

GENERAL REQUIREMENTS

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PROTECTION AND BUILDING CODE, AND ALL CODES AND AUTHORITIES HAVING JURISDICTION. WORK SHALL BE DONE TO THE HIGHEST INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING FRAMING, DIMENSIONS AND CONDITIONS BEFORE HIS WORK BEGINS. ANY DISCREPANCIES IN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE WORK IS TO PROCEED. THE CONTRACTOR WILL BE HELD TO HAVE EXAMINED THE SITE OF THE JOB, THE DRAWINGS AND THE GENERAL NOTES BEFORE SIGNING THE AGREEMENT WITH THE OWNER AND BE SATISFIED AS TO THE CONDITIONS HE WILL BE OBLIGED TO OPERATE IN PERFORMING ALL WORK UNDER THIS CONTRACT.
- UNLESS OTHERWISE NOTED, ALL MATERIALS AND EQUIPMENT SPECIFIED IN THESE DRAWINGS SHALL BE NEW AND FREE FROM DEFECTS. PROVIDE SAMPLES OF ALL FINISHED TRIM AND CUTS OF ALL EQUIPMENT FOR OWNER'S APPROVAL. WHERE APPLICABLE, SUPPLY OWNER WITH MANUFACTURER'S WARRANTIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF ALL MATERIALS EITHER WITHIN THE PREMISES, IN DESIGNATED ON-SITE LOCATIONS OR OFF-SITE.
- CONTRACTOR SHALL COORDINATE ALL INSPECTIONS REQUIRED BY THE BUILDING OFFICIAL.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
- THE OWNER WILL CONTINUE TO USE THE PREMISES DURING THE PERIOD OF THE CONTRACTOR'S OPERATIONS. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES TO PROTECT PEOPLE AND PROPERTY IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION, LIABILITY, INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOBILE LIABILITY AND ANY OTHER INSURANCE REQUIRED BY STATE AND THE LOCAL MUNICIPALITY PRIOR TO START OF WORK.
- NO RESPONSIBILITY HAS BEEN ASSUMED BY THE ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND BELIEVED BY THE ARCHITECT TO BE RELIABLE, OR LATENT DEFECTS IN THE EXISTING STRUCTURE WHICH WERE CONCEALED OR IMPOSSIBLE TO DETECT WITHOUT PROBING OR TESTING.
- DIMENSIONS OF WORK SHALL NOT BE DETERMINED BY SCALE OR RULE; FINISHED DIMENSIONS SHALL BE FOLLOWED AT ALL TIMES. ALL SPECIFIED ITEMS SHALL BE INSTALLED IN CONFORMANCE TO MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE BUILDING CONTRACTOR SHALL RESTORE THE SITE TO ITS ROUGH GRADE CONDITION AT COMPLETION OF WORK (SEEDING IF REQUIRED). THE CONTRACTOR SHALL REMOVE ALL DEBRIS, RUBBISH & EXCAVATE EARTH (NOT BEING RE-USED) FROM THE BUILDING SITE.
- ALL LUMBER MATERIAL USED IN THE CONSTRUCTION SHALL BE A GOOD, SOUND & DRY MATERIAL FREE FROM ROT, LARGE KNOTS, SHAKES & OTHER IMPERFECTIONS THAT MAY IMPAIR STRENGTH.
- ALL BEAMS SHALL BE SET WITH THE NATURAL CROWN UP.
- PROVIDE SOLID BRIDGING 7'-0" ON CENTER FOR ALL JOISTS.

- GENERAL NOTES:
- THE G.C. SHALL INSURE THAT ALL WORK COMPLIES WITH ALL APPLICABLE CODES.
 - THE G.C. SHALL REVIEW THESE DRAWINGS AND THE EXISTING BUILDING AND REPORT ANY DISCREPANCIES, OMISSIONS, OR QUESTIONS TO THE ARCHITECT PRIOR TO CONSTRUCTION.
 - FINISHES, FIXTURES, ACCESSORIES, ETC. TO BE AS PER OWNER AND CODES.
 - NEW HANDRAILS TO BE CONTINUOUS AND RETURN TO WALLS. HANDRAILS TO COMPLY WITH NYS BUILDING CODE
- ELECTRICAL NOTES:
- ELECTRICAL FINAL LAYOUT TO BE AS PER OWNER, WESTCHESTER COUNTY LICENSED ELECTRICIAN, AND ALL APPLICABLE CODES
 - THE EXISTING SMOKE AND CARBON MONOXIDE DETECTOR LOCATIONS AND INSTALLATION TO COMPLY WITH CURRENT NYS BUILDING CODE.
 - ELECTRICIAN IS TO VERIFY ENTIRE BUILDING COMPLIES WITH CURRENT SMOKE DETECTOR REQUIREMENTS.
 - SMOKE DETECTORS CARBON MONOXIDE ARE TO BE HARD-WIRED INTERCONNECTED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL EQUIPMENT NECESSARY TO FULFILL APPLICABLE CODES, REGULATIONS, BUILDING STANDARDS AND THE BEST PRACTICES OF THE TRADE FOR INSTALLATION OF ELECTRICAL WORK.
 - ALL ELECTRICAL WORK, MATERIALS AND EQUIPMENT SHALL CONFORM WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, UNDERWRITERS LABORATORIES, BOARD OF UNDERWRITERS, OSHA, NEMA, NFPA, AND ALL AUTHORITIES HAVING JURISDICTION.
 - THE ELECTRICAL CONTRACTOR SHALL THOROUGHLY TEST ALL NEW ELECTRICAL SYSTEMS, INCLUDING THOSE INSTALLED BY OTHERS. CORRECT ALL FAULTY CONDITIONS AT NO EXTRA COST. ALL PANELS SHALL BE BALANCED SO THAT THERE IS NO MORE THAN 1.0% DIFFERENCE IN PHASE CURRENTS UNDER NORMAL OPERATING CONDITIONS. MODIFY PANEL SCHEDULES AS REQUIRED.
 - THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED LABOR, EQUIPMENT, PERMITS, CERTIFICATES AND OTHER SERVICES NECESSARY FOR COMPLETE INSTALLATION AND APPROVAL OF ELECTRICAL WORK. ALL WORK IS TO BE INSTALLED ACCORDING TO THE RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS AND MUNICIPAL DEPARTMENT HAVING JURISDICTION. PROVIDE ELECTRICAL SERVICES FOR LAYOUT AS SHOWN ON DRAWINGS. ALL ELECTRICAL LIGHT FIXTURES SHALL BE PROVIDED BY THE OWNER INSTALLED BY THE CONTRACTOR.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR ACCEPTS THE RESPONSIBILITY TO PROVIDE ALL ITEMS AND SERVICES REQUIRED AS INDICATED ON THESE DRAWINGS AND IN CONFORMANCE WITH ALL THE NOTES, DETAILS, DRAWINGS, ETC. CONTAINED WITHIN THIS SET OF CONSTRUCTION DOCUMENTS UPON ENTERING A CONTRACT WITH THE OWNER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CARRY OUT THE WORK AS SPECIFIED AND IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS GOVERNING, AND MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO FOLLOW THE BUILDING DEPARTMENT APPROVED SET OF DOCUMENTS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT CONSULTING THE ARCHITECT FIRST.
- ALL WORK SHALL COMPLY WITH THE LOCAL MUNICIPALITY & THE RESIDENTIAL CODE OF NEW YORK STATE ALONG WITH ALL OTHER APPLICABLE CODES & AGENCIES HAVING JURISDICTION. IN ALL CASES, THE MOST RESTRICTIVE LIMITATION OF ANY APPLICABLE CODE SHALL BE FOLLOWED BY THE CONTRACTOR. CONTRACTOR SHALL BE LICENSED AND INSURED.
- CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS HEREIN AND NOTES. DO NOT SCALE OFF OF DRAWINGS.
- CONTRACTOR TO NOTIFY THE OWNER, IN A TIMELY MANNER, WHEN THE WORK WILL BEGIN ON THE PROJECT AND SHALL COORDINATE WITH SAME. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF RELATED WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN A TIMELY MANNER AND PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR TO COORDINATE WORK INCLUDING INSPECTIONS SO AS TO NOT DELAY THE PROGRESS OF THE PROJECT.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL OTHER CONTRACTORS AND SHALL CUT, LAY AND INSTALL THEIR WORK AT SUCH A TIME AND MANNER SO THAT NO DELAY OR INTERFERENCE WITH THE CARRYING FORWARD OF THE WORK OF OTHER CONTRACTORS SHALL OCCUR.

CONCRETE

- ALL CONCRETE SHALL BE MINIMUM FC=3,000 PSI (AT 28 DAYS) STONE AGGREGATE CONCRETE.
- REINFORCING SHALL CONFORM WITH THE FOLLOWING:
BARS: ASTM A615 GRADE 60
WELED WIRE MESH: ASTM A-185
- ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ACI CODE.
- PROVIDE THE FOLLOWING CLEARANCES FROM THE FINISHED FACES OF CONCRETE TO THE OUTER MOST FACE OF THE REINFORCING WITHIN THE CONCRETE:
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
#5 BAR OR SMALLER 1.5"
FORMED EXPOSED TO EARTH OR WEATHER: #6 BAR OR LARGER 2"

MASONRY

THE DESIGN, MATERIAL & METHOD OF PREPARING CONCRETE SHALL COMPLY WITH THE LOCAL, STATE & NATIONAL BUILDING CODE REQUIREMENTS. THE ULTIMATE DESIGN STRENGTH AT 28 DAYS FOR ALL CONCRETE TO BE 3000 PSI. CONCRETE SHALL BE SUPPLIED ON THE BASIS OF PRE-QUALIFIED MIX FOR STRENGTH SPECIFIED CONTROLLED INSPECTION WAIVED IN ACCORDANCE WITH TABLE 10.1 & 10.2.

- THE MAXIMUM NUMBER OF BAGS OF CEMENT FOR EACH CUBIC YARD OF CONCRETE (ALL AGGREGATES) SHALL BE AS FOLLOWS:
1. 3000 PSI + 5 BAGS PER CUBIC YARD.
I. SLUMP SHALL NOT EXCEED THE FOLLOWING:
4" +/- FOR GRAVEL OR STONE AGGREGATE CONCRETE
3" +/- FOR LIGHT WEIGHT AGGREGATE CONCRETE
 - THREE (3) TEST CYLINDERS SHALL BE MOULDED FOR EACH .50 CUBIC YARDS OR FRACTION THEREOF OF EACH CLASS OF CONCRETE PLACED IN ANY ONE (1) DAY. SAMPLES SHALL BE TAKEN DIRECTLY FROM THE MIXER AS PER C172-54, CURED AS PER ASTM C31-06 & TESTED AS PER ASTM C29-06. TEST SHALL BE PERFORMED BY LICENSED TESTING LABORATORY. REPORTS TO BE FILED WITH THE LOCAL BUILDING DEPARTMENT. TEST CYLINDERS SHALL BE STORED IN AN INSULATED CURING BOX, LOCATED TO MINIMIZE HAZARD OF DISTURBANCE DURING CURING. FREE FROM VIBRATION, REMOTE FROM TRAFFIC, HEATED TO MAINTAIN PROPER CURING CONDITIONS. BOX SHALL BE PROVIDED BEFORE FIRST LOAD OF CONCRETE IS DELIVERED. CYLINDERS SHALL REMAIN IN CURING BOX AT LEAST 24 HRS & BE READY FOR DELIVERY TO TESTING LABORATORY.
 - CONCRETE FOOTINGS TO BE PLACED ON UNDISTURBED SOIL OR ROCK HAVING A MINIMUM BEARING CAPACITY OF 2 TONS PER SQUARE FOOT AT A MINIMUM OF 3'-6" BELOW GRADE.
- CONSTRUCT FOUNDATION WALLS AND PIERS OF HOLLOW BEARING CONCRETE MASONRY UNITS (CMU) ASTM C-90, WIDTH AND OTHER INFORMATION AS SHOWN ON DRAWINGS. MORTAR SHALL BE TYPE M, ASTM C-270. BLOCK SHALL BE LAID IN RUNNING BOND WITH BOTTOM COURSE FILLED SOLID. PROVIDE DURO-WAL LATERAL JOINT REINFORCEMENT (STANDARD TRUSS TYPE) AT EACH SECOND COURSE UNLESS SHOWN OTHERWISE ON DRAWINGS.
 - BACK FILL BOTH SIDES OF FOUNDATION WALLS SIMULTANEOUSLY. BASEMENT WALLS SHALL NOT BE BACK FILLED UNTIL FLOOR SYSTEM IS INSTALLED AND ALL ANCHOR BOLTS HAVE BEEN TORQUED.
 - EXPOSED EXTERIOR FACES OF FOUNDATION WALLS SHALL BE FINISHED WITH 3/8" CEMENT PLASTER PARGING (FLOAT FINISH) FULL HEIGHT, COVERED AT FOOTING. DAMPROOFING SHALL BE PROVIDED AT BELOW GRADE EXTERIOR SURFACES. INSTALL #5 RE-BAR.
 - ALL NEW BRICKS, SW FBX, TO MATCH EXISTING BRICKS IN COLOR, TEXTURE, ETC., LOAD BEARING UNITS CONFORMING TO ASTM C270-SW, WITH MINIMUM COMPRESSIVE STRENGTH OF UNITS=2500 PSI WITH ASSUMED DESIGN COMPRESSIVE STRENGTH, FM=626 PSI AND DENSITY OF 120 PCF.
 - ALL UNITS SHALL BE PLACED IN RUNNING BOND.
 - MORTAR SHALL BE TYPE S.
 - STORE SHAL UNITS OFF THE GROUND TO PREVENT CONTAMINATION. COVER MATERIAL TO PROTECT FROM THE ELEMENTS.
 - NO AIR ENTRAINING ADMIXTURES OR ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO THE MORTAR.
 - WALLS SHALL BE REINFORCED WITH TRUSS TYPE REINFORCING OF 9 GAGE ASTM A82 WIRE, GALVANIZED, AT EVERY 6TH COURSE ON CENTER VERTICALLY.
 - ALL MASONRY WALLS SHALL BE ADEQUATELY BRACED DURING CONSTRUCTION TO RESIST WIND LOADS OF 30 PSF. NOTE THAT FLOOR AND ROOF DIAPHRAGMS WILL PROVIDE ULTIMATE STABILITY FOR WALLS. UNTIL THESE ARE IN PLACE, MASONRY WALLS SHALL NOT BE BUILT HIGHER THAN 10 TIMES THEIR THICKNESS WITHOUT BRACING.

ELECTRICAL

- WHERE REQUIRED RECESSED LIGHTING SHALL BE TYPE AIRSEALED INSUL. CEILING (IC) RATED & INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.
 - SWITCH, WALL PLATES, OUTLETS, DIMMERS AND DEVICES SHALL BE BY PLTRON "DIVA" (COLOR: WHITE). ALL DIMMERS SHALL BE LUTRON D.1 DIMMERS FOR CFL & LED LAMPING
 - FOR LED LIGHT FIXTURE USE APPROPRIATE DIMMERS COMPATIBLE SYSTEM CONFIGURATION. (SEE CUT SHEETS).
 - ALL OUTLETS IN BATHROOMS, KITCHEN, LAUNDRY AND EXTERIOR SHALL BE CLASS "A" - G.F.C.I. (GROUND-FAULT CIRCUIT INTERRUPTER)
 - ALL EXTERIOR OUTLETS SHALL BE UL RATED WEATHERPROOF.
 - PROVIDE THE REQUIRED NUMBER AND SPACING OF OUTLETS AS REQUIRED BY STATE AND LOCAL CODES, WETHER INDICATED ON THE PLANS OR NOT.
 - ELECTRICAL CONTRACTOR MUST BE INSURED AND LICENSED IN WESTCHESTER COUNTY, NEW YORK.
 - ISOLATE ALL OLD LOW TEMP WIRING FROM FIXTURE.
 - ALL FIXTURES & EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- DAMPROOFING
- DAMPROOF ALL EXTERIOR, BELOW GRADE SURFACES OF MASONRY FOUNDATION OR FROST WALLS (INCLUDING THOSE WITH CRAWL SPACES) WITH ASBESTOS FREE, FIBROUS, BITUMINOUS MEMBRANE. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
 - PROTECT DAMPROOFING FROM DAMAGE BY BACK-FILLING OPERATIONS WITH RIGID INSULATION OR PROTECTION BOARD. BAILING REQUIREMENTS NYS.

R312.2 GUARD OPENING LIMITATIONS. REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102MM) OR MORE IN DIAMETER OR THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152 MM) CANNOT PASS THROUGH

SCHEDULE OF DRAWINGS AND DOCUMENTS	
T-100	TITLE SHEET
SP-100	TITLE SHEET
A-100	EXISTING / PROPOSED FLOOR PLANS
A-101	EXISTING / PROPOSED FLOOR PLANS

PROJECT DATA

EXISTING ONE FAMILY RESIDENCE
TAX ID: 25.08-220 ZONE: R1-10
ADDRESS: 3167 LINCOLN DR MOHEGAN LAKE 10547

SCOPE OF WORK

REPAIRS TO EXISTING STRUCTURE. INTERIOR RENOVATIONS AND ALTERATIONS.

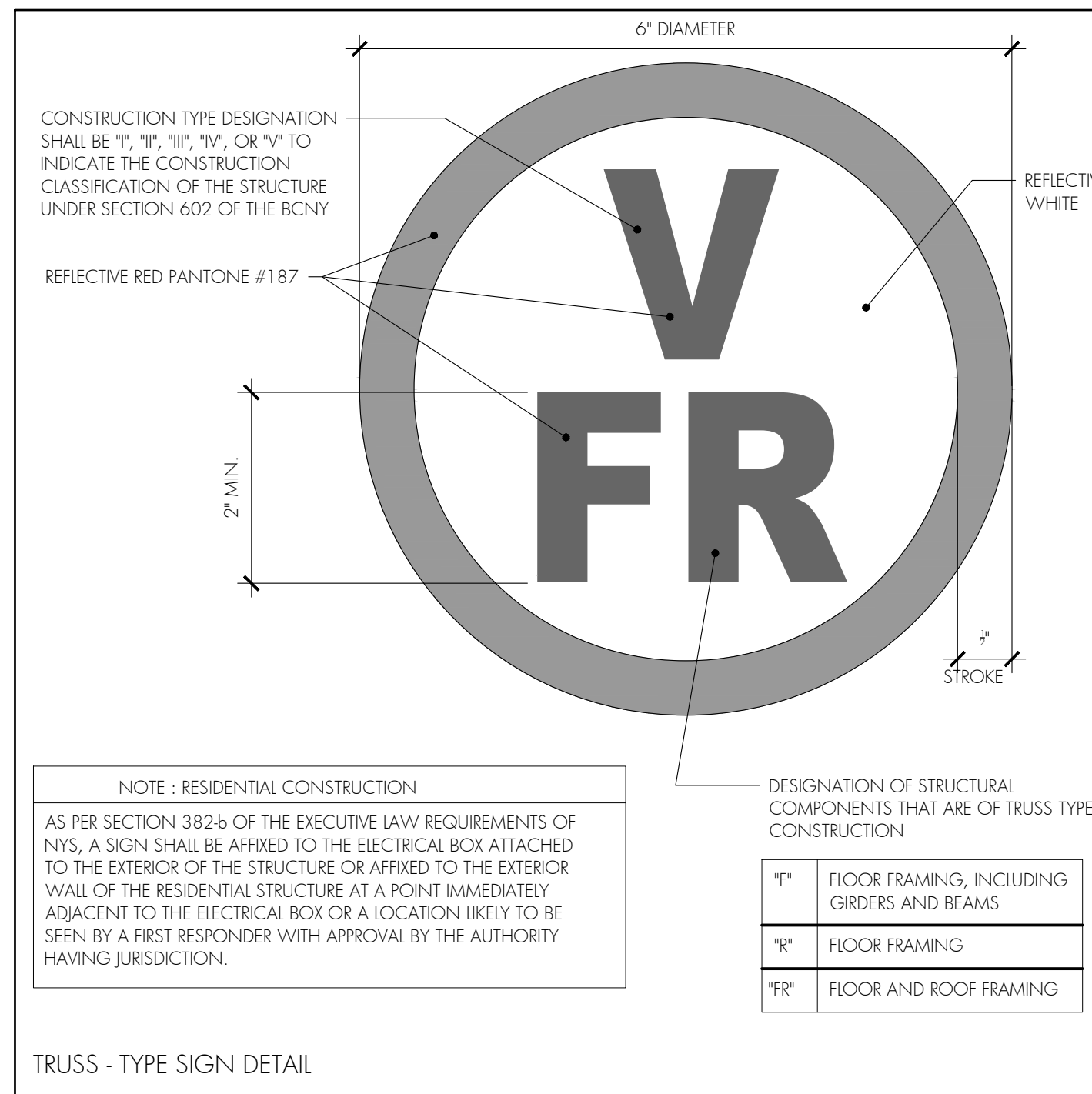
GENERAL CODE INFORMATION

APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA OF THE OWNER, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE TENANT'S CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY CONTRACTOR(S). APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
APPLICABLE CODES:
2020 NEW YORK STATE RESIDENTIAL BUILDING CODE
2020 NEW YORK STATE PLUMBING CODE
2020 NEW YORK STATE ENERGY CONSERVATION CODE
2020 NEW YORK STATE PROPERTY MAINTENANCE CODE
2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE

INTERIOR RENOVATION, PROPOSED DECK AND WETLAND RESTORATION

3167 LINCOLN DR MOHEGAN LAKE 10547

ZONING TABLE				
TOWN OF YORKTOWN N.Y. REQUIREMENTS FOR RESIDENTIAL DISTRICTS				
SHEET 25.08 BLOCK 2 LOT 20				
ZONING DISTRICT R1-10				
PRINCIPAL BUILDING	REQUIRED	EXISTING	PROPOSED	
MINIMUM LOT AREA	20,000 SF	12,009 SF		NO CHANGES
MAXIMUM BUILDING COVERAGE	25%	10.14%		
WIDTH	80'	35.07'		
DEPTH	100'	130.30'		
MINIMUM YARD DIMENSIONS				
MINIMUM FRONT YARD	30'	39.75'		
MINIMUM SIDE YARD	12'	40.83'		
MINIMUM SIDE BOTH	24'	109.99'		
MINIMUM REAR YARD	30'	21.25'		
MAXIMUM HEIGHT	35'	15.5'		



PROPOSED PROJECT SHALL COMPLY WITH THE FOLLOWING:

USE	LIVE LOADS
EXTERIOR BALCONIES	60
DECKS	40
PASSENGER VEHICLE GARAGES	50
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE (LIMITED)	20
ROOMS OTHER THAN SLEEPING	30
SLEEPING ROOMS	40
STAIRS	40
GUARDRAILS AND HANDRAILS	200

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN LBS. PER SQ. FT.)

TABLE R301.2(1) FASTENERS SCHEDULE FOR STRUCTURAL MEMBERS

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

TABLE R301.4 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

TABLE R905.2.5 FASTENERS

TABLE R301.2.1.1 DESIGN CRITERIA: CONSTRUCTION DESIGNED IN ACCORDANCE WITH AMERICAN FOREST & PAPER ASSOCIATION (AF & PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE & TWO FAMILY DWELLINGS (WFPCM).

R905.2.5 FASTENERS

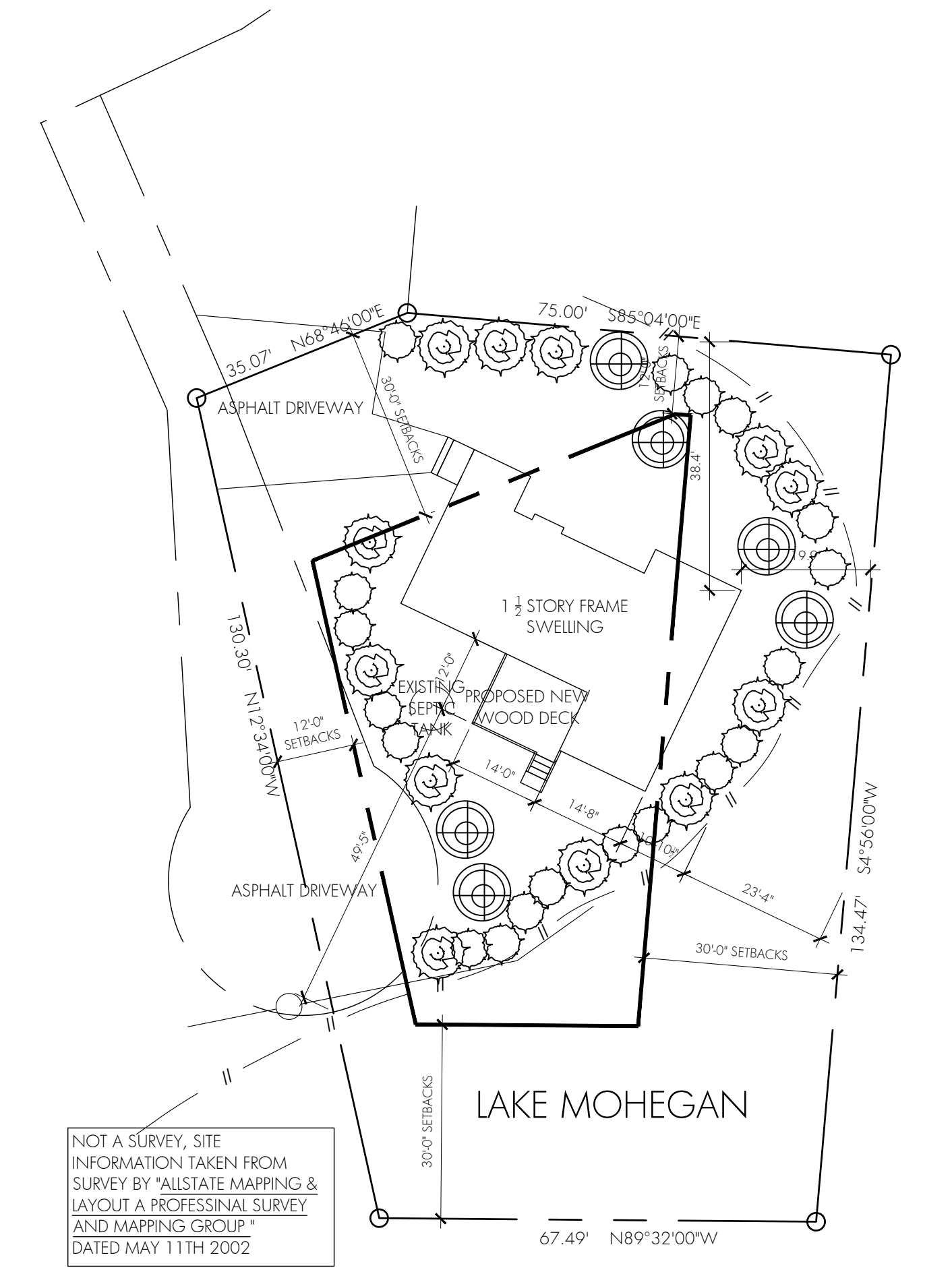
FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS. MIN. 12 GAGE SHANK W/ A MIN. 3/8\"/>

R905.2.6 ATTACHMENT

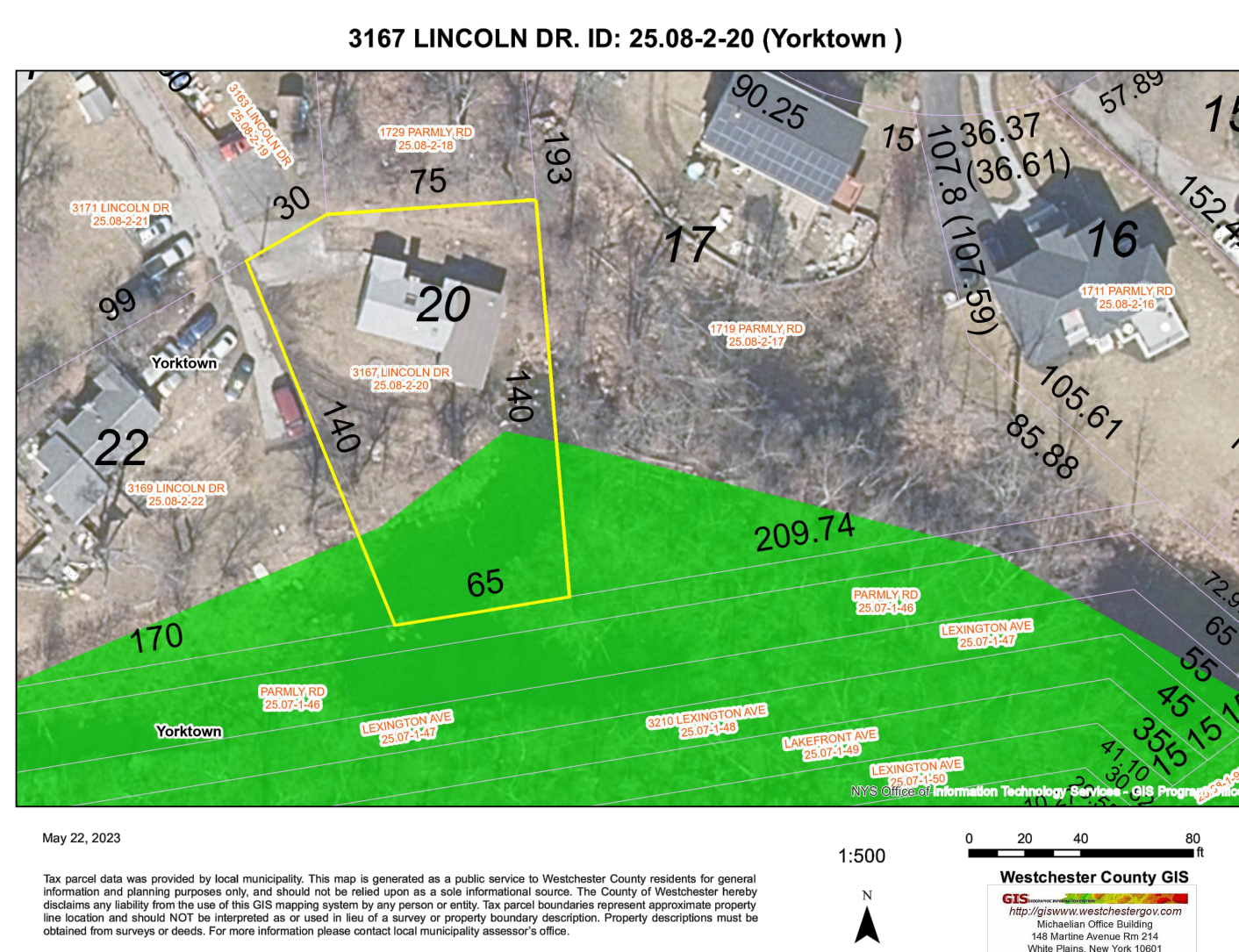
ASPHALT ROOF SHINGLES SHALL HAVE A MIN. OF SIX FASTENERS PER SHINGLE WHERE THE ROOF IS IN ONE OF THE FOLLOWING CATEGORIES - THE BASIC WIND SPEED PER R301.2(4) IS 110 MPH OR GREATER AND THE EAVE IS 20' OR HIGHER ABOVE GRADE.

R905.2.7 UNDERLAYMENT APPLICATION

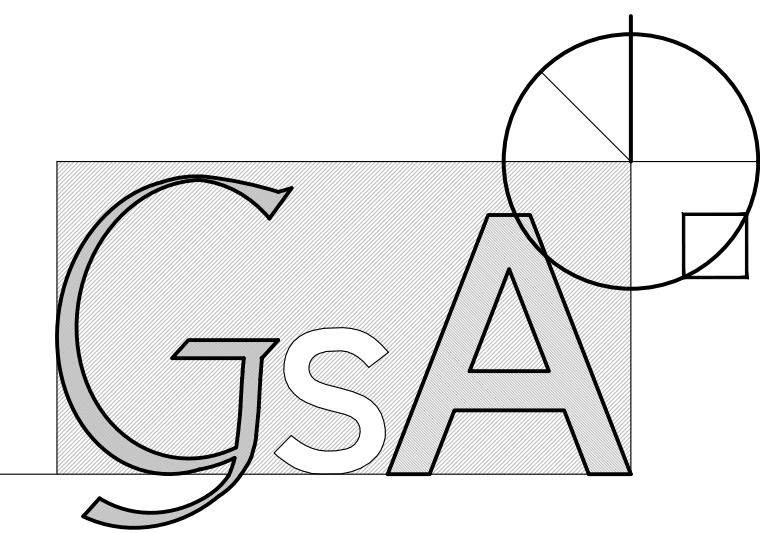
FOR ROOF SLOPES FROM TWO VERTICAL UNITS IN 12 UNITS HORIZ. UP TO FOUR UNITS VERT. IN 12 UNITS HORIZ. UNITS SHALL BE TWO LAYERS.



1 EXISTING AND PROPOSED SITE PLAN
SCALE: 1" = 20'-0"



A EXISTING WESTCHESTER GIS
NOT TO SCALE



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IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REV.	DATE:	DESCRIPTION:
1	08/15/23	BUILDING DEPARTMENT SET

PROJECT NAME
INTERIOR RENOVATION, PROPOSED DECK AND WETLAND RESTORATION

PROJECT ADDRESS
3167 LINCOLN DR
MOHEGAN LAKE 10547

DRAWING TITLE:
TITLE SHEET

PROJECT MANAGER:	GS
DRAWN BY:	CHECKED BY: GS
SCALE:	
PROJECT #:	GSA-052623
DATE:	05/26/23
DRAWING #:	

T-100

GENERAL LANDSCAPING NOTES:

1. ALL CONSTRUCTION MATERIALS TO BE STORED AT REAR AREA DURING CONSTRUCTION.
2. AUTOMATIC DRIP SYSTEM TO BE INSTALLED IN ALL PLANTING AREAS.
3. OVERDIG ALL TREE AND SHRUB HOLES TWO TIMES BALL SIZE AND REPLACE WITH MIX OF TOPSOIL AND ORGANIC MATERIAL.
4. MULCH ALL PERENNIAL BEDS WITH AT LEAST THREE INCHES OF ORGANIC MULCH.
5. RE-VEGETATE ALL AREAS TO REMAIN NATIVE WITH NATIVE GRASSES.
6. THERE IS TO BE NO SOD.
7. TRASH TO BE ENCLOSED AT REAR APPLY ROCK OVER 6 MIL PLOY WHERE WATER IS CHANNELED AROUND HOUSE.
8. DESIGN FOR SHEET DRAINAGE WHERE WATER IS NOT CHANNELED.

SITE NOTES:

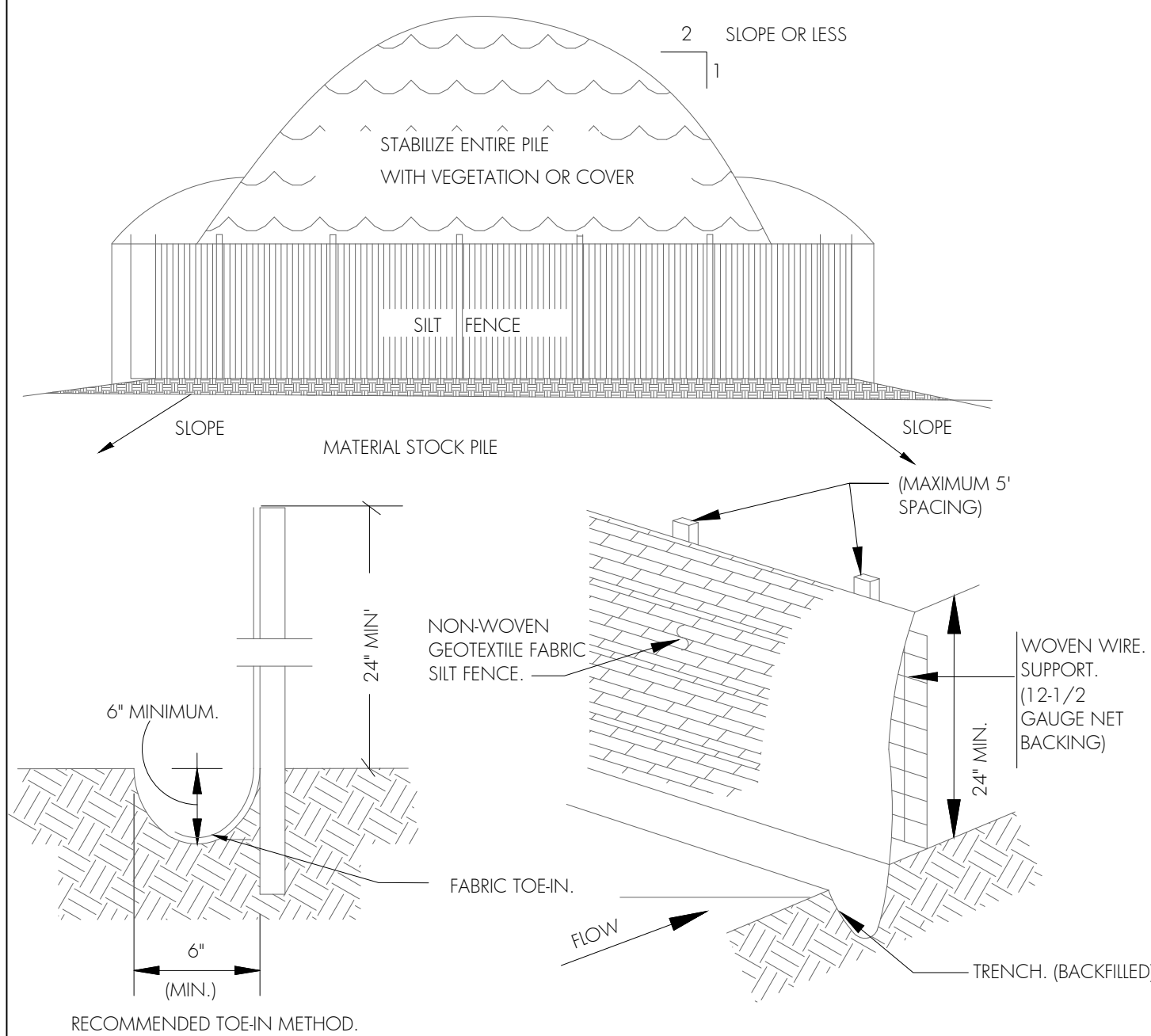
1. CONTRACTOR SHALL CHECK AND VERIFY HOUSE LOCATION FOR COMPLIANCE WITH BUILDING CODE AND ZONING REGULATIONS.
2. CONTRACTOR MUST VERIFY EXISTING GRADES, CONDITIONS, LOCATION OF EASEMENTS, PROPERTY LINES, ETC..
3. ALL UTILITY CONNECTIONS SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND UTILITY CODES. ALL NEW AND EXISTING FINISHED GRADES SHALL SLOPE AWAY FROM HOUSE.
4. LEADER DRAIN TO OVERFLOW ABOVE GROUND OR CONNECTED TO DRYWELL AS PER TOWN OF MT. PLEASANT CODE.

SILT FENCE NOTES:

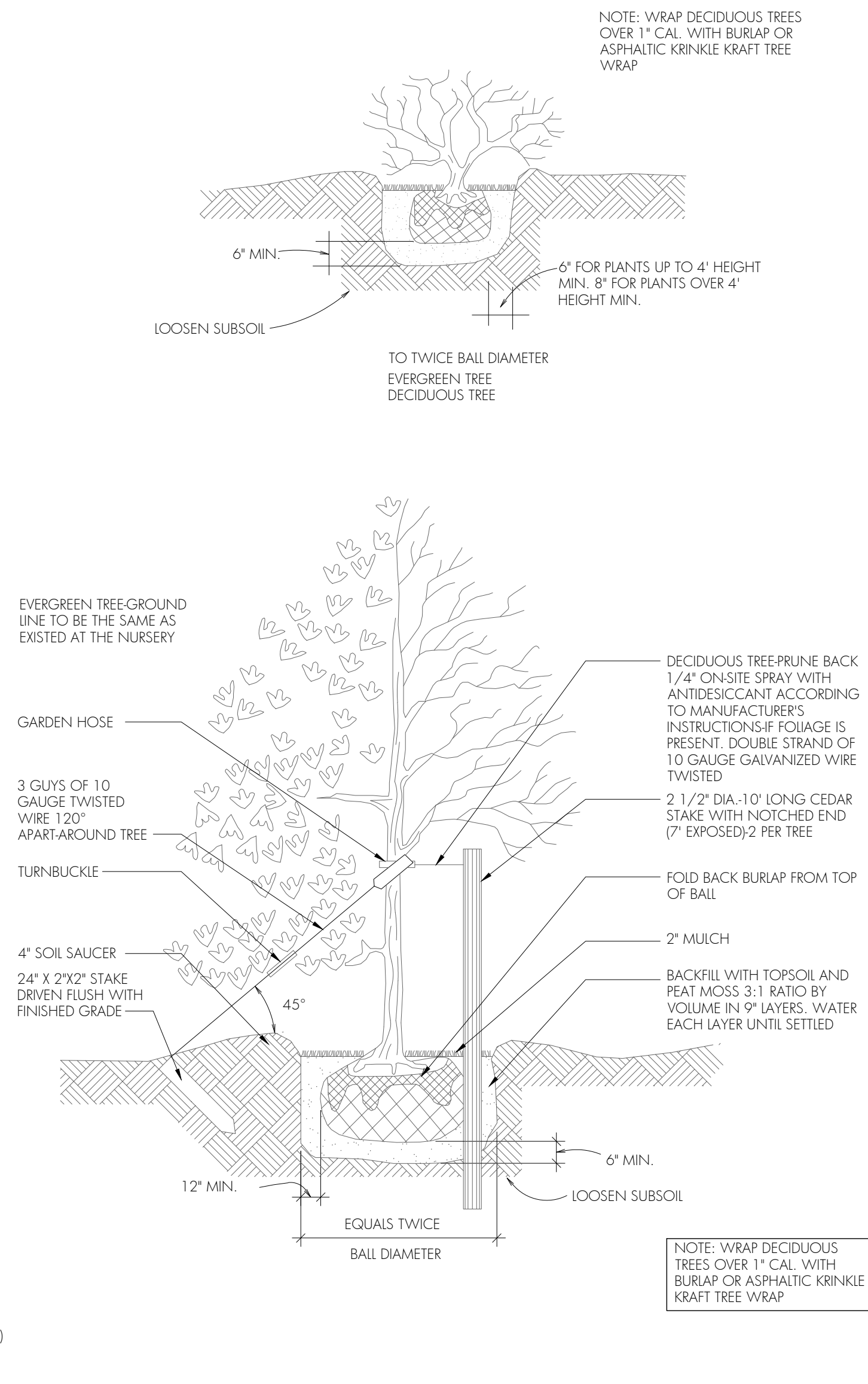
1. SILT FENCE SHALL CONFORM TO TOWN OF MT. PLEASANT AND ANY OTHER LEAD AGENCY SPECIFICATIONS.
2. STEEL POSTS (OR APP. EQ.) WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUN-OFF SOURCE. POST MUST BE EMBEDDED A MIN. OF ONE (1') FOOT.
3. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT) WEIGHT FABRIC FLAP WITH WASHED.
4. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
5. SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL SUPPORT POST (OR APP. EQ.) OR TO WOVEN WIRE, WHICH IN TURN IS SECURELY FASTENED TO THE STEEL FENCE POSTS (OR APP. EQ.) .
6. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
7. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SITUATION.
9. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THE SHALL BE OVERLAPPED BY 6' AND FOLDED.

SEDIMENT AND EROSION CONTROL NOTES:

1. LOCATIONS SHOWN FOR EROSION CONTROL ARE APPROXIMATE.
2. A SEDIMENT BARRIER SHALL BE ERECTED AROUND THE DOWN SLOPE PERIMETER OF ALL CONSTRUCTION ACTIVITIES.
3. CUT AND/OR FILL SLOPES OF GREATER THAN 2 ON 1 REMAINING IN ROUGH GRADE SHALL BE MULCHED AND SEEDED.
4. THE AMOUNT OF NATURAL VEGETATIONS SHALL BE MINIMIZED.
5. ALL STOCKPILES LEFT FOR MORE THAN ONE MONTH SHALL BE RINGED WITH SEDIMENT BARRIERS.
6. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE PLACED IN AN APPROVED SITE, A SUFFICIENT DISTANCE FROM ALL CONTROLLED ENVIRONMENTS.
7. EMERGENCY EROSION CONTROL MEASURES OF SILT FENCE, MULCH AND OR HAY BALES SHALL BE STOCKPILED ON SITE FOR USE IN STABILIZING DISTURBED AREAS IN ADVANCE OF SEVERE WEATHER CONDITIONS.
8. UPON FINAL GRADING THE OPEN SOIL HORIZONS SHALL BE IMMEDIATELY PLACED IN SEED.
9. CONSTRUCTION ENVELOPES ARE TO BE Delineated WITH HIGH VISIBLE BARRICADE TAPE, SNOW FENCE OR PLASTIC NETTING.
10. TREES IN CLOSE PROXIMITY TO CONSTRUCTION ARE TO BE PROTECTED WITH SNOW FENCE OR A COMPATIBLE BARRIER PLACED AT DRIPLINE.
11. UTILITY TRENCHES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 14 DAYS AFTER BACKFILLING.
12. PROVIDE A STABILIZED PAD OF 1 1/2" STONE AT THE CONSTRUCTION AREA.
13. ALL WORK SHALL COMPLY WITH TOWN OF MT. PLEASANT CODE, STATE CODES, AND ANY OTHER CODES AS APPLICABLE.

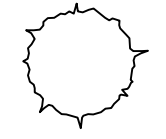

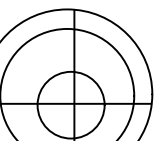


1 SILT FENCE DETAILS
NOT TO SCALE



2 TREE PLANTING DETAILS
NOT TO SCALE

LEGEND

TREE NAME	QUANTITY
 SILKY DOGWOOD 3 GALLON POT	19
 RED OSIER DOGWOOD 3 GALLON POT	12
 SUMMER SWEET CLETHRA 3 GALLON POT	6

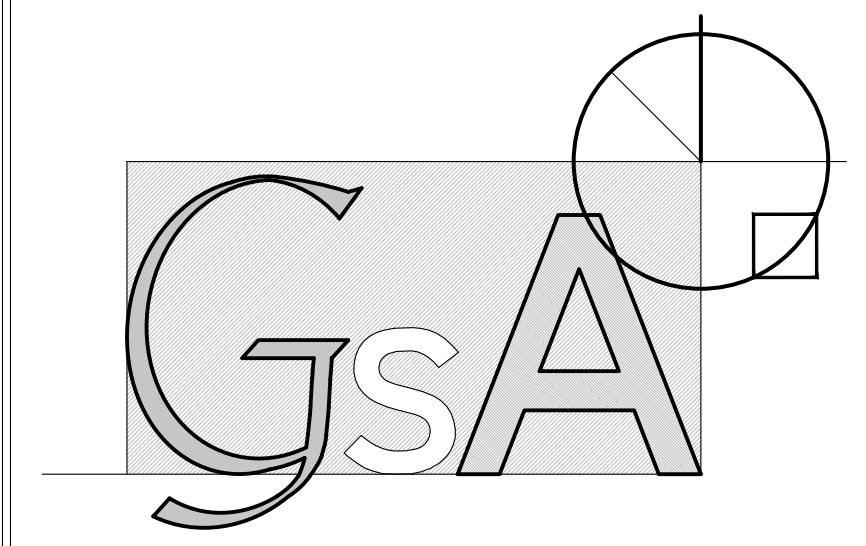


NOTE: EXISTING TREES WILL BE PROTECTED AND REMAIN

A EXTERIOR EXISTING CONDITION
NOT TO SCALE



3 SITE PLAN
SCALE: 1" = 10'-0"



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REV.	DATE:	DESCRIPTION:
1	08/15/23	BUILDING DEPARTMENT SET

PROJECT NAME
INTERIOR RENOVATION, PROPOSED DECK AND WETLAND RESTORATION

PROJECT ADDRESS
3167 LINCOLN DR
MOHEGAN LAKE 10547

DRAWING TITLE:

PROPOSED LANDSCAPING

PROJECT MANAGER: GS

DRAWN BY: CHECKED BY: GS

SCALE:

PROJECT #: GSA-052623

DATE: 05/26/23

DRAWING #:

SP-100

CONSTRUCTION NOTES:

- ALL WORK SHALL BE COVERED BY THE NEW YORK STATE RESIDENTIAL BUILDING CODE, AND VILLAGE REGULATIONS, AND ALL REQUIREMENTS SPECIFIED IN THE CODE SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH ON THESE DRAWINGS CAN BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE.
- DUE TO INACCESSIBILITY TO ALL PARTS OF THE PREMISES, STRUCTURE, AND BELOW GRADE THE VARIOUS DIMENSIONS AND CONDITIONS SHOWN ARE PRESUMED TO BE REASONABLY CORRECT. THE CONTRACTOR IS TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS THEREIN AND HE SHALL REPORT IMMEDIATELY TO THE ARCHITECT OR OWNER ANY DISCREPANCY.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORT, BRACING, SHORING, NEEDING, ETC. OF BOTH NEW AND EXISTING CONSTRUCTION INCLUDING EXCAVATIONS AND UTILITIES, AS WILL BE REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION AND THE COMPLETE PROTECTION OF PUBLIC, WORKMEN AND PROPERTY. TOTAL RESPONSIBILITY IN THIS REGARD SHALL REST WITH THE CONTRACTOR.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY. EACH SUBCONTRACTOR IS TO BE HELD RESPONSIBLE FOR HIS WORK. ANY DISCREPANCIES SHALL BE CALLED TO THE ARCHITECT'S ATTENTION IN WRITING. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO STARTING WORK BY EACH SUBCONTRACTOR.
- ALL DIMENSIONS ARE TO FACE OF FINISHED CONSTRUCTION, REINFORCED CONCRETE OR CONCRETE MASONRY UNLESS OTHERWISE INDICATED. DIMENSIONS MAY BE SLIGHTLY MODIFIED IN ORDER TO ALIGN WITH OTHER BUILDING COMPONENTS. VERIFY WITH DESIGNER/ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A CONTINUOUS LABOR FORCE ON THE PROJECT SITE UNTIL THE PROJECT IS SUBSTANTIALLY COMPLETE. SUBSTANTIAL COMPLETION IS DEFINED AS JOB COMPLETION WITH EXCEPTION OF MINOR DETAILS WHEREBY THE OWNER MAY COMPLETELY OCCUPY THE SPACE.

TEMPORARY REQUIREMENTS:

- TEMPORARY HEAT AND PROTECTION OF NEW AND EXISTING CONSTRUCTION AT ALL TIMES, BUT ESPECIALLY IN COLD TEMPERATURES IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- PROVIDE TEMPORARY ELECTRIC FACILITIES AND CONNECTIONS NECESSARY TO EXECUTE THE WORK IN CONFORMITY TO THE NATIONAL ELECTRIC CODE, NYS BUILDING CODE AND ALL GOVERNMENTAL REGULATIONS. OWNER WILL SUPPLY AND PAY FOR ELECTRICAL ENERGY. ABUSE OF SERVICE WILL BE CAUSE FOR ITS TERMINATION OR REIMBURSEMENT BY THE GENERAL CONTRACTOR. REMOVE TEMPORARY CONNECTIONS WHEN THE WORK IS COMPLETE OR WHEN DIRECTED.
- PROVIDE ALL NECESSARY SANITARY ACCOMMODATIONS FOR THE CONTRACTORS' PERSONNEL. MAINTAIN TOILET IN CLEAN, ODOR FREE AND SANITARY CONDITION.
- PROVIDE TEMPORARY CONNECTIONS NEEDED FOR THE USE OF WATER. OWNER WILL SUPPLY AND PAY FOR WATER USED IN CONNECTION WITH THE WORK.
- PROVIDE AND MAINTAIN TEMPORARY STORAGE SHANTIES, TOOL HOUSES, AND OTHER FACILITIES AS NEEDED ON THE SITE WHERE DIRECTED BY OWNER. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOSS OR DAMAGE TO STORED TOOLS, EQUIPMENT, OR MATERIAL REGARDLESS OF WHERE SUCH ITEMS ARE STORED.
- PROVIDE A PORTABLE CELLULAR TELEPHONE FOR USE BY CONTRACTORS' FOREMAN.
- RESTORE PROPERTY TO ITS PRE-WORK CONDITION WHEN TEMPORARY SERVICES ARE REMOVED.

PARTITIONS & CEILING:

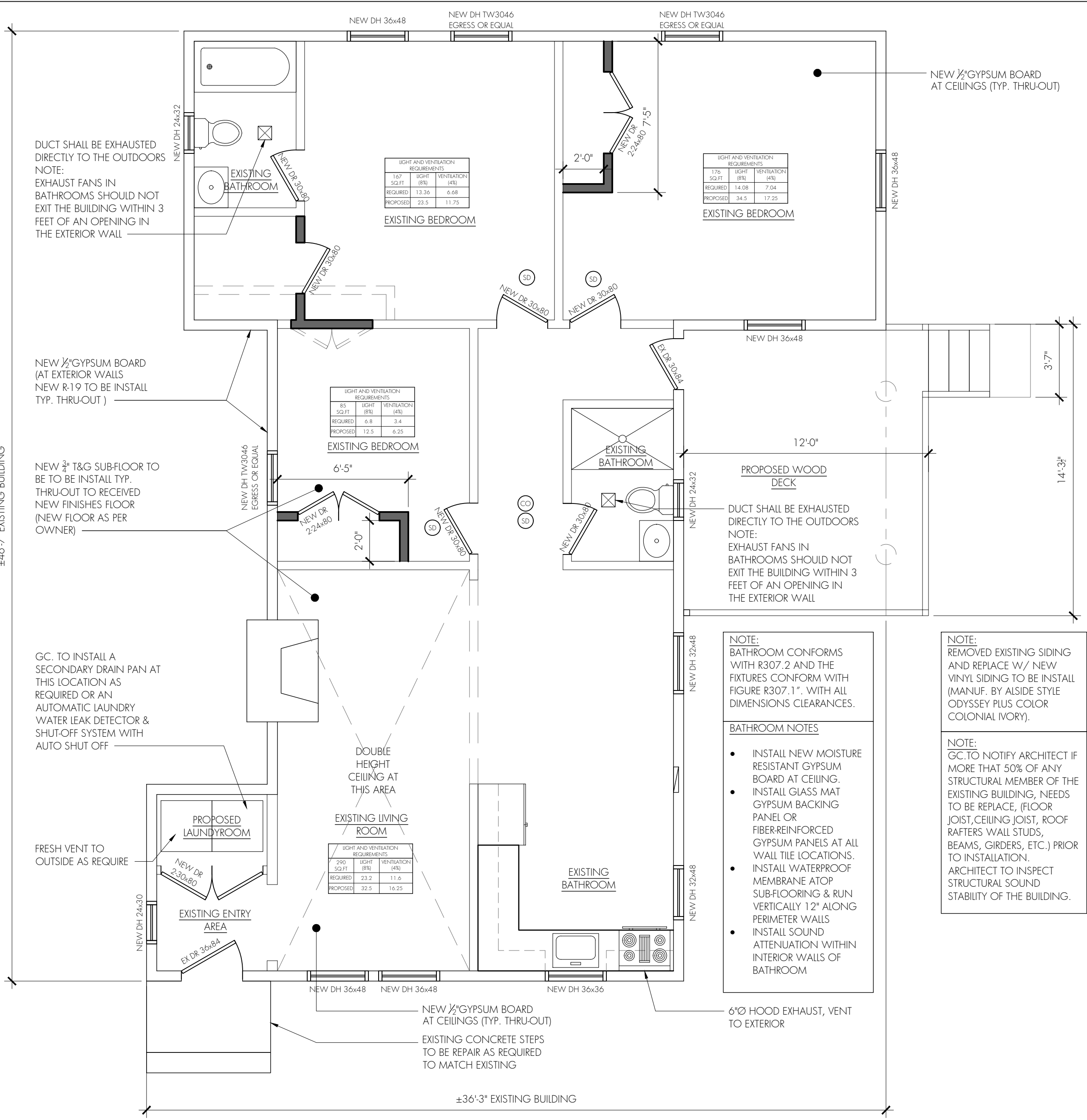
- G.C. TO FURRED-OUT ALL EXTERIOR WALLS TO RECEIVED NEW BATT INSULATION (R-19)
- TYPE "X" GYPSUM BOARD WALLS ON 2 X 4 OR 2 X 6 STUDS, 16" ON CENTER. (GREEN BOARD ON WALLS ONLY AT AREAS SUBJECT TO MOISTURE). REFERENCE PLANS FOR LOCATIONS.
- GYPSUM BOARD CEILING, (NOT GREEN BOARD), FASTENED TO CEILING JOISTS AS INDICATED ON DRAWINGS OR REQUIRED BY NYS CODE. (IF GREEN BOARD USED AT CEILING.)
- INSTALL WIRING AND CONDUITS WITHIN PARTITIONS AS REQUIRED OR SPECIFIED.
- CONSTRUCT ALL NEW CEILING TO BE CONTINUOUS WITH ADJACENT. TAPE, COMPOUND, AND SAND SMOOTH ALL JOINTS.

FLOORS:

- EXTERIOR CONCRETE SLABS SHALL HAVE BROOM FINISH.
- INTERIOR CONCRETE SLABS SHALL HAVE TROWELED FINISH FOR CARPET AND CUSHION.
- PLYWOOD SUBFLOOR SHALL HAVE COMPOSITE CEMENT BOARD INSTALLED ABOVE FOR INSTALLATION OF TILE FINISH.

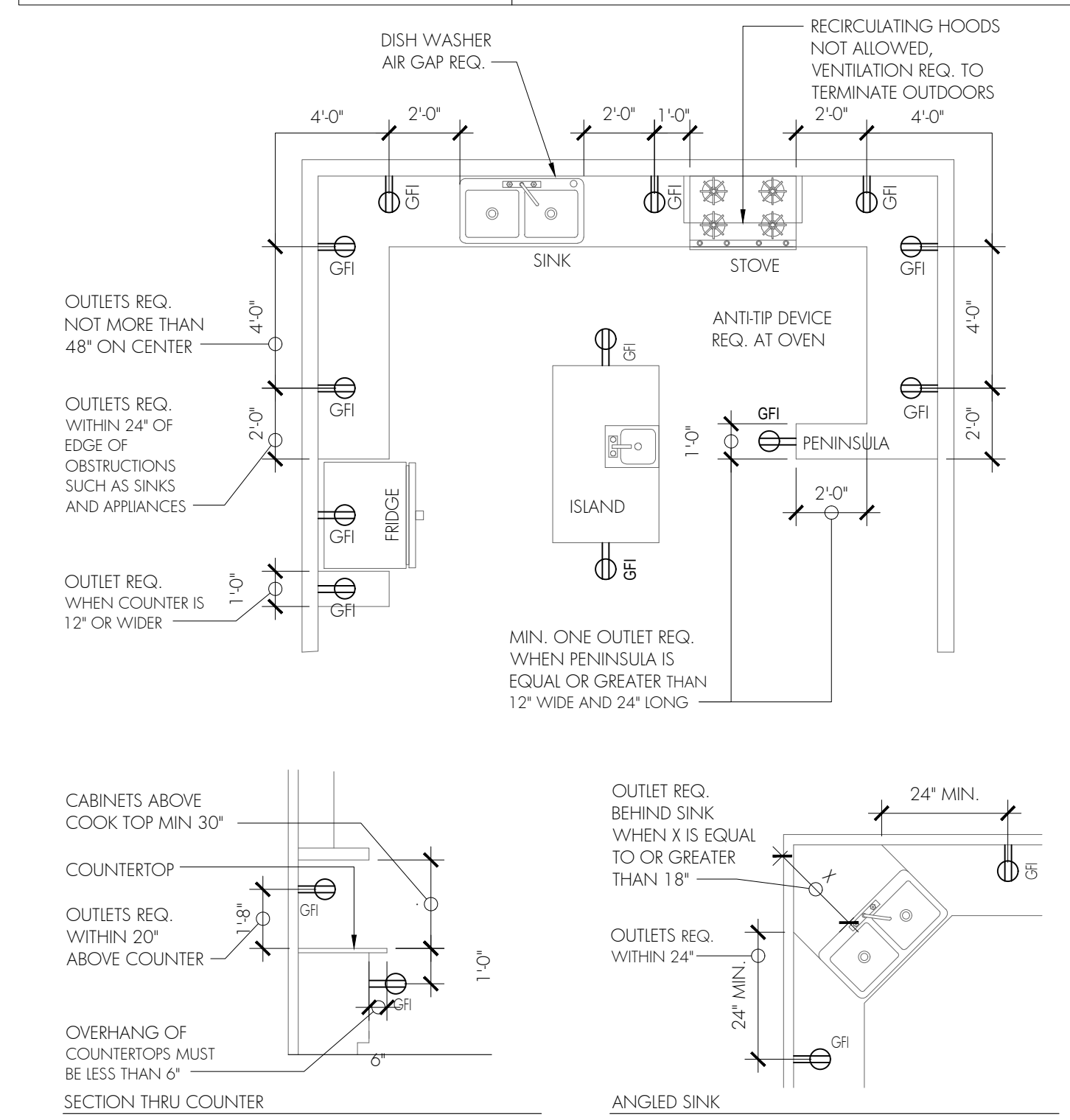
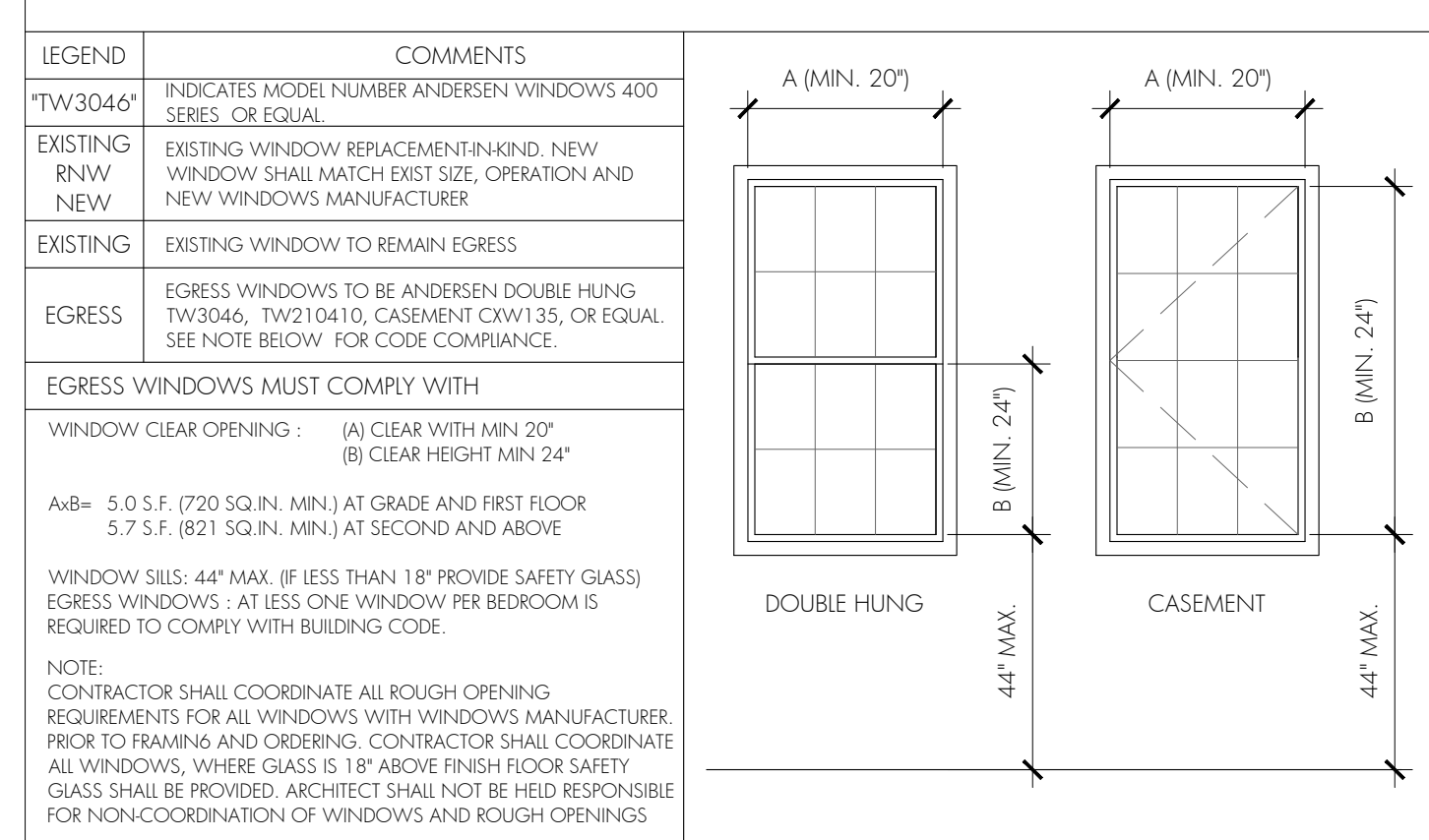
ELECTRICAL AND PLUMBING NOTES:

- ELECTRICIAN IS TO VERIFY ENTIRE HOUSE TO COMPLY WITH CURRENT SMOKE DETECTOR REQUIREMENTS AND ALL APPLICABLE NYS CODES AND LOCAL CODES.
- SMOKE DETECTORS ARE TO BE HARD-WIRED INTERCONNECTED. THE LOWEST LEVEL OF HABITATION IN EACH DWELLING UNIT MUST BE PROVIDED WITH A CARBON MONOXIDE DETECTOR.
- ALL PLUMBING WORK TO BE DONE BY A LICENSED PLUMBER AND APPLICABLE NYS CODES AND LOCAL CODES.



1 FIRST FLOOR -EXISTING AND PROPOED PLAN
SCALE: 1/4" = 1'-0"

TYPICAL EGRESS WINDOW



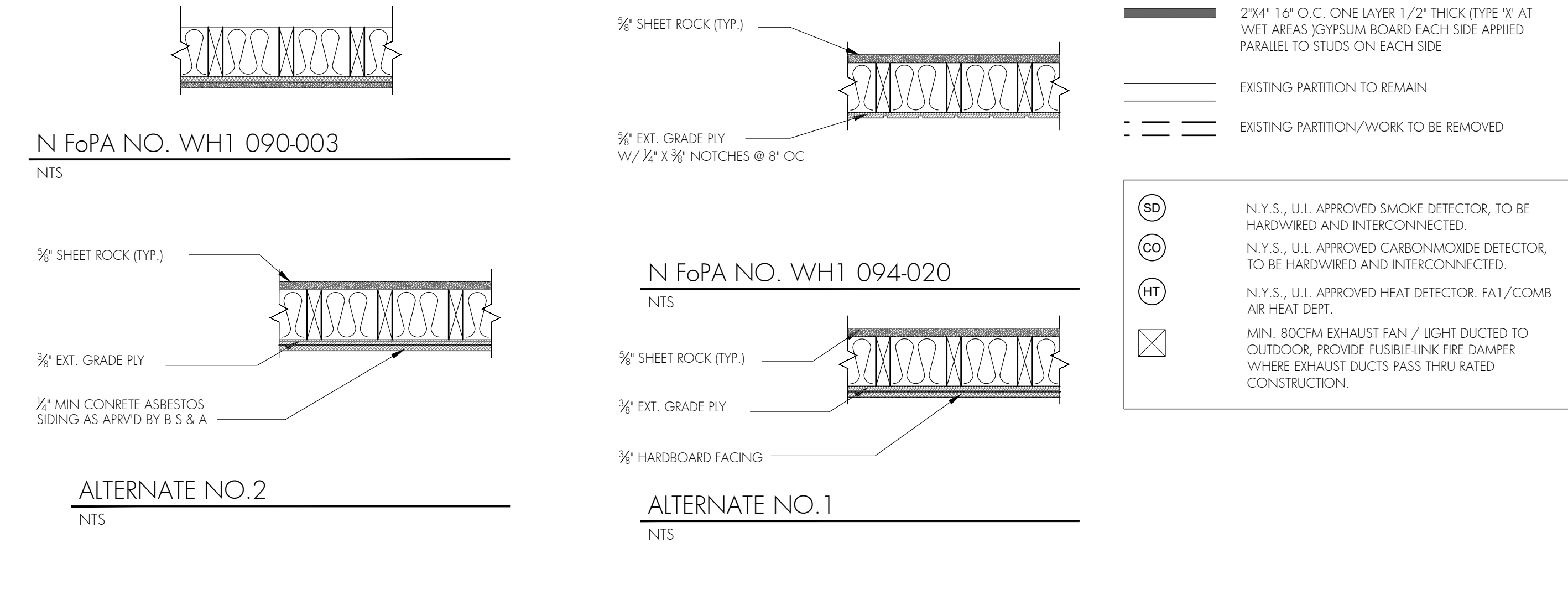
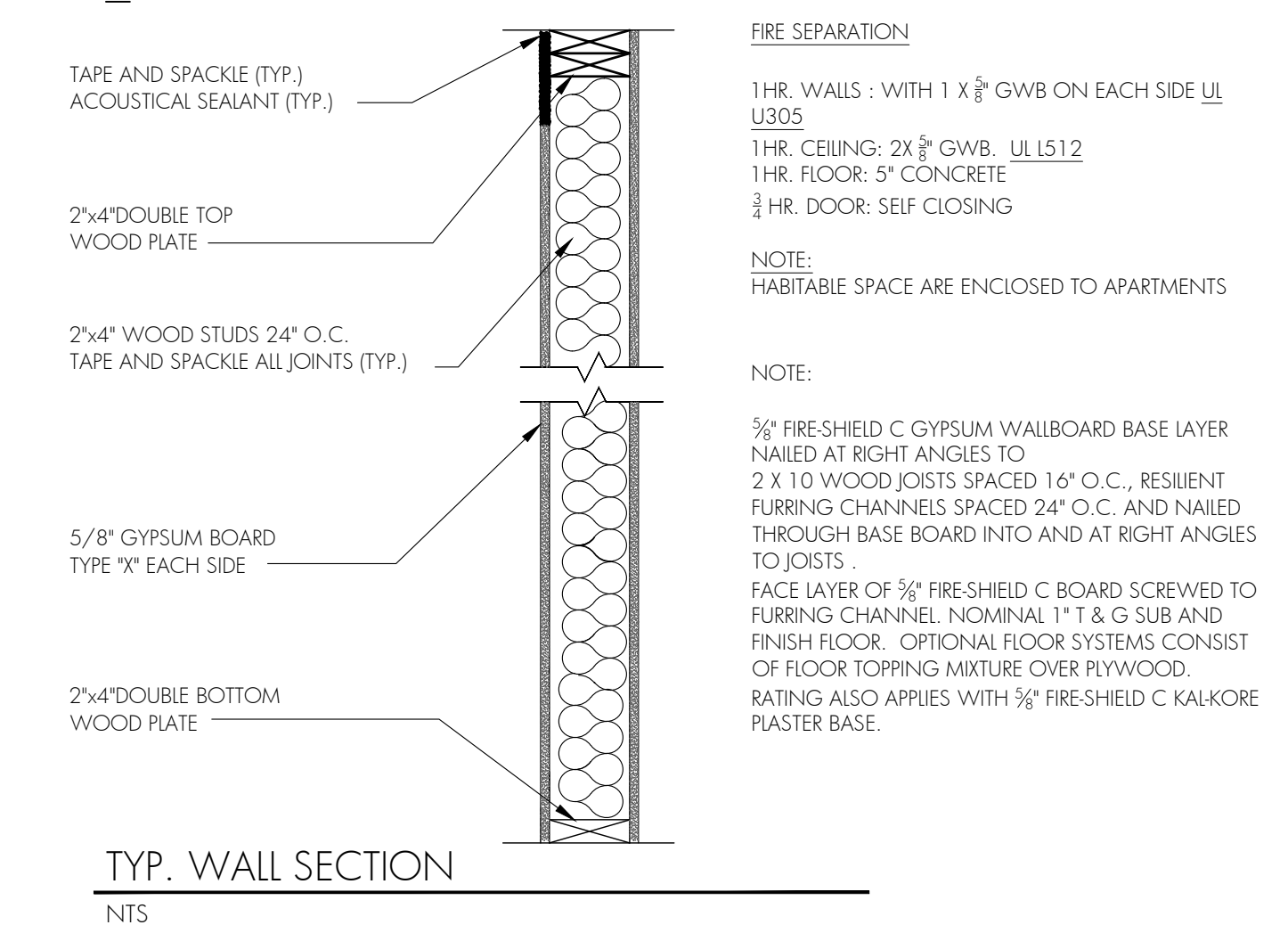
- LIFE SAFETY NOTES:**
- SMOKE AND CARBON MONOXIDE ALARMS, WITH 10 YEAR BATTERY AND SFM LISTED, SHALL BE INSTALLED ON THE CEILING OR WALL AT:
 - SLEEPING ROOMS
 - AREA/HALLWAYS) ADJACENT TO SLEEPING ROOMS
 - EACH STORY OF THE BUILDING
 - BASEMENT

ELECTRICAL NOTES:

- COUNTERTOP RECEPTACLES SHALL BE PROTECTED WITH GROUND FAULT CURRENT INTERRUPTER (GFCI)
- ALL RECEPTACLES SHALL BE TAMPER RESISTANT
- A MINIMUM TWO 20-AMP DEDICATED KITCHEN COUNTER CIRCUITS ARE REQUIRED
- ALL KITCHEN COUNTER RECEPTACLES SHALL BE GFCI AND ARC FAULT PROTECTED, INSTALL GFCI RECEPTACLES AT WET AREAS / BATHROOM/ BAR AREAS.
- DISH-WASHERS, GARBAGE DISPOSALS, TRASH COMPACTORS, BUILT-IN MICROWAVE OVENS, AND KITCHEN LIGHTING SHALL BE ON THEIR OWN CIRCUITS
- DISH-WASHERS MUST BE GFCI PROTECTED
- MULTI-WIRE DUPLEX RECEPTACLES FOR GARBAGE DISPOSALS AND DISHWASHERS REQUIRE TIE-BARS AT THE SERVICE PANEL BREAKER

B DIAGRAMMATIC PLAN ELECTRICAL LOCATIONS
NOT TO SCALE

TYPES OF WALLS ASSEMBLIES



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REV.	DATE:	DESCRIPTION:
1	08/15/23	BUILDING DEPARTMENT SET

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PROJECT NAME
 INTERIOR RENOVATION, PROPOSED DECK AND WETLAND RESTORATION

PROJECT ADDRESS
 3167 LINCOLN DR
 MOHEGAN LAKE 10547

DRAWING TITLE:

EXISTING / PROPOSED CONDITIONS PLANS

PROJECT MANAGER: GS

DRAWN BY: **CHECKED BY:** GS

SCALE:

PROJECT #: GSA-052623

DATE: 05/26/23

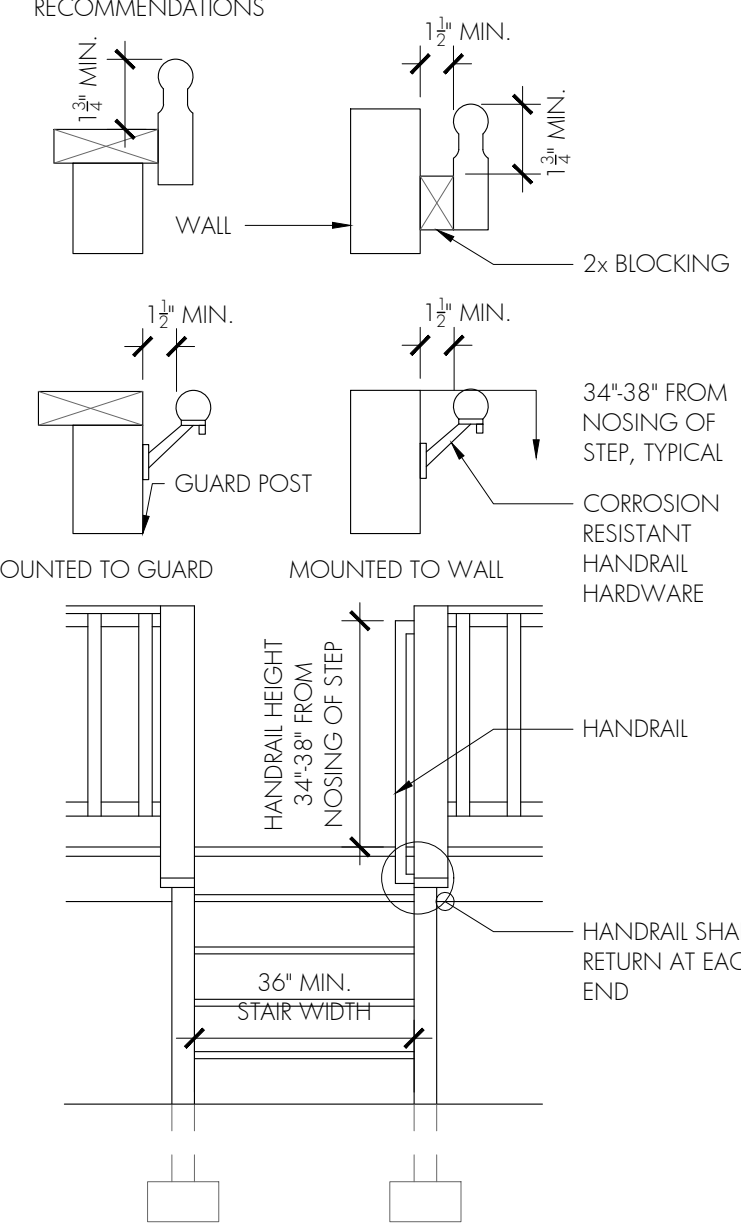
DRAWING #:

A-100

HANDRAILS

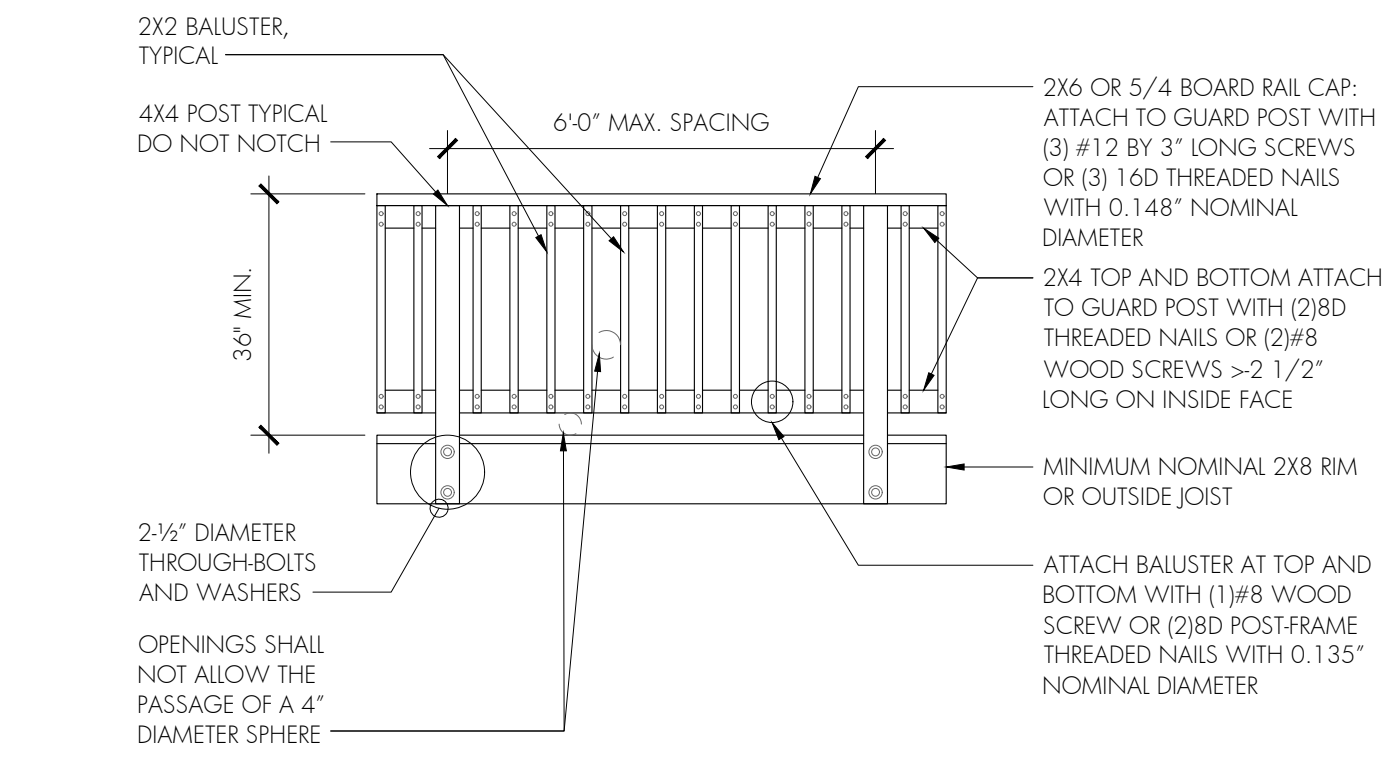
- STAIRWAYS MUST HAVE A HANDRAIL IF THE STAIRWAY HAS MORE THAN THREE RISERS.
- HANDRAILS MAY PROJECT OVER STAIRS BY 4 1/4 INCHES MAXIMUM ON EACH SIDE OF THE STAIRWAY.
- HANDRAILS MUST BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS. THEY MUST TURN BACK INTO THE WALL OR BUTT INTO A POST SO THAT PURSE STRAPS AND CLOTHING WON'T GET CAUGHT BEHIND THEM AND CAUSE A FALL.
- HANDRAILS ATTACHED TO THE WALL MUST HAVE A SPACE BETWEEN THE WALL AND THE RAIL OF AT LEAST 1 1/4 INCHES TO PROVIDE A GRIPPABLE SURFACE.
- HANDRAILS ON THE OPEN SIDE OF A STAIRWAY MUST MEET GUARDRAIL REQUIREMENTS.
- THE HEIGHT OF HANDRAILS IS MEASURED STRAIGHT UP FROM THE NOSING OF THE TREADS TO THE TOP OF THE HANDRAIL. A HANDRAIL ALONG A WALL MUST BE BETWEEN 34 INCHES AND 38 INCHES HIGH.
- A ROUND HANDRAIL MUST HAVE A DIAMETER NO SMALLER THAN 1 1/4 INCHES AND NO LARGER THAN 2 INCHES, SO THAT IT CAN BE EASILY AND SECURELY GRIPPED. OTHER HANDRAIL SHAPES ARE ALLOWED, IF THE PERIMETER DIMENSION IS AT LEAST 4 INCHES AND NOT MORE THAN 6 1/2 INCHES, WITH A CROSS SECTION DIMENSION NOT MORE THAN 2 1/2 INCHES.

NOTE: FASTEN HANDRAILS PER MANUFACTURERS RECOMMENDATIONS



GUARDRAILS

- A GUARDRAIL IS REQUIRED TO PREVENT SOMEONE FALLING FROM A BALCONY, DECK, LANDING, ETC. THAT IS MORE THAN 30 INCHES ABOVE THE FLOOR OR GROUND BELOW. GUARDRAILS MUST BE AT LEAST 36 INCHES HIGH, EXCEPT THAT THEY MAY BE 34 INCHES (MEASURED STRAIGHT UP FROM THE NOSING) AT THE OPEN SIDES OF STAIRWAYS.
- GUARDRAILS ON STAIRS MUST HAVE SOME KIND OF A PATTERN, SO THAT A 4" SPHERE CAN'T PASS THROUGH. HOWEVER, ALL GUARDRAILS ALONG RAISED FLOORS, LANDINGS,
- PORCHES, DECKS AND BALCONIES MUST HAVE INTERMEDIATE RAILS OR ORNAMENTAL
- CLOSURES THAT DO NOT ALLOW PASSAGE OF A 4 INCH SPHERE.
- AT THE BOTTOM EDGE OF A GUARDRAIL ALONG A SERIES OF STEPS, THE SPACE BETWEEN THE TREAD, RISER AND THE GUARDRAIL MUST BE SMALL ENOUGH TO PREVENT A 6 INCH SPHERE FROM GETTING THROUGH.

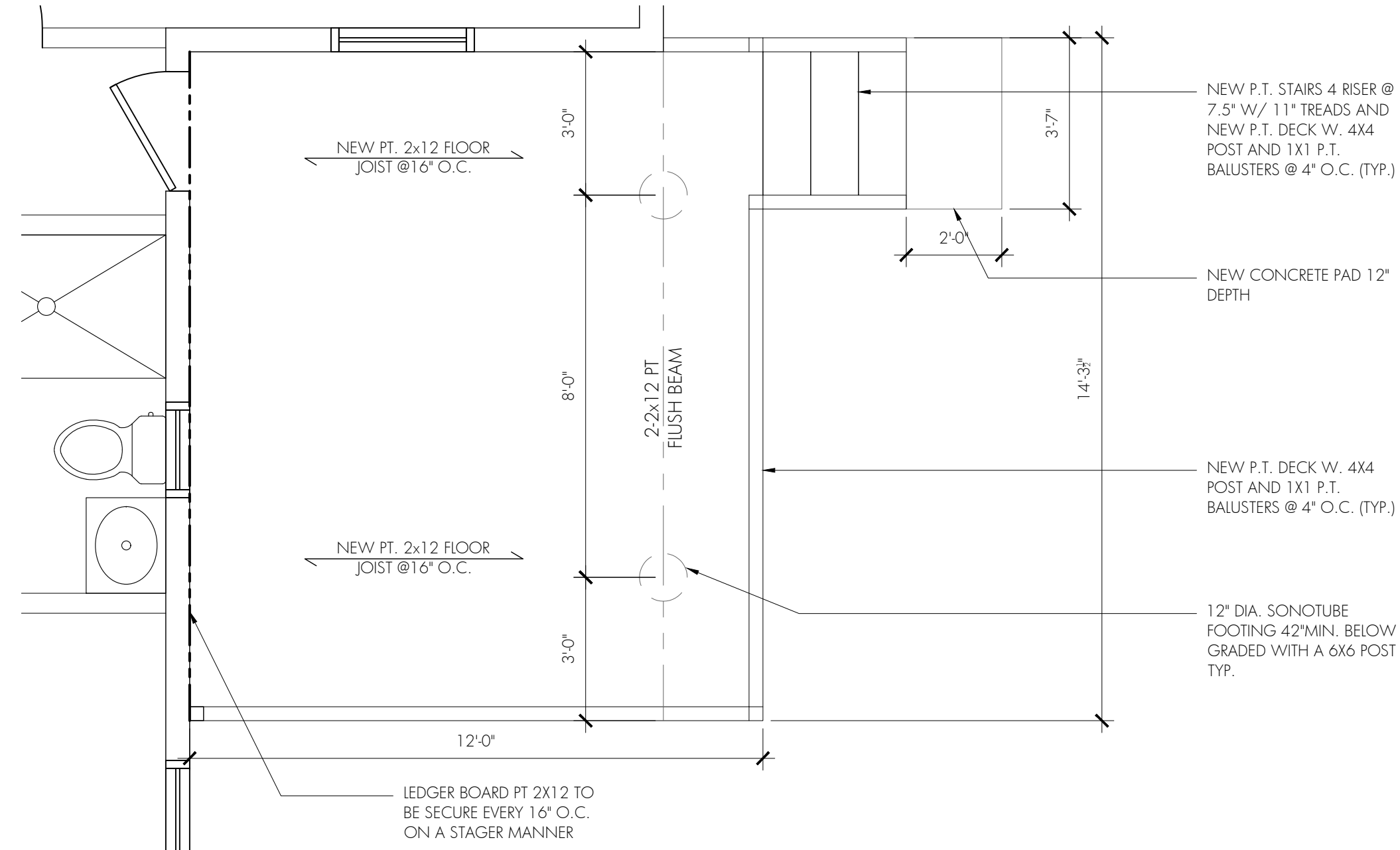


GUARD OPENING LIMITATIONS. REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102MM) OR MORE IN DIAMETER.

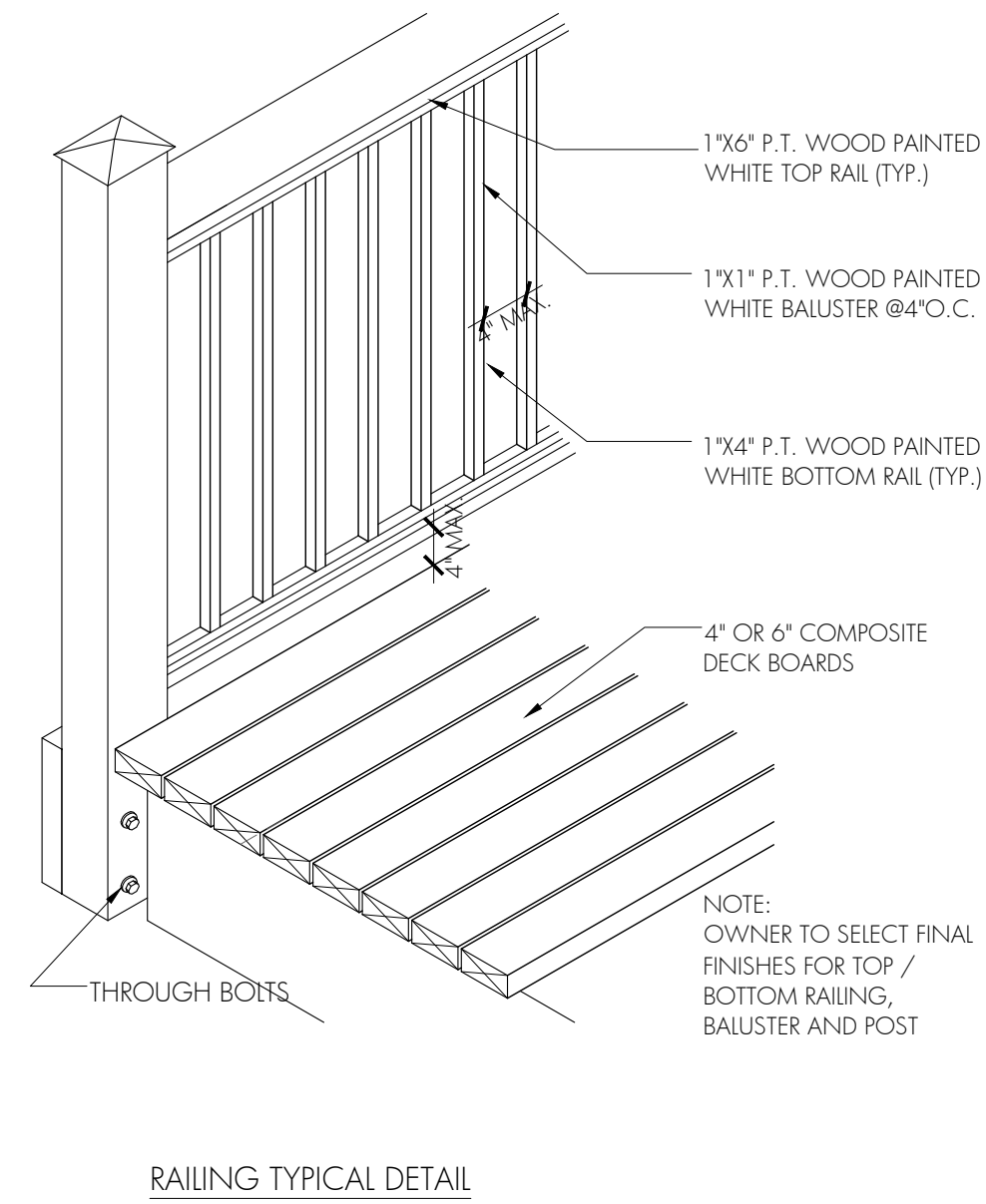
EXCEPTIONS:

1. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152 MM) CANNOT PASS THROUGH.
2. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 7/8" (5" INCHES (107 MM) TO PASS THROUGH.

A HANDRAILS AND GUARDRAILS DETAILS NOT TO SCALE

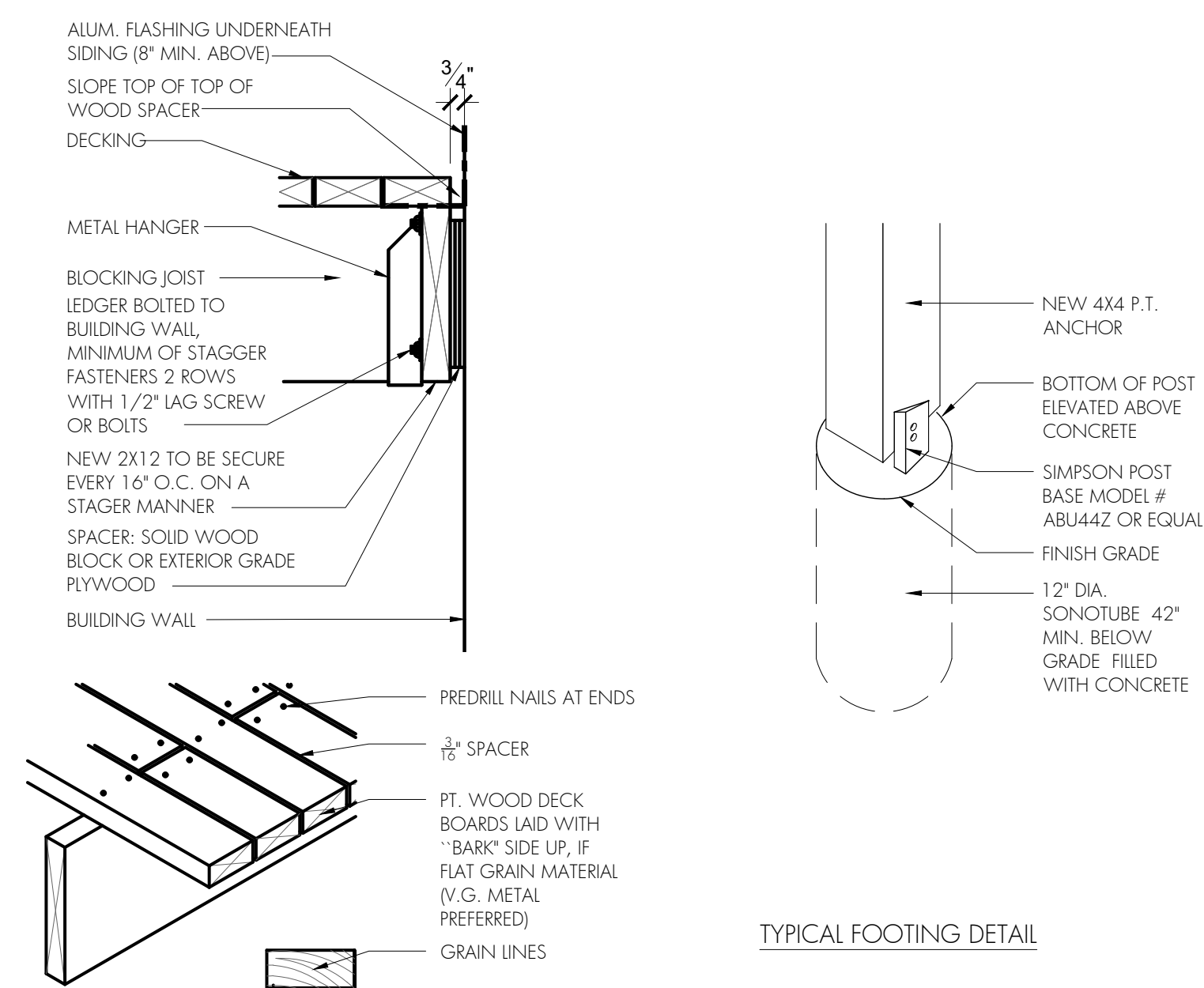


1 ENLARGE WOOD DECK PLAN SCALE : 3/8" = 1'-0"

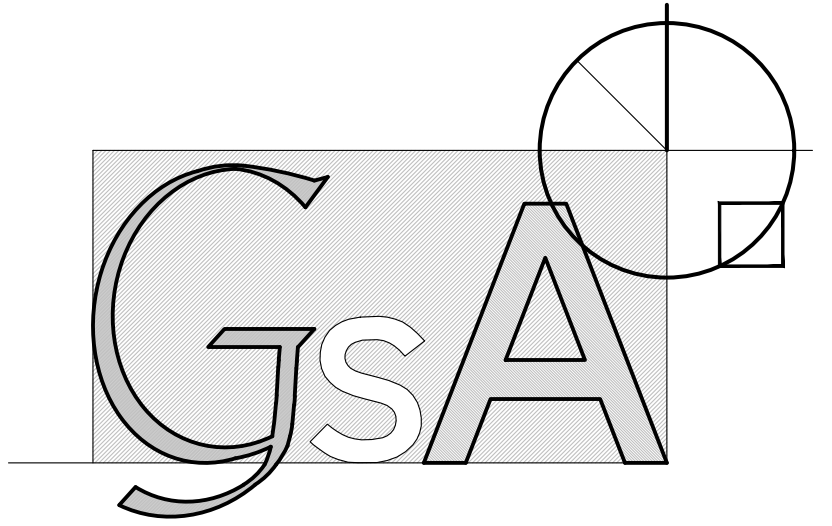


RAILING TYPICAL DETAIL

B EXTERIOR STAIRS DETAILS SCALE : 1/2" = 1'-0"



TYPICAL FOOTING DETAIL



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REV.	DATE:	DESCRIPTION:
1	08/15/23	BUILDING DEPARTMENT SET

PROJECT NAME
INTERIOR RENOVATION, PROPOSED DECK AND WETLAND RESTORATION

PROJECT ADDRESS
3167 LINCOLN DR
MOHEGAN LAKE 10547

DRAWING TITLE:
ENLARGE WOOD DECK AND DETAILS

PROJECT MANAGER: GS

DRAWN BY: **CHECKED BY:** GS

SCALE:

PROJECT #: GSA-052623

DATE: 05/26/23

DRAWING #:

A-101