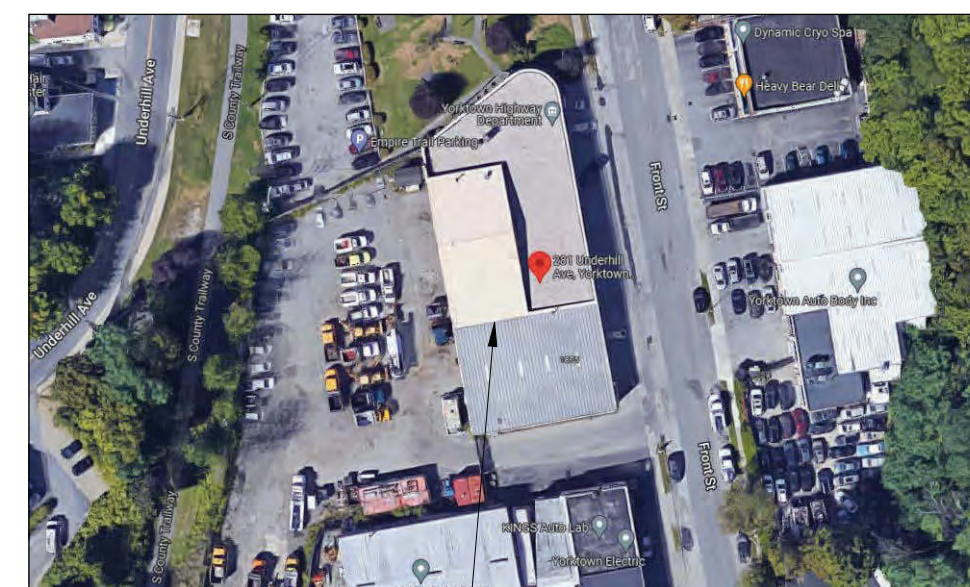


LOCATION MAP  
No Scale



AERIAL VIEW  
No Scale

LIST OF ARCHITECTURAL DRAWINGS

SHEET No.	SHEET NAME
A.01	PROJECT INFORMATION
A.02	DEMOLITION PLANS AND NOTES
A.03	PROPOSED OFFICE EXPANSION
A.04	PROPOSED TOILET ROOM LAYOUT AND MISC. DETAILS
A.05	BUNK ROOM ADDITION
A.06	EXTERIOR ELEVATIONS
A.07	DOOR SCHEDULES AND TYPICAL DETAILS
A.08	E.I.F.S. TYPICAL DETAILS
A.09	E.I.F.S. TYPICAL DETAILS AND NOTES
A.10	ROOFING DETAILS SHEET 1
A.11	ROOFING DETAILS SHEET 2
A.12	GENERAL NOTES

# TOWN OF YORKTOWN HIGHWAY GARAGE ADDITION & ALTERATION

Addition and Level-2 Alteration  
281 Underhill Avenue - Yorktown Heights, NY 10598  
Zone: I-2 Parcel: 37.19-137 Lot Area: 0.45 acre  
Const. Type: III-B (Non-Combustible)  
UseS: S-1 (Motor-Vehicle) & B (Business)

**DAVID A. TETRO**  
ARCHITECT P.C.  
302 Lewis Avenue  
Yorktown Heights  
NY 10598  
914.962.3113  
dtetarchitect@gmail.com

Project Title:  
**YORKTOWN HIGHWAY GARAGE**

Client:  
**TOWN OF YORKTOWN**

Address:  
281 Underhill Avenue  
Yorktown Heights, NY 10598

### BUILDING CODE ANALYSIS

**GENERAL**  
USE (IBC 303.4):  
S-1 - MOTOR-VEHICLE USE - STORAGE AND SERVICE  
B - MUNICIPAL OFFICES

**CONSTRUCTION CLASSIFICATION (IBC TABLE 601):**  
TYPE III-B (NON-PROTECTED)  
S-1: SPRINKLERED  
B: NON-SPRINKLERED

**MAXIMUM HEIGHT (IBC TABLE 504.3 & TABLE 504.4):**  
MAXIMUM 55 FEET FROM GRADE PLANE TO MID-ROOF  
20-FOOT HEIGHT EXISTING (PLUS/MINUS)  
MAXIMUM 3 STORIES  
1 STORY EXISTING

**MAXIMUM AREA OF BUILDING (IBC TABLE 506.2):**  
MAXIMUM 70,000 S.F. FOR S-1  
MAXIMUM 76,000 S.F. FOR B  
15,781 S.F. TOTAL FLOOR EXISTING AREA  
16,255 S.F. TOTAL PROPOSED AREA  
13,426 S.F. AREA OF S-1 USE SPACE  
2,355 S.F. AREA OF B USE SPACE  
PLUS -  
474 S.F. AREA OF NEW R-2 USE SPACE  
62 S.F. AREA OF NEW B USE SPACE TAKEN FROM S-1 SPACE

**AUTOMATIC SPRINKLER SYSTEMS (IBC 903.2.6)**  
GROUP R-2 USES AND THE REMAINDER OF THE FIRE AREA THEY OCCUPY SHALL BE PROVIDED WITH AUTOMATIC SPRINKLERS.

**FIRE ARE FOR SPRINKLER SYSTEM SEPARATION (IBC 707.3.10)**  
2-HOUR FIRE WALL SEPARATION BETWEEN NEW R-2 USE AND REMAINDER OF BUILDING CREATES A 'FIRE AREA' FOR THE R-2 USE AND THE REMAINDER OF THE BUILDING DOES NOT NEED UPGRADES TO A SPRINKLER INSTALLATION WHERE NONE CURRENTLY EXIST PER TABLE 707.3.10.

**ENERGY CONSERVATION CONSTRUCTION CODE**  
INSULATION COMPONENT VALUES FOR WALL, ROOF AND PENETRATION ASSEMBLIES ARE SPECIFIED ON THE APPLICABLE PORTIONS OF THE DRAWINGS

**INTERIOR FINISHES (IBC TABLE 803.1.1)**  
C' FOR ROOMS & INTERIOR SPACES  
B' FOR STAIRS AND EGRESS CORRIDORS  
INTERIOR FINISHES SPECIFIED FOR NEW WORK ARE SPECIFIED AS 'A'

**OCCUPANCY (IBC TABLE 1004.5)**  
S-1 USE FLOOR AREA: 13,426 G.S.F. (EXIST.) / 13,364 S.F. (PROP.)  
B USE FLOOR AREA: 2,355 G.S.F. (EXIST.) / 2,417 G.S.F. (PROP.)  
R-2 USE FLOOR AREA: 474 G.S.F. (PROP.)

**EGRESS CALCULATIONS (SECTION 1005.3.2)**  
S-1 (MOTOR-VEHICLE RELATED) - EXISTING  
AREA: 13,364 S.F. (WAREHOUSE CATEGORY)  
OCCUPANTS: 28 OCCUPANTS (1 PER 500 G.S.F.)  
SPRINKLERS: YES  
CORRIDORS & DOORS: 0.2' OCCUPANT: 28x0.2' = 5.6'  
PROVIDED: (2) 36" DOORS (72 INCHES OF EGRESS EXISTING)

**B (OFFICE RELATED) - EXISTING**  
AREA: 2,417 S.F. (BUSINESS CATEGORY)  
OCCUPANTS: 16 OCCUPANTS (1 PER 150 G.S.F.)  
SPRINKLERS: NO  
CORRIDORS & DOORS: 0.2' OCCUPANT: 16x0.2' = 3.2'  
PROVIDED: (2) 36" DOORS (72 INCHES OF EGRESS EXISTING)

**R-2 (RESIDENTIAL RELATED) - PROPOSED**  
AREA: 474 S.F. (DORMITORY CATEGORY)  
OCCUPANTS: 10 OCCUPANTS (1 PER 50 G.S.F.)  
SPRINKLERS: YES  
CORRIDORS & DOORS: 0.2' OCCUPANT: 10x0.2' = 2'  
PROVIDED: (1) 36" DOORS (36 INCHES OF EGRESS PROVIDED)  
ONE EGRESS DOOR PERMITTED PER TABLE 1006.2.1

**FIRE PROTECTION RATINGS**  
Required (No changes to structure, floors or roofs proposed)  
Structural Frame: 0-Hour  
Beaming Walls - Exterior: 2-Hour  
Beaming Walls - Interior: 0-Hour  
Nonbeaming - Exterior: 0-Hour  
Nonbeaming - Interior: 0-Hours  
Floor Construction: 0-Hour  
Roof Construction: 0-Hour  
Note: Building is alarmed and sprinkled.

**FIRE SEPARATION**  
USES: B' TO 'A-2'  
RATING REQUIREMENT: 2-HOUR (IBC TABLE 508.4 AND 707.3.10 FOR NON-SPRINKLERED BUILDINGS)

**STRUCTURAL DESIGN LOADS (TABLE 1607.1)**  
FLOOR LOAD: 40 P.S.F. (LIVE) / 40 P.S.F. (DEAD)  
ROOF LOAD: 20 P.S.F. (LIVE) / 35 P.S.F. (SNOW) / 15 P.S.F. (DEAD)

### BUILDING CODE INFORMATION

2020 NEW YORK STATE BUILDING CODE  
CLASSIFICATION OF WORK: ADDITION AND LEVEL-2 ALTERATION  
S-1 (MOTOR-VEHICLE RELATED) AND B (MUNICIPAL OFFICES)

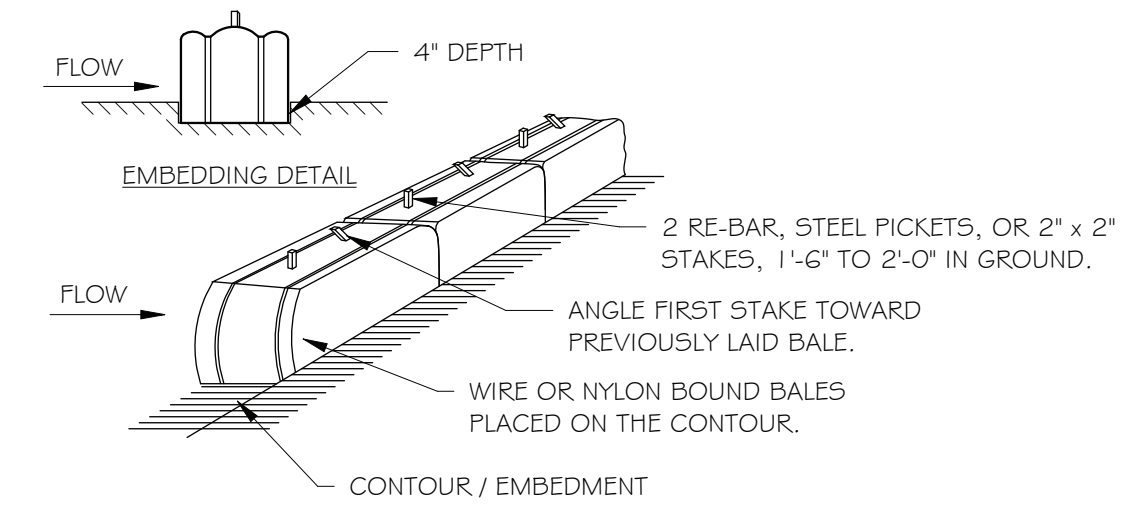
**APPLICABLE CODE SECTIONS:**  
ALTERATION - LEVEL 1 (CHAPTER 7)  
ALTERATION - LEVEL 2 (CHAPTER 8)  
ADDITION (CHAPTER 11)  
(WORK AREA IS LESS THAN 50% OF THE BUILDING, THEREFORE LEVEL-3 DOES NOT APPLY)

- CHAPTER 7 - ALTERATIONS LEVEL-1**
- SECTION 701 - GENERAL: Complies with this Section (Flood Hazard Area not applicable)
  - SECTION 702 - BUILDING ELEMENTS AND MATERIALS: Interior Finishes and Carpeting are specified in compliance with the 2020 New York State Building Code. Methods and Materials used by Contractor to conform to same.
  - SECTION 703 - FIRE PROTECTION: Alteration shall maintain or exceed the required protection.
  - SECTION 704 - MEANS OF EGRESS: Proposed scope of work does not decrease the minimum required egress components.
  - SECTION 705 - REROOFING: This Section not applicable.
  - SECTION 706 - STRUCTURAL: Proposed scope of work does not affect existing load bearing elements.
  - SECTION 707 - ENERGY CONSERVATION: Proposed scope of work does not conflict with the 2020 New York State Building Code.
  - SECTION 708 - PLUMBING: New fixtures and associated hardware are specified to comply with the 2020 New York State Building Code.

- CHAPTER 8 - ALTERATIONS LEVEL-2**
- SECTION 801 - GENERAL: Proposed scope of work complies with this Section.
  - SECTION 802 - BUILDING ELEMENTS AND MATERIALS: Proposed scope of work does not propose any new, or affect any existing, vertical openings or supplemental shafts. Proposed scope of work does not create conditions where smoke compartments are required. Interior Finishes are specified in compliance with the 2020 New York State Building Code. Methods and Materials used by Contractor to conform to same.
  - SECTION 803 - FIRE PROTECTION: No change requiring additional fire protection. Work area is below 50% of the Building Area and is also not required to be provided with sprinklers under the main portions of the 2020 New York State Building Code.
  - SECTION 804 - CARBON MONOXIDE DETECTION: Carbon monoxide detection is specified to comply with the 2020 New York State Building Code.
  - SECTION 805 - MEANS OF EGRESS: Proposed scope of work does not decrease the minimum required egress components, corridor widths, exit door locations, or length of travel distances. Building is not a single-exit building, does not require fire escapes. Proposed scope of work complies with the applicable requirements of this section regarding doors, door swing, egress travel distances, and path of egress lighting.
  - Section 806 - STRUCTURAL: Proposed scope of work does not affect existing load bearing elements.
  - Section 807 - ELECTRICAL: Proposed scope of work complies with applicable portions of this Section. See Electrical Drawings for additional information.
  - Section 808 - MECHANICAL: Proposed scope of work complies with applicable portions of this Section. See Mechanical Drawings for additional information.
  - Section 809 - PLUMBING: Occupant load not being increased by proposed scope of work - conformance with this Section not required.
  - Section 810 - ENERGY CONSERVATION: Proposed scope of work conforms with the 2020 New York State Building Code.

- CHAPTER 11 - ADDITION**
- SECTION 1101 - GENERAL: Proposed scope of work complies with this Section. No proposed work not in compliance with Code.
  - SECTION 1102 - HEIGHTS AND AREAS: No portion of the proposed Work is in conflict with this Section.
  - SECTION 1103 - STRUCTURAL: Proposed Work is in Compliance with this Section. Work not in Flood Hazard.
  - SECTION 1104 - SMOKE ALARMS: Smoke detection system proposed within Area of Work.
  - SECTION 1105 - CARBON MONOXIDE DETECTION: Carbon Monoxide detection system proposed within Area of Work.
  - SECTION 1106 - STORM SHELTERS: This Section not applicable to the Work proposed.
  - SECTION 1107 - ENERGY CONSERVATION: All new work associated with Energy Conservation to comply with this Section.

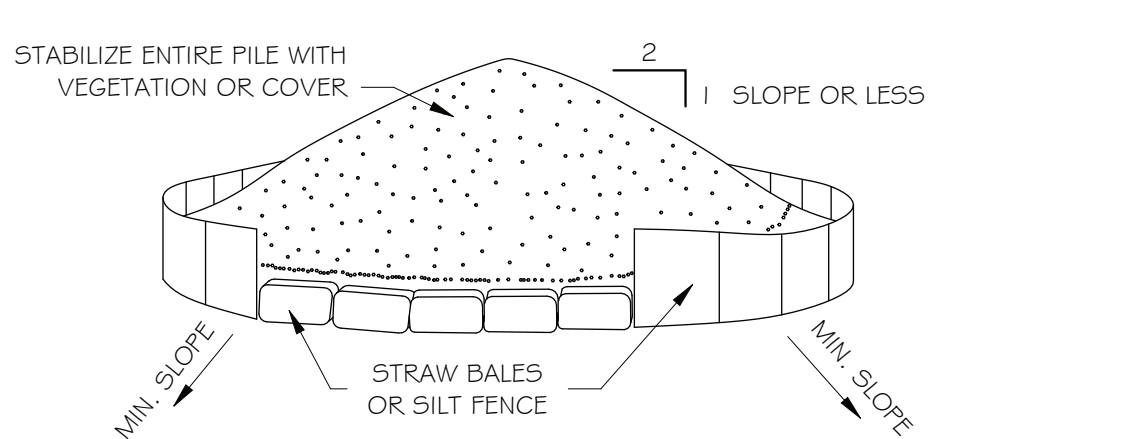
TO THE BEST OF THE ARCHITECTS EXPERIENCE AND PROFESSIONAL JUDGEMENT, THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE FOR CLIMATE ZONE 4A



- INSTALLATION NOTES:**
- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
  - BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN THROUGH BALES. THE FIRST STAKE IN EACH BALE SHALL ANGLE INTO ADJACENT BALE AND INTO THE GROUND IN A MANNER TO MAINTAIN A TIGHT CONDITION BETWEEN BALES.
  - BALES SHALL BE REPLACED WHEN DAMAGED OR NO LONGER PERFORMING ADEQUATELY. BALES SHALL BE REMOVED WHEN NO LONGER NEEDED BASED UPON COMPLETION OF SITE CONSTRUCTION.

### STRAW BALE SEDIMENT BARRIER

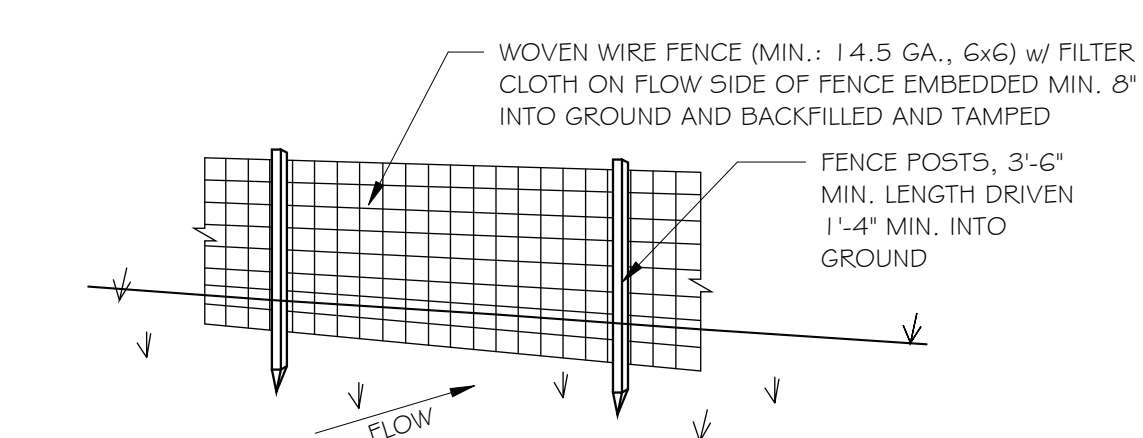
No Scale



- INSTALLATION NOTES**
- AREA CHOSEN FOR SOIL STOCKPILING OPERATIONS SHALL BE DRY AND STABLE AND SHALL NOT BE LOCATED IN A PATH OF WATER OR RUN-OFF TRAVEL. FINAL LOCATION AS APPROVED BY LOCAL MUNICIPALITY OR AUTHORITY HAVING JURISDICTION.
  - MAXIMUM RATIO OF STOCKPILE SHALL BE 1:2
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES THEN STABILIZED WITH A COVER OR WITH VEGETATION.
  - IF USING A SILT FENCE: SEE OTHER DETAILS.

### SOIL STOCKPILE DIAGRAM

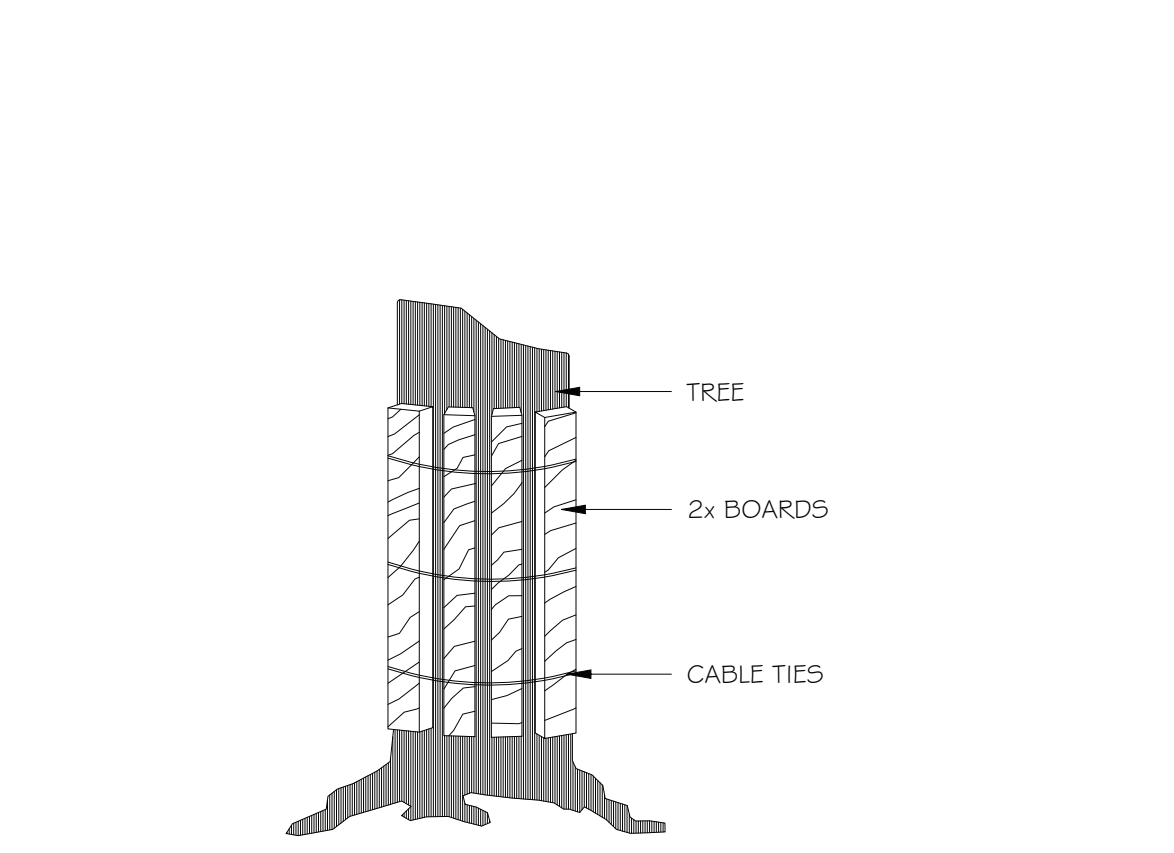
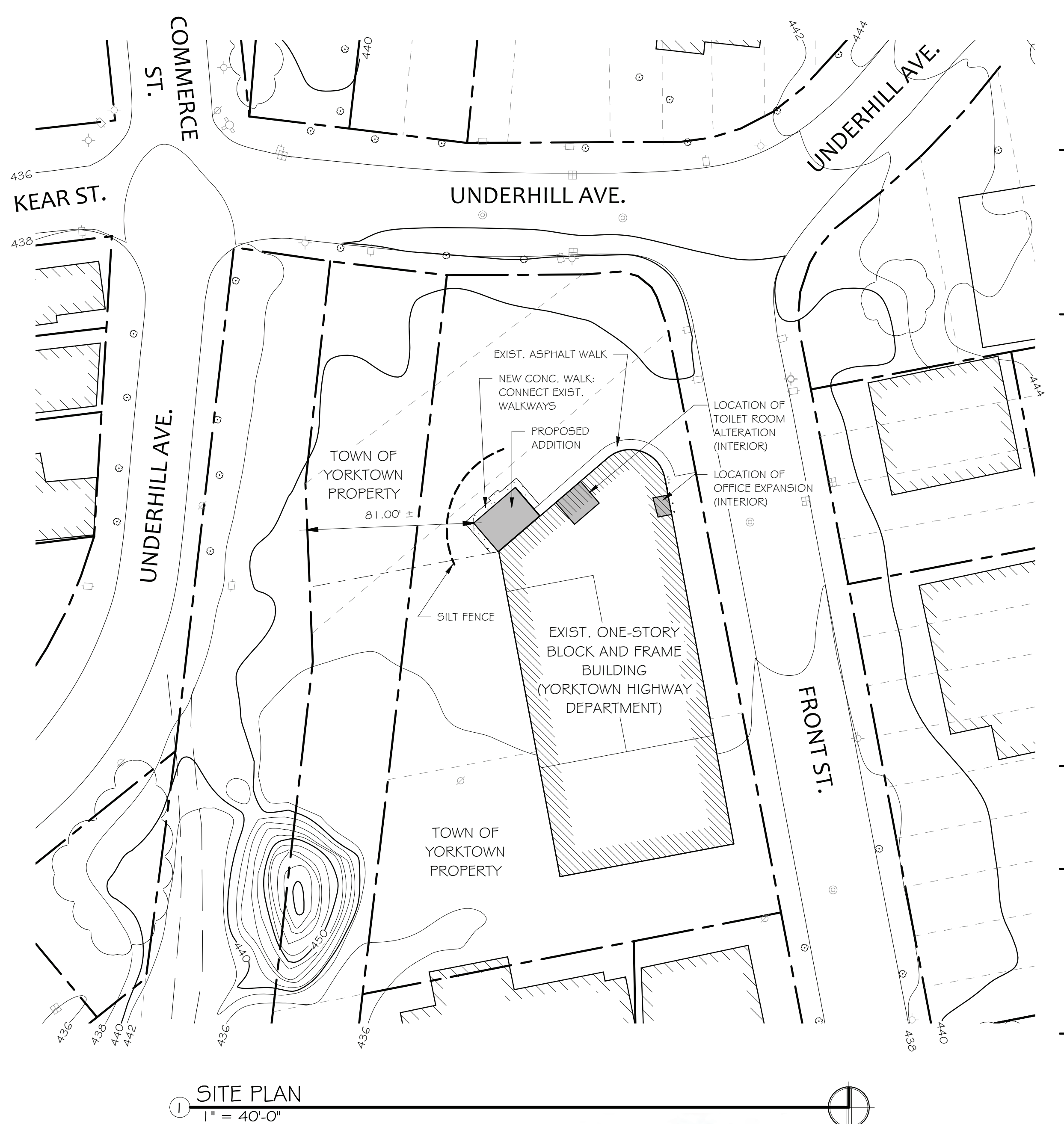
No Scale



- SILT FENCE NOTES:**
- Silt fence installation and location, along with materials, shall be subject to approval by the local municipality or authority having jurisdiction.
  - Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1-1/2" x 1-1/2" square (minimum) cut, or 1-3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.0 pound per linear foot.
  - Silt fence shall be securely fastened to each fence post with wire ties or staples at top and mid-section and the posts.
  - Where ends of silt fence fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
  - Where posts occur along the length of the silt fence fabric they shall be rotated 180-degrees prior to staking to facilitate the fencing wrapping around the posts.
  - Silt Fence shall be inspected after each rainfall event and maintained or reinstalled when bulges occur or when sediment accumulation reached 50%
  - Silt fence material shall meet or exceed the following requirements:  
Tensile Strength: (ASTM D-4632) 125-lbs  
Elongation: (ASTM D-4632) 15%  
Tear Strength: (ASTM D-4533) 80-lbs  
Puncture: (ASTM D-4833) 60-lbs  
Mullen Burst: (ASTM D-3786) 345-lbs  
Flow Rate: (ASTM D-4491) 30-gpm/sf  
Openings-A.O.S.: (ASTM D-4751) 40 US Sieve  
500-Hr. UV Resist.: (ASTM D-4355) 80% of the fabric height.

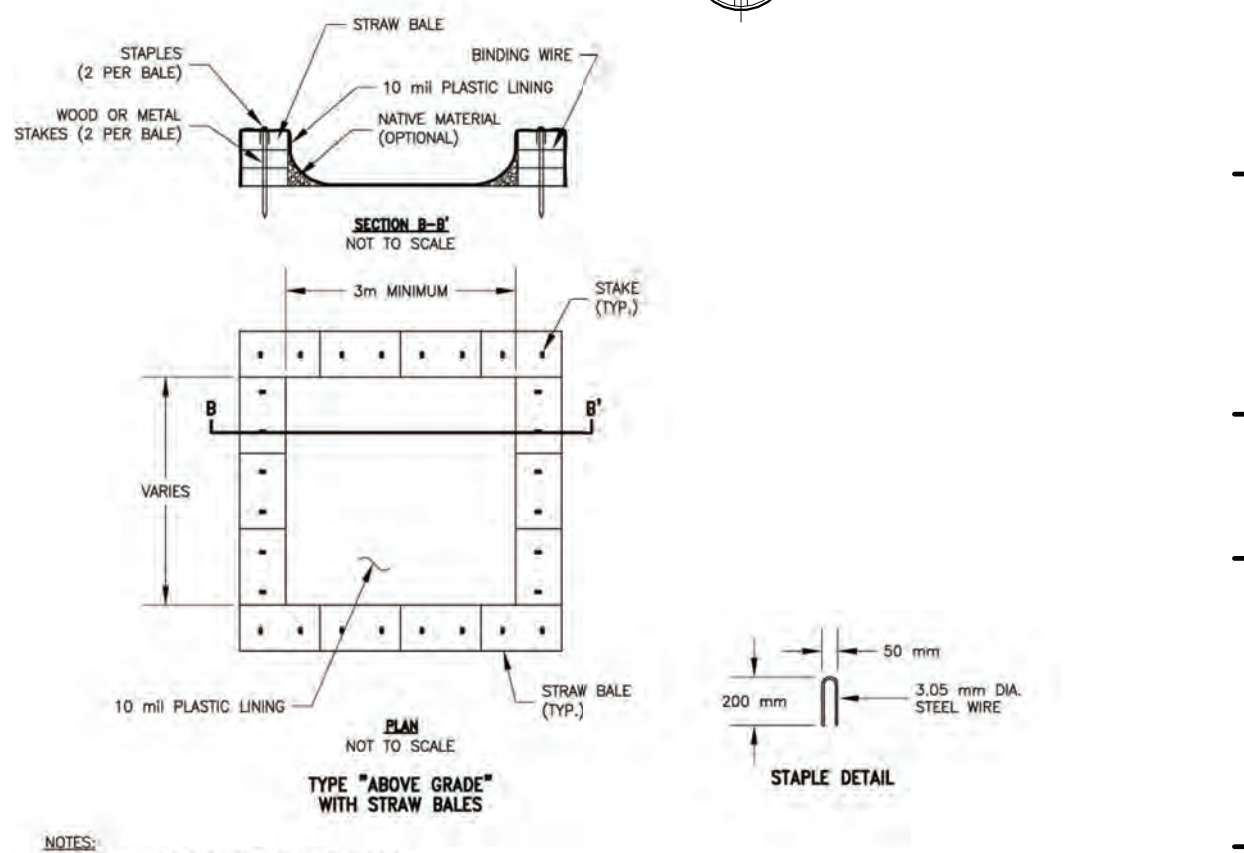
### SILT FENCE DIAGRAM

No Scale



### TREE TRUNK ARMOR DIAGRAM

No Scale



### CONCRETE WASH-OUT DIAGRAM

No Scale

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.

Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

No.	Description	Date

Scale:

It is a violation of the New York State Law to alter these documents in any way once the Architect's seal and signature have been applied.

Construction Documents: For Permit and Construction

Project No: 22.03 Issue Date: 04.15.24

### PROJECT INFORMATION

Sheet Title: **A.01**

Sheet No: A.01



**DEMOLITION KEY**

 SYMBOL ON PLAN REFERENCES KEYNOTES BELOW

- 1 REMOVE EXISTING OVERHEAD GARAGE DOOR, TRACK, SUPPORTS AND ACCESSORIES IN ITS ENTIRETY
- 2 REMOVE PORTIONS OF EXISTING WALLS FOR NEW OFFICE EXPANSION
- 3 EXSTING DATA / ELECTRICAL PANEL TO BE REOCATED
- 4 REMOVE EXISTING WHEEL GUARDS
- 5 SAW CUT EXISTING PAVEMENT AND SLAB FOR INSTALLATION OF NEW GRADE BEAM AND NEW PAVEMENT
- 6 REMOVE EXISTING FLORR FINISH AND BASE THROUGHOUT SUPERINTENDANT'S OFFICE
- 7 SAW CUT PORTION OF EXISTING MASONRY WALL AS NECESSARY FOR NEW DOORS
- 8 REMOVE EXISTING NON-LOAD BEARING WALLS: RE-ROUTE ANY EXISTING ELECTRICAL AS NECESSARY
- 9 REMOVE EXISTING TOILET FIXTURES AND ASSOCIATED SUPPLY AND WASTE LINES AS NECESSARY FOR NEW LAYOUTS
- 10 REMOVE EXISTING SINK, HARDWARE, AND ASSOCIATED SUPPLY AND WASTE LINES AS NECESSARY FOR NEW LAYOUTS
- 11 REMOVE EXISTING ABANDONED PAN
- 12 REMOVE EXISTING UIT HEATER
- 13 REMOVE EXISTING DOORS, FRAMES AND HARDWARE
- 14 REMOVE EXISTING WALL INFILL AT EXISTING OPENING
- 15 REMOVE EXISTING WINDOW SECTION AS NECESSARY FOR NEW ADDITION

**DEMOLITION NOTES**

**ADMINISTRATION**

- 1. The G.C. and Subcontractors shall perform all demolition work as necessary in order to carry out the Work within this Contract. The contractor shall not consider these demolition notes to be all-inclusive. It is the Contractor's responsibility to inspect and assess each area and to fulfill the intent of the design indicated by the contract documents. Contractor shall coordinate demolition work with HVAC, electrical, fire protection and plumbing trades and proposed work and carry out such work accordingly. All necessary disconnects of equipment and systems shall be included.
- 2. The General Contractor shall visually inspect all existing conditions and shall coordinate any outstanding demo issues with the Architect prior to beginning work. G.C. shall notify Architect of discrepancies between existing conditions and Drawings before proceeding with any Work. Some portions of the Work may not specifically or graphically be shown on the plans but shall be included as a requirement for Work to be performed (i.e. electrical wiring, ductwork, hardware, etc.)
- 3. It shall be the responsibility of the Contractor to apply for, pay for, and obtain Demolition permit. All applicable permits, inspections, approvals, etc. shall be applied for and paid for by the trade Contractor(s) required to do so in the field of their Work. Contractor shall be responsible for the coordination of inspections and approvals of said Work. A copy of the municipality approved plans, stamped with the permit number, shall be kept at site together with any revisions and addenda made during construction.
- 4. Architect is not retained for supervision of construction demolition nor for construction demolition methods, safety procedures and programs, scheduling, delays, or compliance with contract documents. However, the Architect may observe the Work in progress by means of periodic site visits. If requested, the Architect will provide interpretation of the drawings and code requirements as necessary. These observations and interpretations do not relieve the Contractor from any responsibility to carry out the Work in accordance with the Contract Documents or requirements of the Building Code or municipalities having jurisdiction.
- 5. Contractor shall coordinate start date, duration and times of demolition work with Owner. Contractor shall comply with any requirements or restrictions of the local municipality for permitted times of Work.
- 6. Contractor shall comply with hauling and disposal regulations of authorities having jurisdiction. Comply with ANSI A10.6 and NFPA 241 and all standards required by Authorities having Jurisdiction if required for this project.
- 7. Contractor shall coordinate start date, duration and times of demolition work with Owner. Contractor shall comply with any requirements or restrictions of the local municipality for permitted times of Work.
- 8. Any controlled inspections and/or certifications required by governing authorities having jurisdiction over the project shall be performed and certified by a licensed Professional Engineer either retained by the Owner or the General Contractor. This must be coordinated between the two parties prior to the start of the Work.
- 9. Demolition work is intended to include all associated built-in items such as electrical/data outlets, switches, conduits, controls, piping, mounting blocks, etc. Demolition Work shall include all existing conduit and wiring back to panel and all abandoned plumbing and waste lines back to the supply and waste mains.
- 10. The General Contractor, and/or Plumbing Contractor and Electrical Contractor, must contact the corresponding utility company in advance of any Work requiring removal, modification, or replacement of services and/or meters. Each Contractor is responsible, in a timely manner, for acquiring permits and paying such fees, scheduling inspections and acquiring all approvals and close-out documents and procedures as required by the associated utility company or service.
- 11. Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain and to ensure safe passage of people around Work area and to and from occupied portions of building.
- 12. All Work in a public Right of Way is subject to the requirements of the D.P.W. and/or Town Engineer. Contractor shall be responsible for acquiring a permit from D.P.W. for this Work, providing and acquiring bond, adhering to all D.P.W. specifications and obtaining written approval from D.P.W. and/or Town Engineer at completion of Work.

**HAZARDOUS MATERIALS**

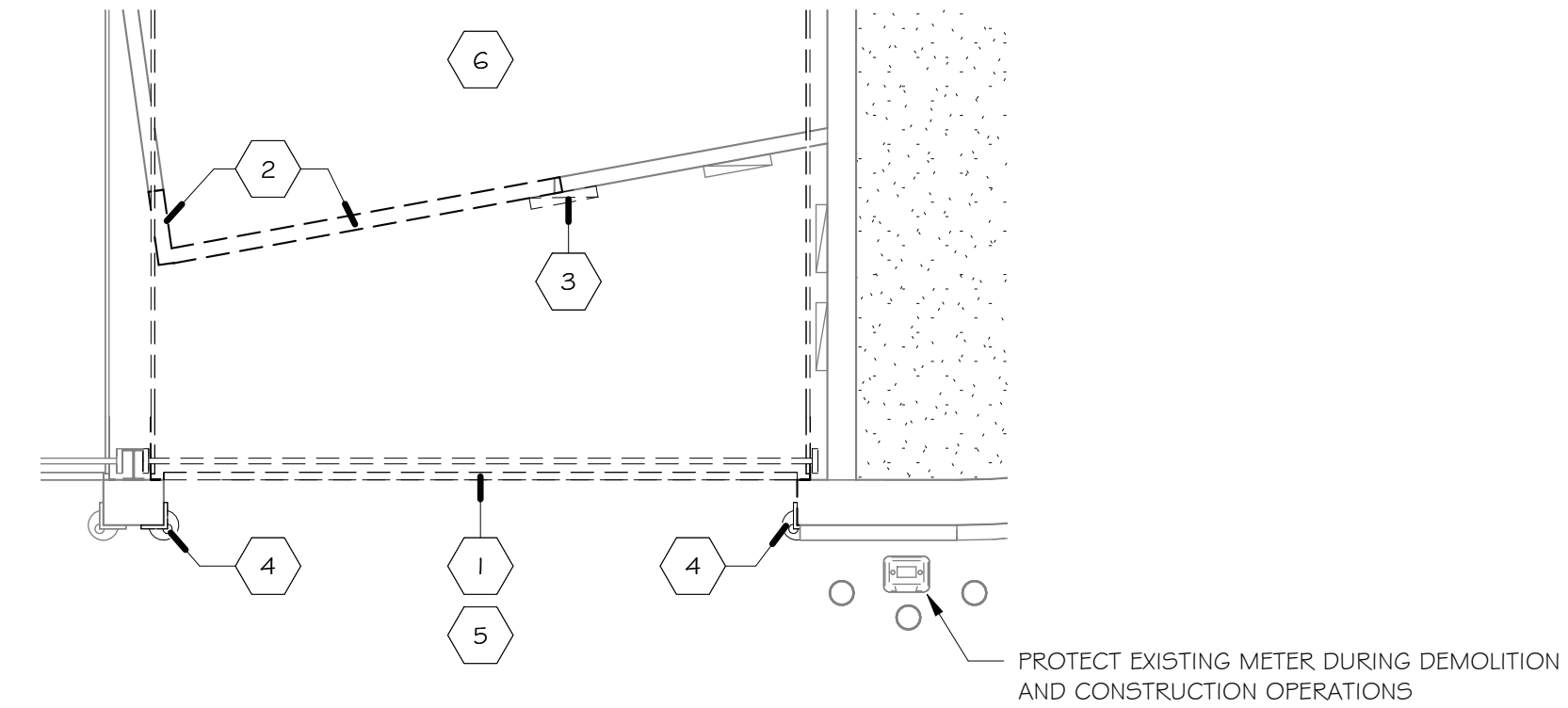
- 1. Architect not retained, nor responsible, to locate or for the identification, removal, testing and / or certification of removal relative to any hazardous substance including, but not limited to, PCB's, petroleum, mold infestation, hazardous waste, asbestos, lead paint, lead piping, and similar substances.
- 2. If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.
- 3. The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.
- 4. Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from this Work.

**STRUCTURE AND SHORING**

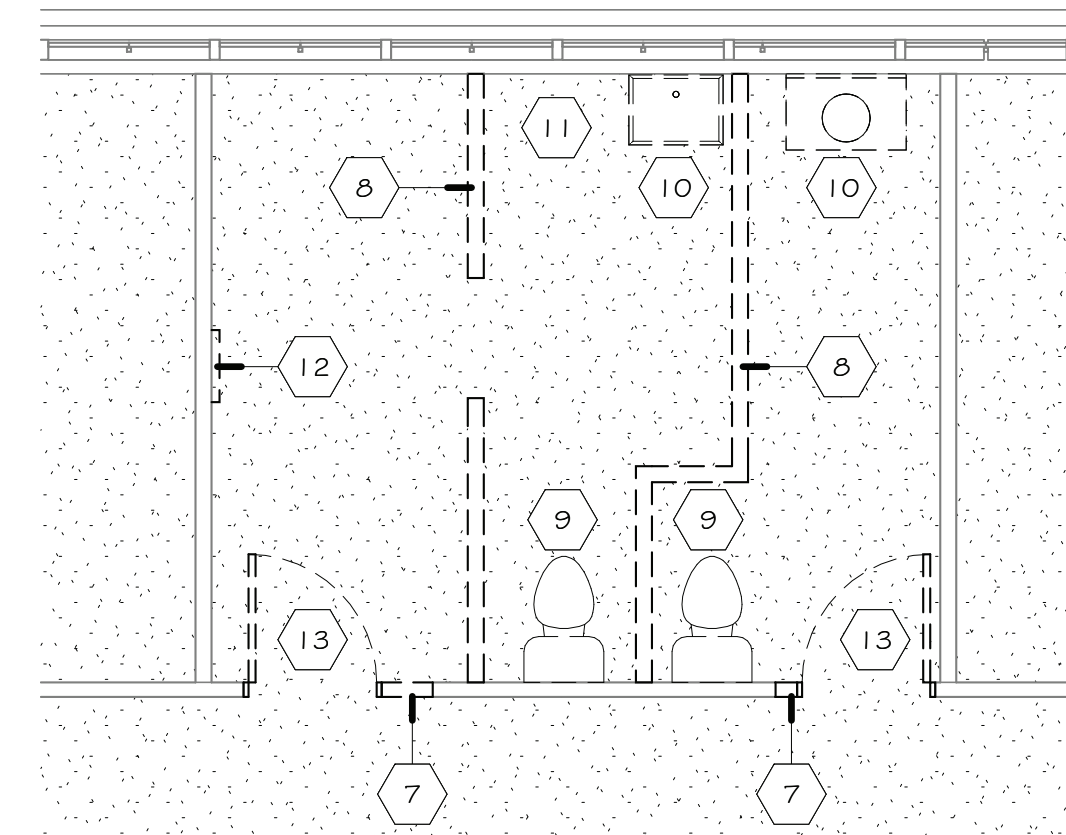
- 1. Architect not responsible for the design, designation, location, or assembly of any temporary shoring. If advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
- 2. Contractor shall provide and be responsible for all temporary shoring (shoring, needle beams, temporary posts, temporary beams, temporary girders, etc.) as may be required for this Work and for the support and stability of the for support of load-bearing elements that are to remain in a safe and secure manner during demolition, modification, erection Work, or any other Work on this project.
- 3. General Contractor shall be responsible for all The General Contractor, or the scaffolding contractor, shall provide to the Architect and (if required) the Building Inspector, a stamped plan or specification prepared by a New York State Licensed Professional Engineer for any lateral and vertical temporary supports and sidewalk bndging.

**EXECUTION**

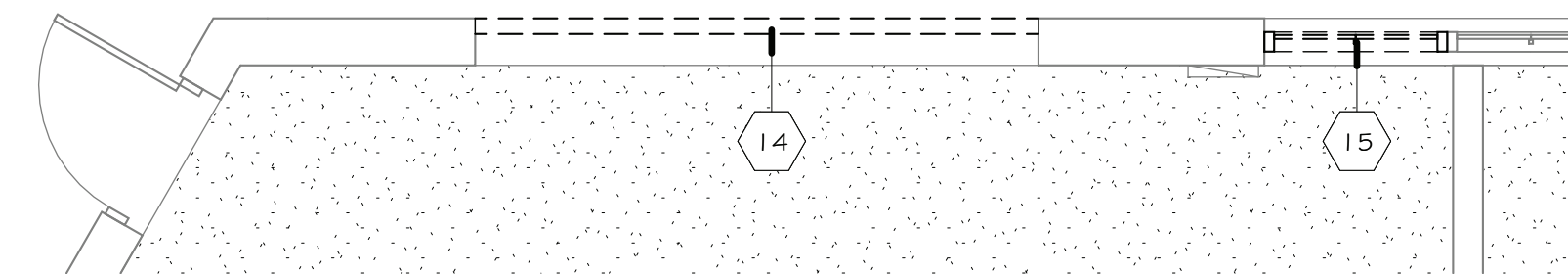
- 1. Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them.
- 2. Contractor shall maintain all measures of sanitation (HEPA filters, negative pressurized areas, compartmentalization measures, sticky mats, etc.) as required by applicable Authorities Having Jurisdiction over this project.
- 3. Provide dumpster for debris removal. Coordinate location with Owner. Remove demolition materials by the end of each work day and vacuum public/common areas before leaving Site. Transport demolished materials off property and legally dispose of them at intervals as necessary to prevent build-up or overflow of demolished material.
- 4. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent. Do not allow demolished materials to accumulate on-site. Do not burn demolished materials. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- 5. G.C. shall be responsible to protect all interior walls, ceiling and floors, MEP systems, etc. that are to remain during demolition and construction from damage. G.C. shall be responsible for the replacement, repair and refinishing of any items that are damaged because of demolition activities.
- 6. Maintain existing services/systems to adjacent properties, spaces, tenants, etc. that not part of the Work but that are supplied by any services being affected by the Work. Provide temporary services if existing is insufficient.
- 7. Maintain fire-protection facilities in service during course of the Work as required by the local municipality. Coordinate times, locations and zones of any areas where fire protection or life safety or critical operating services need to be suspended or offline with the Owner in advance of any work that may affect such operation. Do not proceed with any demolition work of these items without obtaining approval and or notice by the Owner.
- 8. Provide temporary weather protection to prevent water leakage and damage to structure and interior areas. Protect walls, ceilings, floors, and other existing finish Work that are to remain or that are exposed during the Work. Cover and protect furniture, furnishings, and equipment that have not been removed.
- 9. Patch any damage to walls, floors and ceilings separating adjacent tenants and common paths of egress to a condition necessary to maintain the appropriate existing fire separation. This includes the installation of smoke sealant at wall joins, wall to ceiling, wall to floor, and pipe/duct/electrical penetrations.
- 10. Contractor shall maintain all fire separations between occupancies, spaces, shafts, etc. that are required to be rated. Any assemblies discovered that are to be rated, which are not, shall be brought to the Owner's and Architect's attention in a timely manner prior to continuing work associated with that condition.
- 11. Contractor shall provide and maintain temporary lighting for safety purposes and shall provide temporary electric and plumbing as necessary to carry out the demolition work. Contractor shall provide and maintain fire extinguishers on site during the work. Type of extinguisher shall be determined by the nature of the work. Fire extinguishers shall always be readily accessible.
- 12. Patch all construction and assemblies that are to remain in accordance with the contract drawings. Where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. Verify with owner, the disposition and removal of any components of salvageable value.
- 13. Clean spaces, surfaces, adjacent structures and improvements of dust, dirt, and debris caused by demolition operations— this includes areas of travel, dumpster and carting locations and locations outside the Area of Work. Return adjacent areas to condition existing before selective demolition operations began.
- 14. Patch or rebuild any areas to remain that have been damaged or disturbed by HVAC, electrical, fire protection and plumbing demolition.



① SUPERINTENDANT OFFICE - DEMOLITION PLAN  
1/4" = 1'-0"



② TOILET ROOMS - DEMOLITION PLAN  
1/4" = 1'-0"



③ BREAKROOM - DEMOLITION PLAN  
1/4" = 1'-0"

**DAVID A. TETRO**  
ARCHITECT P.C.



302 Lewis Avenue  
Yorktown Heights  
NY 10598

914.962.3113  
dtetarchitect@gmail.com

Project Title:  
**YORKTOWN HIGHWAY  
GARAGE**

Client:  
**TOWN OF YORKTOWN**

Address:  
**281 Underhill Avenue  
Yorktown Heights, NY 10598**

Consultants:

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.  
Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

No.	Description	Date



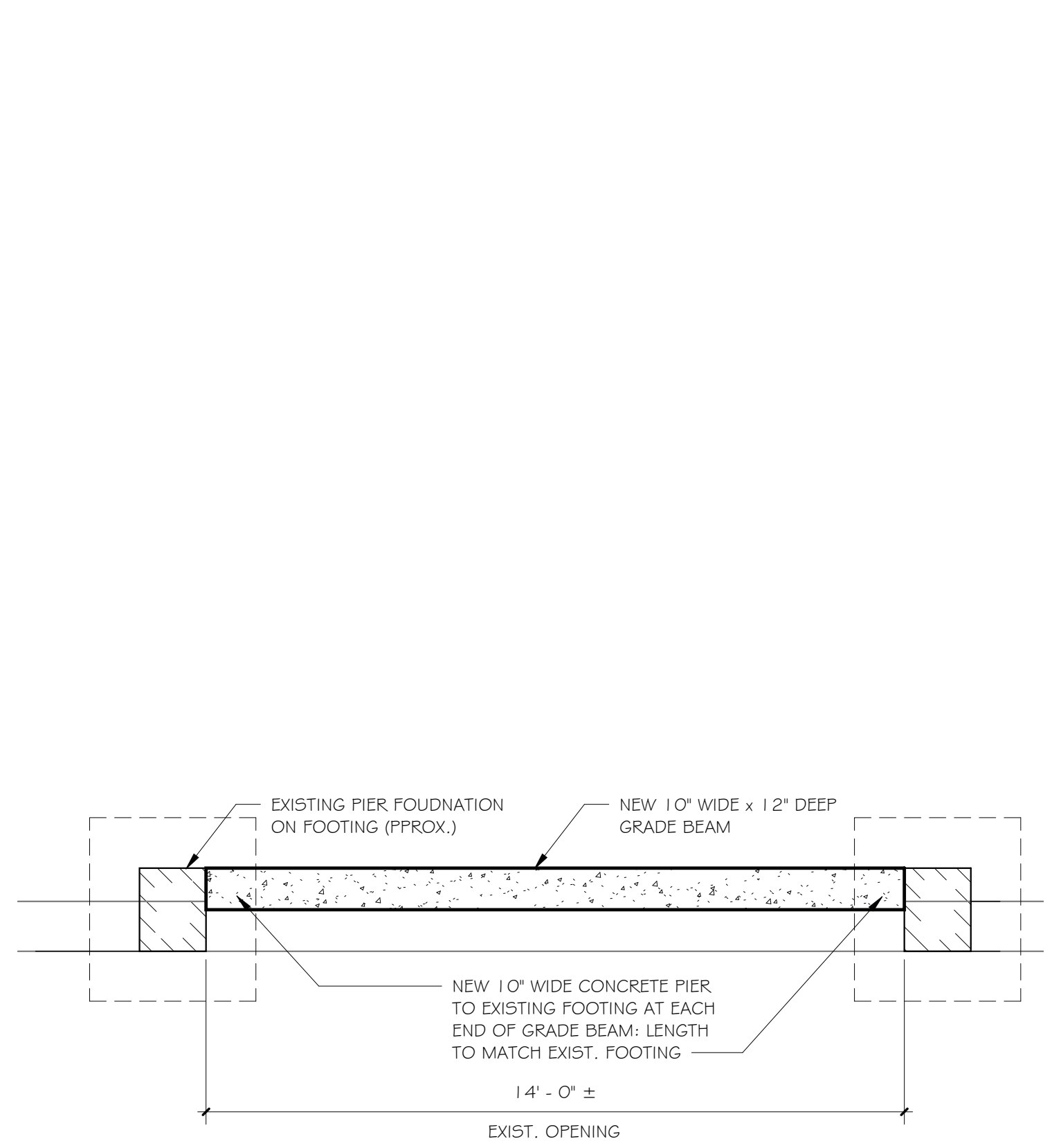
Status:  
**Construction Documents: For  
Permit and Construction**

Project No.: **22.03** Issue Date: **04.15.24**

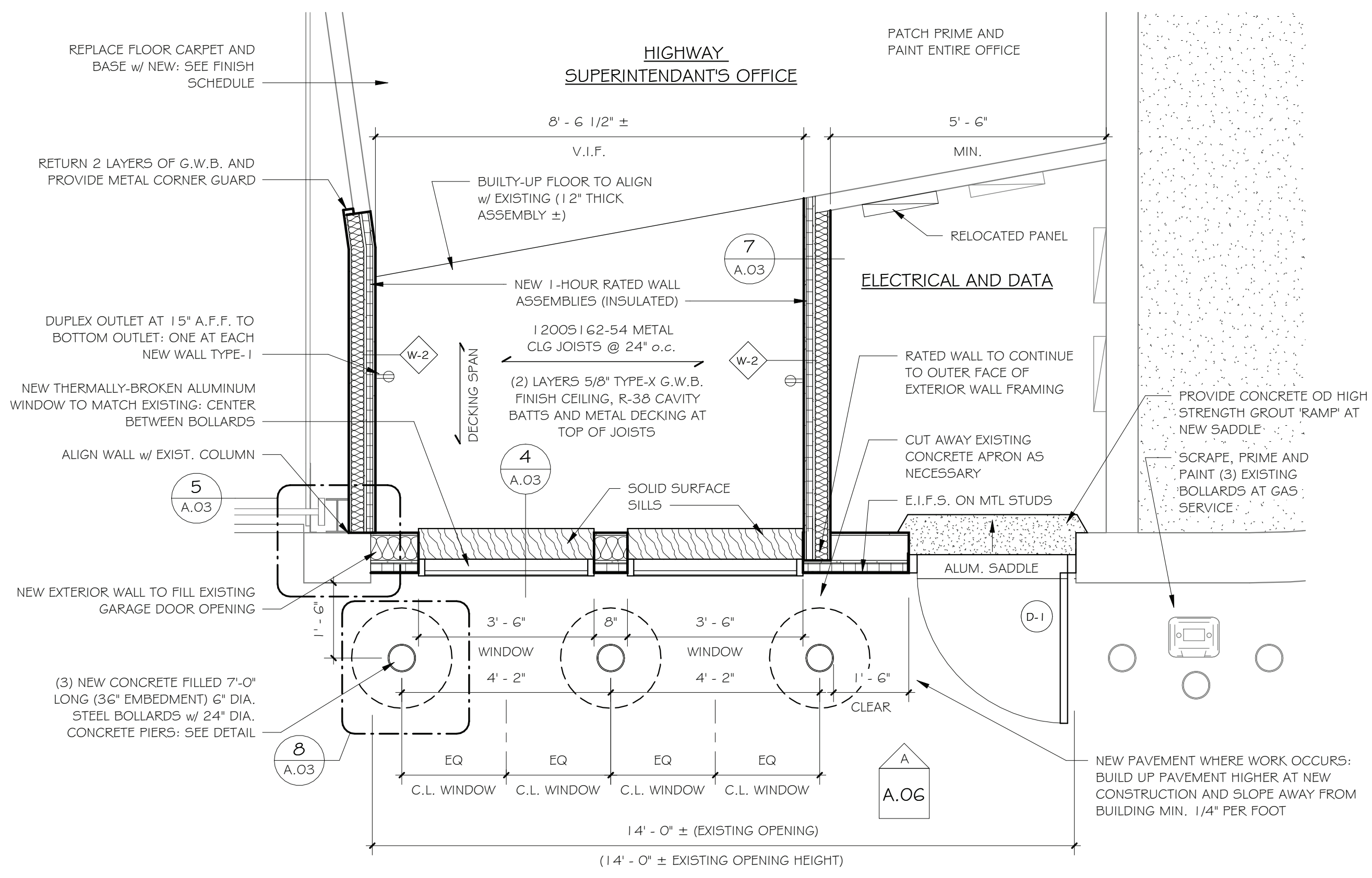
Sheet Title:  
**DEMOLITION PLANS  
AND NOTES**

Sheet No.:  
**A.02**

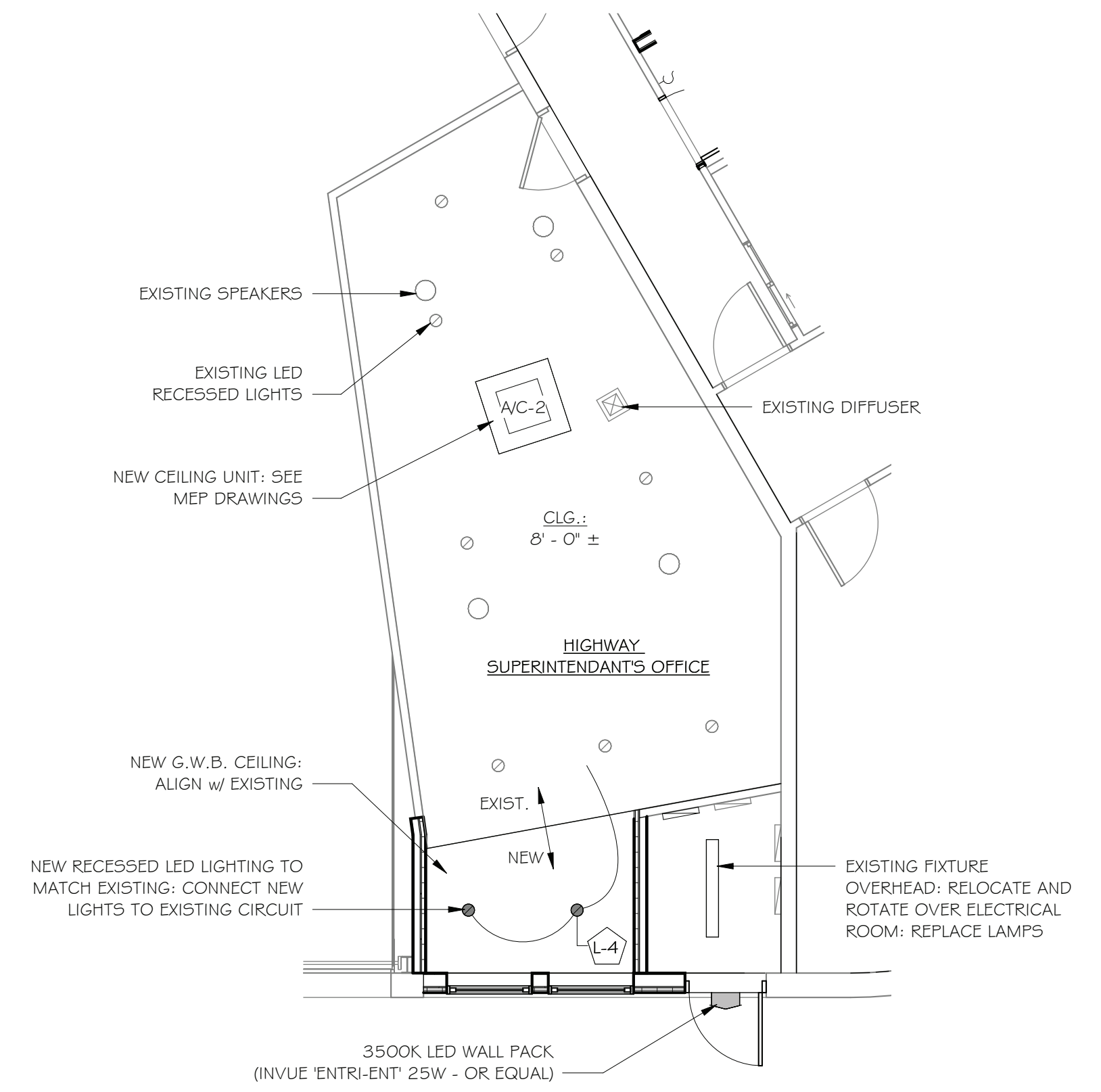
Z:\DT-Architecture-Studio\DAT-Projects\2023-YHD-Addition\Cad\Revit\2203-YHD-Addition-CD



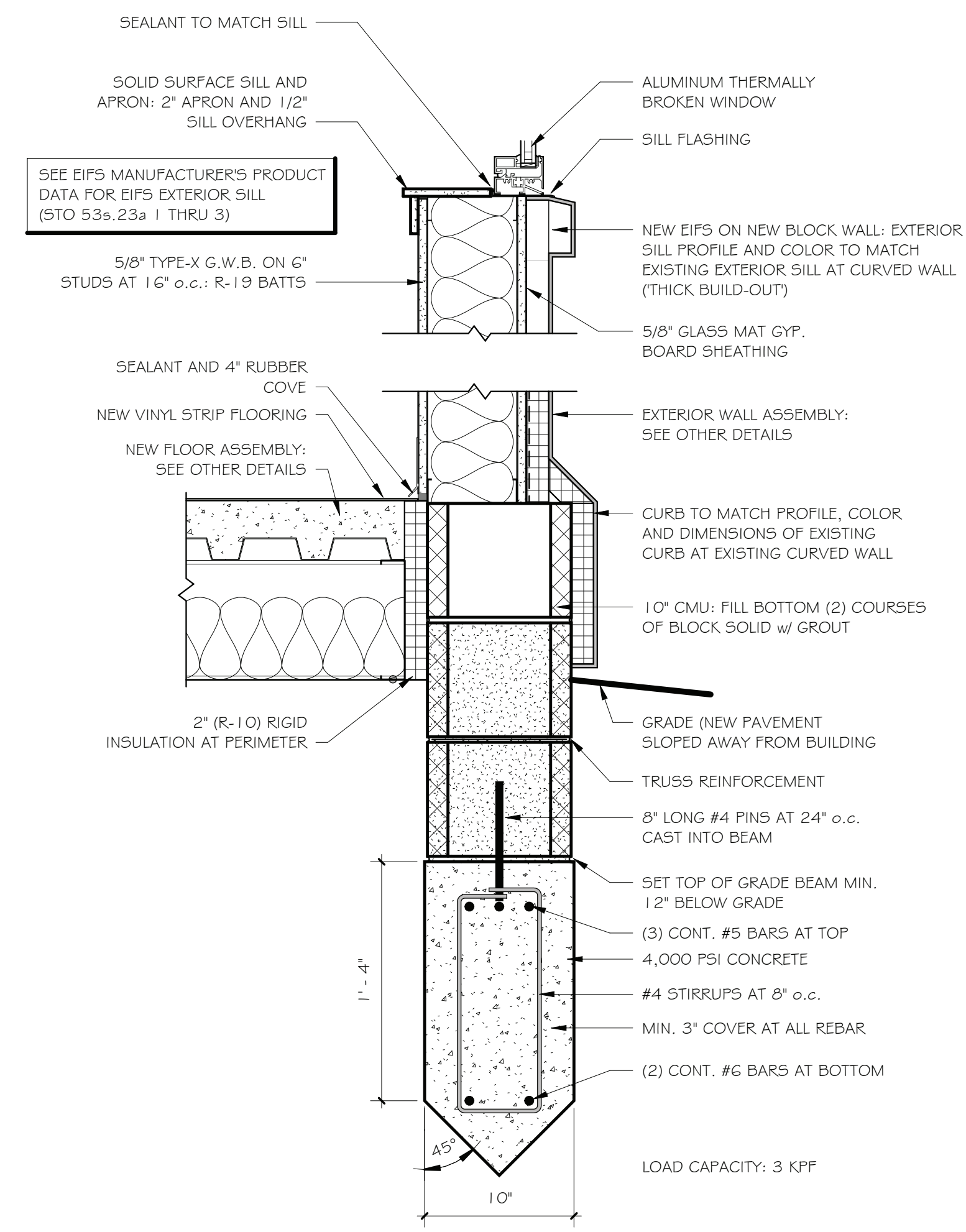
① SUPERINTENDANT OFFICE - FOUNDATION PLAN  
3/8" = 1'-0"



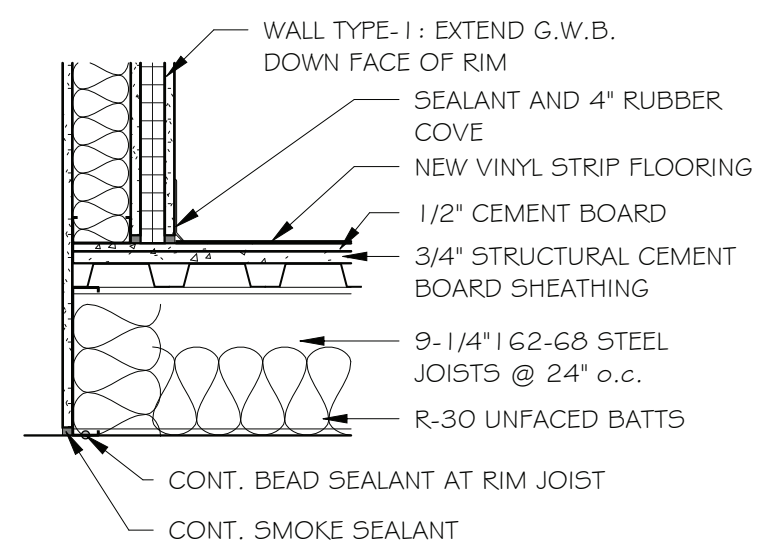
② SUPERINTENDANT OFFICE - FLOOR PLAN  
1/2" = 1'-0"



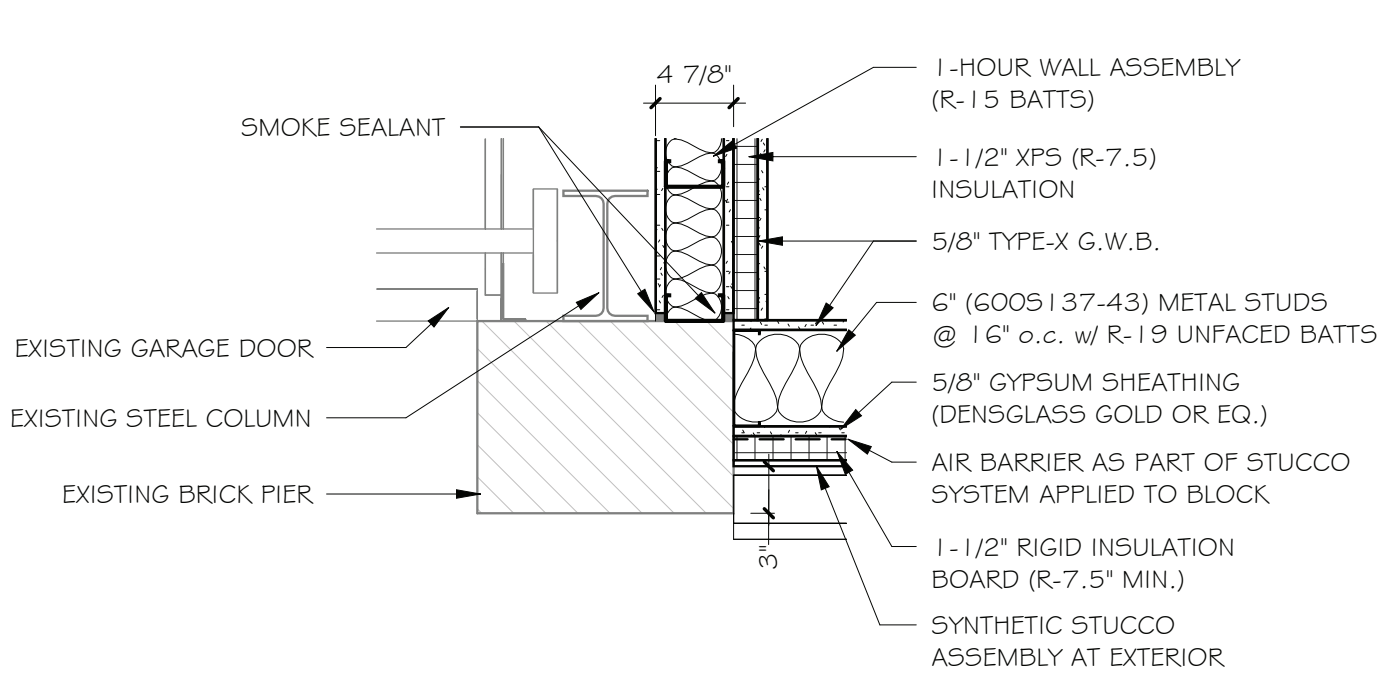
③ SUPERINTENDANT OFFICE - REFLECTED PLAN  
3/16" = 1'-0"



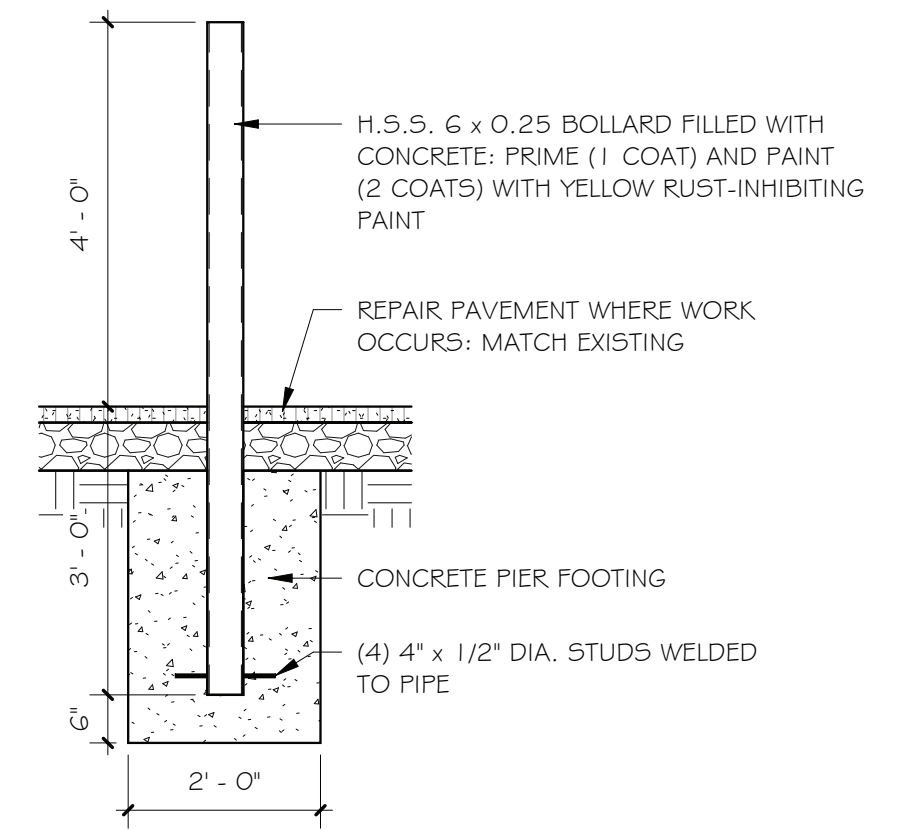
④ GRADE BEAM  
1/2" = 1'-0"



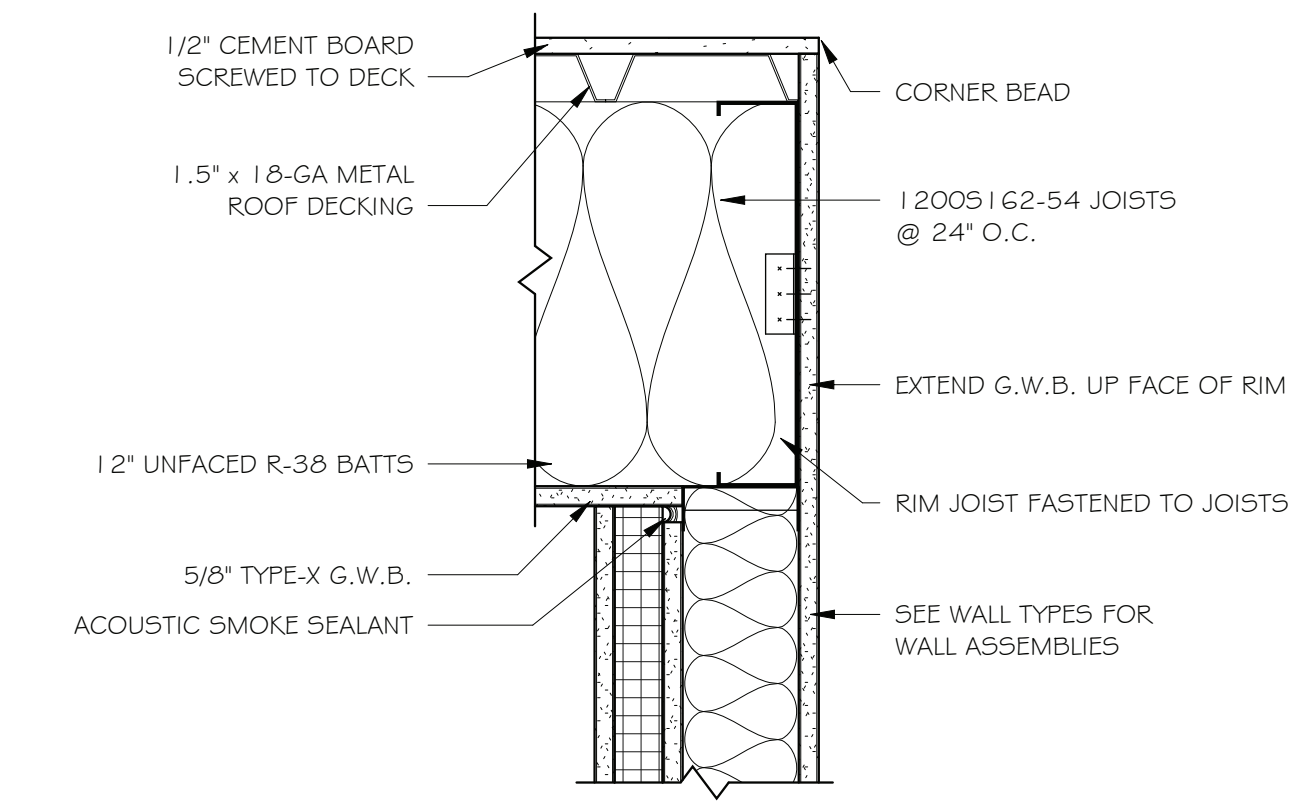
⑥ FLOOR AT OFFICE EXPANSION  
1" = 1'-0"



⑤ NEW WALL AT GARAGE DOOR - PLAN VIEW  
1" = 1'-0"



⑧ BOLLARD  
1/2" = 1'-0"



⑦ HARD CEILING - END WALL  
2" = 1'-0"

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.  
Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

No.	Description	Date



Status:  
**Construction Documents: For Permit and Construction**

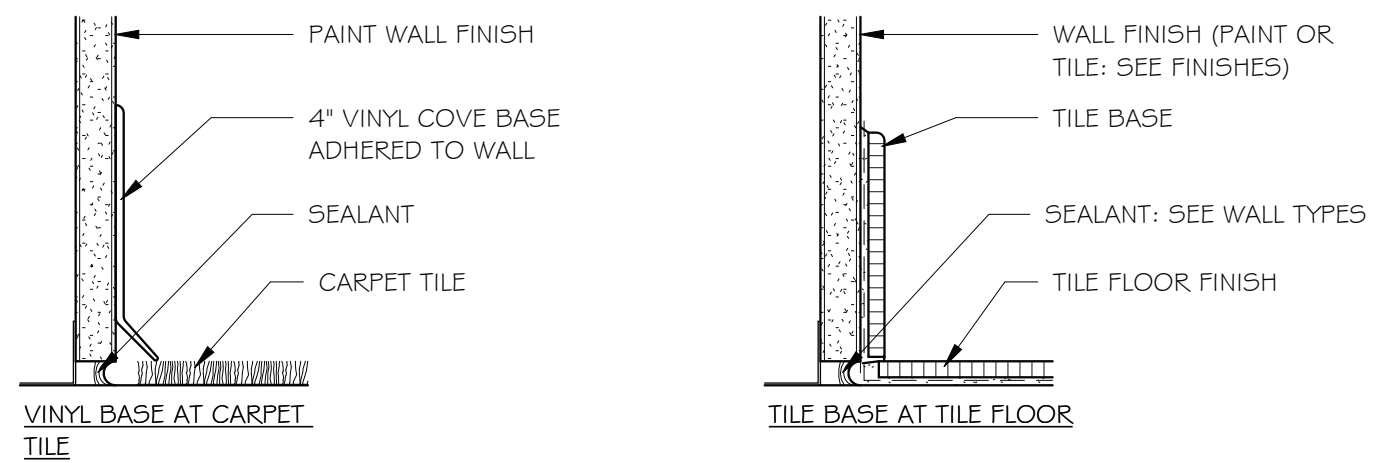
Project No: **22.03** Issue Date: **04.15.24**

Sheet Title:  
**PROPOSED OFFICE EXPANSION**

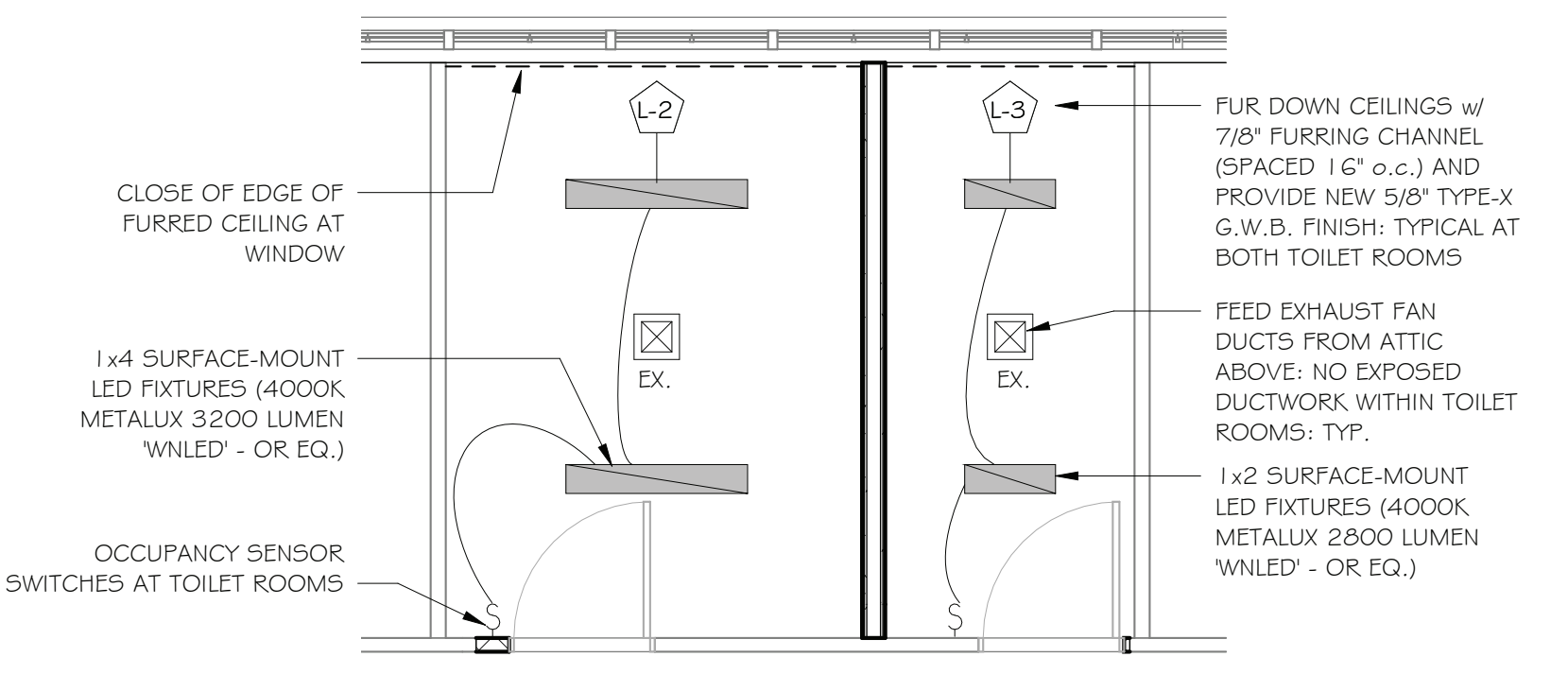
Sheet No:  
**A.03**

4/16/2024 5:44:34 AM

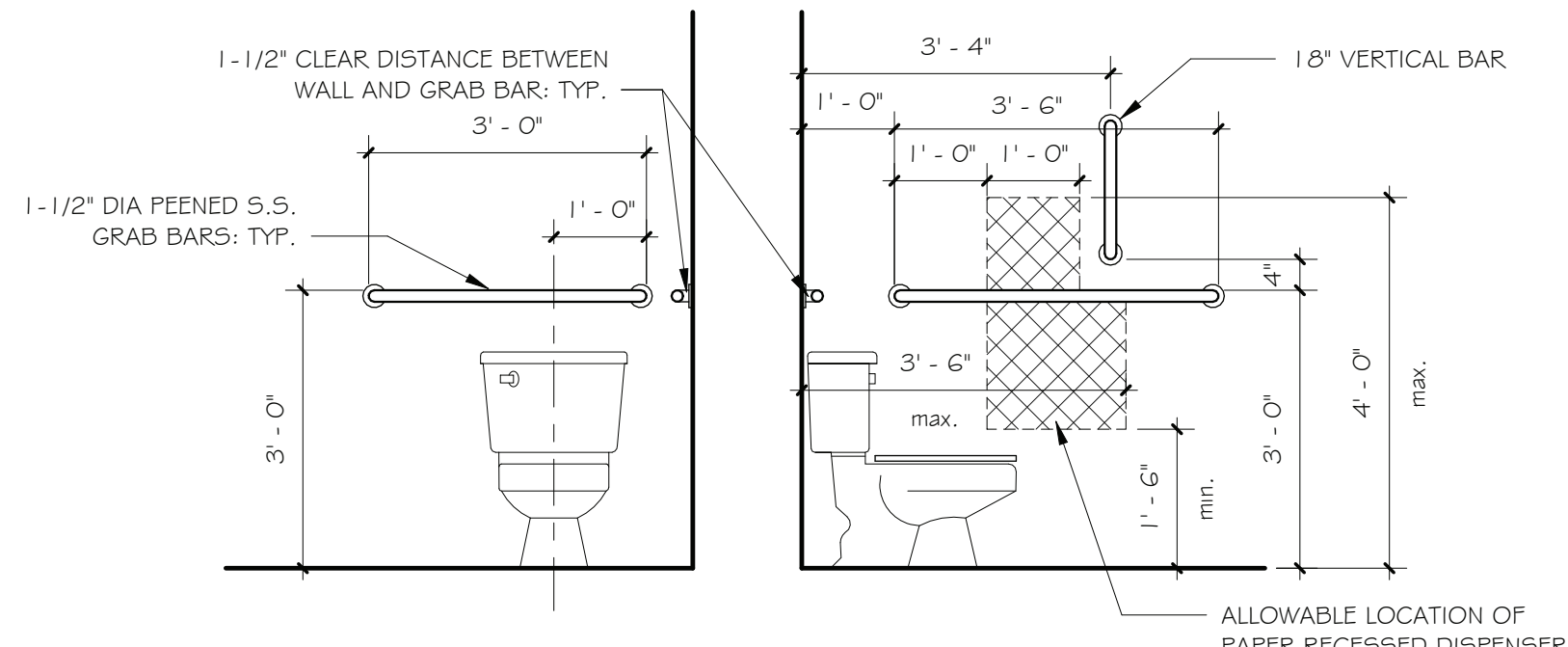
Z:\DT-Architecture-Studio\DAT-Projects\2022\2203-YHD-Addition\Cad\Revit\2203-YHD-Addition-CD



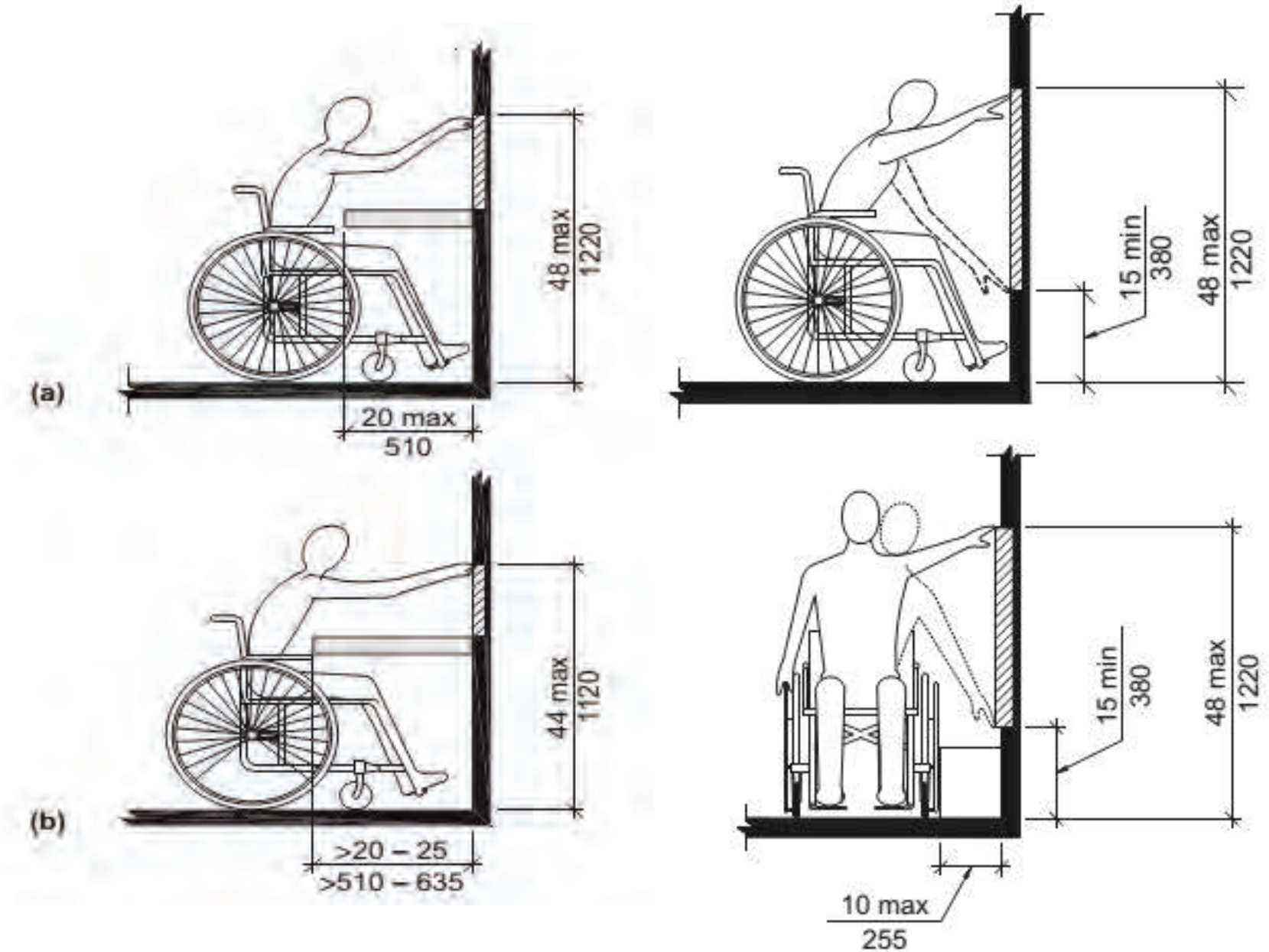
⑧ **BASE DETAILS**  
4" = 1'-0"



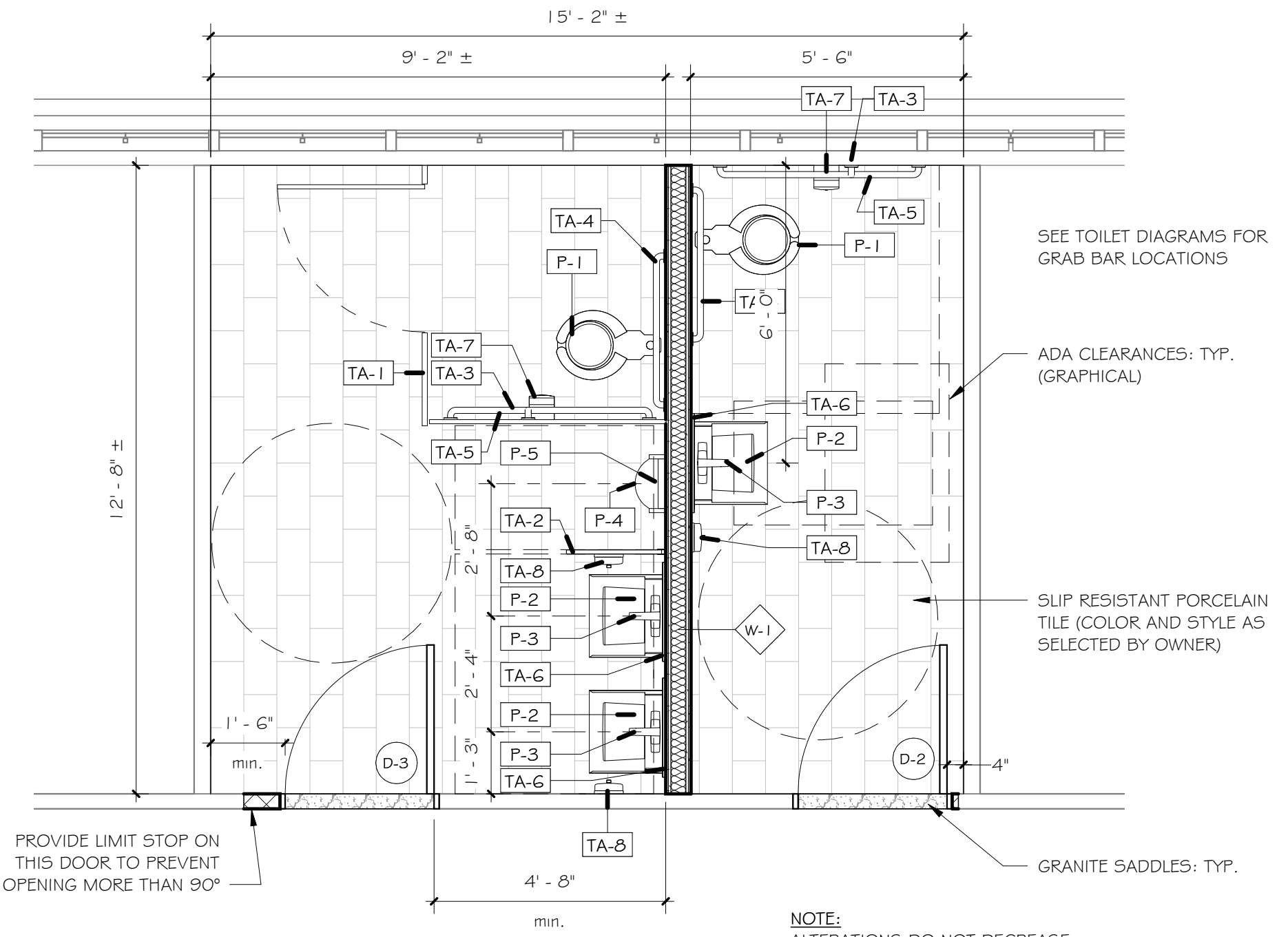
② **TOILET ROOMS - REFLECTED PLAN**  
1/4" = 1'-0"



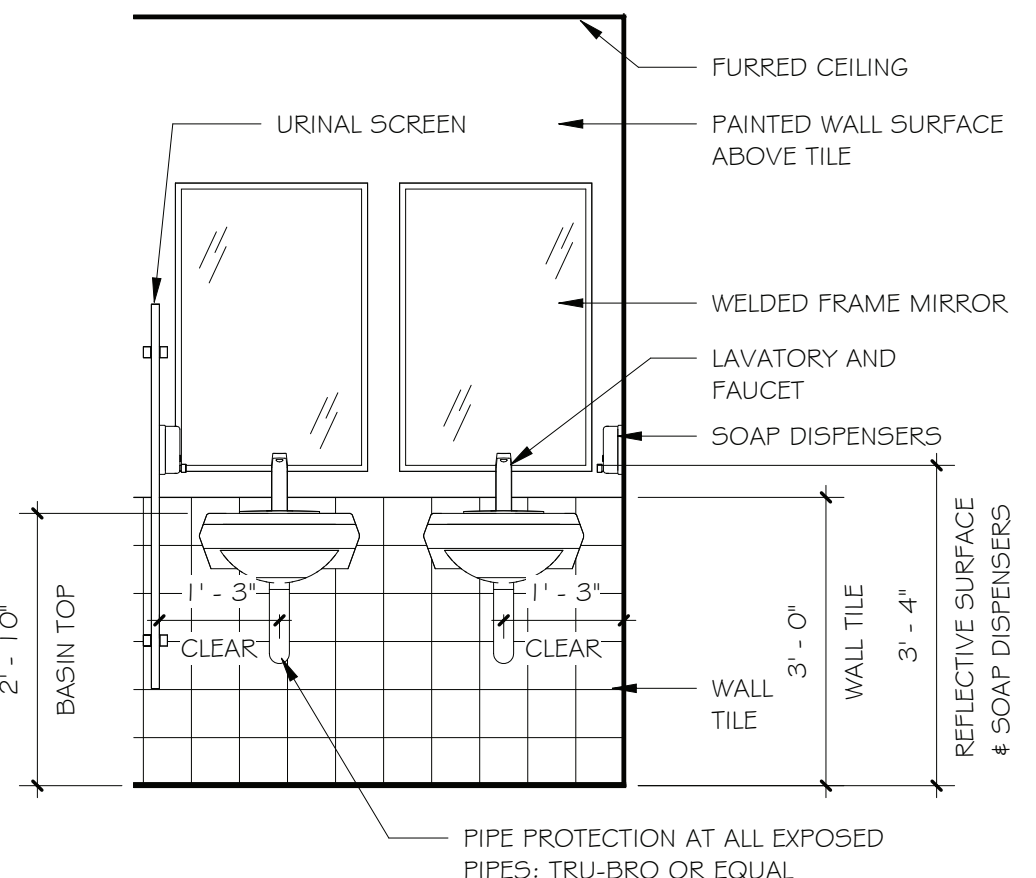
④ **TOILET ELEVATIONS**  
1/2" = 1'-0"



⑦ **ACCESSIBLE REACH AREAS**  
12" = 1'-0"



① **TOILET ROOMS - PROPOSED PLAN**  
3/8" = 1'-0"

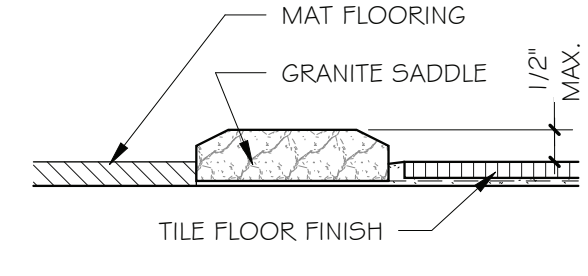


③ **LAVATORY ELEVATIONS**  
1/2" = 1'-0"

WOMEN'S ROOM AND BUNK ROOM TOILET ROOM SIMILAR



⑤ **TOE AND KNEE CLEARANCES**  
3/4" = 1'-0"



⑥ **TOILET SADDLE DETAIL**  
4" = 1'-0"

TOILET ACCESSORY SCHEDULE					
MARK	QUANTITY	DESCRIPTION	MANUFACTURER	MODEL No.	REMARKS
TA-1	1	Restroom Partitions, Floor-Mounted with Overhead Brace - ADA Compliant	Bradley Corporation	Powder Coated - Series 400 - Sentinel™	Color as selected by Owner
TA-2	1	Restroom Partitions, 23" x 48" Urinal Screen	Bradley Corporation	Powder Coated - Urinal Screen	Color as selected by Owner
TA-3	3	Bobrick 18" Straight Peened Grab Bar	Bobrick Washroom Equipment, Inc.	B-680G	
TA-4	3	Bobrick 36" Straight Peened Grab Bar	Bobrick Washroom Equipment, Inc.	B-680G	
TA-5	3	Bobrick 48" Straight Peened Grab Bar	Bobrick Washroom Equipment, Inc.	B-680G	
TA-6	4	Bobrick 24" x 36" Welded Frame Mirror	Bobrick Washroom Equipment, Inc.	B-290 2436	
TA-7	2	Bobrick B-4288 Dual Toilet Roll Holder with Locking Cover Door	Bobrick Washroom Equipment, Inc.	B-4288	
TA-8	4	Bobrick B-4112 Contura Series Surface Mounted Soap Dispenser	Bobrick Washroom Equipment, Inc.	B-4112	
TA-9	1	Bobrick B-4388 Contura Series Recessed Multi-roll Toilet Tissue Dispenser	Bobrick Washroom Equipment, Inc.	B-4388	

PROVIDE UNIT PRICE FOR A TOILET SEAT COVER DISPENSER (SUPPLY AND INSTALL) IN BID FOR EACH TOILET: BOBRICK B-4221 - SURFACE MOUNTED.  
PROVIDE HOOK AT TOILET PARTITION IN MEN'S ROOM AND INTERIOR SURFACE OF DOOR IN WOMEN'S ROOM.

PLUMBING FIXTURE SCHEDULE					
MARK	QUANTITY	DESCRIPTION	MANUFACTURER	MODEL No.	REMARKS
P-1	2	ADA-Compliant 1.1 / 1.6 GPF floor-mount toilet w/ sensor flush valve and seat	American Standard	Madera	
P-2	8	'COMRADE' Basin, 4" centers, 20" x 18-1/4" x 6-1/4" deep, wall hung, faucet ledge, rear overflow and with wall hanger.	American Standard	O124.024	
P-3	4	<vanes>	<vanes>	<vanes>	
P-4	1	Wall-Hung Urinal - 0.125 gpf to 0.5 gpf Top Spud	American Standard	6002.001 (Pintbrook)	
P-5	1	Battery Operated 0.125 GPF Sensor Urinal Flush Valve	American Standard	606301.3.002 (Ultima Selectronic)	

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.  
Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

No.	Description	Date



It is a violation of the New York State Law to alter these documents in any way once the Architect's seal and signature have been applied.

Status:  
**Construction Documents: For Permit and Construction**

Project No.: 22.03  
Issue Date: 04.15.24

Sheet Title:  
**PROPOSED TOILET ROOM LAYOUT AND MISC. DETAILS**

Sheet No.:  
**A.04**

4/16/2024 5:44:35 AM

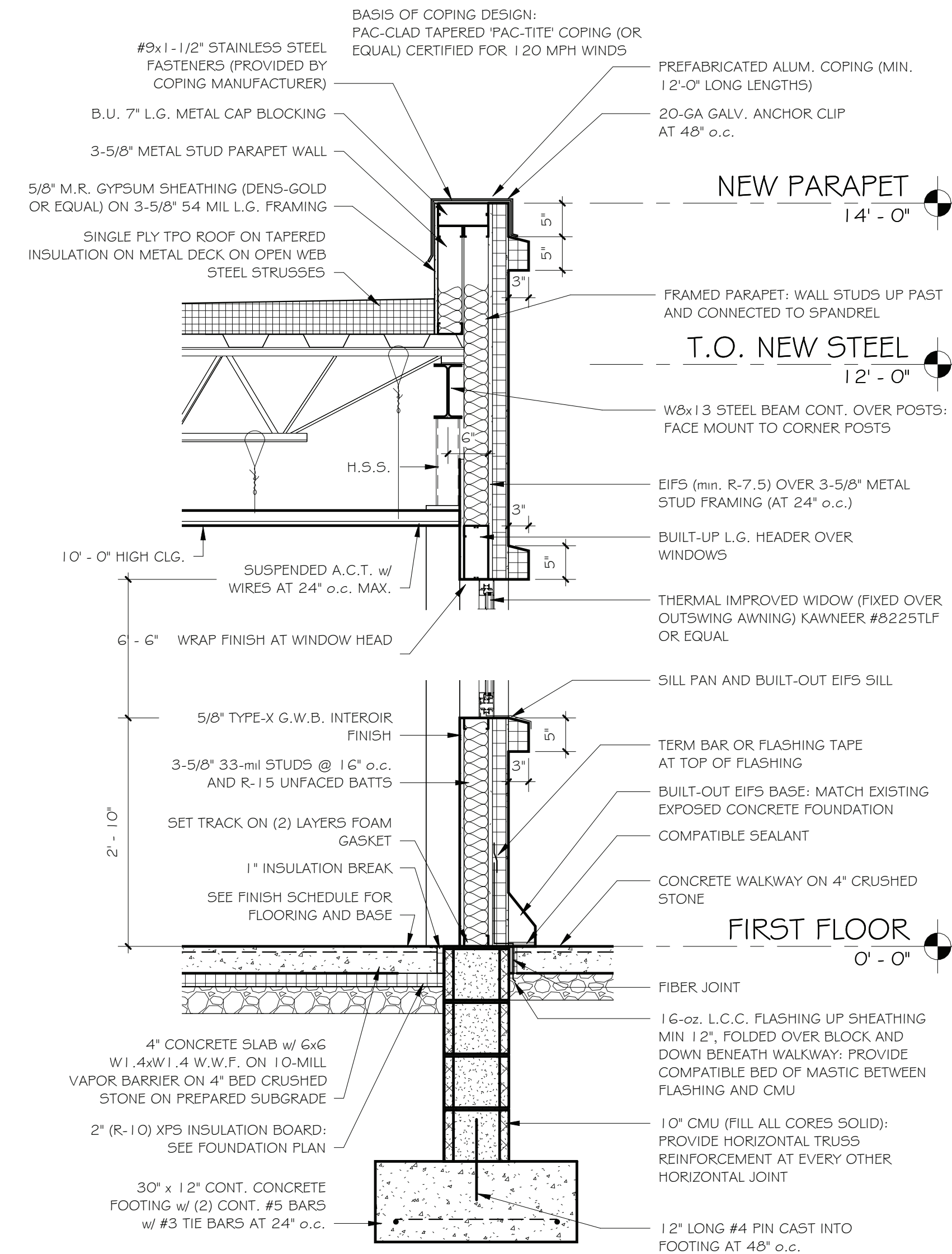
**FINISH SCHEDULE**

SPACE	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
BUNK ROOM	CARPET TILE #1	4" VINYL COVE #2	PAINT #1	A.C.T. #1	
OFFICE	CARPET TILE #2	4" VINYL COVE #2	PAINT #2	CEILING PAINT	MATCH NEW TO EXISTING SURFACES
MEN'S ROOM	PORCELAIN TILE	PORCELAIN BASE	PAINT #3	CEILING PAINT	
WOMEN'S ROOM	PORCELAIN TILE	PORCELAIN BASE	PAINT #3	CEILING PAINT	
SHOWER	PORCELAIN TILE	PORCELAIN BASE	PAINT #3	A.C.T. #2	
TOIL	PORCELAIN TILE	PORCELAIN BASE	PAINT #3	A.C.T. #2	

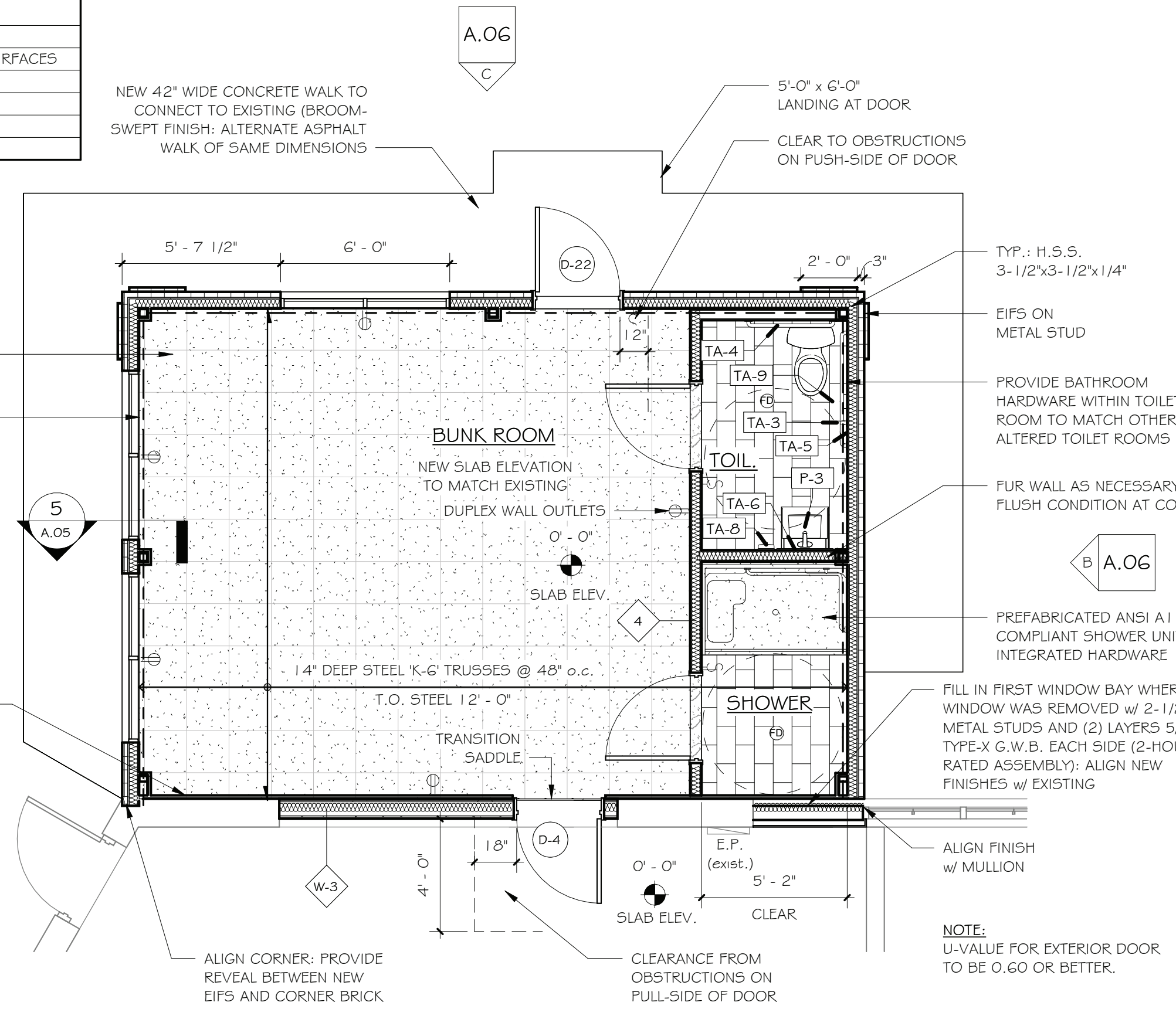
**LIST OF FINISHES**

PORCELAIN TILE:	DAL TILE 'CHORD' 6"x24"	'FORTE GRAY' #CH25
PORCELAIN BASE:	6"x12" COVE BASE	'FORTE GRAY' #CH25
CARPET TILE #1:	SHAW 'CLEARVIEW' 24"x24"	'OXIDE' #G2505 (QUARTER TURN)
CARPET TILE #2:	SHAW 'CLEARVIEW' 24"x24"	'SEAGLASS' #G2560 (QUARTER TURN)
BASE #1:	ROPPE 'VINYL WALL BASE'	'BLACK' #100
BASE #2:	ROPPE 'VINYL WALL BASE'	'MARINER' #G27
PAINT #1:	BENJAMIN MOORE	COLOR TBD - EGGSHELL
PAINT #2:	BENJAMIN MOORE	COLOR TBD - EGGSHELL
PAINT #3:	BENJAMIN MOORE	COLOR TBD - PEARL
CEILING PAINT:	BENJAMIN MOORE	WHITE - FLAT
A.C.T. #1:	CERTAINTED 24"x24" REVEAL EDGE	'SAND MICRO' (SHM-154 - WHITE) w/ 15/16" EZ-STAB CLASSIC
A.C.T. #2:	CERTAINTED 24"x24" STANDARD EDGE	'VINYL SHIELD-A' (1102-CRF-1 - WHITE) w/ 15/16" EZ-STAB CLASSIC

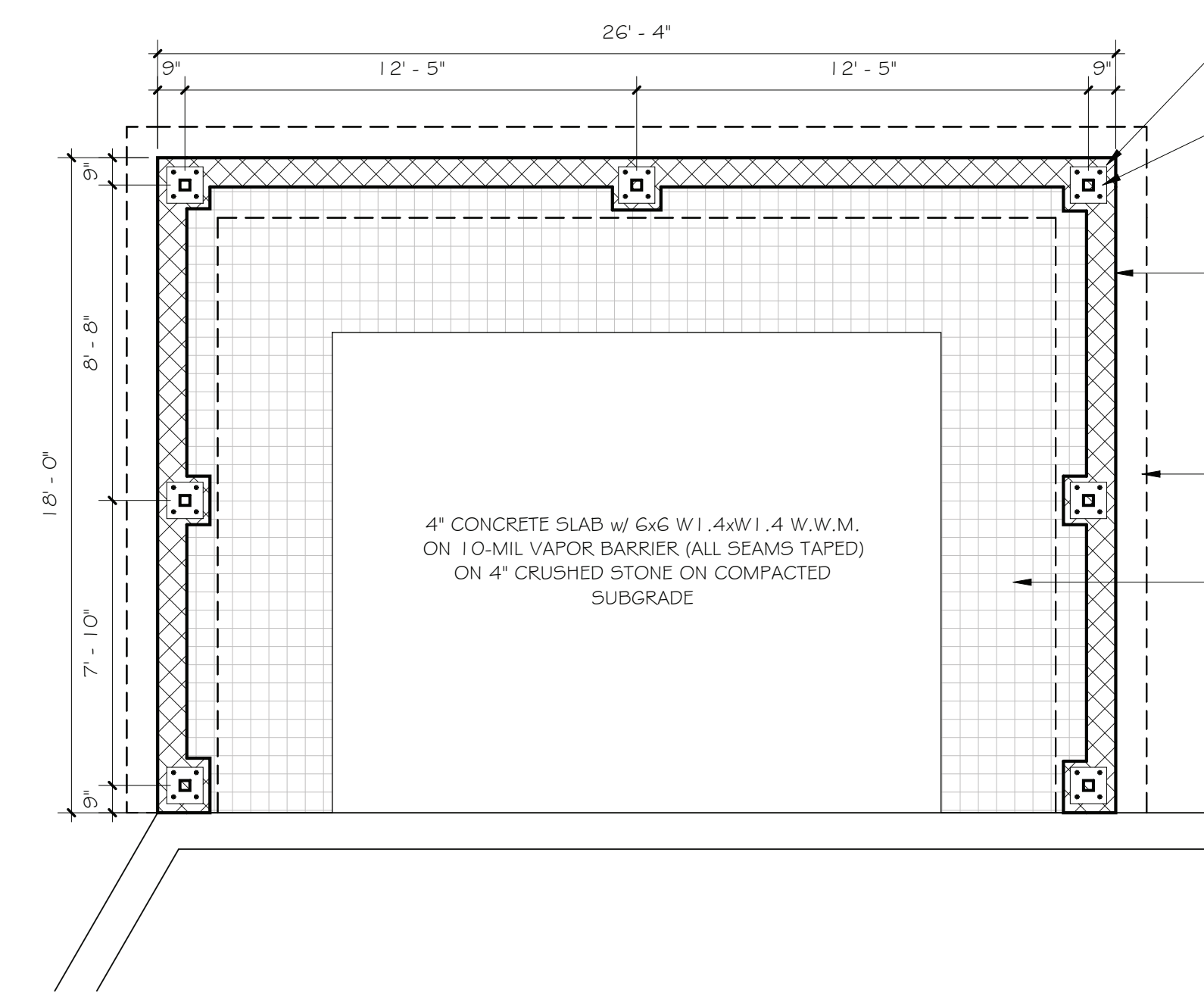
DOOR AND FRAME COLORS TO MATCH EXISTING.  
NOTE: G.C. SHALL PROVIDE SAMPLE BOARDS OF EACH ROOM FINISH AND PAINT FAN PALLETE FOR FINAL APPROVAL BY OWNER PRIOR TO ORDERING MATERIALS - EXCLUDE A.C.T. SAMPLE.



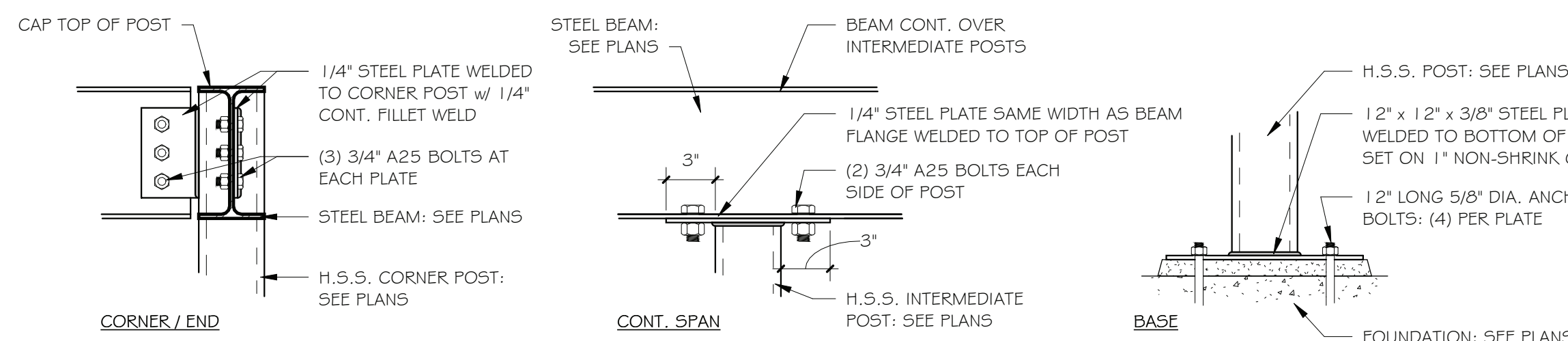
5 WALL SECTION AT ADDITION  
3/4" = 1'-0"



2 BUNK ROOM - PROPOSED PLAN  
1/4" = 1'-0"



1 BUNKROOM - FOUNDATION PLAN  
1/4" = 1'-0"

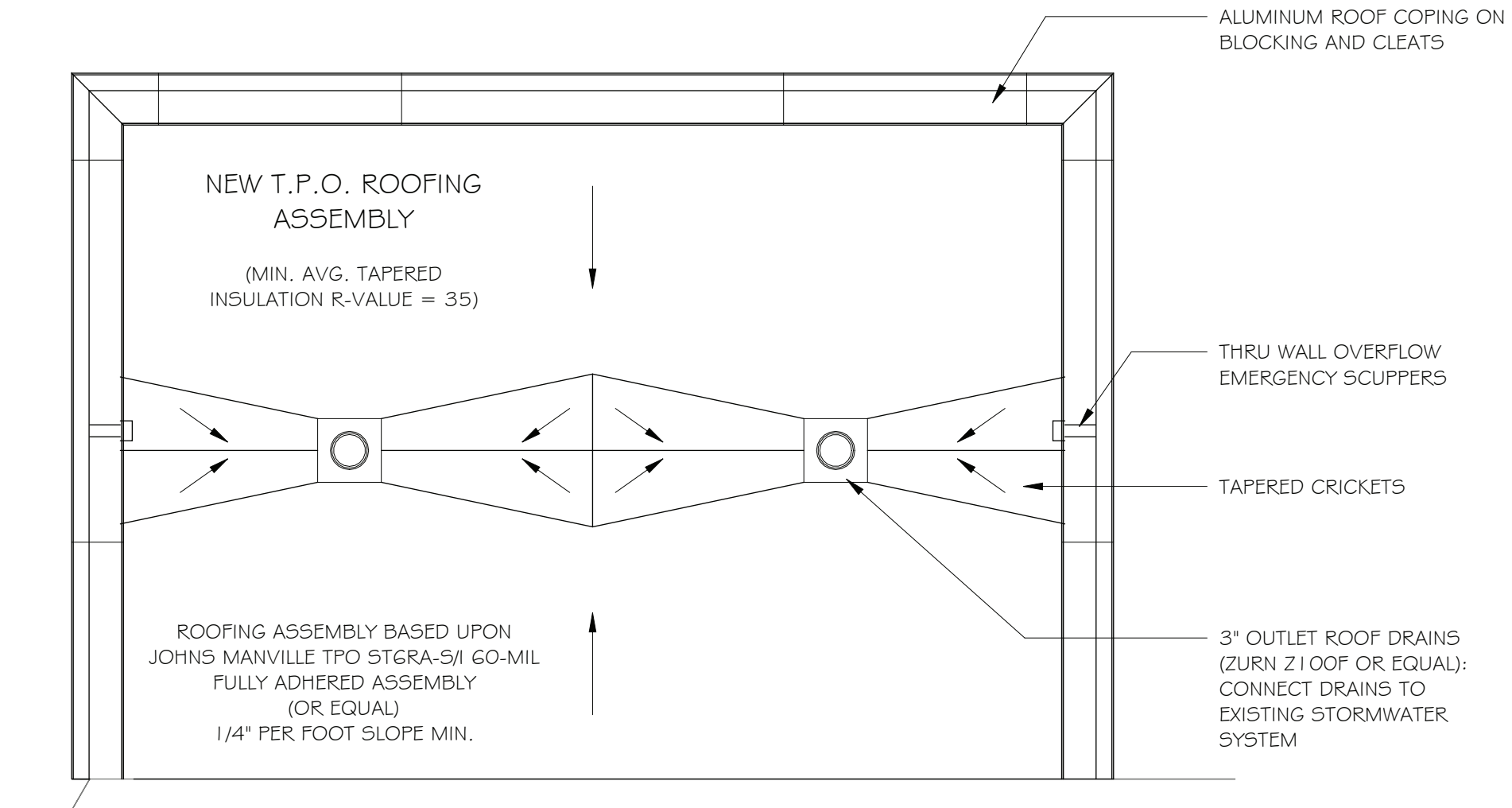


6 STEEL CONNECTIONS  
1 1/2" = 1'-0"

G.C. TO PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A NYS LICENSED DESIGN PROFESSIONAL OF CALCULATIONS AND ALL STEEL AND ASSOCIATED CONNECTIONS

**LIGHTING SCHEDULE**

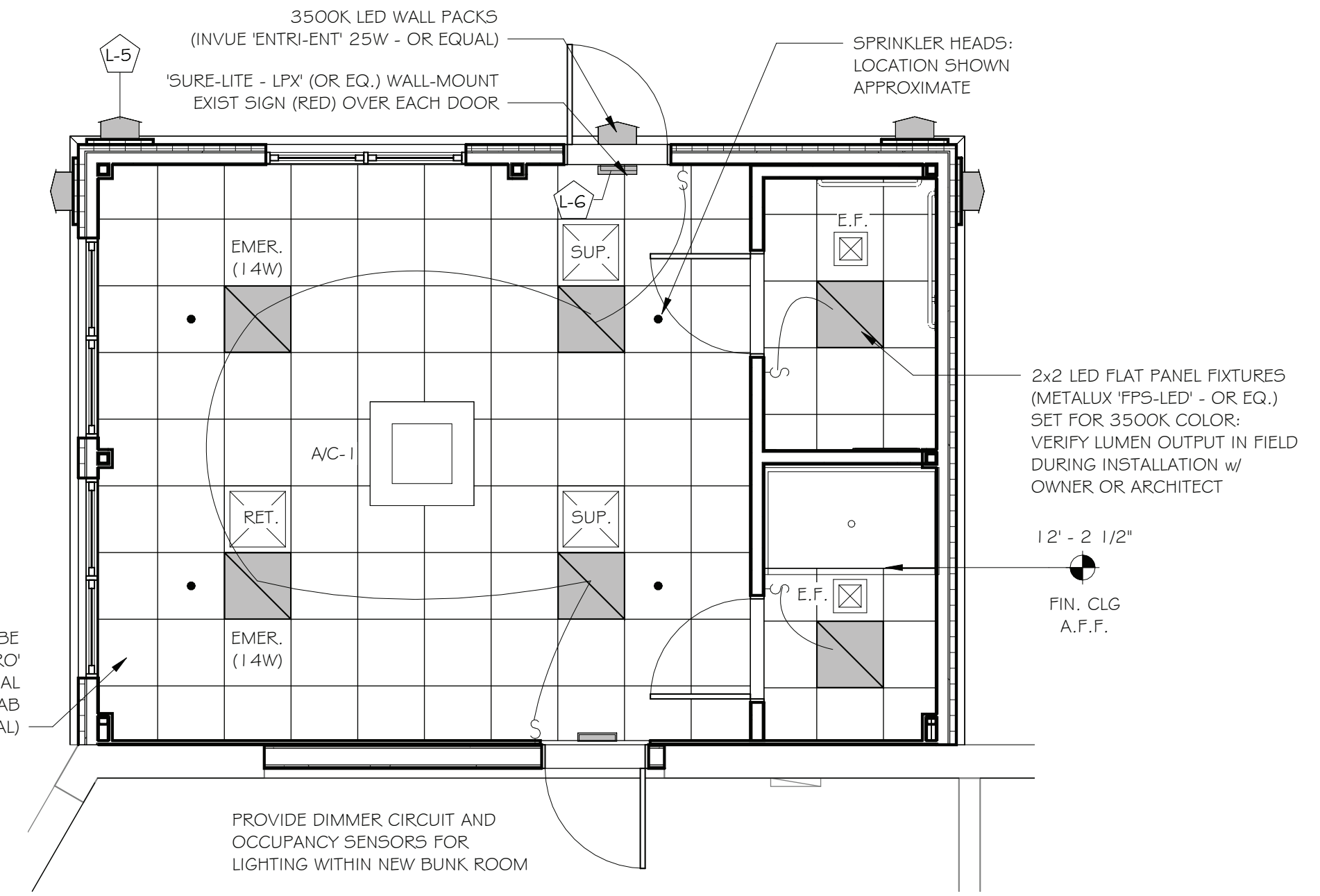
MARK	COUNT	DESCRIPTION	TYPE	MANUFACTURER	MODEL No.	WATTAGE
L-1	6	LED Flat Panel	2 x 2 Lay-In	Cooper Lighting	FFS LED	<varies>
L-2	2	Utility LED Wraparound	1 x 4 Surface Mount	Cooper Lighting	WNLED	27
L-3	2	Utility LED Wraparound	1 x 2 Surface Mount	Cooper Lighting	WNLED	22
L-4	2	Match Existing	Match Existing	Match Existing	Match Existing	9
L-5	6	Architectural Wall Luminaire	Entrn Triangle Reveals	Cooper Lighting	Invue ENT LED	25
L-6	2	90-Min. LED polycarbonate	Wall Mount	Cooper Lighting	LPX Series	1



**ROOF DRAINS:**  
AREA: 430 S.F.  
RAIN: 3" GPH (PCNYS FIGURE 1106.1)  
VOLUME: 1108 C.F. (7.5 gpd) = 810 GPH  
CAPACITY: 810 w/ 60" = 1.4 GPM  
3" HORIZONTAL AT 1/8" PER FOOT = 55 GPM

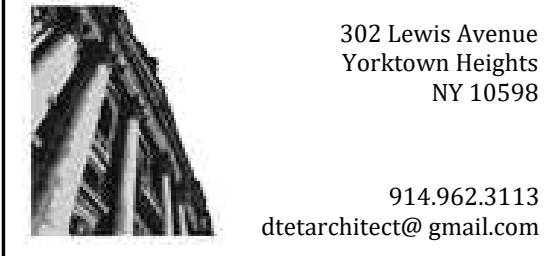
**ROOF TRUSSES:**  
SNOW: 35 PSF  
DEAD: 15 PSF  
LIVE: 20 PSF  
TOTAL: 70 PSF  
SPAN: 26 FT  
SPACING: 48" o/c  
LOAD: 280 PLF (462 MAX.)  
USE: 14KG

4 BUNKROOM - ROOF PLAN  
1/4" = 1'-0"



3 BUNKROOM - REFLECTED PLAN  
1/4" = 1'-0"

**SPRINKLER NOTE:**  
G.C. SHALL PROVIDE HYDRAULIC CALCULATIONS AND SHOP DRAWINGS PREPARED BY A N.Y. LICENSED DESIGN PROFESSIONAL FOR THE NEW SPRINKLER HEADS WITHIN THE BUNKROOM AS PART OF THE SPRINKLER INSTALLATION CONTRACT. NEW HEADS TO BE INSTALLED OFF OF EXISTING SPRINKLER SYSTEM IF CAPABLE.



Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.  
Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

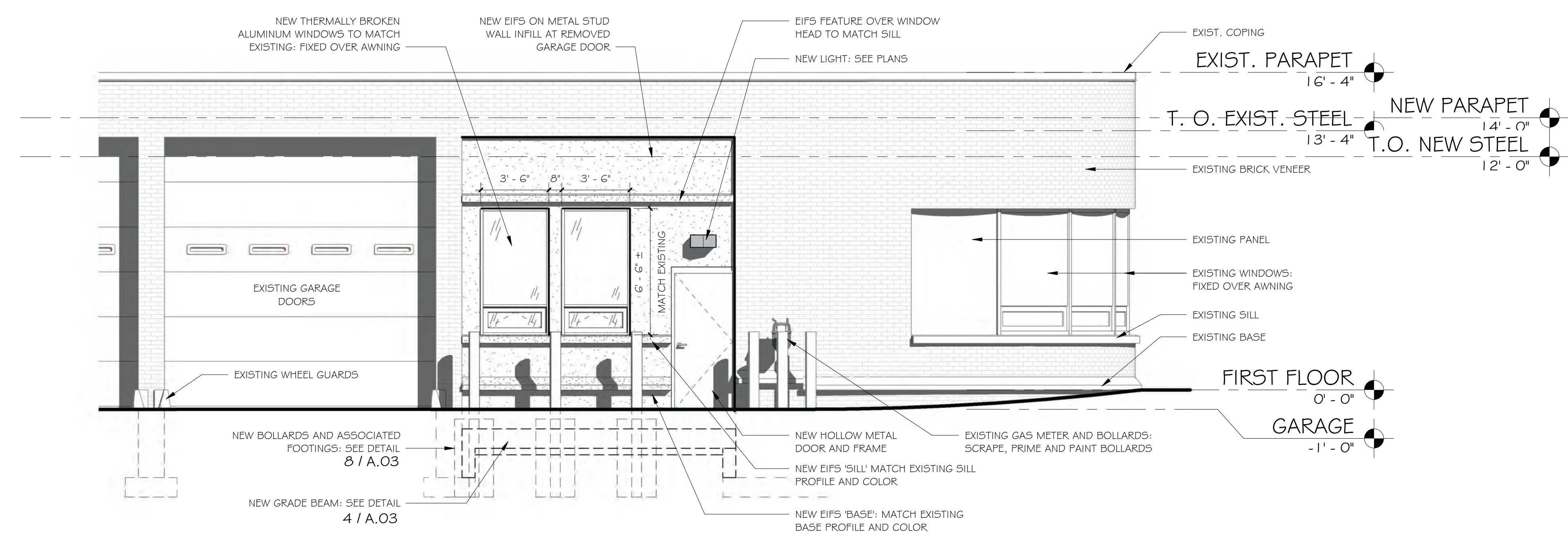
No.	Description	Date

**Construction Documents: For Permit and Construction**

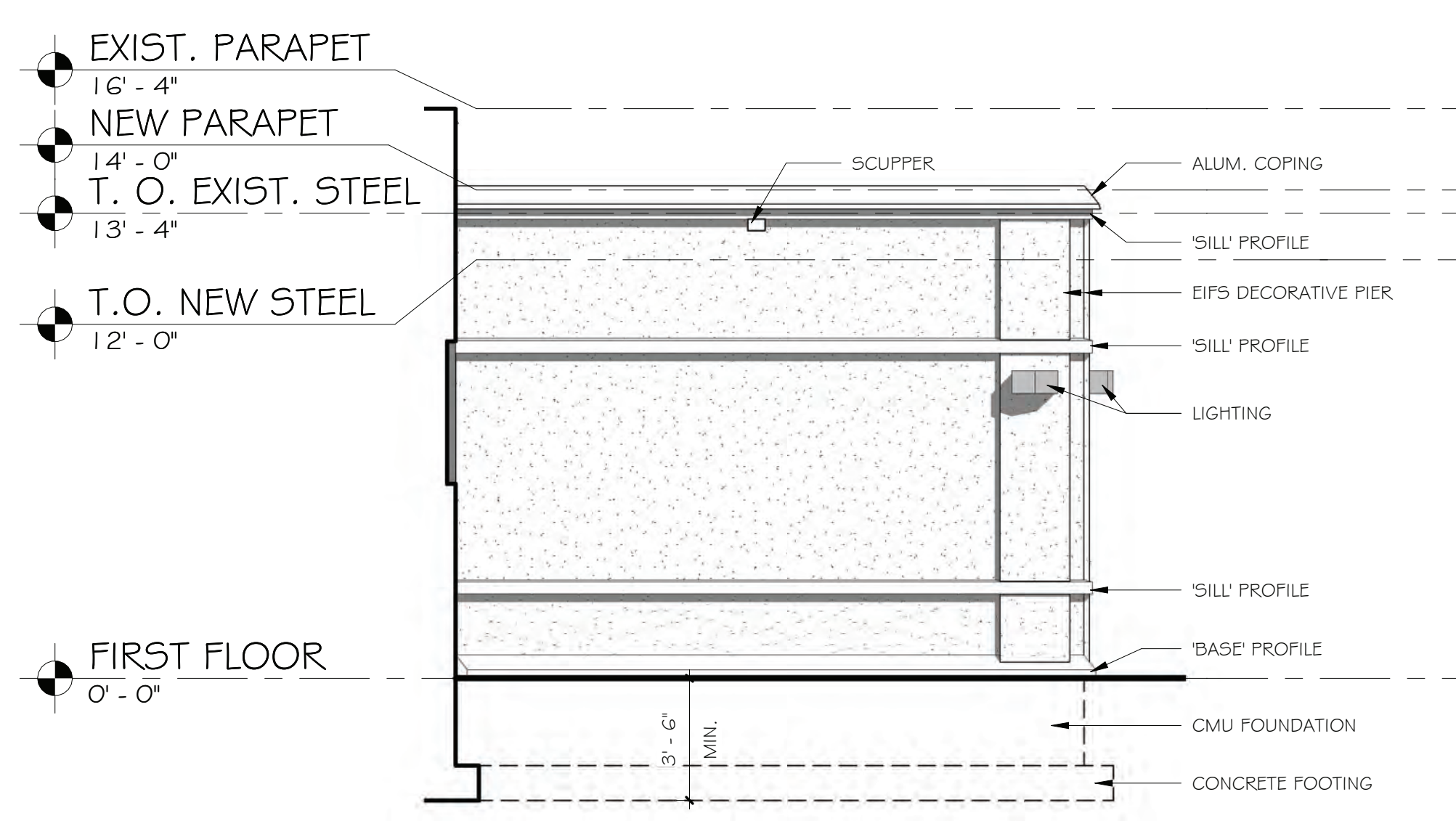
Project No.:	Issue Date:
22.03	04.15.24

Sheet Title:  
**BUNK ROOM ADDITION**

Z:\DT-Architecture-Studio\DAT-Projects\2022\2203-YHD-Addition\Cad\Revit\Project\2203-YHD-Addition-CD



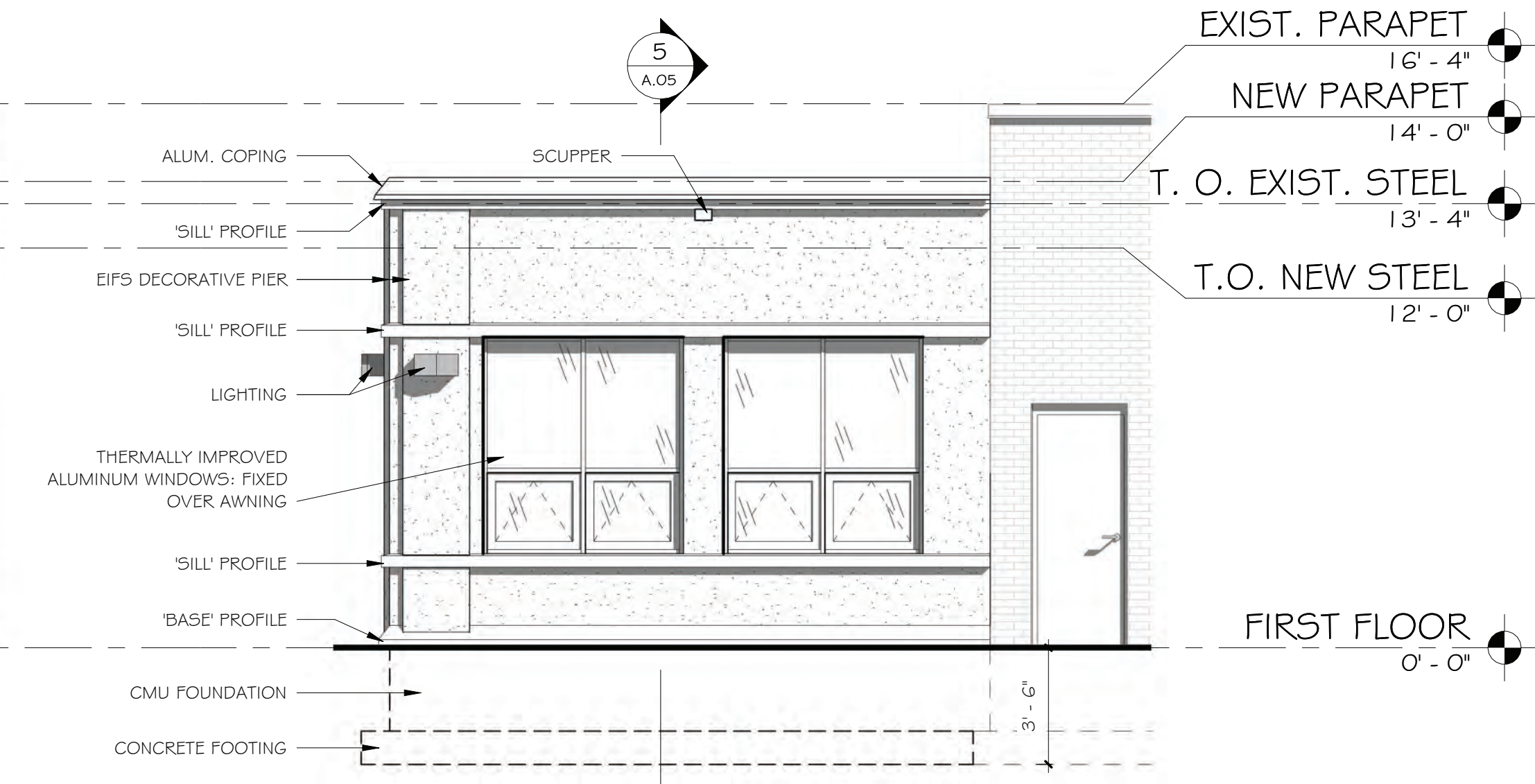
**(A) SUPERINTENDANTS OFFICE - EAST ELEVATION**  
 1/4" = 1'-0"



**(B) BUNKROOM - EAST ELEVATION**  
 1/4" = 1'-0"



**(C) BUNKROOM - NORTH ELEVATION**  
 1/4" = 1'-0"



**(D) BUNKROOM - WEST ELEVATION**  
 1/4" = 1'-0"

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.  
 Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

No.	Description	Date



It is a violation of the New York State Law to alter these documents in any way once the Architect's seal and signature have been applied.

Status:  
**Construction Documents: For Permit and Construction**

Project No.:	Issue Date:
22.03	04.15.24

Sheet Title:  
**EXTERIOR ELEVATIONS**

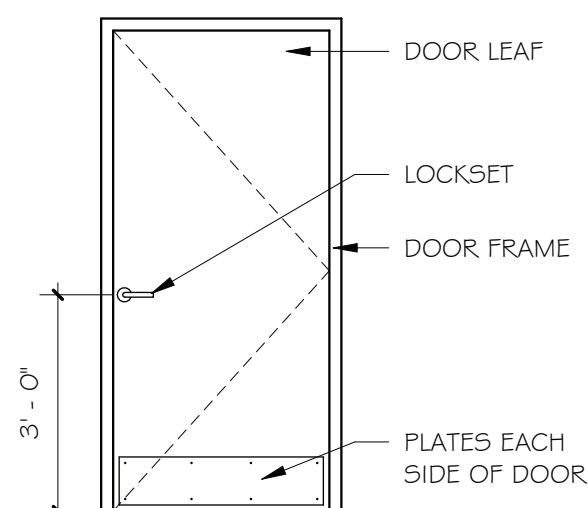
Sheet No.:  
**A.06**

DOOR SCHEDULE

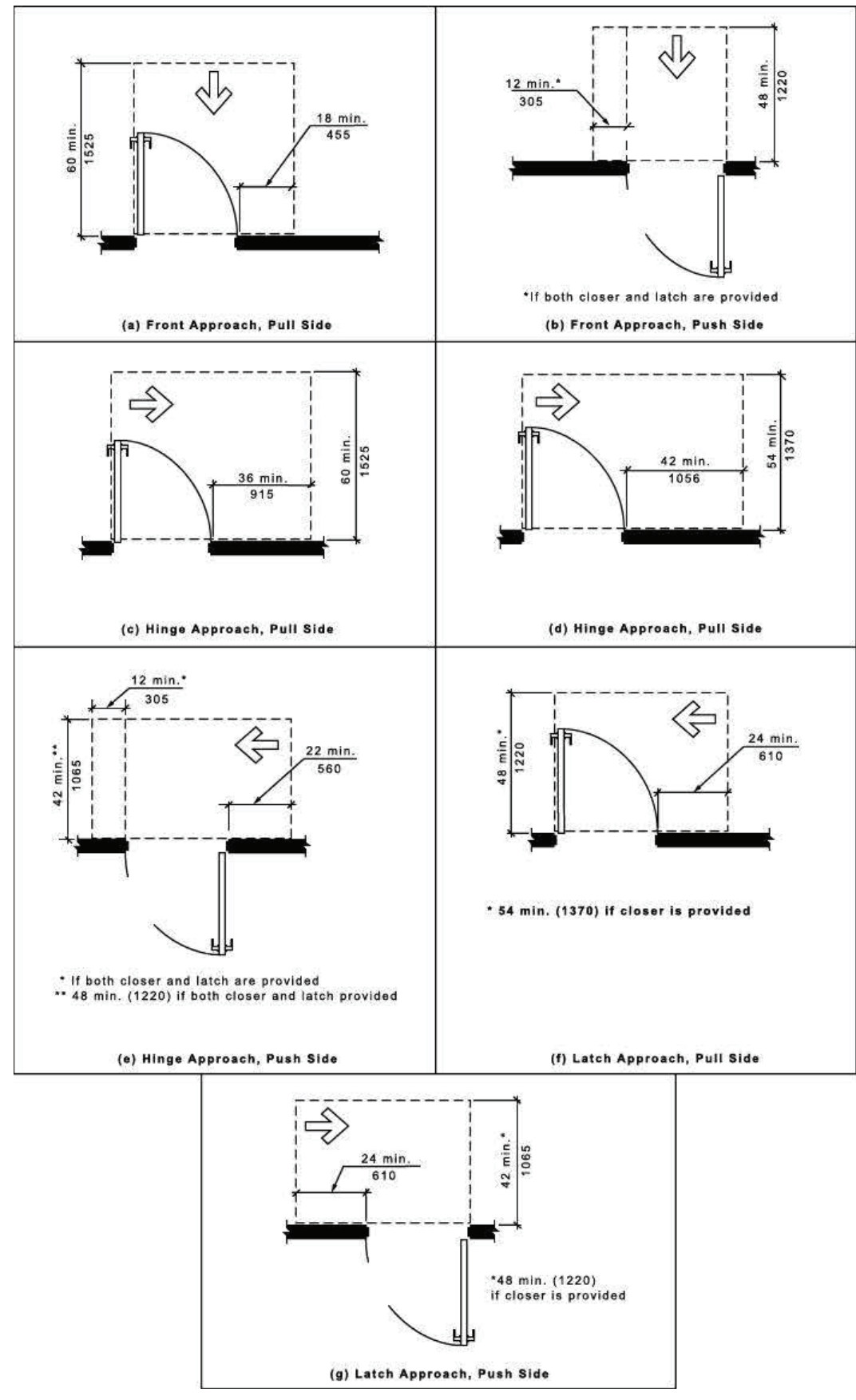
Door No.	RATING	TYPE	PANEL			FRAME		HARDWARE			REMARKS			
			WIDTH	HEIGHT	THICK	VISION PANEL	MAT'L	FINISH	MAT'L	FINISH		FUNCTION	SET	FINISH
D-1	--	1	3'-0"	7'-0"	1 3/4"	--	1 8-GA H.M.	PAINT	1 6-GA H.M.	PAINT	Secure Storage Function	1	Match Existing	
D-2	--	1	3'-0"	7'-0"	1 3/4"	--	1 8-GA H.M.	PAINT	1 6-GA H.M.	PAINT	Privacy Function	2	Match Existing	
D-3	--	1	3'-0"	7'-0"	1 3/4"	--	1 8-GA H.M.	PAINT	1 6-GA H.M.	PAINT	Restroom Function	3	Match Existing	
D-4	90-Min.	1	3'-0"	7'-0"	1 3/4"	--	1 8-GA H.M.	PAINT	1 6-GA H.M.	PAINT	Passage Function	4	Match Existing	
D-22	--	1	3'-0"	7'-0"	1 3/4"	--	1 8-GA H.M.	PAINT	1 6-GA H.M.	PAINT	Egress Function	5	Match Existing	
D-23	NONE	2	3'-0"	7'-0"	1 3/4"	NONE	BIRCH VENEER / SOLID CORE	CLEAR POLY	1 6-GA H.M.	PAINT	PRIVACY	2	PER OWNER	
D-24	NONE	2	3'-0"	7'-0"	1 3/4"	NONE	BIRCH VENEER / SOLID CORE	CLEAR POLY	1 6-GA H.M.	PAINT	PRIVACY	2	PER OWNER	

DOOR HARDWARE SETS

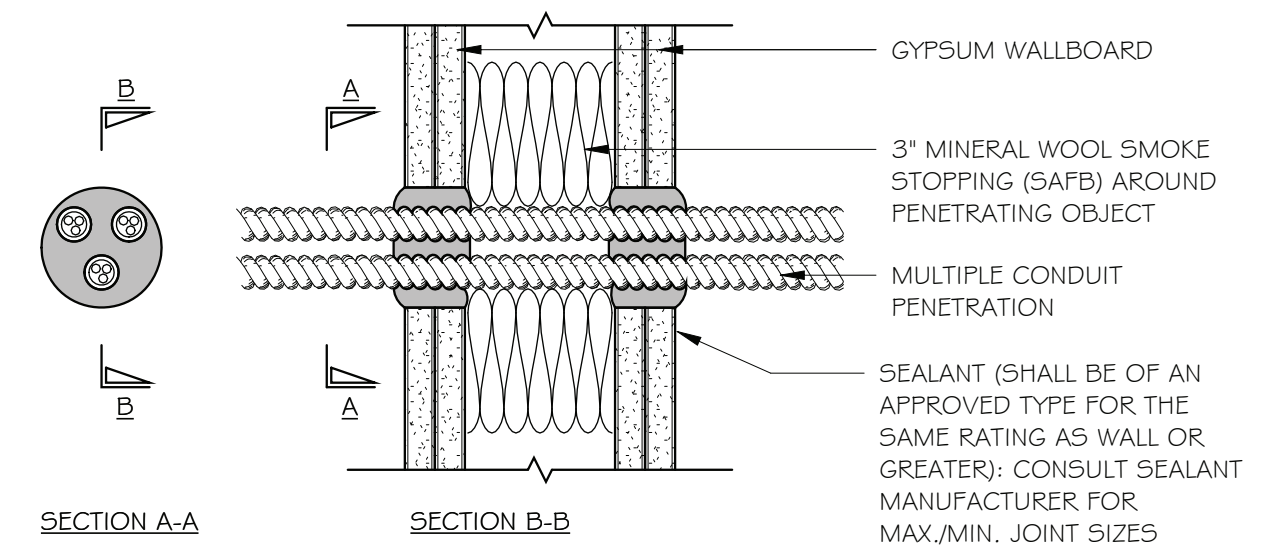
Hardware Set #	Quantity	Description	Manufacturer	Notes
HARDWARE SET #1	3 ea.	HINGES	Hager (or Eq.)	5-Knuckle, Medium-Duty, Full-Mortise Hinge
HARDWARE SET #1	1 ea.	BUMPER THRESHOLD	Hager (or Eq.)	Gasketed Threshold
HARDWARE SET #1	1 ea.	CLOSER	Hager (or Eq.)	Overhead Closer w/ Cover
HARDWARE SET #1	1 ea.	LOCKSET - MORTISSE	Corbin Russwin	Exterior Keyed, Interior Latch Lever
HARDWARE SET #1	1 ea.	PERMANENT CORE	--	As Selected by Owner
HARDWARE SET #1	1 ea.	WEATHERSTRIPPING - FRAME	Hager (or Eq.)	Gasketed Jamb-Applied Weatherstrp
HARDWARE SET #2	3 ea.	HINGES	Hager (or Eq.)	5-Knuckle, Medium-Duty, Full-Mortise Hinge
HARDWARE SET #2	3 ea.	SILENCERS	Hager (or Eq.)	Flat Round Rubber Plug-Type
HARDWARE SET #2	2 ea.	KICKPLATE - 1 Each Side	Hager (or Eq.)	6" x 0.050", 4-Bevel
HARDWARE SET #2	1 ea.	CLOSER	Hager (or Eq.)	Overhead Closer w/ Cover
HARDWARE SET #2	1 ea.	LOCKSET - CYLINDER	Corbin Russwin (Newport)	Privacy Function w/ Strike
HARDWARE SET #2	1 ea.	PERMANENT CORE	--	As Selected by Owner / Tenant
HARDWARE SET #3	3 ea.	HINGES	Hager (or Eq.)	5-Knuckle, 4.5"x4.5", Mortised, Standard Weight
HARDWARE SET #3	3 ea.	SILENCERS	Hager (or Eq.)	Flat Round Rubber Plug-Type
HARDWARE SET #3	2 ea.	KICKPLATE - 1 Each Side	Hager (or Eq.)	6" x 0.050", 4-Bevel
HARDWARE SET #3	1 ea.	CLOSER	Hager (or Eq.)	Overhead Closer w/ Cover
HARDWARE SET #3	1 ea.	LOCKSET - CYLINDER	Corbin Russwin (Newport)	Passage Function w/ Strike
HARDWARE SET #4	3 ea.	HINGES	Hager (or Eq.)	5-Knuckle, Medium-Duty, Full-Mortise Hinge
HARDWARE SET #4	2 ea.	KICKPLATE - 1 Each Side	Hager (or Eq.)	6" x 0.050", 4-Bevel
HARDWARE SET #4	1 ea.	CLOSER	Hager (or Eq.)	Overhead Closer w/ Cover
HARDWARE SET #4	1 ea.	LOCKSET - CYLINDER	Hager (or Eq.)	Passage Function w/ Strike
HARDWARE SET #4	1 ea.	WEATHERSTRIPPING - FRAME	Hager (or Eq.)	Smoke Protection Jamb-Applied Draftstop
HARDWARE SET #5	1 ea.	CLOSER	Hager (or Eq.)	Overhead Closer w/ Cover
HARDWARE SET #5	1 ea.	CONTINUOUS GEARED HINGE	Hager (or Eq.)	Heavy-Duty Exterior-Grade Continuous Geared Hinge
HARDWARE SET #5	1 ea.	EXIT DEVICE	Hager (or Eq.)	Narrow-Style Surface-Mount, Rim Device / Keyed Entry at Exterior
HARDWARE SET #5	1 ea.	KICKPLATE - PUSH SIDE	Hager (or Eq.)	6" x 0.050", 4-Bevel
HARDWARE SET #5	1 ea.	PERMANENT CORE	--	As Selected by Owner
HARDWARE SET #5	1 ea.	THRESHOLD	Hager (or Eq.)	Thermally-Broken, ADA Compliant Saddle
HARDWARE SET #5	1 ea.	WEATHERSTRIPPING - FRAME	Hager (or Eq.)	Gasketed Jamb-Applied Weatherstrp



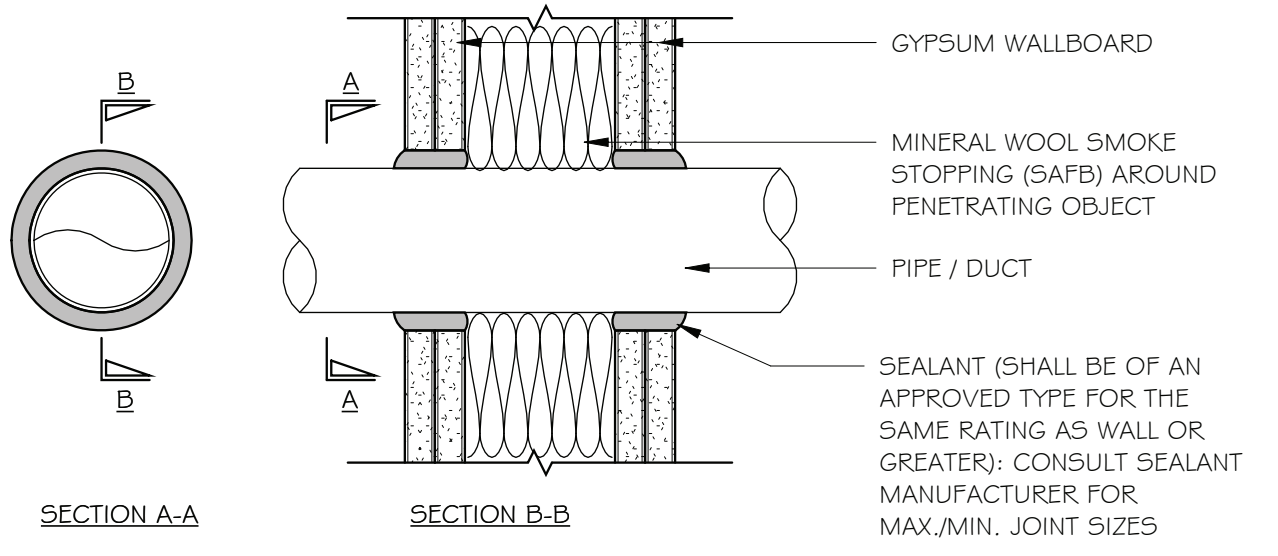
TYPE - 1  
NOTE: NEW EXTERIOR DOOR SHALL HAVE A U-VALUE OF 0.61 OR BETTER  
DOOR TYPE ELEVATION  
3/8" = 1'-0"



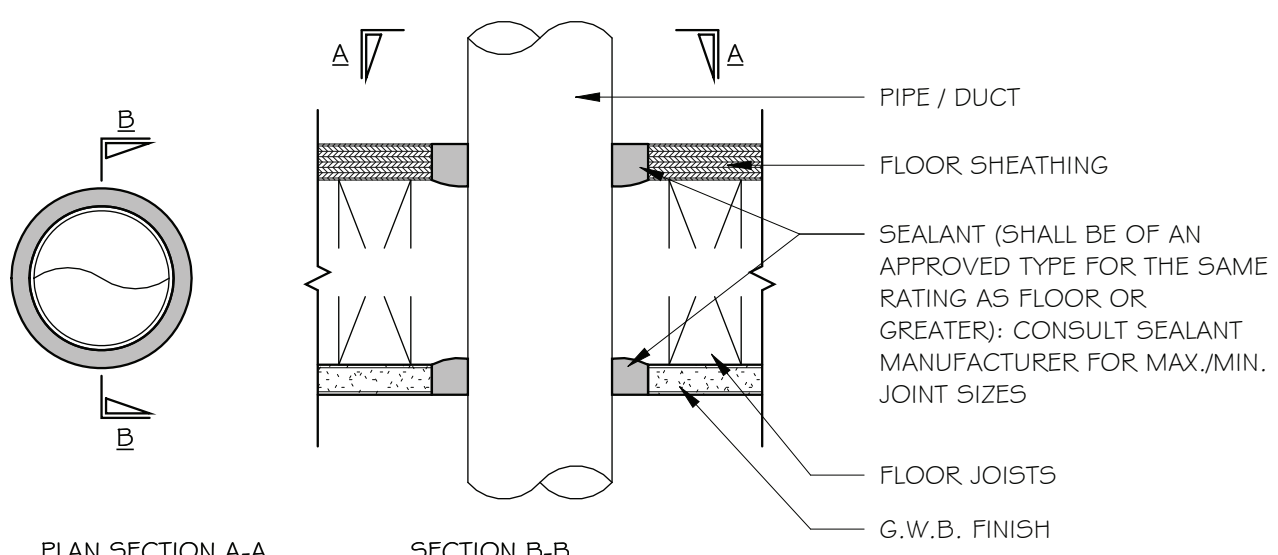
NOTE: G.C. TO REFERENCE THIS CHART WHEN FRAMING FOR DOOR OPENINGS AND SETTING FRAMES. NOTE THE DOORS WITH CLOSERS AND LATCHES FOR PURPOSES OF THE CLEARANCES ON THE PUSH SIDES OF THE DOORS. ALL FULL SIDES OF THE DOORS TO HAVE THE CLEARANCES SHOWN ABOVE. CONSULT ARCHITECT IF THERE ARE ANY QUESTIONS REGARDING THE CLEARANCE REQUIREMENTS.  
DOOR CLEARANCES  
No Scale



SECTION A-A  
SECTION B-B  
UL No.: W-L-3035  
PENETRATION AT GYPSUM WALL ASSEMBLY  
SIMILAR FOR SINGLE WIRE



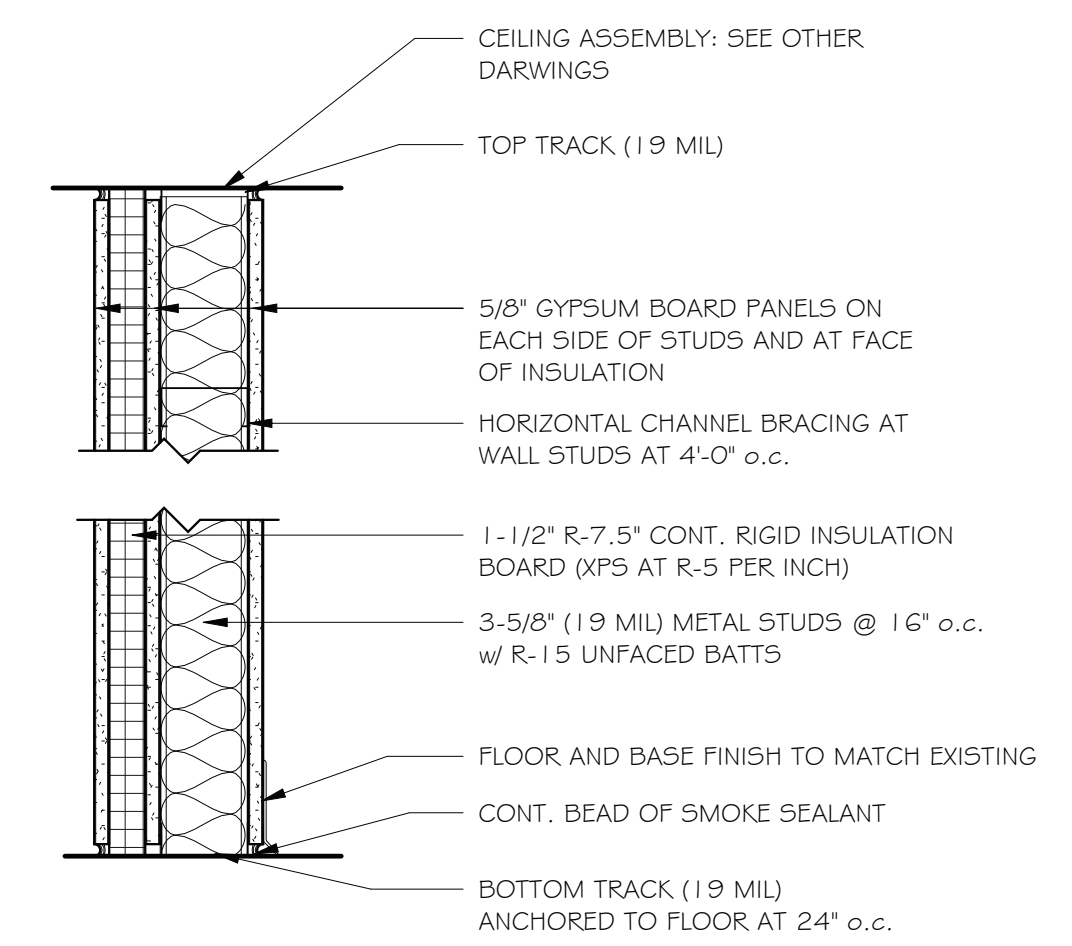
SECTION A-A  
SECTION B-B  
UL No.: W-L-5044  
PENETRATION AT GYPSUM WALL ASSEMBLY



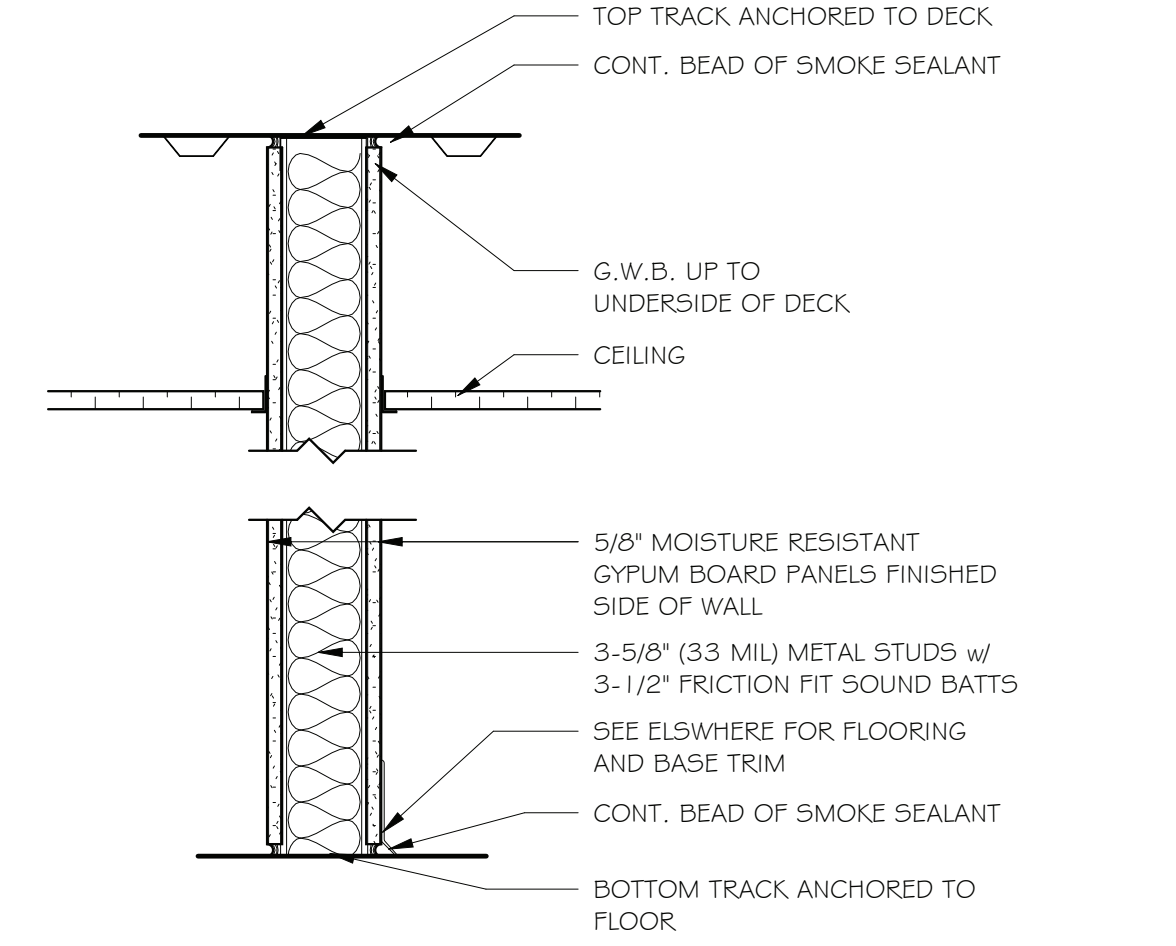
SECTION A-A  
SECTION B-B  
UL No.: F-C-1069  
PENETRATION AT FRAME FLOOR ASSEMBLY

ANY EXISTING FIREPROOFING OR PENETRATIONS DAMAGED DURING THE COURSE OF WORK SHALL BE PROPERLY REPAIRED BACK TO THE ORIGINAL RATING REQUIRED

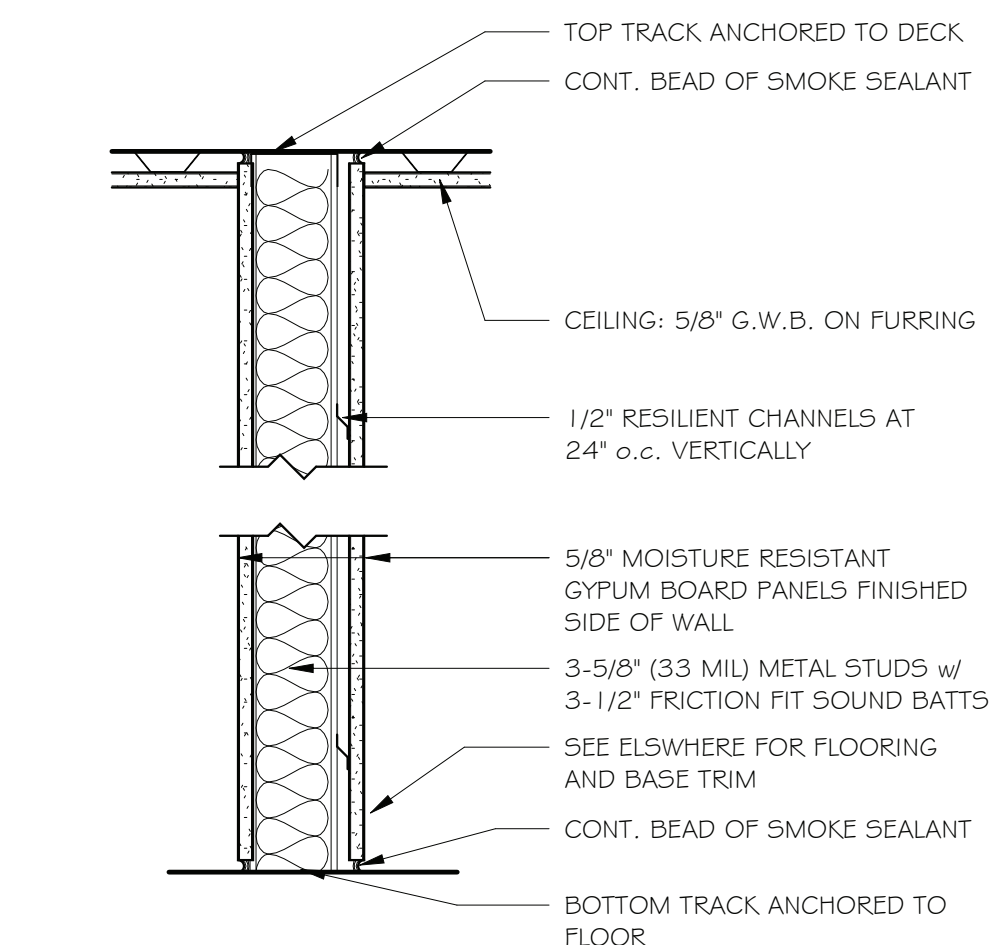
2 FIRESTOPPING DETAILS  
3" = 1'-0"



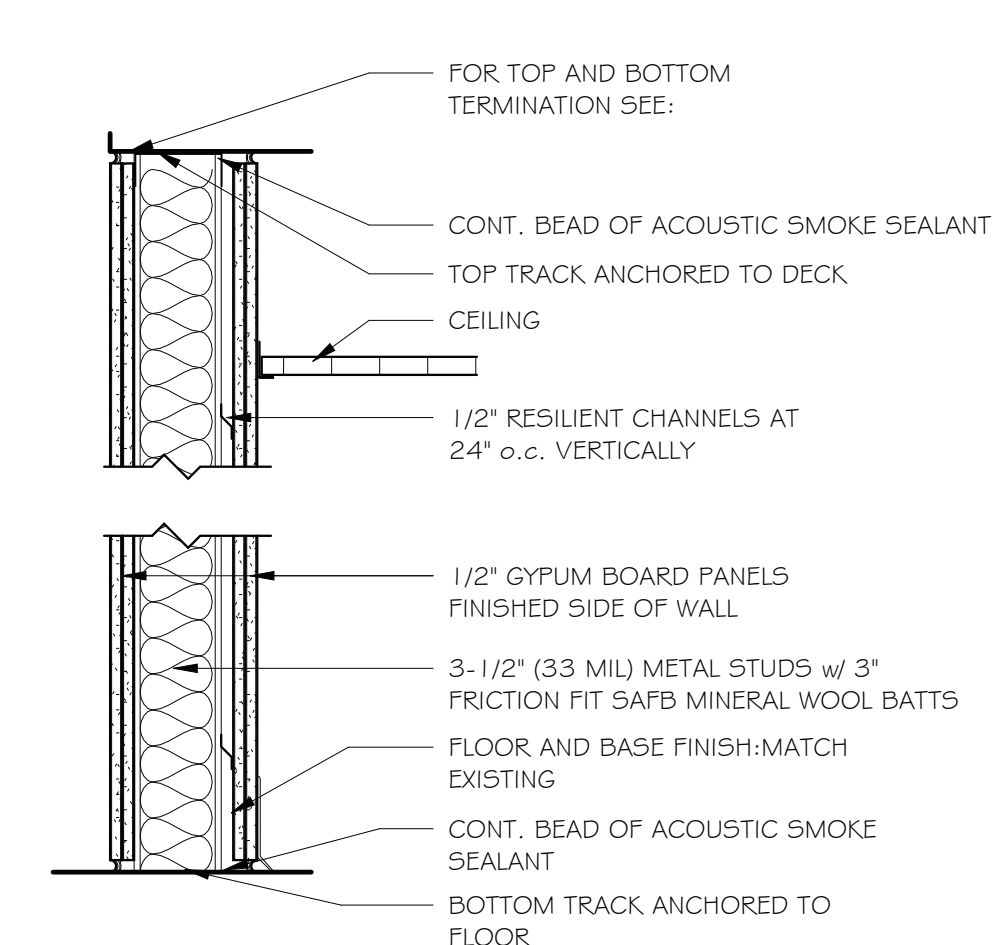
TYPE W-2: NON-RATED FURRED PARTITION  
3-5/8" 20-ga studs at 24" o.c. w/ 5/8" GWB applied parallel to finish room side of studs. Drywall screws at 8" o.c. to fasten into studs, top track and bottom track/fill. 3-1/2" R-15 unfaced batts between and 1-1/2" R-7.5 continuous rigid insulation between exterior wall and studs.



TYPE W-3: 2-HR. WALL ASSEMBLY (UL-454)  
3-1/2" in. 20 GA steel studs spaced 24" o/c with two layers 1/2"-thick GWB (USG Sheetrock Brand Firecode C Panels - or equal) applied parallel to studs at finish wall face side of studs (stagger seams) at one side; two layers 1/2"-thick GWB (USG Sheetrock Brand Firecode C Panels - or equal) applied parallel to 1/2" resilient clip angles (installed perpendicular to studs) at opposite wall face (stagger seams). 3-1/2" friction fit sound batts between studs.



STC: 50  
TYPE W-1: NON-RATED PARTITION  
3-5/8" in. 20 GA steel studs spaced 24" o/c with one layer 5/8"-thick GWB applied parallel to studs at one side of studs (stagger seams); one layer 5/8"-thick moisture resistant GWB applied parallel to 1/2" resilient clip angles (installed perpendicular to studs) at opposite wall face (stagger seams). 3-1/2" friction fit sound batts between studs.



STC: 60  
TYPE W-3: 2-HR. WALL ASSEMBLY (UL-454)  
3-1/2" in. 20 GA steel studs spaced 24" o/c with two layers 1/2"-thick GWB (USG Sheetrock Brand Firecode C Panels - or equal) applied parallel to studs at finish wall face side of studs (stagger seams) at one side; two layers 1/2"-thick GWB (USG Sheetrock Brand Firecode C Panels - or equal) applied parallel to 1/2" resilient clip angles (installed perpendicular to studs) at opposite wall face (stagger seams). 5AFB 3" friction fit batts (Thermafiber or equal) between studs.

3 WALL TYPES  
1 1/2" = 1'-0"

DAVID A. TETRO  
ARCHITECT P.C.  
302 Lewis Avenue  
Yorktown Heights  
NY 10598  
914.962.3113  
dtetarchitect@gmail.com

YORKTOWN HIGHWAY GARAGE

TOWN OF YORKTOWN

281 Underhill Avenue  
Yorktown Heights, NY 10598

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.

REVISIONS & ISSUES

No.	Description	Date



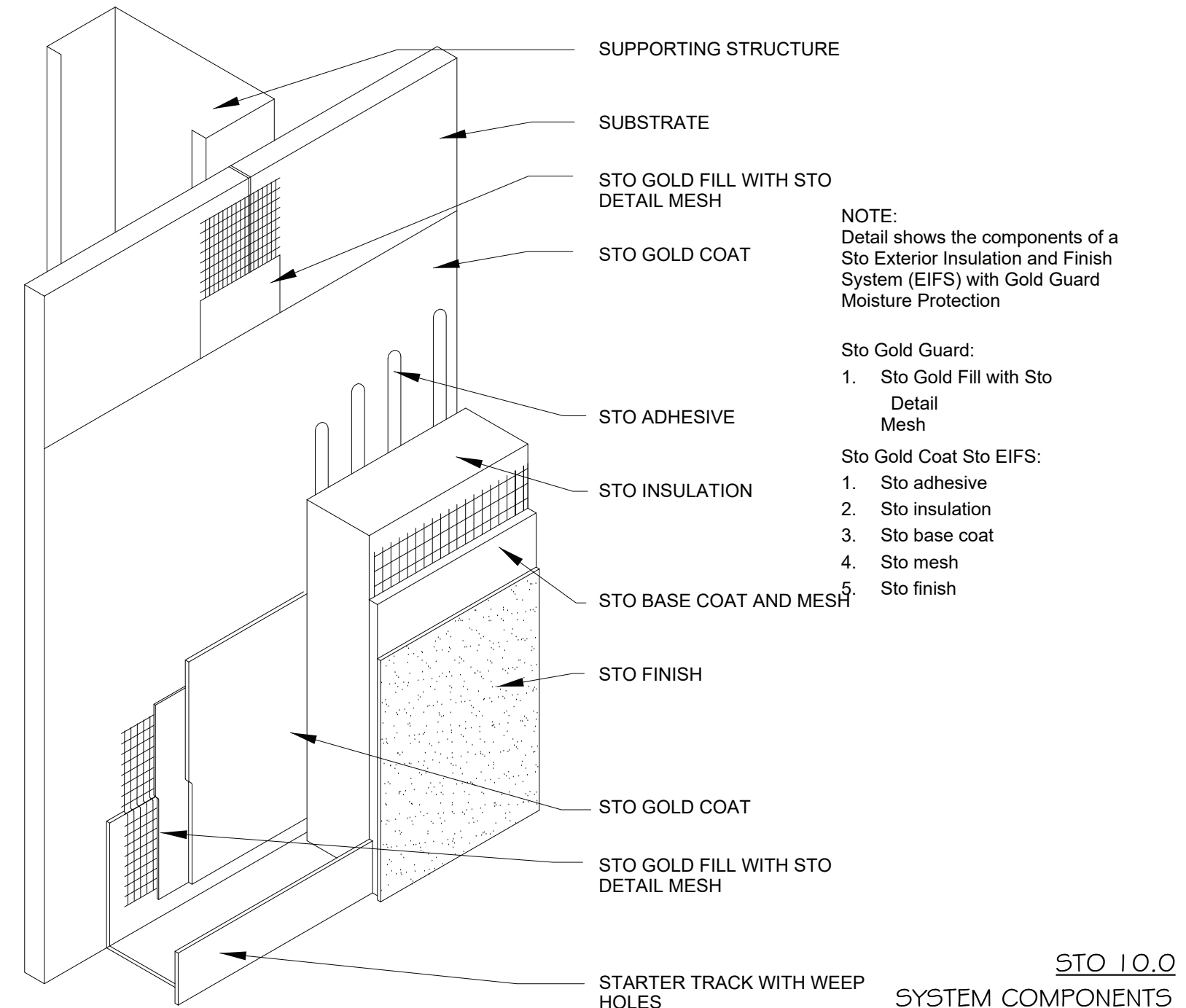
It is a violation of the New York State Law to alter these documents in any way once the Architect's seal and signature have been applied.

Construction Documents: For Permit and Construction

Project No: 22.03  
Issue Date: 04.15.24

DOOR SCHEDULES AND TYPICAL DETAILS

Z:\DT-Architecture-Studio\DAT-Projects\2023-YHD-Addition\Cad\Revit\Project\2203-YHD-Addition-CD

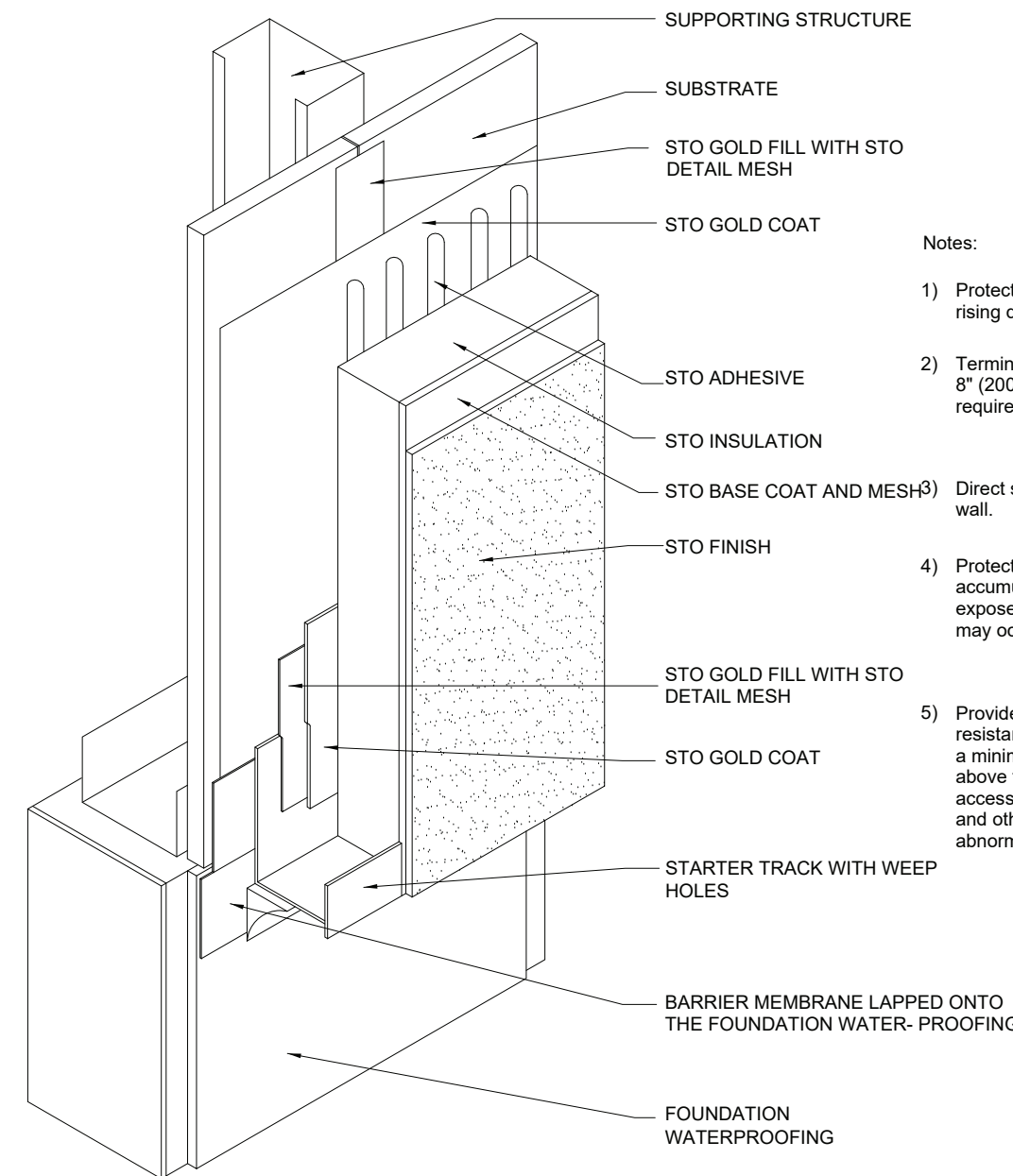


**NOTE:**  
Detail shows the components of a Sto Exterior Insulation and Finish System (EIFS) with Gold Guard Moisture Protection

**Sto Gold Guard:**  
1. Sto Gold Fill with Sto Detail Mesh

**Sto Gold Coat Sto EIFS:**  
1. Sto adhesive  
2. Sto insulation  
3. Sto base coat  
4. Sto mesh  
5. Sto finish

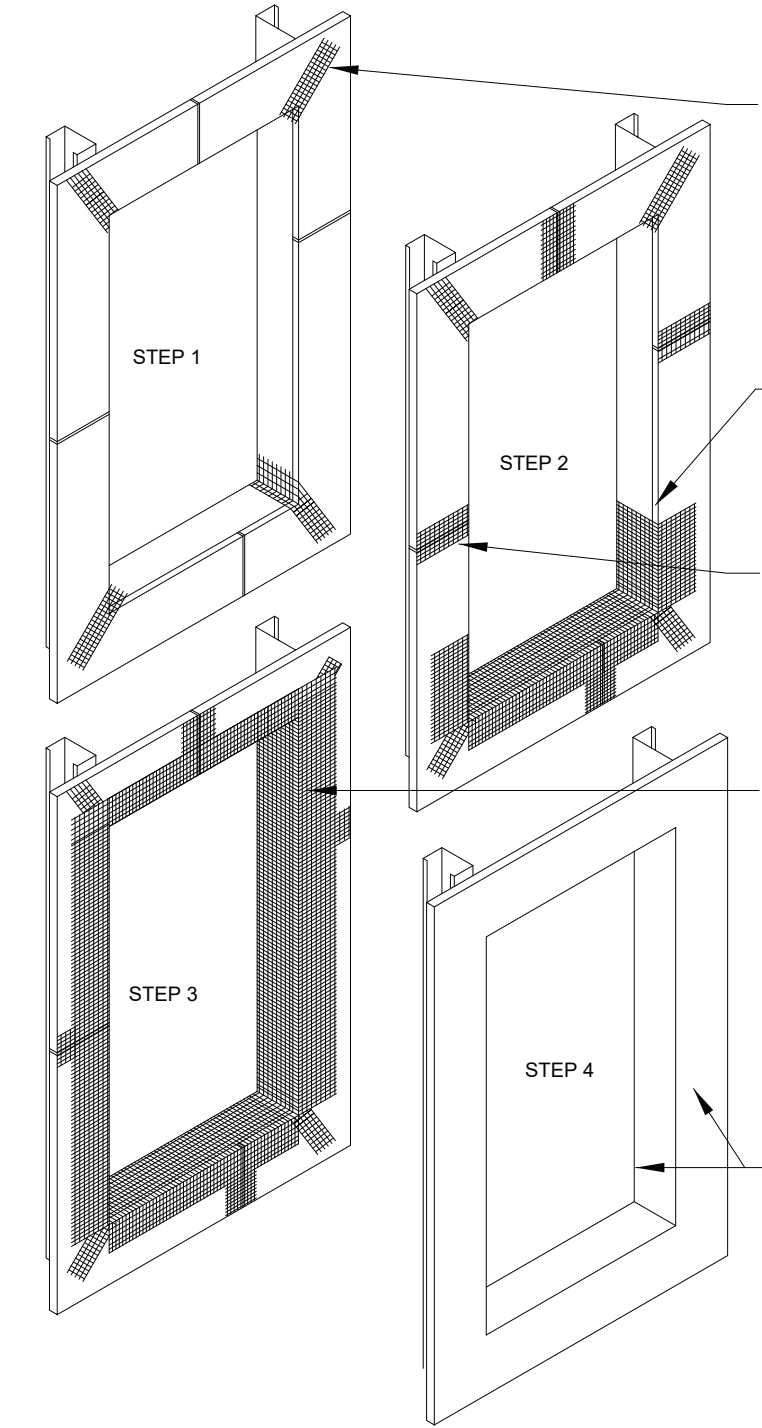
**STO 10.0 SYSTEM COMPONENTS**



**Notes:**

- 1) Protect wall assembly from rising damp.
- 2) Terminate system a minimum of 8" (200mm) above grade or as required by code.
- 3) Direct sprinklers away from the wall.
- 4) Protect the wall from dirt accumulation by covering exposed earth where back splash may occur.
- 5) Provide ultra-high impact resistance (Sto Detail 1.00b) to a minimum height of 6'-0" (1.8m) above finished grade at areas accessible to pedestrian traffic and other areas exposed to abnormal stress or impact.

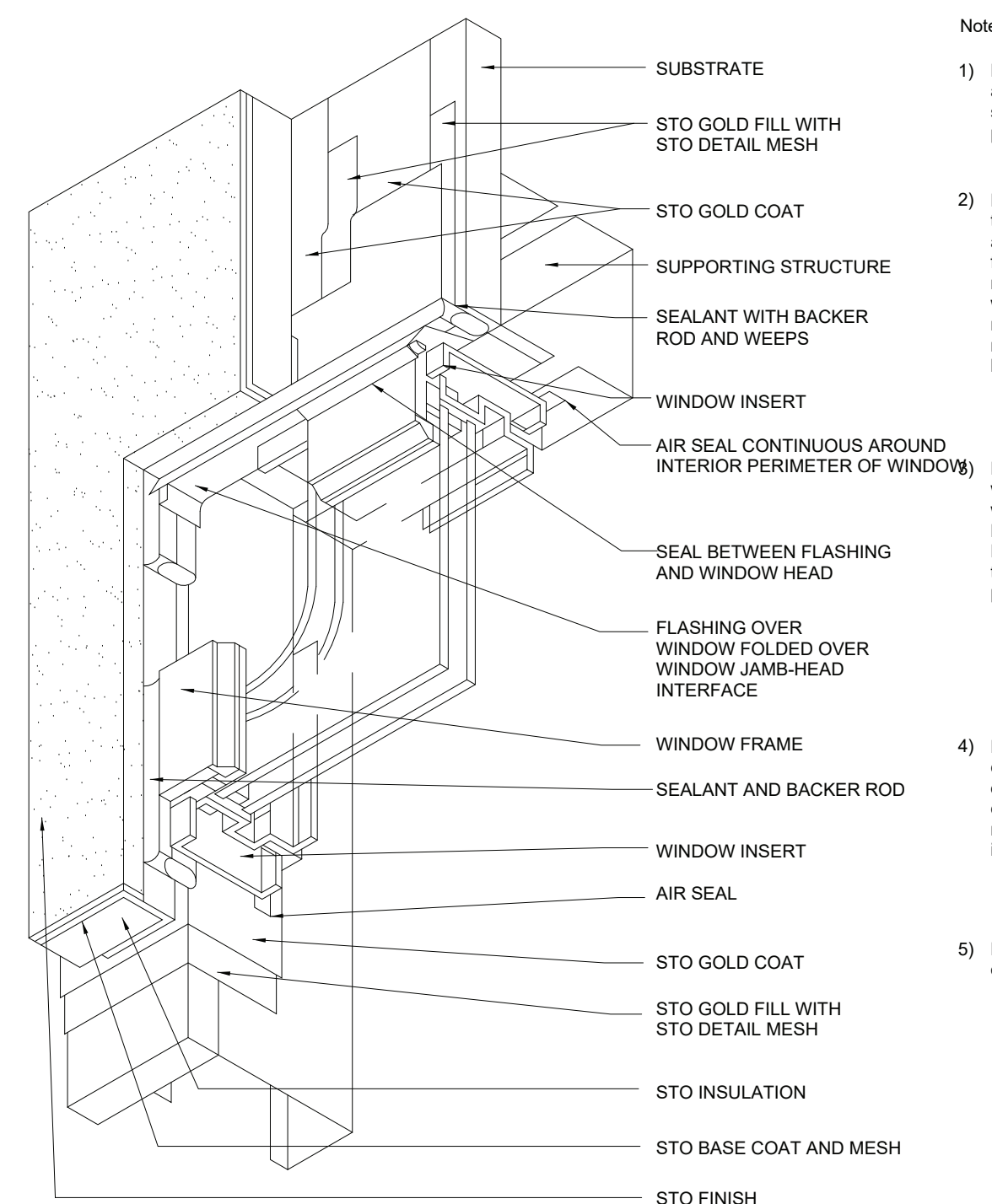
**STO 10.10A TERMINATION AT GRADE**



**Notes:**

- 1) Prepare opening prior to the installation of the window or mechanical equipment. Create a slope to the exterior at the sill with a sill wedge.
- 2) Incorporate flashing as illustrated in 10.23b and 10.23c or as per other details where flashing is shown (e.g. 10.25).
- 3) The complete installation of window or mechanical equipment should include an airseal between the object and the Sto Gold Guard protection rebound of the outer sealant joint.

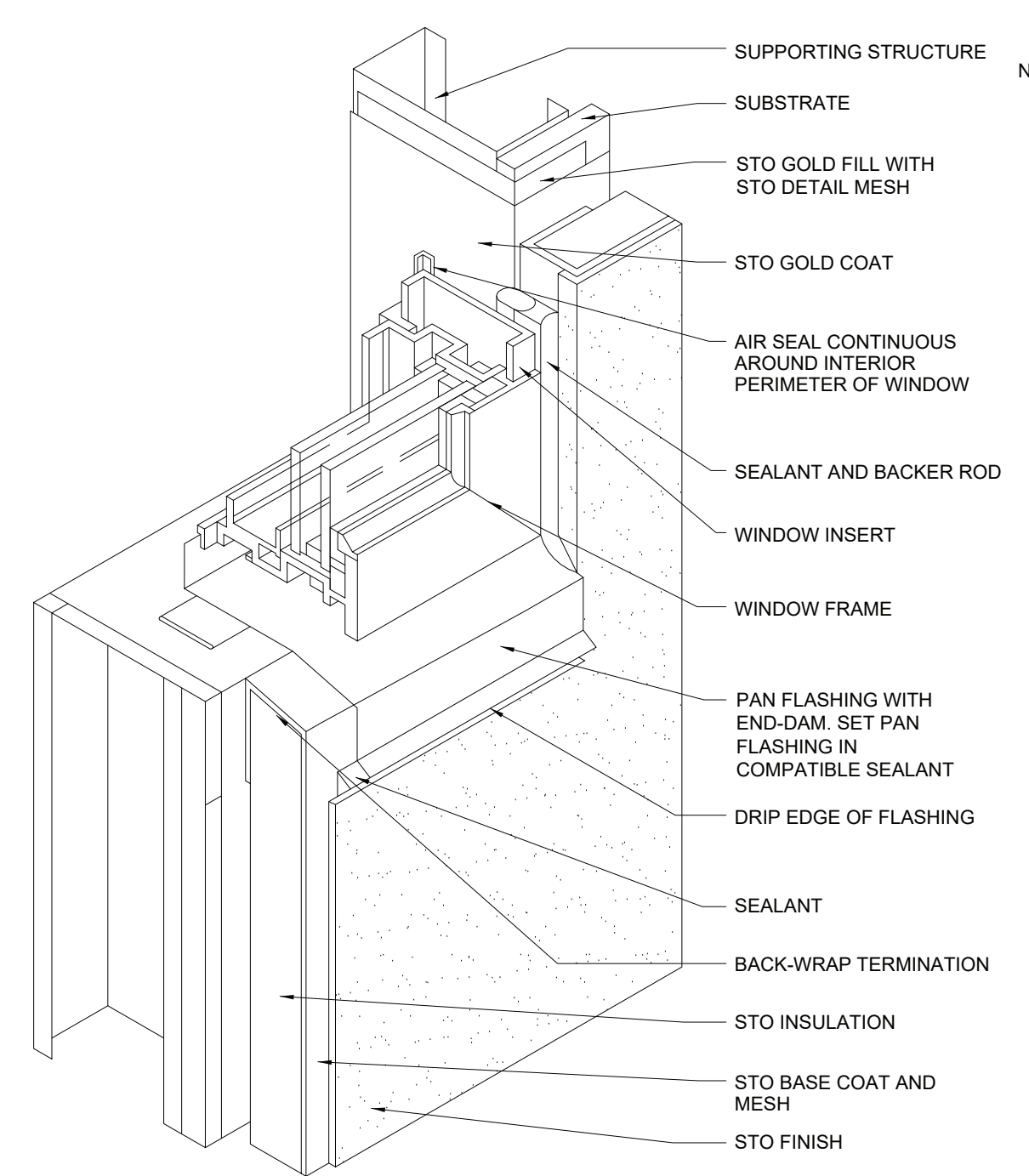
**STO 10.23A WINDOW OPENINGS**



**Notes:**

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Provide flashing installed over the window to direct water away from the window. Verify requirements for head flashing with local codes and window manufacturer. If flashing is not required, seal between window head and EIFS.
- 3) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (Refer to Sto details 10.25a and 10.26a).
- 4) Provide continuous air barrier connection around the perimeter of the window to reduce leaking, condensation related to air movement, and sound and insect intrusion.
- 5) Provide window insert to optimize sealant configuration.

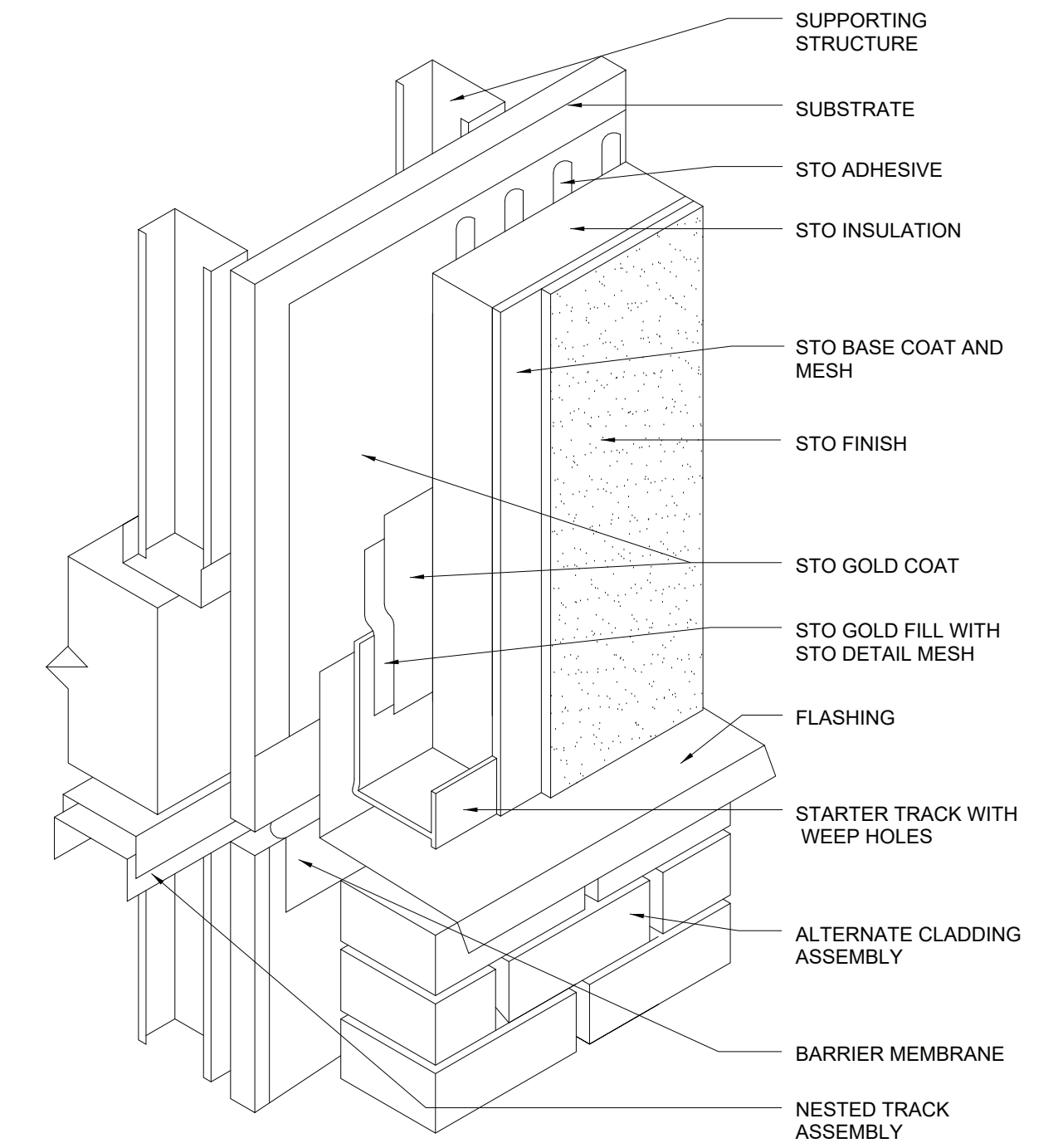
**STO 10.24A WINDOW HEAD**



**Notes:**

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.23a and 10.24a).
- 3) Provide continuous air barrier connection around the perimeter of the window to reduce leaking, condensation related to air movement, and sound and insect intrusion.
- 4) Provide leak-proof sill pan flashing with end and back dams to catch any water penetration and direct it to the exterior of the wall assembly.
- 5) Provide window insert to optimize sealant configuration.

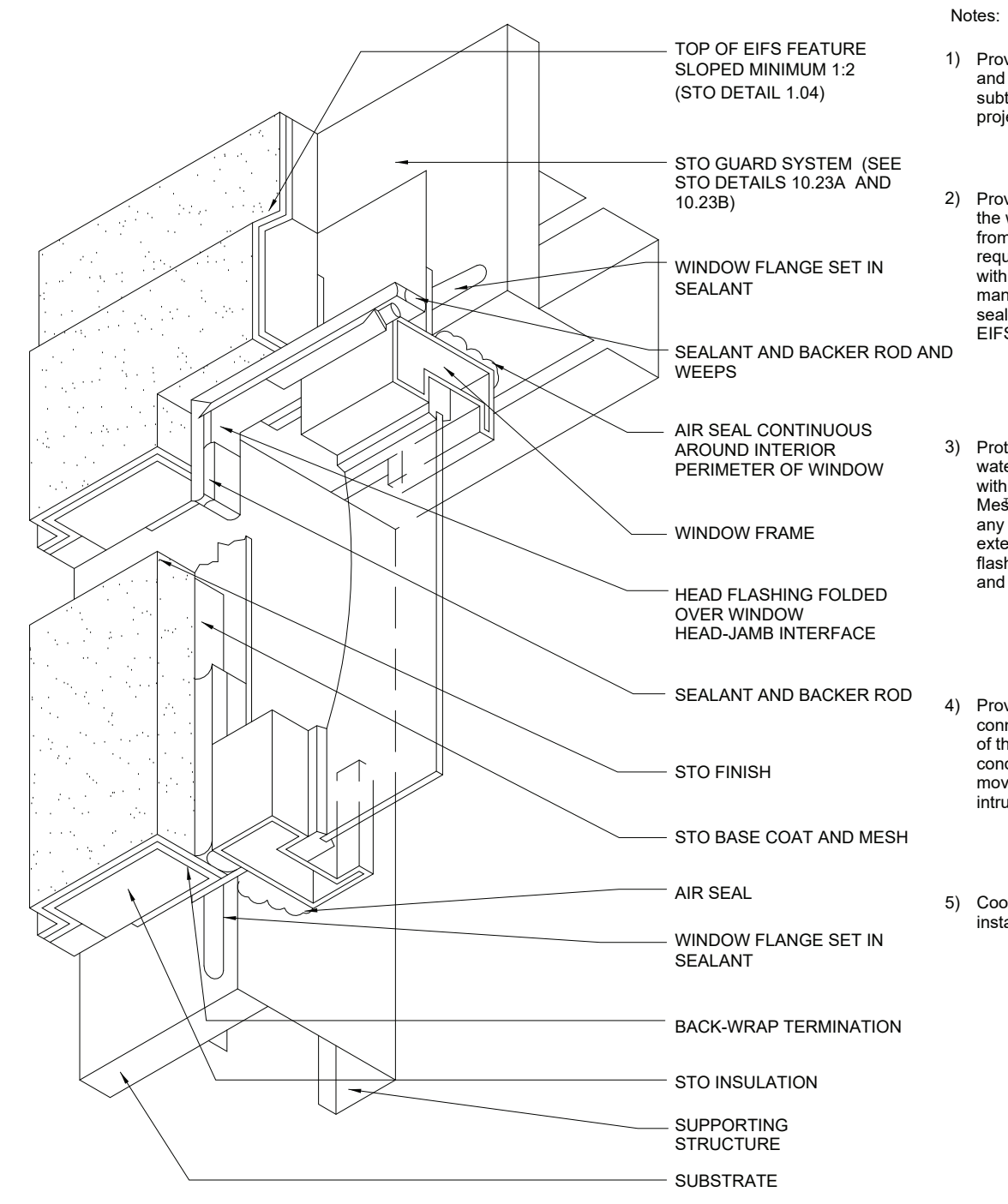
**STO 10.26A WINDOW SILL**



**Notes:**

- 1) Do not attach upper sheathing to nested track. Only attach lower sheathing to nested track.
- 2) The maximum allowable sheathing span at the floor line is 8" (200mm) or as recommended by the sheathing manufacturer.
- 3) Provide flashing minimum 4" (100mm) behind the Sto EIFS and project beyond the face of the alternate cladding below.
- 4) Consider the amount of movement in the alternate cladding material, especially if a different structural support system exists for that cladding. Position flashing to accommodate movement and ensure drainage to the exterior.
- 5) Determine installation sequence in advance of construction.

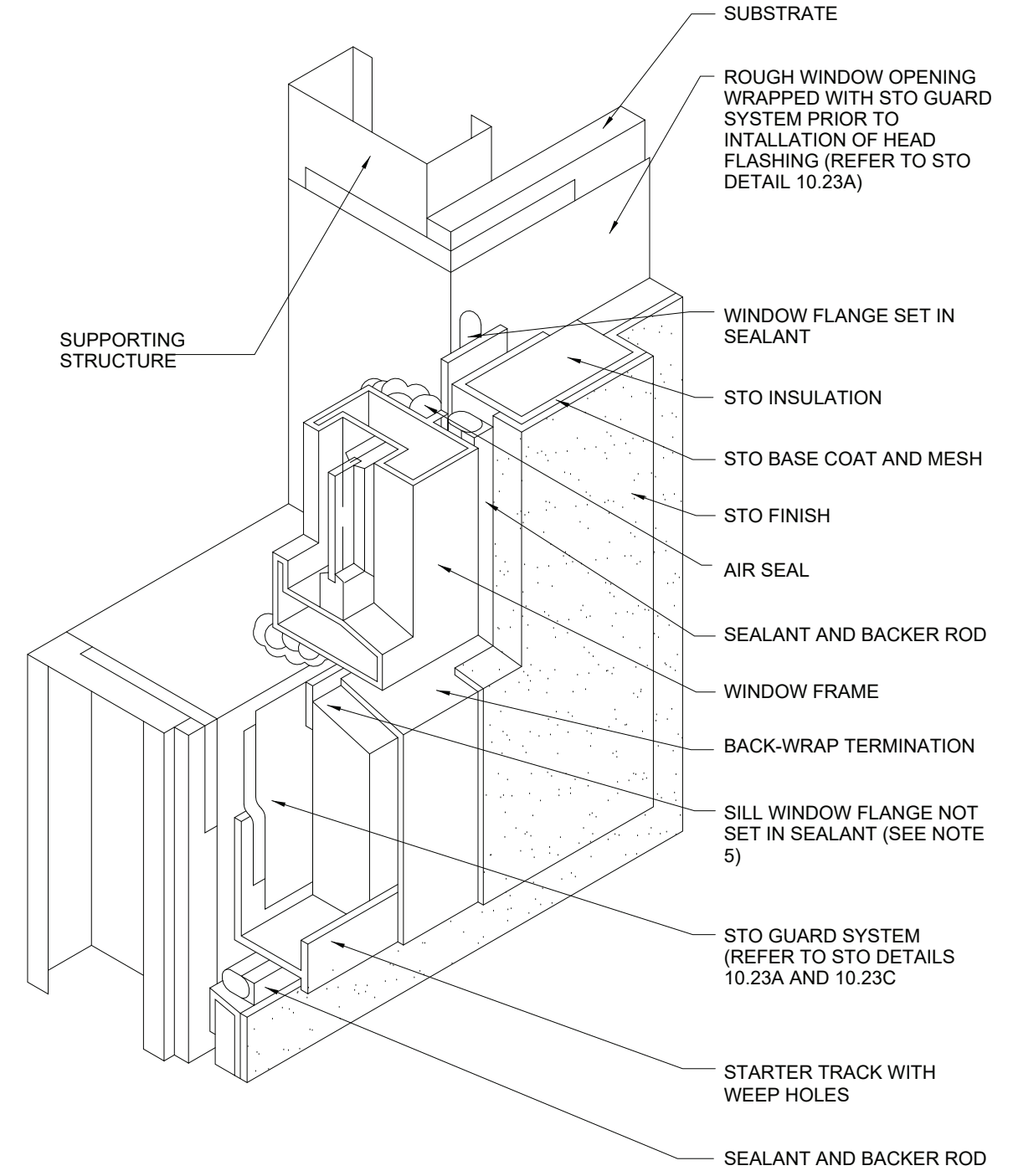
**STO 10.42 HORIZONTAL CHANGE IN MATERIAL**



**Notes:**

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Provide flashing installed over the window to direct water away from the window. Verify requirements for head flashing with local codes and window manufacturer. If not required, seal between window head and EIFS.
- 3) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.28 and 10.29).
- 4) Provide continuous air barrier connection around the perimeter of the window to reduce leaking, condensation related to air movement, and sound and insect intrusion.
- 5) Coordinate Sto Guard installation with window installer.

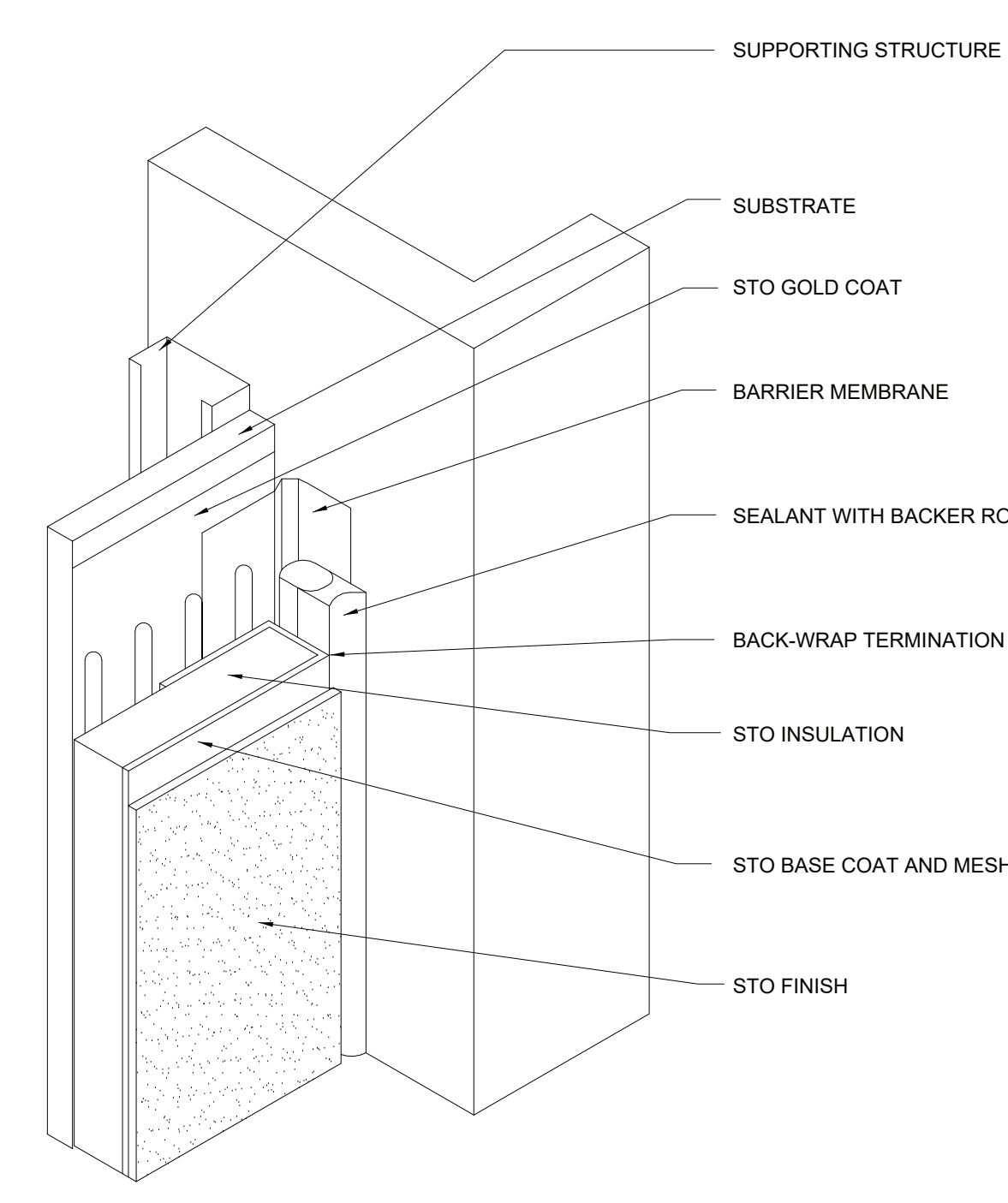
**STO 10.27 WINDOW HEAD AT BUMP-OUT**



**Notes:**

- 1) Provide a mock-up installation and test using materials and substrates associated with the project.
- 2) Protect rough opening against water penetration by wrapping with Sto Gold Fill with Sto Detail Mesh and Sto Gold Coat. Direct any water penetration to the exterior at or above the sill pan flashing. (See Sto details 10.27 and 10.28).
- 3) Provide continuous air barrier connection around the perimeter of the window to reduce leaking, condensation related to air movement, and sound and insect intrusion.
- 4) Coordinate Sto Guard installation sequence with window installer and other related trades.
- 5) Do not set window sill flange in sealant unless approved by window manufacturer.

**STO 10.29 WINDOW SILL AT BUMP-OUT**



**Notes:**

- 1) Provide a barrier membrane between the substrate and dissimilar material to provide an air barrier and a secondary weather barrier at the joint.
- 2) Provide minimum 3/4" (20mm) joint width.
- 3) Provide drainage for joint assembly.

**STO 10.51 VERTICAL CHANGE IN MATERIAL**

**DAVID A. TETRO ARCHITECT P.C.**  
302 Lewis Avenue  
Yorktown Heights  
NY 10598  
914.962.3113  
dtetarchitect@gmail.com

**YORKTOWN HIGHWAY GARAGE**

**TOWN OF YORKTOWN**

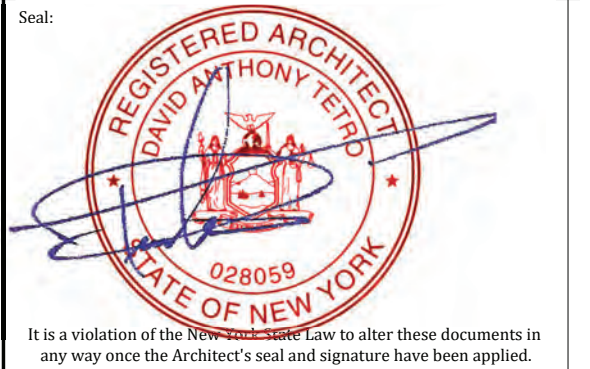
281 Underhill Avenue  
Yorktown Heights, NY 10598

Contractors:

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.  
Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

No.	Description	Date



Construction Documents: For Permit and Construction

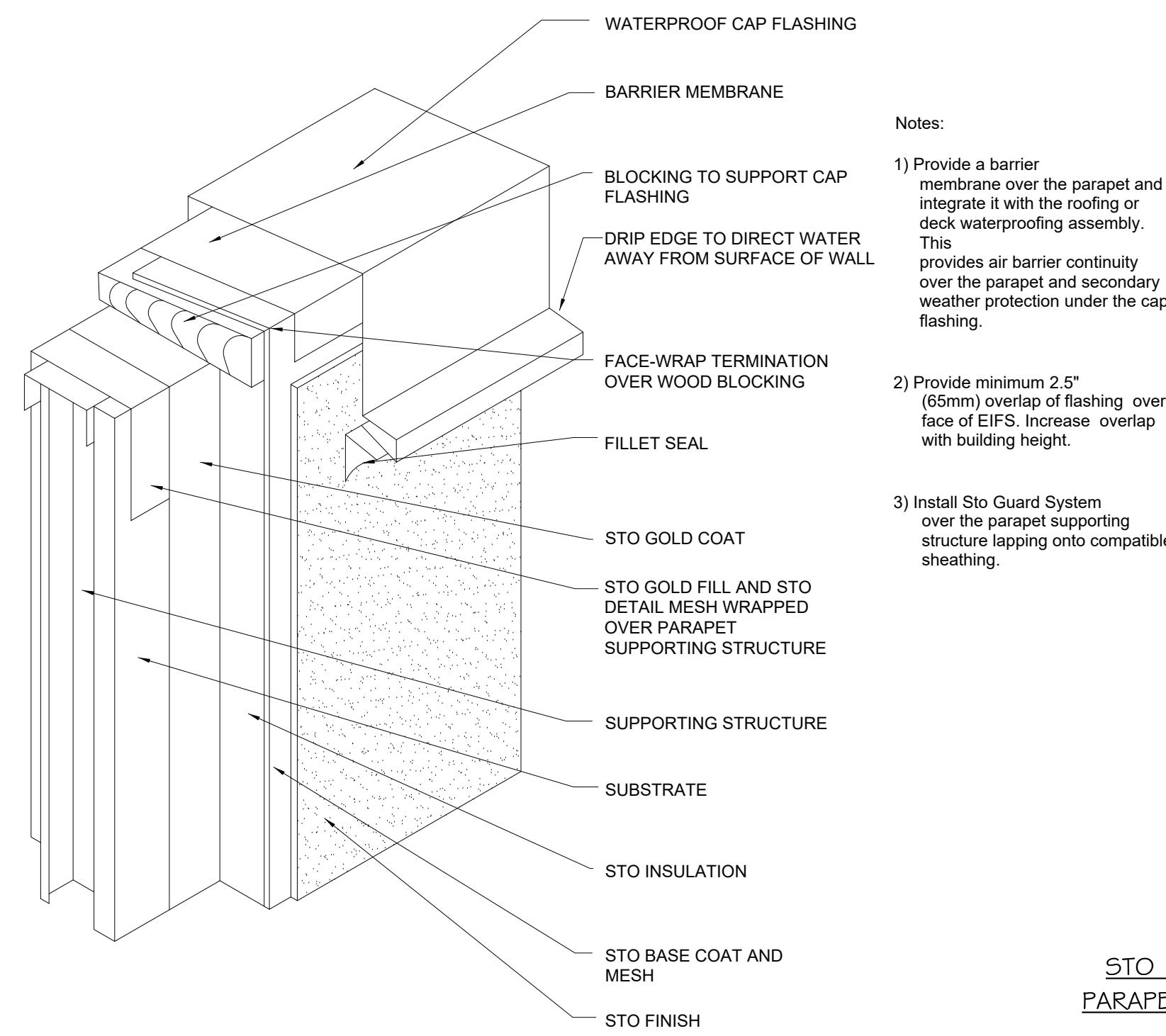
Project No: 22.03 Issue Date: 04.15.24

**E.I.F.S. TYPICAL DETAILS**

Sheet No: **A.08**

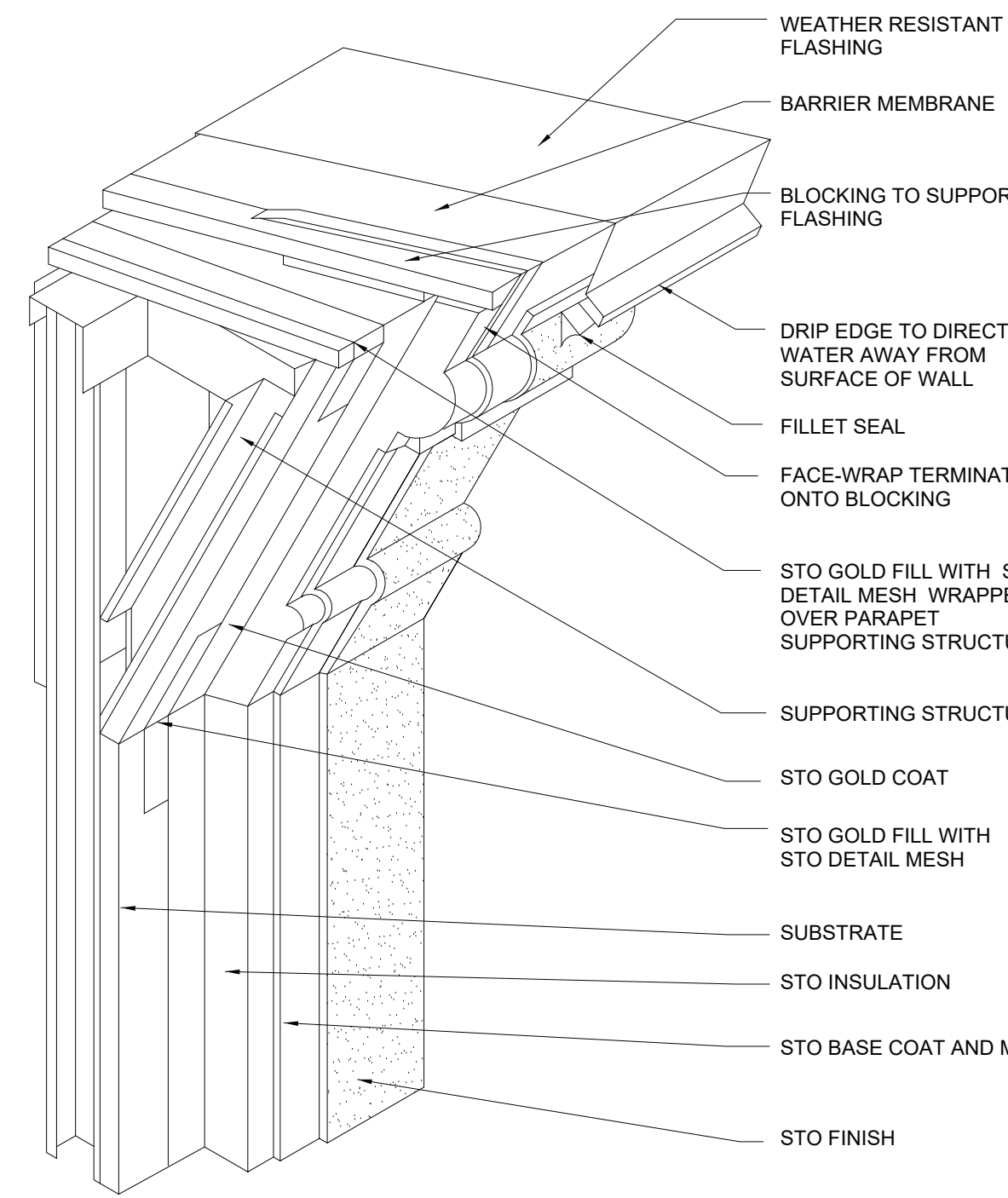
4/16/2024 5:44:41 AM





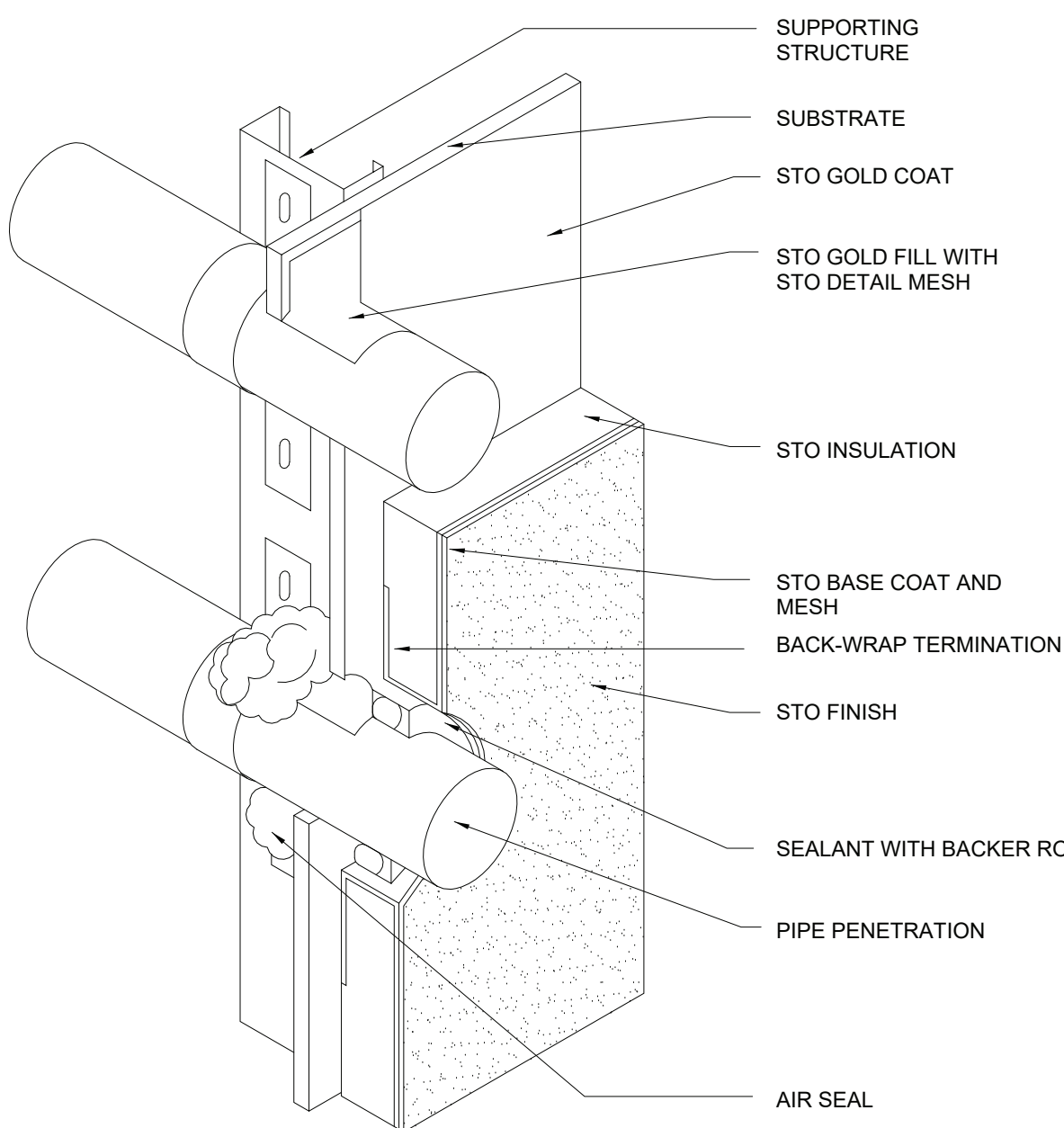
- Notes:
- 1) Provide a barrier membrane over the parapet and integrate it with the roofing or deck waterproofing assembly. This provides air barrier continuity over the parapet and secondary weather protection under the cap flashing.
  - 2) Provide minimum 2.5" (65mm) overlap of flashing over face of EIFS. Increase overlap with building height.
  - 3) Install Sto Guard System over the parapet supporting structure lapping onto compatible sheathing.

STO 10.60  
PARAPET CAP



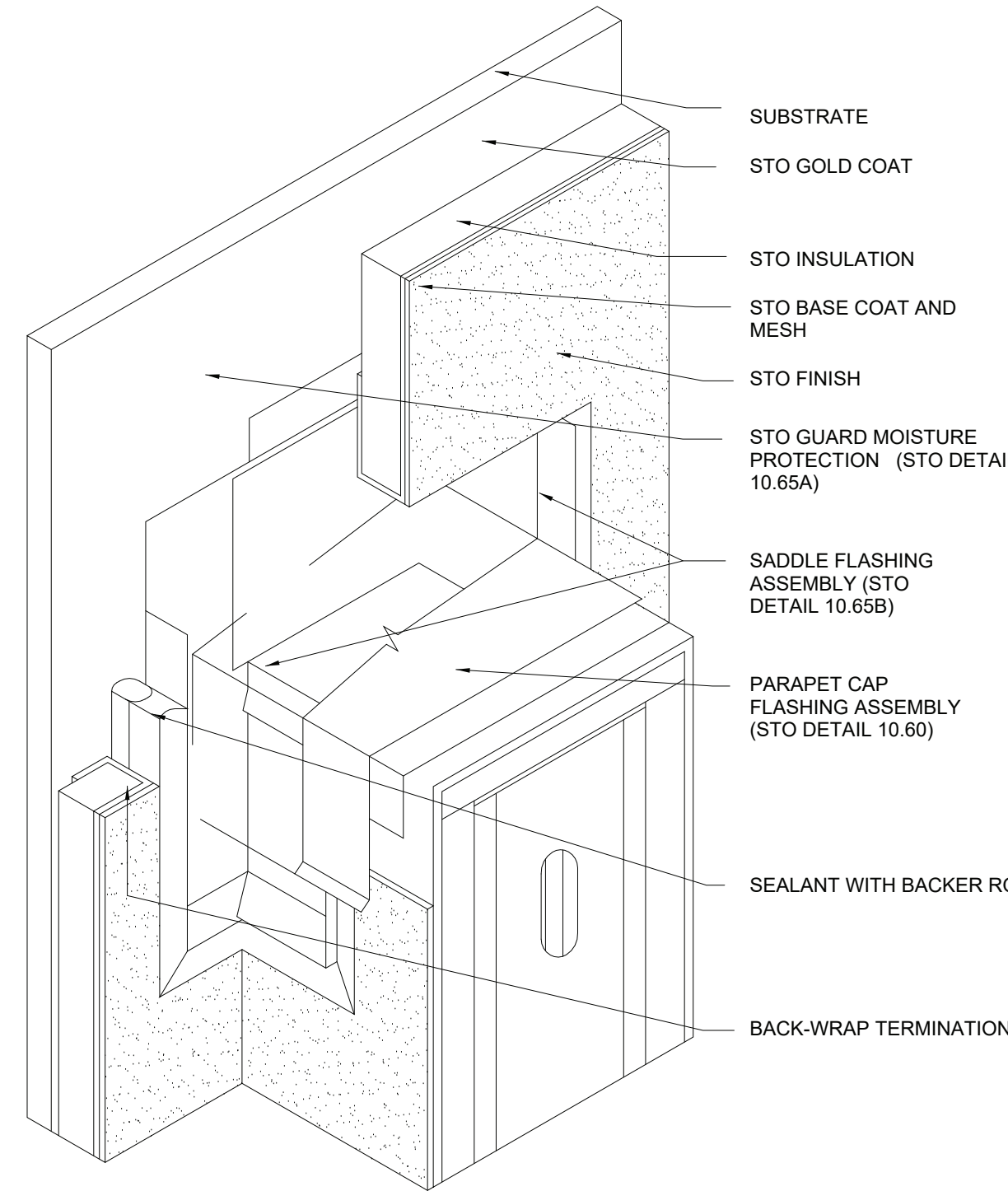
- Notes:
- 1) The maximum thickness of foam plastic insulation allowed by code is typically 4" (100mm) larger features must be framed out as illustrated.
  - 2) Provide a barrier membrane over the parapet and integrate it with the roofing or deck waterproofing assembly. This provides air barrier continuity over the parapet and secondary weather protection under the cap flashing.
  - 3) Provide minimum 2.5" (65mm) overlap of flashing over face of EIFS. Increase overlap with building height.
  - 4) Install Sto Guard System over parapet supporting structure lapping onto compatible sheathing.

STO 10.61  
DIAGRAM AT CORNICE



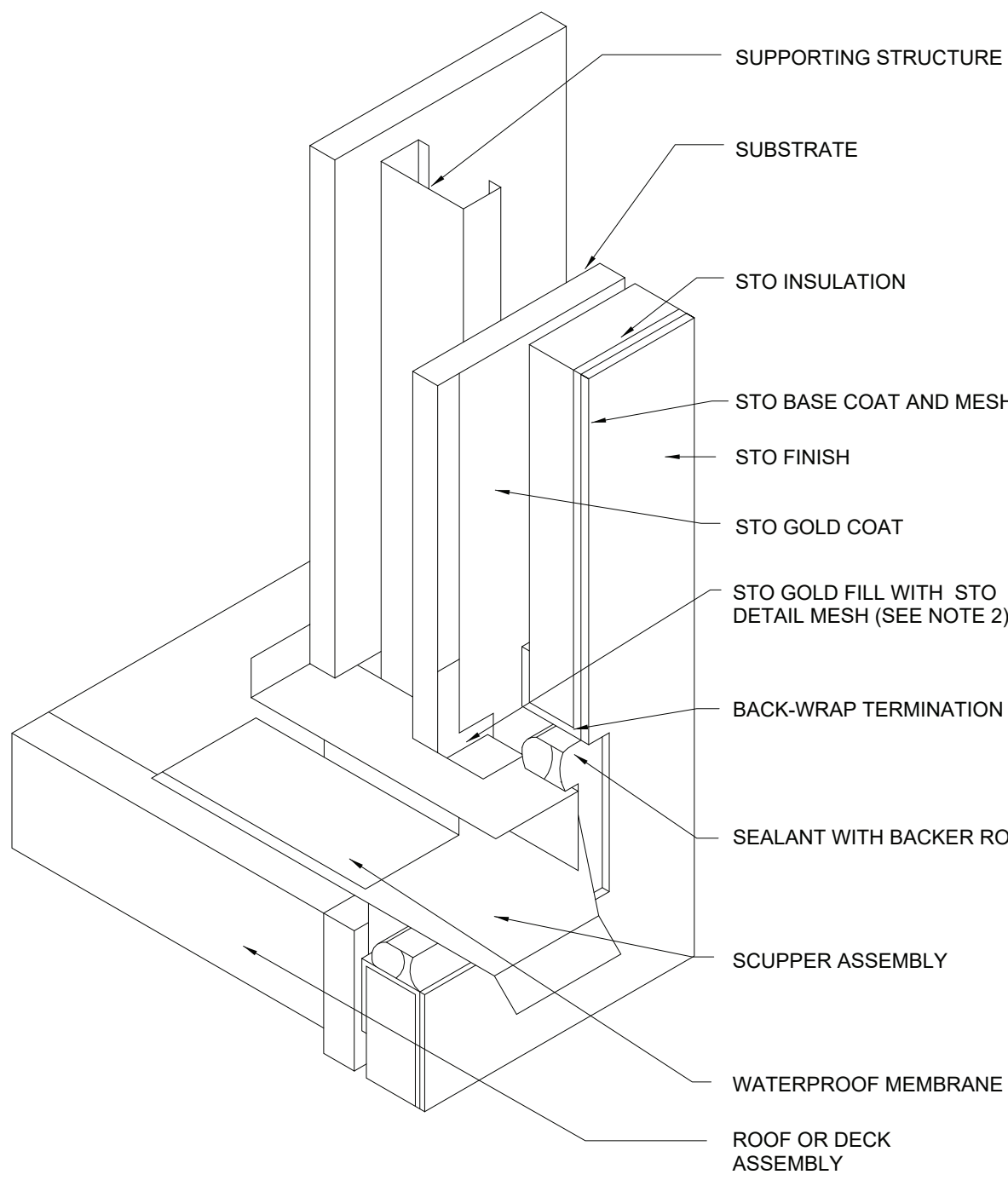
- Notes:
- 1) Detail assumes pipe is installed prior to the EIFS or that its location has been identified.
  - 2) Prepare an opening in the EIFS with a joint of 1/2" (13mm) around the penetration and provide sealant with a closed cell backer rod. Provide air seal around the interior side of the penetration to provide air seal and to reduce the pressure difference across the outside sealant.
  - 3) Provide barrier membrane in lieu of Sto Gold Fill at penetration where joint between sheathing and penetrating element exceeds 1/8" (3mm). Lap barrier membrane over Sto Gold Coat.

STO 10.70  
PIPE/CONDUIT PENETRATION



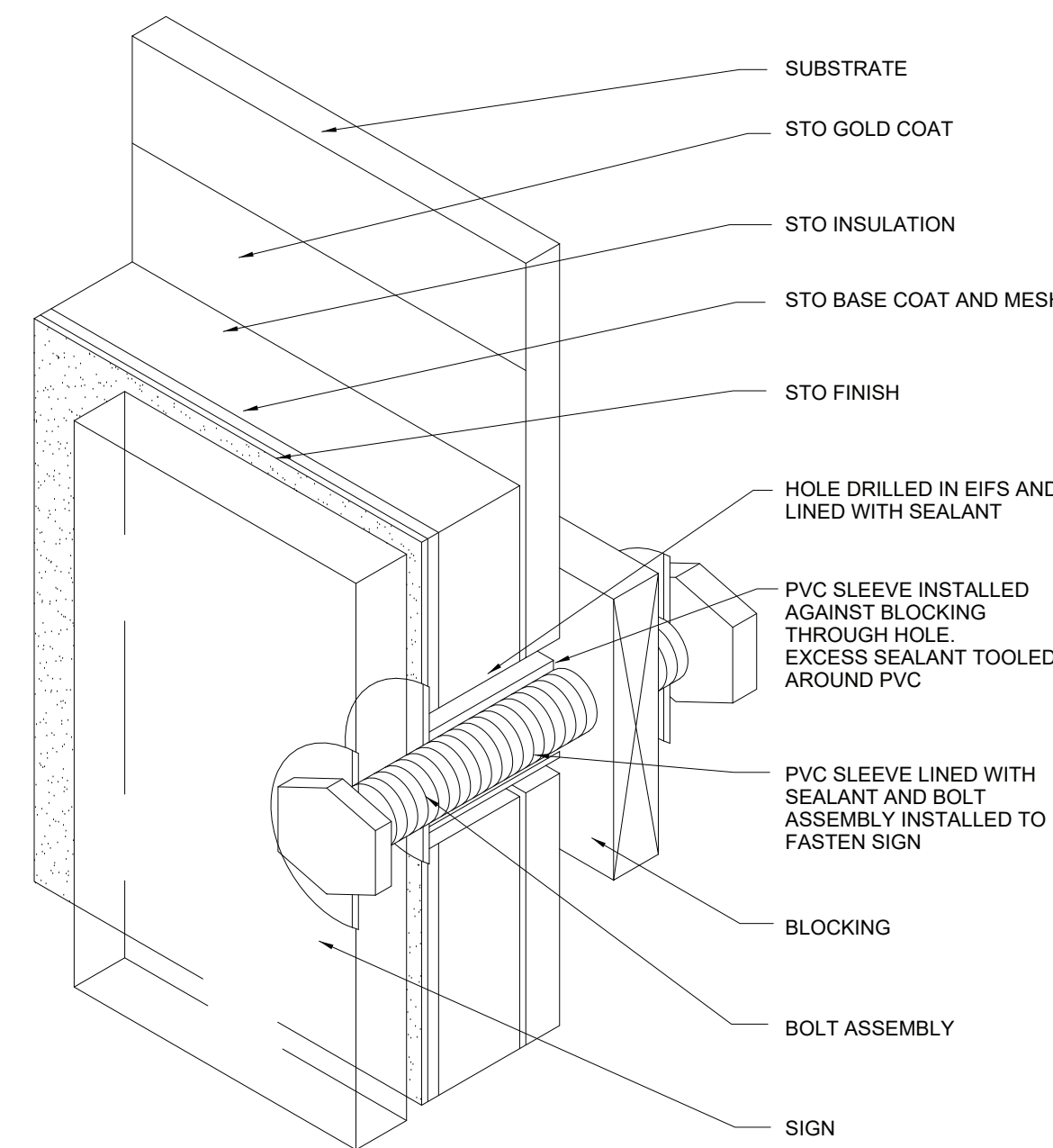
- Notes:
- 1) Install Sto EIFS over Sto Guard System (see Sto detail 10.65a)
  - 2) Lap EIFS over the flashing assembly at the top by a minimum of 2" (50mm) and terminate with 1/2" (13mm) joint around the perimeter.
  - 3) See Sto Detail 10.65b for assembly of saddle flashing.
  - 4) Provide parapet cap flashing. (See Sto detail 10.60 for termination at a parapet cap flashing.)

STO 10.65C  
PARAPET TRANSITION



- Notes:
- 1) Provide leakproof scupper assembly and installation to direct water away from the wall surface.
  - 2) Provide barrier membrane in lieu of Sto Gold Fill at penetration where joint between sheathing and penetrating element exceeds 1/8" (3mm). Lap barrier membrane over Sto Gold Coat.

STO 10.75  
ROOF SCUPPER



- Notes:
- 1) The sign, or other attachment, is normally installed after the EIFS installation is complete.
  - 2) Blocking or other structural support required for non-structural substrates and heavy objects.

STO 10.82  
SIGN / FEATURE ATTACHMENT

EIFS NOTES (BASED UPON STO SYSTEM)

1. CONTRACTOR SHALL CONFORM TO THE MOST CURRENT AND APPROVED E.I.F.S. PRODUCT DETAILS AND SPECIFICATIONS FOR THE StoTherm® Lotusan NEXT™ System.
2. WIND LOAD: DESIGN FOR MAXIMUM ALLOWABLE SYSTEM DEFLECTION, NORMAL TO THE PLANE OF THE WALL, OF L/240.
3. SEALANTS USED AT WINDOWS AND OTHER E.I.F.S. COMPONENTS SHALL BE DOW #790 OR #795 AS RECOMMENDED BY THE MANUFACTURER.
4. PREVENT THE ACCUMULATION OF WATER BEHIND THE EIFS SYSTEM, EITHER BY CONDENSATION OR LEAKAGE THROUGH THE WALL CONSTRUCTION, IN THE DESIGN AND DETAILING OF THE WALL ASSEMBLY. Provide flashing to direct water to the exterior where it is likely to Penetrate components in the wall assembly, including, above window and door heads, beneath window and door sills, at roof/wall intersections, decks, abutments of lower walls with higher walls, above projecting features, and at the base of the wall. Air Leakage Prevention—provide continuity of Air Barrier System at foundation, roof, windows, doors and other penetrations through the system with connecting and compatible Air Barrier components to minimize conservation and leakage caused by air movement. Vapor Diffusion and Condensation-- perform a dew point analysis of the wall assembly to determine the potential for accumulation of moisture in the wall assembly as a result of water vapor diffusion and condensation. Adjust insulation thickness and/or other wall assembly components accordingly to minimize the risk of condensation. Avoid the use of vapor retarders on the interior side of the wall in warm, humid climates.
5. PROVIDE ULTRA-HIGH IMPACT RESISTANCE TO A MINIMUM HEIGHT OF 6'-0" (1.8 M) ABOVE FINISHED GRADE AT ALL AREAS ACCESSIBLE TO PEDESTRIAN TRAFFIC AND OTHER AREAS EXPOSED TO ABNORMAL STRESS OR IMPACT. INDICATE THE AREAS WITH IMPACT RESISTANCE OTHER THAN "STANDARD" ON CONTRACT DRAWINGS.
6. SELECT FINISH COAT WITH A LIGHT REFLECTANCE VALUE OF .20 OR GREATER. (THE USE OF DARK COLORS IS NOT RECOMMENDED WITH EIFS SYSTEMS THAT INCORPORATE EXPANDED POLYSTYRENE (EPS). EIFS HAS A SERVICE TEMPERATURE LIMITATION OF APPROXIMATELY 160 F (71 °C).
7. DESIGN MINIMUM 3/4 INCH (19 MM) WIDE EXPANSION JOINTS IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE OR SUPPORTING CONSTRUCTION, WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION OR MATERIALS, AT CHANGES IN BUILDING HEIGHT, AND AT FLOOR LINES IN MULTI-LEVEL WOOD FRAME CONSTRUCTION.
8. DESIGN MINIMUM 1/2 INCH (13 MM) WIDE SEALANT JOINTS AT ALL PENETRATIONS THROUGH THE EIFS (WINDOWS, DOORS, ETC.).
9. SPECIFY COMPATIBLE BACKER ROD AND SEALANT THAT HAS BEEN EVALUATED IN ACCORDANCE WITH ASTM C 1382, "TEST METHOD FOR DETERMINING TENSILE ADHESION PROPERTIES OF SEALANTS WHEN USED IN EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) JOINTS," AND THAT MEETS MINIMUM 50% ELONGATION AFTER CONDITIONING.
10. DESIGN JOINTS SO THAT AIR BARRIER CONTINUITY IS MAINTAINED ACROSS THE JOINT AND DRAIN. JOINTS TO THE EXTERIOR.
11. DO NOT INSTALL EIFS BELOW GRADE (UNLESS DESIGNED FOR USE BELOW GRADE AND PERMITTED BY CODE) OR FOR USE ON SURFACES SUBJECT TO CONTINUOUS OR INTERMITTENT WATER IMMERSION OR HYDROSTATIC PRESSURE.
12. ALL TRIM AND PROJECTING ARCHITECTURAL FEATURES MUST HAVE A MINIMUM 1:2 [27 ] SLOPE ALONG THEIR TOP SURFACE. ALL HORIZONTAL REVEALS MUST HAVE A MINIMUM 1:2 [27 ] SLOPE ALONG THEIR BOTTOM SURFACE. INCREASE SLOPE FOR NORTHERN CLIMATES TO PREVENT ACCUMULATION OF ICE/SNOW AND WATER ON SURFACE. WHERE TRIM/FEATURE OR BOTTOM SURFACE OF REVEAL PROJECTS MORE THAN 2 INCHES (51 MM) FROM THE FACE OF THE EIFS WALL PLANE, PROTECT THE TOP SURFACE WITH WATERPROOF BASE COAT. PERIODIC INSPECTIONS AND INCREASED MAINTENANCE MAY BE REQUIRED TO MAINTAIN SURFACE INTEGRITY OF EIFS ON WEATHER EXPOSED SLOPED SURFACES. LIMIT PROJECTING FEATURES TO EASILY ACCESSIBLE AREAS AND LIMIT TOTAL AREA TO FACILITATE MAINTENANCE AND MINIMIZE MAINTENANCE. REFER TO STO DETAILS.
13. DO NOT USE EIFS ON WEATHER EXPOSED PROJECTING LEDGES, SILLS, OR OTHER PROJECTING FEATURES UNLESS SUPPORTED BY FRAMING OR OTHER STRUCTURAL SUPPORT AND PROTECTED WITH METAL COPING OR FLASHING. REFER TO STO DETAILS.
14. MINIMUM EPS INSULATION THICKNESS IS 1 INCH (25 MM), MAXIMUM EPS INSULATION THICKNESS IS 12 INCHES (305 MM) WHEN INSTALLED IN ACCORDANCE WITH ESR 1748 (INCLUDING ARCHITECTURAL FEATURES).
15. WHERE A FIRE-RESISTANCE RATING IS REQUIRED BY CODE USE EIFS OVER RATED ASSEMBLY (EIFS IS CONSIDERED NOT TO ADD OR DEDUCT FROM THE FIRE-RESISTANCE OF THE RATED ASSEMBLY). REFER TO MANUFACTURER'S APPLICABLE CODE COMPLIANCE REPORT FOR OTHER LIMITATIONS THAT MAY APPLY.
16. MANUFACTURER IN GOOD STANDING OF THE EIFS INDUSTRY MEMBERS ASSOCIATION (EIMA), SYSTEM MANUFACTURER FOR A MINIMUM OF TWENTY (25) YEARS; MANUFACTURING FACILITIES ISO 9001-2000 CERTIFIED QUALITY SYSTEM.
17. CONTRACTOR SHALL BE EXPERIENCED IN APPLICATION OF EIFS FOR A MINIMUM OF THREE (3) YEARS, KNOWLEDGEABLE IN THE PROPER USE AND HANDLING OF STO MATERIALS AND POSSESSING CERTIFICATE OF COMPLETION OF STO ON-LINE APPLICATION TEST. EMPLOY SKILLED MECHANICS WHO ARE EXPERIENCED AND KNOWLEDGEABLE IN EIFS APPLICATION, AND FAMILIAR WITH THE REQUIREMENTS OF THE SPECIFIED WORK. SUCCESSFUL COMPLETION OF MINIMUM OF THREE (3) PROJECTS OF SIMILAR SIZE AND COMPLEXITY TO THE SPECIFIED PROJECT. PROVIDE THE PROPER EQUIPMENT, MANPOWER AND SUPERVISION ON THE JOB SITE TO INSTALL THE SYSTEM IN COMPLIANCE WITH STOS PUBLISHED SPECIFICATIONS AND DETAILS AND THE PROJECT PLANS AND SPECIFICATIONS.
18. INSULATION BOARD MANUFACTURER SHALL BE RECOGNIZED BY STO AS CAPABLE OF PRODUCING INSULATION BOARD TO MEET SYSTEM REQUIREMENTS, AND HOLD A VALID LICENSING AGREEMENT WITH STO AND LISTED BY AN APPROVED AGENCY. LABEL INSULATION BOARD WITH INFORMATION REQUIRED BY STO, THE APPROVED LISTING AGENCY AND THE APPLICABLE BUILDING CODE.
19. IF REQUESTED OR REQUIRED BY THE OWNER, CONTRACTOR SHALL Construct full-scale mock-up of typical EIFS/window wall assembly with specified tools and materials and test air and water infiltration and structural performance in accordance with ASTM E 283, E 331 and E 330, respectively, through independent laboratory. Mock-up shall comply with requirements of project specifications. Where mock-up is tested at job site maintain approved mock-up at site as reference standard. If tested off-site accurately record construction detailing and sequencing of approved mock-up for replication during construction.
20. G.C. SHALL PROVIDE INDEPENDENT THIRD PARTY INSPECTION BY AN AGENCY APPROVED BY THE OWNER. CONDUCT INSPECTIONS IN ACCORDANCE WITH STO AND INDUSTRY BEST PRACTICES.
21. DELIVER ALL MATERIALS IN THEIR ORIGINAL SEALED CONTAINERS BEARING MANUFACTURER'S NAME AND IDENTIFICATION OF PRODUCT. PROTECT COATINGS (PAINT PRODUCTS) FROM FREEZING AND TEMPERATURES IN EXCESS OF 90 F (32 °C). STORE AWAY FROM DIRECT SUNLIGHT. PROTECT BAG-BASED MATERIALS FROM MOISTURE AND HUMIDITY. STORE UNDER COVER OFF THE GROUND IN A DRY LOCATION.
22. COORDINATION/SCHEDULING: Provide site grading such that EIFS terminates above finished grade a minimum of 6 inches (152 mm) or as required by code. Coordinate installation of foundation waterproofing, roofing membrane, windows, doors, and other penetrations to provide a continuous Air and Moisture Barrier. Provide protection of rough openings before installing windows, doors, and other penetrations through the wall and provide sill flashing. Coordinate installation of windows and doors so Air and Moisture Barrier components are connected to them to provide a continuous Air and Moisture Barrier. Install window and door head flashing immediately after windows and doors are installed. Install diverter flashings wherever water can enter the wall assembly to direct water to the exterior. Install copings and sealant immediately after installation of the EIF system and when EIFS coatings are dry. Attach penetrations through EIFS to structural support and provide water tight seal at penetrations.
23. PROVIDE EIFS SYSTEM, AIR/MOISTURE BARRIER AND ACCESSORIES FROM SINGLE SOURCE MANUFACTURER OR APPROVED SUPPLIER.
24. AIR/MOISTURE BARRIER SHALL BE STO GUARD—FLUID APPLIED AIR/MOISTURE BARRIER FOR EXTERIOR WALL SHEATHING.
25. ADHESIVE SHALL BE ONE OF THE FOLLOWING: STO BTS PLUS—ONE-COMPONENT, POLYMER-MODIFIED, CEMENT BASED HIGH BUILD ADHESIVE, OR STO BTS SILO—ONE-COMPONENT, POLYMER-MODIFIED, CEMENT BASED HIGH BUILD ADHESIVE DESIGNED FOR USE WITH STOSILO SPRAY EQUIPMENT, OR STO BTS XTRA—LIGHTWEIGHT, ONE-COMPONENT, POLYMER-MODIFIED, CEMENT BASED HIGH BUILD ADHESIVE.
26. INSULATION BOARD SHALL BE NOMINAL 1.0 LB/FT<sup>3</sup> (16 KG/M<sup>3</sup>) EXPANDED POLYSTYRENE (EPS) INSULATION BOARD IN COMPLIANCE WITH ASTM E 2430 AND ASTM C 578 TYPE I REQUIREMENTS.
27. BASE COAT SHALL BE STO BTS PLUS—ONE-COMPONENT POLYMER MODIFIED CEMENT BASED HIGH BUILD BASE COAT WITH LESS THAN 33 PERCENT PORTLAND CEMENT CONTENT BY WEIGHT AND CAPABLE OF ACHIEVING MINIMUM 1/16 INCH (1.6 MM) THICKNESS IN ONE PASS, OR STO BTS SILO—ONE-COMPONENT, POLYMER-MODIFIED, CEMENT BASED HIGH BUILD ADHESIVE DESIGNED FOR USE WITH STOSILO SPRAY EQUIPMENT, OR STO BTS XTRA—LIGHT WEIGHT, ONE-COMPONENT, POLYMER MODIFIED, CEMENT BASED HIGH BUILD FACTORY BLEND BASE COAT.
28. PROVIDE STO RFP—ONE-COMPONENT READY MIXED NON-CEMENTITIOUS, FIBER REINFORCED ACRYLIC BASE COAT ADDITIVE AND/OR STO FLEXYL—TWO-COMPONENT FIBER REINFORCED ACRYLIC BASED WATERPROOF BASE COAT MIXED WITH PORTLAND CEMENT AS NECESSARY FOR THIS PARTICULAR APPLICATION / PROJECT.
29. PROVIDE STANDARD MESH STO MESH—NOMINAL 4.5 OZ./YD<sup>2</sup> (1.53 GM/2), SYMMETRICAL, INTERLACED OPEN-WEAVE GLASS FIBER FABRIC MADE WITH ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS AT NON-GROUND-LEVEL LOCATIONS.
30. PROVIDE STO ARMOR MAT—NOMINAL 1.5 OZ./YD<sup>2</sup> (509 GM/2). ULTRA HIGH IMPACT, DOUBLE STRAND, INTERWOVEN, OPEN-WEAVE GLASS FIBER FABRIC WITH ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH STO MATERIALS TO A MINIMUM HEIGHT OF 6'-0" (1.8M) ABOVE FINISHED GRADE AT ALL AREAS ACCESSIBLE TO PEDESTRIAN TRAFFIC AND OTHER AREAS EXPOSED TO ABNORMAL STRESS OR IMPACT.
31. PRIMER SHALL BE STO PRIMER SAND ACRYLIC BASED TINTABLE PRIMER FOR ROLLER APPLICATION OR STO PRIMER SMOOTH—ACRYLIC BASED TINTABLE PRIMER FOR ROLLER OR SPRAY APPLICATION.
32. FINISH COAT SHALL BE STOUT LOTUSAN —ACRYLIC BASED TEXTURED WALL COATING WITH LOTUS-EFFECT TECHNOLOGY, PRONOUNCED SELF-CLEANING PERFORMANCE.
33. WATER USED FOR MIXING SHALL BE CLEAN AND POTABLE.
34. PORTLAND CEMENT SHALL BE ASTM C 150 TYPE I, TYPE II, OR TYPE I-LI.
35. STARTER TRACK SHALL BE RIGID PVC (POLYVINYL CHLORIDE) PLASTIC TRACK PART NO. STDE AS FURNISHED BY PLASTIC COMPONENTS, INC., 9051 NW 97TH TERRACE, MIAMI, FLORIDA, 33178 (800-327-7077).
36. INSTALL AIR/MOISTURE BARRIER AND EIFS IN COMPLIANCE WITH MANUFACTURER'S PUBLISHED INSTRUCTIONS.
37. PROVIDE PROTECTION OF INSTALLED MATERIALS FROM WATER INFILTRATION INTO OR BEHIND THEM.
38. PROVIDE PROTECTION OF INSTALLED MATERIALS FROM DUST, DIRT, AND PRECIPITATION, FREEZING AND CONTINUOUS HIGH HUMIDITY UNTIL THEY ARE FULLY DRY.
39. THESE NOTES BASED UPON STO SYSTEM: G.C. TO COORDINATE AND ADHERE TO SELECTED MANUFACTURER'S REQUIREMENT DURING CONSTRUCTION.

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.

Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

REVISIONS & ISSUES

No.	Description	Date



It is a violation of the New York State Law to alter these documents in any way once the Architect's seal and signature have been applied.

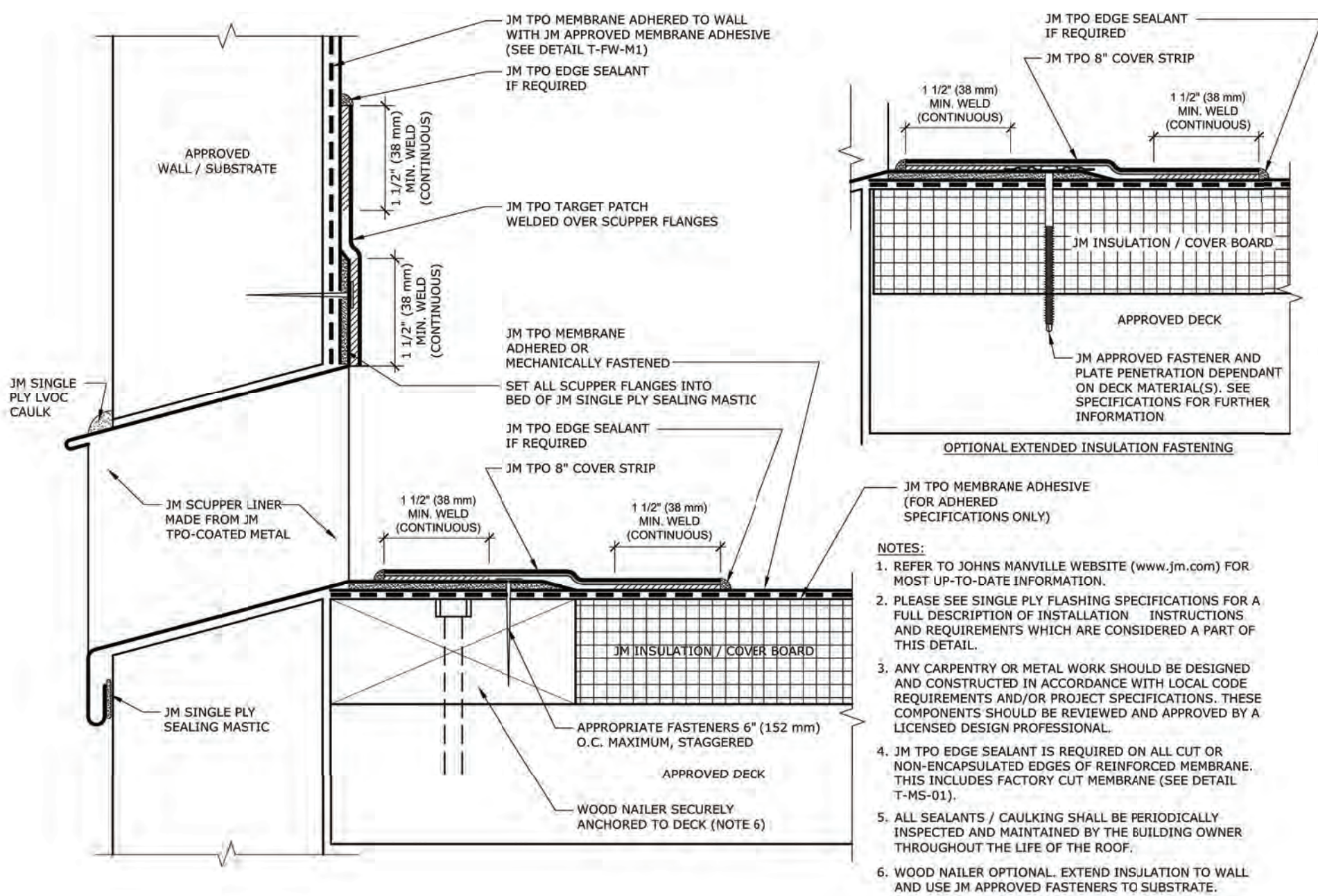
Status:

Construction Documents: For Permit and Construction

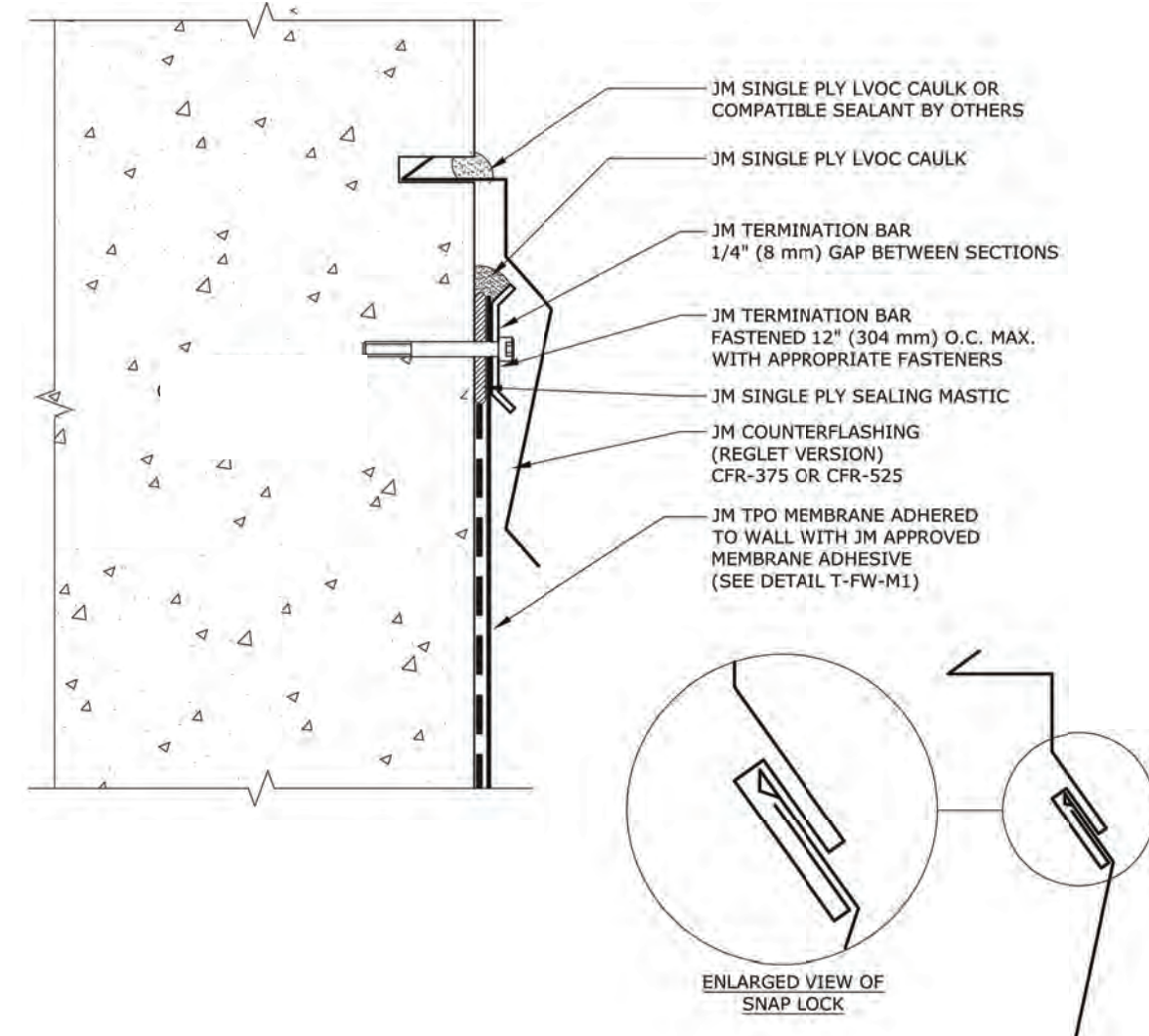
Project No.:	Issue Date:
22.03	04.15.24

Sheet Title:  
**E.I.F.S. TYPICAL DETAILS AND NOTES**

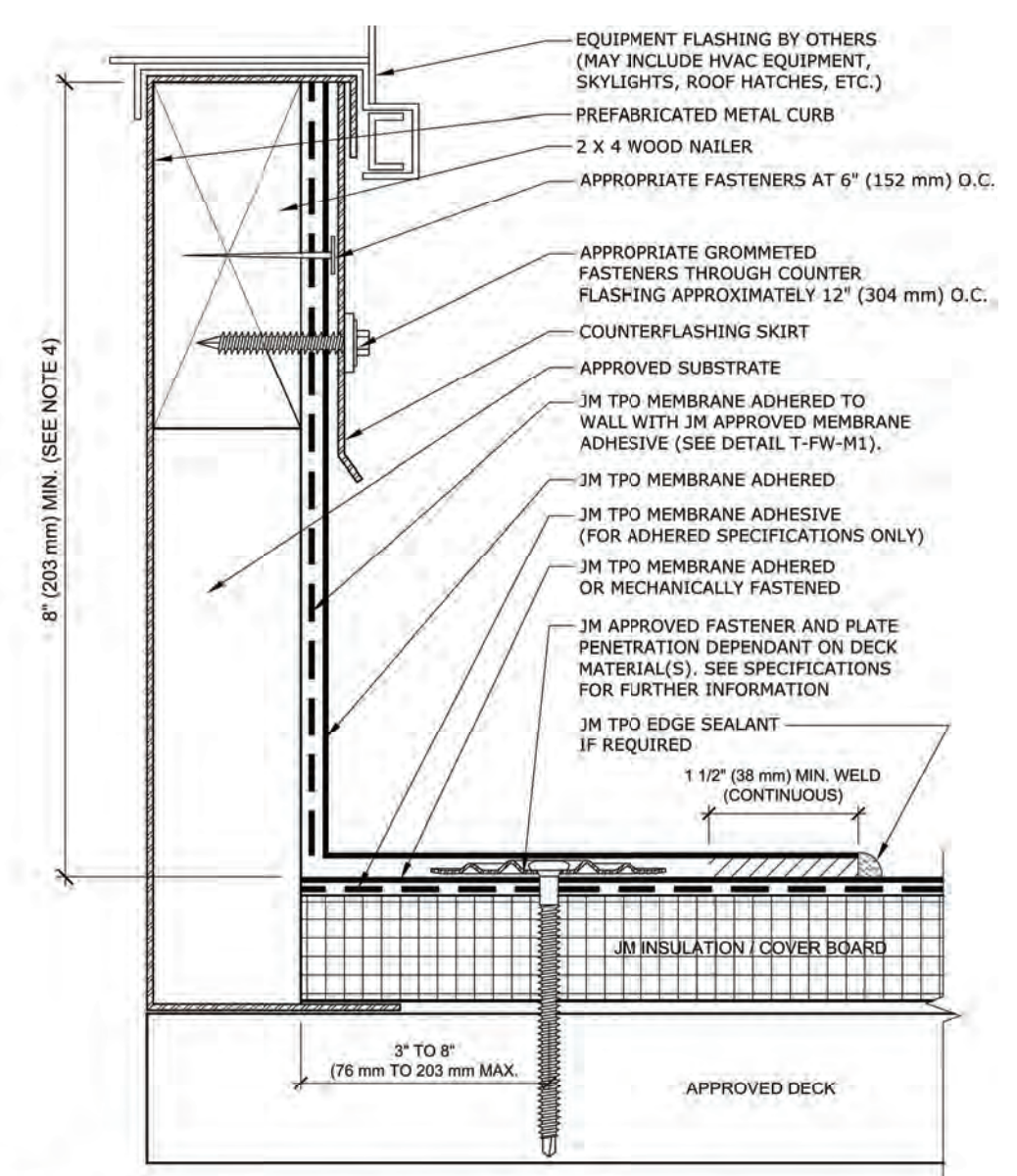
Sheet No.:  
**A.09**



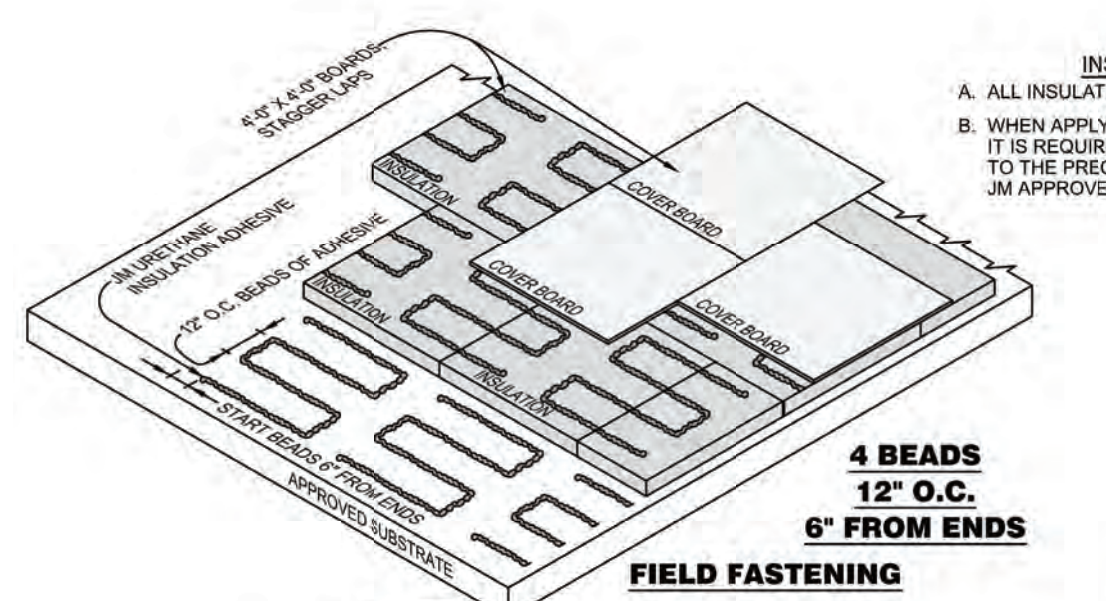
**SCUPPER**  
No Scale



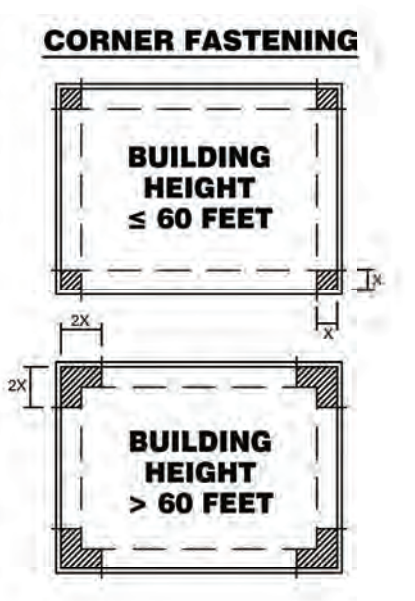
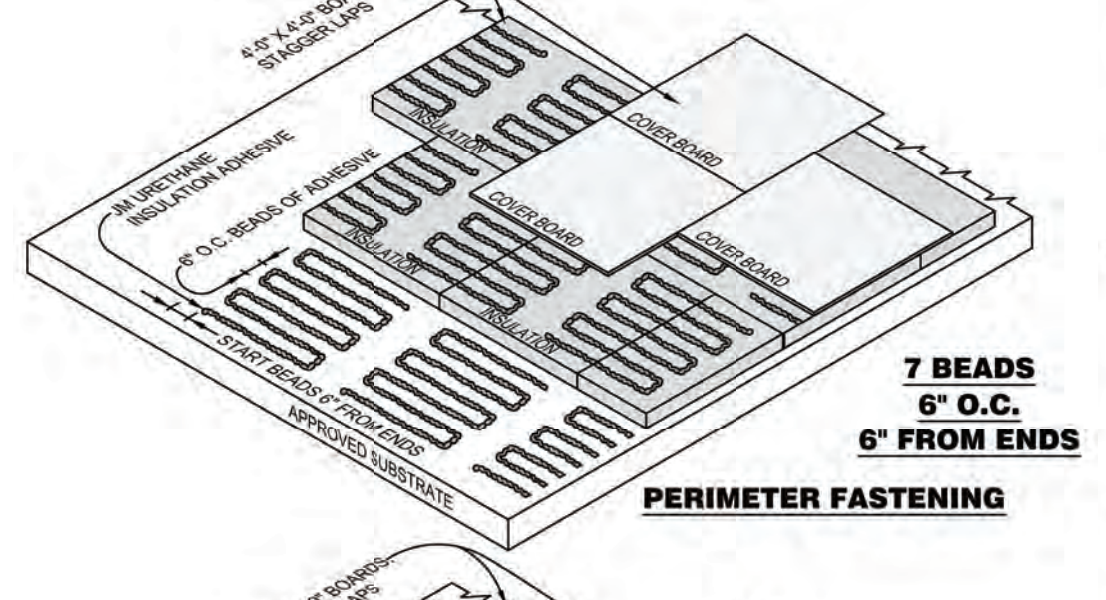
**COUNTERFLASHING**  
12" = 1'-0"



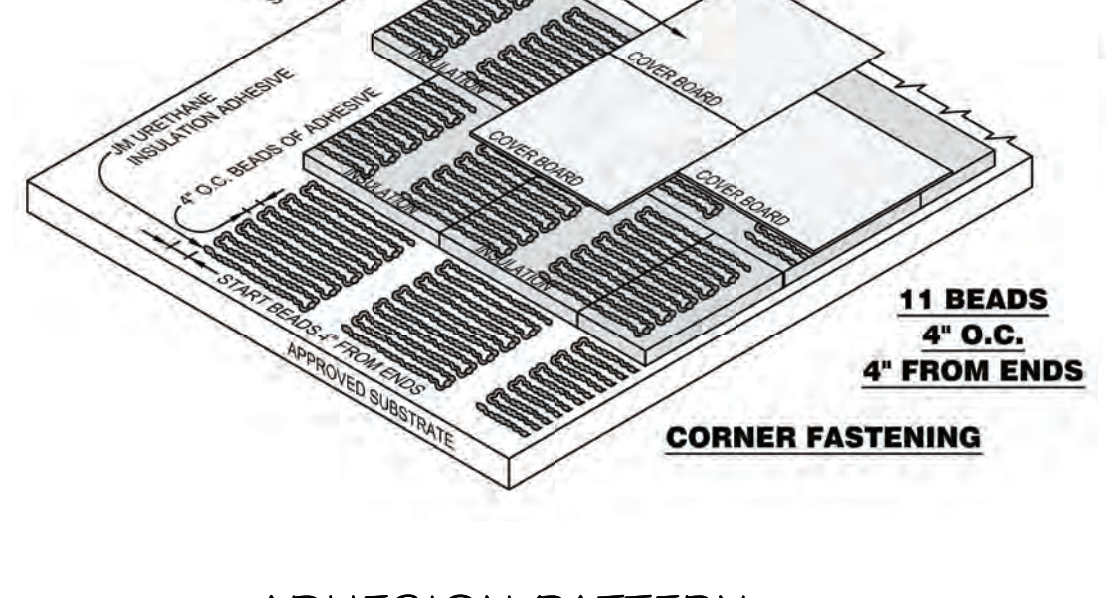
**FLASHING AT CURB DETAIL**  
No Scale



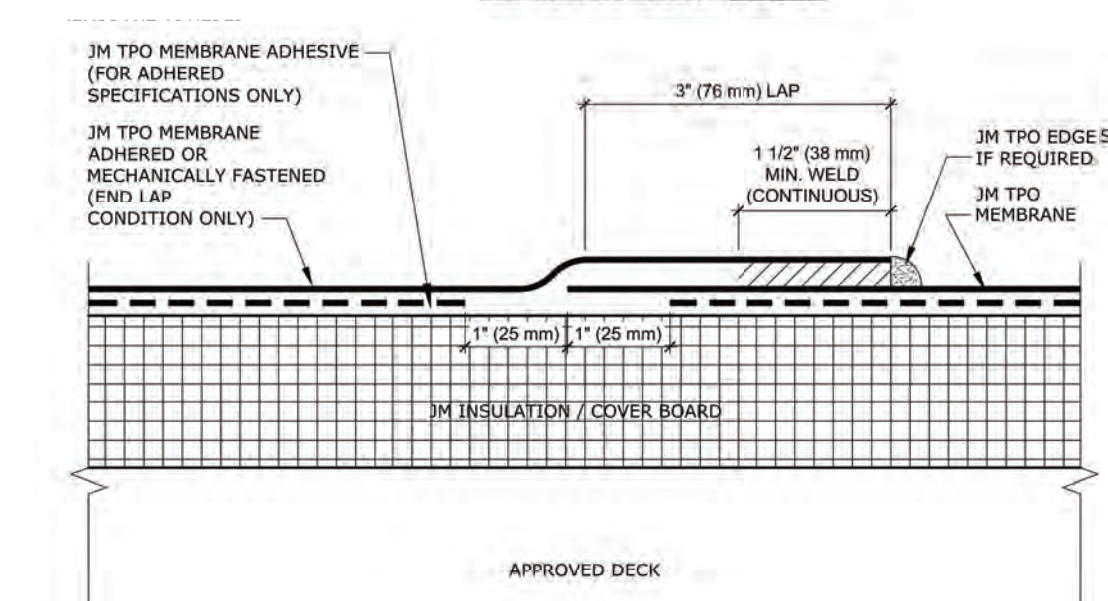
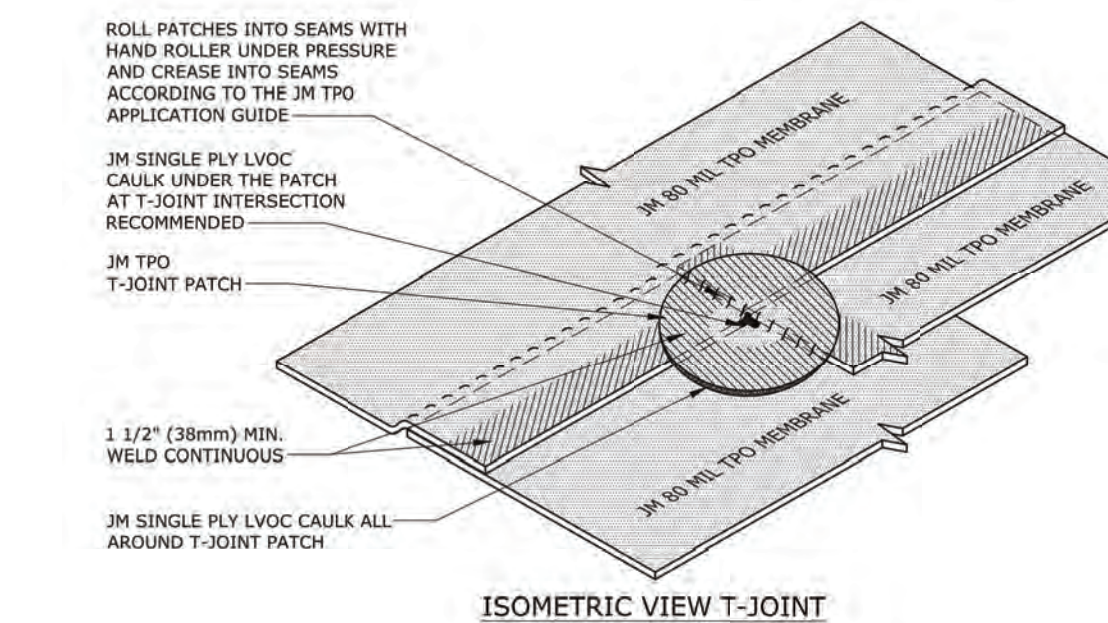
**INSTALLATION NOTES:**  
A. ALL INSULATION/COVER BOARDS SHOULD BE 4'-0" x 4'-0".  
B. WHEN APPLYING MULTIPLE LAYERS OF INSULATION, IT IS REQUIRED TO RUN THE BEADS PARALLEL TO THE PRECEDING LAYER WHEN USING JM APPROVED URETHANE ADHESIVE.



**NOTES:**  
1. UPLIFT DESIGN SHOULD BE IN ACCORDANCE WITH ASCE-7.  
2. UPLIFT RESISTANCE SHOWN IS BASED ON FMG 129 REQUIREMENTS AND RECOMMENDATIONS.  
3. SYSTEM COMPONENTS AND DESIGN MUST BE VERIFIED TO BE IN ACCORDANCE WITH THIS LAYOUT.  
4. ASCE-7 DEFINES THE PERIMETER (X) AS THE LESSER OF 10% OF THE LEAST HORIZONTAL DIMENSION OR 4x THE HEIGHT, BUT NOT LESS THAN 4% OF THE LEAST HORIZONTAL UNDER 60 FEET IN HEIGHT, OVER 60 FEET IN HEIGHT, ASCE-7 DEFINES THE PERIMETER (X) AS THE LESSER OF 10% OF THE LEAST HORIZONTAL DIMENSION ONLY.  
5. THE CORNERS MAY BE TREATED AS PERIMETERS IF THE PARAPET IS GREATER THAN OR EQUAL TO 3 FEET ACCORDING TO ASCE-7.

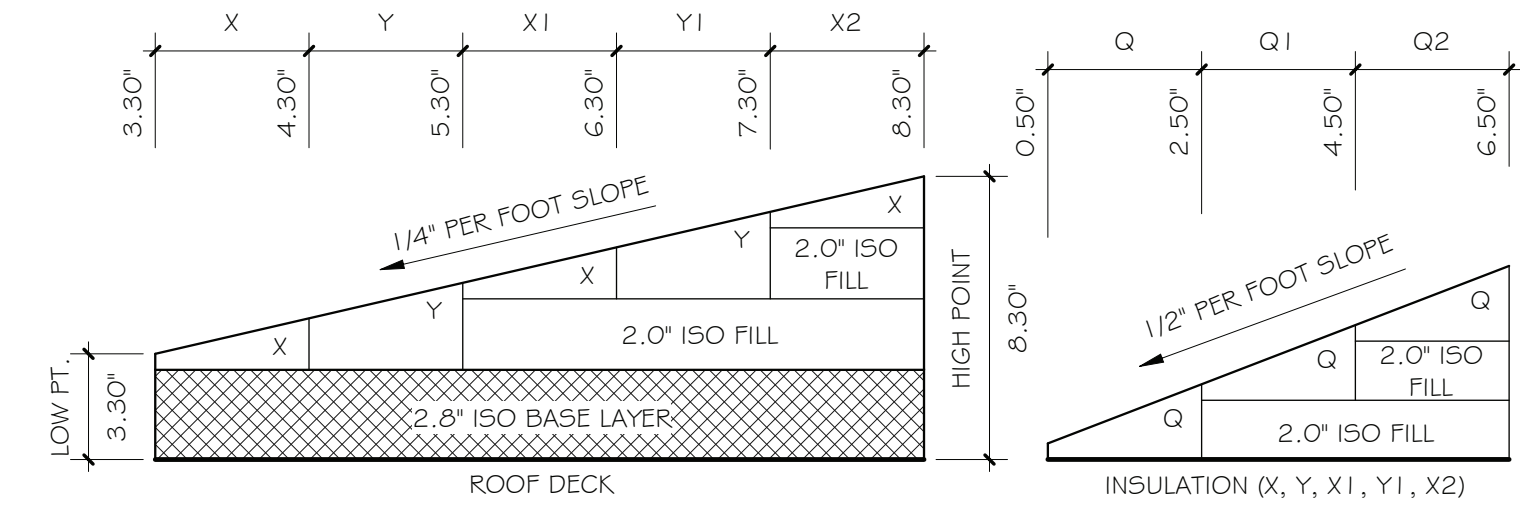


**ADHESION PATTERN**  
No Scale

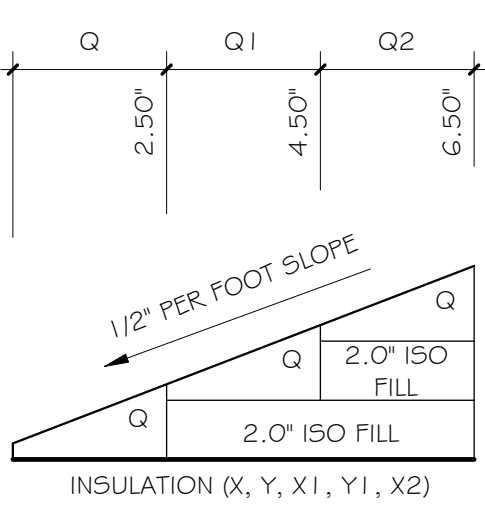


**NOTES:**  
1. REFER TO JOHNS MANVILLE WEBSITE (WWW.JM.COM) FOR MOST UP-TO-DATE INFORMATION.  
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.  
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.  
4. JM TPO EDGE SEALANT IS REQUIRED ON ALL CUT OR NON-ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE (SEE DETAIL T-MS-01).

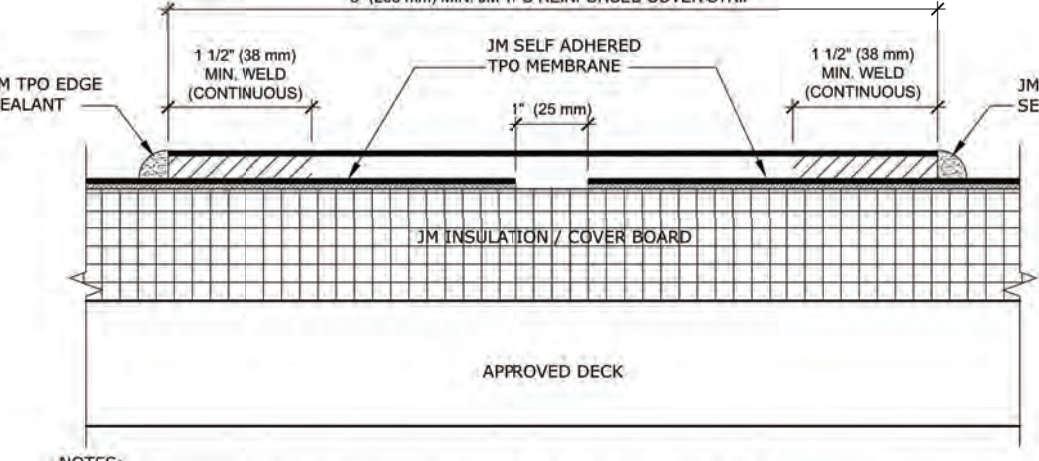
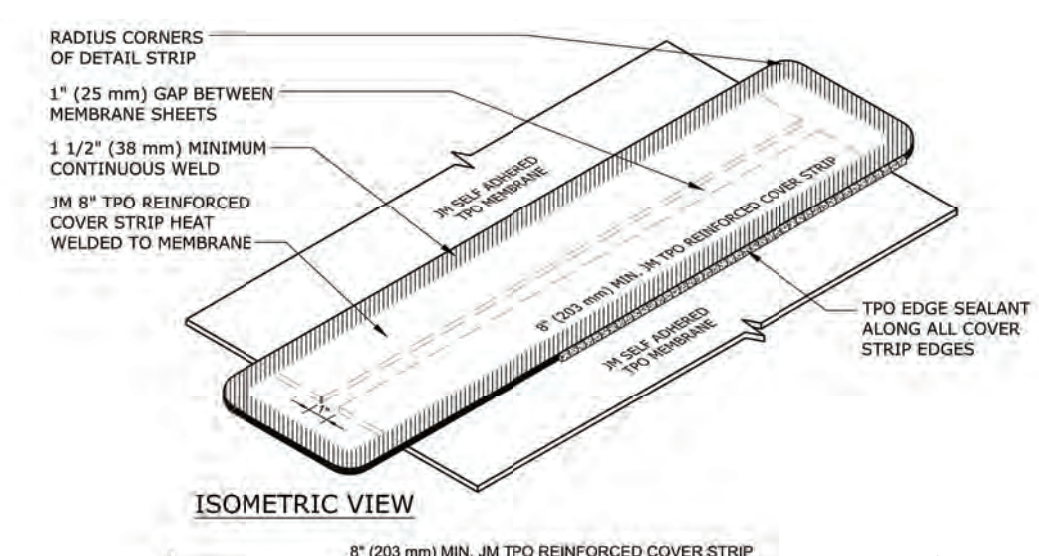
**LAP DETAIL**  
No Scale



**TAPERED SECTION**  
No Scale



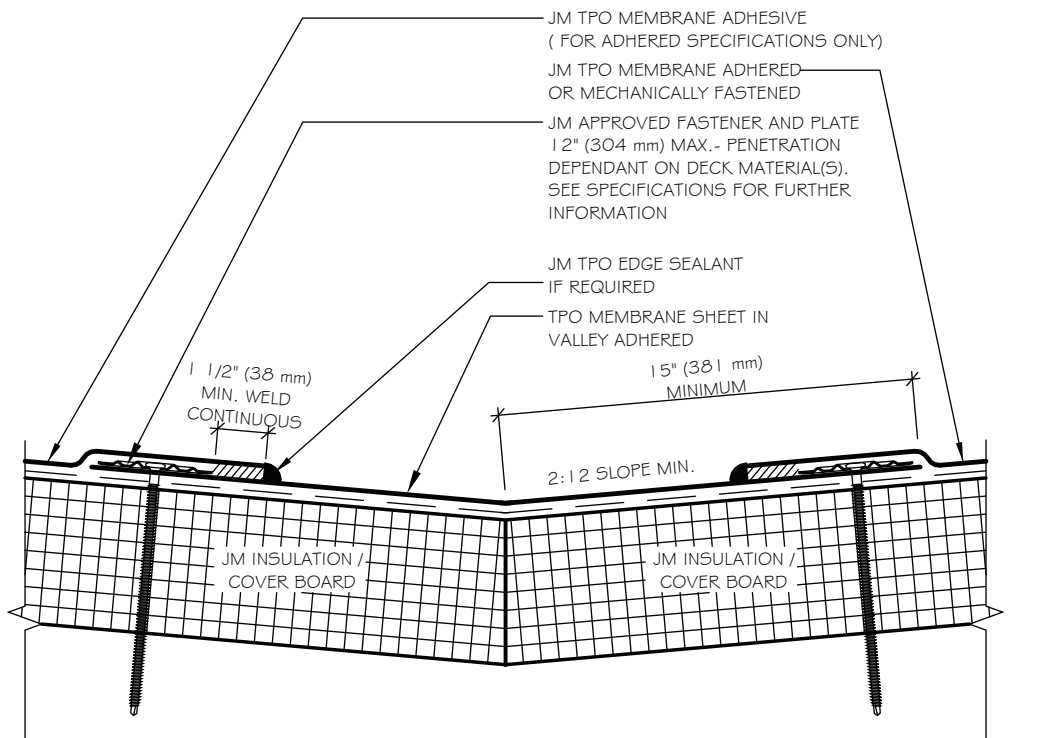
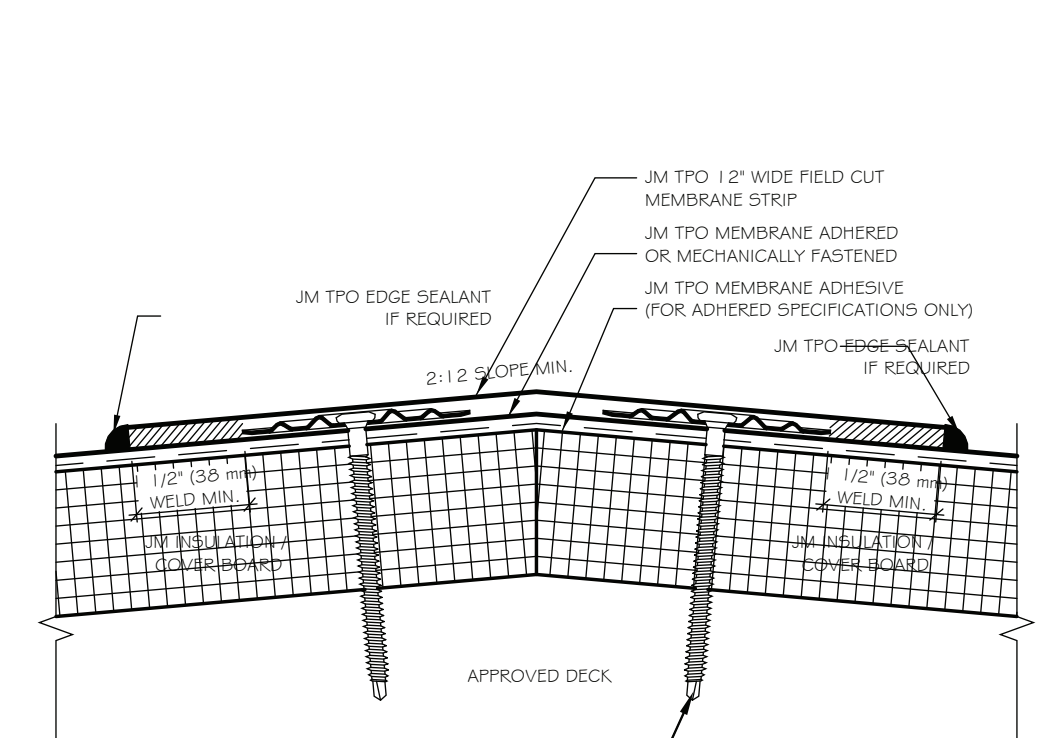
**CRICKET**



**NOTES:**  
1. REFER TO JOHNS MANVILLE WEBSITE (WWW.JM.COM) FOR MOST UP-TO-DATE INFORMATION.  
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.  
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.  
4. JM TPO EDGE SEALANT IS REQUIRED ON ALL CUT OR NON-ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE (SEE DETAIL T-MS-01).

**BUTT END LAP DETAIL**  
No Scale

**ROOF DRAIN DETAIL**  
No Scale



**RIDGE AND VALLEY TPO DETAILS**  
No Scale

**NOTES:**  
1. REFER TO JOHNS MANVILLE WEBSITE (WWW.JM.COM) FOR MOST UP-TO-DATE INFORMATION.  
2. PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.  
3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS.  
4. JM TPO EDGE SEALANT IS REQUIRED ON ALL CUT OR NON-ENCAPSULATED EDGES OF REINFORCED MEMBRANE. THIS INCLUDES FACTORY CUT MEMBRANE (SEE DETAIL T-MS-01).

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.

Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

**REVISIONS & ISSUES**

No.	Description	Date



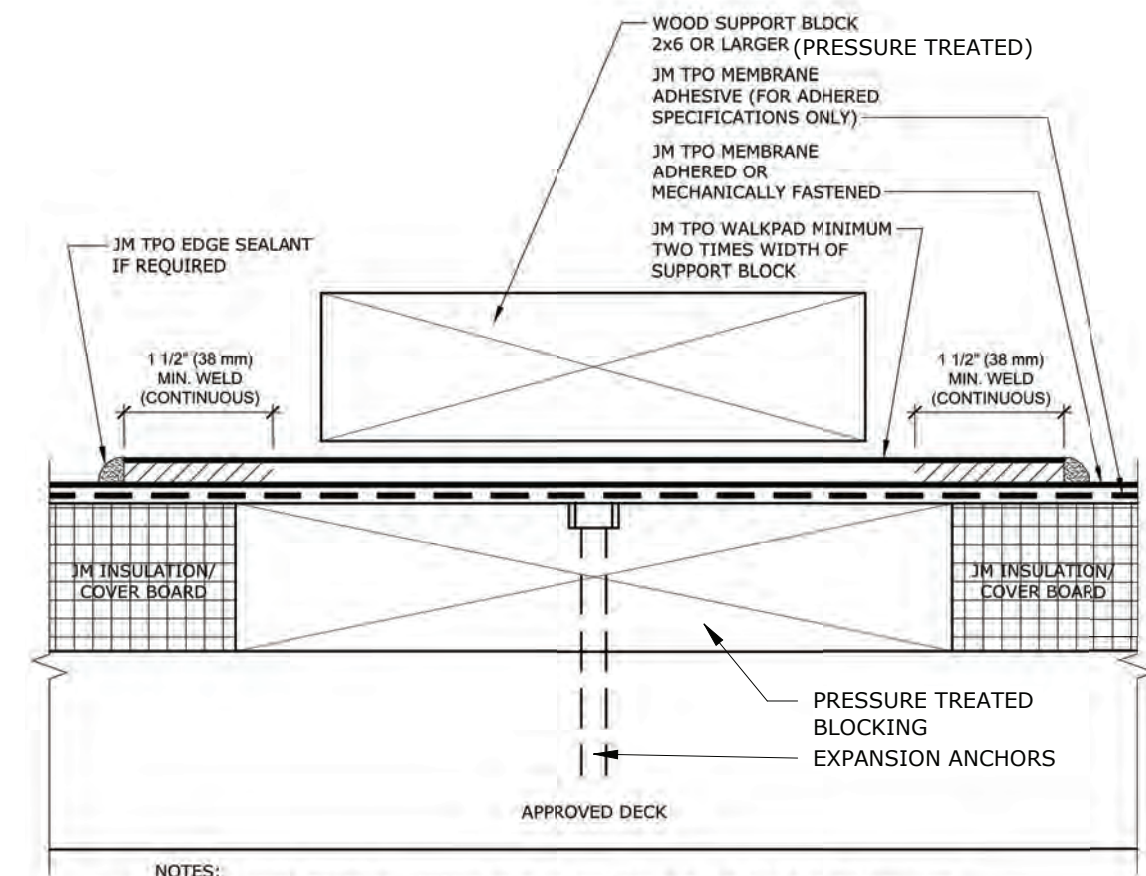
It is a violation of the New York State Law to alter these documents in any way once the Architect's seal and signature have been applied.

Construction Documents: For Permit and Construction

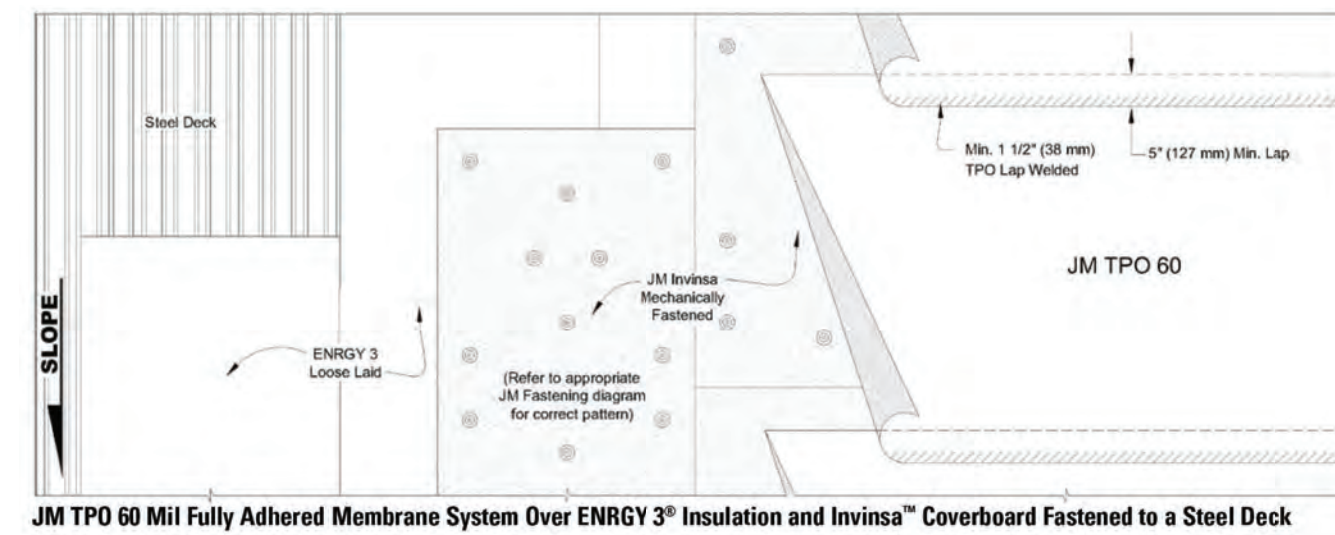
Project No:	Issue Date:
22.03	04.15.24

**ROOFING DETAILS SHEET 1**

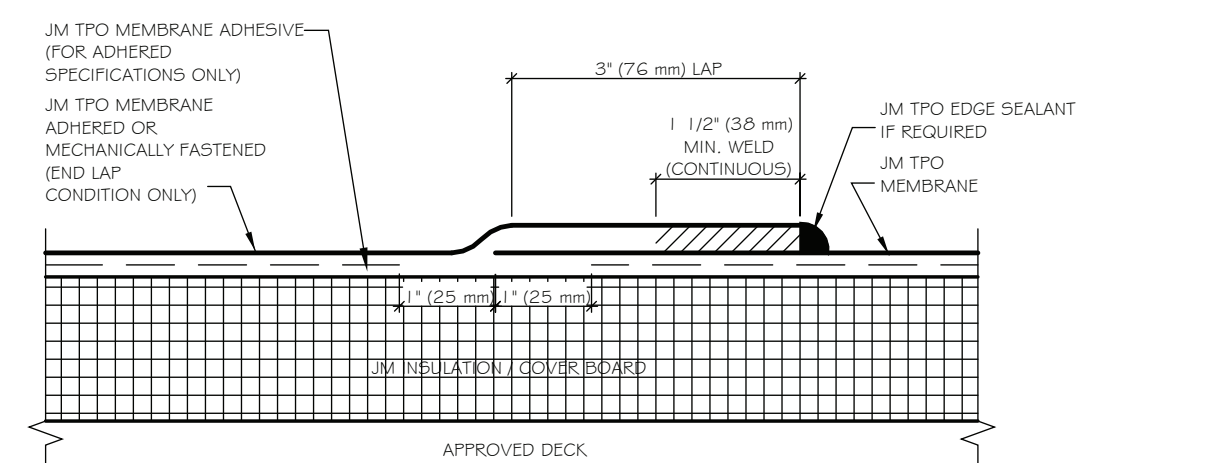
Z:\DT-Architecture-Studio\DAT-Projects\2023-YHD-Addition\2023-YHD-Addition\Revit\Project\2203-YHD-Addition-CD



PARAPET COPING DETAIL  
No Scale

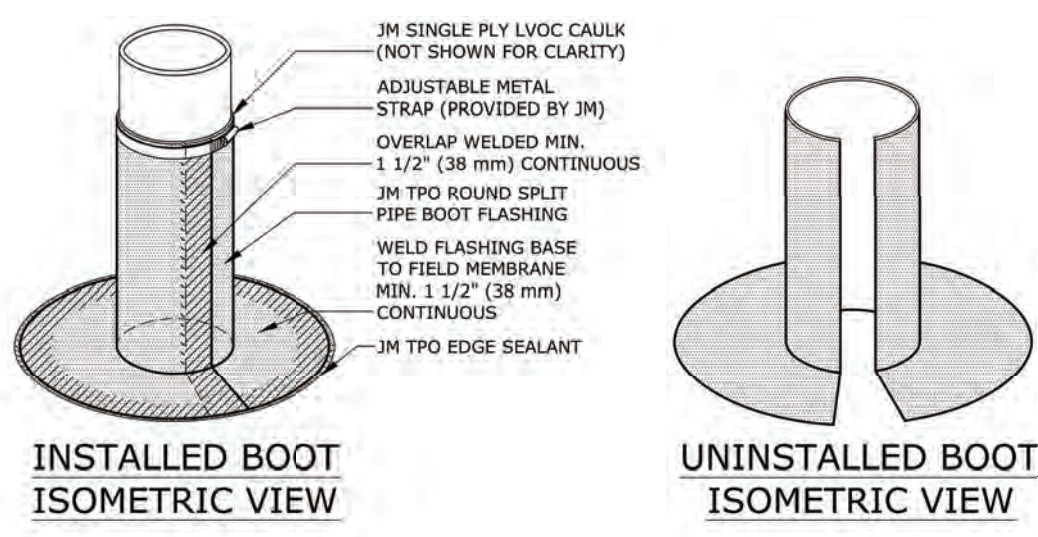


TYPICAL TPO ASSEMBLY  
No Scale

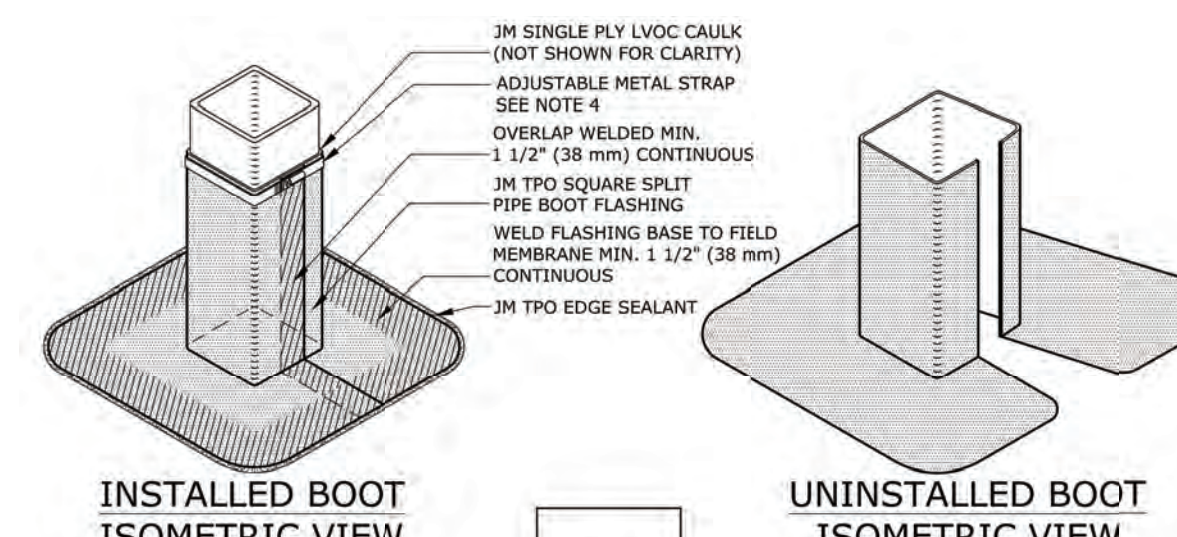


TPO LAP SEAM  
No Scale

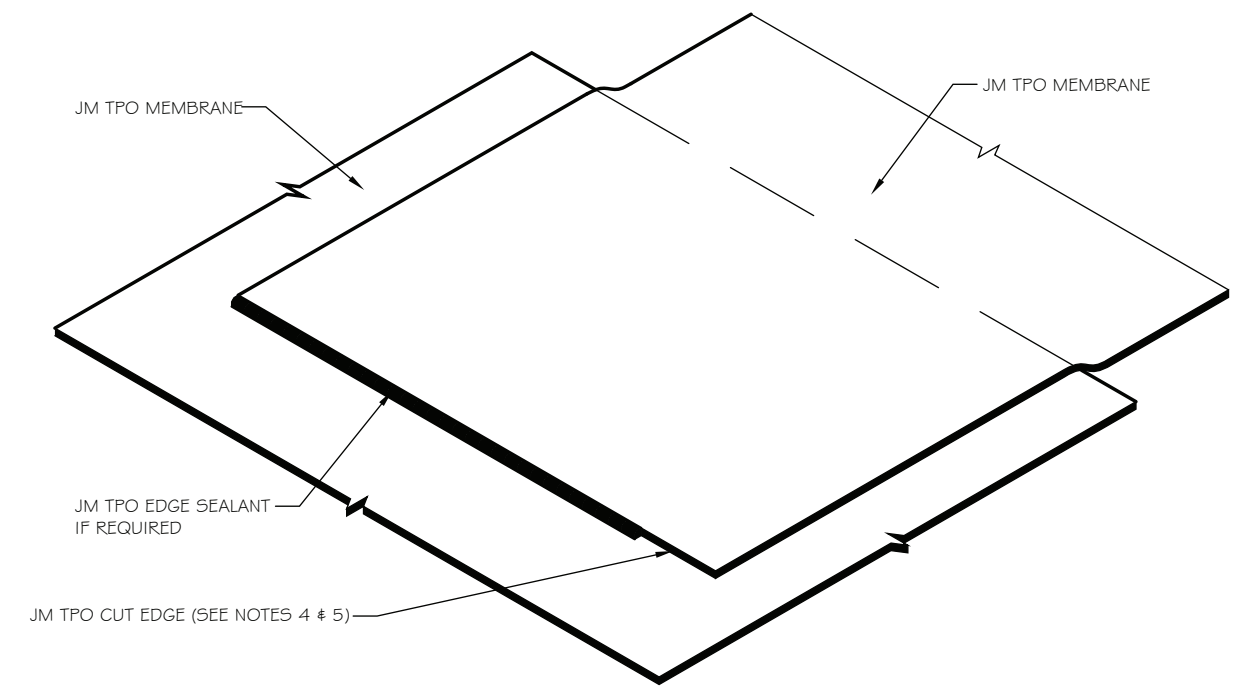
LIGHT SUPPORT DETAIL  
No Scale



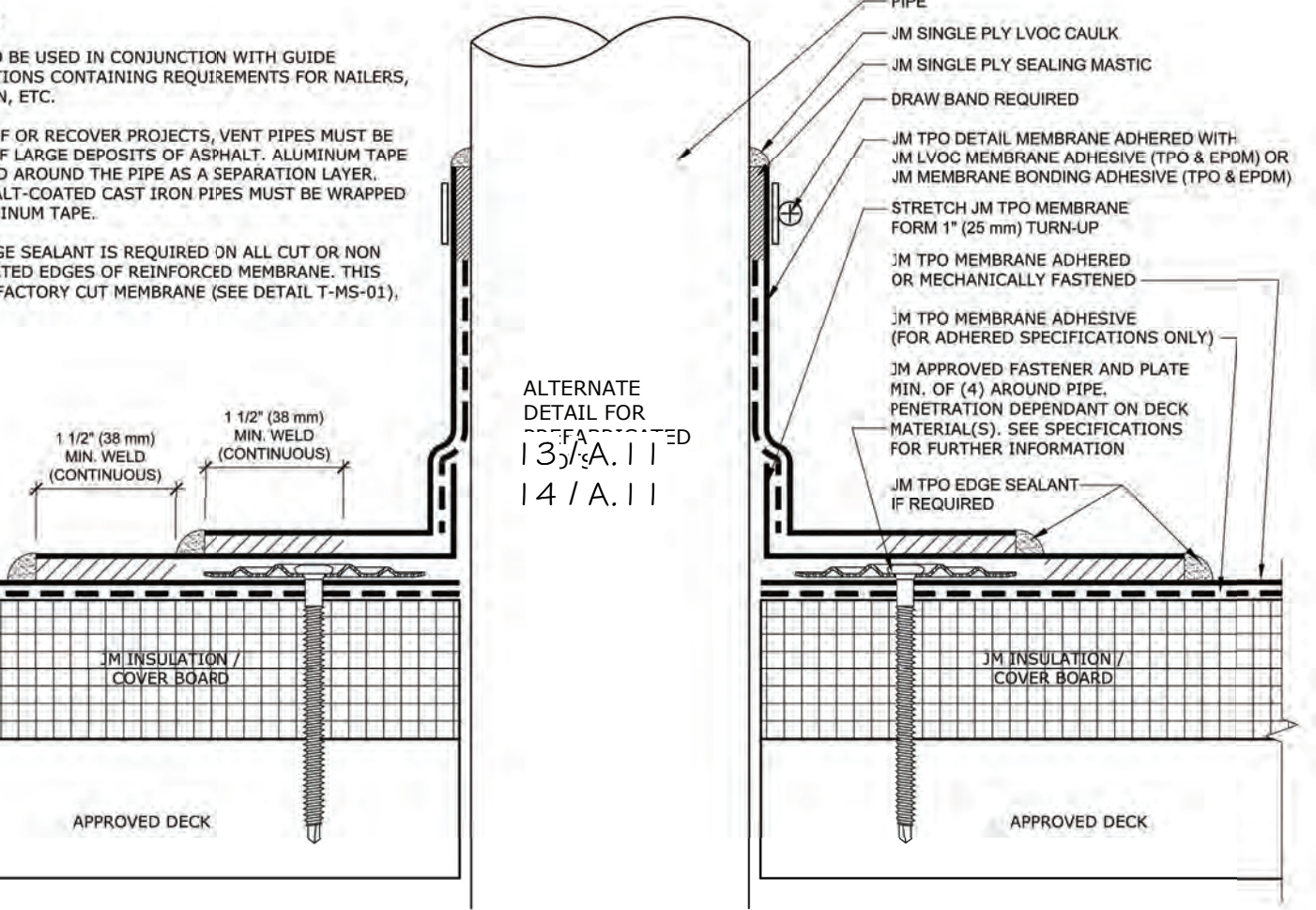
INSTALLED BOOT ISOMETRIC VIEW  
UNINSTALLED BOOT ISOMETRIC VIEW



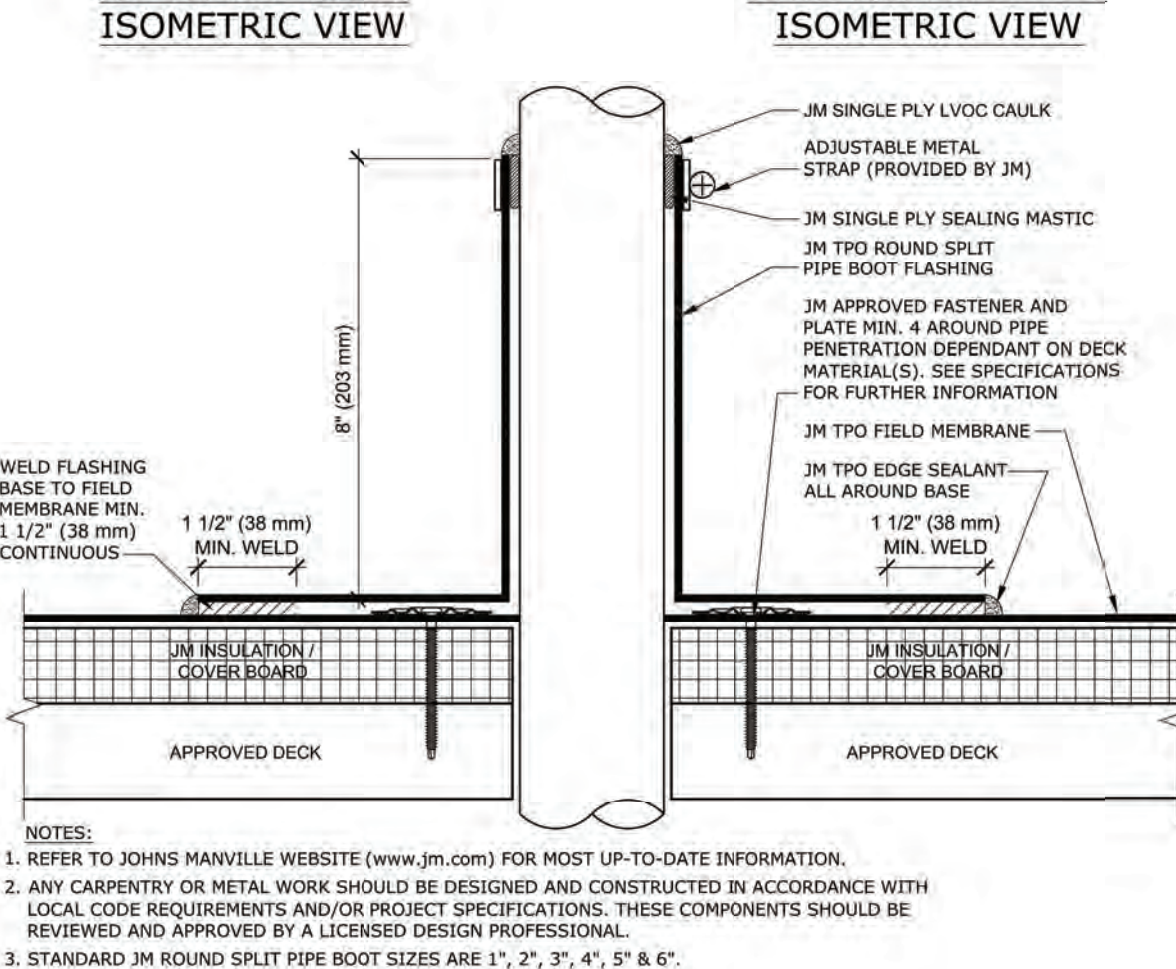
INSTALLED BOOT ISOMETRIC VIEW  
UNINSTALLED BOOT ISOMETRIC VIEW



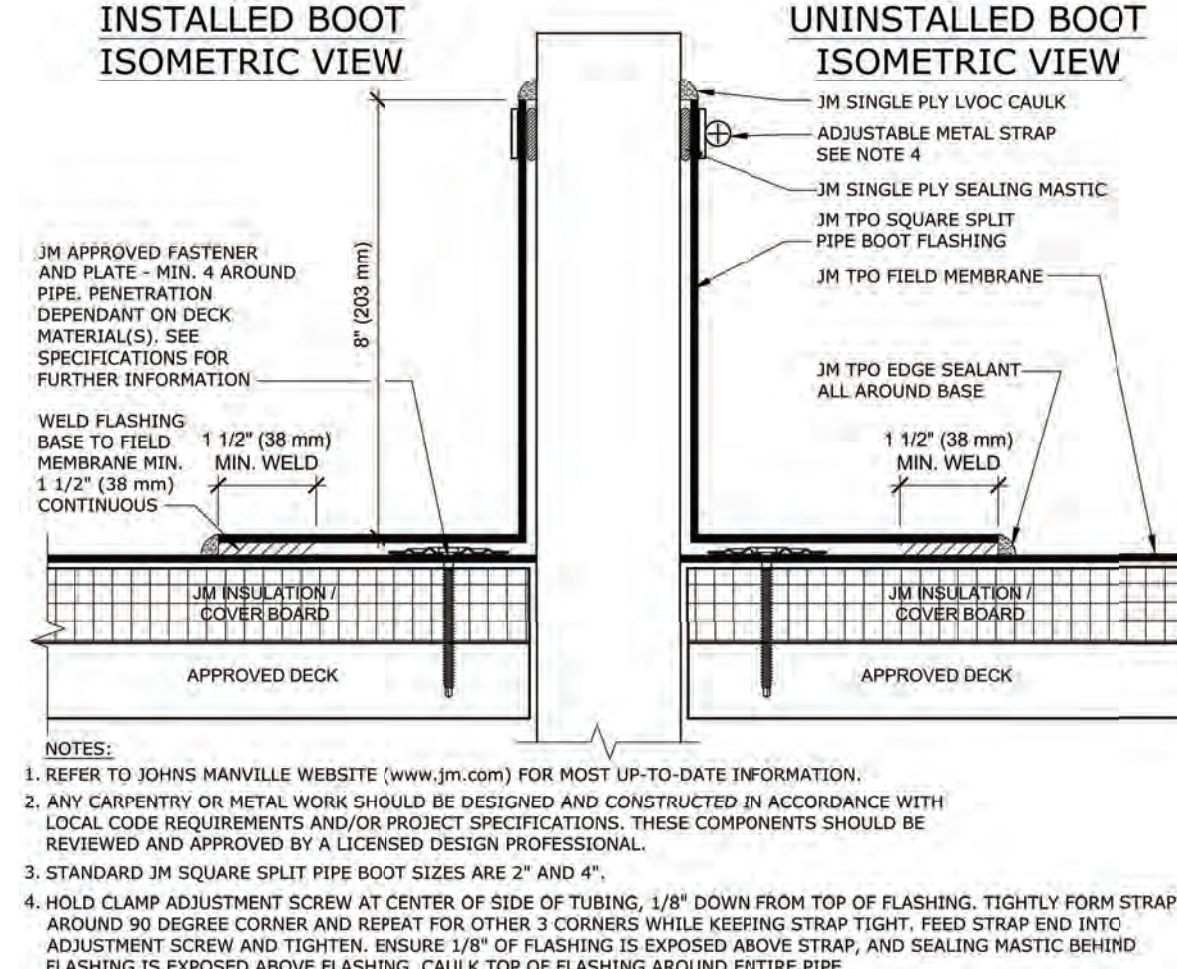
TPO END LAP  
No Scale



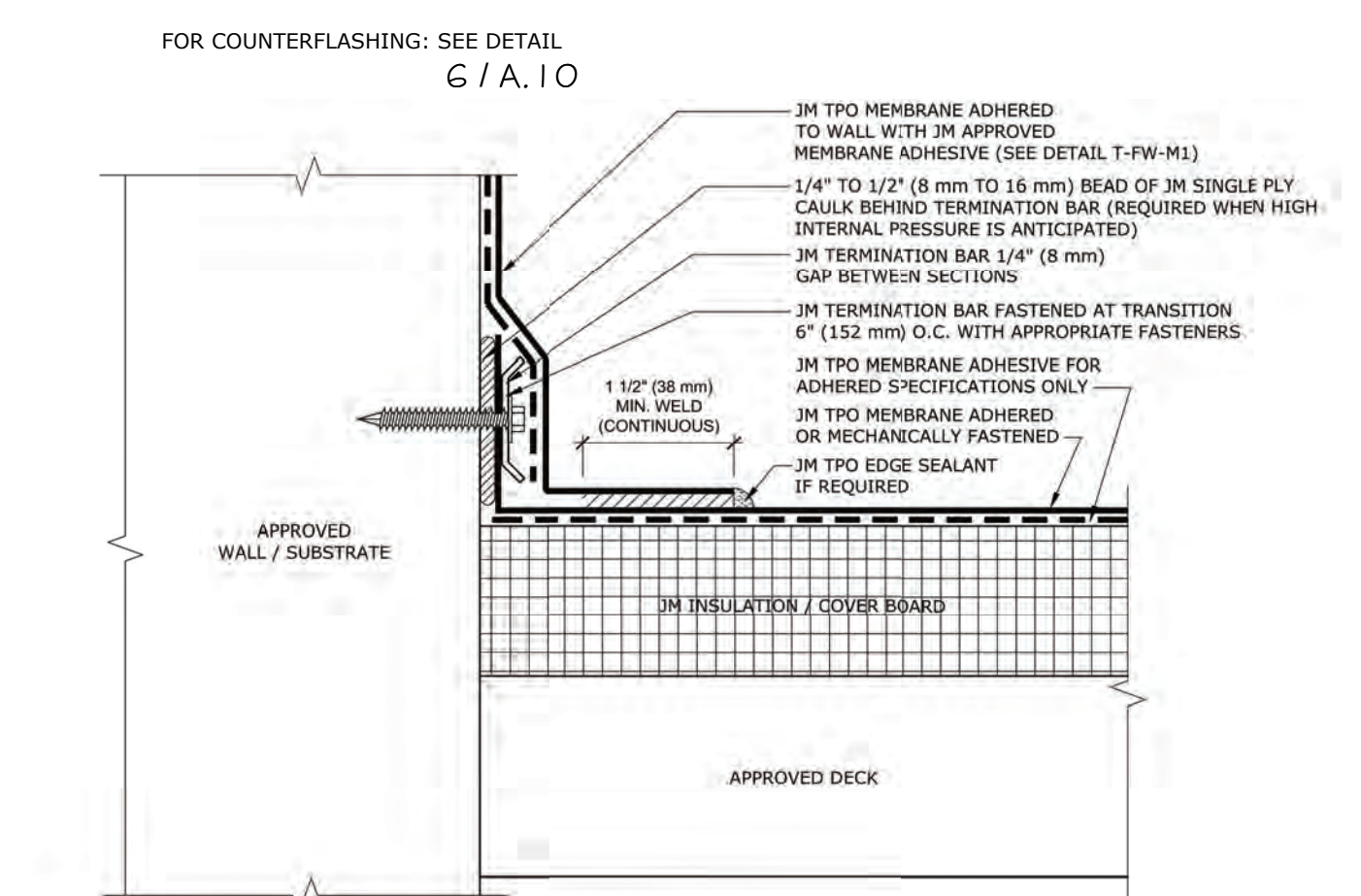
PIPE PENETRATION - FIELD DETAIL  
No Scale



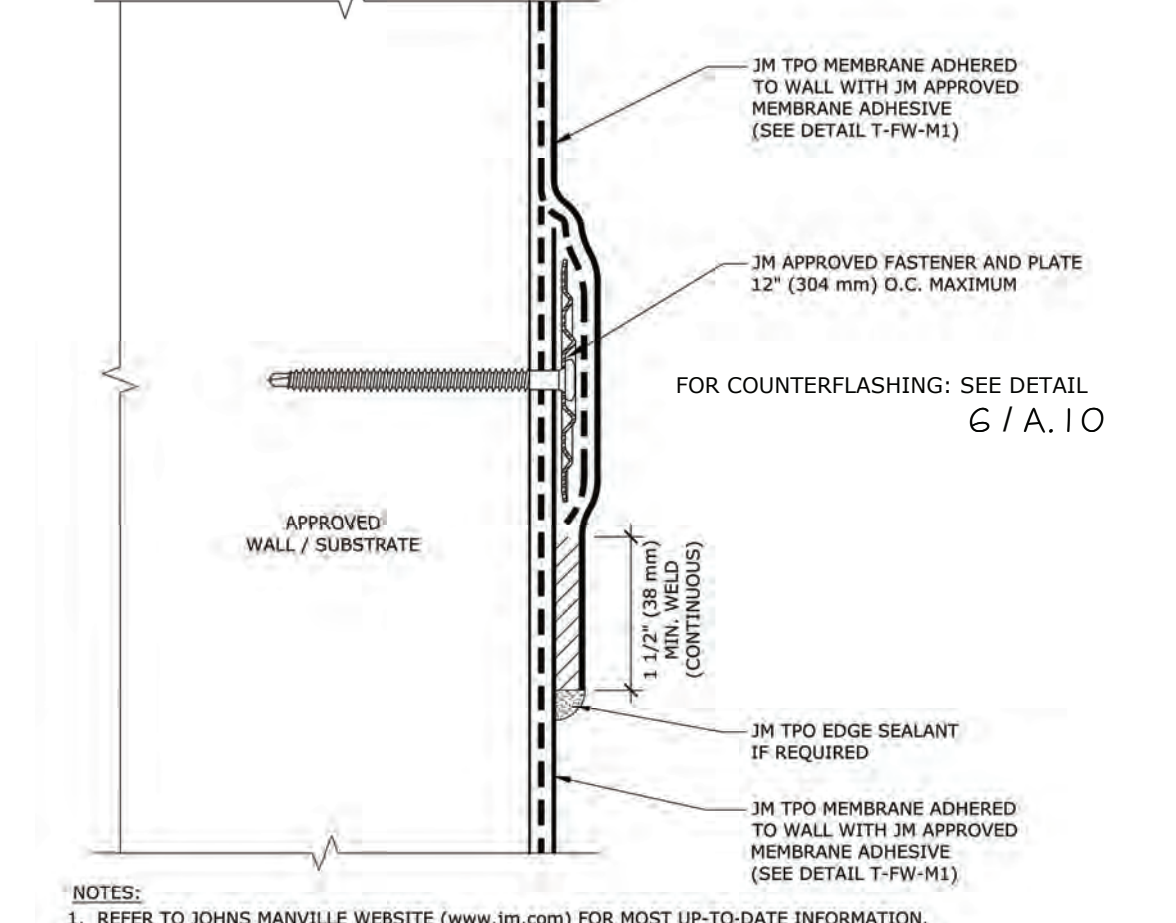
PIPE PENETRATION - PREFAB ROUND  
No Scale



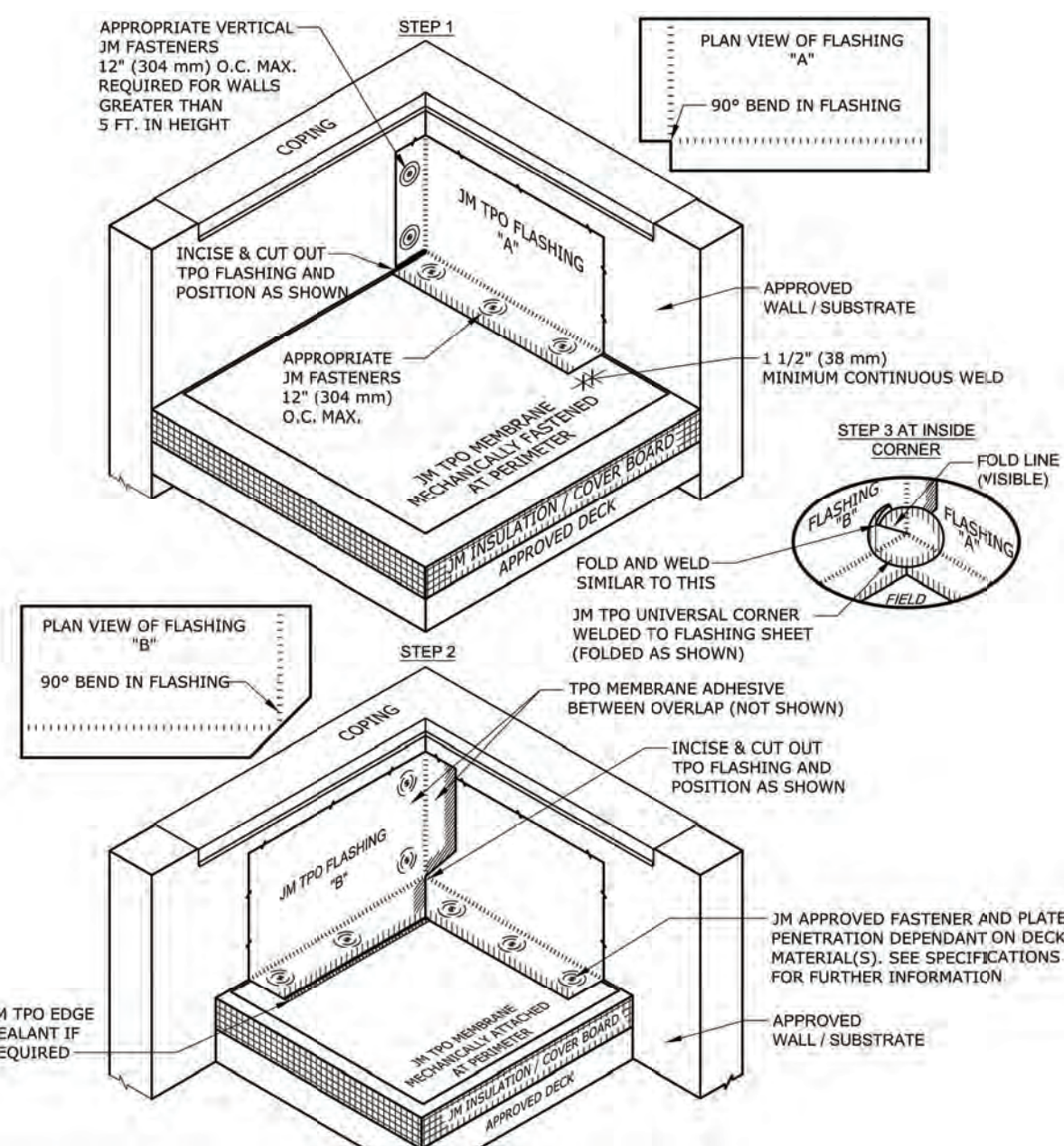
PIPE PENETRATION - PREFAB SQUARE  
No Scale



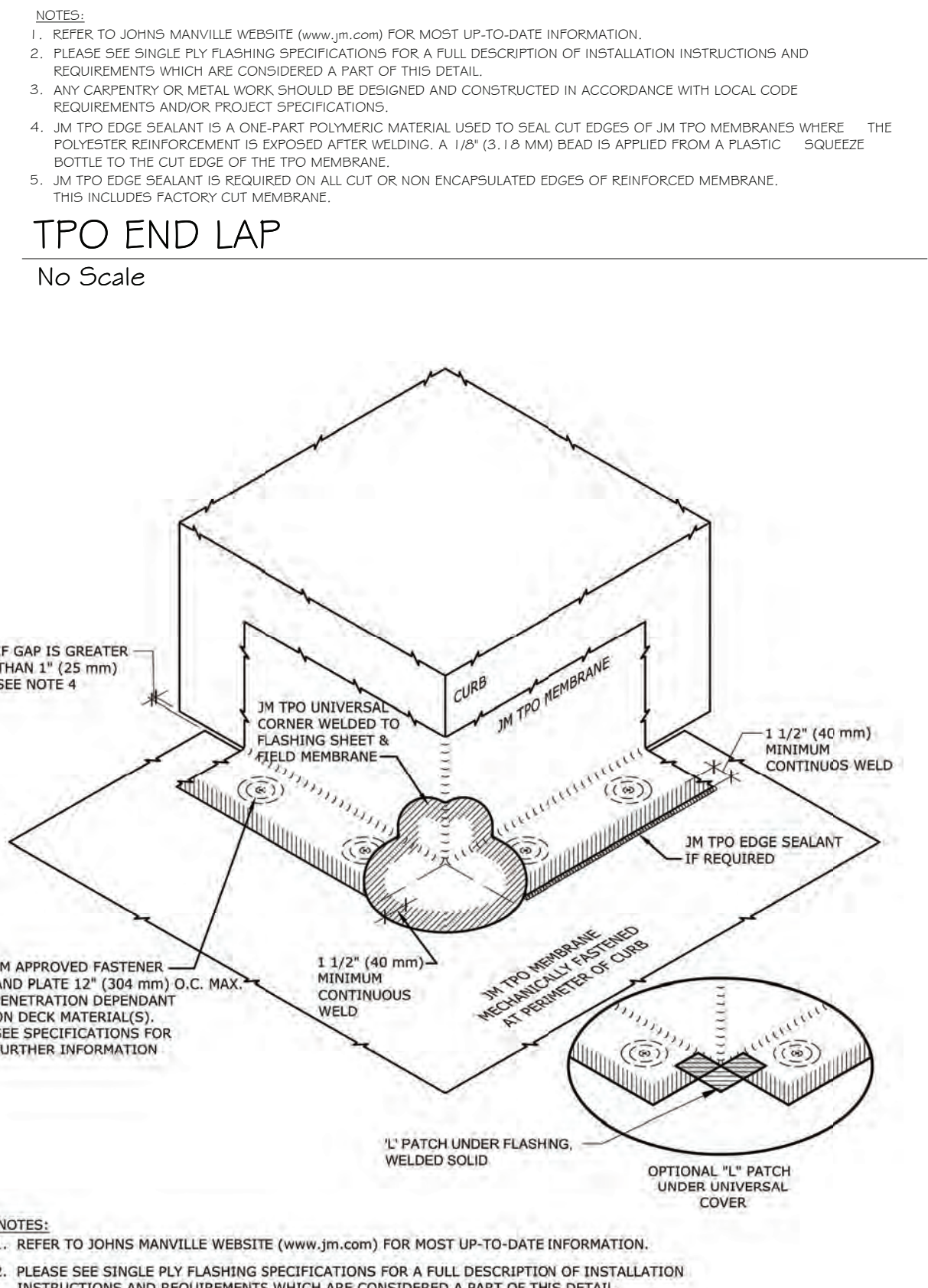
BASE FLASHING DETAIL  
No Scale



SEAM AT VERTICAL DETAIL  
No Scale



INSIDE CORNER DETAIL  
No Scale



OUTSIDE CORNER DETAIL  
No Scale

DAVID A. TETRO  
ARCHITECT P.C.  
302 Lewis Avenue  
Yorktown Heights  
NY 10598  
914.962.3113  
dтетarctitect@gmail.com

Project Title:  
**YORKTOWN HIGHWAY GARAGE**

Client:  
**TOWN OF YORKTOWN**

Address:  
281 Underhill Avenue  
Yorktown Heights, NY 10598

Consultants:

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.  
Copyright © David A. Tetro, Architect P.C. No portion of this document, design or content may be reproduced, stored in any system of any kind, or distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for any legal action and/or compensation to the Architect.

REVISIONS & ISSUES

No.	Description	Date



Construction Documents: For Permit and Construction

Project No: 22.03 Issue Date: 04.15.24

ROOFING DETAILS SHEET 2

A.11

4/16/2024 5:44:52 AM

LIST OF ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, Abbreviation, Full Name. Includes entries like A.C.T. ACOUSTIC CEILING TILE, G.G.C. GENERAL CONTRACTOR, etc.

GENERAL CONSTRUCTION NOTES

- GENERAL REQUIREMENTS AND INFORMATION
1. The Contractor accepts the responsibility to provide all items and services required to perform the required work to complete the project in conformance with all the notes, details, drawings, etc. contained within this set of construction documents.

GENERAL STRUCTURE NOTES

- FOUNDATIONS
1. Bearing Capacity of Soil to be min. 2.0 kips / s.f. minimum (assumed). G.C. to notify Architect of any deviation.
2. Footings shall be located a minimum of 42" below grade and shall bear on undisturbed soil or prepared subgrade with a 95% soil value compaction rating.

BUILDING ENVELOPE

- 1. The building thermal envelope shall be durably sealed to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be caulked, gasketed, weather-stripped, or otherwise sealed with an air barrier material, suitable film or solid material:
• All joints, seams and penetrations.
• Site-built windows, doors and skylights.

DIVISION 31 - EXTERIOR IMPROVEMENTS

- 1. All work shall be carried out and maintained to prohibit silt, sand, construction debris, etc. from entering into any storm or sanitary system or any public right-of-way.
2. Stormwater management and control measures shall be installed and maintained throughout the course of earthwork portions of the project.

HAZARDOUS MATERIALS

- 1. Architect not responsible for the design, designation, location, or assembly of any temporary shoring. If advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
2. If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- WATERPROOFING, DAMPPROOFING AND VAPOR BARRIERS
1. Interior applied masonry waterproofing coating applied to basement and crawlspace concrete and masonry walls shall be UGL 'DYLK' Latex-based masonry waterproofer. Interior applied hydrostatic crystalline waterproofing material for concrete and masonry shall Xypex (or equal).
2. Provide spray-on waterproofing membrane and protection board at all below-grade foundation walls. Provide 4" drainage pipe with filter sock surround within a wall of washed and clean drainage stone (1/2" min width of wall) with filter fabric surround at all footings. Drainage pipe to go to daylight.

DAVID A. TETRO ARCHITECT P.C.
302 Lewis Avenue
Yorktown Heights
NY 10598
914.962.3113
dтетarhitect@gmail.com

YORKTOWN HIGHWAY GARAGE

TOWN OF YORKTOWN

281 Underhill Avenue
Yorktown Heights, NY 10598

REVISIONS & ISSUES

Table with 3 columns: No., Description, Date. Includes a circular stamp for David A. Tetro, Registered Architect, State of New York, No. 028059.

Construction Documents: For Permit and Construction
Project No: 22.03
Issue Date: 04.15.24

GENERAL NOTES

**DEPARTMENT OF BUILDINGS NOTES**

**SAFETY NOTES:**

- GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL: NO STRUCTURAL WORK TO BE DONE UNDER THIS APPLICATION.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 9 A.M. TO 5 P.M., MONDAYS THROUGH FRIDAYS, EXCEPT LEGAL HOLIDAYS, UNLESS AN AFTER-HOURS WORK PERMIT IS SECURED FROM THE DEPARTMENT OF BUILDINGS AND BUILDING OWNER.
- Owner and General Contractor shall provide at least 24 hours notice via email of commencement of work. Dust tents and doors as well as negative air filtration will be installed.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, COLD AND HOT WATER OR ELECTRICAL SERVICES TO TENANTS OF THE BUILDING WITHOUT PRIOR APPROVAL BY THE BUILDING OWNER. ANY BUILDING SHUT DOWNS MUST BE COORDINATED AND AUTHORIZED BY BUILDING OWNER.
- DISCONTINUATION OF SERVICES: REPAIRS SHALL BE PERFORMED EXPEDITIOUSLY TO MINIMIZE INCONVENIENCE TO OCCUPANTS IN THE BUILDING. IF SERVICE IS TO BE DISCONTINUED FOR A PERIOD LONGER THAN 8 HOURS, TEMPORARY OR ALTERNATE SERVICES SHALL BE PROVIDED UNTIL PERMANENT SERVICE CAN BE RESTORED. ALTERNATE SERVICES INCLUDED BUT ARE NOT LIMITED TO EXTERIOR MOBILE BOILER PLANTS AND GENERATORS. TEMPORARY OR ALTERNATE SERVICES SHALL BE PROVIDED BY CONTRACTOR AS PART OF THIS CONTRACT AT NO ADDITIONAL COST TO BUILDING OWNER.
- WORK PHASING PLAN: BEFORE COMMENCING CONSTRUCTION, CONTRACTOR SHALL PROVIDE A WORK PHASING PLAN IDENTIFYING WHEN CONSTRUCTION WILL TAKE PLACE IN EACH AREA WHERE WORK IS TO OCCUR. CONTRACTOR SHALL COORDINATE CLEARING THE AREAS OF CARS, STORED MATERIALS, OR OTHER OBSTRUCTIONS, WITH OWNER, OWNER'S REPRESENTATIVE, AND BUILDING MAINTENANCE STAFF.

**OSHA SAFETY NOTES**

- G.C. MUST ENFORCE OSHA STANDARDS, MAINTAINING SAFE SITE CONDITIONS, PRACTICES & MAINTAINING EQUIPMENT.
- G.C. TO REMOVE ALL DAMAGED DEMO. BINS, LADDERS, CARTS, BAKERS & SCAFFOLDING.
- ALL ELECTRIC LIGHTING, EQUIPMENT & TOOLS MUST BE GROUNDED PROPERLY & UNPLUGGED DURING OFF HOURS.
- ALL TEMP. ELECTRICAL SERVICE FOR CONSTRUCTION TO BE TURNED OFF AT SOURCE AFTER WORKING HOURS. PROVIDE LOCK AT PANEL.

**ASBESTOS NOTES**

- ALL CONTRACTORS ARE HEREBY ADVISED THAT ALTHOUGH NONE IS SUSPECTED, IF THEY FIND OR SUSPECT ASBESTOS WITHIN THE CONTRACT AREAS. THE HANDLING OF THIS MATERIAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS PUBLISHED IN THE FEDERAL REGISTER BY OSHA, EPA & OTHER FEDERAL AUTHORITIES HAVING JURISDICTION & IN ADDITION, ANY SUPPLEMENTAL LAWS, RULES & AUTHORITIES HAVING JURISDICTION & REGULATIONS PROMULGATED BY STATE & LOCAL AUTHORITIES.
- ANY MATERIAL COMPOSITION WHICH IS QUESTIONABLE SHALL BE BROUGHT TO THE ATTENTION OF THE ENVIRONMENTAL CONSULTANT. THE DETERMINATION OF THE MATERIAL CONTENT SHALL BE AT THE SOLE DISCRETION OF THE CONSULTANT. IF NECESSARY THE CONSULTANT SHALL REQUEST LAB TESTING. THE CONTRACTOR SHALL IMMEDIATELY STOP THE WORK & NOTIFY THE ARCHITECT & THE CLIENT.

**LEAD NOTES**

- THE OWNER, GENERAL CONTRACTOR & DEMOLITION SUBCONTRACTOR ARE ADVISED THAT THERE IS THE POSSIBILITY OF LEAD PAINT HAVING BEEN USED IN THE EXISTING CONSTRUCTION.
- ALL WORK WILL COMPLY WITH APPLICABLE LAWS RELATING TO LEAD PAINT REMOVAL. IF ANY OF THESE MATERIALS ARE DISCOVERED, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT IMMEDIATELY.
- THE DEMOLITION PORTION OF THE WORK MUST BE PERFORMED ACCORDING TO SAFE WORK PRACTICES (OSHA) INCLUDING WORKER PROTECTION, PREVENTION OF SPREAD OF LEAD DUST & NOTIFICATION OF THE PUBLIC & GOVERNMENT AGENCIES & PROPER DISPOSAL OF CONTAMINATED REFUSE. AFTER THE DEMO IS PERFORMED & THE SPACE IS CLEANED IT IS NO LONGER A LEAD ABATEMENT JOB. THE OWNER IS OBLIGED TO COMPLY WITH LOCAL CODES.

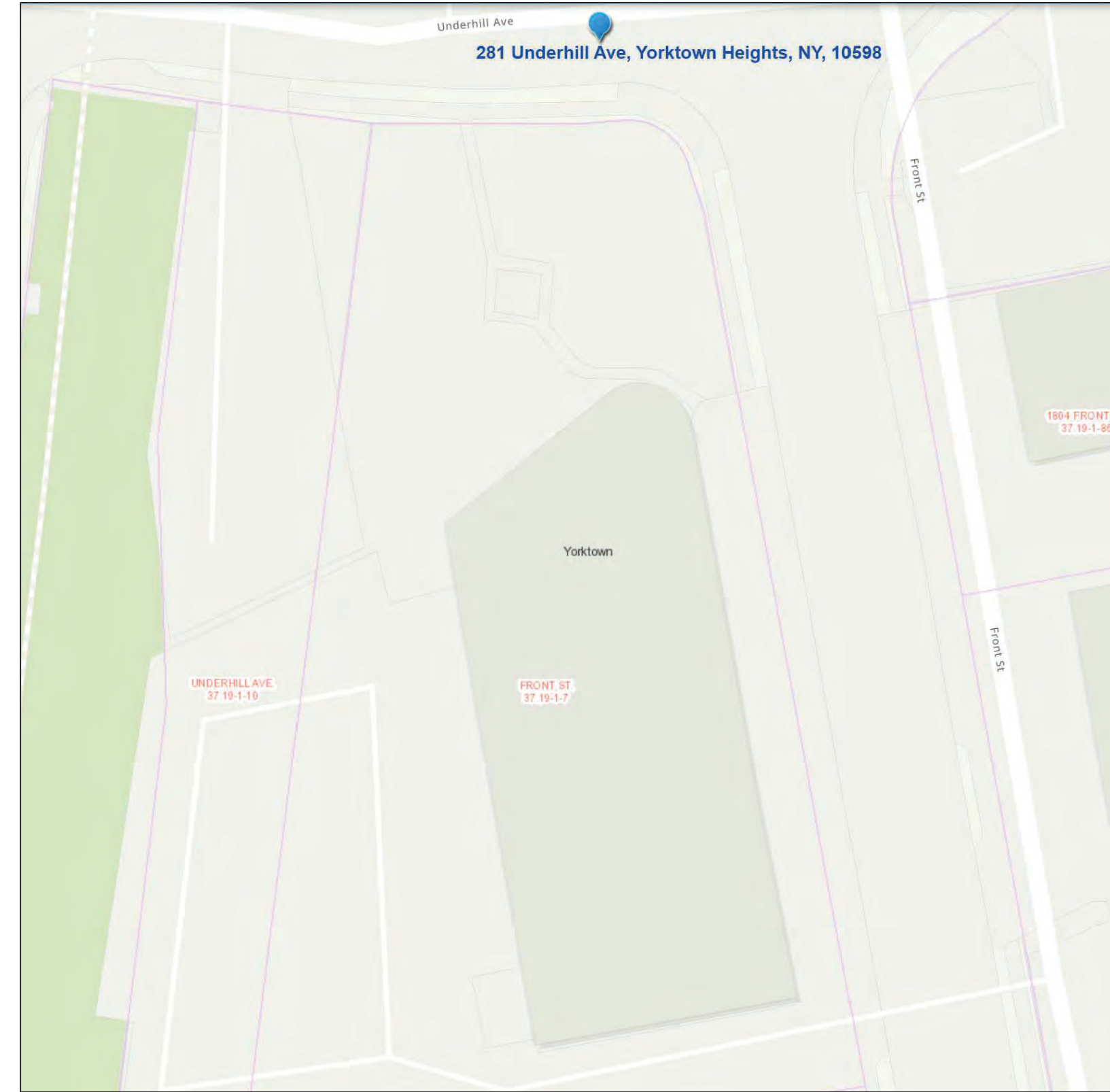
**PLAN NOTE**

\*THIS PLAN IS APPROVED ONLY FOR THE WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.\*

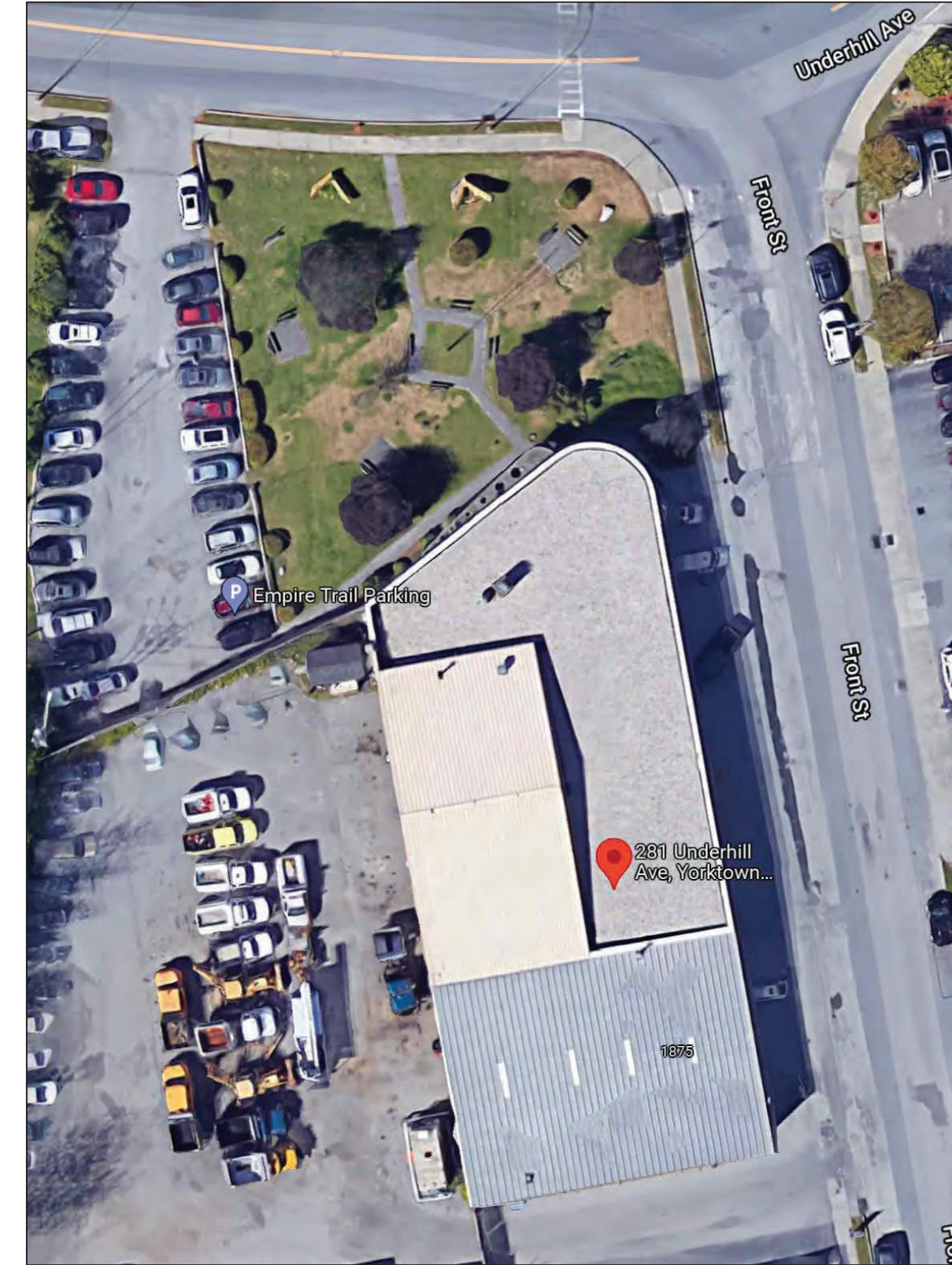
SCOPE OF WORK IS SOLELY FOR THE INSTALLATION OF THE PROPOSED MECHANICAL & PLUMBING WORK. ALL OTHER WORK IS NOT TO BE RELIED UPON AS BEING APPROVED AND/OR PERMITTED BY THE BUILDINGS DEPARTMENT.

**ECCCNYS COMPLIANCE**

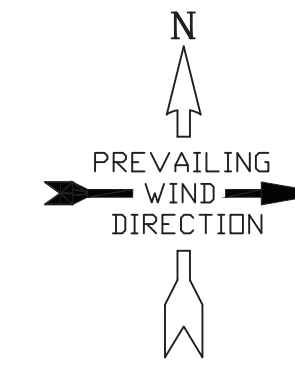
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE ECCCNYS.



TAX MAP



AERIAL IMAGE



PAGE	SHEET	DESCRIPTION
1	N-001	INDEX, LOT DIAGRAM, NOTES, INSULATION DETAILS, & FORE STOP DETAILS
2	DM-001	DEMOLITION PLAN
3	M-001	NEW EQUIPMENT PLAN
4	M-002	NEW EQUIPMENT PLAN
5	P-001	PLUMBING PLAN
6	P-002	PLUMBING RISER DIAGRAM
7	E-001	NEW ELECTRICAL PLAN
8	X-001	DETAILS
9	X-002	DETAILS
10	X-003	DETAILS
11	X-004	DETAILS
12	X-005	DETAILS

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
 INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
 NO CHANGE IN MEANS OF EGRESS, USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
 YORKTOWN HIGHWAY GARAGE  
 281 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598  
 OWNER:  
 TOWN OF YORKTOWN  
 363 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
 60 SOMERSTON RD  
 YORKTOWN, NY 10598  
 914-222-0397



DATE : 04-15-2024

PROJECT REF# RD 21032HVAC

DRAWN BY: P.R.

CHECKED BY: PR

N - 001.00

NOTES

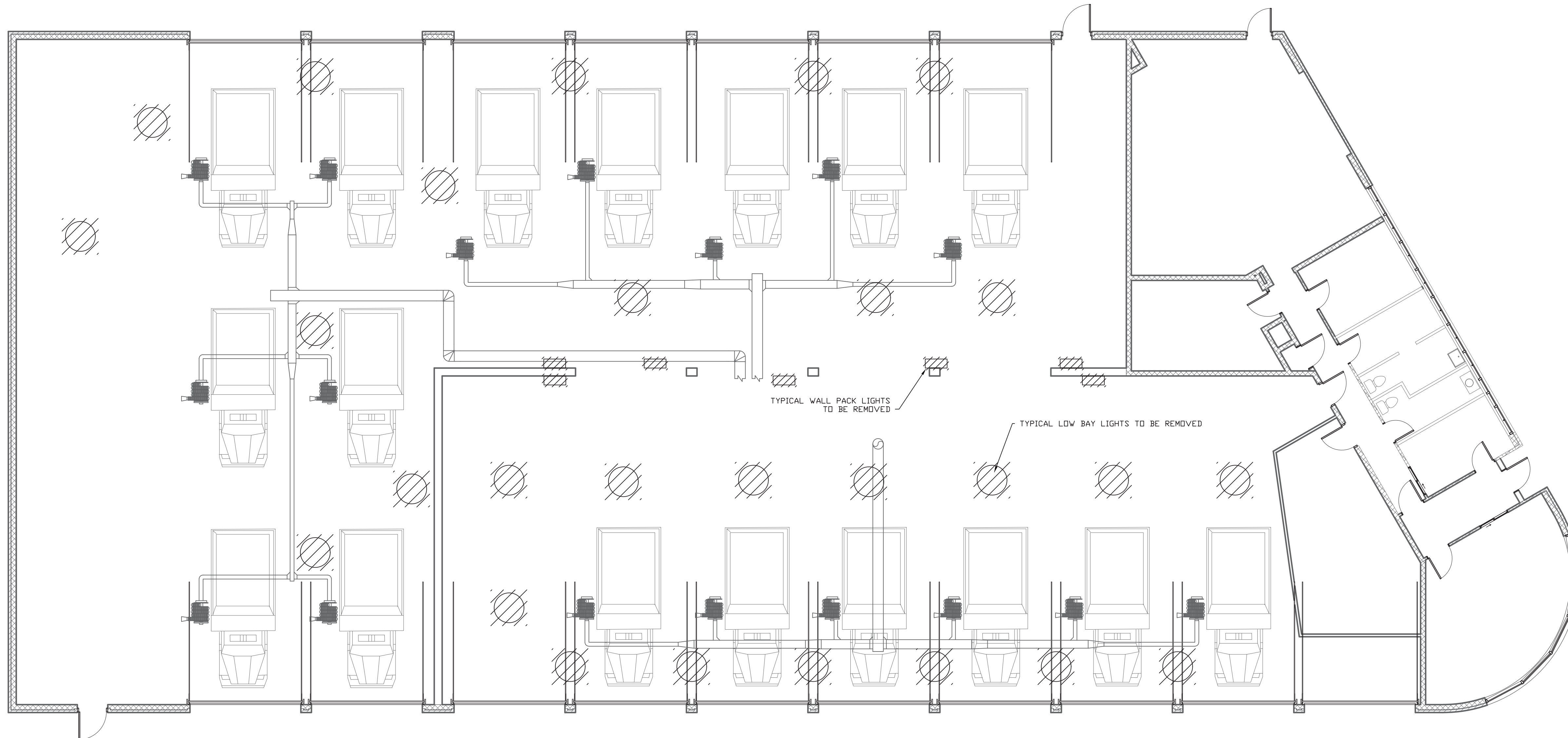
SHEET 1 OF 12

APPROVAL STAMPS

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

**LEGEND**

- GAS — GAS LINE
- ⊗ — ⊘ — SDV - SHUT OFF VALVE
- //// — REMOVALS



GARAGE PLAN

NOTES:  
1. THIS ELECTRICAL WORK IS IN ADDITION TO THE ELECTRICAL WORK SHOWN ON THE ARCHITECTURAL PLANS.

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
NO CHANGE IN MEANS OF EGRESS. USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
YORKTOWN HIGHWAY GARAGE  
281 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598  
OWNER:  
TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
60 SOMERSTON RD  
YORKTOWN, NY 10598  
914-222-0397

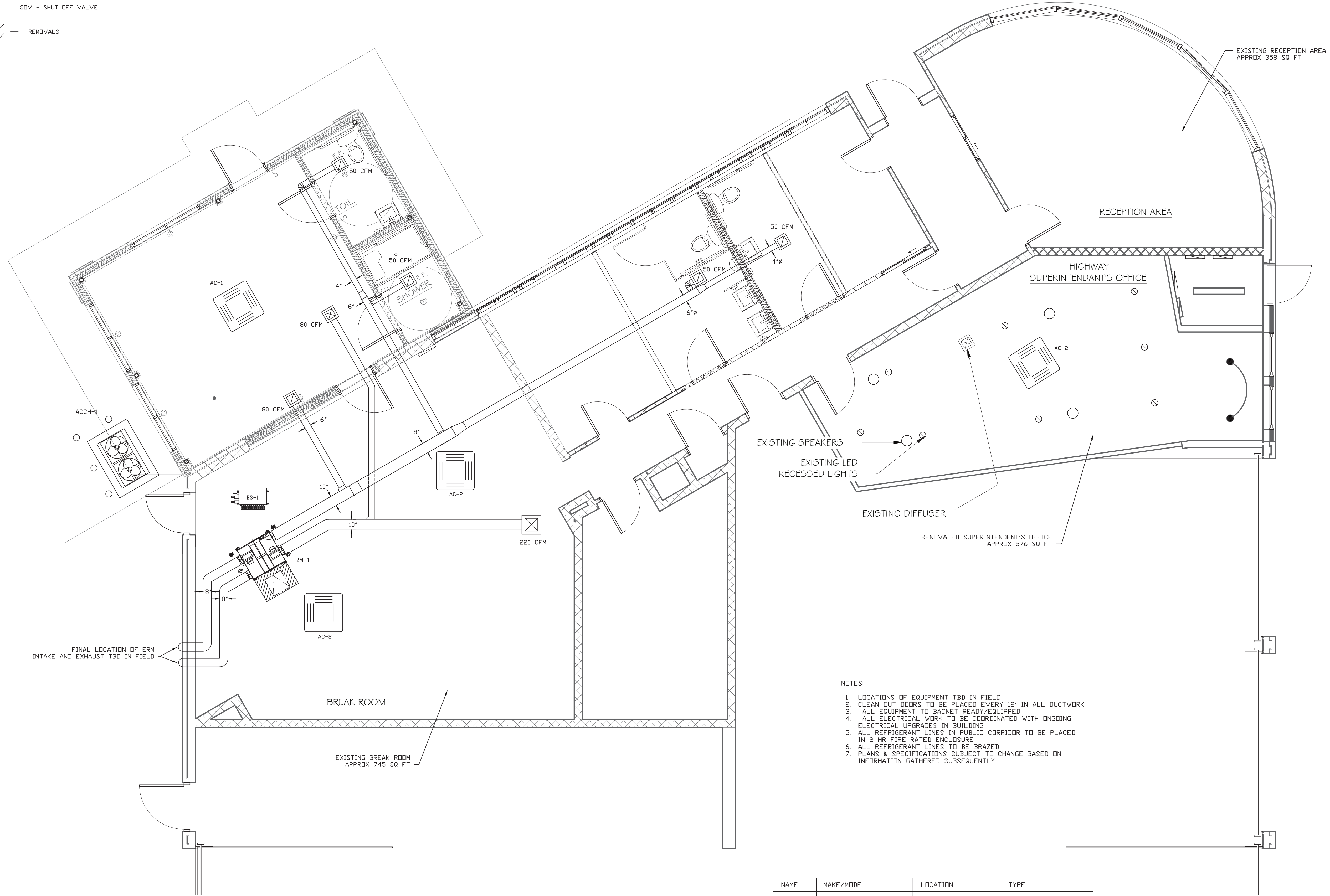


DATE : 04-15-2024  
PROJECT REF# RD 21032HVAC  
DRAWN BY: P.R.  
CHECKED BY: PR  
DM-001.00  
DEMOLITION  
SHEET 2 OF 12

APPROVAL STAMPS

**LEGEND**

- GAS — GAS LINE
- ⊗ — SDV - SHUT OFF VALVE
- /// — REMOVALS



**NOTES:**

1. LOCATIONS OF EQUIPMENT TBD IN FIELD
2. CLEAN OUT DOORS TO BE PLACED EVERY 12' IN ALL DUCTWORK
3. ALL EQUIPMENT TO BE BAGNET READY/EQUIPPED.
4. ALL ELECTRICAL WORK TO BE COORDINATED WITH ONGOING ELECTRICAL UPGRADES IN BUILDING
5. ALL REFRIGERANT LINES IN PUBLIC CORRIDOR TO BE PLACED IN 2 HR FIRE RATED ENCLOSURE
6. ALL REFRIGERANT LINES TO BE BRAZED
7. PLANS & SPECIFICATIONS SUBJECT TO CHANGE BASED ON INFORMATION GATHERED SUBSEQUENTLY

NAME	MAKE/MODEL	LOCATION	TYPE
ACCH-1	DAIKEN REL096TATJU	OUTSIDE	VRV-IV TA
BS1	DAIKEN BS12054 TVJ	CEILING	BRANCH SELECTOR BOX
AC-1	DAIKEN FXUQ18PVJU	BUNK ROOM	CEILING MOUNTED 4-WAY
AC-2	DAIKEN FXF018TVJU	BREAK ROOM/OFFICE	CEILING MOUNTED 4-WAY
ERM-1	DAIKEN VAM300GVJU	BREAK ROOM	ENERGY RECOVERY MODULE

NEW EQUIPMENT SCHEDULE

GARAGE PLAN

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
 INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
 NO CHANGE IN MEANS OF EGRESS, USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
 YORKTOWN HIGHWAY GARAGE  
 281 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598  
 OWNER:  
 TOWN OF YORKTOWN  
 363 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
 60 SOMERSTON RD  
 YORKTOWN, NY 10598  
 914-222-0397



DATE : 04-15-2024

PROJECT REF# RD 21032HVAC

DRAWN BY: P.R.

CHECKED BY: PR

M - 001.00

NEW EQUIPMENT

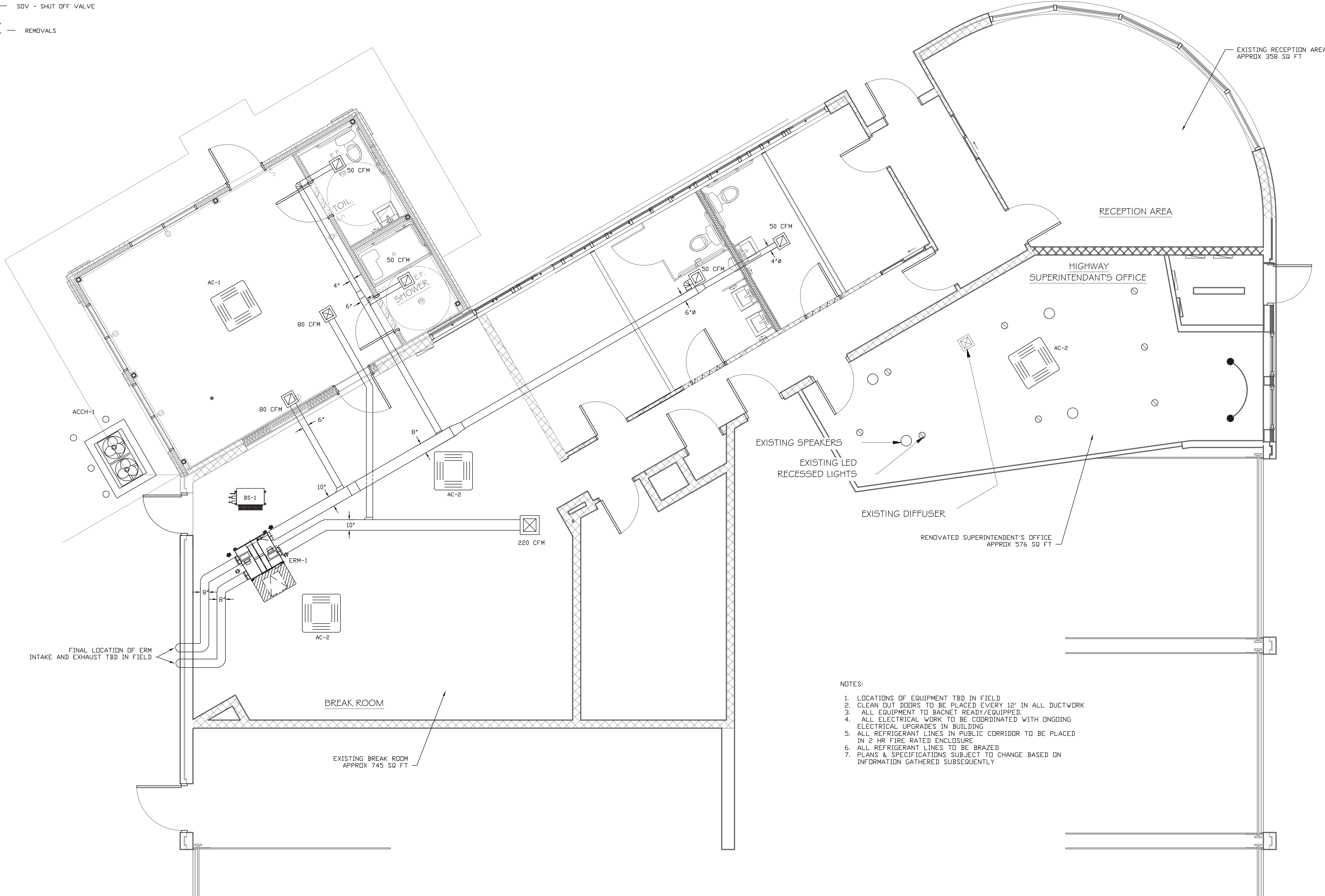
SHEET 3 OF 12

APPROVAL STAMPS

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

LEGEND

- GAS LINE
- SDV - SHUT OFF VALVE
- REMOVALS



- NOTES:
1. LOCATIONS OF EQUIPMENT TBD IN FIELD
  2. CLEAN OUT DOORS TO BE PLACED EVERY 12' IN ALL DUCTWORK
  3. ALL EQUIPMENT TO BE BACNET READY/EQUIPPED.
  4. ALL ELECTRICAL WORK TO BE COORDINATED WITH ONGOING ELECTRICAL UPGRADES IN BUILDING
  5. ALL REFRIGERANT LINES IN PUBLIC CORRIDOR TO BE PLACED IN 2 HR FIRE RATED ENCLOSURE
  6. ALL REFRIGERANT LINES TO BE BRAZED
  7. PLANS & SPECIFICATIONS SUBJECT TO CHANGE BASED ON INFORMATION GATHERED SUBSEQUENTLY

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
 INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDANT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
 NO CHANGE IN MEANS OF EGRESS. USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
 YORKTOWN HIGHWAY GARAGE  
 281 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

DWNER:  
 TOWN OF YORKTOWN  
 363 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
 60 SOMERSTON RD  
 YORKTOWN, NY 10598  
 914-222-0397



DATE : 04-15-2024

PROJECT REF# RD 21032HVAC

DRAWN BY: P.R.

CHECKED BY: PR

M - 002.00

NEW EQUIPMENT

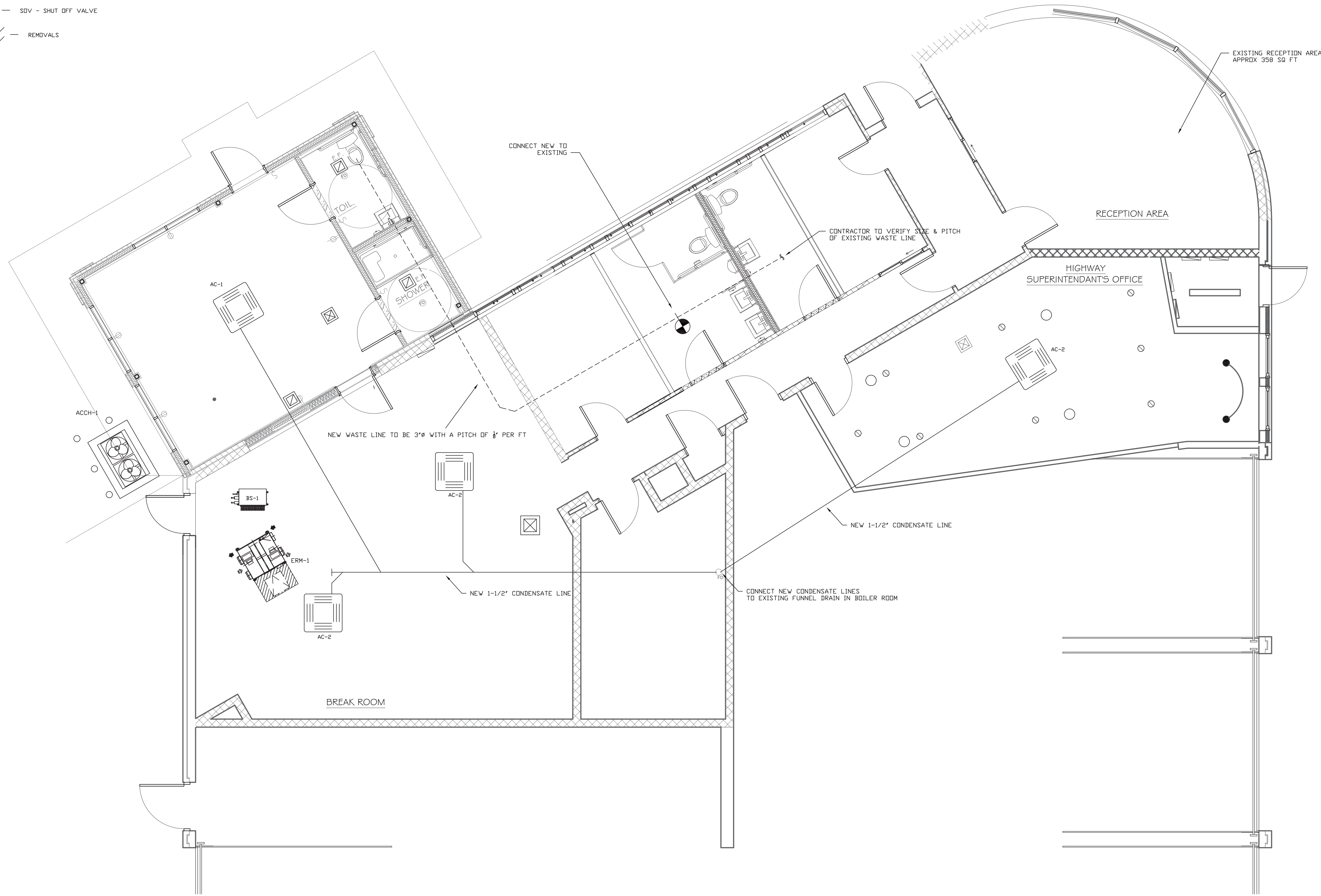
SHEET 4 OF 12

APPROVAL STAMPS



**LEGEND**

- GAS — GAS LINE
- ⊗ — SDV - SHUT OFF VALVE
- ////// — REMOVALS



REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
 INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDANT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
 NO CHANGE IN MEANS OF EGRESS, USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
 YORKTOWN HIGHWAY GARAGE  
 281 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

OWNER:  
 TOWN OF YORKTOWN  
 363 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
 60 SOMERSTON RD  
 YORKTOWN, NY 10598  
 914-222-0397



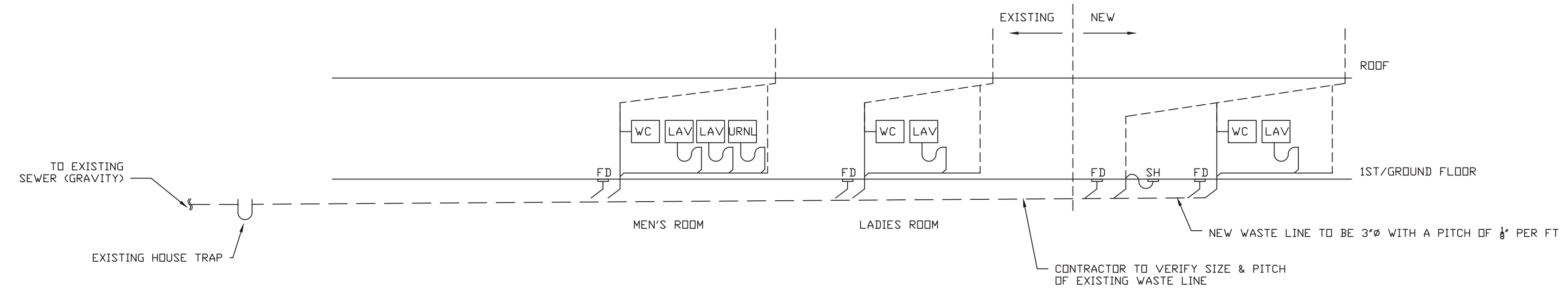
DATE : 04-15-2024  
 PROJECT REF# RD 21032HVAC  
 DRAWN BY: P.R.  
 CHECKED BY: PR  
 P - 001.00  
 NEW EQUIPMENT  
 SHEET 5 OF 12

APPROVAL STAMPS

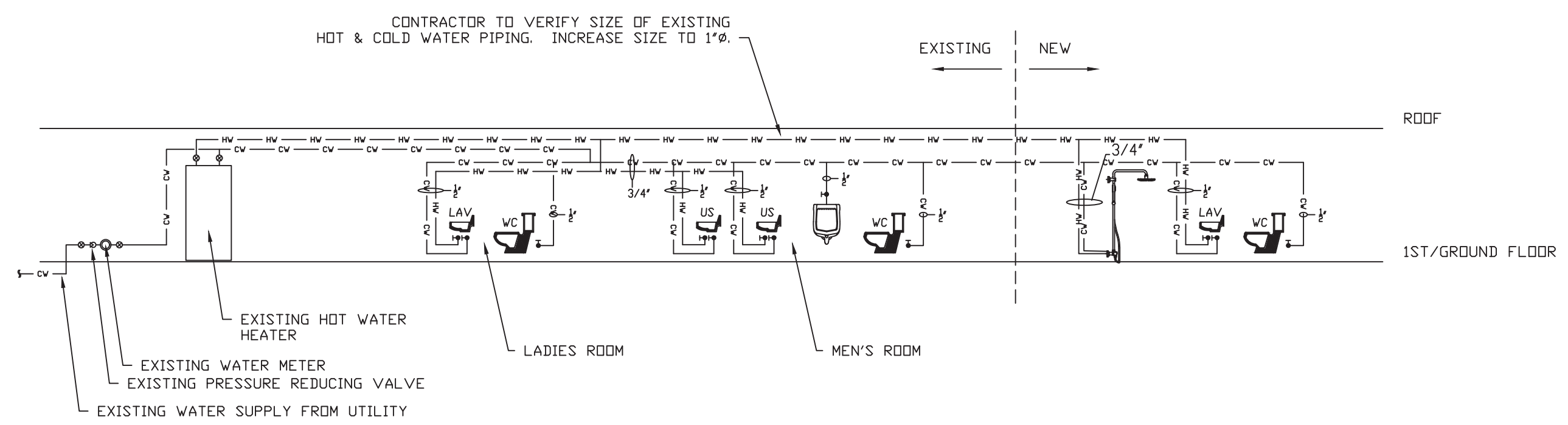
WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

**LEGEND**

- GAS — GAS LINE
- ⊗ — ⊗ — SOV - SHUT OFF VALVE
- ////// — REMOVALS



**SANITARY RISER DIAGRAM**  
NTS



**WATER RISER DIAGRAM**  
NTS

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
 INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
 NO CHANGE IN MEANS OF EGRESS. USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
 YORKTOWN HIGHWAY GARAGE  
 281 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

DOWNER:  
 TOWN OF YORKTOWN  
 363 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
 60 SOMERSTON RD  
 YORKTOWN, NY 10598  
 914-222-0397



DATE : 04-15-2024

PROJECT REF# RD 21032HVAC

DRAWN BY: P.R.

CHECKED BY: PR

P - 002.00

RISER DIAGRAM

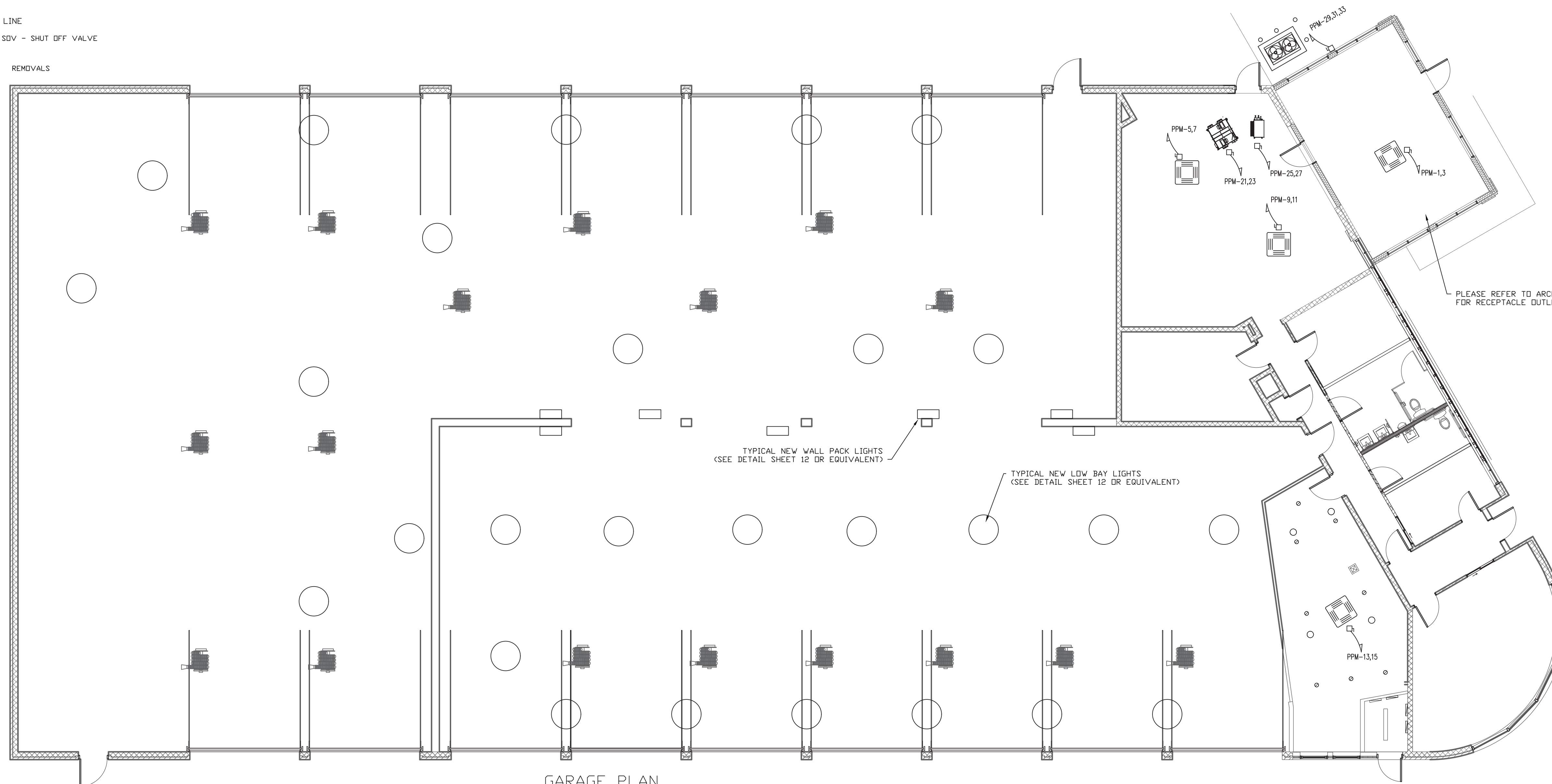
SHEET 6 OF 12

APPROVAL STAMPS

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

**LEGEND**

- GAS — GAS LINE
- ⊗ — SDV - SHUT OFF VALVE
- ////// — REMOVALS



GARAGE PLAN

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
 INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH  
 NEW ADDITION AND REMODEL OF SUPERINTENDENT'S  
 OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE  
 SPACE.  
 NO CHANGE IN MEANS OF EGRESS, USE GROUP, OR  
 OCCUPANCY.

PROJECT LOCATION:  
 YORKTOWN HIGHWAY GARAGE  
 281 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

OWNER:  
 TOWN OF YORKTOWN  
 363 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
 60 SOMERSTON RD  
 YORKTOWN, NY 10598  
 914-222-0397



DATE : 04-15-2024

PROJECT REF# RD 21032HVAC

DRAWN BY: P.R.

CHECKED BY: PR

E - 001.00

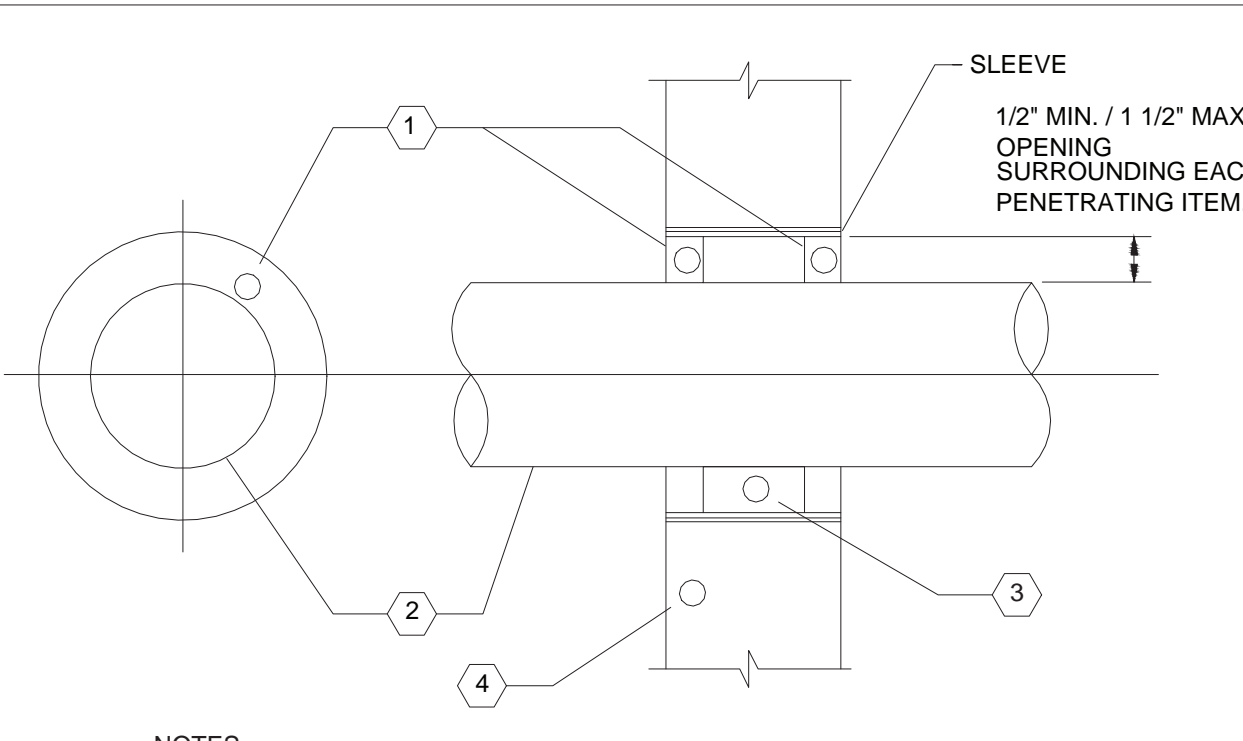
ELECT PLAN

SHEET 7 OF 12

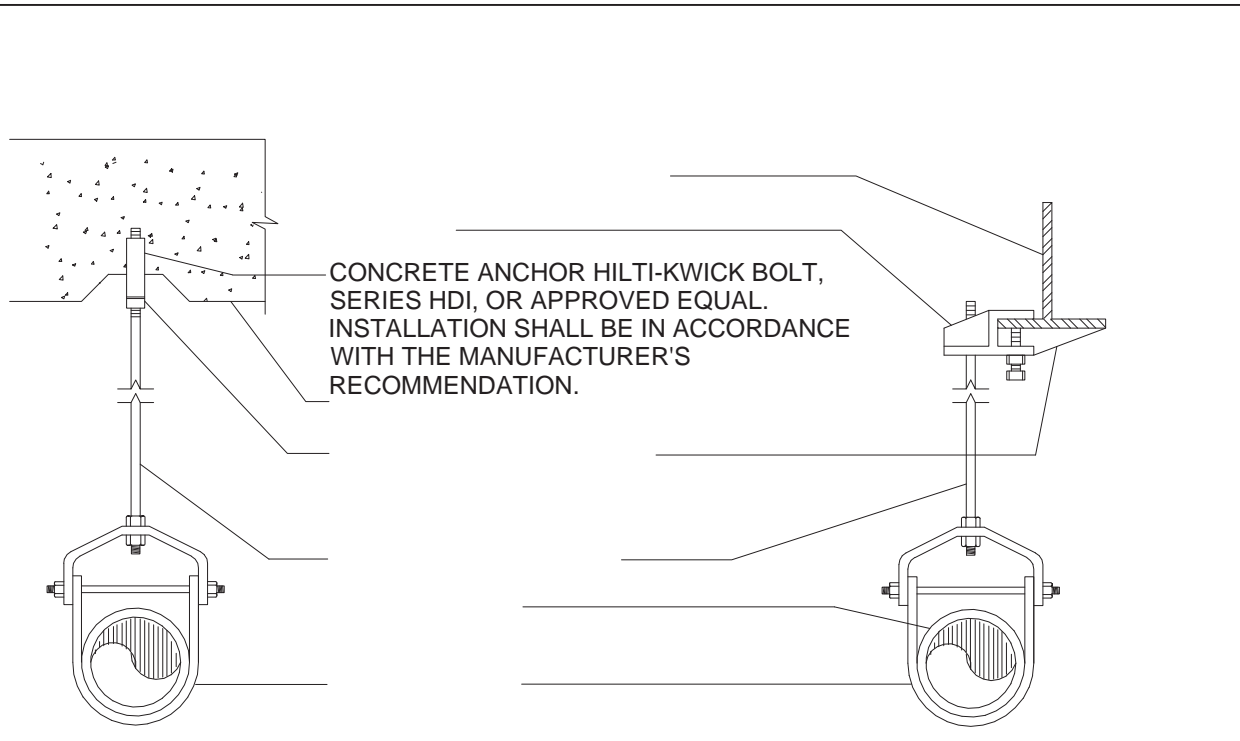
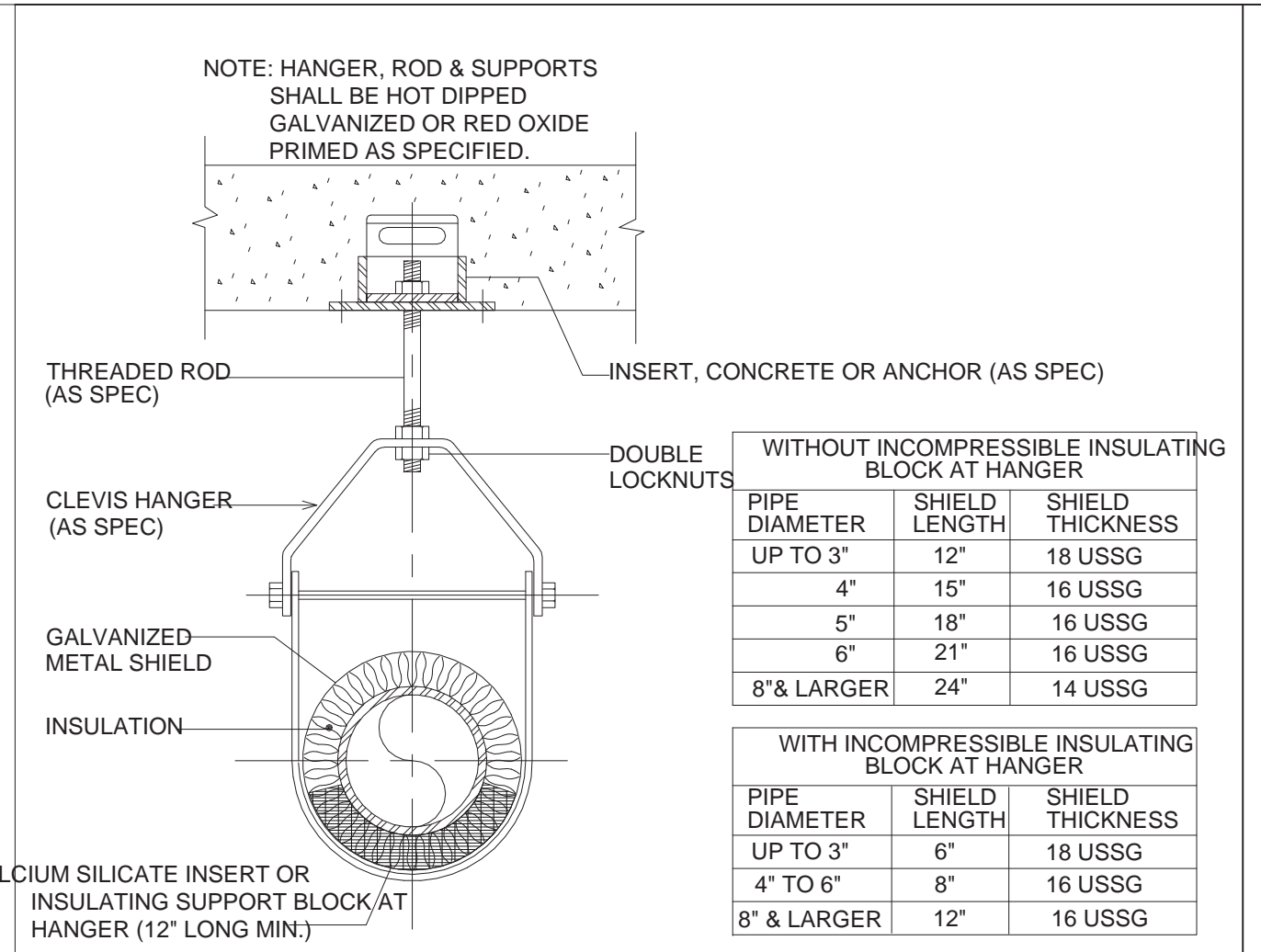
APPROVAL STAMPS

WARNING - IT IS A VIOLATION OF  
 STATE EDUCATION LAW FOR ANY REASON,  
 UNLESS HE IS ACTING UNDER THE DIRECTION  
 OF LICENSED PROFESSIONAL ENGINEER, TO  
 ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024



- NOTES:**
- 1 FLAME SEAL PUTTY - MINIMUM OF 1" THICK
  - 2 PIPE
  - 3 STUFFED CERAMIC FIBER INSULATION
  - 4 WALL OR FLOOR



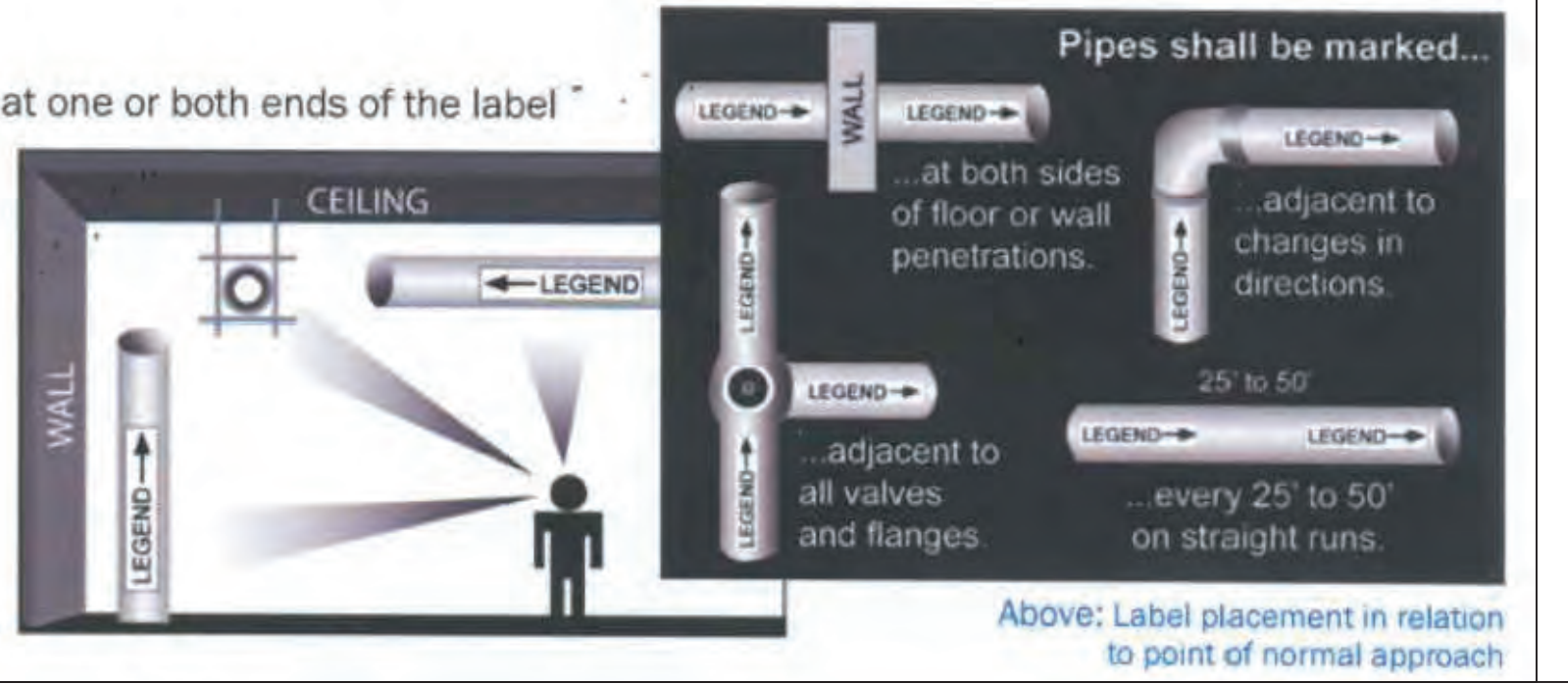
**1 Fire Stopping for Fire/Smoke Rated Openings**  
Not to Scale

**2 Insulated Pipe Support**  
Not to Scale

**3 Typical Hanger Detail**  
Not to Scale

**PLACE MARKERS:**

- To indicate direction of flow by labeling with arrows at one or both ends of the label
- To be visible from the point of normal approach
- Near valves, flanges and changes in pipe direction
- Both sides of ceiling, wall or floor penetrations
- At any line entry or re-entry point
- On straight pipe runs
- Every 50 feet



**4 Marker Orientations**

**Pipe Marking Size Requirements**

Label	Pipe Diameter	Letter Height	Label Length
ABC	.75" - 1.25"	.5"	8"
ABC	1.5" - 2"	.75"	8"
ABC	2.5" - 6"	1.25"	12"
ABC	8" - 10"	2.5"	24"
ABC	> 10"	3.5"	32"

**Pipe Color Code Chart - ANSI/ASME A13.1**

Label Color	Text Color	Color	Pipe Contents
Red	White	Red	Fire-quenching fluids
Orange	Black	Orange	Toxic and corrosive fluids
Yellow	Black	Yellow	Flammable fluids
Brown	White	Brown	Combustible fluids
Green	White	Green	Potable, cooling, boiler feed and other water
Blue	White	Blue	Compressed air
Purple		Purple	
Gray	White	Gray	Defined by user
Black		Black	
White	Black	White	Defined by user

**5 Marking Sizes**  
Not to Scale

**6 Marking Colors**

**TABLE C403.2.8  
MINIMUM PIPE INSULATION THICKNESS (thickness in inches)**

FLUID OPERATING TEMPERATURE RANGE AND USAGE (°F)	INSULATION CONDUCTIVITY		NOMINAL PIPE OR TUBE SIZE (inches)				
	Conductivity, Btu · in./h · ft · °F	Mean Rating Temperature, °F	< 1 1/2	1 1/2 to 4	4 to 8	8 to 12	> 12
> 350	0.32 - 0.34	250	4.5	5.0	5.0	5.0	5.0
251 - 350	0.29 - 0.32	200	3.0	4.0	4.5	4.5	4.5
201 - 250	0.27 - 0.30	150	2.5	2.5	2.5	3.0	3.0
141 - 200	0.25 - 0.29	125	1.5	1.5	2.0	2.0	2.0
105 - 140	0.21 - 0.28	100	1.0	1.0	1.5	1.5	1.5
40 - 60	0.20 - 0.26	75	0.5	0.5	1.0	1.0	1.0
> 40	0.20 - 0.26	75	0.5	1.0	1.0	1.0	1.5

- a. For piping smaller than 1 1/2 inch (28mm) and located in partitions within conditioned spaces, reduction of these thickness by 1 inch (25mm) shall be permitted (before thickness adjustment required in footnote b but not to a thickness less than 1 inch (25mm)).
- b. For insulation outside the stated conductivity range, the minimum thickness (D) shall be determined as follows:  
 $D = r \cdot k$   
 $r = \frac{t}{k} (1 + \frac{t}{r}) / k - 1$   
 where:  
 r = Actual outside radius of pipe,  
 t = Insulation thickness listed in the table for applicable fluid temperature and pipe size,  
 k = Conductivity of alternate material at mean rating temperature indicated for the applicable fluid temperature (Btu · in./h · ft · °F) and  
 K = The upper value of the conductivity range listed in the table for the applicable fluid temperature.
- c. For direct heating and hot water system piping, reduction of these thicknesses by 1-1/2 inches (38 mm) shall be permitted (before thickness adjustment required in Footnote b but not to thicknesses less than 1 inch (25 mm)).
- C 403.81 PROTECTION OF PIPING INSULATION.  
 Piping insulation exposed to weather shall be protected from damage, including that due to sunlight, moisture, equipment maintenance and wind, and shall provide shielding from solar radiation that can cause degradation of the material. Adhesives top shall not be permitted.

**7 Insulation Requirements**

DESCRIPTION: INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE. NO CHANGE IN MEANS OF EGRESS. USE GROUP, DR OCCUPANCY.

PROJECT LOCATION:  
 YORKTOWN HIGHWAY GARAGE  
 281 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598  
 OWNER:  
 TOWN OF YORKTOWN  
 363 UNDERHILL AVE  
 YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
 60 SOMERSTON RD  
 YORKTOWN, NY 10598  
 914-222-0397



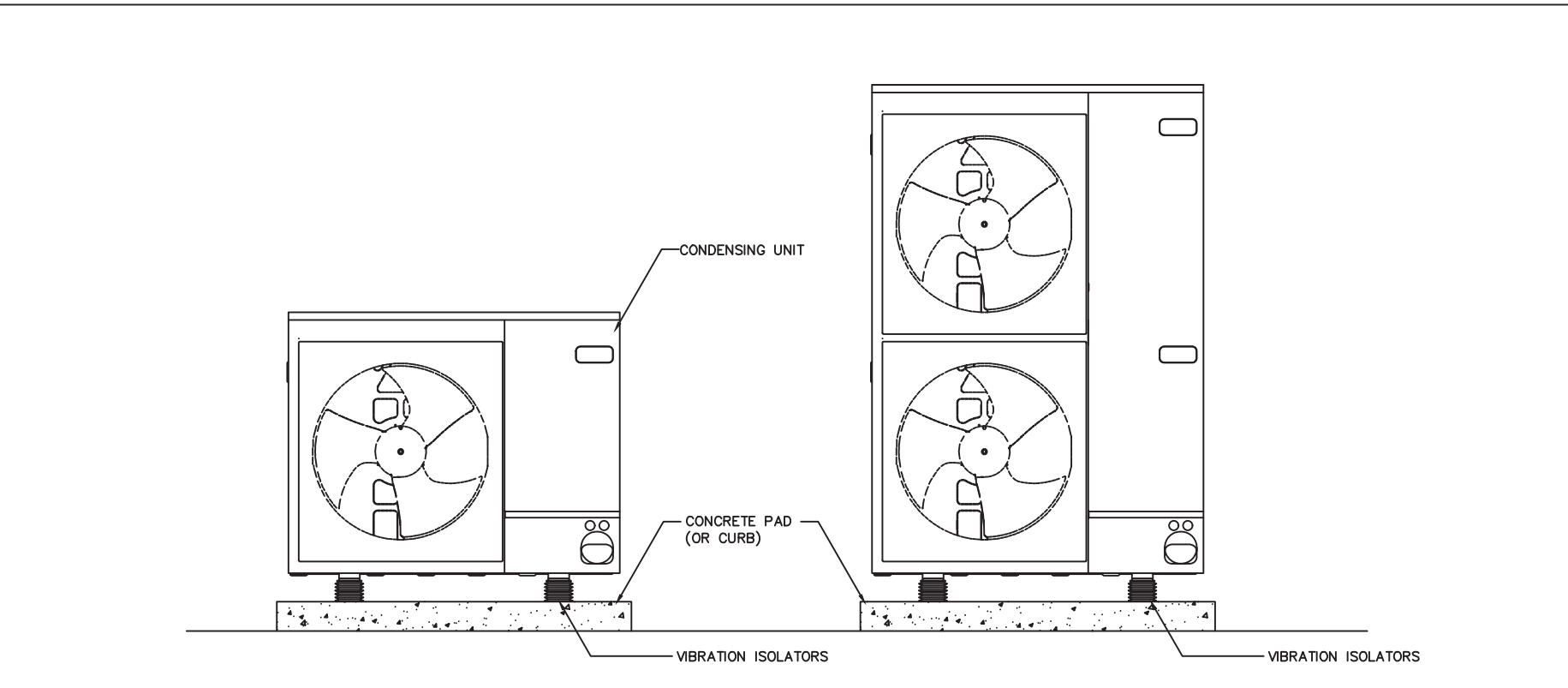
DATE: 04-15-2024  
 PROJECT REF# RD 21032HYAC  
 DRAWN BY: P.R.  
 CHECKED BY: PR  
 X - 001.00

DETAILS  
 SHEET 8 OF 12

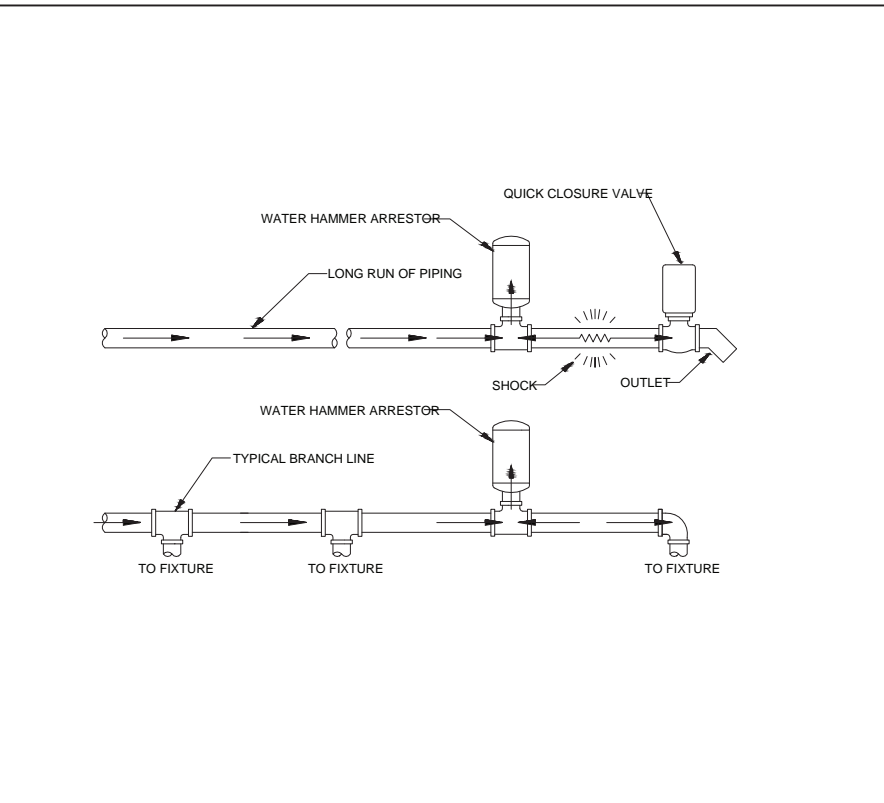
APPROVAL STAMPS

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

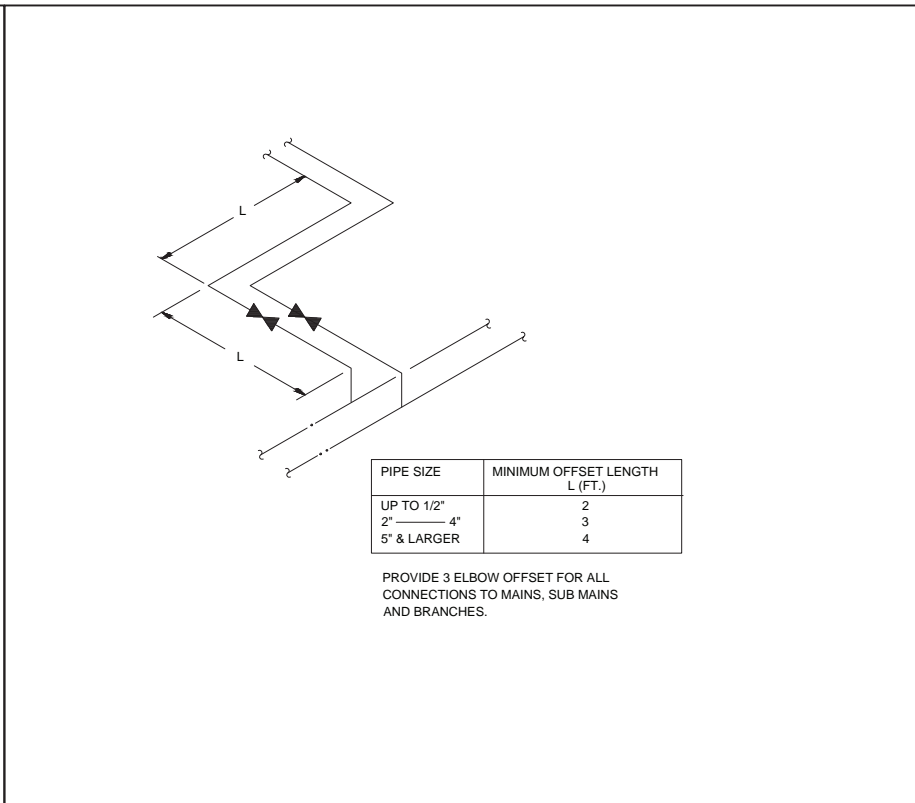
REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024



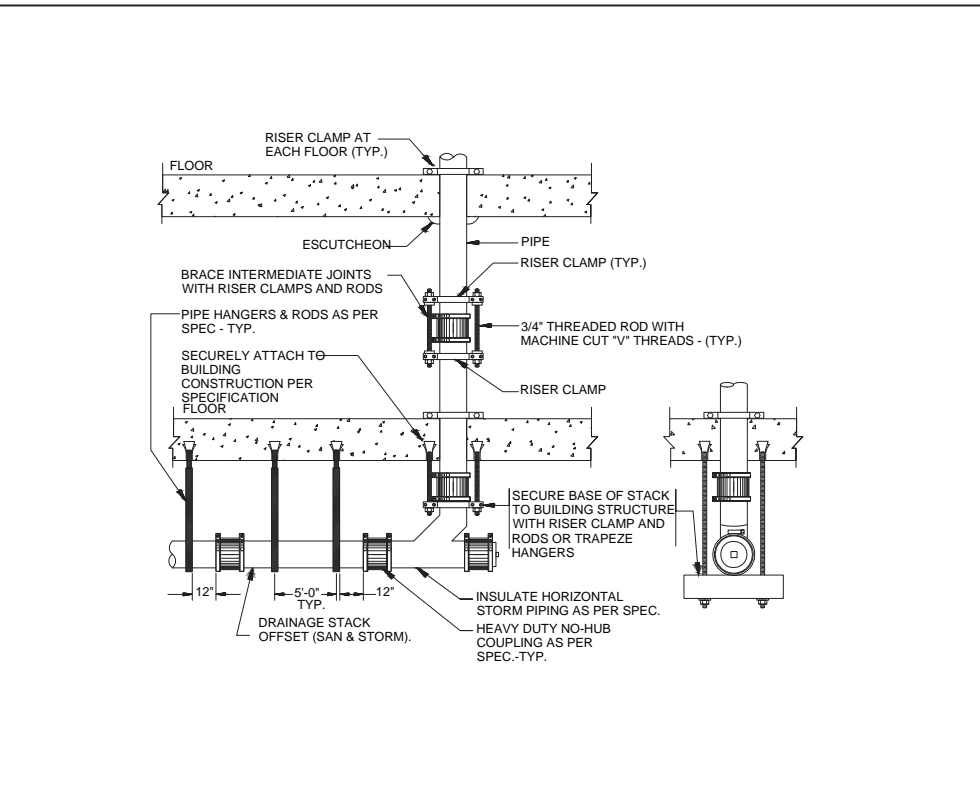
**1** AIR COOLED CONDENSING UNIT MOUNTING DETAIL  
NO SCALE



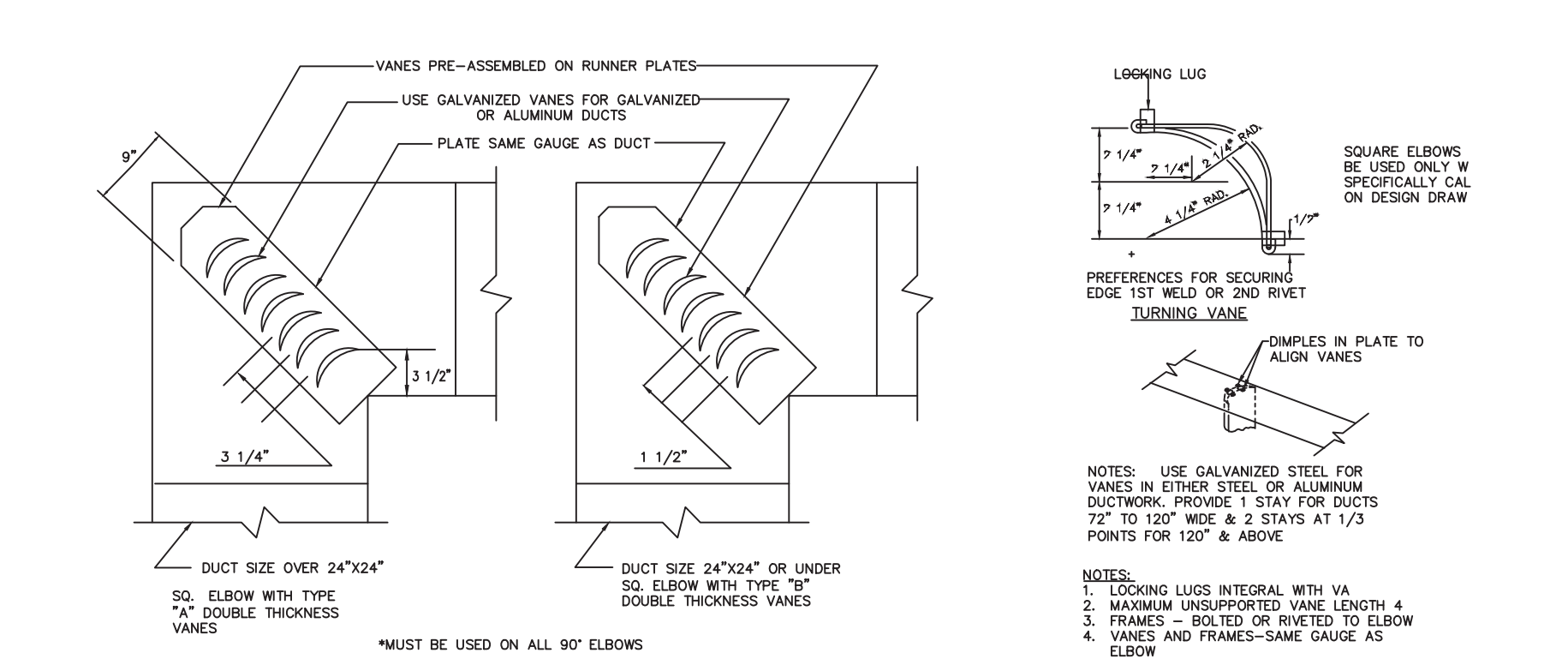
**2** WATER HAMMER ARRESTER DETAIL  
NO SCALE



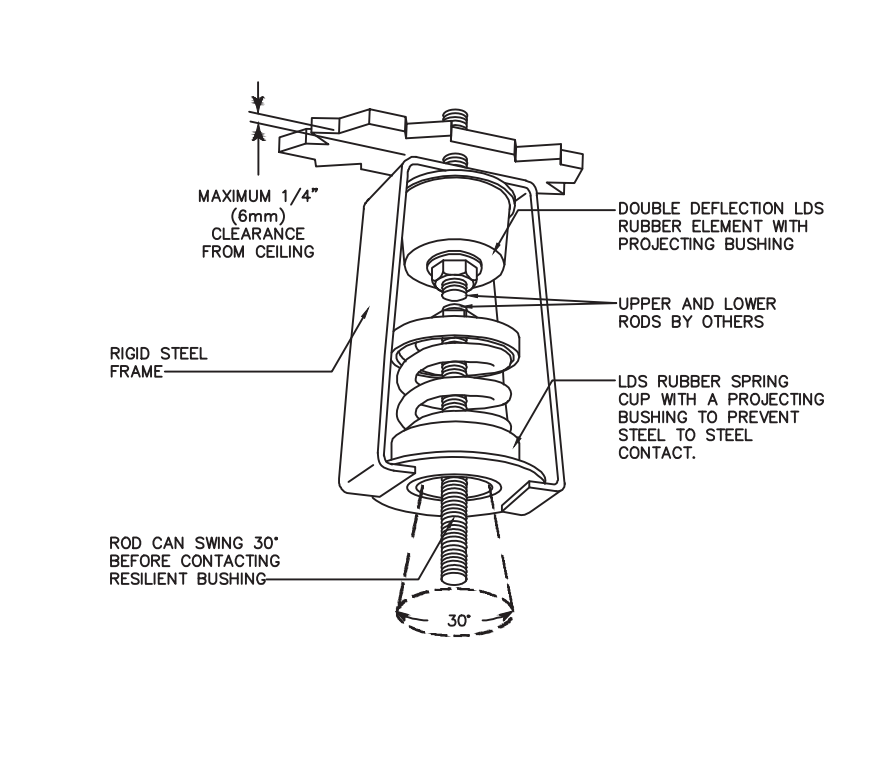
**3** TYPICAL BRANCH TAKE-OFF DETAIL  
NO SCALE



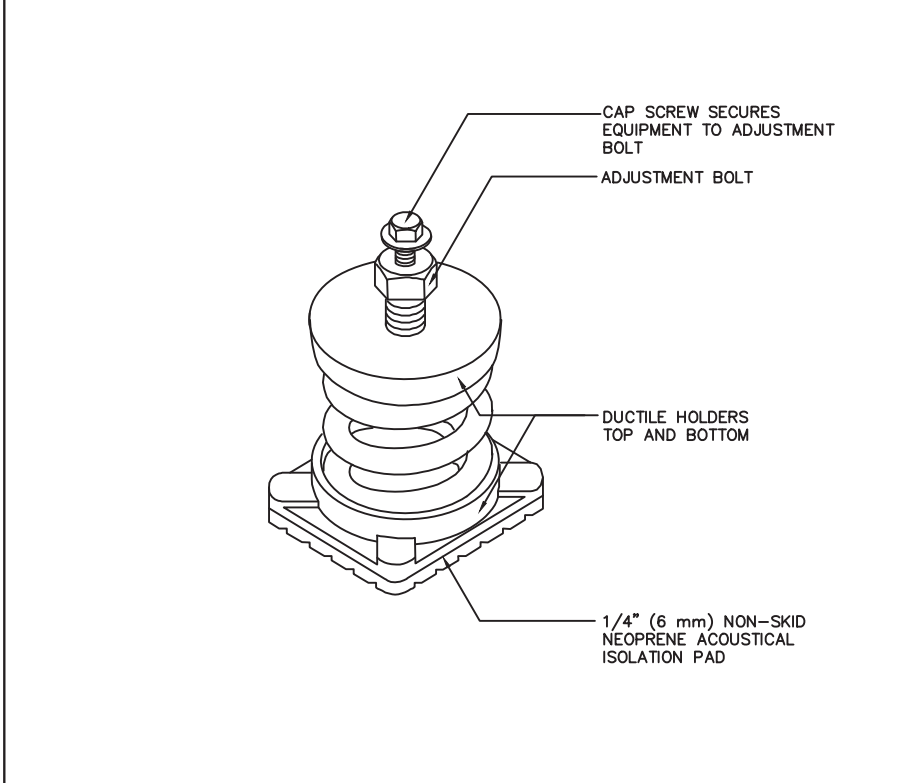
**10** BRACING FOR NO HUB DRAIN PIPING OFFSETS  
NO SCALE



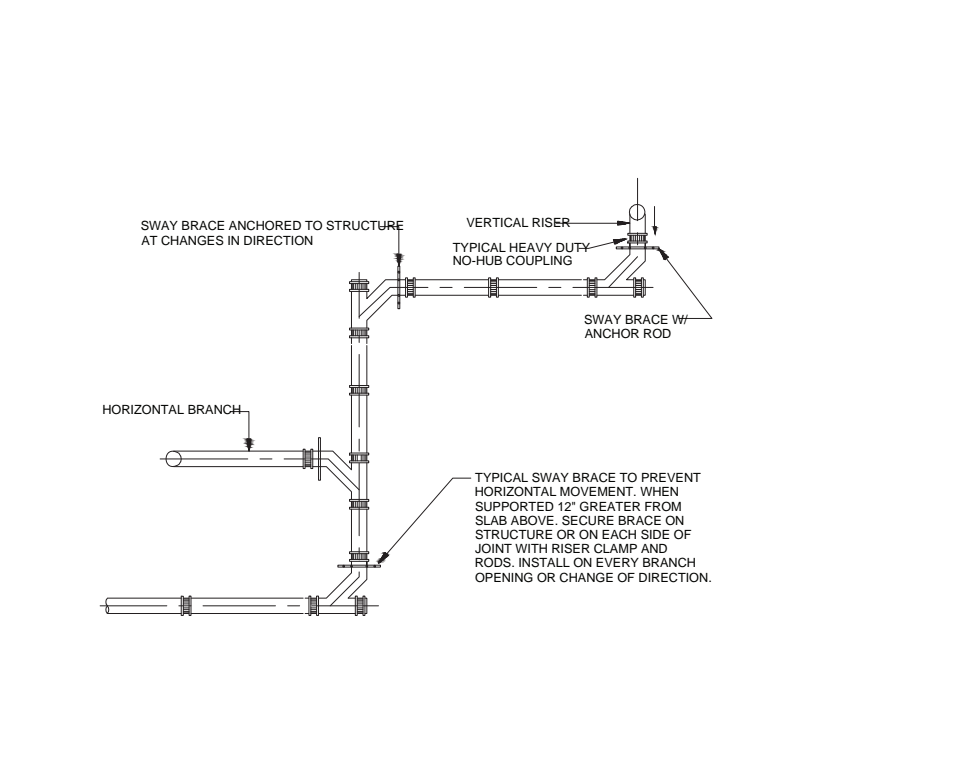
**4** TURNING VANE DETAIL  
NO SCALE



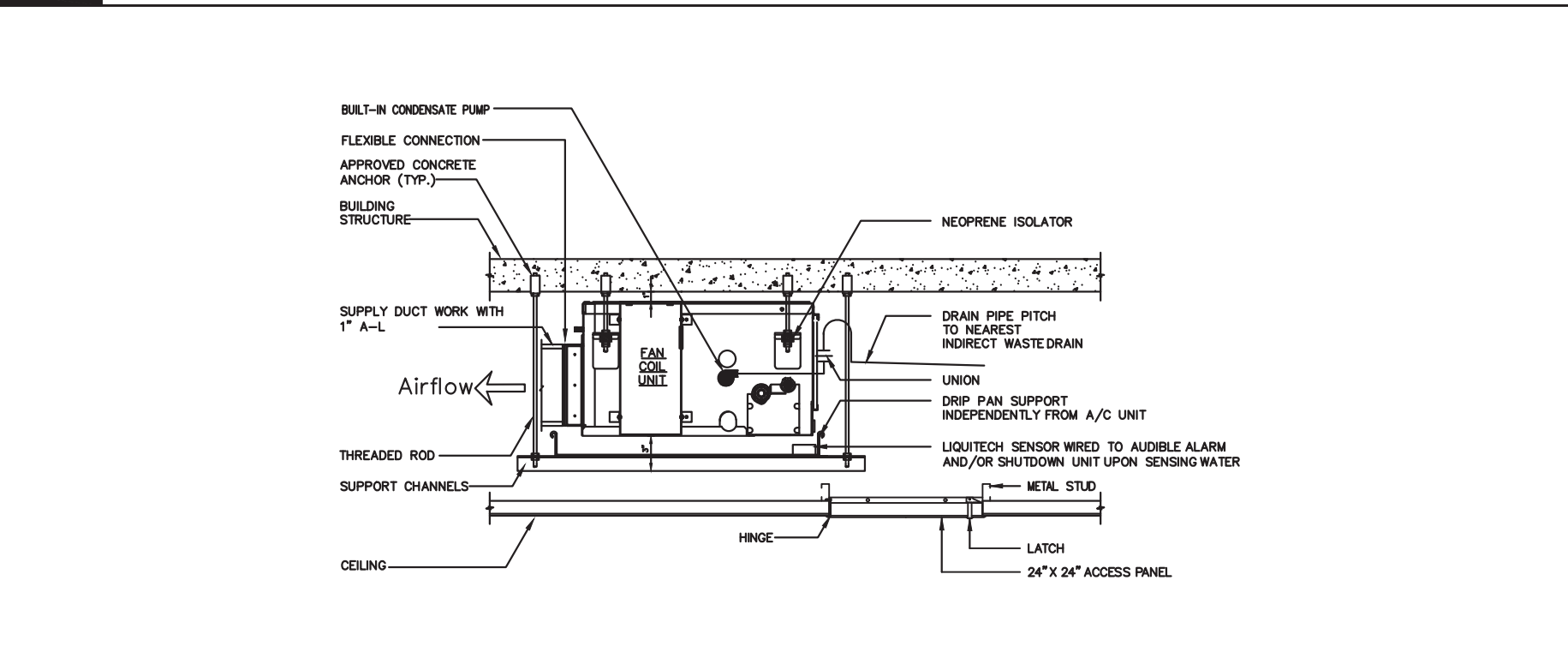
**5** SPRING VIBRATION ISOLATOR DETAIL  
NO SCALE



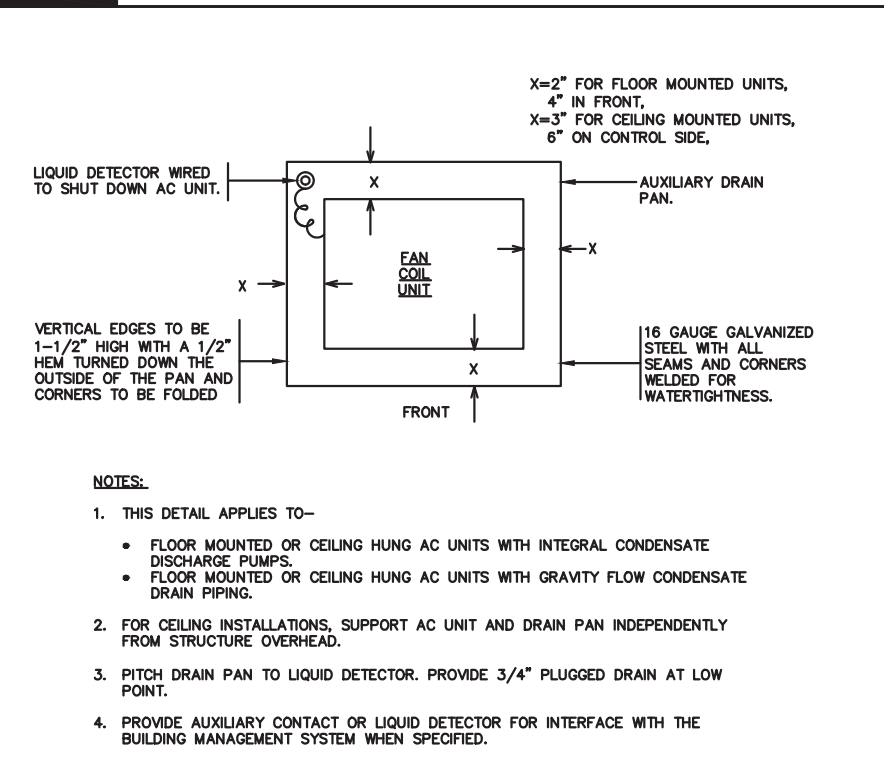
**6** SLF SPRING MOUNT DETAIL  
NO SCALE



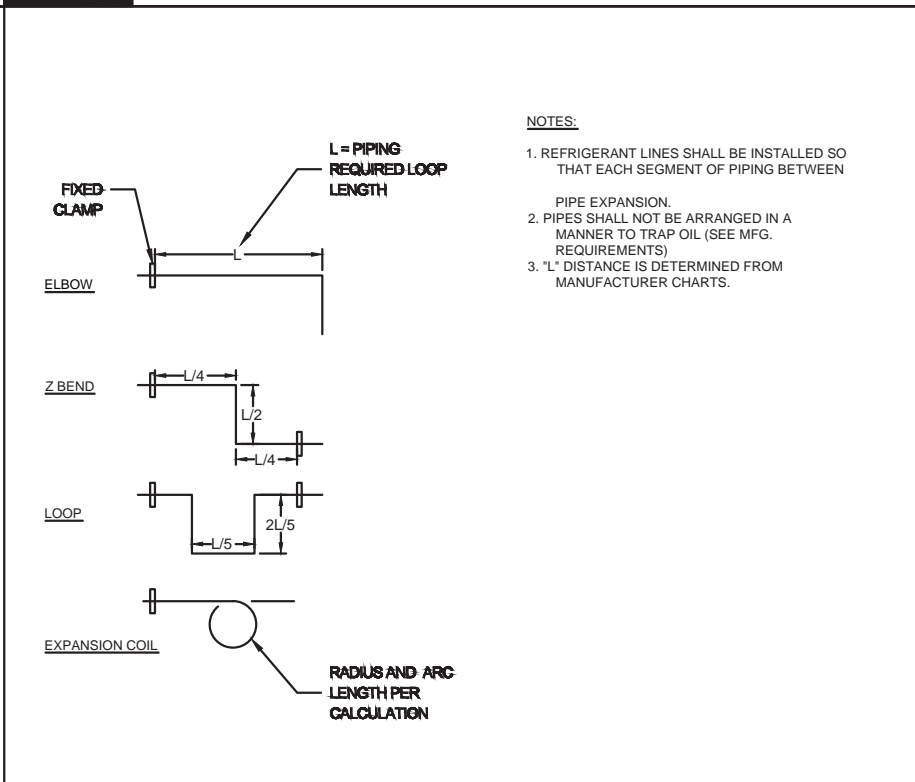
**11** SWAY BRACING FOR HORIZONTAL DRAIN PIPING OFFSETS  
NO SCALE



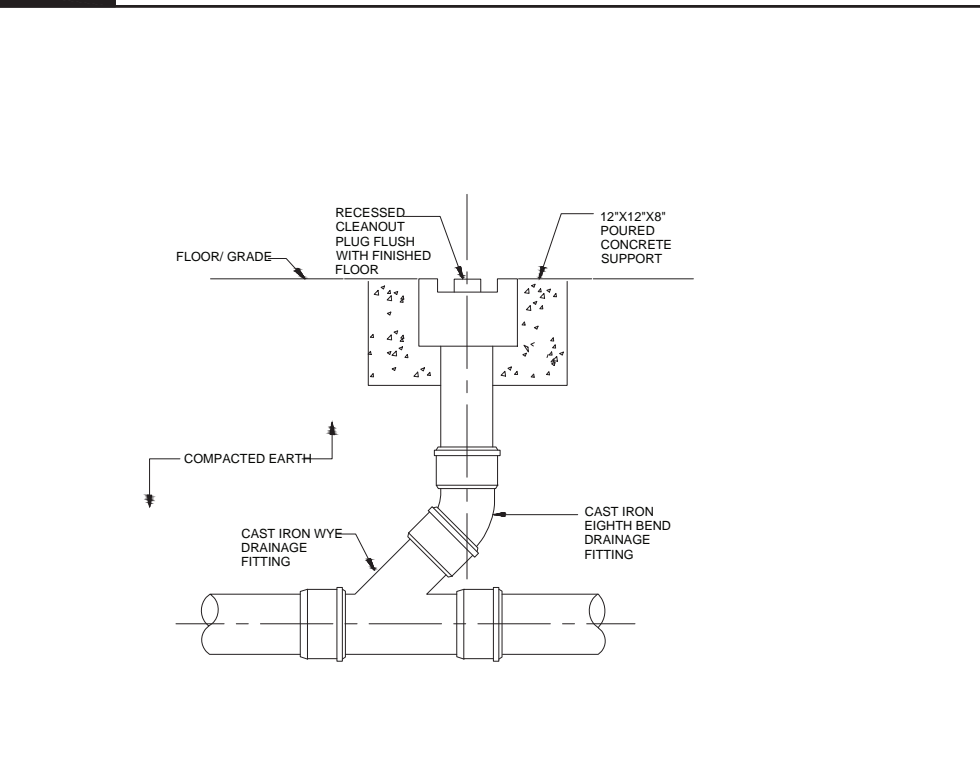
**7** HORIZONTAL CONCEALED AC UNIT WITH ACCESS PANEL  
NO SCALE



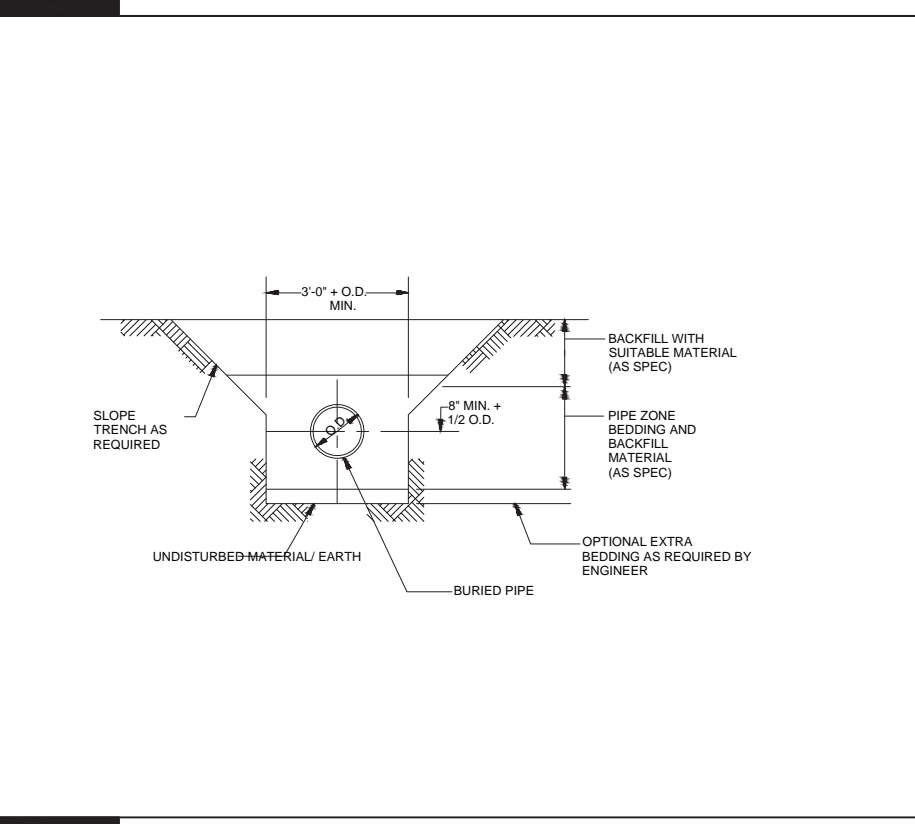
**8** TYPICAL DETAIL OF AUXILIARY DRAIN PAN  
NO SCALE



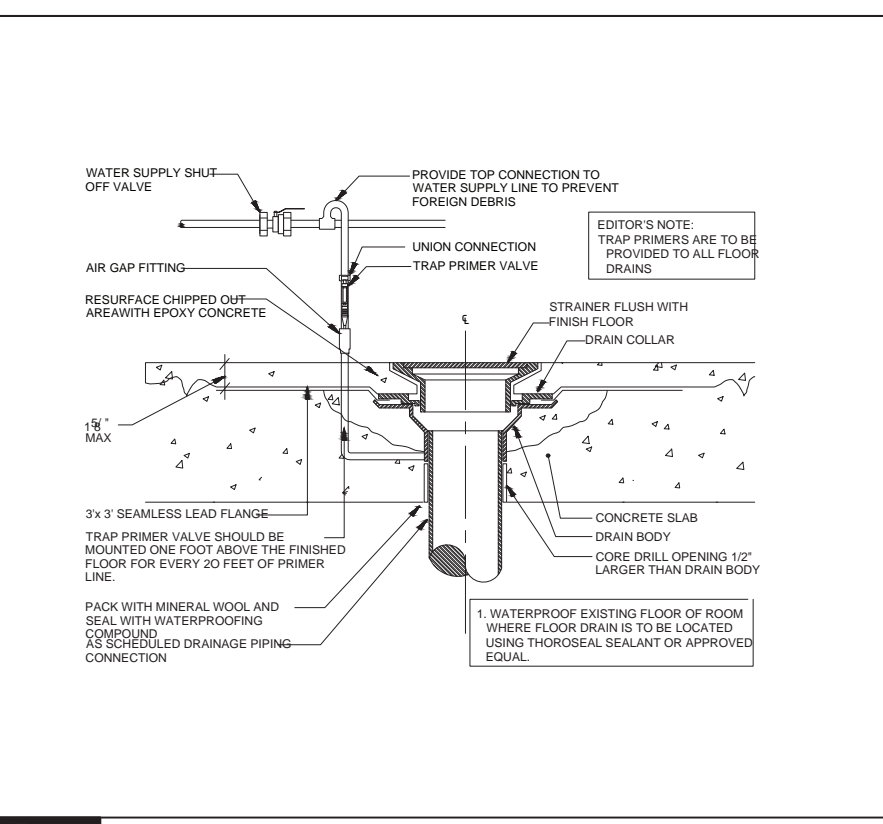
**9** METHODS OF REFRIGERANT EXPANSION  
NO SCALE



**12** FLOOR CLEANOUT DETAIL  
NO SCALE



**13** TYPICAL TRENCH DETAIL  
NO SCALE



**14** TYPICAL FLOOR DRAIN DETAIL  
NO SCALE

DESCRIPTION:  
INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
NO CHANGE IN MEANS OF EGRESS. USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
YORKTOWN HIGHWAY GARAGE  
281 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598  
OWNER:  
TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
60 SOMERSTON RD  
YORKTOWN, NY 10598  
914-222-0397



DATE : 04-15-2024  
PROJECT REF# RD 21032HVAC  
DRAWN BY: P.R.  
CHECKED BY: PR  
X - 002.00  
DETAILS  
SHEET 9 OF 12

APPROVAL STAMPS

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY IN THESE PLANS.

6/29/2022 | Page 1 of 4

### MODEL NUMBER RELQ96TATJU, VRV AURORA HEAT RECOVERY OUTDOOR UNITS - RELQ\_TATJU SERIES

Engineered with Daikin's vapor injection compressor for greater heating performance at lower ambient temperatures.

- VRV with Variable Refrigerant Temperature (VRT)
- High heating capacity up to 100% of nominal at 0°F (-18°C), up to 85% of nominal at -13°F (-25°C), and up to 60% of nominal at -22°F (-30°C)
- Engineered with Daikin vapor injection compressor for optimized part load efficiencies
- Capacity range from 6 to 20 tons
- 208-230V / 3ph / 60Hz (RELQ\_TATJU)



Specifications | Dimensions | System Efficiency Metrics | Features | Benefits | Notes

Specifications	
Model Type	Heat Recovery
Fan Type	Propellor Fan
Heat Exchanger Type	Cross Fin Coil
Color	Ivory White (5Y7.5/1)
Voltage	208/230 V
Phase	3
Cooling Capacity	96000 Btu/h

6/29/2022 | Page 2 of 4

Heating Capacity	108000 Btu/h 31.7 kW
Compressor Type	Hermetically Sealed Scroll
Compressor Displacement	17.7 m³/h
Fan Air Flow Rate	7989 ft³/min 226 m³/min
Safety Devices	High pressure switch, Fan driver overload protector, Overcurrent fuse, Inverter overload protector, Leak detecting device
Weight	360 kg 793 lb

Dimensions

Height	66-11/16 in 1694 mm
Width	48-7/8 in 1242 mm
Depth	30-3/16 in 767 mm
Pipe Connections - Liquid	3/8 in 9.5 mm
Pipe Connections - Suction Gas Pipe	7/8 in 22.2 mm
Pipe Connections - High/Low Pressure Gas	3/4 in 19.1 mm
Maximal Pipe Length (Total)	1640 ft
Maximal Pipe Length (Vertical)	295 ft

System Efficiency Metrics

System Performance EER Non-Ducted	15.30
System Performance EER Ducted	12.50

6/29/2022 | Page 3 of 4

System Performance Heating COP Non-Ducted	4.25
System Performance Heating COP Ducted	3.44
System Performance Heating COP 17F Non-Ducted	2.5
System Performance Heating COP 17F Ducted	2.25
System Performance IEER Non-Ducted	24.8
System Performance IEER Ducted	19.1
System Performance SCHE Non-Ducted	25.70
System Performance SCHE Ducted	19.70

Features

- First air cooled VRV system to deliver heating down to -22°F (-30°C) as a standard
- 575V inverter based on Daikin's patented vapor injection compressor delivers high heating capacity up to 100% at 0°F (-18°C), up to 85% at -13°F (-25°C) and up to 60% at -22°F (-30°C)
- Efficient and stable inverter board operation that is independent of ambient conditions
- Ability for Auto changeover to back-up (auxiliary) heat
- Year round comfort and energy efficiency delivered by combining VRV and VRT technologies
- Available in 6, 8, 10 ton single modules and 12, 16, 20 ton multi-module systems
- Compatible with the VRV-IV T-series Branch Selector Boxes
- Seamless connection to all VRV M, P and T series indoor units
- Factory standard coil guards
- Assembled in the US to increase flexibility and reduce lead times
- Standard Limited Warranty: 10-year limited parts warranty

Benefits

- Refrigerant cooled inverted technology allows installation without additional drain pan heater
- Designed and optimized for Total Cost of Construction (TCC) and reduced Life Cycle Cost (LCC)
- Can operate up to 41 indoor units on a single piping network
- Modular and lightweight - enables flexibility in system layout and installation
- Engineered with 575V inverter based Daikin vapor injection compressor to delivery optimized part load

6/29/2022 | Page 4 of 4

efficiency

- Heat exchanger coil wraps around on all 4 sides of the unit to increase the surface area / efficiency
- Continuous heating during defrost and oil return allows constant comfort control
- Corrosion resistance 1000hr salt spray tested Daikin PE blue fin heat exchanger
- Design for installation flexibility of piping lengths up to 1,640 ft. total and 98 ft. vertical separation between indoor units
- Digital display on the unit for improved and faster configuration, commissioning, and trouble shooting

Notes

Cooling Capacity Note: Indoor temp.: 80°FDB (26.7°CDB), 67°FWB (19.4°CWB) / Outdoor temp.: 95°FDB (35.0°CDB) / Equivalent piping length: 25 ft. (7.6 m), level difference: 0 ft. (0 m).

Heating Capacity Note: Indoor temp.: 70°FDB (21.1°CDB) / Outdoor temp.: 47°FDB (8.3°CDB), 43°FWB (6.1°CWB) / Equivalent piping length: 25 ft. (7.6 m), level difference: 0 ft. (0 m)

Sound Note: Anechoic chamber conversion value, measure under ISO standard conditions. During actual operation, these values are normally somewhat higher as a result of ambient conditions.

## NEW OUTDOOR CONDENSER UNIT DETAILS ACCU-1


6/23/2022 | Page 1 of 3

### MODEL NUMBER BS12Q54TVJ, MULTI PORT BRANCH SELECTOR BOX - BSQ SERIES

Multi port branch selector box for use with VRV-IV heat recovery systems.

Daikin branch selector boxes provide ultimate flexibility when designing a heat recovery system. Mix and match single port branch selector boxes and multi port branch selector boxes on the same system to best suit the building.

- Available in 36 Mbh, 60 Mbh, and 96 Mbh capacities
- Available in 4, 6, 8, 10, and 12 ports
- Serve up to 54 Mbh per port
- Ultimate flexibility - mix and match single port and multi port branch



Specifications | Dimensions | Accessories | Features

Specifications	
Model Type	Branch Selector Box
Power Supply	208/230 V, 60 Hz, 1 phase
Number of Ports	12
Maximum Capacity Index of Connectable Indoor Units	290 or less
Maximum Capacity Index of Connectable Indoor Units per Branch	54 or less
Maximum Number of Connectable Indoor Units	41
Maximum Number of Connectable Indoor Units per Branch	5
Number of Branches	12

6/23/2022 | Page 2 of 3

Casing	Galvanized steel plate
Sound Absorbing Thermal Insulation Material	Urethane foam, Polyethylene foam
Operating Sound Level	40 dBA
Max. Sound Level	48 dBA
Weight	48 kg 106 lb

Dimensions

Height	11-3/4 in 298 mm
Width	32-5/16 in 820 mm
Depth	18-15/16 in 480 mm
Pipe Connections Indoor Unit - Liquid	1/4 in 3/8 in
Pipe Connections Indoor Unit - Gas	1/2 in 5/8 in
Pipe Connections Outdoor Unit - Liquid	5/8 in
Pipe Connections Outdoor Unit - Suction Gas	1 1/8 in
Pipe Connections Outdoor Unit - HPLP Gas	1 1/8 in

Accessories

Standard Accessories	Accessory pipes, Clamps, Insulation tube, Vinyl tube, Installation manual
----------------------	---------------------------------------------------------------------------

Features

6/23/2022 | Page 3 of 3

- Individual control and changeover with extended range of product offerings - 4, 6, 8, 10 and 12 port options.
- Up to 54 MBH capacity per port.
- Lower sound levels thanks to simplified mechanical design, when compared to VRV III models.
- Ultimate design flexibility - single and multi-port units can be combined in one system.
- Quick installation due to fewer brazing points and less wiring.
- Unlimited number of unused ports per box or system.
- Low built-in height.
- No drain piping needed.
- Standard Limited Warranty: 10-year warranty on all parts.

## NEW BRANCH SELECTOR BOX DETAILS BS-1

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY IN THESE PLANS.

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

DESCRIPTION:  
INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
NO CHANGE IN MEANS OF EGRESS. USE GROUP, OR OCCUPANCY.

PROJECT LOCATION:  
YORKTOWN HIGHWAY GARAGE  
281 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598

OWNER:  
TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
60 SOMERSTON RD  
YORKTOWN, NY 10598  
914-222-0397



DATE: 04-15-2024  
PROJECT REF# RD 21032HVAC  
DRAWN BY: P.R.  
CHECKED BY: PR  
X - 003.00  
DETAILS  
SHEET 10 OF 12


APPROVAL STAMPS

**MODEL NUMBER FXUQ18PVJU, VRV INDOOR UNITS - FXUQ SERIES**

**4-Way ceiling suspended cassette unit**

The unique 4-way ceiling-suspended cassette is an ideal solution for rooms without a false ceiling, or minimal space above a false ceiling, where adaptive comfort control is preferred.

- Capacity range from 18 MBH to 36 MBH
- Optional Sensor Kit enables input from three room sensors to provide optimized occupant comfort and efficiency
- Low profile design less than 8" high



[Specifications](#) | [Dimensions](#) | [Application](#) | [Features](#) | [Benefits](#) | [Notes](#)

**Specifications**

Family	FXUQ
Model Type	4-Way Blow Ceiling-Suspended
Cooling Capacity	18000 Btu/h
Heating Capacity	20000 Btu/h 5.9 kW
Fan Air Flow Rate	795 ft <sup>3</sup> /min
Sound Pressure Level	40/38/36 dBA
Power Supply	208/230 V, 60 Hz, 1 phase
Minimum Circuit Amps	0.6 A
Maximum Overcurrent Protection	15 A

**Dimensions**

Height	7-13/16 in 198 mm
Width	37-3/8 in 950 mm
Depth	37-3/8 in 950 mm
Pipe Connections - Liquid	1/4 in 6.4 mm
Pipe Connections - Gas	1/2 in 12.7 mm
Pipe Connections - Drain - External Diameter	1 in 26 mm
Pipe Connections - Drain - Internal Diameter	13/16 in 20 mm

**Application**

- Schools
- Offices
- Retail
- Churches
- Restaurants

**Features**

**Benefits**

- Low profile of less than 8" with the option to be partially recessed in a false ceiling
- Built-in condensate pump with 19-1/2" lift and safety float switch
- Auto swing function ensures efficient air and temperature distribution
- Air can be discharged in five different angles between 0 and 60°
- Low sound pressure levels down to 36 dBA
- The optional Sensor Kit (occupancy and surface temperature) together with air temperature sensor and advanced control functions enables the unit to provide an exceptional comfort level, energy efficiency, and flexibility

**Notes**

**Sound Note**

Anechoic chamber conversion value, measured under JIS conditions. During actual operation, these values may be higher as a result of installation conditions.

**Cooling Capacity Note**

Nominal cooling capacities are based on the following conditions:  
Return air temperature: 80.0 °FDB (26.7 °CDB), 67.0 °FWB (19.4 °CWB)  
Outdoor temperature: 95.0 °FDB (35.0 °CDB)  
Equivalent ref. piping length: 25 ft (7.6 m)  
Capacities are net, including a deduction for cooling (an addition for heating) for indoor fan motor heat.

**Heating Capacity Note**

Nominal heating capacities are based on the following conditions:  
Return air temperature: 70.0 °FDB (21.1 °CDB)  
Outdoor temperature: 47.0 °FDB (8.3 °CDB), 43.0 °FWB (6.1 °CWB)  
Equivalent ref. piping length: 25 ft (7.6 m) (Horizontal)  
Capacities are net, including a deduction for cooling (an addition for heating) for indoor fan motor heat.

NEW CEILING MOUNT 4-WAY CASSETTE UNIT DETAILS AC-1

**DAIKIN**

**Submittal Data Sheet**  
1.5-Ton VISTA 2x2 Cassette Unit for VRV - FXZQ18TAVJU  
Project: Yorktown Garage  
Submitted by: Eric Joseph of DAIKIN APPLIED NEW YORK on 8/24/2022  
Submitted to: No Engineer Name Specified  
Tags: AC-2 (3)

**FEATURES**

- Six capacity options, including a new 5,800 Btu/h model
- 4-way, 3-way, and 2-way blow configurability
- Independently motorized lower outlets
- High efficiency DC fan motor with Auto fan speed control
- Low profile decoration panel design measures a mere 5 1/8" below the ceiling
- Integral condensate pump with up to 24-13/16" (630mm) lift from the drain outlet
- Independently configurable auxiliary heat on/off temperatures
- Direct outside air integration possible
- Two decoration panel design colors available: BYF060C1W1W (white) or BYF060C2W1S (silver/white)
- Universal Design award winning design
- Standard Limited Warranty, 10-year limited parts warranty

**BENEFITS**

- 24-7/16" x 24-7/16" decoration panel design simplifies ceiling coordination by eliminating overlap of adjacent ceiling tiles in a 2x2 ceiling grid
- Auto fan speed control can reduce operational energy input by intelligently adjusting the fan speed in response to room temperature
- Independently adjustable air flow louvers allow for a high degree of air distribution flexibility
- The optional space and presence sensor kit optimizes energy efficiency by automatically adjusting the set point temperature when no occupants are detected by the unit
- The optional space and presence sensor kit enhances occupant comfort by automatically adjusting the air flow louvers to avoid cold drafts and reduce stratification during heating operation






Daikin North America LLC, 1001 Kerner Rd, Valley, TX 77454  
Daikin City Generated Submittal Data  
Date: 8/24/2022 4:08:55 PM Page 1 of 3

**DAIKIN**

**Submittal Data Sheet**  
1.5-Ton VISTA 2x2 Cassette Unit for VRV - FXZQ18TAVJU  
Project: Yorktown Garage  
Submitted by: Eric Joseph of DAIKIN APPLIED NEW YORK on 8/24/2022  
Submitted to: No Engineer Name Specified  
Tags: AC-2 (3)

**PERFORMANCE**

Indoor Unit Model No.	FXZQ18TAVJU	Indoor Unit Name	1.5-Ton VISTA 2x2 Cassette Unit for VRV
Type	Cassette	Rated Cooling Conditions	Indoor (°F DBWB): 80 / 67 Ambient (°F DBWB): 65 / 75
Rated Cooling Capacity (Btu/hr)	18,000	Rated Heating Conditions	Indoor (°F DBWB): 70 / 60 Ambient (°F DBWB): 47 / 43
Sensible Capacity (Btu/hr)	13,000	Rated Piping Length(ft)	
Cooling Input Power (kW)	0.892	Rated Height Separation (ft)	
Rated Heating Capacity (Btu/hr)	20,000		
Heating Input Power (kW)	0.88		

**INDOOR UNIT DETAILS**

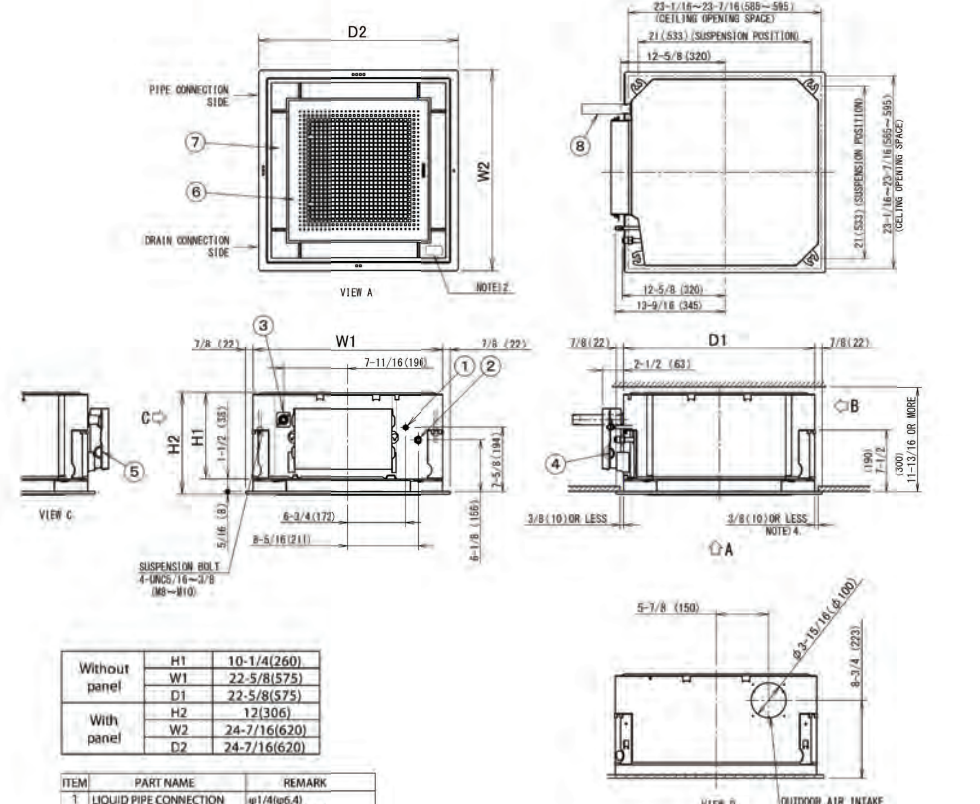
Power Supply (V/Hz/Ph)	208/230 / 60 / 1	Airflow Rate (Ft <sup>3</sup> /Min) (CFM)	511/44/1353
Power Supply Connections	L1, L2, G	Moisture Removal (Gal/yr)	
Min. Circuit Amps (MCA) (A)	0.6	Gas Pipe Connection (inch)	1/2
Max Overcurrent Protection (MOP) (A)	15	Liquid Pipe Connection (inch)	1/4
Dimensions (HxWxD) (in)	10-1/4 x 22-5/8 x 22-5/8	Condensate Connection (inch)	25/32
Net Weight (lb)	40.8	Sound Pressure (INHL) (dBA)	43/40/33
Est. Static Pressure (RatedMax) (inWG)	N/A / N/A	Sound Power Level (dBA)	65

Daikin North America LLC, 1001 Kerner Rd, Valley, TX 77454  
Daikin City Generated Submittal Data  
Date: 8/24/2022 4:08:55 PM Page 2 of 3

**DAIKIN**

**Submittal Data Sheet**  
1.5-Ton VISTA 2x2 Cassette Unit for VRV - FXZQ18TAVJU  
Project: Yorktown Garage  
Submitted by: Eric Joseph of DAIKIN APPLIED NEW YORK on 8/24/2022  
Submitted to: No Engineer Name Specified  
Tags: AC-2 (3)

**DIMENSIONAL DRAWING**



**Note:** For additional dimensional data and clearance information, refer to Engineering Data

Daikin North America LLC, 1001 Kerner Rd, Valley, TX 77454  
Daikin City Generated Submittal Data  
Date: 8/24/2022 4:08:55 PM Page 3 of 3

NEW CEILING MOUNT 4-WAY CASSETTE UNIT DETAILS AC-2

REVISIONS		
NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

PROJECT LOCATION:  
YORKTOWN HIGHWAY GARAGE  
281 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598


OWNER:  
TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598

REVISIONS DESCRIPTION:  
INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
NO CHANGE IN MEANS OF EGRESS. USE GROUP, OR OCCUPANCY.

REVANS DESIGN, PE PC  
60 SOMERSTON RD  
YORKTOWN, NY 10598  
914-222-0397

DATE: 04-15-2024  
PROJECT REF# RD 21032HVAC  
DRAWN BY: P.R.  
CHECKED BY: PR  
X - 004.00  
DETAILS  
SHEET 11 OF 12

APPROVAL STAMPS



WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.

**DAIKIN**

**Submittal Data Sheet**  
Energy Recovery Ventilator - VAM300GVJU  
Project: 14 Sutton Sq  
Submitted by: Daniel Norton of DAIKIN APPLIED NEW YORK on 1/17/2019  
Submitted to: No Engineer Name Specified

**FEATURES**

- Superior performance with a high efficiency fan and the capability for use in a wide range of climates (5 to 122°F DB and 50% RH or less)
- Interlocked simultaneous operation with VRF indoor units
- Pre-cooling/heating control function to delay the start of ventilation during air conditioner start-up for higher energy savings
- Unique functions such as independent operation, interlock with other HVAC systems and automatic night purge to reduce cooling loads and increase energy savings
- Standard Limited Warranty: 10-year warranty on compressor and all parts



**R-410A INVERTER VRF**

**UL LISTED**

Daikin City Generated Submittal Data Daikin North America LLC, 5151 San Felipe, Suite 500, Houston, TX, 77056 [www.daikin.com](http://www.daikin.com) [www.jakinc.com](http://www.jakinc.com)  
(Daikin's products are subject to continuous improvement. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations.)  
Submittal Date: 1/17/2019 9:05:46 AM Page 1 of 3

**DAIKIN**

**Submittal Data Sheet**  
Energy Recovery Ventilator - VAM300GVJU  
Project: 14 Sutton Sq  
Submitted by: Daniel Norton of DAIKIN APPLIED NEW YORK on 1/17/2019  
Submitted to: No Engineer Name Specified

**PERFORMANCE**

Indoor Unit Model No.	VAM300GVJU	Indoor Unit Name	Energy Recovery Ventilator
Type:		Rated Cooling Conditions:	Indoor (°F DBWB) / Ambient (°F DBWB) / 5 / 122
Rated Cooling Capacity (Btu/hr):		Rated Heating Conditions:	Indoor (°F DBWB) / Ambient (°F DBWB) / 5 / 122
Sensible Capacity (Btu/hr):		Rated Piping Length(ft):	
Cooling Input Power (kW):	0.310	Rated Height Separation (ft):	
Heating Input Power (kW):	0.31		

**INDOOR UNIT DETAILS**

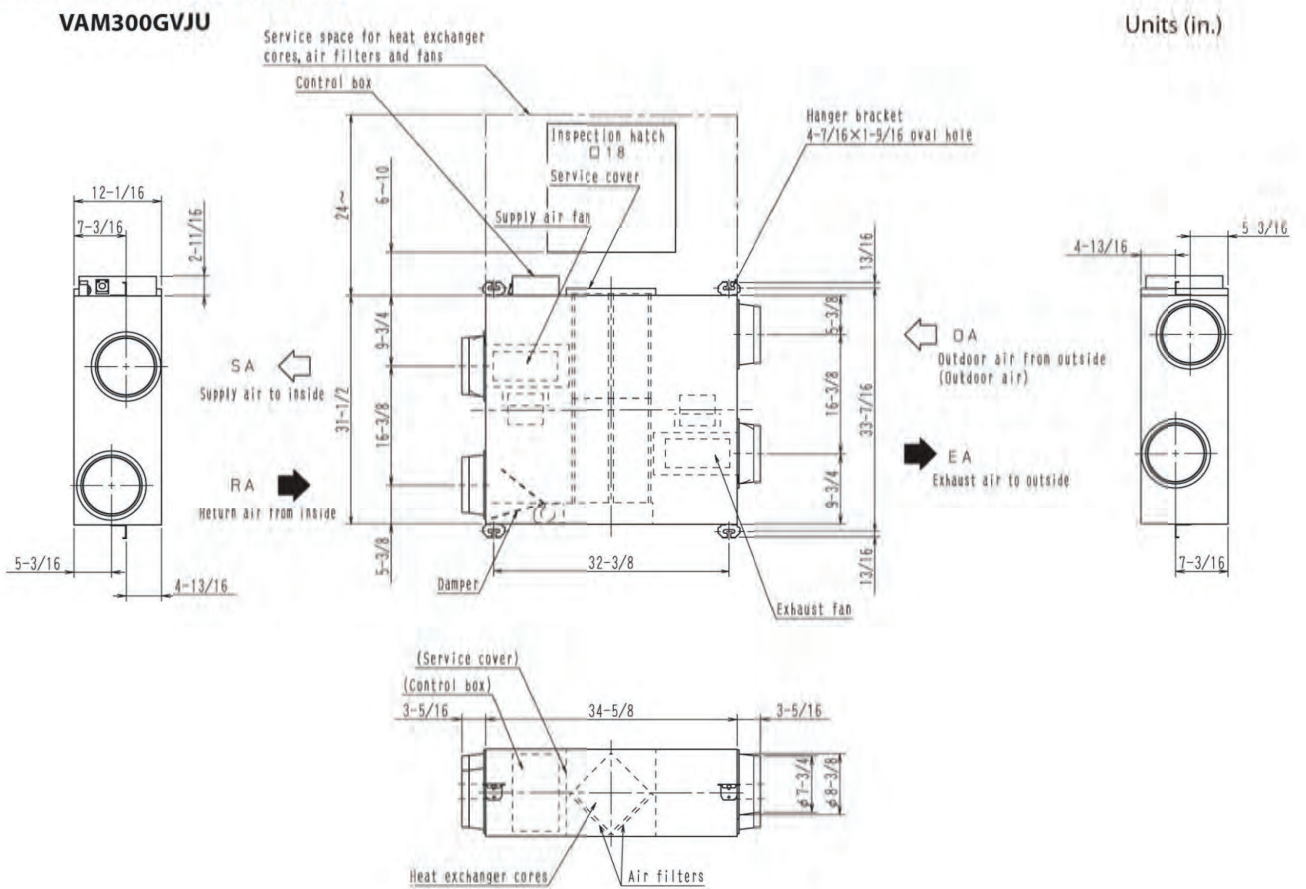
Power Supply (V/Hz/Ph):	208-230 / 1	Airflow Rate (HML) (CFM):	300/000170
Power Supply Connections:	L1, L2, Ground	Moisture Removal (Gal/yr):	
Min. Circuit Amps MCA (A):	1.6	Gas Pipe Connection (inch):	
Max Overcurrent Protection (MOP) (A):	15	Liquid Pipe Connection (inch):	
Dimensions (HxWxD) (in):	12-1/16 x 34-5/8 x 31-1/2	Condensate Connection (inch):	
Net Weight (lb):	71	Sound Pressure (HL) (dBA):	37/34
Ext. Static Pressure (Rated/Max) (inWg):	0.6 / 0.64	Sound Power Level (dBA):	26

Daikin City Generated Submittal Data Daikin North America LLC, 5151 San Felipe, Suite 500, Houston, TX, 77056 [www.daikin.com](http://www.daikin.com) [www.jakinc.com](http://www.jakinc.com)  
(Daikin's products are subject to continuous improvement. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations.)  
Submittal Date: 1/17/2019 9:05:46 AM Page 2 of 3

**DAIKIN**

**Submittal Data Sheet**  
Energy Recovery Ventilator - VAM300GVJU  
Project: 14 Sutton Sq  
Submitted by: Daniel Norton of DAIKIN APPLIED NEW YORK on 1/17/2019  
Submitted to: No Engineer Name Specified

**DIMENSIONAL DRAWING**  
VAM300GVJU




Units (in.)

Daikin City Generated Submittal Data Daikin North America LLC, 5151 San Felipe, Suite 500, Houston, TX, 77056 [www.daikin.com](http://www.daikin.com) [www.jakinc.com](http://www.jakinc.com)  
(Daikin's products are subject to continuous improvement. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations.)  
Submittal Date: 1/17/2019 9:05:46 AM Page 3 of 3

NEW ENERGY RECOVERY MODULE DETAILS ERM-1

**Stonco** by **ignify**

**Wall Mount**  
**Wall Pack DualSelect**  
60W and 100W



Stonco LED Wall Pack DualSelect family features energy saving LED technology ideal for wall mounted applications. The Wall pack DualSelect is available in two sizes to accommodate multiple mounting heights.

Ordering guide (Example: WP60-SCT-G2-10-BZ)

Luminaire	Wattage	Generation	Voltage	Finish
WP	SCT-G2	10	BZ	
WP Wall Pack	60 70W/40W/50W 100 70W/40W/50W/100W	SCT-G2 CCT Selectable 30K/40K/50K, 5000K, Integrated Daylight Sensor, Generation 2	10 120-247V	BZ Bronze

**Specifications**

**Housing**  
Die-cast aluminum housing and lens frame with heat and impact resistant borosilicate glass lens.

**IP Rating**  
LED light engine is weather proof sealed in a luminaire rated IP65.

**Electrical**  
Driver efficiency (>84% at full load). Available in 120-247V.

**LED Board and Array**  
1 or 2 Chip on Board (COB-power) LEDs. Selectable Color temperature 3000K, 4000K, 5000K. Minimum CRI of 70.

**Mounting**  
Mounts to standard 3-1/2" to 4" round and octagonal or 4 inch square electrical junction boxes. 1/2" NPT threaded conduit access.

**Energy Saving Benefits**  
System efficacy 123lm/W @ 3000K - 128lm/W @ 5000K

**Daylight Sensor**

Set 1	PhotoCell	Luminaire
Set 1	Disable	On
Set 2	Ambient light <10lux	On
Set 2	Ambient light >10lux	Off
Set 3	Ambient light <10lux	On
Set 3	Ambient light >10lux	Off
Set 4	Ambient light <10lux	On
Set 4	Ambient light >10lux	Off

**Listings**  
UL/cUL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambient from -40° to 40°C (-40° to 104°F).

**Product is DesignLights Consortium® qualified.**

**Flash**  
Each luminaire receives a powdercoat finish. Standard color is bronze (BZ).

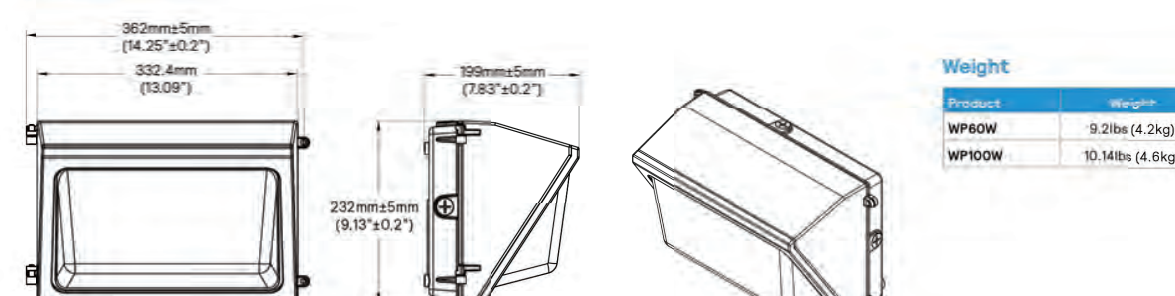
**Limited Warranty**  
Luminaires are all covered by a 5-year limited warranty. See [ignify.com/warranties](http://ignify.com/warranties) for details.

Stonco, WallPack\_DualSelect\_SpecSheet, www.stonco.com, DZ21 page 1 of 2

**DLC** **UL** **US**

**WP Wall pack DualSelect LED**  
60W and 100W

**Dimensions**



**Weight**

Finish	Weight
WP60W	9.2lbs (4.2kg)
WP100W	10.1lbs (4.6kg)

**LED Wattage and Lumen Values**

Ordering Code	Total LEDs	System Current (mA)	System Voltage (V)	Average System Wattage	Lumens/LED/ft²	Efficiency (lm/W)	Height (ft)
WP60-SCT-G2-10-BZ	280	230 @ 120V 330 @ 120V 500 @ 120V	3000/4000/5000	28 40 60	3850/4000/2900 5280/5720/5340 7800/8960/7840	138/140/140 132/143/134 127/150/128	3.7
WP100-SCT-G2-10-BZ	560	543 @ 120V 687 @ 120V 750 @ 120V 835 @ 120V	3000/4000/5000	70 80 90 100	6240/10000/9800 10240/13500/10940 10500/12320/9780 12200/16800/12800	132/144/140 128/142/137 126/137/133 123/136/128	3.9

1. Wattage and lumen output may vary by due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V input. Measured wattage may vary due to variation in input voltage.  
2. Lumen values based on photometric tests performed in compliance with IESNA LM-79.  
NOTE: Contact [outdoorlighting@philips.com](mailto:outdoorlighting@philips.com) for details or additional information.

**Predicted Lumen Depreciation Data**

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L70 is the predicted time when LED performance deprecates to 70% of initial lumen output. Calculated per IESNA TM-21-11. Published L70 hours limited to 6 times actual LED test hours.

Ordering Code	Ambient Temperature (°C)	LED Current (mA)	Driver Output Current (mA)	L70 per IESNA L70 (hrs)	Lumen Maintenance @ L70 (hrs)
WP60-SCT-G2-10-BZ	25°C	43	1300	>64,000 hrs	89.9%
WP100-SCT-G2-10-BZ	25°C	38	2000	>64,000 hrs	88.7%


1. Predicted performance derived from LED manufacturer's data and engineering design estimates.  
2. Based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L70 is the predicted time when LED performance deprecates to 70% of initial lumen output.  
3. Calculated per IESNA TM 21-11. Published L70 hours limited to 6 times actual LED test hours.

The information presented in this document is not intended as any commercial offer and does not form part of any quotation or contract.

**ignify**

© 2022 Signify Holding. All rights reserved. This document contains information relating to the product portfolio of Signify which information may be subject to change. No representation or warranty is given for the accuracy or completeness of the information included herein is given and any liability for any action in reliance thereon is disclaimed. All trademarks are owned by Signify Holding or their respective owners.  
Stonco, WallPack\_DualSelect\_SpecSheet, 1/17/21, page 2 of 3  
www.stonco.com

**PHILIPS Lighting**



**GreenUp Lowbay G2 - A brighter solution for safer workspaces**

**GreenUp Lowbay G2**

Good lighting is essential in industrial workspaces and large indoor areas. The wrong choice of lights or a lighting not correctly planned can lead to eye strain, fatigue, and poor performance, compromising safety and productivity. The Philips GreenUp Lowbay G2 luminaire is a simple LED solution which efficiently illuminates work areas, creating a brighter and better work, retail or sporting environment. With its crisp, white light and high color rendering index coupled with energy efficiency, high visibility and enhances safety 24/7. Equipped with motion detection function, this easy-to-install and low-maintenance lighting solution is suitable for a variety of applications.

**Benefits**

- High energy saving up to 73% comparing to HPI-P system.
- Lighting for need, is able to achieve additional 10% energy saving through occupancy and motion-based dimming.
- Comfort light quality
- Easy installation and retrofitting

**Features**

- High efficacy: 120 lumens per watt
- Provides option of 1-10V motion detection sensor version on 8800lm
- Consistent color rendering CRI>80 and R9>0
- Micro lens structure to realize the accurate distribution good glare control
- Five choices of optional accessories make it suitable for various applications
- Lifetime of 50,000 hours @L70B50 with end-to-end Philips production quality assurance

Product family leaflet, 2022, April 5 data subject to change

**REVISIONS**

NO.	ISSUED FOR	DATE
1	FOR CONCEPTUAL REVIEW	06/27/2022
2	FOR BIDDING	04/15/2024

**DESCRIPTION:**  
INSTALL NEW HVAC EQUIPMENT IN CONJUNCTION WITH NEW ADDITION AND REMODEL OF SUPERINTENDENT'S OFFICE. REPLACE NEW LIGHTING IN EXISTING GARAGE SPACE.  
NO CHANGE IN MEANS OF EGRESS, USE GROUP, OR OCCUPANCY.

**PROJECT LOCATION:**  
YORKTOWN HIGHWAY GARAGE  
281 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598  
OWNER:  
TOWN OF YORKTOWN  
363 UNDERHILL AVE  
YORKTOWN HEIGHTS, NY 10598

REVANS DESIGN, PE PC  
60 SOMERSTON RD  
YORKTOWN, NY 10598  
914-222-0397



DATE : 04-15-2024  
PROJECT REF# RD 21032HVAC  
DRAWN BY: P.R.  
CHECKED BY: PR  
X - 005.00  
**DETAILS**  
SHEET 12 OF 12

APPROVAL STAMPS

NEW LIGHTING DETAILS

WARNING - IT IS A VIOLATION OF STATE EDUCATION LAW FOR ANY REASON, UNLESS HE IS ACTING UNDER THE DIRECTION OF LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM IN ANY WAY ON THESE PLANS.