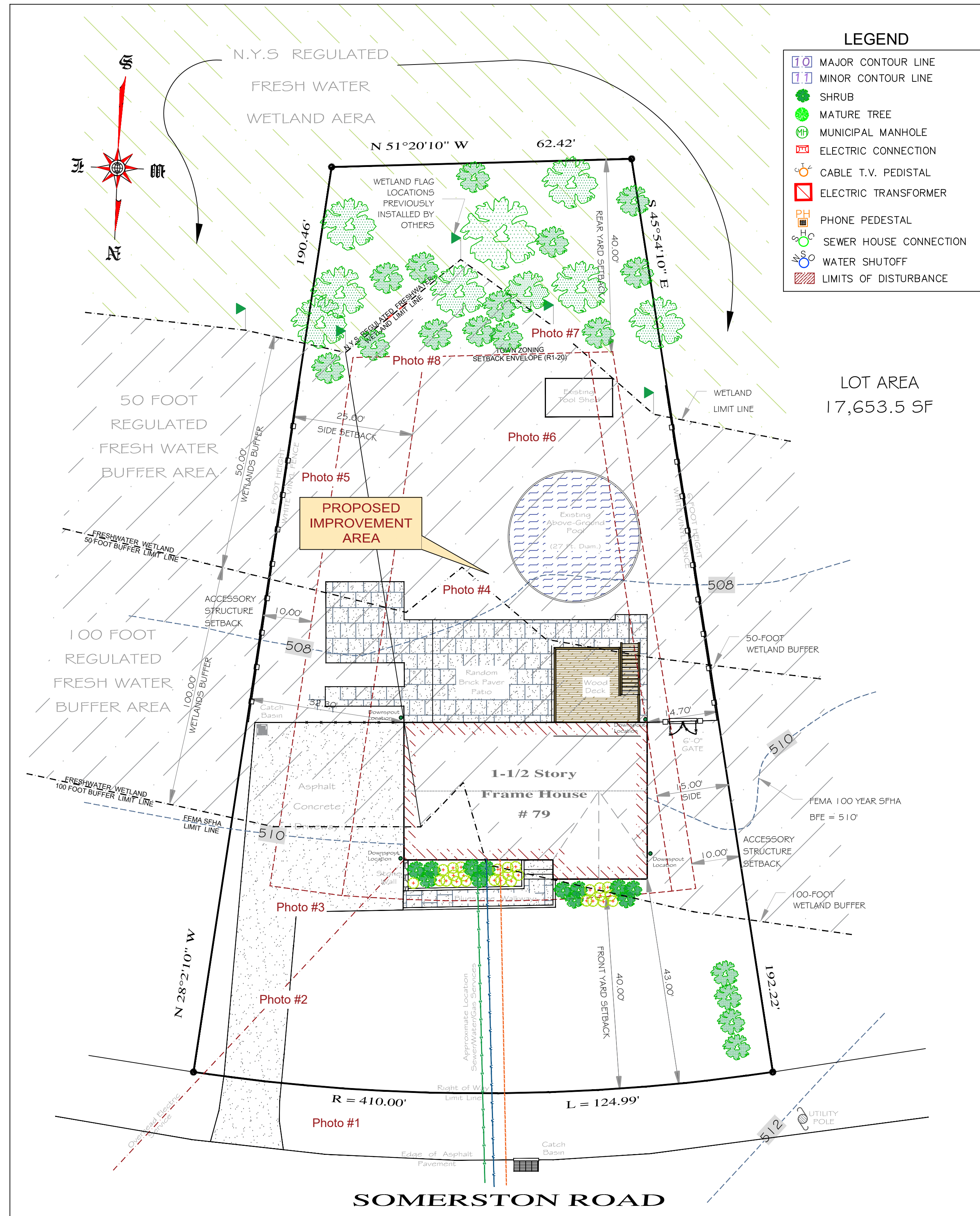


EXISTING CONDITIONS - TOPOGRAPHICAL SITE PLAN

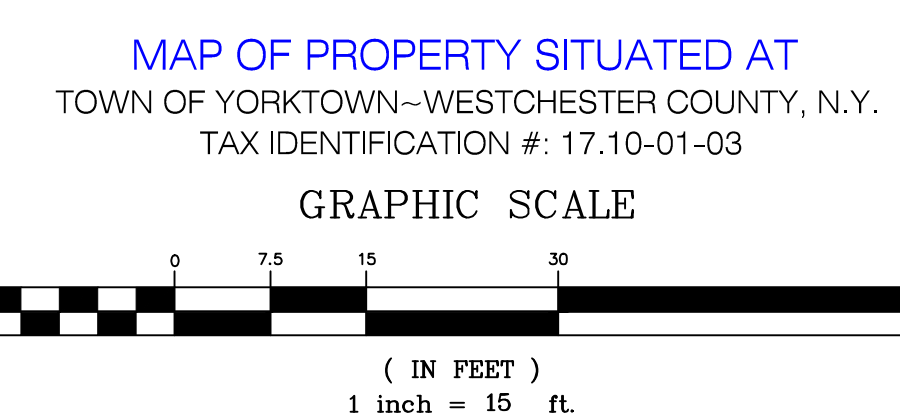


LOT AREA
17,653.5 SF

SOMERSTON ROAD
(50 Foot Right of Way)

Survey of
Tax Lot No. 2, Block 17.10 as shown on the Tax Maps of the Town of Yorktown, Westchester County, New York.
Portion of Section 7 of Jefferson Valley Corporation subdivision map filed February 18, 1962 by Map #12343 in the Westchester County Clerk's Office for lot 22.
Survey completed: July 20, 2022.
on scale of one inch to 10 feet.

KULHANEK & PLAN, P.C.
LAND SURVEYORS, P.C.
LONG ISLAND OFFICE: P.O. BOX 1067, WESTCHESTER OFFICE: P.O. BOX 1787, YORKTOWN, NY 10598
LONG BEACH, NY 11581, POUND RIDGE, NY 11978, FARMINGVILLE, NY 11737



THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.

SITE PHOTOS - EXISTING CONDITIONS

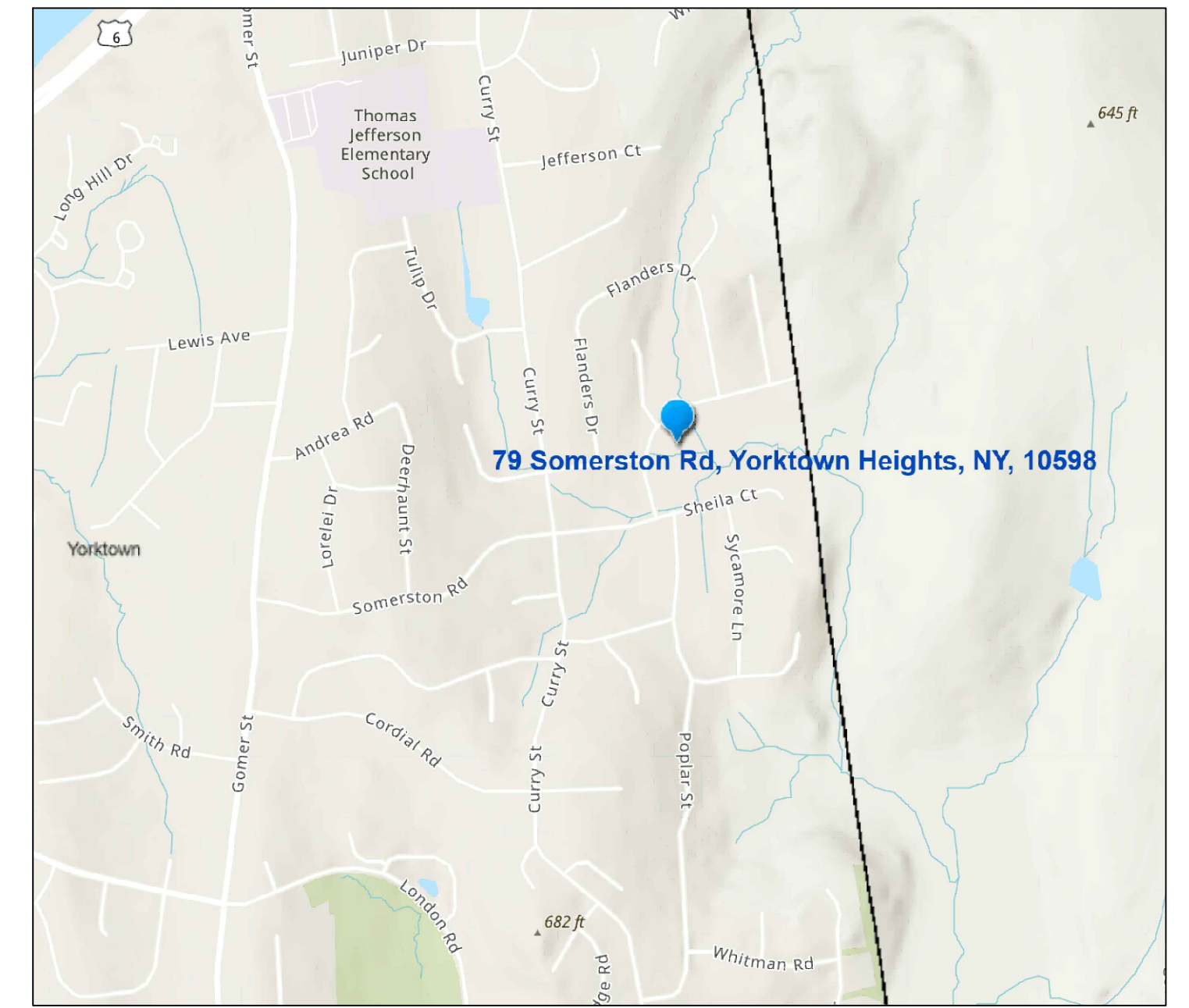


AERIAL IMAGERY - EXISTING CONDITIONS



ZONING SCHEDULE (R1-20) - BULK REQUIREMENTS

SCHEDULE ITEM	REQUIRED	EXISTING	PROPOSED
Lot Area	20,000 s.f.	17,653 s.f.	N/C
Lot Width	100 ft.	124.99 ft.	N/C
Lot Depth	100 ft.	190.46 ft.	N/C
Yard (Front)	40 ft.	43.0 ft.	N/C
Coverage (Building)	20% (3,530 s.f.)	8.65% (1,528 s.f.)	N/C
Yard (1 Side)	15 ft.	14.7 ft.	N/C
Yard (Combined Sides)	40 ft.	47.01 ft.	N/C
Yard (Rear)	40 ft.	104.77 ft.	N/C
Building Area	800 s.f.	1,640 s.f. +/-	N/C
Building Height (Feet)	35 ft.	18 ft. +/-	N/C
Building Height (Stories)	3	1-1/2	N/C
Parking	1 Space	4 Spaces	N/C
Road Frontage	100 ft.	100.01 ft.	N/C



GENERAL NOTES:

SCOPE: THE PURPOSE OF THIS MAP IS TO PRESENT AN ASSESSMENT OF EXISTING CONDITIONS FOR THE RESIDENTIAL PROPERTY LOCATED AT 79 SOMERSTON ROAD IN THE TOWN OF YORKTOWN, NY. PROPOSED ON THE SUBJECT PROPERTY IS THE CONSTRUCTION OF AN IN-GROUND SWIMMING POOL, POOL EQUIPMENT PAD AND RELATED IMPROVEMENTS. AS THE PROPERTY PRESENTLY IS A PARCEL THAT CONTAINS NEW YORK STATE REGULATED WETLANDS AND SUCH IMPROVEMENTS ARE PROPOSED WITHIN THE WETLAND BUFFER AN APPLICATION IS MADE TO THE TOWN ENGINEER WITH SUBSEQUENT REFERRAL TO THE TOWN CONSERVATION ADVISORY BOARD AND TOWN BOARD FOR FRESHWATER WETLANDS APPROVAL AS REQUIRED IN LOCAL CODE SECTION 178-10B. THE PROPOSED UNDERGROUND POOL AND POOL EQUIPMENT PAD ARE PROPOSED WITHIN 50 FEET OF THE WETLAND BOUNDARY. MITIGATION PROVIDED WITH RIPARIAN BUFFER PLANTINGS.

1. MAPPING: THE BASE MAP DEPICTED HEREIN WAS PREPARED FROM A LAND SURVEY PREPARED BY KULHANEK & PLAN, P.C. LAND SURVEYORS, OF POUND RIDGE NEW YORK, DATED JULY 30, 2003 AND FROM AN ARCHITECTURAL SITE PLAN PREPARED BY DAVID TETRO, AIA, DATED JULY 7, 2022.

2. TOWN BOARD APPROVALS: THE INTENT OF THIS SUBMISSION IS TO SEEK RELIEF FROM THE TOWN CONSERVATION ADVISORY BOARD AND TOWN BOARD TO ALLOW CONSTRUCTION OF A NEW UNDERGROUND SWIMMING POOL AND RELATED IMPROVEMENTS WITHIN 50 FEET OF A N.Y.S. REGULATED WETLAND.

3. RELEVANT TOWN CODE: TOWN OF YORKTOWN CODE SECTION 178 REGULATES DEVELOPMENT WITHIN A FRESHWATER WETLAND CONTROLLED AREA OR BUFFER AREA. THE CODE DOES PROVIDE RELIEF FOR APPLICANTS THROUGH AN ADMINISTRATIVE WETLAND PERMIT. FOR PROJECTS WHERE A PROPOSED POOL IS LOCATED WITHIN THE 50 FOOT SETBACK, SECTION 178-10 B. STIPULATES THE APPROVAL PROCESS. (Amended 10-17-2008 by L.L. No. 13-2008)

4. CURRENT CONDITIONS: THE EXISTING PROPERTY HAS 17,653.5 SQUARE FEET OF LAND WHICH CONTAINS A SINGLE FAMILY DWELLING, EXISTING ABOVE GROUND POOL, ASPHALT CONCRETE DRIVEWAY, PATIO, TOOL SHED AND RAISED REAR DECK. THE PROPERTY CONTAINS FOUR OFF STREET PARKING SPACES AND IS SERVED BY MUNICIPAL SEWER, WATER AND NATURAL GAS. THE CURRENT LOT IS PARTIALLY LOCATING IN A FEMA 100 YEAR SPECIAL FLOOD HAZARD AREA AND IS CONTAINS N.Y.S. WETLANDS AND WETLANDS BUFFER IN THE REAR SETBACK. THE DWELLING AND ACCESSORY STRUCTURES MEET ZONING DIMENSIONAL REQUIREMENTS FOR SIDE, REAR AND FRONT YARD SETBACKS FOR THE R-1-20 ZONING DISTRICT. WITH EXCEPTION TO LOT AREA, ALL AREA REQUIREMENTS ARE MET. RECENT APPROVALS WERE GRANTED FOR REAR PATIO, RAISED DECK AND DETACHED GARAGE.

5. CRITICAL/SENSITIVE AREAS: THIS PROPERTY DOES CONTAIN THE AFOREMENTIONED FRESHWATER WETLANDS AND WETLAND BUFFER AREAS AND DOES PARTIALLY FALL WITHIN A FEMA DESIGNATED SPECIAL FLOODPLAIN HAZARD AREA.

6. LIMITATIONS: THIS PLAN IS NOT TO BE CONSTRUED TO SUPERCEDE ANY APPROVALS BY THE TOWN OF YORKTOWN TOWN BOARD OR OTHER LAND USE BOARDS FOR SITE PLAN OR COMPLETE ZONING/CODE COMPLIANCE. FACILITY USE, OPERATION OR DESIGN. THIS MAP WAS PREPARED STRICTLY TO ASSESS THE CURRENT AND PROPOSED CONDITIONS CONSISTENT WITH THIS APPLICATION BEFORE THE APPROVAL PROCESS.

GENERAL SITE DATA:

PROPERTY INFORMATION & OWNER:
DANIELLE & FRANK JENNINGS
79 SOMERSTON ROAD
YORKTOWN, N.Y. 10598
SBL 17.10-01-03

ENVIRONMENTAL AREAS:
- FEMA 100 YEAR SFHA
- NYS REGULATED WETLAND
- EAST OF HUDSON WATERSHED
- CROTON RIVER WATERSHED

1. ZONING DISTRICT & USE:
SINGLE RESIDENTIAL DISTRICT - R1-20

2. ZONING BULK REQUIREMENTS:

FOR RESIDENTIAL USE:
- LOT AREA (MIN) - 20,000 SF
- BUILDING COVERAGE (MAX) - 20% (3,530 SF)
- LOT WIDTH (MIN) - 100 FEET
- FRONT YARD (MIN) - 40 FEET
- SIDE (MIN ONE) - 15 FEET
- SIDE (MIN BOTH) - 40 FEET
- REAR (MIN) - 40 FEET
- HABITABLE FLOOR AREA - 800 SF MIN. PER UNIT
- HEIGHT (MAX STORIES) - 3 STORIES
- HEIGHT (MAX) - 35 FEET
- ACCESSORY SETBACK (MIN) - 10 FEET

4. LAND USE DEVELOPED AREA SUMMARY:
EXISTING BUILDING COVERAGE - 1,528 SF (2,486 SF w/ Garage)
EXISTING IMP. COVERAGE - 4,786 SF (5,747 SF w/ Garage)
PARKING PROVIDED - 4 SPACES

5. UTILITY SERVICES:
WATER - YORKTOWN DISTRICT #1
SEWER - PEESKILL SEWER DISTRICT
GAS - CON EDISON COMPANY OF NY



DAVID A. GOESSL, PE
CIVIL ENGINEER
622 SPROUT BROOK ROAD
PUTNAM VALLEY, NY 10579 (914) 227-0258

PROPOSED IN-GROUND SWIMMING POOL
WITHIN A WETLAND CONTROLLED PROPERTY
79 SOMERSTON ROAD, YORKTOWN, NY 10598

PREPARED BY: DAVID GOESSL, P.E. PREPARED FOR: D & F JENNINGS

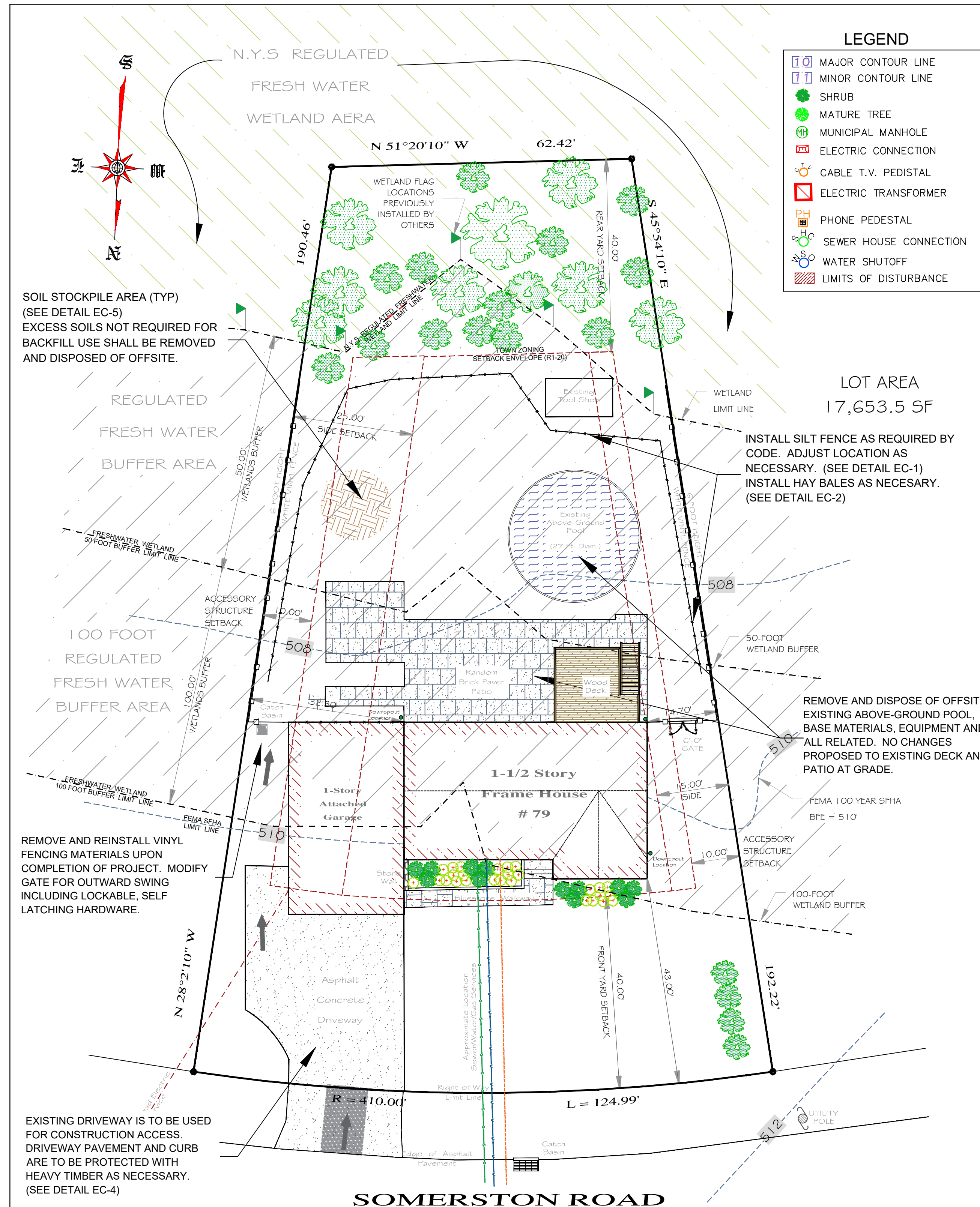
DATE: OCTOBER 16, 2022 SCALE: 1" = 15 FEET SHEET: 1 OF 4

NO.	REVISION	DATE
1	OWNER REVIEW AND COMMENTS	10/22/22
2	CONSERVATION BOARD COMMENTS	11/18/22
	RIPARIAN BUFFER PLANTINGS PROPOSED	

ANY UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A SEAL OF A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW.

NOTE: ADDITIONAL PLANIMETRIC SURVEY DATA SHOWN HEREON ON THIS PLAN OF THE PROPERTY OF 2942 FARM WALK ROAD, YORKTOWN, WESTCHESTER COUNTY, NEW YORK, 10598 WAS PREPARED FROM PLANS PREPARED BY DAVID TETRO AIA, WESTCHESTER COUNTY GIS DATA, REFERENCED LAND SURVEY AND RECORDED DEED FOR SAID PROPERTY. ENGINEER ACCEPTS NO LIABILITY TO ERRORS AND OMISSIONS PROVIDED ON REFERENCED MAP SOURCES.

EXISTING CONDITIONS - EROSION CONTROL / DEMOLITION PLAN



- LEGEND**
- MAJOR CONTOUR LINE
 - MINOR CONTOUR LINE
 - SHRUB
 - MATURE TREE
 - MUNICIPAL MANHOLE
 - ELECTRIC CONNECTION
 - CABLE T.V. PEDISTAL
 - ELECTRIC TRANSFORMER
 - PHONE PEDISTAL
 - SEWER HOUSE CONNECTION
 - WATER SHUTOFF
 - LIMITS OF DISTURBANCE

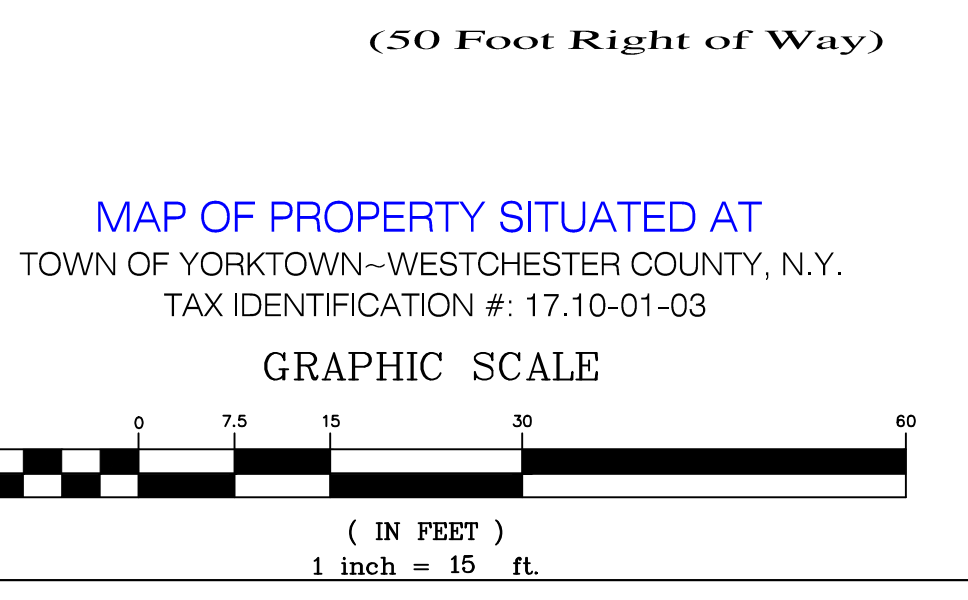
SOIL STOCKPILE AREA (TYP) (SEE DETAIL EC-5) EXCESS SOILS NOT REQUIRED FOR BACKFILL USE SHALL BE REMOVED AND DISPOSED OF OFFSITE.

LOT AREA 17,653.5 SF
INSTALL SILT FENCE AS REQUIRED BY CODE. ADJUST LOCATION AS NECESSARY. (SEE DETAIL EC-1) INSTALL HAY BALES AS NECESSARY. (SEE DETAIL EC-2)

REMOVE AND DISPOSE OF OFFSITE EXISTING ABOVE-GROUND POOL, BASE MATERIALS, EQUIPMENT AND ALL RELATED. NO CHANGES PROPOSED TO EXISTING DECK AND PATIO AT GRADE.

REMOVE AND REINSTALL VINYL FENCING MATERIALS UPON COMPLETION OF PROJECT. MODIFY GATE FOR OUTWARD SWING INCLUDING LOCKABLE, SELF LATCHING HARDWARE.

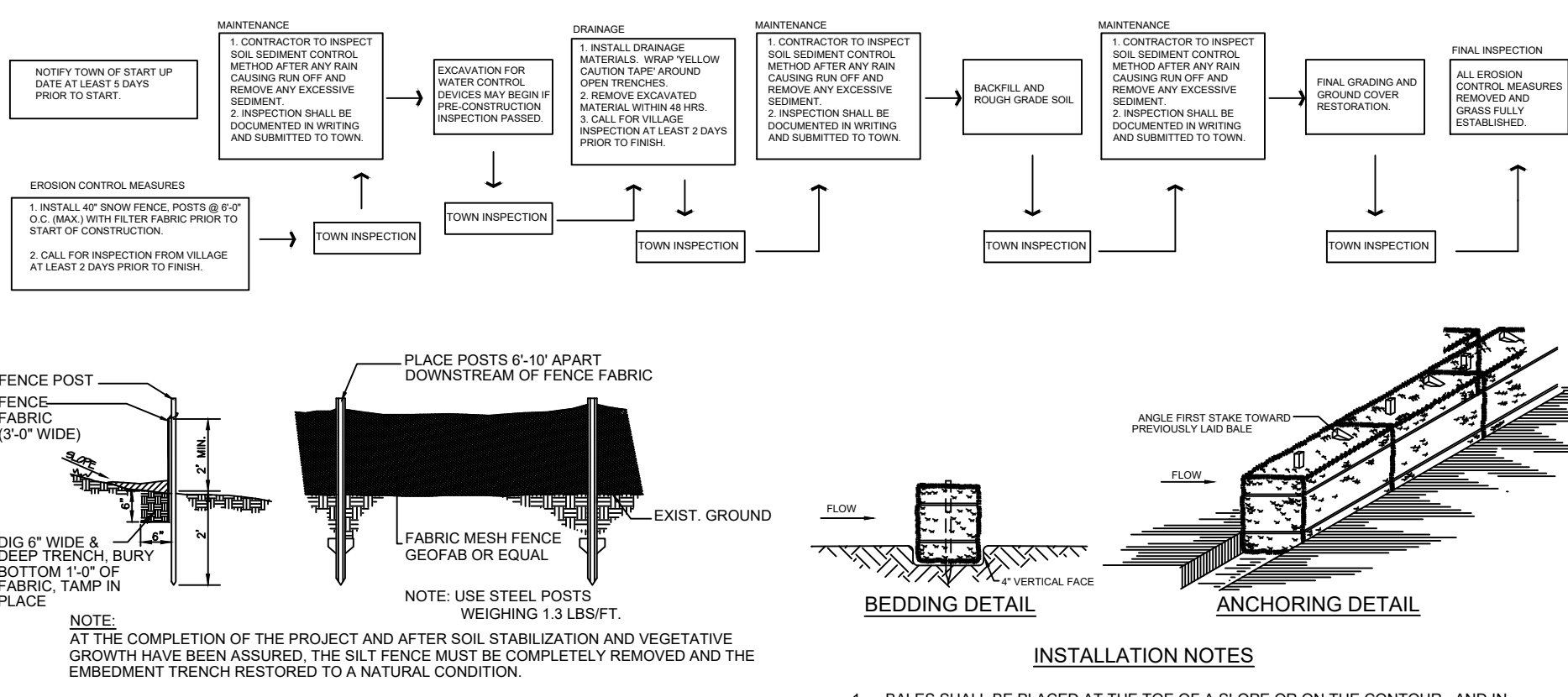
SOMERSTON ROAD



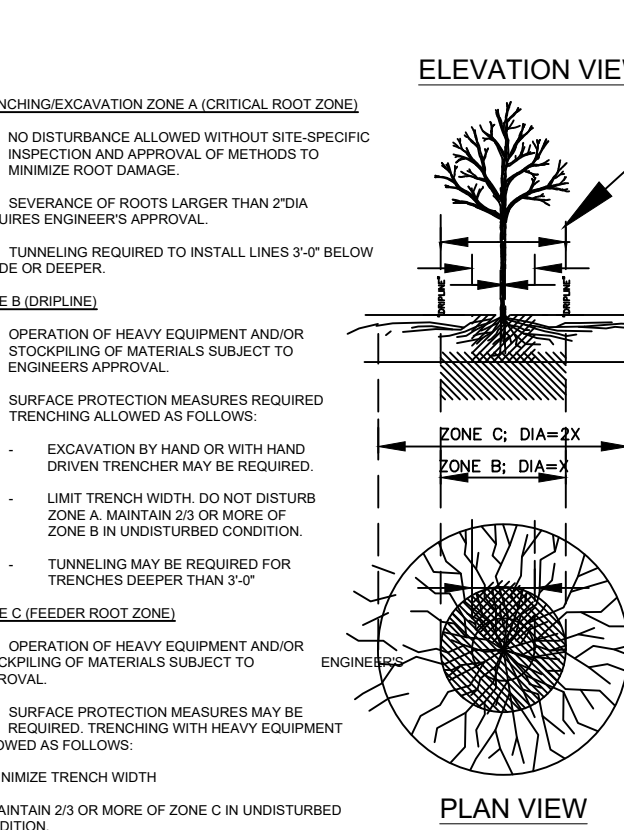
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Tax Lot No. 2, Block 17.10 as shown on the Tax Maps of the Town of Yorktown, Westchester County, New York.
Portion of Section 7 of Jefferson Valley Corporation subdivision map filed February 18, 1962 as Map #12343 in the Westchester County Clerk's Office for lot 22.
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on scale of one inch to 10 feet.
KULHANEK & PLAN, P.C.
LAND SURVEYORS, P.C.
LONG ISLAND OFFICE: 480 N. WOOD AVE., GREAT NECK, NY 11040-4000
WESTCHESTER OFFICE: 400 N. WOOD AVE., PUTNAM VALLEY, NY 10579-1000

NOTE: ADDITIONAL PLANIMETRIC SURVEY DATA SHOWN HEREIN ON THIS PLAN OF THE PROPERTY OF 2942 FARM WALK ROAD, YORKTOWN, WESTCHESTER COUNTY, NEW YORK, 10598 WAS PREPARED FROM PLANS PREPARED BY DAVID TETRO AIA, WESTCHESTER COUNTY GIS DATA, REFERENCED LAND SURVEY AND RECORDED DEED FOR SAID PROPERTY. ENGINEER ACCEPTS NO LIABILITY TO ERRORS AND OMISSIONS PROVIDED ON REFERENCED MAP SOURCES.

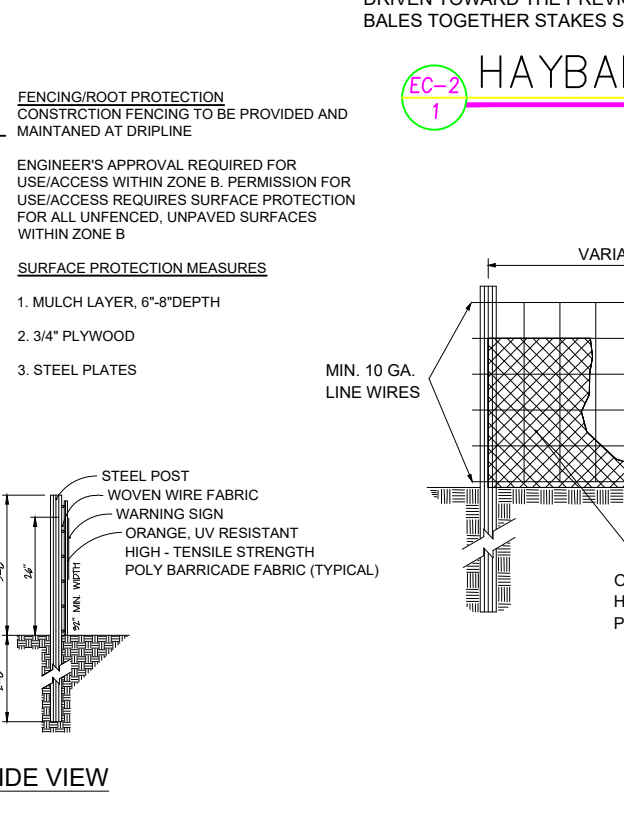
EROSION CONTROL SCHEDULE AND DETAILS



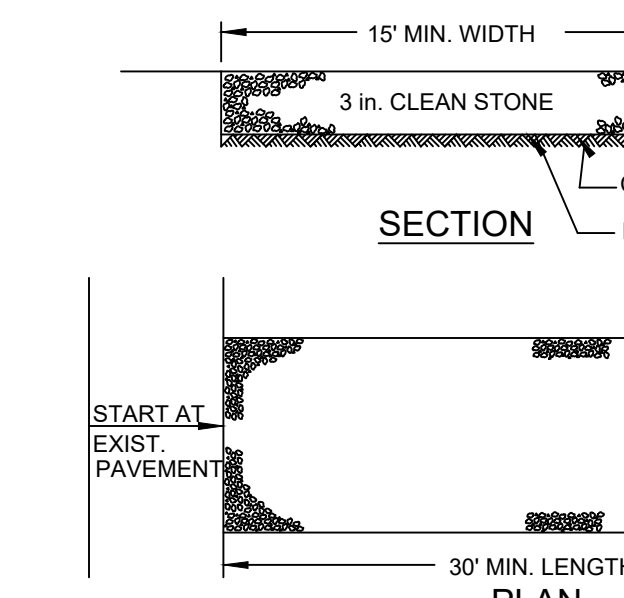
SILT FENCE DETAIL



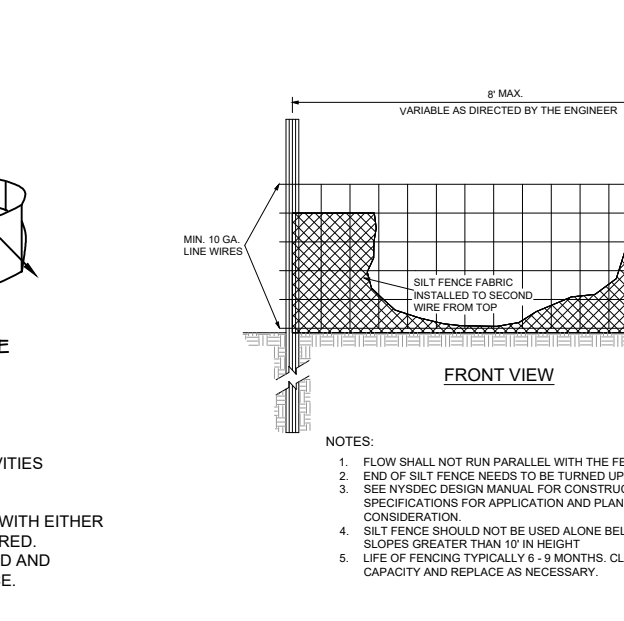
HAYBALE DETAIL



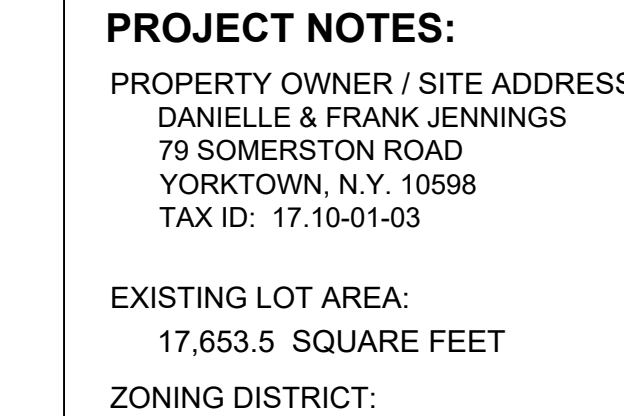
TREE FENCE PROTECTION



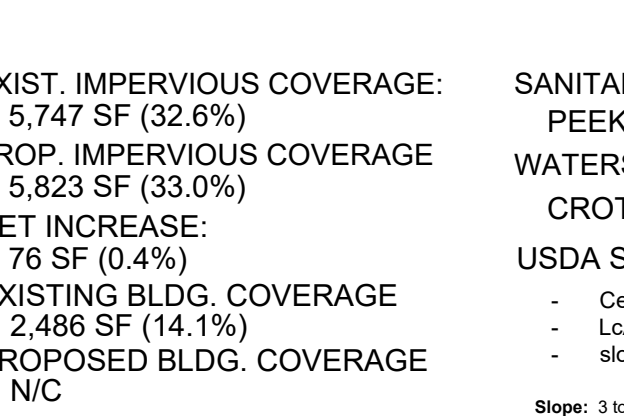
STABILIZED CONSTRUCTION ENTRANCE



SOIL STOCKPILE DETAIL



ALT. SILT FENCE DETAIL



PROJECT NOTES:

PROPERTY OWNER / SITE ADDRESS: DANIELLE & FRANK JENNINGS, 79 SOMERSTON ROAD, YORKTOWN, N.Y. 10598, TAX ID: 17-10-01-03

EXIST. IMPERVIOUS COVERAGE: 5,747 SF (32.6%)
PROP. IMPERVIOUS COVERAGE: 5,823 SF (33.0%)
NET INCREASE: 76 SF (0.4%)

EXISTING LOT AREA: 17,653.5 SQUARE FEET
EXISTING BLDG. COVERAGE: 2,486 SF (14.1%)
PROPOSED BLDG. COVERAGE: N/C

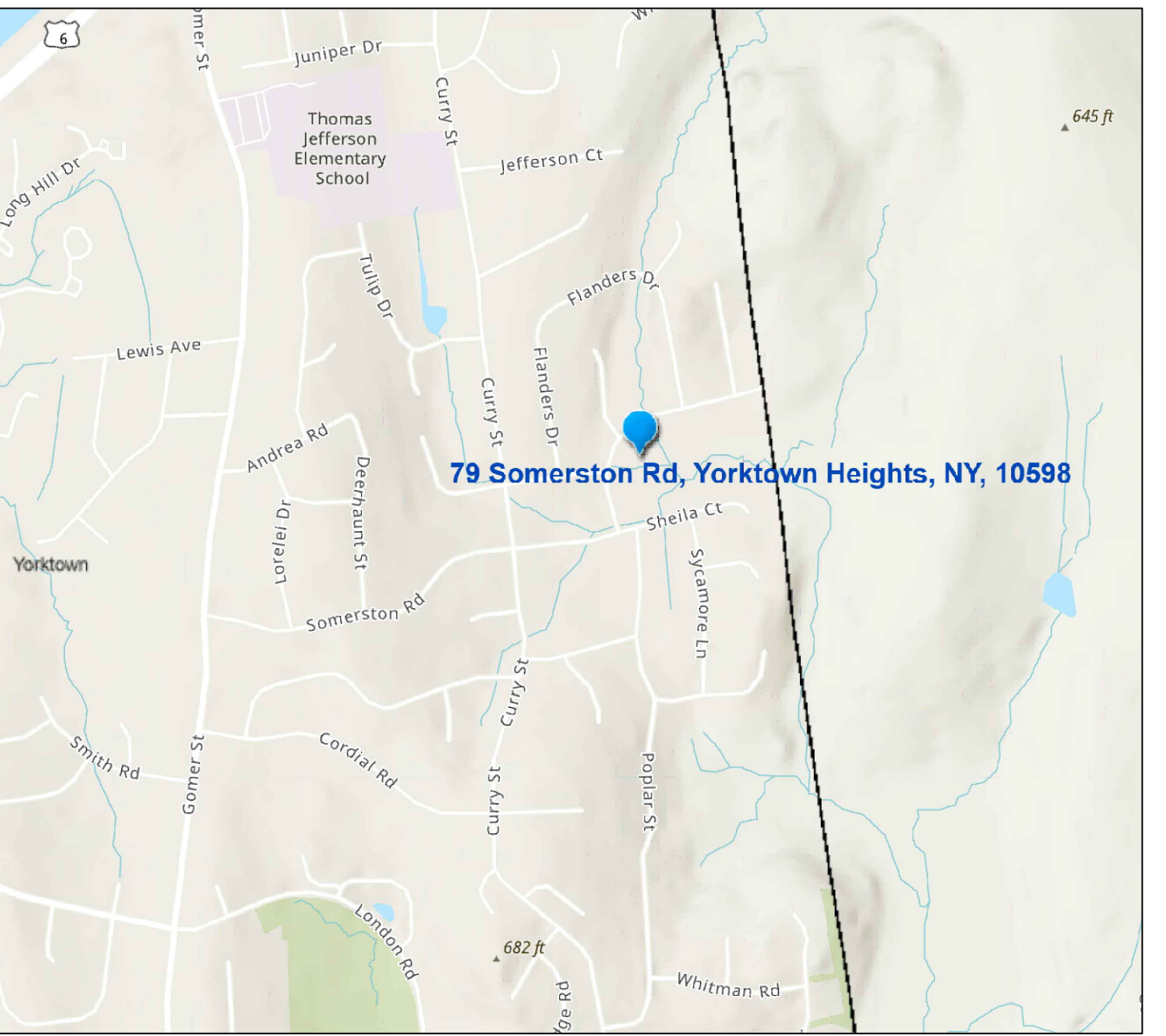
ZONING DISTRICT: R 1-20 RESIDENTIAL

PRINCIPAL USE: SINGLE FAMILY

SANITARY SEWER DISTRICT: PEESKILL
WATERSHED: CROTON RIVER
USDA SOIL TYPE: Ca Caten Muck 46.6%, LcA Leicester loam, 0 to 3 percent slopes, stony 53.4%

SITE DISTURBANCE ANALYSIS:
- POOL INSTALLATION: 800 SF
- PATIO/EQUIP PAD: 500 SF
- DRAINAGE: 500 SF
- MISC. GRADING: 1,500 SF

Slope: 3 to 15 percent
Depth to restrictive feature: > Varies
Drainage class: Poor to Well drained
Depth to water table: > Varies
Hydrologic Soil Groups: A/D



PROJECT LOCATION MAP

INSTALLATION & MAINTENANCE OF EROSION CONTROL

- CONSTRUCTION SCHEDULE**
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START
- INSPECTION BY MUNICIPALITY - PRE-CONSTRUCTION EROSION CONTROL MEASURES**
- Install all erosion control measures prior to start of construction.
 - Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
- INSPECTION BY MUNICIPALITY - MAINTENANCE ACTIVITIES DURING ALL PHASES OF CONSTRUCTION**
- After any rain causing runoff Contractor to inspect haybales, etc, and remove any excessive sediment, and inspect stockpiles and correct any problems with seed establishment.
 - Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.
- INSPECTION BY MUNICIPALITY - STOCKPILING OF SOILS AND ROUGH GRADING OF SITE**
- Strip topsoil and stockpile soil for reuse and properly dispose of all excess soils.
 - Stockpile excavation subgrade materials and properly dispose of all excess soils.
 - Seed stockpiles with 1 lb. total annual rye or mix as per engineer.
 - Perform rough grading activities as soon as practical. Call for Inspections as required.
- INSPECTION BY MUNICIPALITY - FINE GRADING OF SITE**
- Remove all remaining excess soils from site. Compact all graded materials as required.
 - Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
 - Perform all additional fine grading activities as required. Call for reinspection.
- INSPECTION BY MUNICIPALITY - ESTABLISHMENT OF TURF, FINAL LANDSCAPING AND TREE REPLACEMENTS**
- Spread topsoil evenly over areas to be seeded. Hand rake level.
 - Broadcast 1.25 lb. Bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded. Apply straw mulch and water within 2 days of completion of topsoiling.
 - Install turf (optional) landscaping materials and any replacement trees.
 - Demobilize all equipment and materials from site as necessary.
 - Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
- INSPECTION BY MUNICIPALITY - FINAL INSPECTION**
- Perform any as-built drawings, land surveys and or engineering certifications. Submit documents to the appropriate Municipal Agency having jurisdiction.
 - Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
 - Remove all erosion control measures upon establishment of turf or as per the Municipal Agency having jurisdiction.

CONTRACTOR CERTIFICATION FOR SWEC COMPLIANCE:

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES TO COMPLY WITH THE TERMS AND CONDITIONS OF THE STORM WATER POLLUTION PREVENTION PLAN AND AGREES TO IMPLEMENT ANY AND ALL CORRECTIVE ACTIONS IDENTIFIED BY THE NYSDEC QUALIFIED INSPECTOR AND/OR TOWN ENGINEER AND/OR BUILDING INSPECTOR DURING ALL SITE INSPECTIONS. FURTHERMORE THE UNDERSIGNED UNDERSTANDS THAT THE OWNER AND/OR PERMIT HOLDER SHALL COMPLY WITH ALL LOCAL CODES FOR STORMWATER MANAGEMENT AND ALL TERMS AND CONDITIONS OF NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM ACTIVE CONSTRUCTION SITES AS IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION(S) OF WATER QUALITY STANDARDS.

NAME: _____
SIGNATURE: _____
DATED: _____

DAVID A. GOESSL, PE
CIVIL ENGINEER
622 SPROUT BROOK ROAD
PUTNAM VALLEY, NY 10579 (914) 227-0258

PROPOSED IN-GROUND SWIMMING POOL
WITHIN A WETLAND CONTROLLED PROPERTY
79 SOMERSTON ROAD, YORKTOWN, NY 10598

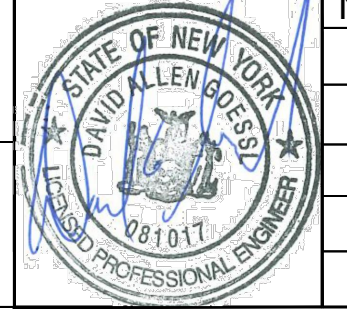
PREPARED BY: DAVID GOESSL, P.E. PREPARED FOR: D & F JENNINGS

DATE: OCTOBER 16, 2022 SCALE: 1"=15 FEET SHEET: 2 OF 4

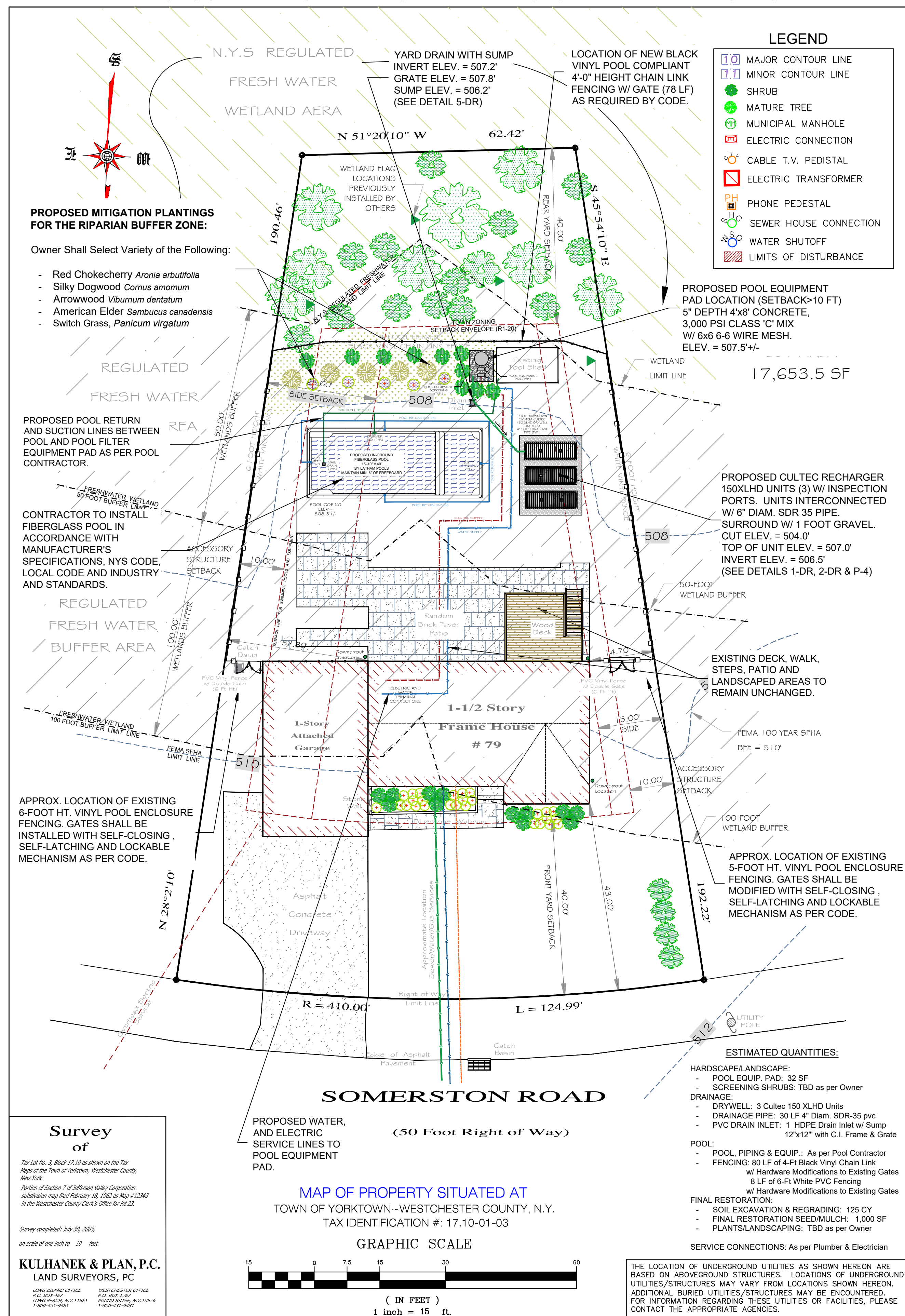
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1	OWNER REVIEW AND COMMENTS	10/22/22
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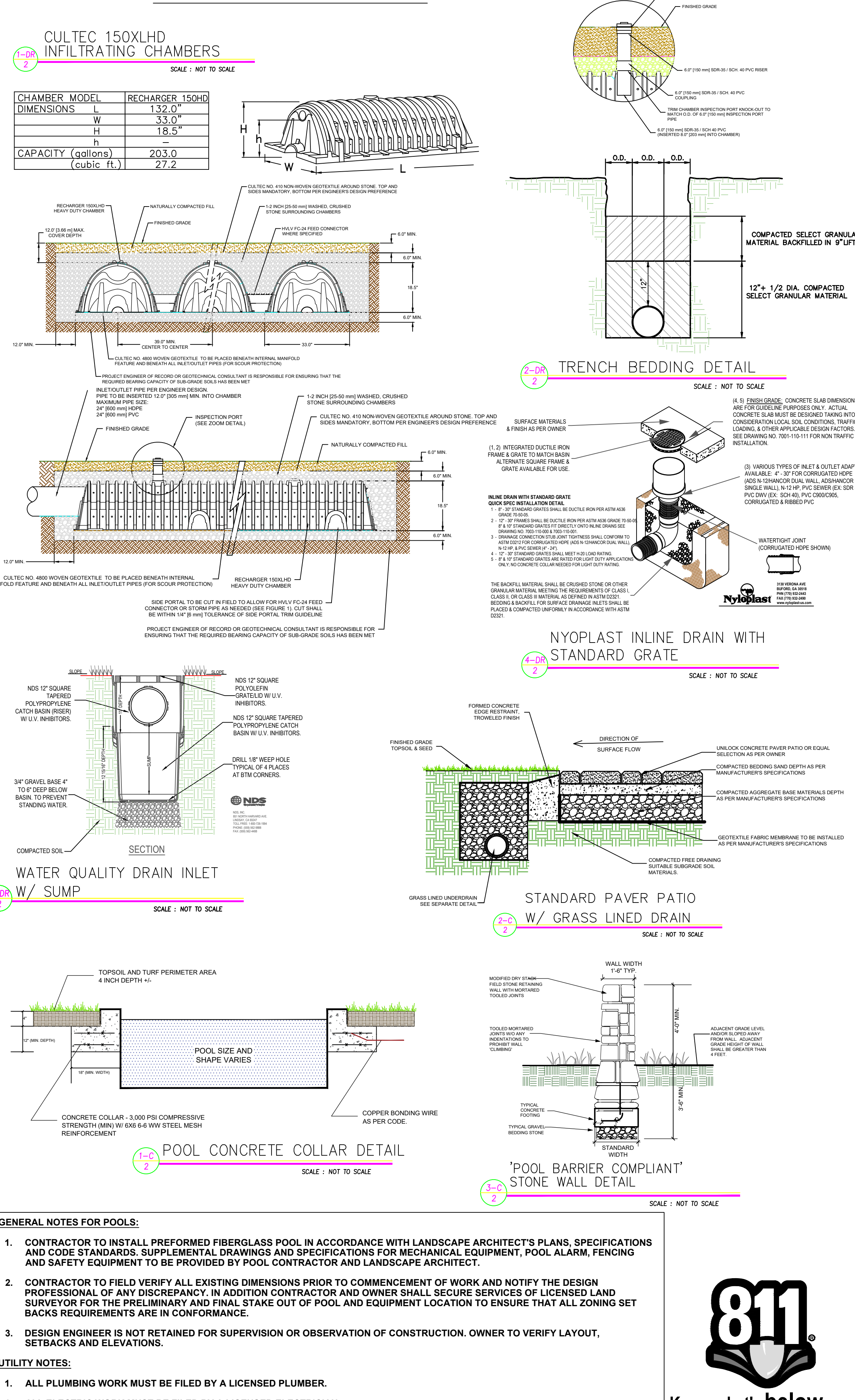
Know what's below.
Call before you dig.
1-(800) 962-7962



PROPOSED IMPROVEMENTS PLAN WITH STORMWATER FEATURES



STANDARD DETAILS



GENERAL CONSTRUCTION NOTES:

- The Applicant shall secure all of the necessary permits from the Town of Yorktown to ensure compliance with Local, County and State Building, Highway and Sanitary Codes. The Applicant is responsible to contact the Engineering Department to schedule an inspection of the sediment and erosion control practices prior to the start of construction.
- During work and upon completion, the Applicant shall schedule all of the necessary inspections and certificates of approval with the Town of Yorktown officials.
- The Applicant shall secure the services of a NYS licensed land surveyor as necessary to stake out the exact location of proposed improvements and as required by the Town for record documents.
- The Applicant shall verify location of all underground utilities by calling Dig Safe NY @ 1-(800) 962-7962 to ensure that there are no conflicts with existing systems. Private installations shall also be identified as required.
- Any existing utilities, pavement, sidewalk, curbing, grass areas etc., disturbed and/or damages during construction, must be replaced and/or repaired at the Applicant's expense.
- The Applicant shall secure the work zone through proper placement of construction fencing materials, cones, barricades, and caution tape.
- All debris, excess soils and waste materials, as a result of this proposed improvement, shall be removed from site and disposed of properly.
- All fill material shall consist of clean soils, or soil-rock mixture free from organic matter, construction debris or other deleterious material. Materials shall contain no rock or lump over 6" in greatest dimension and not more than 15% of the rocks or lumps shall be larger than 2.5" in greatest dimension.
- Should unforeseen conditions or circumstances develop or other causes necessitate changes to the approved plans, the Applicant shall notify the Design Engineer of record.
- All erosion controls and protective measures shall conform to the "New York State Standards and Specifications for Erosion and Sediment Control." The Town Inspector may specify additional sediment and erosion control measures to safeguard the public right of way and adjacent properties.
- Construction erosion control and protection measures shall be inspected by a qualified engineer or trained individual having received NYSDDEC 4-hour erosion and sediment control training at a minimum of weekly and following all rain events greater than 0.5 inch.

STORMWATER SYSTEM NOTES:

- The Applicant shall safeguard the limits of improvements through proper installation of silt fencing and hay bales downgrade from all excavation areas and stockpiles soil and gravel materials.
- The Contractor shall verify all field dimensions and drainage layouts prior to performing any installation. Any discrepancies shall be immediately reported to the Engineer of record.
- The Contractor shall verify depth upon excavation for suitable soils and consult with the Design Engineer prior to installing any drainage systems. The Design Engineer will verify soil percolation rates and prior test results at the time of construction. Any design changes to the storm water system during construction due to unforeseen circumstances such as shallow groundwater, rock, utility conflict etc., must be resubmitted to the Town Building and Engineering Departments for approval prior to construction.
- The Contractor shall schedule required inspections at least 48 hours in advance to both Engineer of record and Town Inspector, and that no work shall be covered or concealed until the required inspections are passed.
- Stormwater drainage system shall be installed along the proposed pathway as indicated on the plans. Pipe materials for pool drainage drawdown shall be 4" diameter SDR-35 PVC (or Sch. 40) piping. Underground infiltrating stormwater chamber(s) shall not be buried within ten feet of a building foundation nor ten feet from any adjacent property or right of way. The proposed drainage system is designed to handle six inches of seasonal pool drawdown for dechlorinated pool water including the net impervious surfaces created by the proposed pool.
- The proposed stormwater system consists of 3 Cultec 150XLHD Chambers with interconnections consisting of 6" diameter PVC (or HDPE) piping.
- The proposed location of the drywell system shall be in the rear yard maintaining minimum 10 foot setbacks from dwelling and property lines. Owner/Contractor shall contact the Design Engineer should conflict(s) exist.

OWNER POST CONSTRUCTION MAINTENANCE:

- The owner shall inspect all roof leader downspouts fittings, inspection ports and cleanout caps once per year to ensure proper connections are in place.
- The owner shall inspect and remove all debris from the grate of any open yard drain and driveway drain regularly with additional emphasis during the fall and winter months.
- The owner shall inspect and remove all accumulated debris from the sumps of any driveway drain and yard drain at a minimum of once per year. Adjust frequency as necessary.
- All areas of disturbance shall be restored at the earliest practical date and/or immediately upon suspension of work.

Survey of

See List No. 2, Block 17.18 as shown on the Tax Maps of the Town of Yorktown, Westchester County, New York.

Position of Section 7 of Jefferson Valley Corporation subdivision map filed February 18, 1962 as Map #12343 in the Westchester County Clerk's Office for lot 23.

Survey completed: July 23, 2022.
on scale of one inch to 10 feet.

KULHANEK & PLAN, P.C.
LAND SURVEYORS, P.C.

LONG ISLAND OFFICE: P.O. BOX 4607, WESTCHESTER OFFICE: P.O. BOX 4702, WESTCHESTER, N.Y. 10598
LONG BEACH, N.Y. 11581, FORT MONMOUTH, N.Y. 08054

MAP OF PROPERTY SITUATED AT
TOWN OF YORKTOWN—WESTCHESTER COUNTY, N.Y.
TAX IDENTIFICATION #: 17.10-01-03

GRAPHIC SCALE

(IN FEET)
1 inch = 15 ft.

GENERAL NOTES FOR POOLS:

- CONTRACTOR TO INSTALL PREFORMED FIBERGLASS POOL IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S PLANS, SPECIFICATIONS AND CODE STANDARDS. SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS FOR MECHANICAL EQUIPMENT, POOL ALARM, FENCING AND SAFETY EQUIPMENT TO BE PROVIDED BY POOL CONTRACTOR AND LANDSCAPE ARCHITECT.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE DESIGN PROFESSIONAL OF ANY DISCREPANCY. IN ADDITION CONTRACTOR AND OWNER SHALL SECURE SERVICES OF LICENSED LAND SURVEYOR FOR THE PRELIMINARY AND FINAL STAKE OUT OF POOL AND EQUIPMENT LOCATION TO ENSURE THAT ALL ZONING SET BACKS REQUIREMENTS ARE IN CONFORMANCE.
- DESIGN ENGINEER IS NOT RETAINED FOR SUPERVISION OR OBSERVATION OF CONSTRUCTION. OWNER TO VERIFY LAYOUT, SETBACKS AND ELEVATIONS.

UTILITY NOTES:

- ALL PLUMBING WORK MUST BE FILED BY A LICENSED PLUMBER.
- ALL ELECTRIC WORK MUST BE FILED BY A LICENSED ELECTRICIAN.

POOL DRAINAGE AND FILTER CONNECTION NOTES:

- POOL WATER IS CHEMICALLY TREATED AND MAY NOT BE DRAINED TO THE ROAD, RIGHT OF WAY OR OPEN GRADE.
- CONTRACTOR TO PROVIDE AN ACCESSIBLE DRAINAGE CONNECTION TO AN APPROVED DRAINAGE SYSTEM.

DAVID A. GOESSL, PE
CIVIL ENGINEER
622 SPROUT BROOK ROAD
PUTNAM VALLEY, NY 10579 (914) 227-0258

PROPOSED IN-GROUND SWIMMING POOL WITHIN A WETLAND CONTROLLED PROPERTY
79 SOMERSTON ROAD, YORKTOWN, NY 10598

PREPARED BY: DAVID GOESSL, P.E. PREPARED FOR: D & F JENNINGS

DATE: OCTOBER 16, 2022 SCALE: 1" = 15 FEET SHEET: 3 OF 4

NO.	REVISION	DATE
1	OWNER REVIEW AND COMMENTS	10/22/22
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	RIPIARIAN BUFFER PLANTINGS PROPOSED	

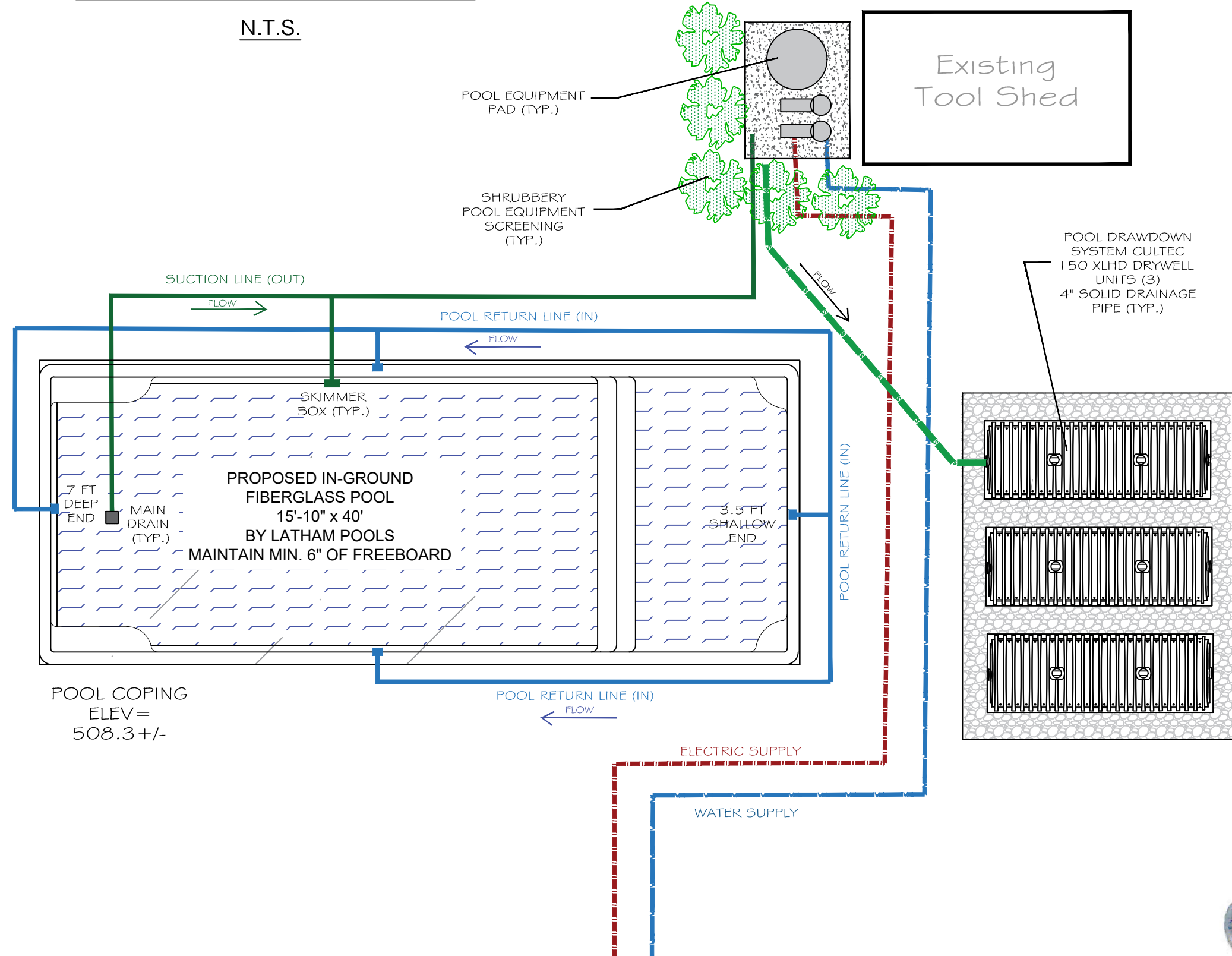


ANY UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A SEAL OF A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW.

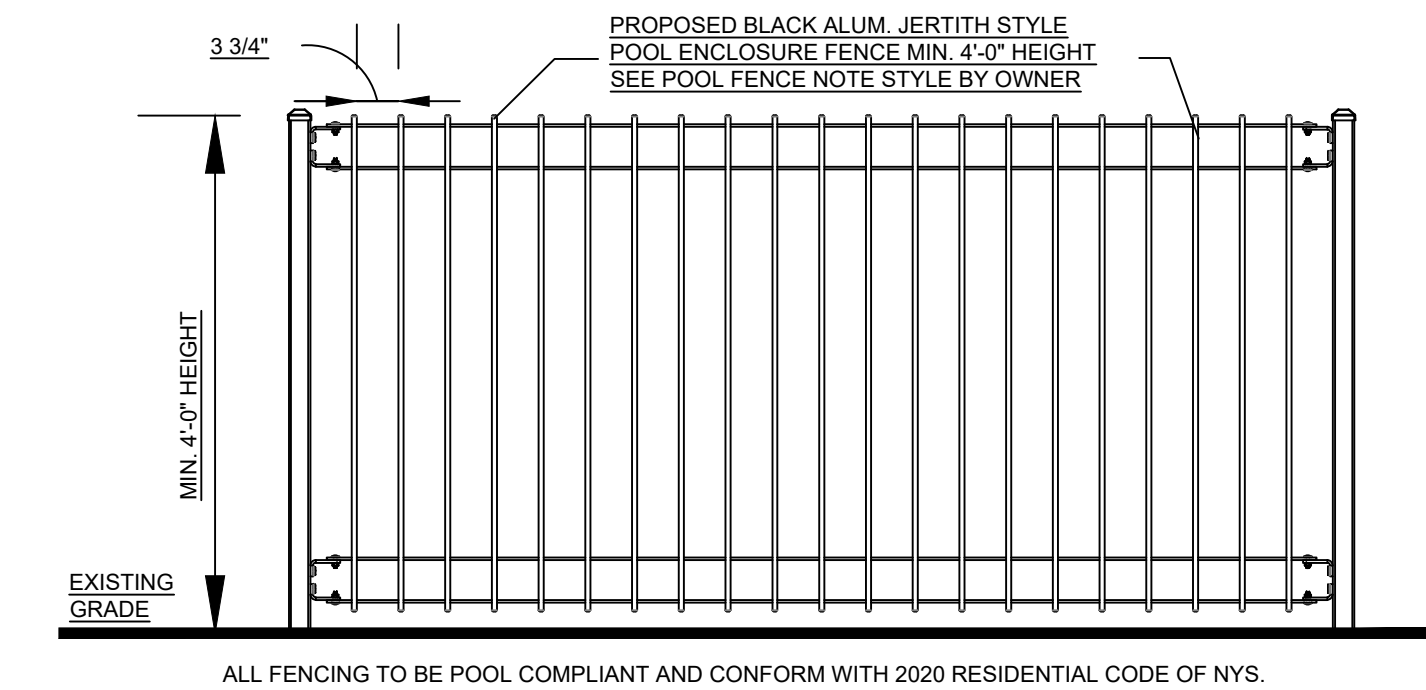
NOTE: ADDITIONAL PLANIMETRIC SURVEY DATA SHOWN HEREON ON THIS PLAN OF THE PROPERTY OF 2942 FARM WALK ROAD, YORKTOWN, WESTCHESTER COUNTY, NEW YORK, 10598 WAS PREPARED FROM PLANS PREPARED BY DAVID TETRO AIA, WESTCHESTER COUNTY GIS DATA, REFERENCED LAND SURVEY AND RECORDED DEED FOR SAID PROPERTY. ENGINEER ACCEPTS NO LIABILITY TO ERRORS AND OMISSIONS PROVIDED ON REFERENCED MAP SOURCES.

POOL & SPA DETAILS

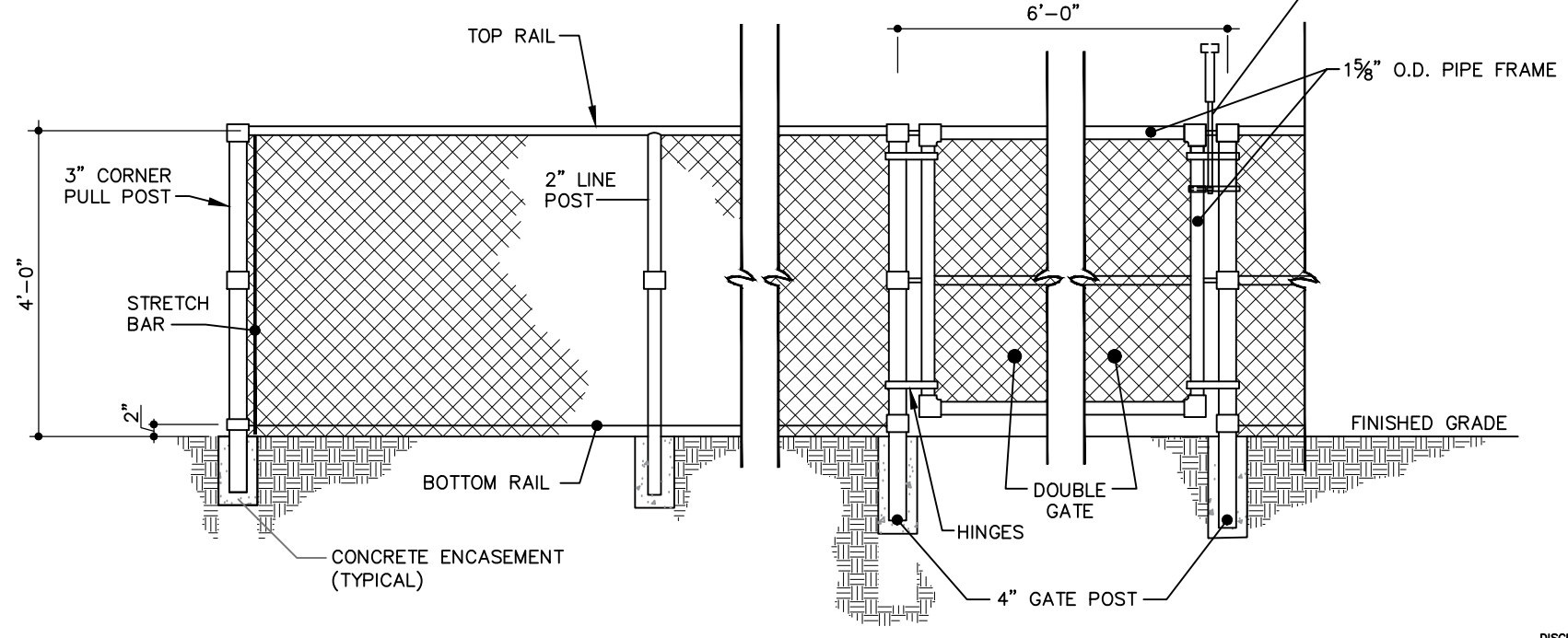
ENLARGED POOL DETAIL



P-1
3 FIBERGLASS POOL PLAN
SCALE: NOT TO SCALE

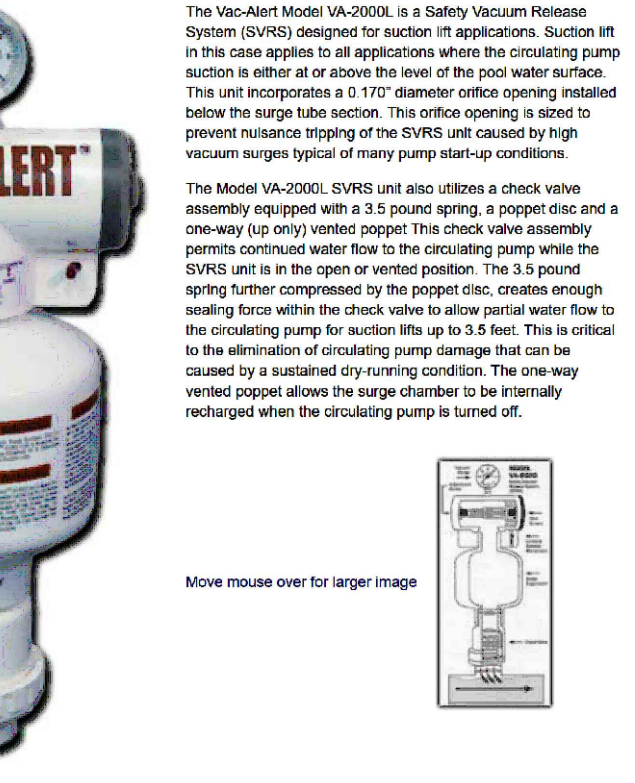


P-2
3 ALTERNATE POOL ENCLOSURE FENCE DETAIL
SCALE: NOT TO SCALE



FENCE NOTES:
 1. DOUBLE GATE SHALL HAVE A LOCKING MECHANISM POOL COMPLIANT. SWING SHALL BE OUTWARD FROM POOL.
 2. ALL FENCE COMPONENT MATERIALS SHALL BE EITHER HOT DIPPED GALVANIZED STEEL OR IRON.
 3. ALL FENCING SHALL BE PROVIDED WITH A BLACK VINYL COATED POLYESTER PRIVACY SCREEN ACROSS THE ENTIRE SURFACE AREA OF THE FENCE INCLUDING GATES.
 4. ALL CHAIN LINK FENCING AND POSTS SHALL BE VINYL COATED WITH BLACK UV RESISTANT VINYL.
 5. ALL FENCING TO BE POOL COMPLIANT AND CONFORM WITH 2020 RESIDENTIAL CODE OF NYS.

P-3
3 POOL ENCLOSURE FENCE DETAIL
SCALE: NOT TO SCALE



VAC-ALERT FIELD VA-2000 TEST DATA SHEET

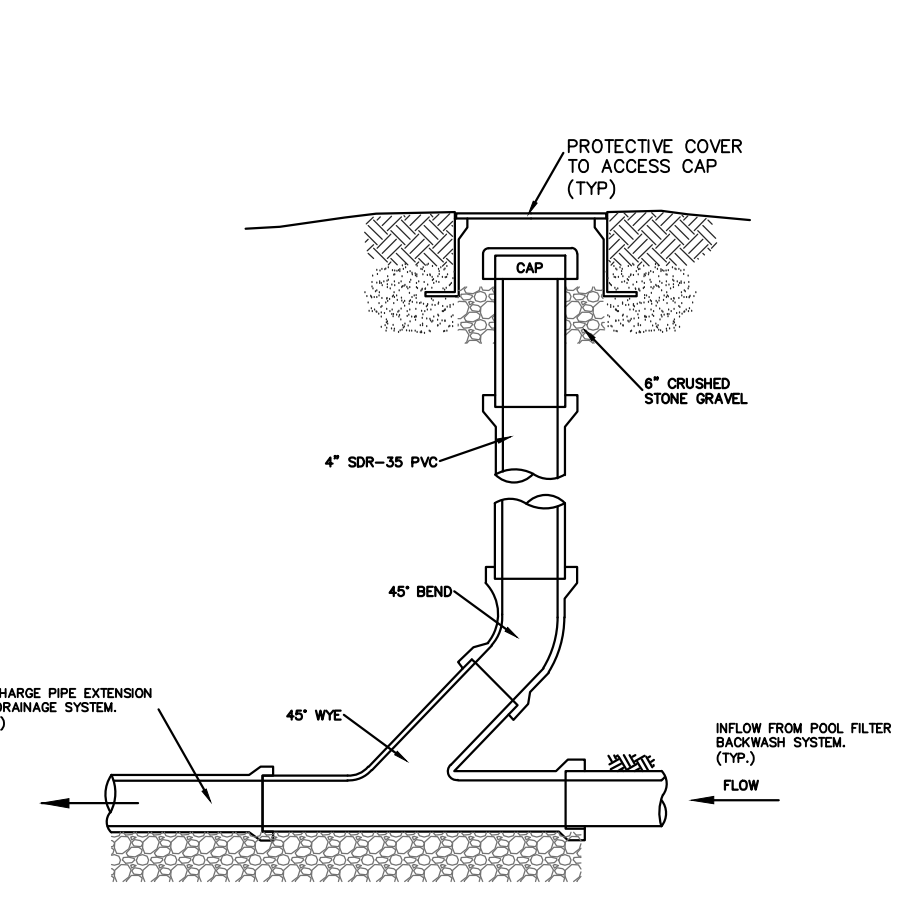
SVRS INFORMATION

A. Valve ARL serial number: _____
 B. Test performed on: Pool () Spa () Fountain () Other () _____
 C. Did pool or spa have multiple main drains? Yes () No () _____
 D. Did valve trip three consecutive times? Yes () No () _____
 E. Method of testing: Pole-Mounted Mat Test () Ball/Jandy Valve Test ()
 Slide gate or Butterfly Valve () _____

INSTALLATION LOCATION INFORMATION

Name: _____
 Address: _____
 I have discussed with the owner and/or individual the complete operational and testing procedure for the SVRS unit.
 Test Performed By: _____
 Date of Test: _____

P-5
3 POOL ENTRAPMENT PROTECTION SAFETY VACUUM RELEASE SYSTEM
SCALE: NOT TO SCALE



P-4
2 SEASONAL POOL DRAWDOWN & BACKWASH CONNECTION TO DRAIN
SCALE: NOT TO SCALE

GENERAL POOL SAFETY NOTES:

- 1. FENCE ENCLOSURE:** THERE SHALL BE MAINTAINED ON SAID LOT, AND COMPLETELY ENCLOSING POOL FENCING AND GATES, SHALL BE A MINIMUM 4'-0" HIGH OR AS NOTED ON PLAN. GATED SHALL BE SELF-CLOSING & SELF-LATCHING AND LOCKABLE, DESIGNED TO KEEP AND CAPABLE OF KEEPING SUCH GATES SECURELY CLOSED AND LOCKED AT ALL TIMES, WHEN NOT IN USE. GATES SHALL OPEN AWAY FROM POOL AREA. ALL FENCING SHALL MEET THE REQUIREMENTS OF APPENDIX-G, SECTION AG1-105 OF THE RESIDENTIAL CODE OF NYS. THE BARRIER SHALL BE COMPOSED OF VERTICAL MEMBERS WITH ONLY HORIZONTAL TOP AND BOTTOM RAILS. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4 INCH DIAMETER SPHERE. THE MAXIMUM CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES.
- 2. DWELLING:** THE WALL OF THE DWELLING MAY SERVE AS PART OF THE BARRIER. HOWEVER ALL DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THE WALL SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOORS ARE OPENED.
- 3. POOL ALARMS:** ALL DOORS, OPENING TO THE POOL ENCLOSURE SHALL BE FITTED WITH A "POOLGUARD" ALARM #DAPT-WT, WHICH MEETS NYS POOL BARRIER CODE. ASTM F2208, AND PER 2020 NYS RESIDENTIAL CODE R326.7. ALL WINDOWS WITHIN POOL ENCLOSURE SHALL BE FITTED WITH A "WINDOW STOP" SO THAT THE WINDOWS ARE RESTRICTED TO LESS THAN 4" WHEN OPEN. A POOL IS NOT REQUIRED TO BE EQUIPPED WITH AN APPROVED POOL ALARM AS PER SECTION R 326.7 OF THE NYS RESIDENTIAL CODE, IF THE POOL WILL BE EQUIPPED WITH AN AUTOMATIC POWER SAFETY COVER WHICH COMPLIES WITH ASTM F1346.
- 4. PORTABLE WATER PROTECTION:** POOL WATER AUTO FILL THE "POOL MISER" WATER AUTO FILL IS EQUIPPED WITH A BUILT IN CHECK VALVE TO PROTECT POTABLE WATER SUPPLY.
- 5. ENTRAPMENT PROTECTION:** POOL SUCTION OUTLETS WILL BE PROTECTED AGAINST USER ENTRAPMENT AS PER SECTION R 326.6 OF THE NYS 2020 RESIDENTIAL CODE. SUCTION OUTLETS SHALL HAVE A COVER THAT CONFORMS TO AN APPROVED CHANNEL DRAIN SYSTEM. OUTLET CIRCULATION SYSTEMS SHALL BE EQUIPPED WITH A ATMOSPHERIC VACUUM RELIEF. PUMP CIRCULATION SYSTEMS SHALL HAVE A MINIMUM OF TWO SUCTION OUTLETS WITH A MINIMUM HORIZONTAL AND VERTICAL DISTANCE OF 3 FEET BETWEEN THE OUTLETS. THE INSTALLATION SHALL INCLUDE A POOL DRAIN COVERS THAT IS COMPLIANT WITH THE VIRGINIA GRAEME BAKER POOL & SPA SAFETY ACT (VGB ACT) TO AVOID ENTRAPMENT HAZARDS. THE PROPOSED POOL INSTALLATION SHALL INCLUDE ONE **VAC-ALERT MODEL VA-2000L SAFETY VACUUM RELEASE SYSTEM** (SVRS) DESIGNED FOR SUCTION LIFT APPLICATIONS.

2020 NYS RESIDENTIAL CODE REFERENCES:

303.2 ENCLOSURES. THE PROVISIONS OF THIS SECTION SHALL CONTROL THE MAINTENANCE OF BARRIERS FOR SWIMMING POOLS, SPAS AND HOT TUBS INSTALLED, CONSTRUCTED OR SUBSTANTIALLY MODIFIED AFTER DECEMBER 14, 2006. DESIGN CONTROLS ARE INTENDED TO PROVIDE PROTECTION AGAINST POTENTIAL DROWNING AND NEAR-DROWNING BY RESTRICTING ACCESS TO SWIMMING POOLS, SPAS AND HOT TUBS.

303.2.2 TEMPORARY BARRIERS. AN OUTDOOR SWIMMING POOL, INCLUDING AN IN-GROUND, ABOVE-GROUND OR ON-GROUND POOL, HOT TUB OR SPA SHALL BE SURROUNDED BY A TEMPORARY BARRIER DURING INSTALLATION OR CONSTRUCTION IN COMPLIANCE WITH SECTION R326.4 OF THE RESIDENTIAL CODE OF NEW YORK STATE OR SECTION 3109.3.2 OF THE BUILDING CODE OF NEW YORK STATE, AS APPLICABLE.

303.3 SWIMMING POOL AND SPA ALARMS. A SWIMMING POOL OR SPA INSTALLED, CONSTRUCTED OR SUBSTANTIALLY MODIFIED AFTER DECEMBER 14, 2006, SHALL BE EQUIPPED WITH AN APPROVED POOL ALARM IN COMPLIANCE WITH SECTION R326.7 OF THE RESIDENTIAL CODE OF NEW YORK STATE OR SECTION R3109.5 OF THE BUILDING CODE OF NEW YORK STATE.

303.4 ENTRAPMENT PROTECTION FOR SWIMMING POOLS AND SPAS. SWIMMING POOLS AND SPAS SHALL MAINTAIN BODY ENTRAPMENT PROTECTIONS FOR SUCTION OUTLETS IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE OR THE RESIDENTIAL CODE OF NEW YORK STATE, AS APPLICABLE.

R326.1 COMPLIANCE WITH OTHER SECTIONS. SWIMMING POOLS, SPAS AND HOT TUBS SHALL COMPLY WITH THIS SECTION AND OTHER APPLICABLE SECTIONS OF THIS CODE. THE REQUIREMENTS OF THIS SECTION AND OF THE OTHER APPLICABLE SECTIONS OF THIS CODE SHALL BE IN ADDITION TO, AND NOT IN REPLACEMENT OF OR SUBSTITUTION FOR, THE REQUIREMENTS OF OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS, INCLUDING, BUT NOT NECESSARILY LIMITED TO THE REQUIREMENTS OF SECTION 8003 (FEDERAL SWIMMING POOL AND SPA DRAIN COVER STANDARD) OF TITLE 15 OF THE UNITED STATES CODE (CPSC 15 USC 8003), WHERE APPLICABLE.

R326.5 ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR MULTIPLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE, SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.5.1 COMPLIANCE. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CPSC 15 USC 8003 AND ANSI/APSP/ICC 7, WHERE APPLICABLE.

R326.6 SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR MULTIPLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE, SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.6.1 COMPLIANCE ALTERNATIVE. SUCTION OUTLETS MAY BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI/APSP/ICC 7.

R326.6.2 SUCTION FITTINGS. POOL AND SPA SUCTION OUTLETS SHALL HAVE A COVER THAT CONFORMS TO ANSI/ASME A112.19.8, OR AN 18 INCH BY 23 INCH (457 MM BY 584 MM) DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM. EXCEPTION: SURFACE SKIMMERS.

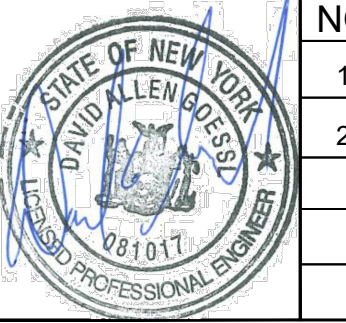
GENERAL POOL SANITARY NOTES:

- 1. SEASONAL DRAWDOWN:** AS SWIMMING POOLS MAY CONTAIN CHLORINE AND OTHER CHEMICALS THAT MAY BE CONSIDERED HARMFUL TO THE ENVIRONMENT, THE PROPOSED POOL SHALL HAVE AN ACCESSIBLE SEASONAL DRAWDOWN DISCHARGE PIPE LOCATED WITHIN 15 FEET OF THE PROPOSED POOL AND/OR POOL EQUIPMENT PAD.
- 2. IDENTIFICATION:** THE SEASONAL DRAWDOWN PIPE SHALL BE CLEARLY LABELED TO IDENTIFY THE LOCATION FOR USE BY OWNER AND POOL MAINTENANCE PERSONNEL.
- 3. POOL BACKWASH:** THE POOL SYTEM SHALL PROVIDE A HARD PIPE CONNECTION TO THE POOL DISCHARGE PIPE. FINAL CONFIGURATION TO BE DETERMINED BY THE POOL CONTRACTOR.
- 4. DRAINAGE CONNECTION:** CONNECTIONS FOR THE SEASONAL POOL DRAWDOWN AND THE POOL BACKWASH DISCHARGE PIPE SHALL BE HARD PIPED CONNECTIONS TO THE PROPERTY'S ONSITE DRAINAGE SYTEM. ALL SUCH WORK SHALL BE PERFORMED BY A LICENSED PLUMBER AS REQUIRED BY CODE.

DAVID A. GOESSL, PE
CIVIL ENGINEER
 622 SPROUT BROOK ROAD
 PUTNAM VALLEY, NY 10579 (914) 227-0258

PROPOSED IN-GROUND SWIMMING POOL
 WITHIN A WETLAND CONTROLLED PROPERTY
 79 SOMERSTON ROAD, YORKTOWN, NY 10598

PREPARED BY: DAVID GOESSL, P.E. PREPARED FOR: D & F JENNINGS
 DATE: OCTOBER 16, 2022 SCALE: NONE SHEET: 4 OF 4



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