

# ZONING DRAWINGS

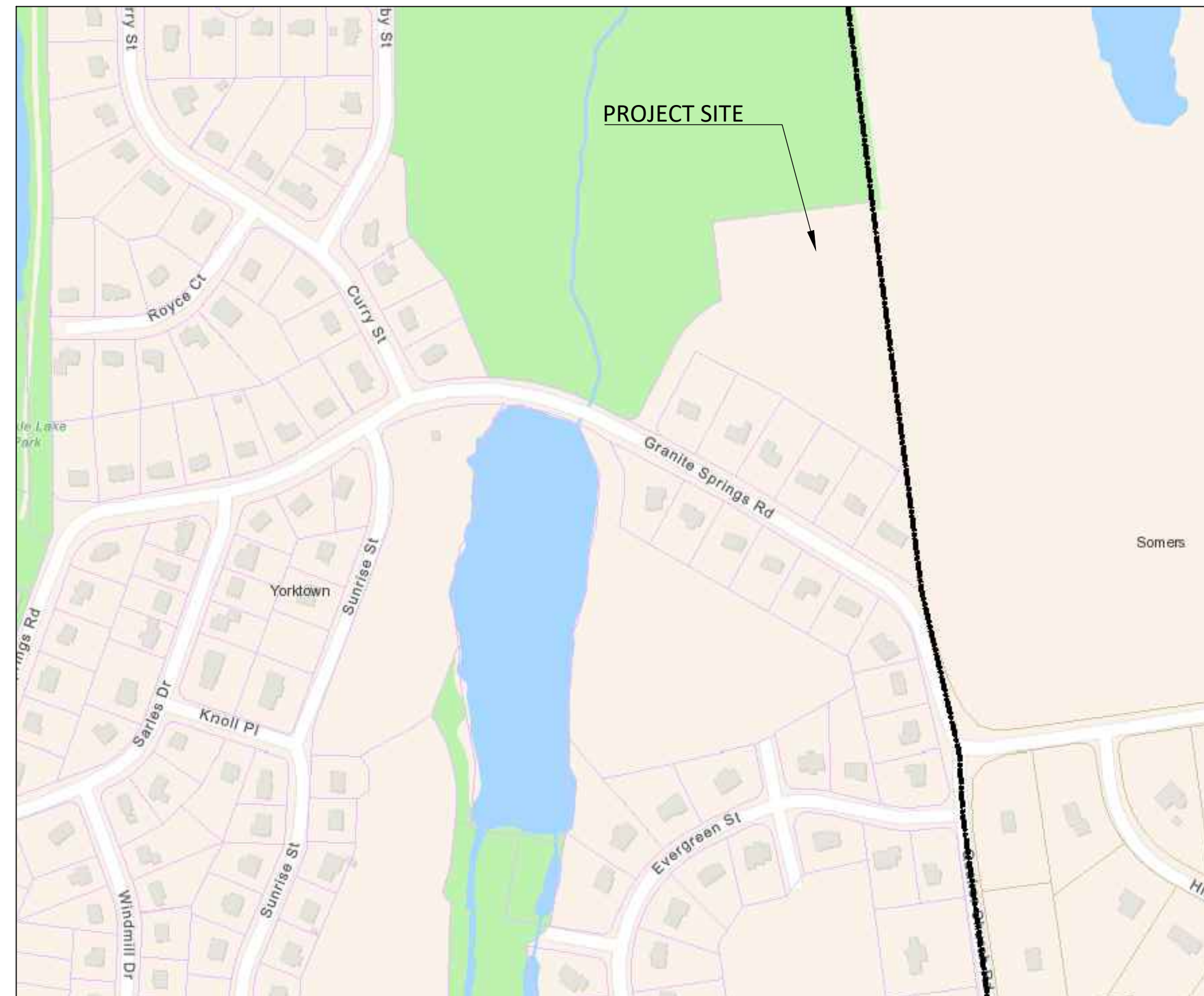
## SITE NUMBER: NY578

### SITE NAME: GRANITE SPRINGS

109 GRANITE SPRINGS ROAD  
TOWN OF YORKTOWN  
WESTCHESTER COUNTY, NY

DATE: FEBRUARY 16, 2022  
REVISED: JUNE 20, 2022  
REVISED: JANUARY 24, 2024  
REVISED: APRIL 29, 2024

<b>SITE DATA:</b>	
PROPOSED WORK:	PROPOSED EMERGENCY SERVICES AND PUBLIC UTILITY WIRELESS TELECOMMUNICATIONS FACILITY INCLUDING THE INSTALLATION OF A 130' MONOPOLE WITH ANTENNAS AND ASSOCIATED EQUIPMENT WITHIN A PROPOSED FENCED MULTI-CARRIER WIRELESS EQUIPMENT COMPOUND
SITE ADDRESS:	109 GRANITE SPRINGS ROAD YORKTOWN, NY 10598
PROPERTY OWNER:	TOWN OF YORKTOWN 363 UNDERHILL AVE YORKTOWN HEIGHTS, NY 10598
TOWER OWNER/APPLICANT:	HOMELAND TOWERS, LLC 9 HARMONY STREET, 2ND FLOOR DANBURY, CT 06810
LATITUDE:	
LONGITUDE:	
LAT/LONG TYPE:	NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
GROUND ELEVATION:	± 500.6' AMSL
TOP OF PROPOSED MONOPOLE:	± 630.6' AMSL
JURISDICTION:	TOWN OF YORKTOWN
COUNTY:	WESTCHESTER COUNTY
TAX PARCEL:	27.11-1-33
LOT SIZE:	168,360.44 SF (3.87 ACRES)
ZONING DISTRICT:	R1-20, ONE-FAMILY RESIDENTIAL
CURRENT USE:	VACANT



LOCATION MAP  
(N.T.S)

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#### PROJECT CONTACTS:

##### SITE PLANNER & CIVIL ENGINEER

KSCJ CONSULTING  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
SITE & ENVIRONMENTAL PLANNING  
500 MAIN STREET  
ARMONK, N.Y. 10504  
P: (914) 273-2323  
F: (914) 273-2329  
WWW.KSCJCONSULTING.COM

##### APPLICANT

HOMELAND TOWERS, LLC  
9 HARMONY STREET, 2ND FLOOR  
DANBURY, CT 06810  
P: (203) 297-6345

##### ATTORNEY:

SNYDER & SNYDER, LLP  
94 WHITE PLAINS ROAD  
TARRYTOWN, NY 10591  
(914) 333-0700

##### SURVEYOR:

NORTHEAST TOWER SURVEYING, INC.  
140 WEST MAPLEMEAD ROAD  
WILLIAMSVILLE, NY 14221  
(716) 548-2894

##### KSCJ CONSULTING DRAWINGS:

ZD-1	COVER SHEET
ZD-2	EXISTING CONDITIONS AND REMOVALS PLAN
ZD-3	SITE LAYOUT PLAN
ZD-4	LEASE AREA PLAN
ZD-5	GRADING, UTILITY AND SEDIMENT & EROSION CONTROL PLAN
ZD-6	TOWER ELEVATION
ZD-7	PROFILE
ZD-8	DETAILS AND NOTES

#### GENERAL CONSTRUCTION NOTES:

1. SURVEY INFORMATION TAKEN FROM A SURVEY ENTITLED "SITE SURVEY - NY578" PREPARED BY NORTHEAST TOWER SURVEYING, INC., DATED APRIL 15, 2021.
2. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
3. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
4. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A "CODE 53 EXISTING UTILITY LOCATION" AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. THE CONTRACTOR SHALL NOT PERFORM ANY EXCAVATION UNTIL ALL UTILITIES ARE LOCATED AND MARKED.
6. SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN. CONTRACTOR TO VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLIANCE SAFETY CODES AND STANDARDS AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
9. ALL FILL MATERIAL SHALL BE CLEAN FILL AS PER THE BEDFORD TOWN CODE WHICH ONLY ALLOWS SOIL, GRAVEL, ROCK OR OTHER NATURAL MATERIAL TO BE DEPOSITED AS FILL. CONSTRUCTION AND DEMOLITION MATERIALS ARE NOT PERMITTED AS FILL.
10. THE TOWN OF YORKTOWN PROHIBITS THE REUSE OR USE OF CONCRETE, BRICK, ROCK, GLASS AND ASPHALT OR ANY UNNATURAL MATERIAL TO BE USED AS FILL.
11. THE CONTRACTOR SHALL MAINTAIN SAFE AND ADEQUATE VEHICLE AND PEDESTRIAN ACCESS TO ALL PROPERTIES AFFECTED BY THE WORK OF THIS PROJECT AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.



THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME:	GRANITE SPRINGS
SITE NUMBER:	NY578
TAX PARCELS:	27.11-1-33

NOT FOR CONSTRUCTION

COVER SHEET

HOMELAND TOWERS SITE NY578 -  
GRANITE SPRINGS

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

KELLARD SESSIONS CERMELE JOHANNESSEN

CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
SITE & ENVIRONMENTAL  
PLANNING

500 MAIN STREET  
ARMONK, N.Y. 10504

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STATE OF NEW YORK  
MATTHEW CERMELE  
078902  
PROFESSIONAL ENGINEER

ZD-1

ZD-8

PROJECT I.D.:  
YRHOMELAND900

DATE:  
FEBRUARY 16, 2022

8.		
7.		
6.		
5.		
4.		
3.	APRIL 29, 2024: TOWN BOARD	
2.	JANUARY 24, 2024: REVISE DRIVEWAY	
1.	JUNE 20, 2022: REVISE DRIVEWAY	
REVISIONS		



**NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION**

The freshwater wetland boundary as represented on these plans accurately depicts the limits of Freshwater Wetland A-13 as delineated by JAN JOHANNESSEN on NOVEMBER 9, 2021.

DEC Staff: SARAH PAWLICZAK 2/2/2022 Surveyor/Engineer:

Date Valid: 2/2/2022 Expiration Date: 2/2/2027 SEAL

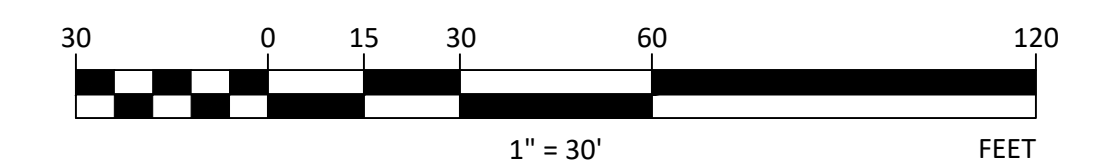


Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). After five (5) years the boundary must be revalidated by DEC staff. Revalidation may include a new delineation and survey of the wetland boundary. Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

**LEGEND**

- EXISTING 2' CONTOUR
- - - 430 EXISTING 10' CONTOUR
- PROPERTY LINE
- - - NEIGHBORING PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING TOWN WETLAND LINE
- EXISTING NYSDEC WETLAND LINE
- EXISTING NYSDEC 100' WETLAND ADJACENT AREA
- PORTION OF EXISTING WALL TO BE REMOVED
- ✕ EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

- NOTES:**
- SURVEY INFORMATION TAKEN FROM A SURVEY ENTITLED "SITE SURVEY - NY578" PREPARED BY NORTHEAST TOWERS INC., APRIL 15, 2021.
  - HOMELAND TOWERS SITE NY578.
  - ON-SITE WETLANDS WERE DELINEATED BY JAN JOHANNESSEN OF KSCJ CONSULTING. ON NOVEMBER 9, 2021 AND FIELD VERIFIED BY SARAH PAWLICZAK OF THE NYSDEC ON NOVEMBER 29, 2021 AND BY THE TOWN OF YORKTOWN ON MARCH 2, 2022.
- GENERAL SITE NOTES:**
- SUBJECT PROPERTY IS KNOWN AS SECTION 27.11, BLOCK 1, LOTS 33 AS SHOWN ON A TAX PARCEL MAP GENERATED BY WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS.
  - ZONING CLASSIFICATION: R1-20, ONE-FAMILY RESIDENTIAL
  - APPLICANT: HOMELAND TOWERS, LLC  
9 HARMONY STREET, 2<sup>ND</sup> FLOOR  
DANBURY, CONNECTICUT 06810
- PROPERTY OWNER: TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598
- THE PROPOSED USE IS FOR EMERGENCY SERVICE AND PUBLIC UTILITY WIRELESS TELECOMMUNICATIONS. THE SITE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND, THEREFORE, POTABLE WATER SUPPLY AND SANITARY SEWER FACILITIES ARE NOT REQUIRED OR PROPOSED.
  - THE FACILITY SHALL BE VISITED ON AVERAGE, ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY 24 HOURS A DAY, 7 DAYS A WEEK.
  - THE APPLICANT'S EQUIPMENT IS REMOTELY OPERATED AND CONTROLLED AND, AS SUCH, IS NORMALLY UNMANNED. COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEMS CONTINUOUSLY MONITOR AN EXTENSIVE NUMBER OF OPERATIONAL AND SHELTER FUNCTIONS.
  - THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR ANY ASPECT OF THE USE.
  - THE PROPOSED FACILITY IS UNMANNED AND WILL NOT GENERATE SIGNIFICANT NOISE, DUST, FUMES, ODORS OR VIBRATIONS.
  - ANY LIGHTING PROPOSED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL BE CONTROLLED BY A MANUAL TIMER AND NOT SPILL ONTO ADJACENT PROPERTIES.
  - THERE SHALL BE NO TOWER MOUNTED LIGHTING.



**NOT FOR CONSTRUCTION**

**EXISTING CONDITIONS AND REMOVALS PLAN**

**HOMELAND TOWERS SITE NY578 - GRANITE SPRINGS**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

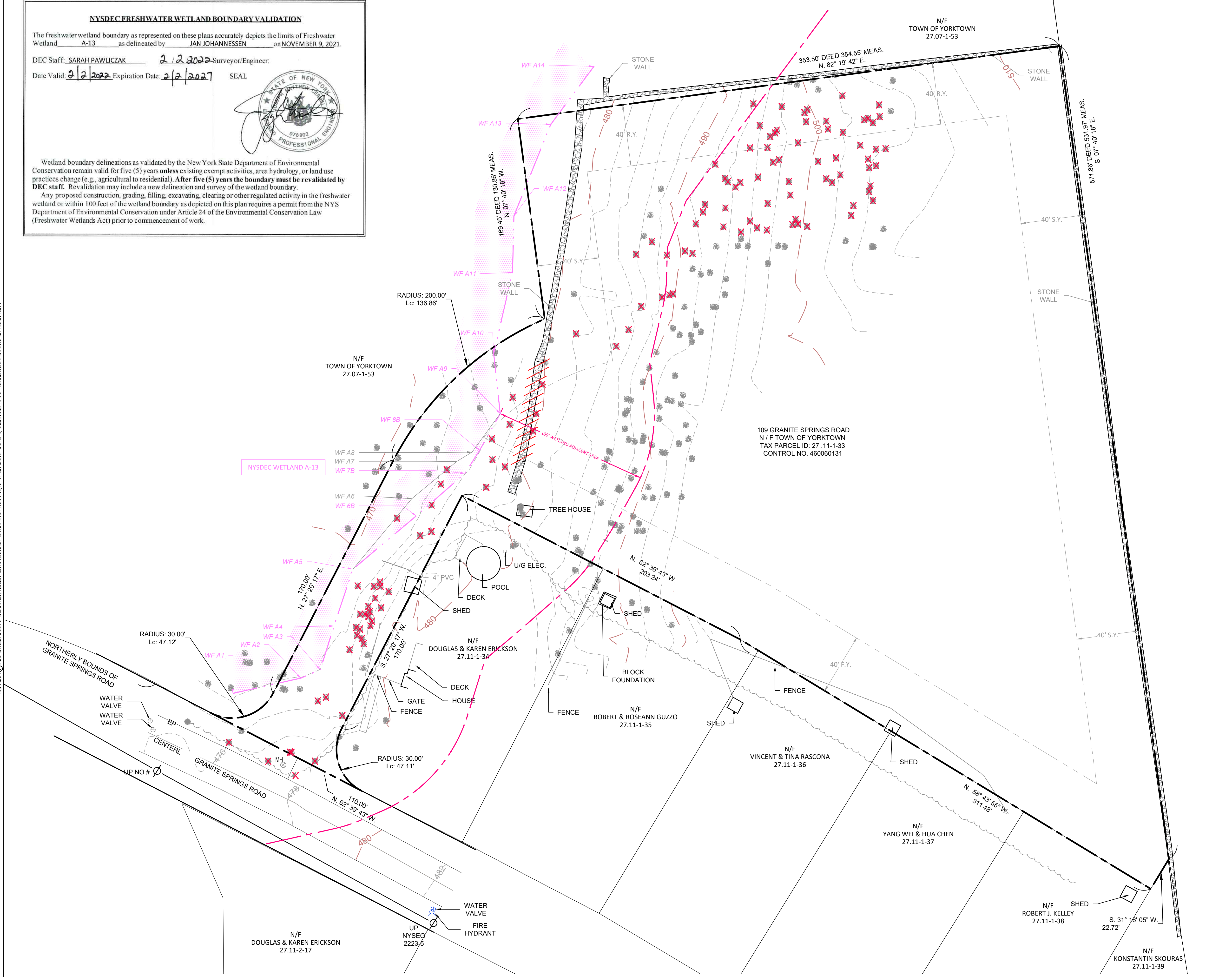
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8.		ZD-2
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3.	APRIL 29, 2024: TOWN BOARD	PROJECT I.D.: YR/HOMELAND900
2.	JANUARY 24, 2024: REVISE DRIVEWAY	
1.	JUNE 20, 2022: REVISE DRIVEWAY	DATE: FEBRUARY 16, 2022
REVISIONS		

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**Call 811** before you dig

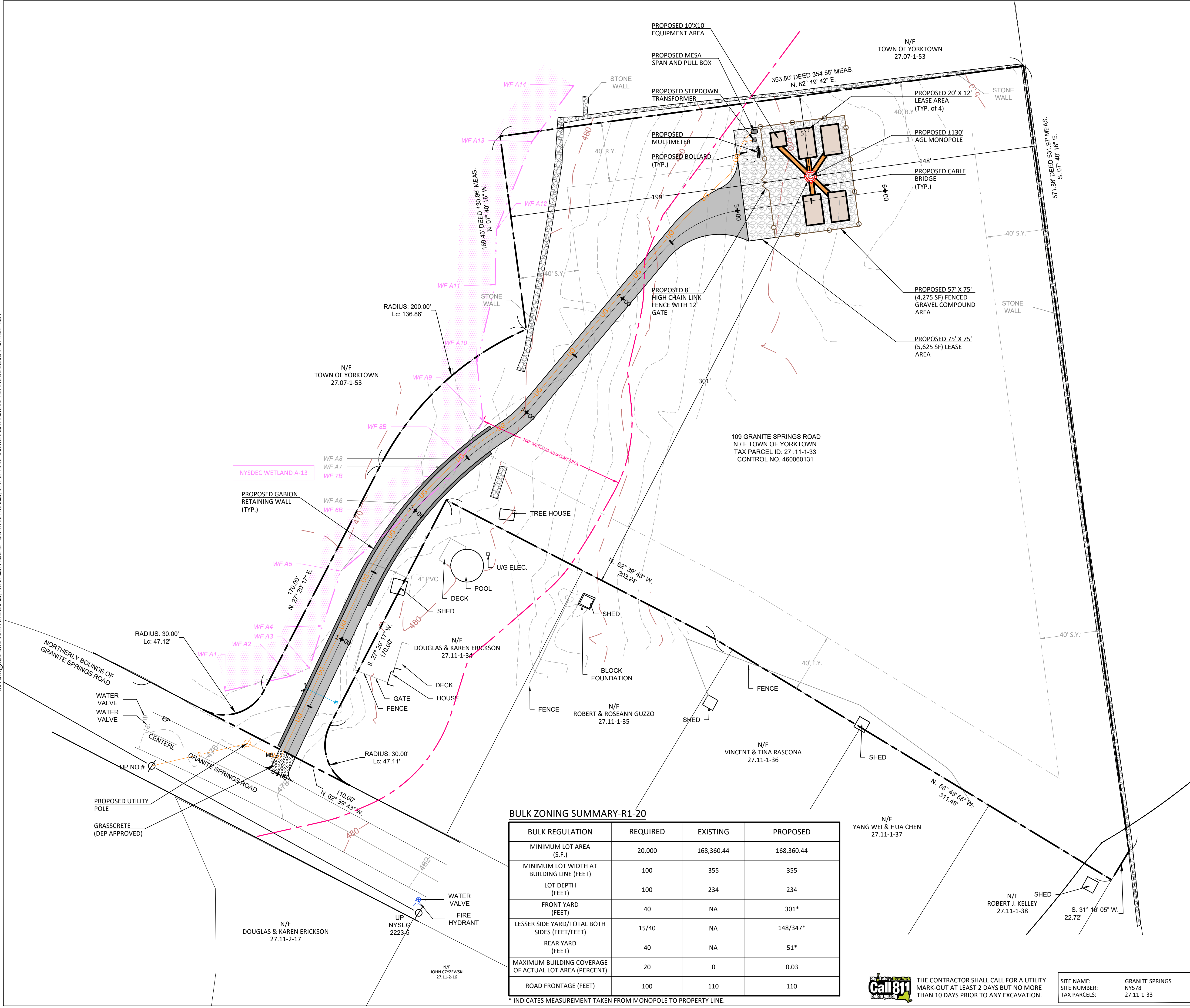
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SITE NAME: GRANITE SPRINGS  
SITE NUMBER: NY578  
TAX PARCELS: 27.11-1-33

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW



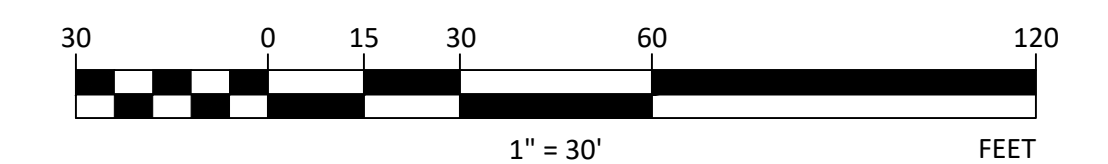
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- LEGEND**
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  - PROPOSED GRAVEL COMPOUND
  - GRASSCRETE APRRON
  - PROPOSED GABION RETAINING WALL
  - PROPOSED OVERHEAD ELECTRIC UTILITY
  - PROPOSED UNDERGROUND ELECTRIC UTILITY

- NOTES:**
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**BULK ZONING SUMMARY-R1-20**

BULK REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (S.F.)	20,000	168,360.44	168,360.44
MINIMUM LOT WIDTH AT BUILDING LINE (FEET)	100	355	355
LOT DEPTH (FEET)	100	234	234
FRONT YARD (FEET)	40	NA	301*
LESSER SIDE YARD/TOTAL BOTH SIDES (FEET/FEET)	15/40	NA	148/347*
REAR YARD (FEET)	40	NA	51*
MAXIMUM BUILDING COVERAGE OF ACTUAL LOT AREA (PERCENT)	20	0	0.03
ROAD FRONTAGE (FEET)	100	110	110

\* INDICATES MEASUREMENT TAKEN FROM MONOPOLE TO PROPERTY LINE.

**Call 811** before you dig

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SITE NAME: GRANITE SPRINGS  
SITE NUMBER: NY578  
TAX PARCELS: 27.11-1-33

NOT FOR CONSTRUCTION

SITE LAYOUT PLAN

HOMELAND TOWERS SITE NY578 - GRANITE SPRINGS

TOWN OF YORKTOWN      WESTCHESTER COUNTY, NEW YORK

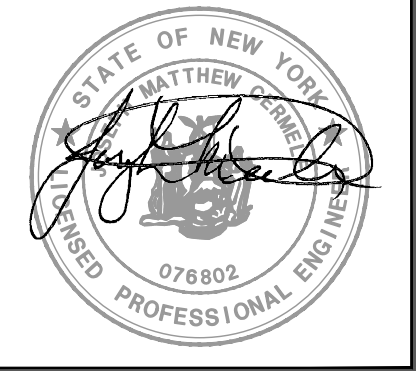
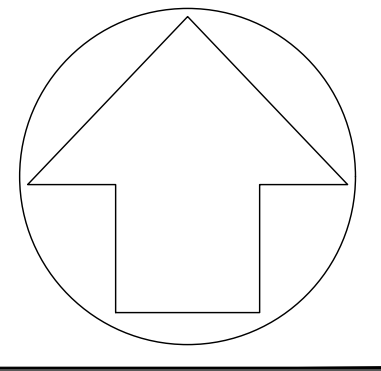


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3.	APRIL 29, 2024: TOWN BOARD	ZD-8
2.	JANUARY 24, 2024: REVISE DRIVEWAY	
1.	JUNE 20, 2022: REVISE DRIVEWAY	PROJECT I.D.: YRHOMELAND900
	REVISIONS	DATE: FEBRUARY 16, 2022

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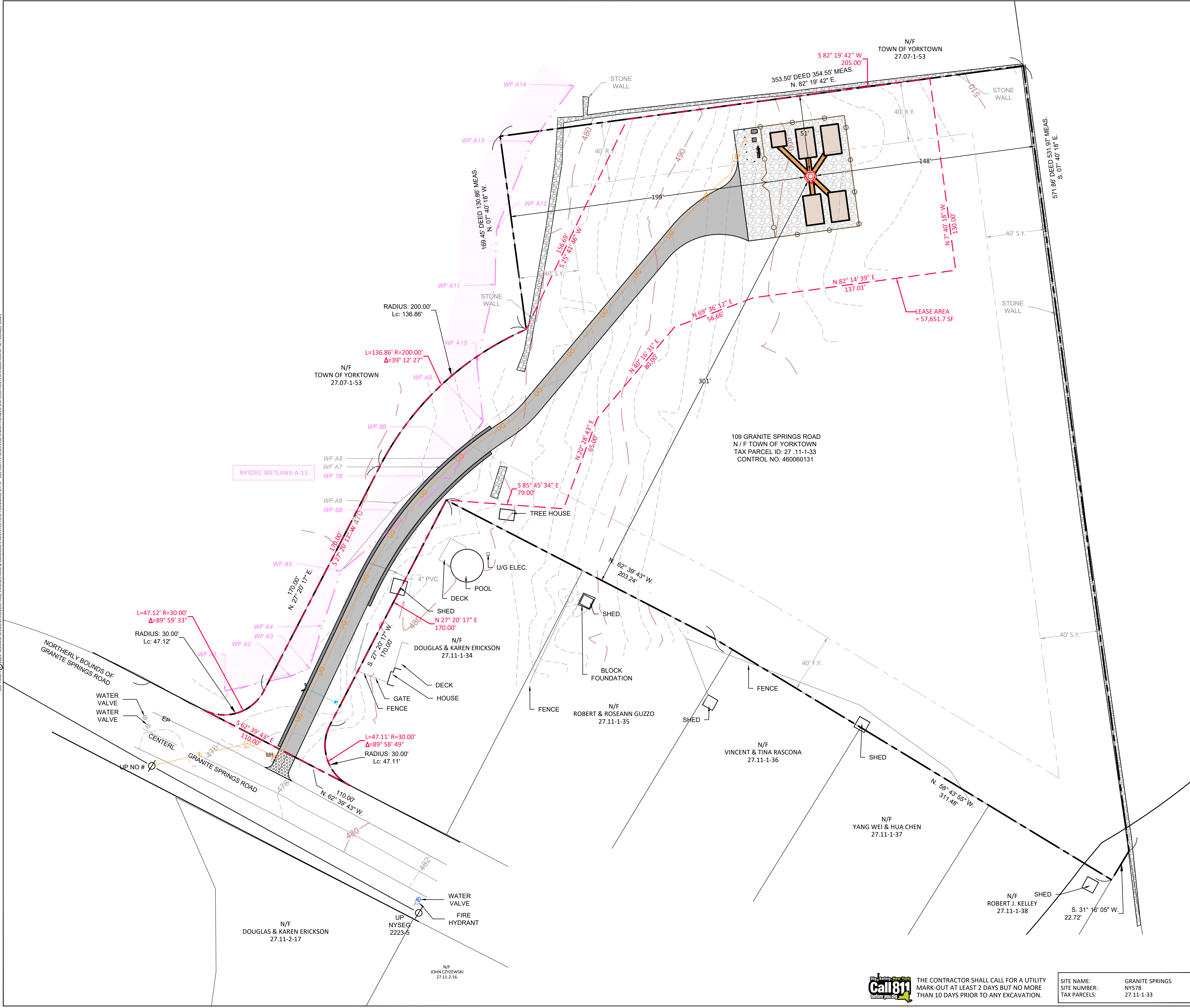
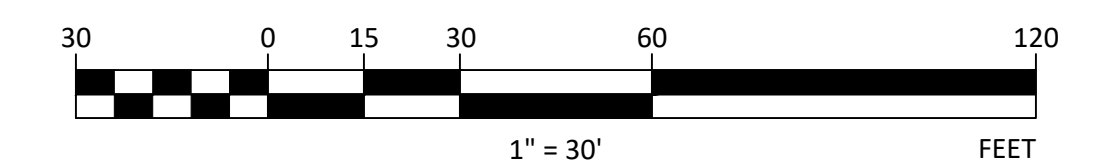
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- PROPOSED GRAVEL COMPOUND
- GRASSCRETE APRRON
- PROPOSED GABION RETAINING WALL
- PROPOSED OVERHEAD ELECTRIC UTILITY
- PROPOSED UNDERGROUND ELECTRIC UTILITY
- PROPOSED EASEMENT/LEASE AREA WITH THE TOWN OF YORKTOWN = 57,651.7 SF

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**NOT FOR CONSTRUCTION**

**LEASE AREA PLAN**  
**HOMELAND TOWERS SITE NY578 -**  
**GRANITE SPRINGS**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

**KSCJ CONSULTING**  
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STATE OF NEW YORK  
MATTW GORRILL  
SEAL  
078902  
REGISTERED PROFESSIONAL ENGINEER

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3. APRIL 29, 2024: TOWN BOARD  
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REVISIONS

ZD-4  
ZD-8

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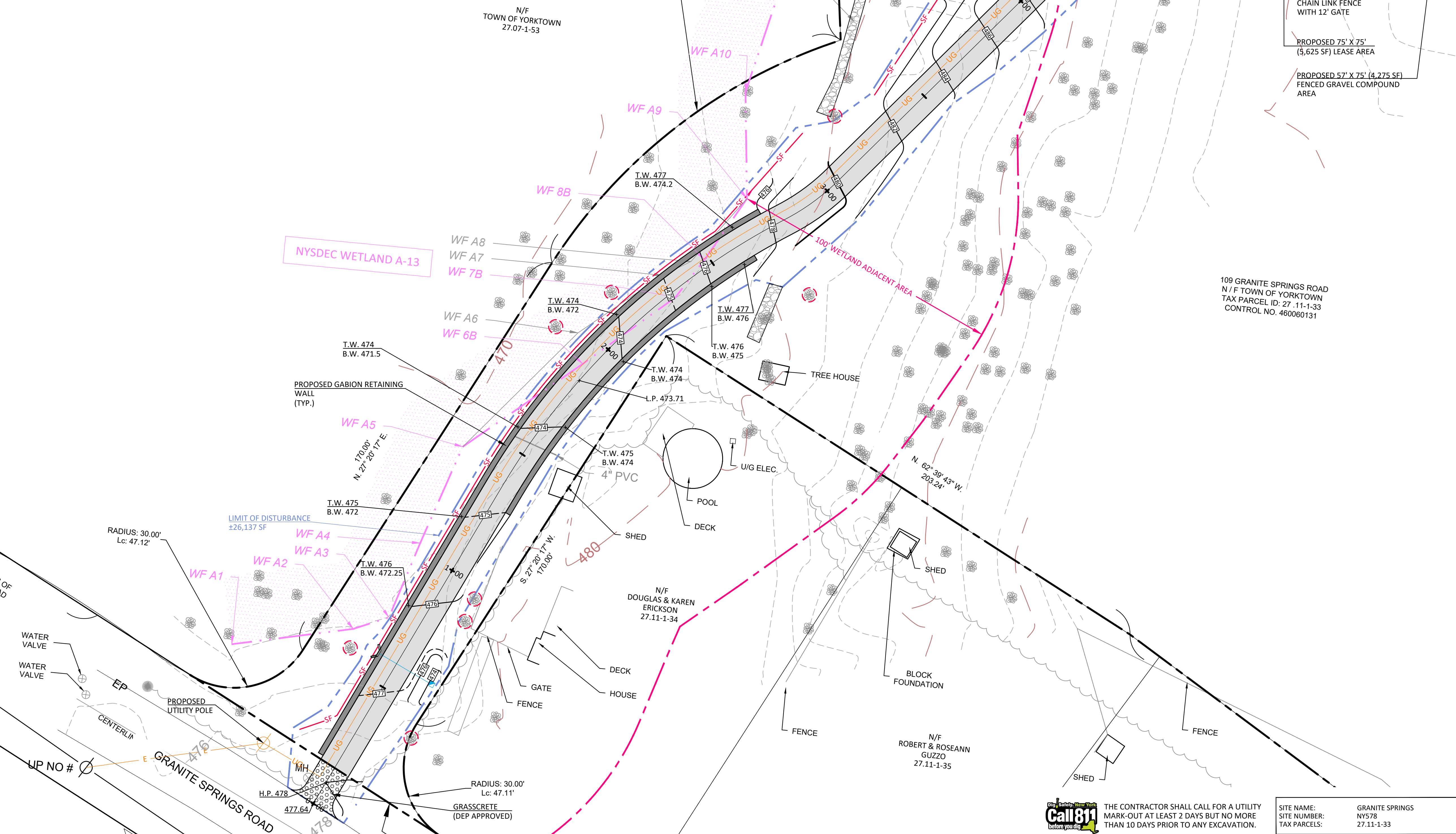
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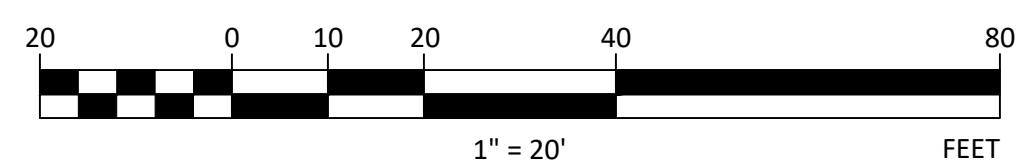
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  - PROPOSED GABION RETAINING WALL
  - PROPOSED SILT FENCE
  - PROPOSED OVERHEAD ELECTRIC UTILITY
  - PROPOSED UNDERGROUND ELECTRIC UTILITY
  - PROPOSED DRAINAGE INLET WITH PROTECTION
  - PROPOSED DRAINAGE OUTLET
  - PROPOSED DRAINAGE PIPE
  - LIMIT OF DISTURBANCE ±26,137 SF



- NOTES:**
1. SURVEY INFORMATION TAKEN FROM A SURVEY ENTITLED "SITE SURVEY - NY578" PREPARED BY NORTHEAST TOWERS INC., APRIL 15, 2021.
  2. HOMELAND TOWERS SITE NY578.
  3. ON-SITE WETLANDS WERE DELINEATED BY JAN JOHANNESSEN OF KSCJ CONSULTING ON NOVEMBER 9, 2021 AND FIELD VERIFIED BY SARAH PAWLICZAK OF THE NYSDEC ON NOVEMBER 29, 2021 AND BY THE TOWN OF YORKTOWN ON MARCH 2, 2022.
- GENERAL SITE NOTES:**
1. SUBJECT PROPERTY IS KNOWN AS SECTION 27.11, BLOCK 1, LOTS 33 AS SHOWN ON A TAX PARCEL MAP GENERATED BY WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS.
  2. ZONING CLASSIFICATION: R1-20, ONE-FAMILY RESIDENTIAL
  3. APPLICANT: HOMELAND TOWERS, LLC  
9 HARMONY STREET, 2<sup>ND</sup> FLOOR  
DANBURY, CONNECTICUT 06810
  - PROPERTY OWNER: TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598
  4. THE PROPOSED USE IS FOR EMERGENCY SERVICE AND PUBLIC UTILITY WIRELESS TELECOMMUNICATIONS. THE SITE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND, THEREFORE, POTABLE WATER SUPPLY AND SANITARY SEWER FACILITIES ARE NOT REQUIRED OR PROPOSED.
  5. THE FACILITY SHALL BE VISITED ON AVERAGE, ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY 24 HOURS A DAY, 7 DAYS A WEEK.
  6. THE APPLICANT'S EQUIPMENT IS REMOTELY OPERATED AND CONTROLLED AND, AS SUCH, IS NORMALLY UNMANNED. COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEMS CONTINUOUSLY MONITOR AN EXTENSIVE NUMBER OF OPERATIONAL AND SHELTER FUNCTIONS.
  7. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR ANY ASPECT OF THE USE.
  8. THE PROPOSED FACILITY IS UNMANNED AND WILL NOT GENERATE SIGNIFICANT NOISE, DUST, FUMES, ODORS OR VIBRATIONS.
  9. ANY LIGHTING PROPOSED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL BE CONTROLLED BY A MANUAL TIMER AND NOT SPILL ONTO ADJACENT PROPERTIES.
  10. THERE SHALL BE NO TOWER MOUNTED LIGHTING.



NOT FOR CONSTRUCTION

GRADING, UTILITY AND SEDIMENT & EROSION CONTROLS PLAN  
HOMELAND TOWERS SITE NY578 - GRANITE SPRINGS

TOWN OF YORKTOWN      WESTCHESTER COUNTY, NEW YORK

KSCJ CONSULTING  
KELLARD SESSIONS CERMELE JOHANNESSEN

CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE  
SITE & ENVIRONMENTAL PLANNING

500 MAIN STREET  
ARMONK, N.Y. 10504

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8.		ZD-5
7.		
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3.	APRIL 29, 2024: TOWN BOARD	PROJECT I.D.:
2.	JANUARY 24, 2024: REVISE DRIVEWAY	YR/HOMELAND900
1.	JUNE 20, 2022: REVISE DRIVEWAY	DATE:
	REVISIONS	FEBRUARY 16, 2022

**Call 811**  
before you dig

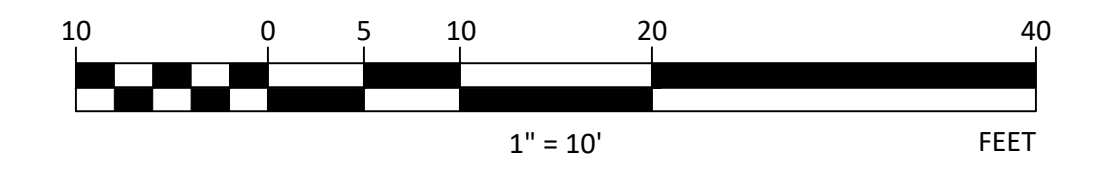
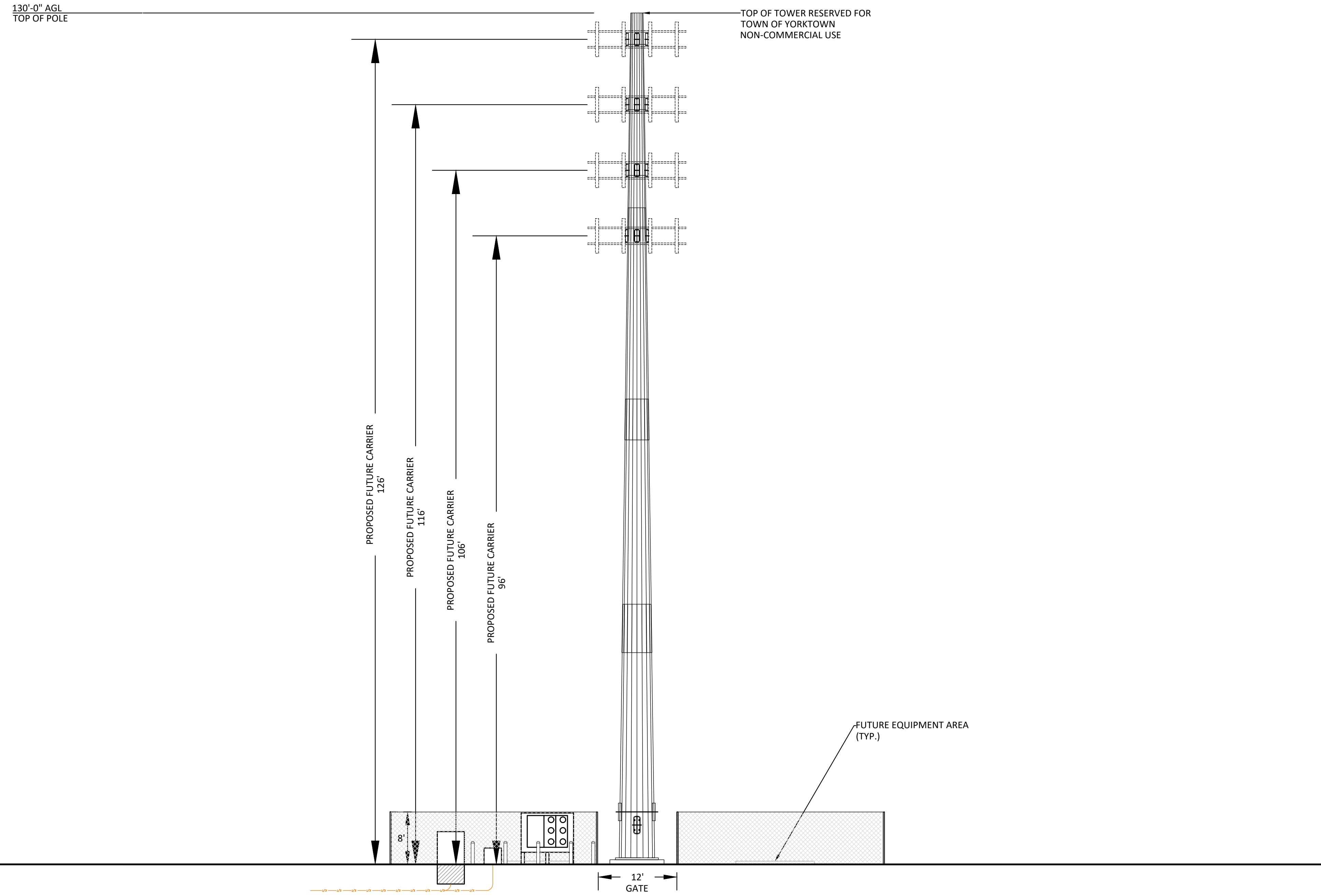
THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: GRANITE SPRINGS  
SITE NUMBER: NY578  
TAX PARCELS: 27.11-1-33

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW



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**NOT FOR CONSTRUCTION**

**TOWER ELEVATION**  
**HOMELAND TOWERS SITE NY578 -**  
**GRANITE SPRINGS**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

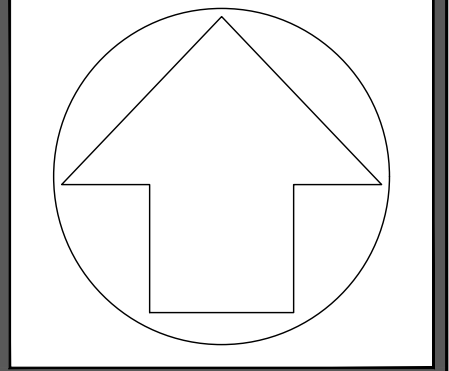


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1.	JUNE 20, 2022: REVISE DRIVEWAY
REVISIONS	

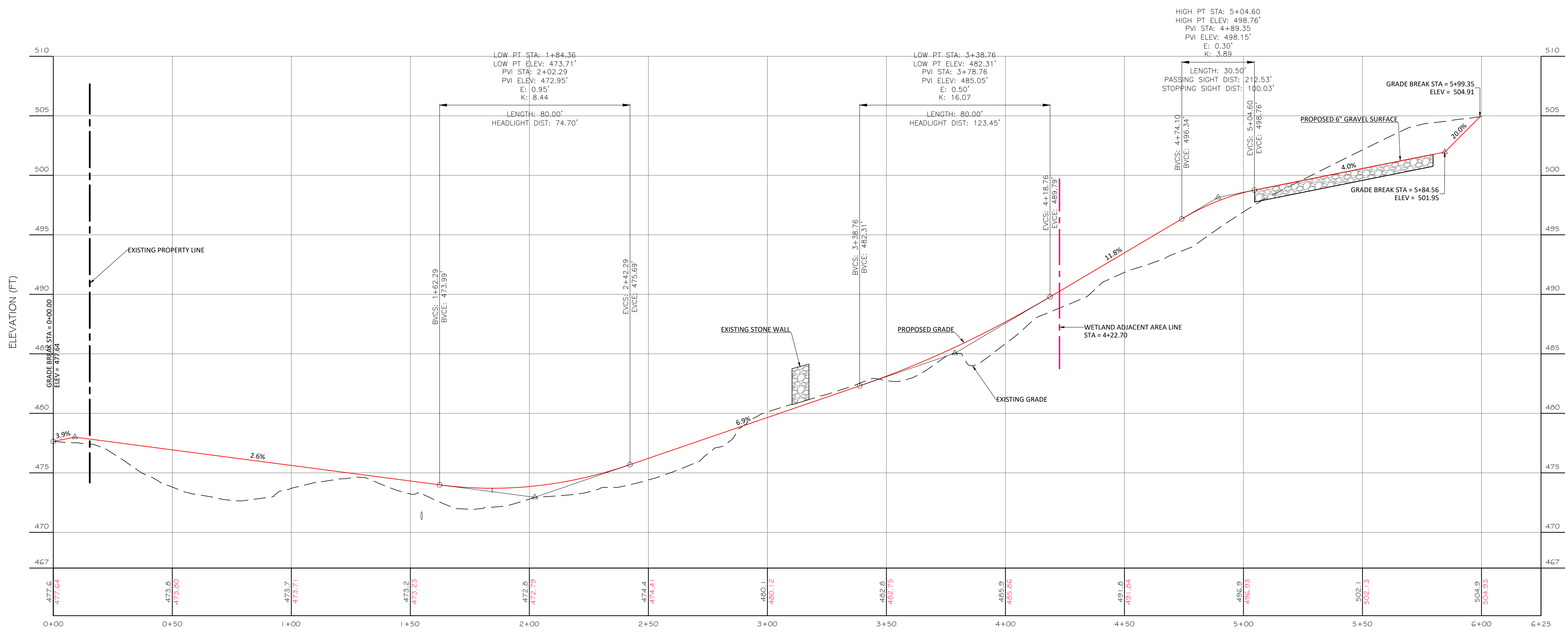
ZD-6
ZD-8
PROJECT I.D.:
YRHOMELAND900
DATE:
FEBRUARY 16, 2022



THE CONTRACTOR SHALL CALL FOR A UTILITY  
MARK-OUT AT LEAST 2 DAYS BUT NO MORE  
THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME:	GRANITE SPRINGS
SITE NUMBER:	NY578
TAX PARCELS:	27.11-1-33

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**LEASE AREA ACCESS DRIVE**

PROFILE SCALE:  
HORIZ: 1"=20'  
VERT: 1"=4'

**NOT FOR CONSTRUCTION**

**PROFILE**

**HOMELAND TOWERS SITE NY578 - GRANITE SPRINGS**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

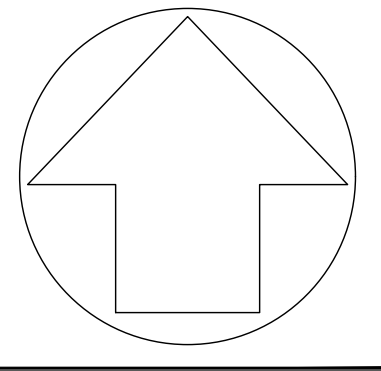
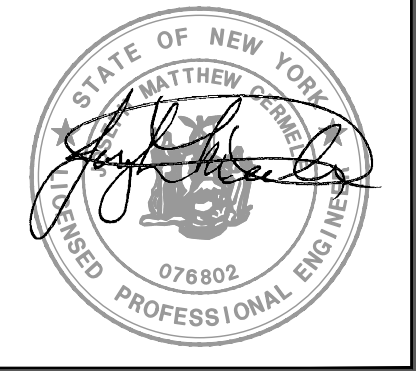


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5.			
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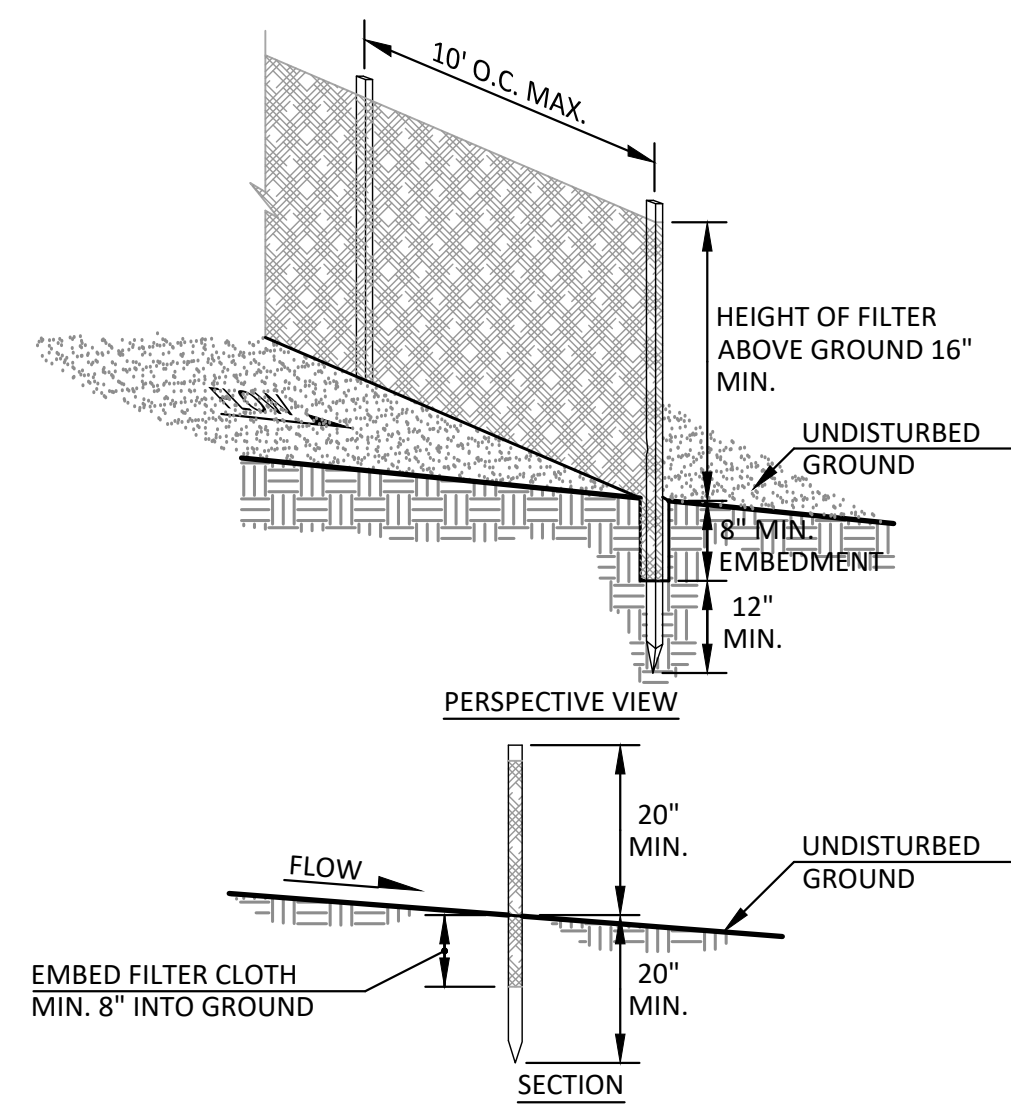
SITE NAME:	GRANITE SPRINGS
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**Call811** BEFORE YOU DIG  
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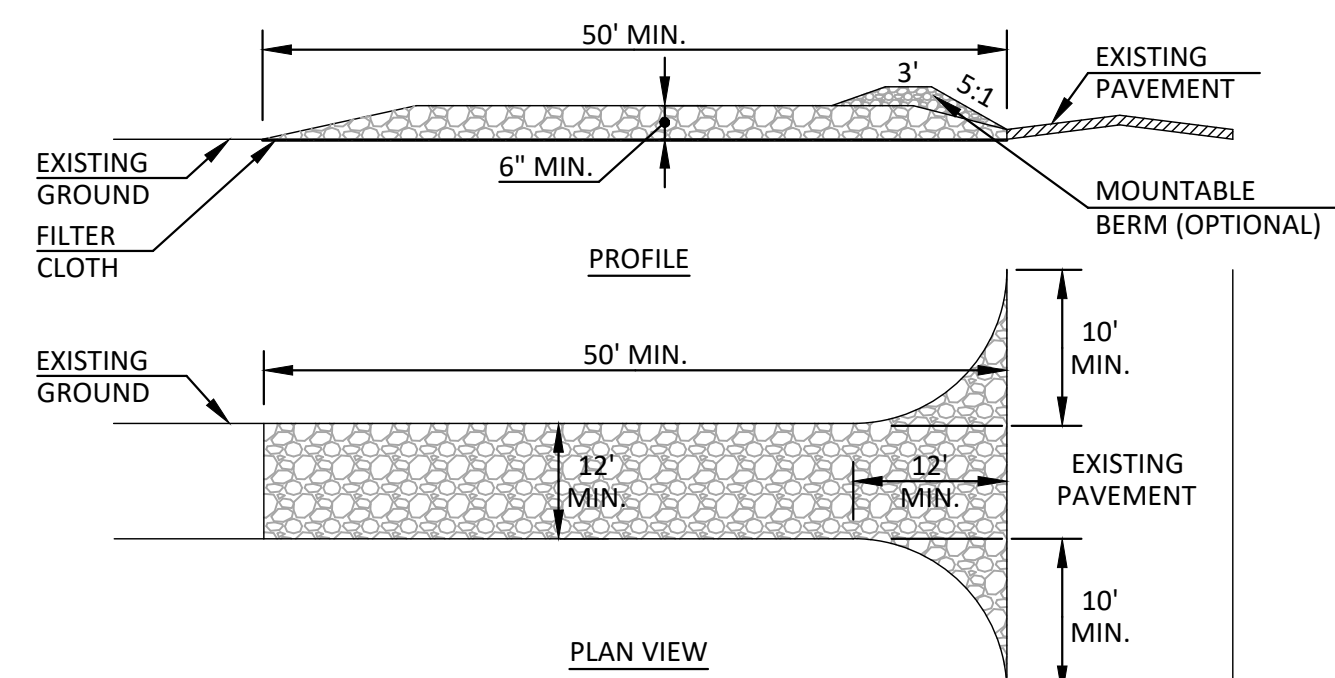
**SILT FENCE DETAIL (N.T.S.)**



**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION. POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

**STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)**



**CONSTRUCTION SPECIFICATIONS**

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**EROSION AND SEDIMENT CONTROL PLAN**

ALL PROPOSED SOIL EROSION AND SEDIMENT CONTROL PRACTICES HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING PUBLICATIONS:

- NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION
- NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-0-20-001)
- TOWN CODE OF YORKTOWN CHAPTER 248 "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL"

THE PRIMARY AIM OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN IS TO REDUCE SOIL EROSION FROM AREAS STRIPPED OF VEGETATION DURING CONSTRUCTION AND TO PREVENT SILT FROM REACHING THE DRAINAGE STRUCTURES, WETLAND SYSTEMS, WATERCOURSES, WATERBODIES AND DOWNSTREAM PROPERTIES. THE SEDIMENT AND EROSION CONTROL PLAN IS AN INTEGRAL COMPONENT OF THE CONSTRUCTION PHASING AND PROJECT SEQUENCING AND WILL BE IMPLEMENTED TO CONTROL SEDIMENT AND RE-ESTABLISH VEGETATION AS SOON AS PRACTICABLE. THE PLAN WILL BE IMPLEMENTED PRIOR TO THE COMMENCEMENT OF ANY EARTHMOVING ACTIVITIES AND WILL BE MAINTAINED THROUGH THE DURATION OF THE PROJECT.

A COPY OF THE CONTRACTOR CERTIFICATION FORM IS PROVIDED IN STORMWATER POLLUTION PREVENTION PLAN SECTION A. THIS FORM WILL BE SIGNED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY. EACH CONTRACTOR AND SUBCONTRACTOR SHALL IDENTIFY AT LEAST ONE (1) PERSON FROM THEIR COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THIS PERSON SHALL BE KNOWN AS THE TRAINED CONTRACTOR. THE TRAINED CONTRACTOR SHALL BE ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED. THE TRAINED CONTRACTOR MUST RECEIVE FOUR (4) HOURS OF NYSDEC ENDORSED TRAINING IN PROPER EROSION AND SEDIMENT CONTROL PRINCIPLES FROM A SOIL AND WATER CONSERVATION DISTRICT, OR OTHER NYSDEC ENDORSED ENTITY. THE TRAINED CONTRACTOR MUST RECEIVE FOUR (4) HOURS OF TRAINING EVERY THREE (3) YEARS. THE TRAINED CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL PRACTICES AND POLLUTION PREVENTION MEASURES IMPLEMENTED WITHIN THE CONSTRUCTION AREA ON A DAILY BASIS TO ENSURE THAT THEY ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITIONS AT ALL TIMES. IF DEFICIENCIES ARE IDENTIFIED BY THE TRAINED CONTRACTOR, THE CONTRACTOR SHALL BEGIN IMPLEMENTING CORRECTIVE ACTIONS WITHIN ONE (1) BUSINESS DAY AND SHALL COMPLETE THE CORRECTIVE ACTIONS IN A REASONABLE TIME FRAME.

THE OWNER/OPERATOR SHALL MAINTAIN AT THE CONSTRUCTION SITE A COPY OF THE NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, GP-0-20-001, THE NOTICE OF INTENT (NOI), THE NOI ACKNOWLEDGMENT LETTER, THE STORMWATER POLLUTION PREVENTION PLAN REPORT, THE M54 SWPPP ACCEPTANCE FORM AND INSPECTION REPORTS FROM THE TRAINED CONTRACTOR INSPECTOR UNTIL ALL DISTURBED AREAS HAVE ACHIEVED FINAL STABILIZATION AND THE NOTICE OF TERMINATION (NOTI) HAS BEEN FILED WITH THE NYSDEC.

THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL DEVICES INCLUDE THE PLANNED EROSION CONTROL PRACTICES OUTLINED BELOW. MAINTENANCE PROCEDURES FOR EACH EROSION CONTROL PRACTICE ARE ALSO PROVIDED HEREIN. THE OWNER OR OPERATOR MUST ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES IDENTIFIED HEREIN ARE MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES.

**STABILIZED CONSTRUCTION ENTRANCE**

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE PROJECT ENTRANCE AS INDICATED ON THE PLANS. THE PURPOSE OF THE STABILIZED CONSTRUCTION ENTRANCE IS TO PREVENT VEHICLES LEAVING THE SITE FROM TRACKING SEDIMENT, MUD OR ANY OTHER CONSTRUCTION-RELATED MATERIALS FROM THE SITE ONTO OFF SITE ROADS.

**MAINTENANCE/INSPECTION**

STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE IN A MANNER WHICH PREVENTS OR SIGNIFICANTLY REDUCES THE TRACKING OF SEDIMENT/SOIL OFF SITE. THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION ENTRANCE DAILY AND AFTER EACH RAIN EVENT FOR DISPLACEMENT OR LOSS OF AGGREGATE. THE CONTRACTOR SHALL TOP-DRESS THE CONSTRUCTION ENTRANCE WHEN DISPLACEMENT/LOSS OF AGGREGATE OCCURS, OR IF THE AGGREGATE BECOMES LOGGED OR SILTED TO THE EXTENT THAT THE ENTRANCE CAN NO LONGER PERFORM ITS INTENDED FUNCTION. THE CONTRACTOR SHALL INSPECT THE VICINITY OF THE CONSTRUCTION ENTRANCE SEVERAL TIMES A DAY AND IMMEDIATELY REMOVE ANY SEDIMENT DROPPED OR WASHED ONTO OFF SITE ROADS.

**SILT FENCE**

SILT FENCE (GEOTEXTILE FILTER CLOTH) SHALL BE PLACED IN LOCATIONS DEPICTED ON THE APPROVED PLANS. THE PURPOSE OF THE SILT FENCE IS TO REDUCE THE VELOCITY OF SEDIMENT-LADEN STORMWATER FROM SMALL DRAINAGE AREAS AND TO INTERCEPT THE TRANSPORTED SEDIMENT LOAD. IN GENERAL, SILT FENCE SHALL BE USED AT THE DOWN-GRADIENT PERIMETER OF DISTURBED AREAS, TOE OF SLOPES OR INTERMEDIATELY WITHIN SLOPES WHERE OBVIOUS CHANNEL CONCENTRATION OF STORMWATER IS NOT PRESENT. SILT FENCE SHALL ALWAYS BE INSTALLED PARALLEL TO THE CONTOURS IN ORDER TO PREVENT CONCENTRATED FLOWS FROM DEVELOPING ALONG THE SILT FENCE.

**MAINTENANCE/INSPECTION**

SILT FENCING SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL INCLUDE ENSURING THAT THE FENCE MATERIAL IS TIGHTLY SECURED TO THE WOOD POSTS. IN ADDITION, OVERLAPPING FILTER FABRIC SHALL BE SECURE AND THE FABRIC SHALL BE MAINTAINED A MINIMUM OF SIX (6) INCHES BELOW GRADE. IN THE EVENT THAT ANY "BULGES" DEVELOP IN THE FENCE, THAT SECTION OF FENCE SHALL BE REPLACED IMMEDIATELY WITH A NEW FENCE SECTION. ANY VISIBLE SEDIMENT BUILD-UP AGAINST THE FENCE SHALL BE REMOVED IMMEDIATELY AND DEPOSITED ON-SITE A MINIMUM OF 100 FEET OUTSIDE OF ANY REGULATED WETLAND AREA, WATERCOURSE OR WATERBODY.

**SOIL/MATERIAL STOCKPILING**

ALL SOIL/MATERIAL STRIPPED FROM THE CONSTRUCTION AREA DURING GRUBBING AND GRADING SHALL BE STOCKPILED WITHIN THE VICINITY OF THE LOCATIONS ILLUSTRATED ON THE APPROVED PLANS, OR IN PRACTICAL LOCATIONS ON-SITE.

**MAINTENANCE/INSPECTION**

ALL STOCKPILES SHALL BE INSPECTED A MINIMUM OF ONCE EVERY SEVEN (7) CALENDAR DAYS FOR SIGNS OF EROSION OR PROBLEMS WITH SEED ESTABLISHMENT. SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION BY VEGETATING THE STOCKPILE WITH A RAPIDLY-GERMINATING GRASS SEED AND SURROUNDED WITH SILT FENCE. IF THE PROJECT IS ONGOING DURING THE NON-GROWING SEASON, THE STOCKPILES SHALL BE PROTECTED WITH A TARPULIN COVERING THE ENTIRE STOCKPILE.

**GENERAL LAND GRADING**

THE APPLICANT/DEVELOPER OR THEIR REPRESENTATIVES SHALL BE ON-SITE AT ALL TIMES WHEN CONSTRUCTION OR GRADING ACTIVITY TAKES PLACE AND SHALL INSPECT AND DOCUMENT THE EFFECTIVENESS OF ALL SEDIMENT AND EROSION CONTROL PRACTICES.

THE INTENT OF THE EROSION CONTROLS IS TO CONTROL ALL DISTURBED AREAS, SUCH THAT SOILS ARE PROTECTED FROM EROSION BY TEMPORARY METHODS AND, ULTIMATELY BY PERMANENT VEGETATION.

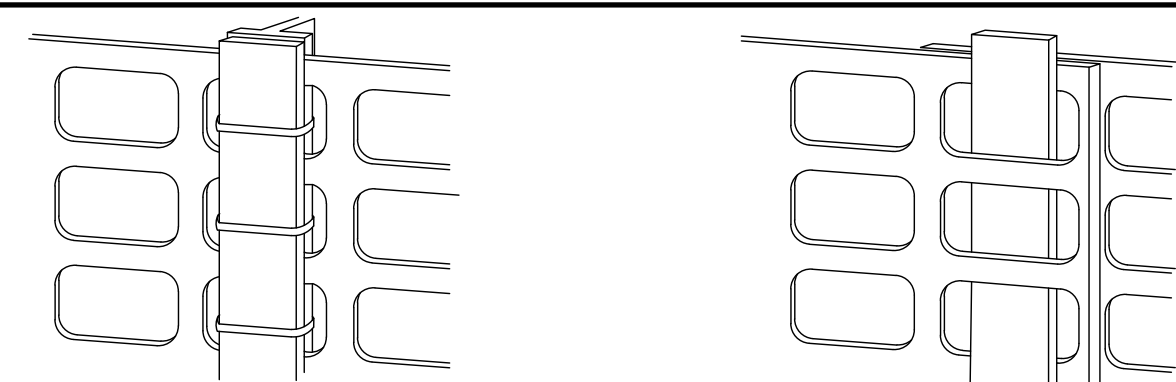
**DUST CONTROL**

WHERE VEGETATIVE OR MULCH COVER IS NOT PRACTICAL IN DISTURBED AREAS OF THE SITE, DUST SHALL BE CONTROLLED BY THE USE OF WATER SPRINKLING. THE SURFACE SHALL BE SPRAYED UNTIL WET. DUST CONTROL SHALL CONTINUE UNTIL SUCH TIME AS THE ENTIRE SITE IS ADEQUATELY STABILIZED WITH PERMANENT VEGETATIVE COVER.

**POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES**

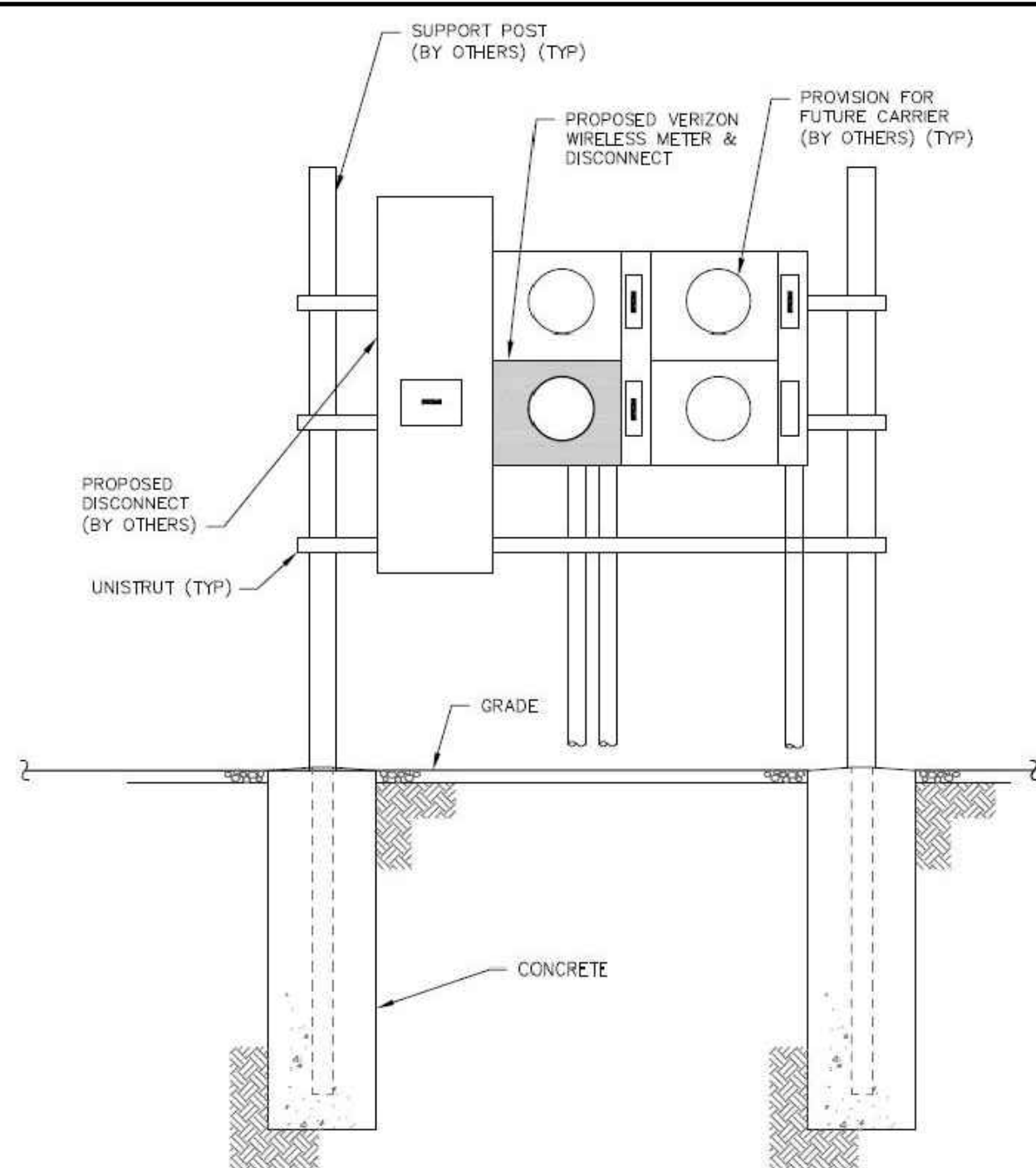
POLLUTION PREVENTION PRACTICES FOR PREVENTING LITTER, CONSTRUCTION CHEMICALS (IF APPLICABLE) AND CONSTRUCTION DEBRIS FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGE INCLUDE DAILY PICKUP OF CONSTRUCTION DEBRIS, INSPECTION, AND PHYSICAL CONTROLS SUCH AS SILT FENCING. INSPECTIONS WILL ALSO BE CONDUCTED TO INSURE THAT DUST CONTROL MEASURES ARE UTILIZED AS NECESSARY. DURING CONSTRUCTION, MAINTENANCE, CONSTRUCTION AND WASTE MATERIALS WILL BE STORED WITHIN SUITABLE AREAS/DUMPSTERS, AS APPROPRIATE, TO MINIMIZE THE EXPOSURE OF THE MATERIALS TO STORMWATER AND SPILL PREVENTION. ALL MAINTENANCE AND CONSTRUCTION WASTE WILL BE DISPOSED OF IN A SAFE MANNER IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

**CONSTRUCTION FENCE DETAIL (N.T.S.)**

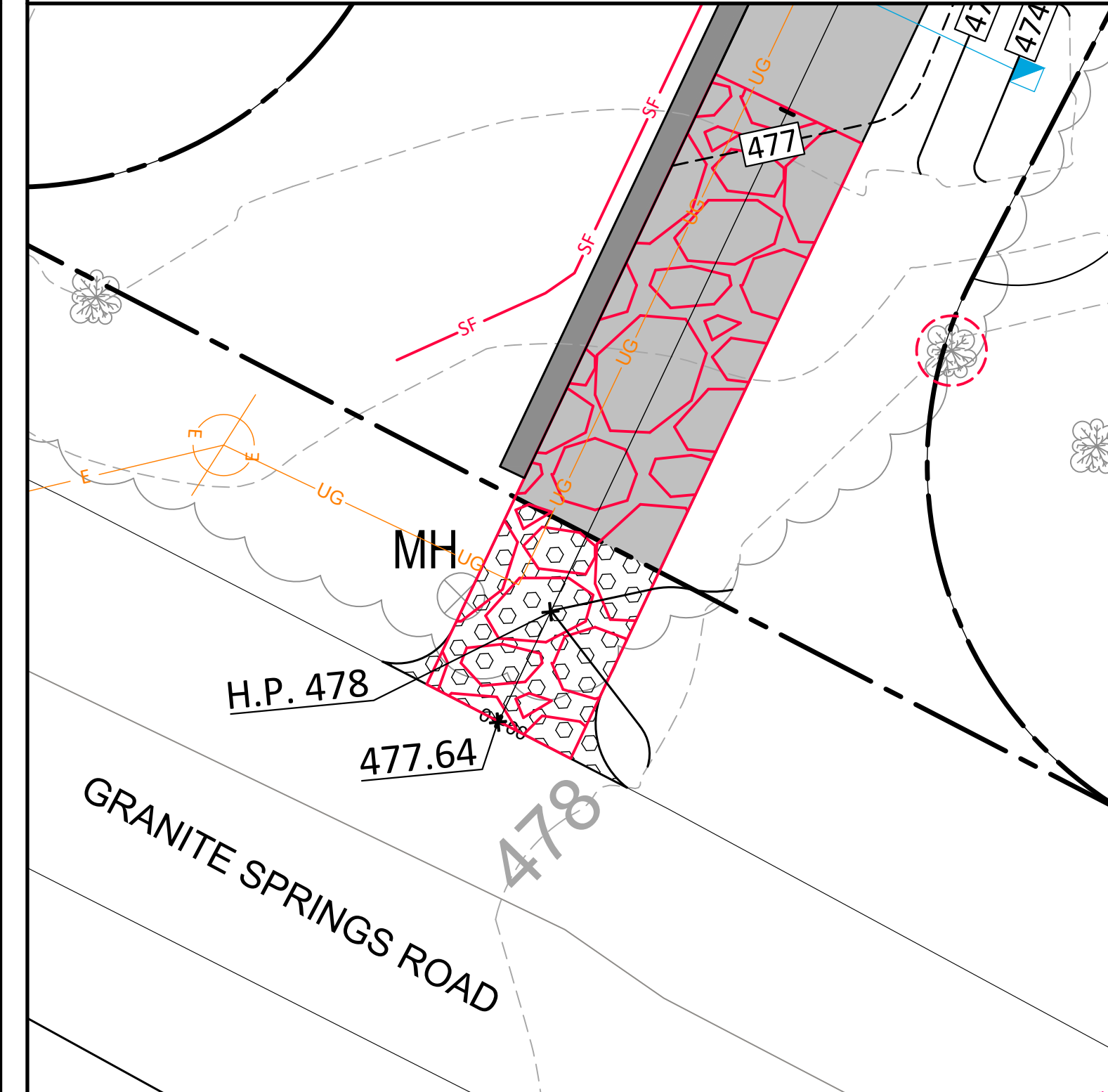


- INSTALLATION INSTRUCTIONS**
1. T-POST SHOULD BE PLACED A MAXIMUM OF 10 FEET APART.
  2. VERTICAL STRAND OF FENCE SHOULD BE SANDWICHED BETWEEN FLAT SIDE OF T-POST AND 1"x2" WOOD SLAT
  3. WIRE TIES OR PLASTIC CABLE TIES CAN THEN BE USED TO SECURE THE SLAT AND FENCE STRAND TO THE T-POST.
- SPlicing INSTRUCTIONS**
1. TO CONNECT FENCE SECTIONS, OVERLAP 2 STRAND SECTION FROM EACH END END WEAVE A 1"x2" SLAT THROUGH THE OVERLAPPED STRANDS
  2. FENCE SHOULD BE TENSIONED BY HAND ONLY. DO NOT USE MECHANICAL TENSIONERS.

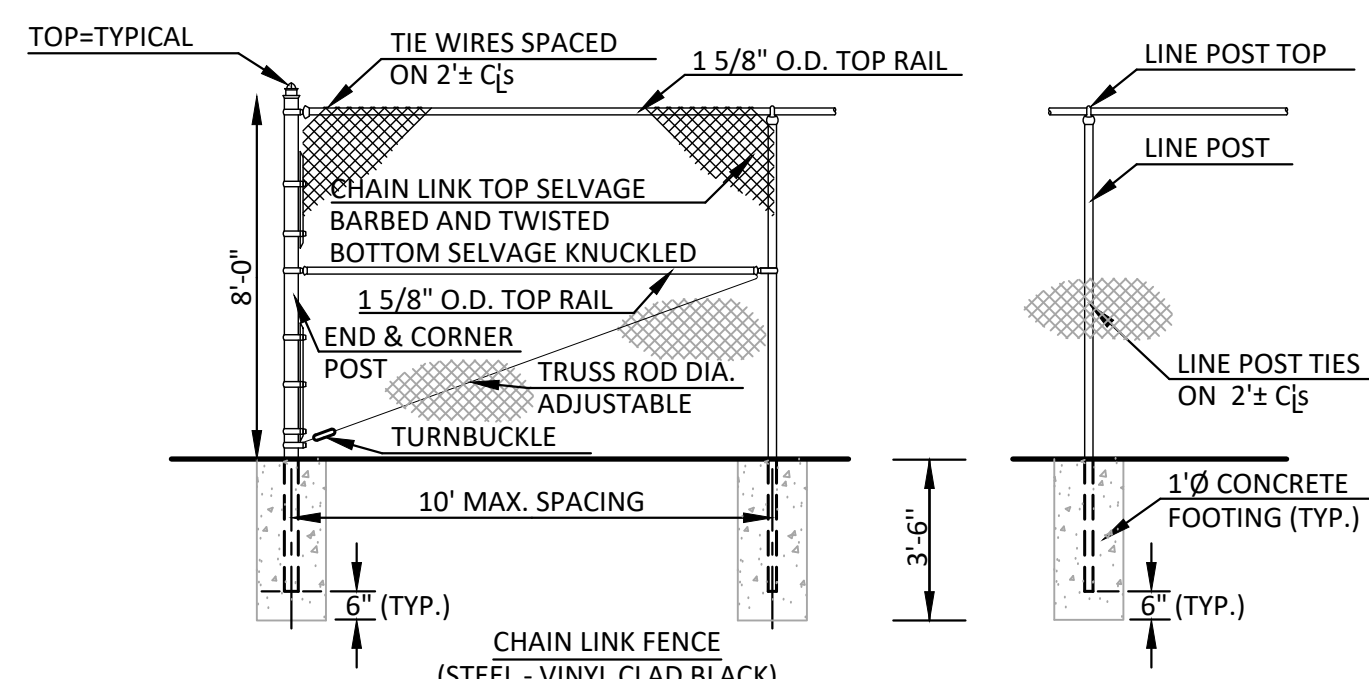
**METER AND DISCONNECT (N.T.S.)**



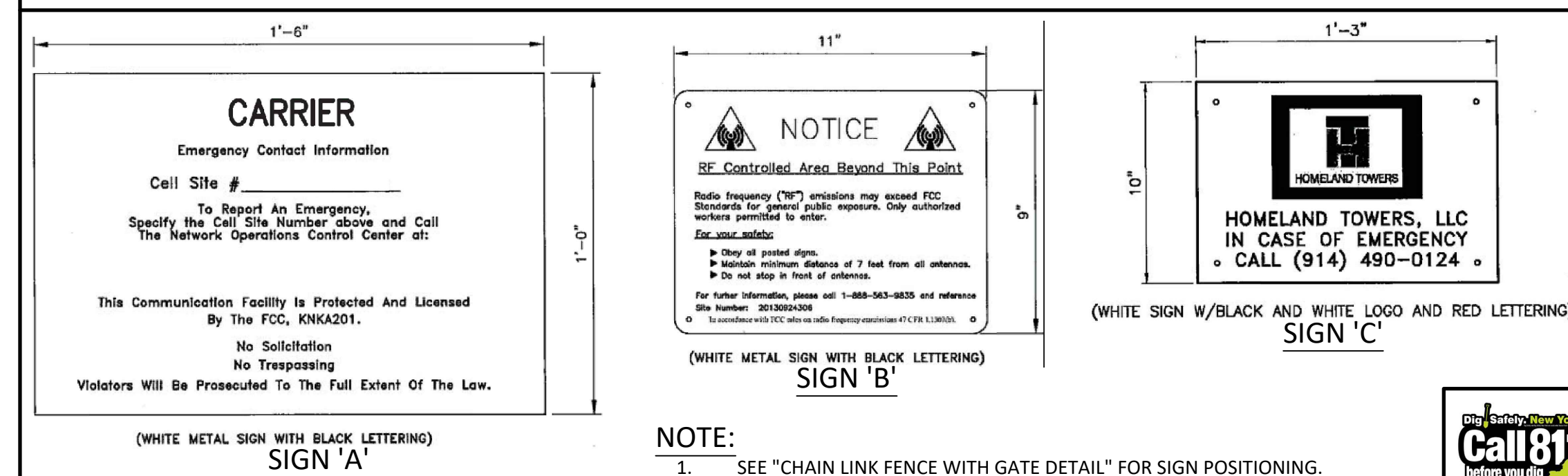
**CONSTRUCTION ENTRANCE (1" = 10')**



**CHAIN LINK FENCE DETAIL (N.T.S.)**



**CHAIN LINK FENCE GATE SIGNS**



- NOTE:**
1. SEE "CHAIN LINK FENCE WITH GATE DETAIL" FOR SIGN POSITIONING.



THE CONTRACTOR SHALL CALL FOR A UTILITY MARK-OUT AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO ANY EXCAVATION.

SITE NAME: GRANITE SPRINGS  
 SITE NUMBER: NY578  
 TAX PARCELS: 27.11-1-33

**NOT FOR CONSTRUCTION**

**DETAILS AND NOTES  
 HOMELAND TOWERS SITE NY578 -  
 GRANITE SPRINGS**

TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK

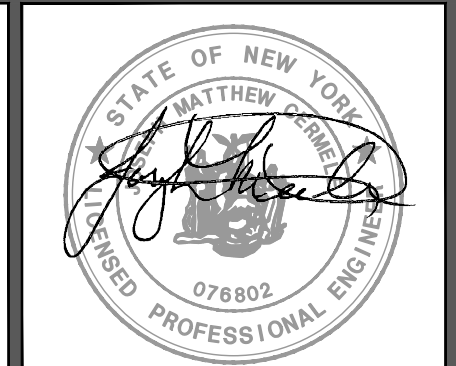


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