low e provided  
 Exterior Doors: U=0.77 required; U=0.31, argon filled, low e provided  
 Window Area: 30% max required; 18% proposed fenestration

Number	Sheet Name	Issue Date	Current Revision Date	Current Revision Description
A-1	Title Survey Scope of Work	1/24/18		
A-2	Site Plan	03/21/19		
A-3	Site Details	09/26/19		
A-4	Ground Floor Plan	1/24/18		
A-5	Ground Floor RCP	06/25/19		
A-6	First Floor Plan	1/24/18		
A-7	First Floor RCP	06/25/19		
A-8	Roof Plan	09/26/19		
A-9	Elevations - East & South	06/22/19		
A-10	Elevations - North & West	10/26/18		
A-10a	Shed Plans Elevations and MPE	01/10/20		
A-11	Sections	1/24/18		
A-12	Wall Sections	06/21/19		
A-13	Fireplace Chimney	06/24/19		
A-14	Kitchen	09/10/19		
A-15	Bathrooms	09/13/19		
A-16	Window Door Schedule	1/24/18		
A-17	Finish Schedule	1/24/18		
A-18	Wall Types Details and More Millwork	1/24/18		
A-19	Stairs	10/04/19		
A-20	Exterior Perspectives	10/04/19		
A-21	Interior Perspectives	10/04/19		
A-22	Specifications 1	1/24/18		
A-23	Specifications 2	1/24/18		
A-24	Specifications 3	09/06/18		
E-1	Ground Floor Electrical Light Fixture Schedule Panel Schematic	02/06/20		
E-2	Ground RCP Electrical	02/06/20		
E-3	1st Floor Electrical	02/06/20		
E-4	1st Floor RCP Electrical	02/06/20		
MP-1	Ground Floor Mechanical and Plumbing and Mechanical Equipment	09/26/19		
MP-2	Ground RCP Mechanical and Plumbing	09/26/19		
MP-3	1st Floor Mechanical and Plumbing Schedules	09/26/19		
MP-4	1st RCP Mechanical and Plumbing	09/26/19		

In accordance with NYS Education Law 7209, no alteration of changes can be made to these drawings unless by the architect listed above.  
 All work has been designed in accordance with the Energy Conservation Construction Code Supplement of New York State including the NYS 2017 Uniform Code Supplement of New York State.  
 These statements refer to the drawings and specifications dated 10/28/2019 as listed above.



- STRIP AWAY VEGETATION REGARDING SHALL BE DONE TO HAVE THE LEAST IMPACT PRACTICABLE FOR THE WORK TO BE DONE. RETAIN EXISTING NATURAL VEGETATION WHENEVER POSSIBLE.
- PRESERVE SAILENT NATURAL FEATURES. KEEP CUT AND FILL OPERATIONS TO A MINIMUM AND INSURE CONFORMITY WITH TOPOGRAPHY SO AS TO CREATE THE LEAST EROSION POSSIBLE.
- DURATION OF EXPOSURE SHALL BE KEPT TO A MINIMUM AS MUCH AS PRACTICAL.
- STABILIZE DISTURBED SOILS AS QUICKLY AS POSSIBLE.
- SOILS EXPECTED TO BE STORED FOR MORE THAN 30 DAYS SHALL HAVE TEMPORARY VEGETATION AND/OR MULCHING.
- FINAL VEGETATION AND MECHANICAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL DURING CONSTRUCTION.
- USE HAY BALES, SWALES, SOIL FABRIC TO CONTAIN SEDIMENT AND ANY RUN-OFF WATER SHALL BE TRAPPED UNTIL THE DISTURBED AREA IS STABILIZED.
- EXCAVATION AND FILLS SHALL NOT BE STEEPER THAN 2:1 WITH CARE TO KEEP SURFACE DURING THE DEVELOPMENT PROCCES. PROVIDE ADEQUATE MEASURES TO KEEP SURFACE WATER FROM DAMAGING THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS. COMPACT ALL FILLS EVERY 12".
- GRADING SHALL NOT DIRECT ADDITIONAL RUN-OFF ONTO ADJACENT PROPERTIES.
- KEEP DUST DOWN.
- PROVIDE TIRE TREAD MATS AT THE EDGES OF DISTURBED AREAS WHERE VEHICLES TRAVEL.

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**Engineer:**

**Author** / **Checker**

**Scope of Work**  
 Title Survey  
 Construction Documents

**Villa Seacor**  
 301 Illington Road  
 Ossining NY

**Revisions:**  
 2/7/20  
**A-1**

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**ZONING INFORMATION: Section 69.11 Block 1, Lot 15**

AS PER ZONING 300 ATTACHMENT 1 FOR R1-80 ZONE

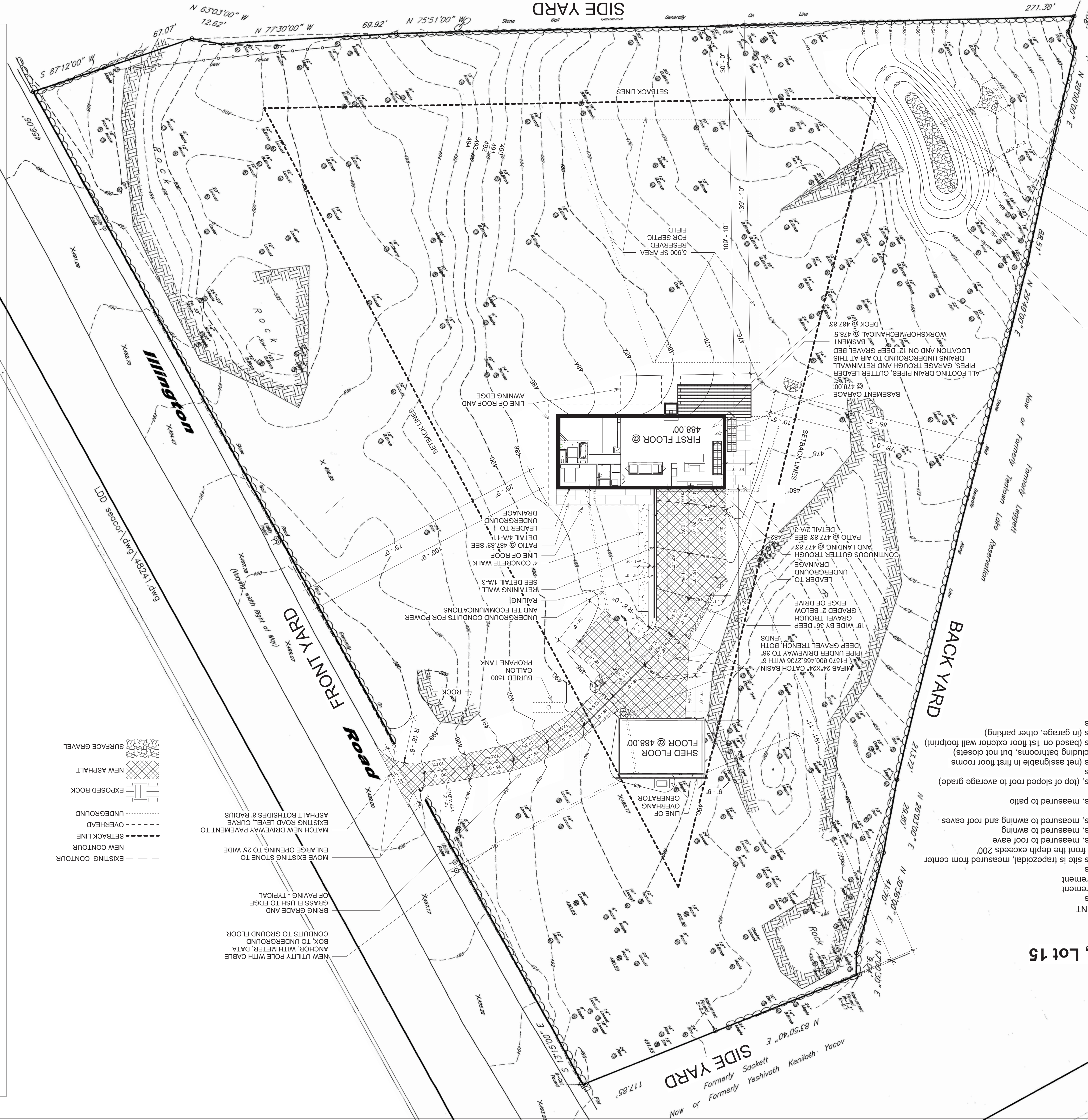
ITEM	EXISTING	PROPOSED	COMMENT
Lot Area	80,000 SF	109,458 SF	conforms
Floor Area Ratio	-	-	conforms
Minimum Site Area	-	-	no requirement
Lot Width at Main Building Line	200 ft	456 ft	conforms
Lot Depth	200 ft	over 200 ft	conforms
Front Yard	75 ft	100.75 ft	conforms, measured to roof eave of front the depth exceeds 200'
Side Yard - Main either side	30 ft	109.83 ft	conforms, measured to awning
Side Yard - Combined	80 ft	301.75 ft	conforms, measured to awning and roof eaves
Rear Yard - Main Building	75 ft	n/a	conforms, measured to patio
Rear Yard - Accessory	10 ft	n/a	conforms
Accessory Building Rear Yard	10 ft	n/a	conforms
Maximum Height - Main Bldg	35 ft	n/a	conforms, (top of sloped roof to average grade)
Maximum Height - Accessory	15 ft	n/a	conforms
Minimum Usable Floor Area	1,200 sf	1,566 sf	conforms (net assignable in first floor rooms including bathrooms, but not closets)
Maximum Building Coverage	10%	1.8%	conforms (based on 1st floor exterior wall footprint)
Required Off-Street Parking	1	4 minimum	conforms (in garage, other parking)
Road Frontage	200 ft	456 ft	conforms

ADDITIONAL IMPERVIOUS SURFACES:  
 DRIVEWAY: 3,755 SF  
 RETAINING WALL: 80 SF  
 SIDEWALK: 234 SF  
 HOUSE: 2,069 SF  
 PATIO NORTH: 232 SF  
 PATIO WEST: 303 SF  
 DECK PIERS: 7 SF  
 SLAB FOR GENERATOR: 20 SF  
 SHEED: 748 SF  
 TOTAL: 7,448 SF

7.448 SF X 5" RAIN IN 24 HOUR PERIOD = 3,103 CUBIC FEET OF WATER

BASIN TO CONTAIN 4,350 CUBIC FEET OF WATER ALLOWING UP TO 10,440 SF OF IMPERVIOUS SURFACE

12" DEEP GRAVEL AT BOTTOM OF BASIN  
 6" DIAMETER PIPE FROM INVERT AT 453.5 TO AIR WITH INVERT AT 450'  
 MOUTH OF PIPE



- EXISTING CONTOUR
- NEW CONTOUR
- SETBACK LINE
- OVERHEAD
- UNDGROUNND
- EXPOSED ROCK
- NEW ASPHALT
- SURFACE GRAVEL

- NEW UTILITY POLE WITH CABLE ANCHOR, WITH METER, DATA CONDUITS TO GROUND FLOOR
- BRING GRADE AND GRASS FLUSH TO EDGE OF PAVING - TYPICAL
- MOVE EXISTING STONE TO ENLARGE OPENING TO 25' WIDE
- MATCH NEW DRIVEWAY PAVEMENT TO EXISTING ROAD LEVEL, CURVE ASPHALT BOTH SIDES 8' RADIUS

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Engineer:

Site Plan

Construction Documents

Author Checker

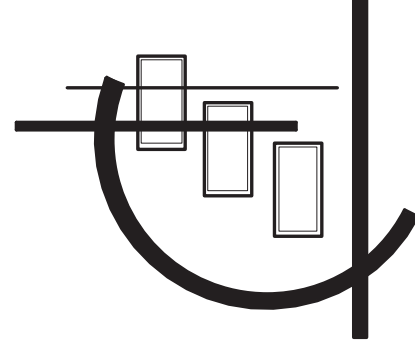
New House

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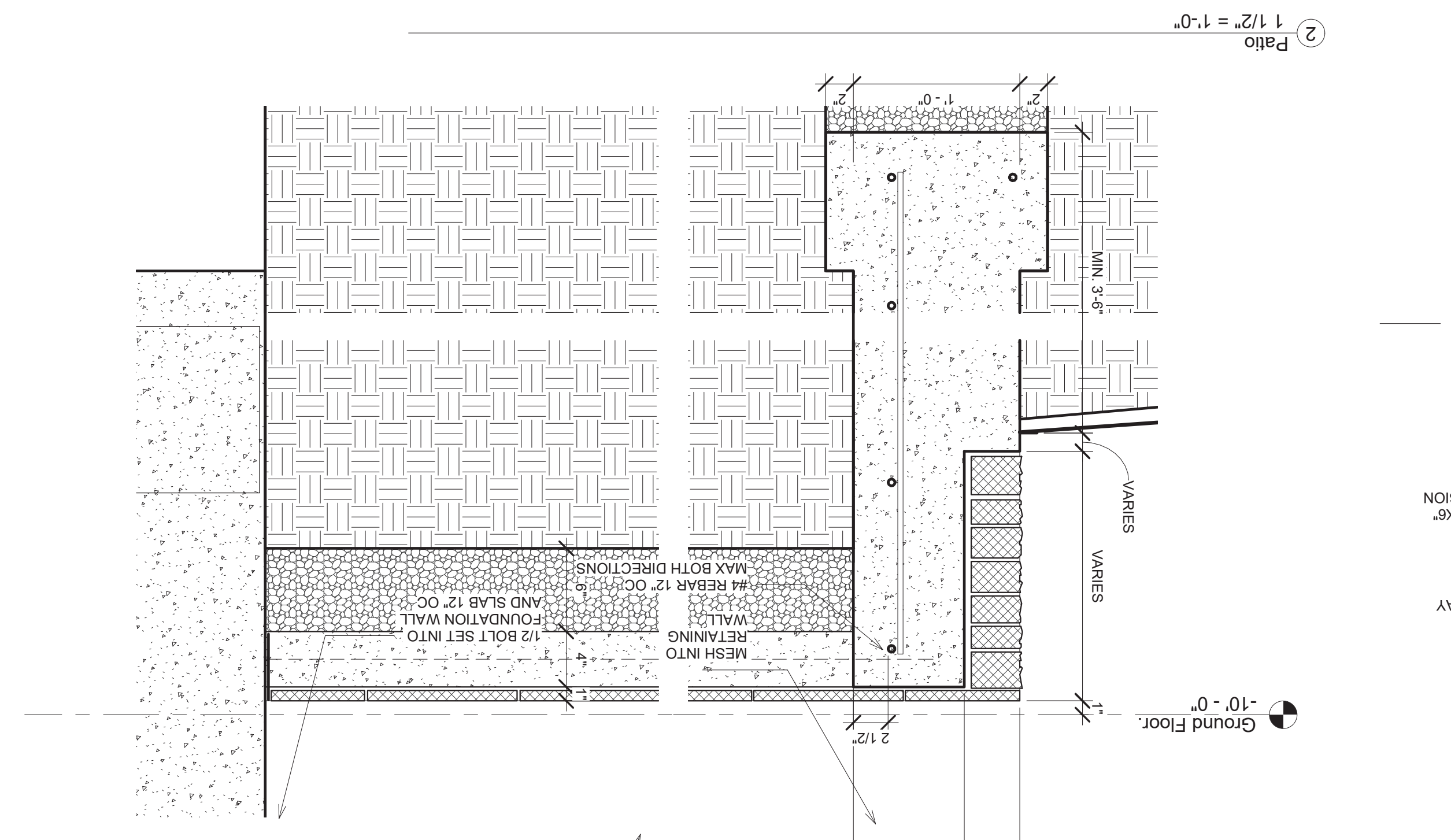
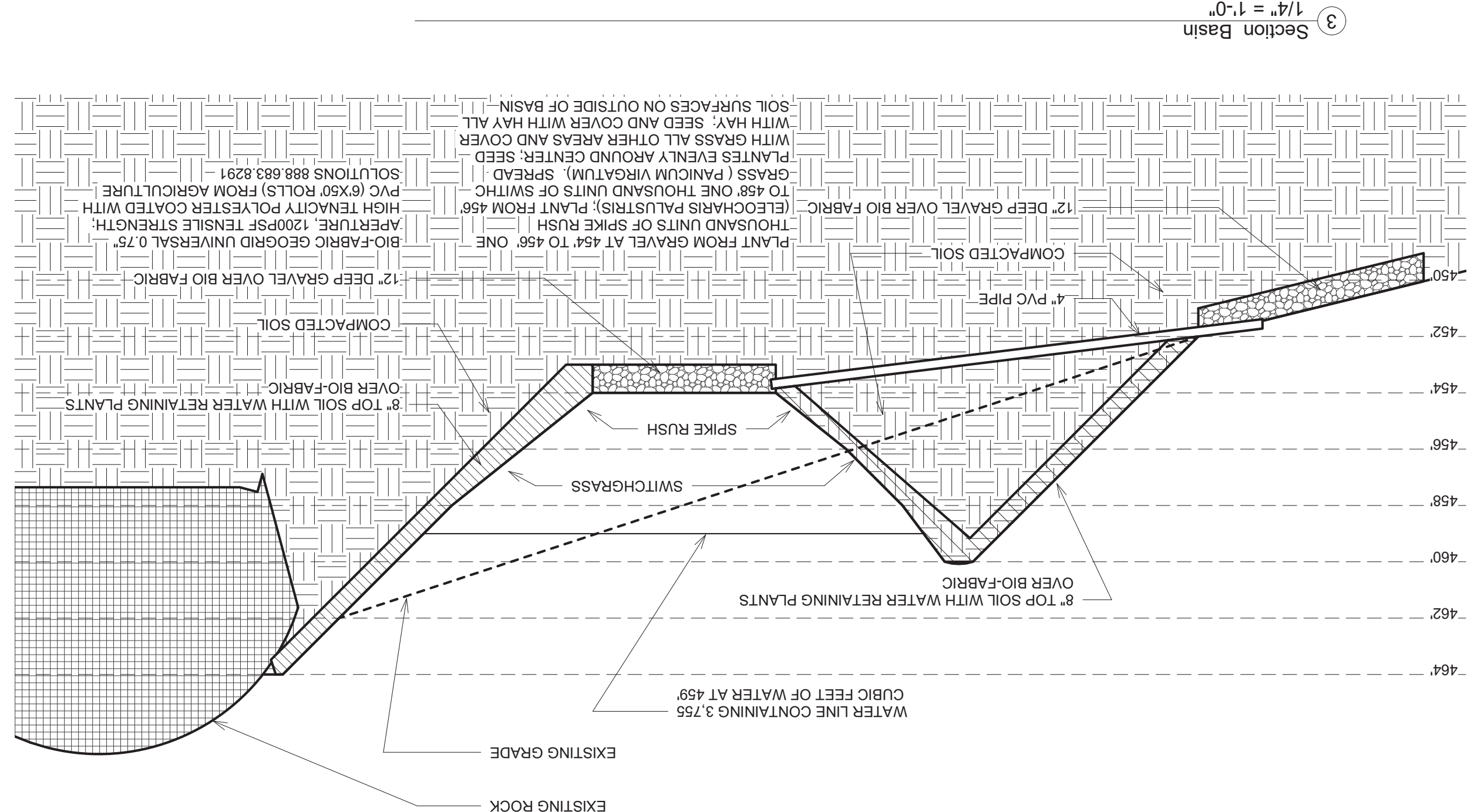
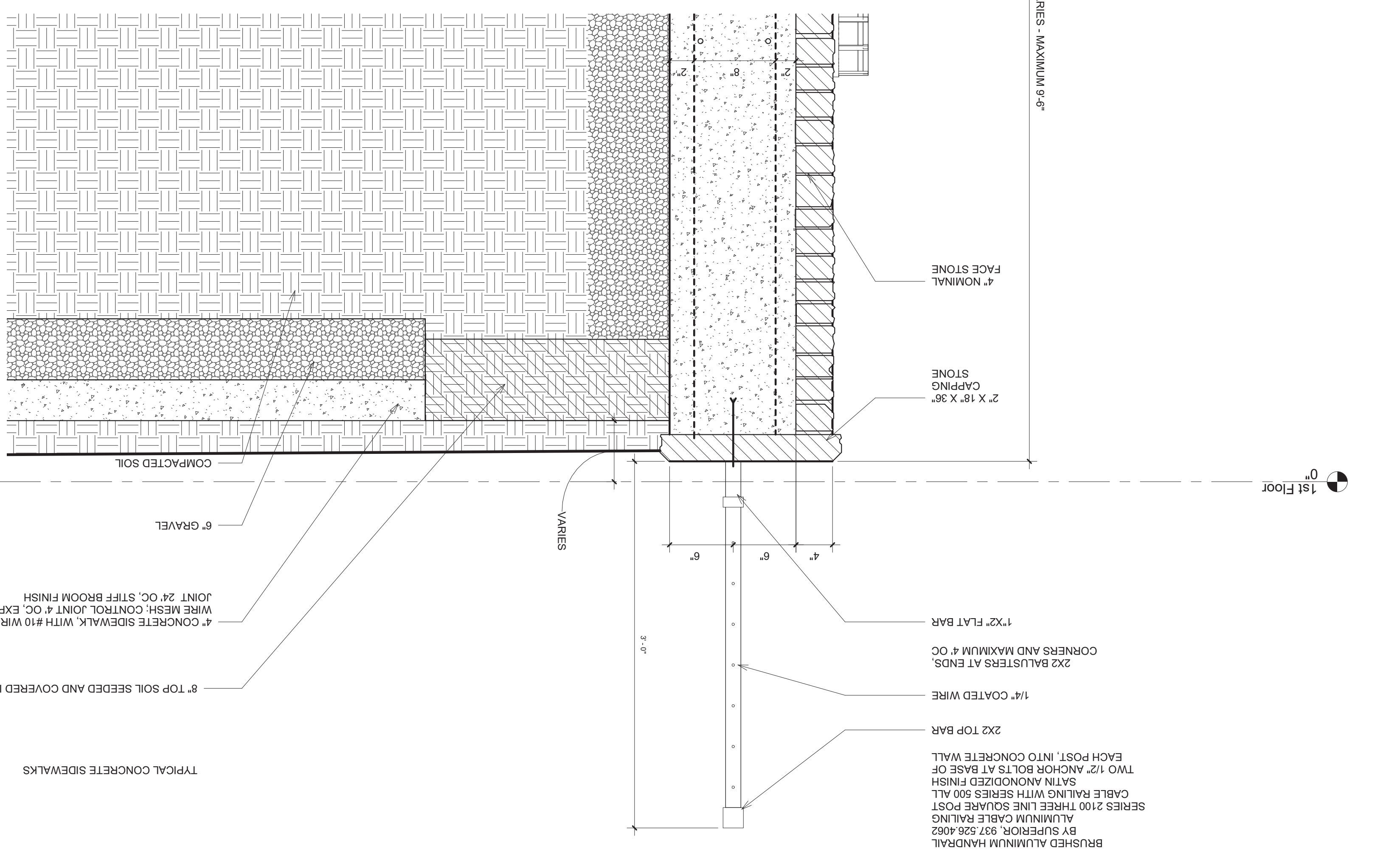
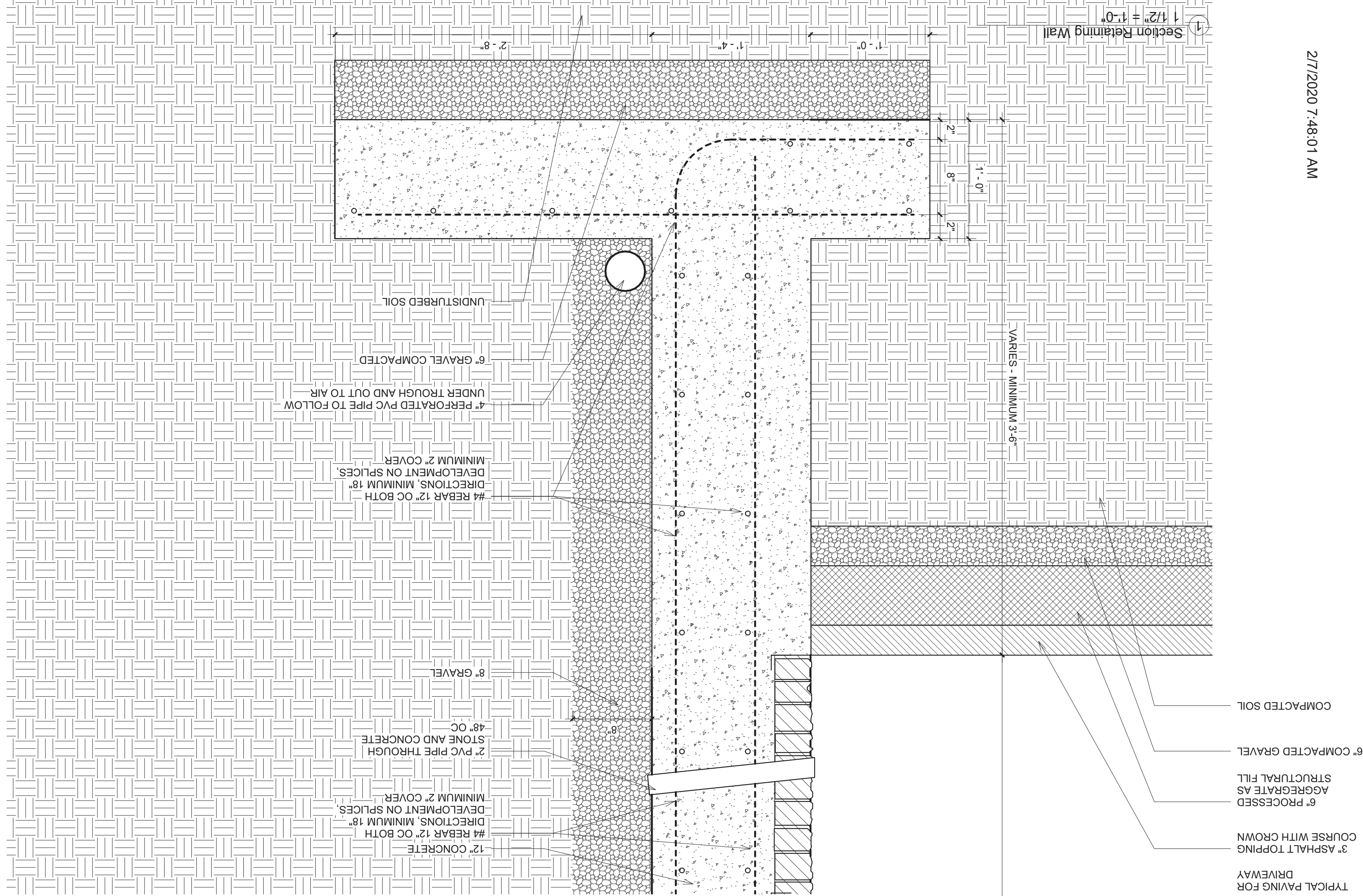
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A-2

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Engineer:

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**Site Details**

**Construction Documents**

**New House**

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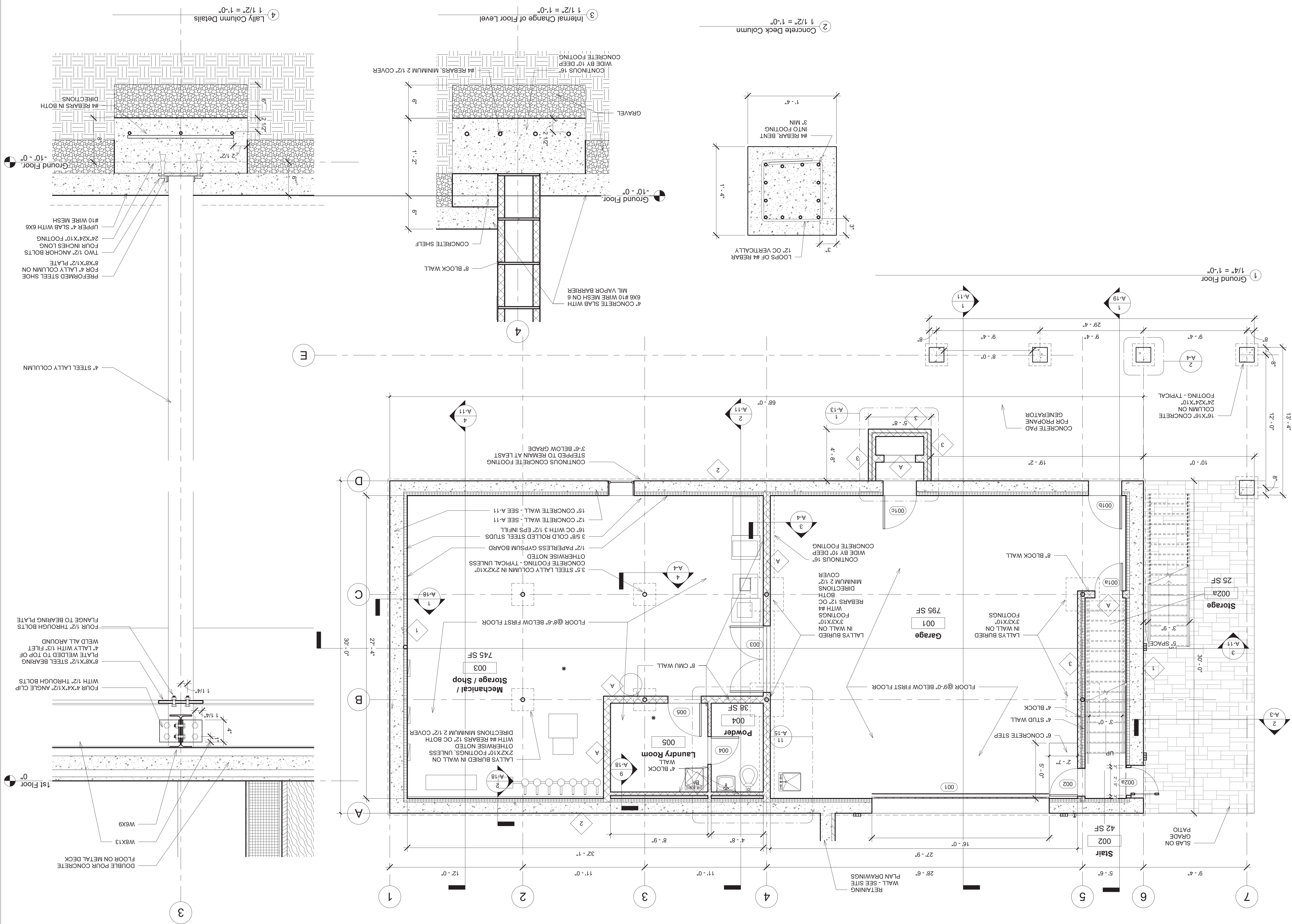
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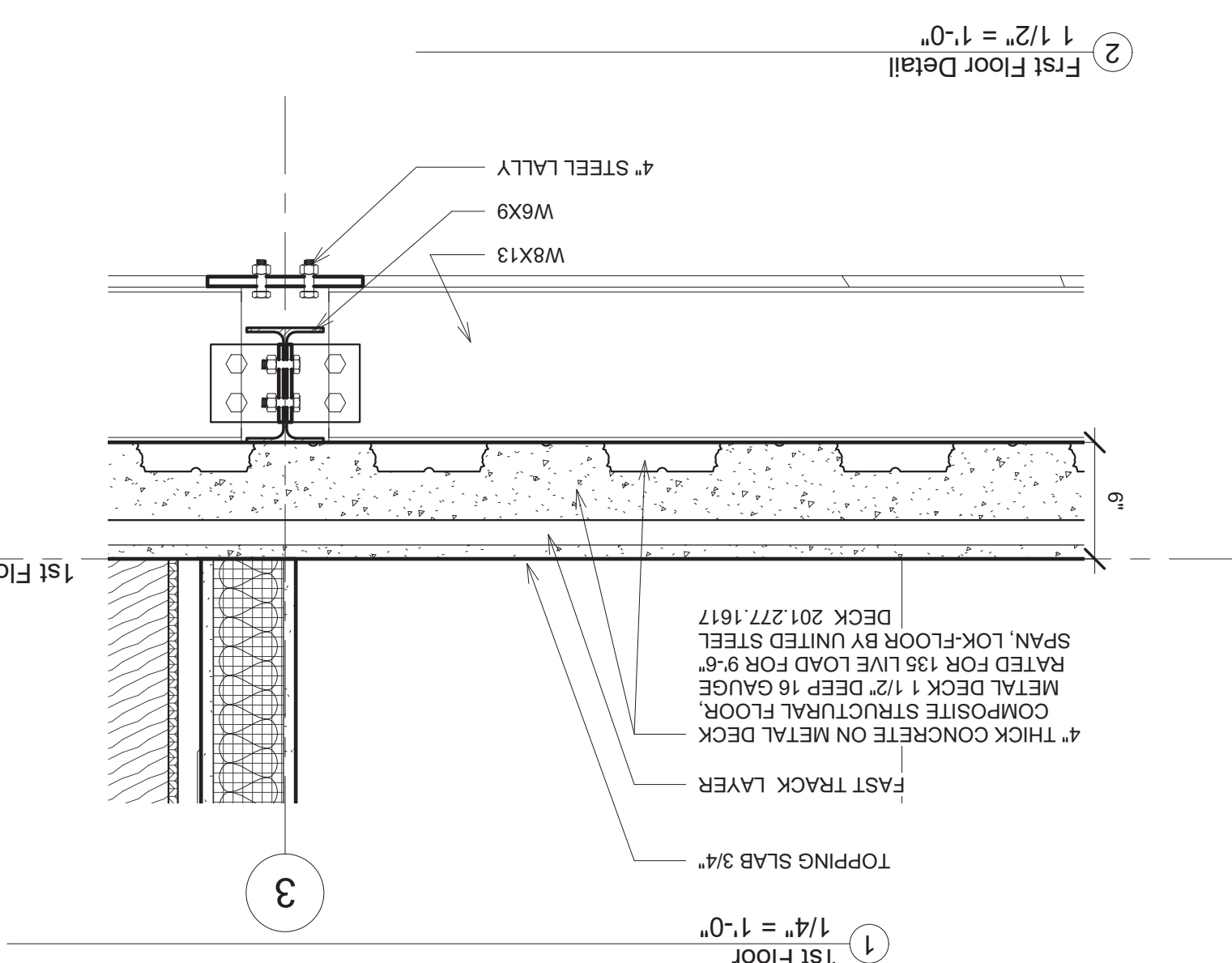
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Author: As indicated  
 Checker:

**Ground Floor Plan**  
**Construction Documents**

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**A-4**



**Fast Trak™ 1.31**

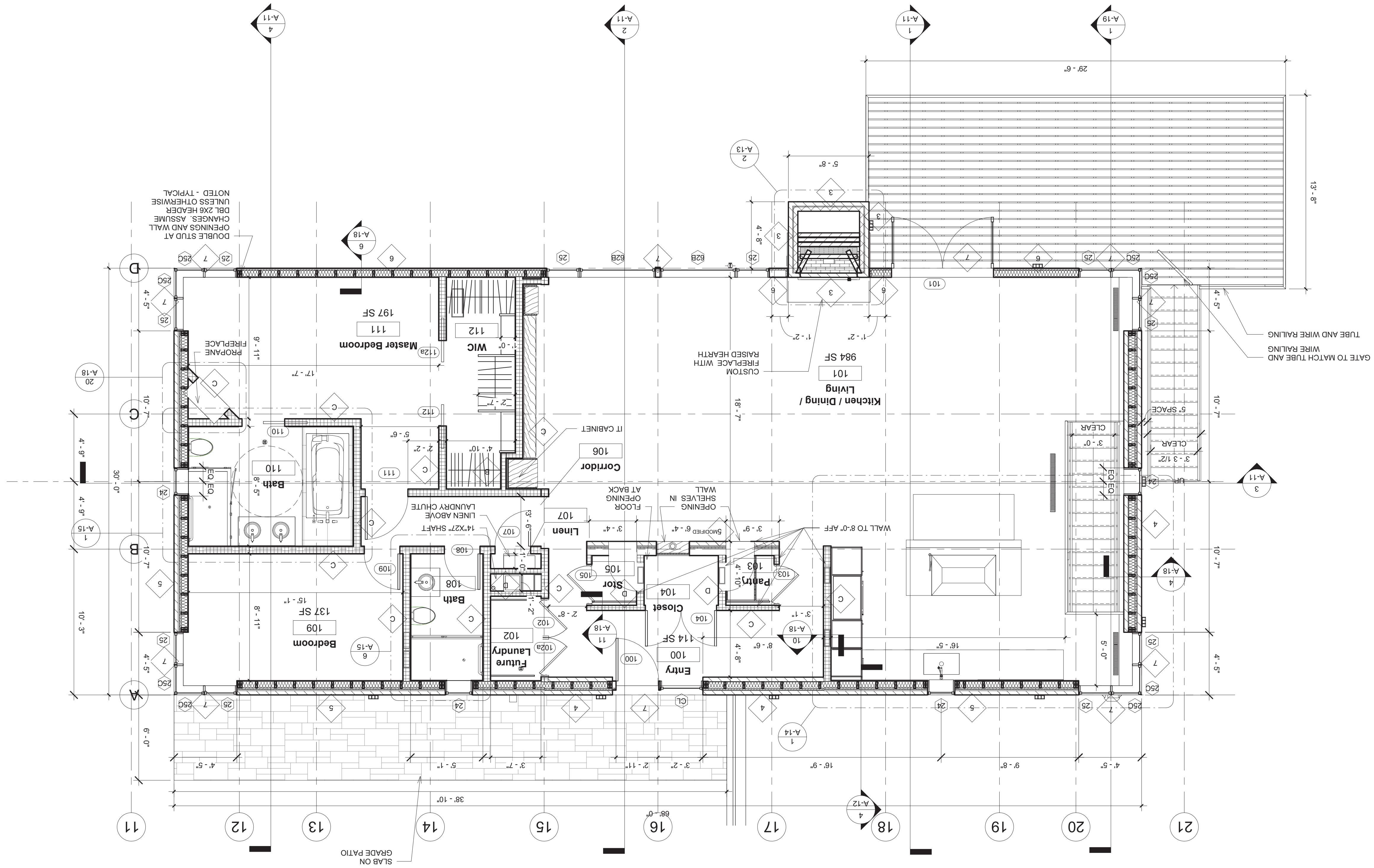
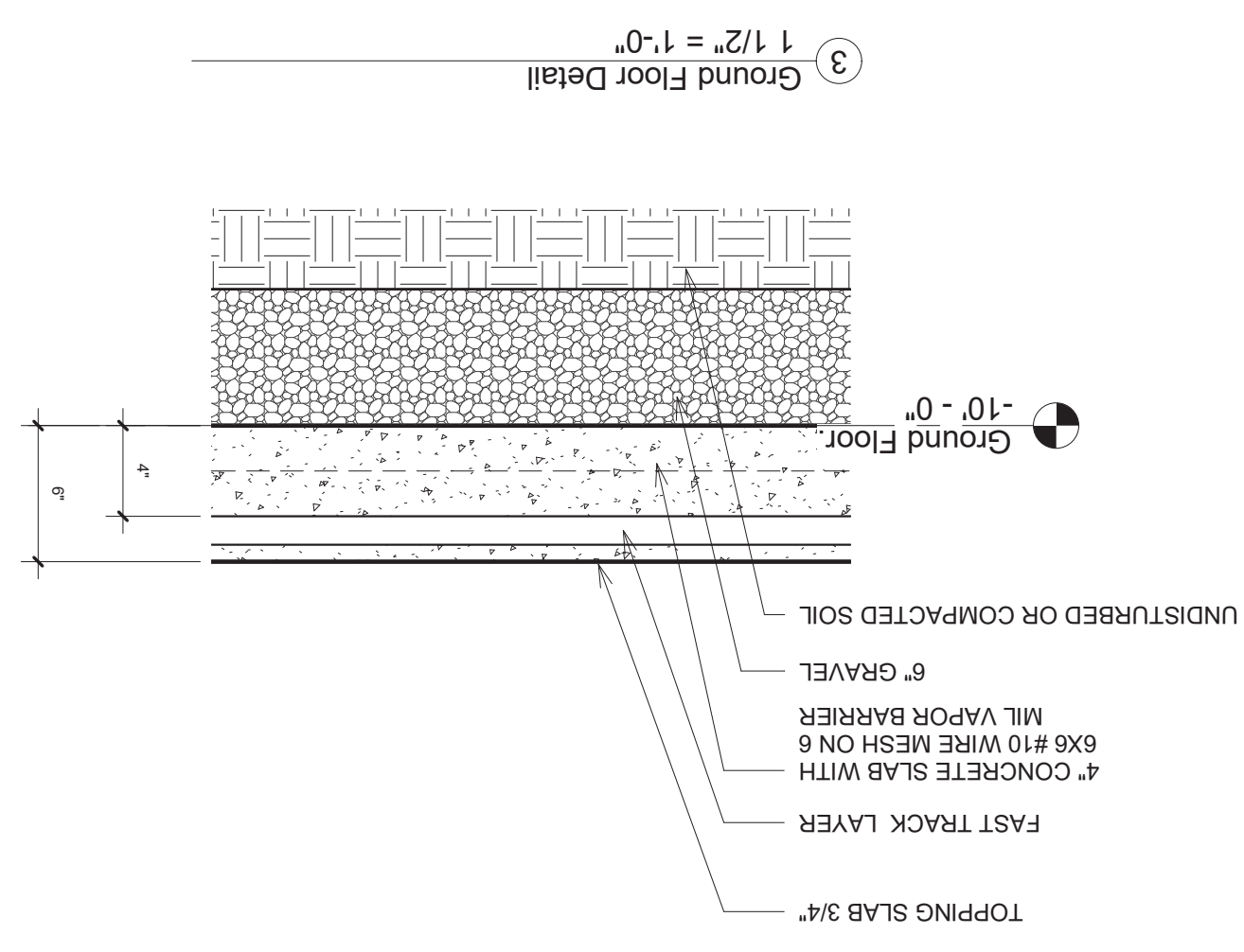
Submittal Information  
 Revision C, March 9, 2012  
 Region C, March 9, 2012

Product Information and Application Use  
 Material: Black polypropylene, expanded polystyrene  
 Panel coverage: 12.1 sq. ft.  
 Compression strength: 23.2 psi (160 kPa)  
 Insulation R-value: 1.7

Technical Data  
 Manufacturer's Representative:  
 Manufacturer:  
 Engineer:  
 Designer:  
 Submitted By:  
 Approved By:  
 Part No. Ordered:  
 Part No. Submitted:

Product Information and Application Use  
 Part 1.31 panels are designed for overhead applications. To install the panels, first apply Fast Trak Edge Strips (AS09000) along the walls to provide the panels with a support and snap fitting mechanism. The panels are designed for use in conjunction with the panels and ceiling systems. For further information, see the Fast Trak Installation Guide.

Installation  
 Part 1.31 Description Part Number Insulation R-value Length Width Height Weight  
 Part 1.31 1.7 33.5\"/>



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**Construction Documents**

First Floor Plan

**New House**

**Villa Seacor**

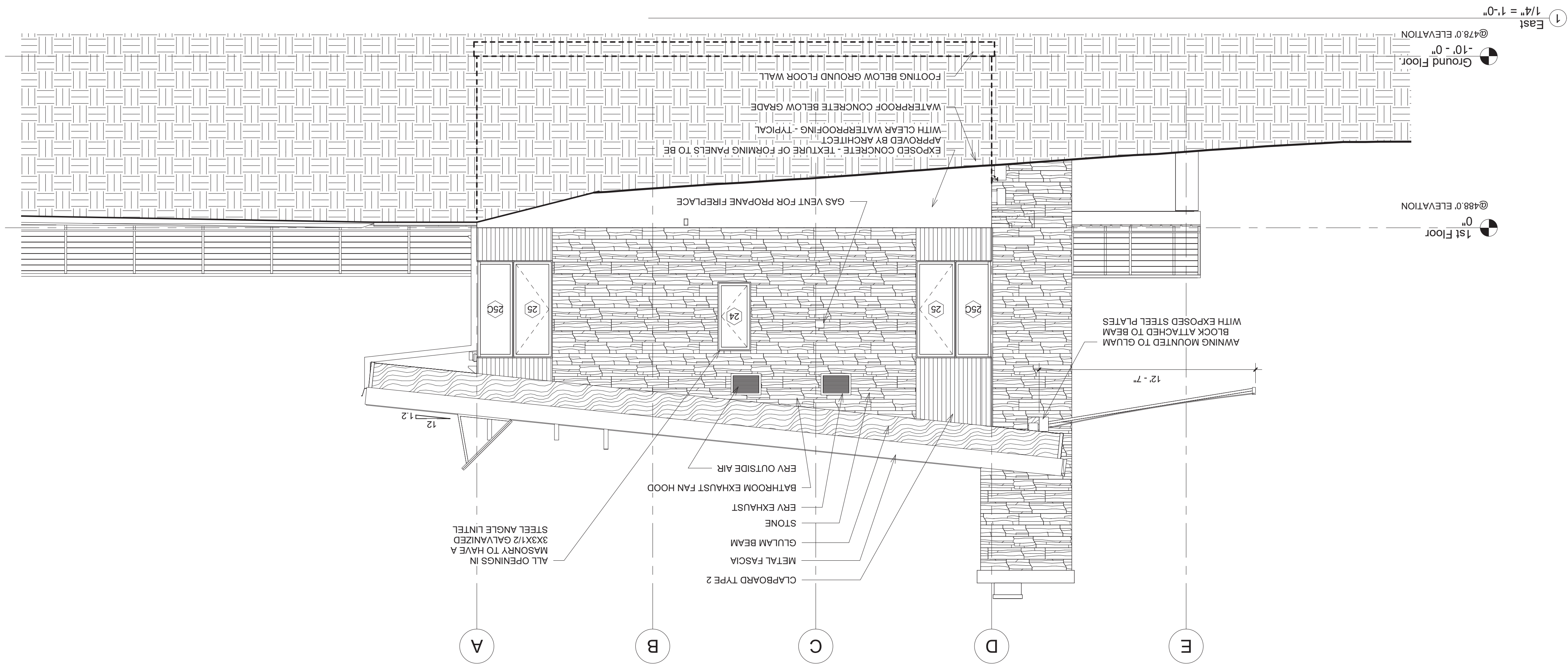
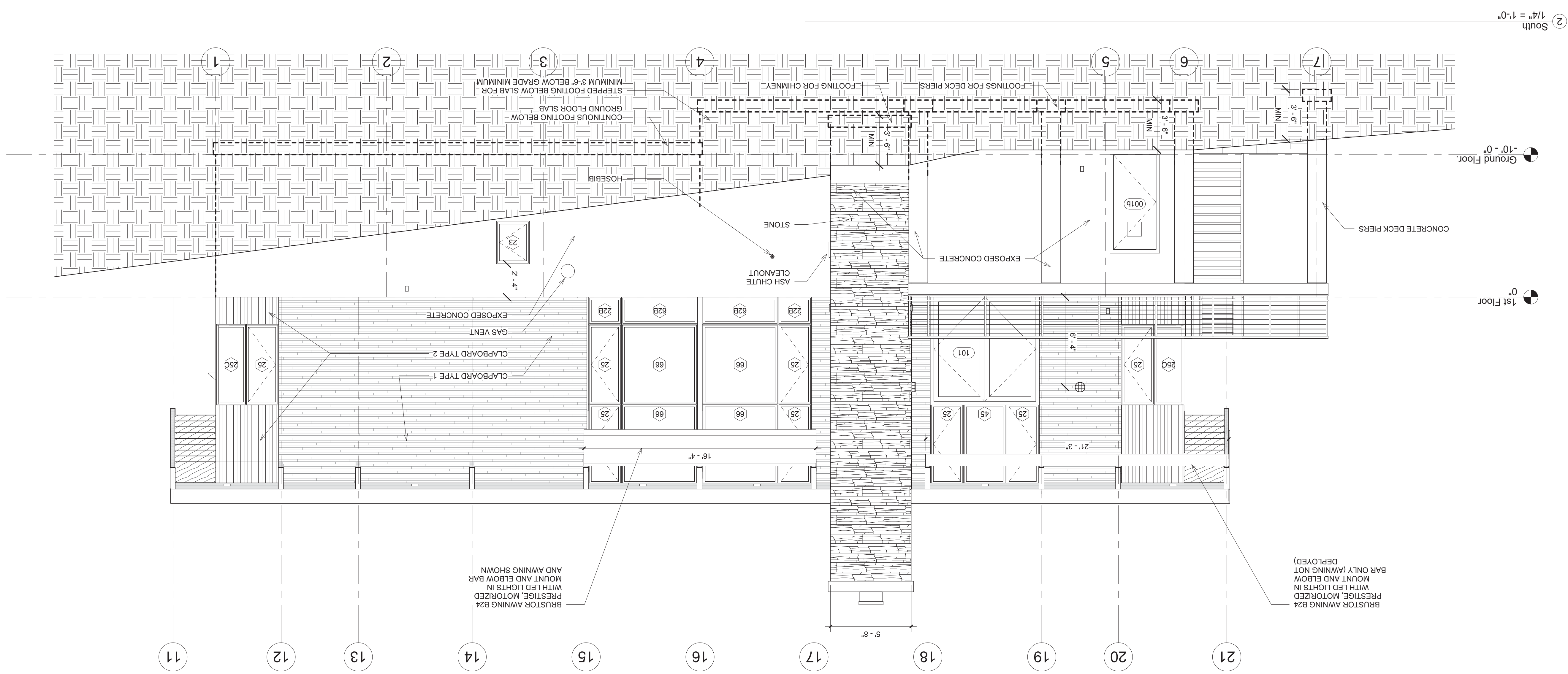
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**New House**

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**Elevations - East & South**

Construction Documents

1/4" = 1'-0"

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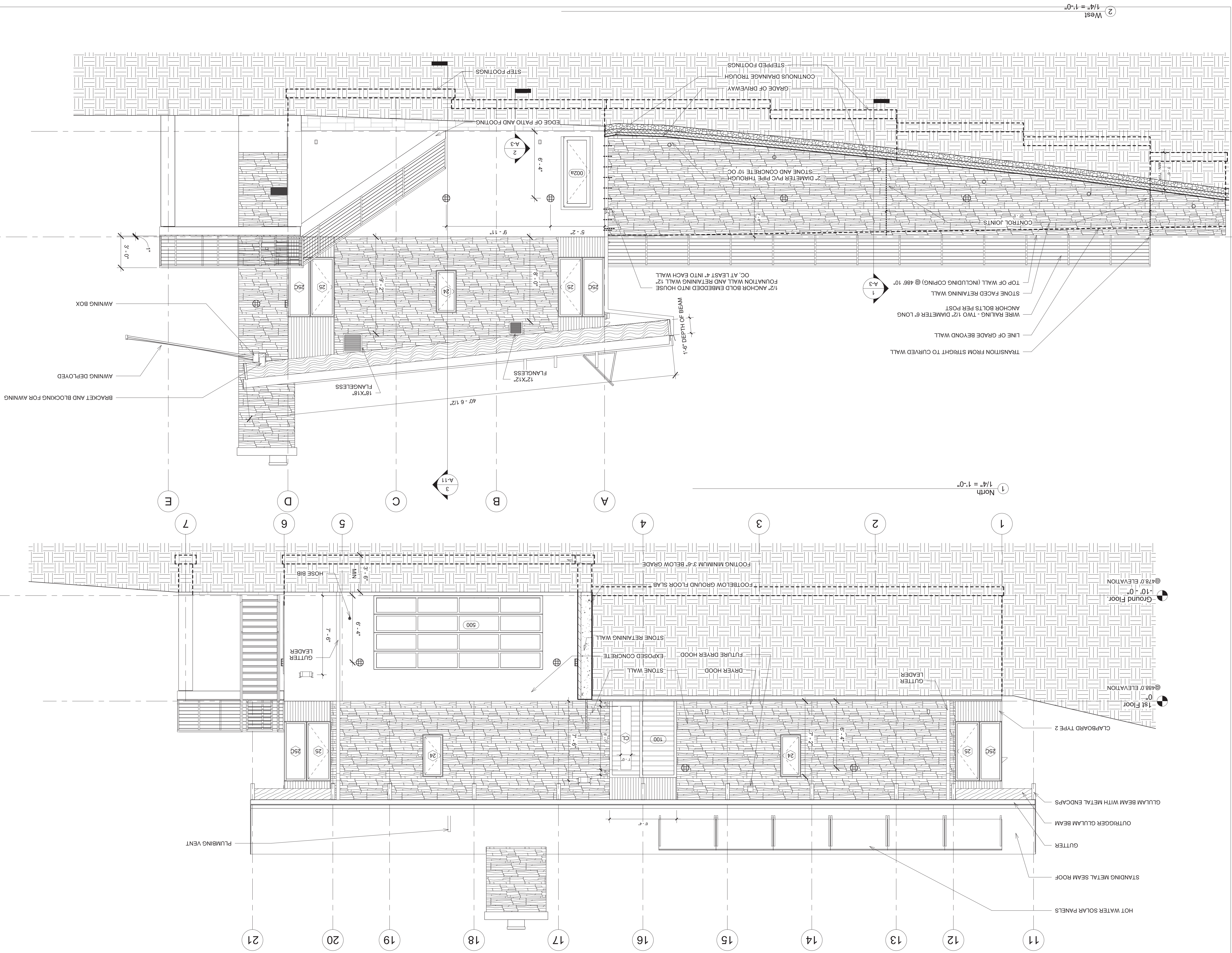
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2 West  
1/4" = 1'-0"

1 North  
1/4" = 1'-0"

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Villa Seacor

New House

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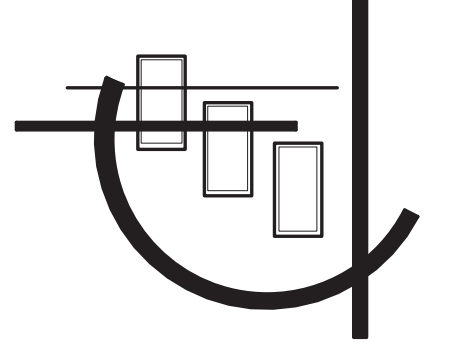
Construction Documents  
1/4" = 1'-0"

Elevations - North & West

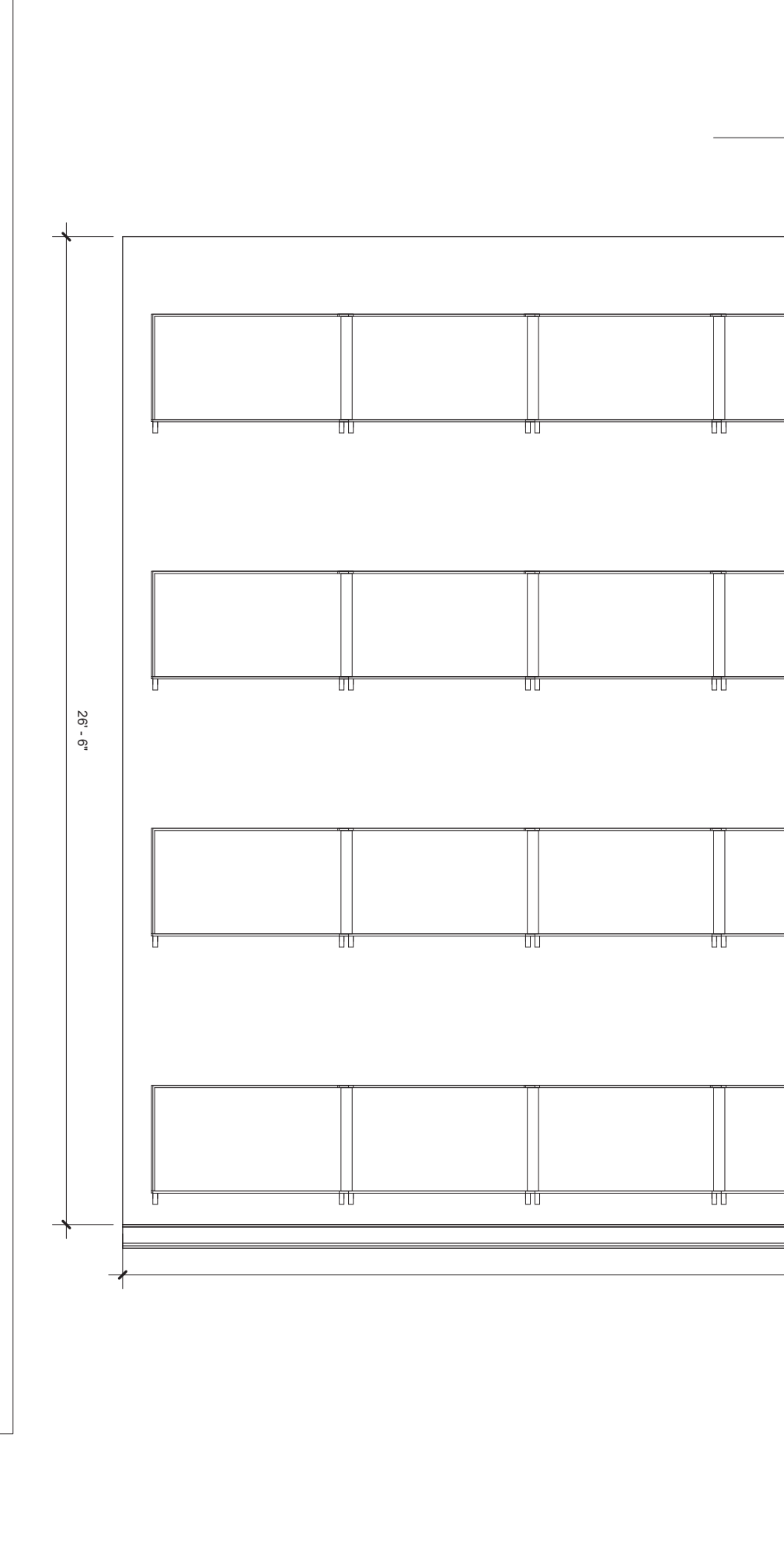
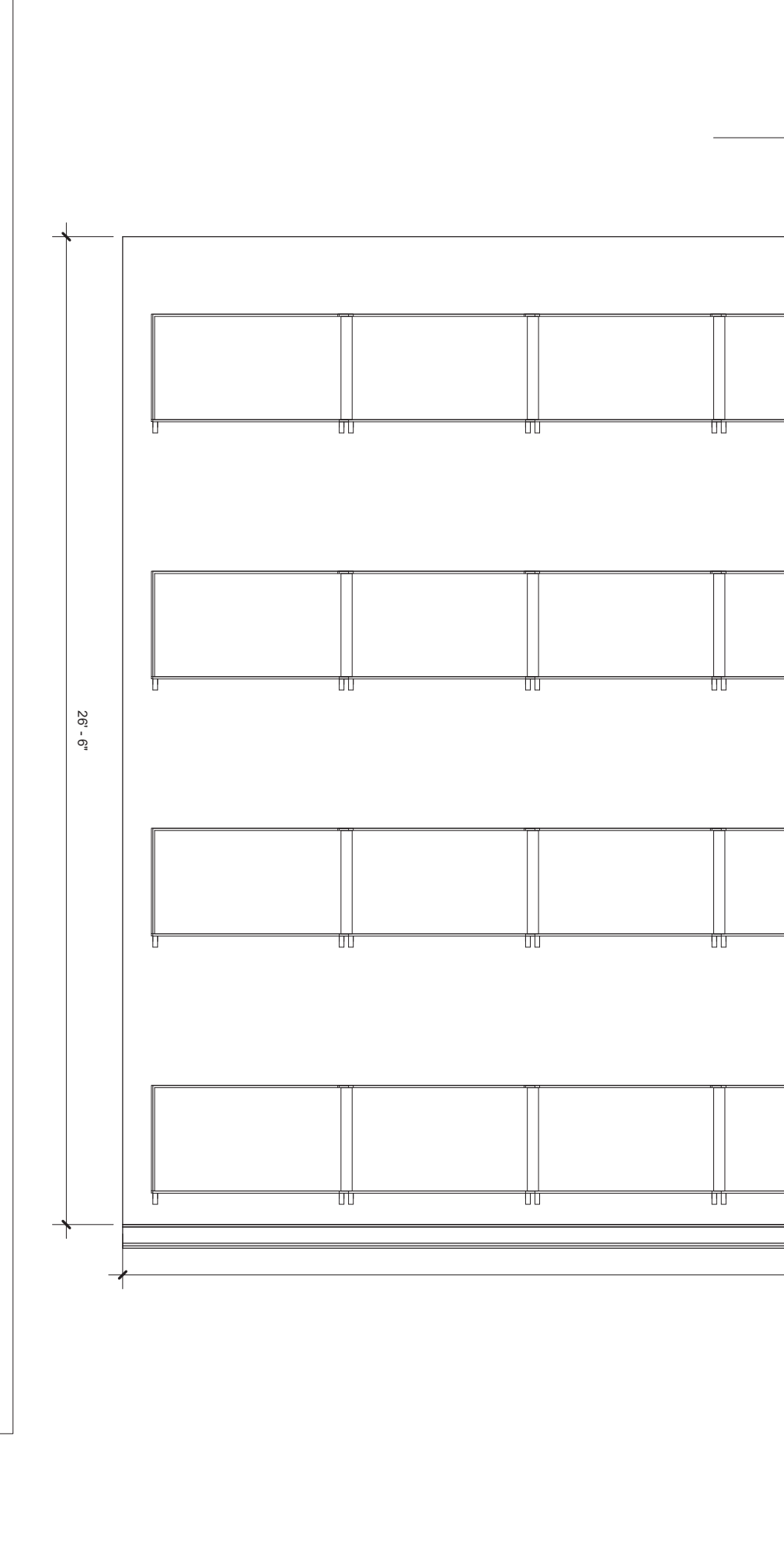
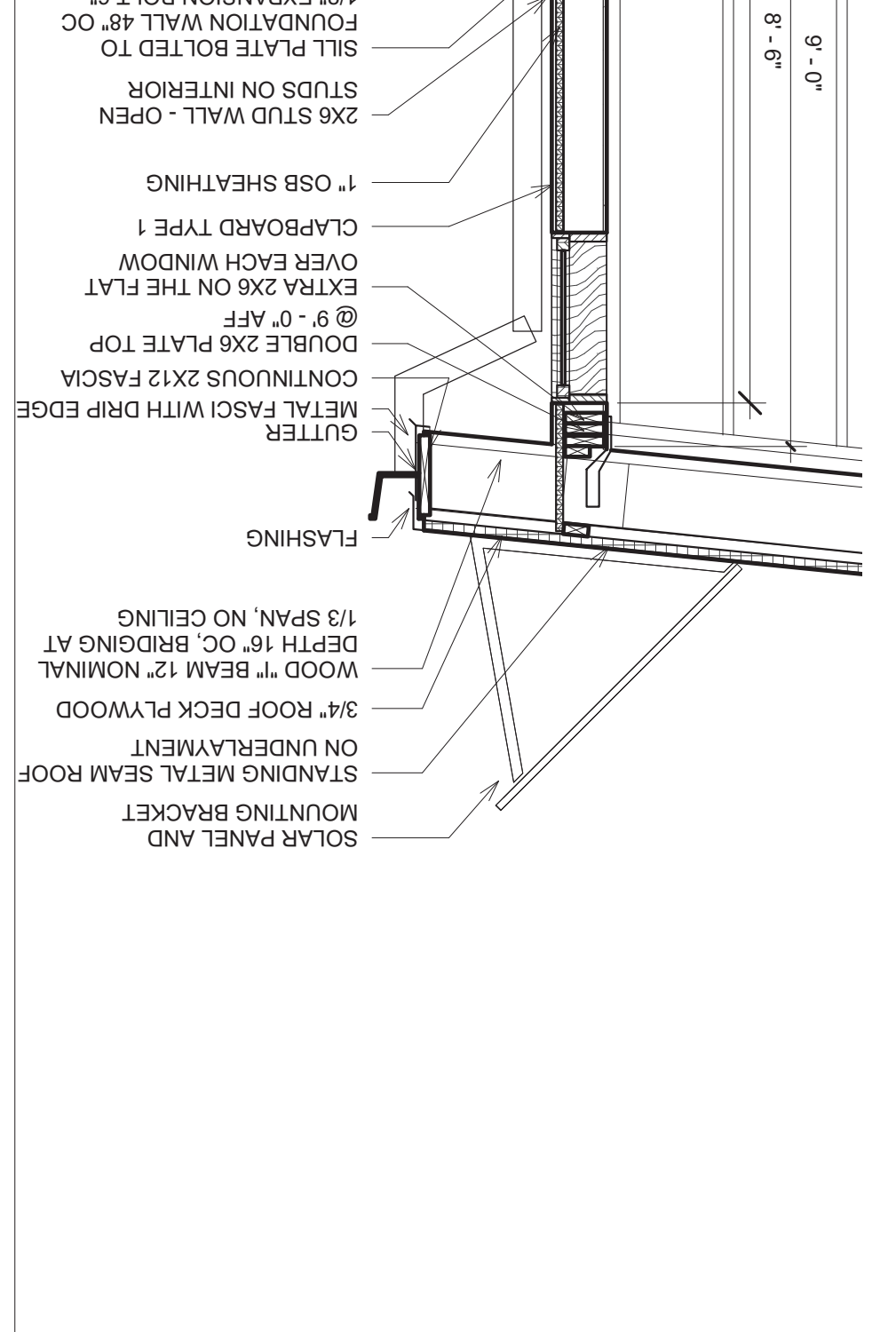
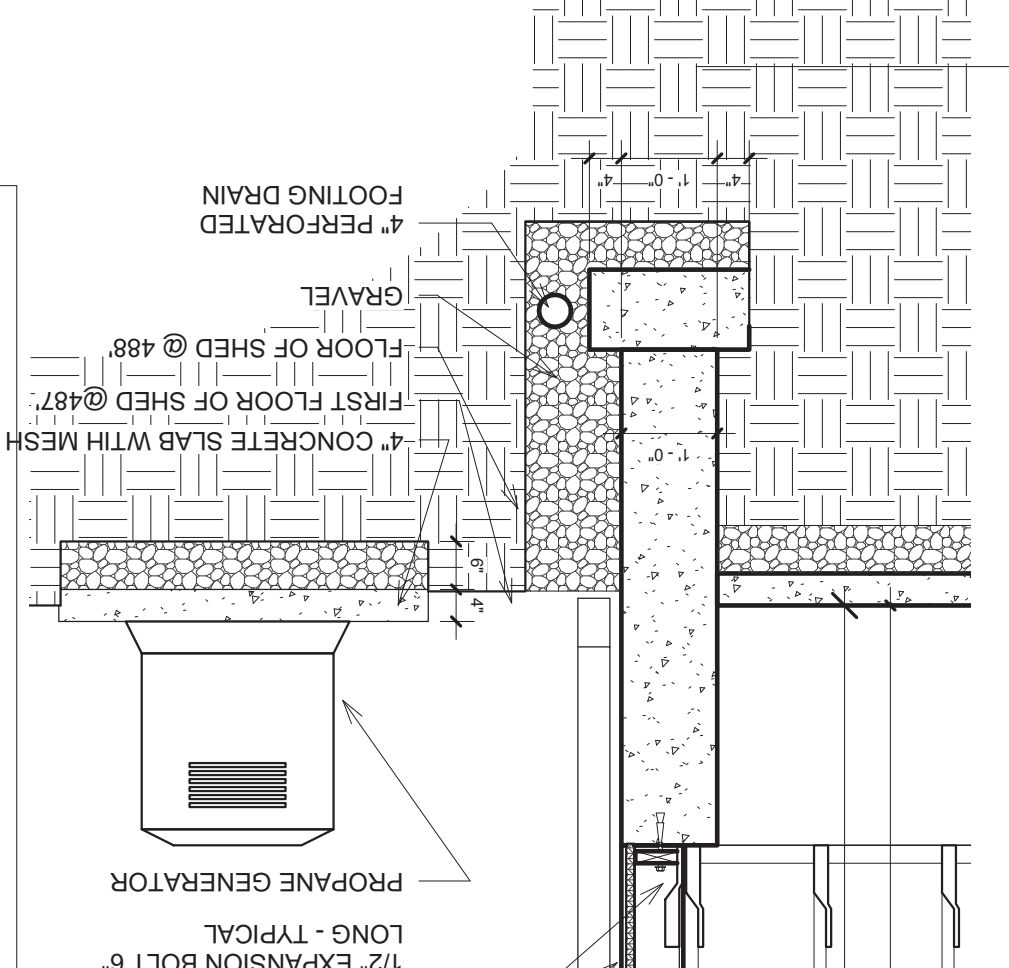
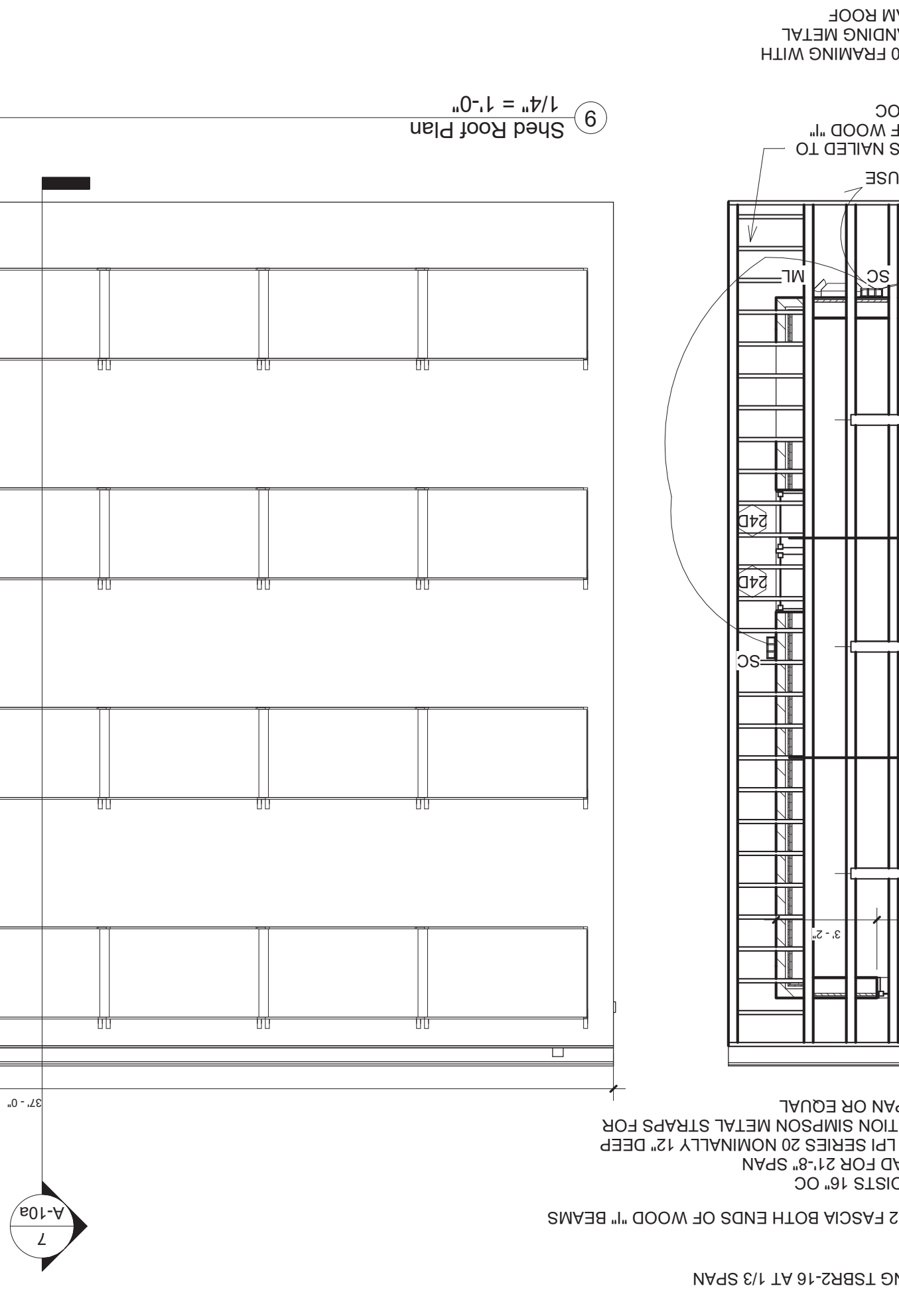
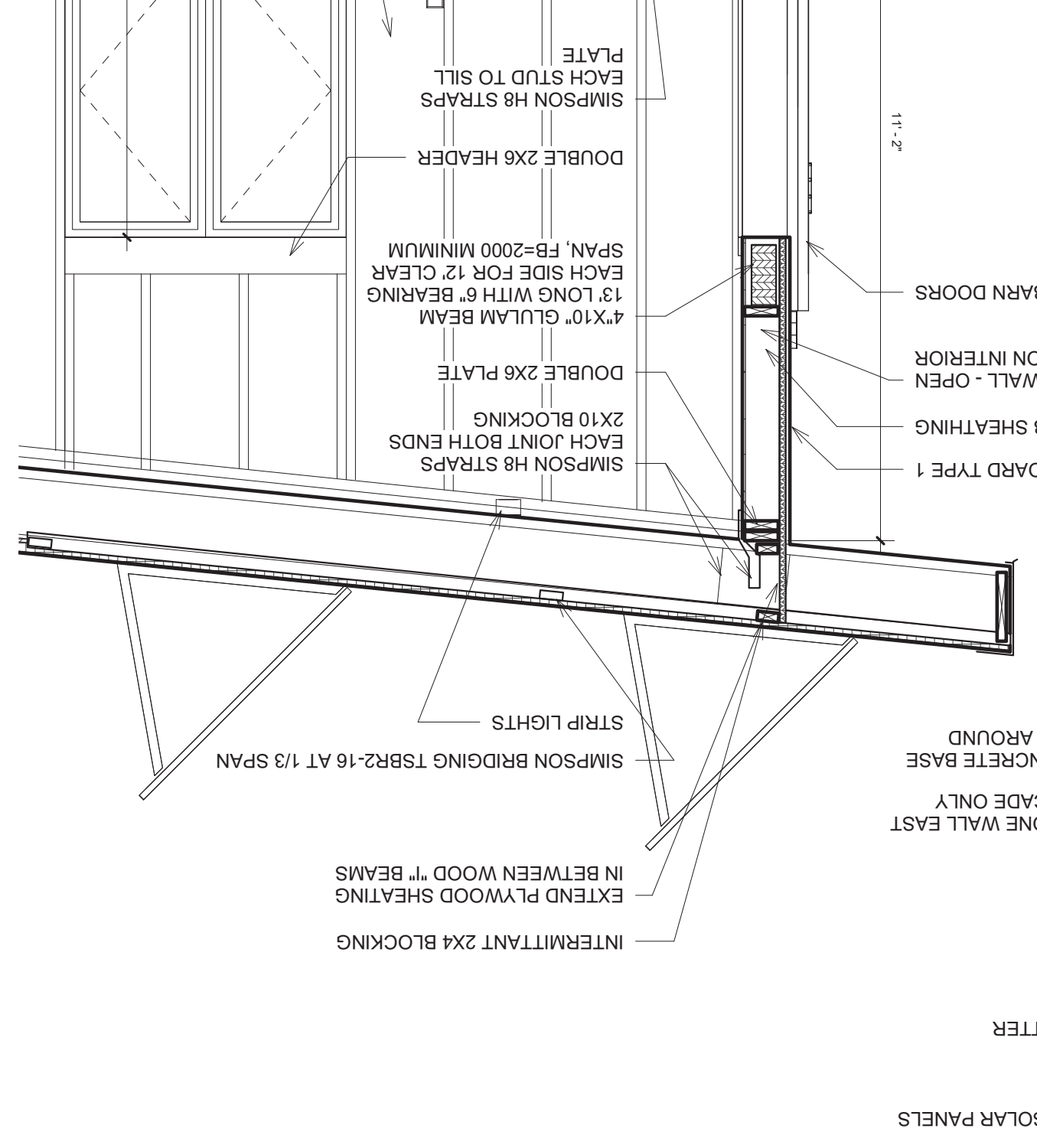
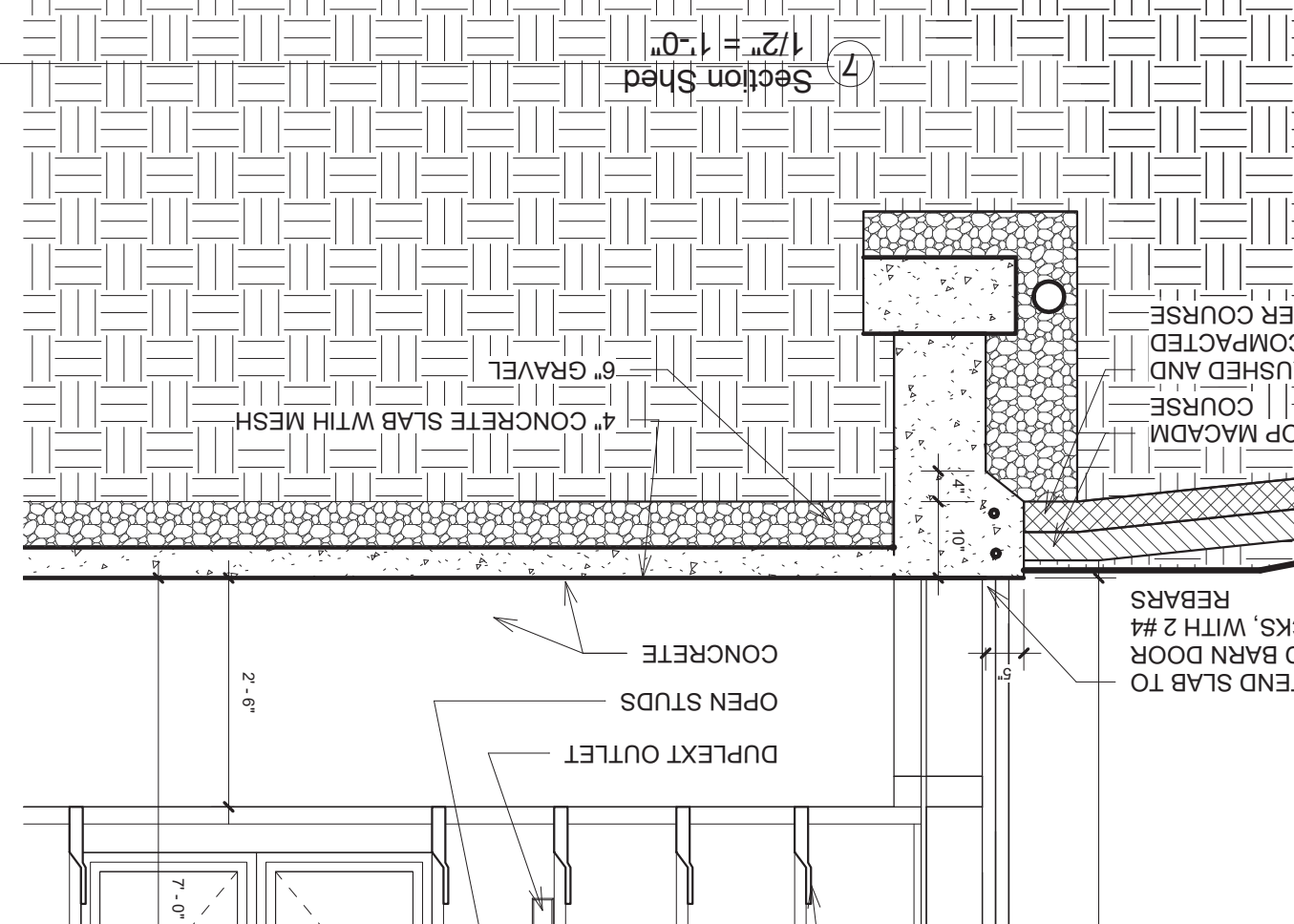
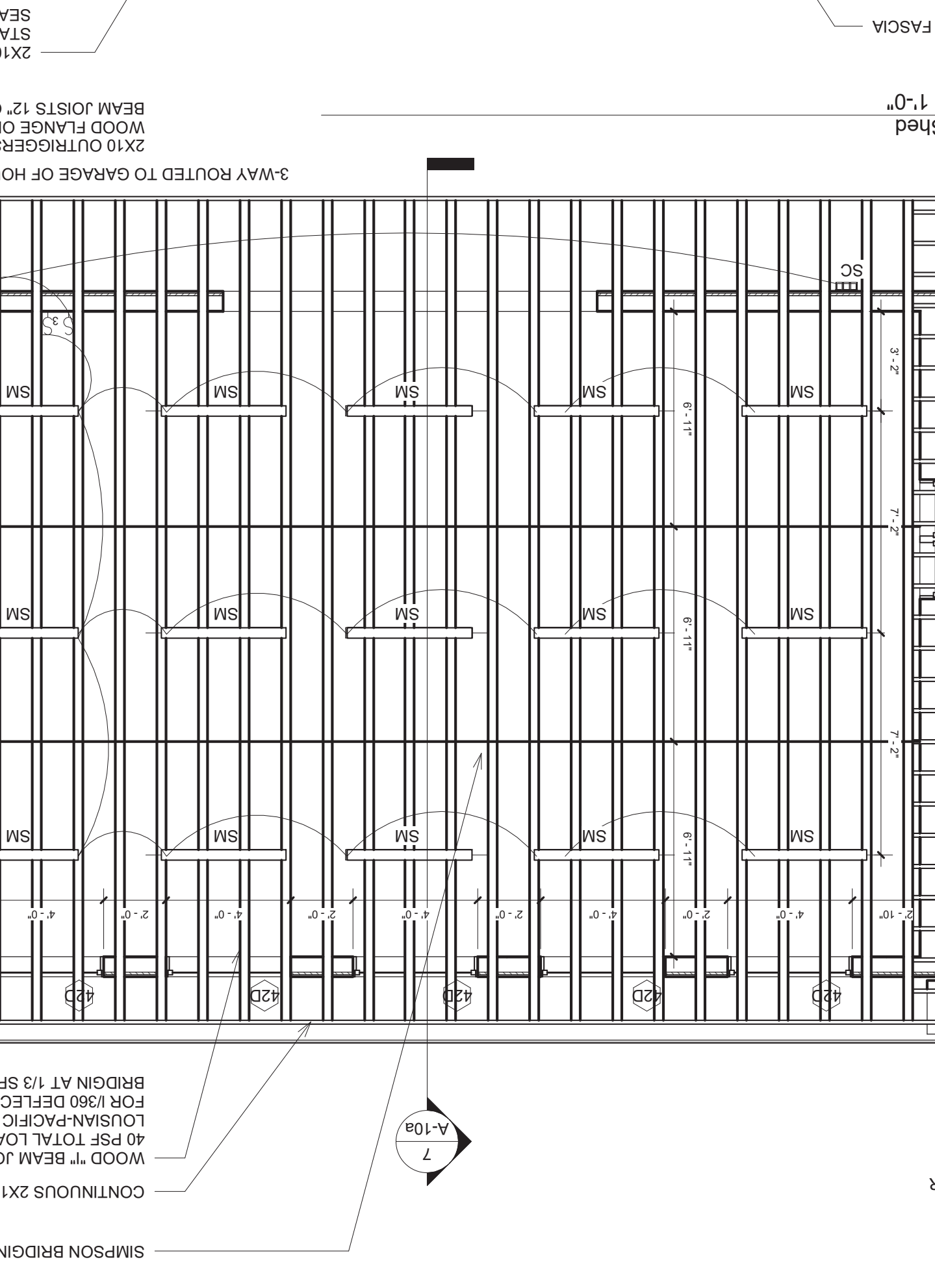
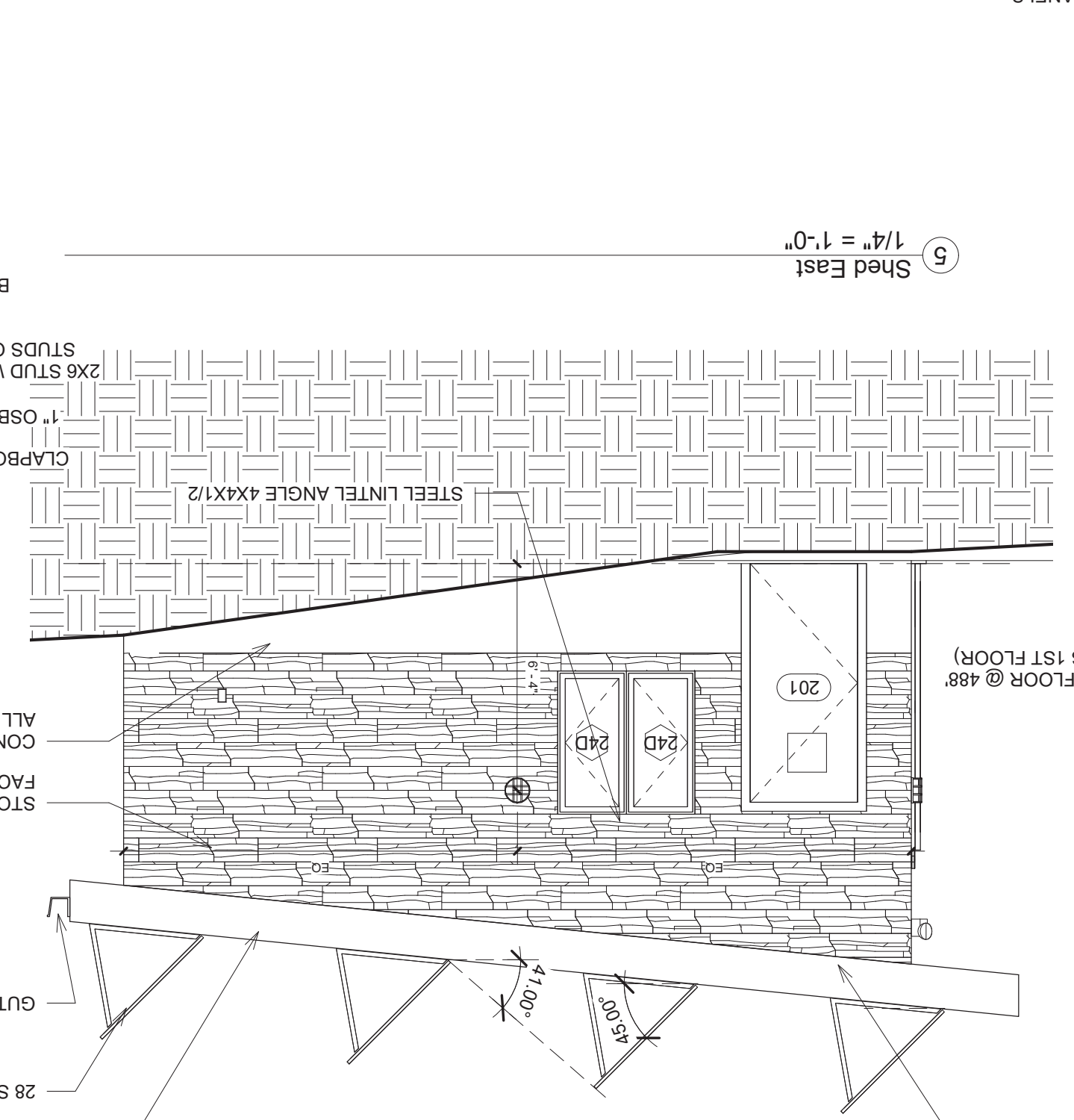
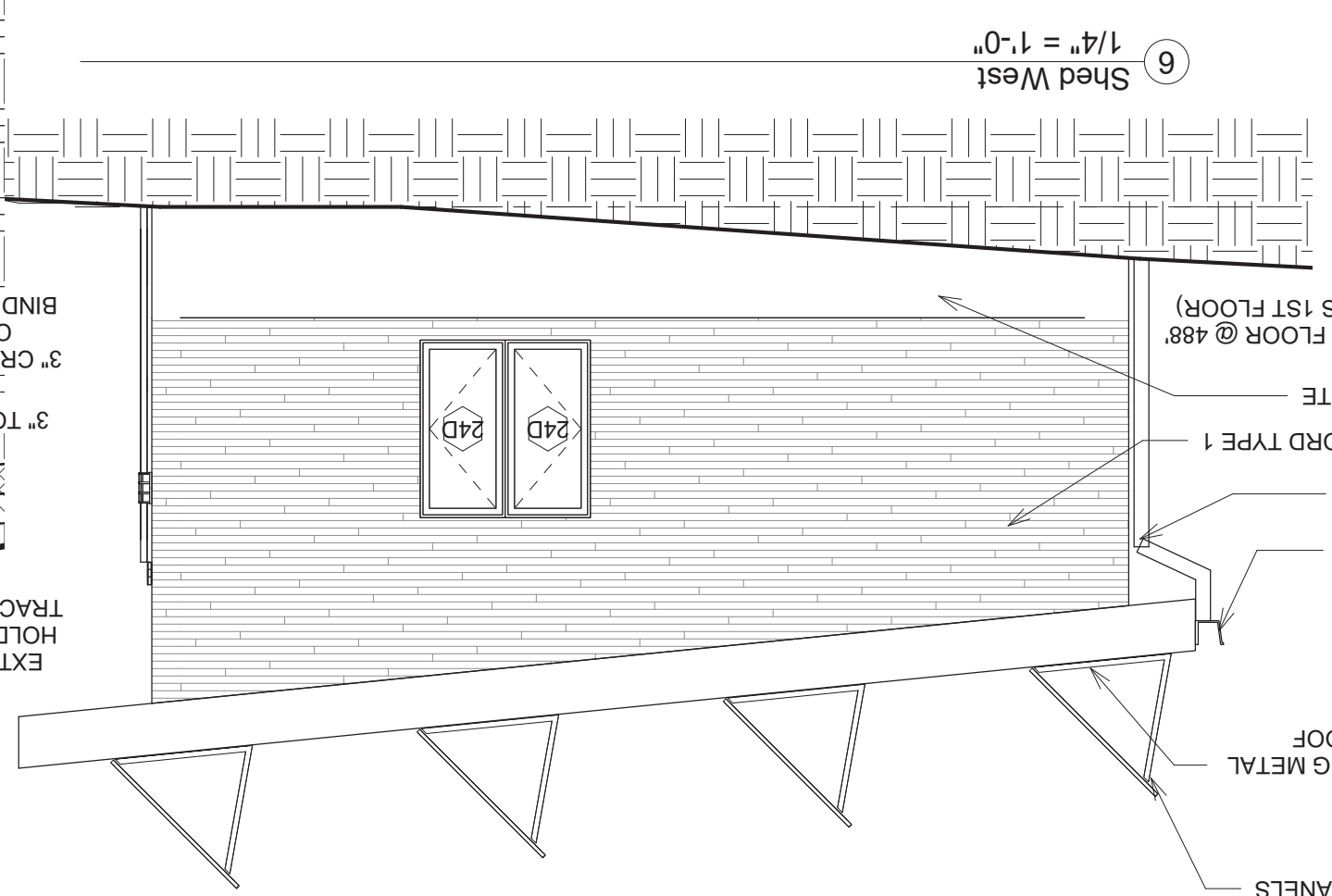
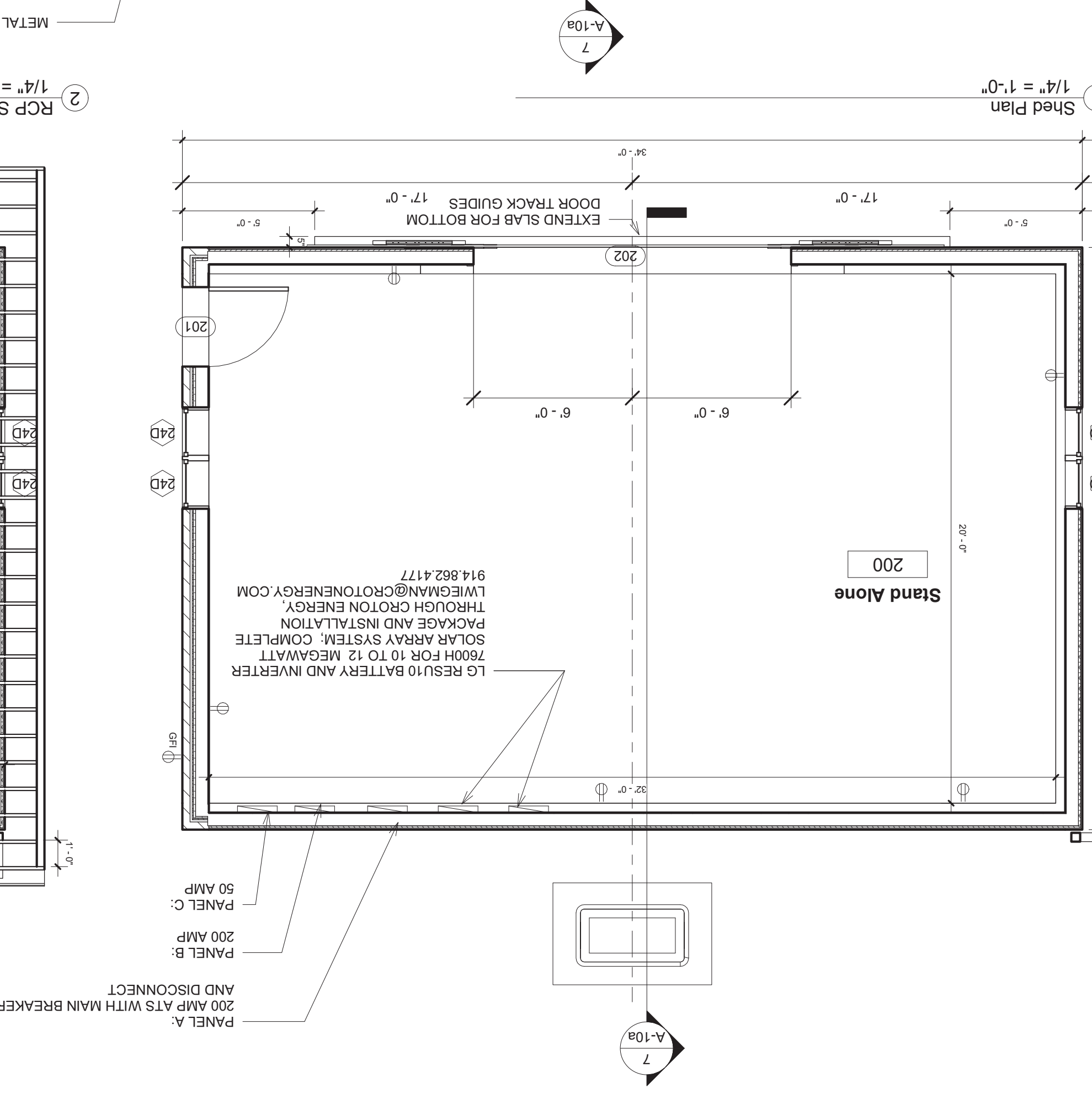
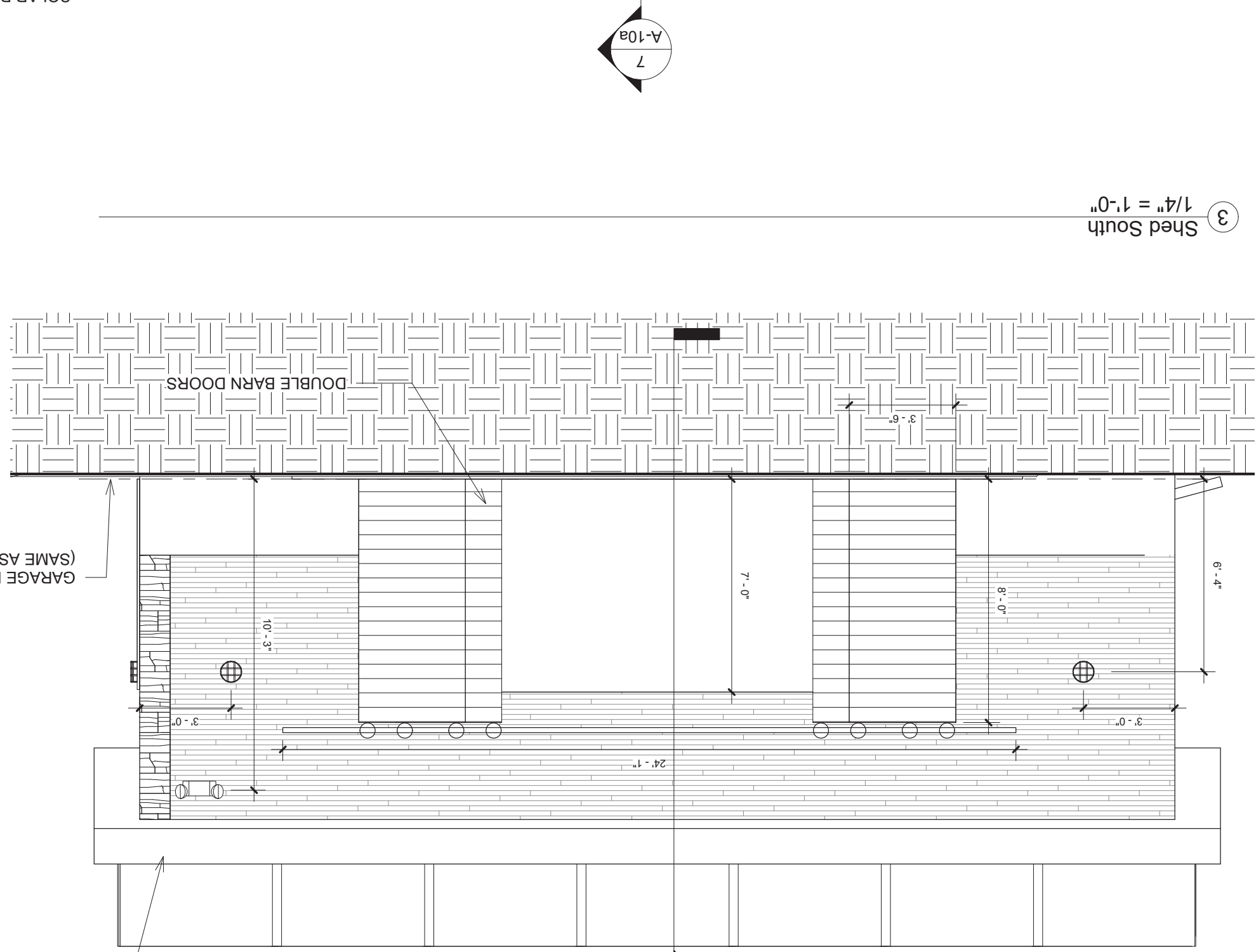
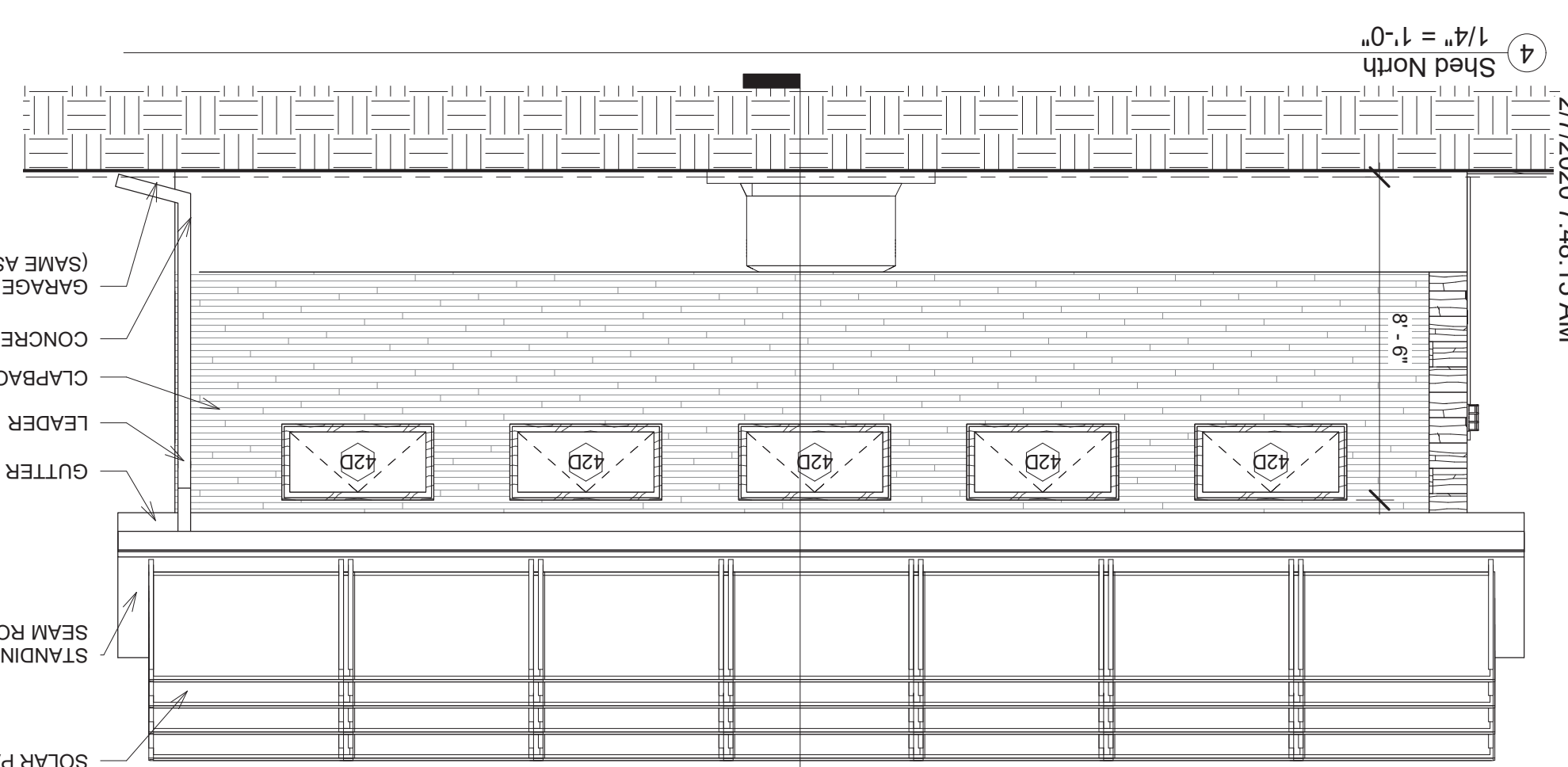
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**A-10a**

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**New House**  
Shed Plans  
Elevations  
and MPE  
Construction  
Documents  
As indicated  
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Engineer:

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